



PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383
(FORMER WHITE LAKE LIBRARY)
THURSDAY, APRIL 07, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **APPROVAL OF AGENDA**
5. **APPROVAL OF MINUTES**
 - A. Regular meeting minutes of March 17, 2022
6. **CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)**
7. **PUBLIC HEARING**
8. **CONTINUING BUSINESS**
 - A. **Preserve at Hidden Lake**

Property identified as parcel numbers 12-36-101-001.
Located on the west side of Union Lake Road, and south of Hutchins Road, consisting of approximately 38.33 acres.
Currently zoned (PD) Planned Development.
Requests:
1) Amended final site plan approval
2) Amended planned development agreement approval
Applicant: PH Homes (Craig Piasecki)
8255 Cascade Ave, Suite 110
Commerce Twp, MI 48382
9. **NEW BUSINESS**
 - A. **Oxbow Lake Private Launch Association**

Property identified as parcel number 12-22-279-004, (10193 Highland Road)
located on the south side of Highland Road between Lakeside Drive and Hilltop Drive,
consisting of approximately 1.9 acres. Currently zoned (PD) Planned Development
Requests:
1) Final site plan approval
2) Planned development agreement approval
Applicant: Oxbow Lake Private Launch Association, Inc.
10835 Oxbow Lakeshore Drive
White Lake, MI 48386



10. OTHER BUSINESS

A.

Eagles Landing

Property identified as parcel 12-33-100-008. Located on the east side of Bogie Lake Road, south of Cedar Island. Consisting of approximately 10 acres. Currently zoned (R1-C) Single Family Residential.

Request: **Final site plan extension request**

Applicant: Better Built Homes

Charles Burt

156 East Meadow Circle

White Lake, MI 48383

11. LIAISON'S REPORT

12. DIRECTOR'S REPORT

13. COMMUNICATIONS

14. NEXT MEETING DATE: April 21, 2022 & May 5, 2022

15. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION**

Township Annex, 7527 Highland Road
White Lake, MI 48383
March 17, 2022 @ 7:00 PM

CALL TO ORDER

Chairperson Anderson called the meeting to order at 7:01 PM and led the Pledge of Allegiance. Roll was called.

ROLL CALL

Steve Anderson
Merrie Carlock
Mark Fine
Debby Dehart
Scott Ruggles
Matt Slicker
T. Joseph Seward

Absent: Robert Seeley
Pete Meagher

Also Present: Sean O'Neil, Community Development Director
Lisa Kane, Recording Secretary

Visitors: 4 members of the public were present

APPROVAL OF AGENDA

Commissioner Carlock moved to approve the agenda of the March 17, 2022 Planning Commission Meeting.
Commissioner Fine supported and the **MOTION CARRIED** with a voice vote: 7 yes votes.

APPROVAL OF MINUTES

- a. Regular meeting minutes of February 3, 2022

Commissioner Carlock moved to approve the Minutes of February 3, 2022
Chairman Anderson abstained from the vote.
Commissioner Dehart supported and the **MOTION CARRIED** with a voice vote: 6 yes votes.

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

No members of the public spoke

PUBLIC HEARING

A. 9501 Highland Rezoning Request

Location: Property described as parcel number 12-23-129-007 (9501 Highland Road), located south of Highland Road and east of White Banks Blvd, consisting of approximately 1 acre.

Request: **Applicant requests to rezone the parcel from (LB) Local Business to (GB) General Business.**

Applicant: Black Rock White Lake, LLC
30553 S Wixom Road #300
Wixom, MI 48393

Applicant or representative: None present

Director O'Neil introduced the request for rezoning of a parcel which is adjacent to a parcel that is currently zoned as General Business and also owned by the applicant. The applicant intends to operate a restaurant which serves alcohol on the adjacent property, which is allowed in General Business zoning. This rezoning will allow the applicant to combine all parcels so that they are unified. Rezoning this parcel to General Business brings consistency to the area and avoids spot zoning. Any development on this property would be on the Township's water and sewer system. Underground storm water detention might be a considered by engineering. There is no need for a rezoning traffic study with this request, however, there may be a traffic study required in the Site Plan review. Staff recommends approval of rezoning this parcel as it would be consistent with the future land use map in the Master Plan, which is Planned Business, and would make it compatible with the surrounding use.

Director O'Neil pointed out an error in the review letter from Hunter Whitehill of McKenna, item 5 should read "Rezoning the land to GB (General Business) is more appropriate than amending the list of uses in the LB (Local Business) district".

Public participant #1 asked what Planned Business zoning was used for.

Public participant #2 stated that he believed that Black Rock owns the property to the east of this parcel.

Commissioner Dehart inquired about the zoning of the other parcels that the applicant owns to the west of this parcel.

Director O'Neil explained that the parcel to the east that is owned by the applicant is zoned General Business.

Chairperson Anderson asked if it was known where on the parcel the applicant intends on building the restaurant.

Director O'Neil stated that there has been no official site plan submitted but he understands that they plan to build closer to the corner of Highland and White Banks Blvd.

Commissioner Slicker asked what the total acreage is of all of the parcels.

Director O'Neil stated that he believes it is approximately 3 acres.

Commissioner Seward stated that there was communication that the applicant was not following through with this project.

Director O'Neil stated that he did not receive any official communication from the applicant about discontinuing the project and the last communication that he had with the applicant was that they were actively planning to move the project forward.

Chairman Anderson opened public hearing at 7:24 p.m.

John Hunt of 871 E Oxhill Drive has concerns of parking causing problems at this location and the drainage at the south end of the parcel due to it being a swamp that was filled in with clay years ago. He would like to see that section of the parcel returned to residential.

Ed Blanker of 847 E Oxhill Drive wonders what other businesses might be permitted in this zoning if the applicant doesn't move forward with the project.

Dan Torossian of 860 E Oxhill Dr is also concerned about the drainage issues with the south end of the property if that area is paved. He stated he would be willing to purchase that land to avoid a drainage problem.

Commissioner Anderson closed public hearing at 7:33pm

Director O'Neil listed the uses that would be permitted and the special uses that could be requested, if this rezoning to General Business was approved.

Discussion occurred regarding the buffering that would be required in the site plan should this project move forward and what drainage requirements will be considered.

Chairperson Anderson questioned if whether the applicant not being in attendance would affect the progress of the rezoning request.

Commissioner Seward asked if the parcels had been combined and if a recommendation of rezoning would have negative impacts if the applicant does not follow through with the project or if there is a benefit to leaving it Local Business.

Director O'Neil stated that General Business is a more desirable zoning as there are more extensive uses permitted.

Commissioner Carlock asked if the adjoining parcel to the east should also be rezoned at this time.

Director O'Neil stated that there has been no request by the property owner to rezone that parcel.

Commissioner Ruggles explained the process should the residential neighbors purchase the southern section of the parcel from the current owners and rezone it to residential.

Discussion regarding whether the lot was able to be rezoned as Residential and the process of division and combination of lots.

Director O'Neil stated that the applicants would be encouraged to attend the Township Board meeting on April 19 at 7pm to be available to answer questions from the public.

Commissioner Seward moved forward a favorable recommendation to the Township Board, the rezoning from (LB) Local Business to (GB) General Business for the property described as parcel number 12-23-129-007, (9501 Highland Road) located south of Highland Road and east of White

**Banks Blvd, consisting of approximately 1 acre.
Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (7 yes votes):
(Anderson/yes, Carlock/yes, Dehart/yes, Fine/yes, Ruggles/yes, Seward/yes, Slicker/yes)**

CONTINUING BUSINESS

None

NEW BUSINESS

None

OTHER BUSINESS

None

LIAISON'S REPORT

Commissioner Dehart: Zoning Board of Appeals is planning a special meeting on ordinances; the sign ordinance will be a focus. Feedback was requested from the Planning Commission regarding sign ordinance. The Township Board modified a recommendation from a recent Planning Commission meeting regarding a sign height.

Discussion regarding the consistency of decisions regarding the sign ordinance and necessity for variances to keep the taller height of a sign when modification occur with rebranding.

Director O'Neil suggested that the Zoning Board of Appeals produce a list that states items that need attention for the Planning Commission can review at a later meeting.

Commissioner Carlock: The Parks & Rec Board, Commissioner Carlock wasn't able to attend the last meeting, however, Commissioner Ruggles was present and stated that there were Horse Crossing signs requested of the Road Commission of Oakland County. The Parks & Rec Board could approve a resolution that would be helpful to the process. A resolution would need to be discussed by the Township Board and approval from the Board should help encourage the Road Commission to act on the resolution. The Township Board approved a one-day beer and wine license for the Parks & Rec summer event.

Commissioner Ruggles: The Township Board reviewed the conceptual plan of Pontiac Lake project however the applicants were not present so the review was tabled. The Police Department was approved for new fleet vehicles. Fire Chief John Holland has completely the probationary period and has been approved for a 3-year contract. The purchase of safety equipment, such as defibrillators, by the Fire Department was approved. The Planning Commission recommendation to the Township Board for the Oxbow Lake Private Launch rezoning and site plan was approved. The recommendation by the dangerous buildings officer for the demolition of a residence at 288 Tower Street was approved. The bid was approved for Bob Hoffman's company to proceed with the demolition. Upon inspection of the residence, it was determined that the house could be rehabilitated. Mr. Hoffman's company has purchased the property and will rehabilitate the house. The demolition order was rescinded and Mr. Hoffman was given a timeline to have the rehabilitation complete. There are ongoing negotiations on River Caddis for the Civic Center development.

Commissioner Slicker inquired if the federal Covid funds had been allocated. Director O'Neil stated that the money has been received by the Township but has not been allocated.

PLANNING CONSULTANT'S REPORT

No report

DIRECTOR'S REPORT

Director O'Neil presented that the Parks & Rec Board will begin reviewing their Master Plan update this spring and the Planning Department would begin reviewing the Capital Improvement Plan during the summer and the Future Land Use review would begin in the fall. Mr. O'Neil expects to have a request for proposal to review by May and with the next step being to select a firm and move forward updating Master Plan by fall of 2023. The Elizabeth Lake retail project has no updates to report. The Preserves at Hidden Lake has issues with their site plan and will return to the Planning Commission to request a revised Site Plan review. A project including 406 apartment units and 88 single family residential units at Hill Road and Highland Road is making progress. Comfort Care will likely return at an April meeting with modifications to their site plan which reduced the impact and density. New Hope White Lake will be opening with residents moving in soon. The old Sonic restaurant has been demolished and a mattress store and a Moe's Southwest restaurant will be built on that parcel.

COMMUNICATIONS

Nothing to share

NEXT MEETING DATES: April 7, 2022
April 21, 2022

ADJOURNMENT

Commissioner Fine moved to adjourn the meeting at 8:20 p.m.
Commissioner Carlock supported and the MOTION CARRIED with a voice vote: 7 yes votes

Director's Report

Project Name: Preserve at Hidden Lake

Description: Final site plan and planned development agreement approval

Date on Agenda this packet pertains to: April 7th, 2022

- Public Hearing

 Special Land Use
 Initial Submittal

 Rezoning
 Revised Plans

 Other: PDA
 Preliminary Approval
 Final Approval

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Planning Director	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Subject to all staff and consultant review comments being addressed.
DLZ	Engineering Consultant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/30/22
Justin Quagliata	Staff Planner	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/30/22
Aaron Potter	DPS Director	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 02/16/22
Lisa Hamameh	Township Attorney	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/30/2022



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

March 30, 2022

Sean O’ Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: **Preserve at Hidden Lake** - Revised FSP Review #7

DLZ# 1845-0886-00

Dear Mr. O’ Neil,

We have completed our review of the revised Final Site Plan for the above-mentioned project. Plans were prepared by Kieft Engineering and are dated March 15, 2022. The submittal requests the following waivers as listed below:

Rear setback from Arcadia Lane

Unit 69-22.1’ Unit 72-25’
Unit 70-29.3’ Unit 73-23.3’
Unit 71-26.2’ Unit 74-28.4’

Rear setback from Union Lake Rd

Unit 89-25’

Portion of rear patios located in storm sewer easement

Unit 70 – 0.9’ and 2.7’ Unit 71 – 6.1’ Unit 72 – 7.1’ Unit 73 – 8.6’ Unit 74 – 4.9’
Units 89 through 94 - 5’

Lake Units: Approved by the WLT Board 1/18/2022 Building envelope/back of house will be a minimum of 25’ from the water’s edge. Decks will be a maximum of 12’ in the 25’ setback only if necessary.

Units 22,23,25,27, 31-46

We offer the following comments with respect to the submitted plans:



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Preserve at Hidden Lake- Revised FSP – Review.07

March 30, 2022

Page 2 of 4

Please note that comments from our February 16, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

Final Site Plan (FSP) Comments:

General

1. *Setbacks noted on the Final Site Plan and Final Engineering Plan shall also match and be noted on the Exhibit B documents for Phases 2-4. Comment will be reviewed on the Exhibit B drawings for consistency. See attached markups of final site plan that indicate a few areas where the setbacks may require clarification. Comment regarding setbacks clarification has been addressed on the Final Site Plan. The Exhibit B drawings to the Master Deed will need to be updated to coordinate with the Final Setback variances allowed by the Township.* **Comment outstanding. The design engineer indicates in their March 14, 2022 response letter that the Exhibit B plans have now been revised. Our comment refers to the Exhibit B to the Master Deed and not the Exhibit B of the PDA. A revised copy of the Exhibit B to the Master Deed shall be required to be submitted for review.**
2. *With respect to the following setback requests, the setback deficiencies noted do not impact any engineering items: Rear setback from Arcadia Lane, Rear setback from Union Lake Rd, and Side yard setback from Hutchins Rd. We defer to the Township for further comment relative to Planning concerns.* **Comment remains as a notation.**
3. *With respect to the rear patios located in storm sewer easements, we assume the patios shall be concrete and that the proposed patios should cause minimal impact with respect to the location of the storm sewer since supports (as in deck construction) are not involved as part of patio construction. It shall be noted that the storm sewer will be privately maintained by the association and any maintenance that involves damage to patios will need to be addressed by the association; DLZ recommends clarification within an amended development agreement and Master Deed that clarifies the Township will be held harmless for potential damage to patios within the storm sewer easement should the Township exercise its right to maintain/repair/replace the storm system per the standard stormwater maintenance agreement.* **Comment outstanding. The amended PDA now contains some language with reference to the above comment, however the language is incomplete. Please reference our PDA review letter dated March 30, 2022 for further comment.**

We also request that a copy of the Master Deed be submitted that contains updated language relative to the Township being held harmless for potential damage to patios within the storm sewer easement should the Township exercise its right to maintain/repair/replace the storm system per the standard Stormwater Management Agreement.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Preserve at Hidden Lake- Revised FSP – Review.07

March 30, 2022

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4. *With regard to decks proposed in the 25' rear setback for Units 22,23,25,27, and 31-46, the 25' rear building setback and building envelope is now shown as measured from the retention basin HWL mark. We have reviewed the deck locations proposed in the 25' setback and have no concerns with respect to site engineering. We defer to the Township for further comment relative to Planning concerns. **Comment remains as a notation.***

Comments that will Need to be Addressed on Final Engineering Plan (FEP):

General

1. *The updated Landscaping Plan will need to include sanitary sewer, storm sewer, and watermain locations. Comment partially addressed. It appears that the water and sanitary sewer lead locations are now shown but not the storm sewer. The lead locations will need to be darker as they are difficult to see on the Landscape Plans. Additionally, there are many locations where street trees are proposed to be planted directly over leads; the trees proposed near the watermain stub to Kettering Street will also need to be planted outside the influence of the watermain. Comment outstanding. No landscape plans were included with the current submittal. The Landscape Architect will need to submit revised plans for our review for planting conflicts relative to utilities. Comment remains outstanding. Note that landscaping cannot conflict with proposed utility locations. Our office to date has not received revised landscape plans; this item was requested in our review letter dated July 26,2021. **A revised landscape plan dated March 16, 2022 has been received by our office. We note that there are a large number of trees proposed to be planted directly over or within 10' of proposed storm sewer, sanitary sewer, and water main. Township Engineering design standards indicate that if street trees are required, they shall be placed as far from the utilities as possible, but in no case less than 3' from the utility. Please review the attached landscape plan markups and revise as necessary.***

Recommendation

The setback variances requested do not impact the site from an engineering standpoint, DLZ recommends approval of the revised Final Site Plan (FSP) subject to Township Planning Department concurrence from a planning perspective. The Exhibit B drawings will need to be updated to match the setbacks as approved. DLZ recommends an amended Development Agreement and Master Deed be provided clarifying the Township will be held harmless for damage to patios because of maintenance to the storm sewer.

The Final Engineering Plans (FEP) continue to be acceptable subject to the above noted revisions to the landscape plans being made, submitted to, and reviewed by our office.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Preserve at Hidden Lake- Revised FSP – Review.07

March 30, 2022

Page 4 of 4

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

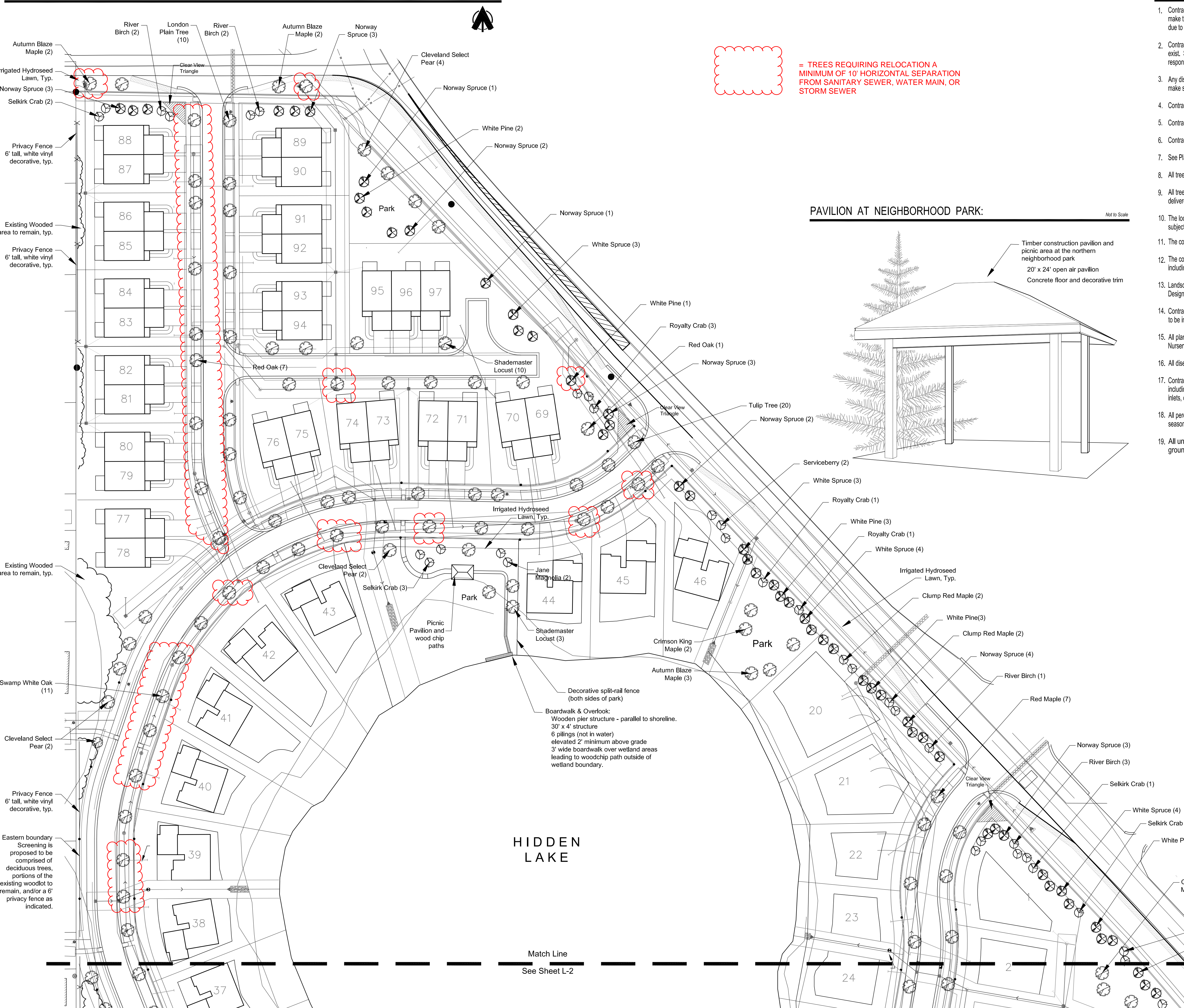
Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

cc: Justin Quagliata, Community Development, *via email*
Hannah Micallef, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*

Enc. Redlined Landscape Planting Plan dated March 16, 2022

X:\Projects\2018\1845\088600 White Lk Twp Prese\Revised FSP Review.07\Revised FSP Review.07.docx



- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions to be approved by the Owners Representative prior to being delivered to site. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The location of all plant material shall be scaled from drawings or interpreted from plant list. Final location of all plant material shall be subject to approval from the Owner's Representative.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- The contractor shall guarantee all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- Landscape Contractor shall install an automated irrigation system at all common area, frontage, park and entrance lawn areas on a Design/Build basis.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds unless otherwise indicated. Peat Moss is to be installed in all annual flower, perennial flower and ground cover planting beds. Such beds shall have no shredded mulch, typ.
- All plant material shall be nursery grown. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- All diseased, damaged, or dead landscape material shall be replaced by the end of the following growing season.
- Contractor shall adhere to all soil erosion prevention methods as directed within civil engineering drawings and Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- All perennials and ornamental grasses shall be planted on close centers so as to form a single mass appearance within one planting season.
- All unpaved areas within impacted development zones to be hydro-seed lawn areas, mulch beds or groundcover, typ.



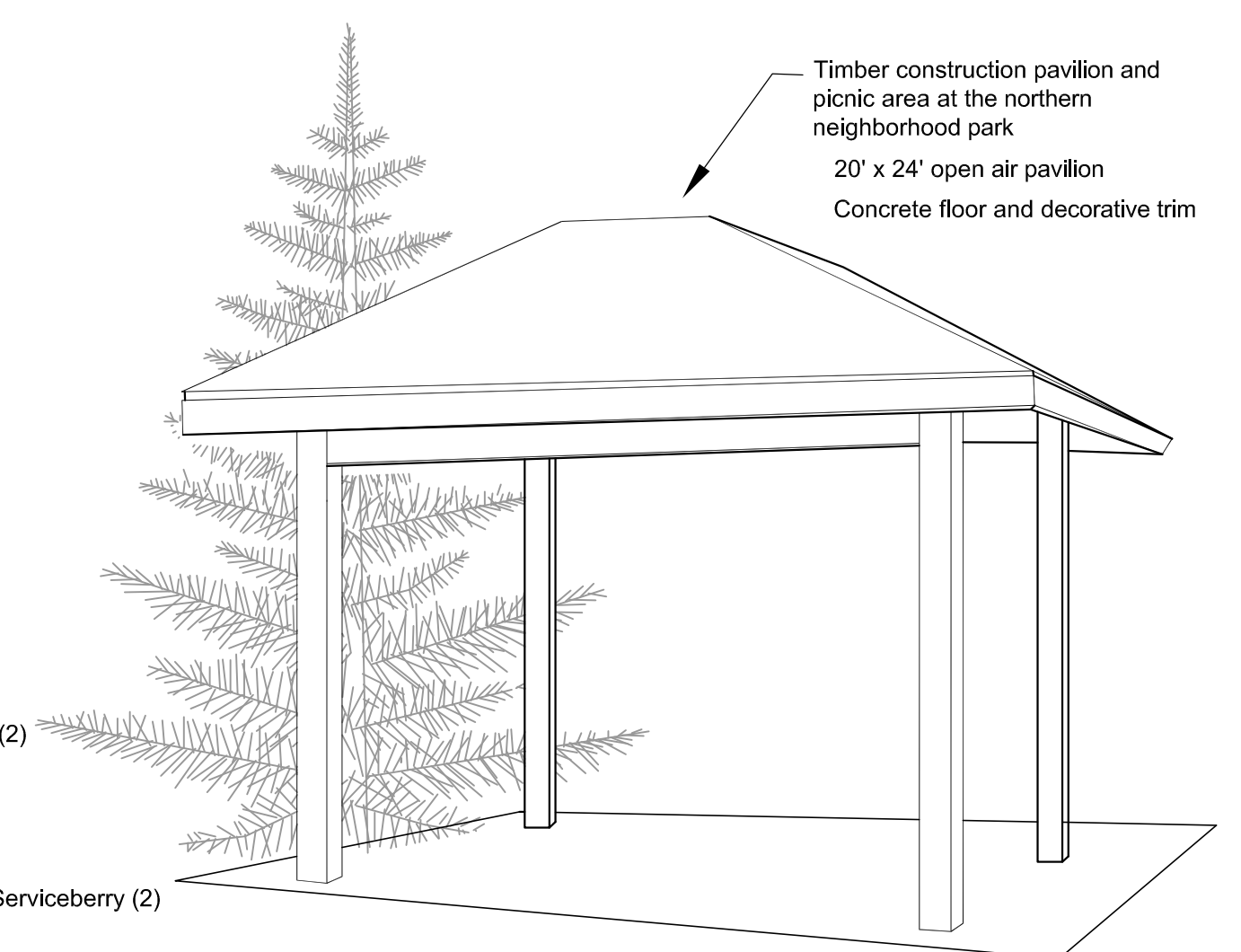
J EPPINK PARTNERS, INC
 Urban Design Studio

Urban Retail Design
 Landscape Architecture
 Traditional Town Planning

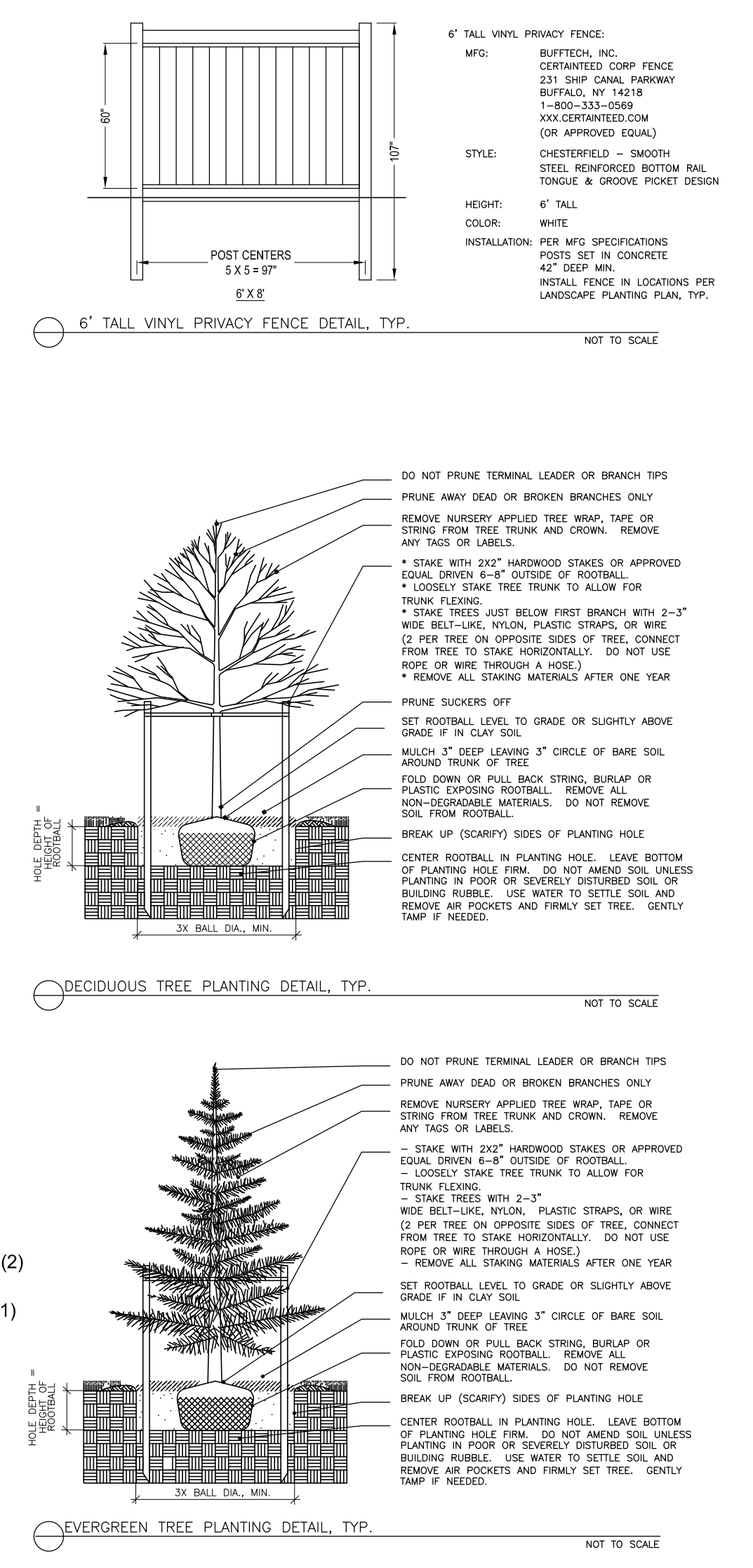
9336 Sashabaw Road
 Clarkston, Michigan 48348
 248.922.0415 fax
 248.922.0789

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PAVILION AT NEIGHBORHOOD PARK:



FENCE & PLANTING DETAILS:



Project:
Preserve at Hidden Lake
 White Lake, Michigan

Owner:
Preserve at Hidden Lake, LLC
 8255 Cascade Avenue, Suite 110
 Commerce Twp, Michigan 48382

Sheet:
Landscape Planting Plan

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
SUBMISSION UPDATE	03-16-22

Drawn by:
 JJS

Checked by:
 JTE

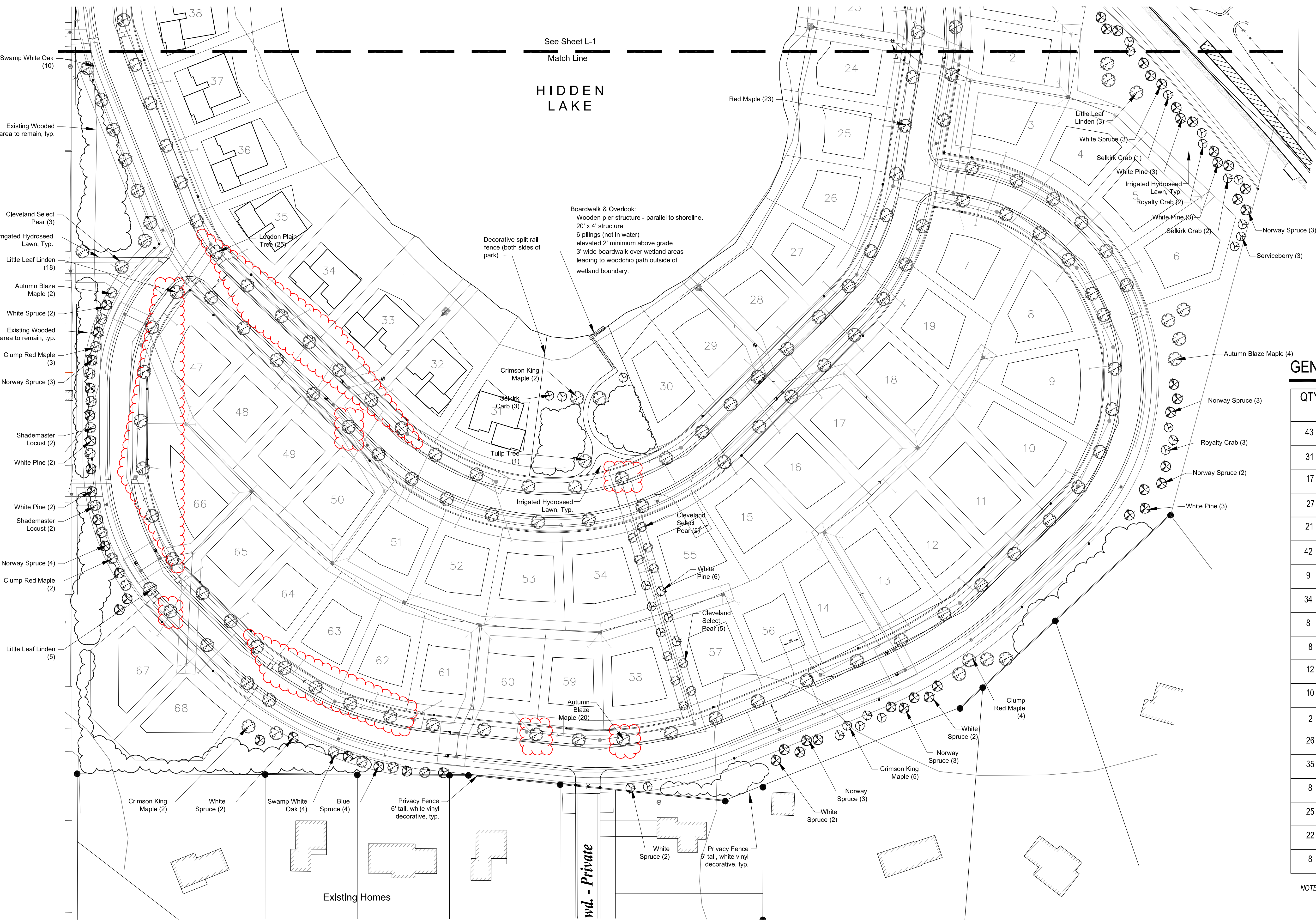
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 November 16, 2021

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Sheet:
L-1



Urban Retail Design
Landscape Architecture
Traditional Town Planning
9336 Sashabaw Road
Clarkston, Michigan 48348
248.922.0415 fax
248.922.0789



GENERAL AREA PLANT LIST:

QTY.	DESCRIPTION	SIZE / ROOT
43	Picea abies Norway Spruce	8', B&B
31	Picea glauca White Spruce	8', B&B
17	Gleditsia triacanthos Shademaster Locust	2-1/2" cal., B&B
27	Pinus strobus White Pine	8', B&B
21	Pyrus callaryana Cleveland Select Pear	2-1/2" cal., B&B
42	Acer rubrum Red Maple	2-1/2" cal., B&B
9	Acer rubrum 'multi-stem' Clump Red Maple	2-1/2" cal., B&B, multi-stem
34	Acer rubrum 'Autumn Blaze' Autumn Blaze Maple	2-1/2" cal., B&B
8	Acer plantanoides Crimson King Maple	2-1/2" cal., B&B
8	Amilanchier Serviceberry	8', B&B
12	Malus 'Selkirk' Selkirk Crab	2-1/2" cal., B&B
10	Malus 'Royalty' Royalty Crab	2-1/2" cal., B&B
2	Magnolia, spp. Jane Magnolia	5', B&B
26	Tilia cordata Little Leaf Linden	2-1/2" cal., B&B
35	Plantanoidus occidentalis London Plain Tree	2-1/2" cal., B&B
8	Quercus rubra Red Oak	2-1/2" cal., B&B
25	Quercus bicolor Swamp White Oak	2-1/2" cal., B&B
22	Liriodendron tulipifera Tulip Tree	2-1/2" cal., B&B
8	Betula nigra River Birch	2-1/2" cal., B&B, multi-stem

NOTE: All Single Family, Two Family Attached and Multi Family homes will be landscaped to include a minimum of front foundation landscape plantings, 1 shade and 1 flowering trees, and will have a hydroseed or sod lawn, typ.

Project:
Preserve at Hidden Lake
White Lake, Michigan

Owner:
Hidden Lake, LLC
8255 Cascade Avenue, Suite 110
Commerce Twp, Michigan 48382

Sheet:
Landscape Planting Plan

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
SUBMISSION UPDATE	3-16-22

Drawn by:
JJS

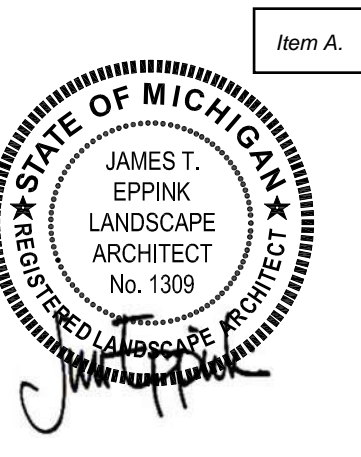
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JTE

Date:
November 16, 2021

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J EPPINK PARTNERS, INC
Urban Design Studio

Urban Retail Design
Landscape Architecture
Traditional Town Planning
9336 Sashabaw Road
Clarkston, Michigan 48348
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248.922.0789

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Project:

Preserve at Hidden Lake

White Lake, Michigan

Owner:

Preserve at Hidden Lake, LLC

8255 Cascade Avenue, Suite 110
Commerce Twp, Michigan 48382

Sheet:

Landscape Planting Plan - Duplex & Townhouse Units

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
LANDSCAPE UPDATE	12-7-21
SUBMISSION UPDATE	3-16-22

Drawn by:

JJS

Checked By:

JTE

Date:

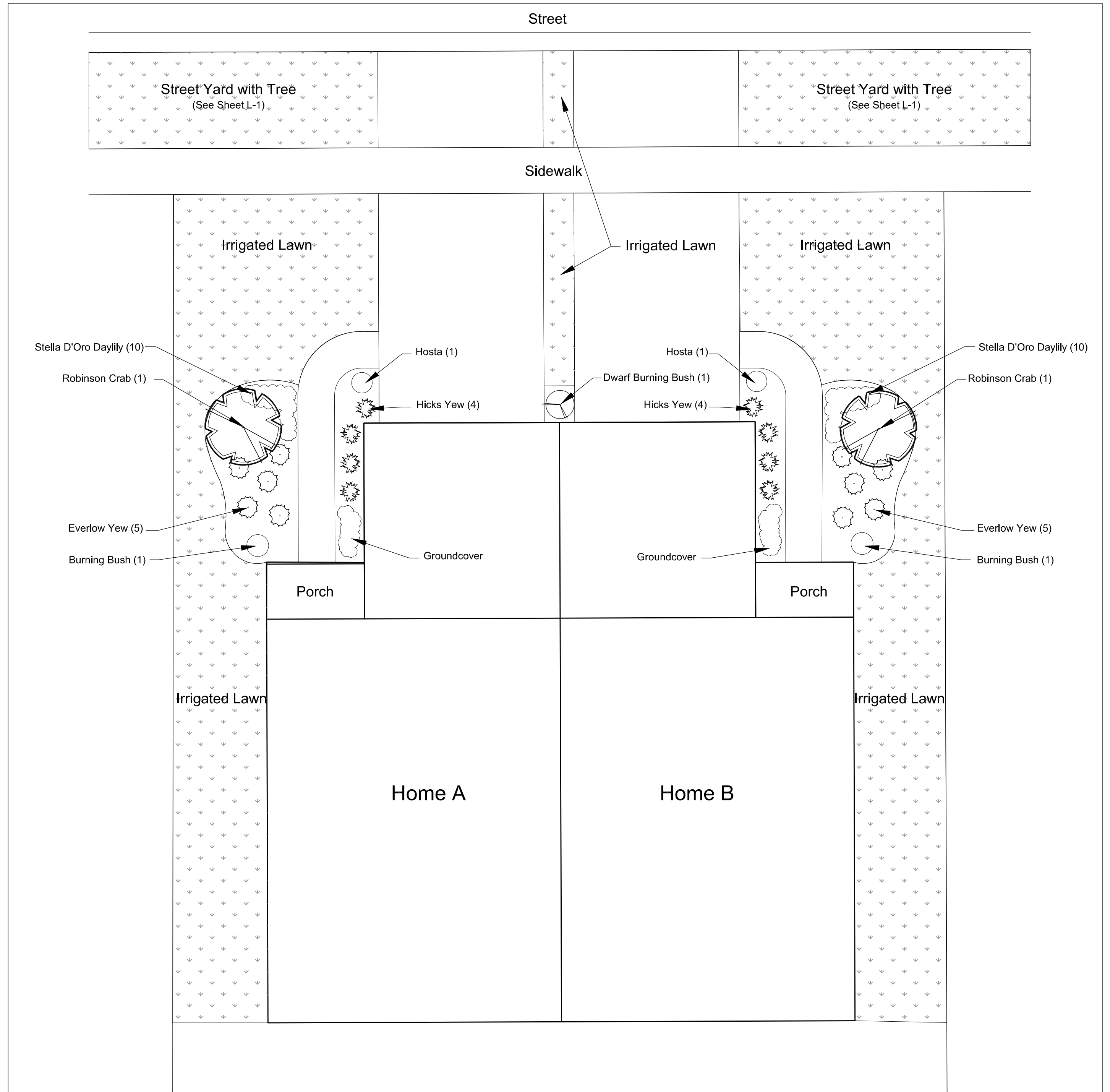
November 16, 2021

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DUPLEX PLANT LIST:

QTY.	DESCRIPTION	SIZE / ROOT
2	Malus 'Robinson' Robinson Crab	2" cal, B&B
3	Eunoymus alatus compactus Dwarf Burning Bush	30-36", B&B
10	Taxus Densa 'Everlow' Everlow Yew	30-36", B&B
8	Taxus Hicksii Hicks Yew	30-36", B&B
20	Hemerocallis 'Sella D'Oro' Stella D'Ora Daylily	1 gal, Container
2	Hosta, spp. Hosta	2 gal, Container

*Typical plant list per 2 unit residential building.
Final landscape planting plan and plant list will vary from building to building in order to provide design and plant material variety.*





INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

March 30, 2022

Sean O' Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Preserve at Hidden Lake – Planned Development Agreement –First Amendment- 4th Review

DLZ Job No. 1845-0886-00

Dear Mr. O' Neil,

The applicant is proposing a 68 unit detached single family and a 29 unit attached single family development on a 37.99 acre parcel located off Union Lake Road. This is the fourth review of the first amendment to the original PDA documents that were prepared for Preserve at Hidden Lake, LLC. and were submitted to this office on March 17, 2022 via Dropbox.

