



## ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN 48383  
THURSDAY, APRIL 25, 2024 – 6:30 PM

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*White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com*

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### AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. CALL TO THE PUBLIC
6. APPROVAL OF MINUTES
  - A. [March 28, 2024](#)
7. OLD BUSINESS
8. NEW BUSINESS
  - A. [Applicant: VersaPro Restoration and Construction](#)  
[12725 Stark Road](#)  
[Livonia, MI 48150](#)  
[Location: 10199 Lakeside Drive](#)  
[White Lake, MI 48386 identified as 12-22-477-011](#)  
[Request: The applicant requests to enlarge and alter a nonconforming structure \(house\) to construct a second story addition, requiring a variance from Article 7.23.A, Nonconforming Structures. Variances from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures are also required due to both the value of improvements and the increase in cubic content.](#)
  - B. [Applicant: Jordan Billet](#)  
[8874 Arlington Road](#)  
[White Lake, MI 48386 identified as 12-13-157-006](#)  
[Location: 8874 Arlington Road](#)  
[Request: The applicant requests to enlarge and alter a nonconforming structure \(house\) to construct first and second story additions, requiring a variance from Article 7.23.A, Nonconforming Structures. Variances from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures are also required due to both the value of improvements and the increase in cubic content. A variance is also required from Article 5.7.A due to the proposed setback from an accessory building.](#)
  - C. [Applicant: Sid Jamil](#)  
[1767 Carriage Hill](#)  
[Commerce, MI 48382](#)  
[Location: 10890 Hillway Drive](#)  
[White Lake, MI 48386 identified as 12-34-352-003](#)  
[Request: The applicant requests to enlarge and alter a nonconforming structure \(house\) to construct first and second story additions, requiring a variance from Article 7.23.A, Nonconforming Structures. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is also required due to both the value of improvements and the increase in cubic content.](#)



- D. [Applicant: Eric Goins & Julie Rule-Goins](#)  
[1032 Round Lake Road](#)  
[White Lake, MI 48386](#)  
[Location: 1032 Round Lake Road](#)  
[White Lake, MI 48386 identified as 12-35-255-013](#)  
[Request: The applicant requests to enlarge and alter a nonconforming structure \(house\) to construct a second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area. Variances from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures are also required due to both the value of improvements and the increase in cubic content.](#)

**9. OTHER BUSINESS**

**10. NEXT MEETING DATE:** May 23, 2024

**11. ADJOURNMENT**

**Procedures for accommodations for persons with disabilities:** The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS  
MARCH 28, 2024**

**CALL TO ORDER**

Chairperson Spencer called the meeting to order 6:30 P.M. She led the Pledge Allegiance.

Roll was called:

**ROLL CALL**

**Present:**

Jo Spencer, Chairperson  
Clif Seiber  
Kathy Aseltyne  
Debby Dehart, Planning Commission Liaison  
Tony Madaffer

**Also Present:**

Justin Quagliata, Staff Planner  
Hannah Kennedy-Galley, Recording Secretary

**APPROVAL OF AGENDA**

**MOTION by Member Aseltyne, seconded by Member Seiber to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).**

**CALL TO THE PUBLIC**

None.

**APPROVAL OF MINUTES**

A. January 25, 2024

**MOTION by Member Dehart, seconded by Member Seiber, to approve the minutes of January 25, 2024 as presented. The motion carried with a voice vote: (5 yes votes).**

**OLD BUSINESS**

None.

**NEW BUSINESS**

A. Applicant: Northern Sign  
2181 E. Walton Blvd. Ste. 100  
Auburn Hills, MI 48326  
Location: **10951 Highland Road**  
White Lake, MI 48386 identified as 12-22-301-014  
Request: The applicant requests to exceed the allowed number of wall signs, requiring a variance from Article 5.9.J.ii.b, Wall Signs – Maximum Number of Signs.

Chairperson Spencer noted for the record 19 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata briefly went over the applicant's request.

Member Dehart asked staff how many signs were allowed. Staff Planner Quagliata said three wall signs were allowed on the north facade that did not exceed 200 square feet.

Tammy Long, Northern Sign, was present to speak on behalf of her case. Kroger needed the sign to direct customers where to park to pick up their groceries.

Member Seiber asked the applicant if customers could come to the door where the sign was to get their groceries. Ms. Long said no, customers would not leave their car to pick up their groceries.

Member Aseltyne asked the applicant if the pharmacy sign and the Murray's Cheese sign were necessary. Ms. Long was not sure if the Murray's Cheese sign was necessary.

Staff Planner Quagliata said it was more typical to identify the parking spots, rather than install a wall sign, to indicate pick-up.

Chairperson Spencer opened the public hearing at 6:41 P.M. Seeing no public comment, she closed the public hearing at 6:41 P.M.

Member Seiber said the shift in the market and how groceries were purchased necessitated a need for more signage for customers to pick up groceries.

Member Aseltyne suggested some of the other signs on the building could be removed in exchange for the new sign being installed.

Member Dehart said she did not see how the pick-up sign had a directional purpose.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

- Chairperson Spencer did not see a practical difficulty.
- Member Seiber said he saw a practical difficulty due to a shift in the way the market worked. Member Aseltyne agreed.

B. Unique Situation

- Member Seiber said most stores did not have pick-up.

C. Not Self-Created

- Member Dehart said it was a self-created problem. Chairperson Spencer agreed.

D. Substantial Justice

- Chairperson Spencer said Kroger had more signage than the other buildings in the center, and the ZBA denied Arby's of a sign on the back of its building.

E. Minimum Variance Necessary

- Member Dehart said the shopping cart image before the pick-up text was more than the minimum variance necessary.

Member Seiber asked staff if a sign was removed from the building, would a variance be necessary. Staff Planner Quagliata confirmed, the store was only allowed three wall signs on the north facade. Previous Building Division staff issued Kroger more sign permits than allowed. The current banner signs were also unpermitted.

Staff Planner Quagliata said in regards to the size, it would be more difficult to reduce the total sign area on the north facade due to the size of the main "Kroger Marketplace" sign. There was also an additional "Kroger Marketplace" sign on the west side of the building that was over the allowed maximum size.

Member Dehart asked the applicant if the proposed signs would be back lit. Ms. Long confirmed.

Staff Planner Quagliata said he did not believe the proposed pick-up wall sign would provide an indicator to help pick-up customers know where to park. He suggested more directional signage in the parking lot to draw customers to the pick-up parking spaces.

**MOTION by Member Seiber, seconded Member Dehart to approve the variance requested by Northern from Article 5.9.J.ii.b of the Zoning Ordinance for Parcel Number 12-22-301-014, identified as 10951 Highland Road, in order to install a seventh wall sign on the north facade. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **The unpermitted banners currently on the building shall be removed.**
- **No additional signage shall be permitted on the building.**
- **Any future modification to signage on the building, except for eliminating signage, shall require approval of the Zoning Board of Appeals.**

The motion FAILED with a roll call vote: (4 no votes).  
(Seiber/yes, Dehart/no, Spencer/no, Aseltyne/no, Madaffer/no).

**MOTION by Member Aseltyne, seconded by Member Seiber to approve the variance requested by Northern from Article 5.9.J.ii.b of the Zoning Ordinance for Parcel Number 12-22-301-014, identified as 10951 Highland Road, in order to install a seventh wall sign on the north facade. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **The unpermitted banners currently on the building shall be removed.**
- **No additional signage shall be permitted on the building.**

- **Any future modification to signage on the building, except for eliminating signage, shall require approval of the Zoning Board of Appeals.**
- **The “Kroger Pharmacy,” “drive thru,” and “Murray’s Cheese” signs shall be removed from the building in exchange for the “pick-up” sign.**

**The motion carried with a roll call vote: (5 yes votes).  
(Aseltyne/yes, Seiber/yes, Spencer/yes, Dehart/yes, Madaffer/yes).**

- B. Applicant: Ginko Investment, LLC (John Sutphin)  
2438 N. Rochester Road  
Oakland, MI 48363  
Location: **Parcel Number 12-01-127-004**  
Request: The applicant requests to construct a self-storage facility, requiring variances from Article 5.19.D.i, Required Minimum Screening and Landscaping.

Chairperson Spencer noted for the record 14 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata briefly went over the applicant’s request.

Member Dehart asked staff if a berm and landscaping on White Lake Road would affect traffic visibility. Staff Planner Quagliata said no.

Jim Butler, PEA Group, was present to speak on behalf of the applicant’s request. The west side of the site was adjacent to single family, and that side of the site had topographic challenges. Trees would need to be removed to create the berm, and retaining walls would need to be constructed. Landscaping would be used instead and the developer would work with homeowners regarding potentially planting trees on the HOA property. The buildings were single-story. A berm along White Lake Road would block the site from travelers looking for the site, and would hinder an effective business operation. A stack stone wall was proposed, with additional commercial grade landscaping in a greenbelt.

Member Seiber said there was a gap in the fence along the rear of the property, and asked if the fence was needed for security. Mr. Butler said no. Member Seiber asked if there was potential to shorten the fence to save two evergreens. Mr. Butler said yes.

Member Seiber stated the frontage would have ten overhead doors that would face the main road, but a six-foot fence at the right-of-way would not screen those due to the elevation of the road. The proposed ginkgo trees and magnolia trees would grow high and wide, but there would be a gap between the trees. He suggested less spacing between the trees for a higher density landscape screen.

Member Dehart asked Mr. Butler if there would be a monument sign by the driveway. Mr. Butler said no, but there would be a ground sign that would run perpendicular on the face of the front wall.

Chairperson Spencer opened the public hearing at 7:10 P.M. Seeing no public comment, she closed the public hearing at 7:10 P.M.

Member Seiber asked Mr. Butler what type of stormwater system would be used. Mr. Butler said it would be underground and onsite.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
  - Member Seiber said the topography of the lot was a practical difficulty. Member Aseltyne and Chairperson Spencer agreed.
- B. Unique Situation
  - Chairperson Spencer said the demonstration of the practical difficulty presented a unique situation.
- C. Not Self-Created
  - Chairperson Spencer said the developer did not create the topography of the site.
- D. Substantial Justice
  - Chairperson Spencer said granting the variances would grant substantial justice to the applicant.
- E. Minimum Variance Necessary
  - Chairperson Spencer said the variances were the minimum necessary.

**MOTION by Member Seiber, seconded by Member Aseltyne, to approve the variances requested by Ginko Investment, LLC (John Sutphin) from Article 5.19.D.i of the Zoning Ordinance for Parcel Number 12-01- 127-004 in order to modify the landscape and screening requirements associated with the construction of a self-storage facility. This approval will have the following conditions:**

- **The variances shall become effective if and when the final site plan for the development is approved by the Planning Commission.**
- **Approval is in accordance with the preliminary landscape plan prepared by PEA Group dated February 2, 2023 (revision date October 24, 2023).**
- **The westerly fence will be shortened to allow saving the two evergreen trees.**
- **The tree spacing along the White Lake Road right-of-way shall be reduced from 30 feet to 20 feet.**

**The motion carried with a roll call vote: (5 yes votes).  
(Seiber/yes, Aseltyne/yes, Madaffer/yes, Dehart/yes, Spencer/yes)**

C. Applicant: Dave Sheill  
11112 Windhurst Drive  
White Lake, MI 48386  
Location: **11112 Windhurst Drive**  
White Lake, MI 48386 identified as 12-33-476-010  
Request: The applicant requests to enlarge and alter a nonconforming structure (detached garage) to construct an addition, requiring a variance from Article 7.23.A, Nonconforming Structures. Variances from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures are also required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record 15 owners within 300 feet were notified. 15 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata briefly went over the applicant's request.

Member Dehart asked staff if the ZBA was allowed to approve the nonconformity of the roof structure. Staff Planner Quagliata said the new knee wall and new cubic content were not within five-feet of the side yard lot line.

Dave Sheill, 11112 Windhurst, was present to speak on behalf of his case. He purchased the home in 2000, and the garage was old. He had met with the ZBA a few years ago, and for unfortunate personal reasons, he did not proceed with the project. He had now lost his impotence since that time. He had run out of storage area and wanted to create more storage by fixing the existing garage and adding on to it. A lean-to addition on one side of the garage was now also proposed. He added money was no object because he wanted to make the garage nice.

Member Aseltyne asked the applicant about the lean-to addition. Mr. Sheill said he wanted it mainly for aesthetic value.

Member Seiber asked the applicant if he knew where his septic field was. Mr. Sheill said yes, there was a drywell 15 feet from the back of the existing garage.

Member Seiber asked the applicant if the lean-to addition could be relocated to the back of the garage to reduce the variances requested. Mr. Sheill said he liked the way it was designed for aesthetics. He also said his uncle was in a wheelchair and the design of the garage would aid him when he visited. Member Aseltyne said Mr. Sheill's uncle's condition was not a practical difficulty.

Member Dehart asked the applicant if the building could be setback more from the side lot line in order to keep the roof overhang on the south side. Mr. Sheill said he didn't need the overhangs on that side of the building.



Chairperson Spencer opened the public hearing at 7:41 P.M. Chairperson Spencer summarized the letters that were received in favor of the applicant's request.

Chairperson Spencer closed the public hearing at 7:44 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
  - Member Dehart said the lot did not meet the current standards.
- B. Unique Situation
  - Member Dehart said the situation was unique because the lot did not meet the current standards.
- C. Not Self-Created
  - Member Dehart said the applicant did not create the lot.
- D. Substantial Justice
  - Member Seiber said other lots in the neighborhood enjoyed garages close to the road right of way.
- E. Minimum Variance Necessary
  - Member Dehart said if the roof overhang was reduced on the south side, the variance would be reduced as well.

