



ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383
(FORMER WHITE LAKE LIBRARY)
THURSDAY, MARCH 24, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF AGENDA

5. APPROVAL OF MINUTES

A. Zoning Board of Appeals Regular Meeting of February 24, 2022

6. CONTINUING BUSINESS

A. Applicant: Rob Higgs

15486 Surrey

Livonia, MI 48154

Location: **(1) 3811 Ormond Road**

White Lake, MI 48383 identified as 12-07-329-013

(2) 12-07-329-035

Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.5.E,

R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

7. NEW BUSINESS

A. Applicant: Ken & Tyler Strom

6040 Turnberry Drive

Commerce, MI 48382

Location: **1152 Clearwater Boulevard**

White Lake, MI 48386 identified as 12-35-401-010

Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E,

R1-D Single Family Residential Side-Yard Setback, Maximum Lot Coverage, Minimum Lot Area, and Minimum Lot Width.

B. Applicant: Angela and Michael Runyan

661 Oxhill Court

White Lake, MI 48386

Location: **661 Oxhill Court**

White Lake, MI 48386 identified as 12-23-177-008

Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.5.E, R1-C Single Family Residential Minimum Lot Area and Minimum Lot Width.

A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.



8. OTHER BUSINESS

A. Zoning Ordinance Discussion- Part 3

9. NEXT MEETING DATE : April 28, 2022 Regular Meeting

10. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
REGULAR MEETING
FEBRUARY 24, 2022**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Clif Seiber
Debby Dehart, Planning Commission Liaison
Kathleen Aseltyne
Tony Madaffer
Jo Spencer, Chairperson

Absent:

Michael Powell, Township Board Liaison
Niklaus Schillack, Vice Chairperson

Others:

Justin Quagliata, Staff Planner
Hannah Micallef, Recording Secretary

15 members of the public present

APPROVAL OF AGENDA

MOVED by Member Aseltyne, SUPPORTED by Member Madaffer, to approve the agenda as presented. The motion CARRIED with a voice vote (5 yes votes).

APPROVAL OF MINUTES:

- a. Zoning Board of Appeals Regular Meeting of January 27, 2022.

MOVED by Member Seiber, SUPPORTED by Member Dehart to approve the Zoning Board of Appeals Regular Meeting Minutes of January 27, 2022 as presented. The motion CARRIED with a voice vote (5 yes votes).

NEW BUSINESS:

- A. Applicant: Stacy Husslein
5654 Lancaster Lane
Commerce, MI 48382
Location: **320 View Drive**

White Lake, MI 48386 identified as 12-23-406-014

Request: The applicant requests to construct a single-family house with a side-entry garage that does not meet the minimum setback, requiring a variance from Article 3.11.T, Notes to District Standards. A variance from Article 3.1.5.E, R1-C Single Family Residential is also required to exceed the maximum lot coverage.

Chairperson Spencer noted for the record that 23 owners within 300 feet were notified. 0 letters were received in favor, 10 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Seiber asked staff if it was normal for the lot area to be measured from the floodplain line. Staff Planner Quagliata stated it was excluded from the lot coverage.

Member Seiber asked staff if a deck with a roof was included in lot coverage. Staff Planner Quagliata confirmed. Member Seiber said the applicant's case was different as there was a roof but the "deck" below was grass.

Member Dehart asked staff if there was a deed restriction in the subdivision regarding garage bays. Staff Planner Quagliata said he was unsure.

Stacey and Nick Husslein, 5654 Lancaster Lane, Commerce, were present to speak on her case. Mrs. Husslein said she believed the minimum house size per the homeowner's association was 1400 square feet. She said it wasn't a requirement to have a side entry garage, but everyone else on View Drive did.

Member Seiber asked the applicant if it was possible to shift the garage over 14 inches. Mr. Husslien said it was considered, but it would affect the windows in the area. Member Seiber said other garages in the area must have met the 25-foot setback.

Chairperson Spencer asked the applicant if they could downsize the proposed house. Mrs. Husslien said the house was laid out to have everything on the first floor because she had M.S. and was preparing for her future. Mr. Husslien said he did not originally intend to ask for a variance; he originally believed the plans met the ordinance.

Chairperson Spencer opened the public hearing at 7:16 P.M.

Jim Kush, 410 Berry Patch Lane, spoke in favor of the applicant's request.

John Behm, 298 Shotwell, said he had no objections to the plans, but the applicants should consider moving their driveway.

Chairperson Spencer closed the public hearing at 7:19 P.M.

Member Dehart stated the floodplain could be a hardship in making the lot coverage area smaller.

Member Aseltyne stated the house could be built to ordinance standards and did not see a practical difficulty.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Chairperson Spencer did not see a practical difficulty.
- B. Unique Situation
 - Member Dehart said older houses may have considered the floodplain in their lot coverage.
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Member Seiber MOVED to deny the variances requested by Stacy Husslein for Parcel Number 12-23-406-014, identified as 320 View, due to the following reason(s):

- **The garage could be moved over 14 inches.**
- **The house could be downsized.**
- **Failure to meet the standards of Article 7, Section 37 of the ClearZoning Ordinance.**

Member Aseltyne SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes): (Seiber/yes, Aseltyne/yes, Spencer/yes, Dehart/yes, Madaffer/yes).

- B. Applicant: Robert Knisley
8780 Arlington Street
White Lake, MI 48386
Location: **9604 Buckingham Road**
White Lake, MI 48386 identified as 12-14-201-015
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

Chairperson Spencer noted for the record that 19 owners within 300 feet were notified. 1 letter was received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Robert Knisley, 8780 Arlington, was present to speak on his case. He said when he was originally before the Board in March of 2020, his request for an addition was denied. He worked with his architect to design a house to better fit on the lot. He was now met the side and rear yard setbacks, and the garage was reduced in size.

Member Aseltyne asked the applicant what his practical difficulty was. Mr. Knisley said there was difficulty meeting the side yard and rear yard setbacks, and the house had to be angled to meet those setbacks. He added most houses on the street were within 5-6 feet of the road.

Chairperson Spencer opened the public hearing at 7:35 P.M. She read one letter of support of the applicant's request into the record.

John Johnson, 8882 Arlington, spoke in favor of the applicant's request.

Chairperson Spencer closed the public hearing at 7:38 P.M.

Member Aseltyne stated the applicant's request was excessive in regards to the other houses in the neighborhood and a practical difficulty was not presented.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Seiber said he saw a practical difficulty; the building envelope on the west side of the lot was narrow. The proposed house was an improvement over the house previously there.
 - Member Dehart said she saw a difficulty as the lot was platted before the current ordinance, as well as the way the road arched in front of the lot.
- B. Unique Situation
 - Chairperson Spencer said the house could be reduced in size so she did not see a unique situation.
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Member Seiber MOVED to approve the variances requested by Robert Knisley from Articles 3.1.6.E and 7.28.A of the Zoning Ordinance for Parcel Number 12-14-201-015, identified as 9604 Buckingham Road, in order to construct a new house that would encroach 12.5 feet into the required front yard setback and exceed the allowed lot coverage by 7%. A 2,495 square foot variance from the required lot area is also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
- **An as-built survey shall be required to verify the approved setbacks and lot coverage.**

Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote: (3 yes votes) (Seiber/yes, Dehart/yes, Aseltyne/no, Madaffer/yes, Spencer/no).

- C. Applicant: Brad VanGorder
8890 Tackels Drive
White Lake, MI 48386
Location: **8890 Tackels Drive**
White Lake, MI 48386 identified as 12-13-104-007
Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a first and second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 31 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 1 letter was returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Dehart asked staff if the former Building Official erroneously allowed the house to be built 4.2 feet into the setback. Staff Planner Quagliata confirmed.

Brad VanGorder, 8890 Tackels, spoke regarding his case. He said his intent was to fill the space between the house and garage. He would set back the walls on the second-story off the existing first floor walls.

Chairperson Spencer opened the public hearing at 7:51 P.M.

John Behm, 298 Shotwell, said he had no objections to the plans.

Chairperson Spencer closed the public hearing at 7:53 P.M.

Member Seiber stated the nonconformity of the setbacks did not appear to increase, and considering the width of the lot there was a hardship.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Dehart said the lot size was a practical difficulty.
- B. Unique Situation
- C. Not Self-Created
- D. Substantial Justice
- E. Minimum Variance Necessary

Staff Planner Quagliata said the current Building Official said the plans as presented could not be approved, and would have to be revised to receive his approval. The redlined plans would not be accepted.

Member Seiber MOVED to approve the variances requested by Brad VanGorder from Articles 3.1.6.E, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-13-104-007, identified as 8890 Tackels Drive, in order to construct an addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 5 feet into the required setback from the west side lot line; to allow structural work to encroach 2.2 feet into the required setback from the front lot line; and to exceed the allowed lot coverage by 11.1%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 321%. A 40-foot variance from the required lot width and a 5,421.7 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **The west side wall of the second-story addition shall be relocated east to provide a five-foot side yard setback, which shall be measured from the roof overhang of the addition.**
- **In no event shall the projection of any roof overhang be closer than five (5) feet to the west side lot line.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**
- **An as-built survey shall be required to verify the approved setbacks and lot coverage.**
- **The gutter system shall direct stormwater away from neighboring properties.**
- **Revised plans shall be submitted to meet the requirements of the Building Official**

Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote: (5 yes votes) (Seiber/yes, Dehart/yes, Madaffer/yes, Spencer/yes, Aseltyne/yes).

- D. Applicant: Rob Higgs
15486 Surrey
Livonia, MI 48154
Location: **(1) 3811 Ormond Road**
White Lake, MI 48383 identified as 12-07-329-013
(2) 12-07-329-035
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

Chairperson Spencer noted for the record that 13 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Dehart asked staff if the ordinary high-water mark was identified on the site plan. Staff Planner Quagliata said no.

Member Aselyne asked staff if the applicant's request could be denied based on incomplete information. Staff Planner Quagliata said the ZBA had the authority to do so.

Chairperson Spencer said the letter of authorization from the property owner's daughter was not notarized and therefore unacceptable. She added the plans were incomplete and she did not accept the plans.

Rob Higgs, 15486 Surrey, Livonia, was present to speak on his case. He brought his builder, Andy Giles. He said he was given a lot of information during the process and that was where the confusion was. He said the lot was steep and therefore posed a practical difficulty. Mr. Giles said due to the grade drop-off in the back, the surveyor drew the plans where the back of the house would be on the rear setback. The surveyor also included a primary septic field and reserve septic field which took a good portion of the side yard on the left. The current accessory building was 10 feet from the road and would be removed along with the existing house.

Member Seiber stated the widest part of the building envelope was at the south side of the lot, but the widest part of the house was at the north side of the lot. If the house was flipped, there would be an increase in front yard setback. Mr. Giles said the issue with that arrangement would be the retaining wall.

Member Dehart asked the applicant if the perc test had been done. Mr. Giles said no.

Chairperson Spencer opened the public hearing at 8:17 P.M. Seeing no public comment, she closed the public hearing at 8:18 P.M.

Member Aselyne MOVED to table the variance requests of Rob Higgs for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 to consider comments stated during this public hearing

Member Madaffer SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes): (Aselyne/yes Madaffer/yes, Seiber/yes, Dehart/yes, Spencer/yes).

OTHER BUSINESS

Chairperson Spencer said she would like to hold a work session prior to the March 24th meeting to discuss some of the zoning ordinance amendments.

Staff Planner Quagliata said the Township Board had tasked the ZBA with reviewing the ordinance and to provide feedback to the Planning Commission.

Member Dehart said signs were discussed at the last Planning Commission meeting. The ZBA did not have to review signage if the property in question was zoned Planned Development or Planned Business, as it became a waiver in that specific instance. It felt as though there were two different standards in regards to signage.

Staff Planner Quagliata stated he was in favor of tightening up the sign ordinance.

ADJOURNMENT

MOVED by Member Aseltyne, **SUPPORTED** by Member Seiber to adjourn the meeting at 8:45 P.M.
The motion CARRIED with a voice vote (5 yes votes).

NEXT MEETING DATE: March 24, 2022 Regular Meeting

DRAFT

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: March 24, 2022

Agenda item: 6a

Appeal Date: March 24, 2022 (Tabled from February 24, 2022)

Applicant: Rob Higgs

Address: 15486 Surrey
Livonia, MI 48154

Zoning: R1-C Single Family Residential

Location: (1) 3811 Ormond Road
White Lake, MI 48383
(2) Parcel Number 12-07-329-035

Property Description

There are two parcels part of this request, both zoned R1-C (Single Family Residential) and located on White Lake.

North Parcel: 3811 Ormond Road (12-07-329-013) is approximately 0.092-acre (4,007.52 square feet) in size. The property is served by a private well for potable water and a private septic system for sanitation.

South Parcel: Parcel Number 12-07-329-035 is approximately 0.211-acre (9,191.16 square feet) in size.

Applicant's Proposal

Rob Higgs, the applicant, with permission from the property owner's power of attorney, is seeking variances to construct a two-story house with an attached garage.

Planner's Report

As indicated on the site plan, the proposed house footprint is 2,438 square feet in size (the garage area is 506 square feet). The submitted architectural information is inconsistent with the site plan. The house plan details state the first-floor area is 2,123 square feet, the second-floor area is 878 square feet, and the garage area is 506 square feet (total: 3,507 square feet). Based on the house details, the footprint of the building is 2,629 square feet (191 square feet larger than indicated on the site plan).

According to the site plan, the house at its closest point would be located 13.1 feet from the front lot line, requiring a variance of 21.9 feet from the required 35-foot front yard setback. A variance to address the lot area nonconformity is also requested. According to the plan, the parcels (if combined) would contain 0.343-acre (14,923 square feet) in area. In the R1-C zoning district the minimum lot size requirement is 16,000 square feet.

While rear yard setback and lot coverage variances were published as a request (based on an initial plan submitted), the latest plan indicates such variances are not needed.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.5.E	Front yard setback	35 feet	21.9 feet	13.1 feet
2	Article 3.1.5.E	Minimum lot area	16,000 square feet	1,077 square feet	14,923 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Rob Higgs from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 in order to construct a new house that would encroach 21.9 feet into the required front yard setback. A 1,077 square foot variance from the required lot area is also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- Prior to issuance of a building permit, a demolition permit shall be obtained from the Township to remove the existing buildings and structures from the subject parcels.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.
- The subject parcels shall be combined prior to issuance of a building permit.
- Revised plans shall be submitted to meet requirements of the Building Official.

Denial: I move to deny the variances requested by Rob Higgs for Parcel Number 12-07-329-01, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 due to the following reason(s):

Table: I move to table the variance requests of Rob Higgs for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 26, 2022.
2. Applicant's written statement dated March 10, 2022.
3. Site plan dated March 10, 2022.
4. Elevations dated January 22, 2003.
5. Floor plans.
6. Letter of denial from the Building Official dated February 3, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A – E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Rob Higgs PHONE: 734 657-9467

ADDRESS: 15486 Surrey Livonia MI

APPLICANT'S EMAIL ADDRESS: Robert.HiggsSR@yahoo.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: Purchaser

ADDRESS OF AFFECTED PROPERTY: 3811 armand PARCEL # 12 - 07-329-013
+035

CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Front + Rear Setbacks

VALUE OF IMPROVEMENT: \$ 400,000 SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONAL SHEETS MAY BE ATTACHED)

Lake lot difficulties and easements
requesting Front + Rear variances to build
New home and improve the look of the lots

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: Robert Higgs DATE: 1/26/20

Robert Higgs
15486 Surrey St.
Livonia, MI 48154
(734) 657-9467

Thursday, March 10, 2022

To whom it may concern,

My name is Robert Higgs, I am the interested buyer in 3811 Ormond Rd, White Lake, MI. I am writing this letter to specify certain practical difficulties in which I am applying for a variance. Those difficulties are as follow:

1. The grading of the West part of the property (lakeside) has almost a 20' steep dropoff .
2. There is a utility easement on the East part of the property (Ormond Rd.)
3. Due to our property line being in the water approximately 8' on the SW corner as well as 4' on the NE corner of the property, our setback is being measured from the high water mark, which is the sea wall/high water mark and not the actual property line unfortunately causing us to lose valuable land use.

*Please note: that due to the grading elevation, utility easement and property in water are reasons why I am applying for this permit. Any and all consideration to grant this permit is greatly appreciated.

*This variance was tabled from the board meeting on Feb 24th. It was tabled due to lack of specifics and info. I wanted to point out a few extra things that were done on top of the original requests suggested by the board at the first meeting. This property has now been staked, ready for you to view the proposed home, as well as a perk test which is getting done on March 15th at 10:30am and I will bring those results to the next meeting.

Sincerely,

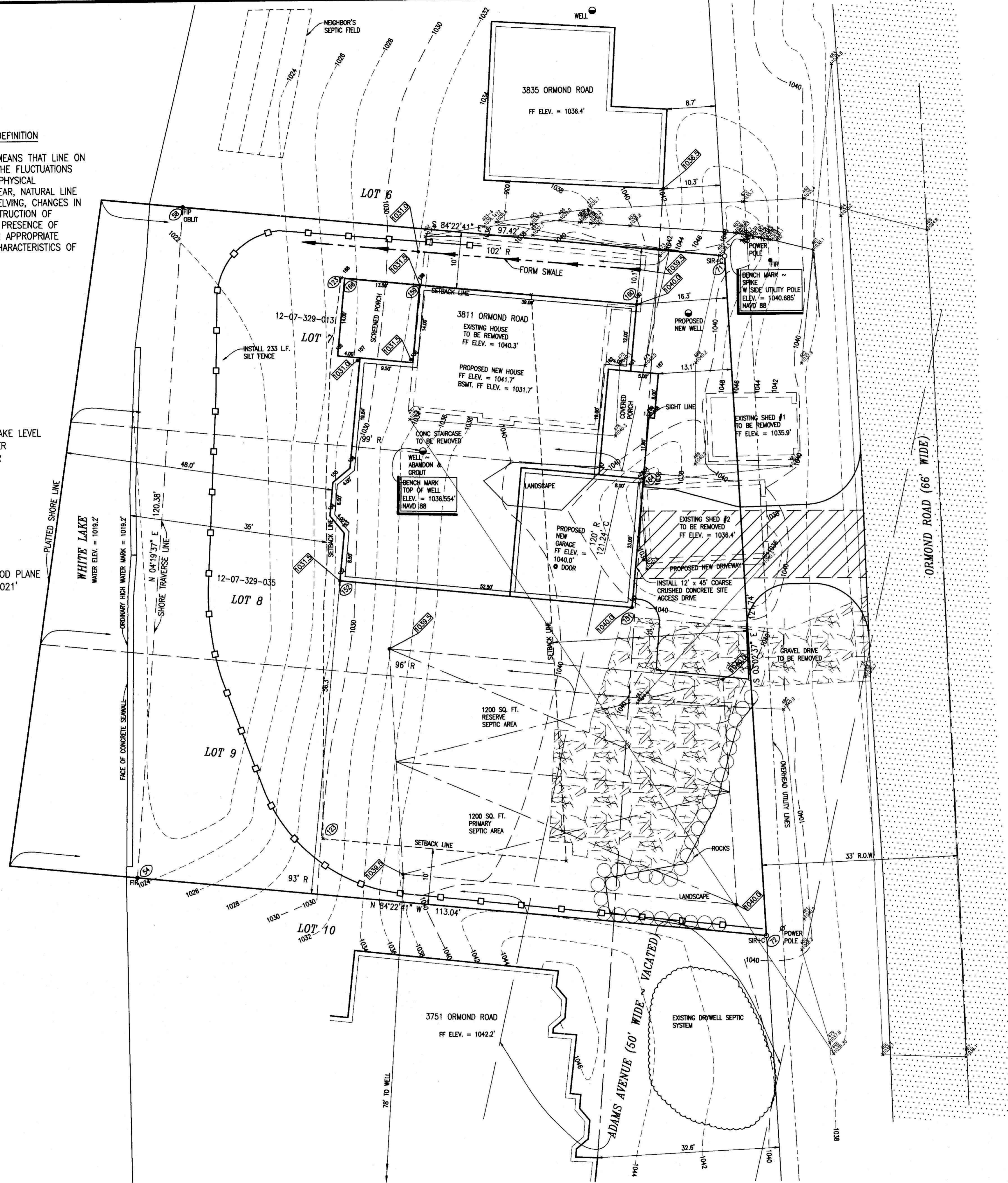

Robert Higgs

ORDINARY HIGH WATER MARK DEFINITION

ORDINARY HIGH WATER MARK MEANS THAT LINE ON THE SHORE ESTABLISHED BY THE FLUCTUATIONS OF WATER AND INDICATED BY PHYSICAL CHARACTERISTICS SUCH AS CLEAR, NATURAL LINE IMPRESSED ON THE BANK, SHELVEING, CHANGES IN THE CHARACTER OF SOIL, DESTRUCTION OF TERRESTRIAL VEGETATION, THE PRESENCE OF LITTER AND DEBRIS, OR OTHER APPROPRIATE MEANS THAT CONSIDER THE CHARACTERISTICS OF THE SURROUNDING AREAS.

CONTROLLED LAKE LEVEL
1019.1' SUMMER
1018.6' WINTER

ZONE AE
100 YEAR FLOOD PLANE
CONTOUR = 1021'



LOCATION MAP
NO SCALE

LAND DESCRIPTION:

Lots 7, 8 & 9 of "Pleasant View Subdivision" as recorded in Liber 22, Page 9, Oakland County Records, also part of vacated Adams Avenue as recorded in Liber 9367, Pages 379-383, Oakland County Records.

LOT AREA = 14923 SQ. FT. = 0.343 ACRES
HOUSE = 2438 SQ. FT. = 0.056 ACRES
DRIVEWAY = 705 SQ. FT. = 0.016 ACRES
LOT COVERAGE = 21%

- LEGEND
UTILITY POLE
FLOW ARROW
15' OFFSET STAKE
STAKE NUMBERS
PROPOSED GRADE
MATCH EXISTING GRADE
SETBACK LINE
COARSE CRUSHED CONCRETE SITE ACCESS DRIVE
PROP. CONCRETE
EXIST. ASPH.