The following items were submitted as part of this review:

- Draft PDA Agreement- First Amendment- Revised – Marked Up -dated March 16, 2022
- Draft PDA Agreement- First Amendment- Revised – Clean copy -dated March 16, 2022
- Final Site Plan- dated March 15, 2022- as Exhibit 1
- Overall Hidden Lake Unit Setback Clarification Plan dated March 15, 2022- as Exhibit 1
- Exhibit 2- Development Schedule- updated

We offer the following comments for your consideration:

Please note that comments from our March 11, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

General

1. *The revised Final Site Plan is currently under review by our office. Since the approved revised Final Site Plan will be Exhibit 1 for the above PDA amendment, the PDA amendment approval will need to be conditioned on approval of the revised Final Site Plan. We have since reviewed and approved the Final Site Plan. Please refer to the FSP Review Letter #5 dated July 26, 2021 for comments and context*



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Preserve at Hidden Lake PDA – Review .04

March 30, 2022

Page 2 of 4

regarding the Final Site Plan dated July 9, 2021. Comment outstanding. The Final Site Plan dated February 2, 2022 has been provided with this PDA submittal. However, comments from our FSP review letter dated February 16, 2022 will need to be addressed on the final site plan. **Comment addressed. Comments from our February 16, 2022 review letter have been provided. Please refer to our Final Site Plan review letter dated March 30, 2022.**

2. *It is not clear as to whether the Final Site Plan or the Overall Hidden Lake Unit Setback Clarification Plan dated February 2, 2022 is considered Exhibit 1 of the PDA document. This will need to be clarified. It is recommended that both documents be attached to the PDA document as separate exhibits. Comment outstanding. Both the Final Site Plan and the Overall Hidden Lake Setback Clarification Plan are now labeled as Exhibit 1. We continue to recommend these two plans be labeled as separate Exhibits 1 and 2.*
3. *The following items within the PDA document shall be required to be addressed:*
 - a. *Recitals- C.- Change date to January 18, 2022. Comment addressed.*
 - b. *Article 1.4- First paragraph- Add the following language to the last line in the paragraph: " ..., as set forth on the Final Site Plan and the Overall Hidden Lake Unit Setback Clarification Plan." Comment outstanding. The 'Overall Hidden Lake Unit Setback Clarification Plan' language shall be included in the last sentence of the paragraph as well as the previous sentence of the same paragraph (Paragraph 1).*
 - c. *Article 1.4- The table provided summarizes the setbacks for Units giving a range of setback numbers. The table shall list each individual unit number and the specific setback associated with that unit. Note also that the rear patio encroachment for Unit 70 appears to be 4.4'. Please verify. Comment addressed. A detailed table is now provided within the document.*
 - d. *Article 1.4- Second paragraph, first sentence shall read as follows: "... of each residence **that is located on Hidden Lake will be a ...**" Comment outstanding.*
 - e. *Article 1.4-Second paragraph, second line- Clarify the intent behind the 25 foot minimum setback and qualify it to the free board elevation of 942.30 (NAVD 88). Comment addressed. Language has now been added qualifying the 25' setback to the free board elevation.*
 - f. *Article 1.4- Second paragraph, sixth line- revise the following language: "...successive 100-year storm events before water reaches the finish floor elevation of the lowest walkout basement proposed for Units 20-46..." Comment rescinded. Language pertaining to this comment has been removed.*
 - g. *Article 1.4- Second paragraph-ninth line- clarify which units a boulder wall may be required on i.e., on Units 20,23-26,29,31-35,37, and 44, if necessary..." Comment rescinded. Language pertaining to this comment has been removed.*

- h. Article 1.4- Second paragraph- ninth and tenth lines- add the following language: “..., to maintain the 25 foot distance **from the retention pond freeboard elevation of 942.30 and shall pump...**”
Comment rescinded. Language pertaining to this comment has been removed.
- i. The document shall contain language for Units surrounding the pond stating that post construction of lots that an as-built drawing of each lot shall be submitted to the Township showing that the walkout elevations for these lots are within acceptable tolerances of the approved individual plot plans. **Comment outstanding; this language shall be required.**
- j. Article 2.5- This article shall contain language per Comment 3 of our Final Site Plan review letter dated February 16, 2022 stating that clarification shall be made that the Township will be held harmless for potential damage to patios within the storm sewer easement should the Township exercise its right to maintain/repair/replace the storm system per the standard Stormwater Maintenance Agreement. **Comment outstanding. The above underlined language shall be included in this section of the PDA document.**
- k. Recitals Item E & Item 3- The reference to ‘Site Plan No.2’ is unclear. Is this a reference to the modified plan indicating the unit setbacks or is this the Final Site Plan? See comment 2. above. **Comment outstanding. Exhibit 1 is labeled currently as the ‘Overall Final Site Plan’ and ‘Overall Hidden Lake Unit Setback Clarification Plan.’ If Site Plan No. 2 is referring to the above two plans, then either the language in the PDA document should specify these plans (‘Overall Final Site Plan’ and ‘Overall Hidden Lake Unit Setback Clarification Plan’) or the actual plans shall be labeled as ‘Site Plan No. 2’ and the labels changed on the actual plans.**
- l. Exhibit 2- Development Schedule shall be updated to reflect the current timing for the different incomplete phases. **Comment addressed. Development Schedule has now been updated.**
5. Unit Setback Clarification Plan- Sheet 1 indicates a 21 foot setback for Unit 78 while Sheet 4 shows a setback of 37.3’ to the ROW line. Please clarify. **Comment addressed.**
6. Unit Setback Clarification Plan- Sheet 1- Revise the unit numbers for statement regarding boulder walls to: Units 20,23-26,29,31-35,37, and 44. **Comment addressed.**
7. We recommend the developer explore reducing the front yard setback for Units 69/70 from the current 26.8’ to the minimum 25’; this would reduce the storm sewer easement encroachment of the concrete patio in the rear yard by approximately 2’. **Comment addressed.**
8. The design engineer shall also sign plan in addition to sealing. **Comment addressed.**
9. Article 1.4, second paragraph, last sentence states that the Association, its successors and assigns shall be required to take whatever action is necessary to alleviate flooding. This statement shall be quantified in terms of what is meant by ‘flooding.’ In addition, language shall be included as to how flooding shall be alleviated i.e., a list of solutions to alleviate flooding.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Preserve at Hidden Lake PDA – Review .04

March 30, 2022

Page 4 of 4

Recommendation-

There remain a few items that shall be clarified prior to final approval, with the successful resolution of these items it will be DLZ's recommendation to approve the PDA Amendment.

If you have any questions, please feel free to contact us.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Attachments: DLZ Final Site Plan review letter dated March 30, 2022

Cc: Aaron Potter, DPS Director, *via email*
Hannah Micallef, Community Development, *via email*
Lisa Hamameh, RSJA Law, *via email*

X:\Projects\2018\1845\088600 White Lk Twp Prese\Acceptance and Closeout Documents\PDA Review\1st Amendment to PDA-Review.04\Review.04.docx

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O’Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: March 30, 2022

RE: Preserve at Hidden Lake
Final Site Plan and Development Agreement – Amendments

Craig Piasecki, on behalf of Preserve at Hidden Lake, LLC, submitted a letter dated February 9, 2022 requesting an amendment to the Preserve at Hidden Lake final site plan (FSP). When the letter was submitted, it accompanied a different version of an amended FSP. Some of the listed waivers have been modified based on subsequent revisions to the plan. When the FSP and development agreement were amended in Spring 2021 and January 2022, all of the setback waivers for the attached units were not identified on the plans or contemplated by the Planning Commission and Township Board. The amended FSP (Spring 2021) allowed the following setbacks for the duplex/triplex units:

- Front Setback: 25 feet minimum (to sidewalk except Unit 78 – 21 feet to R.O.W.)
- Rear Setback: 30 feet (except Unit 89 – 25 feet)
- Side Yard Setbacks: 10 feet each (total 20 feet)

Unit 88 was allowed a 25-foot setback from Hutchins Road and Unit 94 was allowed a 15-foot setback from Arcadia Lane (both dimensioned on the previously amended FSP). The submitted plans renumber Unit 77 and Unit 78 (for Building 8 the previous plans identified Unit 77 as the northerly unit and Unit 78 as the southerly unit). The southerly unit of Building 8 received a nine-foot front setback waiver. On the revised plans the southerly unit of Building 8 has a 28-foot front setback, which complies with the 25-foot setback requirement allowed by the original development agreement. The developer’s letter requesting waivers stated Unit 88 would have a 25.4-foot setback from Hutchins Road and Unit 89 would have a 25-foot setback from Hutchins Road. Unit 89’s setback from Hutchins Road was previously noted on the amended FSP approved in Spring 2021. The previous plan dimensioned the Unit 88 setback from Hutchins at 25 feet; the current plans show a 0.4-foot increase in setback.

Currently the applicant is requesting waivers for the duplex unit setbacks from Arcadia Lane (note the plan measures setbacks from Arcadia Lane to the north side of a boulder retaining wall):

- Unit 69: 22.1-foot setback
- Unit 70: 29.3-foot setback
- Unit 71: 26.2-foot setback
- Unit 72: 25-foot setback
- Unit 73: 23.3-foot setback
- Unit 74: 28.4-foot setback

According to Sheet 4 of 4 of the added plans to the FSP, 12 patios on the rear of duplex units encroach into the storm sewer easement. Based on the developer’s letter requesting waivers (which utilized a previously submitted amended FSP which has since been revised), 11 units need the aforementioned waiver (Unit 69 being the difference between the two documents). The zoning ordinance states “In no instance shall a deck, porch, patio or paved terrace be located in any recorded easement...” Based on the developer’s letter and revised plans, waivers are being requested to allow the following patio encroachments into the easement:

- Unit 70: 2.7-foot encroachment
- Unit 71: 6.1-foot encroachment
- Unit 72: 7.1-foot encroachment
- Unit 73: 8.6-foot encroachment
- Unit 74: 4.9-foot encroachment
- Unit 89: 5-foot encroachment
- Unit 90: 5-foot encroachment
- Unit 91: 5-foot encroachment
- Unit 92: 5-foot encroachment
- Unit 93: 5-foot encroachment
- Unit 94: 5-foot encroachment

Staff is concerned about the patio encroachment into the storm sewer easement. Maintenance activities within the easement could potentially damage patios in the vicinity. For example, the Unit 89 patio is located only three feet from a catch basin. While the storm system is private and must be maintained by the condo association (after assignment by the developer), if the association fails to maintain the storm sewer and the Township exercises its right to maintain/repair/replace the system as outlined in the development agreement and master deed, correcting resulting damage to private patios should not be the responsibility of the Township. Hold harmless language was added to the development agreement for “the placement of decks and/or patios within the storm sewer easement.” Hold harmless language is subject to approval by the Township Attorney. However, as currently written, the language does not describe the aforementioned maintenance/repairment/replacement activities. Such hold harmless language would also need to be incorporated into an amended master deed.

There is an alternative to remove the patios from the rear of units where encroachment into the storm sewer easement is proposed. The patios in question could potentially be relocated to the sides of units and/or reduced in size.

Landscape Plan Amendment

An amended landscape plan dated November 16, 2021 (revision date March 16, 2022) was submitted. The plan was revised based on the site layout adjustments presented in Spring 2021. A typical foundation planting plan for attached units shows landscaping around sidewalks from the driveways leading to front porches of the units. Following are comments on the plan for consideration by the Planning Commission. Approval of the amended FSP subject to staff and consultant comments would make these items required.

- There are labels identifying a certain number of plantings with inconsistent symbols for those plantings depicted on the plan. Revise accordingly.
- White Pine shall be replaced with a different species of evergreen tree.
 - The zoning ordinance prohibits White Pine species. Revise accordingly.
- Street trees species shall alternate every other tree. Revise accordingly.
- Provide three (3) additional street trees west of Ander Lane.
- Provide one (1) additional street tree east of Ander Lane.
- Provide one (1) additional street tree east of the Unit 96 driveway.
- Provide two (2) additional street trees south of Arcadia Lane.
- Provide three (3) additional evergreen trees at the east end of Arcadia Lane.
- Provide four (4) additional evergreen trees east of the Unit 97 patio along Union Lake Road.
- Provide five (5) additional evergreen trees west of Unit 95 (east of storm easement).
- Provide four (4) additional evergreen trees southeast of Unit “78.”
 - Sheet L-1 reverses the unit numbers for 77 and 78. Revise accordingly.
- Add plan note: “Tree stakes, guy wires and tree wrap are to be removed after 1 year.”
- Note 14 mentions mulch. The zoning ordinance states the mulch product itself shall be at least doubled-shredded quality. Revise accordingly.
- Where the plan and Landscape Planting Notes indicate hydroseed, sod shall be required.
 - Areas identified as common area, frontage (Hutchins and Union Lake Roads), entrance, and park lawn shall be sod.
- An irrigation plan was not provided.

Development Agreement Amendment

On March 16, 2022 the Developer submitted a revised amendment to the development agreement. This amendment was intended to include acceptable language addressing the retention basin issues as well as the most recent request, which includes several units not meeting approved setbacks and patios being located within storm sewer easements. As previously described, the hold harmless language related to placing patios in a storm sewer easement does not provide any protection for Township activities in the easement.

Article 1, Section 4 of the development agreement is replaced in its entirety by the proposed amendment. The front setback modification remains consistent with the original agreement. Waivers previously described in this memorandum are identified in this section of the development agreement. Proposed language referring to “Excepted Lake Units” could be interpreted to provide an exemption from the established setback line (1-foot freeboard elevation of 942.30 feet) for buildings on said “lake” Units. Revisions to this language are required to clarify the intent of the provision.

As previously stated, this amendment was intended to include acceptable language addressing the retention basin issues. Language was proposed stating whatever action is necessary to alleviate flooding is required. No method(s) of mitigation were proposed. When the Township Board discussed this matter on January 18, 2022 it directed the Developer to present a plan to staff and consultants for review. Since the meeting, no communication regarding this matter has been received from the Developer or his engineer. It was previously noted by the Developer water would be pumped out of the retention basin for irrigation of front entrance landscaping and unit landscaping. Such irrigation would not produce a decrement in the retention basin resulting from flooding. Augmentation of the basin elevation due to flooding may necessitate abatement by some method of pumping more extensive than irrigation. There is also no definition for “flooding” of the basin. Furthermore, the banks of the retention basin are at the roads which ring the basin; language referring to banks of the basin must be removed from the amendment. It could be interpreted the basin is currently flooded because the water level has exceeded the two, 100-year flood elevation. In November 2017 the wetland was 6.38 acres in size; as of December 2021, the wetland was 7.57 acres (1.19-acre increase). With no plan established prescribing mitigation methods to resolve flooding, the future Association will not be prepared to address issues related to the basin water level. If the Township Board accepts the development agreement amendment as currently written, it should be aware the Developer did not provide a plan to address this issue as requested. Furthermore, this amendment provides no defined solutions to the retention basin issue.

Planning Commission Options

The Planning Commission has the option to approve, approve with conditions, or deny the amended final site plan and recommend approval, approval with modifications, or denial of the development agreement amendment to the Township Board.

Attachments:

1. Letter from Craig Piasecki dated February 9, 2022.
2. Amended final site plan dated October 5, 2018, November 8, 2018, November 29, 2018, and January 6, 2022 (revision date March 15, 2022).

LISA J. HAMAMEH
lhamameh@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsjalaw.com



ROSATI | SCHULTZ
JOPPICH | AMTSBUECHLER

March 30, 2022

via email soneil@whitelaketwp.com

Sean O'Neil
White Lake Township
7525 Highland Road
White Lake, Michigan 48383

**RE: 4th Review of First Amendment to Planned Development Agreement
Preserve at Hidden Lake**

Dear Sean:

You asked that we review of the proposed First Amendment to Planned Development Agreement for the Preserve at Hidden Lake sent by transmittal sheet dated March 17, 2022. Our comments follow.

1. As stated in previous correspondence, prior to the execution of this Amendment, the Developer must provide documentation evidencing ownership of the Property. In addition, a company resolution authorizing the signer to execute the Agreement on behalf of the LLC is required.
2. We defer to Mr. Quagliata and Mr. Leuffgen regarding the accuracy/completeness of the variances listed in Paragraph 1.4.
3. The revised language in Paragraph 1.4 regarding the setback for decks and/or patios is confusing. As written, it excludes "excepted lake units" from having to comply with the rear yard setback for decks and/or patios. If the intent is to grant waivers/modifications from the setback for decks and/or patios for "excepted lake units" it should so state.
4. As stated in previous correspondence, the Retention Basin provision in Paragraph 1.4 (the last sentence) is not a "variance and/or modification" of the Township's zoning provisions so its inclusion in this section is not appropriate. A new paragraph should be included as a condition of approval for the new requirements regarding the Retention Basin.

Additionally, as stated in previous correspondence, Developer fails to propose a solution to the Township Board's concern regarding the Retention Basin flooding events. While a sentence was added that developer "shall be required to take whatever action is necessary to alleviate flooding," the direction from the Township Board was to include an actual solution for a flooding event.

5. Paragraph 2.5 was revised to add "the placement of decks and/or patios within the storm sewer easement." However, the Township requested indemnification regarding any damage or injury resulting from the Township's work within the storm sewer easement in the event the Developer or Association fails to properly maintain the easement as required by the PD Agreement.
6. The Township should consider whether it desires the Developer record the document as provided in Paragraph 4. In any case, the document should be "Returned to" the Township.
7. We defer comments on Exhibit 1, Exhibit 2 and the Overall Hidden Lake Unit Setback Clarification, which should all be incorporated into Agreement, to the Township Engineer.

If you have any additional questions or would like to discuss this matter further, please call.

Very truly yours,

ROSATI SCHULTZ JOPPICH
& AMTSBUECHLER PC



Lisa J. Hamameh

cc: Mike Leuffgen



WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES

7525 Highland Road, White Lake, Michigan 48383-2900, (248) 698-7700, www.whitelaketwp.com

February 16, 2022

Sean O'Neil
Community Development Director
Charter Township of White Lake
7525 Highland Road
White Lake, MI 48383

Re: Preserver at Hidden Lakes Site Plan Amendment

Mr. O'Neil,

Upon review of the site plan amendment submitted on this project I have the following comments:

Storm:

This plan that was submitted proposes at least ten (10) decks to be constructed outside the building envelope and within the stormwater easement.

Along the south edge of Acadia Lane, the developer is proposing a retaining wall within the stormwater easement. The propose the wall to be directly over the storm pipe along the southeast corner of the intersection of Acadia and Ander Lane. This storm pipe should or the retaining wall should be located to eliminate this conflict. Again, the zoning ordinance prohibit permanent structures within any easement.

I understand that this is zoned Planned Development. This zoning allows for some flexibility with the ordinance in lieu of public benefit. As proposed, it is my opinion that these improvements will block access to those areas for maintenance and will increase the expense and difficulty for maintenance or repair by the association. At the very least, the required Storm Water Management Facilities Easement, Maintenance Agreement and Liens that have already been recorded as well as the required agreement for Phase IV should be amended with language to show that these improvements were allowed to exist within the easements. The association that will ultimately own and have responsibility to maintain these structures should have a clear understanding of the facilities as approved. The standard agreements will not be sufficient in this case. These amendments should be reviewed by the Township Attorney and approved by the Township Board of Trustees.

Sincerely,

Aaron Potter
DPS Director
Charter Township of White Lake

2/9/2022

Mr. Sean O'Neil
 White Lake Township
 Planning Department
 7525 Highland Road
 White Lake, MI 48383

Mr. O'Neil,

Preserve at Hidden Lake LLC is requesting an amendment to the approved Preserve at Hidden Lake site plan dated 5/6/2021. Revised site plan was submitted on 2/2/2022. This amendment will include clarifying existing conditions on the approved site plan. We are not making any changes to the approved site plan we are simply adding notes/dimensions (Waivers)as follows:

Rear setback from Arcadia Lane

Unit 69-20.3'

Unit 70-27.5'

Unit 71-26.2'

Unit 72-25'

Unit 73-23.3'

Unit 74-28.4'

Rear setback from Union Lake Rd

Unit 89-25'

Unit 97-30'

Side yard setback from Hutchins Rd

Unit 88-25.4'

Unit 89-25'

Portion of rear patio's located in storm sewer easement

Units 89 through 94 - 5'

Unit 70 – 1.2'

Unit 71 – 6.1'

Unit 72 – 7.1'

Unit 73 – 8.6'

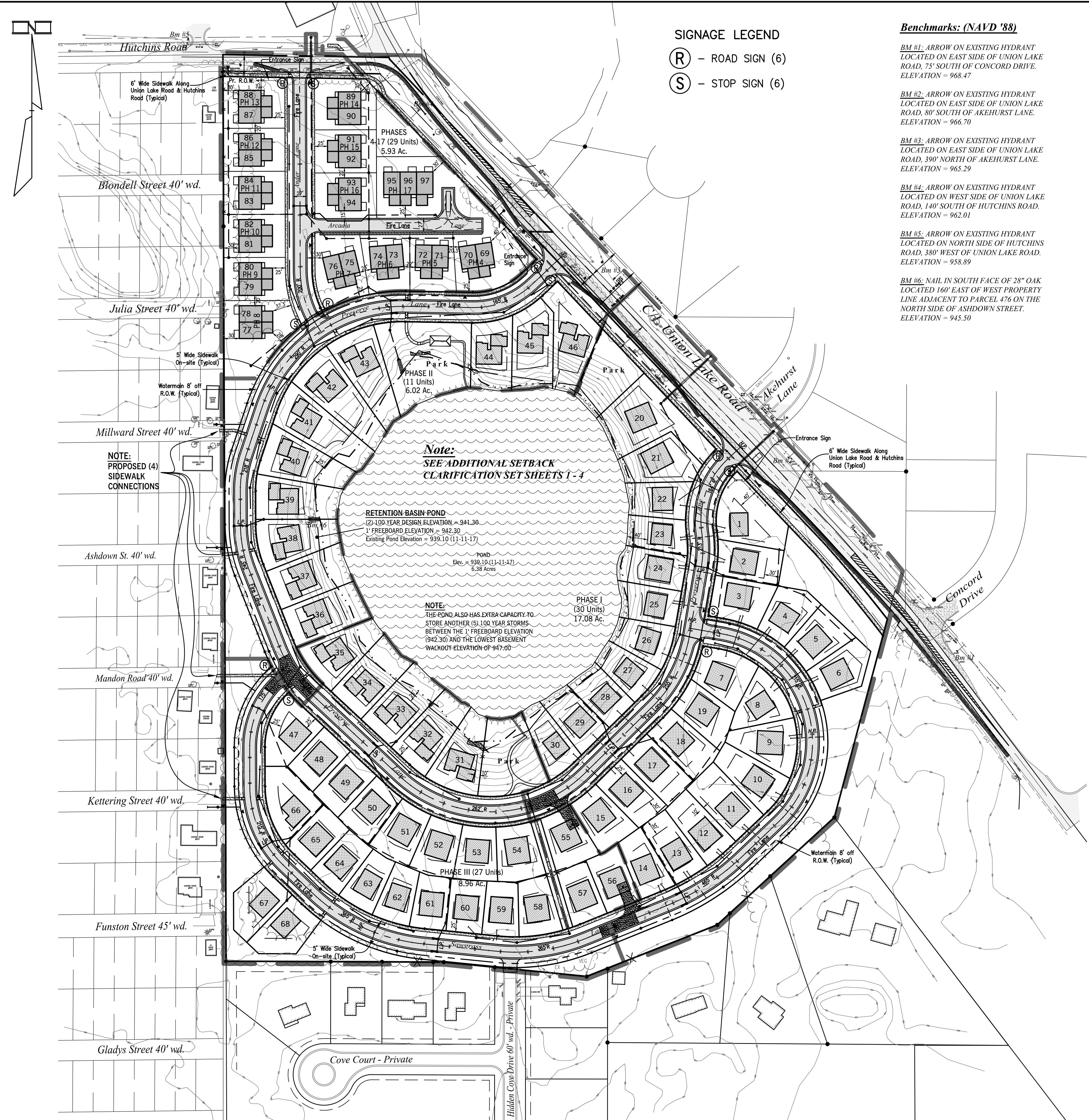
Unit 74 – 4.9'

Lake Units: Approved by the WLT Board 1/18/2022 Building envelop/back of house will be a minimum of 25' from the water's edge. Decks will be a maximum of 12' in the 25' setback only if necessary.

Unit 22,23,25,27, 31-46

Sincerely,

Craig Piasecki
 Member
 Preserve at Hidden Lake, LLC



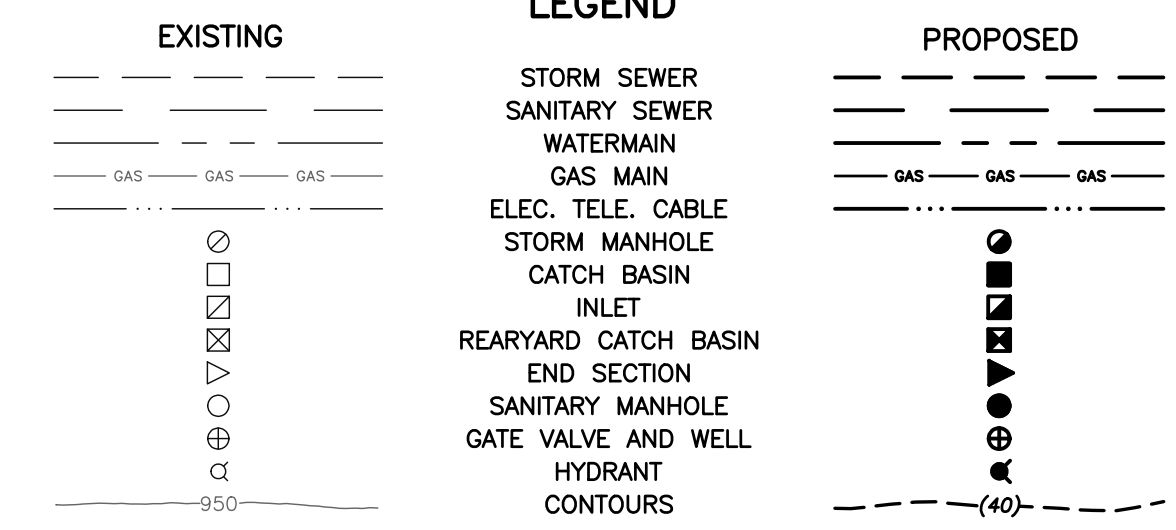
SIGNAGE LEGEND

(R) - ROAD SIGN (6)

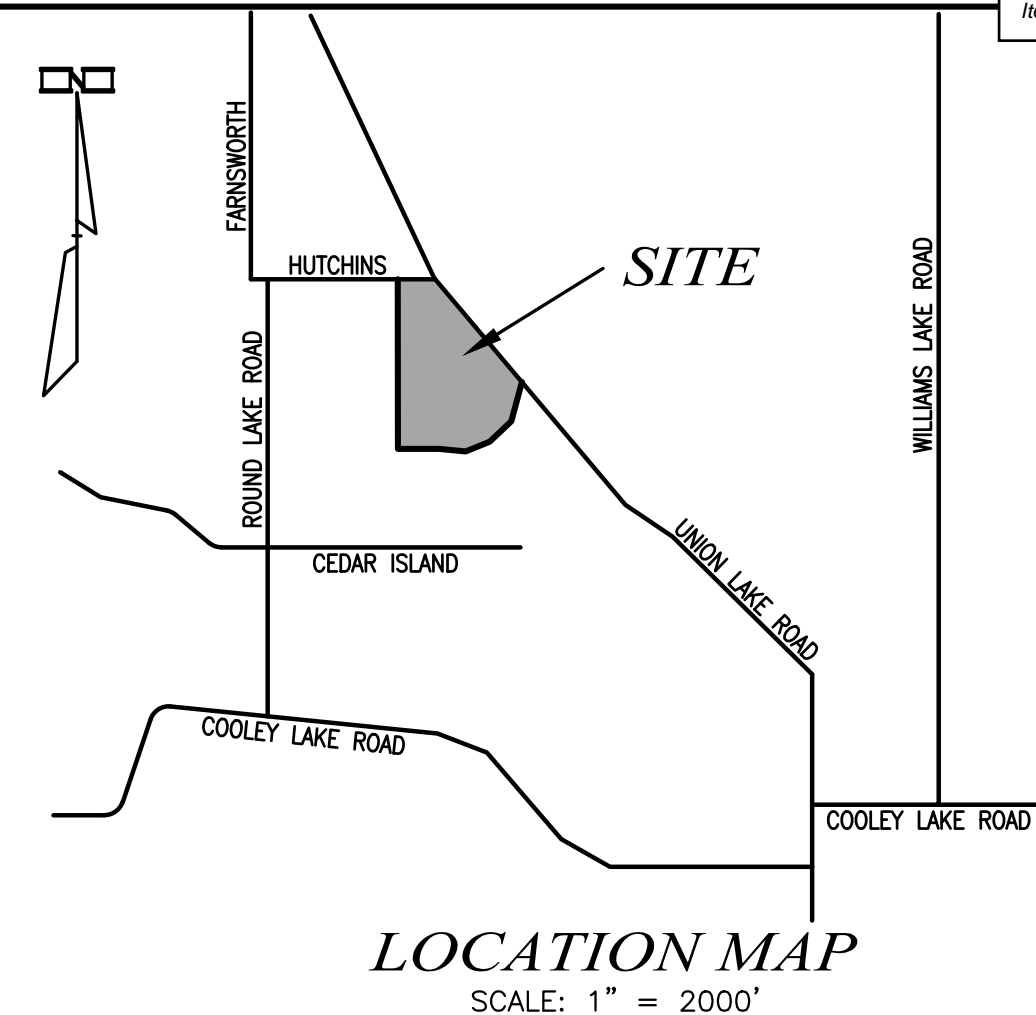
(S) - STOP SIGN (6)

Benchmarks: (NAVD '88)

- BM #1: ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 75' SOUTH OF CONCORD DRIVE. ELEVATION = 968.47
- BM #2: ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 80' SOUTH OF AKEHURST LANE. ELEVATION = 966.70
- BM #3: ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 390' NORTH OF AKEHURST LANE. ELEVATION = 965.29
- BM #4: ARROW ON EXISTING HYDRANT LOCATED ON WEST SIDE OF UNION LAKE ROAD, 140' SOUTH OF HUTCHINS ROAD. ELEVATION = 962.01
- BM #5: ARROW ON EXISTING HYDRANT LOCATED ON NORTH SIDE OF HUTCHINS ROAD, 380' WEST OF UNION LAKE ROAD. ELEVATION = 958.89
- BM #6: NAIL IN SOUTH FACE OF 28" OAK LOCATED 160' EAST OF WEST PROPERTY LINE ADJACENT TO PARCEL 476 ON THE NORTH SIDE OF ASHDOWN STREET. ELEVATION = 945.30



LOT #	AREA	LOT #	AREA
1	13,436 SF/0.31 acres	35	11,556 SF/0.27 acres
2	8,811 SF/0.20 acres	36	12,382 SF/0.28 acres
3	9,274 SF/0.21 acres	37	12,167 SF/0.28 acres
4	8,264 SF/0.19 acres	38	11,886 SF/0.27 acres
5	8,752 SF/0.20 acres	39	12,133 SF/0.28 acres
6	8,777 SF/0.20 acres	40	12,652 SF/0.29 acres
7	9,689 SF/0.22 acres	41	14,442 SF/0.34 acres
8	8,449 SF/0.19 acres	42	14,742 SF/0.34 acres
9	9,842 SF/0.23 acres	43	13,610 SF/0.31 acres
10	9,683 SF/0.22 acres	44	10,764 SF/0.25 acres
11	10,659 SF/0.24 acres	45	12,772 SF/0.29 acres
12	9,068 SF/0.21 acres	46	13,793 SF/0.32 acres
13	8,881 SF/0.20 acres	47	9,939 SF/0.23 acres
14	8,040 SF/0.18 acres	48	7,462 SF/0.17 acres
15	8,979 SF/0.21 acres	49	7,686 SF/0.18 acres
16	8,790 SF/0.20 acres	50	8,299 SF/0.19 acres
17	9,100 SF/0.21 acres	51	8,720 SF/0.20 acres
18	9,460 SF/0.22 acres	52	8,454 SF/0.19 acres
19	8,598 SF/0.20 acres	53	8,028 SF/0.18 acres
20	18,607 SF/0.43 acres	54	8,931 SF/0.21 acres
21	10,891 SF/0.25 acres	55	8,604 SF/0.20 acres
22	8,100 SF/0.19 acres	56	7,917 SF/0.18 acres
23	7,490 SF/0.17 acres	57	7,413 SF/0.17 acres
24	9,031 SF/0.21 acres	58	8,001 SF/0.18 acres
25	8,087 SF/0.19 acres	59	7,070 SF/0.16 acres
26	7,968 SF/0.18 acres	60	7,231 SF/0.17 acres
27	7,636 SF/0.18 acres	61	7,063 SF/0.16 acres
28	7,912 SF/0.18 acres	62	7,045 SF/0.16 acres
29	8,540 SF/0.20 acres	63	7,090 SF/0.16 acres
30	8,438 SF/0.19 acres	64	7,371 SF/0.17 acres
31	11,649 SF/0.26 acres	65	7,715 SF/0.18 acres
32	11,863 SF/0.27 acres	66	10,551 SF/0.24 acres
33	12,200 SF/0.28 acres	67	9,355 SF/0.21 acres
34	11,860 SF/0.27 acres	68	9,216 SF/0.21 acres



UTILITY INFORMATION

A 12' WIDE PERMANENT PRIVATE EASEMENT FOR WATER SUPPLY SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

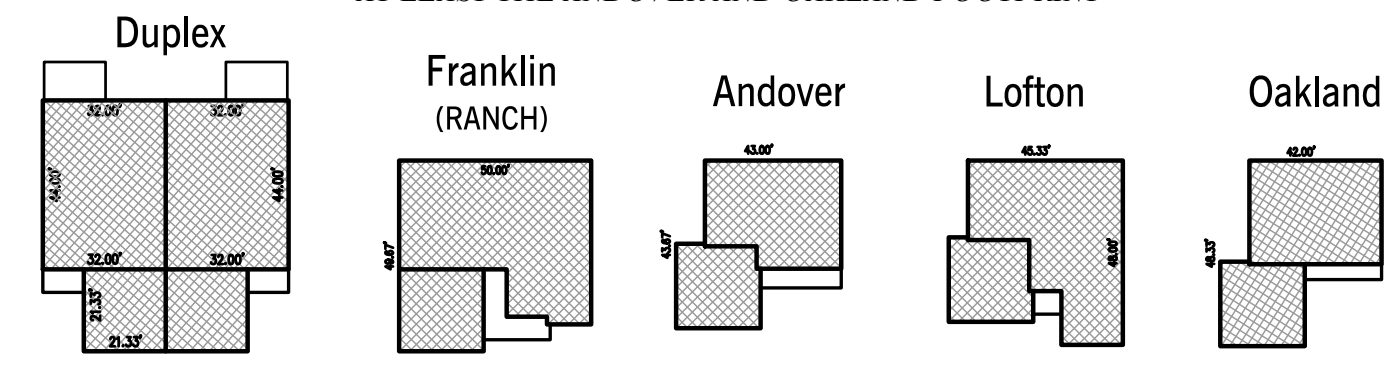
A 20' WIDE PERMANENT PRIVATE EASEMENT FOR SANITARY SEWER SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

A 20' WIDE PERMANENT PRIVATE EASEMENT FOR STORM SEWER SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

APPROPRIATE EASEMENTS FOR PROPOSED SANITARY SEWER AND WATER MAINS WILL BE DEDICATED TO WHITE LAKE TOWNSHIP BY SEPARATE DOCUMENTS.

ALL PRIVATE ROADWAYS ARE A PERMANENT EASEMENT FOR INGRESS/EGRESS AND OPERATION/MAINTENANCE OF THE WATER SUPPLY SYSTEM AND SANITARY SEWER SYSTEM.

TYPICAL BUILDING FOOTPRINTS
ALL SINGLE FAMILY UNITS AS DESIGNED WILL ACCOMMODATE AT LEAST THE ANDOVER AND OAKLAND FOOTPRINT



As Surveyed (Total Parcel)

PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE NW CORNER OF SECTION 36, T3N, R8E; TH S 89°00'59" E 323.66 FT TO A POINT ON THE CENTERLINE OF UNION LAKE ROAD; TH ALONG SAID CENTERLINE S 24°10'25" E 4.31 FT; TH S 43°23'32" E 463.24 FT; TH N 89°00'59" W 46.17 FT TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF UNION LAKE ROAD; TH ALONG SAID RIGHT-OF-WAY S 43°23'32" E (REC. AS S 43°45'20" E) 839.31 FT; TH ALONG SAID RIGHT-OF-WAY BEING A CURVE TO THE RIGHT 189.89 FT (REC. AS 181.81 FT), SAID CURVE HAVING A RADIUS OF 2831.93 FT, A DELTA OF 03°50'31" AND A LONG CHORD OF S 39°47'49" E 189.86 FT (REC. AS S 41°55'00" E 181.78 FT); TH S 14°57'09" W 400.35 FT (REC. AS S 15°00'00" W 418.26 FT & 412.17 FT); TH S 47°26'59" W (REC. AS S 46°30'00" W) 310.00 FT; TH S 68°27'06" W 229.86 FT TO THE NE CORNER OF "HIDDEN COVE" CONDOMINIUM, O.C.C.P. NO. 1097; TH THE FOLLOWING THREE COURSES ALONG THE NORTH LINE OF SAID "HIDDEN COVE" CONDOMINIUM S 68°27'06" W 43.95 FT (REC. AS S 68°00'00" W 43.57 FT) AND N 84°15'40" W (REC. AS N 84°30'00" W) 280.00 FT AND TH N 89°43'40" W 424.46 FT (REC. AS WEST 426.99 FT) TO THE NW CORNER OF SAID "HIDDEN COVE" CONDOMINIUM BEING A POINT ON THE WEST LINE OF SECTION 36; TH ALONG SAID WEST LINE N 00°12'01" W 1768.32 FT TO THE POINT OF BEGINNING. CONTAINING 37.99 ACRES. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTH 33 FT FOR HUTCHINS ROAD AND THE NORTHEASTERLY 33 FT FOR UNION LAKE ROAD. ALSO SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

- Sheet Index:**
- Overall Site Plan
 - Existing Conditions Plan
 - Final Site Plan - North
 - Final Site Plan - South
 - Retention Basin Calculations, Details & Notes
 - Storm Sewer Profiles
 - Storm Sewer Calculations & Details

- Sheet Index - Setback Clarification Set:**
- Overall Hidden Lake Unit Setback Clarification
 - Hidden Lake Unit Setback Clarification - North
 - Hidden Lake Unit Setback Clarification - South
 - Cottage Homes Setback Clarification Plan

Patrick C. McWilliams
STATE OF MICHIGAN
PATRICK McWILLIAMS
ENGINEER
NO. 31658
PROFESSIONAL ENGINEER

Exhibit 1

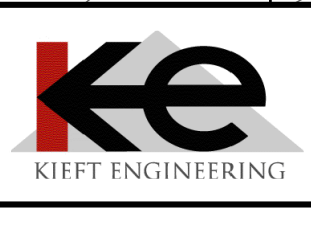
Overall Final Site Plan
"Preserve at Hidden Lake"
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
SHEET 1 OF 7
KE 2017.182

DATE	ISSUE
2-24-2021	PER CLIENT REVISED PHASE 2, 3 & 4 (1-22-2021)
3-25-2021	PER DLZ (3-11-2021) & MCKENNA (3-11-2021)
5-6-2021	PER DLZ (4-27-2021) & MCKENNA (3-28-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT
7-9-2021	PER DLZ (7-1-2021)
7-2-2022	ADDED SETBACK CLARIFICATION SHIS PER TWP (1-25-2022)
7-15-2022	PER DLZ (3-11-2022) & 2-16-2022

PROPRIETOR:
Preserve at Hidden Lake, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 842-8613

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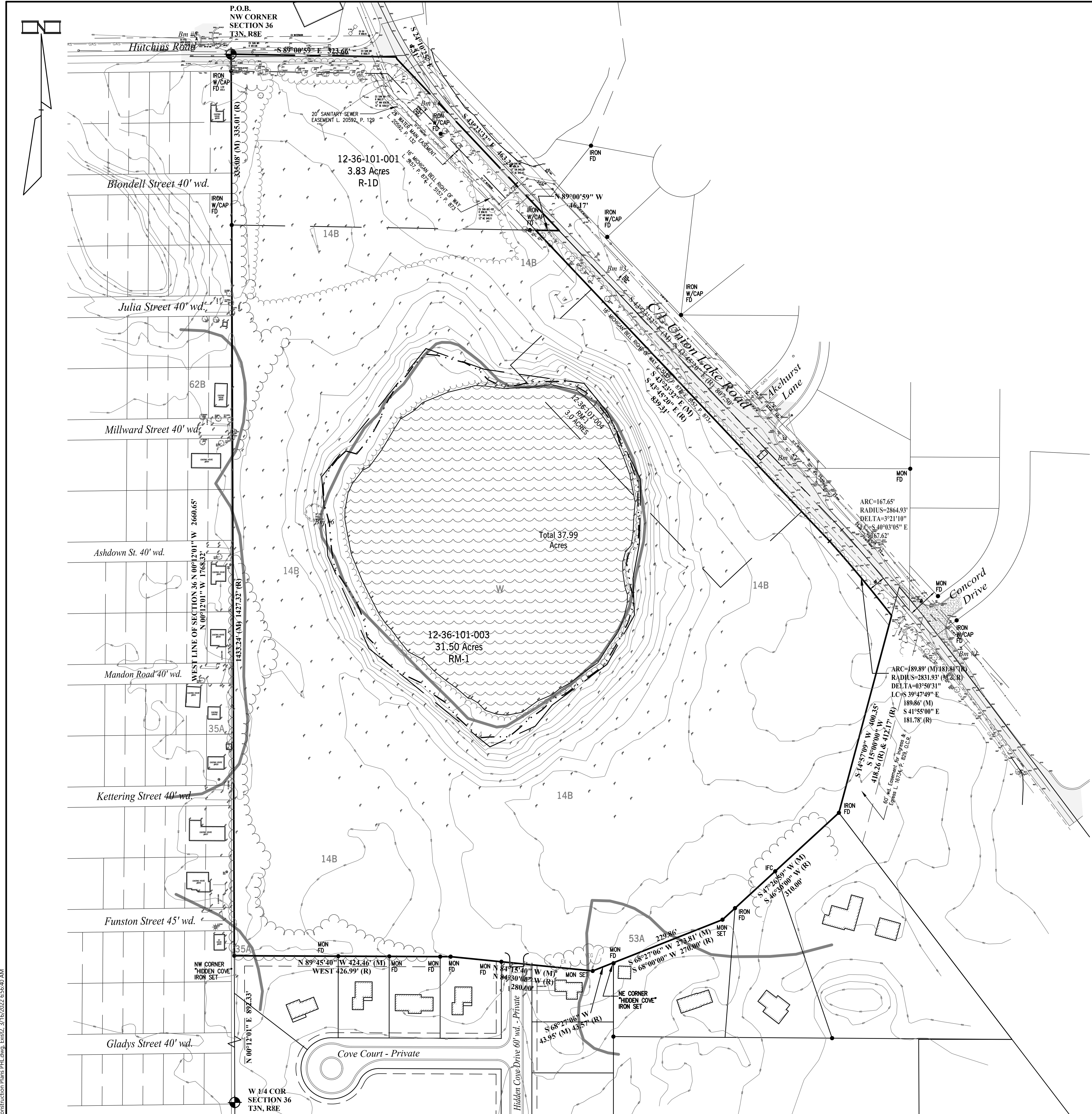