Member Seiber said he could see granting relief to the lot coverage issue, but the lean-to addition on the north side of the garage was hard to justify.

Member Dehart suggested reducing the size of the lean-to addition to reduce the variance request.

**Member Seiber MOVED to approve the variances requested by Dave Sheill from Article 7.23.A and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-33-476-010, identified as 11112 Windhurst Drive, in order to replace the roof on the existing detached garage and construct a lean-to addition that would exceed the allowed lot coverage by 7% and encroach 2 feet into the required front yard setback. A variance to exceed the allowed value of improvements to a nonconforming structure by 602% is also granted from Article 7.28.A. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **The second-story of the garage shall not be used as living space.**
- **No septic or future sanitary sewer services shall be extended to the garage.**
- **In no event shall the projection of any roof overhang be closer than five feet to the side lot lines and no closer than the existing garage walls to the south property line.**

**Member Dehart supported, and the motion carried with a roll call vote: (4 yes votes)  
(Seiber/yes, Dehart/yes, Aseityne/no, Spencer/yes, Madaffer/yes)**

**OTHER BUSINESS**

None.

WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS  
MARCH 28, 2024

**NEXT MEETING DATE:** April 25, 2024

**ADJOURNMENT**

**MOTION by Member Aseltyne, seconded by Member Dehart, to adjourn at 7:51 P.M. The motion carried with a voice vote: (5 yes votes).**

# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** April 25, 2024

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**Agenda item:** 8a

**Appeal Date:** April 25, 2024

**Applicant:** VersaPro Restoration and Construction

**Address:** 12725 Stark Road  
Livonia, MI 48150

**Zoning:** R1-D Single Family Residential

**Location:** 10199 Lakeside Drive  
White Lake, MI 48386

## **Property Description**

The approximately 0.223-acre (9,713.88 square feet) parcel identified as 10199 Lakeside Drive is located on Oxbow Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,830 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

## **Applicant's Proposal**

VersaPro Restoration and Construction, the applicant, on behalf of property owner Laura Dobbs, is proposing to construct a second-story addition on the house. The Applicant indicated the project includes remodeling the existing house.

## **Planner's Report**

In January 2021 the Zoning Board of Appeals (ZBA) approved variance requests from a previous representative of the property owner to construct first and second-story additions. Variances are valid for a period of six months from the date of approval, unless a building permit is obtained within such period and the work associated with the variance is started and proceeds to completion in accordance with the terms of the building permit. The previous Applicant did not obtain a building permit within six months of approval so the variances (with the exception of the lot area and lot width variances) expired and are void. The following variances were previously granted:

- 23.3-foot variance from the front yard setback
- 5-foot variance from the east side yard setback
- 5-foot variance from the west side yard setback
- 21.93-foot variance from the required lot width
- 2,286.12 square foot variance from the required lot area
- 380% variance from the allowed value of improvements to a nonconforming structure

Currently the existing house is nonconforming to setbacks; the structure is located 4.1 feet from the east side property line, 4.2 feet from the west side property line, and 6.7 feet from the front property line. A minimum 10-foot side yard setback and 30-foot front yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 2,286.12 square foot deficiency in lot area and a 21.93-foot deficiency in lot width. In the R1-D zoning district the minimum lot size requirement is 12,000 square feet and the minimum lot width requirement is 80 feet.

The proposed second story addition is 292 square feet in size. However, the setback from the west side lot line is unclear. The southwest corner of the house is not dimensioned to the west lot line on the survey. At the northwest corner of the house, the setback from the west lot line is 4.2 feet. Section 7.27.vii of the Zoning Ordinance prohibits the ZBA from granting a variance to permit a setback of less than five feet from a side lot line for safety reasons. Also, Section 5.3 of the Zoning Ordinance prohibits roofs, gutters, windows, and open balconies from projecting closer than five feet to a lot line.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$149,860), the maximum extent of improvements cannot exceed \$74,930. The value of the proposed work is \$247,570.40. A variance to exceed to exceed the allowed value of improvements by 330% is requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$74,930)	330%	\$172,640.40 over allowed improvements

### Zoning Board of Appeals Options:

**Approval:** I move to approve the variances requested by VersaPro Restoration and Construction from Article 7.23.A and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, in order to construct a second story addition that would encroach 5 feet into the required side yard setback from the west lot line and exceed the allowed value of improvements to a nonconforming structure by 330%. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- Prior to issuance of a building permit, a revised survey shall be submitted to dimension the setback from the southwest corner of the house to the west side lot line. The side yard setback from the west lot line must be at least five feet.
- The addition's roof overhang shall be no closer than five feet to the west side lot line.

**Denial:** I move to deny the variances requested by VersaPro Restoration and Construction for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, due to the following reason(s):

**Postpone:** I move to postpone the appeal of VersaPro Restoration and Construction *to a date certain or other triggering mechanism* for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, to consider comments stated during this public hearing.

**Attachments:**

1. Variance application dated March 21, 2024.
2. Applicant's written statement.
3. Survey dated July 29, 2020.
4. Architectural plans dated February 22, 2024.
5. Letter of denial from the Building Official dated March 8, 2024.
6. Minutes of the January 28, 2021 Zoning Board of Appeals meeting.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
  - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
ZONING BOARD OF APPEALS APPLICATION

Item A.

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: VersaPro Restoration and Construction PHONE: (734) 523-8400

ADDRESS: 12725 Stark Rd. Livonia, MI. 48150

APPLICANT'S EMAIL ADDRESS: updates@versapro.com

APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 10199 Lakeside Drive PARCEL # 12-~~2~~<sup>2</sup>-477-011

CURRENT ZONING: R1-D PARCEL SIZE: 9,713.88 sq. ft.

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Requesting variance from  
Article 3.1.6 and Article 5.3

VALUE OF IMPROVEMENT: \$ 247,570.40 SEV OF EXISITING STRUCTURE: \$ 150,000.00

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

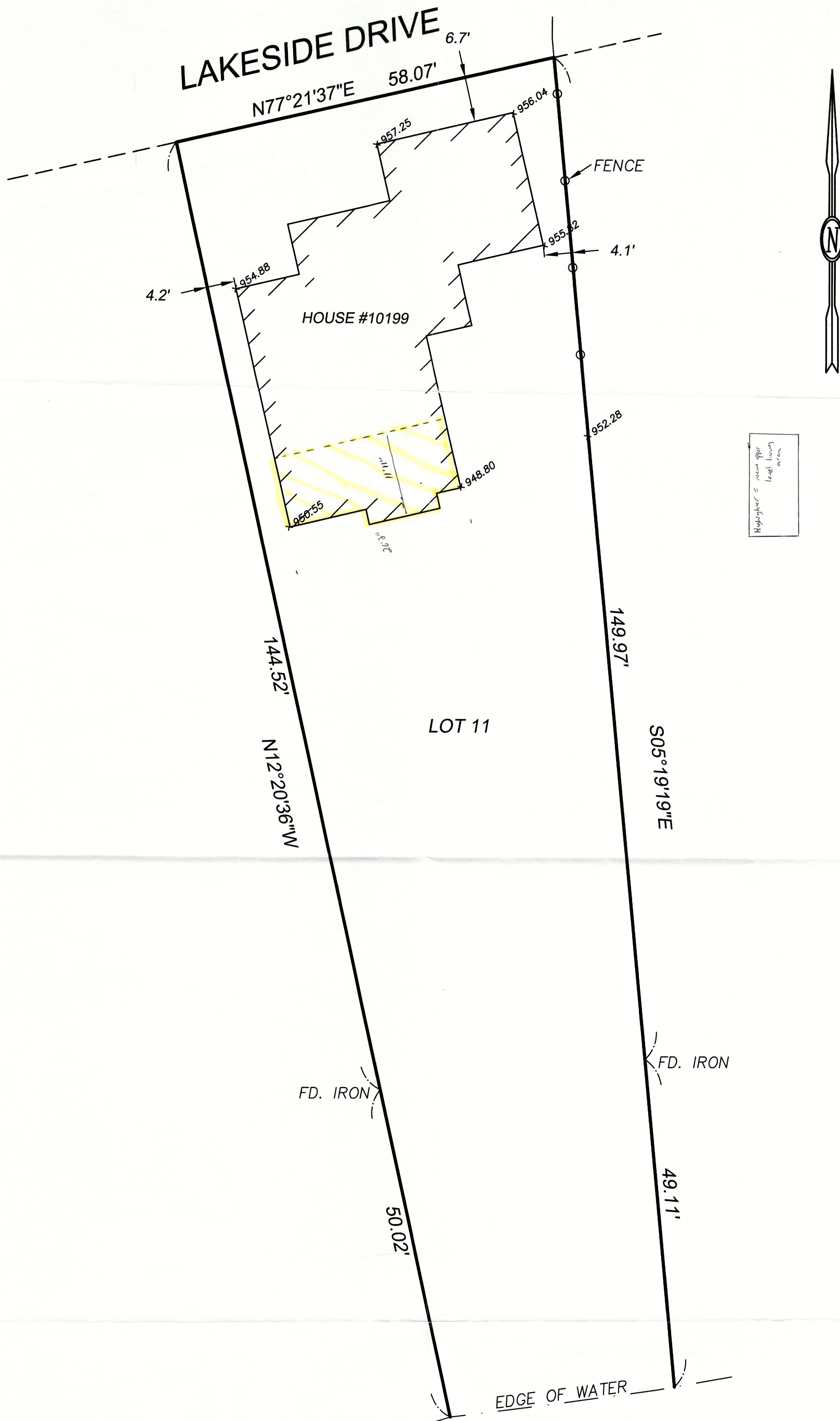
APPLICATION FEE: \$395 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE:  DATE: 3-21-24



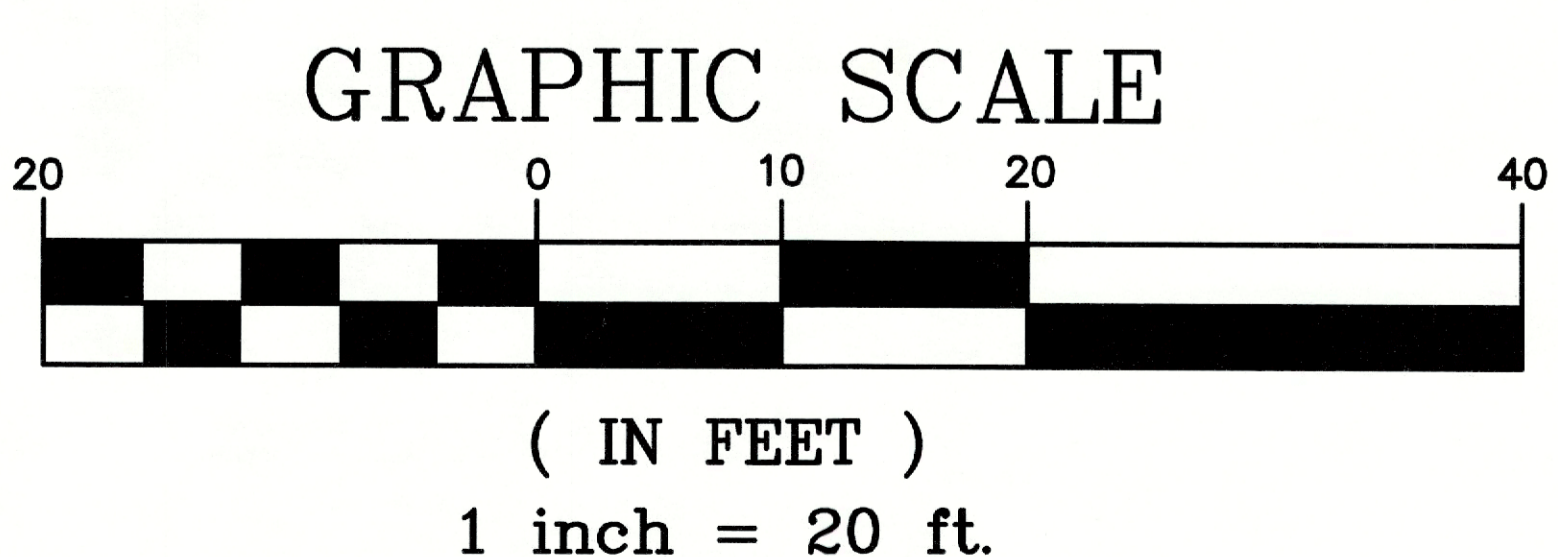
## Reasons for Variance Request

VersaPro Restoration and Construction requesting variances to Article 3.1.6 of the White Lake Township Clear Zoning Ordinance for R1-D and variances to Article 5.3 of the White Lake Township Clear Zoning Ordinance. The existing structures and lot are non-conforming with a lot width of 58.07 ft. and a lot area of 9,714 sq. ft. We are proposing to build an addition onto the 2<sup>nd</sup> story of the existing structure only. This 2<sup>nd</sup> story addition we are proposing today will be an upper living area. The previous variances were approved in October of 2020 for a larger project with a proposed 1<sup>st</sup> floor and 2<sup>nd</sup> floor addition. We are proposing only a 2<sup>nd</sup> floor addition today equaling approximately 292 sq. ft. in size, which will not change the footprint of the house. We have highlighted the 2<sup>nd</sup> floor addition on the survey submitted.