ZONING R1C
SINGLE FAMILY
RESIDENTIAL

(SETBACKS)
FRONT - 35'
SIDES - 10'
REAR - 35'

SOIL EROSION CONTROL AND MAINTENANCE NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL PROCEDURES SHALL CONFORM TO OAKLAND COUNTY'S DESIGN CRITERIA AND IMPLEMENTATION PROCEDURES FOR EROSION AND SEDIMENTATION CONTROL.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS, WETLANDS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL AS FOLLOWS: SILT FENCE DIVERSION BARRIER WITH STONE OUTLET FILTERS AS HEREON SHOWN AND INSTALL CATCH BASIN/INLET FILTERS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.
6. ALL DIRT TRACKED ONTO EXISTING PUBLIC ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

SEQUENCE OF OPERATIONS FOR SOIL EROSION CONTROL:

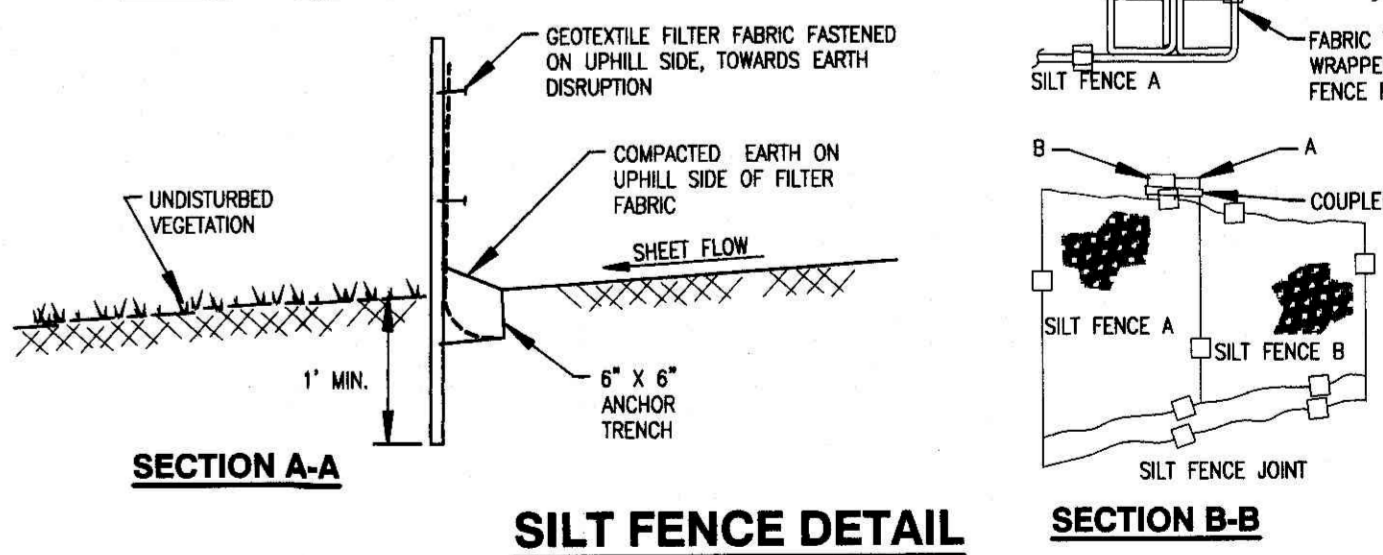
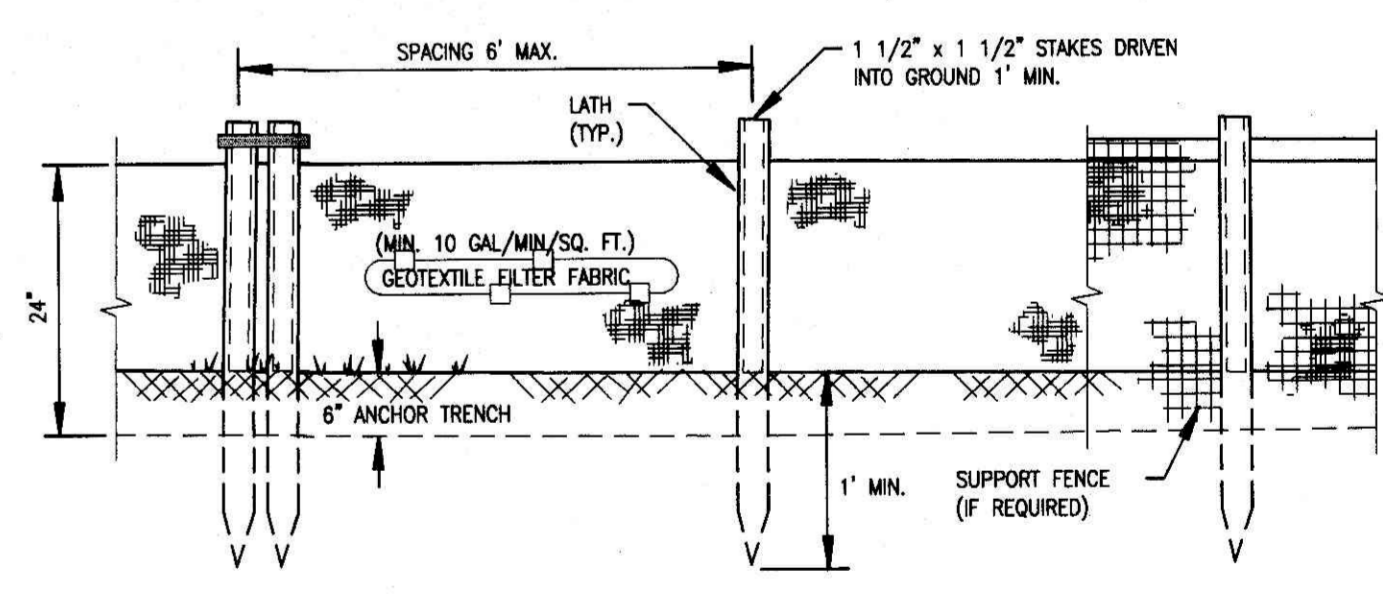
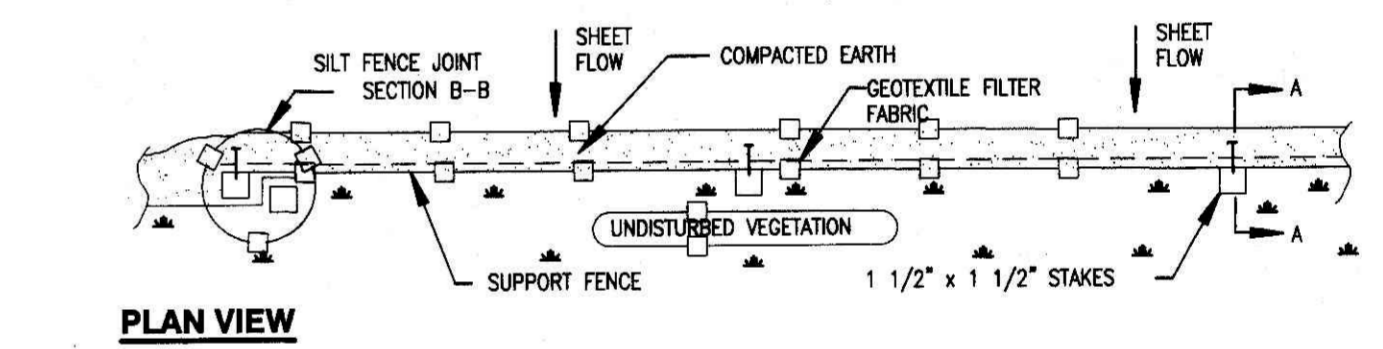
- 1. PROVIDE PERIMETER SEDIMENTATION CONTROLS, AS SPECIFIED IN THE SEQUENCE OF OPERATIONS, AT LOCATIONS AS ILLUSTRATED ON THESE DRAWINGS.
2. INSTALL GEOTEXTILE SEDIMENT CONTROL FENCE WITH THE TAIL ANCHORED IN A 6" DEEP TRENCH. INSTALL ACCESS DRIVE CONSISTING OF 6" DEEP COARSE CRUSHED CONCRETE ON GEOTEXTILE FABRIC AS ILLUSTRATED.
3. IF THE PROPOSED PERIMETER PROTECTION CANNOT BE PROPERLY MAINTAINED, OR PROVES TO BE INSUFFICIENT, THEN ADDITIONAL PERIMETER SEDIMENTATION CONTROLS SUCH AS GEOTEXTILE SILT FENCE AND BERMS SHALL BE REQUIRED.
4. CLEAR GRUB, STRIP AND STOCKPILE TOPSOIL.
5. GRADE THE SITE, IMMEDIATELY ESTABLISH VEGETATION ON ALL DITCHES AND SWALES. OR, INSTALL TEMPORARY STABILIZATION DURING THE NON-GROWING SEASON FOR ALL AREAS TO BE SEED OR SOODED. NOTE: ALL AREAS TEMPORARILY STABILIZED DURING THE NON-GROWING SEASON SHALL BE PERMANENTLY STABILIZED IMMEDIATELY WITHIN 5 DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT PLANTING SEASON. DORMANT SEEDING IS ALSO RECOMMENDED FOR EARLY SPRING GROWTH.
6. STABILIZE ALL DISTURBED AREAS THAT EXCEED A SLOPE OF 1 ON 4 WITH EXCESSOR BLANKET OR APPROVED SOIL EROSION CONTROL MATS.
7. BEGIN BUILDING CONSTRUCTION PROPOSED FOR SPRING OF 2022.
8. INSTALL DRY WELLS, PERFORATED TILE AND RIP-RAP. WRAP RIMS WITH GEOTEXTILE FABRIC AND COVER WITH PEA STONE FILTERS.
9. INSTALL ALL PUBLIC UTILITIES: GAS, ELECTRIC, TELEPHONE ETC.
10. INSTALL PAVEMENT, REPAIR AND/OR REPLACE STONE INLET AND OUTLET FILTERS AS REQUIRED.
11. FINISH GRADE, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT UPON OR PAVED. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE SEED WITHIN 5 DAYS OF FINAL GRADING.
12. CLEAN PAVEMENTS, WALKS, SWALES, DITCHES, CULVERTS, WATERCOURSES, STORM SEWERS, RETENTION AND/OR DETENTION BASINS, LAKES, STREAMS AND WETLANDS OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY IN DISTURBED AREAS.
13. COMPLETE BUILDING CONSTRUCTION. COMPLETION PROPOSED FOR FALL OF 2022.

EROSION CONTROL MAINTENANCE MEASURES

THE CONTRACTOR SHALL INSTALL AND MAINTAIN IN PROPER WORKING ORDER ALL OF THE SOIL EROSION CONTROL STRUCTURES AND MATERIALS AS DETAILED ON THESE PLANS. INSPECTION AND EVALUATION OF SOIL EROSION CONTROL MEASURES SHALL BE PERFORMED AT LEAST DAILY AS WELL AS DURING AND IMMEDIATELY FOLLOWING RAIN OR THAWING. MAINTENANCE SHALL BE PERFORMED AND MODIFICATIONS IN MATERIALS AND METHODS MADE AS REQUIRED TO PREVENT ANY EROSION OF SOILS OR MIGRATION OF SILTS FROM THIS SITE.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) PERMIT REQUIREMENTS REQUIRE WEEKLY INSPECTIONS BY A CERTIFIED STORM WATER MANAGEMENT OPERATOR AS WELL AS INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR MODIFICATIONS AND MAINTENANCE WHICH SHALL BE CARRIED OUT BY THE CONTRACTOR WITHOUT DELAY.

- 1. THE CONTRACTOR SHALL MAINTAIN, ENLARGE AND REPAIR THE COARSE CRUSHED CONCRETE CONSTRUCTION ACCESS DRIVE AS NECESSARY. COARSE CRUSHED CONCRETE IS TO BE ADDED OR REPLACED WHEN FILLED WITH SEDIMENT, IT PONDS WATER OR IS RUTTED. DRIVERS SHALL BE INSTRUCTED TO CLEAN TIRES, TAILGATES AND HITCHES TO PREVENT MUD, DIRT AND GRAVEL FROM BEING TRANSPORTED OFF SITE.
2. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ALL DIRT TRACKED ONTO OFFSITE PAVEMENT AND ROADWAYS.
3. THE CONTRACTOR SHALL CLEAN THE SILT FROM THE PEA STONE OUTLET FILTERS AND INLET FILTERS AS NECESSARY.
4. THE CONTRACTOR SHALL REPAIR, REPLACE, RETRENCH, REBACKFILL OR ERECT FALLEN DOWN, UNDERMINED OR OVERRUN SILT FENCE AS REQUIRED TO MAINTAIN ITS EFFECTIVENESS TO CONTAIN OR DIRECT STORM WATER TO THE PEA STONE FILTERS.
5. THE CONTRACTOR SHALL CLEAN AND REPLACE THE STONE IN THE INLET FILTERS AND REPLACE TORN OR DAMAGED FILTER FABRIC AS REQUIRED.
6. THE CONTRACTOR SHALL REPAIR ERODED OR DAMAGED SLOPES. THE DAMAGED AREA OF THE SLOPES SHALL BE STABILIZED WITH STONE AND/OR TOPSOIL SEED AND MULCH OR EROSION CONTROL BLANKETS WITH A THIN COVER OF MULCH.
7. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES AND MATERIALS WHEN THEY ARE NO LONGER NEEDED AND/OR VEGETATION IS VIGOROUSLY ESTABLISHED OVER UNPAVED AREAS. TOPSOIL, SEED, MULCH AND EROSION CONTROL BLANKETS SHALL BE PLACED OR INSTALLED AS REQUIRED IN AREAS EXPOSED BY THE REMOVAL OF SILT FENCE AND STONE OUTLET FILTERS WHEN THEY ARE NO LONGER NEEDED.



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LOTS 7, 8 & 9
12-07-329-013 & 035
3811 ORMOND ROAD

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG DIAL 811 (TOLL FREE)

GRANT WARD SURVEYORS
REGISTERED LAND SURVEYOR
LICENSE NO. 22445

Table with columns: SITE PLAN, DATE, SHEET, SCALE, JOB NO.

GRANT WARD SURVEYORS
REGISTERED LAND SURVEYORS
855 BROADWAY - P.O. BOX 440
DAVISBURG, MICHIGAN 48350
PHONE: (248) 634-0700
EMAIL: GWS@TR.COM

REVISIONS	DATE	BY

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HOMEPANS
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ELEVATIONS/ROOF PLAN

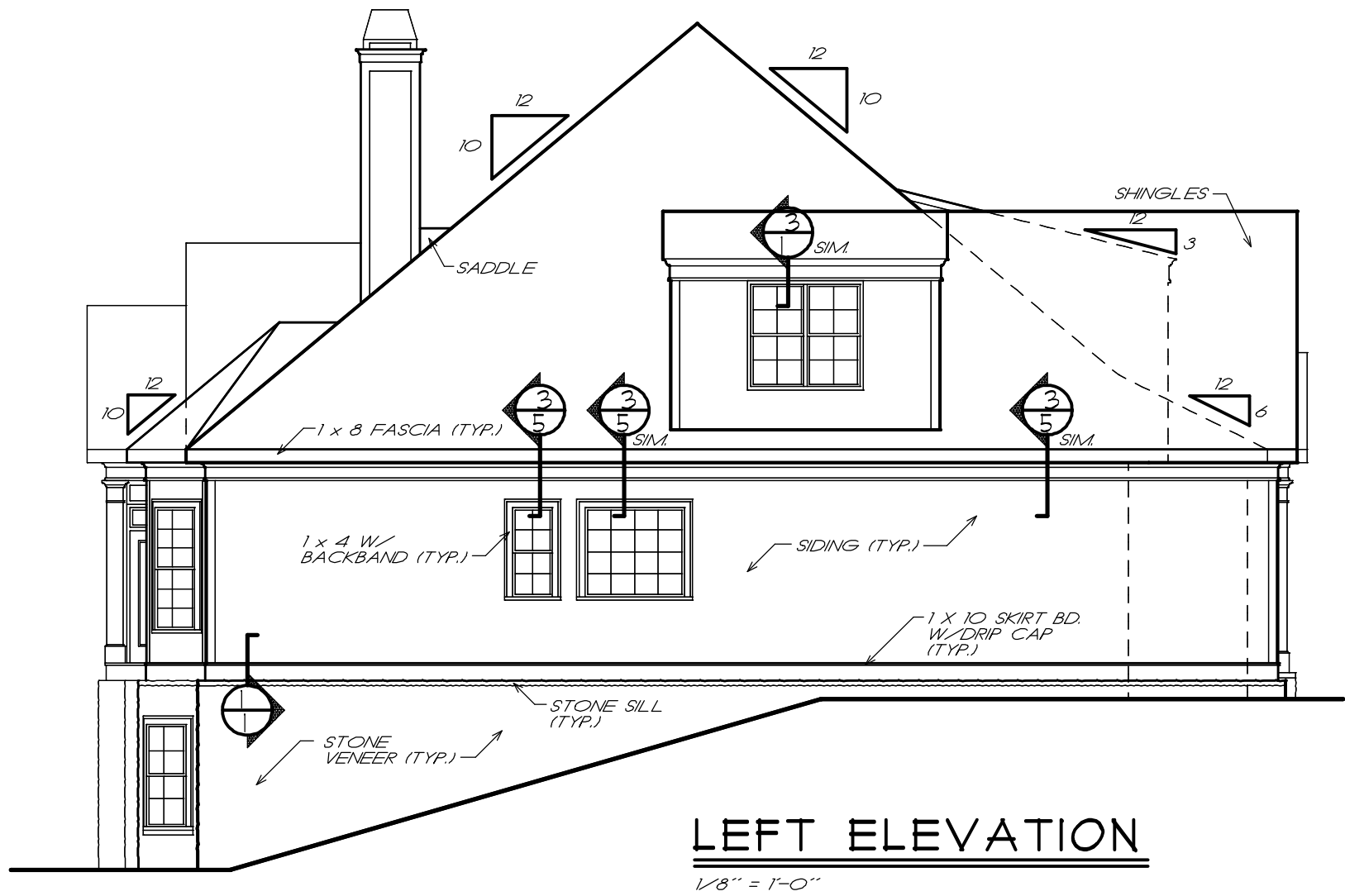
THE BROOKWOOD PARK

FRANK BETZ ASSOCIATES, INC.
DESIGNERS OF CUSTOM AND STOCK HOMEPANS
3550 GEORGE BUSBEE PARKWAY
SUITE 190
KENNESAW, GEORGIA 30144
770-431-0888 888-717-3003