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DATE	10-5-18	CKD. BY	DATE
DRAWN GF			
DESIGN JUS			
SECTION	36	T-3-N-R-8-E	



72 HOURS (5 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)



Benchmarks: (NAVD '88)

- BM #1:** ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 75' SOUTH OF CONCORD DRIVE. ELEVATION = 968.47
- BM #2:** ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 80' SOUTH OF AKEHURST LANE. ELEVATION = 966.70
- BM #3:** ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 390' NORTH OF AKEHURST LANE. ELEVATION = 965.29
- BM #4:** ARROW ON EXISTING HYDRANT LOCATED ON WEST SIDE OF UNION LAKE ROAD, 140' SOUTH OF HUTCHINS ROAD. ELEVATION = 962.01
- BM #5:** ARROW ON EXISTING HYDRANT LOCATED ON NORTH SIDE OF HUTCHINS ROAD, 380' WEST OF UNION LAKE ROAD. ELEVATION = 958.89
- BM #6:** NAIL IN SOUTH FACE OF 28" OAK LOCATED 160' EAST OF WEST PROPERTY LINE ADJACENT TO PARCEL 476 ON THE NORTH SIDE OF ASHDOWN STREET. ELEVATION = 945.50

EXISTING

--- STORM SEWER
 --- SANITARY SEWER
 --- WATERMAIN
 --- GAS
 --- GAS
 --- GAS
 --- GAS

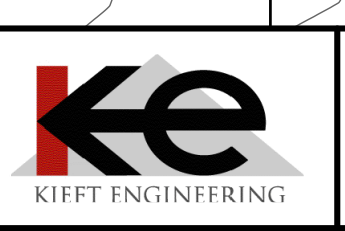
⊙ STORM MANHOLE
 ⊠ CATCH BASIN
 ⊕ INLET
 ⊞ REARYARD CATCH BASIN
 ⊚ END SECTION
 ⊙ SANITARY MANHOLE
 ⊕ GATE VALVE AND WELL
 ⊙ HYDRANT
 --- CONTOURS

SOILS LEGEND

SYMBOL	NAME
14B	Oakville fine sand, 0-6% slopes
35A	Thetford loamy fine sand, 0-3% slopes
53A	Tedrow loamy sand, 0-3% slopes
62B	Urban land-Spinks complex, 0-8% slopes
W	Water

DATE	ISSUE
11-30-18	PER J & A (11-13-18)
4-23-19	ADDED EASEMENTS
7-24-2021	PER CLIENT REQUEST PHASE 2 & 4 (1-22-2021)
3-25-2021	PER DLZ (3-11-2021) & MCKENNA (3-11-2021)
5-6-2021	PER DLZ (4-27-2021) & MCKENNA (4-28-2021)
8-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

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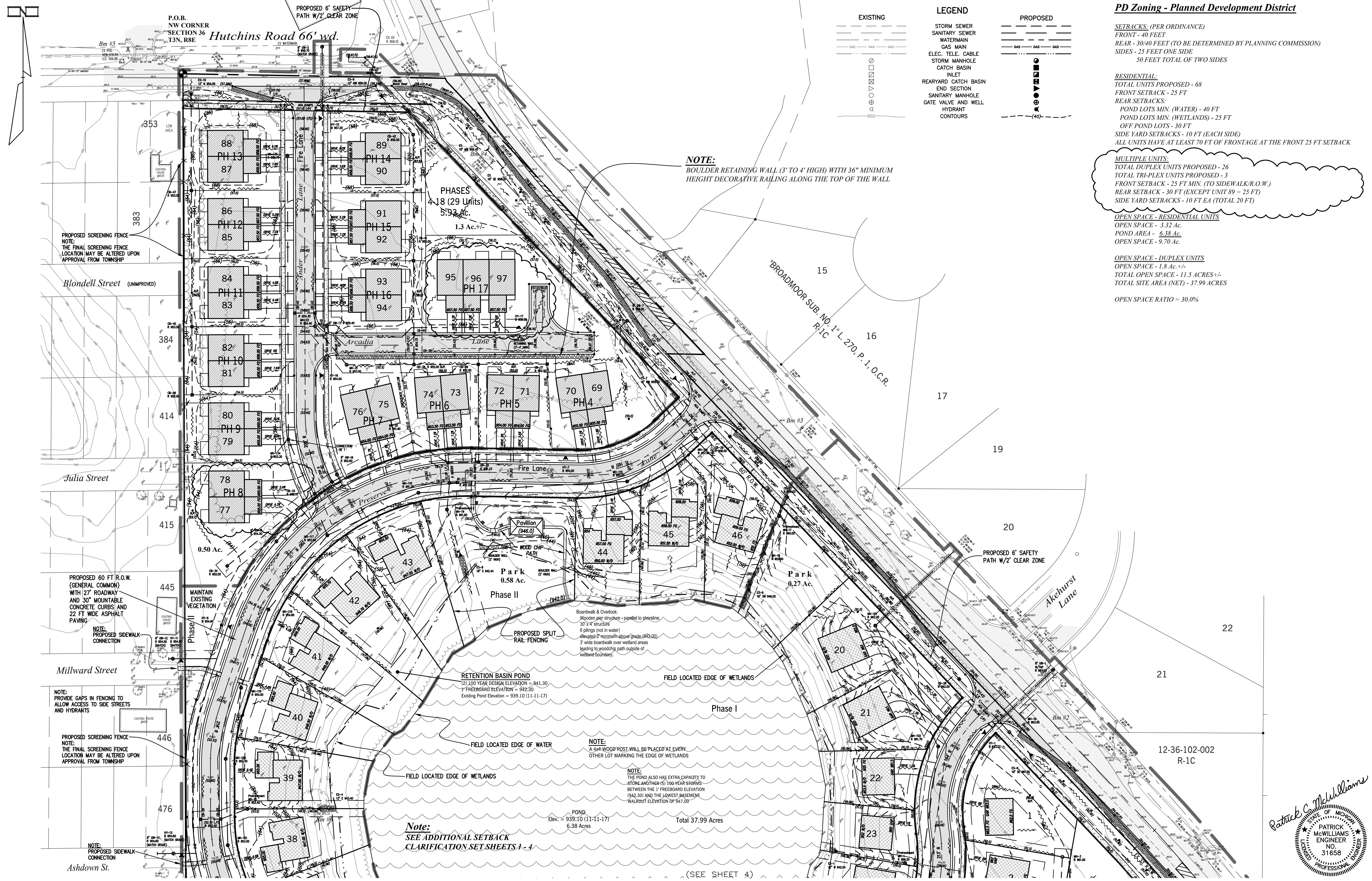
DATE 11-8-18	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 36	T- 3 - N - R - 8 - E	



Existing Conditions Plan
"Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
SHEET 2 OF 7
KE 2017.182

©2017,18,2021 Construction Plans P.L.L.C. East 3/16/2022 6:56:40 AM



EXISTING

LEGEND

PROPOSED

- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- GAS MAIN
- ELEC. TELE. CABLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- REARYARD CATCH BASIN
- END SECTION
- SANITARY MANHOLE
- GATE VALVE AND WELL
- HYDRANT
- CONTOURS

PD Zoning - Planned Development District

SETBACKS: (PER ORDINANCE)
 FRONT - 40 FEET
 REAR - 30/40 FEET (TO BE DETERMINED BY PLANNING COMMISSION)
 SIDES - 25 FEET ONE SIDE
 50 FEET TOTAL OF TWO SIDES

RESIDENTIAL:
 TOTAL UNITS PROPOSED - 68
 FRONT SETBACK - 25 FT
 REAR SETBACKS:
 POND LOTS MIN. (WATER) - 40 FT
 POND LOTS MIN. (WETLANDS) - 25 FT
 OFF POND LOTS - 30 FT
 SIDE YARD SETBACKS - 10 FT (EACH SIDE)
 ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK

MULTIPLE UNITS:
 TOTAL DUPLEX UNITS PROPOSED - 26
 TOTAL TRI-PLEX UNITS PROPOSED - 3
 FRONT SETBACK - 25 FT MIN. (TO SIDEWALK/R.O.W.)
 REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)
 SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)

OPEN SPACE - RESIDENTIAL UNITS
 OPEN SPACE - 3.32 Ac.
 POND AREA - 6.38 Ac.
 OPEN SPACE - 9.70 Ac.

OPEN SPACE - DUPLEX UNITS
 OPEN SPACE - 1.8 Ac +/-
 TOTAL OPEN SPACE - 11.5 ACRES +/-
 TOTAL SITE AREA (NET) - 37.99 ACRES
 OPEN SPACE RATIO = 30.0%

NOTE:
 BOULDER RETAINING WALL (3' TO 4' HIGH) WITH 36" MINIMUM HEIGHT DECORATIVE RAILING ALONG THE TOP OF THE WALL

PHASES
 4-18 (29 Units)
 5.93 Ac.
 1.3 Ac +/-

Phase II
 0.58 Ac.

Phase I

RETENTION BASIN POND
 (2) 100 YEAR DESIGN ELEVATION = 941.30
 1' FREEBOARD ELEVATION = 942.30
 Existing Pond Elevation = 939.10 (11-11-17)

POND
 Elev. = 939.10 (11-11-17)
 6.38 Acres

Total 37.99 Acres

Note:
 SEE ADDITIONAL SETBACK CLARIFICATION SET SHEETS 1-4

P.O.B. NW CORNER SECTION 36 T3N, R8E
 Hutchins Road 66' wd.

PROPOSED 6' SAFETY PATH W/2' CLEAR ZONE

PROPOSED SCREENING FENCE
 NOTE: THE FINAL SCREENING FENCE LOCATION MAY BE ALTERED UPON APPROVAL FROM TOWNSHIP

Blondell Street (UNIMPROVED)

Julia Street

Millward Street

Ashdown St.

PROPOSED 60 FT R.O.W. (GENERAL COMMON) WITH 27' ROADWAY AND 30" MOUNTABLE CONCRETE CURBS AND 22 FT WIDE ASPHALT PAVING
 NOTE: PROPOSED SIDEWALK CONNECTION

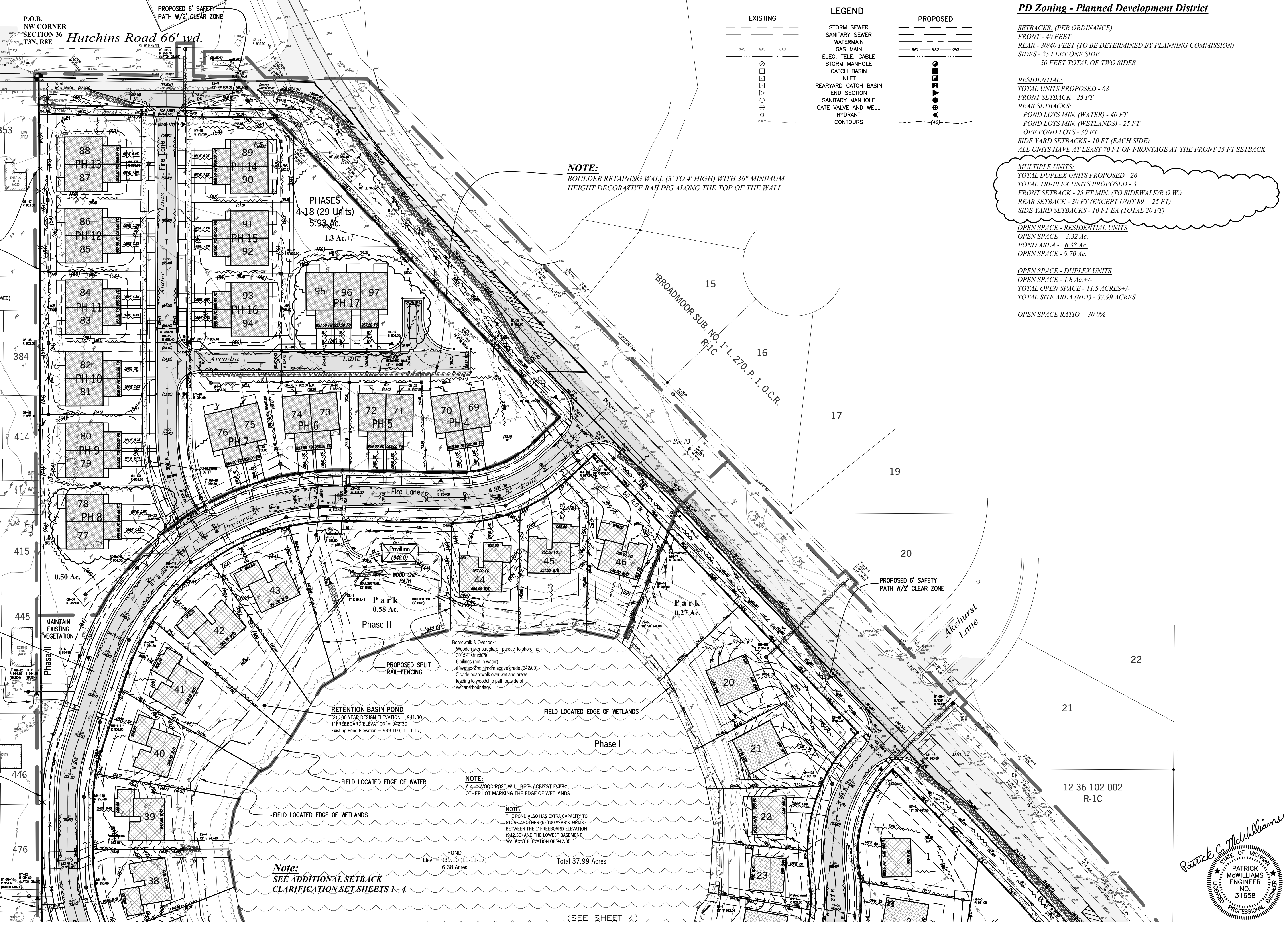
NOTE: PROVIDE GAPS IN FENCING TO ALLOW ACCESS TO SIDE STREETS AND HYDRANTS

PROPOSED SCREENING FENCE
 NOTE: THE FINAL SCREENING FENCE LOCATION MAY BE ALTERED UPON APPROVAL FROM TOWNSHIP

NOTE: PROPOSED SIDEWALK CONNECTION

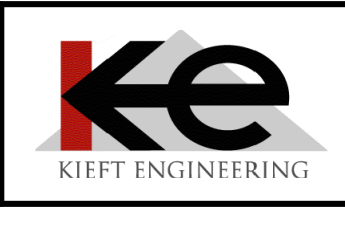
PROPOSED 6' SAFETY PATH W/2' CLEAR ZONE

PROPOSED 6' SAFETY PATH W/2' CLEAR ZONE



DATE	ISSUE
2-24-2021	PER CLIENT REVISED PHASE 2, 3 & 4 (1-22-2021)
3-25-2021	PER D17 (5-11-2021) & MCKENNA (3-11-2021)
5-16-2021	PER D17 (4-27-2021) & MCKENNA (4-26-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNITS
7-29-2021	PER D17 (7-1-2021)
2-2-2022	ADDED SETBACK CLARIFICATION SHS PER TWP (1-25-2022)
3-15-2022	PER D17 (3-11-2022) & 2-16-2022

PROPRIETOR:
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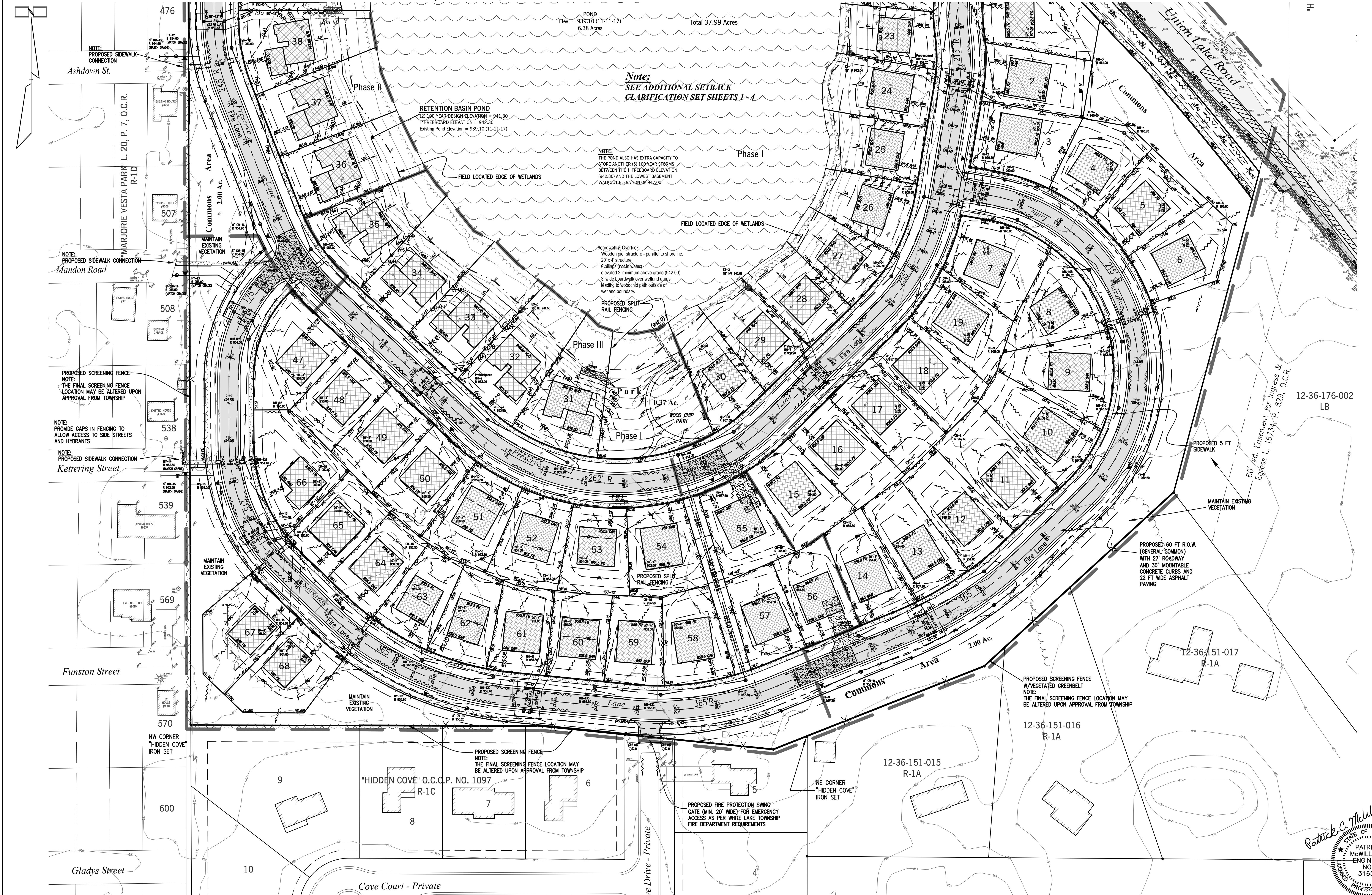
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DATE 11-8-18	CKD. BY DATE	72 HOURS (5 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)
DRAWN GF		
DESIGN JJS		
SECTION 36	T-3-N-R-6-E	

Final Site Plan - North
 "Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 50'
 SHEET 3 OF 7
 KE 2017.182

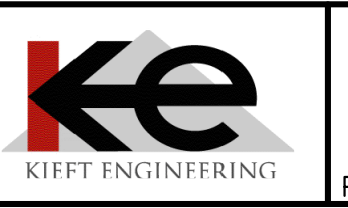
(SEE SHEET 3)



DATE	ISSUE
1-11-19	PER J & A (12-19-18) McNamee (12-18-18) DPS
2-24-2021	PER CLIENT REVISED PHASE 2, 3 & 4 (1-22-2021)
3-25-2021	PER DIZ (3-11-2021) & MCKENNA (3-11-2021)
5-19-2021	PER DIZ (4-27-2021) & MCKENNA (4-28-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT
2-2-2022	ADDED SETBACK CLARIFICATION SHS PER TWP (1-25-2022)
3-15-2022	PER DIZ (3-11-2022) & 2-16-2022

PROPRIETOR:
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DATE 11-8-18	CKD. BY DATE
DRAWN GF	
DESIGN JJS	
SECTION 36	T-3-N-R-8-E



Final Site Plan - South
"Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 50'
SHEET 4 OF 7
KE 2017.182

GENERAL NOTES

- 1) PROPERTY SIDWELL NUMBER 12-36-101-001, -003, -004
2) ZONING PD - PLANNED DEVELOPMENT
3) PROPOSED USE: SINGLE FAMILY RESIDENTIAL (SITE CONDOMINIUM), DUPLEX UNITS & A SINGLE UNIT.
4) MINIMUM UNIT SIZE PROPOSED: 7,045 SF (UNIT 21), WIDTH 70 FEET, AVERAGE UNIT SIZE 9,416 SF.
5) PROPOSED SETBACK REQUIREMENTS:
RESIDENTIAL:
TOTAL UNITS PROPOSED - 68
FRONT SETBACK - 25 FT
REAR SETBACKS:
POND UNITS MIN. (WATER) - 40 FT
POND UNITS MIN. (WETLANDS) - 25 FT
OFF POND UNITS - 30 FT
SIDE YARD SETBACKS - 10 FT (EACH SIDE)
ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK
DUPLEX UNITS:
TOTAL DUPLEX UNITS PROPOSED - 26
TOTAL TRI-PLEX UNITS PROPOSED - 1
FRONT SETBACK - 25 FT MIN. (TO SIDEWALK EXCEPT UNIT 78 = 21 FT TO R.O.W.)
REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)
SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)
6) STREETS ARE 60 FOOT WIDE RIGHT-OF-WAY W/27 FT WIDE ASPHALT W/CONCRETE CURB AND GUTTER (5,600 LF TOTAL ROAD LENGTH) - THE DEVELOPER INTENDS ALL ROADS TO BE PRIVATE.
7) NUMBER OF UNITS: SINGLE FAMILY = 68, DUPLEX UNITS = 26, SINGLE UNIT = 1.
8) SEWAGE DISPOSAL: TO BE CONNECTED TO MUNICIPAL SANITARY SEWER SYSTEM ALONG UNION LAKE ROAD.
9) WATER SUPPLY: AN 8" WATERMAIN IS PROPOSED TO BE CONNECTED TO THE MUNICIPAL WATERMAIN AT TWO LOCATIONS, ONE ALONG UNION LAKE ROAD AND ONE ALONG HUTCHINS ROAD.
10) PERMIT REQUIRED FROM OAKLAND ROAD COMMISSION FOR CONNECTIONS TO UNION LAKE ROAD AND HUTCHINS ROAD
11) SOIL EROSION PERMIT REQUIRED FROM OAKLAND COUNTY WATER RESOURCE COMMISSION.
12) ALL ROADWAYS WILL BE 22' WIDE ASPHALT WITH 30" MOUNTABLE CONCRETE CURB AND GUTTER (27' WIDE TOTAL).
13) PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE & CABLE) SHALL BE INSTALLED UNDERGROUND.
14) PHOSPHOROUS BASED LAWN FERTILIZERS WILL NOT BE ALLOWED.
15) NO BRUSH OR GRASS CLIPPINGS WILL BE STORED OR DISPOSED OF INTO THE COMMON/PARK AREAS OR WETLANDS.
16) ALL YARD WASTE TO BE REMOVED FROM SITE.
17) PUBLIC SIDEWALKS ARE PROPOSED AS PER EXISTING ORDINANCE REQUIREMENTS.
18) INDIVIDUAL PLOT PLANS AND GRADING SHALL BE PREPARED BY A LICENSED ENGINEER OR SURVEYOR.
19) PROPOSED SITE GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE WHERE OFF-SITE GRADING RIGHTS DO NOT EXIST.
20) ALL DISTURBED AREAS SHALL BE RE-VEGETATED.
21) POND RETENTION BASIN SIDE SLOPES SHALL BE LEFT NATURAL. IT IS LIKELY THAT TO OBTAIN WALKOUTS ON THE POND UNITS, SOME GRADING MAY BE REQUIRED WITHIN THE 25' WETLANDS SETBACK AREA.
22) REAR AND SIDE-YARD DRAINAGE EASEMENTS WILL BE SHOWN ON THE GRADING PLAN.
23) ALL FINAL ROAD GRADES WILL COMPLY WITH ROAD COMMISSION FOR OAKLAND COUNTY STANDARDS.
24) TYPICAL UNIT COVERAGE: AVERAGE HOUSE FOOTPRINT = 2,100 SF, AVERAGE DRIVEWAY = 750 SF;
TYPICAL UNIT COVERAGE % = 2,850 SF/9,416 SF = 30% (OR LESS)
25) REQUIRED PERMITS/APPROVALS:
-WHITE LAKE TOWNSHIP - ENGINEERING PLANS APPROVAL
-O.C.W.R.C. - SOIL EROSION PERMIT
-O.C.W.R.C. - WATERMAIN APPROVAL
-O.C.W.R.C. - SANITARY SEWER APPROVAL
-M.D.E.O. - WATERMAIN PERMIT
-M.D.E.O. - SANITARY SEWER PERMIT
-M.D.E.O. - NPDES NOTICE OF COVERAGE PERMIT
-M.D.E.O. - WETLANDS (STORM DISCHARGE) PERMIT
-R.C.O.C. - APPROACH & UNDERGROUND PERMITS
26) THERE ARE WETLANDS ON THIS SITE.
27) EACH HOME SHALL HAVE A 2 CAR GARAGE AND DRIVEWAYS WHICH WILL ACCOMMODATE THE REQUIRED OFF-STREET PARKING.
28) OFF-SITE IMPROVEMENTS SHALL BECOME PUBLIC.
29) ALL SIDEWALKS MUST COMPLY WITH ADA STANDARDS.
30) NO STREET LIGHTING IS PROPOSED. EXTERIOR LIGHTS SHALL BE INSTALLED ON INDIVIDUAL HOMES, DUPLEXES & SINGLE UNIT.
31) SCREENING FENCE (6" HIGH VINYL CLAD) SHALL BE PROVIDED ALONG SOME OF THE PROPERTY LINES AS SHOWN ON THE LANDSCAPE PLAN OR AS DETERMINED AFTER SITE CLEARING AND CONSTRUCTION HAS BEEN COMPLETED.
32) TRASH PICKUP FOR THE HOMES AND DUPLEXES WILL BE CURBSIDE.
33) PARKING IS NOT ALLOWED ON THE ROAD CONNECTING TO HUTCHINS ROAD. PARKING IS ALLOWED ON ONE SIDE ONLY ALONG HIDDEN LANE AND PRESERVE LANE (OPPOSITE THE FIRE HYDRANTS/WATERMAIN).
34) FIRE LANES PROVIDED ALONG ALL (3) ROADS & DUPLEX DRIVES (27' WIDE).
35) INDIVIDUAL BUILDING ADDRESSES SHALL BE 6" MINIMUM.

"C" CALCULATION

ROADS & APPROACHES:

ROADS = 151,200 SF
APPROACHES = 6,525 SF
157,725 SF

PARKING AREAS:

36,950 SF

DRIVEWAYS:

80,700 SF

SIDEWALKS:

63,260 SF

TOTAL PAVEMENT WALKS: 338,635 SF = 7.78 ACRES @ C = 0.80

ROOF AREAS:

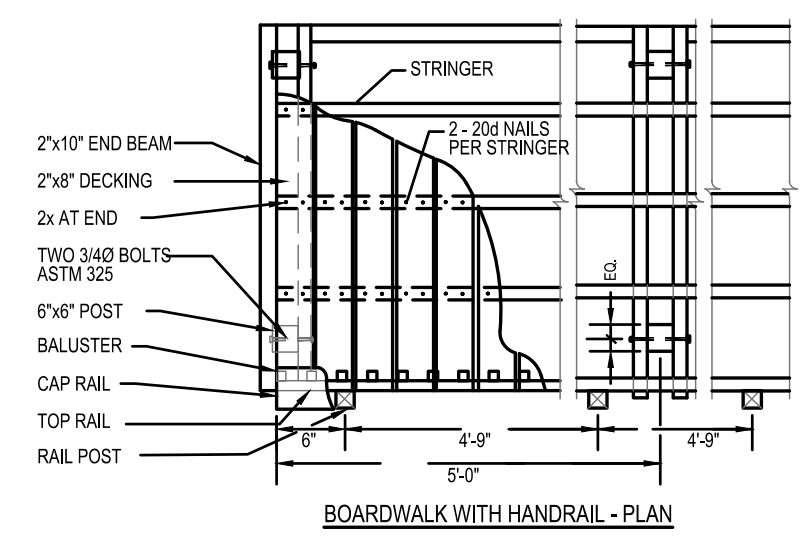
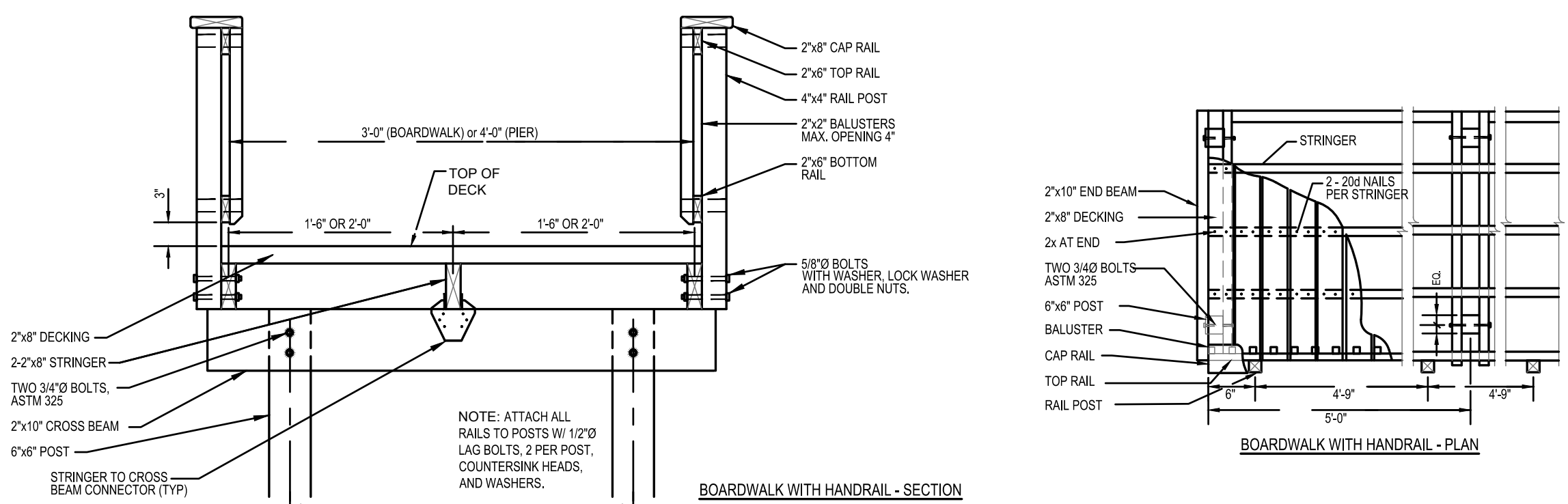
SINGLE FAMILY = 136,000 SF
3 PLEX HOMES = 5,700 SF
DUPLEX HOMES = 22,800 SF
TOWNHOMES = 25,900 SF
=190,400 SF = 4.37 ACRES @ C = 0.90

RETENTION BASIN/POND AREA: 6.38 ACRES @ C = 1.00

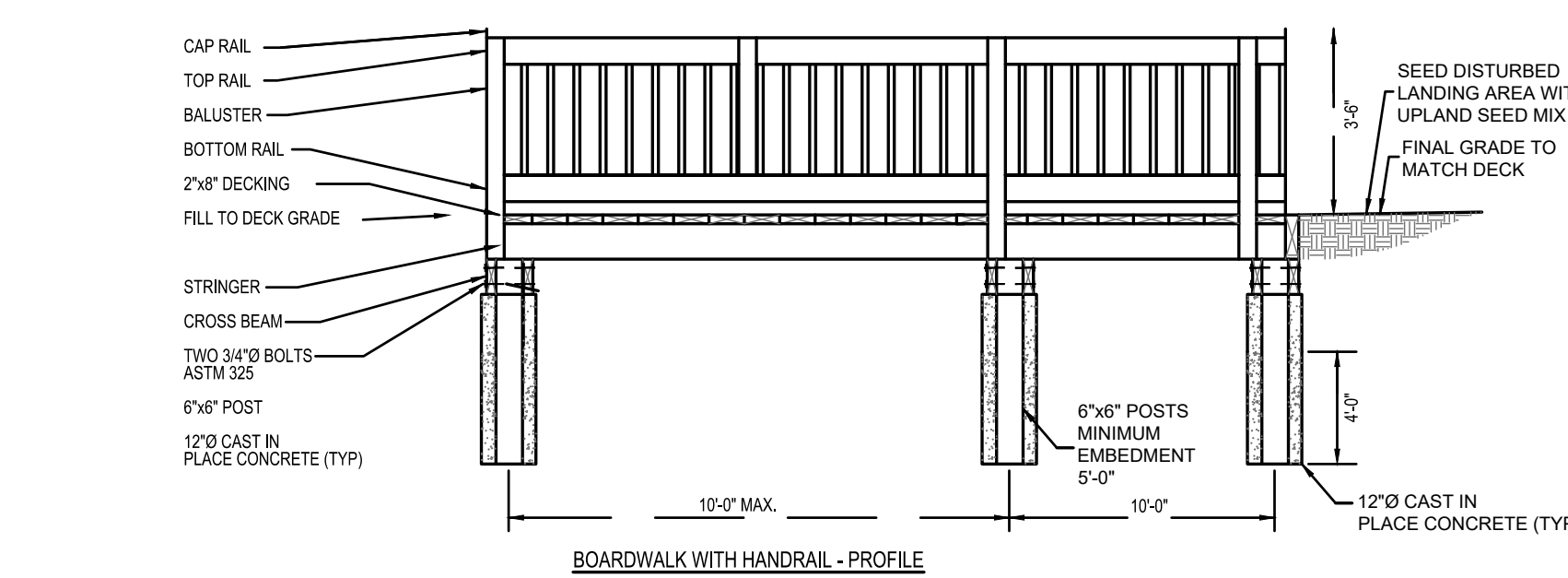
GREENBELT AREAS: 19.46 ACRES @ C = 0.20

TOTAL AREA = 37.99 ACRES

C = (7.78 Acres x 0.80) / (37.99 Ac.) + (4.37 Acres x 0.90) / (37.99 Ac.) + (6.38 Acres x 1.00) / (37.99 Ac.) + (19.46 Acres x 0.20) / (37.99 Ac.) = 0.5377 = 0.54



- NOTES:
1. ALL BOARDWALKS SHALL BE SITUATED SO THAT BOTTOM OF BEAM SHALL BE A MINIMUM OF 6 INCHES ABOVE THE 100-YEAR WATER ELEVATION FOR THE SPECIFIC WETLAND/ POND.
2. ALL BOARDWALKS SHALL HAVE CONCRETE FOOTINGS THAT EXTEND A MINIMUM DEPTH OF 48 INCHES BELOW FINISH GRADE (FROST DEPTH).
3. ALL BOARDWALKS SHALL HAVE HANDRAILS WITH A MINIMUM HEIGHT OF 36 INCHES AND RAIL OPENINGS NO GREATER THAN 4 INCHES APART.
4. ALL BOARDWALK FINISH DECK ELEVATIONS SHALL MATCH FINISH GRADE ELEVATIONS OF ABUTTING PAVED PATH SURFACE.
5. ALL BOARDWALK CROSSINGS THROUGH MITIGATION WETLAND AREAS SHALL MINIMIZE DISTURBANCE TO WET LAND PLANTINGS. ALL DISTURBED AREAS SHALL BE RESTORED/REPAIRED PER WETLAND MITIGATION SPECIFICATIONS FOR THIS PROJECT.



- NOTE:
1. REFER TO MDT SPECIFICATION SECTION 5.15 - TIMBER STRUCTURES FOR INFORMATION ON MATERIALS AND INSTALLATION. ALL BOARDWALK DESIGN SHALL BE IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCT ASSOCIATION'S NATIONAL DESIGN SPECIFICATION AND THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION'S TIMBER CONSTRUCTION MANUAL.
2. ALL DECKING AND HANDRAIL TO BE RECYCLED LUMBER (TRUCK BRAND, "ORGANIC NATURAL" OR APPROVED EQUIVALENT).

(2) 100 YEAR RETENTION POND CALCULATIONS

ON-SITE CONTRIBUTING AREA TO POND (EXCLUDING PROPOSED R.O.W.'S) = 35.19 ACRES
UNION LAKE ROAD PROPOSED R.O.W. AREA = 1.65 ACRES
HUTCHINS ROAD PROPOSED R.O.W. AREA = 0.30 ACRES
OFF-SITE WEST AREAS = 0.27 ACRES
TOTAL ACTUAL CONTRIBUTING AREAS TO POND = 37.41 ACRES

NOTE: WE WILL STILL DESIGN FOR 37.99 ACRES (THE ORIGINAL PROPERTY ACREAGE) TO BE CONSERVATIVE.

ASSUMED DESIGN AREA 37.99 ACRES
TOTAL CONTRIBUTING AREA = 37.99 ACRES
AVERAGE RUNOFF COEFFICIENT (C) = 0.54
VOLUME (2) 100 YR = (2)(A)(C)(16,500) = (2)(37.99)(0.54)(16,500) = 676,982 CF

VOLUME PROVIDED:

- 939.10: 274,428 SF } 293,552 SF_AV x 0.90' DEPTH = 264,196 CF
940.0: 312,677 SF } 319,950 SF_AV x 1.3' DEPTH = 415,935 CF
941.30: 327,223 SF }
942.0: 339,223 SF } 680,131 CF PROVIDED

(NOTE: AT ELEVATION 942.0; WE HAVE 916,096 CF OF STORAGE VOLUME)

RETENTION POND/BASIN

EXISTING WATER ELEVATION = 939.10 (11-11-2017)
DESIGN HIGH WATER ELEVATION = 941.30 (2-100 YEAR STORM)
1' FREEBOARD ELEVATION = 942.30
POND REQUIRED = 676,982 C.F.
STORAGE PROVIDED = 680,131 C.F.

Storm Water Facilities Maintenance Plan

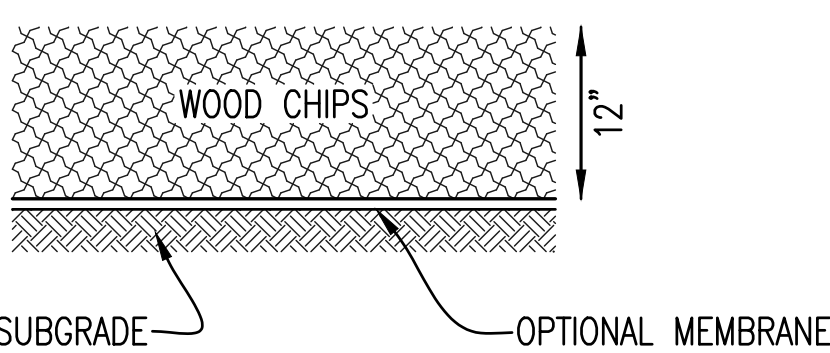
The "Preserve @ Hidden Lake" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

These facilities include the following:

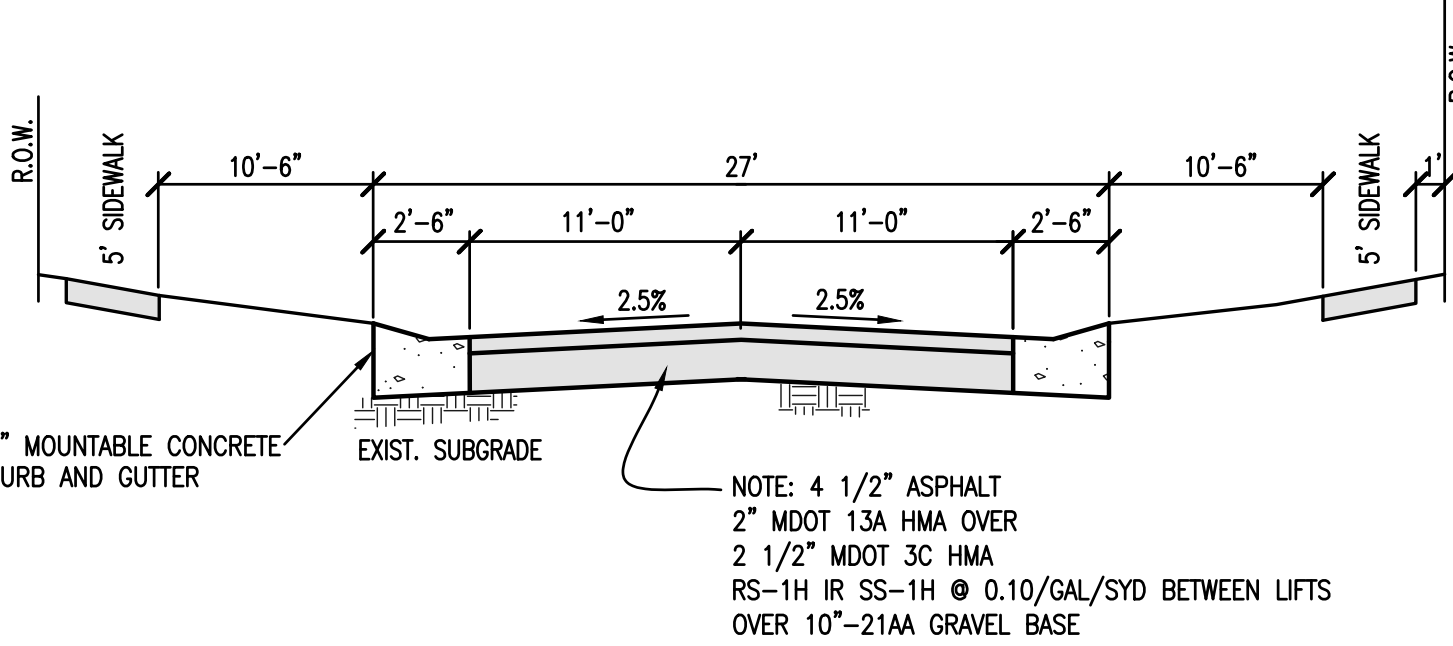
- Retention Basin Pond
Pretreatment Structure Manholes
Manholes, Rear Yard Catch Basins, End Sections & connecting pipe work
Rear yard swales (within easements)

The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

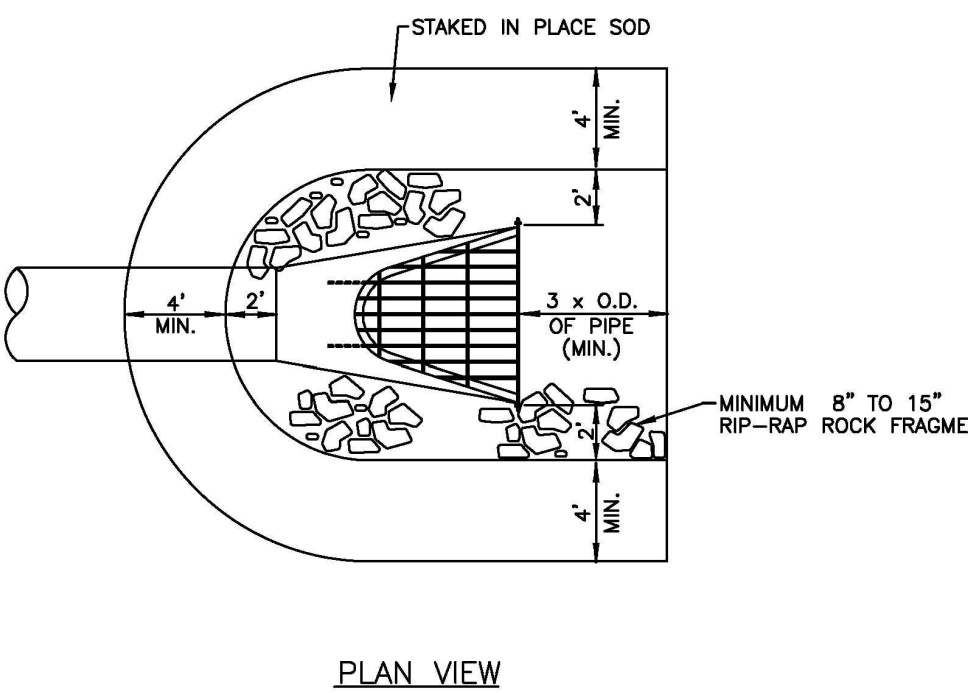
- 1. The (6) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Pond shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).