DESCRIPTION PARCEL 12-22-477-011  
 LOT 11 OF "TEGGERDINE BEACH" A SUBDIVISION OF PART  
 OF THE SOUTHEAST 1/4 OF SECTION 22 & PART OF THE  
 SOUTHWEST 1/4 OF SECTION 23, T.3N., R.8E., WHITE LAKE  
 TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN  
 LIBER 30 OF PLATS, PAGE 16, OAKLAND COUNTY RECORDS.

EDGE OF WATER  
**OXBOW LAKE**



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Scale: 1"=20'	10199 LAKESIDE DRIVE WHITE LAKE TWP. OAKLAND CO., MI.	BOUNDARY SURVEY			 8615 RICHARDSON ROAD COMMERCE TWP., MI. 48390 PHONE: 248-363-2550 FAX: 248-363-1646
Date: 7/29/20					
Job No.: 10791					
Sht. No.: 10F1			DATE	ISSUED FOR	



**JOSEPH PHILIPS ARCHITECT, LLC**

CONSTRUCTION  
THIS DOCUMENT IS NOT TO BE USED  
FOR CONSTRUCTION UNTIL PERMITS  
ARE ISSUED BY THE GOVERNING  
AUTHORITIES. ALL TRADES MUST  
CONSULT WITH THE ARCHITECT FOR  
CURRENT ISSUE DATES OF DOCUMENTS  
WITH GENERAL CONTRACTOR PRIOR TO  
BEGINNING WORK.  
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PROJECT:  
DOBBS RESIDENCE - ADDITION & ALTERATIONS  
10199 LAKESIDE DRIVE  
WHITE LAKE, MICHIGAN  
PLANS

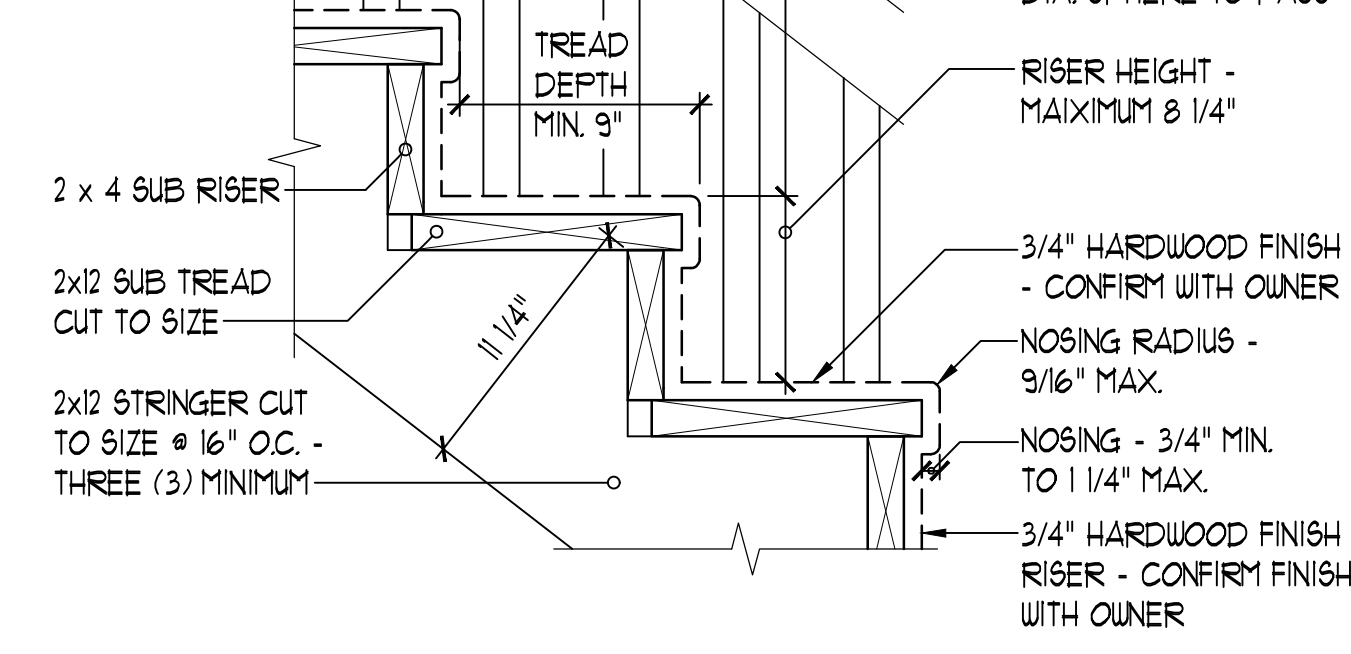
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02/22/24

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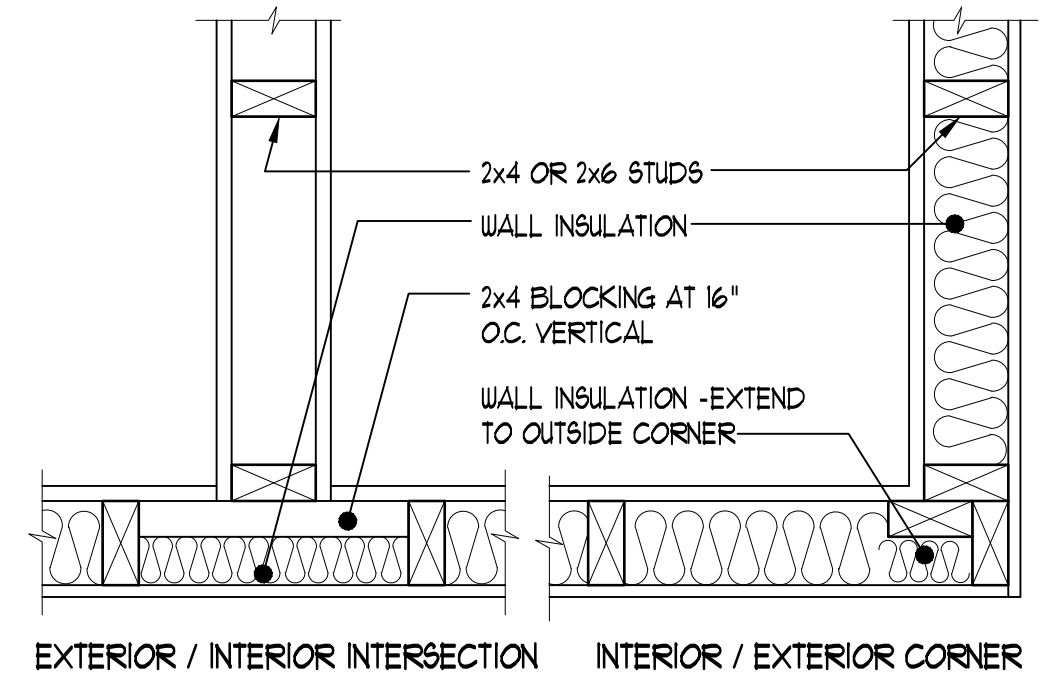
NOTE: PROVIDE CODE COMPLIANT HANDRAIL(S) ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR (4) OR MORE RISERS  
NOTE: PROVIDE CODE COMPLIANT GUARDRAILS WHERE PORCHES, BALCONIES OR RAISED FLOOR SURFACES ARE MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW.  
NOTE: SEE DRAWINGS FOR INFORMATION REGARDING SPECIFIC TREAD & RISER INFORMATION

NOTE: SEE MICHIGAN RESIDENTIAL CODE SECTION R311 & R312 FOR ADDITIONAL INFORMATION  
GUARD/HANDRAIL HEIGHT MEASURED VERTICALLY FROM TREAD NOSING  
BALUSTER - SPACE SO AS NOT TO ALLOW A 4" DIA. SPHERE TO PASS  
RISER HEIGHT - MAXIMUM 8 1/4"



12 TYPICAL STAIR DETAIL  
SCALE: 1/2" = 1'-0"

**DETECTOR NOTE:**  
GENERAL CONTRACTOR IS TO PROVIDE SMOKE & CARBON MONOXIDE DETECTORS AS REQ'D BY CODE THROUGHOUT HOME



10 TYP. EXT. WALL FRAMING DETAILS  
SCALE: 1/2" = 1'-0"

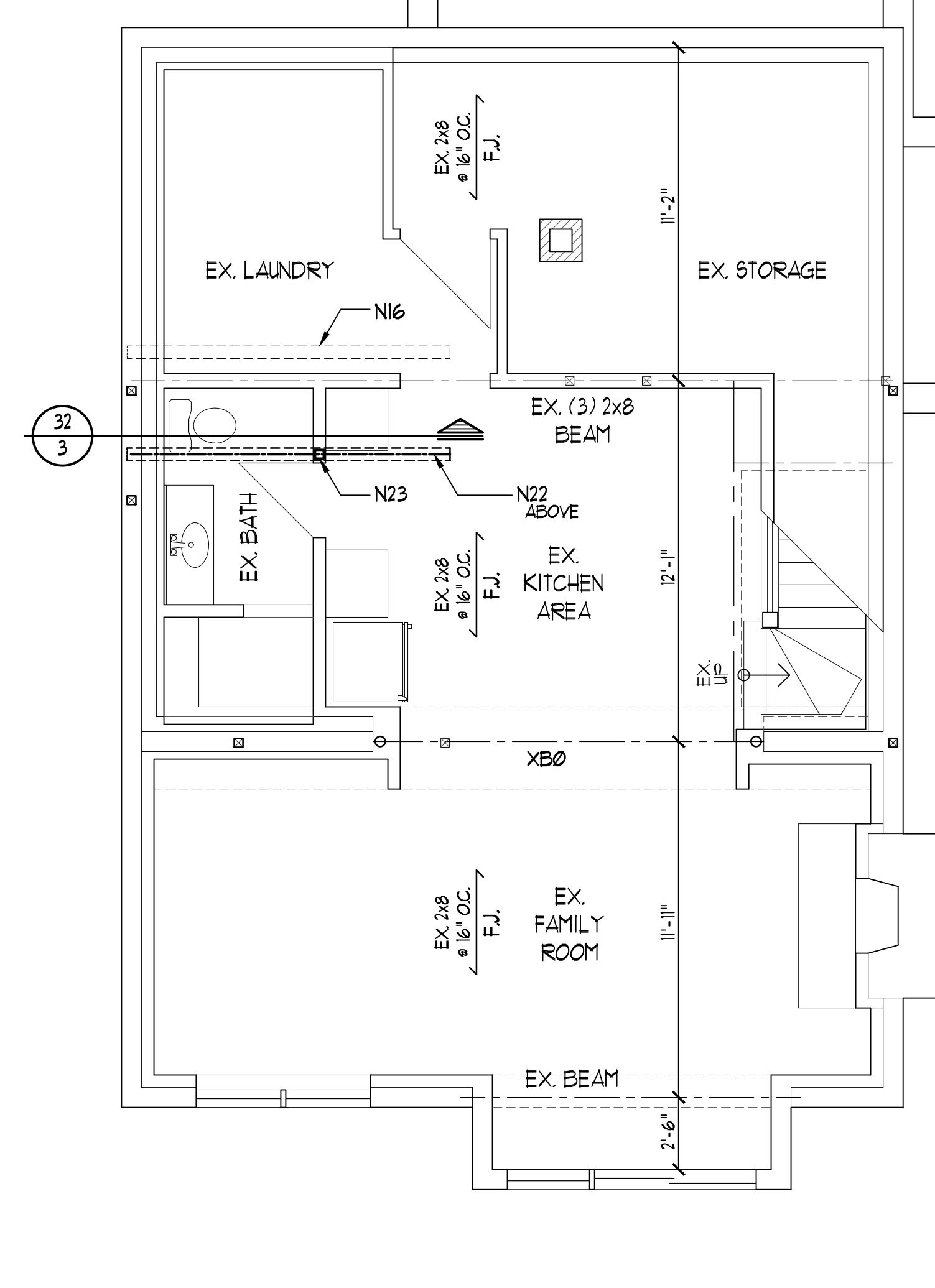
**PLFA NOTE:**  
NOT ALL POSTS & POINT LOADS FROM ABOVE (PLFA) HAVE BEEN INDICATED FOR THE SAKE OF CLARITY. TYPICALLY, PLFA INDICATIONS PERTAIN TO MAJOR STRUCTURAL LOADING.