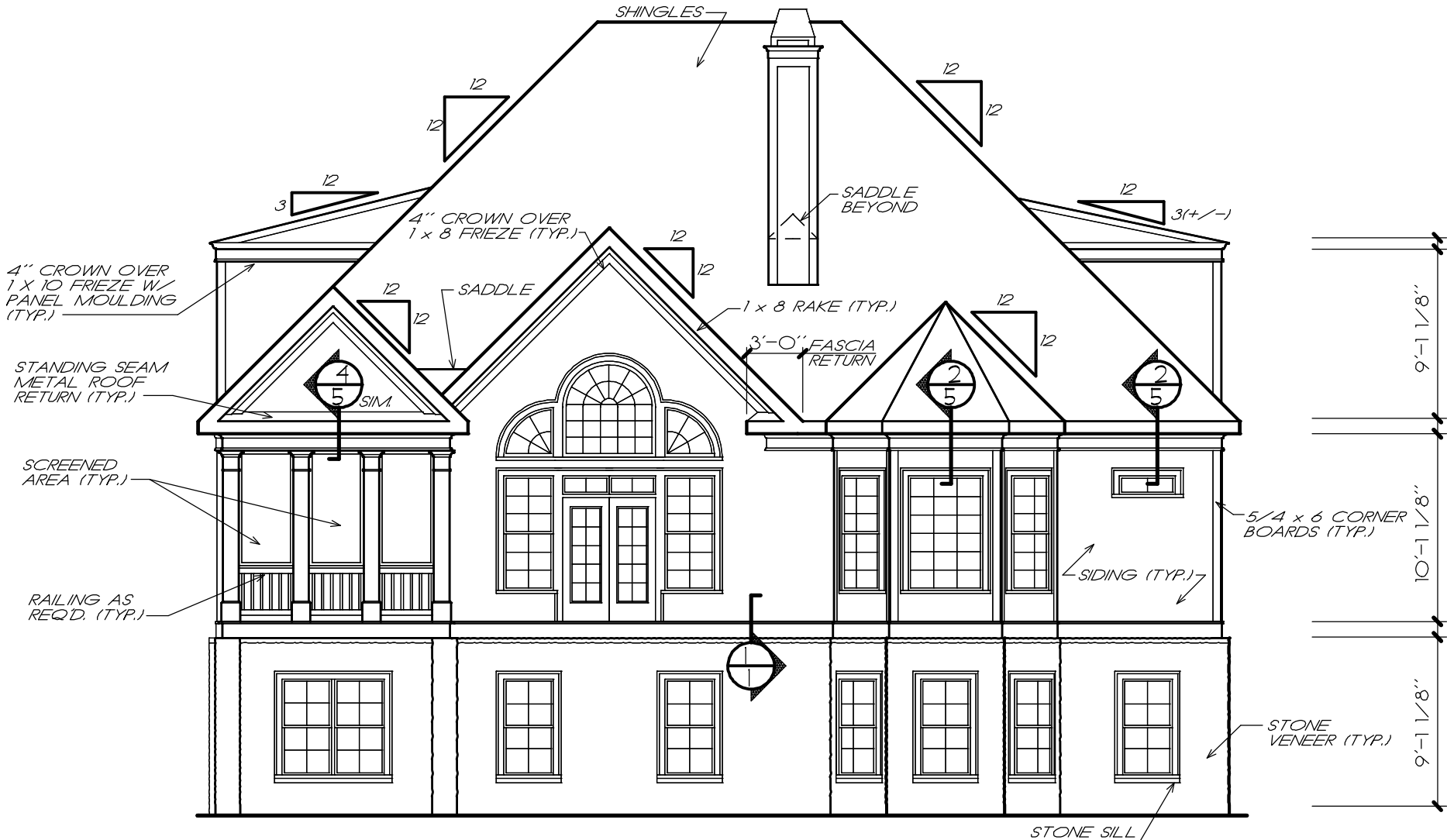
BY: JAG CK HWB

DATE: 1-22-2003

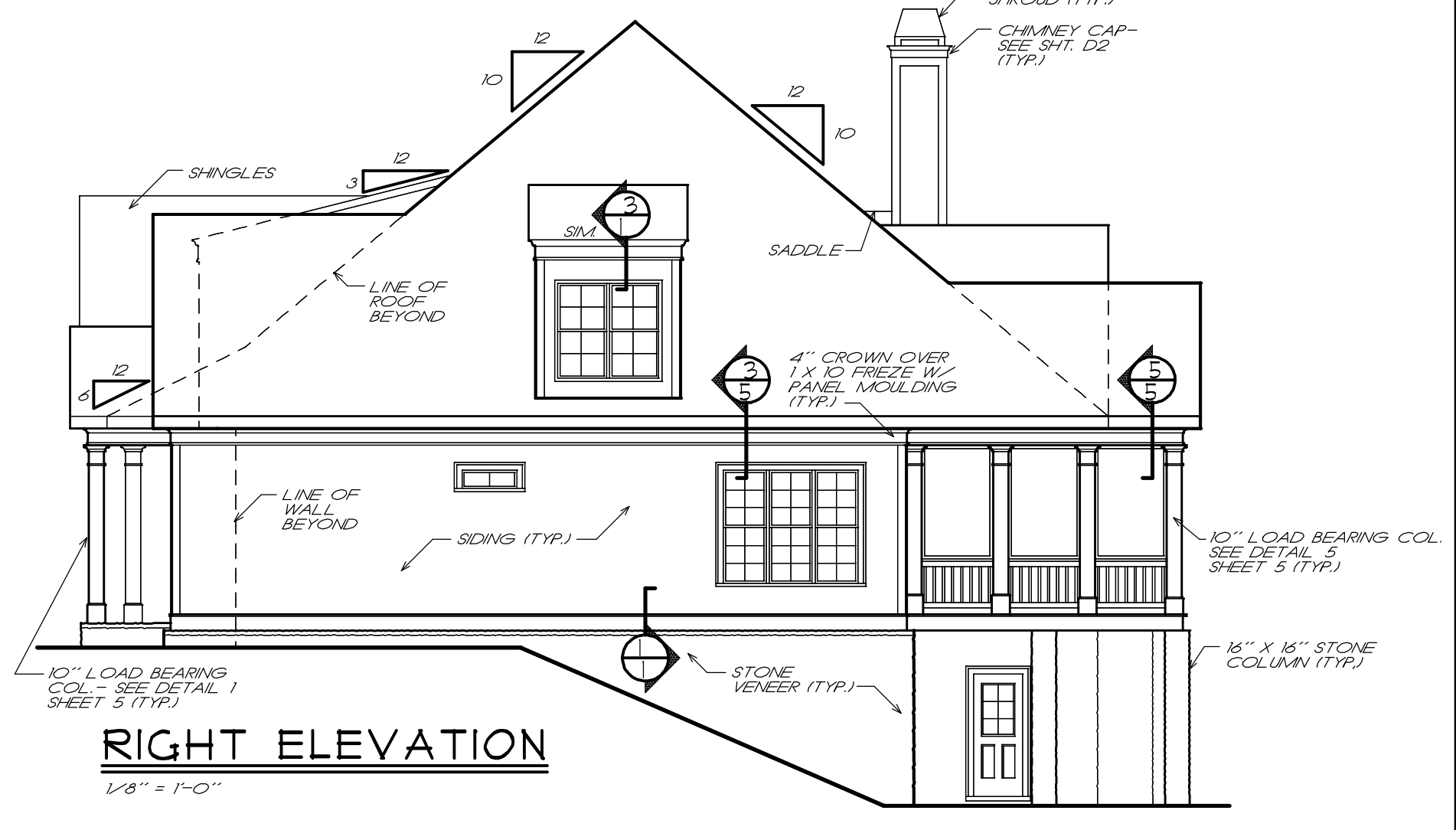
SHEET:
1
OF: 5



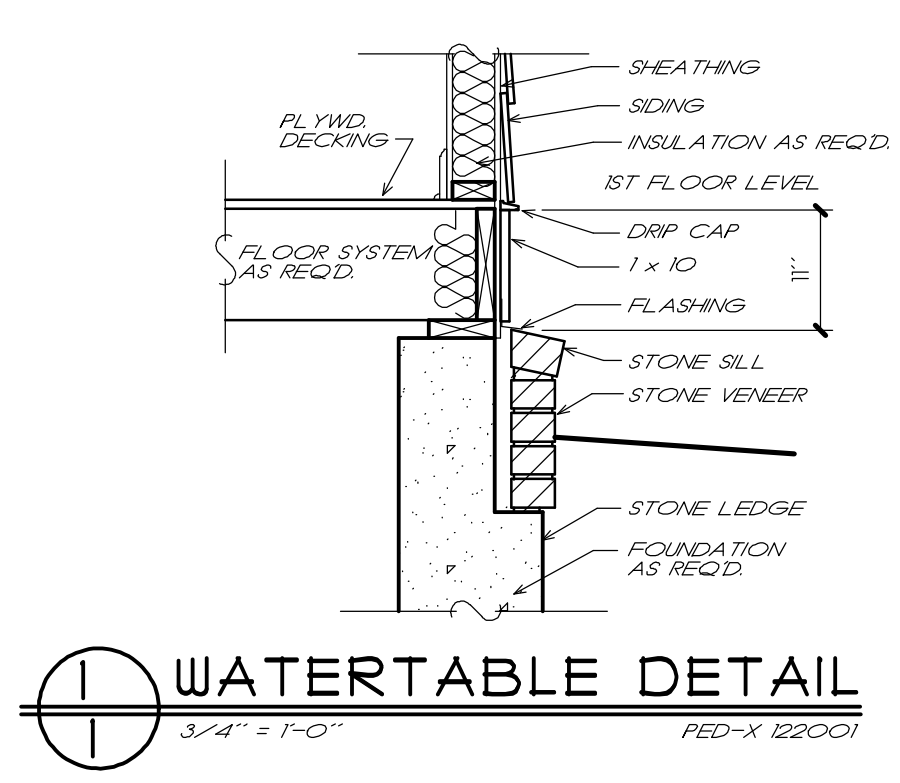
LEFT ELEVATION
1/8" = 1'-0"



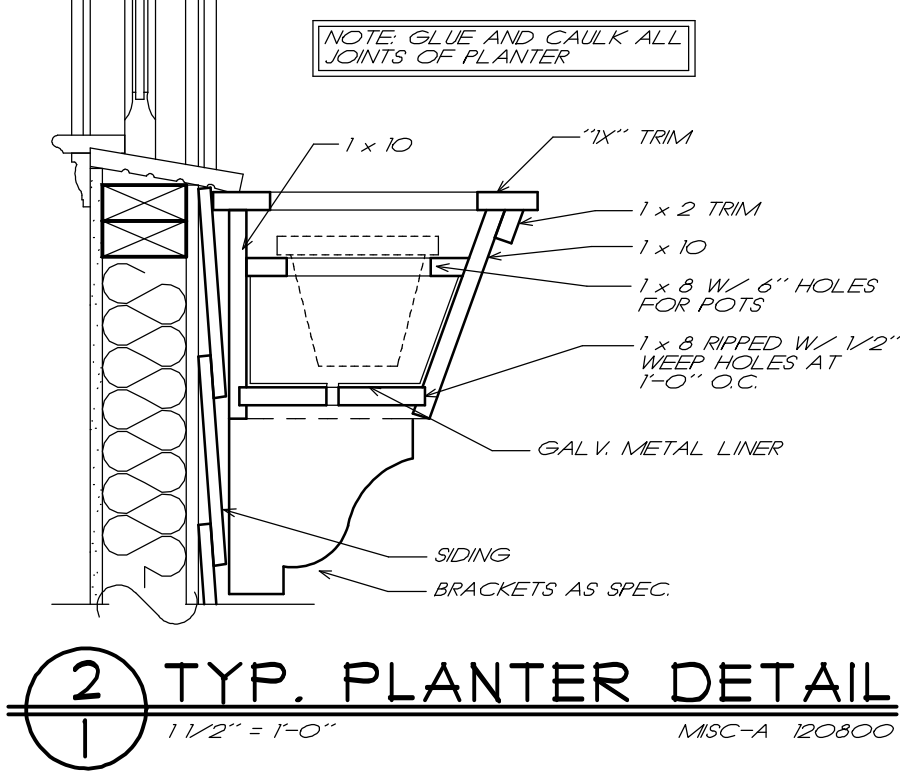
REAR ELEVATION
1/8" = 1'-0"



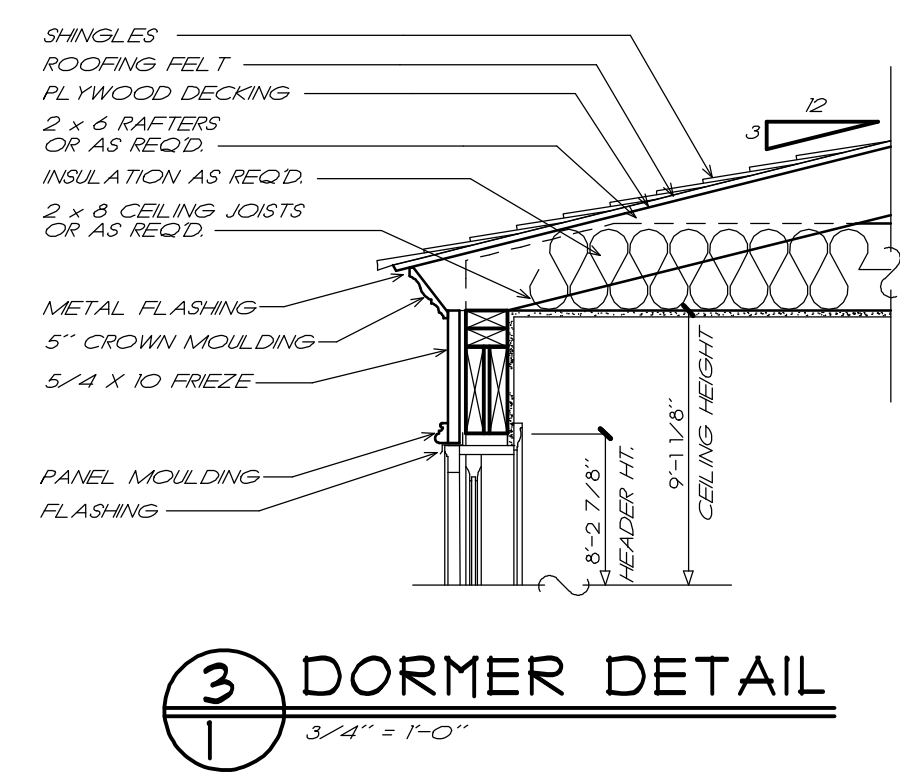
RIGHT ELEVATION
1/8" = 1'-0"



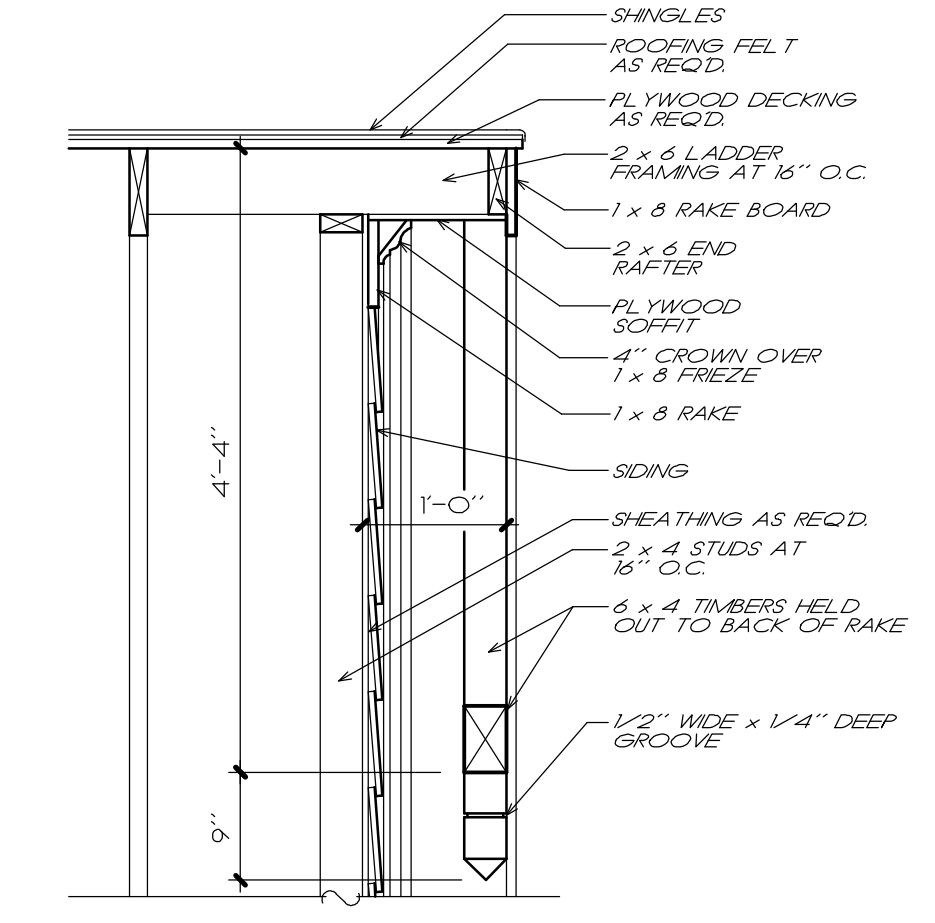
1 WATERTABLE DETAIL
3/4" = 1'-0"



2 TYP. PLANTER DETAIL
1/2" = 1'-0"



3 DORMER DETAIL
3/4" = 1'-0"



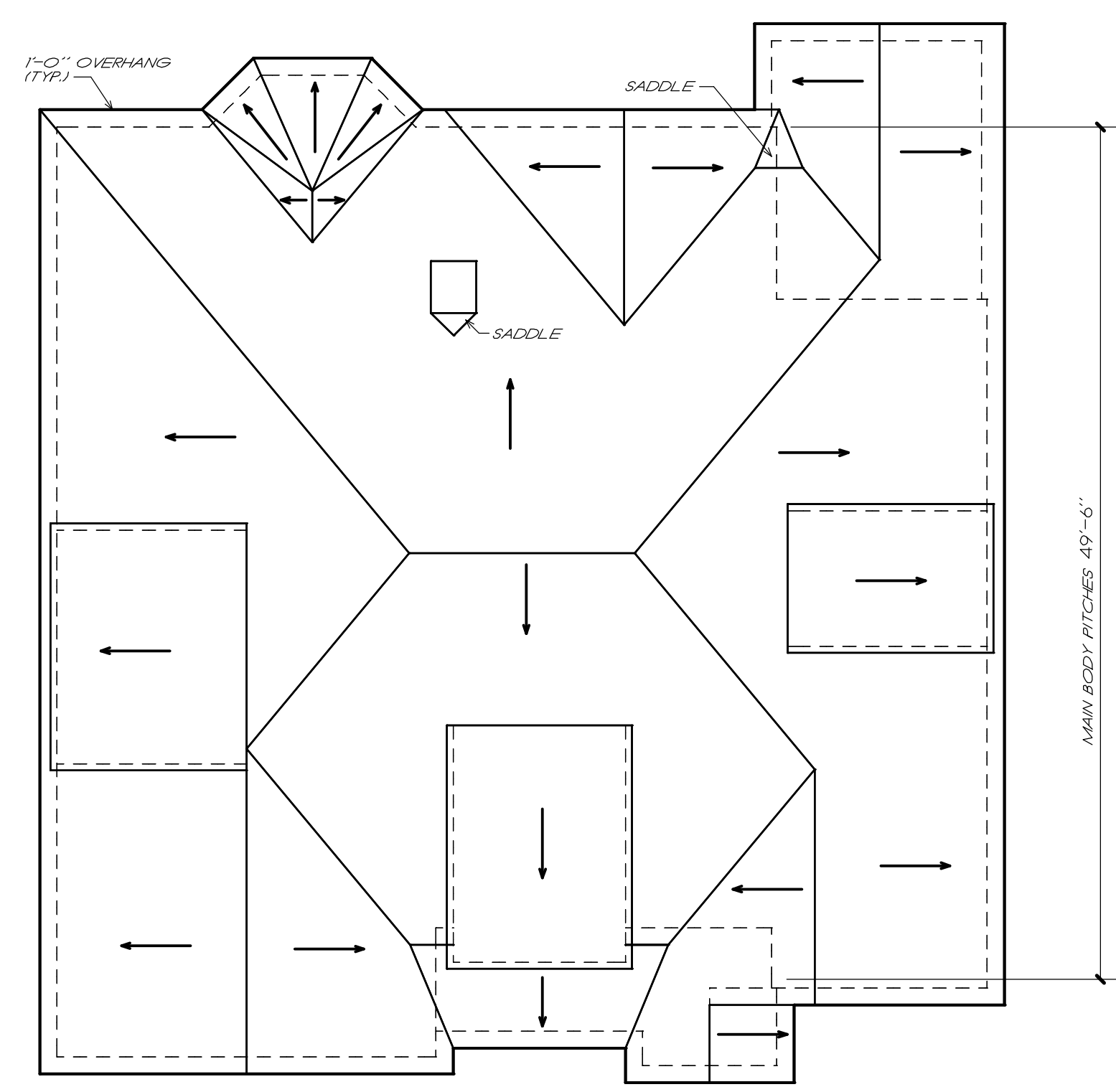
4 TIMBER DETAIL
3/4" = 1'-0"

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-0" OVERHANG

NOTE: ELEVATIONS REFLECT A BASEMENT FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS SEE DETAILS



ROOF PLAN
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"

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25-10-2003 10:50 AM A:\Projects\Brookwood Park\10030301.dwg

House Plan Details

Square Footage

Square Footage Total	3001
First Floor	2123
Second Floor	878
Garage	506
Basement	2123

House Plan Books

Book 28	Page 75
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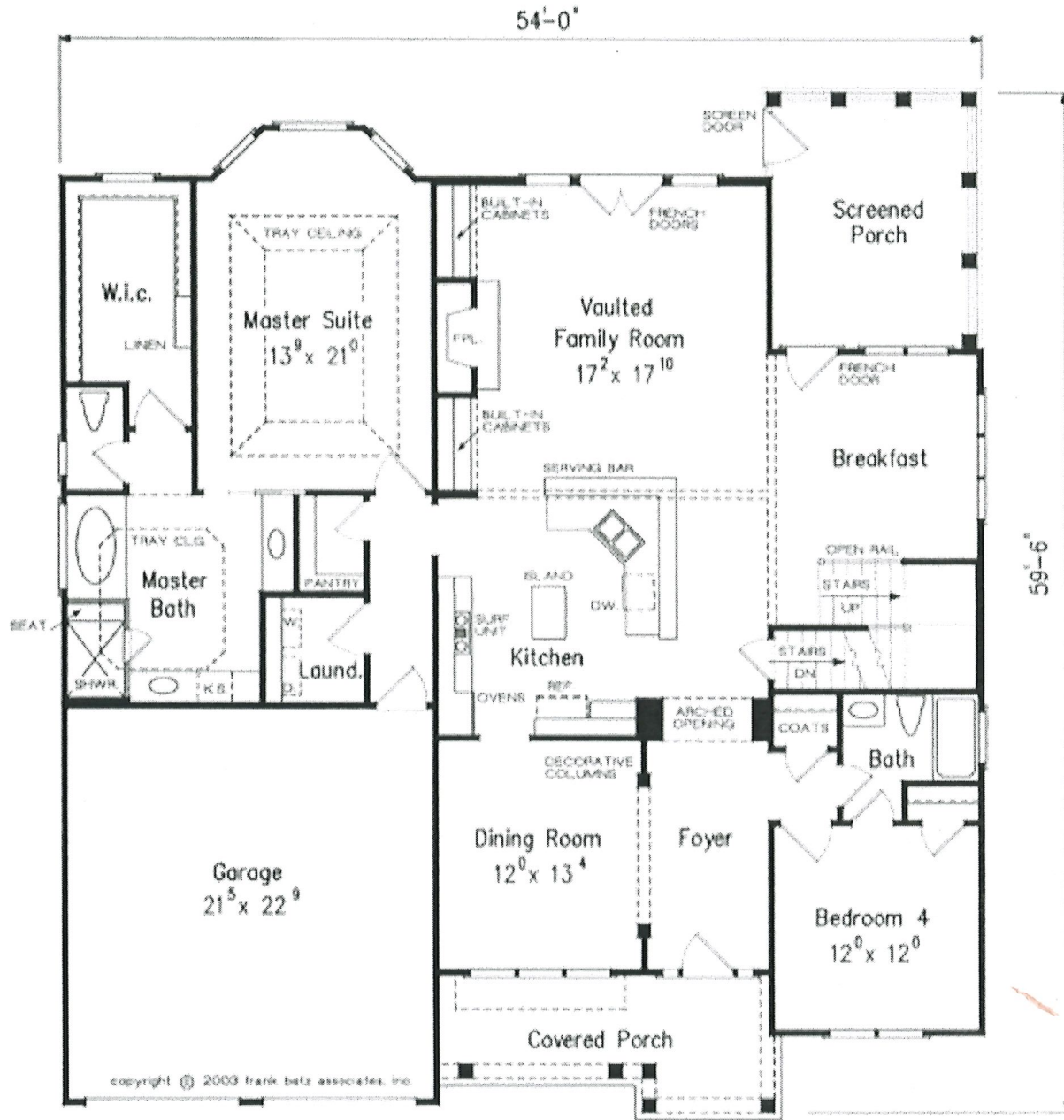
Dimensions

Width	54' - 0"
Depth	59' - 6"
Height	32' - 0"
Main Roof Pitch	10/12

Room Dimensions

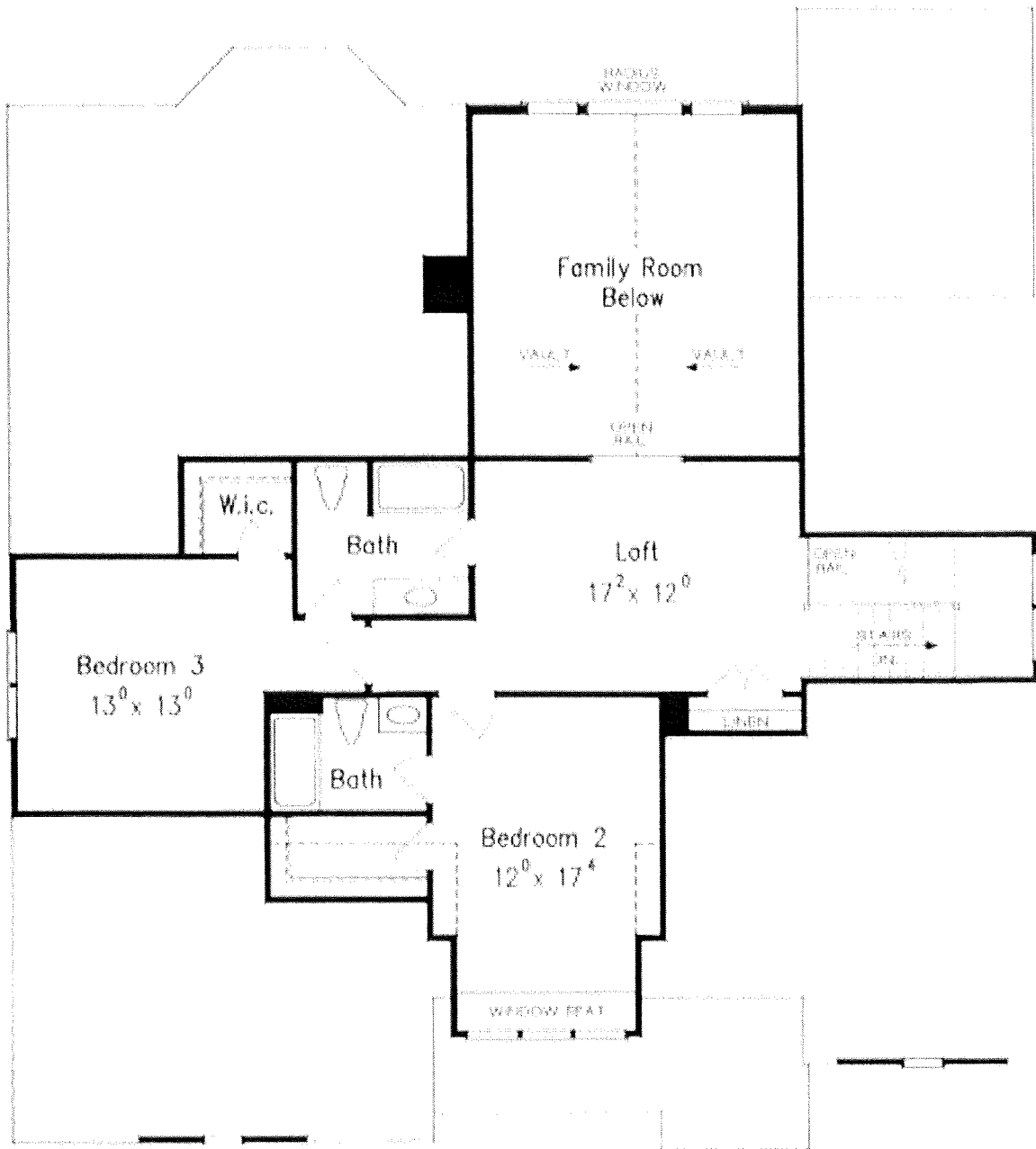
Family Room	17-2 x 17-10 x 16-2
Garage	21-5 x 22-9
Breakfast	12-3 x 12-0 x 10-0
Kitchen	13-0 x 13-10 x 10-0
Dining	12-0 x 13-4 x 10-0
Laundry	5-10 x 6-3 x 10-0
Foyer	7-3 x 13-4 x 10-0
Loft	17-2 x 12-0 x 9-0
Screened Porch	11-0 x 10-2 x 10-0
Master Suite	13-9 x 21-0 x 12-0
Bedroom 2	12-0 x 17-4 x 9-0
Bedroom 3	13-0 x 13-0 x 9-0
Bedroom 4	12-0 x 12-0 x 10-0
Master Closet	7-5 x 11-9 x 10-0
Master Bath Room	13-4 x 12-2 x 10-0

First Floor



FIRST FLOOR PLAN

Second Floor



SECOND FLOOR PLAN

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Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 3, 2022

Andrea Poquette
3811 Ormond Rd
White Lake, MI 48383

RE: Proposed Residential Structure at 3811 Ormond and Property 12-07-329-035

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 35 ft, minimum rear yard setback of 35 ft, minimum lot area of 16,000 sq ft, and maximum lot coverage of 20%.