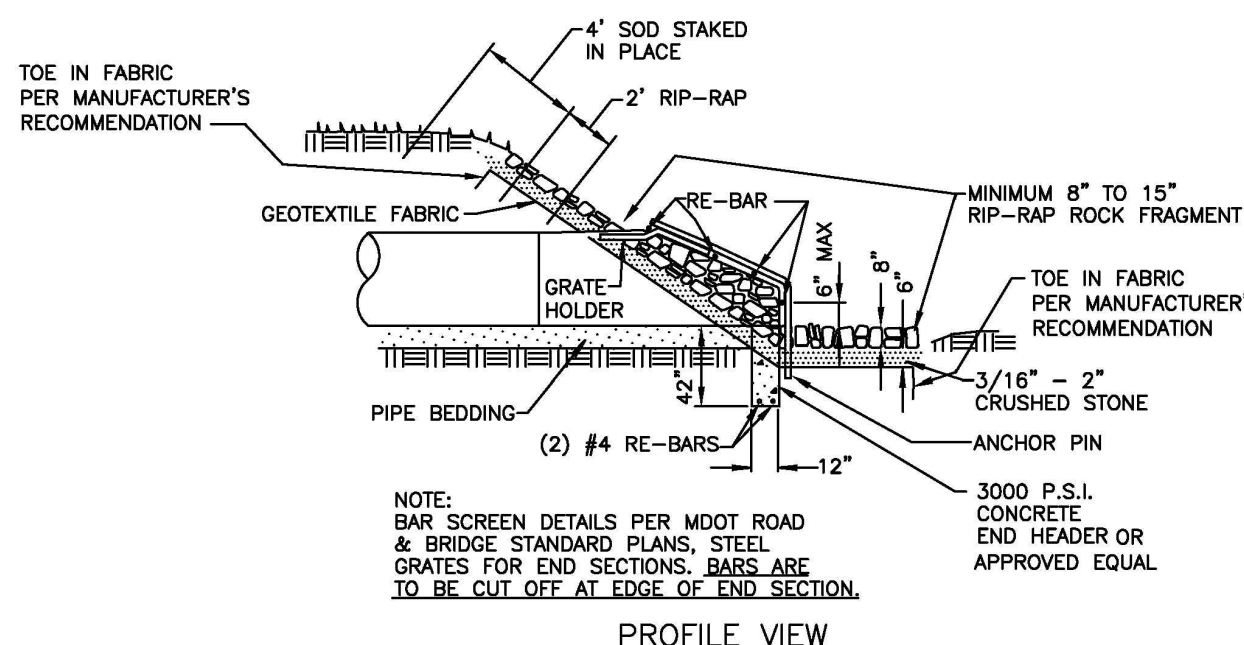
WOOD CHIP PATH



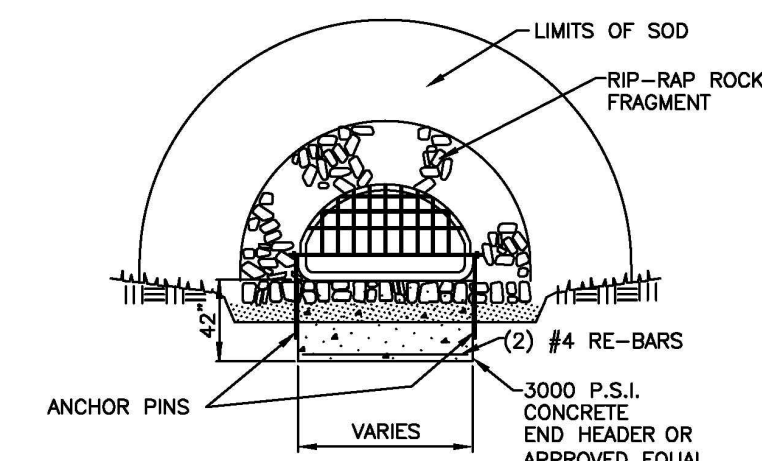
TYPICAL ROAD SECTION



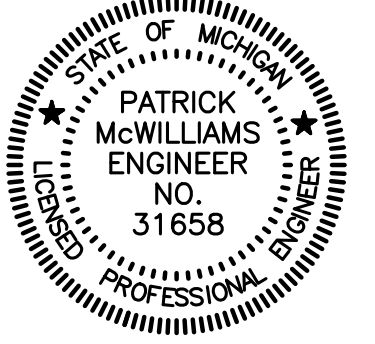
PLAN VIEW



PROFILE VIEW



END VIEW



©2017/18/2021 Construction Plans PHL/eng. Cals, ZJZ/2022, 10:28:34 AM

Table with columns: DATE, PER, J & A (11-13-18), ISSUE. Rows include dates from 11-30-18 to 6-14-2021 and descriptions like 'PER CLIENT REVISED PHASE 2, 3 & 4 (1-27-2021)'.

PROPRIETOR: Preserve at Hidden Lake, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 842-8613

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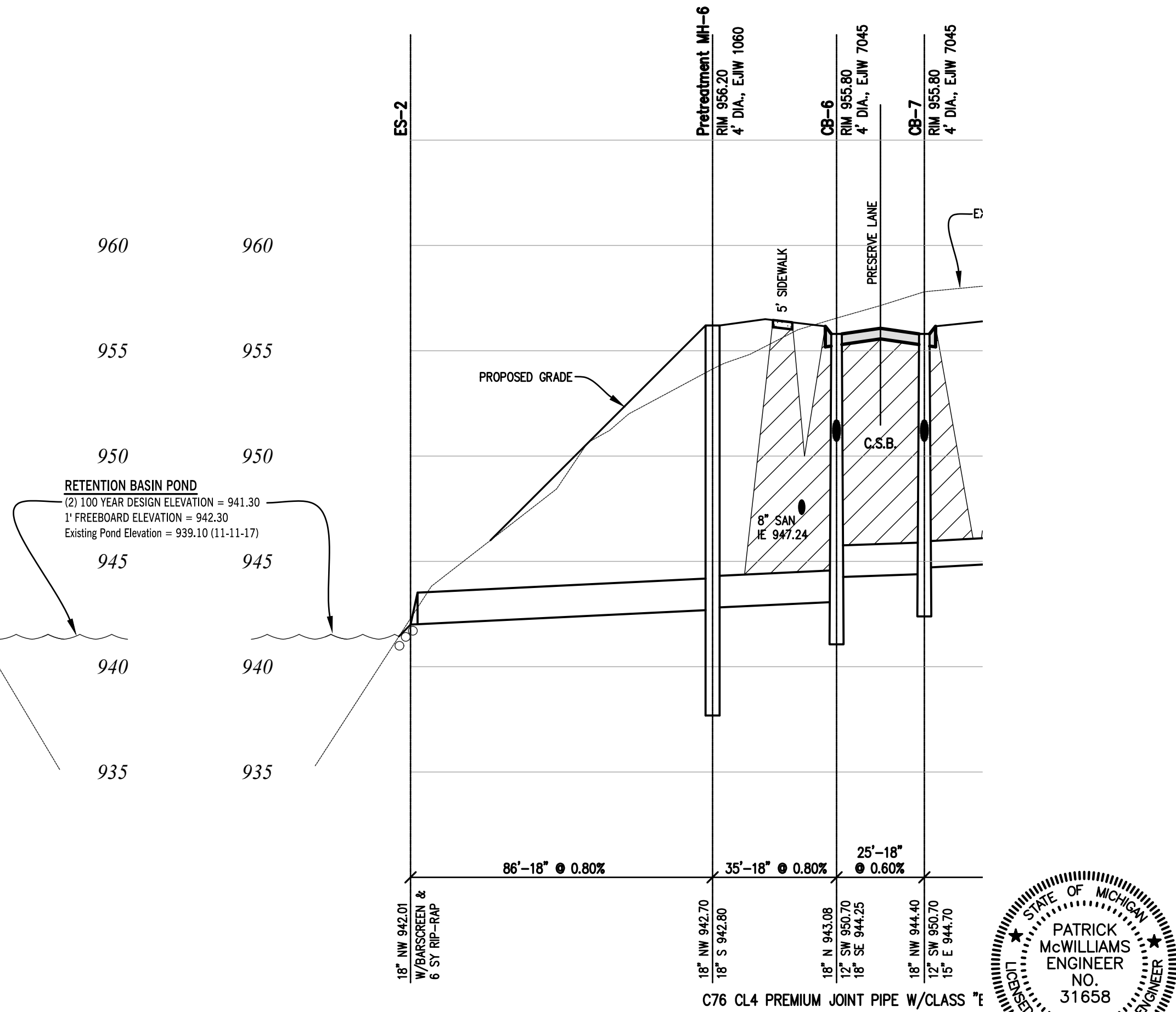
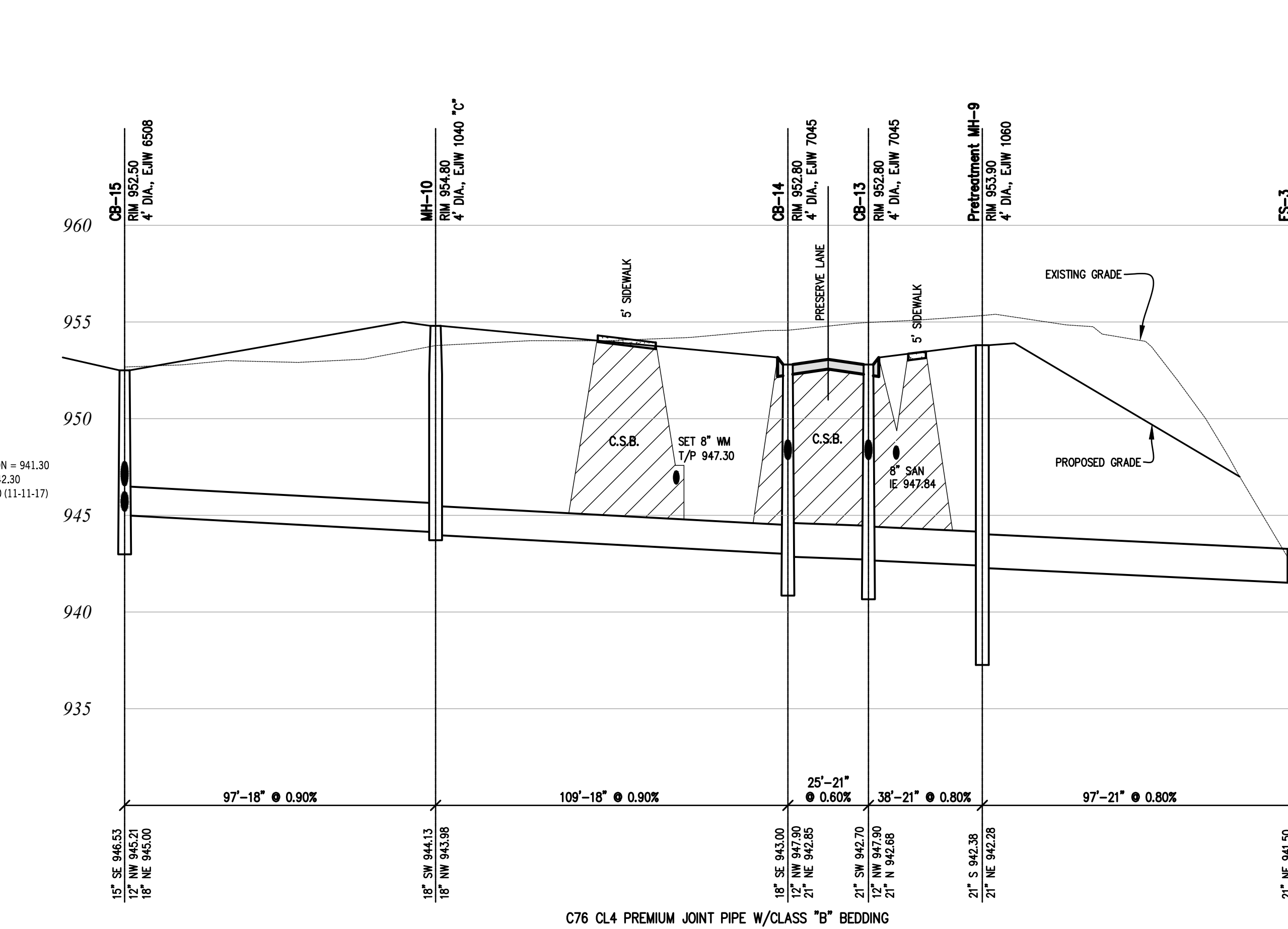
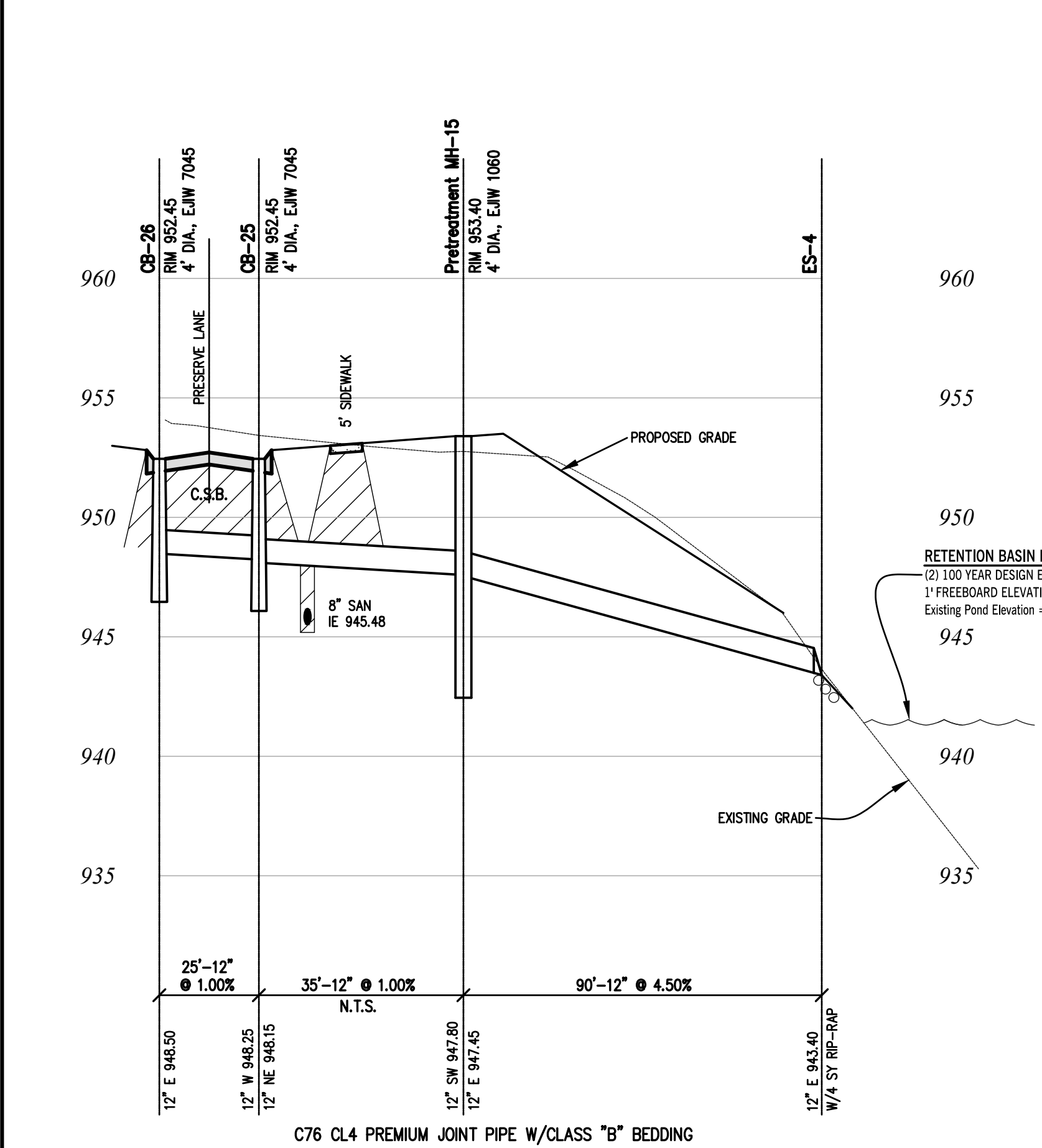
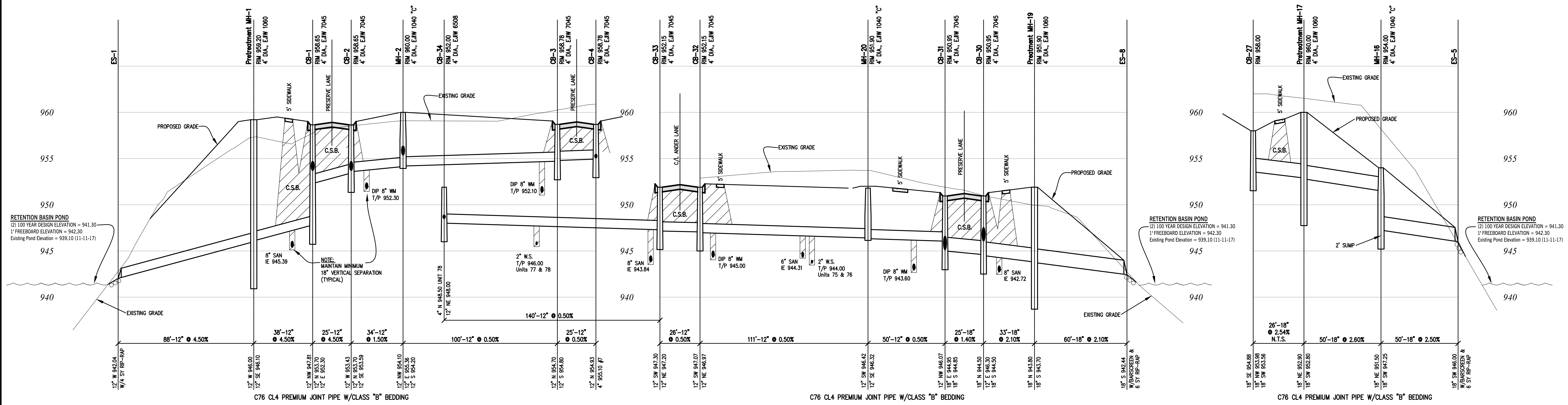
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PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

Table with columns: DATE, CKD. BY, DATE, DRAWN, DESIGN, SECTION. Values include 11-8-18, GF, JJS/PCM, 36.



72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)
Retention Basin Calculations, Details & Notes
"Preserve at Hidden Lake"
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

Table with columns: SCALE, SHEET, SHEET OF, KE. Values include N/A, 5 OF 7, KE 2017.182.



DATE	ISSUE
11-30-18	PER J & A (11-13-18)
11-11-19	PER J & A (12-19-18), McKenna (12-18-18), DGS
2-24-2021	PER CLIENT REVISED BASIS 2, 3 & 4 (1-27-2021)
3-25-2021	PER D17 (3-11-2021) & McKenna (3-11-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT

PROPRIETOR:
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DATE 11-8-18	CKD. BY	DATE
DRAWN GF		
DESIGN JUS		
SECTION 36	T- 3 -N- R- 8 -E-	



72 HOURS
 (5 WORKING DAYS)
 BEFORE YOU DIG
 CALL MISS DIG
 800-482-7171
 (TOLL FREE)

Storm Sewer Profiles
"Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30' HORIZ.
 1" = 5' VERT.
 SHEET 6 OF 7
KE 2017.182

C:\2017\182\Draws\Construction Plans PH\Drawg_Shm6_2/2/2022 10:27:58 AM



Stormceptor Sizing Detailed Report
PCSWM for Stormceptor

Project Information table with fields: Date, Project Name, Project Number, Location

Stormwater Quality Objective

This report outlines how Stormceptor System can achieve a defined water quality objective through the removal of total suspended solids (TSS). Attached to this report is the Stormceptor Sizing Summary.

Stormceptor System Recommendation

The Stormceptor System model STC 450i achieves the water quality objective removing 80% TSS for a User defined particle size distribution.

The Stormceptor System

The Stormceptor oil and sediment separator is sized to treat stormwater runoff by removing pollutants through gravity separation and flotation. Stormceptor's patented design generates positive TSS removal for all rainfall events, including large storms.

Stormceptor provides a high level of TSS removal for small frequent storm events that represent the majority of annual rainfall volume and pollutant load. Positive treatment continues for large infrequent events, however, such events have little impact on the average annual TSS removal as they represent a small percentage of the total runoff volume and pollutant load.

Stormceptor is the only oil and sediment separator on the market sized to remove TSS for a wide range of particle sizes, including fine sediments (clays and silts), that are often overlooked in the design of other stormwater treatment devices.



Pretreatment Structure
MH-1, 6.53 CFS (3.17 Acres, C=0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-1

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8

Pretreatment Structure
MH-6, 9.06 CFS (4.50 Acres, C = 0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-6

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8

Pretreatment Structure
MH-9, 13.41 CFS (6.70 Acres, C = 0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-9

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8

Pretreatment Structure
MH-15, 2.79 CFS (1.34 Acres, C=0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-15

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8

Pretreatment Structure
MH-16, 4.57 CFS (2.00 Acres, C=0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-16

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8

Pretreatment Structure
MH-19, 15.11 CFS (6.93 Acres, C = 0.54)



Detailed Stormceptor Sizing Report - Catchment to MH-19

Project Information & Location table with fields: Project Name, City, Country, Designer Information, EOR Information (optional)

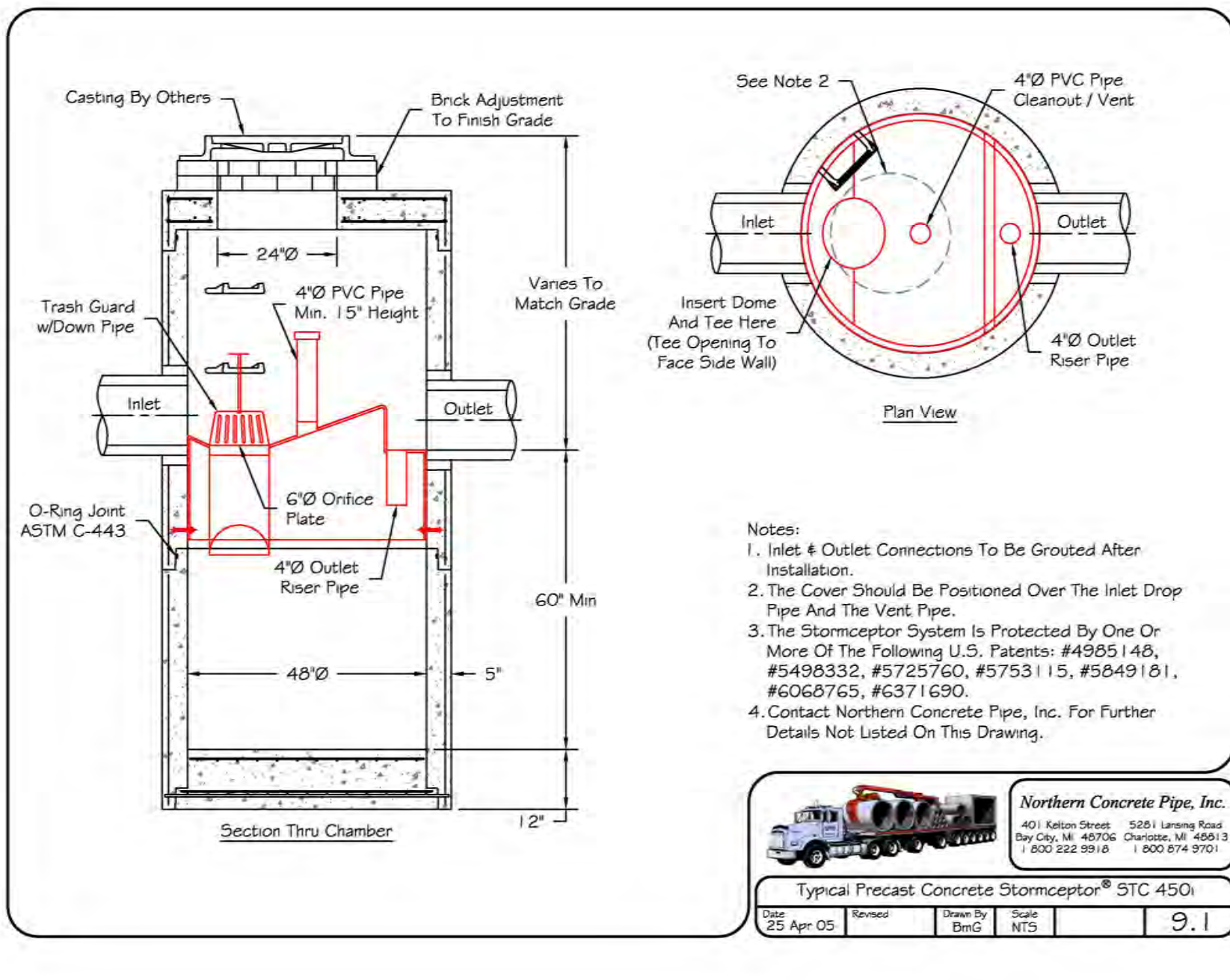
Stormwater Treatment Recommendation
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Table with columns: Site Name, Recommended Stormceptor Model, Target TSS Removal (%), TSS Removal (%) Provided, PSD, Rainfall Station

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

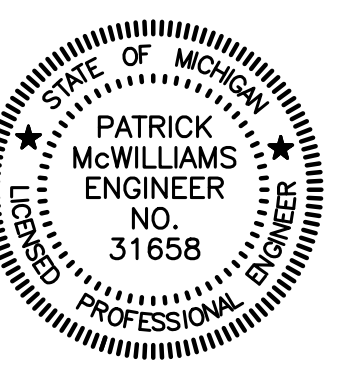
Stormceptor Sizing Summary table with columns: Stormceptor Model, % TSS Removal Provided

Stormceptor Detailed Sizing Report - Page 1 of 8



- Notes: 1. Inlet & Outlet Connections To Be Grouted After Installation. 2. The Cover Should Be Positioned Over The Inlet Drop Pipe And The Vent Pipe. 3. The Stormceptor System Is Protected By One Or More Of The Following U.S. Patents: #4985145, #5498332, #725760, #5753115, #5849181, #6065765, #6371690. 4. Contact Northern Concrete Pipe, Inc. For Further Details Not Listed On This Drawing.

Northern Concrete Pipe, Inc. logo and contact information. Includes a small image of a truck and a table with columns: Date, Appr, Drawn, Date, No.

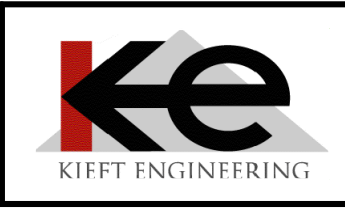


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Table with columns: DATE, PER, ISSUE. Rows include dates from 11-30-18 to 8-14-2021 and corresponding personnel.

PROPRIETOR: Preserve at Hidden Lake, LLC 8255 CASCADE AVENUE, SUITE 110 COMMERCE TOWNSHIP, MICHIGAN 48382 (248) 842-8613

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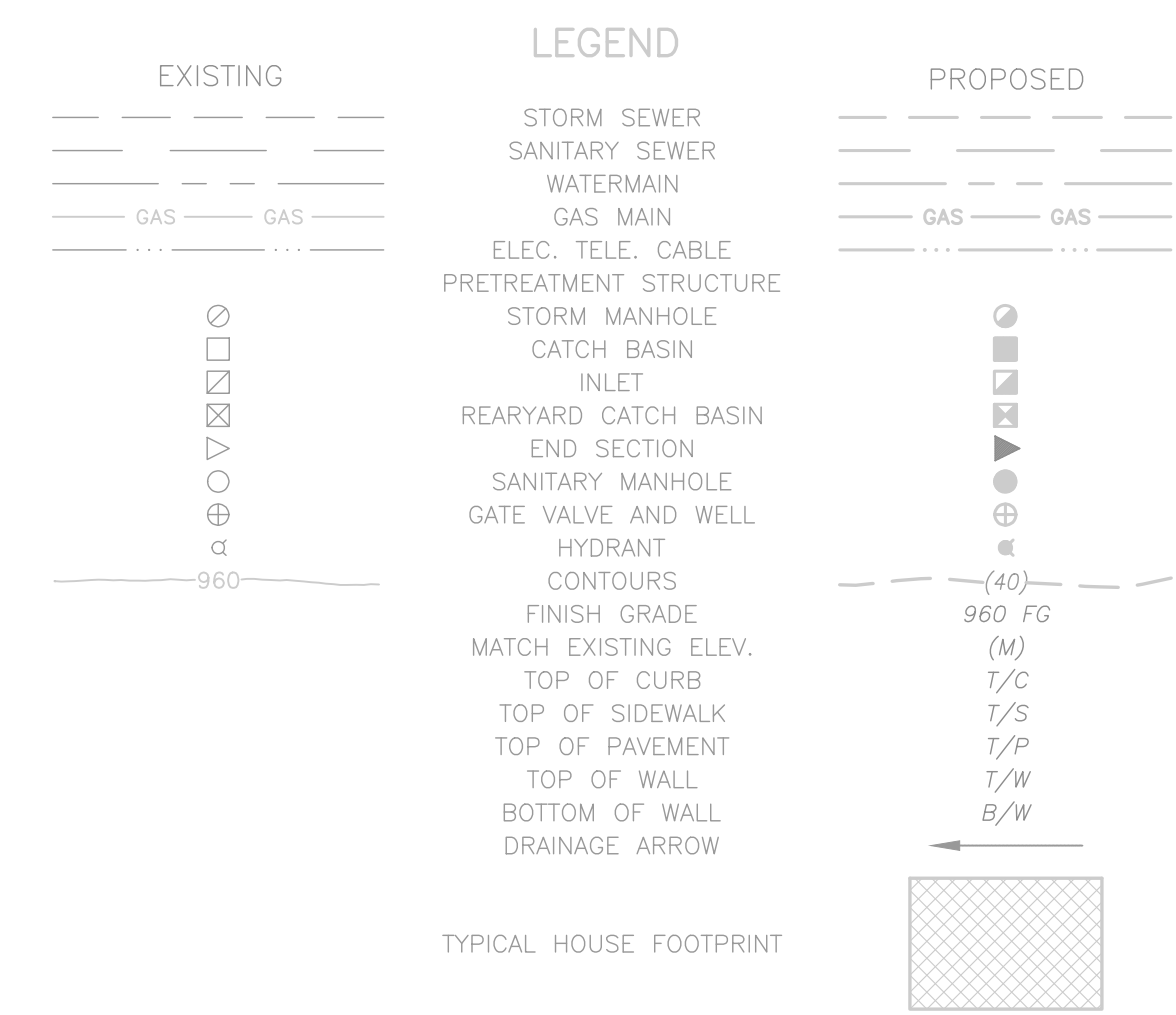
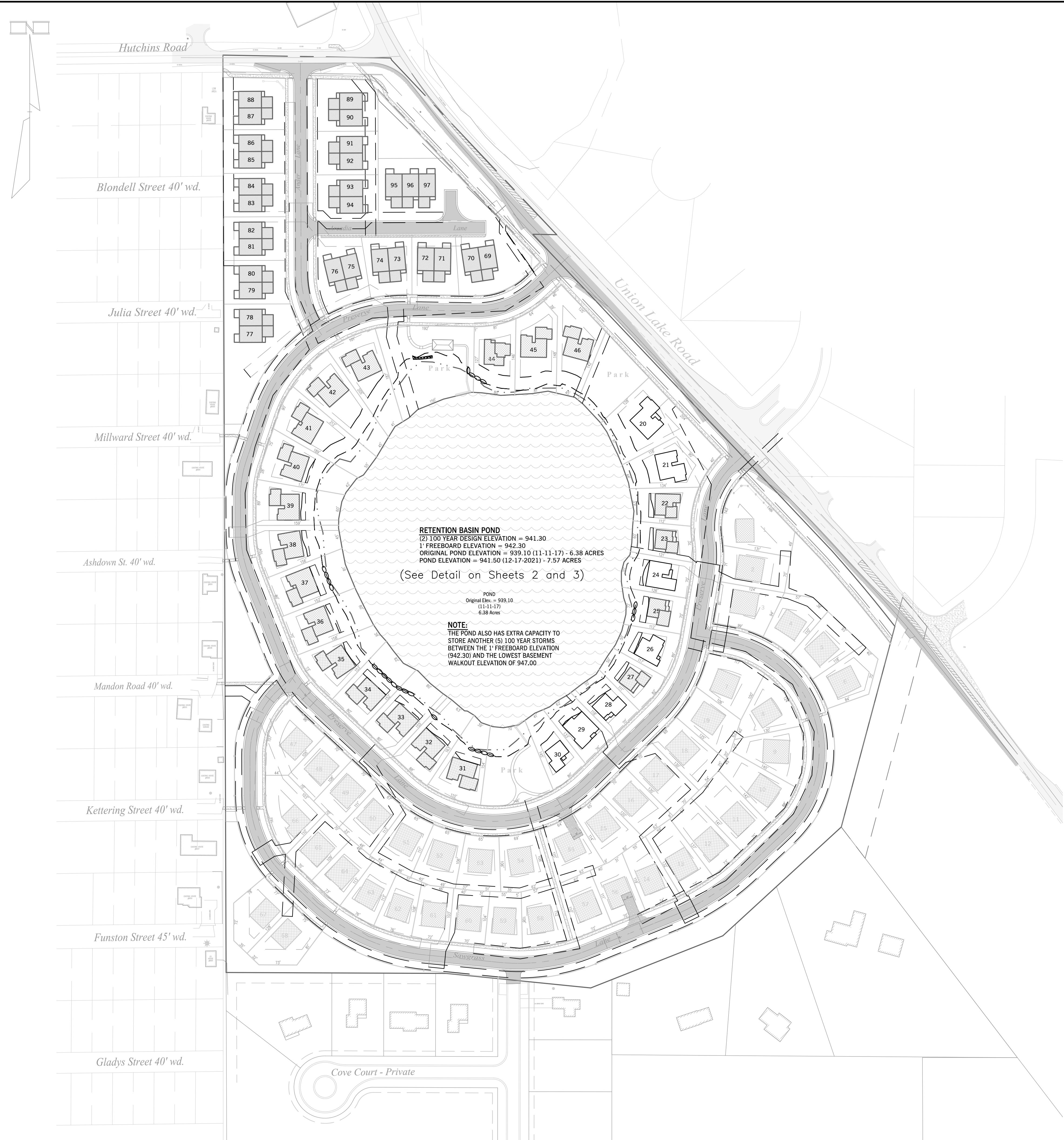
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Table with columns: DATE, DRAWN, DESIGN, SECTION, CKD. BY, DATE. Values include 11-8-18, GF, JUS, 36, T-3-N-R-8-E.



Storm Sewer Calculations & Details "Preserve at Hidden Lake" WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

Table with columns: SCALE, SHEET, KE. Values include N/A, 7 OF 7, KE 2017.182



RETENTION BASIN POND
 (2) 100 YEAR DESIGN ELEVATION = 941.30
 1' FREEBOARD ELEVATION = 942.30
 ORIGINAL POND ELEVATION = 939.10 (11-11-17) - 6.38 ACRES
 POND ELEVATION = 941.50 (12-17-2021) - 7.57 ACRES
 (See Detail on Sheets 2 and 3)

POND
 Original Elev. = 939.10
 (11-11-17)
 6.38 Acres

NOTE:
 THE POND ALSO HAS EXTRA CAPACITY TO STORE ANOTHER (5) 100 YEAR STORMS BETWEEN THE 1' FREEBOARD ELEVATION (942.30) AND THE LOWEST BASEMENT WALKOUT ELEVATION OF 947.00

PD Zoning - Planned Development District

SETBACKS: (PER ORDINANCE)
 FRONT - 40 FEET
 REAR - 30/40 FEET (TO BE DETERMINED BY PLANNING COMMISSION)
 SIDES - 25 FEET ONE SIDE
 50 FEET TOTAL OF TWO SIDES

RESIDENTIAL:
 TOTAL UNITS PROPOSED - 68
 FRONT SETBACK - 25 FT
 REAR SETBACKS:
 POND UNITS MINIMUM - 25 FT (FROM 1' FREEBOARD ELEVATION OF 942.30 WITH POTENTIAL BOULDER WALLS CONSTRUCTED, AS REQUIRED OUTSIDE OF WETLANDS) - SEE PLAN FOR UNITS 20, 23-26, 29, 31-35, 37 AND 44.
 OFF POND LOTS - 30 FT
 SIDE YARD SETBACKS - 10 FT (EACH SIDE)
 ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK

DUPLEX UNITS:
 TOTAL DUPLEX UNITS PROPOSED - 26
 TOTAL TRI-PLEX UNITS PROPOSED - 1
 FRONT SETBACK - 25 FT MIN. (TO SIDEWALK/R.O.W.)
 REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)
 SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)

OPEN SPACE - RESIDENTIAL UNITS
 OPEN SPACE - 3.32 Ac.
 POND AREA - 6.38 Ac.
 OPEN SPACE - 9.70 Ac.

OPEN SPACE - DUPLEX UNITS
 OPEN SPACE - 1.8 Ac +/-
 TOTAL OPEN SPACE - 11.5 ACRES +/-
 TOTAL SITE AREA (NET) - 37.99 ACRES

OPEN SPACE RATIO = 30.0%

* **NOTE:**
 FOR LAKE UNITS WITH ONLY 25' TO 37' SETBACK TO THE 1' FREEBOARD ELEVATION OF 942.30, THE PROPOSED DECK WIDTH IS LIMITED TO 12' WIDE - SEE PLAN FOR UNITS 22-29 AND 31-40.

NARRATIVE:
 IN AN EFFORT TO CLARIFY THE REQUIRED SETBACKS FOR THE LAKE UNIT ENVELOPES AND THE LAKE DECK ENVELOPES WE HAVE PREPARED A HIDDEN LAKE UNIT SETBACK CLARIFICATION PLAN SET. WE HAVE SET THE MINIMUM LAKE UNIT REAR SETBACK TO 25' OFF OF THE 1' FREEBOARD ELEVATION LINE OF 942.30. IN ADDITION, FOR UNITS 22-29 AND 31-40 WHICH HAVE A REAR UNIT SETBACK OF BETWEEN 25' AND 37' FROM THE 1' FREEBOARD ELEVATION OF 942.30, WE WILL LIMIT THE DECK WIDTH TO 12' WIDE.

THE BALANCE OF THE LAKE UNITS WILL HAVE A REAR SETBACK OF 25'; FOR BOTH THE UNITS AND THE DECKS FROM THE 1' FREEBOARD ELEVATION LINE OF 942.30.