**BEAM / HEADER SCHEDULE**

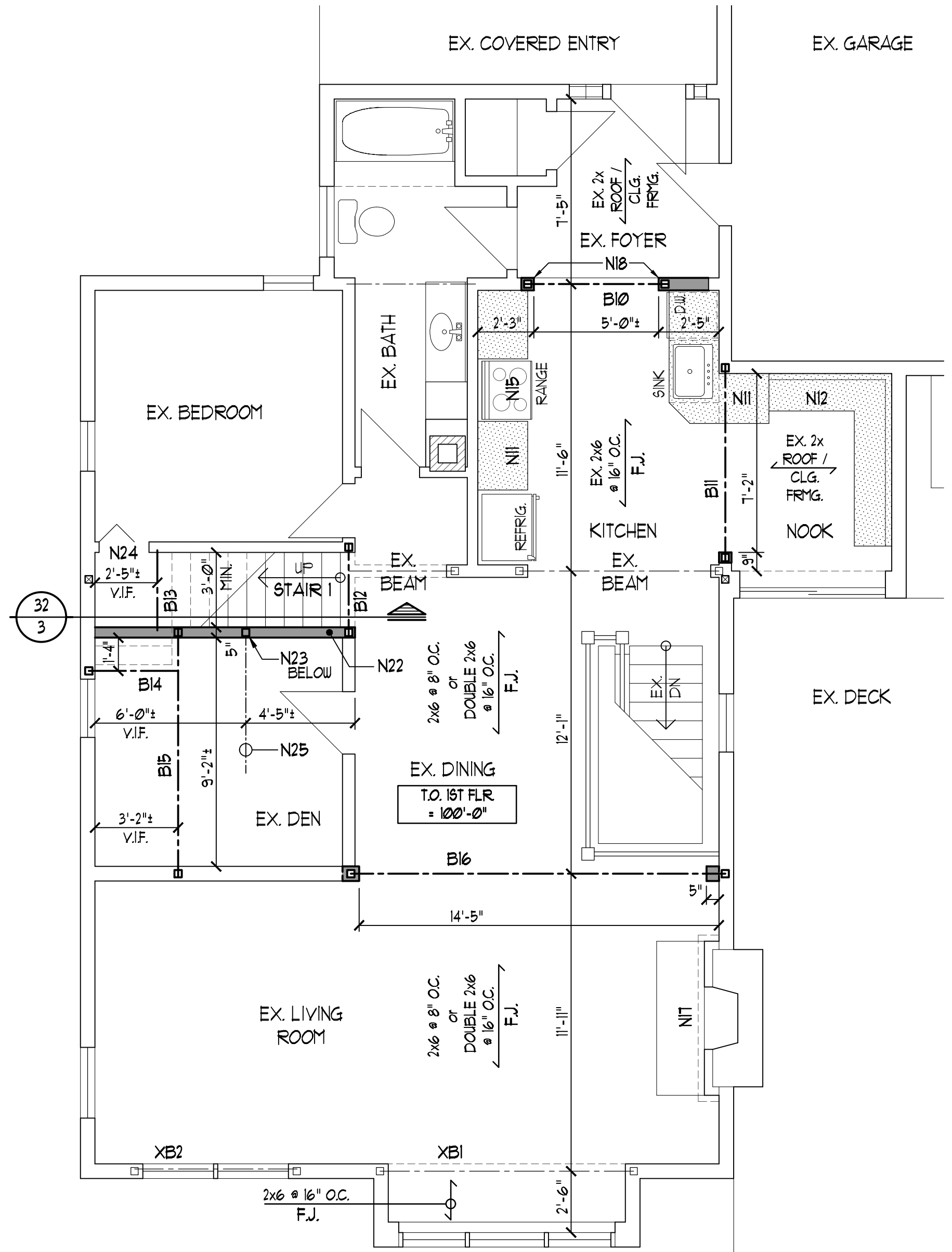
BEAM	DESCRIPTION	SPAN±
<b>FIRST FLOOR</b>		
XB0	WB x 18 STL BM (CONFIRM / PROVIDE)	11'-2 1/2"
XB1	(2) 2 x 10 (CONFIRM / PROVIDE)	9'-6 1/2"
XB2	(2) 2 x 10 (CONFIRM / PROVIDE)	6'-0 1/2"
B10	(2) 2 x 10	5'-0 1/2"
B11	(2) 2 x 10	7'-2 1/2"
B12	(2) 2 x 10	3'-2 1/2"
B13	(2) 2 x 10	3'-2 1/2"
B14	(2) 1 3/4" x 5 1/2" LVL	3'-2 1/2"
B15	(2) 1 3/4" x 5 1/2" LVL	9'-2 1/2"
B16	(2) 1 3/4" x 14" LVL	14'-5 1/2"
<b>SECOND FLOOR</b>		
B20	(2) 1 3/4" x 24" LVL (RIDGE BEAM)	25'-0 1/2"
B21	(2) 1 3/4" x 7 1/4" LVL	9'-6 1/2"
B22	(2) 1 3/4" x 7 1/4" LVL	6'-0 1/2"

BEAM / HEADER SCHEDULE NOTES  
BN1 ALL BEAMS / HEADERS TO BE (2) 2 x 10 UNO.  
BN2 SPANS LISTED IN SCHEDULE ARE FOR CALCULATION & ARE NOT INTENDED FOR FRAMING.  
BN3 G.C. IS TO CONFIRM WHICH BEAMS / HEADERS ARE TO BE FLUSH VS DROP

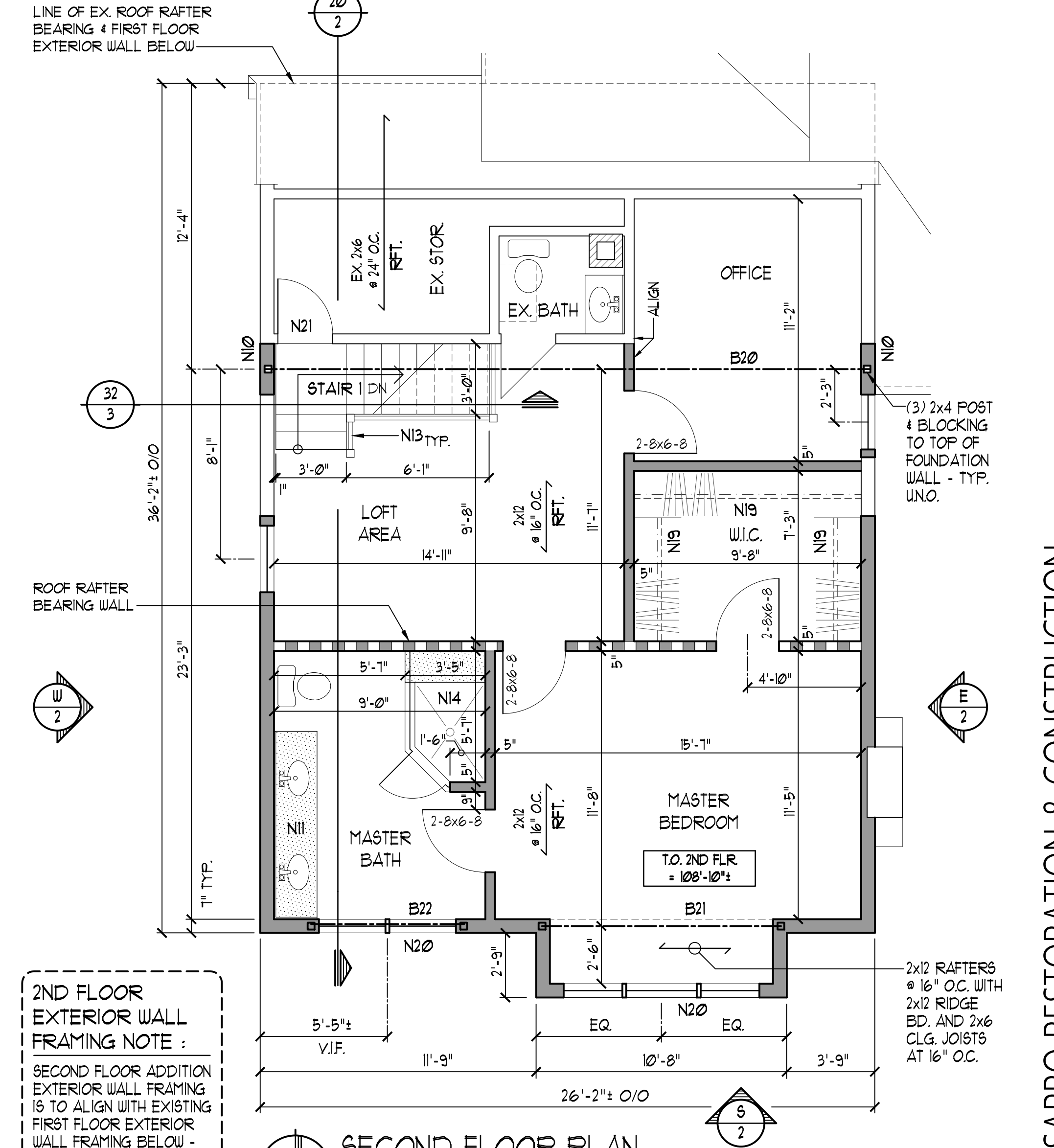
- PLAN NOTES:**
- N10 INFILL CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION
  - N11 CABINETS / MILLWORK - GENERAL CONTRACTOR IS TO CONFIRM LAYOUT, CONFIGURATION, UNIT TYPE, ETC. WITH OWNER PRIOR TO BEGINNING PROJECT
  - N12 BUILT-IN BANQUETTE SEATING - GENERAL CONTRACTOR IS TO DISCUSS LAYOUT, CONFIGURATION, ETC. WITH OWNER PRIOR TO BEGINNING PROJECT
  - N13 CODE COMPLIANT GUARD / HANDRAIL AS SELECTED BY OWNER - SEE "STAIR INFORMATION ON SHT. NO. 1
  - N14 BUILT-IN SHOWER WITH 14" DEEP x 18" HIGH SEAT (AS/IF INDICATED) AND TEMPERED GLASS DOOR & PANEL SYSTEM - G.C. IS TO DISCUSS LOCATION OF SHOWER HEAD(S) AND SHOWER ACCESS PANELS WITH OWNER PRIOR TO BEGINNING PROJECT.
  - N15 MICROWAVE WITH FAN ABOVE RANGE
  - N16 STAIR 1 EXISTING NORTH WALL FRAMING ABOVE
  - N17 GENERAL CONTRACTOR IS TO DISCUSS EX. FIREPLACE OPTIONS WITH OWNER PRIOR TO BEGINNING CONSTRUCTION.
  - N18 REPLACE / EXTEND EX. STEP AS REQUIRED TO ACCOMMODATE OPENING WIDTH
  - N19 BUILT-IN CLOSET FIXTURES TO BE CONFIRMED WITH THE OWNER
  - N20 CENTER WINDOW UNIT ON EX. WINDOW BELOW
  - N21 ACCESS DOOR TO EX. STORAGE - FIELD MEASURE EXISTING OPENING PRIOR TO ORDERING. MINIMUM SIZE 22" x 30"
  - N22 CONTINUOUS 2x STRONGBACK AT BOTTOM OF STAIR 1 SOUTH WALL - SEE DETAIL 35/3 FOR ADDITIONAL INFORMATION
  - N23 PROVIDE CONTINUOUS BLOCKING / 2x FRAMING (MINIMUM TWO 2x4S) BELOW N22 FROM UNDERSIDE OF EX. FIRST FLOOR SUBFLOOR TO TOP OF EX. LOWER LEVEL CONCRETE SLAB
  - N24 REWORK EXISTING DOOR OPENING AS REQUIRED TO ACCOMMODATE STAIR 1 PROVIDE DOOR APPROPRIATE FOR REWORKED OPENING
  - N25 CENTERLINE OF WALL BELOW



LOWER LEVEL PLAN  
24" x 36" SCALE: 1/4" = 1'-0"  
11" x 17" SCALE: 1/8" = 1'-0"



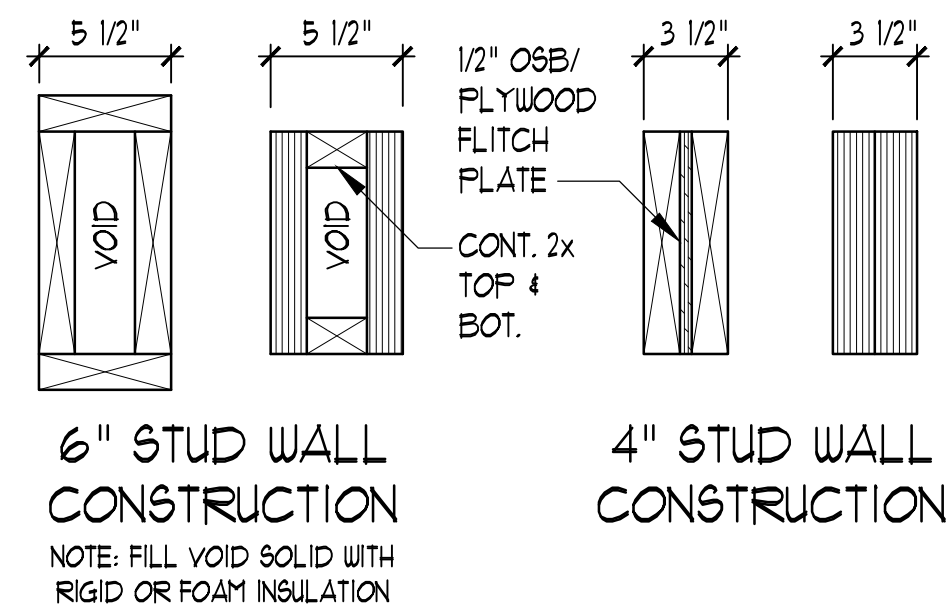
PARTIAL FIRST FLOOR PLAN  
24" x 36" SCALE: 1/4" = 1'-0"  
11" x 17" SCALE: 1/8" = 1'-0"