Article 3.11 (T) of the White Lake Township Clear Zoning Ordinance: The minimum side yard setback for a side entry garage shall be 25'

The proposed newly combined lot would be non-conforming with an area of 13,200 sq ft. The proposed residential structure would have a rear yard setback of 28 ft from the established water's edge on the west side and front yard setback of 24 ft on the east side. The lot coverage would be approximately 26%. Furthermore, the structure would have a side entry garage with a side yard setback of 14.3 ft of a required minimum 25 ft.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. The Zoning Board of Appeals (ZBA) will require certified lot coverage calculations from the engineer as well as the rear setback to be dimensioned from the nearest water's edge. If the variances are approved, the lot combination would be required to be completed before submittal of the Building Permit Application to the Building Department. If you have further questions, the Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: March 24, 2022

Agenda item: 7a

Appeal Date: March 24, 2022

Applicant: Ken & Tyler Strom

Address: 6040 Turnberry Drive
Commerce, MI 48382

Zoning: R1-D Single Family Residential

Location: 1152 Clearwater Boulevard
White Lake, MI 48386

Property Description

The approximately 0.217-acre (9,462 square feet) parcel identified as 1152 Clearwater Boulevard is located on Round Lake and zoned R1-D (Single Family Residential). The property is served by a private well for potable water and the public sanitary sewer system for sanitation.

Applicant's Proposal

Ken & Tyler Strom, the applicants, are proposing to construct a two-story house with an attached two-car garage.

Planner's Report

Based on the submitted architectural plans, the proposed house is 3,158 square feet in size (first floor: 1,544 square feet; second floor: 1,134 square feet; garage: 480 square feet). According to the submitted site plan, the proposed lot coverage is 22.2% (2,101 square feet), which is 2.2% (208.6 square feet) beyond the allowable limit (1,892.4 square feet). As proposed, the house would be located 8.4 feet from the north side lot line and 8.6 feet from the south side lot line, requiring variances from the 10-foot side yard setback. Variances to address the lot area and lot width nonconformities are also requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Side yard setback	10 feet	1.6 feet (north) 1.4 feet (south)	8.4 feet (north) 8.6 feet (south)
2	Article 3.1.6.E	Maximum lot coverage	20% (1,892.4 square feet)	2.2% (208.6 square feet)	22.2% (2,101 square feet)
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	2,538 square feet	9,462 square feet
4	Article 3.1.6.E	Minimum lot width	80 feet	30 feet	50 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Ken & Tyler Strom from Articles 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-401-010, identified as 1152 Clearwater Boulevard, in order to construct a new house that would encroach 1.6 feet into the north side lot line and 1.4 feet from the south side lot line and exceed the allowed lot coverage by 2.2%. A 30-foot variance from the required lot width and a 2,538 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.

Denial: I move to deny the variances requested by Ken & Tyler Strom for Parcel Number 12-35-401-010, identified as 1152 Clearwater Boulevard, due to the following reason(s):

Table: I move to table the variance requests of Ken & Tyler Strom for Parcel Number 12-35-401-010, identified as 1152 Clearwater, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated February 21, 2022.
2. Applicant's written statement dated February 22, 2022.
3. Site plan dated February 4, 2022.
4. Architectural plans dated October 7, 2021.
5. Letter of denial from the Building Official dated February 10, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A – E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: KEN & TYLER STROM PHONE: 248-514-1618

ADDRESS: 6040 TURNBERRY

APPLICANT'S EMAIL ADDRESS: KEN-STROM@COMCAST.NET

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 1152 CLEARWATER BLVD PARCEL # 12 - 35-401-010

CURRENT ZONING: R1-D PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

VALUE OF IMPROVEMENT: \$ 600,000 SEV OF EXISTING STRUCTURE: \$ N/A

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

HOME IS APPROX 3 FT WIDER THAN ALLOWED BY CURRENT SET BACKS (NORTH & SOUTH)

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 2/21/22

2-22-2022

SIDE YARD AND AREA VARIANCE REQUEST.

TO THE TOWNSHIP OF WHITE LAKE,

THE ORIGINAL LOTS AS PLATTED ARE NON-CONFORMING TO THE CURRENT ZONING AND ORDINANCE

VARIANCE REQUEST FOR LOT 49 (PARCEL ID # 12-35-401-009) 1142 CLEARWATER) APPROVED JUNE 2019

1) LOT 50 (PARCEL ID # 12-35-401-010) VACANT CLEARWATER (HOUSE RECENTLY DEMOLISHED ON LOT 49) , AND SEPTIC FIELD WAS ABANDONED ON LOT 50 LOT SIZE (205 * 44) 8656 SQ FT. PROPOSED HOUSE FOOTPRINT 2101 SQ FT. $2101/9462*100 = 22.20 \%$

SITE TO BE SERVICED:

- 1) BY INDIVIDUAL POTABLE WELL (WITH 50' ISOLATION)
- 2) LOTS 49 AND 50 ARE SERVICED BY MUNICIPAL SANITARY FORCED MAIN, AS ALREADY INSTALLED BY OWNER, AND APPROVED AS THE PER TOWNSHIP STANDARDS AND REVIEW

CURRENT ZONING:

R1-D SINGLE FAMILY
REQUIRED SETBACKS :

FRONT (ROAD) 30'
SIDE 10'
REAR 35
NATURAL LAKE SETBACK 25'
MINIMUM LOT SIZE 12,000 SQ FT

REQUESTED VARIANCE FOR FOR LOT 50

1) REQUEST AS FOLLOWS

- A) NORTH SIDE YARD TO 1.6' VARIANCE
- B) SOUTH SIDE YARD TO 1.4' VARIANCE

2) ALSO LOT SIZE VARIANCE:

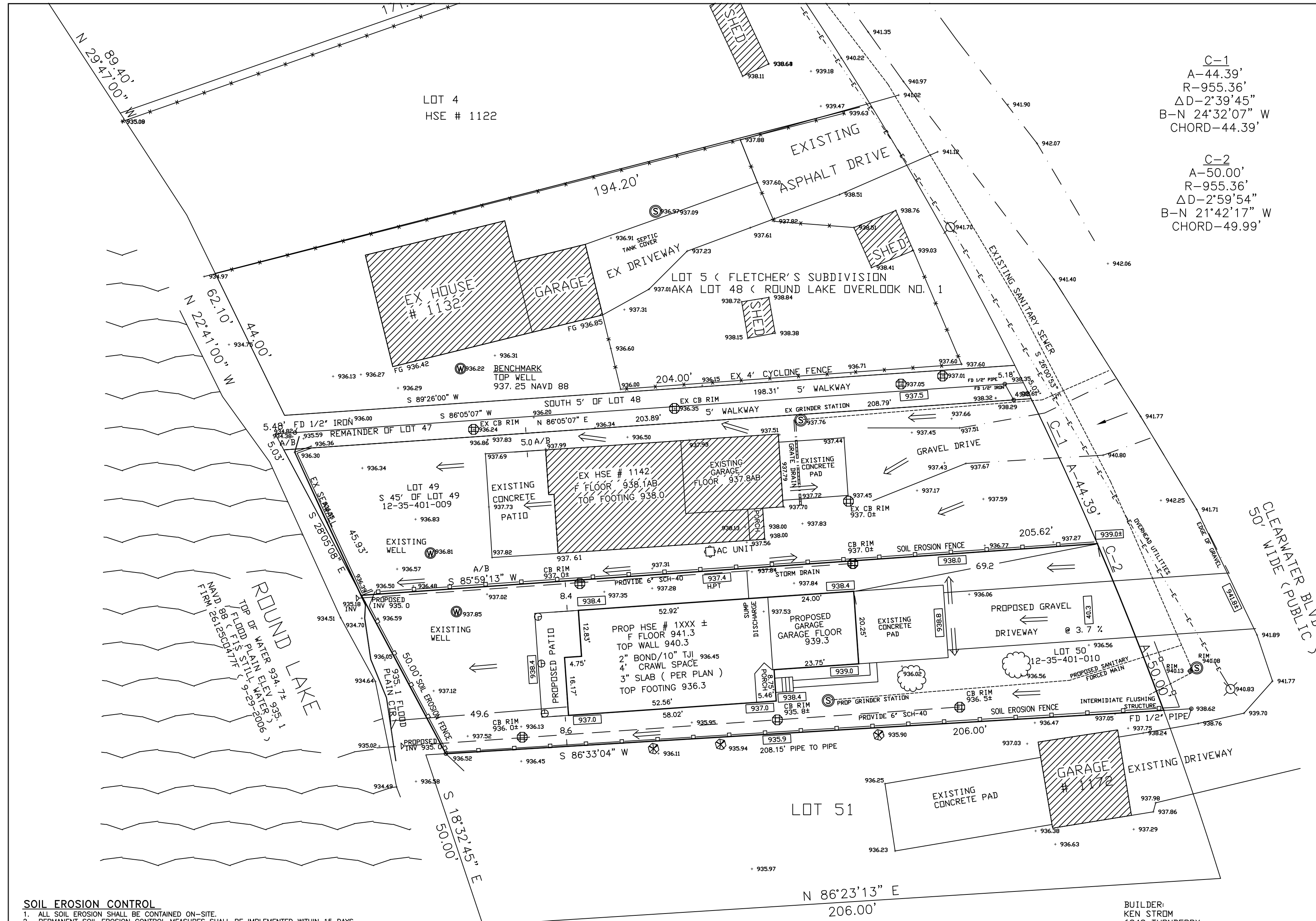
REQUIRED 12000 SQ FT EXISTING LOT SIZE 9462 SQ FT VARIANCE REQUESTED 2538 SQ FT

PROPOSED HOUSE = 2101 SQ FT /

OBESERVATIONS:

- 1) ALL THE THE LOTS IN ROUND LAKE OVERLOOK # 1, (AS APPROVED BY THE TOWNSHIP OF WHITE LAKE IN AUGUST OF 1916) ARE NON CONFORMING LOTS AS PER THE CURRENT ORDINANCE

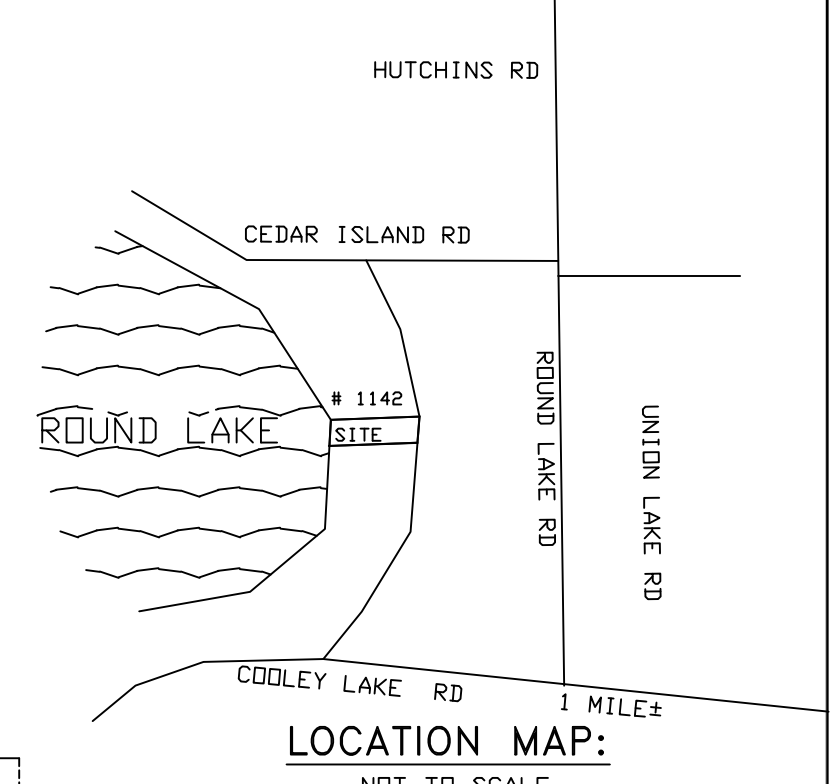
- 2) AT THE TIME OF THE ORIGINAL PLAT LOTS WHERE CONFORMING TO THE CURRENT STANDARDS
- 3) THE VARIANCE WILL BE CONFORMING WITH THE SURROUNDING LOTS.
- 4) WITHIN 300', SEVERAL NON CONFORMING LOTS HAVE 5' SIDE YARDS AND SOME LESS.
- 5) THE LOTS AS PLATTED DO NOT MEET THE NEW TOWNSHIP STANDARDS FOR LOT AREA



C-1
 A=44.39'
 R=955.36'
 ΔD=2°39'45"
 B-N 24°32'07" W
 CHORD=44.39'

C-2
 A=50.00'
 R=955.36'
 ΔD=2°59'54"
 B-N 21°42'17" W
 CHORD=49.99'

N
 BASIS OF BEARING
 COORDINATE SYSTEM
 NAD83 (CDRS) 2011
 SPC-MI-SOUTH ZONE
 VERTICAL DATUM
 NAVD 88 (CDRS)



PARCEL DESCRIPTION:
 LOT 50 OF " ROUND LAKE OVERLOOK NO. 1 " ALL THAT PART OF THE NW 1/4, SE 1/4 OF SEC. 35, T3N, R8E, LYING EAST OF ROUND LAKE, ALSO ALL THAT EAST 7/8, SOUTH 1/2, SE 1/4, OF SECTION 35, LYING DIRECTLY SOUTH OF THE NW 1/4, AND NORTH OF TOWNSHIP HIGHWAY IN SEC 35, WHITE LAKE TOWNSHIP, OAKLAND CO., MICHIGAN. AS RECORDED IN L. 15 OF PLATS, PAGE 26 OCR CONTAINING 9,462 SQ FT OR 0.2172 ACRES

AKA:
 VACANT CLEARWATER BLVD
 WHITE LAKE MI. 48386-3924
 PARCEL ID 12-35-401-010

- LEGEND**
- ⊕ INLET BASIN
 - ⊙ STORM MANHOLE
 - ⊙ SANITARY MANHOLE
 - S— SANITARY SEWER
 - SS— STORM SEWER
 - W— WATERMAIN
 - 0.000 EXISTING GRADES
 - 0.000 PROPOSED GRADES
 - DRAINAGE ARROW
 - SOIL EROSION FENCE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - X FENCE LINE
 - ⊕ GATE VALVE
 - ⊕ HYDRANT
 - ⊕ POWER POLE
 - ⊕ POWER LINE
 - ⊕ CATCH BASIN
 - ⊕ DRAINAGE SWALE
 - ⊕ UTILITY PAD/PEDISTAL
 - ⊕ PINE TREE
 - ⊕ DECIDUOUS TREE
 - ⊕ SOIL BORING
 - ⊕ TO BE REMOVED
 - ⊕ PROP AC UNIT
 - ⊕ PROP GENERATOR
 - ⊕ GAS METER
 - ⊕ ELECTRIC METER
 - ⊕ PROPOSED DOWNSPOUT
 - ⊕ CHANGES TO PLAN
 - ⊕ PROP BUSH
 - ⊕ EX OLD STUMP

CONSTRUCTION NOTES:

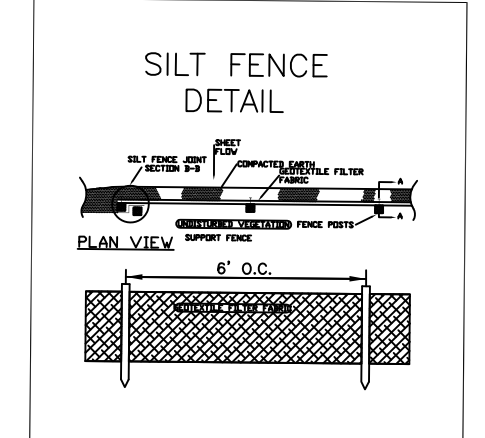
- BULDER/OWNER OWNS LOT 49 & LOT 50,
 1) PROPOSED HOUSE FOUNDATION IS TO BE CRAWL ON ENGINEERED FOOTINGS AS PER HARTLEY GEOTECHNICAL REPORT (DATED JAN 11, 2019) FOUNDATION TO BE HELICAL PIERS
- 2) PROVIDES SOIL EROSION CONTROLS AS SHOWN
- 3) SANITARY SEWER FORCED MAIN
 A) PROVIDE ELECTRICAL SERVICE AND PROPER ACCESS THROUGH THE CRAWL SPACE AS REQUIRED
- 4) POTABLE WATER IS NEW WELL, LOCATION AS SHOWN
 A) WELL TO BE 50' FROM ANY SEPTIC AND OR THE PROPOSED GRINDER STATION
 B) PROVIDE ELECTRICAL SERVICE AND PROPER ACCESS THROUGH THE SLAB AS REQUIRED
- 5) PROVIDE STORM SEWER AS SHOWN, AND CONNECT ALL DOWNSPOUTS AND SUMP IF NEEDED.
- 6) AC UNIT AND OR GENERATOR NOT TO BE IN THE SIDEYARD SETBACK.
- 7) FLOOD PLAIN CTR 935.1 FOLLOWS BOTTOM OF SEAWALL ON LOT 50

SOIL EROSION CONTROL

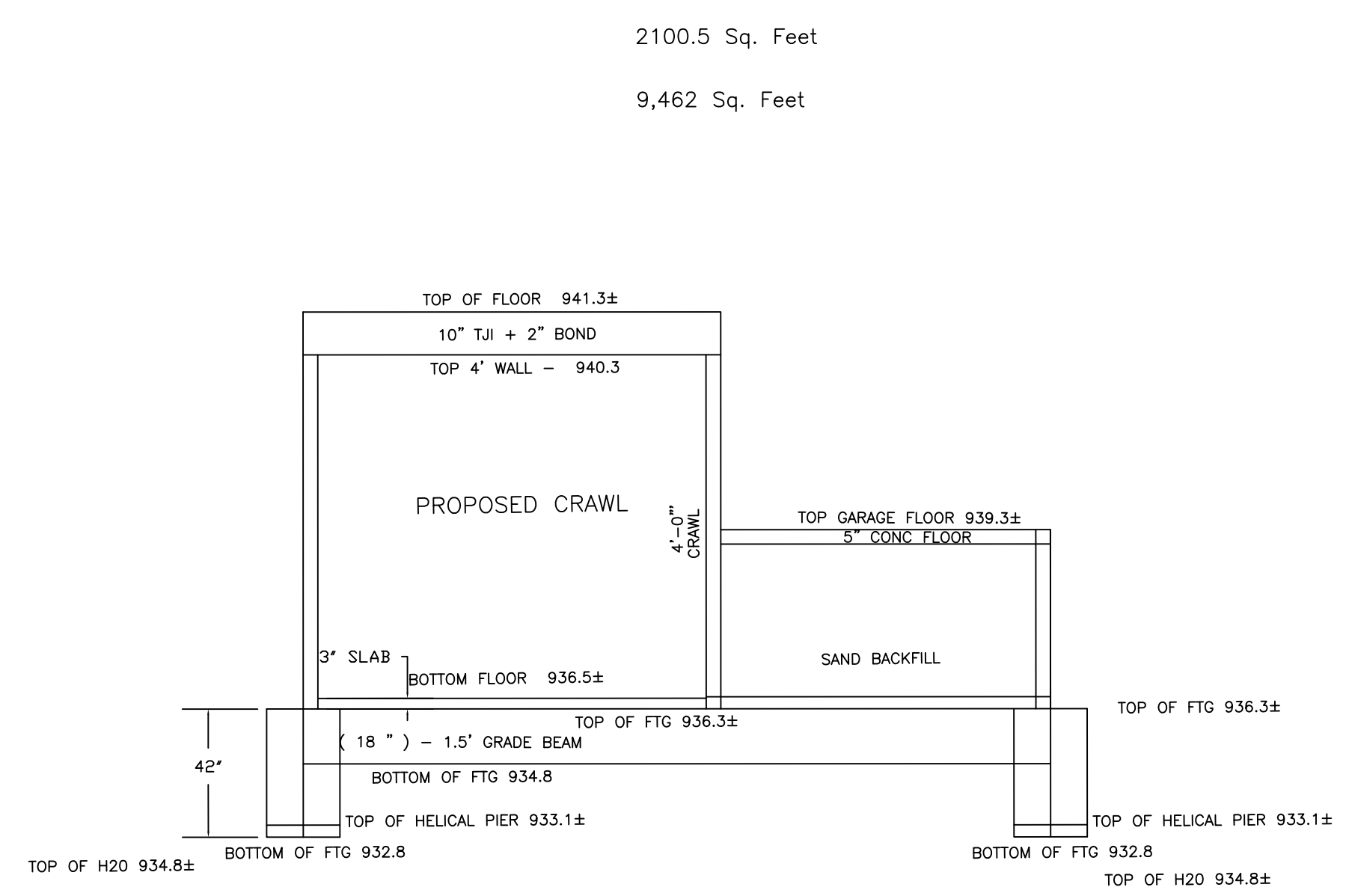
1. ALL SOIL EROSION SHALL BE CONTAINED ON-SITE.
2. PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 15 DAYS WITHIN 30 DAYS OF FINAL EARTH DISRUPTION.
3. AFTER THE FINAL EARTH DISRUPTION, WHERE PERMANENT MEASURES CANNOT BE IMPLEMENTED, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED.
4. THE OWNER SHALL CAUSE TO HAVE PERIODIC REMOVAL OF DEBRIS AND SEDIMENT BUILD-UP FROM EROSION CONTROL MEASURES DURING CONSTRUCTION.
5. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTORS' OPERATION SHALL BE REPLACED THE SAME WORKING DAY.
6. THE OWNER SHALL OBTAIN OR CAUSE HIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS, PAY ALL PERMIT FEES AND POST ALL BONDS TO EACH AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER EROSION CONTROL MEASURES ON THIS PROJECT.
7. UNTIL ALL DISTURBED AREAS HAVE BEEN REESTABLISHED WITH VEGETATION, THE DEVELOPER IS RESPONSIBLE FOR INSPECTING AFTER EACH WORKING DAY ALL SEDIMENT TRAPS AND FILTERS OF THE INVERT OF THE OUTLET PIPE, THE STRUCTURE IS TO BE COMPLETELY CLEANED OF SEDIMENT. IF INSPECTION INDICATES THAT THE SEDIMENT HAS ACCUMULATED TO WITHIN 1 OR 2 INCHES OF THE INVERT OF THE OUTLET PIPE, THE STRUCTURE IS TO BE COMPLETELY CLEANED OF SEDIMENT.
8. SEEDING, MULCHING, ESTABLISHMENT OF VEGETATIVE COVER OR OTHER PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN FIFTEEN (15) CALENDAR DAYS FOLLOWING THE COMPLETION OF GRADING OR EARTH CHANGES.
9. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED, OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY OCCURS, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN THREE (3) CALENDAR DAYS ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
10. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE BUILDER

3 WORKING DAYS (72 HOURS)
BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171
 (TOLL-FREE FOR THE LOCATION OF UNDERGROUND FACILITIES)

SOILS PER OAKLAND CO. SOIL SURVEY
 T-13B OSHTOMO-BOYER LOAMY SANDS
 0 TO 6 PERCENT SLOPES



UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED.
 A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.