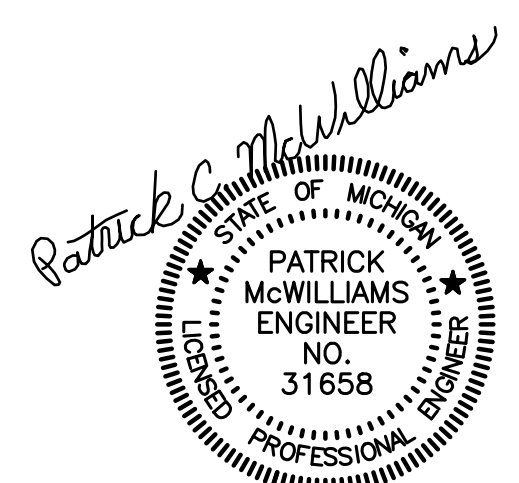


Exhibit 1

Overall Hidden Lake Unit Setback Clarification Plan
 "Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
 SHEET 1 OF 4
 KE 2017.182

DATE	ISSUE
2-7-2022	ADDED SETBACK CLARIFICATION SHIS PER TWP (1-25-2022)
3-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

PROPRIETOR:
 Preserve at Hidden Lake, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
 (248) 842-8613

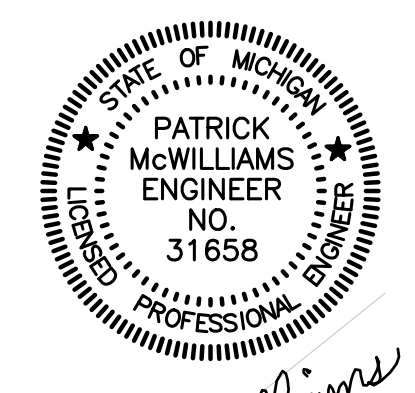
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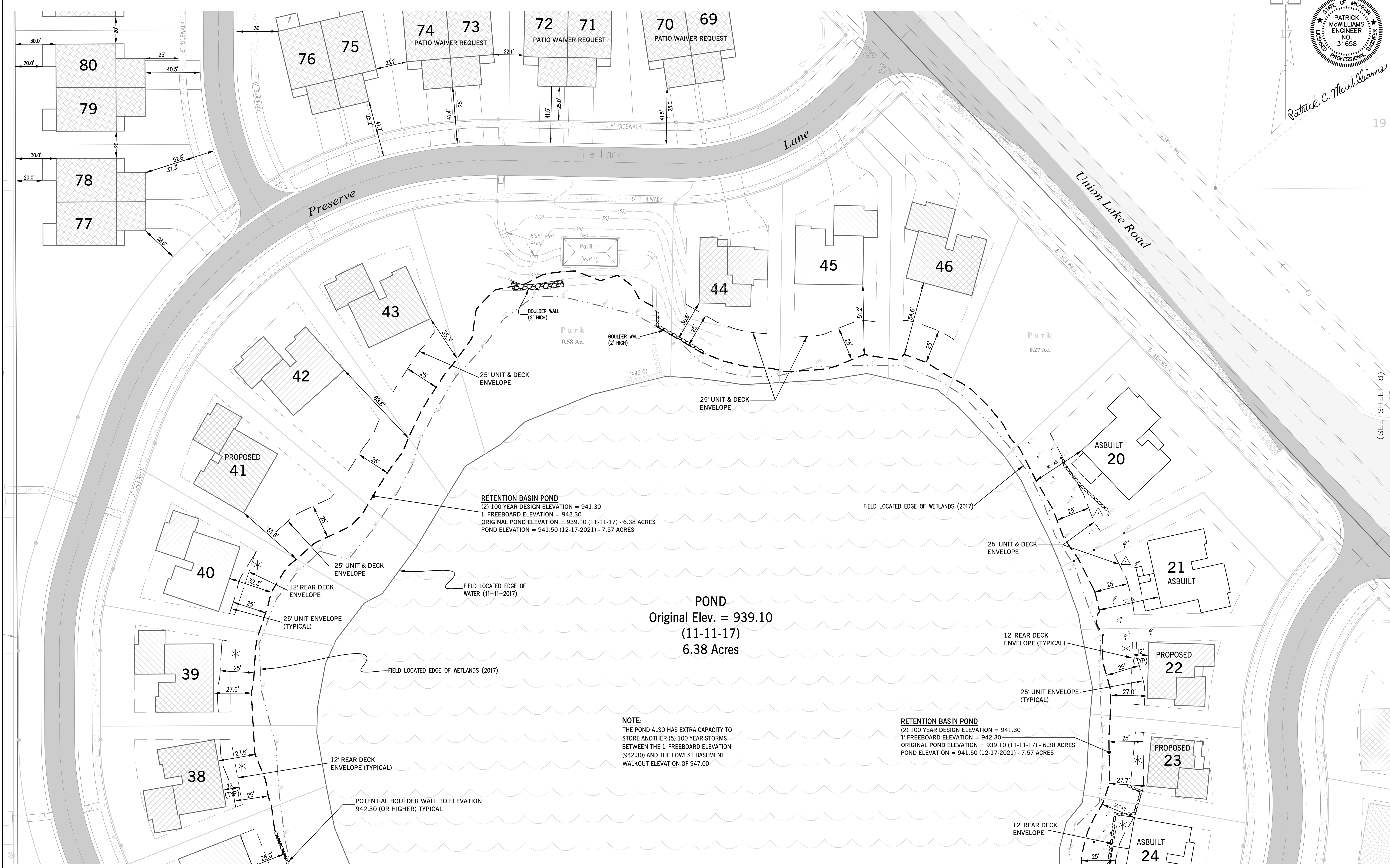
DATE	1-6-2022	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	36	T- 3 -N- R- 8 -E-	





Patrick C. McWilliams

(SEE SHEET 8)



RETENTION BASIN POND
(2) 100 YEAR DESIGN ELEVATION = 941.30
1' FREEBOARD ELEVATION = 942.30
ORIGINAL POND ELEVATION = 939.10 (11-11-17) - 6.38 ACRES
POND ELEVATION = 941.50 (12-17-2021) - 7.57 ACRES

POND
Original Elev. = 939.10
(11-11-17)
6.38 Acres

NOTE:
THE POND ALSO HAS EXTRA CAPACITY TO STORE ANOTHER (5) 100 YEAR STORMS BETWEEN THE 1' FREEBOARD ELEVATION (942.30) AND THE LOWEST BASEMENT WALKOUT ELEVATION OF 947.00

RETENTION BASIN POND
(2) 100 YEAR DESIGN ELEVATION = 941.30
1' FREEBOARD ELEVATION = 942.30
ORIGINAL POND ELEVATION = 939.10 (11-11-17) - 6.38 ACRES
POND ELEVATION = 941.50 (12-17-2021) - 7.57 ACRES

(SEE SHEET 3)

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DATE	ISSUE
2-2-2022	ADDED SETBACK CLARIFICATION SHIS PER TWP (1-25-2022)
3-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

PROPRIETOR:
Preserve at Hidden Lake, LLC
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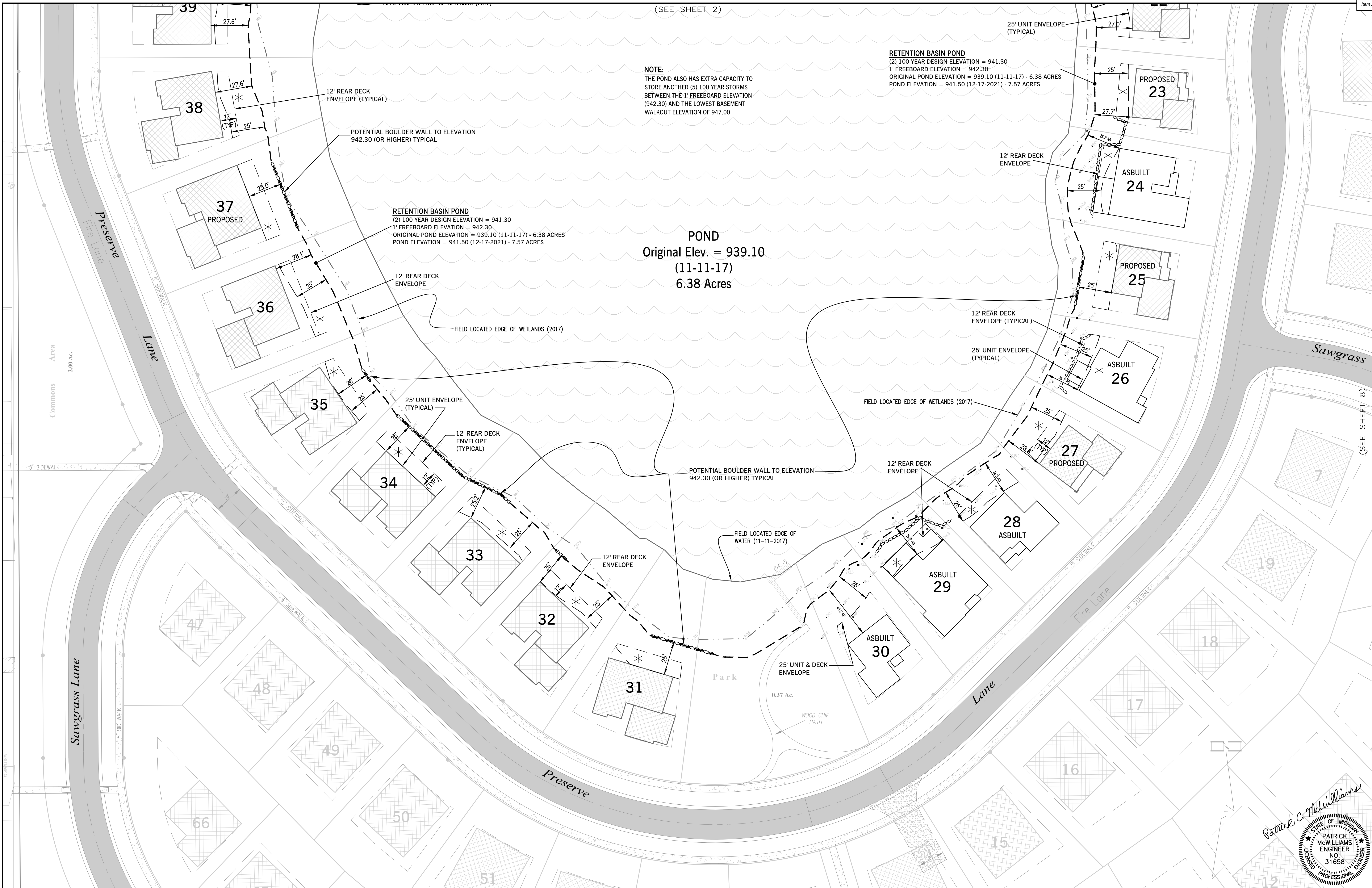
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DATE	1-6-2022	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	36	T-3-N-R-8-E	



Hidden Lake Unit Setback Clarification - North
"Preserve at Hidden Lake"
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 30'
SHEET	2 OF 4
KE	2017.182



6/20/21 10:45:45 AM Unit Planning_S04a13_3/16/2022 9:45:45 AM

DATE	ISSUE
2-17-2022	ADDED SETBACK CLARIFICATION SHS PER TWP (1-25-2022)
3-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

PROPRIETOR:
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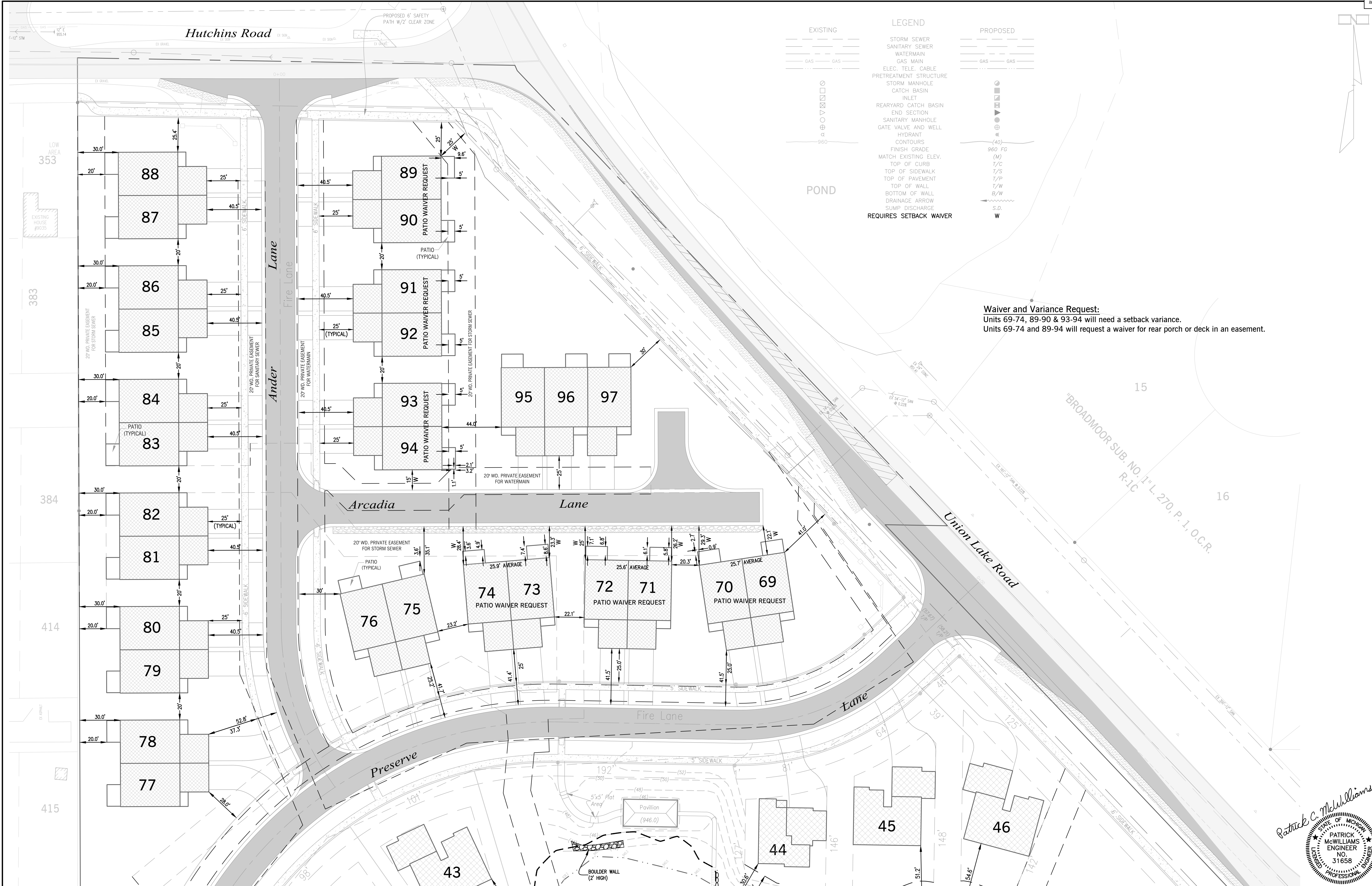
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DATE	1-6-2022	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	36	T- 3 -N, R- 8 -E	



Hidden Lake Unit Setback Clarification - South
 "Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 3 OF 4
 KE 2017.182



Waiver and Variance Request:
 Units 69-74, 89-90 & 93-94 will need a setback variance.
 Units 69-74 and 89-94 will request a waiver for rear porch or deck in an easement.

LEGEND

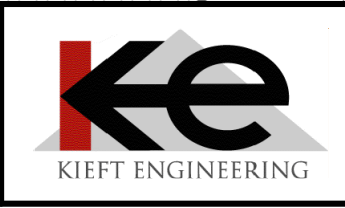
	EXISTING STORM SEWER		PROPOSED STORM SEWER
	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER
	EXISTING WATERMAIN		PROPOSED WATERMAIN
	EXISTING GAS MAIN		PROPOSED GAS MAIN
	EXISTING ELEC. TELE. CABLE		PROPOSED ELEC. TELE. CABLE
	EXISTING PRETREATMENT STRUCTURE		PROPOSED PRETREATMENT STRUCTURE
	EXISTING STORM MANHOLE		PROPOSED STORM MANHOLE
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
	EXISTING INLET		PROPOSED INLET
	EXISTING REARYARD CATCH BASIN		PROPOSED REARYARD CATCH BASIN
	EXISTING END SECTION		PROPOSED END SECTION
	EXISTING SANITARY MANHOLE		PROPOSED SANITARY MANHOLE
	EXISTING GATE VALVE AND WELL		PROPOSED GATE VALVE AND WELL
	EXISTING HYDRANT		PROPOSED HYDRANT
	EXISTING CONTOURS		PROPOSED CONTOURS
	EXISTING FINISH GRADE		PROPOSED FINISH GRADE
	EXISTING MATCH EXISTING ELEV.		PROPOSED MATCH EXISTING ELEV.
	EXISTING TOP OF CURB		PROPOSED TOP OF CURB
	EXISTING TOP OF SIDEWALK		PROPOSED TOP OF SIDEWALK
	EXISTING TOP OF PAVEMENT		PROPOSED TOP OF PAVEMENT
	EXISTING TOP OF WALL		PROPOSED TOP OF WALL
	EXISTING BOTTOM OF WALL		PROPOSED BOTTOM OF WALL
	EXISTING DRAINAGE ARROW		PROPOSED DRAINAGE ARROW
	EXISTING SUMP DISCHARGE		PROPOSED SUMP DISCHARGE
	EXISTING REQUIRES SETBACK WAIVER		PROPOSED REQUIRES SETBACK WAIVER

6/30/2021 10:28:43 AM Unit Planning_Settback.k4 3/16/2022 7:04:05 AM

DATE	ISSUE
2-7-2022	ADDED SETBACK CLARIFICATION SHIS PER TWP (1-25-2022)
3-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

PROPRIETOR:
 Preserve at Hidden Lake, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
 (248) 842-8613

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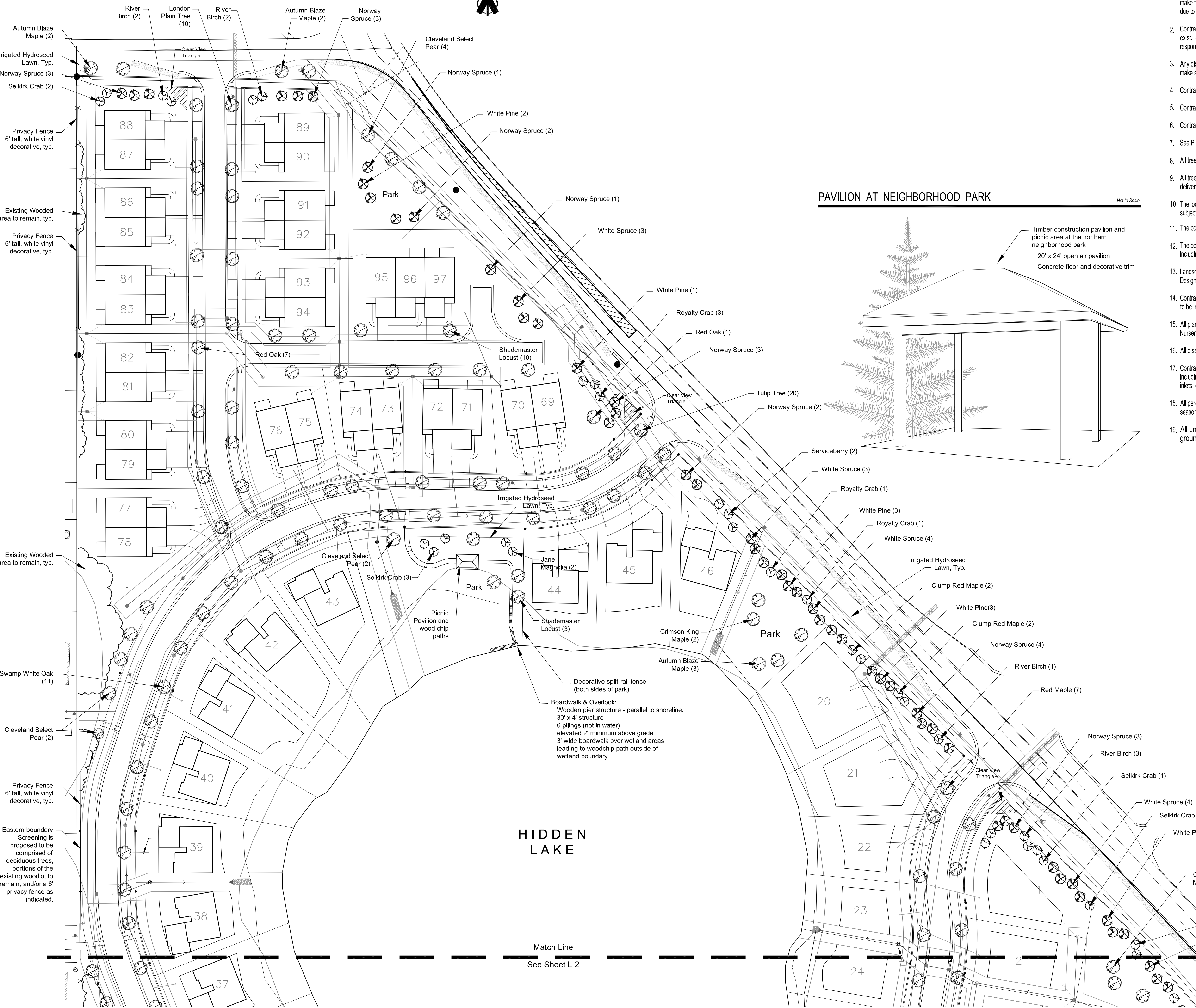
KIEFT ENGINEERING, INC.
 PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
 5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
 PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE 11-29-18	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 36	T-3-N-R-6-E	



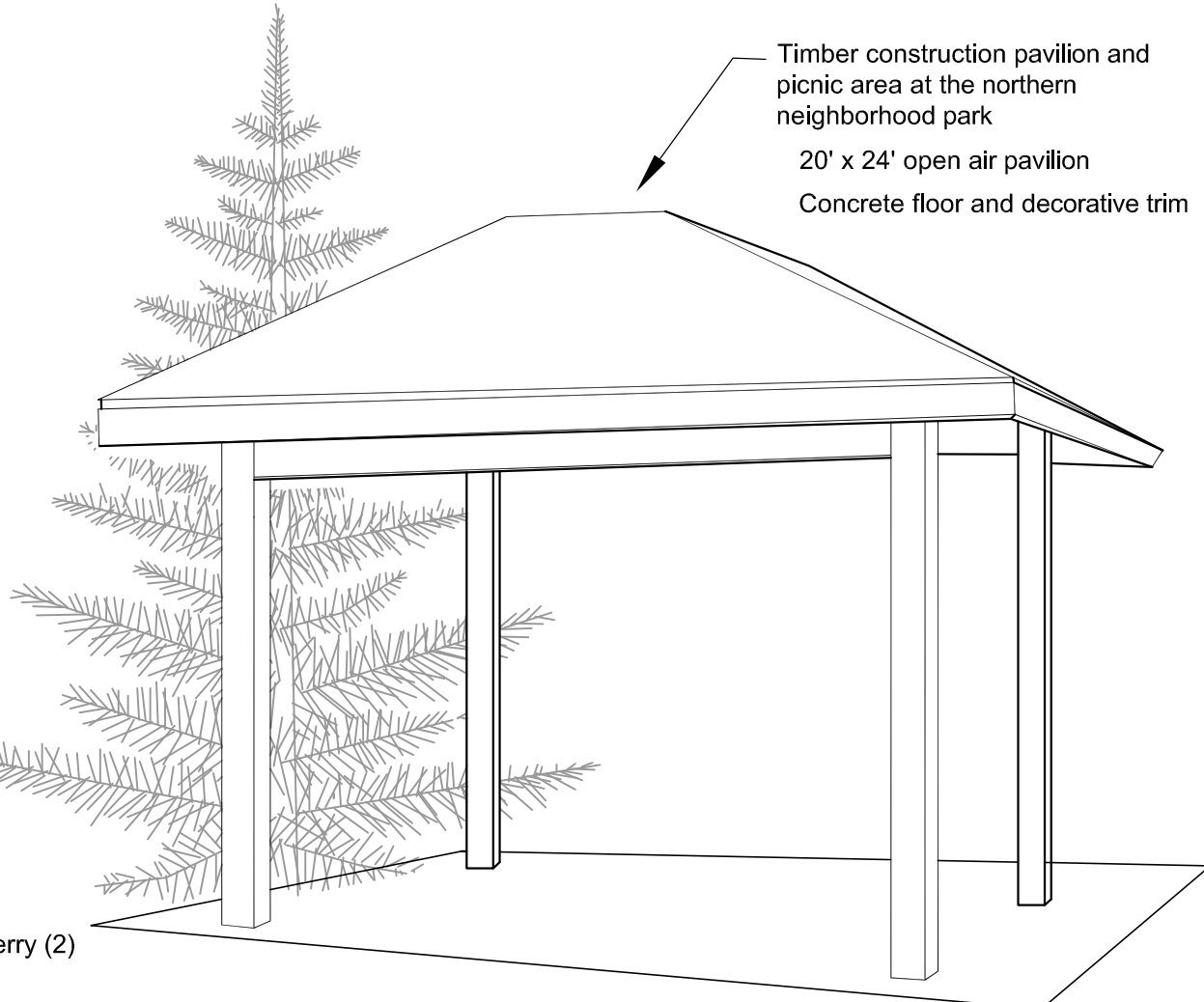
Cottage Homes Setback Clarification Plan
"Preserve at Hidden Lake"
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 4 OF 4
KE 2017.182



PAVILION AT NEIGHBORHOOD PARK:

Not to Scale



LANDSCAPE PLANTING NOTES:

- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions to be approved by the Owners Representative prior to being delivered to site. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The location of all plant material shall be scaled from drawings or interpreted from plant list. Final location of all plant material shall be subject to approval from the Owner's Representative.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- The contractor shall guarantee all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- Landscape Contractor shall install an automated irrigation system at all common area, frontage, park and entrance lawn areas on a Design/Build basis.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds unless otherwise indicated. Peat Moss is to be installed in all annual flower, perennial flower and ground cover planting beds. Such beds shall have no shredded mulch, typ.
- All plant material shall be nursery grown. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- All diseased, damaged, or dead landscape material shall be replaced by the end of the following growing season.
- Contractor shall adhere to all soil erosion prevention methods as directed within civil engineering drawings and Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- All perennials and ornamental grasses shall be planted on close centers so as to form a single mass appearance within one planting season.
- All unpaved areas within impacted development zones to be hydro-seed lawn areas, mulch beds or groundcover, typ.



J EPPINK PARTNERS, INC
Urban Design Studio
Urban Retail Design
Landscape Architecture
Traditional Town Planning
9336 Sashabaw Road
Clarkston, Michigan 48348
248.922.0415 fax
248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of J EPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of J EPPINK PARTNERS, INC.
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Project:

Preserve at Hidden Lake

White Lake, Michigan

Owner:

Preserve at Hidden Lake, LLC

8255 Cascade Avenue, Suite 110
Commerce Twp, Michigan 48382

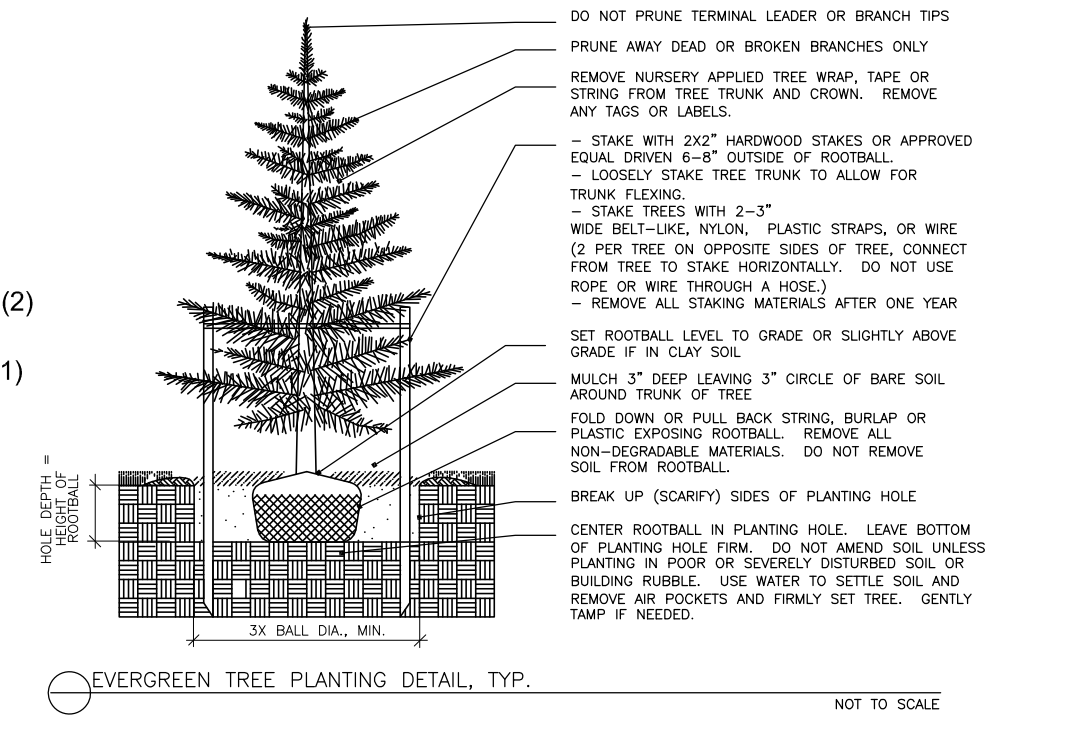
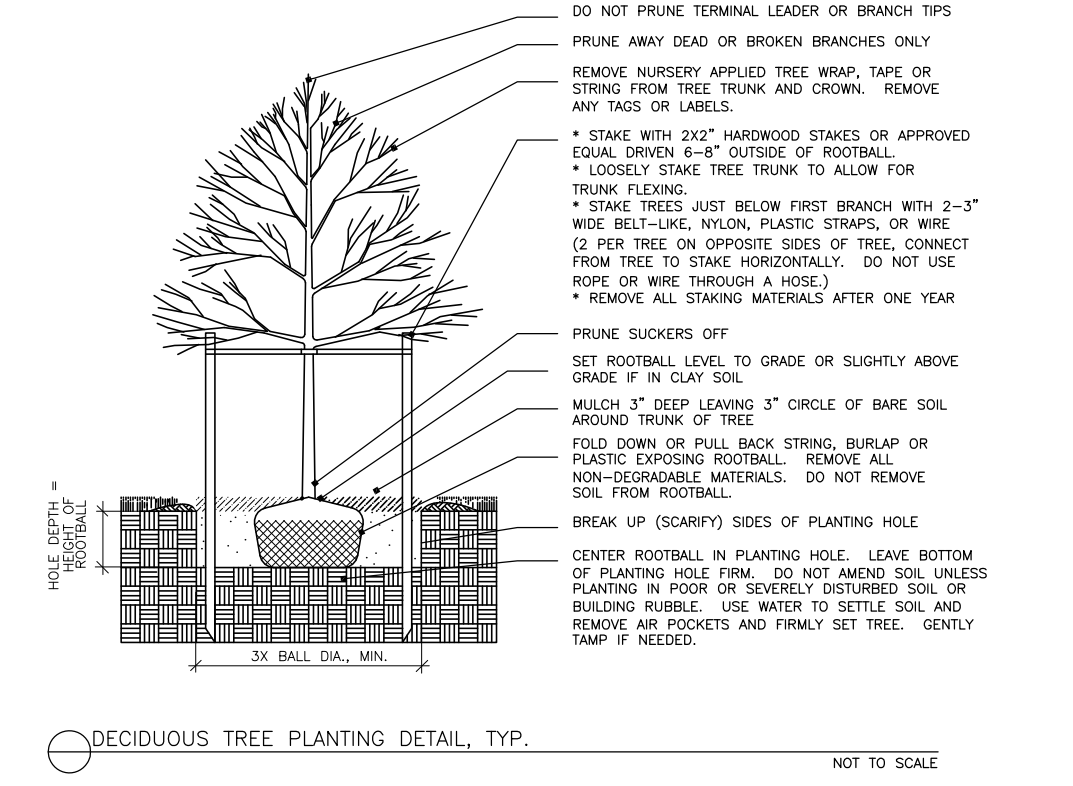
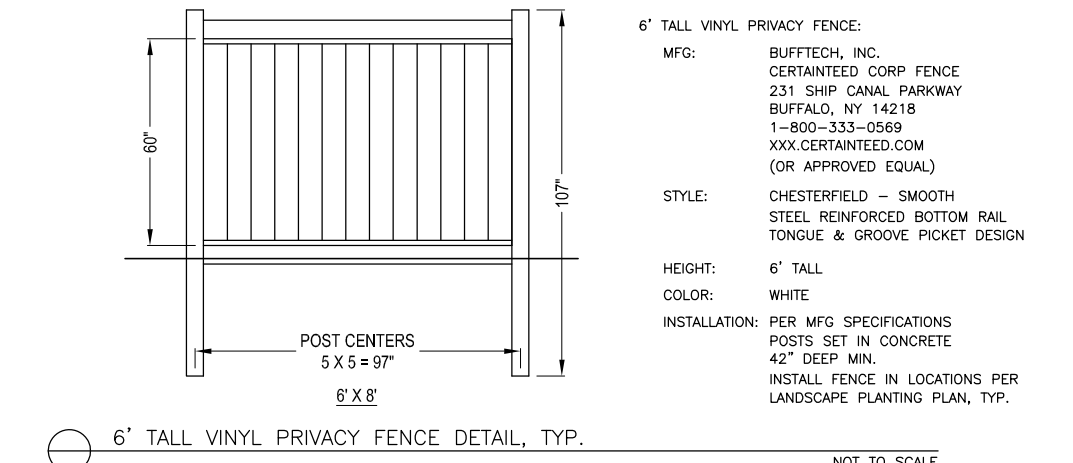
Landscape Planting Plan

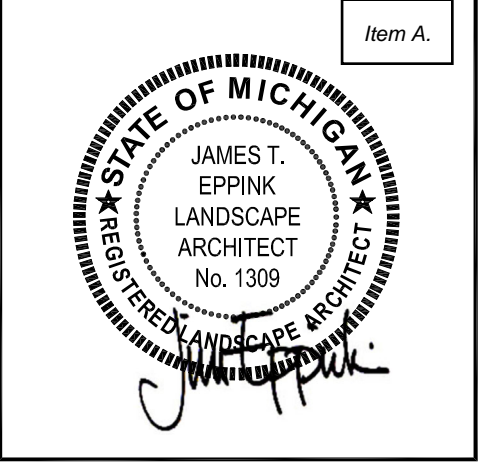
Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
SUBMISSION UPDATE	03-16-22

Drawn by: JJS
Checked by: JTE
Date: November 16, 2021
Scale: AS NOTED
Sheet: L-1

FENCE & PLANTING DETAILS:





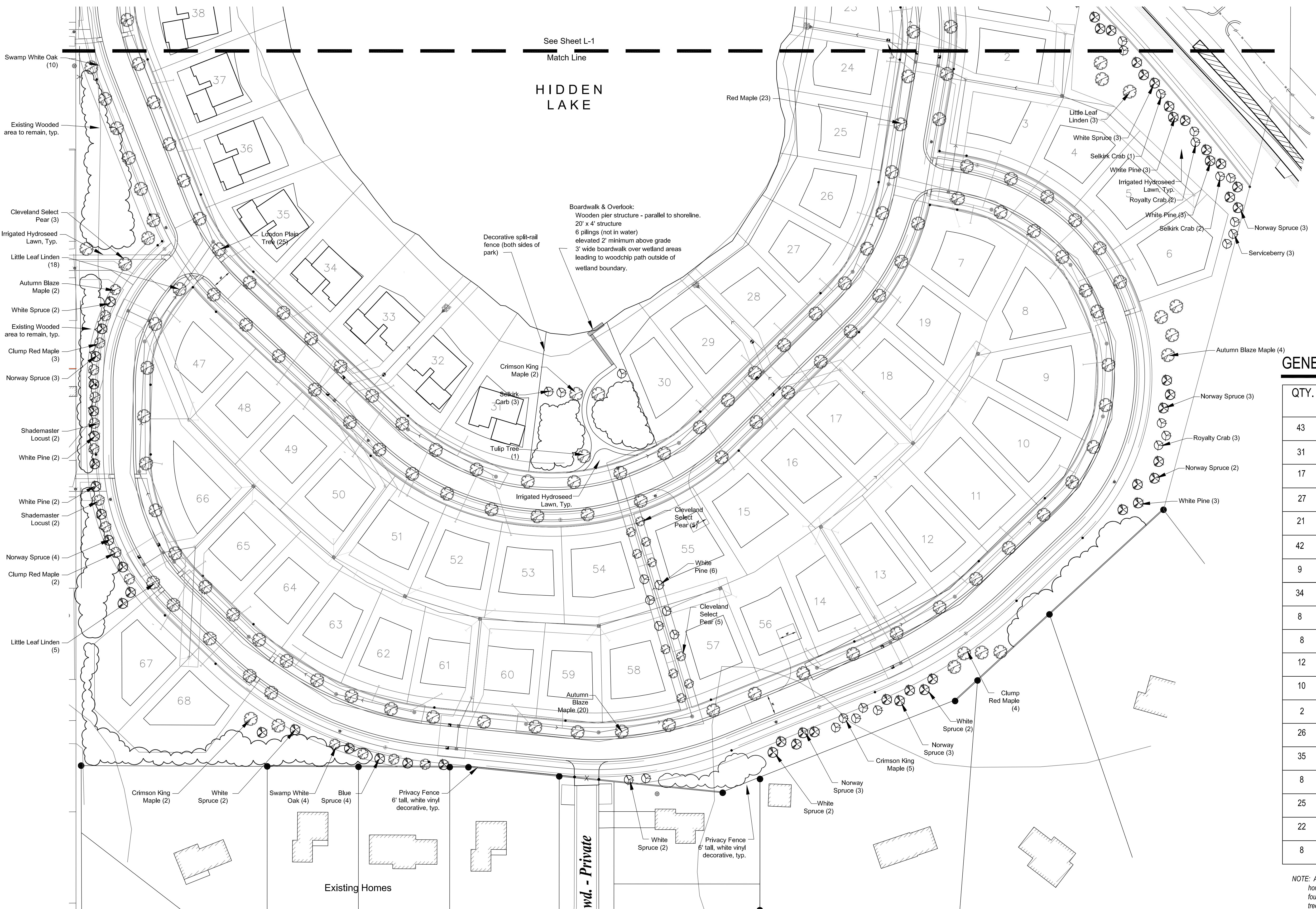
J EPPINK PARTNERS, INC
Urban Design Studio

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Project:
Preserve at Hidden Lake
White Lake, Michigan
Owner:
Hidden Lake, LLC
8255 Cascade Avenue, Suite 110
Commerce Twp, Michigan 48382

Sheet:
Landscape Planting Plan
Issues / Revisions
TWP REVIEW UPDATE 3-18-19
MKA REVIEW UPDATE 4-08-19
SITE PLAN UPDATE 3-26-21
FINAL REVIEW UPDATE 5-10-21
TOWNHOUSE UPDATE 11-16-21
SUBMISSION UPDATE 3-16-22

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JJS
Checked By:
JTE
Date:
November 16, 2021
Scale:
AS NOTED
Sheet:
L-2



See Sheet L-1
Match Line

HIDDEN LAKE

Boardwalk & Overlook:
Wooden pier structure - parallel to shoreline.
20' x 4' structure
6 pilings (not in water) elevated 2' minimum above grade
3' wide boardwalk over wetland areas leading to woodchip path outside of wetland boundary.

Decorative split-rail fence (both sides of park)

Crimson King Maple (2)

Selkirk Carb (3)

Tulip Tree (1)

Irrigated Hydroseed Lawn, Typ.

Cleveland Select Pear (2)

White Pine (6)

Cleveland Select Pear (5)

Autumn Blaze Maple (20)

White Spruce (2)

Swamp White Oak (4)

Blue Spruce (4)

Privacy Fence 6' tall, white vinyl decorative, typ.

White Spruce (2)

White Spruce (2)

White Spruce (2)

White Spruce (2)

White Spruce (2)

White Spruce (2)

White Spruce (2)

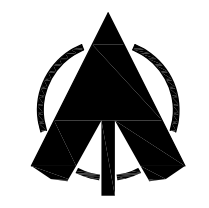
White Spruce (2)

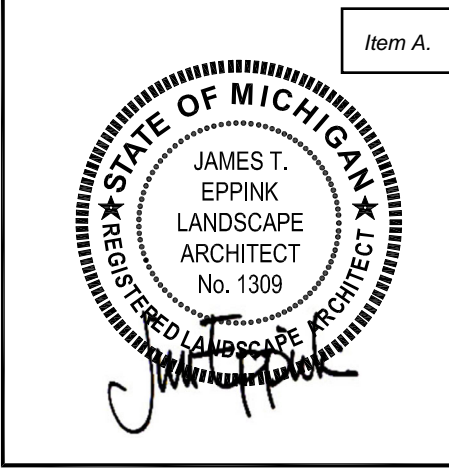
White Spruce (2)

GENERAL AREA PLANT LIST:

QTY.	DESCRIPTION	SIZE / ROOT
43	Picea abies Norway Spruce	8', B&B
31	Picea glauca White Spruce	8', B&B
17	Gleditsia triacanthos Shademaster Locust	2-1/2" cal., B&B
27	Pinus strobus White Pine	8', B&B
21	Pyrus callaryana Cleveland Select Pear	2-1/2" cal., B&B
42	Acer rubrum Red Maple	2-1/2" cal., B&B
9	Acer rubrum 'multi-stem' Clump Red Maple	2-1/2" cal., B&B, multi-stem
34	Acer rubrum 'Autumn Blaze' Autumn Blaze Maple	2-1/2" cal., B&B
8	Acer plantanoides Crimson King Maple	2-1/2" cal., B&B
8	Amilanchier Serviceberry	8', B&B
12	Malus 'Selkirk' Selkirk Crab	2-1/2" cal., B&B
10	Malus 'Royalty' Royalty Crab	2-1/2" cal., B&B
2	Magnolia, spp. Jane Magnolia	5', B&B
26	Tilia cordata Little Leaf Linden	2-1/2" cal., B&B
35	Plantanoideus occidentalis London Plain Tree	2-1/2" cal., B&B
8	Quercus rubra Red Oak	2-1/2" cal., B&B
25	Quercus bicolor Swamp White Oak	2-1/2" cal., B&B
22	Liriodendron tulipifera Tulip Tree	2-1/2" cal., B&B
8	Betula nigra River Birch	2-1/2" cal., B&B, multi-stem

NOTE: All Single Family, Two Family Attached and Multi Family homes will be landscaped to include a minimum of front foundation landscape plantings, 1 shade and 1 flowering trees, and will have a hydroseed or sod lawn, typ.