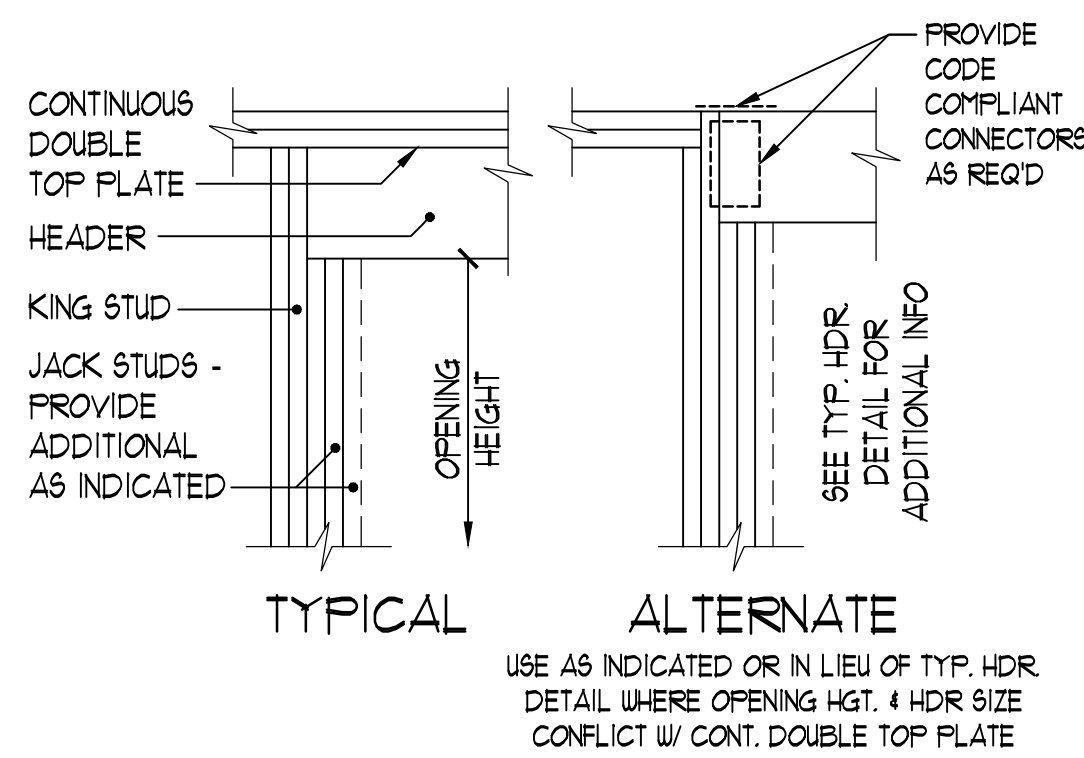
**2ND FLOOR EXTERIOR WALL FRAMING NOTE:**  
SECOND FLOOR ADDITION EXTERIOR WALL FRAMING IS TO ALIGN WITH EXISTING FIRST FLOOR EXTERIOR WALL FRAMING BELOW - TYPICAL

SECOND FLOOR PLAN  
24" x 36" SCALE: 1/4" = 1'-0"  
11" x 17" SCALE: 1/8" = 1'-0"

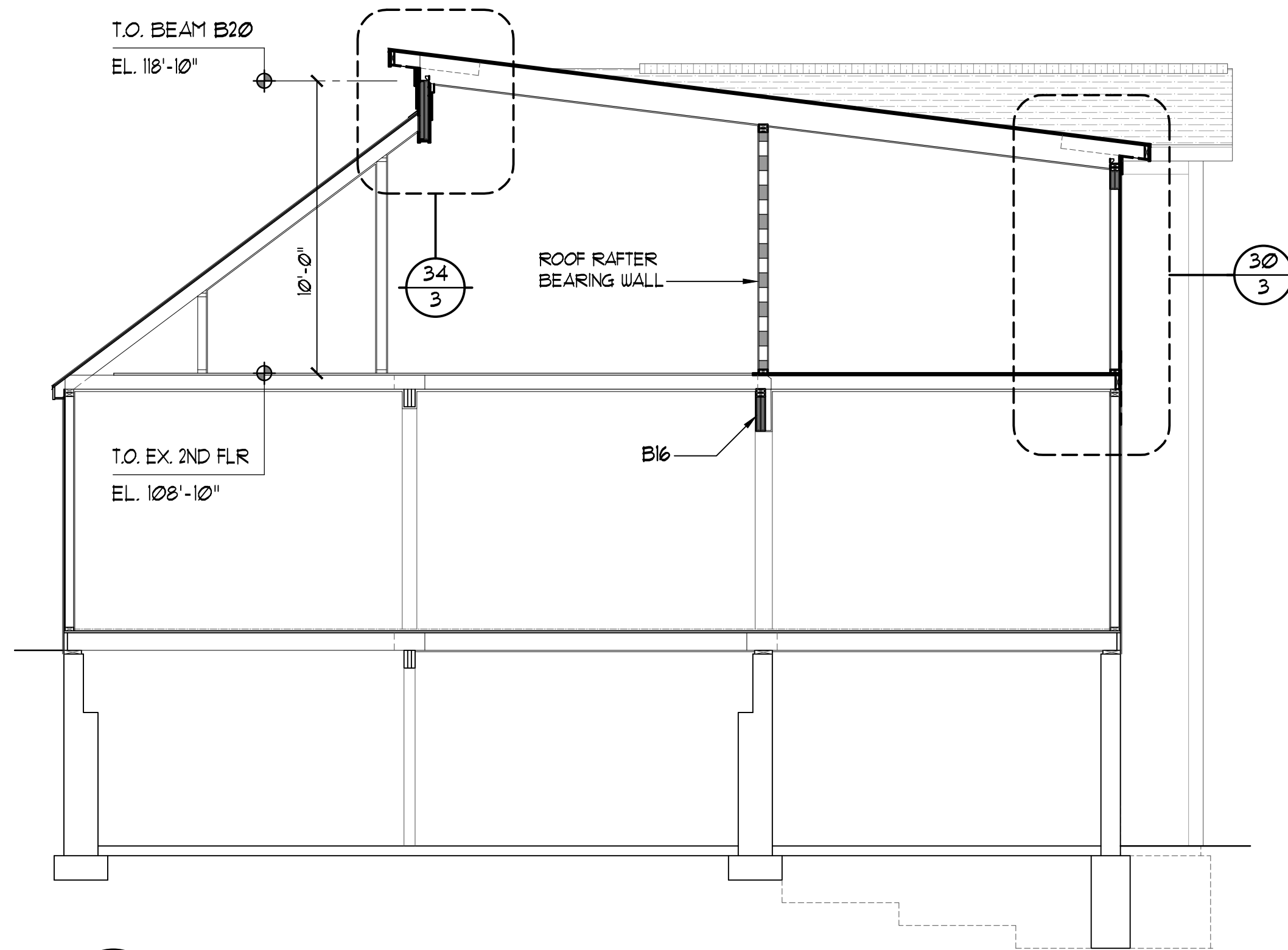
VERSAPRO RESTORATION & CONSTRUCTION



**43 HEADER DETAILS**  
SCALE: 1/2" = 1'-0"



**42 HEADER DETAILS** **41**  
SCALE: 3/4" = 1'-0"



**REFERENCE SECTION NOTE:**

REFERENCE SECTION ILLUSTRATED IS JUST THAT - REFERENCE ONLY. MEMBER SIZES, LOCATIONS, FRAMING DIRECTION AND EXISTENCE OF MEMBERS ARE TO BE CONFIRMED WITH THE DRAWING PREPARED AND FIELD CONDITIONS WHICH EXIST. THESE SECTIONS WERE DRAWN DURING THE DEVELOPMENT OF THE CONSTRUCTION DRAWINGS AND, THOUGH THEY MAY BE INACCURATE, ARE THOUGHT TO BE OF SOME VALUE TO THE CONTRACTOR

**WINDOW SCHEDULE**

ALUM. - ALUMINUM AUN.-AUNING CAS. - CASEMENT CH.-CHORD HEIGHT CIR. - CIRCLE CUST. - CUSTOM D.H. - DOUBLE HUNG FF. - FACTORY FINISH FGL. - FIBERGLASS FIN. - FINISH FIX. - FIXED GLDR. - GLIDER HDW. - HARDWARE HGT. - HEIGHT M.C. - METAL CLAD MTL. - METAL NA.-NOT APPLICABLE NO.-NUMBER OS.-OWNER SELECTED PT. - PAINT QUAN. - QUANTITY RAD. - RADIUS SH. - SINGLE HUNG SPL. - SPECIALTY STN.-STAIN TEmP'D GL.-TEMPERED GLASS TRNS.-TRANSOM W./WITH WD.-WOOD VIN.-VINYL

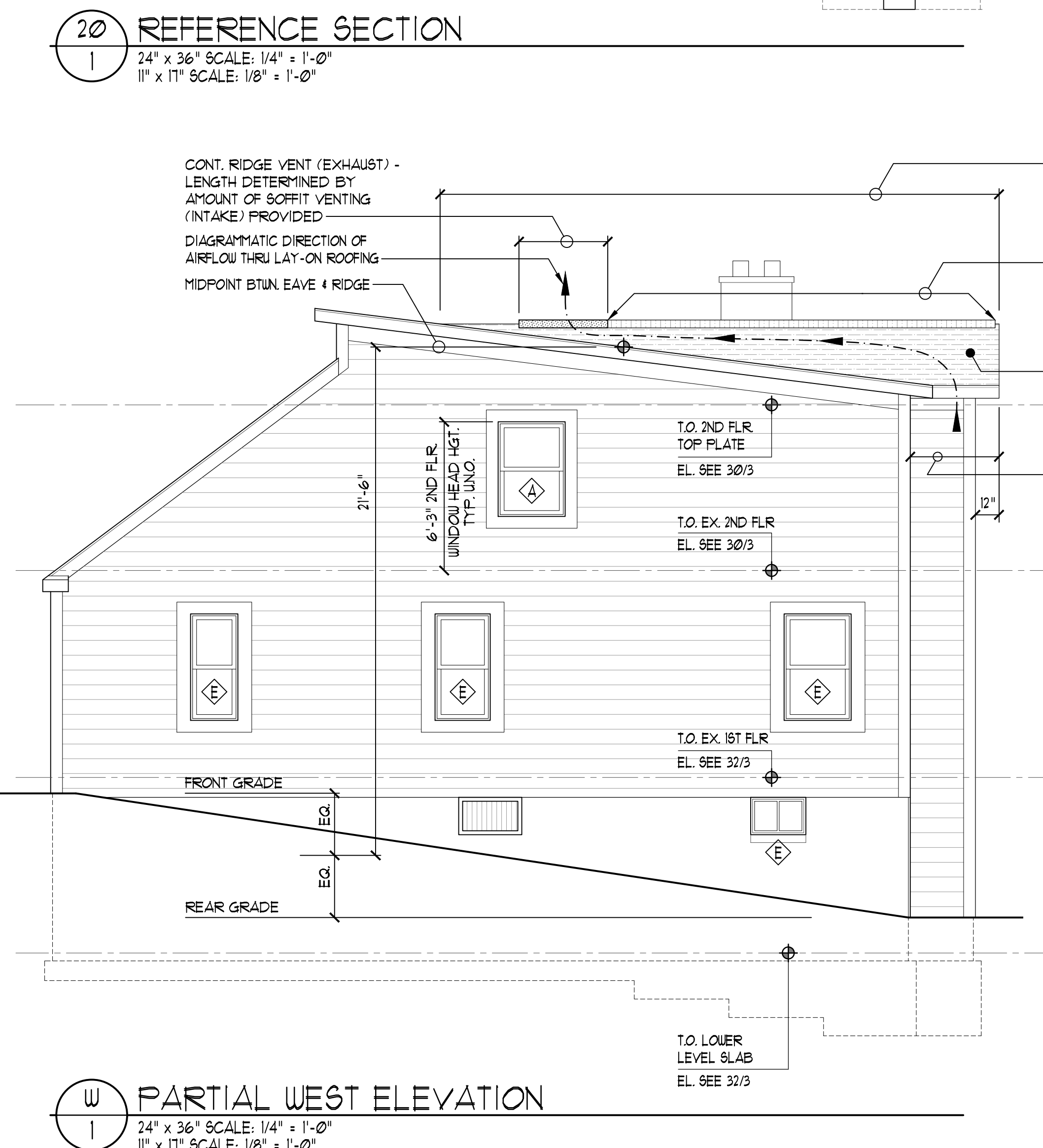
WINDOW LETTER	TYPE	WIDTH	HGT.	MTL.	FIN.	REMARKS
A	DH.	2'-10"	4'-1"	OS	OS	
B	GLDR	6'-0"	3'-0"			2
C	CAS.	8'-4"	4'-1"			1, 2
D	DH.	2'-5"	4'-1"			
E	EXISTING					

**WINDOW SCHED. REMARKS:**

- TRIPLE WINDOW UNIT (1 FIXED UNIT, 2 CASEMENT UNITS)
- MATCH WIDTH OF EXISTING 1ST FLOOR WINDOW UNIT DIRECTLY BELOW

**WINDOW SCHEDULE NOTES :**

- SEE GENERAL NOTES / SPECIFICATIONS REGARDING WINDOWS
- SEE ELEVATIONS FOR EGRESS WINDOW LOCATIONS
- PROVIDE SAFETY GLASS (SG.) AS INDICATED ON ELEVATIONS & AS REQ'D BY CODE
- WINDOW SIZES ARE BASED ON "ANDERSEN 400 SERIES - PRODUCT LINE" AND EXISTING WINDOW UNIT ROUGH OPENING DIMENSIONS. DISCUSS OPTION OF MATCHING EXISTING WINDOW MANUFACTURER WITH OWNER. CONFIRM MANUFACTURER AND SIZES PRIOR TO ORDERING.
- VERIFY WINDOWS WITH LOWEST POINT (SILL) OF CLEAR OPENINGS THAT ARE LESS THAN 2'-0" AFF. AND WHERE OPENING IS GREATER THAN 12" ABOVE ADJACENT EXTERIOR GRADE ON PAVED SURFACE. THESE WINDOWS ARE TO BE PROVIDED WITH WINDOW FALL PROTECTION DEVICES COMPLYING WITH ASTM F2090 ON WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2) OF THE CURRENT MICHIGAN RESIDENTIAL CODE

