



**ZONING BOARD OF APPEALS MEETING**  
**LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383**  
**(FORMER WHITE LAKE LIBRARY)**  
**THURSDAY, OCTOBER 27, 2022 – 7:00 PM**

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*White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com*

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## **AGENDA**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. PLEDGE OF ALLEGIANCE**

**4. APPROVAL OF AGENDA**

**5. APPROVAL OF MINUTES**

A. Zoning Board of Appeals, Regular Meeting of September 22, 2022

**6. CONTINUING BUSINESS**

A. **Applicant:** Alan & Mary Peltier  
9522 Cooley Lake Road  
White Lake, MI 48386

**Location: 9522 Cooley Lake Road**  
White Lake, MI 48386 identified as 12-35-380-018

**Request:** The applicant requests to construct an accessory building, requiring a variance from Article 5.7.A, Accessory Buildings or Structures in Residential Districts. Variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Side-Yard Setback, Minimum Lot Area, and Minimum Lot Width are also required to construct the accessory building and an addition on the dwelling unit.

**7. NEW BUSINESS**

A. **Applicant:** Paul Peter  
9474 Thames Boulevard  
White Lake, MI 48386

**Location: 9474 Thames Boulevard**  
White Lake, MI 48386 identified as 12-14-203-007

**Request:** The applicant requests to construct an accessory building, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard setback, Maximum Lot Coverage, Minimum Lot Area, and Minimum Lot Width.

B. **Applicant:** Adam Hufeld  
10071 Elizabeth Lake Road  
White Lake, MI 48386



**Location: 10071 Elizabeth Lake Road**  
White Lake, MI 48386 identified as 12-27-228-001

**Request:** The applicant requests to construct a deck, requiring variances from Article 3.10.A, Attached Decks, Porches, and Patios in Residential Districts. Variances from Article 5.12. Fences, Walls, and Other Protective Barriers. Fences, Walls and Other Protective Barriers are requested to install a privacy fence exceeding the allowed height and within the road right-of-way.

**C.** **Applicant:** Todd McGeachy  
539 Burgess Drive  
White Lake, MI 48386

**Location: 539 Burgess Drive**  
White Lake, MI 48386 identified as 12-27-429-003

**Request:** The applicant requests to enlarge and alter a nonconforming structure (house) to construct a garage addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.5.E, R1-C Single Family Residential Minimum Lot Area.

**8. OTHER BUSINESS**

**9. NEXT MEETING DATE:**

A. December 8, 2022 - Regular Meeting

**10. ADJOURNMENT**

**Procedures for accommodations for persons with disabilities:** The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.



**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS  
REGULAR MEETING  
SEPTEMBER 22, 2022**

**CALL TO ORDER**

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

**ROLL CALL**

**Present:**

Clif Seiber  
Niklaus Schillack, Vice Chairperson  
Mike Powell, Township Board Liaison  
Debby Dehart, Planning Commission Liaison  
Jo Spencer, Chairperson

**Others:**

Justin Quagliata, Staff Planner  
Hannah Micallef, Recording Secretary

7 members of the public present

**APPROVAL OF AGENDA**

**MOVED by Member Schillack, SUPPORTED by Member Powell, to approve the agenda as presented. The motion CARRIED with a voice vote: (5 yes votes).**

**APPROVAL OF MINUTES:**

- a. Zoning Board of Appeals Regular Meeting of July 28<sup>th</sup>, 2022.

**MOVED by Member Seiber, SUPPORTED by Member Schillack, to approve the Zoning Board of Appeals Regular Meeting Minutes of July 28<sup>th</sup>, 2022 as presented. The motion CARRIED with a voice vote: (5 yes votes).**

**CONTINUING BUSINESS:**

None.

**NEW BUSINESS:**

A. Applicant: Alan & Mary Peltier

9522 Cooley Lake Road

White Lake, MI 48386

Location: **9522 Cooley Lake Road**

White Lake, MI 48386 identified as 12-35-380-018

Request: The applicant requests to construct an accessory building, requiring a variance from Article 5.7.A, Accessory Buildings or Structures in Residential Districts. Variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Side-Yard Setback, Minimum Lot Area, and Minimum Lot Width are also required to construct the accessory building and an addition on the dwelling unit.

Chairperson Spencer noted for the record that 21 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Chairperson Spencer asked staff where Orchard Drive ended. Staff Planner Quagliata said Orchard Drive ended at subject site and picked up about 300 feet to the south.

Member Schillack asked staff if a new well was proposed. Staff Planner Quagliata said he did not see a new well proposed; the existing well was under the proposed deck.

Member Schillack asked staff if there was anything on the property that would prevent the garage being moved to the east. Staff Planner Quagliata said there was nothing preventing such a move.

Chairperson Spencer said the proposed garage was large and could be reduced to eliminate a requested variance.

Member Dehart stated she thought Orchard Drive was a private road. Staff Planner Quagliata said it was a public right-of-way. Member Dehart said if the garage was connected to the house, the garage would be pulled away from the west lot line.

Alan Peltier, applicant, was present to speak on his case. He said he wanted the garage because the existing house was old and had no garage. He said the deck would cover a large hole in the ground, and there would be a box in the deck to access the well. His intention was to remove the current shed, build the deck and garage, and ultimately improve the house.

Member Powell asked the applicant his reason for placing the garage where he did.

Mr. Peltier said he wanted everything laid out the way he proposed. He thought it would be better to have access to the deck and the house from the garage.

Member Powell suggested a covered walkway to the garage.

Member Powell said the applicant was not demonstrating a practical difficulty with his request and was asking the ZBA to grant several variances. Alternatives were provided for the applicant to eliminate the number of variances requested.

Chairperson Spencer opened the public hearing at 7:36 P.M.

Robert Peltier, 3197 Shawnee Lane, spoke in favor of the applicant's request.

Chairperson Spencer closed the public hearing at 7:38 P.M.

**Member Dehart MOVED to postpone the appeal of Alan and Mary Peltier to a date of a triggering mechanism within six months of today's date for Parcel Number 12-35-380-018, identified as 9522 Cooley Lake Road, to consider comments stated during this hearing.**

**Member Powell SUPPORTED, and the motion CARRIED with a roll call vote: (5 yes votes) (Dehart/yes, Powell/yes, Schillack/yes, Seiber/yes, Spencer/yes)**

- B. Applicant: Ed Phillips/Phillips Sign & Lighting  
40920 Executive Drive  
Harrison, MI 48045  
Location: **8545 Highland Road**  
White Lake, MI 48386 identified as 12-24-126-009  
Request: The applicant requests to install a wall sign on the side elevation of the building, requiring a variance from Article 5.9.J.ii.a, Wall Signs.

Chairperson Spencer noted for the record that 11 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Powell asked staff what was the issue with the sign. Staff Planner Quagliata said the issue was the sign was proposed on the west facade of the building. The existing sign was approved by the previous Building Official, who should have required a variance.

Member Schillack asked staff for clarification regarding the size of the sign. Staff Planner Quagliata said the proposed sign was the same size as the existing sign.

Rebecca Godin, 9601 Dolin, was present to speak on the case. She said she did the original sign job back in the 1990s, and no variance was required then. The logo needed updates.

Chairperson Spencer opened the public hearing at 7:51 P.M. Seeing no public comment, she closed the public hearing at 7:52 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
  - Member Dehart said the practical difficulty was the building fronted the side. Chairperson Spencer agreed.
- B. Unique Situation
  - Chairperson Spencer said the building was located far from the road.
- C. Not Self-Created
  - Chairperson Spencer said the applicant did not create the problem.
- D. Substantial Justice
  - Member Schillack said the building was unique, on a unique lot with a unique depth and there was no dramatic change to the signage.
- E. Minimum Variance Necessary
  - Member Schillack said the applicant was not requesting a larger sign.

**Member Schillack MOVED to approve the variance requested by Ed Phillips/Phillips Sign and Lighting from Article 5.9.J.ii.a of the Zoning Ordinance for Parcel Number 12-24-126-009, identified as 8545 Highland Road, in order to install a 33.8 square foot wall sign on the west side elevation of the building. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **No additional signage shall be permitted on the building.**
- **Any future modification to enlarge signage on the building shall require approval of the Zoning Board of Appeals.**

**Member Powell SUPPORTED and the motion CARRIED with a roll call vote: (5 yes votes): (Schillack/yes, Powell/yes, Dehart/yes, Spencer/yes, Seiber/yes)**

- C. Applicant: Mark Johnson  
150 Danforth Drive  
White Lake, MI 48386  
Location: **150 Danforth Drive**  
White Lake, MI 48386 identified as 12-23-376-004  
Request: The applicant requests to construct a garage, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback and Maximum Lot Coverage. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 20 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Schillack asked staff if the plot plan had a raised seal. Staff Planner Quagliata said no, and it was not signed by a professional surveyor. Member Schillack asked staff if a survey was required. Staff Planner Quagliata confirmed. Member Schillack asked staff what the lot coverage would be without the pool. Staff Planner Quagliata said 26 percent. Member Schillack asked staff if the larger lot coverage was granted, could it be used for something other than the pool. Staff Planner Quagliata said the variance would run with the land. Member Schillack stated on the site plan the new well was underneath a proposed wall. Staff Planner Quagliata said he did not think that layout would be permissible by the Oakland County Health Division. Member Schillack asked staff if there was anything on the site plan that would indicate water mitigation. Staff Planner Quagliata said drainage was shown on the site plan.

Member Dehart asked staff if the proposed pool was inground. Staff Planner Quagliata confirmed.

Mark Johnson, applicant, was present to speak on his case. He said he tried to buy the neighboring lot, but the deal fell through. The shed on the property line was removed. He said he only wanted the garage to be 30 feet by 30 feet and it was miscalculated on the site plan. He said he intended to get a survey soon. The western wall would be bumped to the east to keep the well protected.

Chairperson Spencer opened the public hearing at 8:25 P.M. Seeing no public comment, she closed the public hearing at 8:26 P.M.

Member Schillack stated he would be more comfortable making a decision once all of the data was presented. The site plan was not signed and sealed.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

- Member Schillack said everything required for the application was not submitted, therefore, he did not have enough data to make a decision.
- Member Powell said he found a practical difficulty with the site as the house was close to the road.
- Member Dehart said she found a practical difficulty due to the topography of the lot and the arch of Danforth Street.

B. Unique Situation

- Member Schillack said everything required for the application was not submitted, including how large the lot was, he did not have enough data to make a decision.
- Member Powell said the unique situation was the drop off from the house to the north, making it impossible to extend the garage to the north, and the proximity of Danforth Street to the front of the house.

C. Not Self-Created

- Member Schillack said everything required for the application was not submitted, including the size of the lot, he did not have enough data to make a decision.
- Member Powell said it was not self-created due to the lot configuration and the topography of the lot.
- Chairperson Spencer said the applicant reduced the size of the garage, and she did not feel there was a self-created hardship.

D. Substantial Justice

- Member Schillack said everything required for the application was not submitted, including the size of the lot, he did not have enough data to make a decision.
- Member Powell said not providing the applicant a garage would deny him substantial justice as many of the other houses on the street were nonconforming or had variances as well.

E. Minimum Variance Necessary

- Member Schillack said everything required for the application was not submitted, including the size of the lot, he did not have enough data to make a decision.
- Member Powell said the variance was the minimum the applicant could ask for.

**Member Powell MOVED to approve the variances requested by Mark Johnson from Article 3.1.6.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-23-376-004, identified as 150 Danforth Drive, in order to construct a two-car attached garage addition that would encroach 7.6 feet into the required front yard setback, and exceed the allowed lot coverage by potentially 8 percent. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 102%. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **No mechanical units, including HVAC system or generator, shall be placed within the side yard setbacks.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
- **A revised plot plan signed and sealed by a licensed professional surveyor shall be submitted to the Building Department showing all of the proposed improvements.**
- **An as-built survey shall be required to verify setbacks and lot coverage.**

**Member Dehart SUPPORTED and the motion CARRIED with a roll call vote: (4 yes votes): (Powell/yes, Dehart/yes, Spencer/yes, Seiber/yes, Schillack/no).**

**OTHER BUSINESS**

None.

**ADJOURNMENT**

**MOVED by Member Powell, SUPPORTED by Member Dehart to adjourn the meeting at 9:01 P.M. The motion CARRIED with a voice vote (5 yes votes).**

**NEXT MEETING DATE:** October 27, 2022 Regular Meeting

# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** October 27, 2022

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**Agenda item:** 6a

**Appeal Date:** October 27, 2022 (Tabled from September 22, 2022)

**Applicant:** Alan & Mary Peltier

**Address:** 9522 Cooley Lake Road  
White Lake, MI 48386

**Zoning:** R1-D Single Family Residential

**Location:** 9522 Cooley Lake Road  
White Lake, MI 48386



## **Property Description**

The approximately 0.219-acre (9,560.83 square feet) parcel identified as 9522 Cooley Lake Road is located on the west side of Cooley Lake Road, south of Round Lake, and zoned R1-D (Single Family Residential). The existing 1.5-story house on the property (approximately 1,398 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

## **Applicant's Proposal**

Alan and Mary Peltier, the applicants, are proposing to construct an enclosed porch addition on the east side of the house. The previously requested variances related to the garage are no longer necessary as the applicant submitted plans to the Building Official to construct the garage in compliance with setbacks.

## **Planner's Report**

The existing house was built in 1938 and is nonconforming because it is located 7.78 feet from the south side property line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 2,439.17 square foot deficiency in lot area and an eight-foot deficiency in lot width (approximately 72 feet in width); in the R1-D zoning district the minimum lot area requirement is 12,000 square feet and the minimum lot width requirement is 80 feet.

The proposed enclosed porch would be added to the front (east side) of the house and located 8.63 feet from the south side property line and 24.26 feet from the front (east) property line. Therefore, a 1.5-foot variance is required to allow the porch to encroach into the south side yard setback and a six-foot variance is required to allow the porch to encroach into the east front yard setback.

If the variances are approved, a shed on the property would be removed in order to maintain compliance with the lot coverage standard (20 percent maximum lot coverage). The shed would need to be removed prior to the final building inspection.

The requested variances are listed in the following table.

<b>Variance #</b>	<b>Ordinance Section</b>	<b>Subject</b>	<b>Standard</b>	<b>Requested Variance</b>	<b>Result</b>
1	Article 3.1.6.E	Front yard setback	30 feet	6 feet (east)	24 feet (east)
2	Article 3.1.6.E	Side yard setback	10 feet	1.5 feet (south)	8.5 feet (south)
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	2,439.17 square feet	9,560.83 square feet
4	Article 3.1.6.E	Minimum lot width	80 feet	8 feet	72 feet

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Alan and Mary Peltier from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-380-018, identified as 9522 Cooley Lake Road, in order to construct a covered porch addition that would encroach 6 feet into the required east front yard setback and 1.5 feet into the required south side yard setback. An 8-foot variance from the required lot width and a 2,439.17 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- An as-built survey shall be required to verify setbacks and lot coverage.
- The shed shall be removed from the property prior to the final building inspection.
- The unlawful fence/screen shall be removed from the property prior to the issuance of a building permit.

**Denial:** I move to deny the variances requested by Alan and Mary Peltier for Parcel Number 12-35-380-018, identified as 9522 Cooley Lake Road, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Alan and Mary Peltier to a date certain or other triggering mechanism for Parcel Number 12-35-380-018, identified as 9522 Cooley Lake Road, to consider comments stated during this hearing.

**Attachments:**

1. Variance application dated August 10, 2022.
2. Certificate of survey dated July 25, 2022 (revision date July 27, 2022).
3. Certificate of survey dated July 25, 2022 (revision date October 7, 2022).
4. Letter of denial from the Building Official dated August 24, 2022.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
**ZONING BOARD OF APPEALS APPLICATION**  
Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: ALAN + MARY Peltier PHONE: 248-881-6061  
ADDRESS: 9522 Cooley Lake Rd White Lake 48386  
APPLICANT'S EMAIL ADDRESS: ournanasews@att.net  
APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 9522 Cooley Lk. Rd white LK PARCEL # 12 35-380-018  
CURRENT ZONING: R1D PARCEL SIZE: ~~65~~ 9561 sq. FT.

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: 3.1.6  
VALUE OF IMPROVEMENT: \$ 20,000 SEV OF EXISITING STRUCTURE: \$ \_\_\_\_\_  
*garage*

*Doc # 20,000 →*

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)  
APPLICANT'S SIGNATURE: Alan Peltier DATE: 8-10-2022  
Mary Peltier

**RECEIVED**  
AUG 16 2022  
BUILDING DEPARTMENT

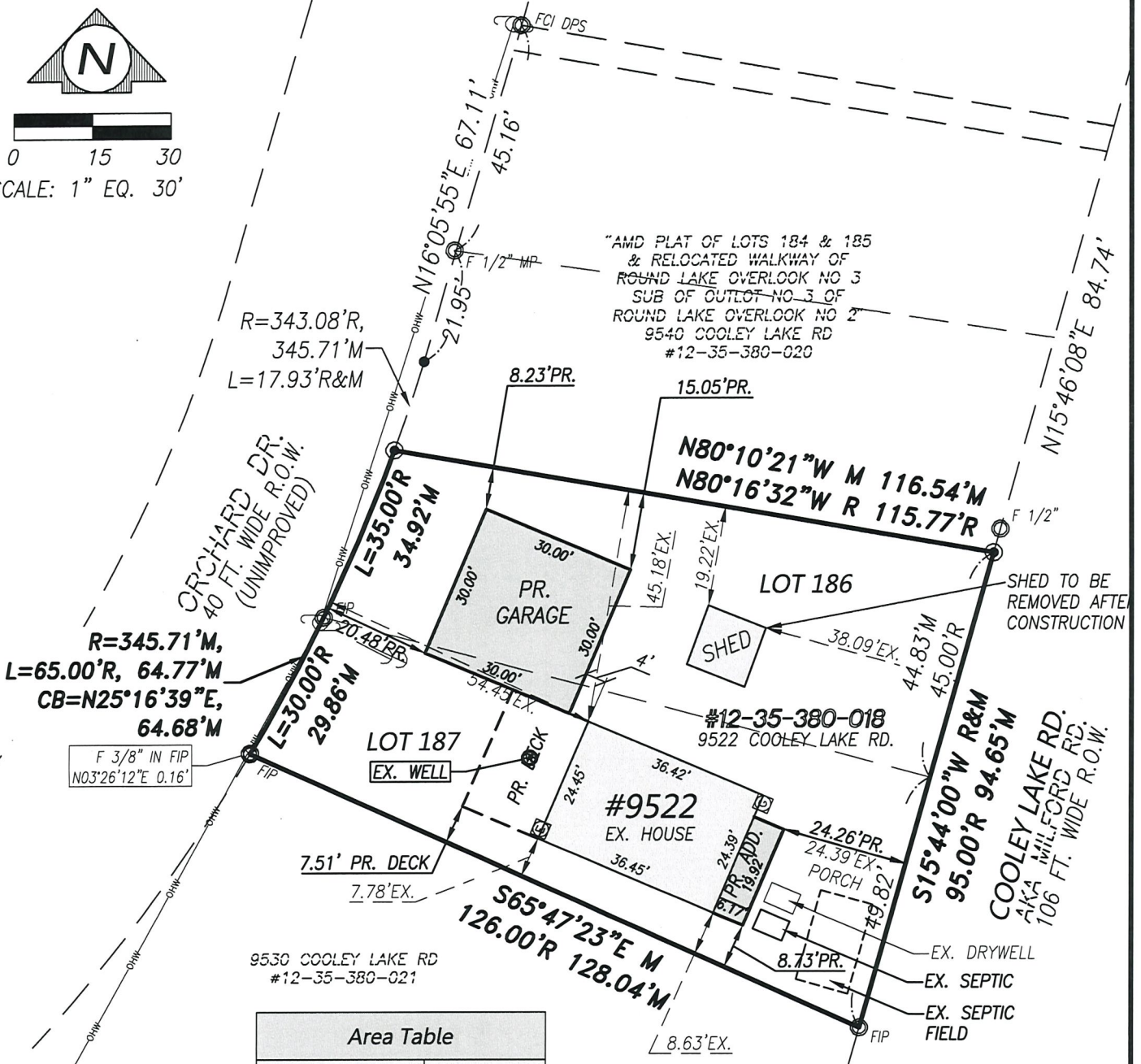
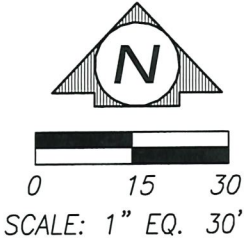
**RECEIVED**  
AUG 16 2022  
BUILDING DEPARTMENT



# CERTIFICATE OF SURVEY

LOTS 186 & 187 OF "ROUND LAKE OVERLOOK NO. 3" SUBDIVISION OF OUTLOT NO. 3 OF ROUND LAKE OVERLOOK NO. 2, SECTION 35, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.46 OF PLATS, P.6, O.C.R.

ADDRESS: 9522 COOLEY LAKE ROAD, WHITE LAKE, MI 48386; PARCEL#:12-35-380-018



Area Table	
Parcel #	Area
LOTS 186 & 187	9,560.83S.F.
PR. GAR.	900.00S.F.
EX. HOUSE	889.67S.F.
PR. DECK	384.59S.F.
PR. ADDITION	122.97S.F.

**PR. LOT COVERAGE**  
 HOUSE+GARAGE+ADDITION/LOT  
 AREA=COVERAGE  
 889.67+900+122.97=1,912.65  
 1,912.65/9,560.83=  
2000 OR 20.00%

## LEGEND:

- ⊙ FOUND IRON
- ⊙ SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE

THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE POLICY OR DEED THEREFORE, ALL EASEMENT OF RECORD AND OTHER FACTORS RELEVANT TO TITLE MAY NOT BE SHOWN. CLIENT PROVIDED DESCRIPTION FOR PROPERTY.

I HEREBY STATE THAT I HAVE SURVEYED AND MAPPED THE LAND PLATTED AND/OR DESCRIBED ABOVE ON JUNE 30, 2022 AND THAT ALL OF THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970, AS AMENDED, HAVE BEEN COMPLIED WITH.

BASIS OF BEARING: THE EAST LINE OF LOTS 186 & 187 PER PLAT

PREPARED FOR:  
 ALAN PELTIER  
 9522 COOLEY LAKE RD.  
 WHITE LAKE, MI 48386  
 (248) 914-9586



SHEET: 1 OF 1 BRADLEY GEORGE REICHERT P.S. #4001055923

Scale: 1"=30'  
 Date: 7/25/22  
 Job No. 22-082  
 Drawn: B.G.R.



P 248.651.0592 F 248.656.7099  
 Mail@ReichertSurveying.com  
 140 Flumerfelt Lane - Rochester, MI 48306

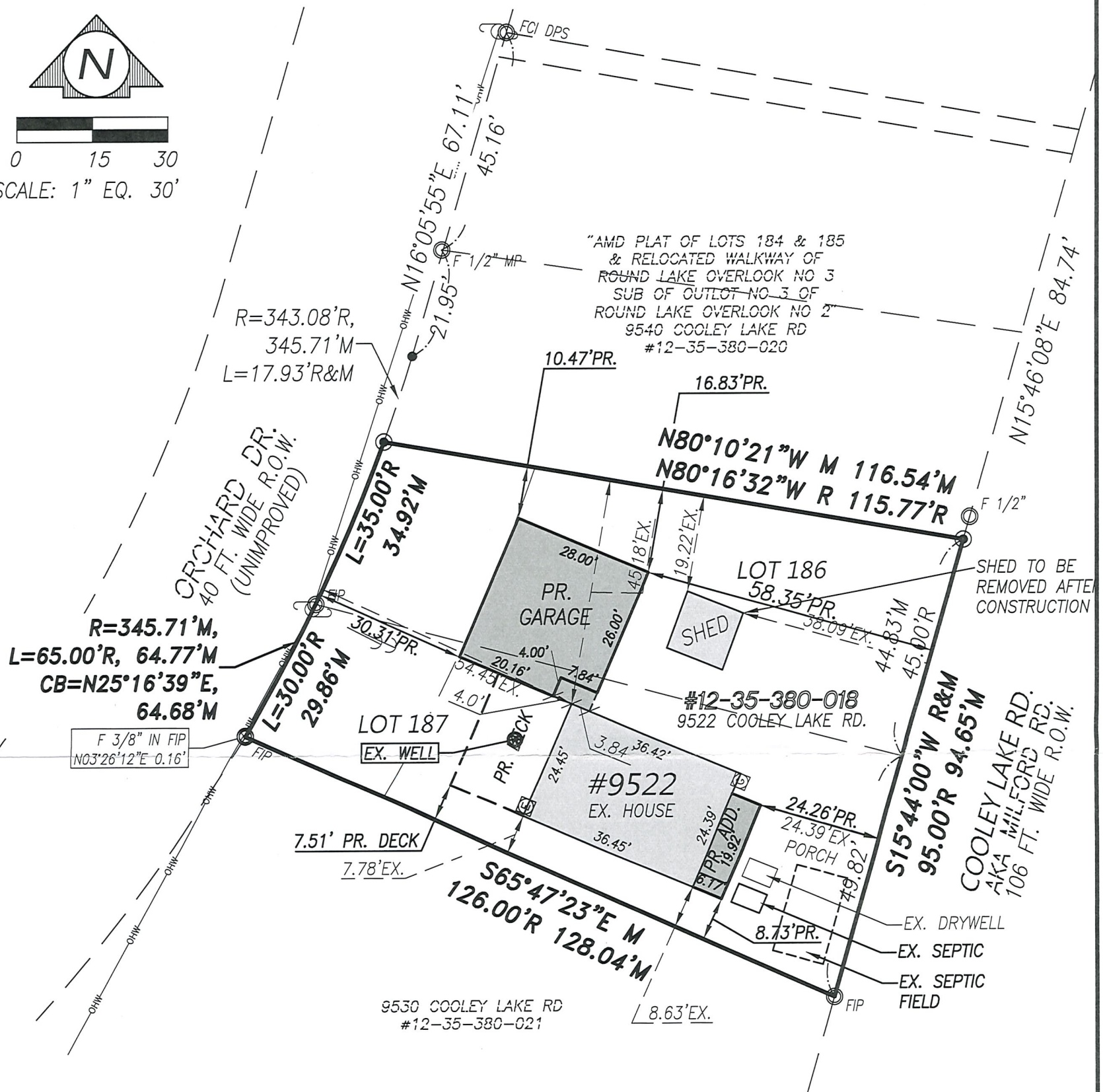
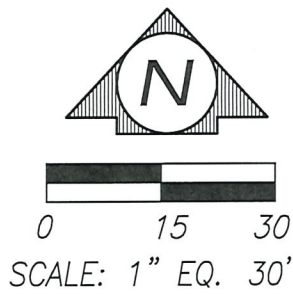
Date:	Rev. By:
7/27/22	BGR



# CERTIFICATE OF SURVEY

LOTS 186 & 187 OF "ROUND LAKE OVERLOOK NO. 3" SUBDIVISION OF OUTLOT NO. 3 OF ROUND LAKE OVERLOOK NO. 2, SECTION 35, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.46 OF PLATS, P.6, O.C.R.

ADDRESS: 9522 COOLEY LAKE ROAD, WHITE LAKE, MI 48386; PARCEL#:12-35-380-018



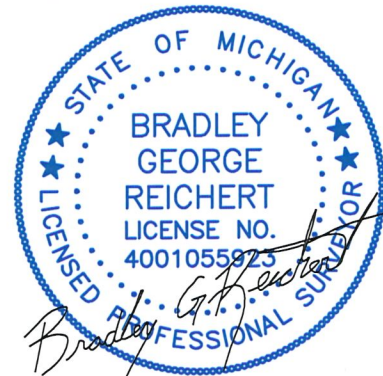
## LEGEND:

- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE

THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE POLICY OR DEED THEREFORE, ALL EASEMENT OF RECORD AND OTHER FACTORS RELEVANT TO TITLE MAY NOT BE SHOWN. CLIENT PROVIDED DESCRIPTION FOR PROPERTY.

I HEREBY STATE THAT I HAVE SURVEYED AND MAPPED THE LAND PLATTED AND/OR DESCRIBED ABOVE ON JUNE 30, 2022 AND THAT ALL OF THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970, AS AMENDED, HAVE BEEN COMPLIED WITH.

BASIS OF BEARING: THE EAST LINE OF LOTS 186 & 187 PER PLAT  
 PREPARED FOR:  
 ALAN PELTIER  
 9522 COOLEY LAKE RD.  
 WHITE LAKE, MI 48386  
 (248) 914-9586



SHEET: 1 OF 1 BRADLEY GEORGE REICHERT P.S. #4001055923

Scale: 1"=30'  
 Date: 7/25/22  
 Job No. 22-082  
 Drawn: B.G.R.



P 248.651.0592 F 248.656.7099  
 Mail@ReichertSurveying.com  
 140 Flumerfelt Lane - Rochester, MI 48306

Date:	Rev. By:
7/27/22	BGR
10/7/22	GHR

Rik Kowall, Supervisor  
 Anthony L. Noble, Clerk  
 Mike Roman, Treasurer



Trustees  
 Scott Ruggles  
 Liz Fessler Smith  
 Andrea C. Voorheis  
 Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

August 24, 2022

Alan Peltier  
 9522 Cooley Lake Rd  
 White Lake, MI 48386

RE: Proposed garage and addition

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

**Article 3.1.6 of the White Lake Township Clear Zoning Ordinance:** Requires a minimum side yard setback of 10 ft each side and total of 20 ft, minimum lot area of 12,000 sq ft, and minimum lot width of 80 ft.

**Article 5.7 (A) of the White Lake Township Clear Zoning Ordinance:** No detached garage or accessory building or structure shall be located closer than ten (10) feet to any principal structure or building, unless it conforms to all regulations of this Ordinance applicable to principal structures and buildings.

The existing lot and structure are legal non-conforming with a lot area of 9,560.83 sq ft. The proposed garage does not meet the required 10 ft offset from the principal structure to be exempt from meeting the required setbacks. The proposed structure would have an 8.2 ft side yard setback on the north side and 20.4 rear yard setback. Additionally, the proposed addition shown on the survey would have an 8.6 ft side yard setback on the south side and 24.2 front yard setback. If approved, the shed would also need to be removed prior to final building inspection to meet the 20% maximum lot coverage.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the September 22<sup>nd</sup> Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than August 25<sup>th</sup> at 4:30 PM. **A certified boundary and location survey, which should include lot area and coverage, will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official  
 White Lake Township



# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** October 27, 2022

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**Agenda item:** 7a

**Appeal Date:** October 27, 2022

**Applicant:** Paul Peter

**Address:** 9474 Thames Boulevard  
White Lake, MI 48386

**Zoning:** R1-D Single Family Residential

**Location:** 9474 Thames Boulevard  
White Lake, MI 48386



### **Property Description**

The approximately 0.15-acre (6,607 square feet) parcel identified as 9474 Thames Boulevard is located on Pontiac Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 914 square feet in size) utilizes a private well for potable water and the public sanitary sewer system for sanitation.

### **Applicant's Proposal**

Paul Peter, the applicant, is proposing to construct an accessory building (garage).

### **Planner's Report**

A two-car, two-story detached garage is proposed. The first-floor footprint of the garage would be 24 feet by 24 feet (576 square feet) in size. No information on the size of the second-story was provided with the variance application or building permit application. At its closest point the garage would be located 8.8 feet from the front lot line, requiring a variance of 21.2 feet from the required 30-foot front yard setback.

Currently the house (with sunroom) and shed cover 15.6% of the lot. The proposed lot coverage is 24.3% (1,612 square feet), which is 4.3% (290.6 square feet) beyond the allowable limit (1,321.4 square feet).

The requested variances are listed in the following table.

<b>Variance #</b>	<b>Ordinance Section</b>	<b>Subject</b>	<b>Standard</b>	<b>Requested Variance</b>	<b>Result</b>
1	Article 3.1.6.E	Front yard setback	30 feet	21.2 feet	8.8 feet
2	Article 3.1.6.E	Maximum lot coverage	20% (1,321.4 square feet)	4.3% (290.6 square feet)	24.3% (1,612 square feet)
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	5,393 square feet	6,607 square feet
4	Article 3.1.6.E	Minimum lot width	80 feet	40 feet	40 feet

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Paul Peter from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-14-203-007, identified as 9474 Thames Boulevard, in order to construct a detached garage that would exceed the allowed lot coverage by 4.3% and encroach 21.2 feet into the required front yard setback. A 40-foot variance from the required lot width and 5,393 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The second-story of the garage shall not be used as living space.
- No sanitary sewer service shall be extended to the garage
- Architectural plans drawn to scale shall be submitted to meet requirements of the Building Official.
- The foundation including rat wall shall be made available for inspection by the Building Official.
- An as-built survey shall be required to verify setbacks and lot coverage.