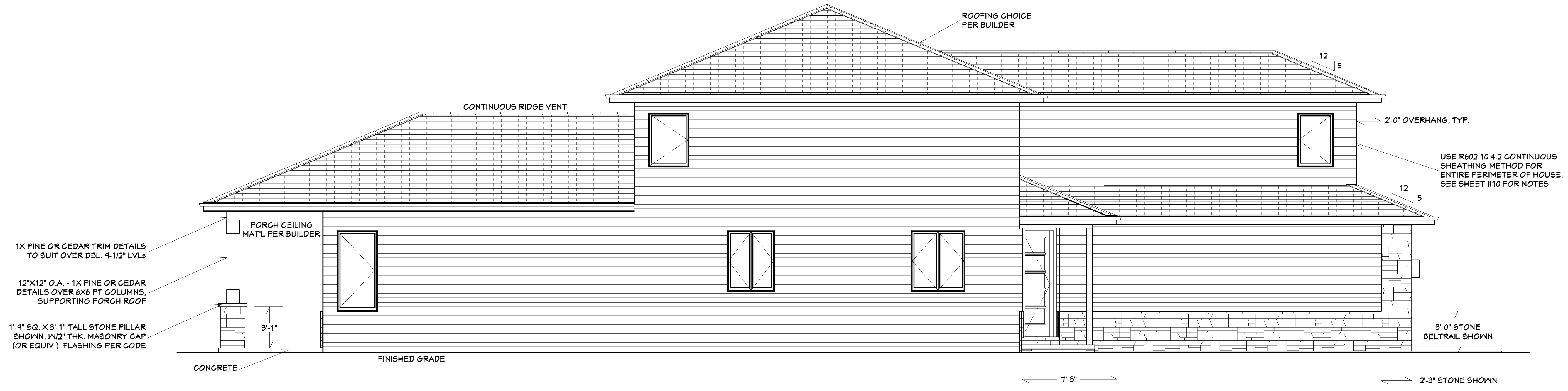
NOTE:
 IT IS THE CLIENTS RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND, THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.

PARCEL AREA 9,462 Sq. Feet
 PROPOSED HOUSE FOOTPRINT 2101 SQ FT.
 PROPOSED LOT COVERAGE
 2101/9462*100 = 22.20 %
 30% MAXIMUM WITH SANITARY SEWERS

PROFESSIONAL LAND SURVEYORS 8615 RICHARDSON ROAD-SUITE 100 WALLED LAKE, MICHIGAN 48390 (248)263-1515 (FAX)263-1646 © 2019 DPS&A, INC. ALL RIGHTS RESERVED EMAIL ADDRESS: ASURVEYOR@AOL.COM	DATE 2-4-2022
	SCALE 1" = 20'
PROPOSED SITE PLAN FOR: KEN STROM	JOB NO. 19-020700 LOT 50
VACANT CLEARWATER BLVD WHITE LAKE MI 48386-3924	SHEET NO. 1 OF 1
DRAWN: DPS, COMP. NET DIRECTORY 2019 DWG	



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	DATE

SHEET TITLE:
FRONT AND LEFT SIDE ELEVATIONS

PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
**OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House**

DATE:

10.07.2021

PAPER:

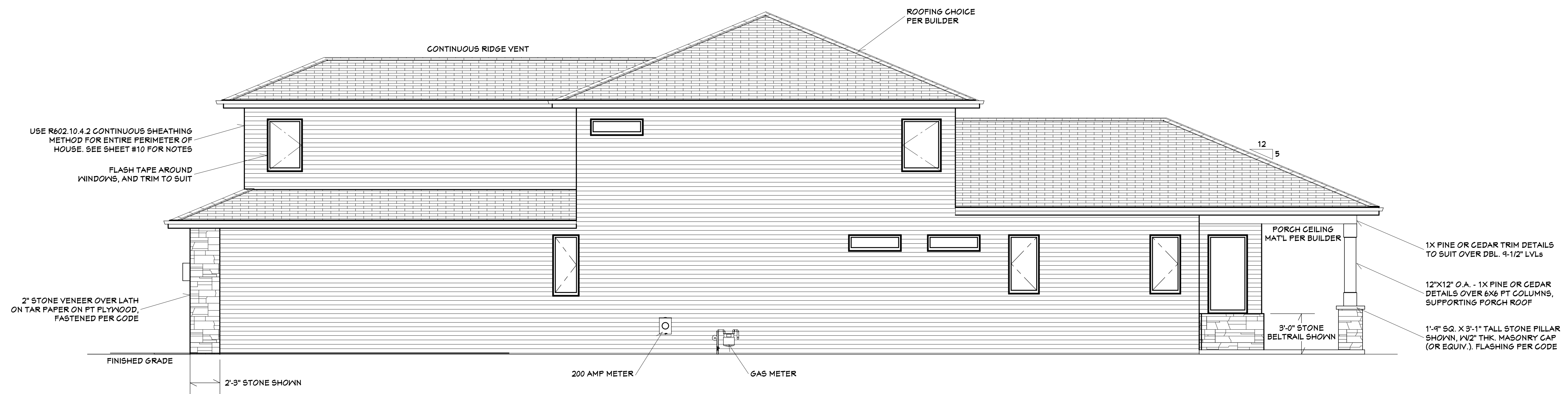
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REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	DATE

SHEET TITLE:
REAR AND RIGHT SIDE ELEVATIONS

PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
**OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
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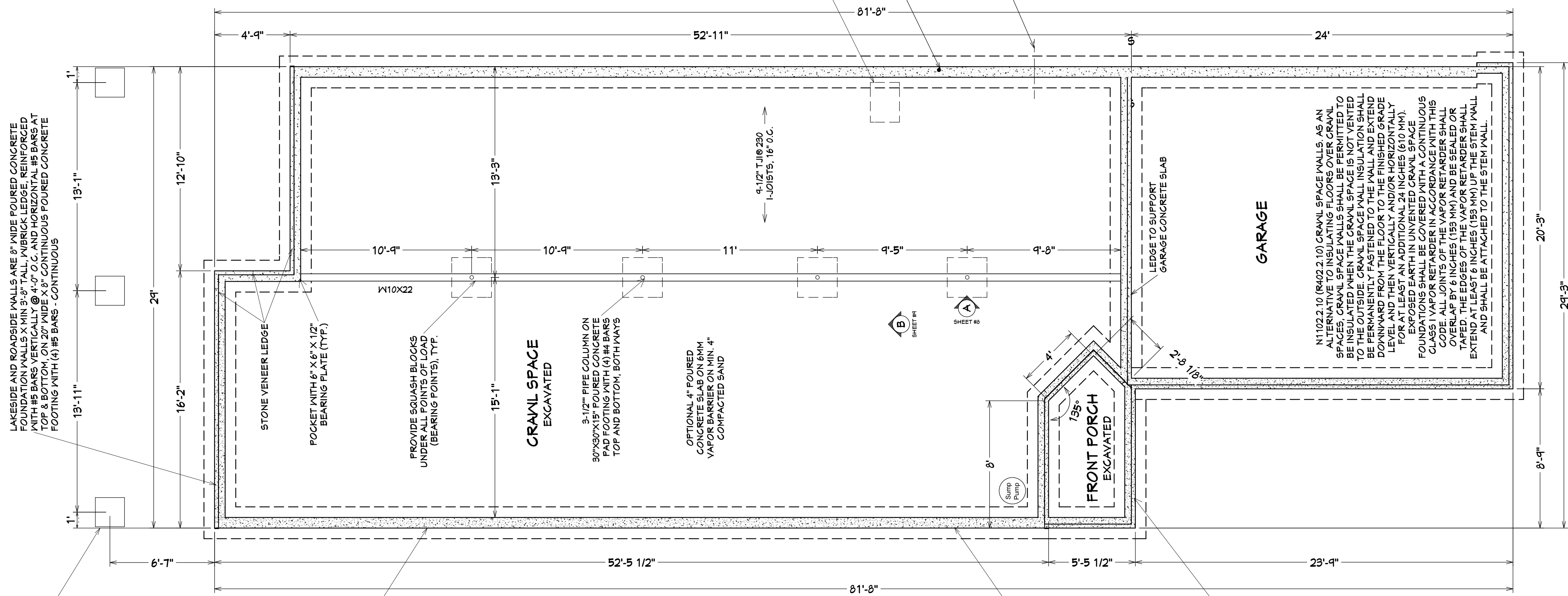
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10.07.2021

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SHEET:
A-4

THIS HOME TO BE BUILT ON HELICAL PIERS/PILES

- HELICAL PILES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL BUILDING CODE (IBC) ADOPTED BY THE LOCAL JURISDICTION.
- HELICAL PILE SHALL BE RECOGNIZED BY ICG AND THE MANUFACTURER SHALL HOLD A CURRENT ICC-ES ESR REPORT SHOWING COMPLIANCE WITH AC308 AND CURRENT INTERNATIONAL BUILDING CODE (IBC) ADOPTED BY THE LOCAL JURISDICTION.
- DIMENSIONS OF THE CENTRAL SHAFT AND THE NUMBER, SIZE, SPACING AND THICKNESS OF THE HELICAL BEARING PLATES SHALL BE DESIGNED AND FABRICATED TO SUPPORT THE SPECIFIED DESIGN LOADS.
- MINIMUM AND MAXIMUM INSTALLATION TORQUES SHALL BE SPECIFIED BY THE HELICAL PILE MANUFACTURER. THE MINIMUM INSTALLATION TORQUE SHALL BE HIGH ENOUGH TO ACHIEVE THE REQUIRED BEARING CAPACITY, INCLUDING A SAFETY FACTOR OF 2. THE MAXIMUM INSTALLATION TORQUE SHALL NOT EXCEED THE ALLOWABLE TORSIONAL CAPACITY OF THE PILE SHAFTS.
- HELICAL PILES SHALL BE DESIGNED AND MANUFACTURED TO RESIST ALL STRESSES INDUCED BY INSTALLATION.
- EXISTING CONDITIONS AND UNDERGROUND OBSTRUCTIONS SHALL BE CONFIRMED BY THE PILE INSTALLER. PROBING OR SCANNING MAY BE NECESSARY TO LOCATE UNDERGROUND OBSTRUCTIONS. REPORT ANY UNFORESEEN OBSTRUCTIONS TO THE STRUCTURAL ENGINEER ASSIGNED TO PROJECT.
- LOCATIONS OF PILES SHALL NOT BE CHANGED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.
- SPECIAL INSPECTION OF THE HELICAL PILE INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 1704.10 OF THE 2004 & 2012 IBC OR SECTION 1705.9 OF THE 2015 IBC UNLESS EXCEPTIONS NOTED IN SECTION 1704.2 OF IBC ARE MET. THE INSPECTOR SHALL RECORD THE FOLLOWING:
 - INSTALLATION DATE.
 - PILE MANUFACTURER.
 - INSTALLATION CONTRACTOR.
 - IDENTIFICATION OF INSTALLATION EQUIPMENT.
 - MINIMUM ALLOWABLE INSTALLATION TORQUE.
 - MAXIMUM ALLOWABLE INSTALLATION TORQUE.
 - CENTRAL SHAFT DIAMETER OF EACH PILE.
 - HELIX PLATE CONFIGURATION OF EACH PILE.
 - ACTUAL TIP EMBEDMENT OF EACH PILE.
 - ACTUAL INSTALLATION TORQUE OF EACH PILE.
 - ULTIMATE CAPACITY OF EACH PILE AS SPECIFIED BY MANUFACTURER.
 - ALLOWABLE CAPACITY OF EACH PILE AS SPECIFIED BY MANUFACTURER.



FOUNDATION
SCALE: 1/4"=1'-0"

FOUNDATION NOTES:

- ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.
- INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.
 - * JOINTS AROUND WINDOW AND DOOR FRAMES
 - * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
 - * JOINTS BETWEEN WALL AND FOUNDATION
 - * JOINTS BETWEEN WALL AND ROOF
 - * JOINTS BETWEEN WALL PANELS
 - * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

R401.2 REQUIREMENTS. FOUNDATION CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IN ACCORDANCE WITH SECTION R301 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING SOIL. FILL SOILS THAT SUPPORT FOOTINGS AND FOUNDATIONS SHALL BE DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. GRAVEL FILL USED AS FOOTINGS FOR WOOD AND PRECAST CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION R403.

R401.4 SOIL TESTS. 2015 MICHIGAN RESIDENTIAL CODE STATES: WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

THIS HOME DESIGN STATE: IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO WORK WITH LICENSED SOILS ENGINEERING FIRM TO DETERMINE ADEQUATE FOOTING DESIGN FOR HOME BASED ON LAND SOIL CONDITIONS. FOOTING DESIGN REFERENCED IN THIS SET OF DRAWINGS IS BASED ON A MINIMUM LOAD BEARING VALUE OF SOIL OF 2500(PSF), AND THE DESIGNER OF THESE PLANS IS NOT RESPONSIBLE FOR, AND HAS NOT PERFORMED, ANY SOIL TESTS ON THE LAND WHERE THIS HOUSE WILL GO.

SECTION R403 - FOOTINGS

R403.1 GENERAL. ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOLID OR FULLY GROUTED MASONRY OR CONCRETE FOOTINGS, CRUSHED STONE FOOTINGS, WOOD FOUNDATIONS, OR OTHER APPROVED STRUCTURAL SYSTEMS WHICH SHALL BE OF SUFFICIENT DESIGN TO ACCOMMODATE ALL LOADS ACCORDING TO SECTION R301 AND TO TRANSMIT THE RESULTING LOADS TO THE SOIL WITHIN THE LIMITATIONS AS DETERMINED FROM THE CHARACTER OF THE SOIL. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL. CONCRETE FOOTING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R403 OR IN ACCORDANCE WITH ACI 302.

R403.1.6 FOUNDATION ANCHORAGE. WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH THIS SECTION. WOOD SOLE PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS SPACED A MAXIMUM OF 6 FEET (1828 MM) ON CENTER OR APPROVED ANCHORS OR ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL EXTEND A MINIMUM OF 1 INCHES (25.4 MM) INTO CONCRETE OR GROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R311 AND R312.

FOUNDATION NOTES:

- SECTION R404 - FOUNDATION AND RETAINING WALLS**
- R404.1 CONCRETE AND MASONRY FOUNDATION WALLS.** CONCRETE FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404.1.3. MASONRY FOUNDATION WALLS SHALL BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R404.1.2.
- R404.1.3 CONCRETE FOUNDATION WALLS.** CONCRETE FOUNDATION WALLS THAT SUPPORT LIGHT-FRAME WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION, ACI 318, ACI 302 OR PCA 100.
- R404.1.3.1 CONCRETE CROSS-SECTION.** CONCRETE WALLS CONSTRUCTED IN ACCORDANCE WITH THIS CODE SHALL COMPLY WITH THE SHAPES AND MINIMUM CONCRETE CROSS-SECTIONAL DIMENSIONS REQUIRED BY TABLE R609.3. OTHER TYPES OF FORMING SYSTEMS RESULTING IN CONCRETE WALLS NOT IN COMPLIANCE WITH THIS SECTION AND TABLE R609.3 SHALL BE DESIGNED IN ACCORDANCE WITH ACI 318.
- R404.1.3.2 REINFORCEMENT FOR FOUNDATION WALLS.** CONCRETE FOUNDATION WALLS SHALL BE LATERALLY SUPPORTED AT THE TOP AND BOTTOM. HORIZONTAL REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R404.1.2(1). VERTICAL REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R404.1.2(2), R404.1.2(3), R404.1.2(4), R404.1.2(5), R404.1.2(6), R404.1.2(7) OR R404.1.2(8). VERTICAL REINFORCEMENT FOR FLAT BASEMENT WALLS RETAINING 4 FEET (1219 MM) OR MORE OF UNBALANCED BACKFILL IS PERMITTED TO BE DETERMINED IN ACCORDANCE WITH TABLE R404.1.2(9).
- R404.1.3.3.1 STEEL REINFORCEMENT.** STEEL REINFORCEMENT SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, A706, OR A996. ASTM A996 BARS PRODUCED FROM RAIL STEEL SHALL BE TYPE R.
- R404.1.3.3.2 LOCATION OF REINFORCEMENT IN WALL.** THE CENTER OF VERTICAL REINFORCEMENT IN BASEMENT WALLS DETERMINED FROM TABLES R404.1.2(2) THROUGH R404.1.2(7) SHALL BE LOCATED AT THE CENTERLINE OF THE WALL. VERTICAL REINFORCEMENT IN BASEMENT WALLS DETERMINED FROM TABLE R404.1.2(8) SHALL BE LOCATED TO PROVIDE A MAXIMUM COVER OF 1 1/4 INCHES (32 MM) MEASURED FROM THE INSIDE FACE OF THE WALL. REGARDLESS OF THE TABLE USED TO DETERMINE VERTICAL WALL REINFORCEMENT, THE CENTER OF THE STEEL SHALL NOT VARY FROM THE SPECIFIED LOCATION BY MORE THAN THE GREATER OF 10 PERCENT OF THE WALL THICKNESS AND 3/8 INCH (10 MM). HORIZONTAL AND VERTICAL REINFORCEMENT SHALL BE LOCATED IN FOUNDATION WALLS TO PROVIDE THE MINIMUM COVER REQUIRED BY SECTION R404.1.3.3.1.4.
- R404.1.6 HEIGHT ABOVE FINISHED GRADE.** CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4 INCHES (102 MM) WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES (152 MM) ELSEWHERE.
- R404.1.7 BACKFILL PLACEMENT.** BACKFILL SHALL NOT BE PLACED AGAINST THE WALL UNTIL THE WALL HAS SUFFICIENT STRENGTH AND HAS BEEN ANCHORED TO THE FLOOR ABOVE, OR HAS BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY THE BACKFILL. NOTE: GARAGE POURED WALLS SHALL ONLY BE BACKFILLED UP TO 9'-0" (WITH SUFFICIENT BRACING) PRIOR TO 100% COMPLETE INSTALLATION AND TIE-IN OF KERKSTA PRECAST INC FLOOR PANEL INSTALLATION BY KERKSTA PRECAST INC.
- SECTION R405 - FOUNDATION DRAINAGE**
- R405.1 CONCRETE OR MASONRY FOUNDATIONS.** DRAINS SHALL BE PROVIDED AROUND CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM.
- SECTION R406 - FOUNDATION WATERPROOFING AND DAMPROOFING**
- R406.1 CONCRETE AND MASONRY FOUNDATION DAMPROOFING.** EXCEPT WHERE REQUIRED BY SECTION R406.2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE DAMPROOFED.
- R406.2 CONCRETE AND MASONRY FOUNDATION WATERPROOFING.** IN AREAS WHERE A HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED.