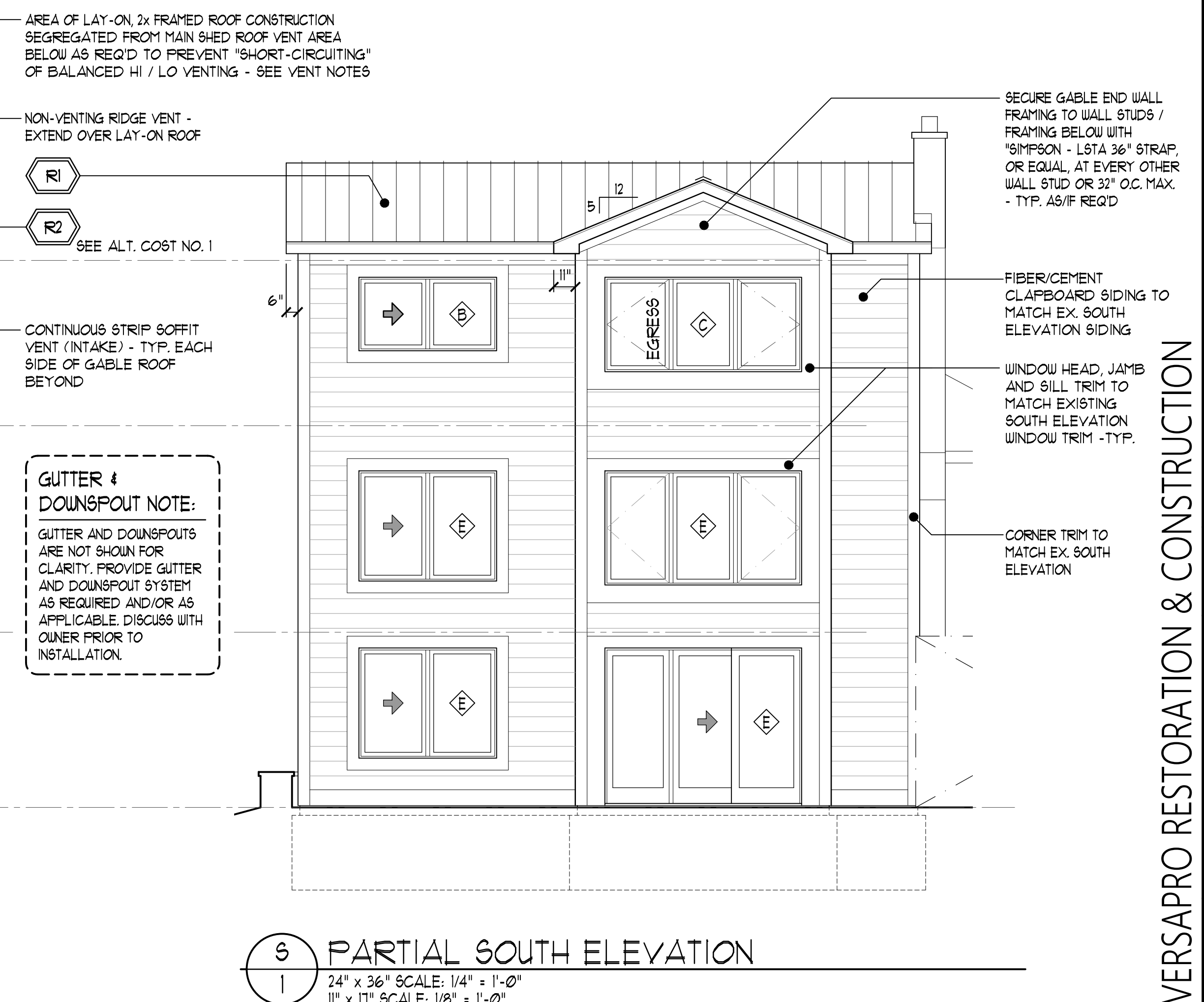


EXTEND EX. MASONRY CHIMNEY AS REQUIRED TO ACHIEVE A HEIGHT 2'-0" HIGHER THAN ANY PORTION OF ROOF / BUILDING WITHIN 10'-0" - PROVIDE CHIMNEY CROWN, FLUE CAP, FLASHING, ETC. AS REQUIRED FOR A COMPLETE ASSEMBLY

FIBER/CEMENT CLAPBOARD SIDING TO MATCH EX. SOUTH ELEVATION SIDING - G.C. IS TO DISCUSS EXTENT OF RESIDING TO OCCUR WITH OWNER PRIOR TO BEGINNING CONSTRUCTION

**"ICE & WATER SHIELD" NOTE:**  
PROVIDE 100% COVERAGE BENEATH ROOF SLOPES EQUAL TO OR LESS THAN 4/12

AREA OF EXISTING EXTERIOR DECK CONSTRUCTION



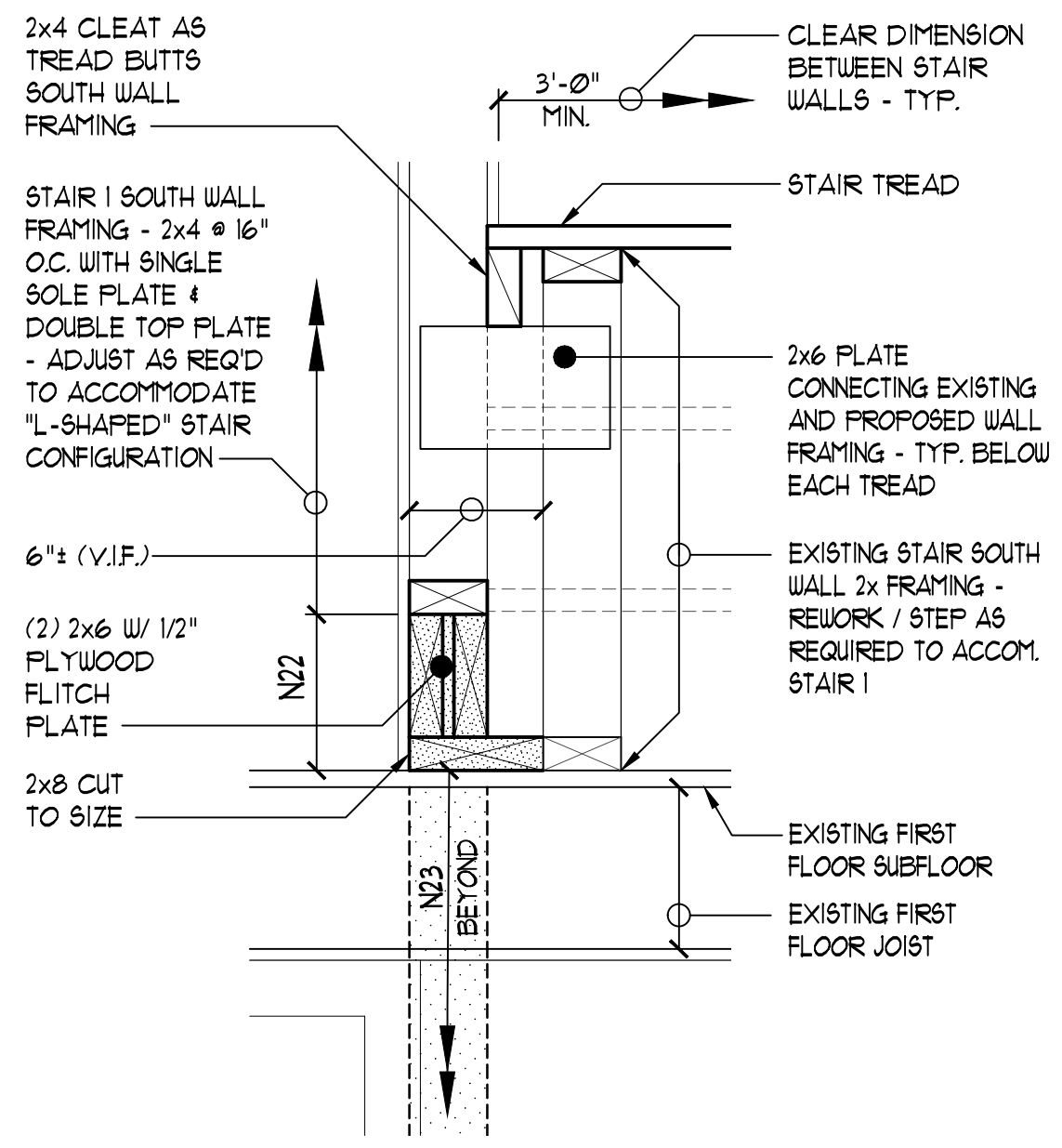
**JOSEPH PHILIPS ARCHITECT, LLC**  
WWW.JOSEPHPHILIPSARCHITECT.COM EMAIL: JOSEPHPHILIPSARCHITECT@GMAIL.COM

**VERSAPRO RESTORATION & CONSTRUCTION**  
PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS  
10199 LAKESIDE DRIVE WHITE LAKE, MICHIGAN

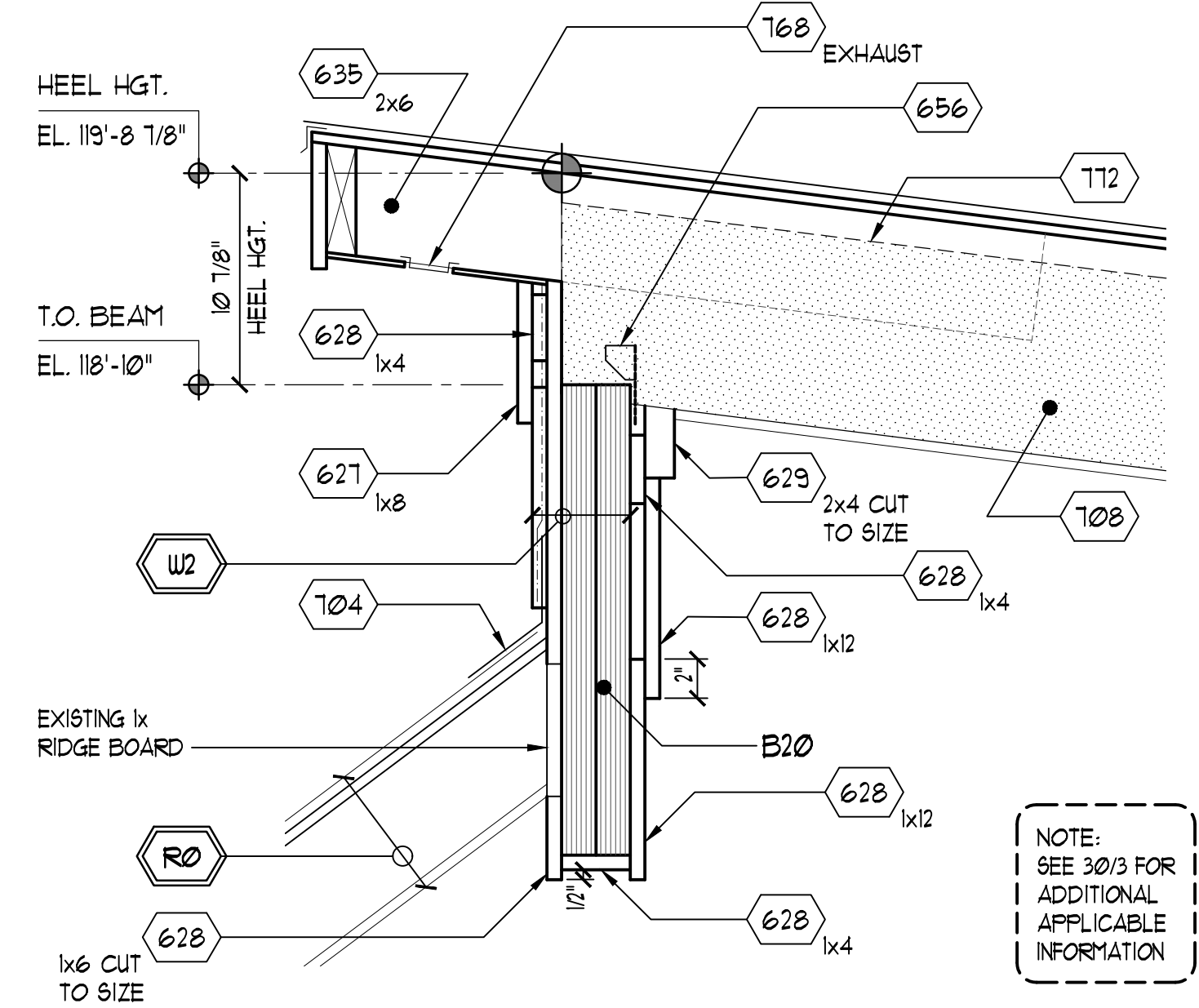
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DATE: 02/22/24

