

Trustees Scott Ruggles Liz Fessler Smith Andrea C Voorheis Michael Powell

ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383 (FORMER WHITE LAKE LIBRARY)
THURSDAY, MARCH 24, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PLEDGE OF ALLEGIANCE
- 4. APPROVAL OF AGENDA
- 5. APPROVAL OF MINUTES
 - A. Zoning Board of Appeals Regular Meeting of February 24, 2022
- 6. CONTINUING BUSINESS
 - A. Applicant: Rob Higgs

15486 Surrey Livonia, MI 48154

Location: (1) 3811 Ormond Road

White Lake, MI 48383 identified as 12-07-329-013

(2) 12-07-329-035

Request: The applicant requests to construct a single-family house, requiring variances

from Article 3.1.5.E,

R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot

Coverage, and Minimum Lot Area.

7. NEW BUSINESS

A. Applicant: Ken & Tyler Strom

6040 Turnberry Drive Commerce, MI 48382

Location: 1152 Clearwater Boulevard

White Lake, MI 48386 identified as 12-35-401-010

Request: The applicant requests to construct a single-family house, requiring variances

from Article 3.1.6.E,

R1-D Single Family Residential Side-Yard Setback, Maximum Lot Coverage, Minimum

Lot Area, and Minimum Lot Width.

B. Applicant: Angela and Michael Runyan

661 Oxhill Court White Lake, MI 48386

Location: 661 Oxhill Court

White Lake, MI 48386 identified as 12-23-177-008

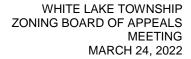
Request: The applicant requests to enlarge and alter a nonconforming structure (house)

to construct a second story addition, requiring variances from Article 7.23.A,

Nonconforming Structures and Article 3.1.5.E, R1-C Single Family Residential Minimum

Lot Area and Minimum Lot Width.

A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.





- 8. OTHER BUSINESS
 - A. Zoning Ordinance Discussion- Part 3
- 9. NEXT MEETING DATE: April 28, 2022 Regular Meeting

10. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting. An attempt will be made to make reasonable accommodations.

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS REGULAR MEETING FEBRUARY 24, 2022

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Clif Seiber
Debby Dehart, Planning Commission Liaison
Kathleen Aseltyne
Tony Madaffer
Jo Spencer, Chairperson

Absent:

Michael Powell, Township Board Liaison Niklaus Schillack, Vice Chairperson

Others:

Justin Quagliata, Staff Planner Hannah Micallef, Recording Secretary

15 members of the public present

APPROVAL OF AGENDA

MOVED by Member Aseltyne, SUPPORTED by Member Madaffer, to approve the agenda as presented. The motion CARRIED with a voice vote (5 yes votes).

APPROVAL OF MINUTES:

a. Zoning Board of Appeals Regular Meeting of January 27, 2022.

MOVED by Member Seiber, SUPPORTED by Member Dehart to approve the Zoning Board of Appeals Regular Meeting Minutes of January 27, 2022 as presented. The motion CARRIED with a voice vote (5 yes votes).

WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS REGULAR MEETING MINUTES
FEBRUARY 24, 2022

NEW BUSINESS:

A. Applicant: Stacy Husslein 5654 Lancaster Lane Commerce, MI 48382 Location: **320 View Drive**

White Lake, MI 48386 identified as 12-23-406-014

Request: The applicant requests to construct a single-family house with a side-entry garage that does not meet the minimum setback, requiring a variance from Article 3.11.T, Notes to District Standards. A variance from Article 3.1.5.E, R1-C Single Family Residential is also required to exceed the maximum lot coverage.

Chairperson Spencer noted for the record that 23 owners within 300 feet were notified. 0 letters were received in favor, l0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Seiber asked staff if it was normal for the lot area to be measured from the floodplain line. Staff Planner Quagliata stated it was excluded from the lot coverage.

Member Seiber asked staff if a deck with a roof was included in lot coverage. Staff Planner Quagliata confirmed. Member Seiber said the applicant's case was different as there was a roof but the "deck" below was grass.

Member Dehart asked staff if there was a deed restriction in the subdivision regarding garage bays. Staff Planner Quagliata said he was unsure.

Stacey and Nick Husslein, 5654 Lancaster Lane, Commerce, were present to speak on her case. Mrs. Husslein said she believed the minimum house size per the homeowner's association was 1400 square feet. She said it wasn't a requirement to have a side entry garage, but everyone else on View Drive did.

Member Seiber asked the applicant if it was possible to shift the garage over 14 inches. Mr. Husslien said it was considered, but it would affect the windows in the area. Member Seiber said other garages in the area must have met the 25-foot setback.

Chairperson Spencer asked the applicant if they could downsize the proposed house. Mrs. Husslien said the house was laid out to have everything on the first floor because she had M.S. and was preparing for her future. Mr. Husslien said he did not originally intend to ask for a variance; he originally believed the plans met the ordinance.

Chairperson Spencer opened the public hearing at 7:16 P.M.

Jim Kush, 410 Berry Patch Lane, spoke in favor of the applicant's request.

John Behm, 298 Shotwell, said he had no objections to the plans, but the applicants should consider moving their driveway.

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ZONING BOARD OF APPEALS REGULAR MEETING MINUTES
FEBRUARY 24, 2022

Chairperson Spencer closed the public hearing at 7:19 P.M.

Member Dehart stated the floodplain could be a hardship in making the lot coverage area smaller.

Member Aseltyne stated the house could be built to ordinance standards and did not see a practical difficulty.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Chairperson Spencer did not see a practical difficulty.
- B. Unique Situation
 - Member Dehart said older houses may have considered the floodplain in their lot coverage.
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Member Seiber MOVED to deny the variances requested by Stacy Husslein for Parcel Number 12-23-406-014, identified as 320 View, due to the following reason(s):

- The garage could be moved over 14 inches.
- The house could be downsized.
- Failure to meet the standards of Article 7, Section 37 of the ClearZoning Ordinance.

Member Aseltyne SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes): (Seiber/yes, Aseltyne/yes, Spencer/yes, Dehart/yes, Madaffer/yes).

B. Applicant: Robert Knisley 8780 Arlington Street White Lake, MI 48386

Location: 9604 Buckingham Road

White Lake, MI 48386 identified as 12-14-201-015

Request: The applicant requests to construct a single-family house, requiring variances

from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback,

Maximum Lot Coverage, and Minimum Lot Area.

Chairperson Spencer noted for the record that 19 owners within 300 feet were notified. 1 letter was received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Robert Knisley, 8780 Arlington, was present to speak on his case. He said when he was originally before the Board in March of 2020, his request for an addition was denied. He worked with his architect to design a house to better fit on the lot. He was now met the side and rear yard setbacks, and the garage was reduced in size.

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS REGULAR MEETING MINUTES FEBRUARY 24, 2022

Member Aseltyne asked the applicant what his practical difficulty was. Mr. Knisley said there was difficulty meeting the side yard and rear yard setbacks, and the house had to be angled to meet those setbacks. He added most houses on the street were within 5-6 feet of the road.

Chairperson Spencer opened the public hearing at 7:35 P.M. She read one letter of support of the applicant's request into the record.

John Johnson, 8882 Arlington, spoke in favor of the applicant's request.

Chairperson Spencer closed the public hearing at 7:38 P.M.

Member Aseltyne stated the applicant's request was excessive in regards to the other houses in the neighborhood and a practical difficulty was not presented.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

A. Practical Difficulty

- Member Seiber said he saw a practical difficulty; the building envelope on the west side
 of the lot was narrow. The proposed house was an improvement over the house
 previously there.
- Member Dehart said she saw a difficulty as the lot was platted before the current ordinance, as well as the way the road arched in front of the lot.
- B. Unique Situation
 - Chairperson Spencer said the house could be reduced in size so she did not see a unique situation.
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Member Seiber MOVED to approve the variances requested by Robert Knisley from Articles 3.1.6.E and 7.28.A of the Zoning Ordinance for Parcel Number 12-14-201-015, identified as 9604 Buckingham Road, in order to construct a new house that would encroach 12.5 feet into the required front yard setback and exceed the allowed lot coverage by 7%. A 2,495 square foot variance from the required lot area is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.

Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote: (3 yes votes) (Seiber/yes, Dehart/yes, Aseltyne/no, Madaffer/yes, Spencer/no).

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ZONING BOARD OF APPEALS REGULAR MEETING MINUTES
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C. Applicant: Brad VanGorder

8890 Tackels Drive White Lake, MI 48386 Location: **8890 Tackels Drive**

White Lake, MI 48386 identified as 12-13-104-007

Request: The applicant requests to enlarge and alter a nonconforming structure (house)

to construct a first and second story addition,

requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E,

R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width.

A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 31 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 1 letter was returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Dehart asked staff if the former Building Official erroneously allowed the house to be built 4.2 feet into the setback. Staff Planner Quagliata confirmed.

Brad VanGorder, 8890 Tackels, spoke regarding his case. He said his intent was to fill the space between the house and garage. He would set back the walls on the second-story off the existing first floor walls.

Chairperson Spencer opened the public hearing at 7:51 P.M.

John Behm, 298 Shotwell, said he had no objections to the plans.

Chairperson Spencer closed the public hearing at 7:53 P.M.

Member Seiber stated the nonconformity of the setbacks did not appear to increase, and considering the width of the lot there was a hardship.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Dehart said the lot size was a practical difficulty.
- B. Unique Situation
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Staff Planner Quagliata said the current Building Official said the plans as presented could not be approved, and would have to be revised to receive his approval. The redlined plans would not be accepted.

Member Seiber MOVED to approve the variances requested by Brad VanGorder from Articles 3.1.6.E, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-13-104-007, identified as 8890 Tackels Drive, in order to construct an addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 5 feet into the required setback from the west side lot line; to allow structural work to encroach 2.2 feet into the required setback from the front lot line; and to exceed the allowed lot coverage by 11.1%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 321%. A 40-foot variance from the required lot width and a 5,421.7 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The west side wall of the second-story addition shall be relocated east to provide a
 five-foot side yard setback, which shall be measured from the roof overhang of the
 addition.
- In no event shall the projection of any roof overhang be closer than five (5) feet to the west side lot line.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.
- The gutter system shall direct stormwater away from neighboring properties.
- Revised plans shall be submitted to meet the requirements of the Building Official

Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote: (5 yes votes) (Seiber/yes, Dehart/yes, Madaffer/yes, Spencer/yes, Aseltyne/yes).

D. Applicant: Rob Higgs

15486 Surrey Livonia, MI 48154

Location: (1) 3811 Ormond Road

White Lake, MI 48383 identified as 12-07-329-013

(2) 12-07-329-035

Request: The applicant requests to construct a single-family house, requiring variances

from Article 3.1.5.E, R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

Chairperson Spencer noted for the record that 13 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Dehart asked staff if the ordinary high-water mark was identified on the site plan. Staff Planner Quagliata said no.

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Member Aseltyne asked staff if the applicant's request could be denied based on incomplete information. Staff Planner Quagliata said the ZBA had the authority to do so.

Chairperson Spencer said the letter of authorization from the property owner's daughter was not notarized and therefore unacceptable. She added the plans were incomplete and she did not accept the plans.

Rob Higgs, 15486 Surrey, Livonia, was present to speak on his case. He brought his builder, Andy Giles. He said he was given a lot of information during the process and that was where the confusion was. He said the lot was steep and therefore posed a practical difficulty. Mr. Giles said due to the grade drop-off in the back, the surveyor drew the plans where the back of the house would be on the rear setback. The surveyor also included a primary septic field and reserve septic field which took a good portion of the side yard on the left. The current accessory building was 10 feet from the road and would be removed along with the existing house.

Member Seiber stated the widest part of the building envelope was at the south side of the lot, but the widest part of the house was at the north side of the lot. If the house was flipped, there would be an increases front yard setback. Mr. Giles said the issue with that arrangement would be the retaining wall.

Member Dehart asked the applicant if the perc test had been done. Mr. Giles said no.

Chairperson Spencer opened the public hearing at 8:17 P.M. Seeing no public comment, she closed the public hearing at 8:18 P.M.

Member Aseltyne MOVED to table the variance requests of Rob Higgs for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 to consider comments stated during this public hearing

Member Madaffer SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes): (Aseltyne/yes Madaffer/yes, Seiber/yes, Dehart/yes, Spencer/yes).

OTHER BUSINESS

Chairperson Spencer said she would like to hold a work session prior to the March 24th meeting to discuss some of the zoning ordinance amendments.

Staff Planner Quagliata said the Township Board had tasked the ZBA with reviewing the ordinance and to provide feedback to the Planning Commission.

Member Dehart said signs were discussed at the last Planning Commission meeting. The ZBA did not have to review signage if the property in question was zoned Planned Development or Planned Business, as it became a waiver in that specific instance. It felt as though there were two different standards in regards to signage.

Staff Planner Quagliata stated he was in favor of tightening up the sign ordinance.

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS REGULAR MEETING MINUTES FEBRUARY 24, 2022

ADJOURNMENT

MOVED by Member Aseltyne, SUPPORTED by Member Seiber to adjourn the meeting at 8:45 P.M. The motion CARRIED with a voice vote (5 yes votes).

NEXT MEETING DATE: March 24, 2022 Regular Meeting



WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals

FROM: Justin Quagliata, Staff Planner

DATE: March 24, 2022

Agenda item: 6a

Appeal Date: March 24, 2022 (Tabled from February 24, 2022)

Applicant: Rob Higgs

Address: 15486 Surrey

Livonia, MI 48154

Zoning: R1-C Single Family Residential

Location: (1) 3811 Ormond Road

White Lake, MI 48383

(2) Parcel Number 12-07-329-035

Property Description

There are two parcels part of this request, both zoned R1-C (Single Family Residential) and located on White Lake.

North Parcel: 3811 Ormond Road (12-07-329-013) is approximately 0.092-acre (4,007.52 square feet) in size. The property is served by a private well for potable water and a private septic system for sanitation.

South Parcel: Parcel Number 12-07-329-035 is approximately 0.211-acre (9,191.16 square feet) in size.

Applicant's Proposal

Rob Higgs, the applicant, with permission from the property owner's power of attorney, is seeking variances to construct a two-story house with an attached garage.

Planner's Report

As indicated on the site plan, the proposed house footprint is 2,438 square feet in size (the garage area is 506 square feet). The submitted architectural information is inconsistent with the site plan. The house plan details state the first-floor area is 2,123 square feet, the second-floor area is 878 square feet, and the garage area is 506 square feet (total: 3,507 square feet). Based on the house details, the footprint of the building is 2,629 square feet (191 square feet larger than indicated on the site plan).

According to the site plan, the house at its closest point would be located 13.1 feet from the front lot line, requiring a variance of 21.9 feet from the required 35-foot front yard setback. A variance to address the lot area nonconformity is also requested. According to the plan, the parcels (if combined) would contain 0.343-acre (14,923 square feet) in area. In the R1-C zoning district the minimum lot size requirement is 16,000 square feet.

While rear yard setback and lot coverage variances were published as a request (based on an initial plan submitted), the latest plan indicates such variances are not needed.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard Reques Variar		Result
1	Article 3.1.5.E	Front yard setback	35 feet	21.9 feet	13.1 feet
2	Article 3.1.5.E	Minimum lot area	16,000 square feet	1,077 square feet	14,923 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Rob Higgs from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 in order to construct a new house that would encroach 21.9 feet into the required front yard setback. A 1,077 square foot variance from the required lot area is also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- Prior to issuance of a building permit, a demolition permit shall be obtained from the Township to remove the existing buildings and structures from the subject parcels.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.
- The subject parcels shall be combined prior to issuance of a building permit.
- Revised plans shall be submitted to meet requirements of the Building Official.

Denial: I move to deny the variances requested by Rob Higgs for Parcel Number 12-07-329-01, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 due to the following reason(s):

<u>Table:</u> I move to table the variance requests of Rob Higgs for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 to consider comments stated during this public hearing.

Attachments:

- 1. Variance application dated January 26, 2022.
- 2. Applicant's written statement dated March 10, 2022.
- 3. Site plan dated March 10, 2022.
- 4. Elevations dated January 22, 2003.
- 5. Floor plans.
- 6. Letter of denial from the Building Official dated February 3, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates <u>all</u> of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Rub Higgs PHONE: 734 657-946 ADDRESS: 15486 Surrey Liveria MZ APPLICANT'S EMAILADDRESS: Robert Higgs 5R@ yahron con APPLICANT'S INTEREST IN PROPERTY: DOWNER BUILDER FOTHER: Purchaser
ADDRESS OF AFFECTED PROPERTY: 3811 armend PARCEL # 12 - 07~399-013 + 0 35 CURRENT ZONING: PARCEL SIZE:
STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Front + Rear Set boulds VALUE OF IMPROVEMENT: \$400,000 SEV OF EXISITING STRUCTURE: \$
STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED) Lake Let Defficulties and casemator requesting Front + Rear variances to build New home and improve the look of the Cots

APPLICATION FEE: \$38	(CALCULATED BY THE PLA	NNING DEPARTMENT)
	12. J. S	12,6-
APPLICANT'S SIGNATURE: _	POTES Tryy	DATE: 1/26/90

Robert Higgs 15486 Surrey St. Livonia, MI 48154 (734) 657-9467

Thursday, March 10, 2022

To whom it may concern,

My name is Robert Higgs, I am the interested buyer in 3811 Ormond Rd, White Lake, MI. I am writing this letter to specify certain practical difficulties in which I am applying for a variance. Those difficulties are as follow:

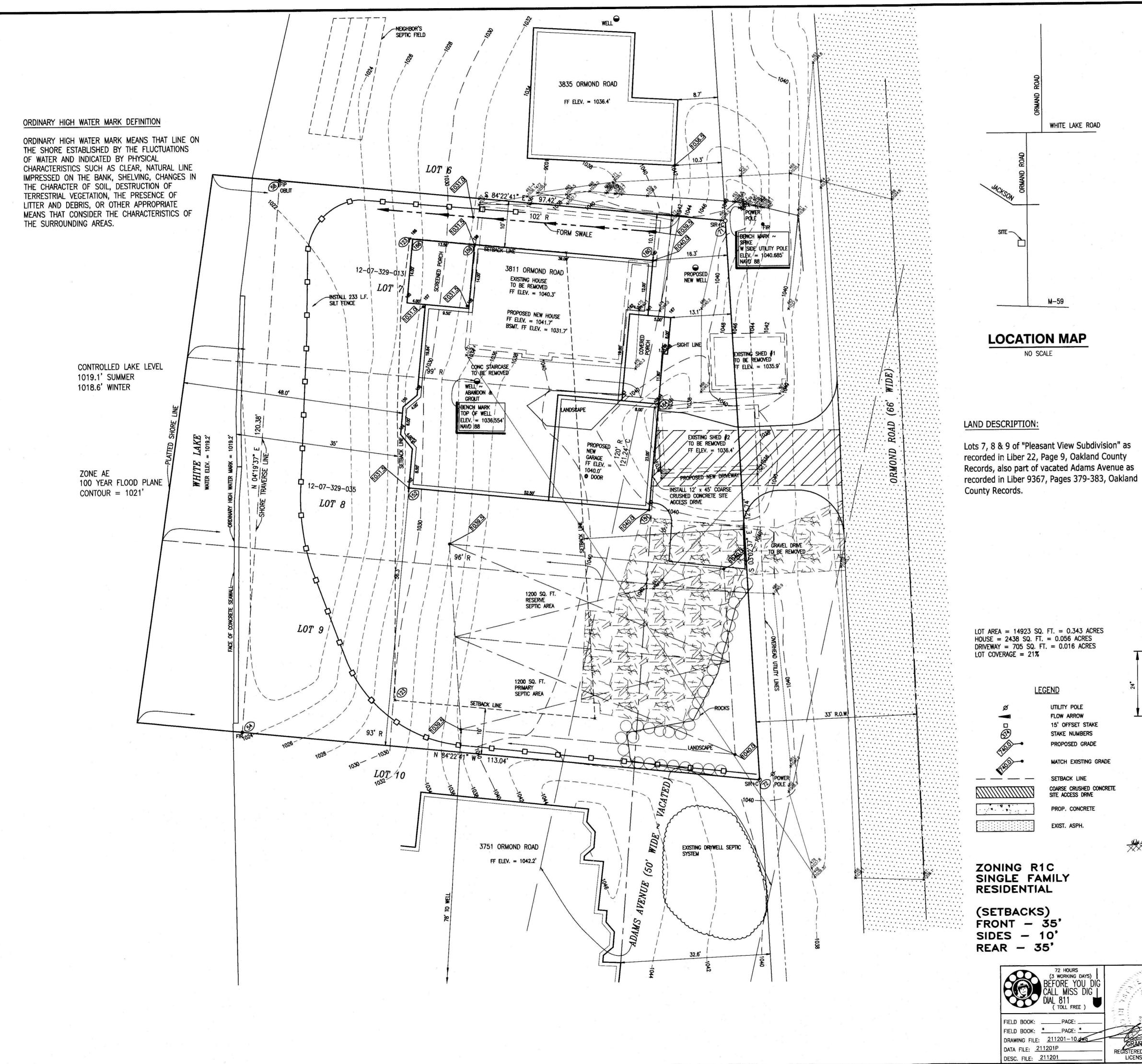
- 1. The grading of the West part of the property (lakeside) has almost a 20' steep dropoff.
- 2. There is a utility easement on the East part of the property (Ormond Rd.)
- 3. Due to our property line being in the water approximately 8' on the SW corner as well as 4' on the NE corner of the property, our setback is being measured from the high water mark, which is the sea wall/high water mark and not the actual property line unfortunately causing us to lose valuable land use.