NO.	DESCRIPTION	DATE

SHEET TITLE:
FOUNDATION AND NOTES

PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
**OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House**

DATE:

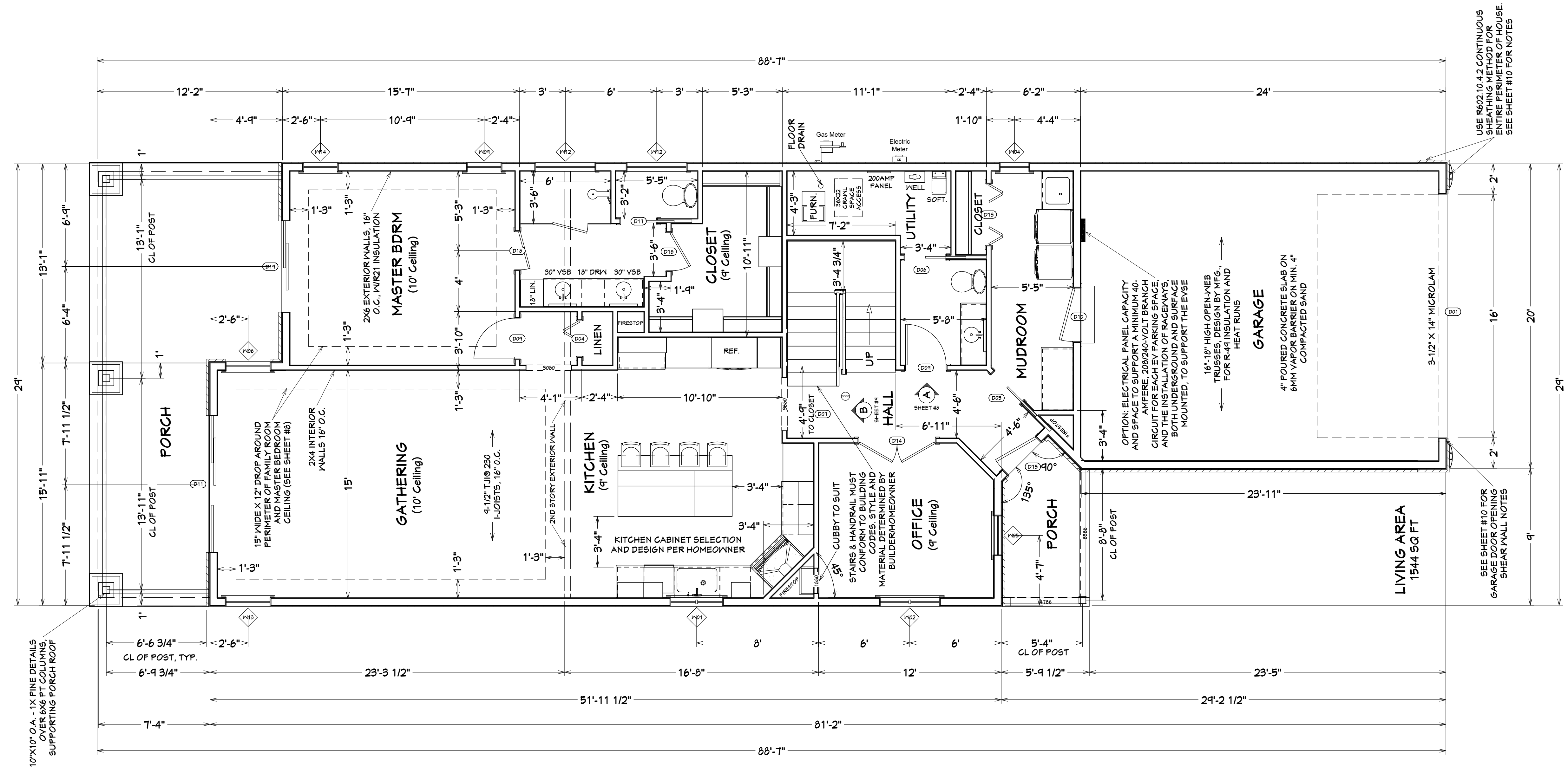
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1ST FLOOR
SCALE: 1/4"=1'-0"

WINDOW AND DOOR SCHEDULES SHOULD ONLY BE USED FOR REFERENCE, WITH FINAL SELECTIONS, AND RELATED R/Os DETERMINED BY THE BUILDER, HOMEOWNER, AND SUPPLIER. ALL FIRST FLOOR WINDOW/DOOR TOP OF UNIT IS 46", AND ALL 2ND STORY WINDOW/DOOR TOP OF UNIT IS 80"

DOOR SCHEDULE							
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	16000	1	16000	142"	46"	196"X99"	GARAGE DOOR
D02	5460	1	5460 L/R	64"	80"	66"X82 1/2"	4 DR. BIFOLD-DOOR P11
D03	2060	2	2060 R IN	32"	80"	34"X82 1/2"	HINGED-DOOR P11
D04	2480	1	2480 R	28"	46"	30"X98 1/2"	2 DR. BIFOLD-DOOR P11
D05	2080	1	2080 R	32"	46"	66"X98 1/2"	POCKET-DOOR P11
D06	2080	1	2080 L	32"	46"	66"X98 1/2"	POCKET-DOOR P11
D07	2470	1	2470 R IN	28"	84"	30"X86 1/2"	HINGED-DOOR P11
D08	2660	1	2660 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P11
D09	2880	2	2880 L IN	32"	46"	34"X98 1/2"	HINGED-DOOR P11
D10	3680	1	3680 R EX	42"	46"	44"X99"	EXT. HINGED-DOOR P11
D11	100GD2P6080	1	4080 L EX	108"	46"	108 3/4"X96 1/2"	EXT. TRIPLE SLIDER-GLASS PANEL
D12	2860	1	2860 L IN	32"	80"	34"X82 1/2"	HINGED-DOOR P11
D13	4080	1	4080 L/R	48"	46"	50"X98 1/2"	4 DR. BIFOLD-DOOR P11
D14	5080	1	5080 L/R IN	60"	46"	62"X98 1/2"	DOUBLE HINGED-GLASS PANEL
D15	3080	1	3080 R EX	36"	46"	38"X99"	FRONT DOOR ASSEMBLY
D16	2660	2	2660 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P11
D17	2480	1	2480 R	28"	46"	58"X98 1/2"	POCKET-DOOR P04
D18	2680	2	2680 L IN	30"	46"	32"X98 1/2"	HINGED-DOOR P11
D19	100GD2P6080	1	6080 L EX	72"	46"	72 3/4"X96 1/2"	EXT. SLIDER-GLASS PANEL

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
W01	3646DC	1	3646DC	42"	54"	43"X55"		DOUBLE CASEMENT-LHL/RHR	2X6X46" (2)
W02	4046DC	1	4046DC	48"	54"	49"X55"		DOUBLE CASEMENT-LHL/RHR	2X8X52" (2)
W03	3040SC	2	3040SC	36"	48"	37"X49"	YES	SINGLE CASEMENT-HR	2X6X40" (2)
W04	2048SC	1	2048SC	24"	56"	25"X57"		SINGLE CASEMENT-HR	2X6X28" (2)
W05	2850SC	1	2850SC	32"	60"	33"X61"		SINGLE CASEMENT-HL	2X6X36" (2)
W06	3060SC	1	3060SC	36"	72"	37"X73"		SINGLE CASEMENT-HL	2X6X40" (2)
W07	3040SC	2	3040SC	36"	48"	37"X49"	YES	SINGLE CASEMENT-HL	2X6X40" (2)
W08	2840SC	1	2840SC	32"	48"	33"X49"	YES	SINGLE CASEMENT-HR	2X6X36" (2)
W09	2446SC	1	2446SC	28"	54"	29"X55"		SINGLE CASEMENT-HL	2X6X32" (2)
W10	2840SC	1	2840SC	32"	48"	33"X49"	YES	SINGLE CASEMENT-HL	2X6X36" (2)
W11	8040TC	2	8040TC	46"	48"	47"X49"		TRIPLE CASEMENT-LHL/RHR	1 3/4X11 1/4X100" (2)
W12	4013FX	3	4013FX	48"	15"	44"X16"		FIXED GLASS	2X8X52" (2)
W13	3060SC	1	3060SC	36"	72"	37"X73"		SINGLE CASEMENT-HR	2X6X40" (2)
W14	2446SC	1	2446SC	28"	54"	29"X55"		SINGLE CASEMENT-HR	2X6X32" (2)

NO.	DESCRIPTION	DATE

SHEET TITLE:
1ST FLOOR LAYOUT, AND WINDOW/DOOR SCHEDULES

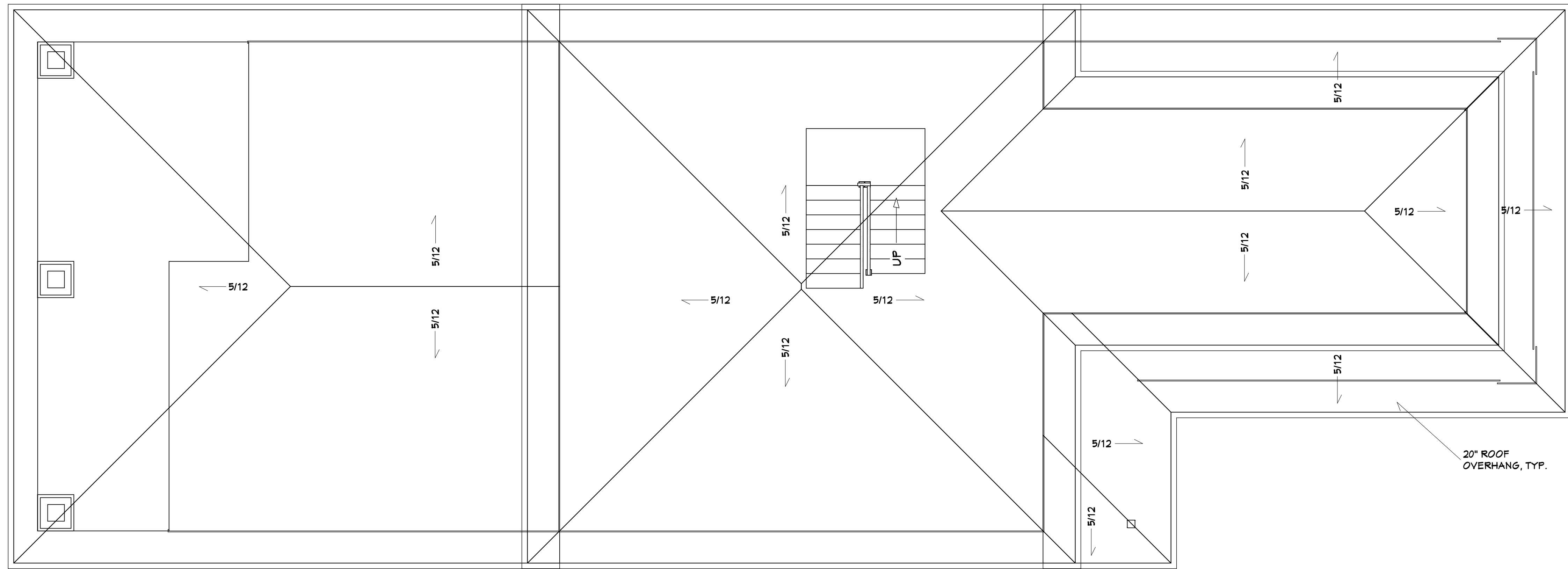
PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
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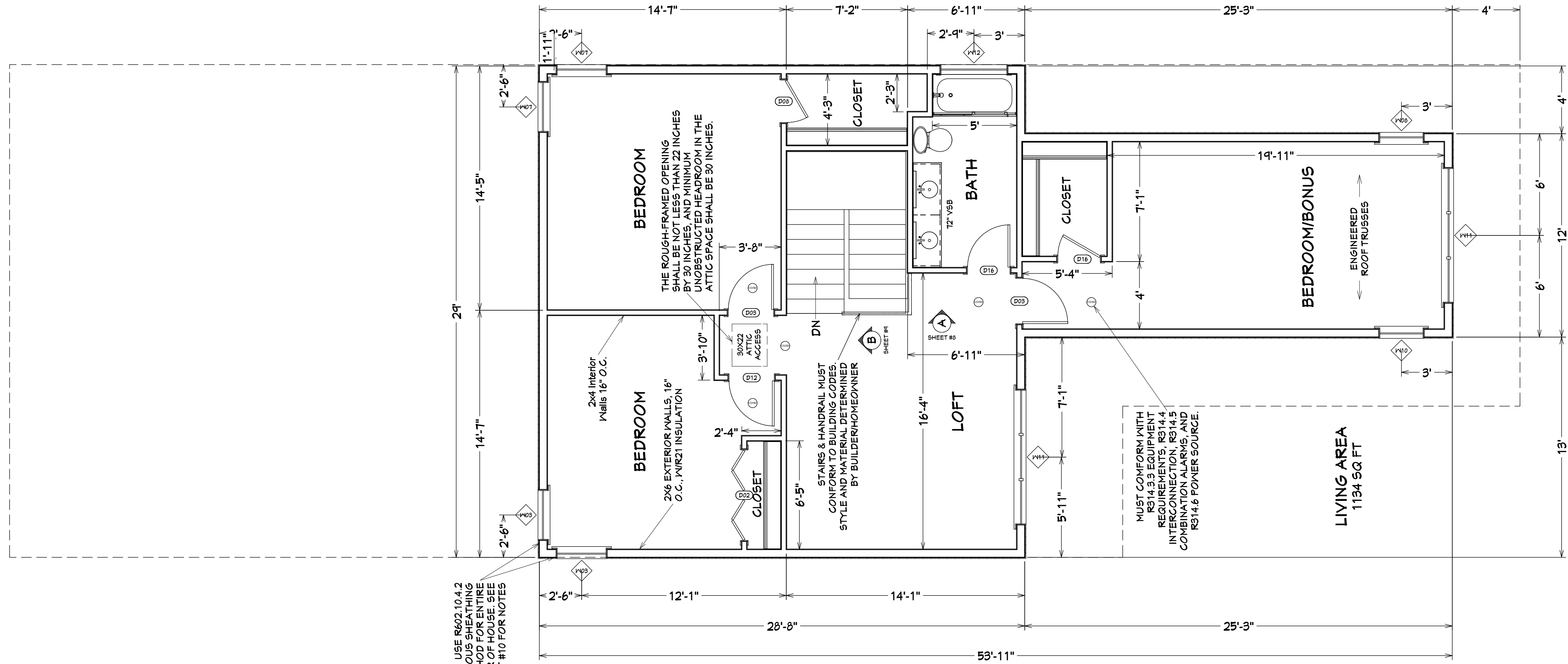
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A-6



ROOF SLOPES
SCALE: 1/4"=1'-0"



2ND FLOOR
SCALE: 1/4"=1'-0"

DRAWINGS PROVIDED BY:
OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House

PROJECT DESCRIPTION:
NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383

SHEET TITLE:
2ND FLOOR LAYOUT AND
ROOF SLOPES

NO.	DESCRIPTION	DATE

DATE:

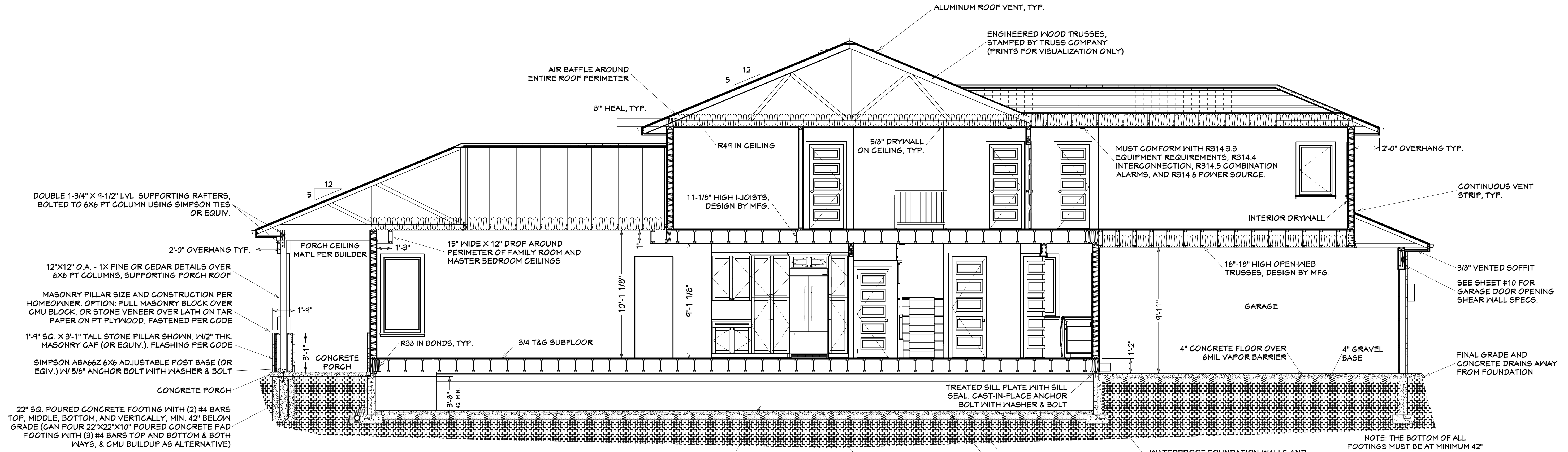
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SHEET:

A-7



N1102.2.10 (R402.2.10) CRAWL SPACE WALLS. AS AN ALTERNATIVE TO INSULATING FLOORS OVER CRAWL SPACES, CRAWL SPACE WALLS SHALL BE PERMITTED TO BE INSULATED WHEN THE CRAWL SPACE IS NOT VENTED TO THE OUTSIDE. CRAWL SPACE WALL INSULATION SHALL BE PERMANENTLY FASTENED TO THE WALL AND EXTEND DOWNWARD FROM THE FLOOR TO THE FINISHED GRADE LEVEL AND THEN VERTICALLY AND/OR HORIZONTALLY FOR AT LEAST AN ADDITIONAL 24 INCHES (610 MM). EXPOSED EARTH IN UNVENTED CRAWL SPACE FOUNDATIONS SHALL BE COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER IN ACCORDANCE WITH THIS CODE. ALL JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6 INCHES (153 MM) AND BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND AT LEAST 6 INCHES (153 MM) UP THE STEM WALL AND SHALL BE ATTACHED TO THE STEM WALL.

SECTION 'A'
SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	DATE

SHEET TITLE:
SECTION 'A' AND NOTES

PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
**OakBridge Development LLC
White Lake, MI 48383
www.OakHouse
MP@OakHouse**

DATE:
10.07.2021

PAPER:
Size: ARCH D

SHEET:
A-8

STAIR NOTES:

R311.7.1 WIDTH. STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY AND THE CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 3 1/2 INCHES (89 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 2 1/2 INCHES (64 MM) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

R311.7.2 HEADROOM. THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

R311.7.3 VERTICAL RISE. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 14 1/4 INCHES (363 MM) BETWEEN FLOOR LEVELS OR LANDINGS.

R311.7.4.1 RISER HEIGHT. THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES (210 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.7.4.2 TREAD DEPTH. THE MINIMUM TREAD DEPTH SHALL BE 4 INCHES (102 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10 INCHES (254 MM) MEASURED AS ABOVE AT A POINT 12 INCHES (305 MM) FROM THE SIDE WHERE THE TREADS ARE NARROWER. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6 INCHES (152 MM) AT ANY POINT WITHIN ANY FLIGHT OF STAIRS. THE GREATEST WINDER TREAD DEPTH AT THE 12-INCH (305 MM) WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). R 409.30514

R311.7.5 STAIR TREADS AND RISERS. STAIR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

R311.7.5.1 RISERS. THE RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

R311.7.5.2 TREADS. THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.7.5.3 NOSINGS. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9 1/8 INCH (14 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH (12.7 MM). EXCEPTION: A NOSING PROJECTION IS NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES (279 MM).

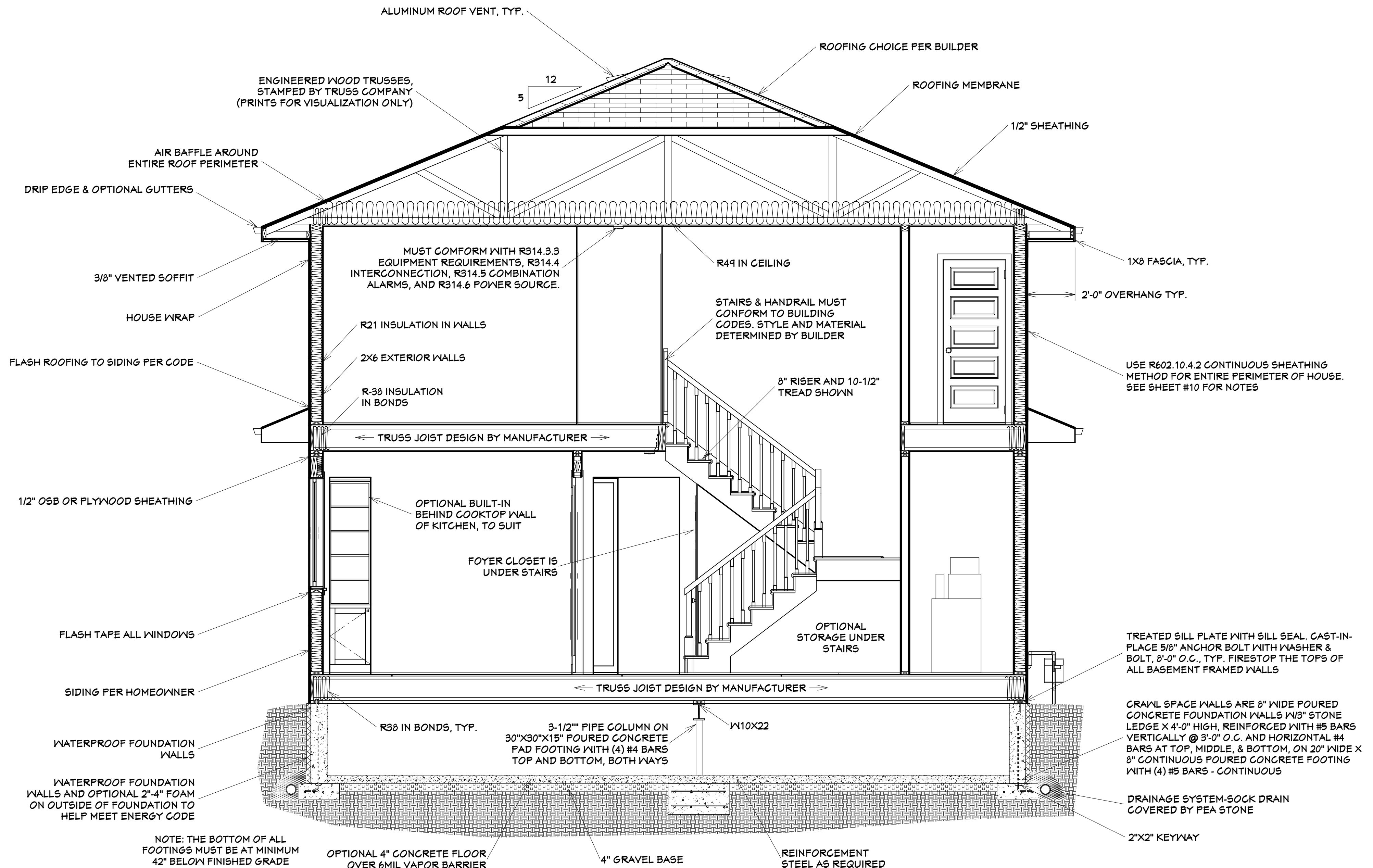
R311.7.6 LANDINGS FOR STAIRWAYS. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM).

R311.7.8 HANDRAILS. HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.

R311.7.8.1 HEIGHT, HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM). EXCEPTIONS: 1. THE USE OF A VOLUTE, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD. 2. WHERE HANDRAIL FITTINGS OR BENDINGS ARE USED TO PROVIDE CONTINUOUS TRANSITION BETWEEN FLIGHTS, TRANSITIONS AT WINDER TREADS, THE TRANSITION FROM HANDRAIL TO GUARD, OR USED AT THE START OF A FLIGHT, THE HANDRAIL HEIGHT AT THE FITTINGS OR BENDINGS SHALL BE PERMITTED TO EXCEED 38 INCHES (965 MM).

R311.7.8.2 CONTINUITY. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEHEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS. EXCEPTIONS: 1. HANDRAILS SHALL BE PERMITTED TO BE INTERRUPTED BY A NEHEL POST AT THE TURN. 2. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEHEL SHALL BE ALLOWED OVER THE LOWEST TREAD.

R311.7.8.3 GRIP-SIZE. PLEASE REVIEW 2015 MICHIGAN RESIDENTIAL CODE FOR COMPLETE RULES.



SECTION 'B'
SCALE: 3/8"=1'-0"

NO.	DESCRIPTION	DATE

SHEET TITLE:
SECTION 'B' AND NOTES

PROJECT DESCRIPTION:
**NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383**

DRAWINGS PROVIDED BY:
**OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House**

DATE:
10.07.2021

PAPER:
Size: ARCH D

SHEET:
A-9

WALL BRACING

R602.10 WALL BRACING. BUILDINGS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION OR, WHEN APPLICABLE, SECTION R602.12. WHERE A BUILDING, OR PORTION THEREOF, DOES NOT COMPLY WITH ONE OR MORE OF THE BRACING REQUIREMENTS IN THIS SECTION, THOSE PORTIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION R301.1.

R602.10.1 BRACED WALL LINES. FOR THE PURPOSE OF DETERMINING THE AMOUNT AND LOCATION OF BRACING REQUIRED IN EACH STORY LEVEL OF A BUILDING, BRACED WALL LINES SHALL BE DESIGNATED AS STRAIGHT LINES IN THE BUILDING PLAN PLACED IN ACCORDANCE WITH THIS SECTION.

R602.10.2 BRACED WALL PANELS. BRACED WALL PANELS SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT SHALL NOT HAVE VERTICAL OR HORIZONTAL OFFSETS. BRACED WALL PANELS SHALL BE CONSTRUCTED AND PLACED ALONG A BRACED WALL LINE IN ACCORDANCE WITH THIS SECTION AND THE BRACING METHODS SPECIFIED IN SECTION R602.10.4.