**Denial:** I move to deny the variances requested by Paul Peter for Parcel Number 12-14-203-007, identified as 9474 Thames Boulevard, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Paul Peter to a date certain or other triggering mechanism for Parcel Number 12-14-203-007, identified as 9474 Thames Boulevard, to consider comments stated during this public hearing.

**Attachments:**

1. Variance application dated September 7, 2022.
2. Applicant's written statement.
3. Sketch of Survey dated August 22, 2022 (revision date October 7, 2022).
4. Building Permit application dated May 28, 2022.
5. Letter of denial from the Building Official dated June 3, 2022.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**ZONING BOARD OF APPEALS APPLICATION**

Item A.

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: Paul Peter PHONE: (248) 802 8224

ADDRESS: 9474 Thames Blvd

APPLICANT'S EMAIL ADDRESS: popcornpaul19@yahoo.com

APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 9474 Thames Blvd PARCEL # 12-14-203-007

CURRENT ZONING: R1-D PARCEL SIZE: 7,057 sqft

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Article 3.1.6 of the  
White Lake Township Clear Zoning ordinance

VALUE OF IMPROVEMENT: \$ 18,000 SEV OF EXISTING STRUCTURE: \$ 133,190

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: Paul m Peter DATE: 9/7/2022

RECEIVED  
SEP 08 2022  
COMMUNITY DEVELOPMENT DEPARTMENT

Letter of Intent  
In Support of Request for Variance  
9474 Thames Blvd White Lake MI 48386

This letter of intent is in support of my request for a variance to my front and side setbacks, as well as, my maximum lot coverage. Regarding Article 3.1.6 of the White Lake Township Clear Zoning Ordinance; the garage plans I would like to submit to the township requires a minimum front yard setback of 30 feet, minimum side yard setback of 10 feet each side for a total of 20 feet, and a minimum lot area of 12,000 sq ft.

I ask the township to consider my request for variance based on the following:

1. The new garage is inline with my current home and the proposed setbacks are less than the current structure.
2. Due to the location of my well between the proposed garage and the existing house, I am forced to encroach further towards the front of the property.
  - a. My other option might be to replace a perfectly good well.
3. As seen in the survey and topographical map, Thames Blvd is actually much further from the proposed garage. All existing driveways on Thame expand past the stakes to meet the road.
4. The property lines around the lake are quite irregular and there is already precedence for recent variances granted in the neighborhood.

My goal is to continue to improve my property both visually and structurally. The new garage will help me accomplish that goal by providing a clean storage solution and will increase the monetary and aesthetic values of the properties around it.

I appreciate your time and consideration.

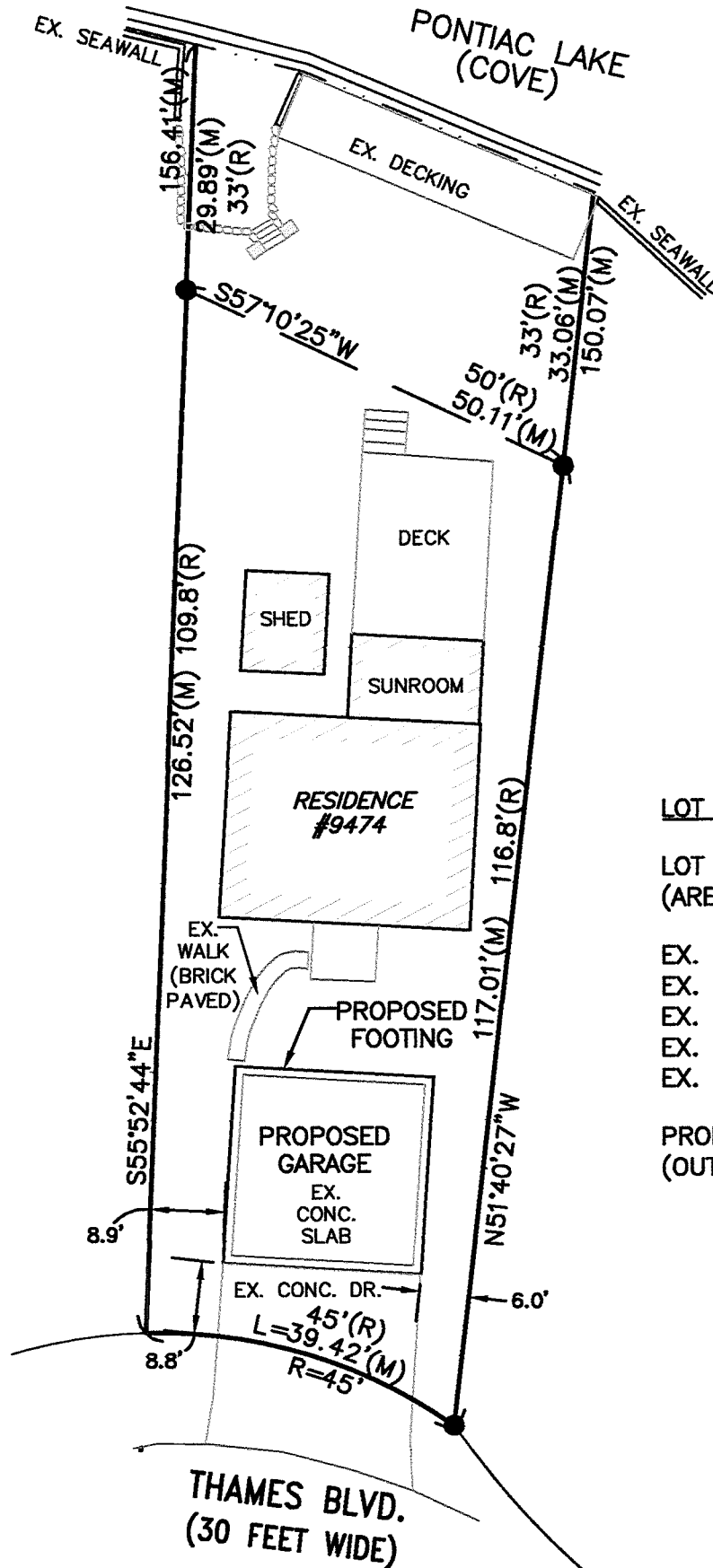
Respectfully,

Paul Peter



# SKETCH OF SURVEY

PART OF THE NORTHEAST 1/4 OF SECTION 14, T. 3N, R. 8E.,  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN.

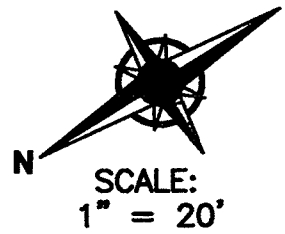


### NOTES:

1. NO TITLE POLICY SUPPLIED BY THE CLIENT. EXISTING EASEMENTS MAY EXIST AND ARE NOT SHOWN.
2. BEARINGS ARE ASSUMED.

### LEGEND

- (M) MEASURED
- (R) RECORD
- (C) CALCULATED
- FOUND IRON
- SET IRON



### LOT COVERAGE CALCULATION:

LOT AREA = 6,607 SQ. FT./0.15 ACRES  
(AREA OF LAND TO WATER'S EDGE)

- EX. HOUSE (754 SQ. FT.) = 11.4%
- EX. SUNROOM (160 SQ. FT.) = 2.4%
- EX. SHED (122 SQ. FT.) = 1.8%
- EX. PAVER WALK (32 SQ. FT.) = 0.5%
- EX. CONC. DRIVE (265 SQ. FT.) = 4.0%

PROPOSED 24'x24' GARAGE  
(OUTSIDE EDGE 576 SQ. FT.) = 8.7%

### SURVEYOR'S CERTIFICATE

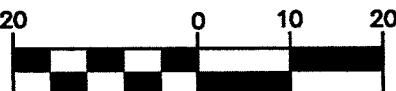
I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON 8/20/2022 AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS LESS THAN 1/5000.

### PROPERTY DESCRIPTION:

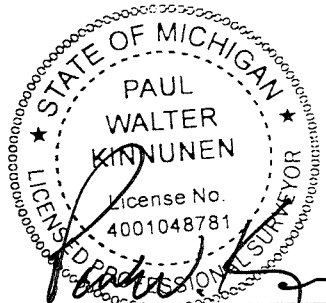
PARCEL NO. 12-14-203-007  
#9474 THAMES BOULEVARD

LOT 171 OF "ENGLISH VILLAS SUBDIVISION", AS RECORDED IN LIBER 51 OF PLATS, PAGE 22, OAKLAND COUNTY RECORDS, PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN.

### GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.



PAUL W. KINRUNEN, P.S. #48781

REV. 10-7-2022

### LINE & DISTANCE, LLC.

P.O. BOX 851122 WESTLAND, MI 48186 PH: 313.350.0412  
Email: pwk\_2190@yahoo.com

SHEET 1 of 1	DRAWN BY: MGB
DATE: 8/22/22	SCALE: 1" = 20'

DWG. NO.  
1 OF 1



# APPLICATION FOR BUILDING PERMIT AND PLAN EXAMINATION

Item A.

Charter Township of White Lake  
 7525 Highland Road • White Lake, MI 48383  
 (248) 698-3300



Authority: P.A. 230 OF 1972, as amended Completion: Mandatory to obtain permit Penalty: Permit will not be issued	This department will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, handicap, or political beliefs.
---	--

## APPLICANT TO COMPLETE ALL ITEMS

**NOTE: SEPARATE APPLICATIONS MUST BE COMPLETED FOR PLUMBING, MECHANICAL, AND ELECTRICAL PERMITS**

APPLICATION DATE: <span style="font-size: 1.2em; margin-left: 20px;">5/28/2022</span>	IS OWNER APPLICANT? <div style="text-align: right;"> <input checked="" type="checkbox"/> YES    <input type="checkbox"/> NO                 </div>
--	---

### PROPERTY INFORMATION

STREET ADDRESS OF PROJECT <span style="font-size: 1.2em;">9474 Thames Blvd</span>	APT. #	PARCEL I.D. NUMBER <span style="font-size: 1.2em;">4-12-14-203-007</span>	ZONING <span style="font-size: 1.2em;">Res</span>
--	--------	--	--

### OWNER INFORMATION

LAST NAME OR BUSINESS NAME <span style="font-size: 1.2em;">Peter</span>	FIRST NAME <span style="font-size: 1.2em;">Paul</span>	PHONE NUMBER <span style="font-size: 1.2em;">248-802-8224</span>
STREET ADDRESS <span style="font-size: 1.2em;">9474 Thames Blvd</span>	CITY <span style="font-size: 1.2em;">White Lake</span>	STATE <span style="font-size: 1.2em;">MI</span>
		ZIP CODE <span style="font-size: 1.2em;">48386</span>

### APPLICANT INFORMATION

	OWNER OR LESSEE	CONTRACTOR
OWNER OR COMPANY NAME	<span style="font-size: 1.2em;">Paul Peter</span>	
CONTACT NAME	<span style="font-size: 1.2em;">Paul</span>	
LICENSE NUMBER	-(License # is N/A for homeowner)-	
STREET ADDRESS	<span style="font-size: 1.2em;">9474 Thames Blvd</span>	
CITY/STATE/ZIP	<span style="font-size: 1.2em;">White Lake MI 48386</span>	
PHONE	<span style="font-size: 1.2em;">248-802-8224</span>	
EMAIL	<span style="font-size: 1.2em;">Popcornpaul19@yahoo.com</span>	
ARCHITECT/ENGINEER NAME: _____		
LICENSE NUMBER:		CONTACT #:
FEDERAL EMPLOYER ID NUMBER		
WORKERS COMP. INSURANCE CARRIER		
MESC NUMBER		

**BUILDING AND PROPERTY CHARACTERISTICS**

Item A.

DESCRIBE IN DETAIL WORK TO BE DONE: Proposed addition of new garage. Garage will be detached. Size of garage will be 24x24. Foundation will consist of a concrete slab with a rat wall. Detailed garage plans are attached.	TYPE OF IMPROVEMENT: <input type="checkbox"/> FENCE <input type="checkbox"/> DECK <input type="checkbox"/> ROOF <input type="checkbox"/> NEW SINGLE FAMILY HOME <input type="checkbox"/> ALTERATION/REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> DEMOLITION <input checked="" type="checkbox"/> GARAGE <input type="checkbox"/> ACCESSORY STRUCTURE <input type="checkbox"/> WINDOWS/DOORS
---	---

USE GROUP: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> OTHER: _____ CONSTRUCTION TYPE: <u>New</u>	VALUE OF IMPROVEMENT: \$
---	-----------------------------

LOT SIZE -- FRONT: <u>45.00</u>	REAR: <u>50.00</u>	SIDE: <u>149.80</u>	SIDE: <u>142.80</u>
------------------------------------	--------------------	---------------------	---------------------

TOTAL SQ. FT. OF LOT: <u>6935'</u>
---------------------------------------

PROPOSED SETBACKS -- FRONT: <u>19'</u>	REAR: <u>93'</u>	SIDE: <u>7'</u>	SIDE: <u>9'</u>
---	------------------	-----------------	-----------------

SQ. FT. OF PROPOSED CONST.-- GARAGE: <u>576</u>	1 <sup>ST</sup> FLOOR: <u>576</u>	2 <sup>ND</sup> FLOOR: <u>-</u>	TOTAL: <u>576'</u>
--	-----------------------------------	---------------------------------	--------------------

SQ. FT. OF EXISTING STRUCTURES -- GARAGE:	1 <sup>ST</sup> FLOOR:	2 <sup>ND</sup> FLOOR:	TOTAL:
--	------------------------	------------------------	--------

TOTAL HEIGHT & # OF STORIES:	NO. OF EXISTING BEDROOMS:	NO. OF PROPOSED BEDROOMS:	TOTAL NO. OF BEDROOMS:
------------------------------	---------------------------	---------------------------	------------------------

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent; and we agree to conform to all applicable laws of this jurisdiction. The applicant signing this application is aware that (s)he assumes full responsibility for insuring that all work done complies with all applicable codes and ordinances.

Section 23a of the state construction code act of 1972, 1972 PA 230, MCL 125.1523a, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of section 23a are subject to civil fines.

SIGNATURE OF APPLICANT <u>Paul M Peter</u>	PHONE <u>248-802-8224</u>
---	------------------------------

PRINT APPLICANTS NAME <u>Paul Peter</u>
--

ADDRESS, CITY, STATE, ZIP <u>9474 Thames Blvd White Lake MI 48386</u>
--



## BUILDING AND ZONING PERMIT REGULATIONS

Item A.

- A Certificate of Occupancy must be obtained before occupying the building.
- The Builder and property owner are responsible for drainage and grade on the construction site.
- The Builder and property owner are responsible for lot line and proper setbacks as approved by White Lake Township.
- The lot is properly marked (properly marked is a **visible address** with the lot number and permit number that can be clearly seen from the road)
- The job site must be clean with a safe access for the inspectors. The road must be cleaned and maintained properly (this includes snow removal).

### HOMEOWNER AFFIDAVIT

As the bona fide owner of the above mentioned property which is a single residence, and which is, or will be on completion, my place of residence and no part of which is used for rental or commercial purposes nor is now contemplated for such purpose, I hereby make application for an owner's permit to install:

Detached Garage

as listed on this permit application.

I certify that I am familiar with the provisions of the applicable Ordinance and the rules governing the type of installation which is contemplated at the above mentioned location and hereby agree to make the installation in conformance with the Ordinance. In making the application, I realize I am assuming the responsibility of a licensed contractor for the installation of the work mentioned in the permit application and for putting the equipment in operation. I further agree that I shall neither hire any other person for the purpose of installing any portion of the Garage or related equipment at the above premises, nor sub-contract to any other person, firm or corporation the installation of any portion of the above equipment.

HOMEOWNER NAME/SIGNATURE: Paul M. Peter Paul M. Peter

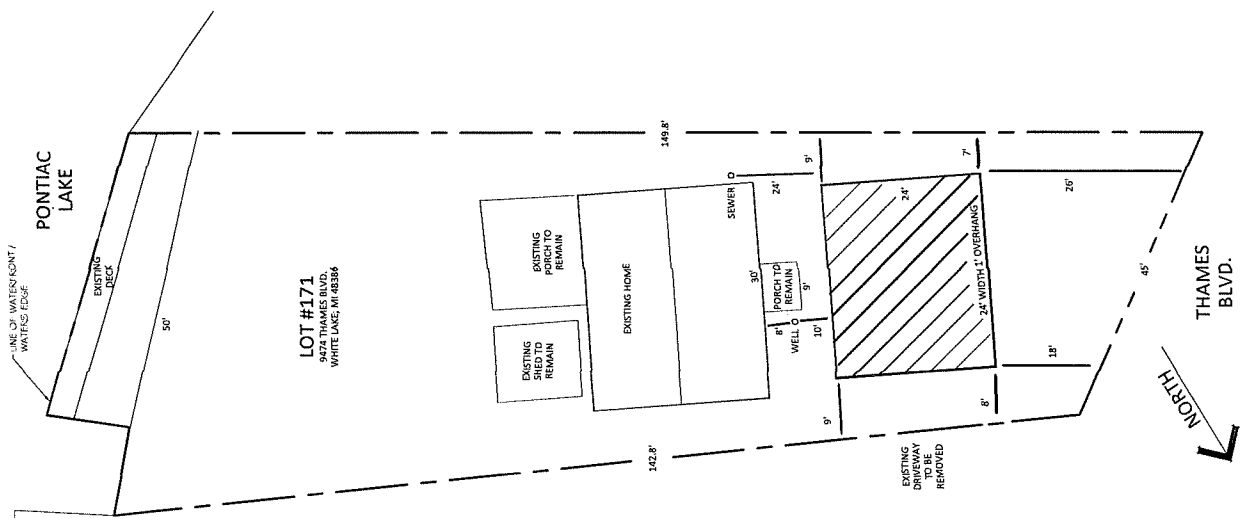
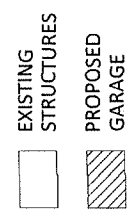
#### LOCAL GOVERNMENTAL AGENCY TO COMPLETE THIS SECTION

	REQUIRED?
A. ZONING	<input type="checkbox"/> YES <input type="checkbox"/> NO
B. SOIL EROSION	<input type="checkbox"/> YES <input type="checkbox"/> NO
C. FLOOD ZONE	<input type="checkbox"/> YES <input type="checkbox"/> NO
D. WATER SUPPLY	<input type="checkbox"/> YES <input type="checkbox"/> NO
E. SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO
F. VARIANCE GRANTED	<input type="checkbox"/> YES <input type="checkbox"/> NO
G. DRIVEWAY PERMIT	<input type="checkbox"/> YES <input type="checkbox"/> NO
USE GROUP: _____	PLAN REVIEW FEES: _____
TYPE OF CONSTRUCTION: _____	BUILDING PERMIT FEES: _____
SQUARE FEET: _____	<b>FEE TOTAL:</b> _____
APPROVAL SIGNATURE: _____	NUMBER OF INSPECTIONS: _____
TITLE: _____	DATE: _____

## WHITE LAKE TOWNSHIP PLOT PLAN SUBMITTAL CHECKLIST

Subdivision/Condominium Name:	
Property Address: 9474 Thames Blvd	Lot #: 171
Builder/Applicant Name: Paul Peter	
Plot Plan Prepared by: Paul Peter	
Date: 5-27-2022	

- Elevation reference mark shown (NAVD 88 Datum)
- Plan signed **AND** sealed by a State of Michigan licensed engineer or surveyor
- Location map with major cross streets indicated
- Title block shows professional preparer's name, address, and phone number
- Title block shows current revision date
- Easements are shown
- Plan shows setback lines. Setbacks measured from cantilevers, when proposed. Rear setback for lake lot should be from high water level.
- Building is dimensioned to property lines
- Septic field or sanitary sewer lead is shown
- Well or water service lead is shown
- Proposed spot finish grade elevations are shown for each corner of the building and as otherwise needed to indicate other grade features such as walkouts
- Existing and proposed contours are shown at maximum two-foot intervals
- Show as-built road and structure (storm, water, sanitary if any) elevations
- Show finish grade of adjacent structures, drive elevation, or note any construction that is underway
- Plan drawn to scale
- Title block shows applicant name, address, and phone number
- Title block shows Subdivision/Condominium name and lot/unit number
- Plan shows property lines and dimensions
- On site watermains, sanitary sewers, and storm sewers are shown (As- built location)
- Plan shows building outline with general dimensions
- Driveway is shown; slope 8% maximum if possible
- Sump pump leads shown, if any
- Floor elevations are shown for the first floor, garage, and basement
- Retaining wall height and type is shown
- Sidewalk shown (if required per approved site plan or preliminary plat); 2% cross slope at drive. ADA plate at road intersection for corner lots.
- Design water level of on-site ponds, if any. Show FEMA flood elevations if applicable
- Show existing contours or spot grades on adjacent parcels
- Location, diameter, and elevations at base of significant saved trees within grading limits
- Plot plan indicates positive drainage away from all sides of house and garage



**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO MEET STANDARD CONSTRUCTION METHODS.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL SIZES, CONFIGURATIONS, AND EXISTING CONDITIONS.
- GENERAL CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES WITH DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, ELEVATIONS, SECTIONS & DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, & COORDINATE THE WORK, & CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OF PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR INSTRUCTED.
- ALL CONTRACTORS SHALL VISIT THE SITE, INSPECT ALL EXISTING CONDITIONS, AND REVIEW DRAWINGS FOR ANY ADDITIONAL WORK TO BE PERFORMED.
- EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF ANY OTHER TRADES AND WITH THE OWNER.



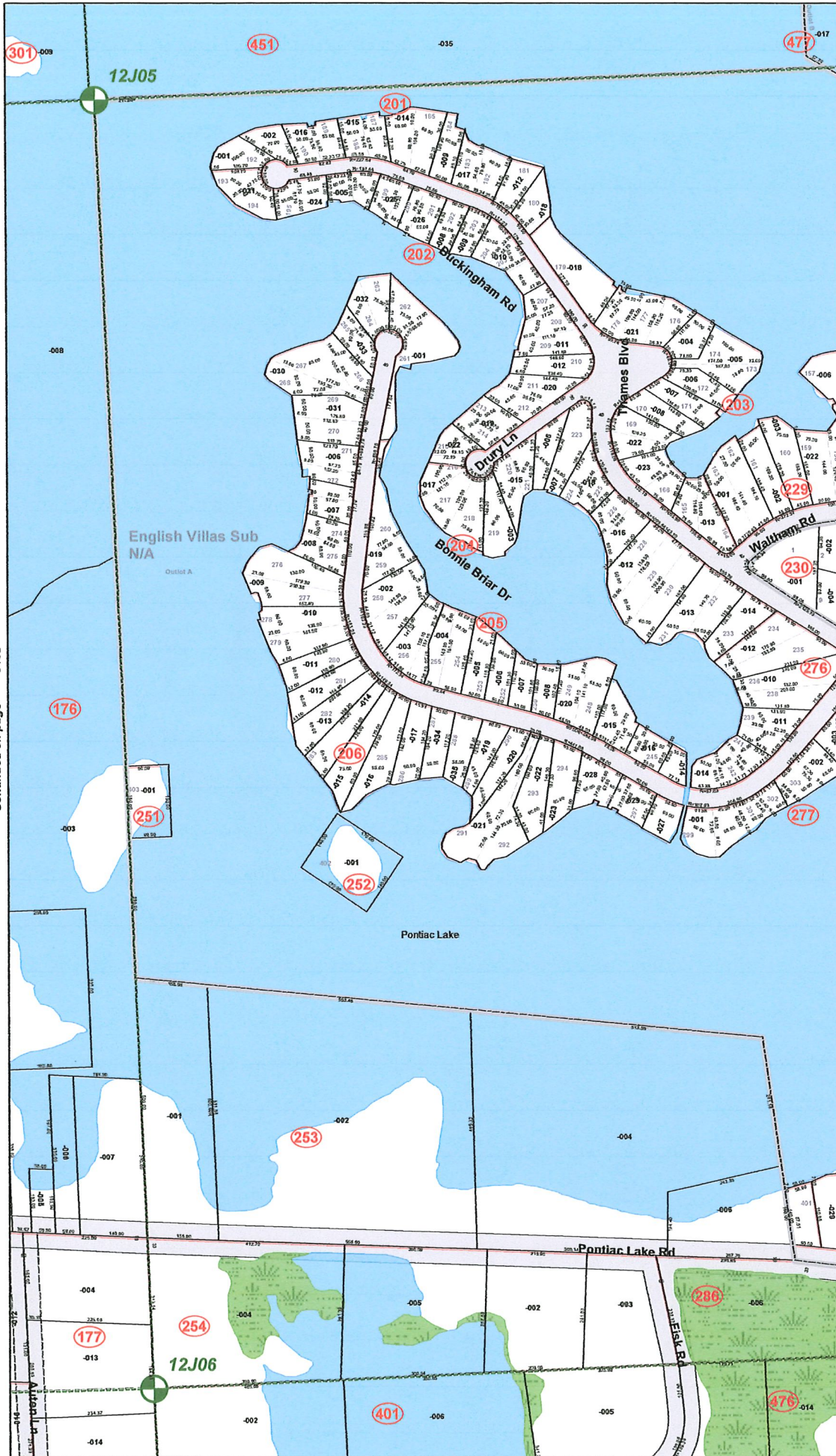


Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

**OAKLAND COUNTY**  
 ECONOMIC DEVELOPMENT & COMMUNITY ALLIANCE  
**David Coulter**  
 Oakland County Executive

Date Created: 3/1/2022  
 NORTH  
 1 inch = 30 feet





Continued on page 3402

Continued on page 3404

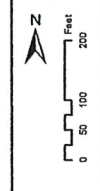
Additional copies can be obtained from:  
 Economic Development Mapping Services  
 2100 Westland Blvd., Suite 200  
 Westland, Michigan 48090  
 www.asenmapland.com  
 (248) 452-2058

**OAKLAND COUNTY, MICHIGAN**  
 Economic Development & Community Affairs  
 David Condit, Director  
 Oakland County, Michigan

The information contained herein has been compiled from recorded deeds, plats, tax maps, surveys and other public records and is intended to be used as a reference. Users should consult the information source mentioned above when questions arise.

**Legend**

- Swamp or Marsh
- Lake
- Sec Corner
- Sec Line
- Tax Parcel Line
- Lot or Unit
- Common Area
- Subdivision Line



Map Created On: 12/16/2021

**Geographic Township of:**  
**White Lake**

TWP-SEC  
**12 - 14**

SHEET #  
**3403**

Item A.



Date: 8/22/2022 - 9:05 PM

Design Name: 1950632 DnB new

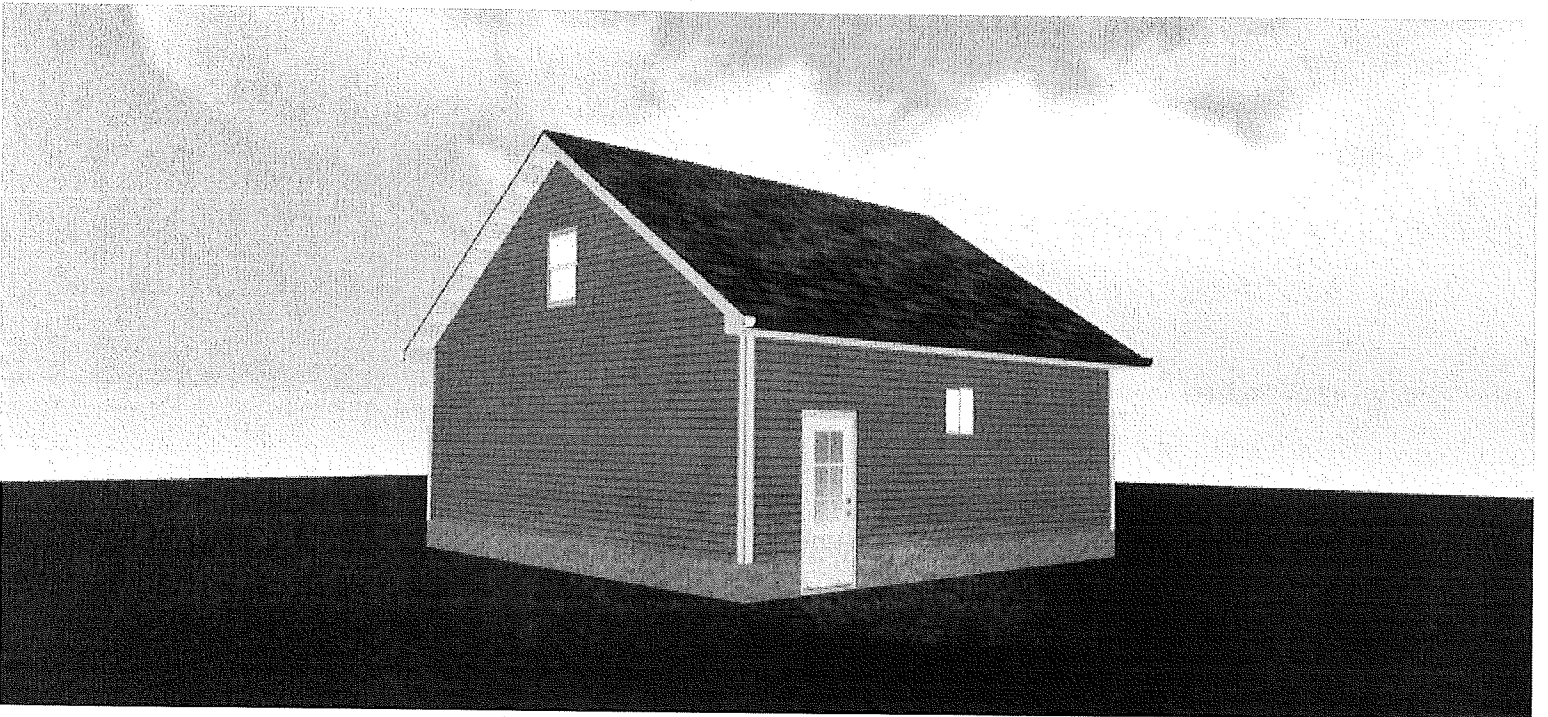
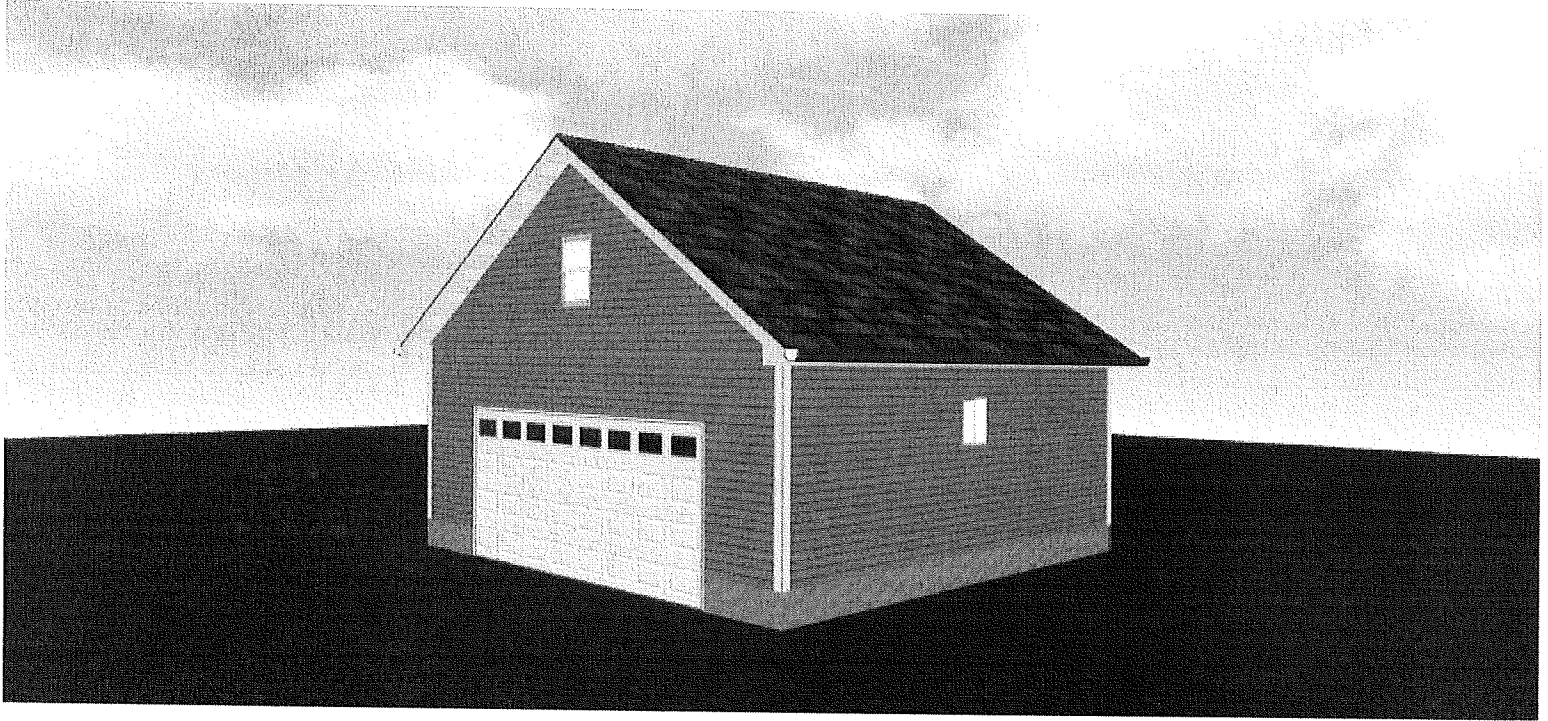
Design ID: 336252521827

Estimated Price: \$15,880.13

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS®

Design & Buy Item A.  
GARAGE



For other design systems search "Design & Buy" on Menards.com

Date: 8/22/2022 - 9:05 PM  
Design Name: 1950632 DnB new  
Design ID: 336252521827  
Estimated Price: \$15,880.13

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

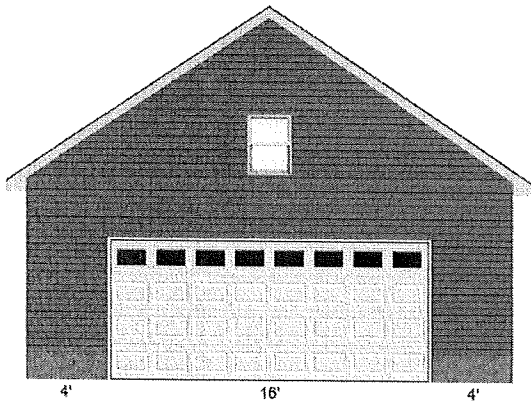
MENARDS

**Design & Buy** Item A.  
GARAGE

## Dimensions

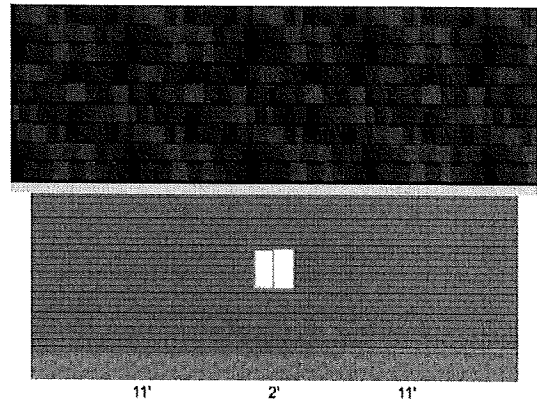
### Wall Configurations

\*Illustration may not depict all options selected.