*Please note: that due to the grading elevation, utility easement and property in water are reasons why I am applying for this permit. Any and all consideration to grant this permit is greatly appreciated.

*This variance was tabled from the board meeting on Feb 24th. It was tabled due to lack of specifics and info. I wanted to point out a few extra things that were done on top of the original requests suggested by the board at the first meeting. This property has now been staked, ready for you to view the proposed home, as well as a perk test which is getting done on March 15th at 10:30am and I will bring those results to the next meeting.

Sincerely,

Rohert Higgs



SOIL EROSION CONTROL AND MAINTENANCE NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL PROCEDURES SHALL CONFORM TO OAKLAND COUNTY'S DESIGN CRITERIA AND IMPLEMENTATION PROCEDURES FOR EROSION AND SEDIMENTATION CONTROL.
- 2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.

 3. EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS, WETLANDS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS,
- STORM DRAINS, LAKES AND PONDS. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.

 5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL AS FOLLOWS: SILT FENCE DIVERSION BARRIER WITH STONE OUTLET FILTERS AS HEREON SHOWN AND INSTALL CATCH BASIN/INLET FILTERS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.

 6. ALL DIRT TRACKED ONTO EXISTING PUBLIC ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

SEQUENCE OF OPERATIONS FOR SOIL EROSION CONTROL:

- PROVIDE PERIMETER SEDIMENTATION CONTROLS, AS SPECIFIED IN THE SEQUENCE OF OPERATIONS, AT LOCATIONS AS ILLUSTRATED
- 2. INSTALL GEOTEXTILE SEDIMENT CONTROL FENCE WITH THE TAIL ANCHORED IN A 6" DEEP TRENCH. INSTALL ACCESS DRIVE CONSISTING OF 6" DEEP COARSE CRUSHED CONCRETE ON GEOTEXTILE FABRIC AS ILLUSTRATED. 3. IF THE PROPOSED PERIMETER PROTECTION CANNOT BE PROPERLY MAINTAINED, OR PROVES TO BE INSUFFICIENT, THEN ADDITIONAL PERIMETER SEDIMENTATION CONTROLS SUCH AS GEOTEXTILE SILT FENCE AND BERMS SHALL BE REQUIRED.
- 4. CLEAR, GRUB, STRIP AND STOCKPILE TOPSOIL.
 5. GRADE THE SITE, IMMEDIATELY ESTABLISH VEGETATION ON ALL DITCHES AND SWALES. OR, INSTALL TEMPORARY STABILIZATION DURING THE NON-GROWING SEASON FOR ALL AREAS TO BE SEEDED OR SODDED. NOTE: ALL AREAS TEMPORARILY STABILIZED DURING THE NON-GROWING SEASON SHALL BE PERMANENTLY STABILIZED IMMEDIATELY (WITHIN 5 DAYS) FOLLOWING THE COMMENCEMENT OF THE NEXT PLANTING SEASON. DORMANT SEEDING IS ALSO RECOMMENDED FOR EARLY SPRING GROWTH.

 6. STABILIZE ALL DISTURBED AREAS THAT EXCEED A SLOPE OF 1 ON 4 WITH EXCELSION BLANKET OR APPROVED SOIL EROSION
- BEGIN BUILDING CONSTRUCTION. PROPOSED FOR SPRING OF 2022.

 INSTALL DRY WELLS, PERFORATED TILE AND RIP-RAP. WRAP RIMS WITH GEOTEXTILE FABRIC AND COVER WITH PEA STONE
- 9. INSTALL ALL PUBLIC UTILITIES: GAS, ELECTRIC, TELEPHONE ETC. 10. INSTALL PAVEMENT, REPAIR AND/OR REPLACE STONE INLET AND OUTLET FILTERS AS REQUIRED. 11. FINISH GRADE, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT UPON OR PAVED. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE SEEDED WITHIN 5 DAYS OF FINAL GRADING. 12. CLEAN PAVEMENTS, WALKS, SWALES, DITCHES, CULVERTS, WATERCOURSES, STORM SEWERS, RETENTION AND/OR DETENTION BASINS, LAKES, STREAMS AND WETLANDS OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY IN DISTURBED AREAS.

 13. COMPLETE BUILDING CONSTRUCTION. COMPLETION PROPOSED FOR FALL OF 2022.

EROSION CONTROL MAINTENANCE MEASURES

THE CONTRACTOR SHALL INSTALL AND MAINTAIN IN PROPER WORKING ORDER ALL OF THE SOIL EROSION CONTROL STRUCTURES AND MATERIALS AS DETAILED ON THESE PLANS. INSPECTION AND EVALUATION OF SOIL EROSION CONTROL MEASURES SHALL BE PERFORMED AT LEAST DAILY AS WELL AS DURING AND IMMEDIATELY FOLLOWING RAIN OR THAWING. MAINTENANCE SHALL BE PERFORMED AND MODIFICATIONS IN MATERIALS AND METHODS MADE AS REQUIRED TO PREVENT ANY EROSION OF SOILS OR MIGRATION

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) PERMIT REQUIREMENTS REQUIRE WEEKLY INSPECTIONS BY A CERTIFIED STORM WATER MANAGEMENT OPERATOR AS WELL AS INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR MODIFICATIONS AND MAINTENANCE WHICH SHALL BE CARRIED OUT BY THE CONTRACTOR

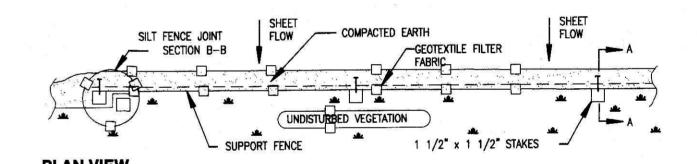
1. THE CONTRACTOR SHALL MAINTAIN, ENLARGE AND REPAIR THE COARSE CRUSHED CONCRETE CONSTRUCTION ACCESS DRIVE AS NECESSARY. COARSE CRUSHED CONCRETE IS TO BE ADDED OR REPLACED WHEN FILLED WITH SEDIMENT, IT PONDS WATER OR IS RUTTED. DRIVERS SHALL BE INSTRUCTED TO CLEAN TIRES, TAILGATES AND HITCHES TO PREVENT MUD, DIRT AND GRAVEL FROM BEING

- 1. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ALL DIRT TRACKED ONTO OFFSITE PAVEMENT AND ROADWAYS.

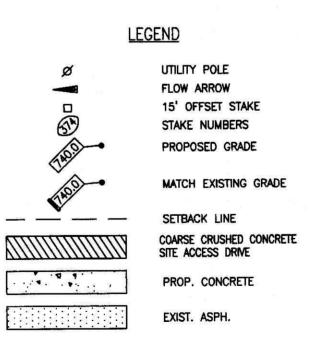
 3. THE CONTRACTOR SHALL CLEAN THE SILT FROM THE PEA STONE OUTLET FILTERS AND INLET FILTERS AS NECESSARY.

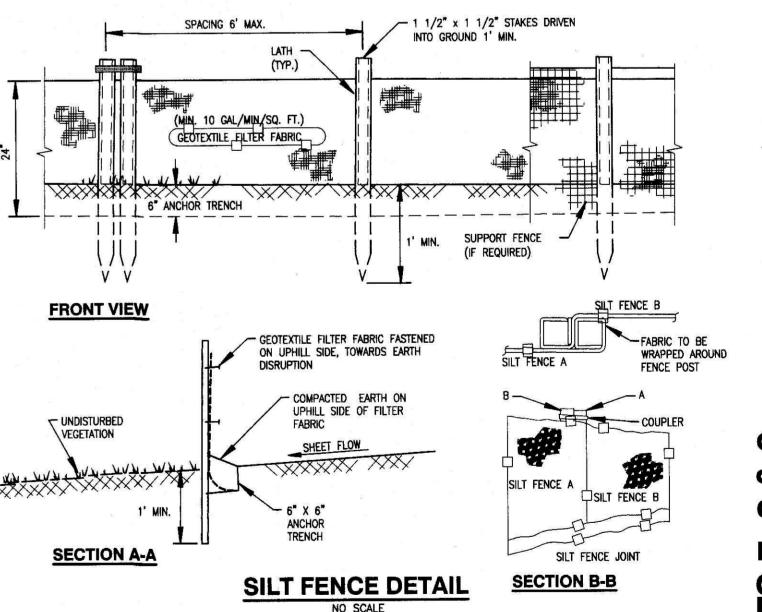
 4. THE CONTRACTOR SHALL REPAIR, REPLACE, RETRENCH, REBACKFILL OR ERECT FALLEN DOWN, UNDERMINED OR OVERRUN SILT FENCE AS REQUIRED TO MAINTAIN ITS EFFECTIVENESS TO CONTAIN OR DIRECT STORM WATER TO THE PEA STONE FILTERS.

 5. THE CONTRACTOR SHALL CLEAN AND REPLACE THE STONE IN THE INLET FILTERS AND REPLACE TORN OR DAMAGED FILTER FABRIC
- 6. THE CONTRACTOR SHALL REPAIR ERODED OR DAMAGED SLOPES. THE DAMAGED AREA OF THE SLOPES SHALL BE STABILIZED WITH STONE AND/OR TOPSOIL, SEED AND MULCH OR EROSION CONTROL BLANKETS WITH A THIN COVER OF MULCH. 7. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES AND MATERIALS WHEN THEY ARE NO LONGER NEEDED AND/OR VEGETATION IS VIGOROUSLY ESTABLISHED OVER UNPAVED AREAS. TOPSOIL, SEED, MULCH AND EROSION CONTROL BLANKETS SHALL BE PLACED OR INSTALLED AS REQUIRED IN AREAS EXPOSED BY THE REMOVAL OF SILT FENCE AND STONE OUTLET

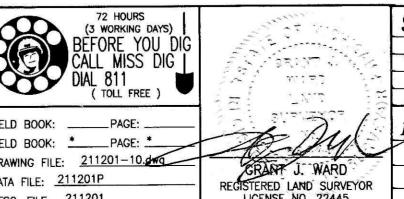


LOT AREA = 14923 SQ. FT. = 0.343 ACRES HOUSE = 2438 SQ. FT. = 0.056 ACRES DRIVEWAY = 705 SQ. FT. = 0.016 ACRES LOT COVERAGE = 21%





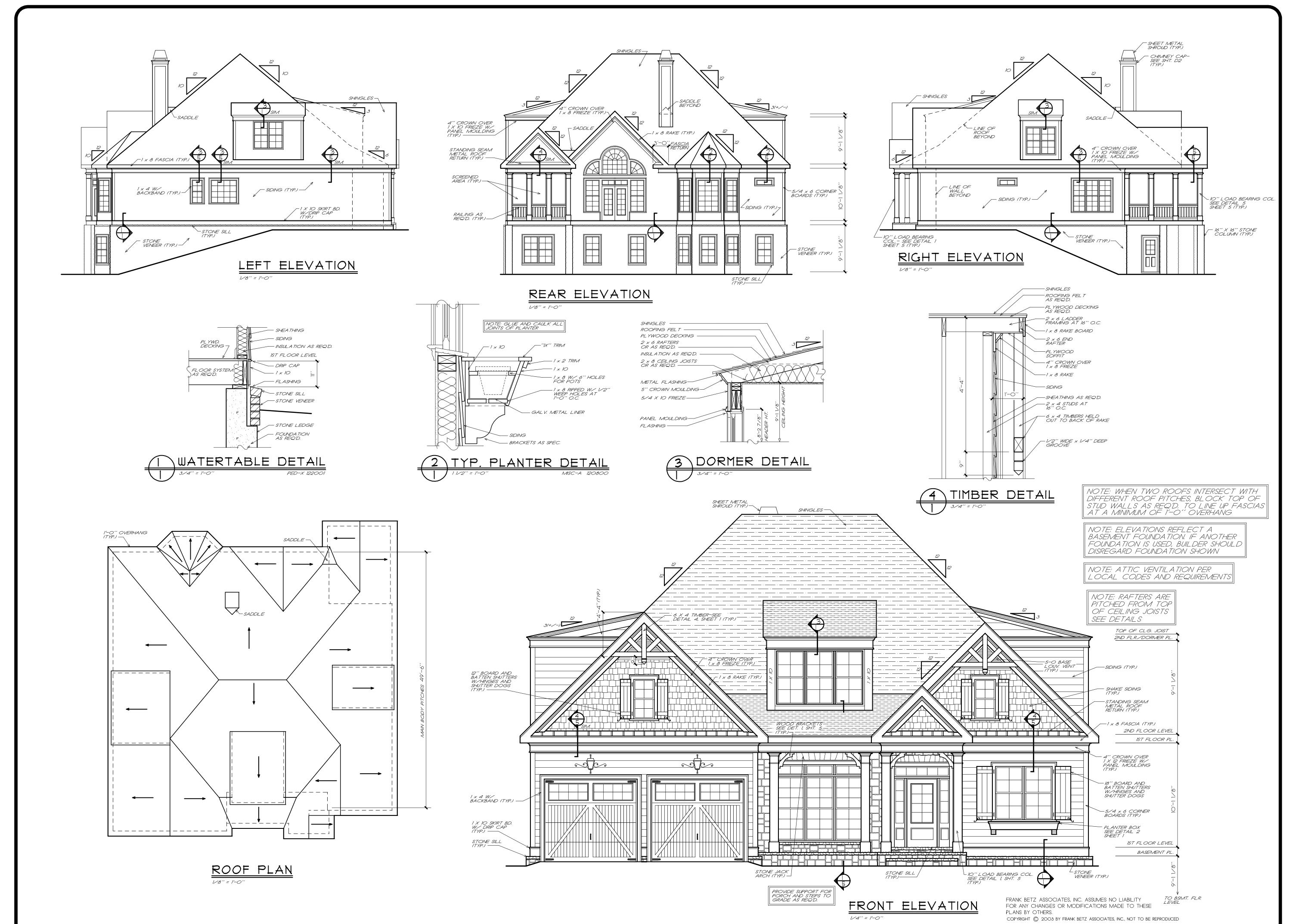
Surveying Michigan with pride



TE PLAN	DATE	GRANT
EASANT VIEW SUBDIVISION", L.22, P.9, LOTS 7, 8 & 9,		
SN., R.8E., OAKLAND COUNTY, SECTION 7,	MARCH 10, 2022	WARD
. #12-07-329-013 & 035,	MARCH 5, 2022	SURVEYOR
11 ORMOND ROAD, WHITE LAKE, MICHIGAN 48383	FEBRUARY 26, 2022	CONVETOR
r GILES REMODELING, LLC	FEBRUARY 4, 2022 JANUARY 27, 2022	REGISTERED LAND SI 655 BROADWAY - P.O.
672 N. MILFORD ROAD, SUITE 152,	SHEET1 OF1	DAVISBURG, MICHIGAN 4
	SCALE: 1" = 10'	PHONE: (248) 634-076
andrew⊕gilescontractingllc.com (248) 568-4318	JOB NO.: 21-1201-10	EMAIL: GWS@TIR.COM

-329-013 & 035 ORMOND ROAD GRANT WARD SURVEYORS

REGISTERED LAND SURVEYOR





opyright Frank Betz Associates, Inc

Item A.

/ROOF TIONS,

WOOD

House Plan Details

Square Footage

Square Footage Total	3001
First Floor	2123
Second Floor	878
Garage	506
Basement	2123

House Plan Books

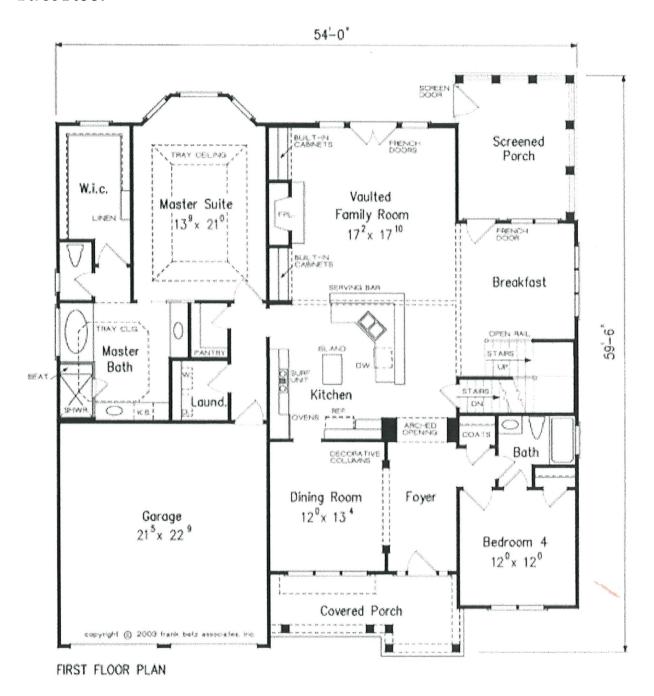
Book 28 Page 75

Dimensions

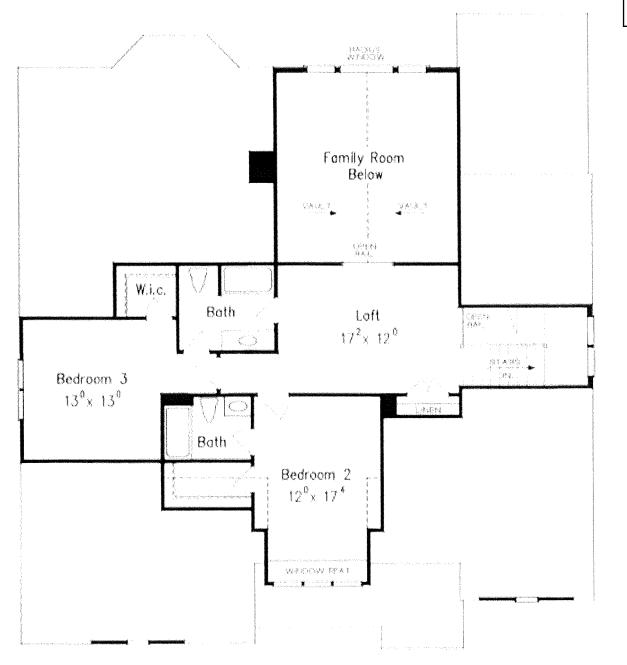
Width	54' - 0"
Depth	59' - 6"
Height	32' - 0"
Main Roof Pitch	10/12

Room Dimensions

Family Room	17-2 x 17-10 x 16-2
Garage	21-5 x 22-9
Breakfast	12-3 x 12-0 x 10-0
Kitchen	13-0 x 13-10 x 10-0
Dining	12-0 x 13-4 x 10-0
Laundry	5-10 x 6-3 x 10-0
Foyer	7-3 x 13-4 x 10-0
Loft	17-2 x 12-0 x 9-0
Screened Porch	11-0 x 10-2 x 10-0
Master Suite	13-9 x 21-0 x 12-0
Bedroom 2	12-0 x 17-4 x 9-0
Bedroom 3	13-0 x 13-0 x 9-0
Bedroom 4	12-0 x 12-0 x 10-0
Master Closet	7-5 x 11-9 x 10-0
Master Bath Room	13-4 x 12-2 x 10-0



Second Floor



SECOND FLOOR PLAN

Find A Builder

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Rik Kowall, Supervisor Anthony L. Noble, Clerk Mike Roman, Treasurer



Trustees Scott Ruggles Liz Fessler Smith Andrea C. Voorheis Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 3, 2022

Andrea Poquette 3811 Ormond Rd White Lake, MI 48383

RE: Proposed Residential Structure at 3811 Ormond and Property 12-07-329-035

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 35 ft, minimum rear yard setback of 35 ft, minimum lot area of 16,000 sq ft, and maximum lot coverage of 20%.