R602.10.3 REQUIRED LENGTH OF BRACING. THE REQUIRED LENGTH OF BRACING ALONG EACH BRACED WALL LINE SHALL BE REFERENCED IN THE 2015 MICHIGAN RESIDENTIAL CODE.

R602.10.4 CONSTRUCTION METHODS FOR BRACED WALL PANELS. INTERMITTENT AND CONTINUOUSLY SHEATHED BRACED WALL PANELS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THIS SECTION AND THE METHODS LISTED IN TABLE R602.10.4.

R602.10.4.2 CONTINUOUS SHEATHING METHODS. CONTINUOUS SHEATHING METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON ALL SHEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS AND SHALL MEET THE REQUIREMENTS OF SECTION R602.10.7.

R602.10.5 MINIMUM LENGTH OF A BRACED WALL PANEL. THE MINIMUM LENGTH OF A BRACED WALL PANEL SHALL COMPLY WITH TABLE R602.10.5. FOR METHODS CS-WSP AND CS-SFB, THE MINIMUM PANEL LENGTH SHALL BE BASED ON THE ADJACENT CLEAR OPENING HEIGHT IN ACCORDANCE WITH TABLE R602.10.5 AND FIGURE R602.10.5. WHERE A PANEL HAS AN OPENING ON EITHER SIDE OF DIFFERING HEIGHTS, THE TALLER OPENING HEIGHT SHALL BE USED TO DETERMINE THE PANEL LENGTH.

R602.12.2 SHEATHING MATERIALS. THE FOLLOWING SHEATHING MATERIALS INSTALLED ON THE EXTERIOR SIDE OF EXTERIOR WALLS SHALL BE USED TO CONSTRUCT A BRACING UNIT AS DEFINED IN SECTION R602.12.3.

R602.12.3 BRACING UNIT. A BRACING UNIT SHALL BE A FULL-HEIGHT SHEATHED SEGMENT OF THE EXTERIOR WALL WITHOUT OPENINGS OR VERTICAL OR HORIZONTAL OFFSETS AND A MINIMUM LENGTH AS SPECIFIED HEREIN. INTERIOR WALLS SHALL NOT CONTRIBUTE TOWARD THE AMOUNT OF REQUIRED BRACING. MIXING OF ITEMS 1 AND 2 IS PROHIBITED ON THE SAME STORY.

1 WHERE ALL FRAMED PORTIONS OF ALL EXTERIOR WALLS ARE SHEATHED IN ACCORDANCE WITH SECTION R602.12.2, INCLUDING WALL AREAS BETWEEN BRACING UNITS, ABOVE AND BELOW OPENINGS AND ON GABLE END WALLS, THE MINIMUM LENGTH OF A BRACING UNIT SHALL BE 9 FEET (914 MM).

2 WHERE THE EXTERIOR WALLS ARE BRACED WITH SHEATHING PANELS IN ACCORDANCE WITH SECTION R602.12.2 AND AREAS BETWEEN BRACING UNITS ARE COVERED WITH OTHER MATERIALS, THE MINIMUM LENGTH OF A BRACING UNIT SHALL BE 4 FEET (1219MM).

R602.12.4 NUMBER OF BRACING UNITS. EACH SIDE OF THE CIRCUMSCRIBED RECTANGLE, AS SHOWN IN FIGURE R602.12.1, SHALL HAVE, AT A MINIMUM, THE NUMBER OF BRACING UNITS IN ACCORDANCE WITH TABLE R602.12.4 PLACED ON THE PARALLEL EXTERIOR WALLS FACING THE SIDE OF THE RECTANGLE. BRACING UNITS SHALL THEN BE PLACED USING THE DISTRIBUTION REQUIREMENTS SPECIFIED IN SECTION R602.12.5.

R602.12.5 DISTRIBUTION OF BRACING UNITS. THE PLACEMENT OF BRACING UNITS ON EXTERIOR WALLS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS AS SHOWN IN FIGURE R602.12.5.

1 A BRACING UNIT SHALL BEGIN NOT MORE THAN 12 FEET (3658 MM) FROM ANY WALL CORNER.

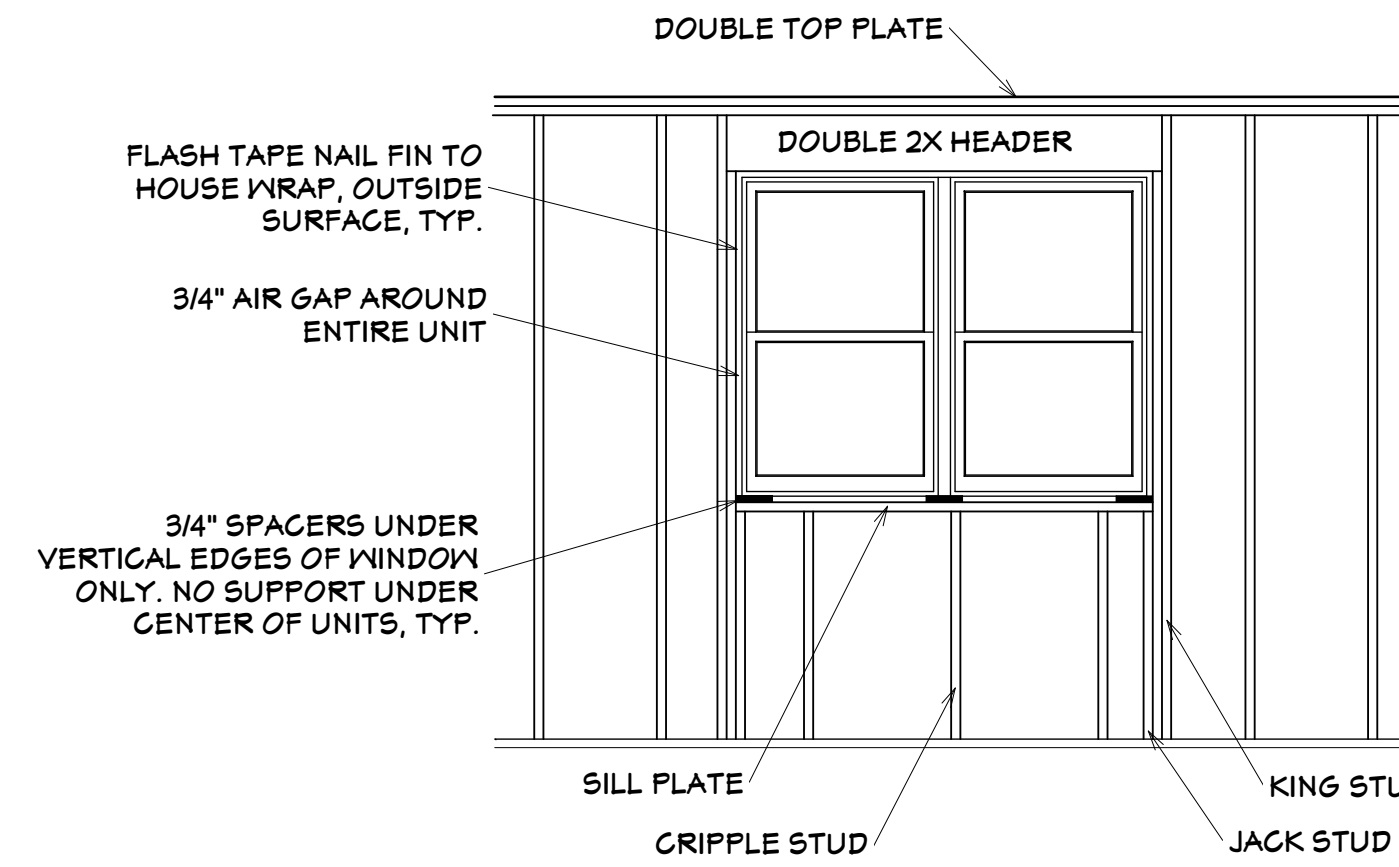
2 THE DISTANCE BETWEEN ADJACENT EDGES OF BRACING UNITS SHALL BE NOT GREATER THAN 20 FEET (6096 MM).

3 SEGMENTS OF WALL GREATER THAN 8 FEET (2438 MM) IN LENGTH SHALL HAVE NOT LESS THAN ONE BRACING UNIT.

R602.12.6 NARROW PANELS. THE BRACING METHODS REFERENCED IN SECTION R602.10 AND SPECIFIED IN SECTIONS R602.12.6.1 THROUGH R602.12.6.3 SHALL BE PERMITTED WHEN USING SIMPLIFIED WALL BRACING R602.12.6.1 METHOD CS-G. BRACED WALL PANELS CONSTRUCTED AS METHOD CS-G IN ACCORDANCE WITH TABLES R602.10.4 AND R602.10.5 SHALL BE PERMITTED FOR ONE-STORY GARAGES WHERE ALL FRAMED PORTIONS OF ALL EXTERIOR WALLS ARE SHEATHED WITH WOOD STRUCTURAL PANELS. EACH CS-G PANEL SHALL BE EQUIVALENT TO 0.5 OF A BRACING UNIT. SEGMENTS OF WALL THAT INCLUDE A METHOD CS-G PANEL SHALL MEET THE REQUIREMENTS OF SECTION R602.10.4.2.

R602.12.7 LATERAL SUPPORT. FOR BRACING UNITS LOCATED ALONG THE EAVES, THE VERTICAL DISTANCE FROM THE OUTSIDE EDGE OF THE TOP WALL PLATE TO THE ROOF SHEATHING ABOVE SHALL NOT EXCEED 4.25 INCHES (108 MM) AT THE LOCATION OF A BRACING UNIT UNLESS LATERAL SUPPORT IS PROVIDED IN ACCORDANCE WITH SECTION R602.10.8.2.

R602.12.8 STEM WALLS. MASONRY STEM WALLS WITH A HEIGHT AND LENGTH OF 48 INCHES (1219 MM) OR LESS SUPPORTING A BRACING UNIT OR A METHOD CS-G, CS-PF OR PFG BRACED WALL PANEL SHALL BE CONSTRUCTED IN ACCORDANCE WITH FIGURE R602.10.4. CONCRETE STEM WALLS WITH A LENGTH OF 48 INCHES (1219 MM) OR LESS, 6 GREATER THAN 12 INCHES (305 MM) TALL AND LESS THAN 6 INCHES (152 MM) THICK SHALL BE REINFORCED SIZED AND LOCATED IN ACCORDANCE WITH FIGURE R602.10.4.



WINDOW FRAMING DETAIL

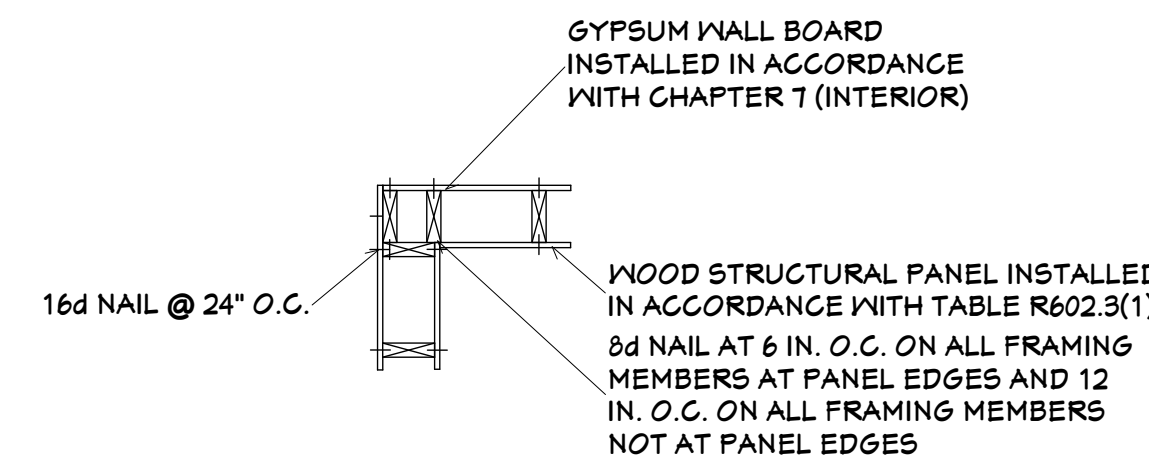


FIGURE R602.10.5 - CORNER FRAMING INSIDE CORNER DETAIL

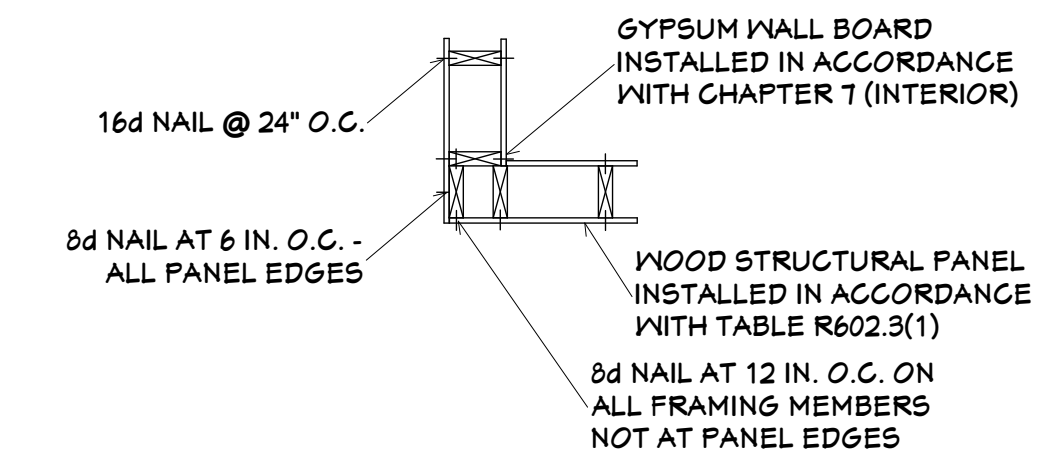
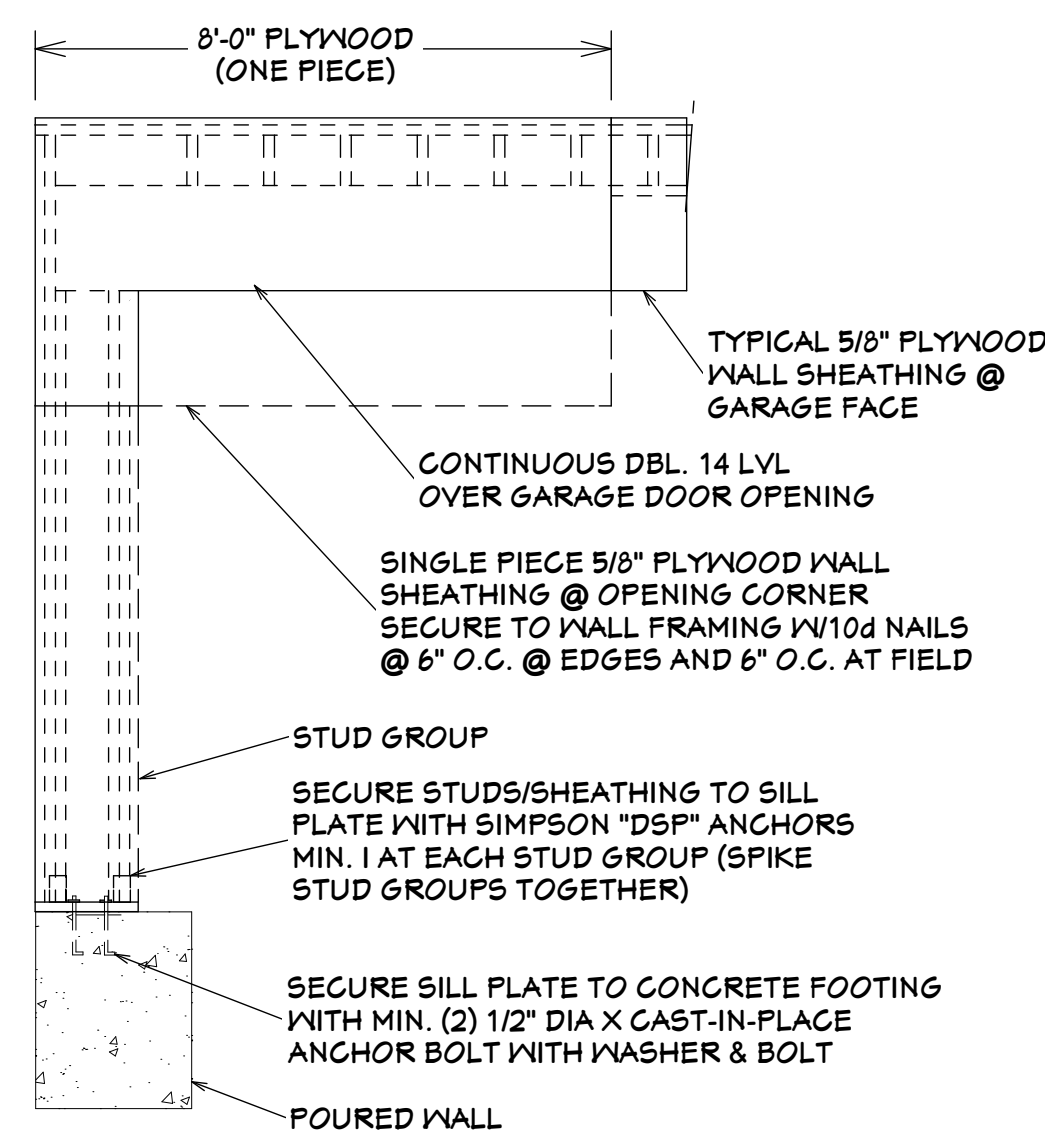


FIGURE R602.10.5 - CORNER FRAMING OUTSIDE CORNER DETAIL



GARAGE DOOR OPENING SHEAR WALL

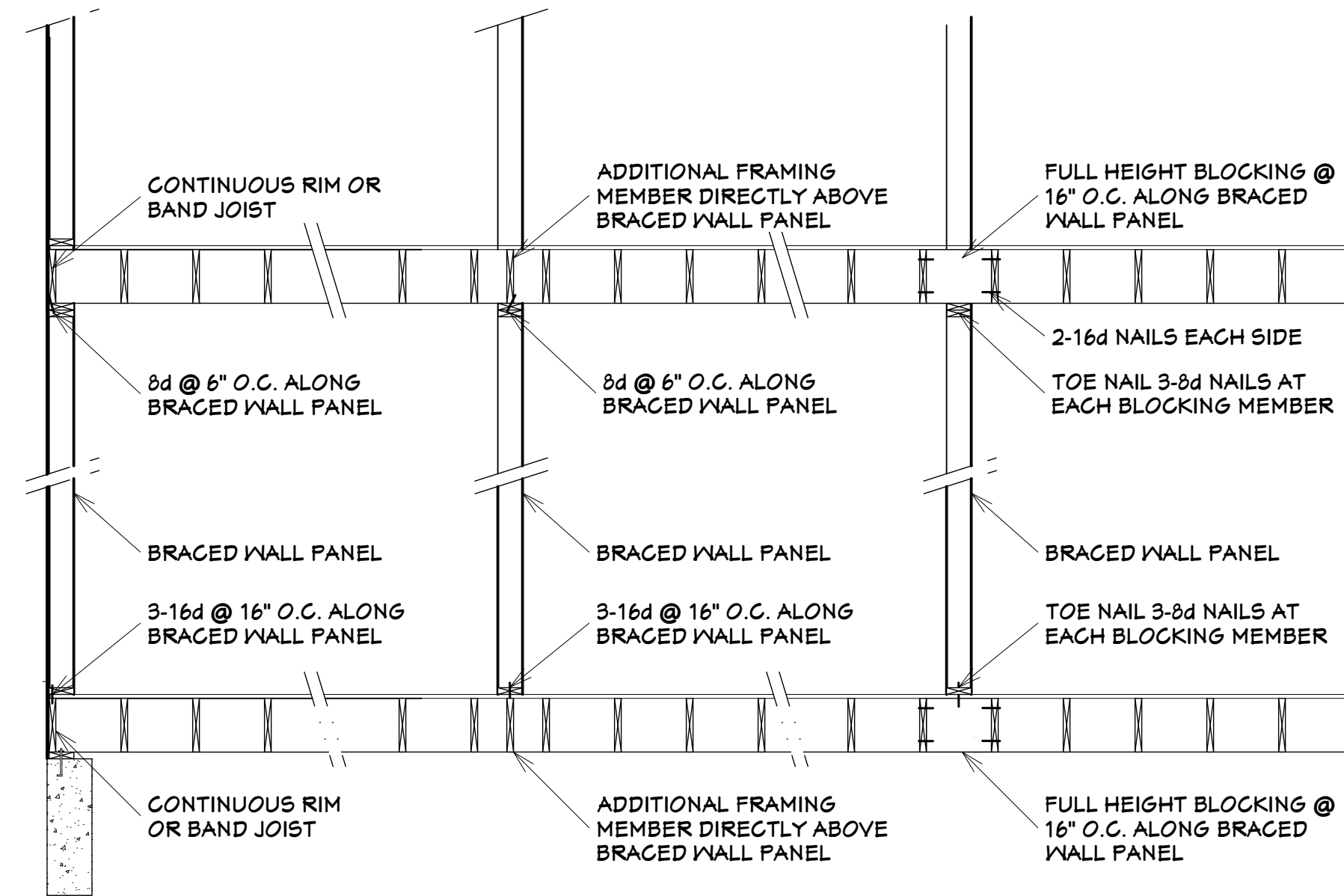


FIGURE R602.10.8(1) BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

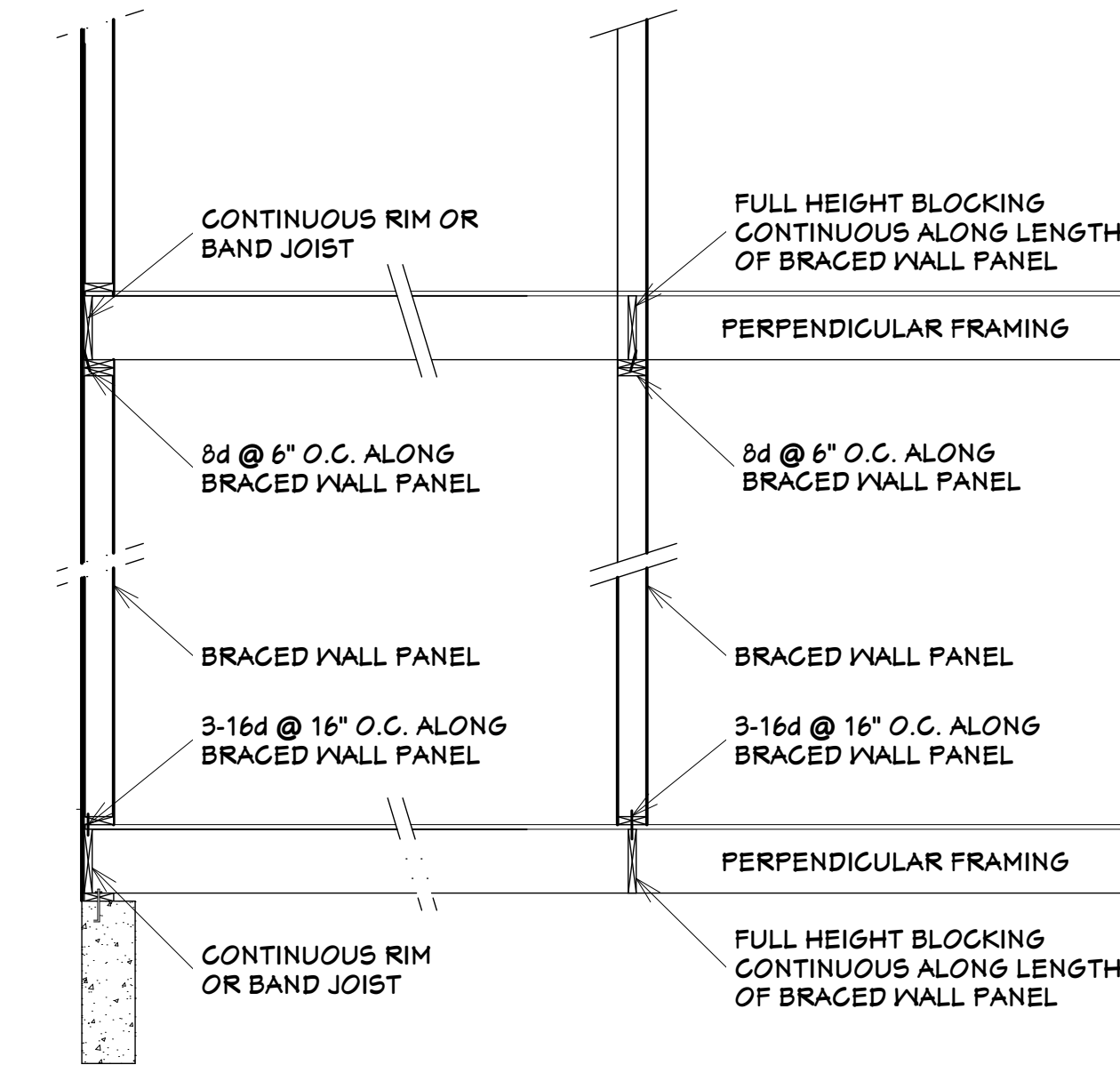


FIGURE R602.10.8(2) BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

NO.	DESCRIPTION	DATE

SHEET TITLE:
BRACED WALL PANEL,
SHEAR PANEL, AND
CONSTRUCTION NOTES

PROJECT DESCRIPTION:
NEW HOME
CLEARWATER STREET
WHITE LAKE MI 48383

DRAWINGS PROVIDED BY:
OakBridge Development LLC
White Lake, MI 48383
www.Oak.House
MP@Oak.House

DATE:

10.07.2021

PAPER:

Size: ARCH D

SHEET:

A-10

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 10, 2022

Ken Strom
6040 Turnberry
Commerce Twp, MI 48382

RE: Proposed Residential Structure at 1152 Clearwater

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side and total of 20 ft, minimum lot area of 12,000 sq ft, minimum lot width of 80 ft, and maximum lot coverage of 20%.