J EPPINK PARTNERS, INC
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Landscape Architecture
Traditional Town Planning
9336 Sashabaw Road
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248.922.0415 fax
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Project:

Preserve at Hidden Lake
White Lake, Michigan

Owner:
Preserve at Hidden Lake, LLC
8255 Cascade Avenue, Suite 110
Commerce Twp, Michigan 48382

Sheet:

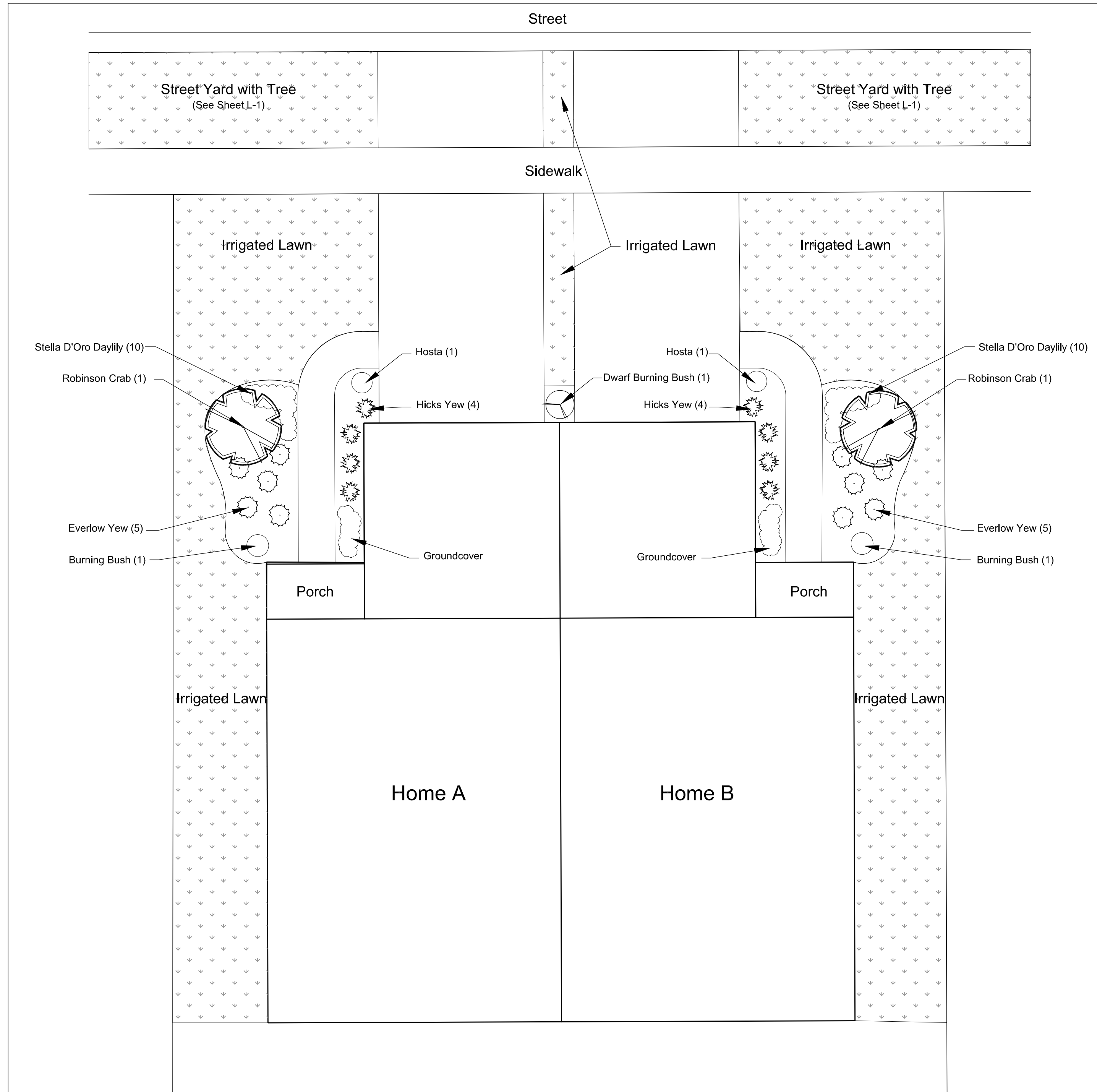
Landscape Planting Plan - Duplex & Townhouse Units

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
LANDSCAPE UPDATE	12-7-21
SUBMISSION UPDATE	3-16-22

Drawn by:
JJS
Checked By:
JTE
Date:
November 16, 2021

Scale:
AS NOTED
Sheet:
L-3



DUPLEX PLANT LIST:

QTY.	DESCRIPTION	SIZE / ROOT
2	Malus 'Robinson' Robinson Crab	2" cal, B&B
3	Eunoymus alatus compactus Dwarf Burning Bush	30-36", B&B
10	Taxus Densa 'Everlow' Everlow Yew	30-36", B&B
8	Taxus Hicksii Hicks Yew	30-36", B&B
20	Hemerocallis 'Sella D'Oro' Stella D'Ora Daylily	1 gal, Container
2	Hosta, spp. Hosta	2 gal, Container

*Typical plant list per 2 unit residential building.
Final landscape planting plan and plant list will vary from building to building in order to provide design and plant material variety.*



**FIRST AMENDMENT TO
PRESERVE AT HIDDEN LAKE
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

This is the First Amendment to the Preserve at Hidden Lake Planned District Development Agreement dated September 10, 2019 (“PD Agreement”) by and between Preserve at Hidden Lake, LLC, a Michigan limited liability company (“Developer”) having its principal office at 8255 Cascade Ave., Suite 110, Commerce, MI 48382, and the Charter Township of White Lake, a Michigan municipal corporation (“Township”), having its principal office at 7525 Highland Rd., White Lake, MI 48383. This amendment is effective _____.

Recitals

A. Developer and Township entered into the PD Agreement in order to allow Developer to develop, or cause to be developed pursuant to and in accordance with the Township Zoning Ordinance, the property described on Exhibit A of the PD Agreement and as shown in the Final Site Plan on Exhibit B of the PD Agreement, according to the Development Schedule set forth on Exhibit C of the PD Agreement. The PD Agreement was recorded in the office of the Oakland County Register of Deeds on September 13, 2019 at Liber 53248-~~Page 511~~, [Page 511](#), [on September 13, 2019 at Liber 53248, Page 530](#) and [on September 13, 2019 at Liber 53248, Page 549](#).

B. Developer has revised the Final Site Plan, which revision is dated _____ (“Site Plan No. 2”). Site Plan No. 2 was approved by the Township Planning Commission (“Planning Commission”) on _____. Site Plan No. 2 was approved by the Township Board of Trustees on _____. A copy of Site Plan No. [22 including the Overall Hidden Lake Unit Setback Clarification Plan](#) is attached hereto as Exhibit 1.

C. A site plan modification was approved by the Township Board of Trustees on January ~~17~~[18](#), 2022, due to the Hidden Lake water level being higher than anticipated.

D. Developer has revised the Development Schedule, which revision is attached hereto as Exhibit 2.

E. Developer and Township desire to amend the PD Agreement by replacing the Final Site Plan (Exhibit B of the PD Agreement) with Site Plan No. 2, attached hereto as Exhibit 1, and by replacing the Development Schedule (Exhibit C of the PD Agreement) with the Development Schedule attached hereto as Exhibit 2.

NOW, THEREFORE, Developer and Township agree as follows:

1. Article 1.4 of the PD Agreement is hereby deleted and the following inserted in its place and stead:

1.4 ~~Variances and/or Waivers~~/Modifications to Standard Zoning Requirements. The development requires a 25 foot front setback for all lots, instead of the 40 foot front setback required by the Township Ordinances. Except as otherwise provided herein, Developer shall adhere to all Township Ordinances. ~~Variances~~ ~~Waivers/modifications~~ from the Township Zoning Ordinance ~~w's~~ ~~hich~~ which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth on the Final Site Plan. The development requires the following setbacks, as set forth on the Final Site Plan:

Units 69 through 74	20.3 foot to 28.4 foot rear yard setbacks Rear Yard Setback from Arcadia Lane
<u>Unit Number</u>	<u>Distance (feet)</u>
69	22.1
70	29.3
71	26.2
72	25.0
73	23.3
74	28.4
Unit 89	25 foot rear yard setback Rear Setback from Union Lake Road
<u>Unit Number</u>	<u>Distance (feet)</u>
Units 88 and 89	25 foot to 25.4 foot side yard setback from Hutchins Road 25.0
Portion of Rear Patios Located in Storm Sewer Easement	
<u>Unit Number</u>	<u>Distance (feet)</u>
Units 70 through 74 and Units 89 through 94 70	1.2 foot to 8.6 foot rear patios encroachment into the storm sewer easements 0.9 and 2.7
71	6.1
72	7.1
73	8.6
74	4.9
89	5.0
90	5.0
91	5.0
92	5.0
93	5.0

94

5.0

All building envelopes for the back of each residence will be a minimum of 25 feet from the ~~water's edge of the retention basin~~ Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. With the exception of Units 22, 23, 24, 25, 26, 27, 28, 29, 31, 32, 33, 34, 35, 36, 37, 38, 39 and 40 ("Excepted Lake Units"), all Units are required to maintain a rear setback for decks and/or patios of 25 feet from the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. No deck ~~on any~~ or patio attached to an Excepted Lake Unit ~~shall exceed a maximum of~~ may be longer than 12 feet ~~into the rear yard setback.~~ ~~The Retention Basin is designed to prevent flooding even in as~~ measured from the ~~event of two (2) successive 100-year rains, and is further designed to prevent flooding in shortest distance from the event of an additional five and one half (5 1/2) successive 100-year rains before water reaches structure on the finish floor~~ Unit to the Retention Basin (Hidden Lake) 1-foot freeboard elevation of ~~a walkout basement. Nevertheless,~~ 942.30 feet. During the Sales Period, the Developer, its successors and assigns, and after the Sales Period, the Association, its successors and assigns, shall ~~install a boulder wall, if necessary, to maintain the 25 foot distance, and shall pump water out of the Retention Basin to irrigate front entrance landscaping and Unit landscaping~~ be required to take whatever action is necessary to alleviate flooding.

2. A new Article 2.5 is hereby added:

2.5 Indemnification and Hold Harmless. ~~To the fullest extent permitted by law,~~ ~~the~~ The Developer of Preserve at Hidden Lake Condominiums, its successors and assigns and on behalf of the Preserve at Hidden Lake Homeowners Association and its successors and assigns, agrees to defend, pay on behalf of, indemnify and shall release and hold harmless the Township, its elected and appointed officials, employees, contractors and volunteers and others working on behalf of the Township against any and all claims, demands, suits, or losses, including all costs connected therewith, and for any damages which may be asserted, claimed, or recovered against them, by reason of ~~personal property and~~ property damage to any Unit or any building on such Unit, or to any common element, due to a) flooding which occurs as a result of the retention basin overflowing its banks, ~~and b) the placement of decks and/or patios within the storm sewer easement.~~

3. The Final Site Plan dated November 30, 2018 attached as Exhibit B to the PD Agreement is hereby deleted, and Site Plan No. 2, attached hereto as Exhibit 1, shall be substituted in its place and stead as Exhibit B to the PD Agreement.

4. The Development Schedule attached as Exhibit C to the PD Agreement is hereby deleted, and the Development Schedule attached hereto as Exhibit 2 shall be substituted in its place and stead as Exhibit B to the PD Agreement.

5. The remainder of the PD Agreement is hereby reaffirmed in its entirety.

6. This First Amendment to Preserve at Hidden Lake Planned District Development Agreement, ~~or a notice of its existence,~~ shall be executed by the Developer and the Township and

shall be recorded by the Developer in the office of the Oakland County Register of Deeds, following the execution of this Amendment.

(SIGNATURES ON NEXT PAGE)

The undersigned have executed this First Amendment to Preserve at Hidden Lake Planned District Development Agreement effective as of the day and year first written above.

DEVELOPER:

Preserve at Hidden Lake, LLC, Michigan limited liability company

By: _____
Craig Piasecki
Its: Member

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Craig Piasecki, Member of Preserve at Hidden Lake, LLC, a Michigan limited liability company, on behalf of said limited liability company.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

TOWNSHIP:

CHARTER TOWNSHIP OF WHITE LAKE, a Michigan municipal corporation

By: _____
Rik Kowall
Its: Supervisor

By: _____
Anthony Noble
Its: Clerk

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Rik Kowall, Supervisor of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Anthony Noble, Clerk of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

Prepared by:

Bruce M. Hug
Attorney and Counselor
PO Box 600
Union Lake, MI 48387

Return to:

Craig Piasecki
Preserve at Hidden Lake, LLC
8255 Cascade
Suite 110
Commerce, MI 48382

**FIRST AMENDMENT TO
PRESERVE AT HIDDEN LAKE
PLANNED DISTRICT DEVELOPMENT AGREEMENT
EXHIBIT 1 – SITE PLAN DATED _____**

**FIRST AMENDMENT TO
PRESERVE AT HIDDEN LAKE
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

EXHIBIT 2 – DEVELOPMENT SCHEDULE

<u>Date of Commencement</u>	<u>Activity</u>
<u>(First Phase)</u>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
Complete	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<u>(Second and Third Phases)</u>	
March 15, 2021 Complete	Clearing of Land
April 21, 2021 Complete	Grading of Land
May 1, 2021 Complete	Underground Work
June 1, 2021 Complete	Curbs and Paving
June 30, 2021 Complete	Final Grading and Seeding
August May 1, 2021+2	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<u>(Phases 4 through 8)</u>	
March 15, 2021	Clearing of Land
April 21, 2021	Grading of Land
May 1, 2021	Underground Work
June 1, 2021	Curbs and Paving
June 30, 2021	Final Grading and Seeding
August 1, 2021	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
(Phases 94 through 17)	
March 15, 2021 Complete	Clearing of Land
April 21, 2021 Complete	Grading of Land
May 1, 202 1 2	Underground Work
June 1, 202 1 2	Curbs and Paving
June 30, 202 1 2	Final Grading and Seeding
August 1, 2021 July 30, 2022	Landscaping

**FIRST AMENDMENT TO
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NOW, THEREFORE, Developer and Township agree as follows:

1. Article 1.4 of the PD Agreement is hereby deleted and the following inserted in its place and stead:

1.4 Waivers/Modifications to Standard Zoning Requirements. The development requires a 25 foot front setback for all lots, instead of the 40 foot front setback required by the Township Ordinances. Except as otherwise provided herein, Developer shall adhere to all Township Ordinances. Waivers/modifications from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth on the Final Site Plan. The development requires the following setbacks, as set forth on the Final Site Plan:

Rear Yard Setback from Arcadia Lane	
<u>Unit Number</u>	<u>Distance (feet)</u>
69	22.1
70	29.3
71	26.2
72	25.0
73	23.3
74	28.4
Rear Setback from Union Lake Road	
<u>Unit Number</u>	<u>Distance (feet)</u>
89	25.0
Portion of Rear Patios Located in Storm Sewer Easement	
<u>Unit Number</u>	<u>Distance (feet)</u>
70	0.9 and 2.7
71	6.1
72	7.1
73	8.6
74	4.9
89	5.0
90	5.0
91	5.0
92	5.0
93	5.0
94	5.0

All building envelopes for the back of each residence will be a minimum of 25 feet from the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet.

With the exception of Units 22, 23, 24, 25, 26, 27, 28, 29, 31, 32, 33, 34, 35, 36, 37, 38, 39 and 40 (“Excepted Lake Units”), all Units are required to maintain a rear setback for decks and/or patios of 25 feet from the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. No deck or patio attached to an Excepted Lake Unit may be longer than 12 feet as measured from the shortest distance from the structure on the Unit to the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. During the Sales Period, the Developer, its successors and assigns, and after the Sales Period, the Association, its successors and assigns, shall be required to take whatever action is necessary to alleviate flooding.

2. A new Article 2.5 is hereby added:

2.5 Indemnification and Hold Harmless. The Developer of Preserve at Hidden Lake Condominiums, its successors and assigns and on behalf of the Preserve at Hidden Lake Homeowners Association and its successors and assigns, agrees to defend, pay on behalf of, indemnify and shall release and hold harmless the Township, its elected and appointed officials, employees, contractors and volunteers and others working on behalf of the Township against any and all claims, demands, suits, or losses, including all costs connected therewith, and for any damages which may be asserted, claimed, or recovered against them, by reason of personal property and property damage to any Unit or any building on such Unit, or to any common element, due to a) flooding which occurs as a result of the retention basin overflowing its banks, and b) the placement of decks and/or patios within the storm sewer easement.

3. The Final Site Plan dated November 30, 2018 attached as Exhibit B to the PD Agreement is hereby deleted, and Site Plan No. 2, attached hereto as Exhibit 1, shall be substituted in its place and stead as Exhibit B to the PD Agreement.

4. The Development Schedule attached as Exhibit C to the PD Agreement is hereby deleted, and the Development Schedule attached hereto as Exhibit 2 shall be substituted in its place and stead as Exhibit B to the PD Agreement.

5. The remainder of the PD Agreement is hereby reaffirmed in its entirety.

6. This First Amendment to Preserve at Hidden Lake Planned District Development Agreement shall be executed by the Developer and the Township and shall be recorded by the Developer in the office of the Oakland County Register of Deeds, following the execution of this Amendment.

(SIGNATURES ON NEXT PAGE)

The undersigned have executed this First Amendment to Preserve at Hidden Lake Planned District Development Agreement effective as of the day and year first written above.

DEVELOPER:

Preserve at Hidden Lake, LLC, Michigan limited liability company

By: _____
Craig Piasecki
Its: Member

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Craig Piasecki, Member of Preserve at Hidden Lake, LLC, a Michigan limited liability company, on behalf of said limited liability company.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

TOWNSHIP:

CHARTER TOWNSHIP OF WHITE LAKE, a Michigan municipal corporation

By: _____
Rik Kowall
Its: Supervisor

By: _____
Anthony Noble
Its: Clerk

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Rik Kowall, Supervisor of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on _____ by Anthony Noble, Clerk of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

Notary Public,
Oakland County, Michigan
My Commission Expires:
Acting in _____ County

Prepared by:

Bruce M. Hug
Attorney and Counselor
PO Box 600
Union Lake, MI 48387

Return to:

Craig Piasecki
Preserve at Hidden Lake, LLC
8255 Cascade
Suite 110
Commerce, MI 48382

**FIRST AMENDMENT TO
PRESERVE AT HIDDEN LAKE
PLANNED DISTRICT DEVELOPMENT AGREEMENT
EXHIBIT 1 – SITE PLAN DATED _____**

**FIRST AMENDMENT TO
PRESERVE AT HIDDEN LAKE
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

EXHIBIT 2 – DEVELOPMENT SCHEDULE

<u>Date of Commencement</u>	<u>Activity</u>
<u>(First Phase)</u>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
Complete	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<u>(Second and Third Phases)</u>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
May 1, 2022	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<u>(Phases 4 through 17)</u>	
Complete	Clearing of Land
Complete	Grading of Land
May 1, 2022	Underground Work
June 1, 2022	Curbs and Paving
June 30, 2022	Final Grading and Seeding
July 30, 2022	Landscaping

Director's Report

Project Name: Oxbow Lake Private Launch Association

Description: Final site plan and planned development agreement approval

Date on Agenda this packet pertains to: April 7th, 2022

- Public Hearing

 Special Land Use
 Initial Submittal

 Rezoning
 Revised Plans

 Other: PDA
 Preliminary Approval
 Final Approval

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Planning Director	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per comments from staff and consultants
DLZ	Engineering Consultant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/24/22
Justin Quagliata	Staff Planner	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/25/2022
Lisa Hamameh	Township Attorney	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/25/2022



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

March 24, 2022

Sean O' Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Proposed Boat Launch for Oxbow Lake Private Launch Association- Final Site Plan and Final Engineering Review

Ref: DLZ No. 2145-7233-20

Design Professional: David P. Smith & Associates

Dear Mr. O' Neil,

Our office has performed the Final Site Plan and Final Engineering Review of the revised plan dated March 7, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

The following comments from our Preliminary Site Plan review letter dated January 28, 2022 are listed below and are in *italics*. We have provided responses to those in **Bold** typeface.

The following items should be noted with respect to Planning Commission review:

- a) *The plan proposes a privacy fence closer than 30' to the shoreline along the southwestern portion of the property. Township Ordinance Section 5.12 D. ii. states that privacy fences shall not be located closer than 30' to a shoreline. A variance would be required for placement of the fence in this location. **Comment outstanding. Comment addressed; the variance has been included in the required list of variances on the plans and in the Planned Development Agreement. This variance must be achieved prior to final approval.***
- b) *The drive is currently proposed as 16' wide which is a typical RCOC standard width for a residential driveway. DLZ questions if this should be widened to 24' similar to Township Zoning Ordinance 5.11Q.v. which requires a minimum width of 24' for two-way drives. If the intent for this drive is two-*



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT-Oxbow Lake Private Boat Launch- FSP/FEP Review.01

March 24, 2022

Page 2 of 4

way traffic, the drive width will need to be widened. **Comment partially addressed. While driveway has now been marked as a one-way drive, Township Zoning Ordinance section 5.11.Q.v requires a minimum of 20' width for one-way drives. A variance for the proposed 16' wide one-way drive would be required. Comment addressed; the drive width has been increased to 20 feet.**

- c) A sidewalk located 1' inside the ROW line is required along the Lakeside Drive frontage per Township Zoning Ordinance 5.21. A waiver from this requirement would be required. **Comment outstanding. Comment addressed; the variance has been included in the required list of variances on the plans and in the Planned Development Agreement. This variance must be achieved prior to final approval.**
- d) The overhead electric lines are shown within the limits of private property with no easement. Does an easement exist for these utilities? If so, please indicate the easement limits on the drawings. If an easement does exist, please provide confirmation that the proposed improvements are allowable within the easement limits. Additionally, DLZ notes that there are lower wires within the limits of the proposed ramp. The applicant shall provide detail showing there is adequate clearance from these utilities and approval from the applicable utility providers. **Comment partially addressed. The applicant has indicated that a title search has been done on the property and that no easements were found. In addition, the applicant has met with DTE and ATT on site and has received verbal confirmation that there is no concern with the overhead wires with respect to vehicle or boat trailer heights. We recommend that the Township request written confirmation from both utilities with regard to the above item. DLZ understands that DTE intends to relocate utility poles away from the current location and closer towards Highland Road which will alleviate previous clearance concerns.**

Final Site Plan/Final Engineering Plan Comments-

General

1. Plan shall contain notes per White Lake Township Engineering Design Standards Section A. 8. a.-d. **Comment outstanding. Comment addressed.**
2. A permit will be required from EGLE for the boat launch. Additional details will be required for EGLE submittal. **Comment remains a notation, please provide EGLE permit upon completion. Any changes required by EGLE will need to be updated on the proposed construction drawings and PD Agreement documents.**

Paving/Grading

1. Additional details regarding drainage and proposed spot grades shall be required for the proposed drive and the proposed fill and regrade area. Provide details regarding the proposed gravel drive and



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT-Oxbow Lake Private Boat Launch- FSP/FEP Review.01

March 24, 2022

Page 3 of 4

*paved drive cross sections. The amount of fill shall also be indicated. **Comment remains. Comment partially addressed, cross section for paved drive provided, cross section for proposed gravel drive still required.***

2. *Drainage at the drive entrance shall be clarified; a permit from RCOC will be required for work within the Lakeside Drive ROW. **Comment remains. Comment addressed.***
3. *Indicate whether the 'Lake Shoreline (High Water)' mark is the ordinary high water mark or the floodplain elevation of 944.2. The 944.00 contour as well as the floodplain line shall be shown on the plan. **Comment partially addressed. Note that no fill shall be placed within the floodplain. Comment addressed.***

Landscape Notes

1. *Show location of proposed large Evergreen tree. The tree shall be planted such that it is located a minimum of 10' horizontal separation from all existing watermain, sanitary sewer, and storm sewer. **Comment remains. Comment addressed; the proposed plantings are sufficiently spaced from the existing watermain.***

Required Permits/Agreements

1. A permit from EGLE is required for the proposed boat launch and work within the waters of the state, please provide permit once achieved.
2. A soil erosion permit is required from Oakland County Water Resources Commissioners Office, please provide permit once achieved.

Planned Development Agreement Comments

1. DLZ defers content of the PD Agreement to the Township Attorney.
2. Exhibit A will need to be updated with a clean legal description as indicated on the submittal.
3. The Township Clerk needs to be updated to Anthony Noble.

Recommendation

DLZ recommends approval upon successful inclusion of the above referenced plan corrections, achievement of permits referenced above, and approval of the PD agreement/required variances.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT-Oxbow Lake Private Boat Launch- FSP/FEP Review.01

March 24, 2022

Page 4 of 4

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

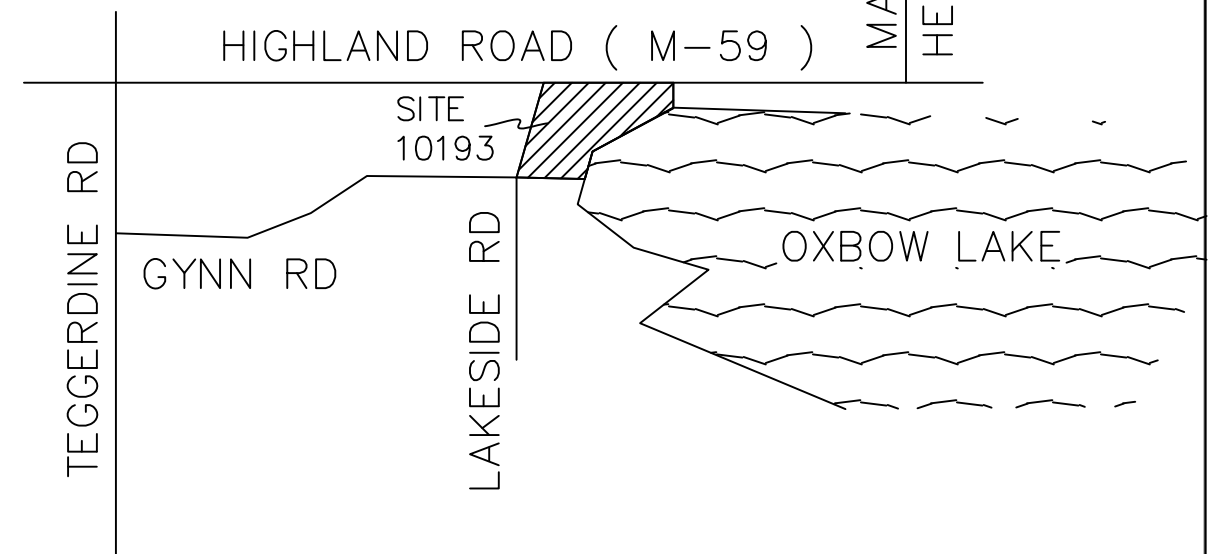
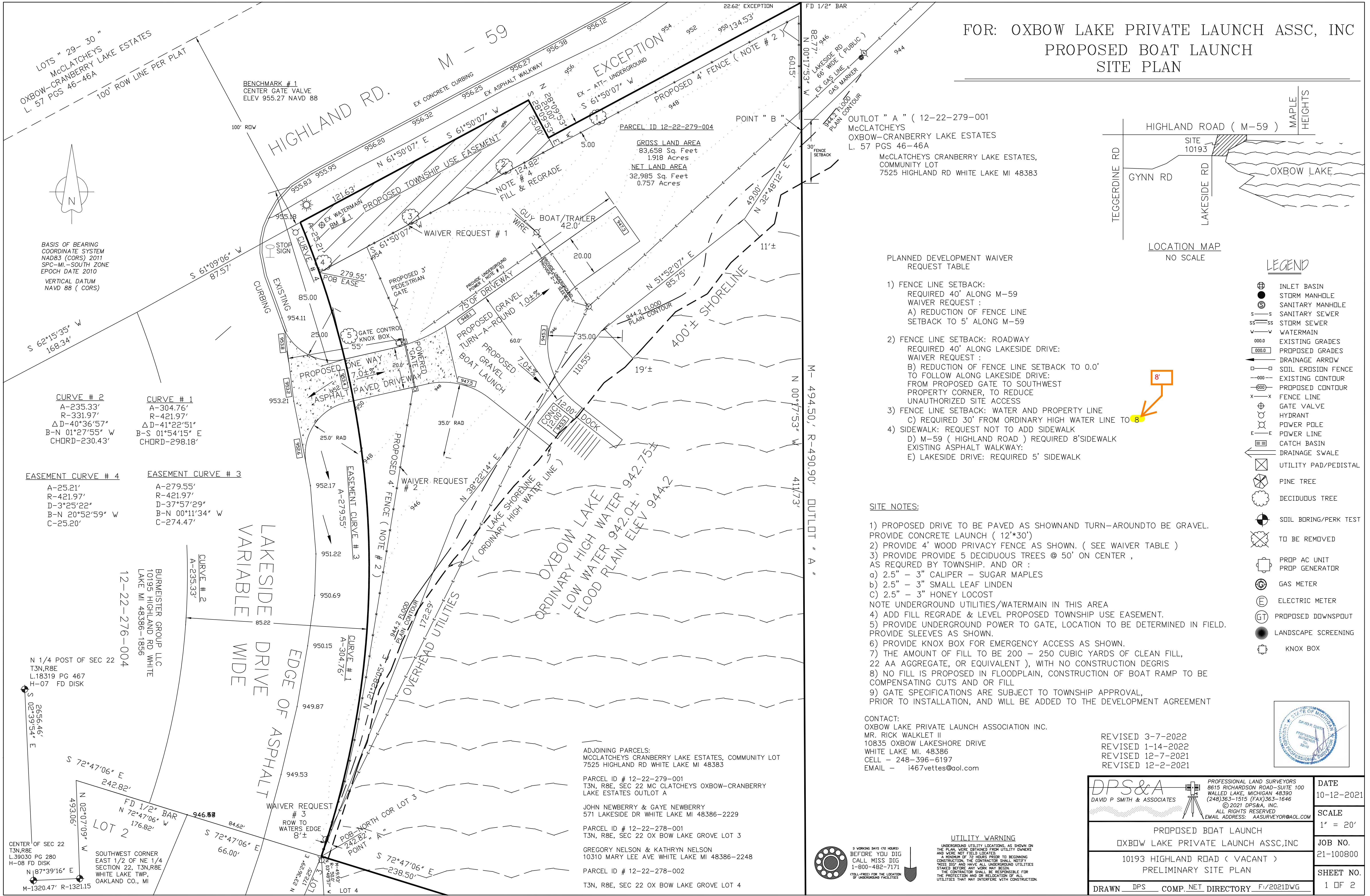
Michael Leuffgen, P.E.
Department Manager

Suyoung Daniel Hong, EIT
Civil Engineer I

Cc: Justin Quagliata, Community Development, *via email*
Hannah Micallef, Community Development, *via email*
Lisa Hamameh, RSJA Law, *via email*

X:\Projects\2021\2145\723320 WLT Oxbow Lk Priva\FSP and FEP Review.01

FOR: OXBOW LAKE PRIVATE LAUNCH ASSC, INC PROPOSED BOAT LAUNCH SITE PLAN



LOCATION MAP
NO SCALE

LEGEND

- ⊕ INLET BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- S-S SANITARY SEWER
- SS-SS STORM SEWER
- W-W WATERMAIN
- 0.000 EXISTING GRADES
- 0.000 PROPOSED GRADES
- DRAINAGE ARROW
- ⊖ SOIL EROSION FENCE
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- X-X FENCE LINE
- ⊕ GATE VALVE
- ⊕ HYDRANT
- ⊕ POWER POLE
- ⊕ POWER LINE
- ⊕ CATCH BASIN
- ⊕ DRAINAGE SWALE
- ⊕ UTILITY PAD/PEDISTAL
- ⊕ PINE TREE
- ⊕ DECIDUOUS TREE
- ⊕ SOIL BORING/PERK TEST
- ⊕ TO BE REMOVED
- ⊕ PROP AC UNIT
- ⊕ PROP GENERATOR
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ PROPOSED DOWNSPOUT
- ⊕ LANDSCAPE SCREENING
- ⊕ KNOX BOX

PLANNED DEVELOPMENT WAIVER REQUEST TABLE

- 1) FENCE LINE SETBACK:
REQUIRED 40' ALONG M-59
WAIVER REQUEST :
A) REDUCTION OF FENCE LINE SETBACK TO 5' ALONG M-59
- 2) FENCE LINE SETBACK: ROADWAY
REQUIRED 40' ALONG LAKESIDE DRIVE:
WAIVER REQUEST :
B) REDUCTION OF FENCE LINE SETBACK TO 0.0' TO FOLLOW ALONG LAKESIDE DRIVE: FROM PROPOSED GATE TO SOUTHWEST PROPERTY CORNER, TO REDUCE UNAUTHORIZED SITE ACCESS
- 3) FENCE LINE SETBACK: WATER AND PROPERTY LINE
C) REQUIRED 30' FROM ORDINARY HIGH WATER LINE TO 8'
- 4) SIDEWALK: REQUEST NOT TO ADD SIDEWALK
D) M-59 (HIGHLAND ROAD) REQUIRED 8'SIDEWALK EXISTING ASPHALT WALKWAY:
E) LAKESIDE DRIVE: REQUIRED 5' SIDEWALK

SITE NOTES:

- 1) PROPOSED DRIVE TO BE PAVED AS SHOWN AND TURN-AROUND TO BE GRAVEL.
- 2) PROVIDE 4' WOOD PRIVACY FENCE AS SHOWN. (SEE WAIVER TABLE)
- 3) PROVIDE 5 DECIDUOUS TREES @ 50' ON CENTER , AS REQUIRED BY TOWNSHIP. AND OR :
a) 2.5" - 3" CALIPER - SUGAR MAPLES
b) 2.5" - 3" SMALL LEAF LINDEN
c) 2.5" - 3" HONEY LOCOST
- NOTE UNDERGROUND UTILITIES/WATERMAIN IN THIS AREA
- 4) ADD FILL REGRADE & LEVEL PROPOSED TOWNSHIP USE EASEMENT.
- 5) PROVIDE UNDERGROUND POWER TO GATE, LOCATION TO BE DETERMINED IN FIELD. PROVIDE SLEEVES AS SHOWN.
- 6) PROVIDE KNOX BOX FOR EMERGENCY ACCESS AS SHOWN.
- 7) THE AMOUNT OF FILL TO BE 200 - 250 CUBIC YARDS OF CLEAN FILL, 22 AA AGGREGATE, OR EQUIVALENT , WITH NO CONSTRUCTION DEGRIS
- 8) NO FILL IS PROPOSED IN FLOODPLAIN, CONSTRUCTION OF BOAT RAMP TO BE COMPENSATING CUTS AND OR FILL
- 9) GATE SPECIFICATIONS ARE SUBJECT TO TOWNSHIP APPROVAL, PRIOR TO INSTALLATION, AND WILL BE ADDED TO THE DEVELOPMENT AGREEMENT

CONTACT:
 OXBOW LAKE PRIVATE LAUNCH ASSOCIATION INC.
 MR. RICK WALKLET II
 10835 OXBOW LAKESHORE DRIVE
 WHITE LAKE MI. 48386
 CELL - 248-396-6197
 EMAIL - i467vettes@aol.com

REVISED 3-7-2022
 REVISED 1-14-2022
 REVISED 12-7-2021
 REVISED 12-2-2021



ADJOINING PARCELS:
 MCCLATCHEYS CRANBERRY LAKE ESTATES, COMMUNITY LOT 7525 HIGHLAND RD WHITE LAKE MI 48383
 PARCEL ID # 12-22-279-001
 T3N, R8E, SEC 22 MC CLATCHEYS OXBOW-CRANBERRY LAKE ESTATES OUTLOT A
 JOHN NEWBERRY & GAYE NEWBERRY
 571 LAKESIDE DR WHITE LAKE MI 48386-2229
 PARCEL ID # 12-22-278-001
 T3N, R8E, SEC 22 OX BOW LAKE GROVE LOT 3
 GREGORY NELSON & KATHRYN NELSON
 10310 MARY LEE AVE WHITE LAKE MI 48386-2248
 PARCEL ID # 12-22-278-002
 T3N, R8E, SEC 22 OX BOW LAKE GROVE LOT 4



UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS OF THE LOCATION OF ALL UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DPS&A DAVID P SMITH & ASSOCIATES PROFESSIONAL LAND SURVEYORS 8615 RICHARDSON ROAD-SUITE 100 WALLED LAKE, MICHIGAN 48390 (248)363-1515 (FAX)363-1646 © 2021 DPS&A, INC. ALL RIGHTS RESERVED EMAIL ADDRESS: AASURVEYOR@AOL.COM	DATE	10-12-2021
	SCALE	1" = 20'
	JOB NO.	21-100800
	SHEET NO.	1 OF 2
PROPOSED BOAT LAUNCH OXBOW LAKE PRIVATE LAUNCH ASSC, INC 10193 HIGHLAND ROAD (VACANT) PRELIMINARY SITE PLAN		
DRAWN DPS COMP. NET DIRECTORY F/2021DWG		

STEVEN LOWE
671 HILLTOP DR WHITE LAKE MI 48386-2330
SITE ADDRESS: 10193 HIGHLAND RD WHITE LAKE MI 48386-1804
PARCEL ID # 12-22-279-004

T3N, R8E, SEC 22 PART OF E 1/2 OF NE 1/4 BEG AT PT DIST N 02-00-00 W 493.20 FT FROM SW COR OF E 1/2 OF NE 1/4, TH N 02-00-00 W 92.28 FT, TH N 62-08-00 E 525.02 FT, TH S 490.90 FT, TH N 71-36-00 W 485.76 FT TO BEG EXC THAT PART LYING WLY OF LINE LOC 40 FT ELY OF FOL DESC LINE, BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1664.21 FT FROM CEN OF SEC, TH S 27-36-19 E 15.76 FT, TH ALD CURVE TO RIGHT, RAD 381.97 FT, CHORD BEARS S 02-11-49 E, 327.28 FT, DIST OF 338.80 FT, TH S 23-12-51 W 200.00 FT TO PT OF ENDING, ALSO EXC BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1969.31 FT & S 27-36-19 E 50.16 FT FROM CEN OF SEC, TH S 62-23-41 W 145.10 FT, TH S 27-36-19 E 20.00 FT, TH N 62-23-41 E 134.53 FT, TH N 00-15-41 E 22.62 FT TO BEG 1.86 A

PARCEL DESCRIPTION AS SURVEYED: (10-12-2021)
PART OF E 1/2 OF NE 1/4 OF SECTION 22, T3N, R8E, WHITE LAKE TWP, OAKLAND CO., MICHIGAN
BEING MORE PARTICULARLY DESCRIBED A COMMENCING AT THE CENTER POST OF SECTION 22, WHITE LAKE TWP, OAKLAND CO., MI
SAID POINT BEING DISTANT S 02°39'54" E, A DISTANCE OF 2656.46', FROM THE NORTH 1/4 POST, OF SECTION 22, THENCE PROCEEDING ALONG THE EAST AND WEST 1/4 LINE, AS DENOTED ON THE PLAT OF " LARSON ACRES ", L. 58 OF PLATS, PG 12, OCR:
N 87°39'16" E, A DISTANCE OF 1320.47', TO A POINT BEING THE SOUTHEAST CORNER OF SAID " LARSON ACRES ", SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHEAST 1/4, OF SAID SECTION 22.
THENCE ALONG THE WESTERLY LINE OF " OXBOW LAKE GROVE " L. 39 OF PLATS PG 4 OCR, N 02°07'09" W, A DISTANCE OF 493.06', TO THE NORTHWESTERLY CORNER OF LOT 2;
THENCE IN PART ALONG THE NORTHERLY LINE OF LOT 2, OF SAID " OXBOW LAKE GROVE ", AND THE EXTENSION THEREOF, S 72°47'06" E, A DISTANCE OF 242.82', TO THE MOST NORTHERLY CORNER OF LOT 3, OF SAID " OXBOW LAKE GROVE ", SAID POINT ALSO BEING, KNOWN AS POINT " A " AND THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THENCE CONTINUING ALONG SAID EXTENSION S 72°47'06" E, A DISTANCE OF 238.50', TO THE SOUTHWEST CORNER OF " OUTLOT A ", OF McCLATCHEYS OXBOW-CRANBERRY LAKE ESTATES, L. 57 OF PLATS PG 46 AND 46A, OCR.
THENCE ALONG THE WEST LINE OF SAID " OUTLOT A ", N 00°17'53" W A DISTANCE OF 411.73', TO A POINT ON A SHORELINE TRAVERSE, TO BE KNOWN AS POINT " B ", SAID POINT BEING DISTANT THE FOLLOWING FOUR (4) COURSES:
1) N 21°28'05" E, A DISTANCE OF 172.29';
2) N 38°22'14" E, A DISTANCE OF 110.55';
3) N 51°52'07" E, A DISTANCE OF 85.75';
4) AND N 32°48'12" E, A DISTANCE OF 49.00'; FROM SAID POINT " A " ;
THENCE CONTINUING ALONG SAID WEST LINE OF " OUTLOT A ", N 00°17'53" W, A DISTANCE OF 60.15', TO A POINT OF EXCEPTION;
THENCE ALONG THE SOUTHERLY LINE OF SAID EXCEPTION, S 61°50'07" W, A DISTANCE OF 134.53';
THENCE N 28°09'53" W, A DISTANCE OF 20.00' TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-59, (AKA HIGHLAND ROAD);
THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, S 61°50'07" W, A DISTANCE OF 121.63', TO A POINT ON THE EASTERLY LINE OF " LAKESIDE DRIVE ", (VARIABLE WIDTH), UNPLATTED;
THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, WITH AN ARC LENGTH OF 304.76', WITH A RADIUS OF 421.97', DELTA ANGLE OF 41°22'51",
THE CHORD OF SAID CURVE BEARS, S 01°54'15" E, WITH A CHORD LENGTH OF 298.18'; TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

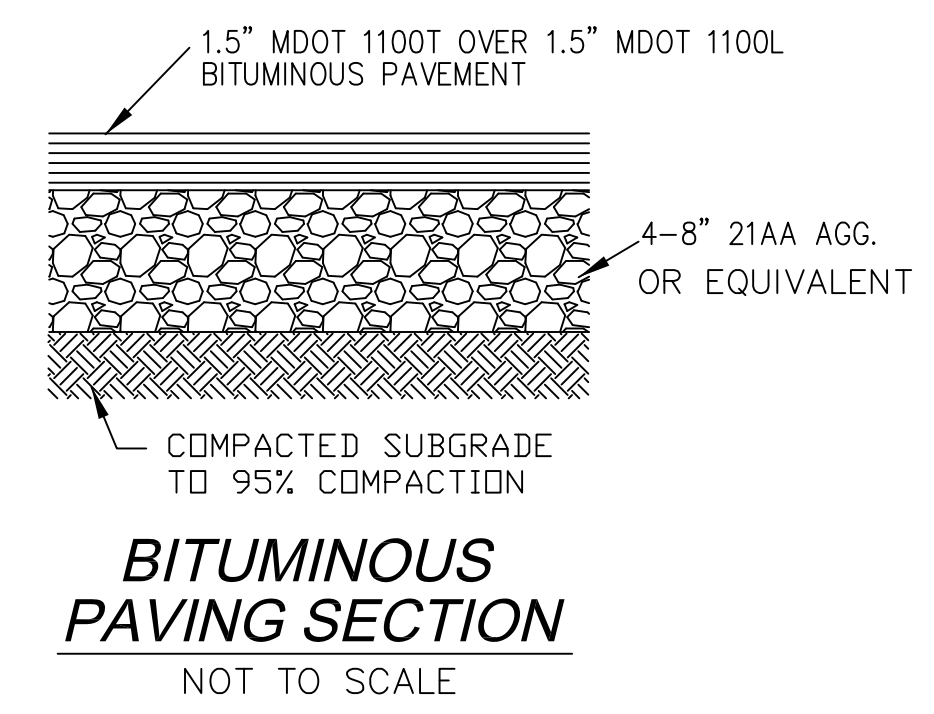
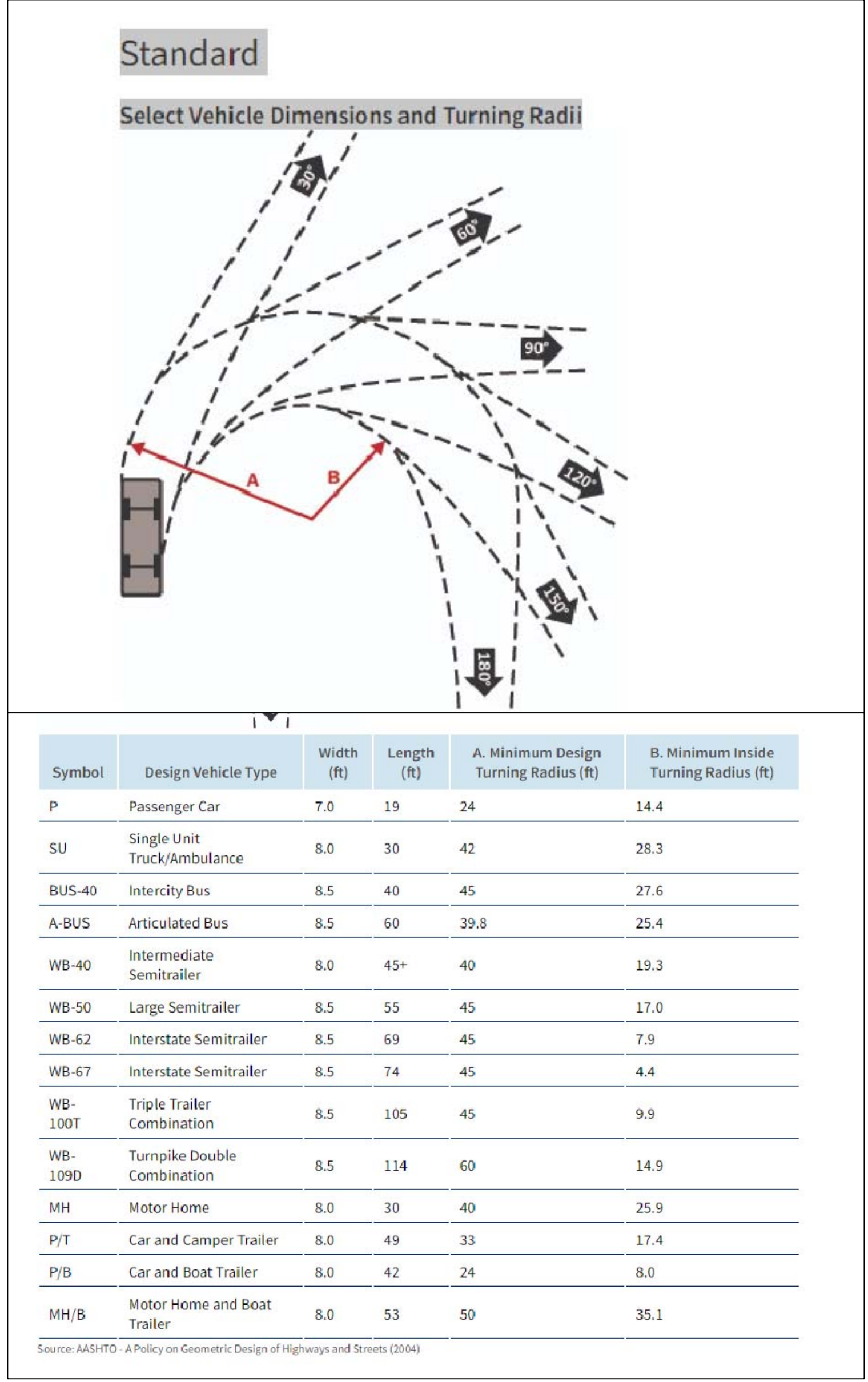
CONTAINING GROSS : 83,658 SQUARE FEET OR 1.918 ACRES OF LAND MORE OR LESS
CONTAINING NET : 39,985 SQUARE FEET OR 0.757 ACRES OF LAND MORE OR LESS

SUBJECT TO THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL UNIT IN THAT PART THERE OF M-59 (AKA HIGHLAND ROAD) OR LAKESIDE DRIVE, TAKEN, USED OR DEEDED FOR STREET, ROAD OR HIGHWAY PURPOSES.