Article 3.11 (T) of the White Lake Township Clear Zoning Ordinance: The minimum side yard setback for a side entry garage shall be 25'

The proposed newly combined lot would be non-conforming with an area of 13,200 sq ft. The proposed residential structure would have a rear yard setback of 28 ft from the established water's edge on the west side and front yard setback of 24 ft on the east side. The lot coverage would be approximately 26%. Furthermore, the structure would have a side entry garage with a side yard setback of 14.3 ft of a required minimum 25 ft.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. The Zoning Board of Appeals (ZBA) will require certified lot coverage calculations from the engineer as well as the rear setback to be dimensioned from the nearest water's edge. If the variances are approved, the lot combination would be required to be completed before submittal of the Building Permit Application to the Building Department. If you have further questions, the Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals

FROM: Justin Quagliata, Staff Planner

DATE: March 24, 2022

Agenda item: 7a

Appeal Date: March 24, 2022

Applicant: Ken & Tyler Strom

Address: 6040 Turnberry Drive

Commerce, MI 48382

Zoning: R1-D Single Family Residential

Location: 1152 Clearwater Boulevard

White Lake, MI 48386

Property Description

The approximately 0.217-acre (9,462 square feet) parcel identified as 1152 Clearwater Boulevard is located on Round Lake and zoned R1-D (Single Family Residential). The property is served by a private well for potable water and the public sanitary sewer system for sanitation.

Applicant's Proposal

Ken & Tyler Strom, the applicants, are proposing to construct a two-story house with an attached two-car garage.

Planner's Report

Based on the submitted architectural plans, the proposed house is 3,158 square feet in size (first floor: 1,544 square feet; second floor: 1,134 square feet; garage: 480 square feet). According to the submitted site plan, the proposed lot coverage is 22.2% (2,101 square feet), which is 2.2% (208.6 square feet) beyond the allowable limit (1,892.4 square feet). As proposed, the house would be located 8.4 feet from the north side lot line and 8.6 feet from the south side lot line, requiring variances from the 10-foot side yard setback. Variances to address the lot area and lot width nonconformities are also requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Side yard setback	10 feet	1.6 feet (north) 1.4 feet (south)	8.4 feet (north) 8.6 feet (south)
2	Article 3.1.6.E	Maximum lot coverage	20% (1,892.4 square feet)	2.2% (208.6 square feet)	22.2% (2,101 square feet)
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	2,538 square feet	9,462 square feet
4	Article 3.1.6.E	Minimum lot width	80 feet	30 feet	50 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Ken & Tyler Strom from Articles 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-401-010, identified as 1152 Clearwater Boulevard, in order to construct a new house that would encroach 1.6 feet into the north side lot line and 1.4 feet from the south side lot line and exceed the allowed lot coverage by 2.2%. A 30-foot variance from the required lot width and a 2,538 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.

Denial: I move to deny the variances requested by Ken & Tyler Strom for Parcel Number 12-35-401-010, identified as 1152 Clearwater Boulevard, due to the following reason(s):

<u>Table:</u> I move to table the variance requests of Ken & Tyler Strom for Parcel Number 12-35-401-010, identified as 1152 Clearwater, to consider comments stated during this public hearing.

Attachments:

- 1. Variance application dated February 21, 2022.
- 2. Applicant's written statement dated February 22, 2022.
- 3. Site plan dated February 4, 2022.
- 4. Architectural plans dated October 7, 2021.
- 5. Letter of denial from the Building Official dated February 10, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates <u>all</u> of the following conditions "A – E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: KEN E TYLLE STROM PHONE: 248:514-1618 ADDRESS: 6040 TVRUBERRY APPLICANT'S EMAILADDRESS: KEN — STROM & COMMANT NET APPLICANT'S INTEREST IN PROPERTY: NOWNER BUILDER OTHER:
ADDRESS OF AFFECTED PROPERTY: 1/52 CLEAR WATERARCEL # 12 - 35 - 401-010 CURRENT ZONING: 21-0 PARCEL SIZE:
STATE REQUESTED VARIANCE AND ORDINANCE SECTION:
STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED) HOME IS APPROX 3 FT WIDER THAN ALLOWED BY CURRENT SET BACKS (MORTH & SOUTH)

APPLICATION FEE: (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: DATE: 2/21/22

2-22-2022

SIDE YARD AND AREA VARIANCE REQUEST.

TO THE TOWNSHIP OF WHITE LAKE,

THE ORIGINAL LOTS AS PLATTED ARE NON-CONFORMING TO THE CURRENT ZONING AND ORDINANCE

VARIANCE REQUEST FOR LOT 49 (PARCEL ID # 12-35-401-009) 1142 CLEARWATER) APPROVED JUNE 2019

1) LOT 50 (PARCEL ID # 12-35-401-010) VACANT CLEARWATER (HOUSE RECENTLY DEMOLISHED ON LOT 49) , AND SEPTIC FIELD WAS ABANDONED ON LOT 50 LOT SIZE (205 * 44) 8656 SQ FT.
PROPOSED HOUSE FOOTPRINT 2101 SQ FT.
2101/9462*100 = 22.20 %

SITE TO BE SERVICED:

- 1) BY INDIVIDUAL POTABLE WELL (WITH 50' ISOLATION)
- 2) LOTS 49 AND 50 ARE SERVICED BY MUNICIPAL SANITARY FORCED MAIN, AS ALREADY INSTALLED BY OWNER,

AND APPROVED AS THE PER TOWNSHIP STANDARDS AND REVIEW

CURRENT ZONING:

R1-D SINGLE FAMILY REQUIRED SETBACKS:

FRONT (ROAD) 30'

SIDE 10'

REAR 35

NATURAL LAKE SETBACK 25'

MINIMUM LOT SIZE 12,000 SQ FT

REQUESTED VARIANCE FOR FOR LOT 50

- REQUEST AS FOLLOWS
- A) NORTH SIDE YARD TO 1.6' VARIANCE
- B) SOUTH SIDE YARD TO 1.4' VARIANCE
- 2) ALSO LOT SIZE VARIANCE:

REQUIRED 12000 SQ FT EXISTING LOT SIZE 9462 SQ FT VARIANCE REQUESTED 2538 SQ FT

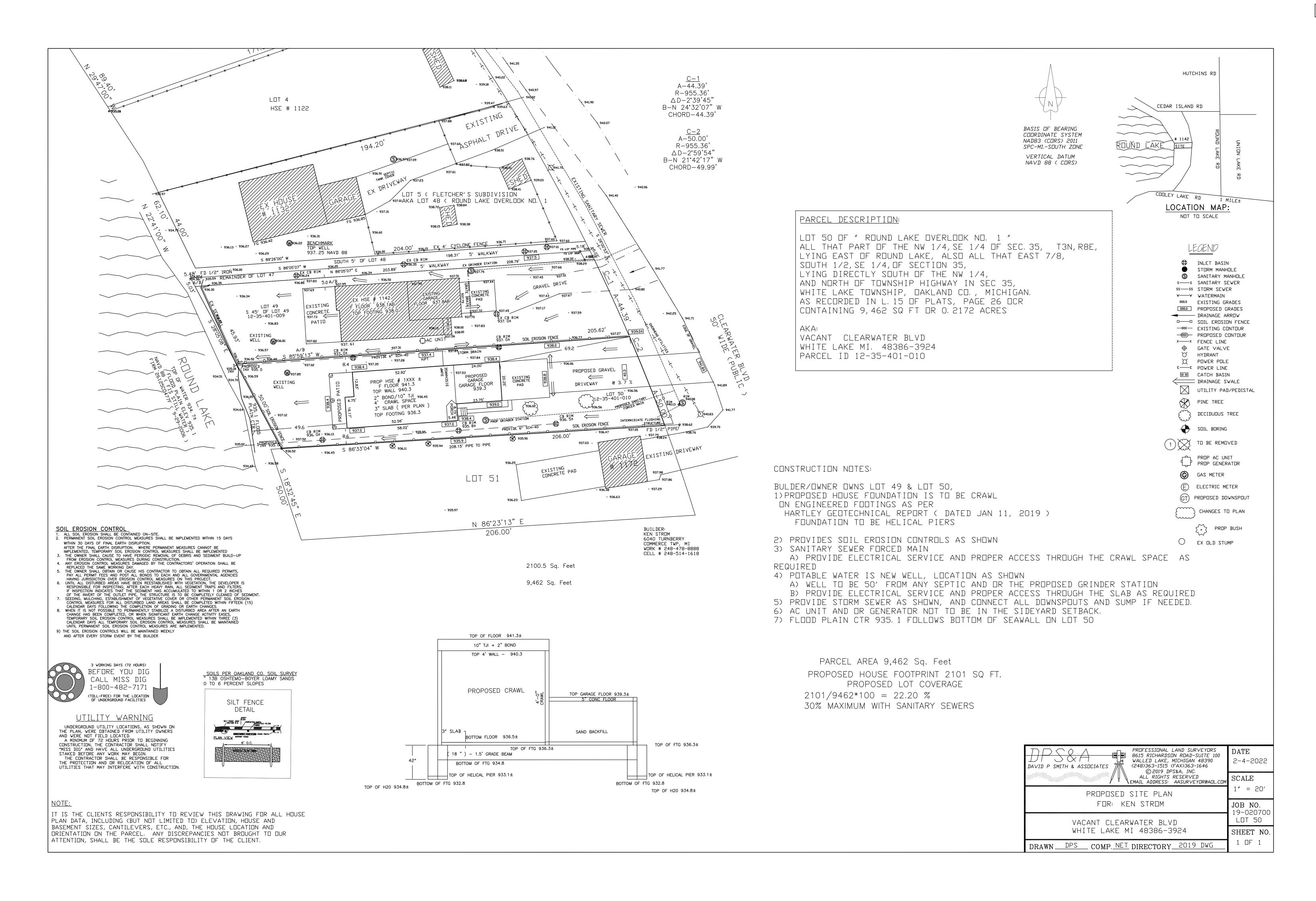
PROPOSED HOUSE = 2101 SQ FT /

OBESERVATIONS:

1) ALL THE THE LOTS IN ROUND LAKE OVERLOOK # 1, (AS APPROVED BY THE TOWNSHIP OF WHITE LAKE IN AUGUST OF 1916)

ARE NON CONFORMING LOTS AS PER THE CURRENT ORDINANCE

- 2) AT THE TIME OF THE ORIGINAL PLAT LOTS WHERE CONFORMING TO THE CURRENT STANDARDS
- 3) THE VARIANCE WILL BE CONFORMING WITH THE SURROUNDING LOTS.
- 4) WITHIN 300', SEVERAL NON CONFORMING LOTS HAVE 5' SIDE YARDS AND SOME LESS.
- 5) THE LOTS AS PLATTED DO NOT MEET THE NEW TOWNSHIP STANDARDS FOR LOT AREA



30

GENERAL NOTES AND SPECIFICATIONS (SUBSEQUENT NOTES ON REMAINING SHEETS)

IT IS THE BUILDER'S/CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL REQUIRED CODES, BOTH STATE AND LOCAL, ARE FOLLOWED. NOTES IDENTIFIED IN THIS DRAWING PACKAGE ARE MEANT AS REFERENCE MATERIAL ONLY, AND ANY CONTENT (TABLES, IMAGES, FIGURES, OR OTHERWISE) NOTED IN THIS DRAWING PACKAGE MUST BE REFERENCED/VERIFIED IN THE MICHIGAN RESIDENTIAL CODE BOOK, AND WITH LOCAL BUILDING

DEPARTMENT(S). NOT ALL 2015 MICHIGAN RESIDENTIAL CODE WORDING MAY BE INCLUDED UNDER EACH SECTION REFERENCED IN THIS DRAWING PACKAGE.

CONTENT INCLUDED IN THIS DRAWING PACKAGE EXCERPTED FROM: MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS. 2015 MICHIGAN RESIDENTIAL CODE. INTERNATIONAL CODE COUNCIL INC, 2015

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY OAKBRIDGE DEVELOPMENT LLC OF ANY VARIATIONS FROM THESE DRAWINGS.

OAKBRIDGE DEVELOPMENT LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK
IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF OAKBRIDGE DEVELOPMENT LLC BY WRITTEN NOTICE
BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED OAKBRIDGE DEVELOPMENT LLC TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE
CONTRACTOR

ADHERE TO SECTION R314 - SMOKE ALARMS

R314.1 GENERAL. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM.

2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWLSPACES

AND UNINHABITABLE ATTICS.

R314.3.3 EQUIPMENT REQUIREMENTS. BUILDER TO ADHERE TO 2015 MICHIGAN RESIDENTIAL CODE 'S INSTALLATION, POWER SOURCE, AND AUDIBLE ALARM NOTIFICATION REQUIREMENTS.

R314.4 INTERCONNECTION. WHERE MORE THAN 1 SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF 1 ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

R314.6 POWER SOURCE. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED,

ADHERE TO SECTION R315 - CARBON MONOXIDE ALARMS

SHALL RECEIVE POWER FROM A BATTERY.

R315.1 GENERAL. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315.

R315.2.1 NEW CONSTRUCTION. FOR NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.

R315.5 POWER SOURCE. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS

INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

R315.6.2 LOCATION. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN THE LOCATIONS SPECIFIED IN SECTION R315.3.

SECTION R302 - FIRE-RESISTANT CONSTRUCTION

R302.1 EXTERIOR WALLS. CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH TABLE R302.1(1)
R302.5 DWELLING-GARAGE OPENING AND PENETRATION PROTECTION. OPENINGS AND PENETRATIONS THROUGH THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH SECTIONS R302.5.1 THROUGH R302.5.3.

R302.6 DWELLING-GARAGE FIRE SEPARATION. THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5.

R302.11 FIREBLOCKING. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

R302.12 DRAFTSTOPPING. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 M2). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS.

SECTION R506 - CONCRETE FLOORS (ON GROUND)

R506.1 GENERAL. CONCRETE SLAB-ON-GROUND FLOORS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION OR ACI 332. FLOORS SHALL BE A MINIMUM 31/2 INCHES (89 MM) THICK (FOR EXPANSIVE SOILS, SEE SECTION R403.1.8). THE SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE AS SET FORTH IN SECTION R402.2.

R506.2 SITE PREPARATION. THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED, AND ADHERE TO SECTIONS; R506.2.1 FILL, R506.2.2 BASE, R506.2.3 VAPOR

SECTION N1102 - BUILDING THERMAL ENVELOPE

RETARDER, AND R506.2.4 REINFORCEMENT SUPPORT.

N1102.1 (R402.1) GENERAL (PRESCRIPTIVE). THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF SECTIONS N1102.1.1 THROUGH N1102.1.4.

N1102.1.1 (R402.1.1) INSULATION AND FENESTRATION CRITERIA. THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE N1102.1.1 BASED ON THE CLIMATE ZONE SPECIFIED IN SECTION N1101.10. N1102.1, INSULATION SHALL MEET THE SPECIFIC REQUIREMENTS OF SECTIONS N1102.2.1 THROUGH N1102.2.12.

N1102.2.1 (R402.2.1) CEILINGS WITH ATTIC SPACES. WHEN SECTION N1102.1.1 WOULD REQUIRE R-38 IN THE CEILING, R-30 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N1102.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.4.

N1102.2.2 (R402.2.2) CEILINGS WITHOUT ATTIC SPACES. WHERE SECTION N1102.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION N1102.1.1 SHALL BE LIMITED TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION N1102.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION N1102.1.4.

N1102.2.3 (R402.2.3) EAVE BAFFLE. FOR AIR PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION.

N1102.4 (R402.4) AIR LEAKAGE. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS N1102.4.1 THROUGH N1102.4.4. R 408.30547D

N1102.4.1 (R402.4.1) BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTIONS N1102.4.1.1 AND N1102.4.1.2. R 408.30547D
N1102.4.1.1 (R402.4.1.1) INSTALLATION (MANDATORY). THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS

LISTED IN TABLE N1102.4.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE N1102.4.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. R 408.30547D

N1102.4.1.2 (R402.4.1.2) TESTING (PRESCRIPTIVE). THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 4 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE

CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE
OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

N1102.4.4 (R402.4.4) RECESSED LIGHTING (MANDATORY). RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM (0.944 L/S). ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. R 408.30547D

FIREPLACE & AIR SUPPLY

SECTION R1004 - FACTORY-BUILT FIREPLACES

R1004.1 GENERAL. FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING. FACTORY-BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127.

R1004.2 HEARTH EXTENSIONS. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE.

R1004.2 HEARTH EXTENSIONS. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LISTING OF THE FIREPLACE.

R1004.3 DECORATIVE SHROUDS. DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF CHIMNEYS FOR FACTORY-BUILT FIREPLACES EXCEPT WHERE THE SHROUDS ARE LISTED AND LABELED FOR USE WITH

THE SPECIFIC FACTORY-BUILT FIREPLACE SYSTEM AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

R1004.4 UNVENTED GAS LOG HEATERS. AN UNVENTED GAS LOG HEATER SHALL NOT BE INSTALLED IN A FACTORY-BUILT FIREPLACE UNLESS THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR

SUCH USE IN ACCORDANCE WITH UL 127.

R1004.5 GASKETED FIREPLACE DOORS. A GASKETED FIREPLACE DOOR SHALL NOT BE INSTALLED ON A FACTORY-BUILT FIREPLACE EXCEPT WHERE THE FIREPLACE SYSTEM HAS BEEN SPECIFICALLY TESTED, LISTED AND LABELED FOR SUCH USE IN ACCORDANCE WITH UL 127

SECTION R1006 - EXTERIOR AIR SUPPLY

R1006.1 EXTERIOR AIR. FACTORY-BUILT OR MASONRY FIREPLACES COVERED IN THIS CHAPTER SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ENSURE PROPER FUEL COMBUSTION UNLESS THE ROOM IS

MECHANICALLY VENTILATED AND CONTROLLED SO THAT THE INDOOR PRESSURE IS NEUTRAL OR POSITIVE.

R1006.1.1 FACTORY-BUILT FIREPLACES. EXTERIOR COMBUSTION AIR DUCTS FOR FACTORY-BUILT FIREPLACES SHALL BE A LISTED COMPONENT OF THE FIREPLACE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE

FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.1.2 MASONRY FIREPLACES. LISTED COMBUSTION AIR DUCTS FOR MASONRY FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS.

R1006.2 EXTERIOR AIR INTAKE. THE EXTERIOR AIR INTAKE SHALL BE CAPABLE OF SUPPLYING ALL COMBUSTION AIR FROM THE EXTERIOR OF THE DWELLING OR FROM SPACES WITHIN THE DWELLING VENTILATED WITH OUTDOOR
AIR SUCH AS NONMECHANICALLY VENTILATED CRAWL OR ATTIC SPACES. THE EXTERIOR AIR INTAKE SHALL NOT BE LOCATED WITHIN THE GARAGE OR BASEMENT OF THE DWELLING. THE EXTERIOR AIR INTAKE, FOR OTHER THAN

LISTED FACTORY-BUILT FIREPLACES, SHALL NOT BE LOCATED AT AN ELEVATION HIGHER THAN THE FIREBOX. THE EXTERIOR AIR INTAKE SHALL BE COVERED WITH A CORROSION-RESISTANT SCREEN OF 1/4-INCH (6.4 MM) MESH.

R1006.3 CLEARANCE. UNLISTED COMBUSTION AIR DUCTS SHALL BE INSTALLED WITH A MINIMUM 1-INCH (25 MM) CLEARANCE TO COMBUSTIBLES FOR ALL PARTS OF THE DUCT WITHIN 5 FEET (1524 MM) OF THE DUCT OUTLET.

R1006.4 PASSAGEWAY. THE COMBUSTION AIR PASSAGEWAY SHALL BE NOT LESS THAN 6 SQUARE INCHES (3870 MM2) AND NOT MORE THAN 55 SQUARE INCHES (0.035 M2), EXCEPT THAT COMBUSTION AIR SYSTEMS FOR LISTED FIREPLACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FIREPLACE MANUFACTURER'S INSTRUCTIONS.

R1006.5 OUTLET. THE EXTERIOR AIR OUTLET SHALL BE LOCATED IN THE BACK OR SIDE OF THE FIREBOX CHAMBER OR SHALL BE LOCATED OUTSIDE OF THE FIREBOX, AT THE LEVEL OF THE HEARTH AND NOT GREATER THAN 24 INCHES (610 MM) FROM THE FIREBOX OPENING. THE OUTLET SHALL BE CLOSABLE AND DESIGNED TO PREVENT BURNING MATERIAL FROM DROPPING INTO CONCEALED COMBUSTIBLE SPACES

RANGE HOODS & EXHAUS

M1503.1 GENERAL. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING.
M1503.2 DUCT MATERIAL. DUCTS SERVING RANGE HOODS SHALL BE CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL OR COPPER.