**ENDWALL B**

Ideal Door®; 5-Star 16' x 7' White Premium Insulated with Windows  
26"W x 36"H JELD-WEN®; Vinyl Double Hung

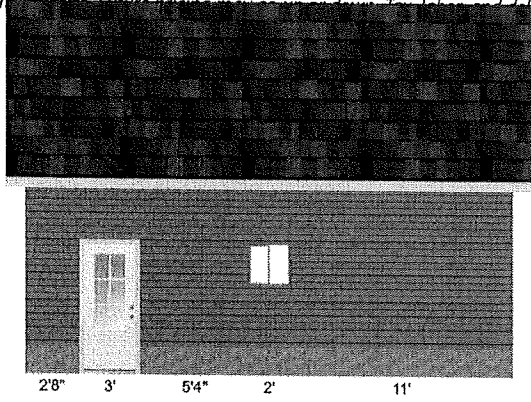


**SIDEWALL D**

24"W x 24"H JELD-WEN®; Vinyl Slider

Date: 8/22/2022 - 9:05 PM  
Design Name: 1950632 DnB new  
Design ID: 336252521827  
Estimated Price: \$15,880.13

*\*Today's estimate only. Future pricing may vary. Tax, labor and delivery not included.*



**SIDEWALL C**

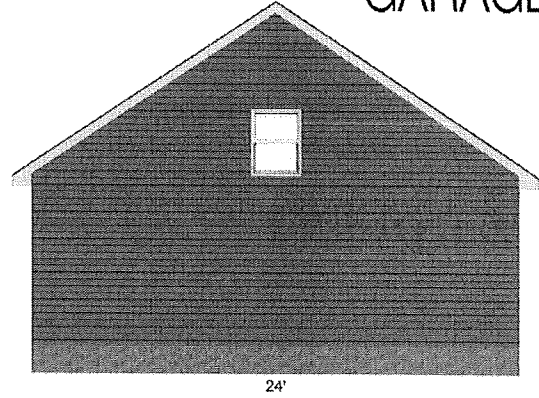
Mastercraft®; 36"W x 80"H Primed Steel External Three-Quarter Lite  
24"W x 24"H JELD-WEN®; Vinyl Slider

MENARDS®

# Design & Buy

Item A.

## GARAGE



**ENDWALL A**

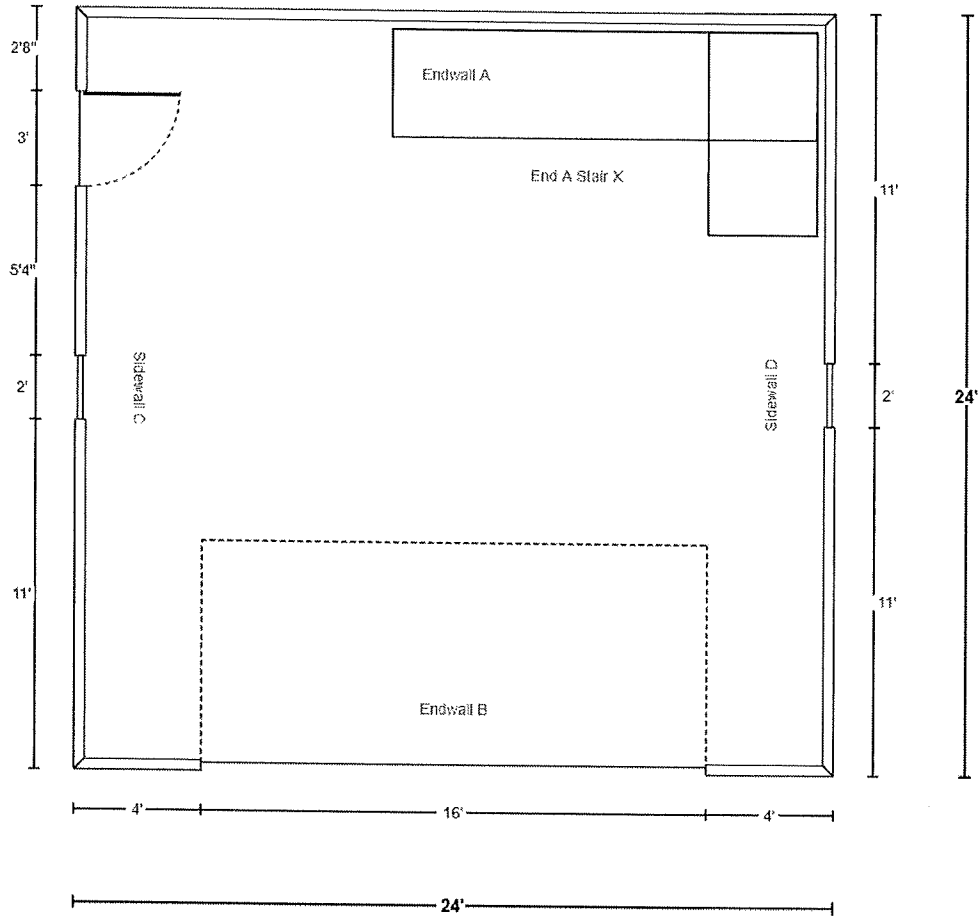
JELD-WEN®; 30"W x 40"H Good Series Vinyl Double Hung Window with Nailing Flange

\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



Date: 8/22/2022 - 9:05 PM  
Design Name: 1950632 DnB new  
Design ID: 336252521827  
Estimated Price: \$15,880.13

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



Date: 8/22/2022 - 9:05 PM

Design Name: 1950632 DnB new

Design ID: 336252521827

Estimated Price: \$15,880.13

\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.

MENARDS

# Design & Buy GARAGE

Item A.

### How to recall and purchase your design at home:

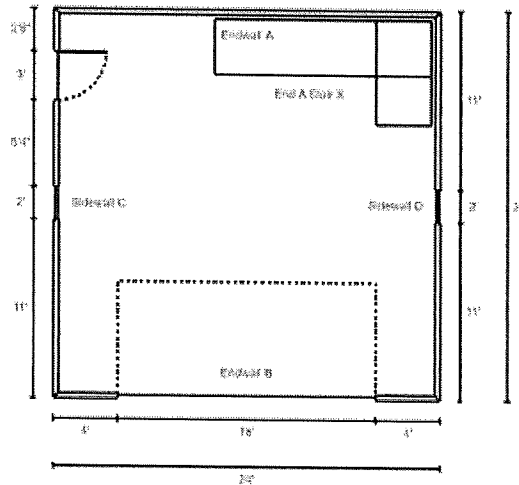


OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 336252521827
4. Follow the on-screen purchasing instructions

### How to purchase your design at the store:

1. Enter Design ID: 336252521827 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS**

**REPORT OF THE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** October 27, 2022

---

**Agenda item:** 7b

**Appeal Date:** October 27, 2022

**Applicant:** Adam Hufeld

**Address:** 10071 Elizabeth Lake Road  
White Lake, MI 48386

**Zoning:** R1-C Single Family Residential

**Location:** 10071 Elizabeth Lake Road  
White Lake, MI 48386

### **Property Description**

The approximately 0.16-acre (6,969.6 square feet) parcel identified as 10071 Elizabeth Lake Road is zoned R1-C (Single Family Residential). The existing house on the property is approximately 1,150 square feet in size.

### **Applicant's Proposal**

Adam Hufeld, the applicant, is proposing to construct a deck and privacy fence in the road right-of-way.

### **Planner's Report**

The applicant removed a dilapidated deck from the house. When the applicant submitted a residential deck permit application to the Township to rebuild the deck, staff informed the applicant the deck was located in the road right-of-way and could not be rebuilt without approval from the Road Commission for Oakland County (RCOC) and the Zoning Board of Appeals. The RCOC approved the replacement of the deck in the right-of-way. Section 3.10.A of the Zoning Ordinance limits deck projection into a required front yard to 10 feet. Therefore, a variance is requested to allow a zero-foot setback from the right-of-way.

The applicant is also requesting to replace a privacy fence along Elizabeth Lake Road. The applicant communicated to staff the fence was damaged during a storm this summer. Fencing cannot be installed in the right-of-way without approval by the RCOC (its approval was limited to the deck; the applicant did not request approval to install a privacy fence in the right-of-way). The applicant informed staff the proposed privacy fence would be six feet in height. Section 5.12.D.ii of the Zoning Ordinance states in no instance shall a fence over four feet high be placed in the front yard of a residence. Therefore, a two-foot variance is requested to exceed the allowed fence height.

The requested variances are listed in the following table.

<b>Variance #</b>	<b>Ordinance Section</b>	<b>Subject</b>	<b>Standard</b>	<b>Requested Variance</b>	<b>Result</b>
1	Article 3.10.A	Attached Decks, Porches, and Patios in Residential Districts	May project into a required front yard 10 feet	Deck in Elizabeth Lake Road right-of-way	0-foot setback
2	Article 5.12	Fences, Walls and Other Protective Barriers	4-foot height in front yard	2 feet	6 feet

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Adam Hufeld from Articles 3.10.A and 5.12 of the Zoning Ordinance for Parcel Number 12-27-228-001, identified as 10071 Elizabeth Lake Road. A variance from Article 3.10.A is granted in order to construct a deck that would encroach into the road right-of-way (0-foot setback). A 2-foot variance to install a six-foot-tall privacy fence is also granted from Article 5.12. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The Applicant shall obtain the required Road Commission for Oakland County (RCOC) permit and provide a copy of said permit to the Building Department prior to installation of the fence.

**Denial:** I move to deny the variances requested by Adam Hufeld for Parcel Number 12-27-228-001, identified as 10071 Elizabeth Lake Road, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Adam Hufeld to a date certain or other triggering mechanism for Parcel Number 12-27-228-001, identified as 10071 Elizabeth Lake Road, to consider comments stated during this public hearing.

**Attachments:**

1. Variance application dated September 22, 2022.
2. Residential Deck Permit application dated August 16, 2022.
3. RCOC Permit Application approval dated September 14, 2022.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
ZONING BOARD OF APPEALS APPLICATION

Item B.

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: ADAM HUFELD PHONE: 734-679-0788

ADDRESS: 10071 Elizabeth Lake Rd.

APPLICANT'S EMAIL ADDRESS: Adamhufeld@gmail.com

APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 10071 Elizabeth Lake rd. PARCEL # 12 - 27-228-001

CURRENT ZONING: \_\_\_\_\_ PARCEL SIZE: \_\_\_\_\_

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: DECK & PRIVACY FENCE (Along road)

VALUE OF IMPROVEMENT: \$ 8,000 SEV OF EXISITING STRUCTURE: \$ \_\_\_\_\_

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: Adam Hufeld DATE: 9-22-22

RECEIVED

SEP 22 2022

BUILDING  
DEPARTMENT

Rik Kowall, Supervisor  
 Anthony L. Noble, Clerk  
 Mike Roman, Treasurer



Trustees  
 Scott Ruggles  
 Liz Fessler Smith  
 Andrea C. Voorheis  
 Michael Powell

Item B.

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

### APPLICATION FOR RESIDENTIAL DECK PERMIT

Application must include:  2 sets each detailed construction plans  2 sets each plot plans  
 Building and zoning permit regulations form

\*Note: Graspable handrails required where applicable. Residential Wood Deck Construction Guide available on website.

Address of new deck: <b>10071 ELIZABETH LAKE Rd.</b>		Application Date: <b>8-16-22</b>
Zoning District:	Sidwell #:	Subdivision:
Lot #:	Construction Type:	Use Group:
Lot size:	Front:          Rear:	Side:          Side:
Required setbacks:	Front:          Rear:	Side:          Side:
Proposed setbacks:	Front:          Rear:	Side:          Side:
Deck size:	Sq. ft. proposed deck:	Max. height off grade:
Post size:	Beam size:	Joist size:
Max. beam spacing:	Max. post spacing:	Max. joist spacing:
Is a spa or hot tub planned to be on deck? <b>NO</b>		Value of deck: <b>4,000</b>

#### APPLICANT INFORMATION

	OWNER OR LESSEE	CONTRACTOR
OWNER OR COMPANY NAME	<b>Adam Hufeld</b>	
CONTACT NAME	<b>" "</b>	
LICENSE NUMBER	<b>-(License # is N/A for homeowner)-</b>	
STREET ADDRESS	<b>10071 ELIZABETH LAKE RD.</b>	
CITY/STATE/ZIP	<b>WHITE LAKE</b>	
PHONE	<b>734-679-0788</b>	
EMAIL	<b>Adamhufeld@gmail.com</b>	
FEDERAL ID NUMBER		
WORKERS COMP. INS. CARRIER		
SIGNATURE:	<b>Adam Hufeld</b>	

Section 23a of the state construction code act of 1972, 1972 PA 230, MCL 125.1523a, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of section 23a are subject to civil fines.

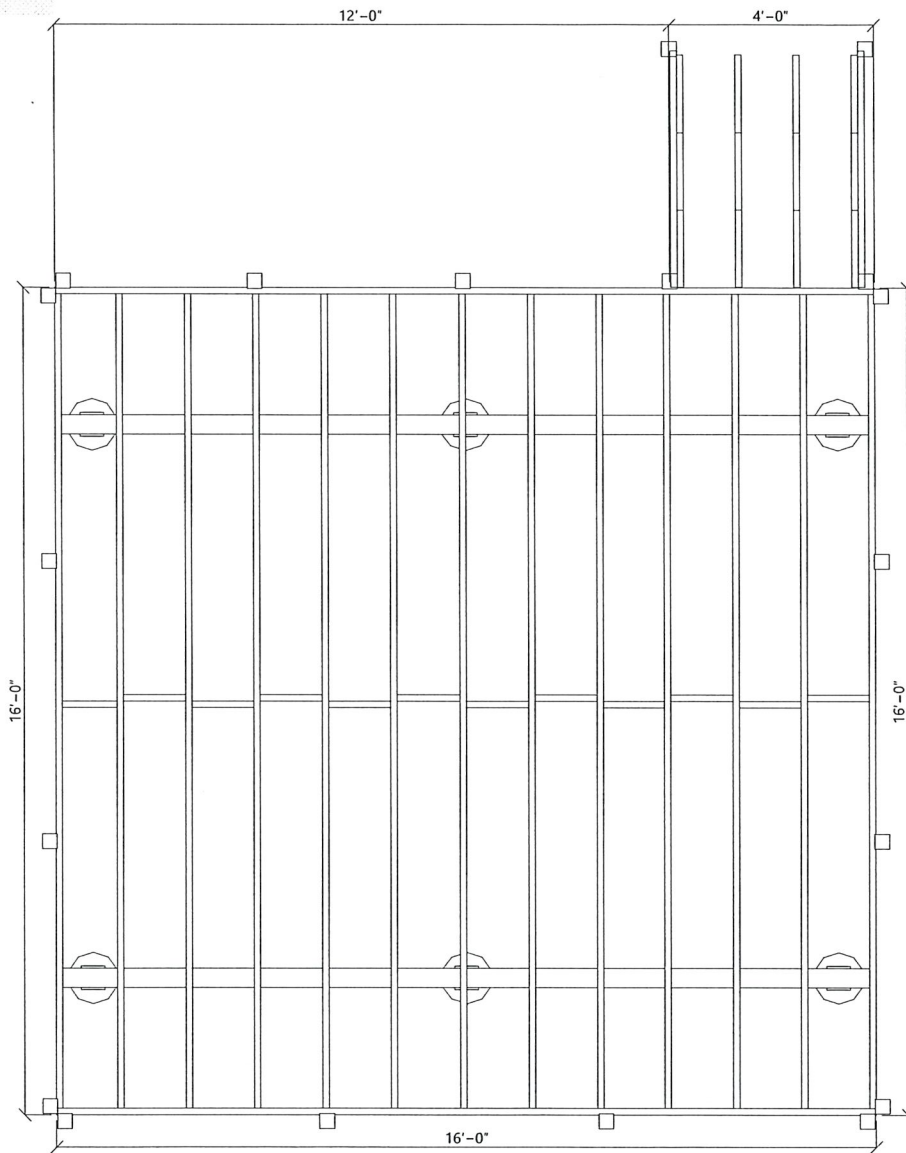
Approved by: \_\_\_\_\_

Date: \_\_\_\_\_



# Your Planned Deck Design

Plan view construction

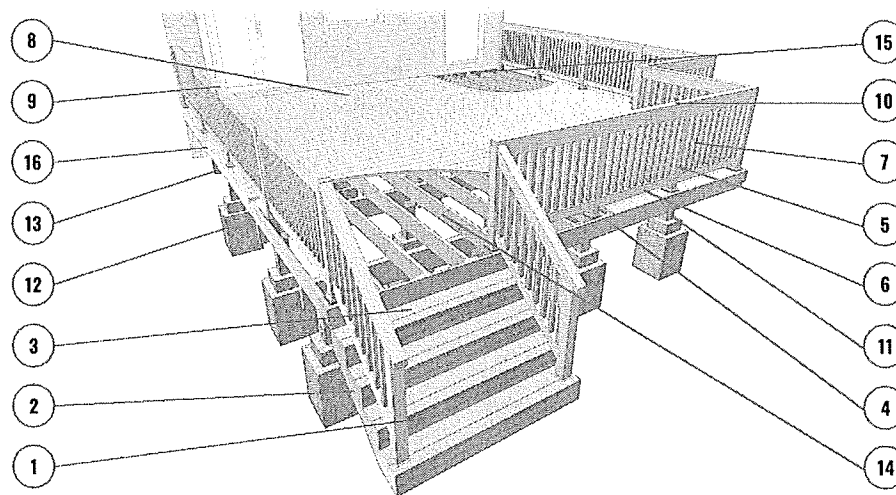


**RECEIVED**

**AUG 18 2022**

**BUILDING  
DEPARTMENT**

## Glossary of Decking Terms



**1. Risers:** The vertical boards attached to the stair stringers. Many localities require risers to prevent possible trip hazards.

**2. Stringers:** The structural support for stairs. They have limits on how much weight they can carry, so size and spacing are important considerations. Composite manufacturers provide recommended stringer spacing to support the tread material.

**3. Treads:** The horizontal stair surfaces on which deck users walk.

**4. Rim Joist:** Also known as edge bands, the rim joist wraps the deck and keeps the joists standing on edge, while also providing a solid surface for attaching railing posts. Proper attachment is critical to installing a safe railing.

**5. Rail Post:** Vertical lumber member that supports the handrail and resists the outward force of people leaning on the railings.

**6. Bottom Rails:** Lumber members that connect to the rail posts and provide a solid surface for securing the infills.

**7. Infills:** Also known as balusters or pickets, the infills are connected to the top and bottom rails and provide a barrier against falls.

**8. Decking:** When properly attached to each joist and rim joist, the decking surface helps unify the entire structure.

**9. Rail Cap:** Much like the decking, the rail cap unifies the railing system and provides a decorative feature.

**10. Top Rails:** These members have the same stabilizing function as the bottom rails.

**11. Post:** Vertical structural member that supports the beams and attaches the deck to the footings using a post base.

**12. Footing:** Concrete element that serves as the foundation of the deck.

**13. Beams:** Structural members that support the decking floor joists. Beams are made of doubling 2x material and can be installed as a laminate, sandwiched, or notched into the post.

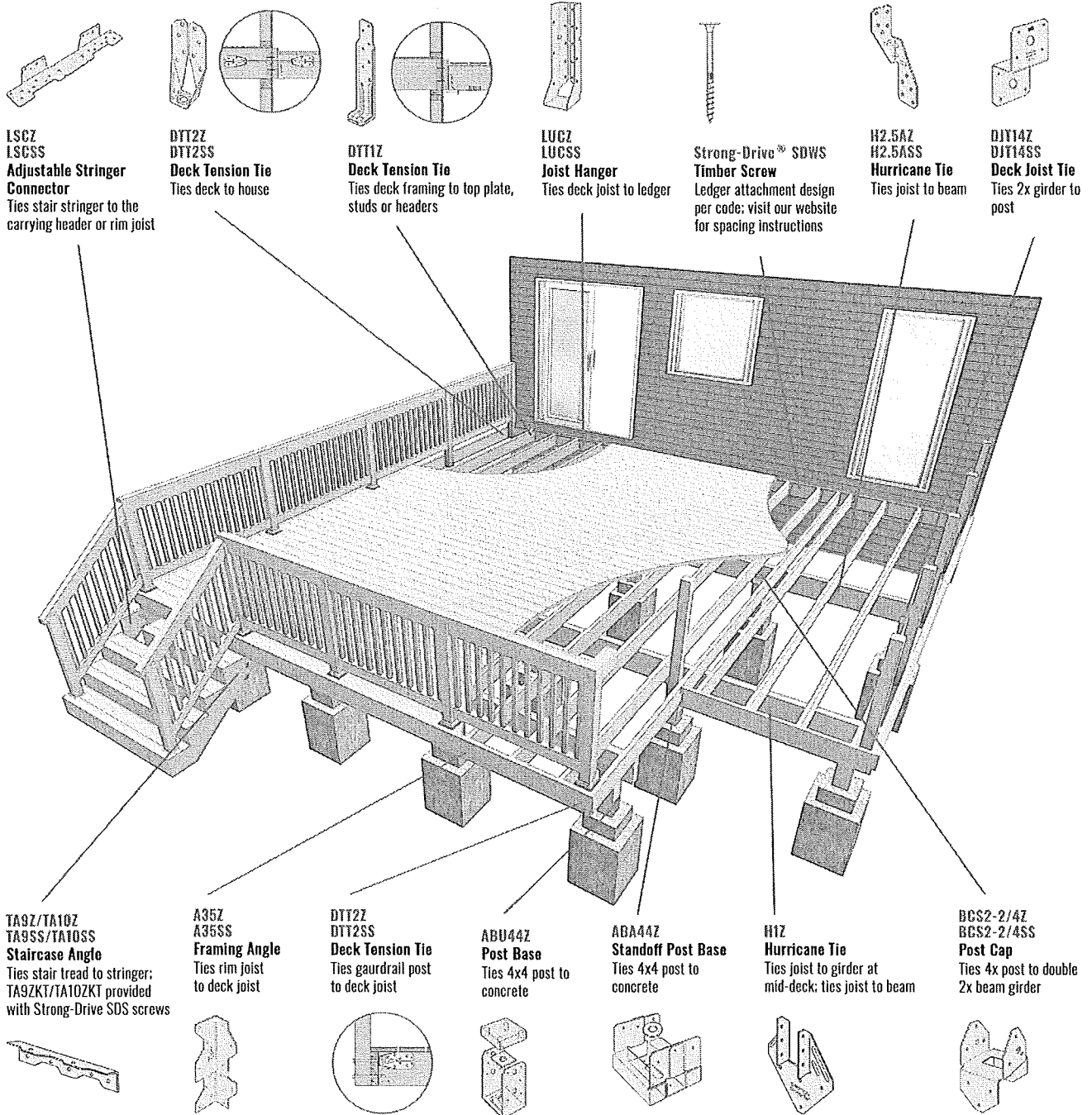
It is important to have a post of sufficient size and strength to support the beam. The beam should not be any wider than the thickness of the post, and should be secured with the correct post cap.

**14. Joists:** Wood members installed across the beams and spaced to accommodate the decking material. The joist spacing may depend on the angle at which the deck boards are applied.

**15. Ledger:** The ledger is a crucial connection because it attaches the deck to the house. The material used to construct the house may determine the type of connection. Consult local building officials on the recommended connection.

**16. Fascia:** Vertical boards that face outwards from the edges of the deck, attached to the rim joists. Fascia boards typically consist of a lumber species that matches the appearance of the decking material.

# A Complete Connector System for Building Safer, Code-Compliant Decks



## Platform Decks and Flush Beams

### Platform Decks

Once a deck goes to two feet or below posts and beam to posts connectors are removed. Deck height incrementing is constrained to those that can be constructed by combining the joist and beam height with the deck board thickness. At 1" and below flush beams will be used to enable lower decks as described below.

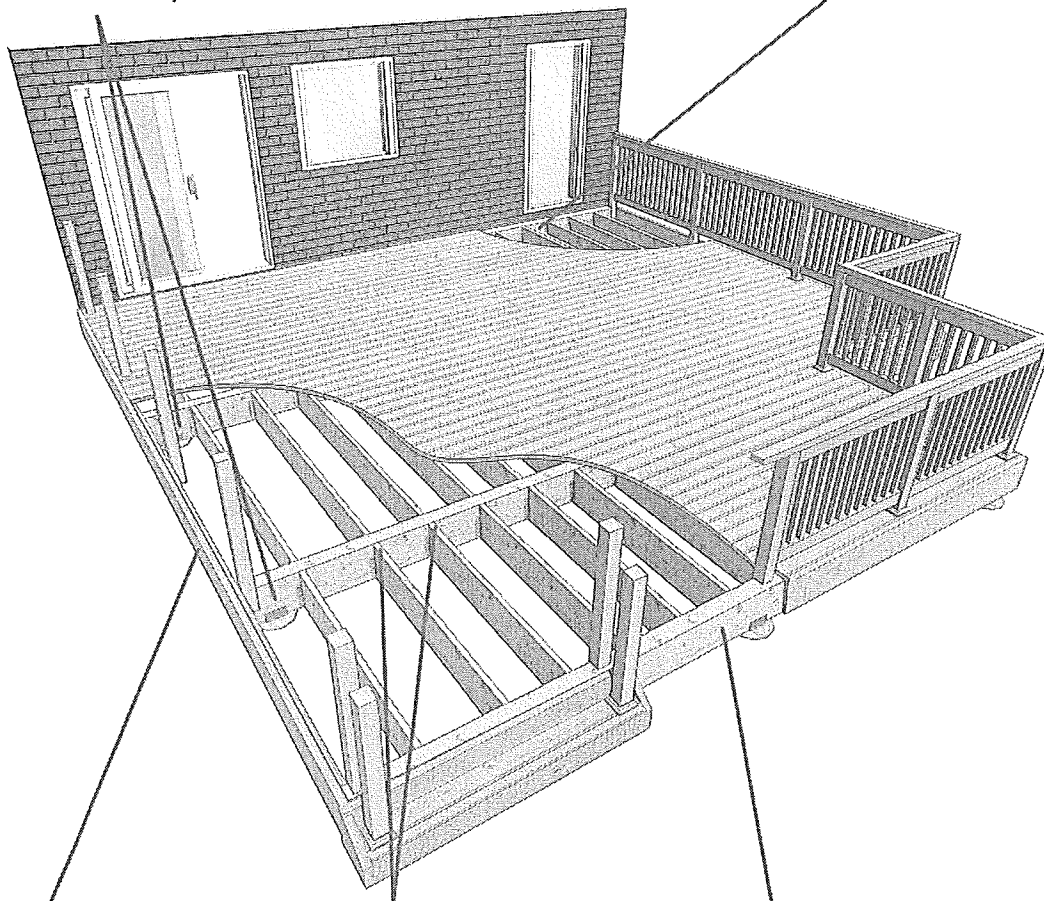
### Flush Beam Decks

#### Post Base To Beam

The beams sit in the post base connector and the connector is updated to fit the beam. Posts are adjusted so that the post base connectors do not collide with inner joists.

#### Ledgers Removed

Ledgers are not used with flush beam decks, no ledger materials or BVLZ connectors will be added.



#### Outer Joist

The parallel outer joists are cut either side of the beams and supported by the joist hangers, like an inner joist.

#### Inner Joist

Inner joist and beam are combined to the same level, removing the joist to beam connectors. Joists are cut either side of the beam. Joist hangers are used to support the joists between the beams.

#### Outer Beam

Joist cantilever is removed and beams are moved to the outside of the deck. Outer Joists that aren't parallel with inner joists are replaced with the beam it overlaps

# Installation Considerations

## Building Code and Zoning Requirements

Check deed restrictions, building codes and zoning laws to make sure your deck complies. The local building jurisdiction will require a minimum setback from property lines. Check with local utility companies to make sure deck construction will not disturb underground piping or wiring (**dial 811 before you dig**).

A resource for general residential deck codes and building practices is the Prescriptive Residential Deck Construction Guide, by the American Wood Council (free download from [www.awc.org](http://www.awc.org)).

The local building jurisdiction should be consulted to verify any building code requirements specific to the area.

## Deck Function

While planning your deck, consider how it will be used. Sun/shade areas and possible views are common considerations.

## Lumber

Pressure- or preservative-treated lumber, or lumber that is naturally decay resistant, should be used for durability. Cut edges should be field-treated with preservative.

## Fasteners and Connectors

To resist corrosion, fasteners and connectors in contact with treated lumber should be ZMAX®, hot-dip galvanized (HDG) or made with stainless steel.

Consult with the building code, the preservative treatment manufacturer and [strongtie.com](http://strongtie.com) to get recommendations for your conditions. Fasteners and connectors should be made of the same material (i.e. both of them galvanized, both of them HDG or both in stainless steel).

## Ledger

Proper corrosion-resistant flashing should be installed between a deck ledger and the house. The ledger should be installed directly to the framing, with any siding removed.

## Deck Area and Footing Layout

Batter boards (temporary wood supports, such as 2x4s), mason's string and a plumb bob can be used to lay out the deck area and footings. For a rectangular shape, the corners will be square when the lengths of the two diagonals are equal.

## Footings

Holes for footings will need to be dug to a depth below the frost line.

## Post Bracing

Diagonal bracing between posts and joists/beams should be installed according to the building code.

## Posts and Beams

Allow an additional margin in length to the posts. Determine the desired deck floor height on the post and then cut to the appropriate length.

## Attaching Joists

Attach joists to the ledger board with joist hangers.

## Laying Decking

Drill pilot holes into the ends of boards to prevent splitting. Allow space between boards.