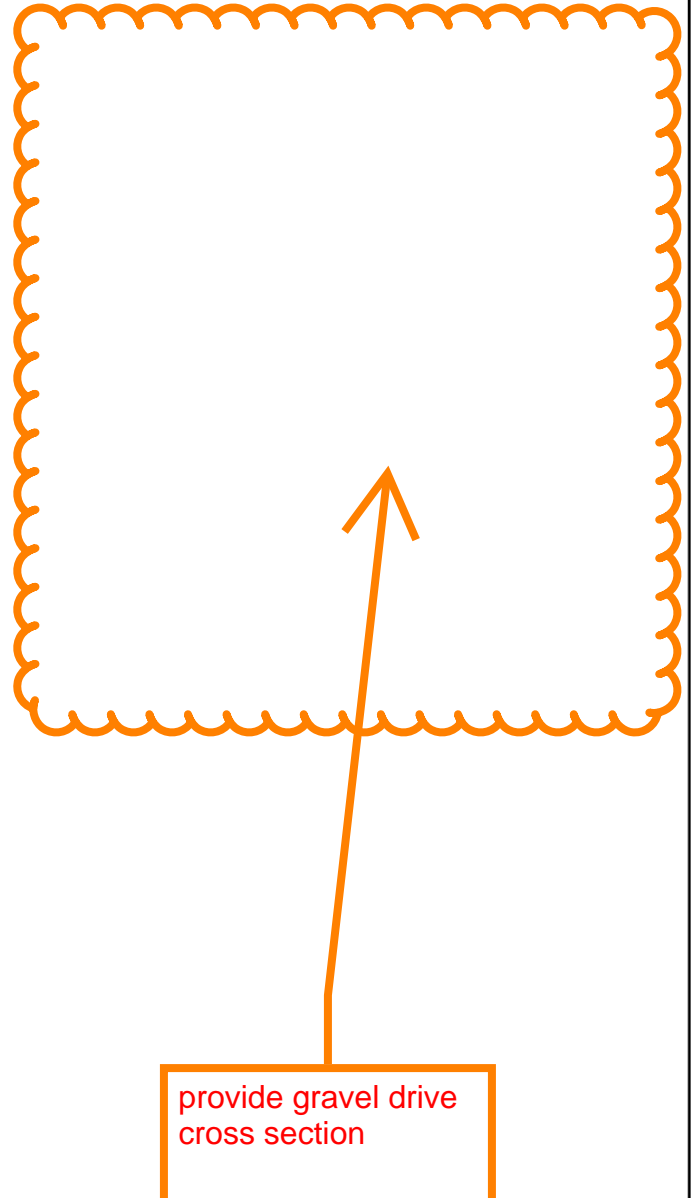
ALSO SUBJECT TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE PUBLIC TRUST IN THE WATERS OF OXBOW LAKE.

AND ALSO BEING SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITION OF RECORD.

PROPOSED TOWNSHIP USE EASEMENT
A 25' WIDE EASEMENT FOR TOWNSHIP PURPOSES, ON OVER, UNDER AND ACROSS A PARCEL OF LAND BEING: PART OF E 1/2 OF NE 1/4 OF SECTION 22, T3N, R8E, WHITE LAKE TWP, OAKLAND CO., MICHIGAN.
BEING MORE PARTICULARLY DESCRIBED A COMMENCING AT THE CENTER POST OF SECTION 22, WHITE LAKE TWP, OAKLAND CO., MI
SAID POINT BEING DISTANT S 02°39'54" E, A DISTANCE OF 2656.46', FROM THE NORTH 1/4 POST, OF SECTION 22, THENCE PROCEEDING ALONG THE EAST AND WEST 1/4 LINE, AS DENOTED ON THE PLAT OF " LARSON ACRES ", L. 58 OF PLATS, PG 12, OCR:
N 87°39'16" E, A DISTANCE OF 1320.47', TO A POINT BEING THE SOUTHEAST CORNER OF SAID " LARSON ACRES ", SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHEAST 1/4, OF SAID SECTION 22.
THENCE ALONG THE WESTERLY LINE OF " OXBOW LAKE GROVE " L. 39 OF PLATS PG 4 OCR, N 02°07'09" W, A DISTANCE OF 493.06', TO THE NORTHWESTERLY CORNER OF LOT 2;
THENCE IN PART ALONG THE NORTHERLY LINE OF LOT 2, OF SAID " OXBOW LAKE GROVE ", AND THE EXTENSION THEREOF, S 72°47'06" E, A DISTANCE OF 242.82', TO THE MOST NORTHERLY CORNER OF LOT 3, OF SAID " OXBOW LAKE GROVE ", .
THENCE ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING AN ARC LENGTH OF 279.55', WITH A RADIUS OF 421.97', WITH A DELTA ANGLE OF 37°57'29",
THE CHORD OF SAID CURVE BEARS, N 00°11'34" W, WITH A CHORD LENGTH OF 274.47',
THE POINT OF BEGINNING OF THE EASEMENT HEREIN DESCRIBED.
THENCE CONTINUING ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 25.21', WITH A RADIUS OF 421.97', AND A DELTA ANGLE OF 03°25'22",
THE CHORD OF SAID CURVE BEARS, N 20°52'59" W, WITH A CHORD LENGTH OF 25.20',
TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-59, (AKA HIGHLAND ROAD);
THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, N 61°50'07" E, A DISTANCE OF 121.63';
THENCE S 28°09'53" E, A DISTANCE OF 25.00';
THENCE S 61°50'07" W, A DISTANCE OF 124.82';
TO THE POINT OF BEGINNING OF THE EASEMENT HEREIN DESCRIBED.
CONTAINING .3077 SQ FT
REVISED DATED 12-7-2021

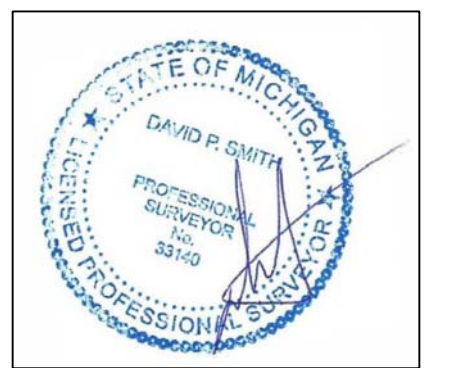


NOTE:
Engineering Design Standards Notes:
1) ASPHALT (BITUMINOUS) PAVING SPECIFICATIONS AND DRIVEWAY SURFACE MATERIALS SPECIFICATIONS , (GRAVEL/AGGREGATE) WILL BE PROVIDED AND ARE SUBJECT TO THE TOWNSHIP ENGINEERING APPROVAL: PRIOR TO START OF CONSTRUCTION :
2) a. All construction shall be in accordance with the Township's current standards and specifications.
b. The Contractor shall notify the Township Engineer and/or authority having jurisdiction, 48 hours prior to the beginning of construction.
c. Contractor shall contact MISS DIG at 800-482-7171, 72 hours in advance of construction, for existing underground utility locations.
d. In order to verify compliance with approved plans, full time construction observation will generally be required during all phases of underground site construction including installation of sanitary sewer, storm sewers, drains, watermains and appurtenances as well as private street curbing and paving construction. Intermittent observations will be made for site grading, parking lot curbing and paving, retaining wall construction and other surface activity.
3) No fill shall be placed within the floodplain" Aprox "amount of fill shall be 200 - 250 cubic yards of clean fill soil with no construction debris" (or appropriate description) where FILL is indicated.



CONTACT:
OXBOW LAKE PRIVATE LAUNCH ASSOCIATION INC.
MR. RICK WALKLET 11
10835 OXBOW LAKESHORE DRIVE
WHITE LAKE MI. 48386
CELL - 248-396-6197
EMAIL - i467vettes@aol.com

REVISED 3-7-2022
REVISED 1-14-2022
REVISED 12-7-2021
REVISED 12-2-2021



DPS&A DAVID P SMITH & ASSOCIATES PROFESSIONAL LAND SURVEYORS 8615 RICHARDSON ROAD-SUITE 100 WALLED LAKE, MICHIGAN 48390 (248)363-1515 (FAX)363-1646 © 2021 DPS&A, INC. ALL RIGHTS RESERVED EMAIL ADDRESS: AASURVEYOR@AOL.COM	DATE	10-12-2021
	SCALE	1" = 20'
PROPOSED BOAT LAUNCH OXBOW LAKE PRIVATE LAUNCH ASSC,INC	JOB NO.	21-100800
10193 HIGHLAND ROAD (VACANT) PRELIMINARY SITE PLAN	SHEET NO.	2 OF 2
DRAWN DPS COMP. NET DIRECTORY F/2021DWG		

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O’Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: March 25, 2022

RE: Oxbow Lake Private Launch Association, Inc.
Final site plan and development agreement – Review #1

Staff reviewed the final site plan and planned development agreement (PDA) for the Oxbow Lake Private Launch Association, Inc. (OLPLA) project. The applicant intends to establish a private watercraft launch at 10193 Highland Road (Parcel Number 12-22-279-004), located on the south side of Highland Road, east of Lakeside Drive. The Township Board approved the preliminary site plan on February 15, 2022 and adopted the zoning amendment (rezoning the site from Local Business to Planned Development) on March 15, 2022.

Below is list of items relevant to the final site plan:

- The title block shall be revised to indicate the plan is the final site plan, not the preliminary site plan.
- The driveway was widened to 20 feet to comply with the Fire Code and Zoning Ordinance. The plan labels the paved portion of the driveway as asphalt.
- Where “FILL” is indicated on the plan, approximately 200-250 cubic yards of clean fill soil is proposed. No fill is proposed in the floodplain.
- The applicant provided a copy of its EGLE permit application to install the launch.
- Five deciduous trees are proposed (four along Highland Road and one along Lakeside Drive). The plan indicates trees will be 2.5-3 inches in caliper at the time of planting. Sugar Maples, Small Leaf Linden, and Honey Locust are the proposed species. Such species are acceptable; however, the plan shall indicate the species of each tree at the planted location.

Below is list of items relevant to the planned development agreement:

- Add the following recitals to the PDA:
 - The date the Planning Commission recommended approval of a waiver from the minimum PD acreage requirement.
 - The date the Township Board approved a waiver from the minimum PD acreage requirement.
 - The date the Planning Commission recommended approval of the preliminary site plan and rezoning to PD, subject to conditions, after holding a public hearing.
 - The date the Township Board approved the preliminary site plan and introduced the rezoning to PD.
 - The date the Township Board adopted the rezoning to PD.
 - The date the Planning Commission approved the final site plan and recommended approval of the PDA.
 - The date the Township Board approved the PDA and authorized the Supervisor and Clerk to execute the Agreement.

- Consideration should be given to incorporating the OLPLA Statement of Formation and Operations as an exhibit to the PDA.

- Article 2, Section 5 shall be revised to replace all references to “variances” with the word “waivers.”

- Article 5, Section 3 shall be revised to add the following language after the last sentence of the existing text. “If, following the approval of the PD Plan (as defined in the Agreement), Developer elects to make minor changes to the PD Plan, such minor changes may be made subject only to Administrative Approval. The term "minor changes" shall be those changes set forth in the Township Zoning Ordinance, Article 6, Section 7(E)(i)(a-k). For purposes of this Agreement, "Administrative Approval" shall mean the approval by the Community Development Director of the Township, or his designee, or such other individual as may be designated by the Township Board, without the necessity of review by the Township Board or the Township Planning Commission or any amendment to this Agreement.”

- Article 5, Section 9 shall be revised to eliminate the option of recording a Notice of Development Agreement. Township policy requires the PDA be recorded.

- Prior to the execution of the PDA, a corporate resolution shall be provided authorizing the signer to execute the Agreement on behalf of the Developer.

- Page 8 (signature page) shall be revised to amend the Township Clerk signatory to Anthony L. Noble.

- Page 8 (signature page) shall be revised to list the Attorney who drafted the PDA.

- Exhibit A shall be updated with a clean legal description as indicated on the submittal.
- Exhibit C shall be updated to include the following conditions:
 - Only Oxbow Lake Riparians shall have the right to be Members of OLPLA, Inc. and have access to use of the Subject Property.
 - No keyhole access to Oxbow Lake shall be permitted through the Subject Property.
 - Information on the operation of the gate (including gate controls) such as, but not limited to, manufacturer’s specifications, shall be provided to the Township upon request.
- Exhibit C, Number 8 shall be revised to replace “M59” with “Highland Road.”
- Exhibit C, Number 9 shall be revised to add the following text after the existing language: “and not visible from the adjacent roadways. Signage is subject to approval by the Community Development Director or his designee prior to installation.”
- Exhibit E (page 14) shall be revised in title to “Approved Final PD Waivers.”
- Exhibit E (page 14): “Variance” 1-4 shall be revised to “Waiver” 1-4.
- Exhibit E (page 14): Waiver 1 is to allow a 5’ setback, not a 35’ setback (the waiver is 35’). Revise accordingly.
- Exhibit E (page 14): The following text shall be inserted prior to the existing language listed for Waiver 4: “Township will allow deferral of the installation of a minimum five-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along the Lakeside Drive property frontage, and a minimum eight-foot-wide sidewalk along the Highland Road property frontage.”
- Exhibit E (page 14): For Waiver 1 and Waiver 4, all references to “M59” shall be revised to “Highland Road.”

Planning Commission Options

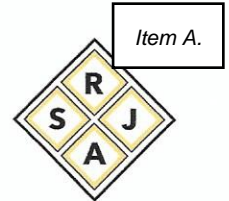
The Planning Commission has the option to approve, approve with conditions, or deny the final site plan and recommend approval, approval with modifications, or denial of the development agreement to the Township Board. **Staff recommends approval of the final site plan and approval of the planned development agreement subject to the items identified in this memorandum being addressed prior to execution of the development agreement.**

Attachments:

1. Final site plan dated October 12, 2021 (revision date March 7, 2022).
2. Planned Development Agreement.

LISA J. HAMAMEH
lhamameh@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsjalaw.com



ROSATI | SCHULTZ
JOPPICH | AMTSBUECHLER

March 25, 2022

Via electronic mail only (soneil@whitelaketwp.com)

Sean O'Neil
Community Development Director
White Lake Township
7525 Highland Road
White Lake, Michigan 48383

**RE: 1st Review of Planned Development Agreement
Oxbow Lake Private Boat Launch Association**

Dear Sean:

You asked that we review the proposed Planned Development Agreement for the Oxbow Lake Private Boat Launch ("Agreement") submitted by Oxbow Lake Private Boat Launch Association, Inc. ("Developer"). We offer the following comments regarding the Agreement:

1. General Comments:
 - a. The Township Engineer or other qualified personnel need to review the legal descriptions within Exhibit A and the Exhibit B drawing.
 - b. Prior to the execution of this Agreement, the Owner must provide proof of ownership and Developer must provide a corporate resolution authorizing the signer to execute the Agreement on behalf of the Developer.
2. The following are suggested additions to the Recitals:
 - a. Current zoning of the property (Planned District).
 - b. General site information/Description of Development.
 - c. Ordinance authorization for Township entry into the Agreement (Article 6 Section 6.7 of Zoning Ordinance).
 - d. On December 21, 2021, the Township Board, on recommendation of the Planning Commission, waived the minimum lot size requirement for PD Zoning Districts.
 - e. On February 3, 2022, the Planning Commission recommended approval of the Preliminary Site Plan, subject to conditions, after holding a public hearing.
 - f. On March 15, 2022, the Township Board approved the Preliminary Site Plan for the Development, subject to staff, consultants, Planning Commission and the Community Development Department Director.
 - g. On _____ the Planning Commission approved the Final Site Plan ("PD Plans")
 - h. On _____ the Township Board determined the Development qualifies for PD Development in accordance with the Township Zoning Ordinance, Article 6, Section 6.7 of the Zoning Ordinance, and approved the entry, execution and recording the this Agreement.

3. The following are suggested additions to the Agreement:
 - a. According to the Planning Commission meeting minutes, the Developer's representative advised that the public benefit provided by the Development, includes public safety (the Knox box) and the Grant of Easement for the beautification of the site. The Grant of Easement is not a condition imposed, but an offer of public benefit, and, therefore should be a separate provision in the Agreement. This provision is where any requirement of easement maintenance would be appropriate.
 - b. The Township's Zoning Ordinance, Article 6, Section 6.7B.i.c, requires an affirmative representation that the proposed use(s) will not exceed the performance criteria of the zoning ordinance. This provision, similar to the following, must be added as Paragraph 2.8: "Developer and Owner affirmatively submit that the proposed use(s) on the Subject Property shall not exceed the performance criteria in the Township's Zoning Ordinance, Article 5, Section 5.18."
 - c. As stated in Mr. Quagliata's Report, a provision addressing Minor Modifications should be included either as part of Paragraph 5.3 or as a new Paragraph in Article V of the Agreement.
 - d. A provision that states the ZBA shall have no jurisdiction over the property or the application of the Agreement.
 - e. A provision stating the Agreement shall be governed by the laws of the State of Michigan and in the event of any litigation related to the Agreement or the PD, venue shall be in and to the exclusive jurisdiction of the courts in Michigan, including the Federal District Court for the Eastern District of Michigan.
 - f. A provision added to Article IV defining breach and the remedies associated therewith.
 - g. A provision acknowledging that at the time of execution of the Agreement, the Developer will not have yet obtained engineering approvals for the Development and that additional conditions may be imposed, provided that no such conditions be inconsistent with the PD Plan or this Agreement and shall not change or eliminate any development right authorized thereby. Those conditions shall be incorporated into and made part of this Agreement automatically upon issuance of said conditions.
4. With regard to the proposed PD Agreement, I offer the following comments:
 - a. The Agreement defines Owner, but the Agreement refers to a "Current Owner." The reference to the Owner should be as defined by removal of the term "current."
 - b. Paragraph 5.9 should be revised to eliminate the option of recording a Notice of Development Agreement in accordance with the Township's revised policy.
 - c. Paragraph 5.11 is not consistent with the Township's Zoning Ordinance for the reversion process (Article 6, Section 6.7G). While the Agreement cannot be "contingent," the applicant is welcome to add termination language similar to the following: "Notwithstanding the foregoing provisions of this Agreement, Developer and Owner retain the right at any time prior to commencement of construction of the improvements contemplated by this Agreement to terminate the Planned Development by filing with the Township and recording with the Oakland County Register of Deeds an Affidavit so stating. No approved Planned Development shall

be terminated after development commences, except with the approval of the Township Board and of all parties interested in the land.”

- d. Restructuring Exhibit C to limit its scope to the Conditions and Restrictions imposed by the Township. For example, discussion regarding members using the site at their own risk (Paragraph 3), membership termination (Paragraph 5A. and D.), and maintenance by third-party contractors (Paragraph 4.A.) are not conditions imposed by the Township. Additionally, some of the conditions found in Paragraph 2.2 are more appropriately listed in Exhibit C. For example, no keyhole access, no commercial use of the Subject Property. Finally, references to signage and lighting must first be approved by the Township and must be in conformance with Township Ordinances.
- e. The Township should consider whether the listed variances are correct. Additionally, we support the changes suggested by Mr. Quagliata to variance 4. We suggest additional changes to clarify the triggers. For example, after the language suggested by Mr. Quagliata, I would add language that states, the “Developer and/or Owner shall reimburse the Township for the costs and expenses of the deferred sidewalk installation when...”

Please let us know if you have any questions or would like to discuss this matter further.

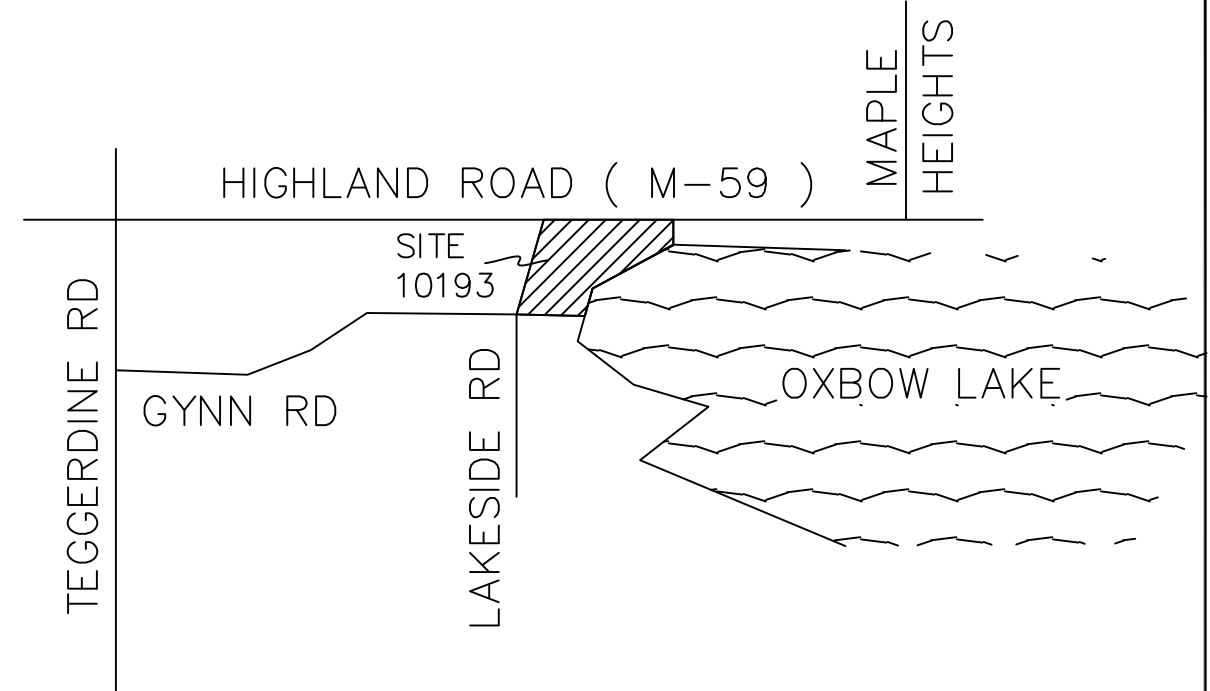
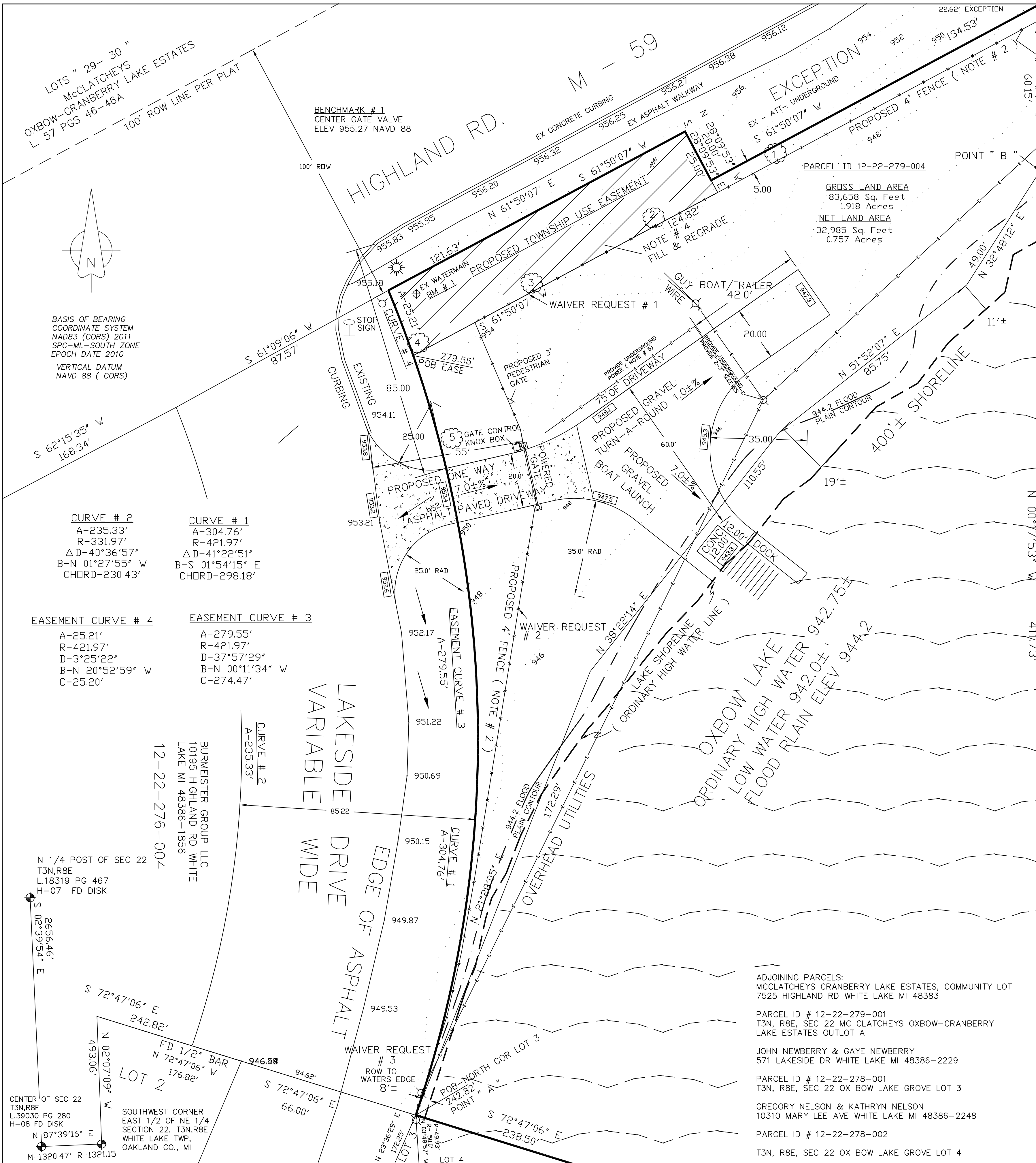
Very truly yours,

ROSATI SCHULTZ JOPPICH
& AMTSBUECHLER PC



Lisa J. Hamameh

FOR: OXBOW LAKE PRIVATE LAUNCH ASSC, INC PROPOSED BOAT LAUNCH SITE PLAN



PLANNED DEVELOPMENT WAIVER REQUEST TABLE

- FENCE LINE SETBACK:
REQUIRED 40' ALONG M-59
WAIVER REQUEST :
A) REDUCTION OF FENCE LINE SETBACK TO 5' ALONG M-59
- FENCE LINE SETBACK: ROADWAY
REQUIRED 40' ALONG LAKESIDE DRIVE:
WAIVER REQUEST :
B) REDUCTION OF FENCE LINE SETBACK TO 0.0' TO FOLLOW ALONG LAKESIDE DRIVE: FROM PROPOSED GATE TO SOUTHWEST PROPERTY CORNER, TO REDUCE UNAUTHORIZED SITE ACCESS
- FENCE LINE SETBACK: WATER AND PROPERTY LINE
C) REQUIRED 30' FROM ORDINARY HIGH WATER LINE TO B
- SIDEWALK: REQUEST NOT TO ADD SIDEWALK
D) M-59 (HIGHLAND ROAD) REQUIRED 8'SIDEWALK EXISTING ASPHALT WALKWAY:
E) LAKESIDE DRIVE: REQUIRED 5' SIDEWALK

SITE NOTES:

- PROPOSED DRIVE TO BE PAVED AS SHOWN AND TURN-AROUND TO BE GRAVEL. PROVIDE CONCRETE LAUNCH (12'x30')
- PROVIDE 4' WOOD PRIVACY FENCE AS SHOWN. (SEE WAIVER TABLE)
- PROVIDE 5 DECIDUOUS TREES @ 50' ON CENTER, AS REQUIRED BY TOWNSHIP. AND OR :
a) 2.5" - 3" CALIPER - SUGAR MAPLES
b) 2.5" - 3" SMALL LEAF LINDEN
c) 2.5" - 3" HONEY LOCOST
- NOTE UNDERGROUND UTILITIES/WATERMAIN IN THIS AREA
- ADD FILL REGRADE & LEVEL PROPOSED TOWNSHIP USE EASEMENT.
- PROVIDE UNDERGROUND POWER TO GATE, LOCATION TO BE DETERMINED IN FIELD. PROVIDE SLEEVES AS SHOWN.
- PROVIDE KNOX BOX FOR EMERGENCY ACCESS AS SHOWN.
- THE AMOUNT OF FILL TO BE 200 - 250 CUBIC YARDS OF CLEAN FILL, 22 AA AGGREGATE, OR EQUIVALENT, WITH NO CONSTRUCTION DEGRIS
- NO FILL IS PROPOSED IN FLOODPLAIN, CONSTRUCTION OF BOAT RAMP TO BE COMPENSATING CUTS AND OR FILL
- GATE SPECIFICATIONS ARE SUBJECT TO TOWNSHIP APPROVAL, PRIOR TO INSTALLATION, AND WILL BE ADDED TO THE DEVELOPMENT AGREEMENT

CONTACT:
OXBOW LAKE PRIVATE LAUNCH ASSOCIATION INC.
MR. RICK WALKLET II
10835 OXBOW LAKESHORE DRIVE
WHITE LAKE MI. 48386
CELL - 248-396-6197
EMAIL - i467vettes@aol.com

REVISED 3-7-2022
REVISED 1-14-2022
REVISED 12-7-2021
REVISED 12-2-2021

LEGEND

- INLET BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- EXISTING GRADES
- PROPOSED GRADES
- DRAINAGE ARROW
- SOIL EROSION FENCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FENCE LINE
- GATE VALVE
- HYDRANT
- POWER POLE
- POWER LINE
- CATCH BASIN
- DRAINAGE SWALE
- UTILITY PAD/PEDISTAL
- PINE TREE
- DECIDUOUS TREE
- SOIL BORING/PERK TEST
- TO BE REMOVED
- PROP AC UNIT
- PROP GENERATOR
- GAS METER
- ELECTRIC METER
- PROPOSED DOWNSPOUT
- LANDSCAPE SCREENING
- KNOX BOX



DPS&A DAVID P SMITH & ASSOCIATES PROFESSIONAL LAND SURVEYORS 8615 RICHARDSON ROAD-SUITE 100 WALLED LAKE, MICHIGAN 48390 (248)363-1515 (FAX)363-1646 © 2021 DPS&A, INC. ALL RIGHTS RESERVED EMAIL ADDRESS: AASURVEYOR@AOL.COM	DATE	10-12-2021
	SCALE	1" = 20'
PROPOSED BOAT LAUNCH OXBOW LAKE PRIVATE LAUNCH ASSC, INC 10193 HIGHLAND ROAD (VACANT) PRELIMINARY SITE PLAN	JOB NO.	21-100800
DRAWN DPS COMP. NET DIRECTORY F/2021DWG	SHEET NO.	1 OF 2

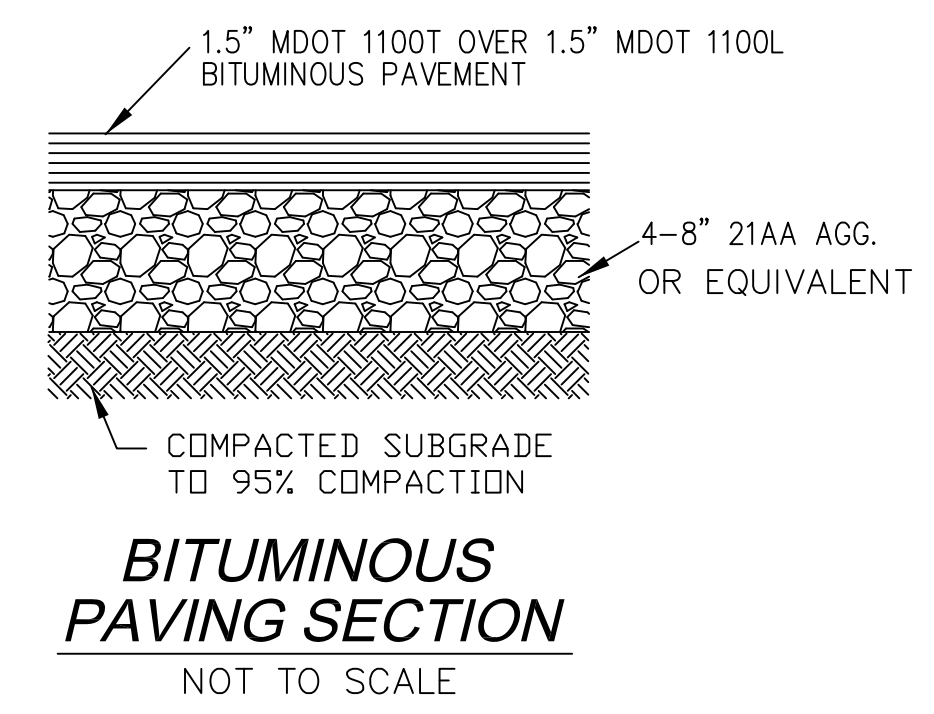
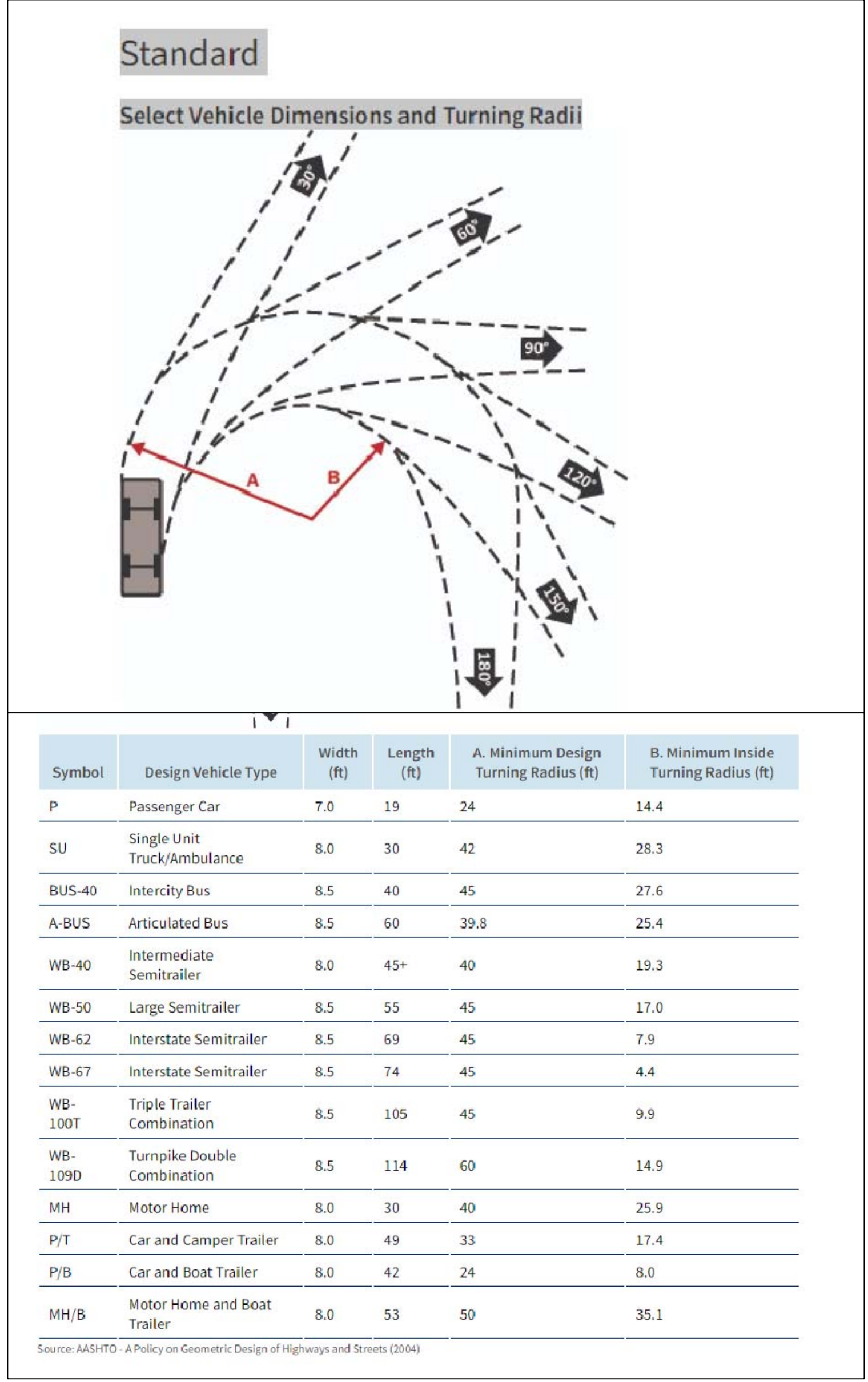


UTILITY WARNING
UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNERS OF ANY UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

STEVEN LOWE
671 HILLTOP DR WHITE LAKE MI 48386-2330
SITE ADDRESS: 10193 HIGHLAND RD WHITE LAKE MI 48386-1804
PARCEL ID # 12-22-279-004

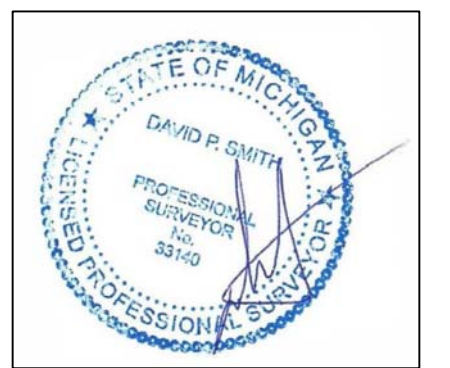
T3N, R8E, SEC 22 PART OF E 1/2 OF NE 1/4 BEG AT PT DIST N 02-00-00 W 493.20 FT FROM SW COR OF E 1/2 OF NE 1/4, TH N 02-00-00 W 92.28 FT, TH N 62-08-00 E 525.02 FT, TH S 490.90 FT, TH N 71-36-00 W 485.76 FT TO BEG EXC THAT PART LYING WLY OF LINE LOC 40 FT ELY OF FOL DESC LINE, BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1664.21 FT FROM CEN OF SEC, TH S 27-36-19 E 15.76 FT, TH ALD CURVE TO RIGHT, RAD 381.97 FT, CHORD BEARS S 02-11-49 E 327.28 FT, DIST OF 338.80 FT, TH S 23-12-51 W 200.00 FT TO PT OF ENDING, ALSO EXC BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1969.31 FT & S 27-36-19 E 50.16 FT FROM CEN OF SEC, TH S 62-23-41 W 145.10 FT, TH S 27-36-19 E 20.00 FT, TH N 62-23-41 E 134.53 FT, TH N 00-15-41 E 22.62 FT TO BEG 1.86 A