M1503.3 KITCHEN EXHAUST RATES. WHERE DOMESTIC KITCHEN COOKING APPLIANCES ARE EQUIPPED WITH DUCTED RANGE HOODS OR DOWN-DRAFT EXHAUST SYSTEMS, THE FANS SHALL BE SIZED IN ACCORDANCE WITH SECTION M1507.4.

M1503.4 MAKEUP AIR REQUIRED. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/5) SHALL BE MECHANICALLY OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED.

M1503.4.1 LOCATION. KITCHEN EXHAUST MAKEUP AIR SHALL BE DISCHARGED INTO THE SAME ROOM IN WHICH THE EXHAUST SYSTEM IS LOCATED OR INTO ROOMS OR DUCT SYSTEMS THAT COMMUNICATE THROUGH ONE OR MORE PERMANENT OPENINGS WITH THE ROOM IN WHICH SUCH EXHAUST SYSTEM IS LOCATED. SUCH PERMANENT OPENINGS SHALL HAVE A NET CROSS-SECTIONAL AREA NOT LESS THAN THE REQUIRED AREA OF THE MAKEUP AIR SUPPLY OPENINGS.

CLOTHES DRYER EXHAUST

62439.1 (614.1) INSTALLATION. CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. DRYER EXHAUST SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL CONVEY THE MOISTURE AND ANY PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING.

G2439.2 (614.2) DUCT PENETRATIONS. DUCTS THAT EXHAUST CLOTHES DRYERS SHALL NOT PENETRATE OR BE LOCATED WITHIN ANY FIREBLOCKING, DRAFTSTOPPING OR ANY WALL, FLOOR/CEILING OR OTHER ASSEMBLY
REQUIRED BY THIS CODE TO BE FIRE-RESISTANCE RATED, UNLESS SUCH DUCT IS CONSTRUCTED OF GALVANIZED STEEL OR ALUMINUM OF THE THICKNESS SPECIFIED IN THE MECHANICAL PROVISIONS OF THIS CODE AND THE
FIRE-RESISTANCE RATING IS MAINTAINED IN ACCORDANCE WITH THIS CODE. FIRE DAMPERS SHALL NOT BE INSTALLED IN CLOTHES DRYER EXHAUST DUCT SYSTEMS.

G2439.3 (614.4) EXHAUST INSTALLATION. EXHAUST DUCTS FOR CLOTHES DRYERS SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW. CLOTHES DRYER EXHAUST DUCTS SHALL NOT BE CONNECTED TO A VENT CONNECTOR, VENT OR CHIMNEY. CLOTHES DRYER EXHAUST DUCTS SHALL NOT EXTEND INTO OR THROUGH DUCTS OR PLENUMS.



PROPOSED HOME - ROADSIDE VIEW



PROPOSED HOME - LAKESIDE YIEW

BUILDING AREA:	
FLOOR 1:	1544 SQ. FT.
FLOOR 2:	1134 SQ. FT.
TOTAL:	267 8 SQ. FT.
GARAGE:	480 SQ. FT.

LI H	DAIE		
	NO. DESCRIPTION		

ISOMETRIC VIEWS AND NOTES

NEW HOME

CLEARWATER STREET

dge Development LLC ike, MI 48383 k House

OakBrid White Lak www.Oak

10.07.2021

PAPER:

Size: ARCH D

A-1

FRAMING NOTES:

SECTION R502 - WOOD FLOOR FRAMING

R502.1 GENERAL. WOOD AND WOOD-BASED PRODUCTS USED FOR LOAD-SUPPORTING PURPOSES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THIS SECTION.

R502.1.2 PREFABRICATED WOOD I-JOISTS. STRUCTURAL CAPACITIES AND DESIGN PROVISIONS FOR PREFABRICATED WOOD I-JOISTS SHALL BE ESTABLISHED AND MONITORED IN ACCORDANCE WITH ASTM D5055.

R502.1.3 STRUCTURAL GLUED LAMINATED TIMBERS. GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN ANSI/AITC A190.1 AND ASTM D3737. R502.1.5 STRUCTURAL COMPOSITE LUMBER. STRUCTURAL CAPACITIES FOR STRUCTURAL COMPOSITE LUMBER SHALL BE ESTABLISHED AND MONITORED IN ACCORDANCE WITH ASTM D5456.

R502.1.6 CROSS-LAMINATED TIMBER. CROSS-LAMINATED TIMBER SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED BY ANSI/APA PRG 320.

R502.1.7 ENGINEERED WOOD RIM BOARD. ENGINEERED WOOD RIM BOARDS SHALL CONFORM TO ANSI/APA PRR 410 OR SHALL BE EVALUATED IN ACCORDANCE WITH ASTM D7672. STRUCTURAL CAPACITIES SHALL BE IN ACCORDANCE WITH ANSI/APA PRR 410 OR ESTABLISHED IN ACCORDANCE WITH ASTM D7672.

R502.2 DESIGN AND CONSTRUCTION. FLOORS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER, FIGURE R502.2 AND SECTIONS R317 AND R318 OR IN ACCORDANCE WITH ANSI AWC NDS.

R502.3 ALLOWABLE JOIST SPANS. SPANS FOR FLOOR JOISTS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1) AND R502.3.1(2). FOR OTHER GRADES AND SPECIES AND FOR OTHER LOADING CONDITIONS, REFER TO THE AWC STJR. R502.4 JOISTS UNDER BEARING PARTITIONS. JOISTS UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD. DOUBLE JOISTS, SIZED TO ADEQUATELY SUPPORT THE LOAD, THAT ARE SEPARATED TO PERMIT THE INSTALLATION OF PIPING OR VENTS SHALL BE FULL DEPTH SOLID BLOCKED WITH LUMBER NOT LESS THAN 2 INCHES (51 MM) IN NOMINAL THICKNESS SPACED NOT MORE THAN 4 FEET (1219 MM) ON CENTER. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH UNLESS SUCH JOISTS ARE OF SUFFICIENT SIZE TO CARRY THE ADDITIONAL LOAD.

R502.5 ALLOWABLE GIRDER AND HEADER SPANS. THE ALLOWABLE SPANS OF GIRDERS AND HEADERS FABRICATED OF DIMENSION LUMBER SHALL NOT EXCEED THE VALUES SET FORTH IN TABLES R602.7(1), R602.7(2) AND R602.7(3). R502.6 BEARING. THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 11/2 INCHES (38 MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76 MM) ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED ON A 1-

INCH BY 4-INCH (25 MM BY 102 MM) RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS. THE BEARING ON MASONRY OR CONCRETE SHALL BE DIRECT, OR A SILL PLATE OF 2-INCH-MINIMUM (51 MM) NOMINAL THICKNESS SHALL BE PROVIDED UNDER THE JOIST, BEAM OR GIRDER.

R502.7 LATERAL RESTRAINT AT SUPPORTS. JOISTS SHALL BE SUPPORTED LATERALLY AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2 INCHES (51 MM) NOMINAL IN THICKNESS; OR BY ATTACHMENT TO A FULL-DEPTH HEADER, BAND OR RIM JOIST, OR TO AN ADJOINING STUD OR SHALL BE OTHERWISE PROVIDED WITH LATERAL SUPPORT TO PREVENT ROTATION. EXCEPTIONS: 1. TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUED-LAMINATED MEMBERS AND I-JOISTS SHALL BE SUPPORTED LATERALLY AS REQUIRED BY THE MANUFACTURER'S RECOMMENDATIONS

R502.9 FASTENING. FLOOR FRAMING SHALL BE NAILED IN ACCORDANCE WITH TABLE R602.3(1). WHERE POSTS AND BEAM OR GIRDER CONSTRUCTION IS USED TO SUPPORT FLOOR FRAMING, POSITIVE CONNECTIONS SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT

R502.10 FRAMING OF OPENINGS. OPENINGS IN FLOOR FRAMING SHALL BE FRAMED WITH A HEADER AND TRIMMER JOISTS. WHERE THE HEADER JOIST SPAN DOES NOT EXCEED 4 FEET (1219 MM), THE HEADER JOIST SHALL BE A SINGLE MEMBER THE SAME SIZE AS THE FLOOR JOIST. SINGLE TRIMMER JOISTS SHALL BE USED TO CARRY A SINGLE HEADER JOIST THAT IS LOCATED WITHIN 3 FEET (914 MM) OF THE TRIMMER JOIST BEARING. WHERE THE HEADER JOIST SPAN EXCEEDS 4 FEET (1219 MM), THE TRIMMER JOISTS AND THE HEADER JOIST SHALL BE DOUBLED AND OF SUFFICIENT CROSS SECTION TO SUPPORT THE FLOOR JOISTS FRAMING INTO THE HEADER.

R502.11 WOOD TRUSSES. R502.11.1 DESIGN. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI/ TPI 1. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL WHERE REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R106.1. R502.11.2 BRACING. TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS

R502.11.4 TRUSS DESIGN DRAWINGS. TRUSS DESIGN DRAWINGS, PREPARED IN COMPLIANCE WITH SECTION R502.11.1, SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION.

R502.12 DRAFTSTOPPING REQUIRED. DRAFTSTOPPING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R302.12. R502.13 FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R302.11

SECTION R503 - FLOOR SHEATHING

R503.1 LUMBER SHEATHING. MAXIMUM ALLOWABLE SPANS FOR LUMBER USED AS FLOOR SHEATHING SHALL CONFORM TO TABLES R503.1, R503.2.1.1(1) AND R503.2.1.1(2).

SECTION R602 - WOOD WALL FRAMING

R602.1 GENERAL. WOOD AND WOOD-BASED PRODUCTS USED FOR LOAD-SUPPORTING PURPOSES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THIS SECTION.

R602.2 GRADE. STUDS SHALL BE A MINIMUM NO. 3, STANDARD OR STUD GRADE LUMBER.

R602.3 DESIGN AND CONSTRUCTION. EXTERIOR WALLS OF WOOD-FRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AMC NDS. COMPONENTS OF EXTERIOR MALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3(3). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. NOTE: FASTENING SCHEDULE MUST BE ADHERED TO BY FRAMING

R602.4 INTERIOR LOAD-BEARING WALLS. INTERIOR LOAD-BEARING WALLS SHALL BE CONSTRUCTED, FRAMED AND FIRE-BLOCKED AS SPECIFIED FOR EXTERIOR WALLS.

R602.7.2 RIM BOARD HEADERS. RIM BOARD HEADER SIZE, MATERIAL AND SPAN SHALL BE IN ACCORDANCE WITH TABLE R602.7(1). RIM BOARD HEADERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIGURE R602.7.2 AND SHALL BE SUPPORTED AT

R602.7.5 SUPPORTS FOR HEADERS. HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE R602.7(1) OR R602.7(2). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS (3.5 INCHES × 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HEADER SHALL BE IN ACCORDANCE WITH TABLE

R602.8 FIREBLOCKING REQUIRED. FIREBLOCKING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R302.11.

R602.9 CRIPPLE WALLS. CRIPPLE WALLS WITH A STUD HEIGHT LESS THAN 14 INCHES (356 MM) SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE WITH WOOD STRUCTURAL PANELS FASTENED TO BOTH THE TOP AND BOTTOM PLATES IN ACCORDANCE WITH TABLE R602.3(1), OR THE CRIPPLE WALLS SHALL BE CONSTRUCTED OF SOLID BLOCKING.

R802.10.1 TRUSS DESIGN DRAWINGS. TRUSS DESIGN DRAWINGS, PREPARED IN CONFORMANCE WITH SECTION R802.10.1, SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION. THE TRUSS DESIGN DATA SHEET, FIGURE R802.10.1, MAY BE PROVIDED TO THE BUILDING OFFICIAL AT THE TIME OF PERMIT APPLICATION, AS AN ALTERNATIVE TO DESIGN DRAWINGS AS PERMITTED IN SECTION R106.1.4.

R802.10.2 DESIGN. WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI/TPI 1. THE TRUSS DESIGN

DRAWINGS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL WHERE REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R106.1. R802.10.3 BRACING. TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE SUCH AS THE SBCA BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO

GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES. R802.10.4 ALTERATIONS TO TRUSSES. TRUSS MEMBERS SHALL NOT BE CUT, NOTCHED, DRILLED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL

R802.11 ROOF TIE-DOWN.

R802.11.1 UPLIFT RESISTANCE. ROOF ASSEMBLIES SHALL HAVE UPLIFT RESISTANCE IN ACCORDANCE WITH SECTIONS R802.11.1.1 AND R802.11.1.2. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

SECTION R803 - ROOF SHEATHING

R803.1 LUMBER SHEATHING. ALLOWABLE SPANS FOR LUMBER USED AS ROOF SHEATHING SHALL CONFORM TO TABLE R803.1. SPACED LUMBER SHEATHING FOR WOOD SHINGLE AND SHAKE ROOFING SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS R905.7 AND R905.8. SPACED LUMBER SHEATHING IS NOT ALLOWED IN SEISMIC DESIGN CATEGORY D2.

SECTION R807 - ATTIC ACCESS

R807.1 ATTIC ACCESS. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET (2.8 M2). THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. SEE SECTION M1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS.

SECTION R703 - EXTERIOR COVERING

R703.1 GENERAL. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AS DESCRIBED IN SECTION R703.4.

R703.1.1 WATER RESISTANCE. THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED BY SECTION R703.2 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R702.7 OF THIS CODE.

R703.1.2 WIND RESISTANCE. WALL COVERINGS, BACKING MATERIALS AND THEIR ATTACHMENTS SHALL BE CAPABLE OF RESISTING WIND LOADS IN ACCORDANCE WITH TABLES R301.2(2) AND R301.2(3). WIND-PRESSURE RESISTANCE OF THE SIDING AND BACKING MATERIALS SHALL BE DETERMINED BY ASTM E330 OR OTHER APPLICABLE STANDARD TEST METHODS. WHERE WIND-PRESSURE RESISTANCE IS DETERMINED BY DESIGN ANALYSIS, DATA FROM APPROVED DESIGN STANDARDS AND ANALYSIS CONFORMING TO GENERALLY ACCEPTED ENGINEERING PRACTICE SHALL BE USED TO EVALUATE THE SIDING AND BACKING MATERIAL AND ITS FASTENING

R703.2 WATER-RESISTIVE BARRIER. ONE LAYER OF NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES (51 MM). WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN 6 INCHES (152 MM). THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE AS DESCRIBED IN SECTION R703.1. THE WATER-RESISTIVE BARRIER IS NOT REQUIRED FOR DETACHED ACCESSORY BUILDINGS.

R703.3 NOMINAL THICKNESS AND ATTACHMENTS. THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH TABLE R703.3(1), THE WALL COVERING MATERIAL REQUIREMENTS OF THIS SECTION, AND THE WALL COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS. CLADDING ATTACHMENT OVER FOAM SHEATHING SHALL COMPLY WITH THE ADDITIONAL REQUIREMENTS AND LIMITATIONS OF SECTIONS R703.15 THROUGH R703.17. FASTENERS FOR EXTERIOR WALL COVERINGS ATTACHED TO WOOD FRAMING SHALL BE IN ACCORDANCE WITH SECTION R703.3.2 AND TABLE R703.3(1). TABLE R703.3(1) USING SCREW FASTENERS SUBSTITUTED FOR THE NAILS SPECIFIED IN ACCORDANCE WITH

R703.4 FLASHING. APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS, SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH AAMA 714. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER COMPLYING WITH SECTION 103.2 FOR SUBSEQUENT DRAINAGE. MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING: 1.1. THE FENESTRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE FENESTRATION MANUFACTURER'S INSTRUCTIONS, IN ACCORDANCE WITH THE FLASHING MANUFACTURER'S INSTRUCTIONS. WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE SILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATERRESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES.

1.2. IN ACCORDANCE WITH THE FLASHING DESIGN OR METHOD OF A REGISTERED DESIGN PROFESSIONAL.

1.3. IN ACCORDANCE WITH OTHER APPROVED METHODS. 2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. 4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.

6. AT WALL AND ROOF INTERSECTIONS.

7. AT BUILT-IN GUTTERS.

R703.5 WOOD, HARDBOARD AND WOOD STRUCTURAL PANEL SIDING. WOOD, HARDBOARD, AND WOOD STRUCTURAL PANEL SIDING SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND TABLE R703.3. HARDBOARD SIDING SHALL COMPLY WITH CPA/ANSI A135.6. HARDBOARD SIDING USED AS ARCHITECTURAL TRIM SHALL COMPLY WITH CPA/ANSI A 135.7.

R703.5.1 VERTICAL WOOD SIDING. WOOD SIDING APPLIED VERTICALLY SHALL BE NAILED TO HORIZONTAL NAILING STRIPS OR BLOCKING SET NOT MORE THAN 24 INCHES (610 MM) ON CENTER.

R703.5.2 PANEL SIDING. 3/8-INCH (9.5 MM) WOOD STRUCTURAL PANEL SIDING SHALL NOT BE APPLIED DIRECTLY TO STUDS SPACED MORE THAN 16 INCHES (406 MM) ON CENTER WHERE LONG DIMENSION IS PARALLEL TO STUDS. WOOD STRUCTURAL PANEL SIDING 7/16 INCH (11.1 MM) OR THINNER SHALL NOT BE APPLIED DIRECTLY TO STUDS SPACED MORE THAN 24 INCHES (610 MM) ON CENTER. THE STUD SPACING SHALL NOT EXCEED THE PANEL SPAN RATING PROVIDED BY THE MANUFACTURER UNLESS THE PANELS ARE INSTALLED WITH THE FACE GRAIN PERPENDICULAR TO THE STUDS OR OVER SHEATHING APPROVED FOR THAT STUD SPACING. JOINTS IN WOOD, HARDBOARD OR WOOD STRUCTURAL PANEL SIDING SHALL BE MADE AS FOLLOWS UNLESS OTHERWISE APPROVED. VERTICAL JOINTS IN PANEL SIDING SHALL OCCUR OVER FRAMING MEMBERS, UNLESS WOOD OR WOOD STRUCTURAL PANEL SHEATHING IS USED, AND SHALL BE SHIPLAPPED OR COVERED WITH A BATTEN. HORIZONTAL JOINTS IN PANEL SIDING SHALL BE LAPPED NOT LESS

THAN 1 INCH (25 MM) OR SHALL BE SHIPLAPPED OR FLASHED WITH Z-FLASHING AND OCCUR OVER SOLID BLOCKING, WOOD OR WOOD STRUCTURAL PANEL SHEATHING.

R703.5.3 HORIZONTAL WOOD SIDING. HORIZONTAL LAP SIDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE THERE ARE NO RECOMMENDATIONS THE SIDING SHALL BE LAPPED NOT LESS THAN 1 INCH (25 MM), OR 1/2 INCH (12.7 MM) IF RABBETED, AND SHALL HAVE THE ENDS CAULKED, COVERED WITH A BATTEN OR SEALED AND INSTALLED OVER A STRIP OF FLASHING.

WINDOWS/DOORS/EGRESS

SECTION R303 - LIGHT, VENTILATION AND HEATING R303.1 HABITABLE ROOMS. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN & PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS

OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

WINDOW NOTES AND FALL PROTECTION

R312.1 GUARDS. GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1.1 THROUGH R312.1.4.

R312.2 WINDOW FALL PROTECTION. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 WINDOW SILLS AND R312.2.2 WINDOW OPENING CONTROL DEVICES.

SECTION R308 - GLAZING MUST ADHERE TO; R308.4.5 GLAZING AND WET SURFACES, R308.4.6 GLAZING ADJACENT TO STAIRS AND RAMPS, AND R308.4.7 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.

SECTION R310 -EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.2.1 MINIMUM OPENING AREA. EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND

THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM). EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQUARE FEET (0.465 M2). R310.2.2 WINDOW SILL HEIGHT. WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW

GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3. R310.2.3 WINDOW WELLS. THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 9 SQUARE FEET (0.9 M2), WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES (914 MM). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED. MUST ADHERE TO SECTION R310.2.3.1 LADDER AND STEPS.

R311.1 MEANS OF EGRESS. DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAYEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAYEL THROUGH A GARAGE.

R311.2 DOOR TYPE AND SIZE. THE REQUIRED EXIT DOOR SHALL BE A SIDE-HINGED DOOR NOT LESS THAN 3 FEET (914 MM) IN WIDTH AND 6 FEET, 8 INCHES (2032 MM) IN HEIGHT. R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.

R311.6 HALLWAYS. THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM).

R312.2 WINDOW FALL PROTECTION.

SECTION N1104 - ELECTRICAL POWER AND LIGHTING SYSTEMS (MANDATORY) N1104.1 (R404.1) LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MINIMUM OF 75 PERCENT OF THE PERMANENTLY INSTALLED

LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. N1104.1.1 (R404.1.1) LIGHTING EQUIPMENT (MANDATORY). FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.