## Guardrails

Guardrails must be adequately attached to the framing members of the deck. The building code has limits on the size of openings that are permitted in the guard system.

## Stairs and Handrails

Stairs should be at least 36" wide. The building code has limits on the size of openings in a flight of stairs and specific directions for providing handrails.



## Tools Required

The checklist provided should be used as a quick guide only,  
and we highly recommend consulting some additional resources listed here:

[www.strongtie.com/solutions/deckcenter](http://www.strongtie.com/solutions/deckcenter)

### Concrete Work

- Pick
- Post hole digger
- Shovel
- Wheelbarrow
- Hoe and hose (to mix concrete)
- Tamper

### Concrete Layout

- Stakes or batter boards
- String
- Transit

### Safety

- Eye Protection
- Hearing protection
- Dust mask
- Gloves
- Kneepads

### Wood Work

- Extension cord
- Circular saw
- Drills and bits
- Hammer
- Nail set
- Chisel
- Handsaw
- Ladder
- Mallet
- Tool belt

### Wood Layout

- Tape measure
- Squares: Rafter/Speed, Framing
- Level/Levels
- Chalk line
- Pencils
- Plumb bob

## Tips for the DIYer

- When cutting or drilling, always wear eye protection to prevent injury from flying particles.
- If cutting pressure treated material, wearing a fabric breathing mask will help to avoid ingestion of the dust.
- Wear gloves to protect from splinters.
- Invest in a pair of kneepads if you are doing floor jobs or working on a deck.
- Dispose of scraps in the regular trash or take to a landfill - do not burn pressure treated materials.

DRAWING PLAN VIEW DRAWING, LEVEL 1

CHECKED BY

CHECK DATE

SCALE NOT TO SCALE

DATE 8/17/2022 12:34 PM

CREATED BY

DESIGN TITLE

DECK

CUSTOMER NAME

adam hufeld

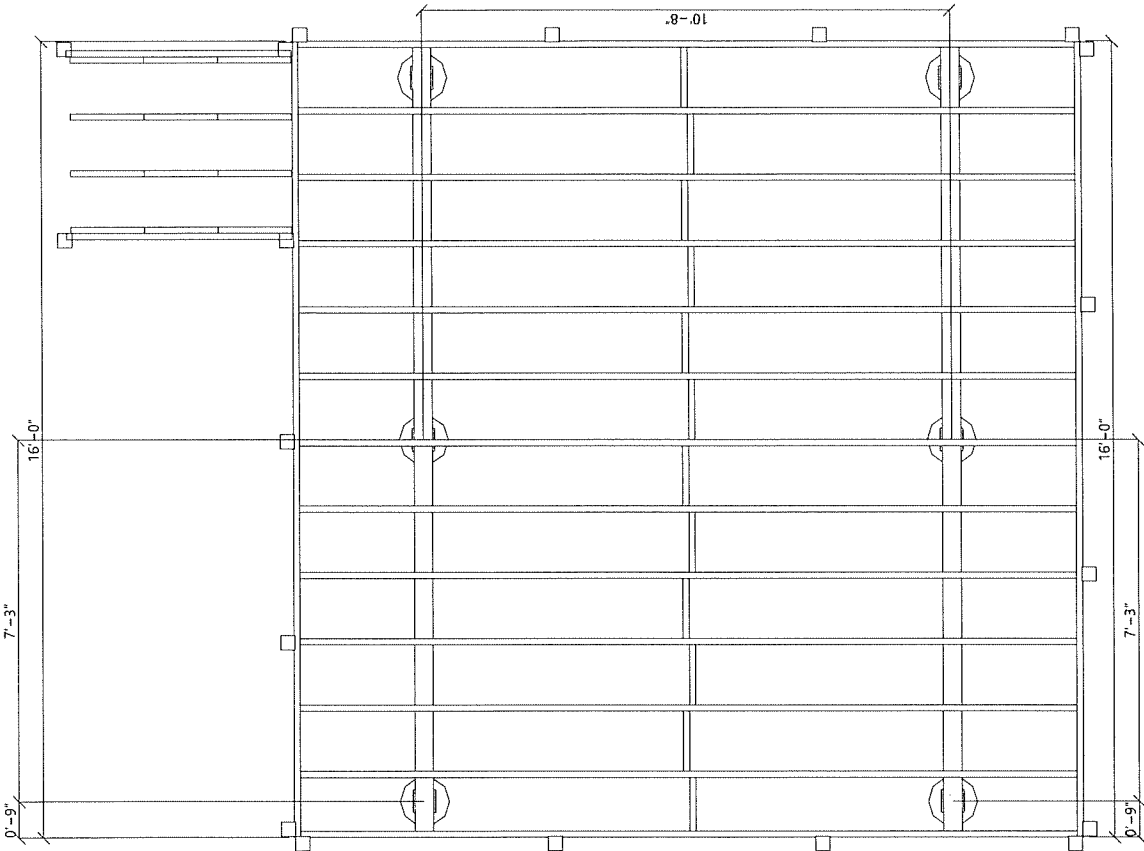
CUSTOMER EMAIL ADDRESS

adamhufeld@gmail.com

CUSTOMER PHONE NUMBER

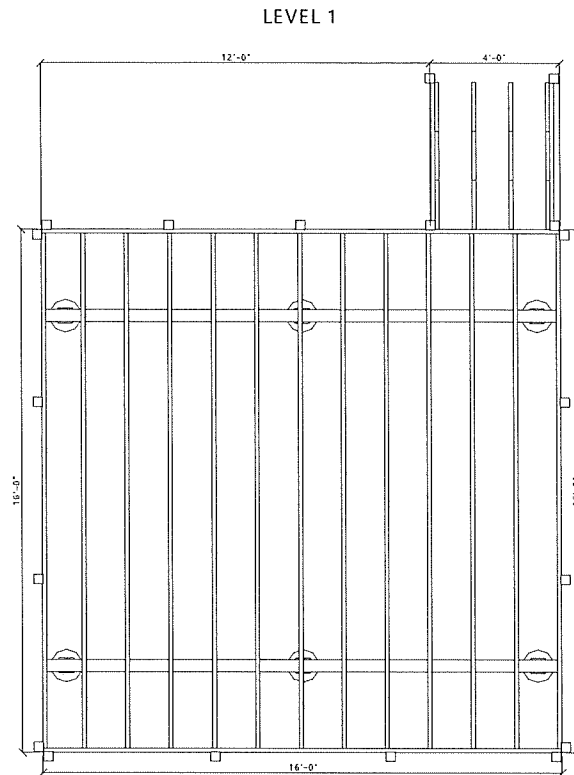
NOTES FROM THE CUSTOMER

THIS DRAWING WAS GENERATED BY DECK PLANNER SOFTWARE™



## Permit Info

Plan view construction  
(blocking not shown  
for clarity)



### Structural Information: Level 1

Height of level (top of decking)	24"
Max. joist span	128 3/8"
Max. joist cantilever	30 1/4"
Max. beam span	87 1/4"
Max. beam cantilever	6"
Footing depth	36"
Footing area (ea.)	9 1/2" ft <sup>2</sup>
Designed live load	40 lb/ft <sup>2</sup>
Designed dead load	10 lb/ft <sup>2</sup>

#### Deck and Post Height

Your design height is 24" from the top of the decking to the ground level. The top of the deck support posts will therefore be 13" above ground level.

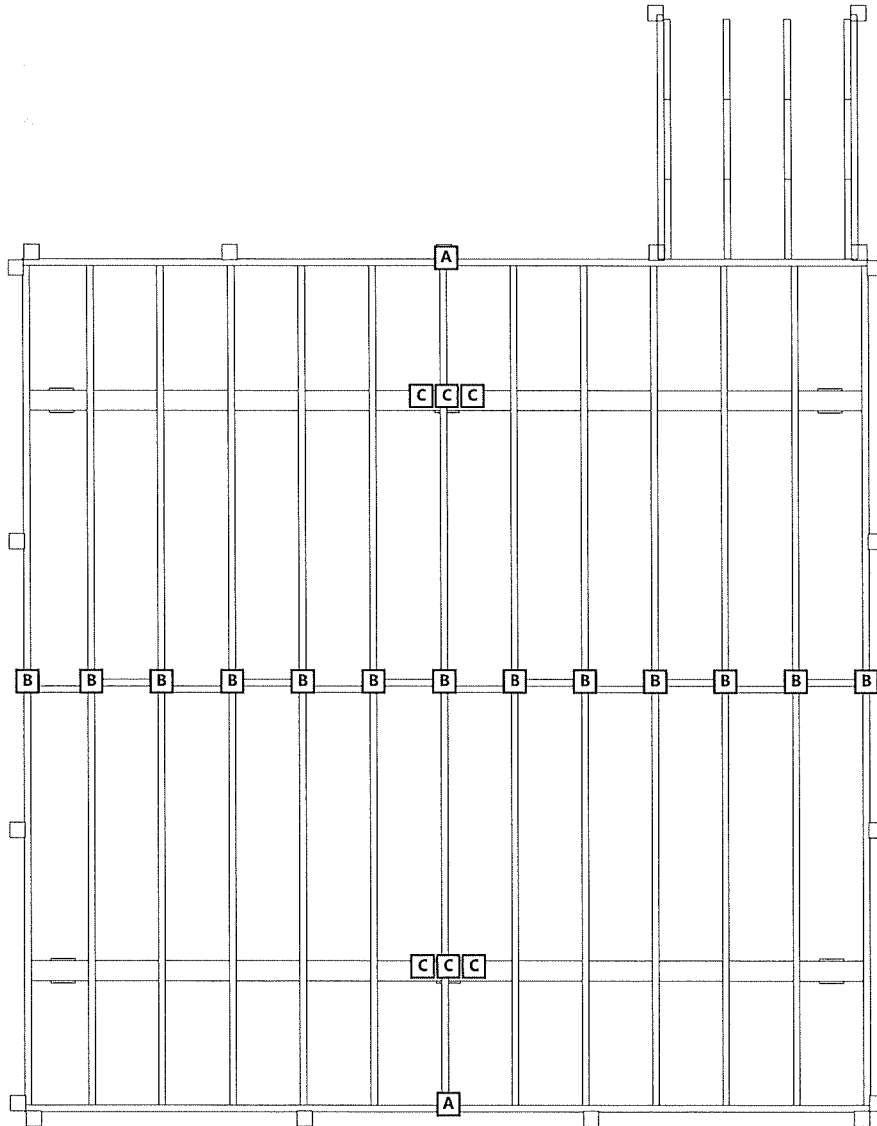
#### Joists

Set joists on top of beams, 16" center-to-center.

# Materials Drawing

LEVEL 1

Plan view,  
beams and joists



## Materials Cut List

### LEVEL 1

Label	Description	Qty	Length	Usage
A	2" x 12" x 16'- Wood SP (Square)	2	16' 0"	Rim Joists
B	2" x 12" x 16'- Wood SP (Square)	13	15' 9"	Joists
	2" x 12" x 16'- Wood SP (Square)	11	1' 2½"	Blocking
	2" x 12" x 16'- Wood SP (Square)	1	1' 1"	Blocking
C	2" x 12" x 16'- Wood SP (Square)	6	16' 0"	Beams
	1" x 6" x 16'- Wood SP (Grooved)	4	3' 6½"	Risers
	1" x 6" x 12'- Wood SP (Grooved)	2	3' 6½"	Risers
	2" x 12" x 14'- Wood DF/HF/SPF (Square)	4	6' 1¾"	Stringers
	1" x 6" x 16'- Wood SP (Grooved)	12	3' 6½"	Treads
	2" x 12" x 12'- Wood SP	2	4' 11¾"	Stair Fascia



## Railing Kit List

### All Materials

Usage	Sub Product	Qty	SKU	Description
Stick Built Items				
	Railing Posts	19/19		Ball Cap - Cedar
	Top Rails	14/14		Top Rail 2x4 6ft - Cedar
	Bottom Rails	14/14		Bottom Rail 2x4 6ft - Cedar
	Infill	210/210		Square Baluster 2x2 29in - Cedar
	Railing Posts	6/6		4 x 4 x 16 - Cedar
	Railing Posts	1/1		4 x 4 x 8 - Cedar
	Railing Posts	17/17	DTT2Z	DTT2Z Connector (ZMAX®)(Fasteners and Washers included)

## Estimated Materials List

### All Materials

Usage	Qty	SKU	Description	Type
Decking	35		1" x 6" x 16'- Wood SP (Grooved)	Lumber
Fascia	7		2" x 12" x 12'- Wood SP	Lumber
Rim Joists	2		2" x 12" x 16'- Wood SP (Square)	Lumber
Joists	13		2" x 12" x 16'- Wood SP (Square)	Lumber
Blocking	1		2" x 12" x 16'- Wood SP (Square)	Lumber
Beams	6		2" x 12" x 16'- Wood SP (Square)	Lumber
Joists	26	H2.5AZ	H2.5AZ Hurricane Tie (ZMAX®)	Connector
Joists	22	LUS210Z	LUS210Z Joist Hanger with Double-Shear Nailing (ZMAX®)	Connector
Joists	4	LS50Z	LS50Z Skewable Angle (ZMAX®)	Connector
Posts/Footings	6	ABU66Z	ABU66Z Adjustable Post Base with Standoff (ZMAX®)	Connector
Posts/Footings	1		5/8" Diameter Straight Shank Carbide Drill Bit for Concrete & Masonry	Concrete
Posts/Footings	78		80lbs Bag (0.60 CF) Concrete Mix	Concrete
Posts/Footings	2		12" x 10' Construction Tube	Construction Tube
Risers	1		1" x 6" x 16'- Wood SP (Grooved)	Lumber
Risers	1		1" x 6" x 12'- Wood SP (Grooved)	Lumber
Stringers	2		2" x 12" x 14'- Wood DF/HF/SPF (Square)	Lumber
Treads	3		1" x 6" x 16'- Wood SP (Grooved)	Lumber
Stair Fascia	1		2" x 12" x 12'- Wood SP	Lumber
Stringers	4	LSCZ	LSCZ Adjustable Stair-Stringer Connector (ZMAX®)	Connector
Decking, Treads, Risers	2	S10250WPP	DWP #10 2-1/2IN 305SS FLAT T25 350CT	Fastener
Decking, Treads, Risers	5	S10250WP1	DWP #10 2-1/2IN 305SS FLAT T25 1#	Fastener
Fascia, Stair Fascia	3	T08175FS75TN02	#8X1.75 316SS FASCIA SCREW T20 TN02 75CT	Fastener
Fasteners	1	fsbit	FASCIA SCREW COUNTERSINK BIT	Fastener
Rim Joists	2	SDWS16300QR75	3 IN SDWS Framing Screw 75ct	Fastener

Usage	Qty	SKU	Description	Type
Joists, Stringers	3	N10DHDG	Strong-Drive® SCN 1 1/2" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Joists	2	10DHDG	Strong-Drive® SCN 3" x .148", 9 gauge, Smooth-Shank Connector Nail, Hot Dip Galvanized - 1 LB	Fastener
Beams	3	SDWS22300DB-RC12	SDWS22300DB Structural Wood Screw (12)	Fastener
Posts/Footings	6	THDB62600H4SSF1	5/8" x 6" Type 304 Stainless Steel Titen HD® Heavy-Duty Screw Anchor	Fastener

## Dealer Locations

### Approved dealers local to your ZIP code.

Dealer Name	Address	Phone
HOME DEPOT #2729 (WHITE LAKE)	9078 Highland Rd, White Lake, 48386-2030, US	(248) 698-4801
LOWE'S #1823 (WHITE LAKE)	8550 Highland Rd, White Lake, 48386-2020, US	(248) 674-6510
Carter Lumber #59-20 WHITE LAKE	6600 Highland Rd, White Lake, 48383-2840, US	(248) 887-8853
Great Lakes Ace #18109	8030 Cooley Lake Rd, White Lake, 48386-4308, US	(248) 363-8334
Great Lakes Ace #18999	5070 Highland Rd, Waterford, 48327-1911, US	(248) 674-3168

*Please re-enter your ZIP code in the user settings of Deck planner and re publish a report if the results are not desirable.*

## Legal Disclaimer

Effective Date: August 17, 2022

### LEGAL DISCLAIMER

We want you to have fun using the Simpson Strong-Tie® Deck Planner Software™ (the “App”) as a tool that may assist you in selecting Simpson Strong-Tie® and other specified products for your structure. However, we care about safety. The output from the App, including any designs, specifications, product selection and reports (collectively, the “Report”) is a product selection guide and is not a finished building plan. You may proceed and use the App and the Report only if you have carefully read this Disclaimer and agree to its terms.

The App is not designed to perform any of the engineering calculations or structural design required for building construction. Due to the size, shape, location or other considerations, the design set forth in the Report may require supporting structures (such as knee braces and bridging between joists and posts) that are not included in the Report. The App and Report are intended to be used only in conjunction with Simpson Strong-Tie® products. Before beginning any project, you should review all of the information about the Simpson Strong-Tie® products that is available on [www.strongtie.com](http://www.strongtie.com). Any use of the App or the Report is at your own risk.

You should secure professional technical and/or engineering expertise to review and confirm the appropriateness and accuracy of all information in the Report, including, without limitation, all input and output from the App. You should consult with a trained professional to ensure that the products are properly specified for your particular environment (including, without limitation, that the products have the proper level of corrosion resistance based on your particular environmental conditions, materials, construction design and other factors) and to ensure that the products are used in accordance with the design limits and the structural, technical and environmental specifications set forth on [www.strongtie.com](http://www.strongtie.com). The App is not a substitute for professional judgment or for independent design and testing for stress, safety and utility. You are responsible for ensuring that all measurements are correct and for verifying the Report’s accuracy, completeness and suitability for your particular site conditions. Before beginning any project, you should confirm that the design set forth in the Report is safe and structurally sound for its size, location and anticipated use. If you have any doubts, concerns or questions, you should consult local experts, builders, architects and structural and soil engineers.

You should consult with local authorities to ensure that your project complies with all applicable zoning and building codes, requirements and practices, which vary greatly depending on your location. You are responsible for ensuring that the project (including the design set forth in the Report and any substitutions or modifications you make) complies with all applicable zoning and building codes, requirements and practices (including requirements for lighting).

Simpson Strong-Tie Company Inc. (“Simpson”) cannot anticipate all of your working conditions or the characteristics of your materials and tools. You should seek professional assistance with respect to the construction of the structure. If you are involved in the construction of the project, for your safety you should consider your own skill level and use caution, care and good judgment when following the instructions. Always read and observe instructions and safety precautions provided by any tool or equipment manufacturer, and follow all accepted safety procedures.

Simpson assumes no responsibility for any damages, including direct or consequential, personal injuries suffered, or property or economic losses incurred as a result of any information available through the App or the Report). Simpson assumes no liability or responsibility for your design, construction or use of the Report or any other information supplied through the App.

YOU ASSUME TOTAL RESPONSIBILITY AND RISK FOR YOUR USE OF THE APP, THE REPORT AND ALL INFORMATION CONTAINED THEREIN. SIMPSON PROVIDES THE APP AND THE REPORT (AND ALL INFORMATION CONTAINED THEREIN) “AS IS” AND, TO THE FULLEST EXTENT PERMITTED UNDER APPLICABLE LAW, DOES NOT MAKE ANY EXPRESS OR IMPLIED WARRANTIES, REPRESENTATIONS, OR ENDORSEMENTS OF ANY KIND WHATSOEVER (INCLUDING, WITHOUT LIMITATION, THE IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE). SIMPSON DOES NOT WARRANT THAT YOUR USE OF THE APP WILL BE UNINTERRUPTED, THAT THE APP IS FREE OF VIRUSES OR OTHER HARMFUL COMPONENTS, THAT THE APP OR THE REPORT WILL BE FREE FROM ERRORS OR DEFECTS, OR THAT ANY ERRORS OR DEFECTS WILL BE CORRECTED. IN NO EVENT WILL SIMPSON BE LIABLE FOR DAMAGES OF ANY KIND, INCLUDING WITHOUT LIMITATION ANY SPECIAL, INDIRECT, INCIDENTAL, OR CONSEQUENTIAL DAMAGES, EVEN IF SIMPSON HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

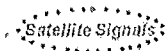


You agree, at your own expense, to indemnify, defend and hold harmless Simpson, its parents, subsidiaries, affiliates, officers, directors, employees, agents, distributors and licensees, from and against any judgments, losses, deficiencies, damages, liabilities, costs, claims, demands, suits, and expenses (including, without limitation, reasonable attorneys' fees and expenses) incurred in, arising out of or in any way related to your breach of these terms or your use of the App or the Report.

All trademarks contained in the App and the Report are the property of Simpson or its licensors and may not be used for any purpose without the written permission of their respective owners.

Unique ID	Product Ca	Item	Quant	Product Na	SKU	Item Category
	Posts/Footings					
0		6 ABU66Z Ad	ABU66Z			PostsAndFootings
1		1 5/8" Diameter Straight Shank Carbide Drill Bit for Concrete & Mason				
	PostsAndFootings					
2		78 80lbs Bag (0.60 CF) Co				PostsAndFootings
3		2 12" x 10' Construction				PostsAndFootings
4		6 5/8" x 6" T	THDB6260			PostsAndFootings
5		1 1" x 6" x 16'- Wood SP				Risers
6		1 1" x 6" x 12'- Wood SP				Risers
	Beams					
7		6 2" x 12" x 16'- Wood S				Beams
8		3 SDWS2230	SDWS2230			Beams
	Rim Joists					
9		2 2" x 12" x 16'- Wood S				RimJoists
10		2 3 IN SDWS	SDWS1630			RimJoists
	Joists					
11		13 2" x 12" x 16'- Wood S				Joists
12		26 H2.5AZ Hui	H2.5AZ			Joists
13		22 LUS210Z Jo	LUS210Z			Joists
14		4 LS50Z Skew	LS50Z			Joists
15		2 Strong-Driv	10DHDG			Joists
	Joists	Stringers				
16		3 Strong-Driv	N10DHDG			Joists Stringers
	Blocking					
17		1 2" x 12" x 16'- Wood S				Blocking
	Fascia					
18		7 2" x 12" x 12'- Wood S				Fascia
	Stair Fascia					
19		1 2" x 12" x 12'- Wood S				StairFascia
	Fascia	Stair Fascia				
20		3 #8X1.75 31 T08175FS7				Fascia StairFascia
	Decking					
21		35 1" x 6" x 16'- Wood SP				Decking
	Decking	Treads	Risers			
22		2 DWP #10 2 S10250WP				Decking RisersAndTreads
23		5 DWP #10 2 S10250WP				Decking RisersAndTreads
	Rails					
24		210 Square Baluster - 2x2 2				Infills
25		14 Bottom Rail - 2x4 6ft -				BottomRails
26		19 Ball - Cap - Cedar				RailingPosts
27		6 4 x 4 x 16 - Cedar				RailingPosts
28		1 4 x 4 x 8 - Cedar				RailingPosts
29		17 DTT2Z Con	DTT2Z			RailingPosts
30		14 Top Rail - 2x4 6ft - Ced				TopRails
	Stairs					
31		2 2" x 12" x 14'- Wood D				Stringers

32	4 LSCZ Adjust LSCZ	Stringers
Treads		
33	3 1" x 6" x 16'- Wood SP Treads	
Fasteners		
34	1 FASCIA SCR fsbit	Fasteners


[Maps index](#)
[Terrain height](#)

## Satellite photo images

Find a satellite image photo of your home. Free aerial view of property.

Adjust the map scale by using the + sign at the side of the map or Double Click on the map, or use two fingers. Do this to home in on your country, city, town, street and finally your home! If you are using a laptop or PC put your mouse cursor near your location, click down and drag to the middle.



( Latitude = 42.6409, Longitude = -83.4829)

Miles = 0.0

km = 0.0

Please read these instructions to find a satellite photo image of your home town.

Repeat the process of enlarging or dragging to centre the map as necessary. Choose the **Satellite** view or **Map** view. In **Satellite** View you have the option of text **Labels** displayed or not. In **Map** View you have the option of **Terrain** display which shows height contour lines as you get closer. For terrain height at specific places go to [terrain height of the ground](#)

## Enter Your Location

Enter Your Location And Get Earth & Street Views. Directions Driving Maps

Look for your town or house. Try for the maximum possible expansion of the satellite image photo. In many cases, where higher resolution images exist, it is possible to see cars, in good lighting and clear sky.

The images here on this website provide you with a free aerial view of property. There is a cost however to me, Google have started charging me since July 2018, so I am cutting back on what is displayed. I have cut out the orange stick-man icon used to see street views and also removed the search box where you could type in the name of the place. This was called Geocoding and cost extra to provide.

If you see a message about this page having been downloaded too many times, this is because the number of times has exceeded my quota daily or 1 per 100 seconds per user limit. In this case I suggest you wait, or download the Google Earth software package and use that instead. These two links may help: [https://www.google.com/intl/en\\_uk/earth/versions/](https://www.google.com/intl/en_uk/earth/versions/) for desktop and [https://www.google.co.uk/intl/en\\_uk/earth/](https://www.google.co.uk/intl/en_uk/earth/) for mobiles. Google Earth has the added advantage that you can sometimes see historical images taken a while ago. Do **View** and then **click Historical Imagery**. I have several times had people ask about where they can get old pictures of their house. The images may be from various dates and some may be poor quality due to cloud cover or poor sun angle lighting.

The Google satellite map database already includes detailed mapping information such as town, road and street maps for the US, UK, Ireland, Europe and Japan. In these cases you can use the detailed road and street maps to home in on your location.

For some selected examples of satellite remote-sensing/satellite imagery, such as satellite photos taken from Landsat see [Landsat](#) for satellite images in the infrared, water vapour and visible spectrum images for weather purposes.





BOARD OF COUNTY ROAD COMMISSIONERS, OAKLAND COUNTY, MICHIGAN

Item B.

PERMIT APPLICATION

MAKE CHECK PAYABLE TO ROAD COMMISSION FOR OAKLAND COUNTY

ROAD COMMISSION FOR OAKLAND COUNTY  
RECEIVED

Aug 25 2022

DEPARTMENT OF CUSTOMER  
SERVICES PERMITS

FOR R.C.O.C. USE ONLY	
Application No.	22-1586
Date Received	08-25-22
Permit E No.	
Date of Issuance	

APPLICANT: ADAM HUFELD hereby makes APPLICATION for a permit to CONSTRUCT, OPERATE, USE and/or MAINTAIN or to TEMPORARILY CLOSE A COUNTY ROAD within the part of the right-of-way of road(s) 10071 ELIZABETH LAKE RD under the jurisdiction of the Board: a detailed description of the desired facility and/or activity is required in the space provided below: (include size, length, type of facility; - if underground, indicate depth below surface; if parallel to road, indicate distance from inside edge of facility to edge of pavement, if crossing under roadbed, describe method). THE FOLLOWING MUST BE ATTACHED TO THE APPLICATION WHEN APPLICABLE: 1. Plans, specifications and location of facility. 2. Traffic plan and detour route in cases of street closures.

PLEASE CHECK THE APPROPRIATE BOX(ES) THAT APPLY TO THE TYPE OF WORK YOU WISH TO OBTAIN A PERMIT FOR:

- |   |  |   |   |
|---|--|---|---|
| <input type="checkbox"/> Annual                       | <input type="checkbox"/> Community Event     | <input type="checkbox"/> Public Utility (i.e. electric, gas, telephone) | <input type="checkbox"/> Soil Boring/Monitoring Well  |
| <input type="checkbox"/> Approach/Private Road Access | <input type="checkbox"/> Landscaping/Grading | <input type="checkbox"/> Sanitary/Storm Sewer                           | <input type="checkbox"/> Watermain                    |
| <input type="checkbox"/> Cable TV                     | <input type="checkbox"/> Pathway/Sidewalk    | <input type="checkbox"/> Sign/Subdivision Entrance Marker               | <input checked="" type="checkbox"/> Other <u>DECK</u> |

there was a 16x16 deck off of my master bedroom downstairs. it was dilapidated. i tore it down and intended to rebuild without knowing there was a ROW there. The township approved the plans but needs a waiver form from the road commission in order to allow me to proceed with the new deck

City or Township WHITE LAKE TOWNSHIP Section No. \_\_\_\_\_  
The above activities will be carried out in accordance with plans, specifications, maps and statements filed with the R.C.O.C. as part of this application, and if said application is approved, the above named applicant agrees to abide by the CONDITIONS contained on the reverse side. Since a permit will have to be secured from the Board prior to the start of any construction or maintenance operations proposed by this application, it is intended that the SUPPLEMENTAL SPECIFICATIONS, on the reverse side, are to be incorporated as part of the plans or specifications required for this proposed work.

FOR R.C.O.C. USE ONLY	
Design: _____	Right-of-Way: _____
Traffic: _____	Maintenance: _____
Planning: _____	Construction: _____
Subdivision: _____	
Environmental Concerns: _____	Permits: <u>RZ</u>

FOR R.C.O.C. USE ONLY	
Application Fee: \$ <u>100.00</u>	Permit Fee: \$ <u>100</u>
Receipt No: <u>19679</u>	Deposit: \$ <u>0</u>
Bond: \$ <u>0</u>	Estimated Inspection Fee: \$ <u>0</u>
(RCOC Form 75)	Paint Fee: \$ _____
	Sign Fee: \$ _____
	Signal Fee: \$ _____
<b>TOTAL FEES DUE</b>	
AT TIME OF PERMIT ISSUANCE: \$ <u>100</u>	
Proof of Insurance Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Pollution Liability Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

This application is approved subject to CONDITIONS and SUPPLEMENTAL SPECIFICATIONS contained on the reverse side of this application. Approval of this application does not relieve applicant from meeting any applicable requirements or duties of law or other public bodies or agencies including but not limited to the Michigan Department of Natural Resources. APPROVAL OF THIS APPLICATION EXPIRES IN ONE YEAR IF A PERMIT HAS NOT BEEN ISSUED. RESUBMITTAL OF CURRENT PLANS, PERMIT APPLICATION REVIEW FEES AND PERMIT APPLICATION IS REQUIRED IF APPROVAL OF THIS APPLICATION HAS EXPIRED.

REFER ALL INQUIRIES TO (248) 858-4835

DEPARTMENT OF CUSTOMER SERVICES  
PERMITS

2420 PONTIAC LAKE ROAD  
WATERFORD, MI 48328

APPLICATION APPROVED:

By:  Date: 9-14-22

Adam Hufeld  
APPLICANT (PRINT OR TYPE)  
Adam Hufeld 8-24-2022  
SIGNATURE DATE  
10071 ELIZABETH LAKE RD 734-679-0788  
APPLICANT'S ADDRESS TELEPHONE NUMBER  
WHITE LAKE Mi 48386  
CITY STATE ZIP CODE  
Adamhufeld@gmail.com  
EMAIL ADDRESS

AS A CONDITION OF THE APPROVAL OF THIS APPLICATION, THE APPLICANT AGREES TO THE FOLLOWING CONDITIONS:

Item B.

1. The application agrees to secure, or cause to be secured, a permit from the Board prior to the commencement of construction or maintenance operations. If a contractor is to perform the construction or maintenance entailed in this application, the contractor shall secure the permit from the Board prior to the commencement of construction or maintenance operations and thereby assumes responsibility, along with the applicant, for any provisions of this application which apply to them.
2. Any and all construction proposed under this application will meet all requirements of the Board, together with the Supplemental Specifications as set forth below.
3. The applicant agrees to save harmless, indemnify, defend, and represent the Board and its employees against any and all claims for bodily injury or property damage, or any other claim arising out of or related to the creation, operation, use, or continuing existence of the structure or facility covered by the permit or for any other work done within county road right-of-way whether or not specifically authorized or in conformance with the description of activities for which the permit was issued. Applicant agrees and understands that the obligations set forth herein are binding upon their successors, transferees, assigns, sureties, and guarantors. The Applicant shall maintain insurance of a type and in an amount in conformance with the Board's established requirements and provide certificates of insurance in a type and amount which shall assure conformance with the Board's established requirements is currently in force for any and all facilities installed in the Board's right of way.
4. The applicant agrees to surrender the permit herein applied for; surrender all rights hereunder; cease operations; and remove, alter, relocate at applicant's own expense, the facilities for which this permit is granted whenever ordered to do so by the Board because of the need for the area covered by this permit for public uses or because of a default in the conditions of the permit. Upon failure to remove, alter, relocate or surrender the facilities pursuant to the order of the Board, the applicant agrees to reimburse the Board for its cost in doing same.
5. Nothing in this application shall be construed to grant any rights whatsoever to any public utilities whatsoever except as to the consent herein specifically given, nor to otherwise impair any existing rights granted in accordance with the constitution or laws of this State.
6. The obligation to construct, operate, use and/or maintain the facility to the satisfaction of the Board remains in force as long as the facility exists and is within the right-of-way under the jurisdiction of the Board. The applicant is obliged to repair any damage to the road and right of way which is a result of the facility and which occurs or appears after the permit license is released.
7. The necessary construction zone signing for the protection of traffic shall be in accordance with the most current edition of the Michigan Manual of Uniform Traffic Control Devices, Part 6. All such devices shall be furnished, installed and maintained by the Permit Holder. All construction signage shall have black lettering on a reflective fluorescent orange background, unless otherwise specified. The Permit Holder shall provide any additional signs, barricades and/or lights, at the Permit Holder's expense, required to protect the general motoring public and the work zone when requested by the Road Commission.
8. **ADDITIONAL CONDITIONS:** As will be identified in approved permit description.