PARCEL DESCRIPTION AS SURVEYED: (10-12-2021)
PART OF E 1/2 OF NE 1/4 OF SECTION 22, T3N, R8E, WHITE LAKE TWP, OAKLAND CO., MICHIGAN
BEING MORE PARTICULARLY DESCRIBED A COMMENCING AT THE CENTER POST OF SECTION 22, WHITE LAKE TWP, OAKLAND CO., MI
SAID POINT BEING DISTANT S 02°39'54" E, A DISTANCE OF 2656.46', FROM THE NORTH 1/4 POST, OF SECTION 22, THENCE PROCEEDING ALONG THE EAST AND WEST 1/4 LINE, AS DENOTED ON THE PLAT OF " LARSON ACRES ", L. 58 OF PLATS, PG 12, OCR:
N 87°39'16" E, A DISTANCE OF 1320.47', TO A POINT BEING THE SOUTHEAST CORNER OF SAID " LARSON ACRES ", SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHEAST 1/4, OF SAID SECTION 22.
THENCE ALONG THE WESTERLY LINE OF " OXBOW LAKE GROVE " L. 39 OF PLATS PG 4 OCR, N 02°07'09" W, A DISTANCE OF 493.06', TO THE NORTHWESTERLY CORNER OF LOT 2:
THENCE IN PART ALONG THE NORTHERLY LINE OF LOT 2, OF SAID " OXBOW LAKE GROVE ", AND THE EXTENSION THEREOF, S 72°47'06" E, A DISTANCE OF 242.82', TO THE MOST NORTHERLY CORNER OF LOT 3, OF SAID " OXBOW LAKE GROVE ", SAID POINT ALSO BEING, KNOWN AS POINT " A " AND THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.
THENCE CONTINUING ALONG SAID EXTENSION S 72°47'06" E, A DISTANCE OF 238.50', TO THE SOUTHWEST CORNER OF " OUTLOT A ", OF McCLATCHEYS OXBOW-CRANBERRY LAKE ESTATES, L. 57 OF PLATS PG 46 AND 46A, OCR.
THENCE ALONG THE WEST LINE OF SAID " OUTLOT A ", N 00°17'53" W A DISTANCE OF 411.73', TO A POINT ON A SHORELINE TRAVERSE, TO BE KNOWN AS POINT " B ", SAID POINT BEING DISTANT THE FOLLOWING FOUR (4) COURSES:
1) N 21°28'05" E, A DISTANCE OF 172.29';
2) N 38°22'14" E, A DISTANCE OF 110.55';
3) N 51°52'07" E, A DISTANCE OF 85.75';
4) AND N 32°48'12" E, A DISTANCE OF 49.00'; FROM SAID POINT " A ";
THENCE CONTINUING ALONG SAID WEST LINE OF " OUTLOT A ", N 00°17'53" W, A DISTANCE OF 60.15', TO A POINT OF EXCEPTION;
THENCE ALONG THE SOUTHERLY LINE OF SAID EXCEPTION, S 61°50'07" W, A DISTANCE OF 134.53';
THENCE N 28°09'53" W, A DISTANCE OF 20.00' TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-59, (AKA HIGHLAND ROAD);
THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, S 61°50'07" W, A DISTANCE OF 121.63', TO A POINT ON THE EASTERLY LINE OF " LAKESIDE DRIVE ", (VARIABLE WIDTH), UNPLATTED;
THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, WITH AN ARC LENGTH OF 304.76', WITH A RADIUS OF 421.97', DELTA ANGLE OF 41°22'51", THE CHORD OF SAID CURVE BEARS, S 01°54'15" E, WITH A CHORD LENGTH OF 298.18'; TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.
CONTAINING GROSS : 83,658 SQUARE FEET OR 1.918 ACRES OF LAND MORE OR LESS
CONTAINING NET : 39,985 SQUARE FEET OR 0.917 ACRES OF LAND MORE OR LESS
SUBJECT TO THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL UNIT IN THAT PART THERE OF M-59 (AKA HIGHLAND ROAD) OR LAKESIDE DRIVE, TAKEN, USED OR DEEDED FOR STREET, ROAD OR HIGHWAY PURPOSES.
ALSO SUBJECT TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE PUBLIC TRUST IN THE WATERS OF OXBOW LAKE.
AND ALSO BEING SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITION OF RECORD.
PROPOSED TOWNSHIP USE EASEMENT
A 25' WIDE EASEMENT FOR TOWNSHIP PURPOSES, ON OVER, UNDER AND ACROSS A PARCEL OF LAND BEING: PART OF E 1/2 OF NE 1/4 OF SECTION 22, T3N, R8E, WHITE LAKE TWP, OAKLAND CO., MICHIGAN.
BEING MORE PARTICULARLY DESCRIBED A COMMENCING AT THE CENTER POST OF SECTION 22, WHITE LAKE TWP, OAKLAND CO., MI
SAID POINT BEING DISTANT S 02°39'54" E, A DISTANCE OF 2656.46', FROM THE NORTH 1/4 POST, OF SECTION 22, THENCE PROCEEDING ALONG THE EAST AND WEST 1/4 LINE, AS DENOTED ON THE PLAT OF " LARSON ACRES ", L. 58 OF PLATS, PG 12, OCR:
N 87°39'16" E, A DISTANCE OF 1320.47', TO A POINT BEING THE SOUTHEAST CORNER OF SAID " LARSON ACRES ", SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHEAST 1/4, OF SAID SECTION 22.
THENCE ALONG THE WESTERLY LINE OF " OXBOW LAKE GROVE " L. 39 OF PLATS PG 4 OCR, N 02°07'09" W, A DISTANCE OF 493.06', TO THE NORTHWESTERLY CORNER OF LOT 2:
THENCE IN PART ALONG THE NORTHERLY LINE OF LOT 2, OF SAID " OXBOW LAKE GROVE ", AND THE EXTENSION THEREOF, S 72°47'06" E, A DISTANCE OF 242.82', TO THE MOST NORTHERLY CORNER OF LOT 3, OF SAID " OXBOW LAKE GROVE ", .
THENCE ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING AN ARC LENGTH OF 279.55', WITH A RADIUS OF 421.97', WITH A DELTA ANGLE OF 37°57'29", THE CHORD OF SAID CURVE BEARS, N 00°11'34" W, WITH A CHORD LENGTH OF 274.47'; TO THE POINT OF BEGINNING OF THE EASEMENT HEREIN DESCRIBED.
THENCE CONTINUING ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 25.21', WITH A RADIUS OF 421.97', AND A DELTA ANGLE OF 03°25'22", THE CHORD OF SAID CURVE BEARS, N 20°52'59" W, WITH A CHORD LENGTH OF 25.20', TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-59, (AKA HIGHLAND ROAD);
THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, N 61°50'07" E, A DISTANCE OF 121.63';
THENCE S 28°09'53" E, A DISTANCE OF 25.00';
THENCE S 61°50'07" W, A DISTANCE OF 124.82'; TO THE POINT OF BEGINNING OF THE EASEMENT HEREIN DESCRIBED.
CONTAINING .3077 SQ FT
REVISED DATED 12-7-2021



NOTE:
Engineering Design Standards Notes:
1) ASPHALT (BITUMINOUS) PAVING SPECIFICATIONS AND DRIVEWAY SURFACE MATERIALS SPECIFICATIONS , (GRAVEL/AGGREGATE) WILL BE PROVIDED AND ARE SUBJECT TO THE TOWNSHIP ENGINERRING APPROVAL: PRIOR TO START OF CONSTRUCTION :
2) a. All construction shall be in accordance with the Township's current standards and specifications.
b. The Contractor shall notify the Township Engineer and/or authority having jurisdiction, 48 hours prior to the beginning of construction.
c. Contractor shall contact MISS DIG at 800-482-7171, 72 hours in advance of construction, for existing underground utility locations.
d. In order to verify compliance with approved plans, full time construction observation will generally be required during all phases of underground site construction including installation of sanitary sewer, storm sewers, drains, watermains and appurtenances as well as private street curbing and paving construction. Intermittent observations will be made for site grading, parking lot curbing and paving, retaining wall construction and other surface activity.
3) No fill shall be placed within the floodplain" Aprox "amount of fill shall be 200 - 250 cubic yards of clean fill soil with no construction debris" (or appropriate description) where FILL is indicated.

CONTACT:
OXBOW LAKE PRIVATE LAUNCH ASSOCIATION INC.
MR. RICK WALKLET 11
10835 OXBOW LAKESHORE DRIVE
WHITE LAKE MI. 48386
CELL - 248-396-6197
EMAIL - i467vettes@aol.com



REVISED 3-7-2022
REVISED 1-14-2022
REVISED 12-7-2021
REVISED 12-2-2021

DPS&A DAVID P SMITH & ASSOCIATES PROFESSIONAL LAND SURVEYORS 8615 RICHARDSON ROAD-SUITE 100 WALLED LAKE, MICHIGAN 48390 (248)363-1515 (FAX)363-1646 © 2021 DPS&A, INC. ALL RIGHTS RESERVED EMAIL ADDRESS: AASURVEYOR@AOL.COM	DATE	10-12-2021
	SCALE	1" = 20'
PROPOSED BOAT LAUNCH OXBOW LAKE PRIVATE LAUNCH ASSC,INC	JOB NO.	21-100800
10193 HIGHLAND ROAD (VACANT) PRELIMINARY SITE PLAN	SHEET NO.	2 OF 2
DRAWN <u>DPS</u> COMP. <u>NET DIRECTORY</u> F/2021DWG		

PLANNED DEVELOPMENT AGREEMENT

This Planned Development Agreement (“Agreement”) is made this ____ day of March, 2022, by the **Oxbow Lake Private Launch Association, Inc.**, a Michigan nonprofit corporation (“Developer”), whose address is 10835 Oxbow Lakeshore Drive, White Lake, Michigan 48386, **Steven F. Lowe** (“Current Owner”), whose address is 671 Hilltop, White Lake, Michigan 48386, and the **Charter Township of White Lake**, a Michigan municipal corporation (“Township”), whose address is 7525 Highland Road, White Lake, MI 48383.

Recitals

- A. Current Owner owns real estate situated in the Township, more particularly described on *Exhibit A* (the “Subject Property”).
- B. Developer has applied to the Township to establish the Subject Property as a planned development (“PD”), pursuant to provisions of the Township Zoning Ordinance.
- C. By entering into this Agreement, the parties desire to set forth their respective obligations with respect to the PD and the conditions under which the Township has granted final PD approval. The Township is willing to establish the property as a PD, and Developer is willing to develop and maintain the PD, subject to the terms and conditions of this Agreement.

NOW, THEREFORE, Current Owner, Developer and Township hereby declare that the Subject Property is and shall be held, transferred, sold, conveyed and occupied, subject to any covenants, conditions, easements, restrictions, grants, and reservations set forth herein; all of which covenants, conditions, easements, restrictions, grants and reservations are for the benefit of and shall run with and bind the Subject Property and all parties having any right, title or interest in any or all portion of the Subject Property, or any improvements therein, as well as their heirs, successors, personal representatives, and assigns.

ARTICLE I

DEFINITIONS

1.1 “Developer” shall mean the Oxbow Lake Private Launch Association, Inc. (“OLPLA, Inc.”), or its successors and assigns.

1.2 “Owner” shall mean the holder or holders of record fee simple title to any portion of the Subject Property. The term “Owner” shall include any grantee or lessee to all or any portion of the Subject Property. If more than one person owns fee simple title to any portion of the Subject Property, then the interest of all such persons, collectively, shall be that of one “Owner”.

1.3 “Person” shall mean any individual, partnership, corporation, limited liability company, trust, or any other form of business or governmental entity.

1.4 “PD Plan” shall mean the final PD site plan and related plans and specifications approved by and on file with the Township, as itemized on *Exhibit B*.

1.5 “PD Conditions” shall mean the conditions established and required by the Township Board in connection with its approval of the PD Plan and rezoning, as listed on *Exhibit C*.

ARTICLE II

ESTABLISHMENT OF PD AND PD PLANS

2.1 Approved Final PD Plan; Exhibits. The PD Plan, dated _____, has been approved by the Township as a final PD site plan under the Township Zoning Ordinance. The PD site plan approval grants Owner and/or Developer the right to construct facilities as set forth in the PD site plan, subject to obtaining permits for said construction in the ordinary course. All exhibits attached hereto are incorporated herein and made a part hereof by reference.

2.2 Statement of Planning Objectives to be Achieved by the Development. The primary planning objectives of this development are as follows:

To purchase, develop, and maintain a privately owned watercraft launch area on the Subject Property, for owners of property with frontage on Oxbow Lake (“Riparians”) who voluntarily choose to participate as Members of OLPLA, Inc. Only Riparians will have the right to be Members of OLPLA, Inc. No keyhole access shall be permitted. No commercial use shall be permitted.

An easement for the public benefit will be granted to the Township at the northwest corner of the Subject Property, as reflected in the PD Plan, pursuant to separate Easement Agreement.

The Subject Property will be purchased with the funds received from participating Members of OLPLA, Inc.

Use of the Subject Property will be legally linked to the participating Oxbow Lake Riparian property parcels by providing OLPLA, Inc. Members the right to shared use of the launch site. Membership in OLPLA, Inc. will transfer with the Member’s property if/when ownership changes.

The Subject Property will be developed consistent with the PD Plan, and maintained by third-party companies through competitive bids jointly funded by participating Members

of OLPLA, Inc. through the initial start-up fee and annual maintenance fees paid by Members.

Only OLPLA, Inc. Members will have access to the launch site. The property shall be fenced, gated, pass card secured to control access, and shall have 24/7 camera surveillance on both the gate and the property.

2.3 Development Schedule. The proposed approximate development schedule for the development of Subject Property is attached as *Exhibit D*, which may be modified by Developer as necessary or appropriate, with the Township's consent.

2.4 Statement of Developer and Owner's Intentions Regarding Future Sale or Lease. The Owner intends to sell the Subject Property to Developer, after which Developer intends to retain this Subject Property in perpetuity.

2.5 Adherence to Ordinances. Except as otherwise provided herein, Developer and Owner shall adhere to the Ordinances of the Township. To the extent that developing the Subject Property in accordance with the PD Plan will deviate from the Township Zoning Ordinance or any other ordinance, resolution, rule or regulation of the Township, currently in effect or which may be adopted in the future, the Township shall be deemed to have granted, and hereby grants, variances for all such deviations. Variances from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, are as set forth on *Exhibit E*.

2.6 Traffic Impact Study. The Township has determined that a Traffic Impact Study is not required.

2.7 Community Impact Statement. The Township has determined that a Community Impact Statement is not required.

ARTICLE III

CONDITIONS, PERMITS AND STIPULATIONS

3.1 Permits and Authorizations. All state, county and federal permits required for completion of the project shall be approved prior to the scheduling of a pre-construction meeting with Developer and the Township staff and consultants.

3.2 Improvements and Alterations. Developer shall not engage in any improvements or alterations on the Subject Property, including, without limitation, site grading work or installation of utilities, until completion of the pre-construction meeting.

3.3 Conditions. The conditions attached by the Township Board to approval of the PD Plan, as listed on *Exhibit C* attached hereto, are incorporated into the Township's PD approval. Any violation of these conditions shall be considered a breach of this Agreement.

ARTICLE IV

ACTION BY THE TOWNSHIP

4.1 Maintenance of Property. In the event Developer or Owner fail at any time to maintain the Property using commercially reasonable standards consistent with the approved site plan and this Agreement, the Township may serve written notice upon Owner setting forth the manner in which Developer or Owner have failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than sixty (60) days, and shall set forth the date, time and place of a hearing before the Township Board for the purpose of allowing Owner to be heard as to why the Township should not proceed to perform the maintenance which has not been undertaken. In that hearing, the time for curing such deficiencies and the hearing itself may be extended. If, following the hearing, the Township Board shall determine that the deficiency has not been cured within the time specified at the hearing, then upon five (5) days written notice to Owner, the Township shall thereupon have the power and authority, but not the obligation, to enter upon the Property or cause its agents or contractors to enter upon the Property to cure such deficiency as reasonably found by the Township to be appropriate and/or necessary, in a manner so as to reasonably minimize any interference with the business operations on the Property and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township, shall be paid by the Owner. Such amount shall constitute a lien on the Property and the Township may require such costs and expenses to be paid prior to the commencement of work. If such costs and expenses have not been paid within sixty (60) days of a billing to the Owner, all unpaid amounts may be a) placed on a delinquent tax roll of the Township as to the Property and shall accrue interest and penalties and shall be collected as and shall be deemed delinquent real property taxes according to the laws made and provided for the collection of delinquent real property taxes in the discretion of the Township; or b) assessed against the Owner and collected as a special assessment on the next annual Township tax roll; or c) collected by use of the applicable provisions of Michigan law providing for foreclosure by advertisement, the Owner having specifically granted the Township the required power of sale to do so; or d) collected by suit against the Owner. If suit is initiated, the Owner shall pay all the Township's legal fees and costs. The selection of remedy shall be at the sole option of the Township, and election of one remedy shall not waive the use of any other remedy.

ARTICLE V

MISCELLANEOUS

5.1 Binding Effect. This Agreement shall be binding upon and inure to the benefit of the parties, their heirs, successors and assigns. The rights and obligations contained in this Agreement shall run with the property.

5.2 Authority. This Agreement has been duly authorized by all necessary action of the Developer, the Owner and the Township. By execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Subject Property and the respective entities to its terms and conditions.

5.3 Amendment. This Agreement shall only be amended pursuant to an instrument executed by the Township, Owner and Developer, or their successor in title. No consent to the amendment of this Agreement shall be required from any other person, including mortgagees.

5.4 Validity. Invalidation of any of the provisions contained in this Agreement, or of the application thereof to any person by judgment or court order shall in no way effect any of the other provisions herein or the application thereof to any other person. The same shall remain in full force and effect.

5.5 Partnership. None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.

5.6 Time. Time is of essence to this Agreement.

5.7 Waiver. Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this Agreement shall be effective or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall affect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.

5.8 Violations. Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.

5.9 Notice. This PD Agreement or a Notice of the PD Agreement, as determined in the Township's sole discretion, shall be recorded by the Township at the Office of the Oakland County Register of Deeds.

5.10 Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all such counterparts shall constitute one and the same instrument.

5.11 Agreement Contingent Upon All Necessary Approvals. This Agreement is contingent upon Developer obtaining all necessary permits required for the project as set forth in the PD Plan, including without limitation, a permit from EGLE to install the launch and dock. If such approvals cannot be obtained despite Developer's good faith efforts, Developer may provide written notice to the Township of Developer's inability to proceed, upon which this Agreement shall terminate, and the Township shall work cooperatively with Owner and Developer to revert zoning back to LB or to an alternate zoning acceptable to the Township.

[SIGNATURES ON FOLLOWING THREE PAGES]

The undersigned have executed this Agreement effective as of the day and year first written above.

DEVELOPER:

Oxbow Lake Private Launch Association,
Inc., a Michigan nonprofit corporation

By: _____
Richard Walklet, President

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing PD Agreement was acknowledged before me this _____ day of _____, 2022, by Richard Walklet, President of Oxbow Lake Private Launch Association, Inc., a Michigan nonprofit corporation, on behalf of said corporation.

, Notary Public
Oakland, County, Michigan
Acting in Oakland County, Michigan
My commission expires: _____

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

CURRENT OWNER:

Steven F. Lowe

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing PD Agreement was acknowledged before me this _____ day of _____, 2022, by Steven F. Lowe.

, Notary Public
Oakland County, Michigan
Acting in Oakland County, Michigan
My commission expires: _____

[SIGNATURES CONTINUE ON FOLLOWING PAGE]

TOWNSHIP:

CHARTER TOWNSHIP OF WHITE LAKE
a Michigan municipal corporation

By: _____
Rik Kowall
Its: Supervisor

By: _____
Terry Lilley
Its: Clerk

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

The foregoing PD Agreement was acknowledged before me this _____ day of _____, 20_, by Rik Kowall, Supervisor and Terry Lilley, Clerk of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

, Notary Public
Oakland County, Michigan
Acting in Oakland County, Michigan
My commission expires: _____

Drafted by/Return to:
Lisa J. Hamameh
Rosati Schultz Joppich & Amtsbuechler
27555 Executive Drive, Suite 250
Farmington Hills, MI 48331
(248) 489-4100

EXHIBIT A

LEGAL DESCRIPTION OF SUBJECT PROPERTY

[Developer has requested its surveyors provide a clean copy of the legal description, which will be inserted here. The following page is a rough copy/placeholder.]

SITE ADDRESS: 10193 HIGHLAND RD WHITE LAKE MI 48386-1804
PARCEL ID # 12-22-279-004

T3N, R8E, SEC 22 PART OF E 1/2 OF NE 1/4 BEG AT PT DIST N 02-00-00 W 493.20 FT FROM SW COR OF E 1/2 OF NE 1/4, TH N 02-00-00 W 92.28 FT, TH N 62-08-00 E 525.02 FT, TH S 490.90 FT, TH N 71-36-00 W 485.76 FT TO BEG EXC THAT PART LYING WLY OF LINE LOC 40 FT ELY OF FOL DESC LINE, BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1664.21 FT FROM CEN OF SEC, TH S 27-36-19 E 15.76 FT, TH ALG CURVE TO RIGHT, RAD 381.97 FT, CHORD BEARS S 02-11-49 E 327.28 FT, DIST OF 338.80 FT, TH S 23-12-51 W 200.00 FT TO PT OF ENDING, ALSO EXC BEG AT PT DIST N 02-06-19 W 13.78 FT & N 62-23-41 E 1969.31 FT & S 27-36-19 E 50.16 FT FROM CEN OF SEC, TH S 62-23-41 W 145.10 FT, TH S 27-36-19 E 20.00 FT, TH N 62-23-41 E 134.53 FT, TH N 00-15-41 E 22.62 FT TO BEG 1.86 A

PARCEL DESCRIPTION AS SURVEYED: (10-12-2021)

PART OF E 1/2 OF NE 1/4 OF SECTION 22, T3N., R8E, WHITE LAKE TWP, OAKLAND CO., MICHIGAN

BEING MORE PARTICULARLY DESCRIBED A COMMENCING AT THE CENTER POST OF SECTION 22, WHITE LAKE TWP, OAKLAND CO., MI.

SAID POINT BEING DISTANT S 02°39'54" E, A DISTANCE OF 2656.46', FROM THE NORTH 1/4 POST, OF SECTION 22, THENCE PROCEEDING ALONG THE EAST AND WEST 1/4 LINE, AS DENOTED ON THE PLAT OF " LARSON ACRES ", L. 58 OF PLATS, PG 12, OCR.

N 87°39'16" E, A DISTANCE OF 1320.47', TO A POINT BEING THE SOUTHEAST CORNER OF SAID " LARSON ACRES ", SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE EAST 1/2 OF THE NORTHEAST 1/4, OF SAID SECTION 22.

THENCE ALONG THE WESTERLY LINE OF " OXBOW LAKE GROVE " L. 39 OF PLATS PG 4 OCR, N 02°07'09" W, A DISTANCE OF 493.06', TO THE NORTHWESTERLY CORNER OF LOT 2:

THENCE IN PART ALONG THE NORTHERLY LINE OF LOT 2, OF SAID " OXBOW LAKE GROVE ",

AND THE EXTENSION THEREOF, S 72°47'06" E, A DISTANCE OF 242.82',

TO THE MOST NORTHERLY CORNER OF LOT 3, OF SAID " OXBOW LAKE GROVE ", SAID POINT ALSO BEING, KNOWN AS POINT " A " AND THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

THENCE CONTINUING ALONG SAID EXTENSION S 72°47'06" E, A DISTANCE OF 238.50',

TO THE SOUTHWEST CORNER OF " OUTLOT A ", OF

McCLATCHEYS OXBOW-CRANBERRY LAKE ESTATES, L. 57 OF PLATS PG 46 AND 46A, OCR.

THENCE ALONG THE WEST LINE OF SAID " OUTLOT A ", N 00°17'53" W A DISTANCE OF 411.73',

TO A POINT ON A SHORELINE TRAVERSE, TO BE KNOWN AS POINT " B ",

SAID POINT BEING DISTANT THE FOLLOWING FOUR (4) COURSES:

1) N 21°28'05" E, A DISTANCE OF 172.29';

2) N 38°22'14" E, A DISTANCE OF 110.55';

3) N 51°52'07" E, A DISTANCE OF 85.75';

4) AND N 32°48'12" E, A DISTANCE OF 49.00'; FROM SAID POINT " A ";

THENCE CONTINUING ALONG SAID WEST LINE OF " OUTLOT A ", N 00°17'53" W, A DISTANCE OF 60.15', TO A POINT OF EXCEPTION:

THENCE ALONG THE SOUTHERLY LINE OF SAID EXCEPTION, S 61°50'07" W, A DISTANCE OF 134.53';

THENCE N 28°09'53" W, A DISTANCE OF 20.00' TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF M-59, (AKA HIGHLAND ROAD);

THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE, S 61°50'07" W, A DISTANCE OF 121.63';

TO A POINT ON THE EASTERLY LINE OF " LAKESIDE DRIVE ", (VARIABLE WIDTH), UNPLATTED:

THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, WITH AN ARC LENGTH OF 304.76',

WITH A RADIUS OF 421.97', DELTA ANGLE OF 41°22'51",

THE CHORD OF SAID CURVE BEARS, S 01°54'15" E, WITH A CHORD LENGTH OF 298.18';

TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

CONTAINING GROSS : 83,658 SQUARE FEET OR 1.918 ACRES OF LAND MORE OR LESS

CONTAINING NET : 39,985 SQUARE FEET OR 0.757 ACRES OF LAND MORE OR LESS

SUBJECT TO THE RIGHTS OF THE PUBLIC OR ANY GOVERNMENTAL UNIT IN THAT PART THERE OF M-59 (AKA: HIGHLAND ROAD)

OR LAKESIDE DRIVE, TAKEN, USED OR DEEDED FOR STREET, ROAD OR HIGHWAY PURPOSES.

ALSO SUBJECT TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE CORRELATIVE RIGHTS OF OTHER RIPARIAN OWNERS AND TO THE PUBLIC TRUST IN THE WATERS OF OXBOW LAKE.

AND ALSO BEING SUBJECT TO ANY EASEMENTS RESTRICTIONS, OR CONDITION OF RECORD.

EXHIBIT B
SITE PLAN
AND RELATED PLANS AND SPECIFICATIONS

[Attach approved Site Plan]

Scope of project and property development (shall include but not be limited to):

- Grade and/or fill, as required, to create a driveway and turnaround area from Lakeside Drive to the water's edge
- Install asphalt and aggregate drive and turnaround area
- Clear 25 feet of water's edge for launch access to water
- Install launch ramp from water's edge into the water
- Install 30' of removable or permanent dock to facilitate launch activity
- Add DTE power hook-up and meter
- Secure site with fencing, powered gate, surveillance cameras, and security gate pass control to limit access to only participating OLPLA, Inc. Members.
- Regrade and reseed as required, and maintain site
- Install Knox Box for access for emergency situations

EXHIBIT C
TOWNSHIP SPECIAL CONDITIONS

1. There will be no vehicle parking on the site.
2. No watercraft/trailer storage is permitted on the site.
3. Members shall use the site at their own risk.
4. The launch site will be operated and maintained under the following rules:
 - A. The launch site will be maintained by third-party contractors, as approved by the Board of OLPLA, Inc.
 - B. Access to the site will be controlled with unique key cards linked to individual Member's properties.
 - C. Individual key card activity will be retained for a record of access.
 - D. The launch site will be closed from dusk to 8:00 a.m., to ensure neighbors are not inconvenienced by noise from the property.
 - E. Overnight mooring of watercraft is prohibited.
 - F. An online scheduling tool for launch times will be used to minimize the chance for congestion at the site.
 - G. There shall be no commercial activity allowed on the Launch site.
 - H. There will be no fueling at the launch site.
5. Membership in OLPLA, Inc. may be suspended or terminated by the Board of Directors on the occurrence of any of the following events:
 - A. Failure to pay dues/annual maintenance fee;
 - B. Sharing launch access with Oxbow Lake riparian owners who are not Members of the corporation;
 - C. Use of the launch to enable non-Riparian watercraft keyhole activity (e.g. allowing a friend who does not live on the Lake to dock their boat at a Member's property for an extended period of time (e.g., more than a week);
 - D. Other violation of the spirit and conditions of Membership.
6. The key card gate pass system and multiple security cameras will be used to ensure Member compliance with these conditions. Each Member will have a unique key card, so that activity is tracked to the Member.
7. OLPLA, Inc. will construct and maintain the fence and trees along the fence as shown on the PD Plan.
8. White Lake Township will be responsible for insurance, mowing and maintenance of the +/- 25' X 120' easement area and adjacent property to the M59 and Lakeside Drive

roadway.

9. All signage will be within the fence line of the Subject Property.
10. No lighting is planned for the Subject Property.
11. A Knox Box with a key to the pedestrian gate and a key card for the powered gate will be installed for Fire and Rescue access only. The Knox Box will be located as shown on the PD Plan.

EXHIBIT D DEVELOPMENT SCHEDULE

The following schedule is based upon completing all of the following by 5/1/22. If all are not completed by this date, then timing will be delayed on a month-to-month basis:

- Rezoning of the property to Planned Development.
 - Receiving EGLE permit approval for the physical launch.
 - Receiving PD Final Site Plan approval.
-

April 2022

- Apply for necessary permits to develop the property
- Complete bid process for development work

May 2022

- Complete the Pre-construction meeting with the Township (if required by the Township)
- Sign contracts for the scope of development work to be performed

June 2022 to May 2023

- Perform development work described below (not limited to these items)
- Grade and/or fill, as required, to create a driveway and turnaround area from Lakeside Drive to the water's edge
- Fill and level the Township easement area at the northwest corner of the property
- Clear approximately 25 feet of water's edge for launch access to water
- Install launch ramp from water's edge into the water
- Install 30' of removable or permanent dock to facilitate launch activity
- Install asphalt drive, aggregate turnaround area, and concrete pad at water's edge
- Add DTE power hook-up and meter
- Secure site with fencing, powered gate, surveillance cameras, and security gate pass control to limit access to only participating OLPLA, Inc. Members.
- Install Knox Box as shown on the PD Plan for emergency vehicle access
- Add landscape trees, regrade, reseed areas disturbed during construction, and maintain site

EXHIBIT E
APPROVED FINAL PD VARIANCES

Variance 1:

Township will allow a 35' setback along M59 instead of the 40' requirement.

Variance 2:

Township will allow a 0' setback instead of the 40' requirement along Lakeside Drive to support securing of the launch site.

Variance 3:

Township will allow a 22 foot variance from 30' requirement from the ordinary high water mark line at the southernmost property line on Lakeside Drive to support securing of the launch site.

Variance 4:

Township will accept reimbursement for the required sidewalks along both M59 and Lakeside Drive as described below:

When the sidewalk is added to the length of M-59 pursuant to the Township Master Plan, Developer will reimburse the Township for the sidewalk cost from the northeast corner of the proposed Township easement along M-59 to the corner of M-59 and Lakeside Drive.

When the Township executes a plan for sidewalks on Lakeside Drive, Developer will reimburse the Township for the cost of sidewalk from the corner of M-59 and Lakeside Drive to the southern end of the Subject Property.

Execution in this manner will ensure the sidewalks, when installed, will conform in appearance and construction to those installed by the Township.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O’Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: March 29, 2022

RE: Eagles Landing final site plan extension

Kieft Engineering, on behalf of Charles Burt of Better Built Homes, submitted a letter dated March 25, 2022 requesting a one-year extension of the final site plan approval for Eagles Landing. The zoning ordinance allows the applicant of the final site plan to request an extension in writing.

The Eagles Landing site condominium would consist of 18 single-family units located on 10 acres south of Cedar Island Road and west of Bogie Lake Road. The preliminary site plan was approved by the Township Board on August 20, 2019. Final site plan approval was granted by the Planning Commission on February 18, 2021 and expired on February 18, 2022. The applicant is requesting a one-year extension of the final site plan. If approved, the new expiration date would be February 18, 2023.

Planning Commission Options

The Planning Commission has the option to approve, approve with conditions, or deny the extension request. If the extension is denied, the applicant must resubmit the preliminary site plan. A motion to approve the final site plan extension is provided.

- **Move to approve extending final site plan approval for Eagles Landing to February 18, 2023.**

Attachments:

1. Letter from Kieft Engineering requesting extension dated March 25, 2022.
2. Planning Commission meeting minutes of February 18, 2021.



KIEFT ENGINEERING

CIVIL ENGINEERS &
LAND SURVEYORS

Item A.

5852 S. Main Street, Ste. 1
Clarkston, Michigan 48346

Tel: 1-248-625-5251
Fax: 1-248-625-7110
www.kiefteng.com

March 25, 2022

Attention: Planning Commission
White Lake Township
7525 Highland Rd.
White Lake, MI 48383

RE: Eagles Landing Site Condominium, K.E. #2018.296

Dear Planning Commission Members,

On behalf of our client, Charles Burt of Better Built Homes, we are requesting you grant a one-year extension of the Final Site Plan Approval which expired on February 18, 2022.

In addition, as our client is currently in the construction bidding process, we cannot provide a specific timeline for the project. However, the goal is to definitely build it this summer.

Sincerely,

A handwritten signature in blue ink that reads "Patrick C. McWilliams".

Patrick C. McWilliams, P.E, #31658
Professional Engineer

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION**
7525 Highland Road
White Lake, MI 48383
FEBRUARY 18, 2021 @ 7:00 p.m.
Electronic Meeting

Chairman Anderson called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance. Roll was called.

ROLL CALL: Debby Dehart, White Lake, MI
Steve Anderson, White Lake, MI
Merrie Carlock, White Lake, MI
Peter Meagher, Cape Coral, FL
Matt Slicker, Commerce, MI
Joe Seward, White Lake, MI
Scott Ruggles, Board Liaison, White Lake, MI
Rhonda Grubb – Secretary, White Lake, MI

Absent: Mark Fine

Also Present: Sean O’Neil, WLT Planning Director
Sherri Barber, Recording Secretary

Visitors: Mike Leuffgen (DLZ)

Approval of Agenda

Mr. O’Neil wanted to note that Agenda item 8a should read the West side of Bogie Lake Road, not the East side.

Ms. Carlock moved to approve the agenda as amended. Ms. Grubb supported and the MOTION CARRIED with a roll call vote: (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes

Approval of Minutes

a. January 7, 2021

Mr. Meagher moved to approve the minutes of January 7, 2021 as presented. Mr. Ruggles supported and the MOTION CARRIED with a roll call vote: (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes

Call to the Public (for items not on the agenda)

No members of the public called in.

Public Hearing:

No public hearing.

Old Business:

No old business.

New Business

a) Eagle's Landing

Location: Located on the west side of Bogie Lake Road, south of Cedar Island. Consisting of approximately 10 acres. Currently zoned (R1-C) Single Family Residential. Identified as parcel 12-33-100-008.

Request: **Final Site Plan Approval**

Applicant: Better Built Homes
Charles Burt
156 East Meadow Circle
White Lake, MI 48383

Mr. O'Neil noted that this is as straight forward as you can get. Mr. Leuffgen went over his reported dated January 28, 2021 and agreed with Mr. O'Neil that this is straight forward.

Mr. Slicker asked if there was an opportunity to save trees on the site. He also asked about future easements. He wanted to know if we can escrow the funds for the sidewalk? Ms. Carlock asked why we don't have a tree survey requirement. Mr. Meagher noted that there were a lot of RCOC comments but those will be addressed. Mr. Anderson wanted to get clarification on the electrical line over the pond. He wanted to ask what the private well requirements are.

Mr. Burt noted that we are working with DTE on the powerline. Mr. McWilliams from Seiber Keast Engineering noted that the wells will be as required by OCHD. For tree clearing, there is a lot of woods, and many will come down for infrastructure. They will be saved towards the rear yards of the home and they will walk the sites and try to see what can be kept. The RCOC concerns are minimal now and we should get approval.

Mr. Anderson wanted to make sure it won't be clear cut or complete mass grading. Mr. McWilliams stated that we're trying to preserve as many trees as possible. Mr. Burt has had a great deal of conversation with Mr. O'Neil about trying to save trees. Mr. O'Neil stated that we'll stake or tape off the trees and see what can be protected. The Township looked at tree survey requirements but haven't implemented an ordinance yet.

Mr. O'Neil noted that we've been diligent about getting sidewalks in. It will be a sidewalk on it's own for now. We have a bunch of areas not served with sidewalks. If we don't require it, it just won't be put in. Mr. Burt prefers to put them in now for drainage, landscaping, etc. Mr. Ruggles said we've discussed this at the Township board many times. If you don't do it, it will never happen and we need to follow our ordinances.

Mr. O'Neil discussed the McKenna letter dated 12-21-2020, this is the second review letter. The elevations and entry way sign (clear vision) were called out. Otherwise, it's a clean approval. There will be 70-80 percent ranches with brick.

The walkway may not go through until the woods from the school is cleared. Ms. Carlock wondered if would be cheaper to pay their contractor to do it while they are there. Mr. O'Neil noted that it could even be 5 foot concrete. Mr. Anderson appreciates Mr. Burt working with us on the sidewalk and the concern for the safety of the children.

Mr. O'Neil stated that the starting price point is in the upper \$300's. There are two walkouts, and a few day light basements. The Fire Marshal doesn't have any issues, all of his comments were addressed. Mr. Leuffgen noted that we're currently working to bring watermain to the southern limits of the school property.

Adam Schrotenboer (445 Burgess Drive) wanted to ask if we have made arrangements for telecom yet? He would like to see that addressed in our planning - telephone, cable, preferably fiber. Mr. O'Neil noted that this is not under the Township. Mr. Burt stated that in most cases they run Comcast through and each house hooks in.

Mr. Seward motioned to approve the final site plan for Eagle's Landing located on the west side of Bogie Lake Road, south of Cedar Island. Consisting of approximately 10 acres. Currently zoned (R1-C) Single Family Residential. Identified as parcel 12-33-100-008. Subject to the sidewalk going to the West of the property marked as asphalt and it should be 5' wide concrete or cement. Also subject to all Planning department and consultant review comments. Mr. Meagher supported and the MOTION CARRIED with a roll call vote: (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes.

Mr. Anderson thanked Mr. Burt and Mr. McWilliams for their time.

b) Pontiac Lake Overlook

Location: Located on the south side of Pontiac Lake Road, north of M-59. Consisting of approximately 3.19 acres. Currently zoned Multiple-Family Residential (RM-2). Identified as parcel 12-13-328-001.

Request: **Preliminary Site Plan Approval**

Applicant: NCM Ventures
John Rozanski
2704 Wabum Rd
White Lake, MI 48386

Mr. Seward is recusing himself because he is the attorney for John Rozanski. Mr. Anderson suggested turning off his microphone and camera during this discussion.

Mr. Ruggles motioned to recuse Mr. Seward from voting and participating due to a potential conflict of interest. Ms. Dehart supported and the MOTION CARRIED with a roll call vote: (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes.

Mr. Howard is the architect for the applicant. He wanted to comment that Mr. Seward was part of the project prior to this particular design.

Mr. Leuffgen discussed his review letter which is his third. One thing that needs to be addressed is the balcony which is 17 off the natural feature setback, the natural feature setback is 25 feet.

Ms. Dehart asked if there is one well for the entire property? Mr. Leuffgen noted that there is and the Oakland County Health Division will make them adhere to their requirements.

Mr. Slicker asked why the sidewalk can't be in the right of way. They would prefer to put landscape in the area and put the sidewalk in the right of way. It will be extended in the future and would require easements on either side in the future. Mr. Slicker asked about curb and gutter requirements, it's not required.

Mr. O'Neil presented Fire Marshal Holland's letter. Mr. O'Neil discussed the McKenna review dated 2-9-21. There are a few minor issues that can be issued at final site plan. This is a challenging site. There are two older buildings that will be removed. Redevelopment is very important too. Mr. Rozanski will need to go to the ZBA and needs many dimensional variances.

Mr. Rozanski stated that he lives in the township. It's a hardship lot, but he thinks they can do something nice here.

Mr. Howard noted that the civil drawings are the correct set of drawings. The patios being at grade encroach into natural features. As he moves up, he doesn't understand why the cantilever can't encroach. This will have to be sorted out with the ZBA.

Ms. Dehart asked about the lakefront lot? Looking at the site and all of the variances you need to ask for, would it have made more sense to pull the building to the front and put parking in back? The elevations of the building were shared to the meeting screen. They started with the building on the street and they ran into many roadblocks. The lake site is for residents. There may be a bonfire pit and 14 docks if allowed for residents only. A future plan should identify this because it will come up at Township board. Mr. Meagher looked at the elevations, the north elevation looks confusing, like the back end of something. Ms. Dehart said there are so many variance requests. They have the ability to shrink if necessary and have less parking. The ZBA meeting will be Thursday February 25th.

Ms. Carlock asked about the surrounding properties. There are a couple apartment buildings surrounding. It is located almost behind Lowes. The adjacent property is messy, and Mr. O'Neil will speak with Ordinance Officer Hudson about this. Ms. Grubb wanted to ask about lake access as well and noted that the building looks nice.

Mr. Meagher asked about estimated rental rates? The rates are estimated to be \$1,400. for a 2 bedroom and between \$1,000. to \$1,100. for a one bedroom. Floor plans are included to see how everything is laid out.

Mr. O'Neil stated that If you're okay with this and you approve it subject to the variances and they aren't approved, could come back to you for preliminary approval. The applicant is aware of all this.

Mr. Meagher moved to recommend to the White Lake Township Board Preliminary Site Plan Approval for Pontiac Lake Overlook Located on the south side of Pontiac Lake Road, north of M-59. Consisting of approximately 3.19 acres. Currently zoned Multiple-Family Residential (RM-2). Identified as parcel 12-13-328-001. Subject to obtaining the necessary variances from the ZBA, and moving the sidewalk from onsite to the Pontiac Lake Road right of way. Also subject to all Planning department and consultant review comments. Mr. Ruggles supported and the MOTION CARRIED with a roll call vote: (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes.

Liaison's Report

Ms. Grubb reported that we have been meeting a lot with Parks and Recreation to accept the conceptual design for Stanley Park. Planning is working on getting the grant for the park going now.

Mr. Ruggles reported that the board met to discuss Stanley Park. He would like to see a splash park and basketball. The board discussed the Cascade Street entrance at Union Lake Road and they voted to spend \$5000 with Waterford and the RCOC to put in a barrier to try and slow down traffic. WOTA has been successful even in COVID times. Three communities are involved now, Walled Lake has requested to join. The board had a meeting with the CCDC and there will be three meetings next week to interview the companies that have submitted plans. At the February meeting the board discussed fee ordinance for Water and Sewer and we are looking to get iron filtration in Aspen Meadows and for Lakeland. The CBDG was approved and we're working on getting 1111 Round Lake torn down.

Ms. Dehart said that ZBA has been very busy. There were 6 cases, all very different. She said that they will be meeting with the attorney for overall guidance with the cases. The attorney isn't regularly present at the ZBA meetings, they aren't regularly needed. Mr. Slicker noted that he was denied, and he looked through 10 years worth and feels he was the first to be denied on this type of case. Ms. Dehart said everyone on every board at White Lake Township works very hard to get things right and she doesn't see this dedication in every community.

Planning Consultant's Report

There was not a planning consultant in attendance.

Director's Report:

Mr. O'Neil reported that the zoning ordinance amendments were approved at the last board meeting. They will be published and become effective very soon. Lake Pointe went for a 1 year extension to their preliminary site plan and that was approved. He thinks West Valley should be on the March 8th agenda. Lake Pointe should be on the April or May agenda. Preserve at Hidden Lake and Trailside Meadow are getting ready to start their second phases. Mr. Slicker gets a lot of information on grants and Mr. O'Neil asked that he send them to Mr. Quagliata and himself.

Other Business:

Communications:

There will probably not be a March 4th meeting.

Next Meeting Dates: March 4th, 2021
March 18th, 2021

Adjournment:

Mr. Meagher moved to adjourn the meeting at 9:20 p.m. Ms. Grubb supported and the MOTION CARRIED with a roll call vote. (Dehart – yes; Anderson – yes; Carlock – yes; Meagher – yes; Slicker – yes; Seward – yes; Ruggles – yes; Grubb – yes). 8 yes votes.