SECTION G2410 (309) ELECTRICAL

62410.1 (309.1) GROUNDING. GAS PIPING SHALL NOT BE USED AS A GROUNDING ELECTRODE.

62410.2 (309.2) CONNECTIONS. ELECTRICAL CONNECTIONS BETWEEN APPLIANCES AND THE BUILDING WIRING, INCLUDING THE GROUNDING OF THE APPLIANCES, SHALL CONFORM TO CHAPTERS 34 THROUGH 43.

SECTION G2411 (310)

62411.1 (310.1) PIPE AND TUBING OTHER THAN CSST. EACH ABOVE-GROUND PORTION OF A GAS PIPING SYSTEM OTHER THAN CORRUGATED STAINLESS STEEL TUBING (CSST) THAT IS LIKELY TO BECOME ENERGIZED SHALL BE ELECTRICALLY CONTINUOUS AND BONDED TO AN EFFECTIVE GROUND-FAULT CURRENT PATH. GAS PIPING OTHER THAN CSST SHALL BE CONSIDERED TO BE BONDED WHERE IT IS CONNECTED TO APPLIANCES THAT ARE CONNECTED TO THE EQUIPMENT GROUNDING CONDUCTOR OF THE CIRCUIT SUPPLYING THAT APPLIANCE.

SECTION E3901

RECEPTACLE OUTLETS E3901.1 GENERAL. OUTLETS FOR RECEPTACLES RATED AT 125 VOLTS, 15- AND 20-AMPERES SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS E3901.2 THROUGH E3901.11. RECEPTACLE OUTLETS REQUIRED BY THIS SECTION SHALL BE IN ADDITION

- TO ANY RECEPTACLE THAT IS: 1 PART OF A LUMINAIRE OR APPLIANCE;
- 2 LOCATED WITHIN CABINETS OR CUPBOARDS;

3 CONTROLLED BY A WALL SWITCH IN ACCORDANCE WITH SECTION E3903.2, EXCEPTION 1; OR

4. LOCATED OVER 5.5 FEET (1676 MM) ABOVE THE FLOOR.

GROUND-FAULT AND ARC-FAULT CIRCUIT INTERRUPTER PROTECTION

E3902.1 BATHROOM RECEPTACLES. 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(1)] E3902.2 GARAGE AND ACCESSORY BUILDING RECEPTACLES. 125-VOLT, SINGLE-PHASE, 15- OR 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND GRADE-LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS SHALL HAVE GROUNDFAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(2)]

E3902.3 OUTDOOR RECEPTACLES. 125-VOLT, SINGLE-PHASE, 15- AN 20-AMPERE RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(3)]

EXCEPTION: RECEPTACLES AS COVERED IN SECTION E4101.7. [210.8(A)(3) EXCEPTION]

E3902.5 UNFINISHED BASEMENT RECEPTACLES. 125-VOLT, SINGLEPHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN UNFINISHED BASEMENTS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. FOR PURPOSES OF THIS SECTION, UNFINISHED BASEMENTS ARE DEFINED AS PORTIONS OR AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND SIMILAR AREAS. [210.8(A)(5)] EXCEPTION: A RECEPTACLE SUPPLYING ONLY A PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM. RECEPTACLES INSTALLED IN ACCORDANCE WITH THIS EXCEPTION SHALL NOT BE CONSIDERED AS MEETING THE REQUIREMENT OF

E3902.6 KITCHEN RECEPTACLES. 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(6)]

E3402.7 SINK RECEPTACLES. 125-YOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET (1829 MM) OF THE OUTSIDE EDGE OF A SINK SHALL HAVE GROUND-FAULT CIRCUIT- INTERRUPTER PROTECTION FOR PERSONNEL. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. [210.8(A)(7)]

E3902.8 BATHTUB OR SHOWER STALL RECEPTACLES. 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET (1829 MM) OF THE OUTSIDE EDGE OF A BATHTUB OR SHOWER STALL SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(8)]

E3902.9 LAUNDRY AREAS. 125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES INSTALLED IN LAUNDRY AREAS SHALL HAVE GROUNDFAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(9)] E3902.10 KITCHEN DISHWASHER BRANCH CIRCUIT. GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS IN DWELLING UNIT LOCATIONS. [210.8(D)] E3902.13 ELECTRICALLY HEATED FLOORS. GROUND-FAULT CIRCUITINTERRUPTER PROTECTION FOR PERSONNEL SHALL BE PROVIDED FOR ELECTRICALLY HEATED FLOORS IN BATHROOMS, KITCHENS AND IN HYDROMASSAGE BATHTUB, SPA AND HOT

TUB LOCATIONS. [424.44(G)] E3902.14 LOCATION OF GROUND-FAULT CIRCUIT INTERRUPTERS. GROUND-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION. [210.8(A)]

CONCRETE-ENCASED ELECTRODE

MUST CONSIST OF AT LEAST 20 FT OF EITHER OF THE FOLLOWING [250.52(A)(3)]

1) ONE OR MORE OF BARE, ZING-GALVANIZED, OR OTHERWISE ELECTRICALLY CONDUCTIVE STEEL REINFORCING BARS OF NOT LESS THAN ½ IN. DIAMETER, MECHANICALLY CONNECTED TOGETHER BY STEEL TIE WIRES, WELDING, OR OTHER EFFECTIVE MEANS, TO CREATE A 20 FT OR GREATER LENGTH. 2) BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AMG. [250.66(B)]

THE REINFORCING BARS OR BARE COPPER CONDUCTOR MUST BE ENCASED BY AT LEAST 2 IN. OF CONCRETE LOCATED HORIZONTALLY NEAR THE BOTTOM OF A CONCRETE FOOTING OR VERTICALLY WITHIN A CONCRETE FOUNDATION THAT'S IN DIRECT CONTACT WITH THE EARTH. IF MULTIPLE CONCRETE-ENCASED ELECTRODES ARE PRESENT AT A BUILDING/STRUCTURE, ONLY ONE IS REQUIRED TO SERVE AS A GROUNDING ELECTRODE.

CONCRETE CONTAINING INSULATION, VAPOR BARRIERS, FILMS, OR SIMILAR ITEMS SEPARATING IT FROM THE EARTH ISN'T CONSIDERED TO BE IN "DIRECT CONTACT" WITH THE EARTH.

ELECTRICAL NOTES:

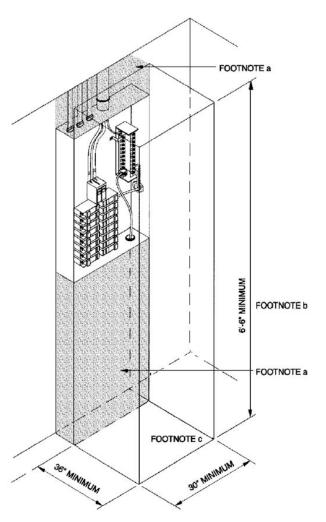
1 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS. 2 PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL

WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS. 3 CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.

4 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.

5 FIXTURES TO BE SELECTED BY HOME OWNER.

DATA / CABLE: LOCATION OF SECURITY PANELS & CABLE TO BE APPROVED BY HOME OWNER.



BRANCH-CIRCUIT REQUIREMENTS-SUMMARY^{a, 1} CIRCUIT RATING 20 amp 30 amp Minimum size (AWG) 12 circuit conductors Aaximum overcurrent 20 30 protection device rating Ampere rating Outlet devices:

TABLE E3702.14 (Table 210.24)

a. These gages are for copper conductors. b. N/A means not allowed.

FOOTNOTE FOR ELECTRICAL IMAGE:

Lampholders permitted

Receptacle rating (amperes)

Maximum load (amperes)

FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM.

A. EQUIPMENT, PIPING AND DUCTS FOREIGN TO THE ELECTRICAL INSTALLATION SHALL NOT BE PLACED IN THE SHADED AREAS EXTENDING FROM THE FLOOR TO A HEIGHT OF 6 FEET ABOVE THE PANELBOARD ENGLOSURE, OR TO THE STRUCTURAL CEILING, WHICHEVER IS LOWER. B. THE WORKING SPACE SHALL BE CLEAR AND UNOBSTRUCTED FROM THE FLOOR TO A HEIGHT OF

Any type 15 | Any type | N/A

maximum | 15 or 20 | 30

6.5 FEET OR THE HEIGHT OF THE EQUIPMENT, WHICHEVER IS GREATER. C. THE WORKING SPACE SHALL NOT BE DESIGNATED FOR STORAGE. D. PANELBOARDS, SERVICE EQUIPMENT AND SIMILAR ENCLOSURES SHALL NOT BE LOCATED IN

BATHROOMS, TOILET ROOMS, CLOTHES CLOSETS OR OVER THE STEPS OF A STAIRWAY. E. SUCH WORK SPACES SHALL BE PROVIDED WITH ARTIFICIAL LIGHTING WHERE LOCATED INDOORS AND SHALL NOT BE CONTROLLED BY AUTOMATIC MEANS ONLY.

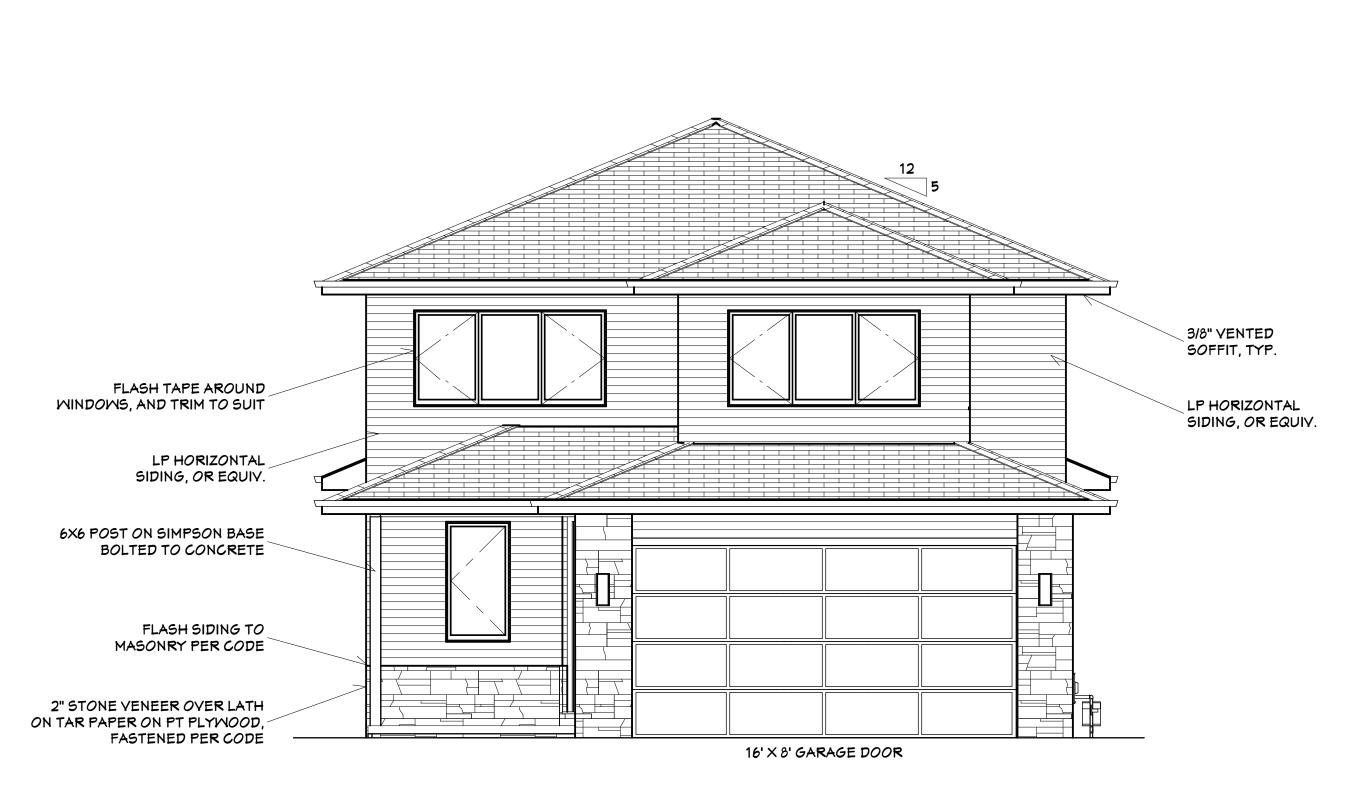
OakBridge I
White Lake, M

DATE: 10.07.2021

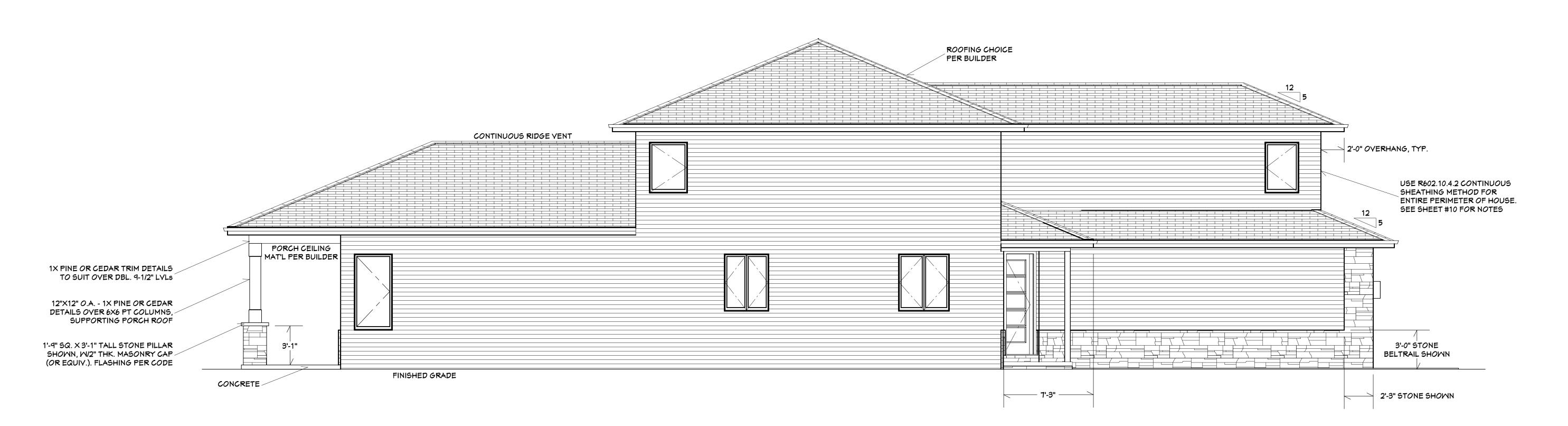
PAPER:

Size: ARCH D

SHEET:



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

NO. DESCRIPTION DATE

SHEET TITLE:
FRONT AND LEFT SIDE
ELEVATIONS

NEW HOME
CLEARWATER STREET

DRAWINGS PROVIDED BY:

OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House

DATE:

PAPER:

10.07.2021

Size: ARCH D

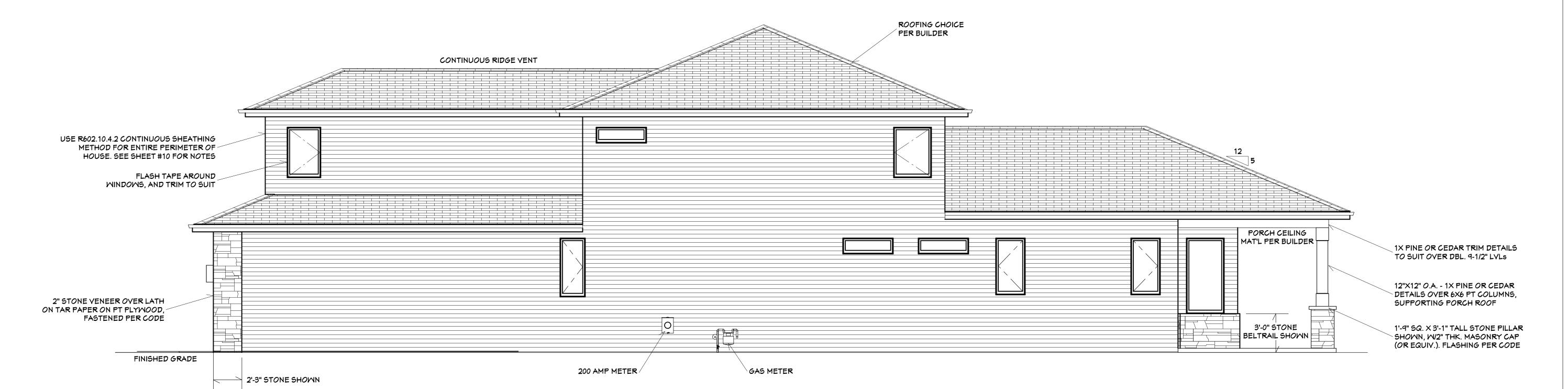
A-3

SHEET:



REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

NO. DESCRIPTION DATE

SHEET TITLE:
REAR AND RIGHT SIDE
ELEVATIONS

CT DESCRIPTION:

NEW HOME

CLEARWATER STREET

INGS PROVIDED BY:

Bridge Development LLC

Refer, MI 48383

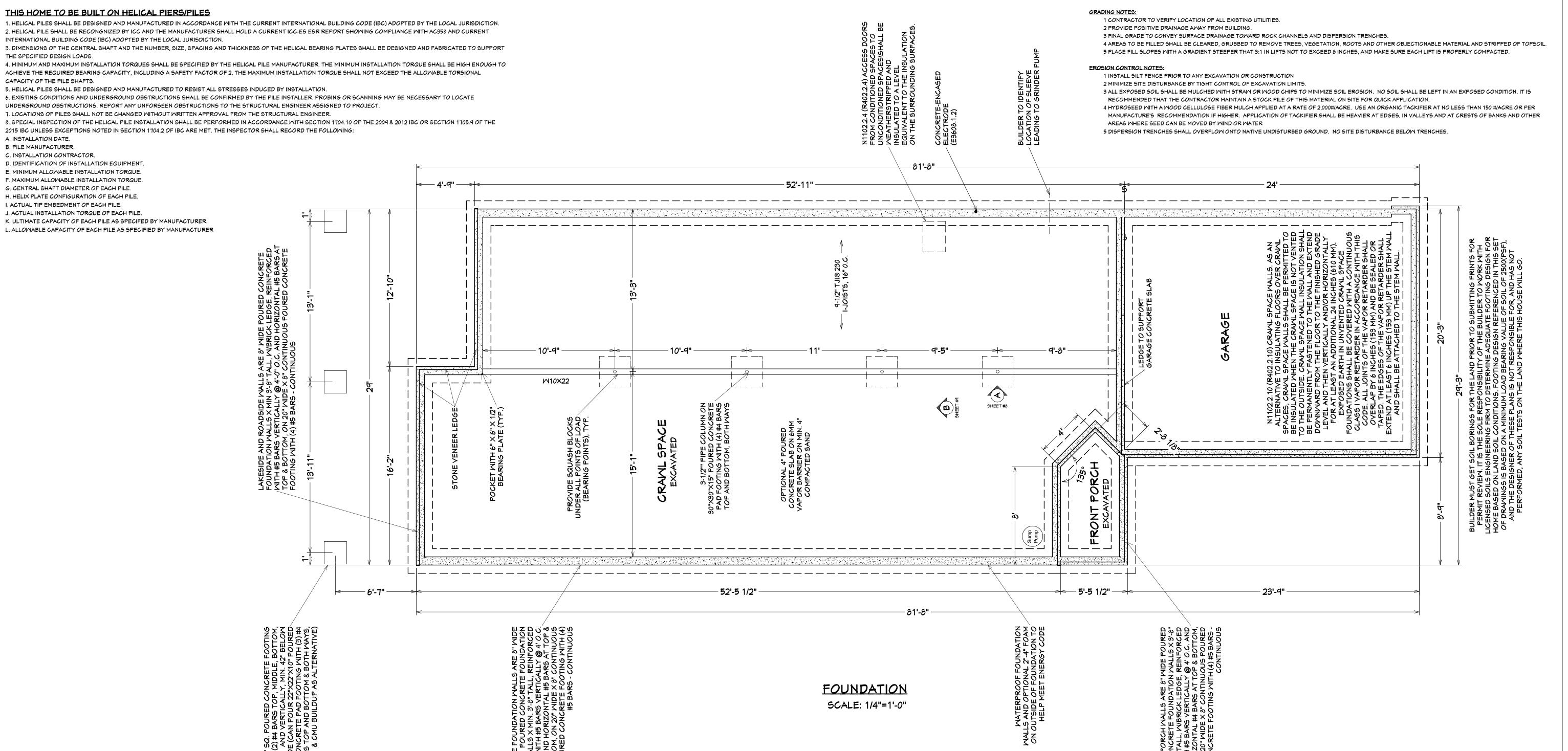
DATE:

10.07.2021

Size: ARCH D

PAPER:

SHEET: **A-4**



FOUNDATION NOTES:

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES. INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME. * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

R401.2 REQUIREMENTS. FOUNDATION CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IN ACCORDANCE WITH SECTION R301 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING SOIL. FILL SOILS THAT SUPPORT FOOTINGS AND FOUNDATIONS SHALL BE DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. GRAVEL FILL USED AS FOOTINGS FOR WOOD AND PRECAST CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION R403.