SUPPLEMENTAL SPECIFICATIONS

1. **EXCAVATION AND DISPOSAL OF EXCAVATED MATERIAL:** The contractor and/or the utility company shall provide and place the necessary sheeting, shoring and bracing required to prevent caving, loss or settlement of foundation material supporting the pavement, or any other highway installation such as sewers, culverts, etc. The contractor and/or utility company shall assume the full responsibility for this protection. Excavated material shall be stocked in such locations that it does not obstruct vision on the traveled portion of the highway and in such a manner that it will not interfere with the flow of traffic. Sod and topsoil shall be stocked separately from other excavated material. The applicant shall dispose of all surplus and unsuitable material outside of the limits of the right-of-way unless the permit provides for, and with approval of abutting property owners, disposal at approved locations with the right-of-way. In the latter case, the material shall be leveled and trimmed in a manner approved by the Road Commission for Oakland County.
2. **BACKFILLING AND COMPACTING BACKFILL:** All trenches, holes, pits, and other excavations shall be filled with approved excavated earth or with MDOT Class II granular material if so provided, placed in successive layers not more than 9 inches in depth, loose measure, and each layer shall be thoroughly compacted by tamping and all backfill compaction will be subject to check by the Controlled Density Method (minimum 95%). Restoration shall be such that it will provide a condition equal to or better than the original condition and in accordance with current Road Commission for Oakland County standards. Any excavation within the right of way outside traveled portion of road must be maintained until all settlement has occurred and must be restored and seeded or sodded as directed. The permit will not be released until the Road Commission is satisfied that no further settlement will occur.
3. **CROSSING ROADBED BY TUNNELING, DIRECTIONAL BORE, JACK CASING AND BORE:** When the pipe is installed by tunneling without cutting the existing pavement, the tunnel shall be adequately sheeted or shored to prevent the sides and top from collapsing or the pavement from settling or cracking. Directional bore shall be at least 4 diameters under the pavement or 48 inches, whichever is greater. When the pipe is installed by boring and jacking, the leading edge of the pipe must always precede the auger. The tunnel backfill shall be made by tamping a dry mix of lean concrete into place so as to completely fill any voids remaining around the installation. The concrete shall be composed of one part of Portland cement and 10 parts of sand-gravel by volume. Tunnel and boring pits shall be at least 10 feet from the edge of the pavement unless otherwise approved.
4. **CROSSING BY CUTTING GRAVEL ROADS:** All trenches are to be backfilled with approved material to within 12 inches of surface within the limits of the roadbed. Backfill methods will be as described in paragraph 2 above. All surplus excavated material will be disposed of as described in paragraph 1. The top 12 inches within the roadbed will be backfilled with processed road gravel (MDOT 22A or 23A). Trenches outside of the roadbed will be backfilled in accordance with paragraph 2 above.
5. **CROSSING BY CUTTING PAVEMENT AND TRENCHING:** When this method is approved by the Road Commission, the pavement shall be cut so that the opening is a minimum of 5 feet wide and at least 1 foot wider on each side than the trench. In no case shall an open cut result in a remaining slab width of less than 5 feet from patch to an existing joint. The cut shall be made by sawing to a full pavement depth. Cuts in concrete residential and commercial drives shall be as above except that the patch width shall be a minimum of 3 feet and the remaining slab from patch to existing joint a minimum of 3 feet. Backfill shall be made with MDOT Class II granular material. After the backfill has been placed by control density method and thoroughly compacted, the pavement shall be replaced with a temporary surface of approved hot-mixed bituminous material and later replaced with new pavement of the original type and quality by the Permit Licensee unless other provisions are included in the permit.
6. **DEPTH OF COVER MATERIAL:** Pipes shall be placed to a depth that will provide not less than 4 feet of cover between the top of roadway surface and top of the pipe.
7. **TREE TRIMMING OR REMOVAL:** All trees that may be affected by the proposed construction shall be shown on the plans. The plan must clearly indicate which trees are proposed to be removed, trimmed and/or tunneled. This work, if approved, must be done in accordance with current Board standards, including advance notification of abutting property owners. Wood Disposal License Agreement(s) will be required for any tree work.
8. **DISPOSAL OF GROUND WATER:** Roadside drainage systems – open ditches, storm sewers, etc. – shall not be used for the disposal of water pumped from below the surface of the ground unless specifically allowed by the Road Commission. Details such as volume and frequency of discharge, erosion control, duration of use, NPDES permit and other pertinent information as may be required must be submitted with the application for such permission.
9. Any proposed operation in the right of way not covered by the above specifications, submitted with this application, shall be done in accordance with any additional specifications deemed necessary by the Board or as outlined in the Permit Rules, Specifications and Guidelines.



Aug 25 2022  
DEPARTMENT OF CUSTOMER  
SERVICES PERMITS

Item B.

LANE CLOSURES  
RESTRICTED TO  
9-3 MON - FRI

"PROPER SIGNING"  
IS REQUIRED BEFORE  
ANY WORK IN R.O.W.  
IS STARTED

NOT ENCROACH ONTO  
ROADWAY.

FIXED OBJECTS TO BE  
MINIMUM 6 FEET OFF  
BACK OF CURB OR 12 FEET  
OFF EDGE OF PAVEMENT

KEEP ROADS CLEAN  
OF DIRT AND DEBRIS

APPROVED  
FOR CONSTRUCTION PERMIT

ROAD COMMISSION FOR OAKLAND COUNTY  
PERMITS OFFICE

BY:



09/14/2022 10:48:58 AM

# 10071 ELIZABETH LAKE RD











QUALITY LIFE THROUGH GOOD ROADS:  
ROAD COMMISSION FOR OAKLAND COUNTY  
"WE CARE."

**Board of Road Commissioners**

**Ronald J. Fowkes**  
Commissioner

**Andrea LaLonde**  
Commissioner

**Nancy Quarles**  
Commissioner

**Dennis G. Kolar, P.E.**  
Managing Director

**Gary Piotrowicz, P.E., P.T.O.E.**  
Deputy Managing Director  
County Highway Engineer

Department of  
Customer Services  
Permits

2420 Pontiac Lake Road  
Waterford, MI  
48328

248-858-4835

FAX  
248-858-4773

TDD  
248-858-8005

[www.rcocweb.org](http://www.rcocweb.org)

September 15, 2022

ADAM HUFELD  
10071 ELIZABETH LAKE ROAD  
WHITE LAKE, MI 48386

RE: Application Number 22-1586

Dear Applicant:

Your application for a permit has been approved. Prior to issuing a permit, the attached requirements must be met by you or your contractor. If the proposed work will be conducted by a contractor you hire, please provide them with the attached requirement sheet and bond form. The permit will be issued in the contractor's name.

The items required prior to permit issuance must be delivered **IN PERSON** by someone authorized to sign the permit on you or your contractor's behalf. Failure to satisfy these requests will delay permit issuance.

Thank you for your cooperation regarding this matter. If you have any questions, please feel free to the Department of Customer Services - Permits at (248) 858-4835.

Sincerely,

Scott Sintkowski, PE  
Permit Engineer

Enclosures



**PLEASE READ AND FOLLOW CAREFULLY**

THE ENCLOSED ROAD COMMISSION FOR OAKLAND COUNTY PERMIT APPLICATION NUMBER **22-1586** HAS BEEN APPROVED.



QUALITY LIFE THROUGH GOOD ROADS:  
ROAD COMMISSION FOR OAKLAND COUNTY  
"WE CARE."

**Board of Road Commissioners**

**Ronald J. Fowkes**  
Commissioner

**Andrea LaLonde**  
Commissioner

**Nancy Quarles**  
Commissioner

**Dennis G. Kolar, P.E.**  
Managing Director

**Gary Piotrowicz, P.E., P.T.O.E.**  
Deputy Managing Director  
County Highway Engineer

Department of  
Customer Services  
Permits

2420 Pontiac Lake Road  
Waterford, MI  
48328

248-858-4835

FAX  
248-858-4773

TDD  
248-858-8005

www.rcocweb.org

PERMIT ISSUANCE IS CONTINGENT UPON THE FOLLOWING REQUIREMENTS BEING MET AND DELIVERED **IN PERSON** TO THE DEPARTMENT OF CUSTOMER SERVICES - PERMITS, AS THE PERMIT **MUST BE SIGNED** BY AN AUTHORIZED REPRESENTATIVE.

**\*\*CHECK REMITTER OR CREDIT CARD HOLDER, PRINCIPAL ON BOND, AND INSURED MUST ALL BE IN THE SAME NAME!\*\***

**1. CONSTRUCTION BOND AMOUNT OF: \$0.00**

EITHER by your insurance or bonding company on enclosed **FORM 75** (must have an embossed or sticker seal and power of attorney attached); OR a cash bond using a company check, cashier's check, certified check, money order, credit card or cash.

**2. FEES**

A. PERMIT FEE	\$100.00
B. DEPOSIT	\$0.00
C. ESTIMATED INSPECTION FEE	\$0.00
D. PAINT FEE	\$0.00
E. SIGN FEE	\$0.00
F. SIGNAL FEE	\$0.00
<b>TOTAL FEES DUE AT PERMIT ISSUANCE</b>	<b>\$100.00</b>

**3. METHOD OF PAYMENT:**

COMPANY CHECK - NAME MUST BE THE SAME AS PRINCIPAL ON BOND AND NAMED INSURED

CASH - EXACT CASH ONLY, WE ARE UNABLE TO MAKE CHANGE

MONEY ORDER - BANK MUST SUPPLY COMPANY NAME AS REMITTER

CASHIERS CHECK - BANK MUST SUPPLY COMPANY NAME AS REMITTER

CERTIFIED CHECK - BANK MUST SUPPLY COMPANY NAME AS REMITTER

CREDIT CARD - PICTURE ID REQUIRED (ENHANCED ACCESS FEES APPLY)

**MAKE CHECKS PAYABLE TO: Road Commission for Oakland County**

**4. CERTIFICATE OF INSURANCE:**

A current, valid certificate of insurance on an ACORD form is required. The certificate must name "The Road Commission for Oakland County" as a certificate holder and as an **additional insured**. The insurance must include the following coverage:

**General Liability Coverage**

Bodily Injury and Property Damage Liability:	or: Combined Single Limit (CSL):
Each Person \$1,000,000	Aggregate \$2,000,000
Each Occurance \$1,000,000	
Aggregate \$2,000,000	

### PERMIT DESCRIPTION

The following is a permit description ONLY. It shall not be construed to be a permit and shall become valid only after the permit is acquired.

This is a permit to:

REMOVE AND REPLACE EXISTING WOODEN DECK WITHIN THE SOUTH SIDE OF ELIZABETH LAKE ROAD RIGHT-OF-WAY EAST OF OXBOW LAKE ROAD FOR #10071 ADDRESS.

PROPER SIGNING IS REQUIRED BEFORE BEGINNING WORK WITHIN THE RIGHT-OF-WAY. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES. LANE CLOSURES SHALL BE RESTRICTED TO THE HOURS OF 9 AM TO 3 PM MONDAY THROUGH FRIDAY, OR DURING DAYLIGHT HOURS ON WEEKENDS.

FIXED OBJECTS SHALL BE NO NEARER THAN 6 FEET FROM BACK OF FINISHED CURB OR 12 FEET OFF EDGE OF PAVEMENT. REMOVE OR RELOCATE EXISTING FIXED OBJECTS PRIOR TO CONSTRUCTION.

IN THE EVENT DECK BECOMES A TRAFFIC OR SIGHT DISTANCE PROBLEM, OR INTERFERES WITH MAINTENANCE OF THE ROAD OR RIGHT-OF-WAY, OR IF THE RIGHT-OF-WAY IS REQUIRED FOR FUTURE IMPROVEMENTS BY THE ROAD COMMISSION FOR OAKLAND COUNTY OR OTHER PUBLIC AGENCY OR UTILITY, APPLICANT WILL PERFORM MAINTENANCE ON, RELOCATE OR REMOVE THE DECK AT THE REQUEST OF THE ROAD COMMISSION FOR OAKLAND COUNTY AT NO COST TO THE ROAD COMMISSION FOR OAKLAND COUNTY OR OTHER PUBLIC AGENCY.

All construction shall be in accordance with the attached approved plan and application on file for **ADAM HUFELD**.

as prepared by **ADAM HUFELD**

and with the RCOC Supplementary Permit Specifications as follows:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ATTACHED APPROVED PLAN AND APPLICATION ON FILE WITH THE ROAD COMMISSION FOR OAKLAND COUNTY PERMIT RULES, SPECIFICATIONS, AND GUIDELINES DATED MARCH 14, 2013.

**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS**

**REPORT OF THE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** October 27, 2022

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**Agenda item:** 7c

**Appeal Date:** October 27, 2022

**Applicant:** Todd McGeachy

**Address:** 539 Burgess Drive  
White Lake, MI 48386

**Zoning:** R1-C Single Family Residential

**Location:** 539 Burgess Drive  
White Lake, MI 48386

### **Property Description**

The approximately 0.33-acre (14,237 square feet) parcel identified as 539 Burgess Drive is located on Cedar Island Lake and zoned R1-C (Single Family Residential). The existing house on the property (approximately 2,894 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

### **Applicant's Proposal**

Todd McGeachy, the applicant, is proposing to construct an addition to the existing attached garage.

### **Planner's Report**

The existing house was built in 1956 and is nonconforming to setbacks; the structure is located 2.4 feet from the west side lot line, 8.1 feet from the east side lot line, and approximately 12 feet from the front lot line (not dimensioned on the plan prepared by the surveyor). A minimum 10-foot side yard setback and 35-foot front yard setback are required in the R1-C zoning district. The parcel is also nonconforming due to a 1,763 square foot deficiency in lot area; in the R1-C zoning district the minimum lot area requirement is 16,000 square feet.

The garage addition would be 540 square feet in size. At its closest point the garage would be located 9.3-feet from the front lot line, encroaching 25.7 feet into the required 35-foot front yard setback. Additionally, the garage would be located 8.1-feet from the east side lot line, encroaching 1.7 feet into the required 10-foot side yard setback. Based on the proposed garage addition plan prepared by the surveyor, the proposed lot coverage is 24.12% (3,434 square feet), which is 4.12% (566.6 square feet) beyond the 20% maximum lot coverage allowed (2,847.4 square feet).

Based on the submitted plans and scope of the project staff believes the valuation of work is underestimated and would exceed \$10,000. For reference, the 2022 Building Valuation Data published by the International Code Council estimates cost of construction at \$66.48 per square foot for private garages. An estimate for the value of improvement for a 540 square foot garage is \$35,899.20. If the variance is approved, the aforementioned valuation should be used to calculate the building permit fee.

The requested variances are listed in the following table.

<b>Variance #</b>	<b>Ordinance Section</b>	<b>Subject</b>	<b>Standard</b>	<b>Requested Variance</b>	<b>Result</b>
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming house	Increased nonconformities
2	Article 3.1.5.E	Minimum lot area	16,000 square feet	1,763 square feet	14,237 square feet

### **Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Todd McGeachy from Articles 3.1.5.E and 7.23.A of the Zoning Ordinance for Parcel Number 12-27-429-003, identified as 539 Burgess Drive, in order to construct a garage addition. A variance from Article 7.23.A is granted to allow the addition to exceed the allowed lot coverage by 4.12%, encroach 1.7 feet into the required east side yard setback, and encroach 25.7 feet into the required front yard setback. A 1,763 square foot variance from the required lot area is also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed within any side yard setbacks or the front yard.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify setbacks and lot coverage.
- The shed on the west side of the house shall be removed from the property.

**Denial:** I move to deny the variances requested by Todd McGeachy for Parcel Number 12-27-429-003, identified as 539 Burgess Drive, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Todd McGeachy to a date certain or other triggering mechanism for Parcel Number 12-27-429-003, identified as 539 Burgess Drive, to consider comments stated during this public hearing.

### **Attachments:**

1. Variance application dated September 22, 2022.
2. Applicant's written statement.
3. Proposed garage addition plan dated August 5, 2022.
4. Building Permit application dated September 16, 2022.
5. Building Permit plan set September 12, 2022.
6. Letter of denial from the Building Official dated September 22, 2022.



### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
ZONING BOARD OF APPEALS APPLICATION

Item C.

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: Todd McGeachy PHONE: 248-762-0995  
ADDRESS: 539 Burgess Dr. White Lake, MI 48386  
APPLICANT'S EMAIL ADDRESS: todd.mcgeachy@odell.com  
APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 539 Burgess Dr. PARCEL # 12-27-429-003  
CURRENT ZONING: R1-C PARCEL SIZE: 14,237 sq ft

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: \_\_\_\_\_  
VALUE OF IMPROVEMENT: \$ 10,000 SEV OF EXISTING STRUCTURE: \$ 184,020

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \_\_\_\_\_ (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)  
APPLICANT'S SIGNATURE: [Signature] DATE: 9/20/22

ph. 24

RECEIVED  
SEP 23 2022  
COMMUNITY DEVELOPMENT DEPARTMENT

I am requesting a variance to build a 18x30 attached garage addition to store a classic automobile. I believe ~~the items~~ numerous properties in my area have been granted these variances. I would ask that my request be approved based upon this precedent.

Thank you for your consideration  
Todd Miller

RECEIVED  
PLANNING DEPARTMENT  
CITY OF CHICAGO  
JAN 23 2014



# APPLICATION FOR BUILDING PERMIT AND PLAN EXAMINATION

RECEIVED

Item C.

Charter Township of White Lake  
7525 Highland Road • White Lake, MI 48383  
(248) 698-3300



SEP 16 2022

BUILDING  
DEPARTMENT

Authority: P.A. 230 OF 1972, as amended Completion: Mandatory to obtain permit Penalty: Permit will not be issued	This department will not discriminate against any individual or group because of race, sex, religion, age, national origin, color, marital status, handicap, or political beliefs.
---	--

### APPLICANT TO COMPLETE ALL ITEMS

NOTE: SEPARATE APPLICATIONS MUST BE COMPLETED FOR PLUMBING, MECHANICAL, AND ELECTRICAL PERMITS

APPLICATION DATE: <span style="font-size: 1.5em; margin-left: 50px;">9 / 16 / 22</span>	IS OWNER APPLICANT? <div style="text-align: right;"> <input checked="" type="checkbox"/> YES    <input type="checkbox"/> NO                 </div>
--	---

### PROPERTY INFORMATION

STREET ADDRESS OF PROJECT <i>539 Burgess Dr, White Lake, MI</i>	APT. #	PARCEL I.D. NUMBER <i>12-27-429-003</i>	ZONING <i>R1-C</i>
--	--------	--	-----------------------

### OWNER INFORMATION

LAST NAME OR BUSINESS NAME <i>McGeachy</i>	FIRST NAME <i>Todd</i>	PHONE NUMBER <i>248-762-0995</i>	
STREET ADDRESS <i>539 Burgess Dr</i>	CITY <i>White Lake</i>	STATE <i>MI</i>	ZIP CODE <i>48386</i>

### APPLICANT INFORMATION

	OWNER OR LESSEE	CONTRACTOR
OWNER OR COMPANY NAME	<i>Todd McGeachy</i>	
CONTACT NAME		
LICENSE NUMBER	<i>None</i> <small>-(License # is not for homeowner)-</small>	
STREET ADDRESS	<i>539 Burgess Dr.</i>	
CITY/STATE/ZIP	<i>White Lake, MI, 48386</i>	
PHONE	<i>248-762-0995</i>	
EMAIL	<i>todd.mcgeachy@dell.com</i>	
ARCHITECT/ENGINEER NAME: _____		
LICENSE NUMBER: _____		CONTACT #: _____
FEDERAL EMPLOYER ID NUMBER		
WORKERS COMP. INSURANCE CARRIER		
MESC NUMBER		

**BUILDING AND PROPERTY CHARACTERISTICS**

DESCRIBE IN DETAIL WORK TO BE DONE: <i>Addition of 30' x 18' Garage - attached</i>		TYPE OF IMPROVEMENT:	
		<input type="checkbox"/> FENCE <input type="checkbox"/> DECK <input type="checkbox"/> ROOF <input type="checkbox"/> NEW SINGLE FAMILY HOME <input type="checkbox"/> ALTERATION/REPAIR <input type="checkbox"/> ADDITION <input type="checkbox"/> DEMOLITION <input checked="" type="checkbox"/> GARAGE <input type="checkbox"/> ACCESSORY STRUCTURE <input type="checkbox"/> WINDOWS/DOORS	
USE GROUP: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> OTHER: _____		VALUE OF IMPROVEMENT:	
CONSTRUCTION TYPE:		\$ <i>10,000 estimated</i>	
LOT SIZE -- FRONT: <i>158.67</i>	REAR: <i>47.18</i>	SIDE: <i>254.85</i>	SIDE: <i>172.06</i>
TOTAL SQ. FT. OF LOT: <i>14,237</i>			
PROPOSED SETBACKS -- FRONT:	REAR:	SIDE:	SIDE:
SQ. FT. OF PROPOSED CONST.-- GARAGE:	1 <sup>ST</sup> FLOOR: <i>540</i>	2 <sup>ND</sup> FLOOR: <i>—</i>	TOTAL: <i>540</i>
SQ. FT. OF EXISTING STRUCTURES -- GARAGE:	1 <sup>ST</sup> FLOOR: <i>2824</i>	2 <sup>ND</sup> FLOOR:	TOTAL: <i>2824</i>
TOTAL HEIGHT & # OF STORIES: <i>1</i>	NO. OF EXISTING BEDROOMS: <i>3</i>	NO. OF PROPOSED BEDROOMS: <i>NO CHANGE</i>	TOTAL NO. OF BEDROOMS: <i>3</i>

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent; and we agree to conform to all applicable laws of this jurisdiction. The applicant signing this application is aware that (s)he assumes full responsibility for insuring that all work done complies with all applicable codes and ordinances.

Section 23a of the state construction code act of 1972, 1972 PA 230, MCL 125.1523a, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of section 23a are subject to civil fines.

SIGNATURE OF APPLICANT <i>Todd F. McBeachy</i>	PHONE <i>248-767-0995</i>
PRINT APPLICANTS NAME <i>Todd F. McBeachy</i>	
ADDRESS, CITY, STATE, ZIP <i>539 Burgess Dr, White Lake, MI 48386</i>	

**BUILDING AND ZONING PERMIT REGULATIONS**

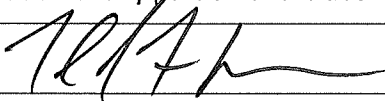
- A Certificate of Occupancy must be obtained before occupying the building.
- The Builder and property owner are responsible for drainage and grade on the construction site.
- The Builder and property owner are responsible for lot line and proper setbacks as approved by White Lake Township.
- The lot is properly marked (properly marked is a **visible address** with the lot number and permit number that can be clearly seen from the road)
- The job site must be clean with a safe access for the inspectors. The road must be cleaned and maintained properly (this includes snow removal).

**HOMEOWNER AFFIDAVIT**

As the bona fide owner of the above mentioned property which is a single residence, and which is, or will be on completion, my place of residence and no part of which is used for rental or commercial purposes nor is now contemplated for such purpose, I hereby make application for an owner's permit to install:

30' x 14' garage addition per plan  
as listed on this permit application.

I certify that I am familiar with the provisions of the applicable Ordinance and the rules governing the type of installation which is contemplated at the above mentioned location and hereby agree to make the installation in conformance with the Ordinance. In making the application, I realize I am assuming the responsibility of a licensed contractor for the installation of the work mentioned in the permit application and for putting the equipment in operation. I further agree that I shall neither hire any other person for the purpose of installing any portion of the garage or related equipment at the above premises, nor sub-contract to any other person, firm or corporation the installation of any portion of the above equipment.

HOMEOWNER NAME/SIGNATURE: 

**LOCAL GOVERNMENTAL AGENCY TO COMPLETE THIS SECTION**

	REQUIRED?
A. ZONING	<input type="checkbox"/> YES <input type="checkbox"/> NO
B. SOIL EROSION	<input type="checkbox"/> YES <input type="checkbox"/> NO
C. FLOOD ZONE	<input type="checkbox"/> YES <input type="checkbox"/> NO
D. WATER SUPPLY	<input type="checkbox"/> YES <input type="checkbox"/> NO
E. SEPTIC SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO
F. VARIANCE GRANTED	<input type="checkbox"/> YES <input type="checkbox"/> NO
G. DRIVEWAY PERMIT	<input type="checkbox"/> YES <input type="checkbox"/> NO

USE GROUP: _____	PLAN REVIEW FEES: _____
TYPE OF CONSTRUCTION: _____	BUILDING PERMIT FEES: _____
SQUARE FEET: _____	<b>FEE TOTAL:</b> _____
APPROVAL SIGNATURE: _____	NUMBER OF INSPECTIONS: _____

TITLE: _____	DATE: _____
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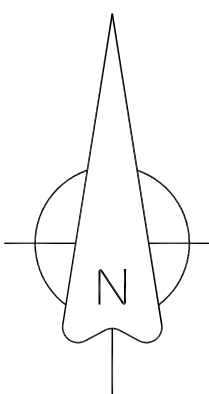


## WHITE LAKE TOWNSHIP PLOT PLAN SUBMITTAL CHECKLIST

New homes are required to have the plot plan prepared and signed and sealed by a licensed professional surveyor or engineer. Incomplete resubmittals require additional review and will be subject to an additional fee in the amount of 50% of the original review fee.

- Elevation reference mark shown (NAVD 88 Datum)
- Plan signed **AND** sealed by a State of Michigan licensed engineer or surveyor
- Location map with major cross streets indicated
- Title block shows professional preparer's name, address, and phone number
- Title block shows current revision date
- Easements are shown
- Plan shows setback lines. Setbacks measured from cantilevers, when proposed. Rear setback for lake lot should be from high water level.
- Building is dimensioned to property lines
- Septic field or sanitary sewer lead is shown
- Well or water service lead is shown
- Proposed spot finish grade elevations are shown for each corner of the building and as otherwise needed to indicate other grade features such as walkouts
- Existing and proposed contours are shown at maximum two-foot intervals
- Show as-built road and structure (storm, water, sanitary if any) elevations
- Show finish grade of adjacent structures, drive elevation, or note any construction that is underway
- Plan drawn to scale
- Title block shows applicant name, address, and phone number
- Title block shows Subdivision/Condominium name and lot/unit number
- Plan shows property lines and dimensions
- On site watermains, sanitary sewers, and storm sewers are shown (As- built location)
- Plan shows building outline with general dimensions
- Driveway is shown; slope 8% maximum if possible
- Sump pump leads shown, if any
- Floor elevations are shown for the first floor, garage, and basement
- Retaining wall height and type is shown
- Sidewalk shown (if required per approved site plan or preliminary plat); 2% cross slope at drive. ADA plate at road intersection for corner lots.
- Design water level of on-site ponds, if any. Show FEMA flood elevations if applicable
- Show existing contours or spot grades on adjacent parcels
- Location, diameter, and elevations at base of significant saved trees within grading limits
- Plot plan indicates positive drainage away from all sides of house and garage

# CEDAR SHORES DRIVE 60' WIDE (PUBLIC ROAD)



### ZONING

DISTRICT: R1-C SINGLE FAMILY  
MIN. LOT: 16,000 SQ. FEET  
MIN. LOT WIDTH: 100 FEET

### SETBACKS

FRONT YARD: 35 FEET  
SIDE YARDS: 10 FEET  
REAR YARD: 35 FEET

### LEGAL DESCRIPTION:

LOT 34 EXCEPT BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT, THENCE NORTH 58.85 FEET ALONG BURGESS DRIVE, THENCE SOUTHERLY TO POINT DISTANCE NORTHWEST 26 FEET FROM SOUTH EAST CORNER OF SAID LOT 34, THEN SOUTHERLY 26 FEET, THENCE NORTH WESTERLY 153.40 FEET TO BEGINNING, AND ALSO ALL OF LOT 35, OF " CEDAR SHORES SUBDIVISION ", PART OF THE SOUTHEAST 1/4 OF SECTION 27 AND THE SOUTHWEST 1/4 OF SECTION 26, T.3N., R.8E., WHITE LAKE TWP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 68, PAGE 23, OCR

SIDWELL NO: 12-27-429-003

OWNER:  
TODD MCGEACHY  
539 BURGESS DR, WHITE LAKE, MI 48386-2818

### EXISTING LOT COVERAGE:

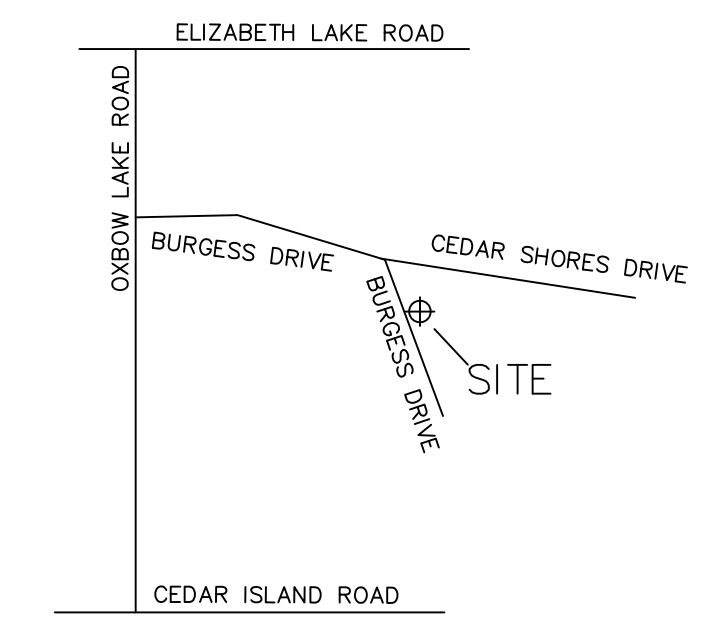
LOT AREA ( UPLAND ) 14,237 SQ FT  
EXISTING HOUSE 2,824 SQ FT  
EXISTING PORCH 70 SQ FT  
2824 + 70 = 2894 SQ FT  
2894 / 14237 \* 100 = 20.33 %  
EXISTING LOT COVERAGE = 20.33 % MORE THAN (20 % MAX)

### PROPOSED LOT COVERAGE:

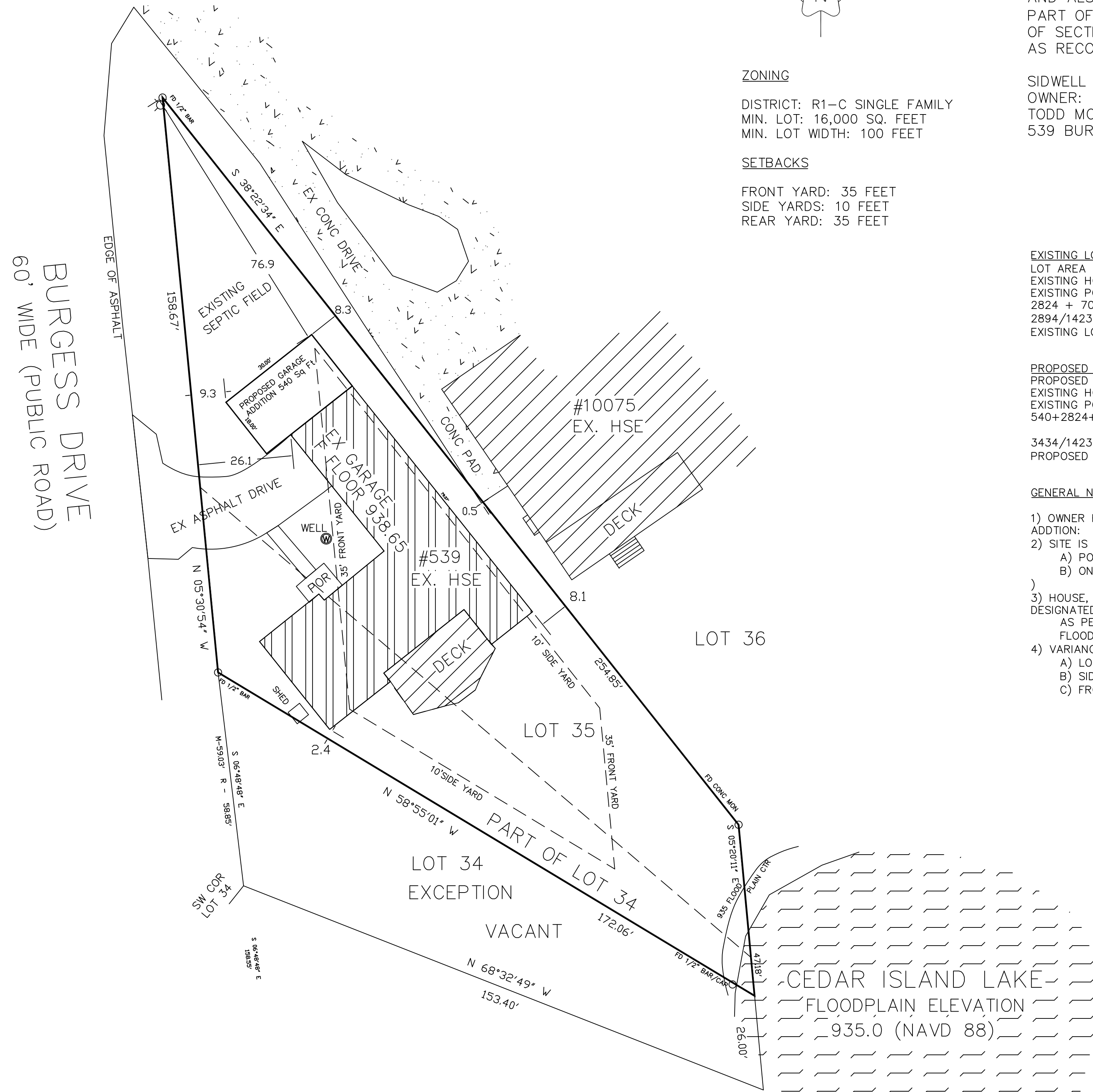
PROPOSED GARAGE ADDITION 540 SQ FT  
EXISTING HOUSE 2824 SQ FT  
EXISTING PORCH 70 SQ FT  
540 + 2824 + 70 = 3434 SQ FT  
3434 / 14237 \* 100 = 24.12 %  
PROPOSED LOT COVERAGE = 24.12 % MORE THAN (20 % MAX)

### GENERAL NOTES:

- OWNER REQUESTS VARIANCES FOR A PROPOSED 18' BY 30' GARAGE ADDITION:
  - POTABLE PRIVATE WELL
  - ON SITE SEPTIC SYSTEM, LOCATED STREET SIDE. ( AS PER OWNER )
- HOUSE, GARAGE AND PROPOSED STRUCTURES DO LIE IN A FEMA DESIGNATED FLOOD ZONE  
AS PER MAP PANEL 26125 C0338F DATED 9-29-2006  
FLOOD ELEVATION 935.0 NAVD 88 ( STILLWATER )
- VARIANCE REQUEST :
  - LOT SIZE 14237 SQ FT REQUIRED 16,000 SQ FT - 1763 SQ FT
  - SIDE YARD 8.3' REQUIRED 10.0' - 1.7'
  - FRONT YARD 9.3 REQUIRED 35.0 - 25.7'



LOCATION MAP:  
NOT TO SCALE



### LEGEND

- INLET BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- EXISTING GRADES
- PROPOSED GRADES
- DRAINAGE ARROW
- SOIL EROSION FENCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FENCE LINE
- GATE VALVE
- HYDRANT
- POWER POLE
- POWER LINE
- CATCH BASIN
- DRAINAGE SWALE
- UTILITY PAD/PEDISTAL
- PINE TREE
- DECIDUOUS TREE
- SOIL BORING
- TO BE REMOVED
- PROP AC UNIT
- PROP GENERATOR
- GAS METER
- ELECTRIC METER
- PROPOSED DOWNSPOUT
- CHANGES TO PLAN
- WELL

NOTE:  
IT IS THE CLIENTS RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND, THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.