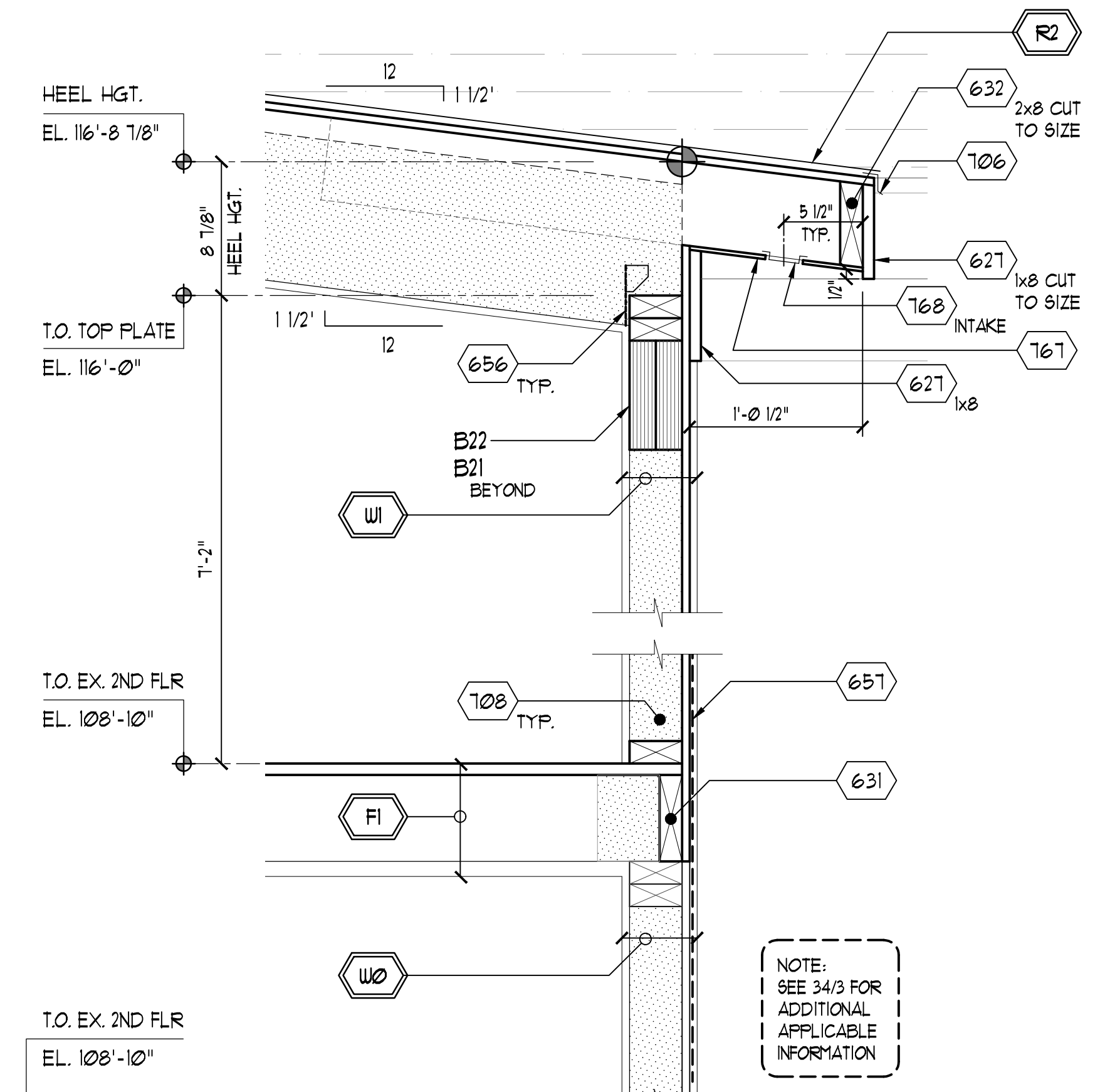
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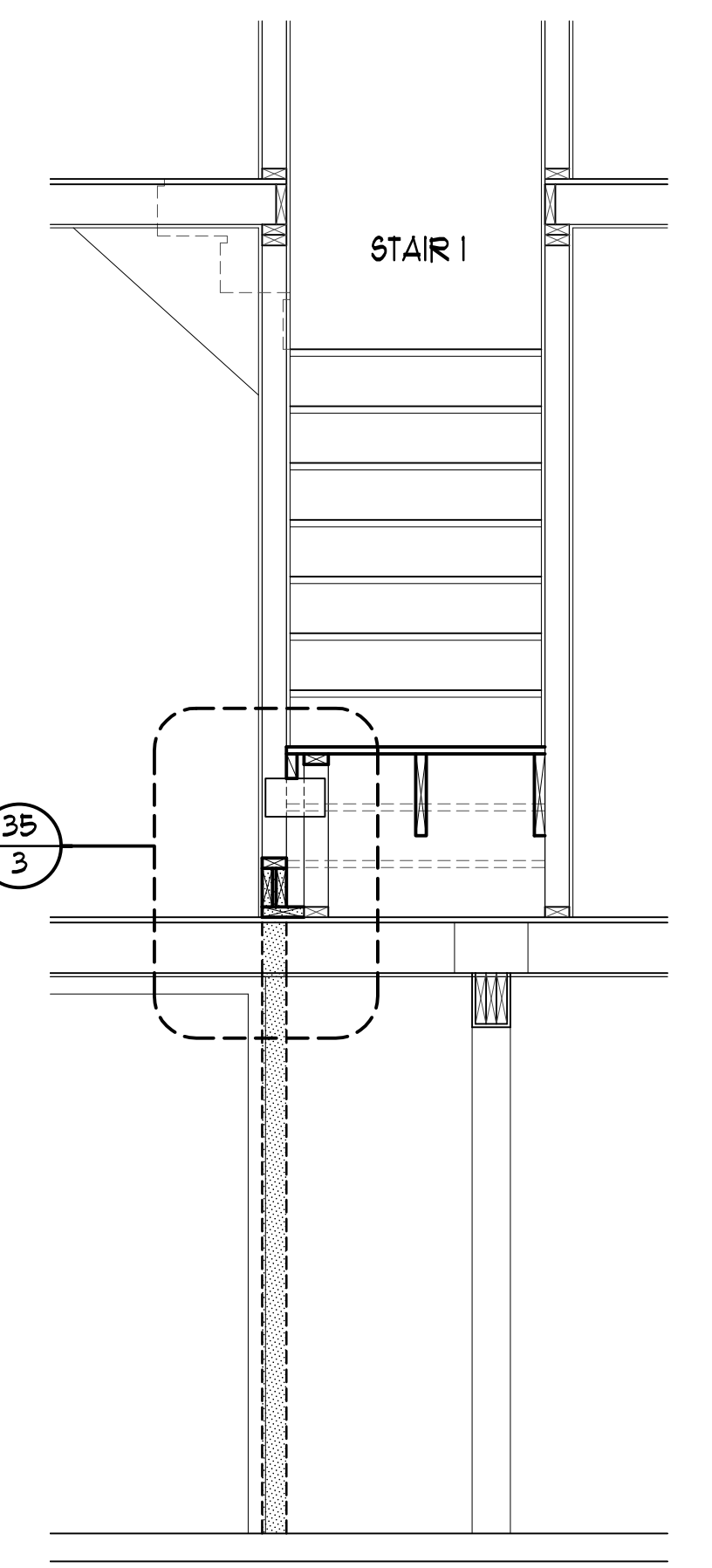
**35 SECTION AT STAIR**  
 24" x 36" SCALE: 1 1/2" = 1'-0"  
 11" x 11" SCALE: 3/4" = 1'-0"



**34 PARTIAL SOUTH ELEVATION**  
 24" x 36" SCALE: 1 1/2" = 1'-0"  
 11" x 11" SCALE: 3/4" = 1'-0"



**30 DETAIL**  
 24" x 36" SCALE: 1 1/2" = 1'-0"  
 11" x 11" SCALE: 3/4" = 1'-0"



**33 SECTION AT STAIR**  
 24" x 36" SCALE: 1 1/2" = 1'-0"  
 11" x 11" SCALE: 3/4" = 1'-0"

**STAIR INFORMATION:**

**STAIR 1**  
 13 RISERS AT 8 1/8"± EACH  
 EQUALS 9'-9 1/2"±

"L"-SHAPED" CONFIGURATION WITH  
 12 TREADS, INCLUDING ONE (1)  
 INTERMEDIATE "LANDINGS" - TYP.  
 TREAD DEPTH 9"

**STAIR NOTES**

51 VERIFY RISER HEIGHTS WITH ELEVATIONS INDICATED

52 PROVIDE GUARD & HANDRAIL(S) AS REQUIRED TO MEET CODE - TYPICAL, SEE SECTIONS R311.1.8 AND 312 OF THE "MICHIGAN RESIDENTIAL CODE - 2015" FOR SPECIFIC REQUIREMENTS

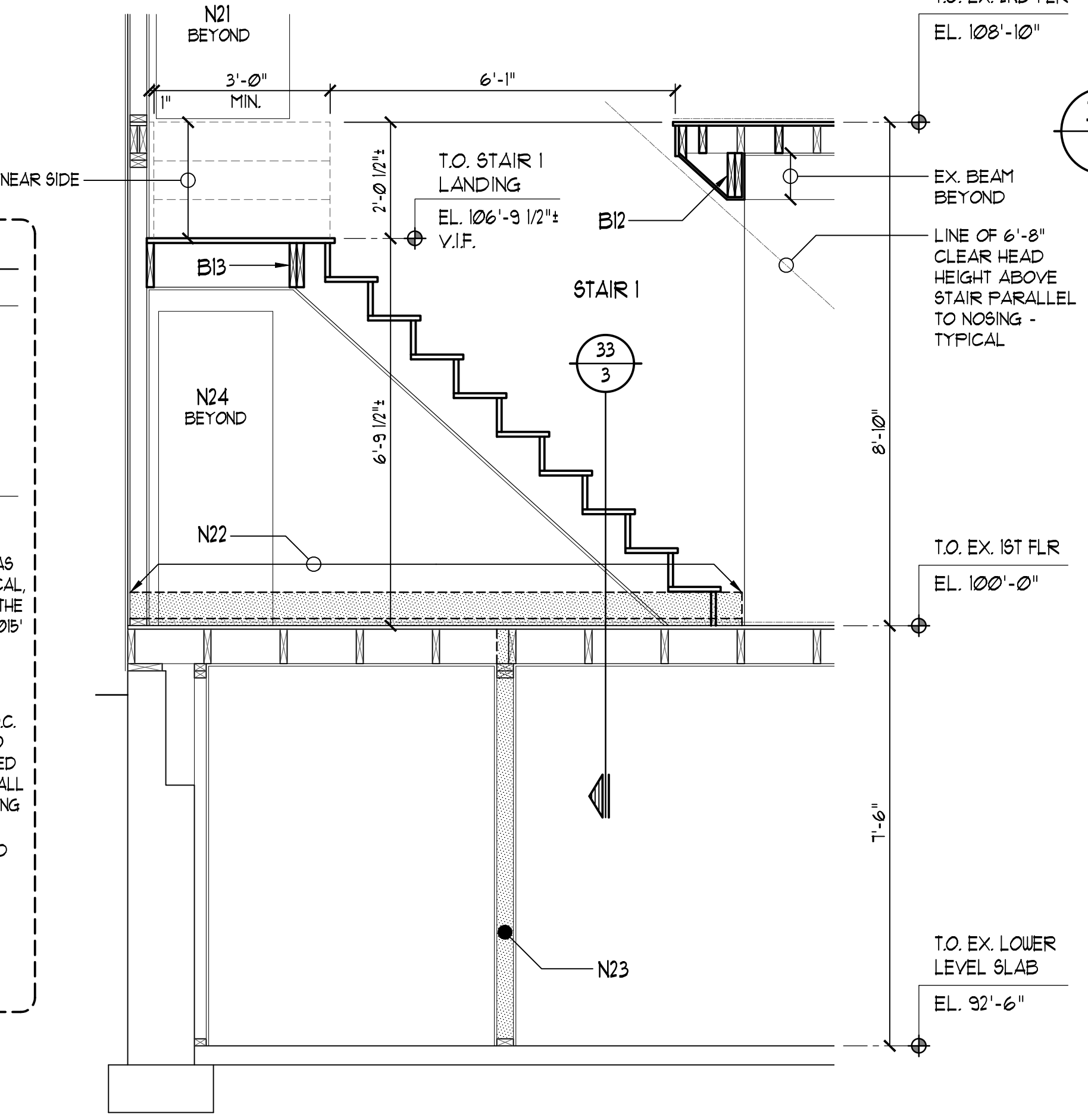
53 PROVIDE GUARD & HANDRAIL AT STAIRS DURING CONSTRUCTION

54 PROVIDE 2x12 STRINGERS AT 16" O.C. (MIN. 3 - INCREASE AS NEEDED TO ACCOMMODATE DECKING SELECTED BY OWNER) CUT TO SIZE AND INSTALL ADDITIONAL 2x FRAMING / BLOCKING AS REQ'D TO CONSTRUCT STAIR

55 VERIFY STAIR HEIGHT IN FIELD AND ADJUST TREAD & RISER CONFIGURATION AS REQ'D

56 MAINTAIN MIN. 6'-8" HEADROOM PER 2015 MRC SECTION R311.1.2

57 SEE FLOOR PLAN FOR STAIR CONFIGURATION



**32 SECTION AT STAIR**  
 24" x 36" SCALE: 1 1/2" = 1'-0"  
 11" x 11" SCALE: 3/4" = 1'-0"

**FLOOR CONSTRUCTION ASSEMBLY**

- F1** FLOOR FINISH AS SELECTED BY THE G.C. ON 3/4" T&G FLOOR SHEATHING SECURED TO FLOOR JOISTS WITH FINISH TO MATCH EXISTING (OR AS DISCUSSED W/ OWNER) AT U.S. OF FLOOR JOISTS