R401.4 SOIL TESTS. 2015 MICHIGAN RESIDENTIAL CODE STATES: WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

THIS HOME DESIGN STATES: IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO WORK WITH LICENSED SOILS ENGINEERING FIRM TO DETERMINE ADEQUATE FOOTING DESIGN FOR HOME BASED ON LAND SOIL CONDITIONS. FOOTING DESIGN REFERENCED IN THIS SET OF DRAWINGS IS BASED ON A MINIMUM LOAD BEARING VALUE OF SOIL OF 2500(PSF), AND THE DESIGNER OF THESE PLANS IS NOT RESPONSIBLE FOR, AND HAS NOT PERFORMED, ANY SOIL TESTS ON THE LAND WHERE THIS HOUSE WILL GO.

SECTION R403 - FOOTINGS

R403.1 GENERAL. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS, CRUSHED STONE FOOTINGS, WOOD FOUNDATIONS, OR OTHER APPROVED STRUCTURAL SYSTEMS WHICH SHALL BE OF SUFFICIENT DESIGN TO ACCOMMODATE ALL LOADS ACCORDING TO SECTION R301 AND TO TRANSMIT THE RESULTING LOADS TO THE SOIL WITHIN THE LIMITATIONS AS DETERMINED FROM THE CHARACTER OF THE SOIL. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL. CONCRETE FOOTING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R403 OR IN ACCORDANCE WITH ACI

R403.1.6 FOUNDATION ANCHORAGE. WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION. WOOD SOLE PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCHDIAMETER (12.7 MM) ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET (1829 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH-DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND A MINIMUM OF 7 INCHES (178 MM) INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318.

FOUNDATION NOTES:

SECTION R404 - FOUNDATION AND RETAINING WALLS

R404.1 CONCRETE AND MASONRY FOUNDATION WALLS. CONCRETE FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404.1.3. MASONRY FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404.1.2. R404.1.3 CONCRETE FOUNDATION WALLS. CONCRETE FOUNDATION WALLS THAT SUPPORT LIGHT-FRAME WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION, ACI 318, ACI 332 OR PCA 100.

R404.1.3.1 CONCRETE CROSS-SECTION. CONCRETE WALLS CONSTRUCTED IN ACCORDANCE WITH THIS CODE SHALL COMPLY WITH THE SHAPES AND MINIMUM CONCRETE CROSS-SECTIONAL DIMENSIONS REQUIRED BY TABLE R608.3. OTHER TYPES OF FORMING SYSTEMS RESULTING IN CONCRETE WALLS NOT IN COMPLIANCE WITH THIS SECTION AND TABLE R608.3 SHALL BE DESIGNED IN ACCORDANCE WITH ACI 318. R404.1.3.2 REINFORCEMENT FOR FOUNDATION WALLS.

CONCRETE FOUNDATION WALLS SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R404.1.2(1). VERTICAL REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R404.1.2(2), R404.1.2(3), R404.1.2(4), R404.1.2(5), R404.1.2(6), R404.1.2(6), R404.1.2(7) OR R404.1.2(8). VERTICAL REINFORCEMENT FOR FLAT BASEMENT WALLS RETAINING 4 FEET (1219 MM) OR MORE OF UNBALANCED BACKFILL IS PERMITTED TO BE DETERMINED IN ACCORDANCE WITH TABLE R404.1.2(9).

R404.1.3.3.7.1 STEEL REINFORCEMENT. STEEL REINFORCEMENT SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, A706, OR A996. ASTM A996 BARS PRODUCED FROM RAIL STEEL SHALL BE TYPE R. R404.1.3.3.7.2 LOCATION OF REINFORCEMENT IN WALL. THE CENTER OF VERTICAL REINFORCEMENT IN BASEMENT WALLS DETERMINED FROM TABLES R404.1.2(2) THROUGH R404.1.2(7) SHALL BE LOCATED AT THE CENTERLINE OF THE WALL. VERTICAL REINFORCEMENT IN BASEMENT WALLS DETERMINED FROM TABLE R404.1.2(8) SHALL BE LOCATED TO PROVIDE A MAXIMUM COVER OF 11/4 INCHES (32 MM) MEASURED FROM THE INSIDE FACE OF THE WALL. REGARDLESS OF THE TABLE USED TO DETERMINE VERTICAL WALL REINFORCEMENT, THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS AND 3/8 INCH (10 MM). HORIZONTAL AND VERTICAL REINFORCEMENT SHALL BE LOCATED IN FOUNDATION WALLS TO PROVIDE THE MINIMUM COVER REQUIRED BY SECTION R404.1.3.3.7.4.

R404.1.6 HEIGHT ABOVE FINISHED GRADE. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES (102 MM) WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES (152 MM) ELSEWHERE. R404.1.7 BACKFILL PLACEMENT. BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY

THE BACKFILL. NOTE: GARAGE POURED WALLS SHALL ONLY BE BACKFILLED UP TO 9'-0" (WITH SUFFICIENT BRACING) PRIOR TO 100% COMPLETE INSTALLATION AND TIE-IN OF KERKSTA PRECAST INC FLOOR PANEL INSTALLATION BY KERKSTA PRECAST INC.

SECTION R405 - FOUNDATION DRAINAGE

R405.1 CONCRETE OR MASONRY FOUNDATIONS. DRAINS SHALL BE PROVIDED AROUND CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAYEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.

SECTION R406 - FOUNDATION WATERPROOFING AND DAMPPROOFING

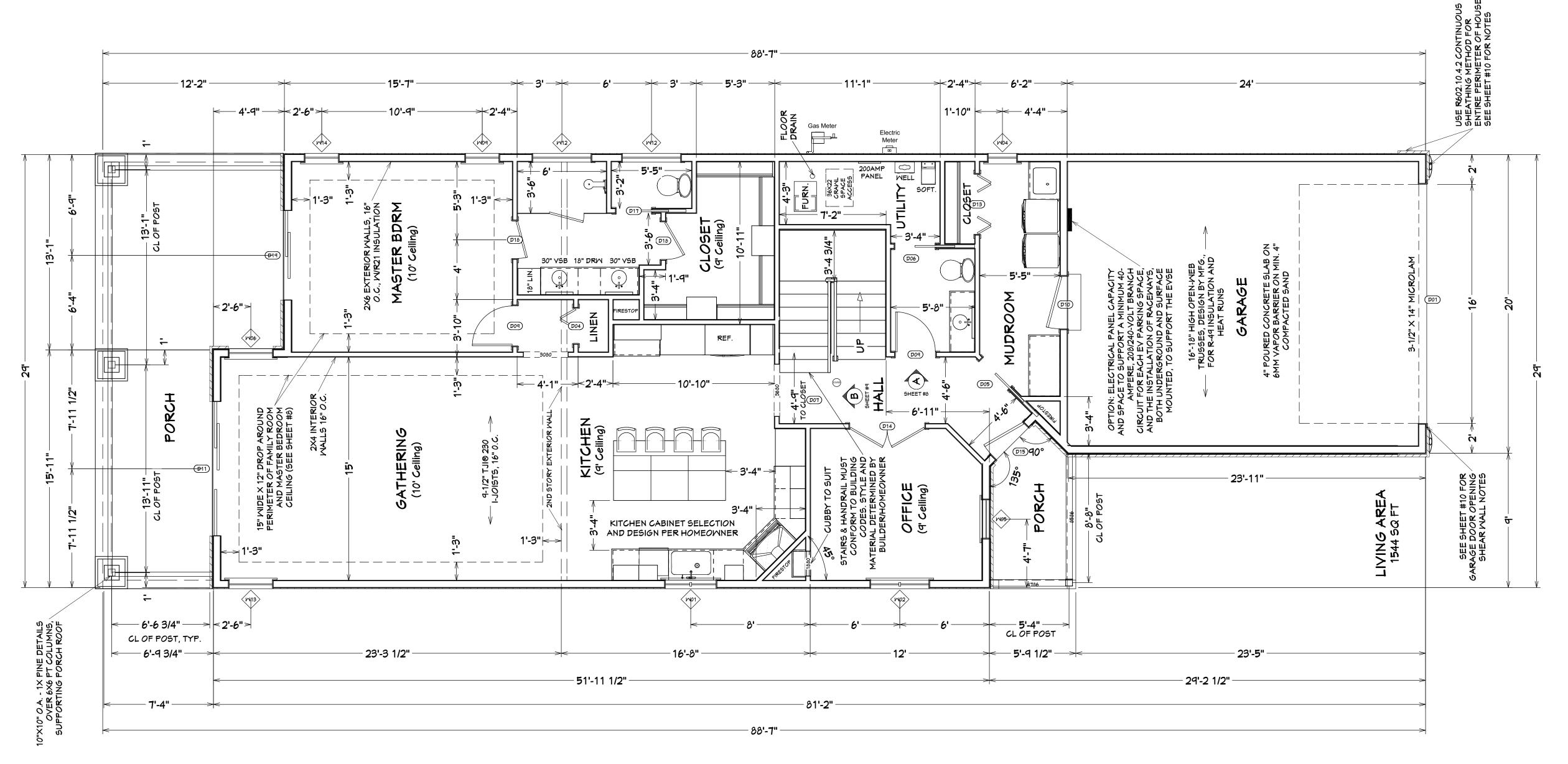
R406.1 CONCRETE AND MASONRY FOUNDATION DAMP-PROOFING. EXCEPT WHERE REQUIRED BY SECTION R406.2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE

R406.2 CONCRETE AND MASONRY FOUNDATION WATERPROOFING. IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED.

DATE: 10.07.2021

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Size: ARCH D



1ST FLOOR SCALE: 1/4"=1'-0"

WINDOW AND DOOR SCHEDULES SHOULD ONLY BE USED FOR REFERENCE, WITH FINAL SELECTIONS, AND RELATED R/Os DETERMINED BY THE BUILDER, HOMEOWNER, AND SUPPLIER. ALL FIRST FLOOR WINDOW/DOOR TOP OF UNIT IS 96", AND ALL 2ND STORY WINDOW/DOOR TOP OF UNIT IS 80"

						OOR SCHEDULE		
NUMBER	LABEL	QTY	SIZE	MIDTH	HEIGHT	R/0	DESCRIPTION	HEADER
D01	16080	1	16080	192 "	96 "	196"X99"	GARAGE DOOR	1 3/4×14×202" (2)
D02	5468	1	5468 L/R	64 "	80 "	66"X82 1/2"	4 DR. BIFOLD-DOOR P11	2×8×69" (2)
D03	2868	2	2868 R IN	32 "	80 "	34"X82 1/2"	HINGED-DOOR P11	2×6×37" (2)
D04	2480	1	2480 R	28 "	96 "	30"X98 1/2"	2 DR. BIFOLD-DOOR P11	2X6X33" (2)
D05	2880	1	2880 R	32 "	96 "	66"X98 1/2"	POCKET-DOOR P11	2×6×69" (2)
D06	2880	1	2880 L	32 "	96 "	66"X98 1/2"	POCKET-DOOR P11	2×6×69" (2)
D07	2470	1	2470 R IN	28 "	84 "	30"X86 1/2"	HINGED-DOOR P11	2×6×33" (2)
D08	2668	1	2668 L IN	30 "	80 "	32"X82 1/2"	HINGED-DOOR P11	2×6×35" (2)
D09	2880	2	2880 L IN	32 "	96 "	34"X98 1/2"	HINGED-DOOR P11	2×6×37" (2)
D10	3680	1	3680 R EX	42 "	96 "	44"X99"	EXT. HINGED-DOOR P11	2×6×47" (2)
D11	100GD2P6080	1	9080 L EX	108 "	96 "	108 3/4"X96 1/2"	EXT. TRIPLE SLIDER-GLASS PANEL	1 3/4×11 7/8×111 3/4" (2)
D12	2868	1	2868 L IN	32 "	80 "	34"X82 1/2"	HINGED-DOOR P11	2×6×37" (2)
D13	4080	1	4080 L/R	48 "	96 "	50"X98 1/2"	4 DR. BIFOLD-DOOR P11	2×8×53" (2)
D14	5080	1	5080 L/R IN	60 "	96 "	62"X98 1/2"	DOUBLE HINGED-GLASS PANEL	2×8×65" (2)
D15	3080	1	3080 R EX	36 "	96 "	38"X99"	FRONT DOOR ASSEMBLY	2×6×41" (2)
D16	2668	2	2668 R IN	30 "	80 "	32"X82 1/2"	HINGED-DOOR P11	2×6×35" (2)
D17	2480	1	2480 R	28 "	96 "	58"X98 1/2"	POCKET-DOOR P04	2×6×61" (2)
D18	2680	2	2680 L IN	30 "	96 "	32"X98 1/2"	HINGED-DOOR P11	2×6×35" (2)
D19	100GD2P6080	1	6080 L EX	72 "	96 "	72 3/4"X96 1/2"	EXT. SLIDER-GLASS PANEL	2×8×75 3/4" (2)

NUMBER	LABEL	QTY	SIZE	MIDTH	HEIGHT	R/0	EGRESS	DESCRIPTION	HEADER
M01	3646DC	1	3646DC	42 "	54 "	43"X55"		DOUBLE CASEMENT-LHL/RHR	2X6X46" (2)
M02	4046DC	1	4046DC	48 "	54 "	49"X55"		DOUBLE CASEMENT-LHL/RHR	2X8X52" (2)
M03	3040SC	2	3040SC	36 "	48 "	37"X49"	YES	SINGLE CASEMENT-HR	2X6X40" (2)
M04	2048SC	1	2048SC	24 "	56 "	25"X57"		SINGLE CASEMENT-HR	2X6X28" (2)
M05	2850SC	1	2850SC	32 "	60 "	33"X61"		SINGLE CASEMENT-HL	2X6X36" (2)
M06	3060SC	1	3060SC	36 "	72 "	37"X73"		SINGLE CASEMENT-HL	2X6X40" (2)
M07	3040SC	2	3040SC	36 "	48 "	37"X49"	YES	SINGLE CASEMENT-HL	2X6X40" (2)
M08	2840SC	1	2840SC	32 "	48 "	33"X49"	YES	SINGLE CASEMENT-HR	2X6X36" (2)
M09	2446SC	1	2446SC	28 "	54 "	29"X55"		SINGLE CASEMENT-HL	2X6X32" (2)
M10	2840SC	1	2840SC	32 "	48 "	33"X49"	YES	SINGLE CASEMENT-HL	2X6X36" (2)
M11	8040TC	2	8040TC	96 "	48 "	97"X49"		TRIPLE CASEMENT-LHL/RHR	1 3/4×11 1/4×100" (2
M12	4013FX	3	4013FX	48 "	15 "	49"X16"		FIXED GLASS	2X8X52" (2)
M13	3060SC	1	3060SC	36 "	72 "	37"X73"		SINGLE CASEMENT-HR	2X6X40" (2)
W14	2446SC	1	2446SC	28 "	54 "	29"X55"		SINGLE CASEMENT-HR	2×6×32" (2)

1ST FLOOR LAYOUT, AND
WINDOW/DOOR SCHEDULES

NEW HOME

CLEARWATER STREET

WHITE LAKE MI 48383

DRAWINGS PROVIDED BY:

OakBridge Development LLC

White Lake, MI 48383

10.07.2021

DATE:

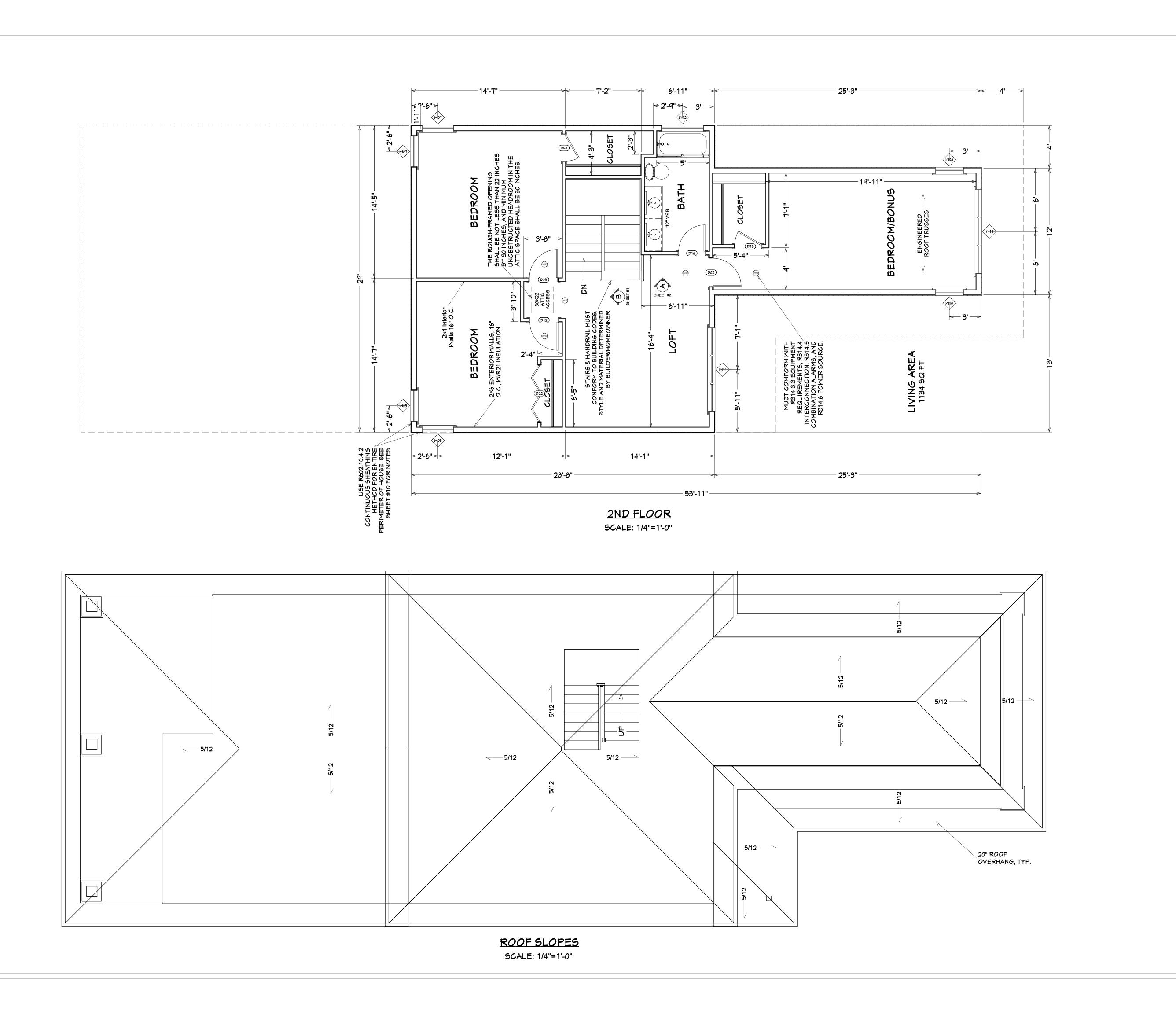
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FLOOR LAYOUT AND
ROOF SLOPES

SHEET TITLE:

STREET

A8383

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SHEET TITLE:

RHET TITLE:

PROJECT DESCRIPTION:

NEW HOME

CLEARWATER STREET

WHITE LAKE MI 48383

DRAWINGS PROVIDED BY:

OakBridge Development LLC
White Lake, MI 48383
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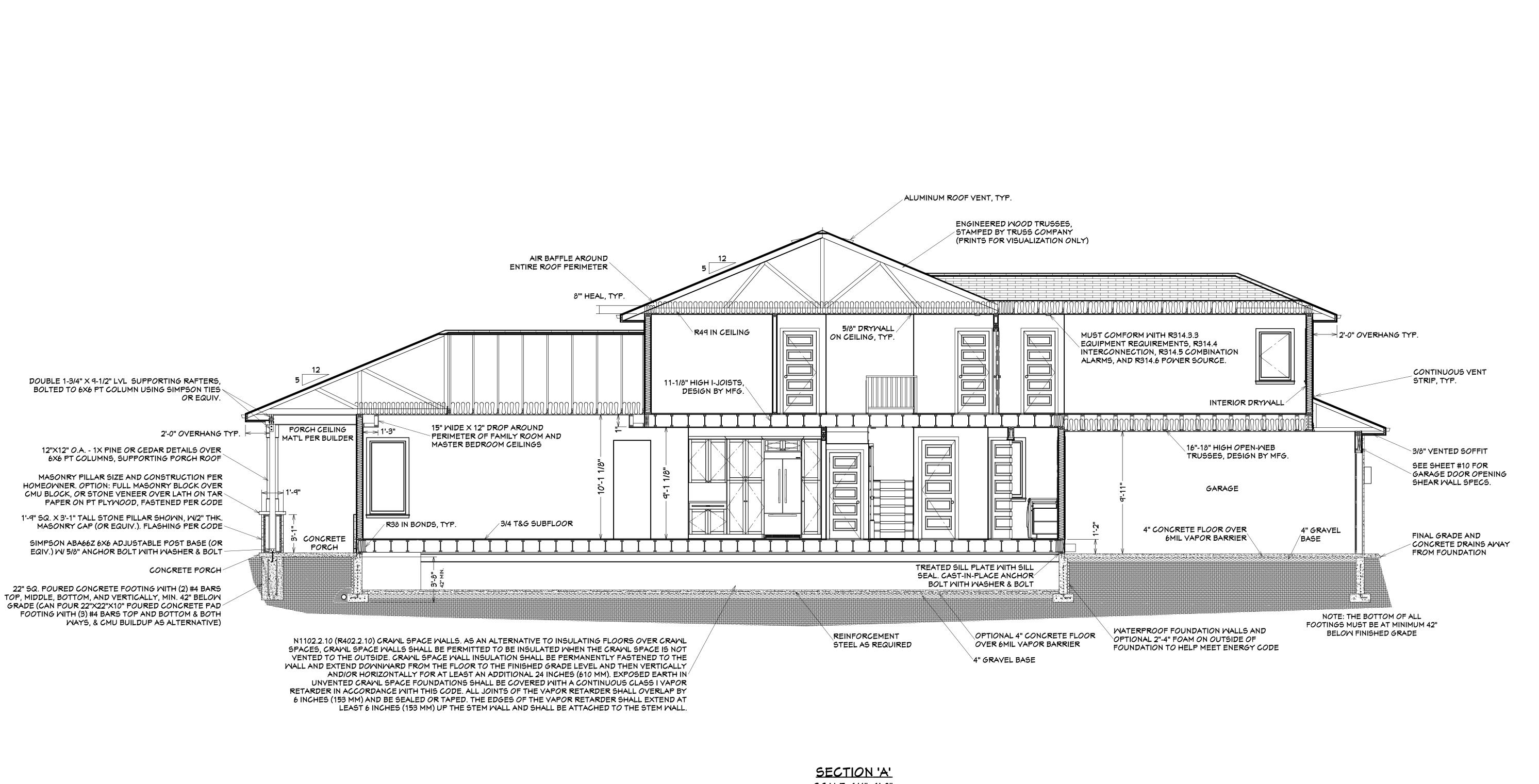
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SCALE: 1/4"=1'-0"

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DRAWINGS PROVIDED BY:

OakBridge Development L
White Lake, MI 48383
www.Oak.House
MP@Oak.House

DATE:

10.07.2021

PAPER:

Size: ARCH D

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STAIR NOTES:

R311.7.1 WIDTH. STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 41/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

R311.7.2 HEADROOM. THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

R311.7.3 VERTICAL RISE. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 147 INCHES (3734 MM) BETWEEN FLOOR LEVELS OR LANDINGS. R311.7.4.1 RISER HEIGHT. THE MAXIMUM RISER HEIGHT SHALL BE 81/4 INCHES (210 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM) R 408.30519 R311.7.4.2 TREAD DEPTH. THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES (229 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (4.5 MM). WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10 INCHES (254 MM) MEASURED AS ABOVE AT A POINT 12 INCHES (305 MM) FROM THE SIDE WHERE THE TREADS ARE NARROWER. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6 INCHES (152 MM) AT ANY POINT. WITHIN ANY FLIGHT OF STAIRS, THE GREATEST WINDER TREAD DEPTH AT THE 12-INCH (305 MM) WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). R 408.30519

R311.7.5 STAIR TREADS AND RISERS. STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

R311.7.5.1 RISERS. THE RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

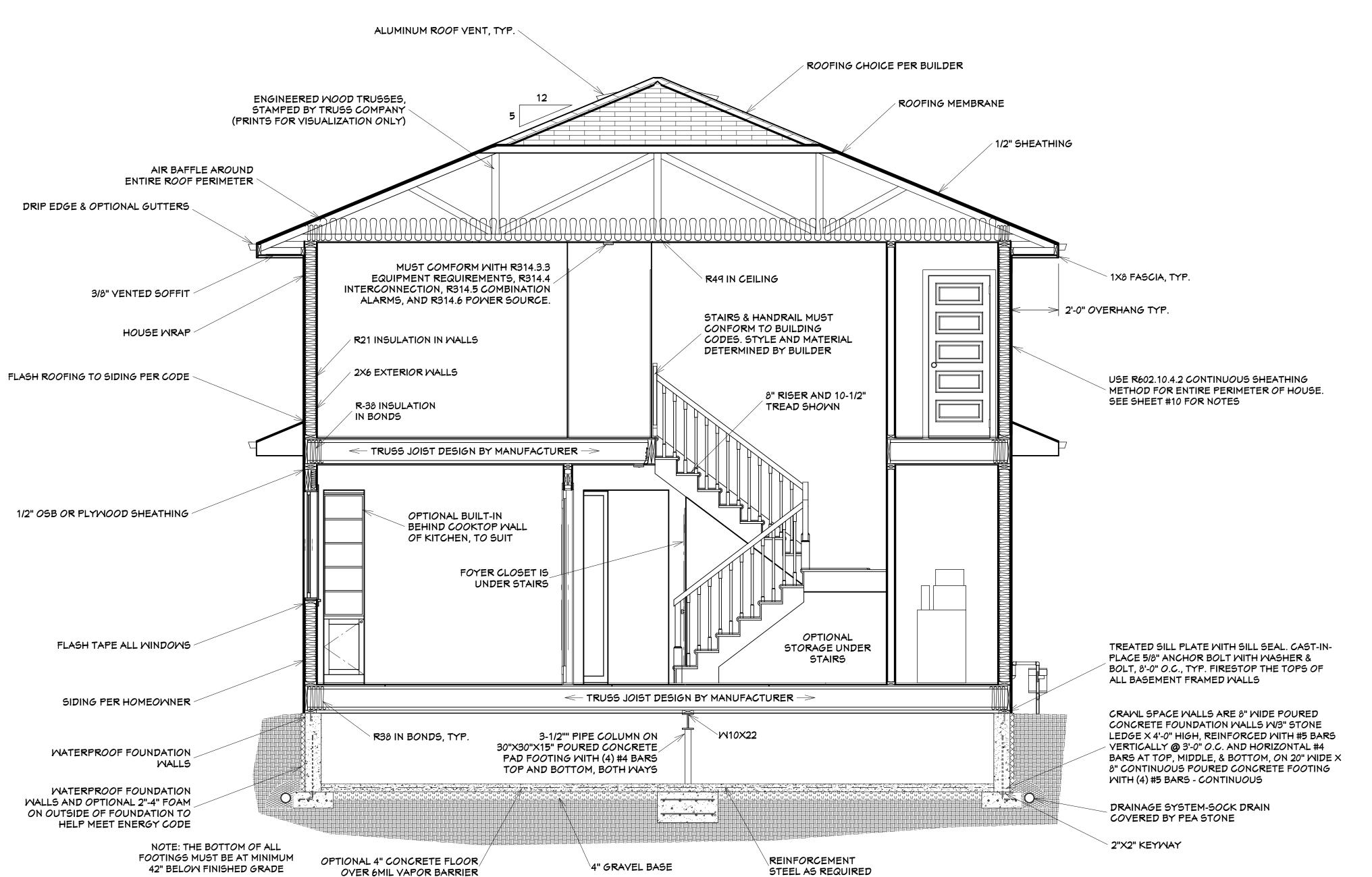
R311.7.5.2 TREADS. THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.7.5.3 NOSINGS. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9/16 INCH (14 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 11/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH (12.7 MM). EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11

R311.7.6 LANDINGS FOR STAIRWAYS. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM). R311.7.8 HANDRAILS. HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. R311.7.8.1 HEIGHT. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM). EXCEPTIONS: 1. THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOMED OVER THE LOWEST TREAD. 2. WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED 38 INCHES (956 MM).

R311.7.8.2 CONTINUITY. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS. EXCEPTIONS: 1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN. 2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD.

R311.7.8.3 GRIP-SIZE. PLEASE REVIEW 2015 MICHIGAN RESIDENTIAL CODE FOR COMPLETE RULES.



DATE: 10.07.2021

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SHEET:

Size: ARCH D

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SECTION 'B' SCALE: 3/8"=1'-0"

WALL BRACING

BRACING UNIT AS DEFINED IN SECTION R602.12.3

R602.10 WALL BRACING. BUILDINGS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION OR, WHEN APPLICABLE, SECTION R602.12. WHERE A BUILDING, OR PORTION THEREOF, DOES NOT COMPLY WITH ONE OR MORE OF THE BRACING REQUIREMENTS IN THIS SECTION, THOSE PORTIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION R301.1.

R602.10.1 BRACED WALL LINES. FOR THE PURPOSE OF DETERMINING THE AMOUNT AND LOCATION OF BRACING REQUIRED IN EACH STORY LEVEL OF A BUILDING, BRACED WALL LINES SHALL BE DESIGNATED AS STRAIGHT LINES IN THE BUILDING PLAN PLACED IN ACCORDANCE WITH THIS SECTION.

WALL LINES SHALL BE DESIGNATED AS STRAIGHT LINES IN THE BUILDING PLAN PLACED IN ACCORDANCE WITH THIS SECTION.

R602.10.2 BRACED WALL PANELS. BRACED WALL PANELS SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT SHALL NOT HAVE VERTICAL OR HORIZONTAL OFFSETS. BRACED WALL PANELS SHALL BE CONSTRUCTED AND PLACED ALONG A BRACED WALL LINE IN ACCORDANCE WITH THIS SECTION AND THE BRACING METHODS SPECIFIED IN

R602.10.3 REQUIRED LENGTH OF BRACING. THE REQUIRED LENGTH OF BRACING ALONG EACH BRACED WALL LINE SHALL BE REFERENCED IN THE 2015 MICHIGAN RESIDENTIAL CODE

R602.10.4 CONSTRUCTION METHODS FOR BRACED WALL PANELS. INTERMITTENT AND CONTINUOUSLY SHEATHED BRACED WALL PANELS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION AND THE METHODS LISTED IN TABLE R602.10.4.

R602.10.4.2 CONTINUOUS SHEATHING METHODS. CONTINUOUS SHEATHING METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON ALL SHEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS AND SHALL MEET THE REQUIREMENTS OF SECTION R602.10.7.

R602.10.5 MINIMUM LENGTH OF A BRACED WALL PANEL. THE MINIMUM LENGTH OF A BRACED WALL PANEL SHALL COMPLY WITH TABLE R602.10.5. FOR METHODS CS-WSP

AND CS-SFB, THE MINIMUM PANEL LENGTH SHALL BE BASED ON THE ADJACENT CLEAR OPENING HEIGHT IN ACCORDANCE WITH TABLE R602.10.5 AND FIGURE R602.10.5. WHERE A PANEL HAS AN OPENING ON EITHER SIDE OF DIFFERING HEIGHTS, THE TALLER OPENING HEIGHT SHALL BE USED TO DETERMINE THE PANEL LENGTH.

R602.12.2 SHEATHING MATERIALS. THE FOLLOWING SHEATHING MATERIALS INSTALLED ON THE EXTERIOR SIDE OF EXTERIOR WALLS SHALL BE USED TO CONSTRUCT A

R602.12.3 BRACING UNIT. A BRACING UNIT SHALL BE A FULL-HEIGHT SHEATHED SEGMENT OF THE EXTERIOR WALL WITHOUT OPENINGS OR VERTICAL OR HORIZONTAL OFFSETS AND A MINIMUM LENGTH AS SPECIFIED HEREIN. INTERIOR WALLS SHALL NOT CONTRIBUTE TOWARD THE AMOUNT OF REQUIRED BRACING. MIXING OF ITEMS 1 AND 2 IS PROHIBITED ON THE SAME STORY.

1 WHERE ALL FRAMED PORTIONS OF ALL EXTERIOR WALLS ARE SHEATHED IN ACCORDANCE WITH SECTION R602.12.2, INCLUDING WALL AREAS BETWEEN BRACING

UNITS, ABOVE AND BELOM OPENINGS AND ON GABLE END WALLS, THE MINIMUM LENGTH OF A BRACING UNIT SHALL BE 3 FEET (914 MM).

2 WHERE THE EXTERIOR WALLS ARE BRACED WITH SHEATHING PANELS IN ACCORDANCE WITH SECTION R602.12.2 AND AREAS BETWEEN BRACING UNITS ARE COVERED WITH OTHER MATERIALS, THE MINIMUM LENGTH OF A BRACING UNIT SHALL BE 4 FEET (1219MM).

R602.12.4 NUMBER OF BRACING UNITS. EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE, AS SHOWN IN FIGURE R602.12.1, SHALL HAVE, AT A MINIMUM, THE NUMBER OF BRACING UNITS IN ACCORDANCE WITH TABLE R602.12.4 PLACED ON THE PARALLEL EXTERIOR WALLS FACING THE SIDE OF THE RECTANGLE. BRACING UNITS SHALL THEN BE PLACED USING THE DISTRIBUTION REQUIREMENTS SPECIFIED IN SECTION R602.12.5.

R602.12.5 DISTRIBUTION OF BRACING UNITS. THE PLACEMENT OF BRACING UNITS ON EXTERIOR WALLS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS AS SHOWN IN FIGURE R602.12.5.

1 A BRACING UNIT SHALL BEGIN NOT MORE THAN 12 FEET (3658 MM) FROM ANY WALL CORNER.

2 THE DISTANCE BETWEEN ADJACENT EDGES OF BRACING UNITS SHALL BE NOT GREATER THAN 20 FEET (6096 MM).

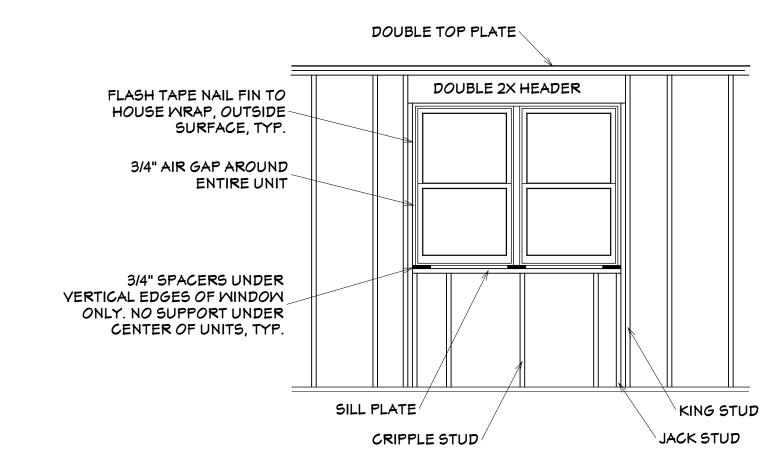
3 SEGMENTS OF WALL GREATER THAN & FEET (2438 MM) IN LENGTH SHALL HAVE NOT LESS THAN ONE BRACING UNIT.

R602.12.6 NARROW PANELS. THE BRACING METHODS REFERENCED IN SECTION R602.10 AND SPECIFIED IN SECTIONS R602.12.6.1 THROUGH R602.12.6.3 SHALL BE PERMITTED WHEN USING SIMPLIFIED WALL BRACING R602.12.6.1 METHOD CS-G. BRACED WALL PANELS CONSTRUCTED AS METHOD CS-G IN ACCORDANCE WITH TABLES R602.10.4 AND R602.10.5 SHALL BE PERMITTED FOR ONE-STORY GARAGES WHERE ALL FRAMED PORTIONS OF ALL EXTERIOR WALLS ARE SHEATHED WITH WOOD STRUCTURAL PANELS. EACH CS-G PANEL SHALL BE EQUIVALENT TO 0.5 OF A BRACING UNIT. SEGMENTS OF WALL THAT INCLUDE A METHOD CS-G PANEL SHALL MEET THE

REQUIREMENTS OF SECTION R602.10.4.2.

R602.12.7 LATERAL SUPPORT. FOR BRACING UNITS LOCATED ALONG THE EAVES, THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE TOP WALL PLATE TO THE ROOF SHEATHING ABOVE SHALL NOT EXCEED 9.25 INCHES (235 MM) AT THE LOCATION OF A BRACING UNIT UNLESS LATERAL SUPPORT IS PROVIDED IN ACCORDANCE WITH

R602.12.8 STEM WALLS. MASONRY STEM WALLS WITH A HEIGHT AND LENGTH OF 48 INCHES (1219 MM) OR LESS SUPPORTING A BRACING UNIT OR A METHOD CS-G, CS-PF OR PFG BRACED WALL PANEL SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIGURE R602.10.9. CONCRETE STEM WALLS WITH A LENGTH OF 48 INCHES (1219 MM) OR LESS, GREATER THAN 12 INCHES (305 MM) TALL AND LESS THAN 6 INCHES (152 MM) THICK SHALL BE REINFORCED SIZED AND LOCATED IN ACCORDANCE WITH FIGURE R602.10.9



MINDOM FRAMING DETAIL

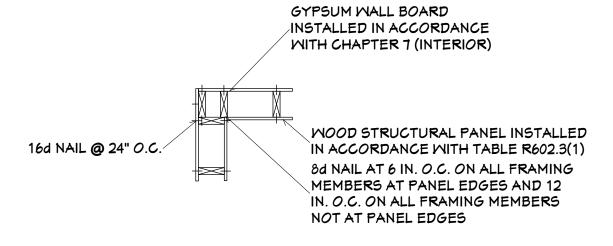


FIGURE R602.10.5 - CORNER FRAMING INSIDE CORNER DETAIL

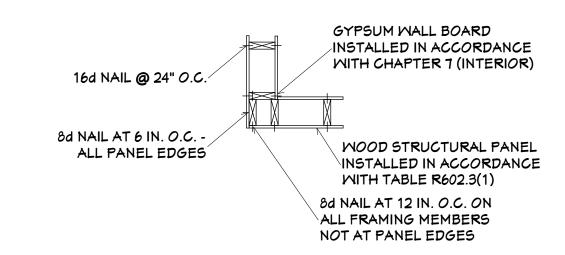
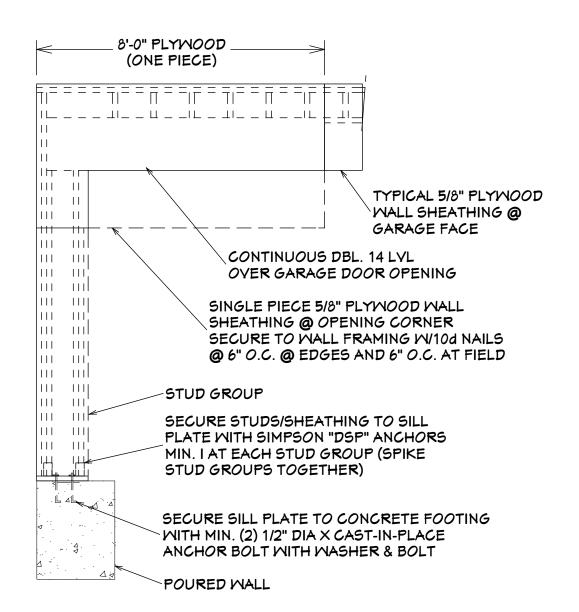