The existing lot is legal non-conforming with an area of 9,462 sq ft and lot width at the road frontage of 50 ft. The proposed residential structure would have a side yard setback of 8.4 ft on the north side and 8.6 ft on the south side, for a combined total of 17 ft. Furthermore, the lot coverage would be 22.2%.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the March 24th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than February 24th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

7:PM

Sincerely,

Nick Spencer, Building Official
White Lake Township

SPOKE JUSTIN @ ON 2/14 @ 3:28
TO

- FILL FORM
 - PLOT PLAN
 - PLANS
- \$385.00

DROP @
BUILDING DEPT
WINDOW

7527 HIGHLAND
RD

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: March 24, 2022

Agenda item: 7b

Appeal Date: March 24, 2022

Applicant: Angela and Michael Runyan

Address: 661 Oxhill Court
White Lake, MI 48386

Zoning: R1-C Single Family Residential

Location: 661 Oxhill Court
White Lake, MI 48386

Property Description

The approximately 0.29-acre (12,632.4 square feet) parcel identified as 661 Oxhill Court is located within the Suburban Knolls No.1 subdivision and zoned R1-C (Single Family Residential). The existing house on the property (approximately 1,933 square feet in size) is served by the municipal water and sanitary sewer systems.

Applicant's Proposal

Angela and Michael Runyan, the applicants, are proposing to construct a second-story addition on the house.

Planner's Report

Currently the existing house is nonconforming; the building is located 9.8 feet from the west side property line and 29.3 feet from the front property line. A minimum 10-foot side yard setback and 35-foot front yard setback is required in the R1-C zoning district.

The second-story addition is proposed over the garage and would be a master suite (bedroom, bathroom, closet, and laundry). The addition would increase the number of bedrooms in the house from three to four. As proposed, the second-story addition would maintain the existing setback nonconformities, encroaching 5.7 feet into the front yard setback and 0.2 feet in the west side yard setback.

Article 7, Section 28 of the zoning ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$83,350), the maximum extent of improvements cannot exceed \$41,675. The value of the proposed work is \$65,000. A variance to exceed the allowed value of improvements by 156% is requested.

Following is a summary of nonconformities and proposed enlargements/alterations:

Nonconformity #	Ordinance Section	Subject	Standard	Request	Result
1	Article 3.1.5.E	Front yard setback	35 feet	5.7 feet	29.3 feet
2	Article 3.1.5.E	Side yard setback	10 feet	0.2 feet	9.8 feet (west)

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming house	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$41,675)	156%	\$23,325 over allowed improvements
3	Article 3.1.5.E	Minimum lot area	16,000 square feet	3,367.6 square feet	12,632.4 square feet
4	Article 3.1.5.E	Minimum lot width	100 feet	7.96 feet	92.04 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Angela and Michael Runyan from Article 3.1.5.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, in order to construct a second-story addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 0.2 feet into the required setback from the west side lot line and 5.7 feet into the required front yard setback. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 156%. A 7.96-foot variance from the required lot width and a 3,367.6 square foot variance from the required lot area are also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department

Denial: I move to deny the variances requested by Angela and Michael Runyan for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, due to the following reason(s):

Table: I move to table the variance requests of Angela and Michael Runyan for Parcel Number 12-23-177-008, identified as 661 Oxhill Court, to consider comments stated during this public hearing.

Attachments:

1. Variance application received February 22, 2022.
2. Applicant's written statement.
3. Survey dated June 28, 2021.
4. Architectural sketches dated January 14, 2021.
5. Letter of denial from the Building Official dated March 8, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

RECEIVED

FEB 22 2022

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

BUILDING DEPARTMENT

APPLICANT'S NAME: Angela and Michael Runyan PHONE: 2486358253

ADDRESS: 661 Oxhill Ct

APPLICANT'S EMAIL ADDRESS: gordona87@gmail.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 661 Oxhill Ct PARCEL # 12-23-177-008

CURRENT ZONING: RS1 PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

MI

VALUE OF IMPROVEMENT: \$ 65,000 SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

Please see attached letter

APPLICATION FEE: 385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: Angela Runyan DATE: 2/22/22

Dear Zoning Board,

My husband Michael and I are requesting a variance be granted for our personal property, to construct our master suite addition. With the proposed addition, we plan on adding a master bedroom, bathroom, walk in closet, and second floor laundry room, for a total of 484 square feet above our existing attached garage.

We moved into our home in White Lake in 2015, and fell in love with White Lake Township and our neighborhood. Now, after having a baby, we need more space to stay in our home. We considered moving, but really like our neighborhood, neighbors, and home. We came up with a plan to create an addition above our existing two car attached garage to give us the space we need. Unfortunately, after looking at our survey and zoning, our current house blueprint does not match the current zoning laws. It states within RS1 that the house must be at least 10 feet from the side boundary and 35 feet from the front and back boundary. Our garage corner is sitting at 9.8 feet from the right boundary line and 29.3 feet from the front boundary line.

Below is a list of reasons you should grant our variance to place an addition over our existing garage:

1. The proposed addition would add value to our home, which in turn adds value to White Lake Township.
2. We are not changing the footprint of the house. We are adding the addition over an existing structure.
3. We are not increasing the elevation of the house.
4. Only the North West corner of our garage is in violation of our zoning. The other three corners of the garage meet the zoning regulations.
5. We are working with an architect team to ensure that the addition is both structurally safe as well as aesthetically pleasing for neighbors.

Thank you for your time and consideration.

Sincerely,

Michael and Angela Runyan

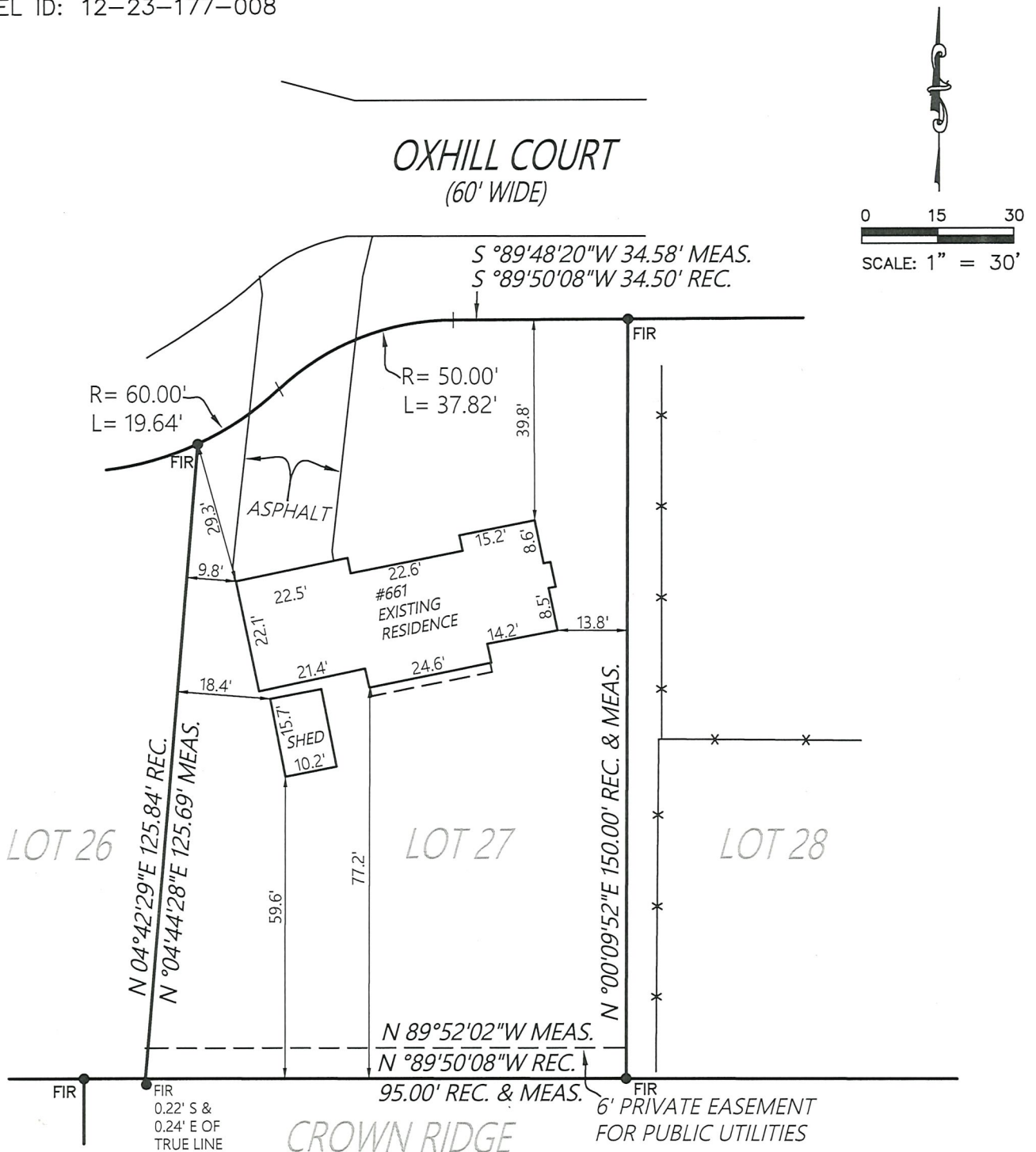
SKETCH OF SURVEY

Item B.

Prepared For: ANGELA RUNYAN

Legal Description:

Lots 27 of SUBURBAN KNOLLS SUBDIVISION NO. 1, a subdivision of part of the NW 1/4 of Section 23, T. 3 N., R. 8 E., White Lake Township, Oakland County, Michigan as recorded in Oakland County Records.
 PARCEL ID: 12-23-177-008



LEGEND

- — IRON SET
- — IRON FOUND
- ⊙ — FOUND CONC MONUMENT
- MEAS. — MEASURED
- REC. — RECORDED
- FCI — FOUND CAPPED IRON
- FIR — FOUND IRON ROD
- SCI — SET CAPPED IRON
- X— — EXISTING FENCE

NOTES:
 NO TITLEWORK WAS SUPPLIED BY CLIENT, THEREFORE ALL EASEMENTS OF RECORD MAY NOT BE SHOWN.

BEARING BASIS:
 HELD BEARING BASIS AS PER PLAT OF RECORD.

I hereby certify only to the parties hereon, that we have surveyed, at the direction of said parties, the above described lot, and that we have found or set as noted hereon, permanent markers at the exterior corners of said lot and that all visible encroachments of a permanent nature upon said lot, are as shown on this survey. Said lot subject to all easements and restrictions of record.

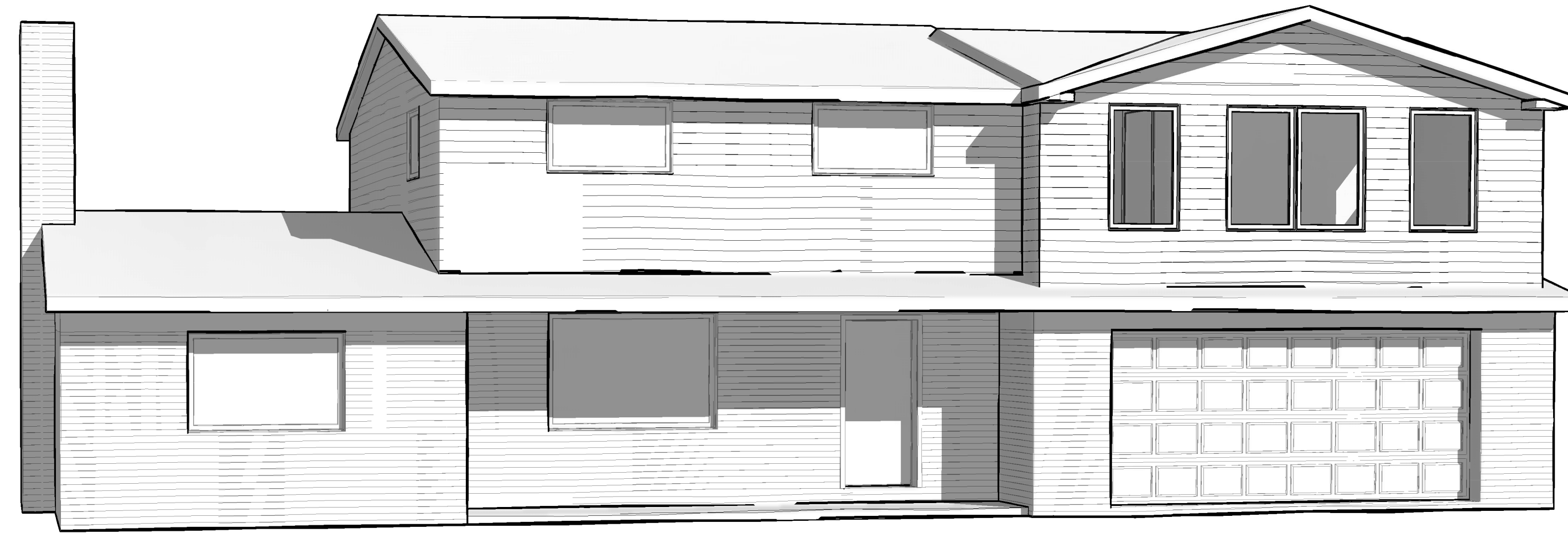


KAROL L. GROVE
 LICENSED PROFESSIONAL SURVEYOR #39075

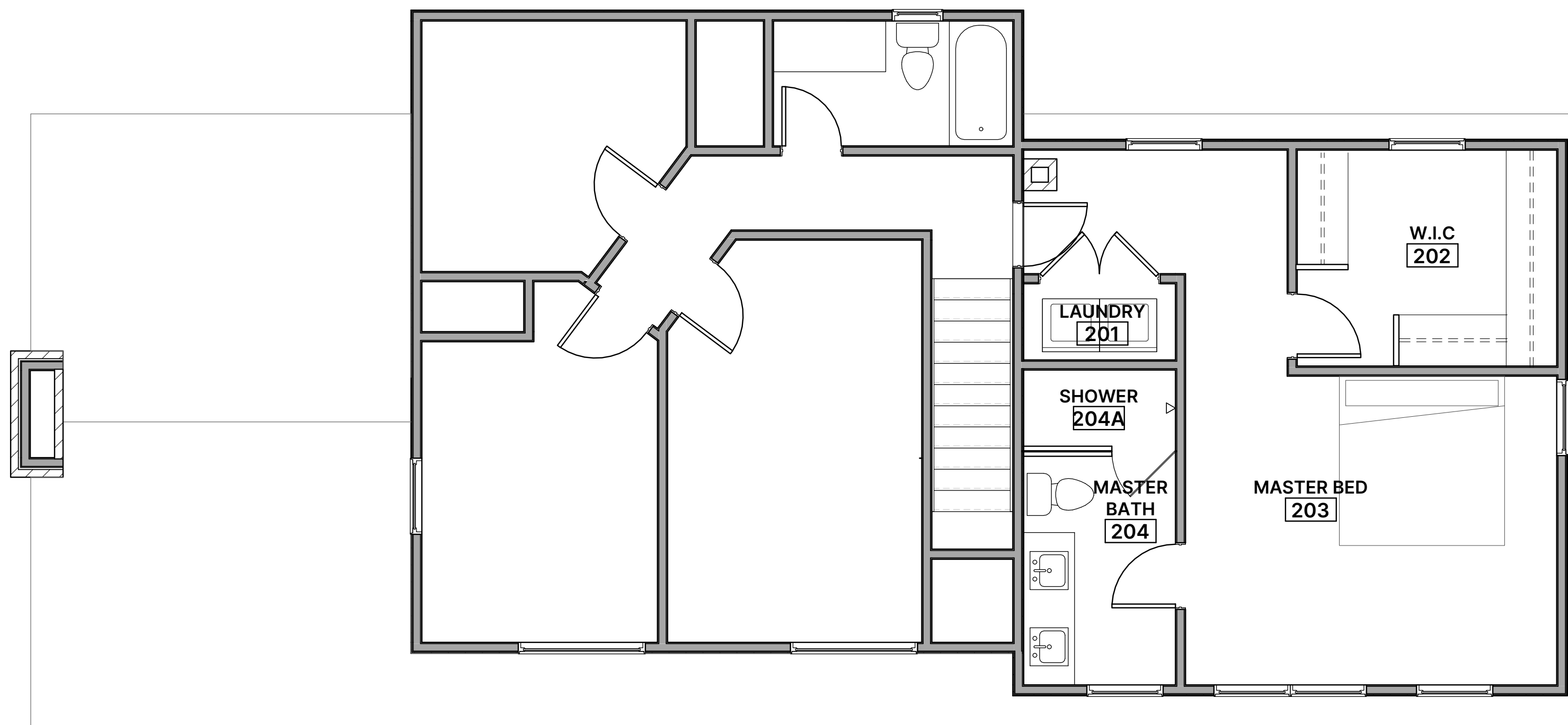
ALPINE
 Land Surveying, Inc.

11590 HIGHLAND ROAD, SUITE #100
 HARTLAND, MICHIGAN, 48353
 PHONE: 810-207-8050

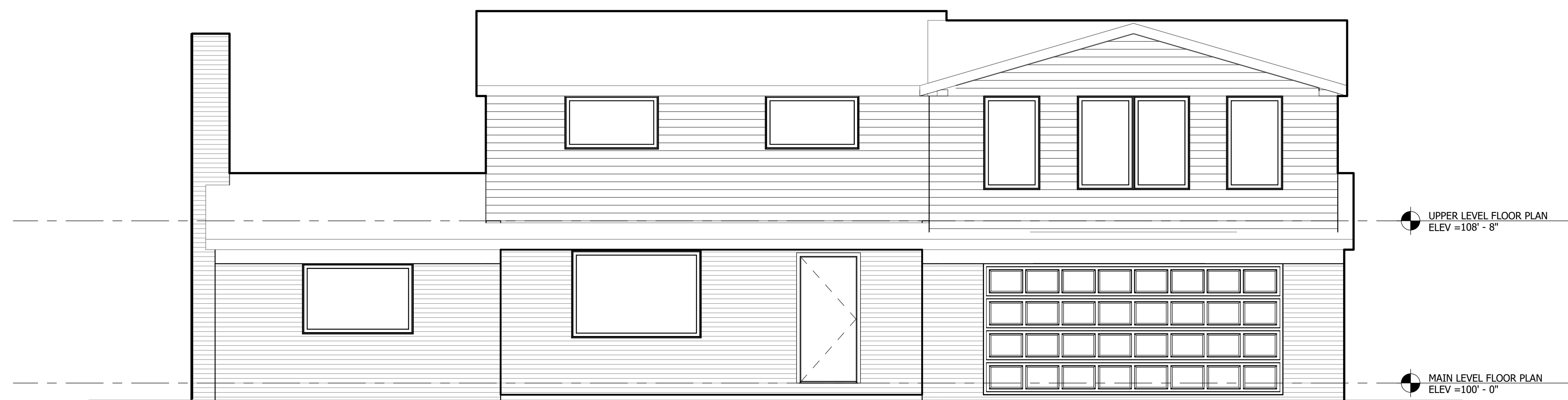
FIELD: KG	DATE: 06-28-2021
DRAWN: DJS	JOB NO: 21-5374
CHECKED: KG	SHEET: 1 OF 1
REVISED:	



3 3D View 1
SCALE :



2 UPPER LEVEL FLOOR PLAN
SCALE : 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE : 1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN
ELEV = 108' - 8"

MAIN LEVEL FLOOR PLAN
ELEV = 100' - 0"

RUNYAN RESIDENCE

661 OXHILL CT.
WHITE LAKE, MI 48386

REVISIONS:

**PRELIMINARY
NOT FOR CONSTRUCTION**

PRELIMINARY DRAWINGS

P1.1

01/14/21

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 8, 2022

Angela Runyan
661 Oxhill Ct
White Lake, MI 48383

RE: Proposed 2nd Story Addition

Based on the submitted plans, the proposed 2nd story addition does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum lot width of 100 ft, front yard setback of 35 ft, and side yard setback of 10 ft.

The existing lot and structure are legal non-conforming. The 92 ft wide lot contains a residential structure; having a 29.3 ft front yard setback and 9.8 ft side yard setback. The proposed 2nd story addition would maintain the non-conformity, encroaching 5.7 ft into the front yard setback and 0.2 ft into the side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 28th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than March 24th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township