**UTILITY WARNING**  
UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED.  
A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

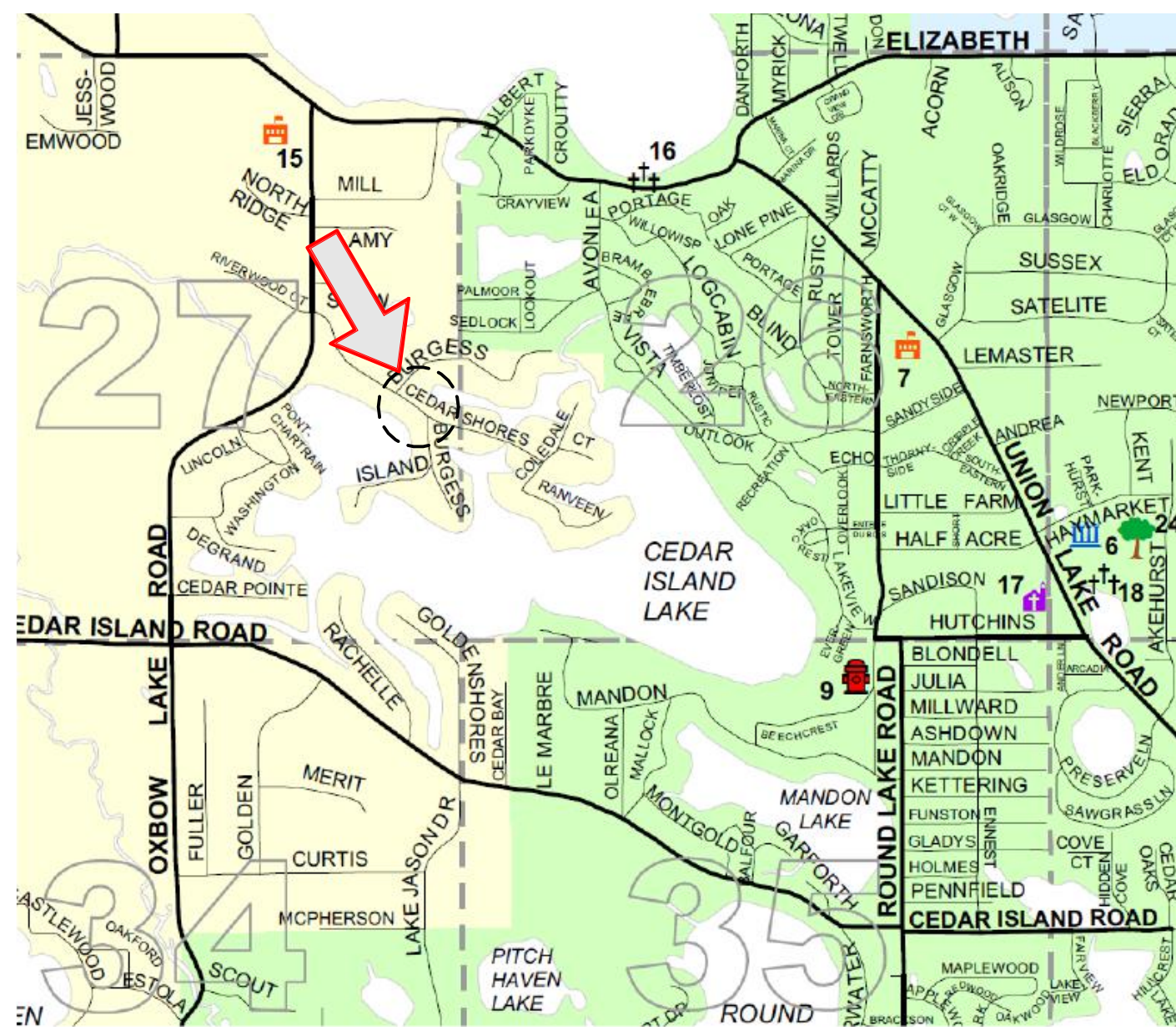


REVISED 8-10-2022  
REVISED 10-10-2022

**DPS&A**  
DAVID P SMITH & ASSOCIATES  
PROFESSIONAL LAND SURVEYORS  
8615 RICHARDSON ROAD-SUITE 100  
WALLED LAKE, MICHIGAN 48390  
(248)363-1515 (FAX)363-1646  
© 2022 DPS&A, INC.  
ALL RIGHTS RESERVED  
EMAIL ADDRESS: AASURVEYOR@AOL.COM

PROPOSED GARAGE ADDITION VARIANCE REQUEST	DATE 8-5-2022
539 BURGESS DRIVE, WHITE LAKE, MI 48386 LOTS 34 & 35, CEDAR SHORES WHITE LAKE, OAKLAND COUNTY, MI	SCALE 1" = 20'
DRAWN <u>DPS</u> COMP. NET. DIRECTORY F:/2022	JOB NO. 22-070500
	SHEET NO. 1 OF 1

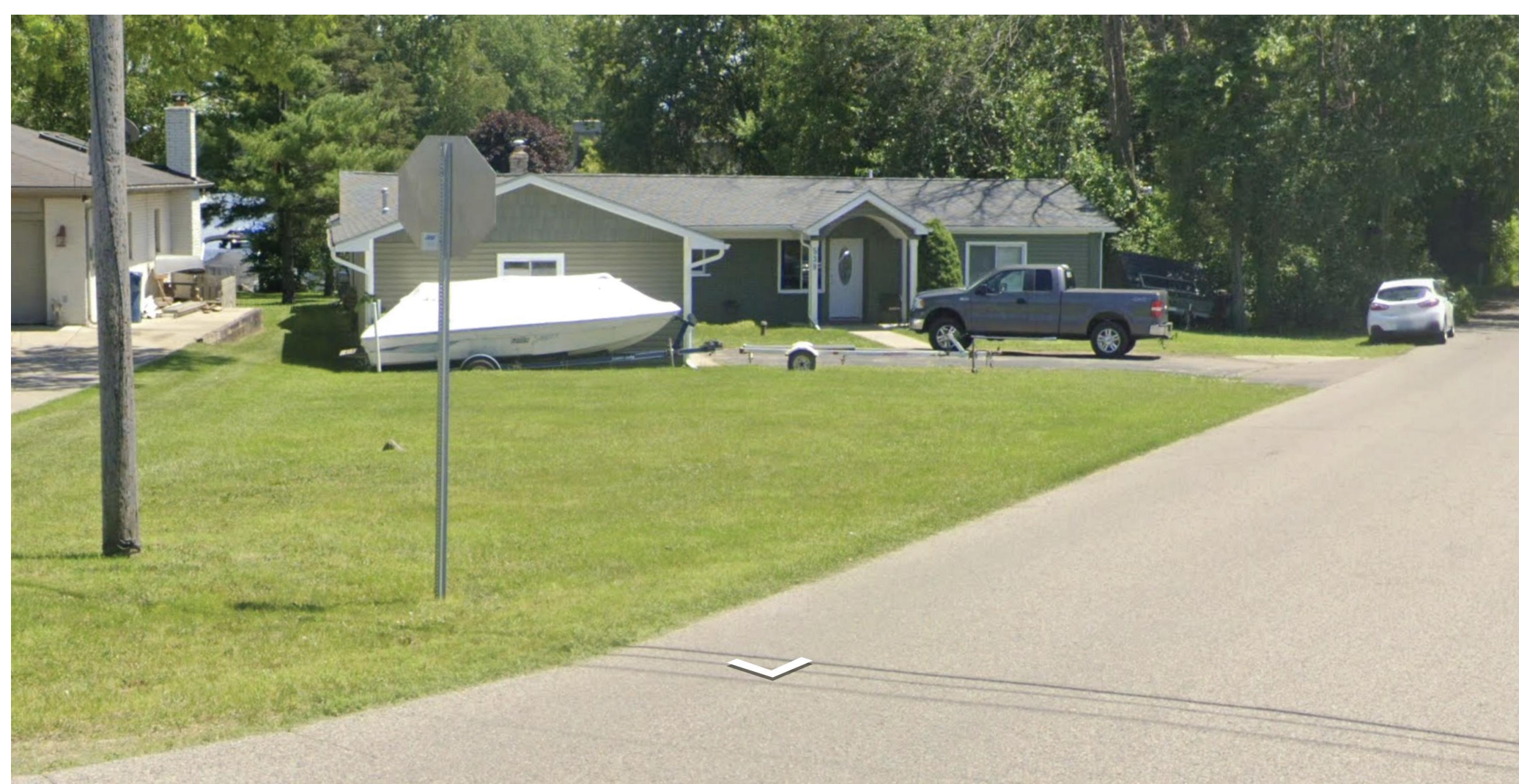




LOCATION MAP



AERIAL VIEW



FRONT VIEW



**LEGAL DESCRIPTION**  
Lot 35 and Northerly 1/2 of Lot 34 of "Cedar Shores" part of the S.E. 1/4 of Sec. 27 & the S.W. 1/4 of Sec. 26, T3 N., R8 E., White Lake Twp., Oakland County, Mich. Rec'd. L. 68, P. 23 Plats, O.C.R. (White Lake Township)

**SITE PLAN OPTIONS 1 AND 2**  
SCALE: 1"=15'



**PROJECT:**  
**GARAGE ADDITION**  
CEDAR SHORES, OAKLAND COUNTY  
ZONED R1-C, SINGLE FAMILY RESIDENTIAL  
**CLIENT:**  
TODD McGEACHY  
593 BURGESS DRIVE  
WHITE LAKE, MI 48386

MARK: DATE: DESCRIPTION:  
CDR 2022-05-17 SETBACK REVIEW

DRAWN BY: JWT  
CHECKED BY: JWT  
APPROVED BY: TMcGEACHY

DRAWING TITLE:  
SITE / PLOT PLAN  
LOCATION MAP  
PHOTO VIEWS

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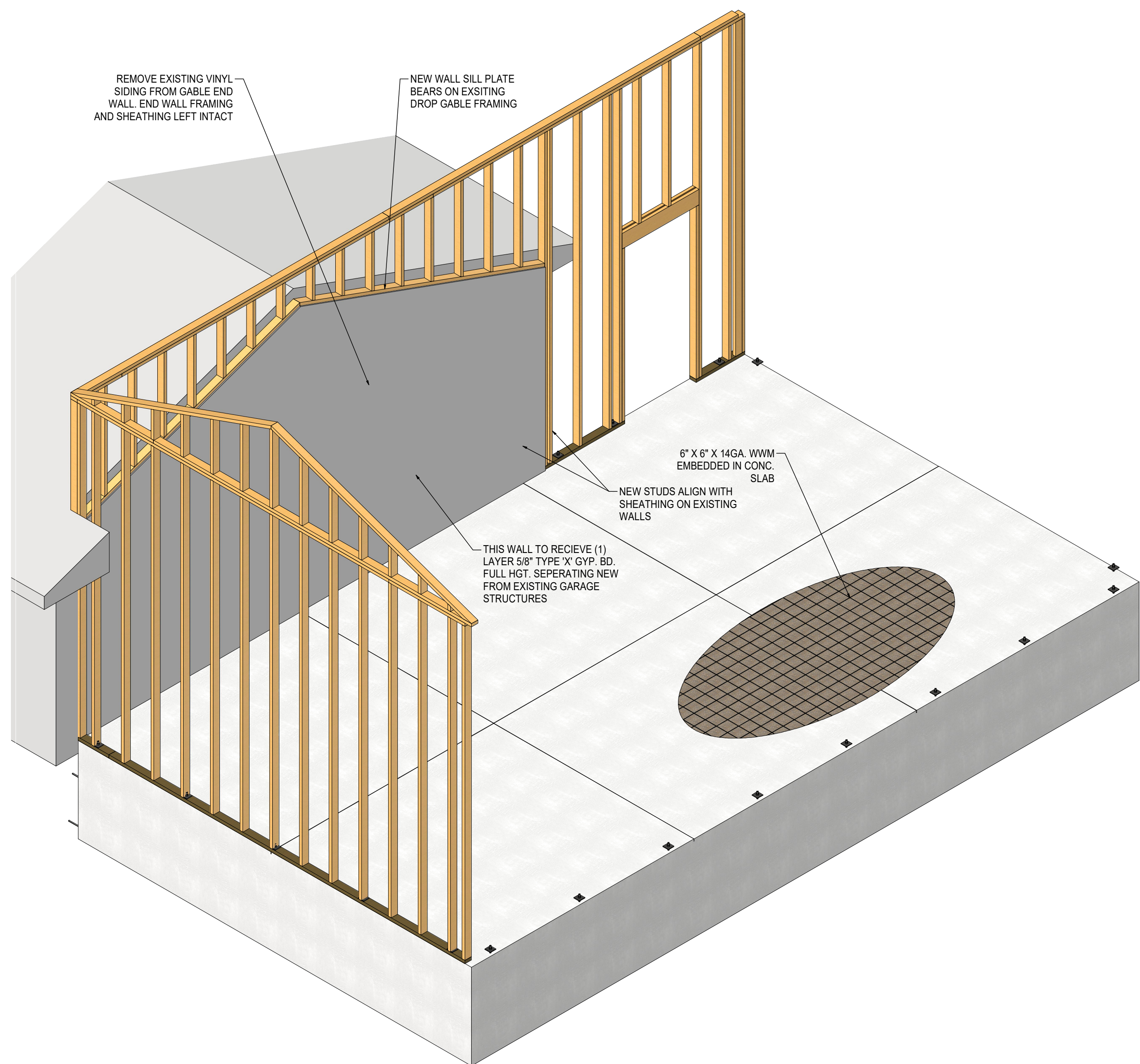
PROJECT NUMBER:  
**22-539-001**

SHEET NUMBER:  
**C1.1**



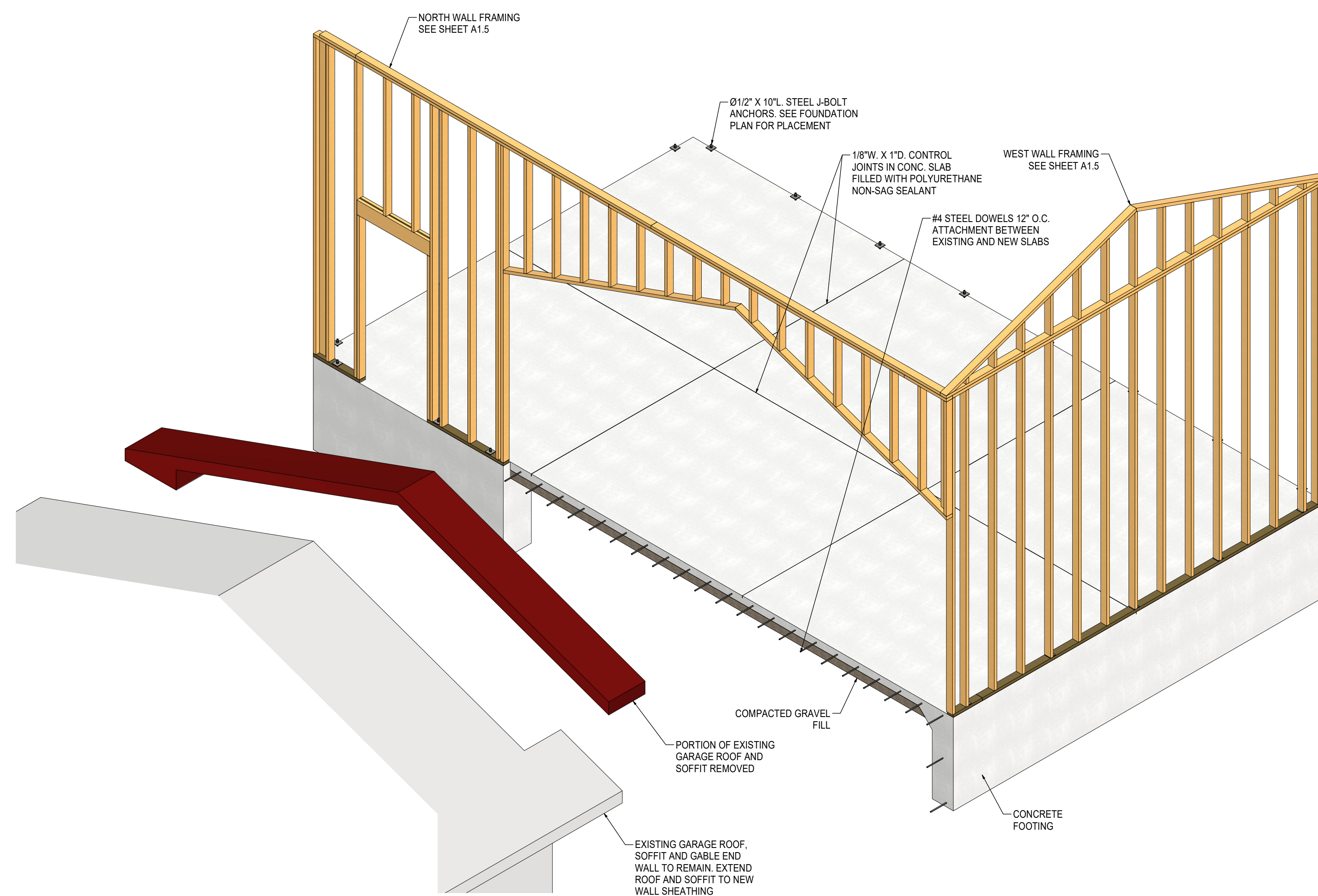






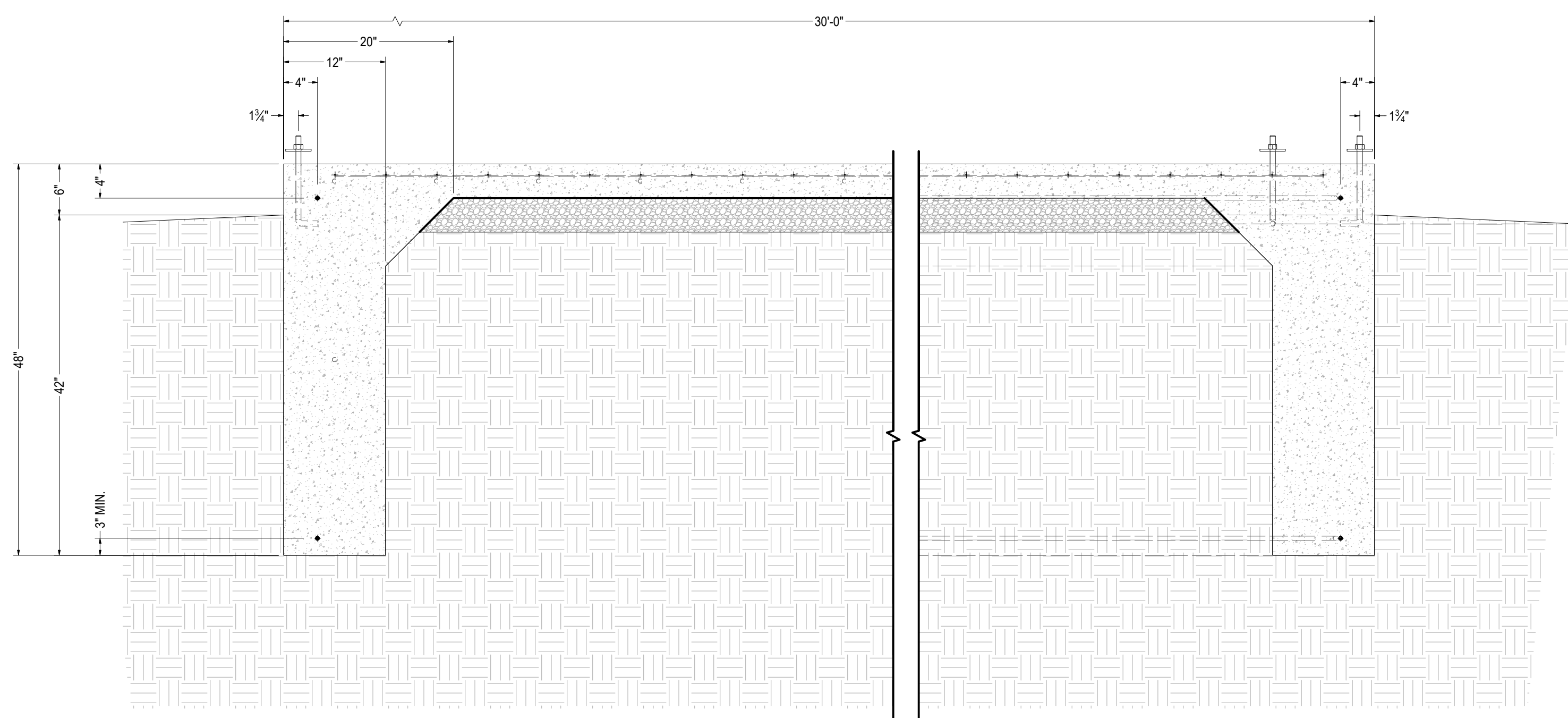
### FRAMING ATTACHMENT

SCALE: 3/8" = 1'-0"



### FOUNDATION ATTACHMENT

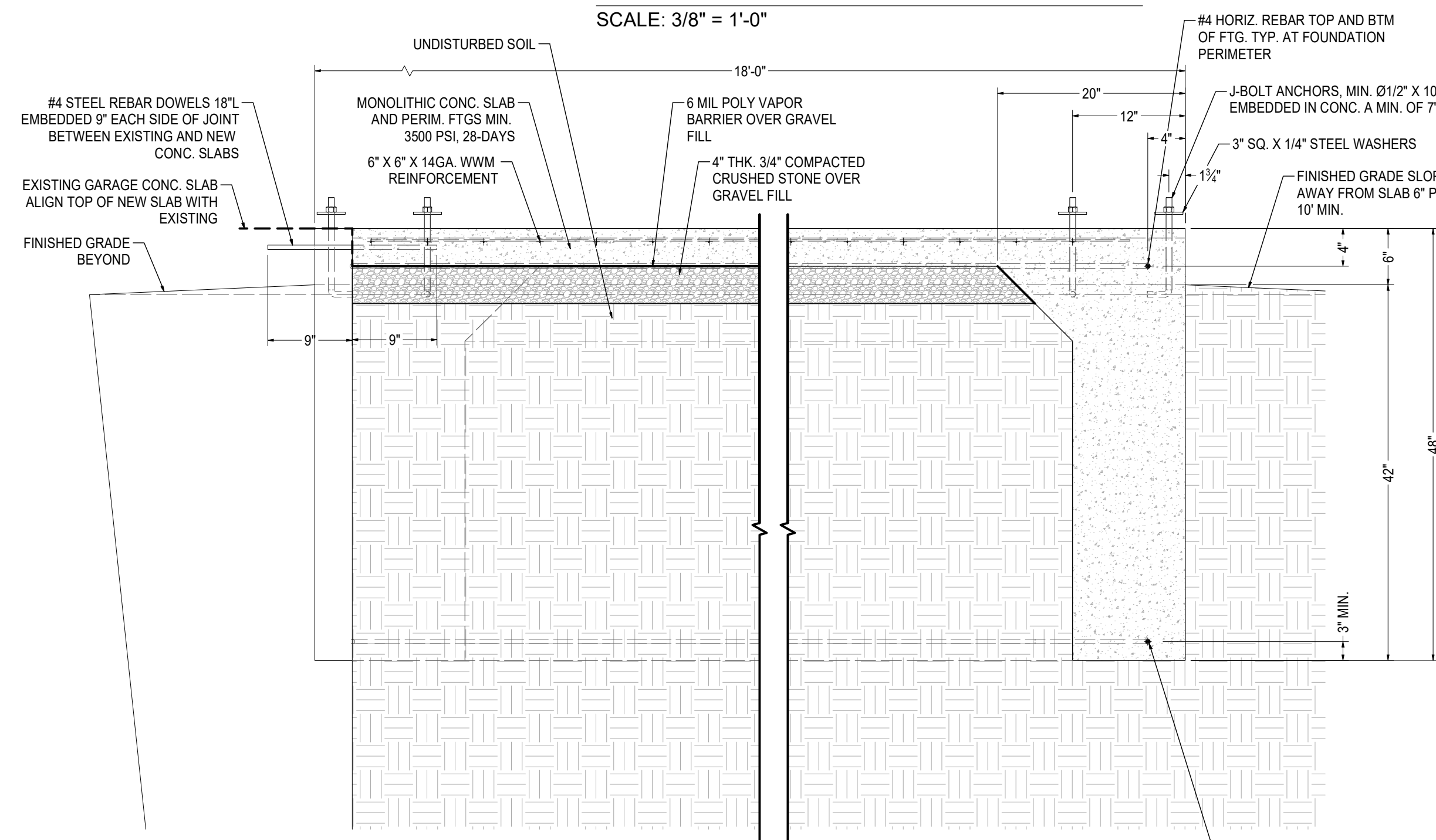
SCALE: 3/8" = 1'-0"



### FOUNDATION SECTION C

SCALE: 1/2" = 1'-0"

A1.1



### FOUNDATION SECTION D

SCALE: 1/2" = 1'-0"

A1.1

**PROJECT:**  
**GARAGE ADDITION**  
 CEDAR SHORES, OAKLAND COUNTY  
 ZONED R1-C, SINGLE FAMILY RESIDENTIAL

**CLIENT:**  
 TODD McGEACHY  
 593 BURGESS DRIVE  
 WHITE LAKE, MI 48386

MARK:	DATE:	DESCRIPTION:
CDR	2022-09-12	BLDG. DEPT. REVIEW

**DRAWN BY:** JWT  
**CHECKED BY:** JWT  
**APPROVED BY:** TMcGEACHY

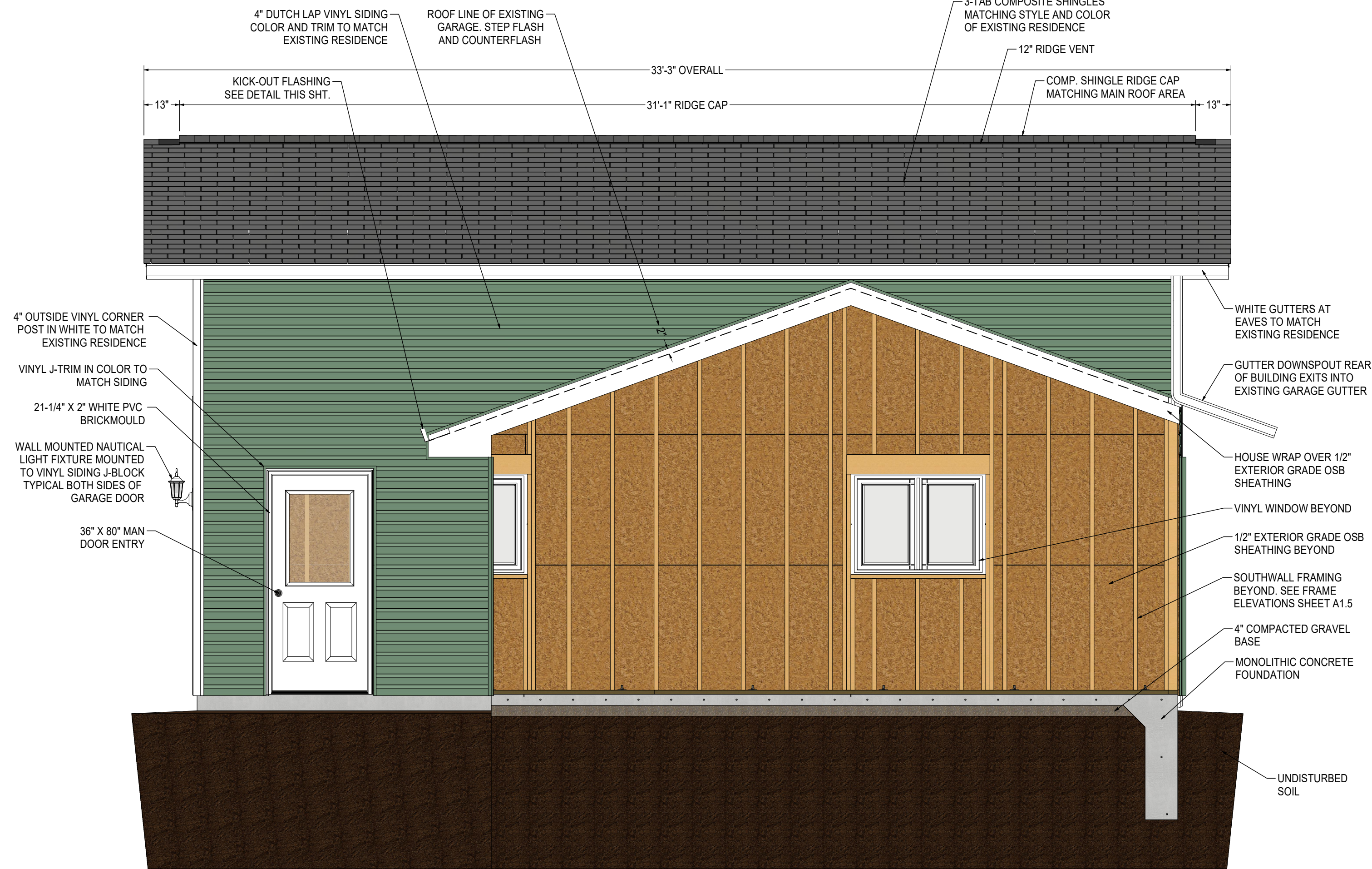
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 FOUNDATION DTLS.  
 BLDG. ATTACHMENT