FIGURE R602.10.5 - CORNER FRAMING
OUTSIDE CORNER DETAIL



GARAGE DOOR OPENING SHEAR WALL

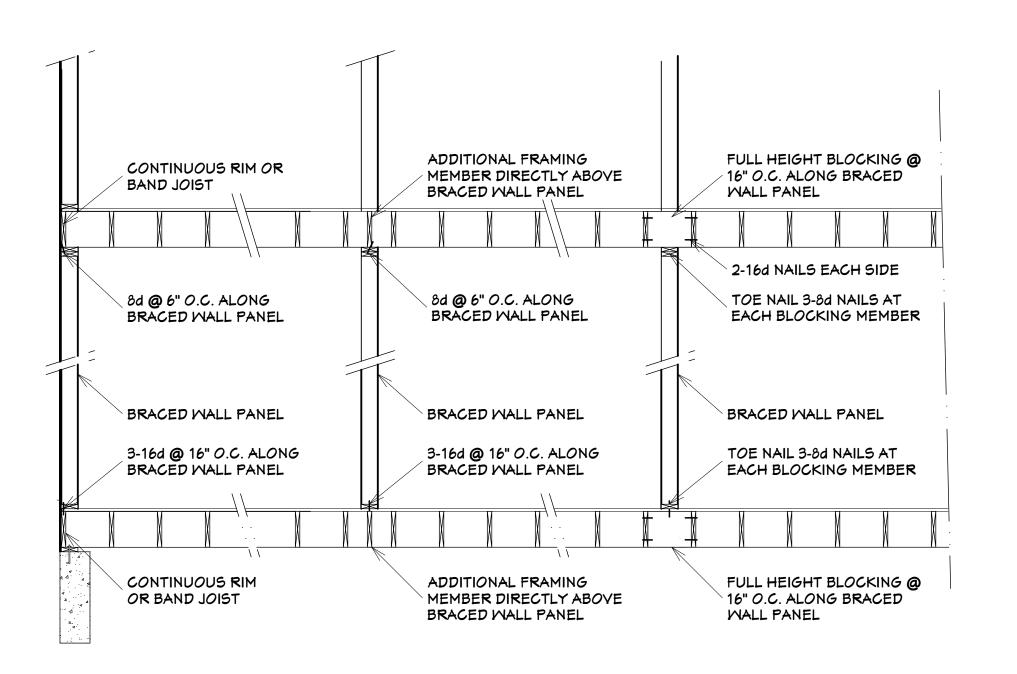


FIGURE R602.10.8(1) BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

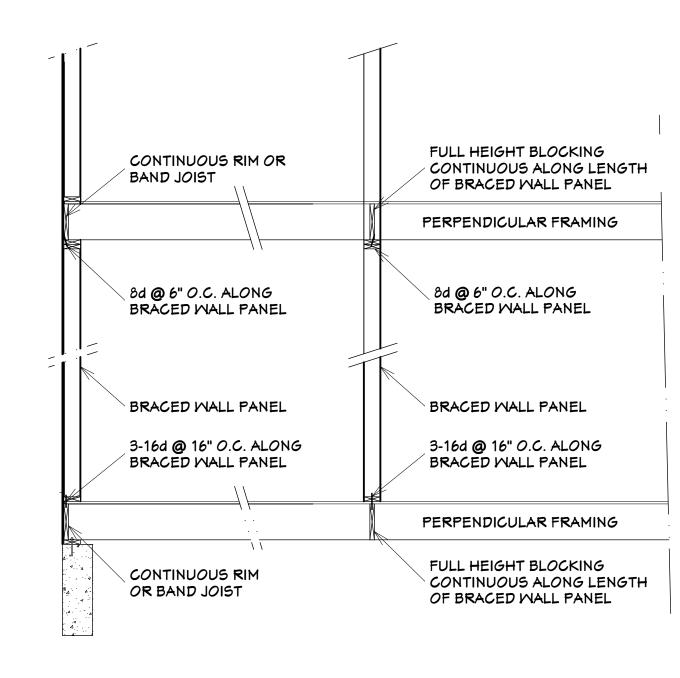


FIGURE R602.10.8(2) BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

WALL PANEL,
PANEL, AND
ICTION NOTES

SRIPTION:

NEW HOME

CLEARWATER STREET

WHITE LAKE MI 48383

DRAWINGS PROVIDED BY:

OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House

DATE: 10.07.2021

PAPER:

SHEET:

Size: ARCH D

A-10

Rik Kowall, Supervisor Anthony L. Noble, Clerk Mike Roman, Treasurer



Trustees Scott Ruggles Liz Fessler Smith Andrea C. Voorheis Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 10, 2022

Ken Strom 6040 Turnberry Commerce Twp, MI 48382

RE: Proposed Residential Structure at 1152 Clearwater

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side and total of 20 ft, minimum lot area of 12,000 sq ft, minimum lot width of 80 ft, and maximum lot coverage of 20%.

The existing lot is legal non-conforming with an area of 9,462 sq ft and lot width at the road frontage of 50 ft. The proposed residential structure would have a side yard setback of 8.4 ft on the north side and 8.6 ft on the south side, for a combined total of 17 ft. Furthermore, the lot coverage would be 22.2%.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the March 24th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than February 24th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official White Lake Township

Q ON Z/14 @3:28

(FILL FORM) DROP @ BUILDING

7527 HIGHLAND

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals

FROM: Justin Quagliata, Staff Planner

DATE: March 24, 2022

Agenda item: 7b

Appeal Date: March 24, 2022

Applicant: Angela and Michael Runyan

Address: 661 Oxhill Court

White Lake, MI 48386

Zoning: R1-C Single Family Residential

Location: 661 Oxhill Court

White Lake, MI 48386

Property Description

The approximately 0.29-acre (12,632.4 square feet) parcel identified as 661 Oxhill Court is located within the Suburban Knolls No.1 subdivision and zoned R1-C (Single Family Residential). The existing house on the property (approximately 1,933 square feet in size) is served by the municipal water and sanitary sewer systems.

Applicant's Proposal

Angela and Michael Runyan, the applicants, are proposing to construct a second-story addition on the house.

Planner's Report

Currently the existing house is nonconforming; the building is located 9.8 feet from the west side property line and 29.3 feet from the front property line. A minimum 10-foot side yard setback and 35-foot front yard setback is required in the R1-C zoning district.

The second-story addition is proposed over the garage and would be a master suite (bedroom, bathroom, closet, and laundry). The addition would increase the number of bedrooms in the house from three to four. As proposed, the second-story addition would maintain the existing setback nonconformities, encroaching 5.7 feet into the front yard setback and 0.2 feet in the west side yard setback.

Article 7, Section 28 of the zoning ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$83,350), the maximum extent of improvements cannot exceed \$41,675. The value of the proposed work is \$65,000. A variance to exceed the allowed value of improvements by 156% is requested.

Following is a summary of nonconformities and proposed enlargements/alterations:

Nonconformity #	Ordinance Section	Subject	Standard	Request	Result
1	Article 3.1.5.E	Front yard setback	35 feet	5.7 feet	29.3 feet
2	Article 3.1.5.E	Side yard setback	10 feet	0.2 feet	9.8 feet (west)

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming house	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$41,675)	156%	\$23,325 over allowed improvements
3	Article 3.1.5.E	Minimum lot area	16,000 square feet	3,367.6 square feet	12,632.4 square feet
4	Article 3.1.5.E	Minimum lot width	100 feet	7.96 feet	92.04 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Angela and Michael Runyan from Article 3.1.5.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, in order to construct a second-story addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 0.2 feet into the required setback from the west side lot line and 5.7 feet into the required front yard setback. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 156%. A 7.96-foot variance from the required lot width and a 3,367.6 square foot variance from the required lot area are also granted from Article 3.1.5.E. This approval will have the following conditions:

• The Applicant shall obtain all necessary permits from the White Lake Township Building Department

Denial: I move to deny the variances requested by Angela and Michael Runyan for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, due to the following reason(s):

Table: I move to table the variance requests of Angela and Michael Runyan for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, to consider comments stated during this public hearing.

Attachments:

- 1. Variance application received February 22, 2022.
- 2. Applicant's written statement.
- 3. Survey dated June 28, 2021.
- 4. Architectural sketches dated January 14, 2021.
- 5. Letter of denial from the Building Official dated March 8, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates <u>all</u> of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area: presence of floodplain: exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity burdensome. unnecessarily Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION ESR 9 9 2022

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163
APPLICANT'S NAME: Angela and Michael Runyan APPLICANT'S NAME: PHONE: 2486358253
ADDRESS: 661 Oxhill Ct
APPLICANT'S EMAILADDRESS: gordona87@gmail.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER:
ADDRESS OF AFFECTED PROPERTY: 661 Oxhill CtPARCEL # 12 - 23-177-008
CURRENT ZONING: RS1 PARCEL SIZE:
STATE REQUESTED VARIANCE AND ORDINANCE SECTION: MI VALUE OF IMPROVEMENT: \$ \(\sum_{0.000} \) SEV OF EXISITING STRUCTURE: \$
STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)
Please see attached letter
APPLICATION FEE: 385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

PPLICANT'S SIGNATURE: Classification Date: 1/22/27

Dear Zoning Board,

My husband Michael and I are requesting a variance be granted for our personal property, to construct our master suite addition. With the proposed addition, we plan on adding a master bedroom, bathroom, walk in closet, and second floor laundry room, for a total of 484 square feet above our existing attached garage.

We moved into our home in White Lake in 2015, and fell in love with White Lake Township and our neighborhood. Now, after having a baby, we need more space to stay in our home. We considered moving, but really like our neighborhood, neighbors, and home. We came up with a plan to create an addition above our existing two car attached garage to give us the space we need. Unfortunately, after looking at our survey and zoning, our current house blueprint does not match the current zoning laws. It states within RS1 that the house must be at least 10 feet from the side boundary and 35 feet from the front and back boundary. Our garage corner is sitting at 9.8 feet from the right boundary line and 29.3 feet from the front boundary line.

Below is a list of reasons you should grant our variance to place an addition over our existing garage:

- 1. The proposed addition would add value to our home, which in turn adds value to White Lake Township.
- 2. We are not changing the footprint of the house. We are adding the addition over an existing structure.
- 3. We are not increasing the elevation of the house.
- 4. Only the North West corner of our garage is in violation of our zoning. The other three corners of the garage meet the zoning regulations.
- 5. We are working with an architect team to ensure that the addition is both structurally safe as well as a statically pleasing for neighbors.

Thank you for your time and consideration.

Sincerely,

Michael and Angela Runyan

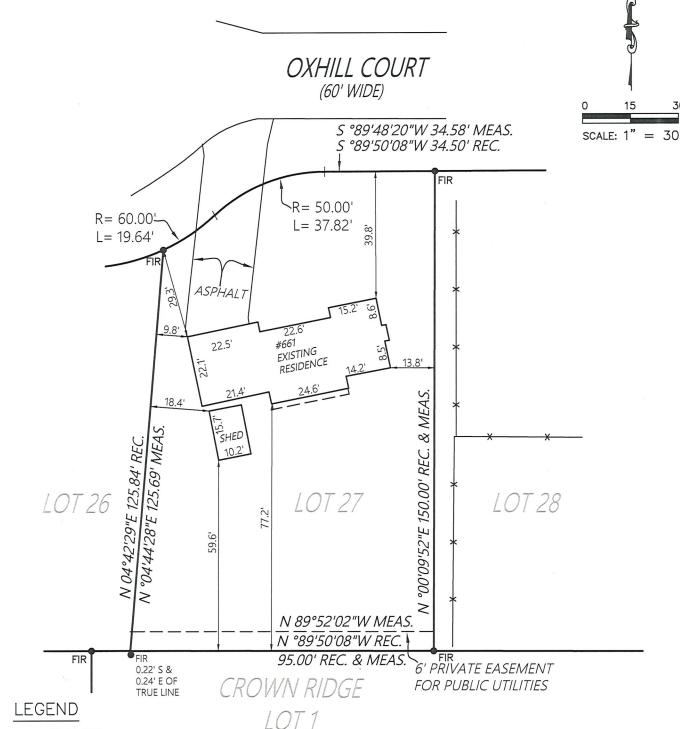
SKETCH OF SURVEY

Prepared For: ANGELA RUNYAN

Legal Description:

Lots 27 of SUBURBAN KNOLLS SUBDIVISION NO. 1, a subdivision of part of the NW 1/4 of Section 23, T. 3 N., R. 8 E., White Lake Township, Oakland County, Michigan as

recorded in Oakland County Records. PARCEL ID: 12-23-177-008



0

- IRON FOUND

- FOUND CONC MONUMENT MEAS. - MEASURED

REC. RECORDED

- FOUND CAPPED IRON

- FXISTING FENCE

- FOUND IRON ROD

- SET CAPPED IRON SCI

NOTES:

NO TITLEWORK WAS SUPPLIED BY CLIENT, THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.

BEARING BASIS: HELD BEARING BASIS
AS PER PLAT OF RECORD.

I hereby certify only to the parties hereon, that we have surveyed, at the direction of said parties, the above described lot, and that we have found or set as noted hereon, permanent markers at the exterior corners of said lot and that all visible encroachments of a permanent nature upon said lot, are as shown on this survey. Said lot subject to all easements and



11590 HIGHLAND ROAD, SUITE #100 PINE HARTLAND, MICHIGAN, 40 PHONE: 810-207-8050 HARTLAND, MICHIGAN, 48353

Land Surveying, Inc.

FIELD: DRAWN: KG

DATE:

06-28-2021

CHECKED: KG

DJS

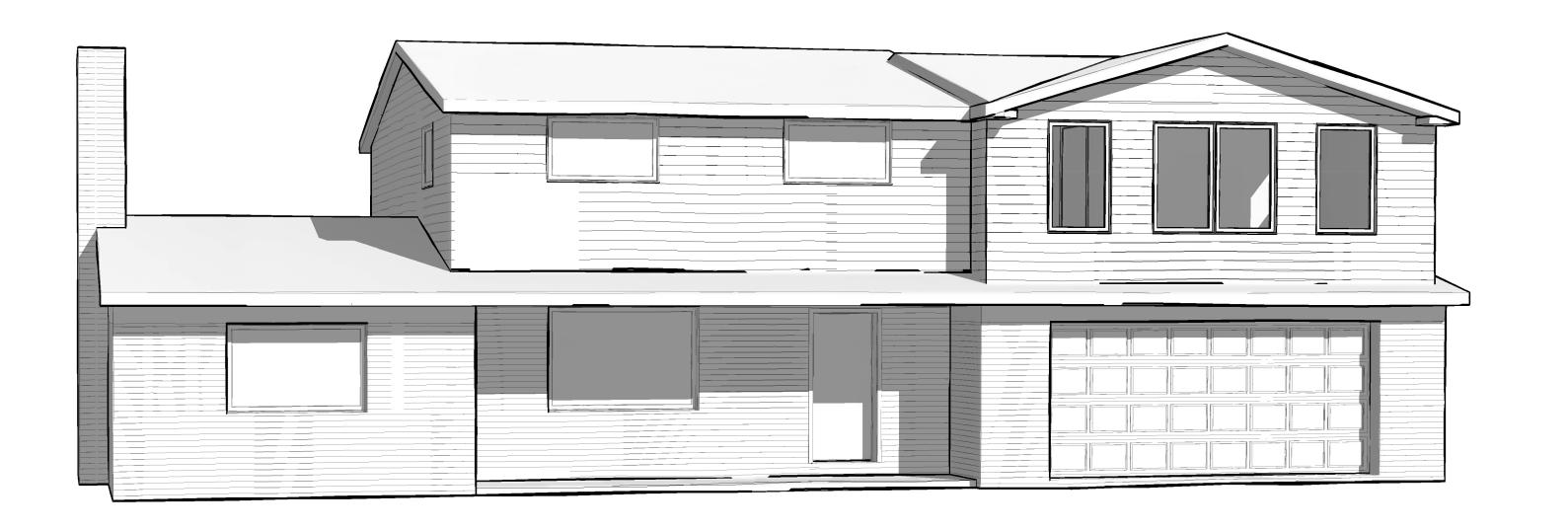
JOB NO:

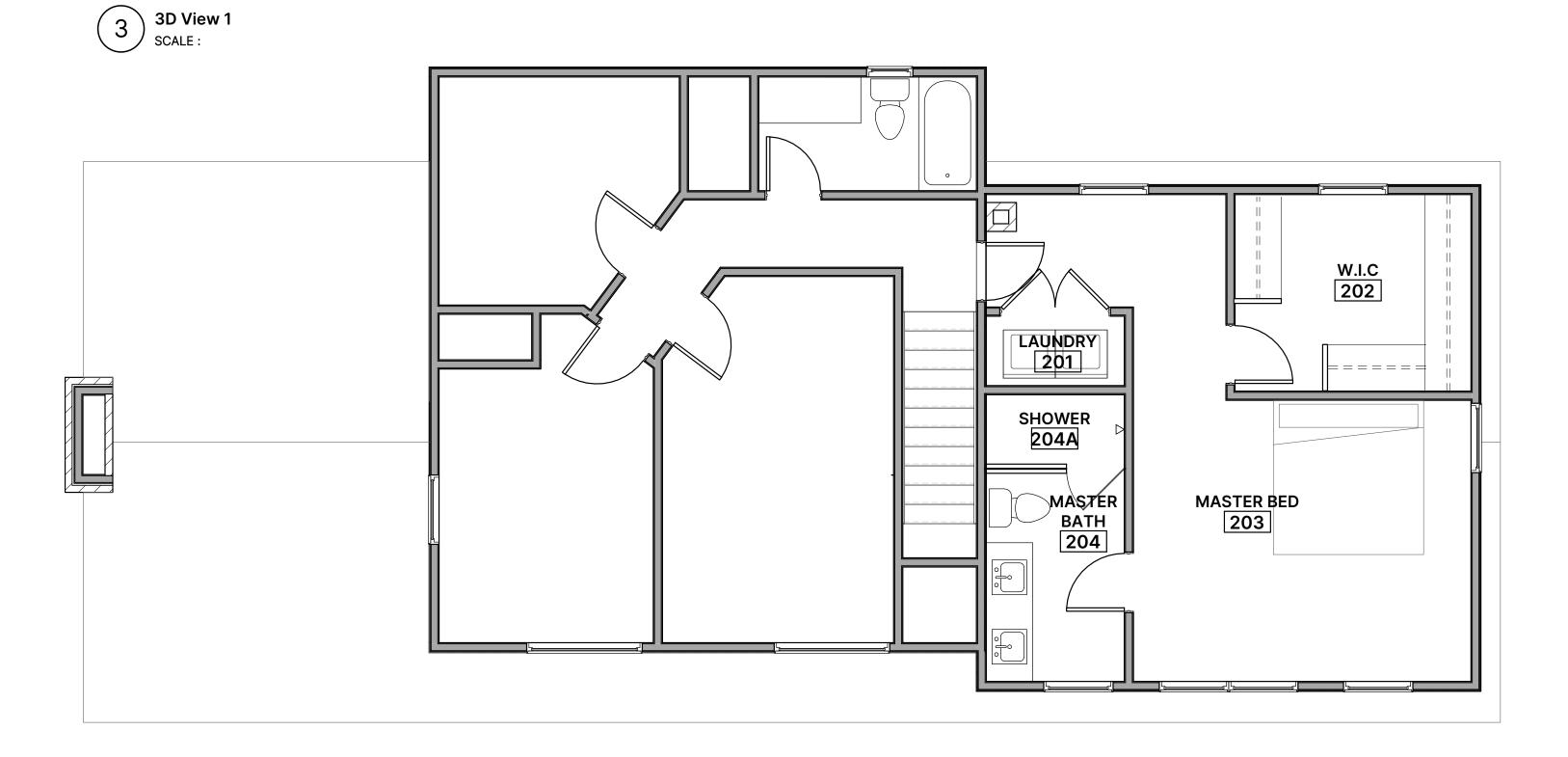
21-5374

REVISED:

SHEET:

1 OF 1







FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

CARMEN AND NICHOLAS GEERS

Item B.

21191 WESTHAMPTON ST. OAK PARK, MI 48237 **EMAIL:** NICHOLASLGEERS@GMAIL.COM **PHONE:** 616-375-1075 CARMENGIBES@GMAIL.COM

RUNYAN RESIDENCE

661 OXHILL CT. WHITE LAKE, MI 48386

REVISIONS:

PRELIMINARY DRAWINGS P1.1 01/14/21

DO NOT SCALE DRAWINGS 49

Item B.

Rik Kowall, Supervisor Anthony L. Noble, Clerk Mike Roman, Treasurer



Trustees Scott Ruggles Liz Fessler Smith Andrea C. Voorheis Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 8, 2022

Angela Runyan 661 Oxhill Ct White Lake, MI 48383

RE: Proposed 2nd Story Addition

Based on the submitted plans, the proposed 2nd story addition does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum lot width of 100 ft, front yard setback of 35 ft, and side yard setback of 10 ft.

The existing lot and structure are legal non-conforming. The 92 ft wide lot contains a residential structure; having a 29.3 ft front yard setback and 9.8 ft side yard setback. The proposed 2nd story addition would maintain the non-conformity, encroaching 5.7 ft into the front yard setback and 0.2 ft into the side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 28th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than March 24th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official

White Lake Township