**PROJECT NUMBER:**  
 22-539-001

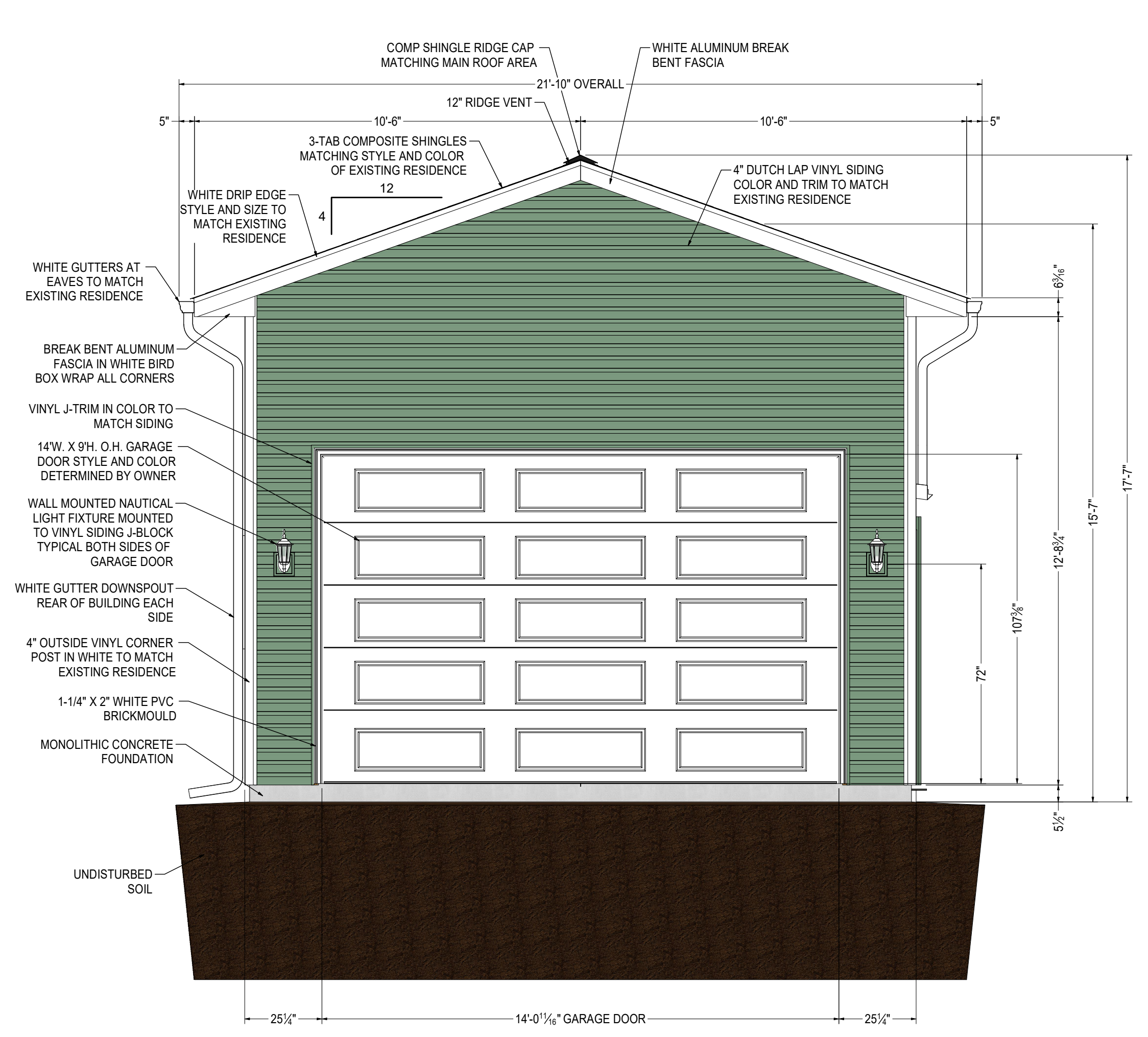
**SHEET NUMBER:**  
 A1.2

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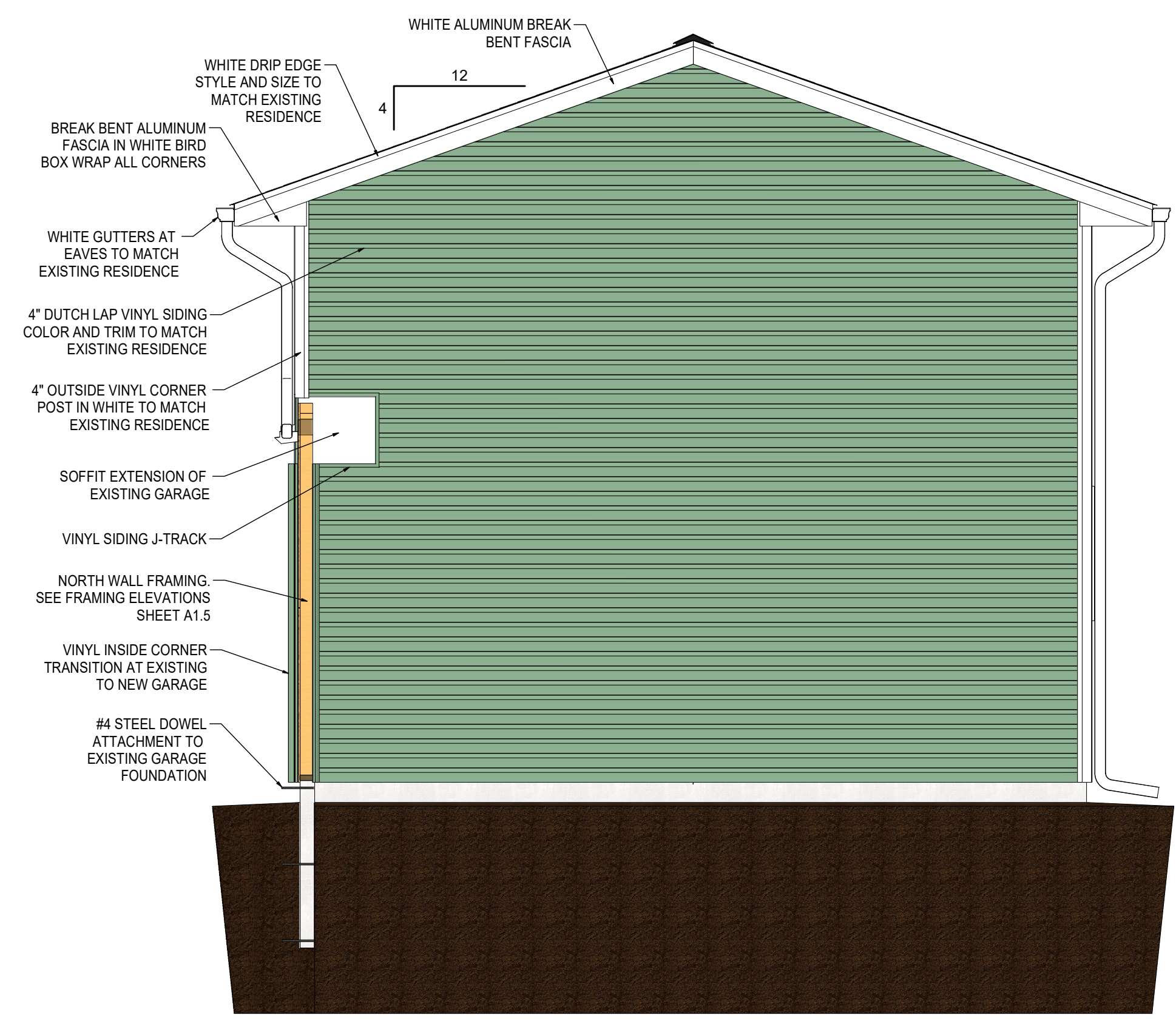
**SOUTH ELEVATION** 1  
SCALE: 3/8"=1'-0" A1.1



**EAST ELEVATION** 2  
SCALE: 3/8"=1'-0" A1.1



**NORTH ELEVATION** 3  
SCALE: 3/8"=1'-0" A1.1



**WEST ELEVATION** 4  
SCALE: 3/8"=1'-0" A1.1



**KICK-OUT FLASHING**

**PROJECT:**  
**GARAGE ADDITION**  
 CEDAR SHORES, OAKLAND COUNTY  
 ZONED R1-C, SINGLE FAMILY RESIDENTIAL  
**CLIENT:**  
 TODD McGEACHY  
 593 BURGESS DRIVE  
 WHITE LAKE, MI 48386

MARK:	DATE:	DESCRIPTION:
CDR	2022-09-12	BLDG. DEPT. REVIEW

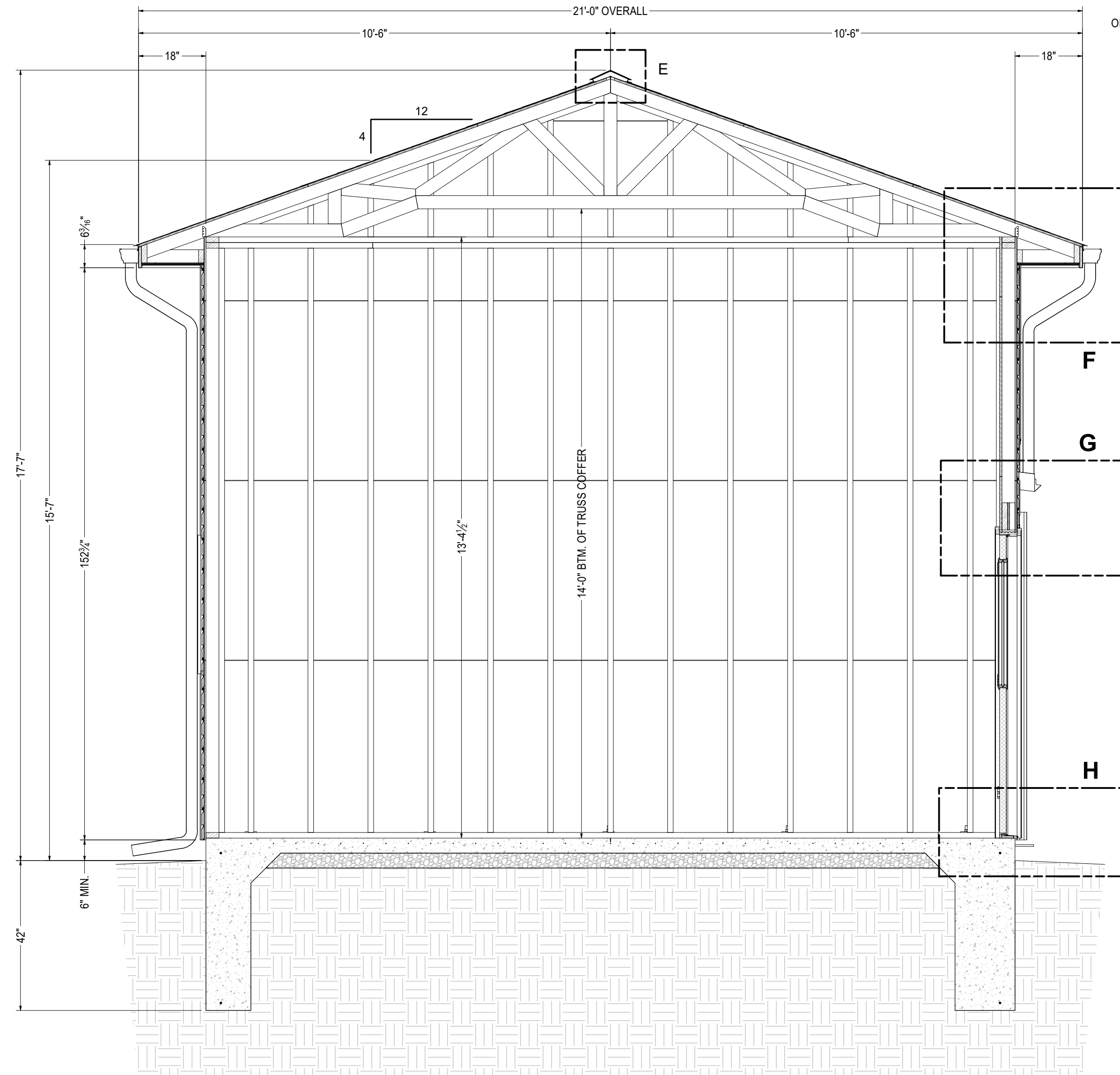
**DRAWN BY:** JWT  
**CHECKED BY:** JWT  
**APPROVED BY:** TMcGEACHY

**DRAWING TITLE:**  
**EXTERIOR GARAGE ELEVATIONS**

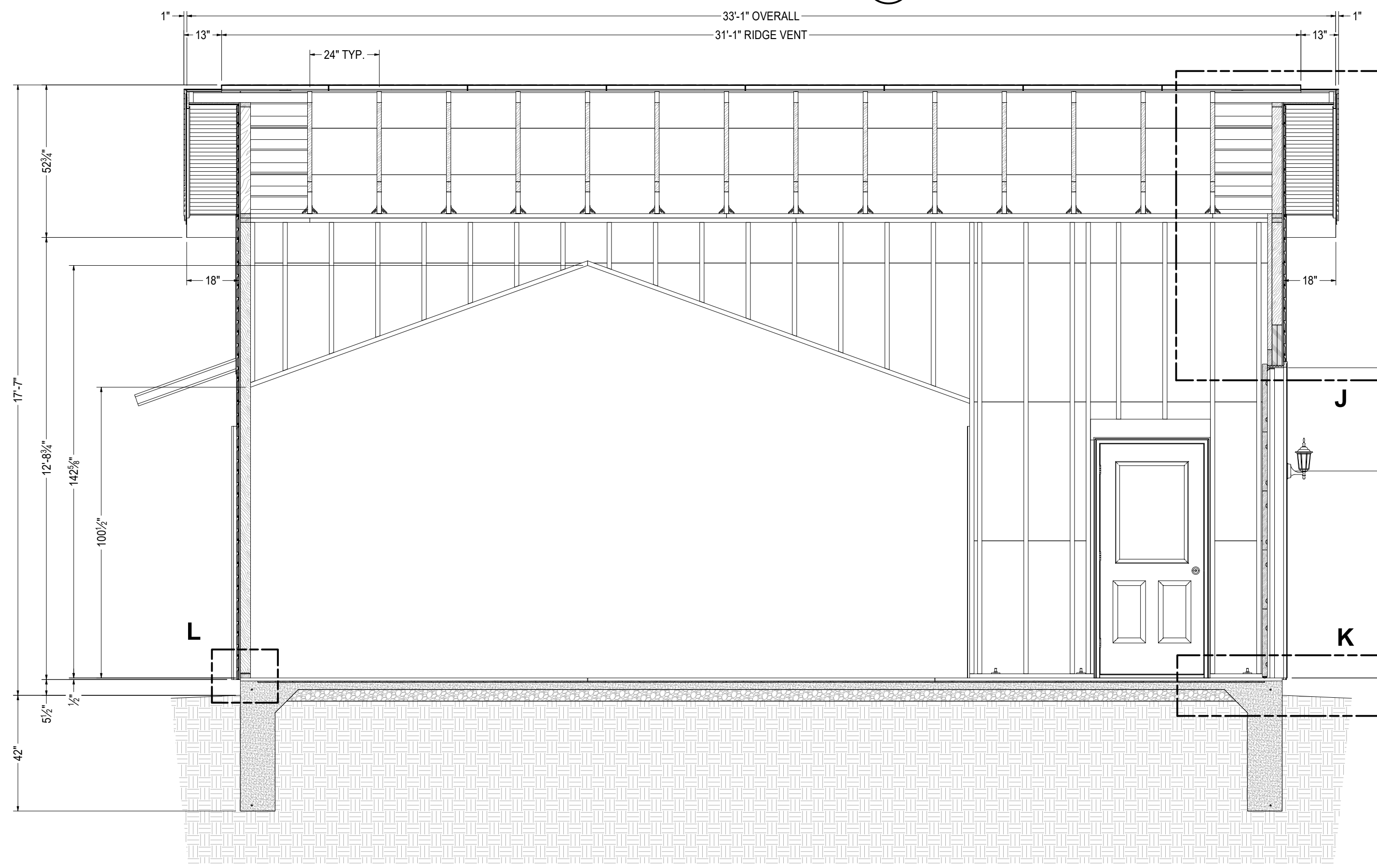
**PROJECT NUMBER:**  
**22-539-001**

**SHEET NUMBER:**  
**A1.3**

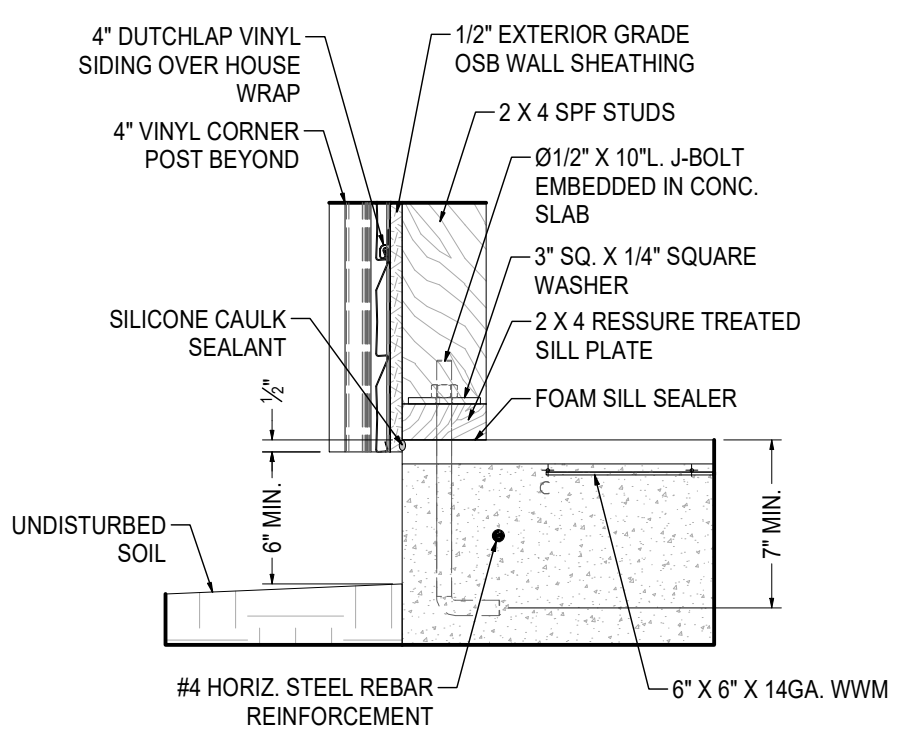
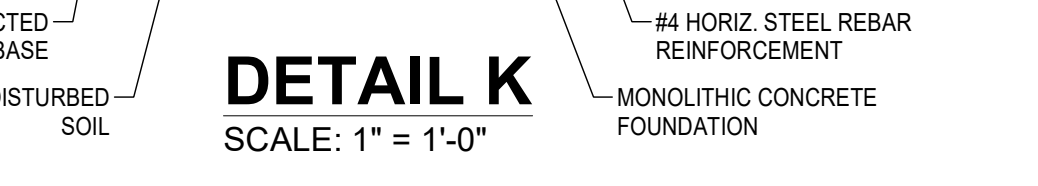
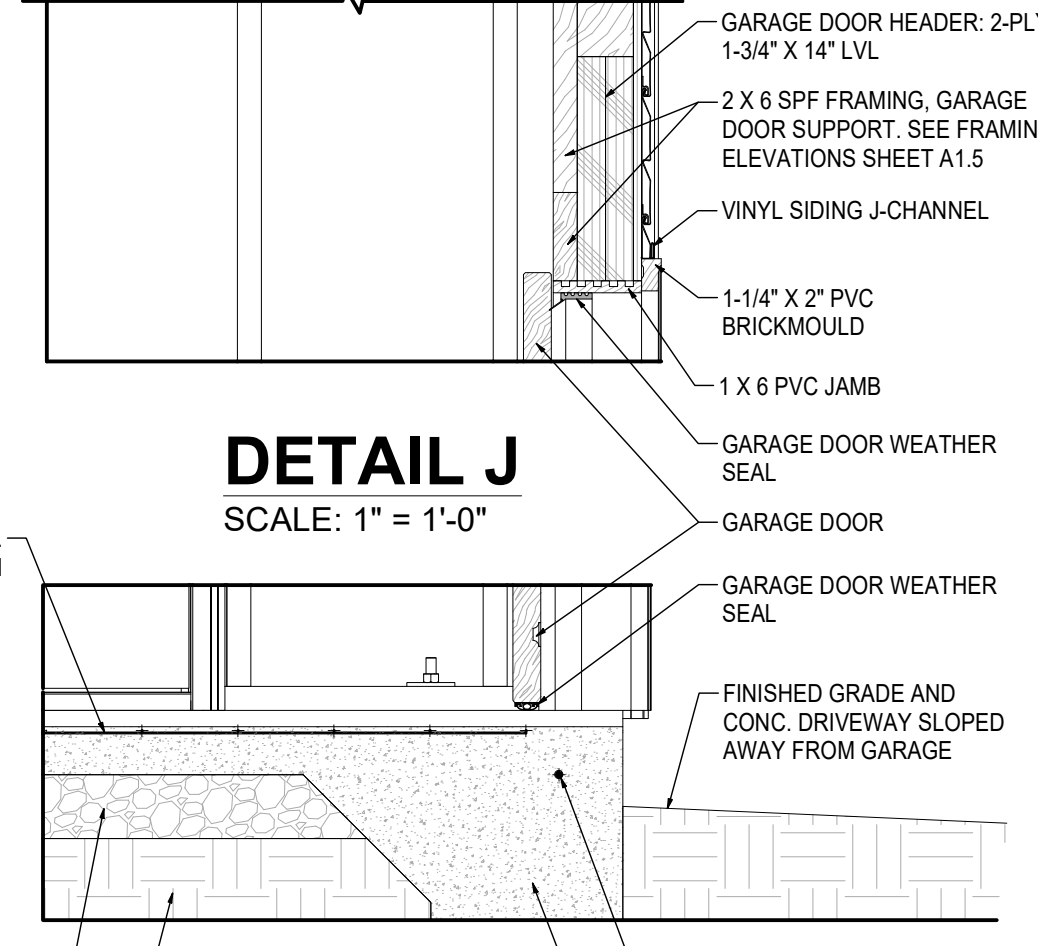
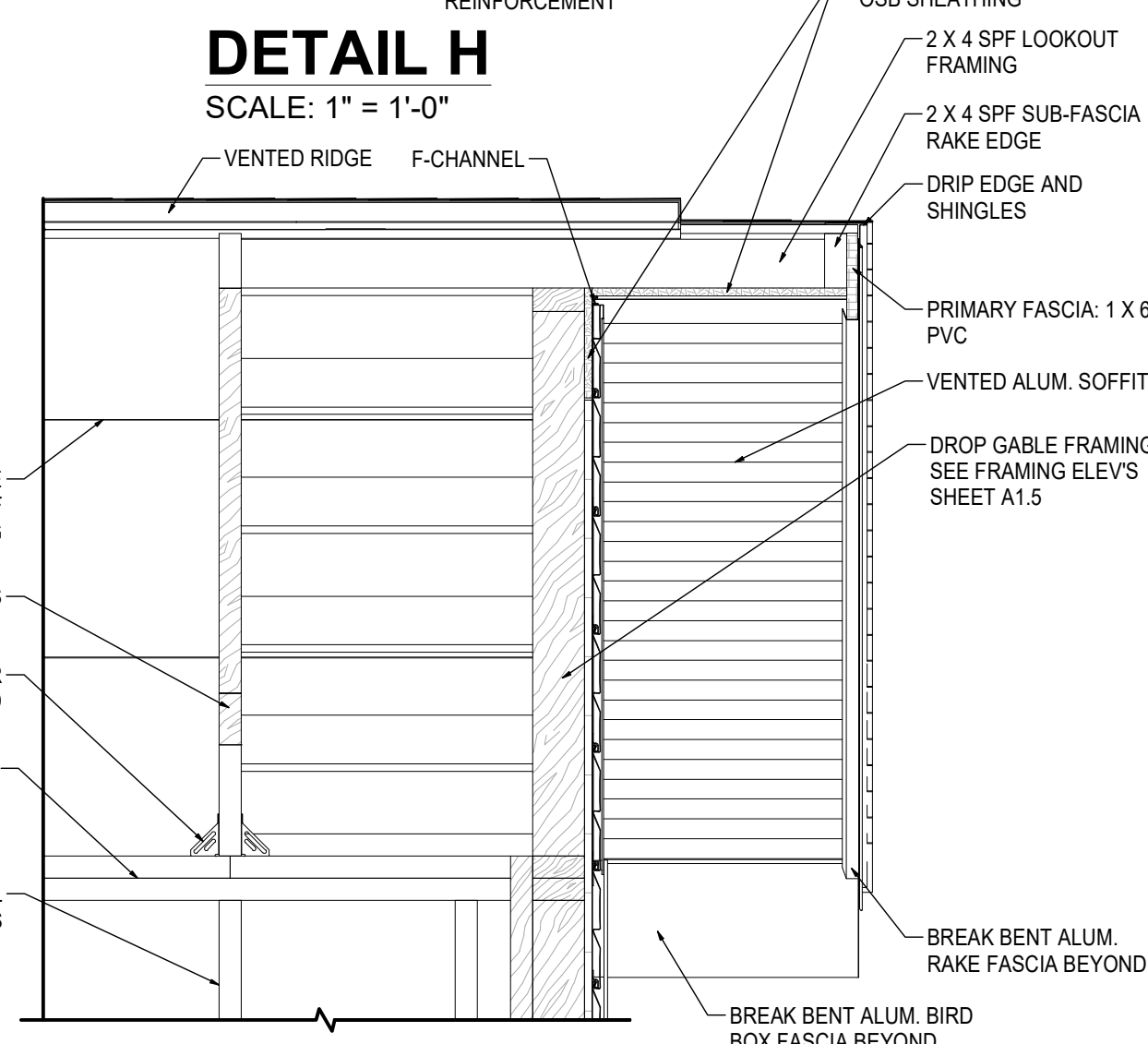
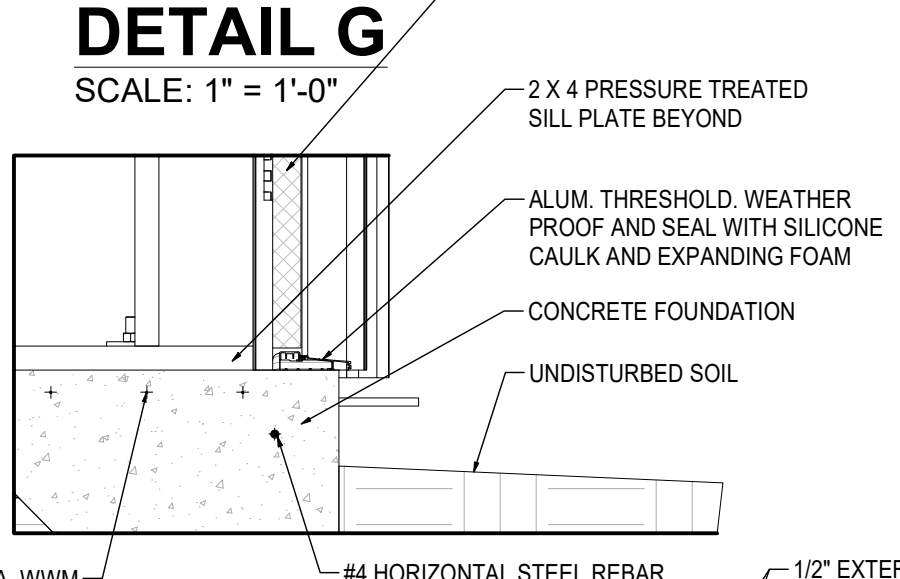
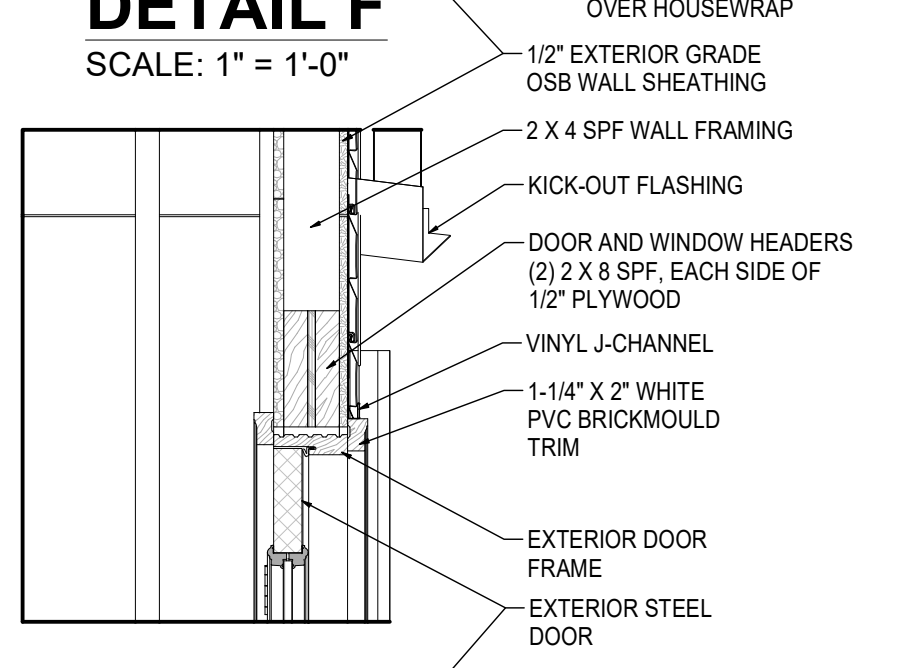
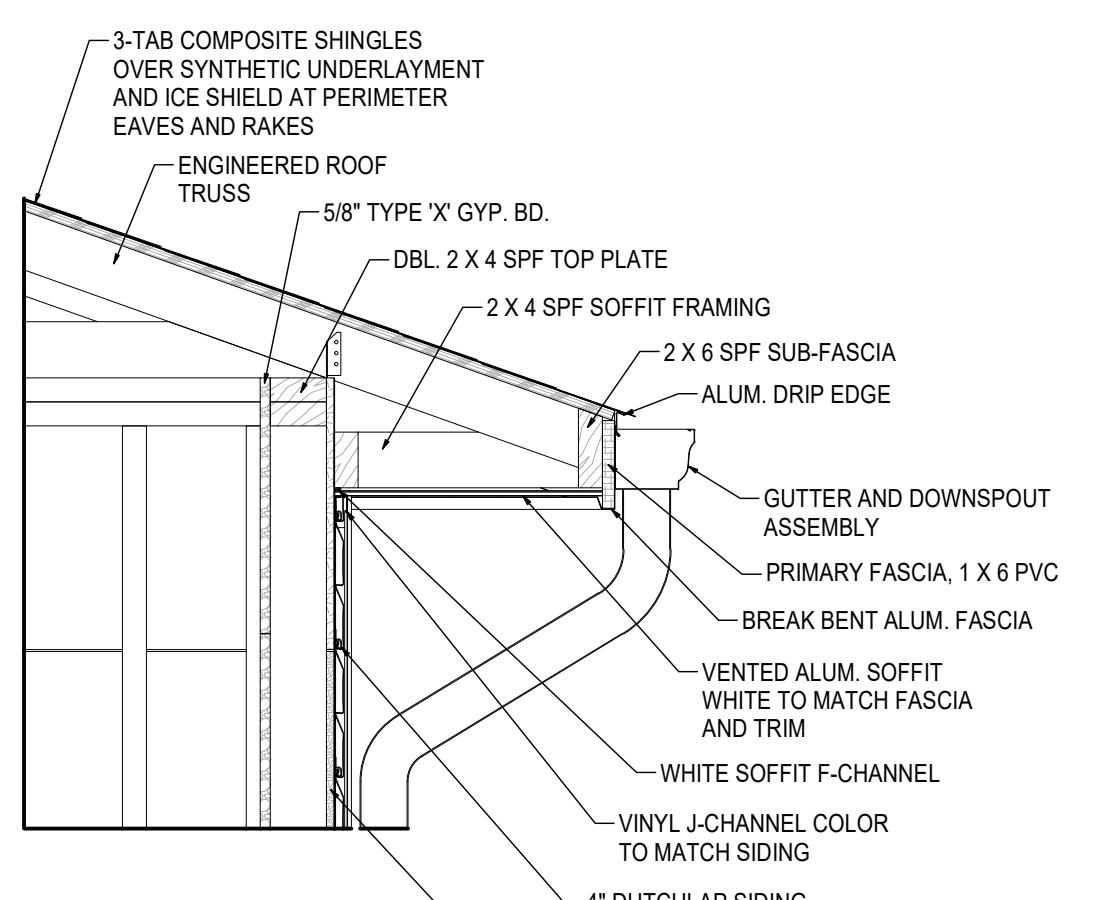
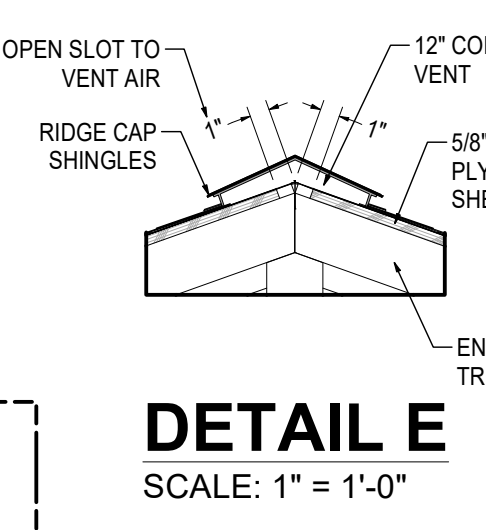




**BLDG. SECTION A**  
SCALE: 1/2"=1'-0"  
C1.1



**BLDG. SECTION B**  
SCALE: 3/8"=1'-0"  
C1.1



**PROJECT:**  
**GARAGE ADDITION**  
CEDAR SHORES, OAKLAND COUNTY  
ZONED R1-C, SINGLE FAMILY RESIDENTIAL  
**CLIENT:**  
TODD McGEACHY  
593 BURGESS DRIVE  
WHITE LAKE, MI 48386

MARK:	DATE:	DESCRIPTION:
CDR	2022-09-12	BLDG. DEPT. REVIEW

**DRAWN BY:** JWT  
**CHECKED BY:** JWT  
**APPROVED BY:** TMcGEACHY

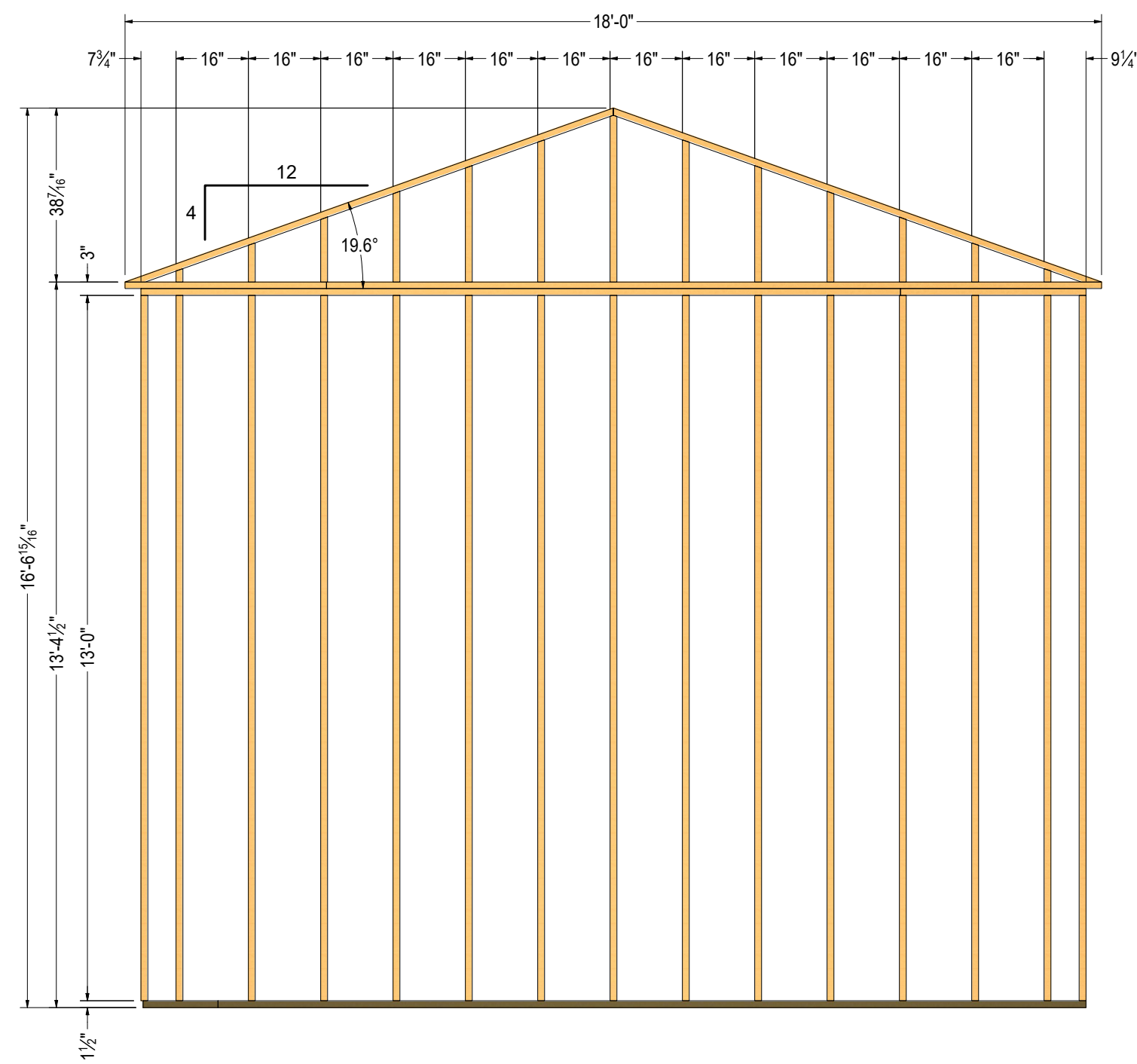
**DRAWING TITLE:**  
**BLDG. SECTIONS AND DETAILS**

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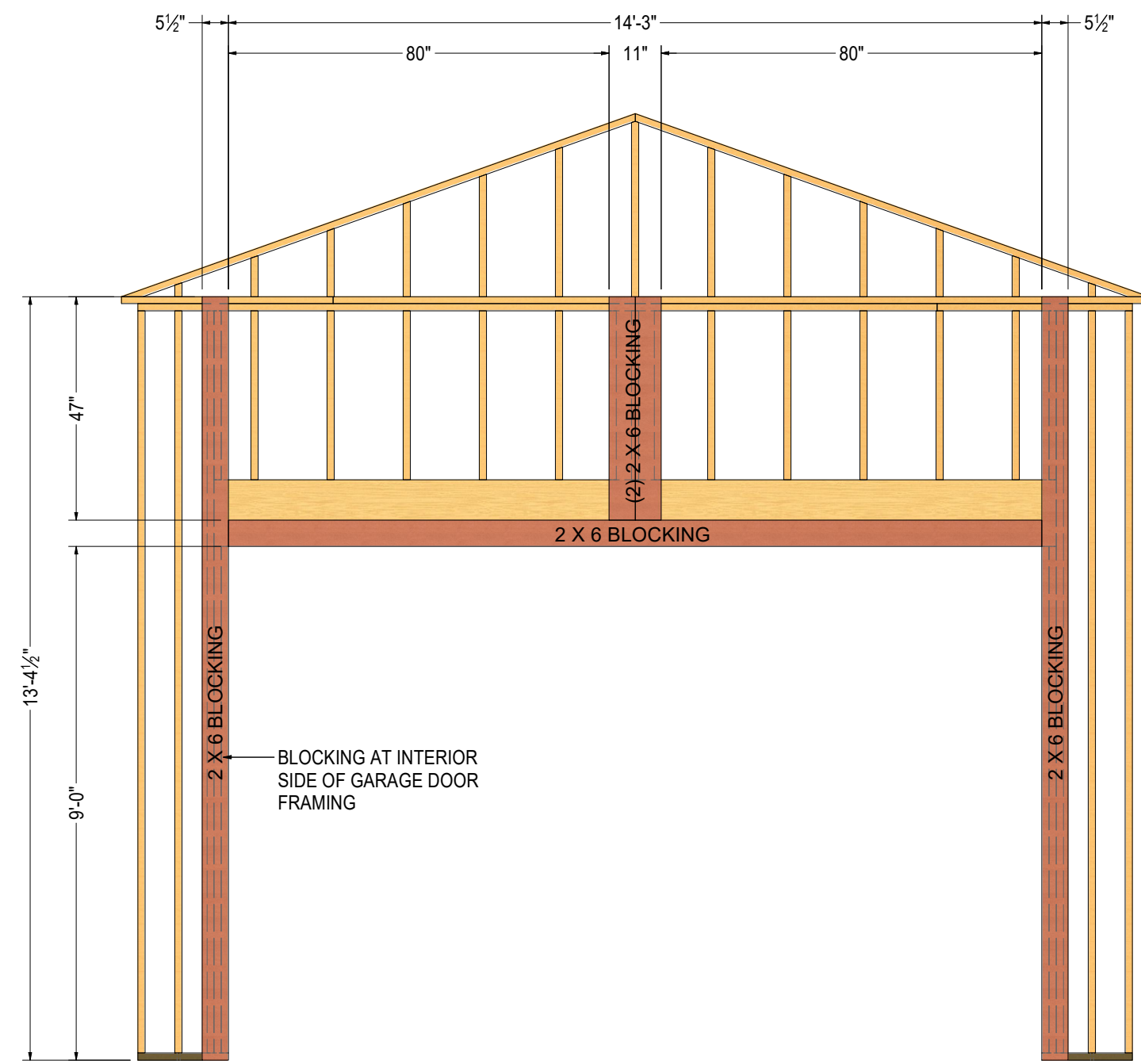
**PROJECT NUMBER:**  
**22-539-001**

**SHEET NUMBER:**  
**A1.4**

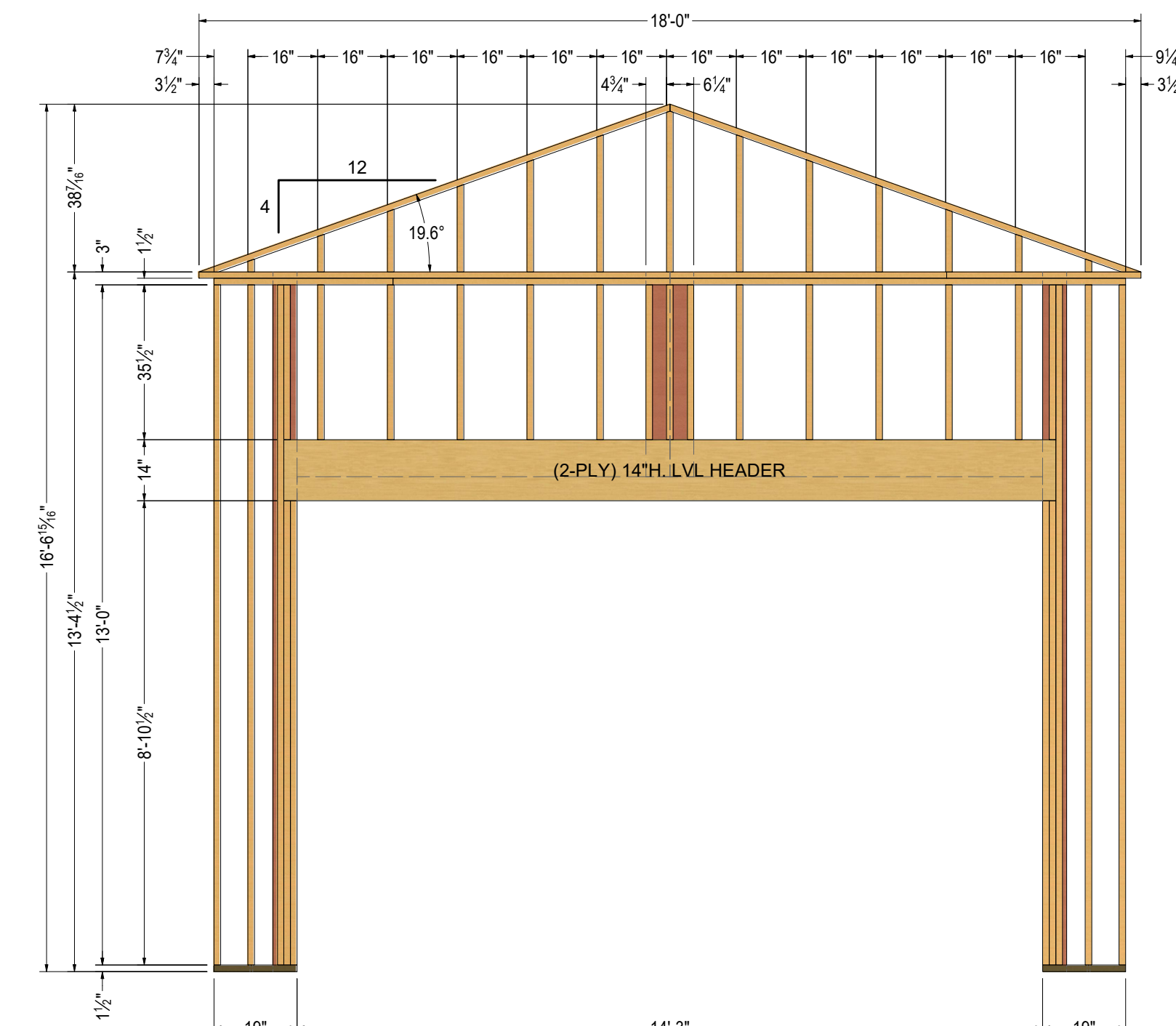




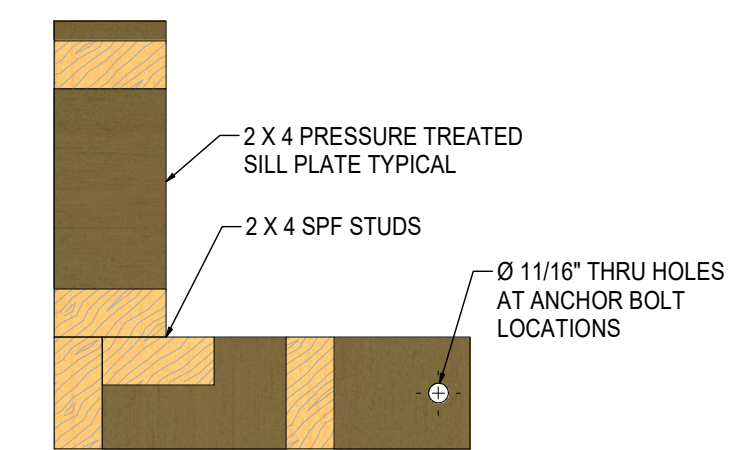
**WEST WALL FRAMING**  
SCALE: 3/8" = 1'-0"



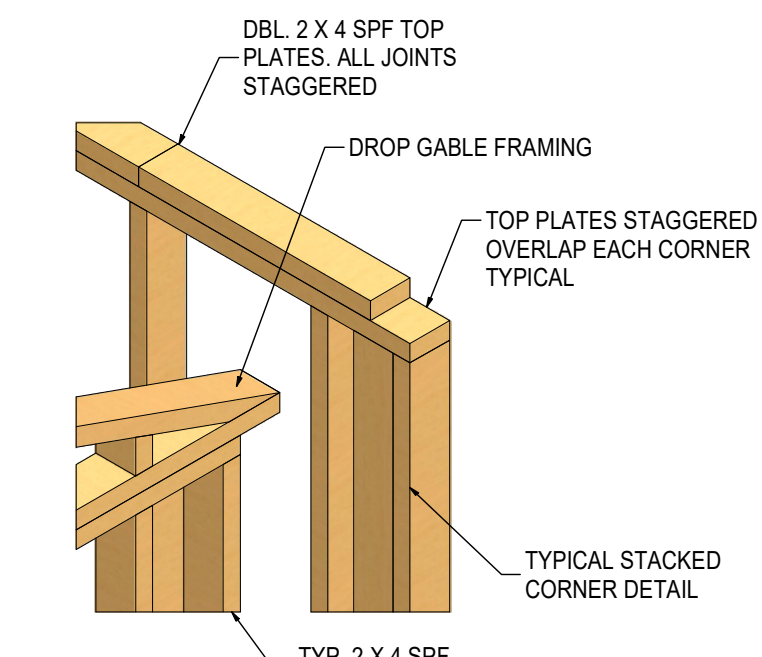
**EAST WALL FRAMING**  
SCALE: 3/8" = 1'-0" REAR VIEW OF DOOR



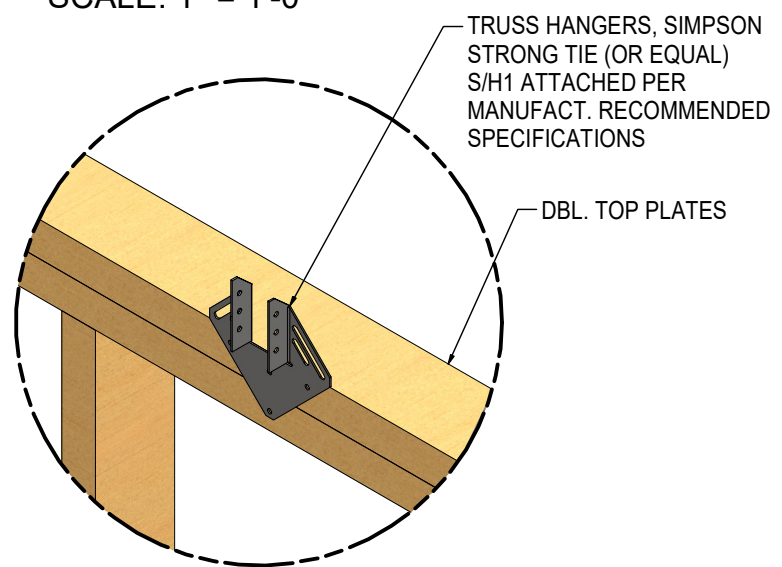
**EAST WALL FRAMING**  
SCALE: 3/8" = 1'-0" FRONT VIEW OF DOOR



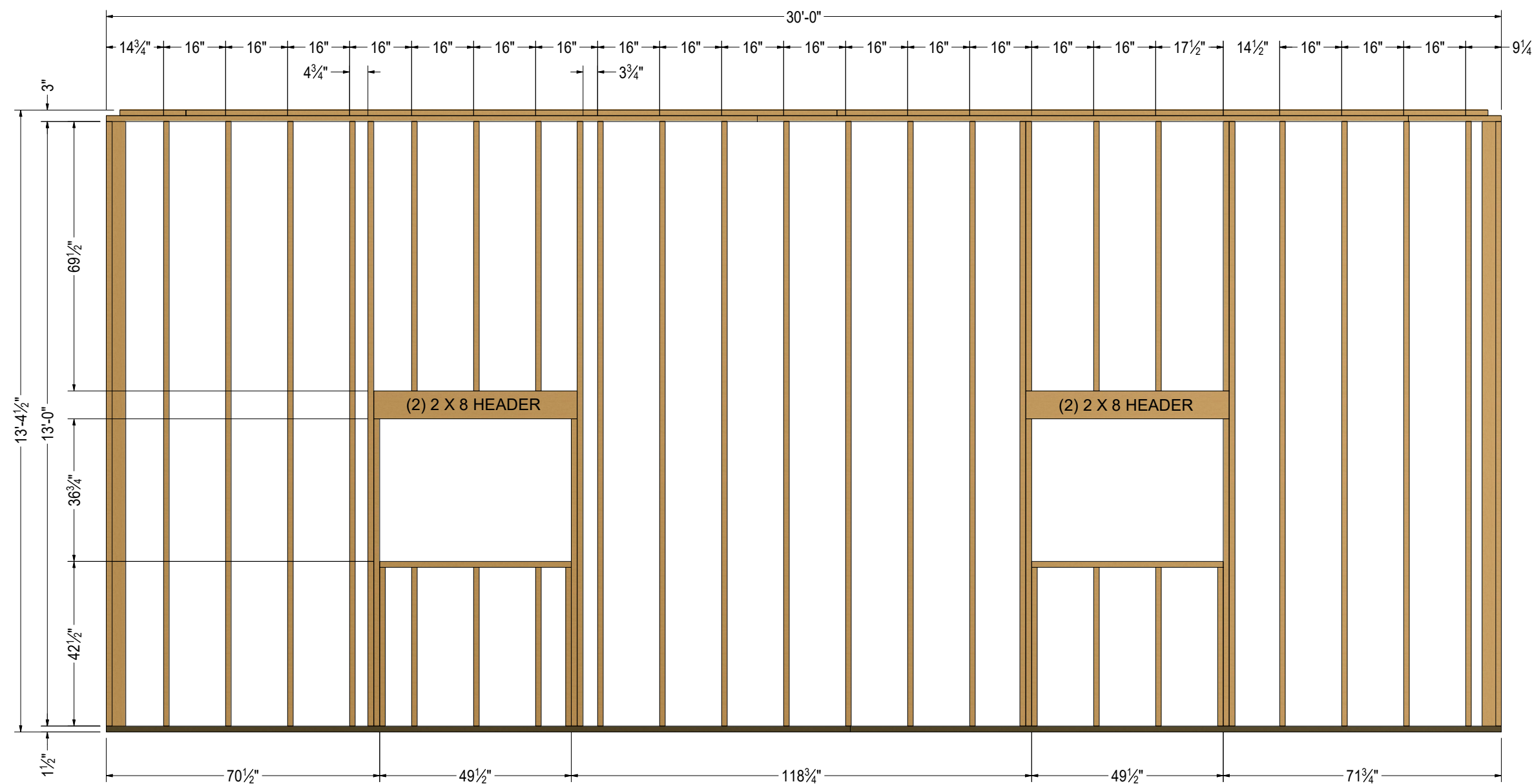
**TYP. CORNER**  
SCALE: 2" = 1'-0"



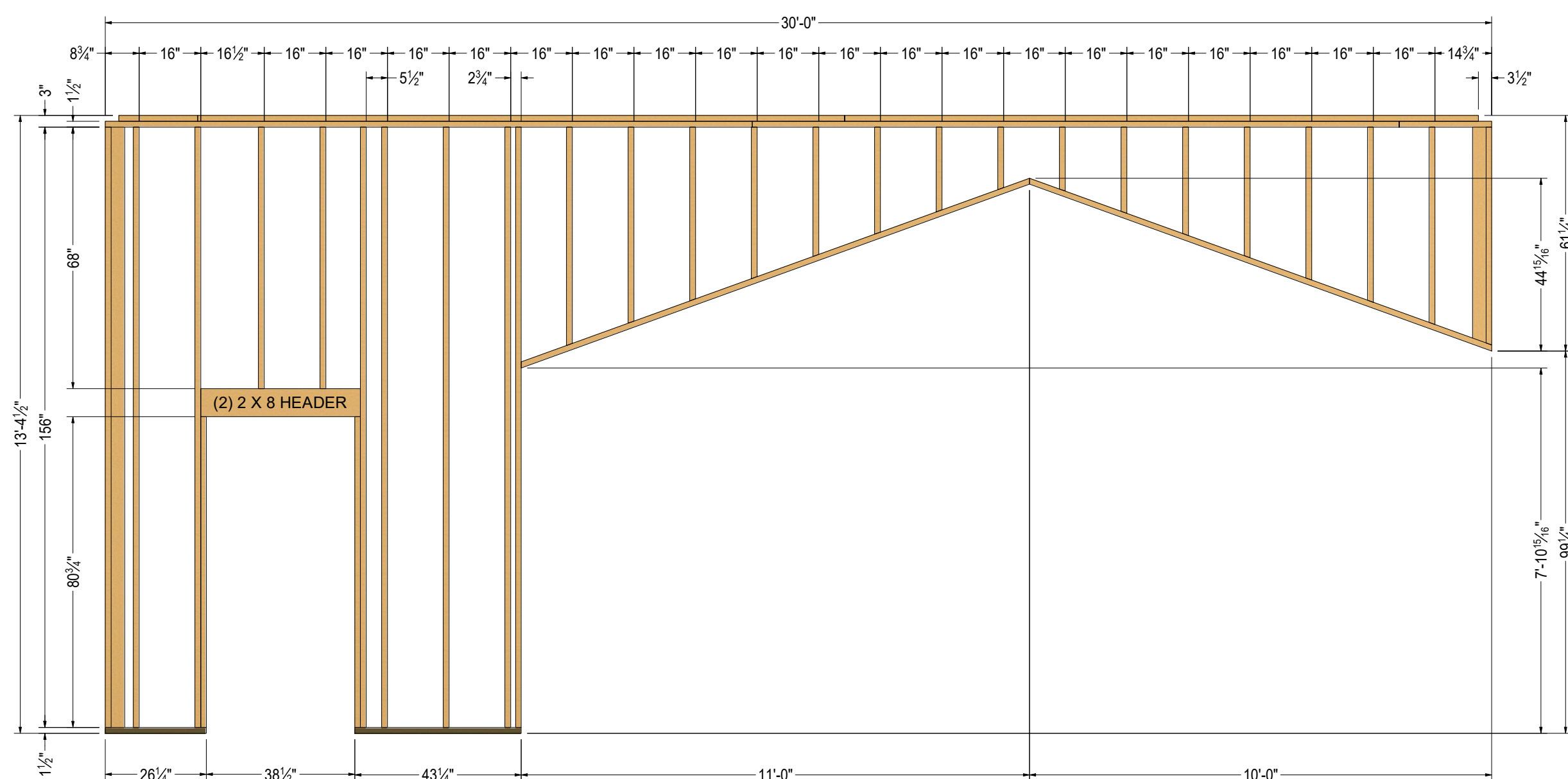
**TYP. CORNER**  
SCALE: 1" = 1'-0"



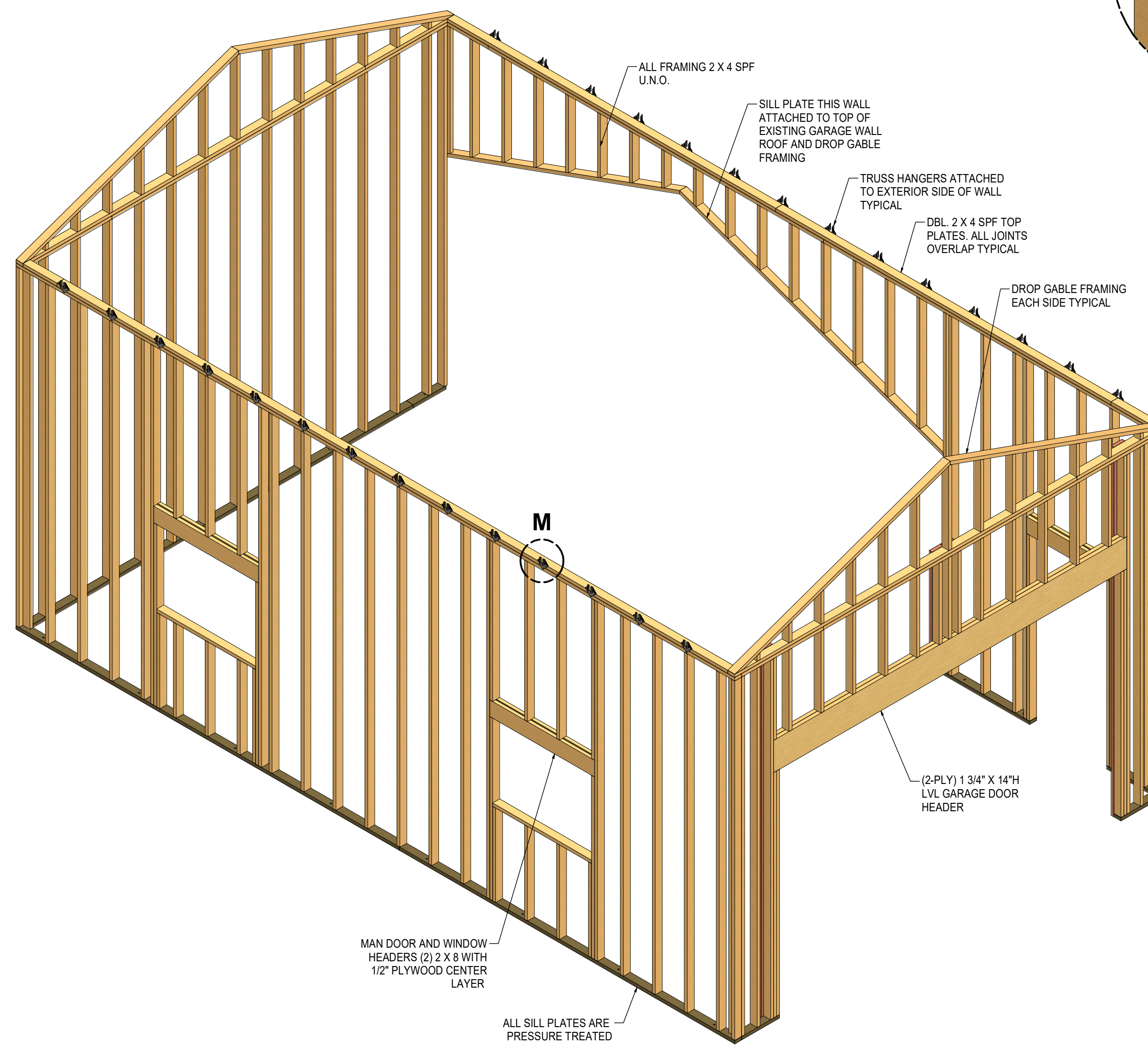
**DETAIL M**  
SCALE: 2" = 1'-0"



**SOUTH WALL FRAMING**  
SCALE: 3/8" = 1'-0"



**NORTH WALL FRAMING**  
SCALE: 3/8" = 1'-0"



**FRAMING ISOMETRIC**  
SCALE: 3/8" = 1'-0"

**PROJECT:**  
**GARAGE ADDITION**  
CEDAR SHORES, OAKLAND COUNTY  
ZONED R1-C, SINGLE FAMILY RESIDENTIAL  
**CLIENT:**  
TODD McGEACHY  
593 BURGESS DRIVE  
WHITE LAKE, MI 48386

MARK:	DATE:	DESCRIPTION:
CDR	2022-09-12	BLDG. DEPT. REVIEW

DRAWN BY: JWT  
CHECKED BY: JWT  
APPROVED BY: TMcGEACHY

**DRAWING TITLE:**  
**WALL FRAMING AND TYP. DETAILS**

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**PROJECT NUMBER:**  
**22-539-001**

**SHEET NUMBER:**

**A1.5**







Rik Kowall, Supervisor  
Anthony L. Noble, Clerk  
Mike Roman, Treasurer



Trustees  
Scott Ruggles  
Liz Fessler Smith  
Andrea C. Voorheis  
Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

September 22, 2022

Todd McGeachy  
539 Burgess Dr  
White Lake, MI 48386

RE: Proposed Attached Garage Addition

Based on the submitted plans, the proposed accessory structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

**Article 3.1.5 of the White Lake Township Clear Zoning Ordinance:** Requires a minimum front yard setback of 35 ft, minimum side yard setback of 10 ft each side and total of 20 ft, minimum lot area of 16,000 sq ft, and maximum lot coverage of 20%.

The existing lot and structure are legal non-conforming. The 14,237 sq ft lot contains a residential structure, covered front porch and shed that do not meet the required side yard and front yard setbacks. The proposed garage addition would add 540 sq ft, have a 9.3 ft front yard setback, 8.3 ft side yard setback on the north side with an existing 2.4 ft setback on the south side, for a total side yard setback of 10.7 ft. Furthermore, based on provided and estimated data from the submitted plans, the lot coverage of all covered structures would be approximately 24.5%.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the October 27<sup>th</sup> Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than September 29<sup>th</sup> at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

***The certified survey will need to be updated to include lot coverage of all covered structures, including sheds and covered porches so the ZBA can make a ruling based on accurate information.***

Sincerely,

Nick Spencer, Building Official  
White Lake Township