**WALL CONSTRUCTION ASSEMBLY**

- W0** EXISTING WALL ASSEMBLY
- W1** SIDING AS SELECTED BY OWNER ON BUILDING / HOUSE WRAP ON 5/8" EXTERIOR GRADE SHEATHING ON 2 x 4 WOOD STUDS AT 16" O.C. W/ 2 x 4 TREATED SOLE PLATE (AS APPLICABLE) AND DOUBLE 2 x 4 TOP PLATE. WALL IS TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT" IN THE GENERAL NOTES / SPECIFICATIONS). INTERIOR FINISH TO BE 1/2" GYPSUM BD. UNO.
- W2** 1 x 12 FIBER-CEMENT TRIM ON BUILDING / HOUSE WRAP ON 3/4" EXTERIOR GRADE SHEATHING ON LVL RIDGE BEAM

**ROOF CONSTRUCTION ASSEMBLY**

- R0** EXISTING ROOF ASSEMBLY - G.C. IS TO CONFIRM / VERIFY EXISTING INSULATION / VENTING CONFIGURATION AND DISCUSS OPTIONS WITH THE OWNER PRIOR TO BEGINNING THE PROJECT (E.G. MAINTAIN EXISTING CONFIGURATION, PROVIDE NON-VENTED, FULL-FILLED CLOSED CELL INSULATION RAFTER CAVITIES, PROVIDE BALANCED INTAKE / EXHAUST VENTING, ETC.)
- R1** METAL ROOFING SYSTEM (INSTALLED PER MANUFACTURER'S INSTRUCTIONS) ON BUILDING FELT (INCLUDE "ICE & WATER SHIELD" AS SPECIFIED) ON 5/8" THICK EXTERIOR GRADE WOOD ROOF SHEATHING ON 2x6 WOOD ROOF RAFTER AT 16" O.C.
- R2** ASPHALT SHINGLES ON BUILDING FELT (INCLUDE "ICE & WATER SHIELD" AS SPECIFIED) ON 5/8" THICK EXTERIOR GRADE WOOD ROOF SHEATHING ON ROOF FRAMING AS INDICATED - ROOF FRAMING / ATTIC SPACE IS TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION & PENETRATION REQUIREMENTS BY COMPONENT" IN THE GEN. NOTES / SPEC.) INTERIOR FINISH TO BE 5/8" GYP. BOARD

**VENTING NOTES:**

**NOTE 1:**  
 PROVIDE A BALANCED SOFFIT / RIDGE VENTING SYSTEM THAT PROVIDES A MIN. OF 1 SF. OF FREE VENT AREA FOR EVERY 150 SF. OF ROOF AREA (SEE CURRENT "MICHIGAN RESIDENTIAL CODE" FOR REQUIREMENTS THAT ALLOW 1 SF. OF FREE VENT AREA FOR EVERY 300 SF. OF ROOF AREA).

**NOTE 2:**  
 BALANCED SOFFIT / RIDGE VENTING SYSTEM USED IS TO ENSURE CONTINUOUS AIR FLOW FROM INTAKE TO EXHAUST VENTS BY PROVIDING CONTINUOUS INSULATION Baffle AT EACH TRUSS / RAFTER SPACE, MAINTAIN 2" MIN. AIR SPACE CLEARANCE. AT ISOLATED FRAMING CAVITIES, PROVIDE 1" DIA. HOLES, CENTERED ON FRAMING AND SPACED 4" O.C. SO AS TO ALLOW AIR TO FLOW TO ADJACENT FRAMING CAVITY.

**STRUCTURAL DESIGN CRITERIA**

PRESUMPTIVE SOIL BEARING CAPACITY (VERIFY IN FIELD):	:2500 P.S.F.
LIVING AREAS FLOOR LIVE LOAD	:40 P.S.F.
LIVING AREAS FLOOR DEAD LOAD	:20 P.S.F.
LIVING AREAS FLOOR TOTAL LOAD	:60 P.S.F.
BEDROOM AREA FLOOR LIVE LOAD	:30 P.S.F.
BEDROOM AREA FLOOR DEAD LOAD	:20 P.S.F.
BEDROOM AREA FLOOR TOTAL LOAD	:50 P.S.F.
ROOF WITH UNINHABITABLE ATTIC WITH NO STORAGE BELOW LIVE LOAD	:30 P.S.F.
ROOF DEAD LOAD	:15 P.S.F.
TOTAL ROOF LOAD	:45 P.S.F.
WIND LOAD (SECTION 6 OF ASCE 1)	:115 M.P.H. (3 SEC. GUSTS)

**CONSTRUCTION NOTES**

- 627** FIBER / CEMENT COMPOSITE TRIM - SEE DRAWING FOR SIZE
- 628** 1x TRIM - SEE DRAWING FOR SIZE
- 629** 2x TRIM - SEE DRAWING FOR SIZE
- 631** 2x RIM BOARD - SIZE TO MATCH FLOOR FRAMING
- 632** CONT. 2x SUB-FAC91A - SEE DRAWING FOR SIZE
- 633** CONT. 2x TRIM - SEE DRAWING FOR SIZE
- 634** 2x ROOF RAFTER AT 16" O.C. - SEE DRAWING FOR SIZE AND SLOPE
- 635** 2x RAFTER TAIL SECURED TO ROOF RAFTER - SEE DRAWING FOR SIZE. LENGTH OF TAIL SECURED TO ROOF RAFTER TO BE MIN. 2X THE LENGTH OF TAIL CANTILEVER
- 655** "SIMPSON" JOIST HANGER - SIZE & TYPE TO BE APPROPRIATE FOR FRAMING MEMBER
- 656** "SIMPSON" H2-5A "HURRICANE CLIP" AT END OF EACH JOIST / RAFTER / PERT.
- 657** "SIMPSON" "LSTA STRAP", 36" LONG, OR EQUAL SECURED INTO ALIGNED FRAMING MEMBERS
- 104** PRE-FINISHED METAL PITCH-BREAK FLASHING AS ROOF MEETS WALL - PROVIDE FLASH VENT AS / IF REQUIRED FOR PROPER VENTING
- 105** PRE-FINISHED METAL FLASHING WITH DRIP EDGE
- 106** PRE-FINISHED METAL DRIP EDGE
- 108** AREA TO BE INSULATED (SEE "ENERGY EFFICIENCY - INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT" IN THE GEN. NOTES / SPECS.)
- 161** 1/4" THICK, SMOOTH, NON-VENTED FIBER / CEMENT SOFFIT PANEL
- 168** CONTINUOUS, PVC, PERFORATED, VENT STRIP PROVIDING MIN. 9 SQ. IN. OF FREE VENT AREA PER LINEAR FOOT
- T12** INSULATION Baffle AT EACH TRUSS/ RAFTER SPACE, MAINTAIN 1 1/2" MIN. AIR SPACE CLEARANCE

**VERSAPRO RESTORATION & CONSTRUCTION**

PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS  
 10199 LAKESIDE DRIVE  
 WHITE LAKE, MICHIGAN

STATUS:  PRELIM.  REVIEW  PERMIT  CONSTR.  REVISED

DATE: 02/22/24

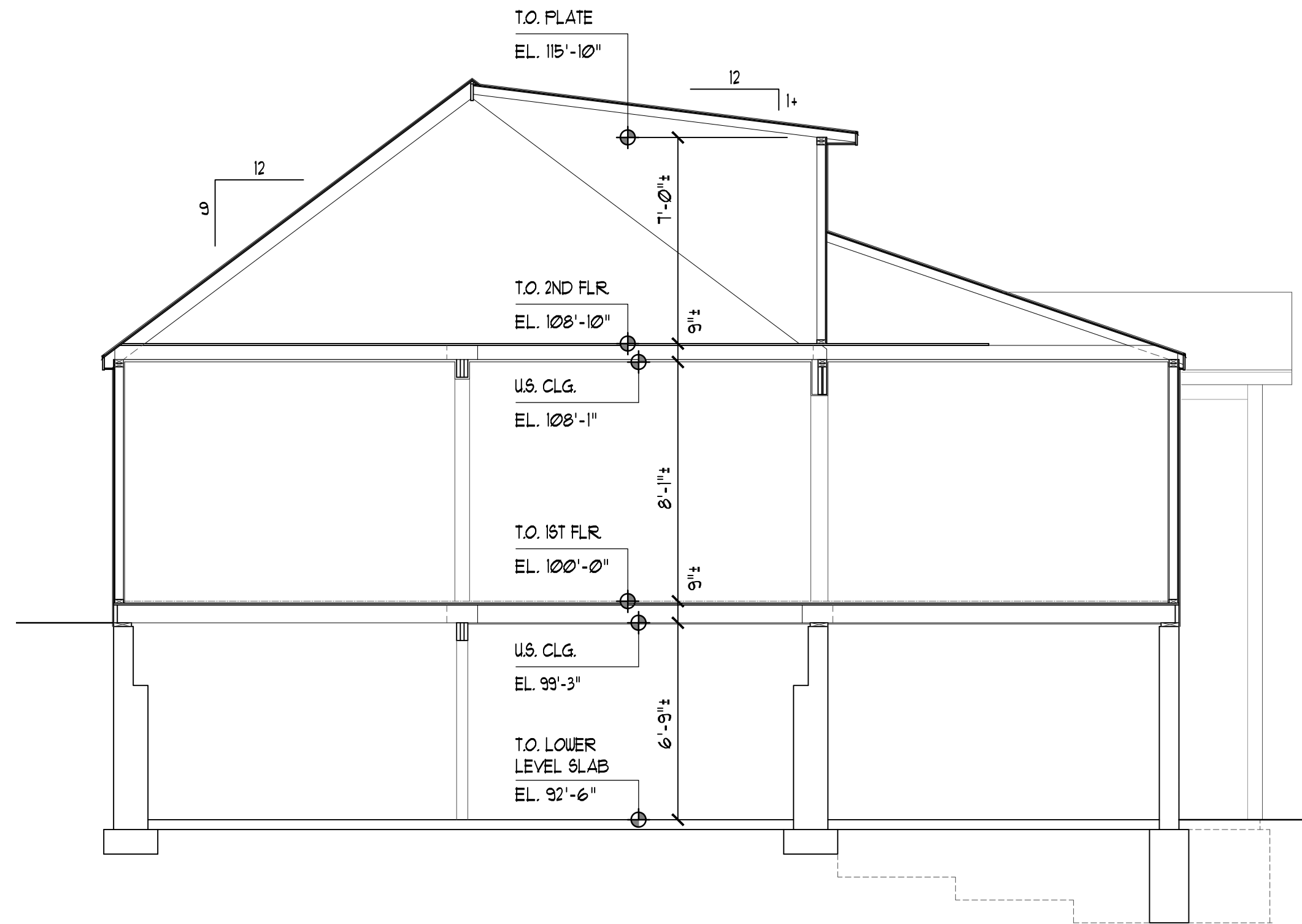
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SECTION & DETAILS

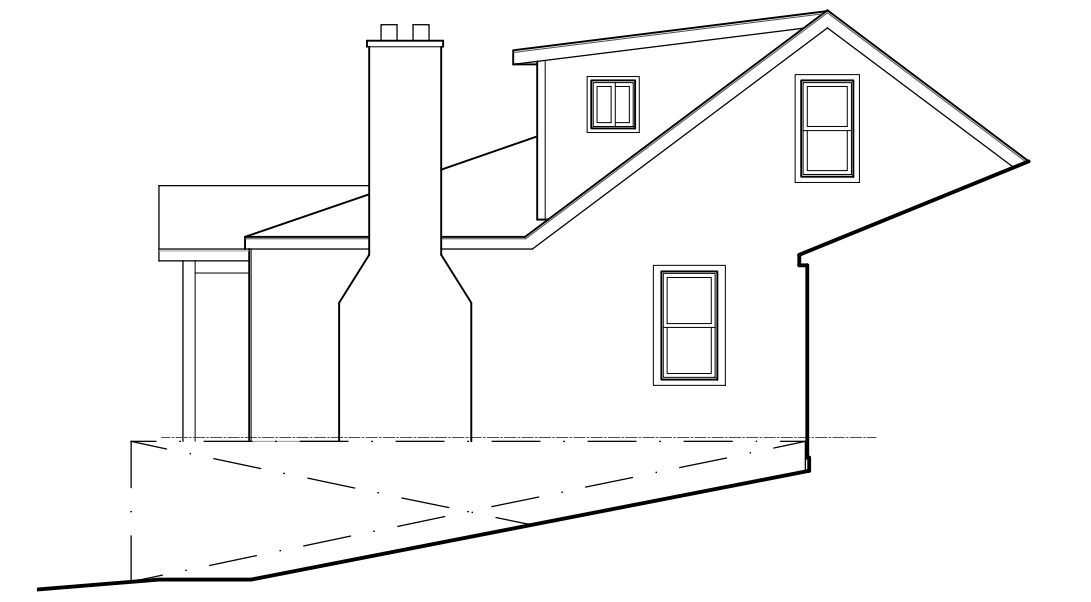
CONSTRUCTION: THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITS ARE ISSUED BY THE GOVERNING AGENCIES. ALL TRADES TO VERIFY CURRENT ISSUE DATES OF DOCUMENTS WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.

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**EC3 CROSS SECTION**  
 EC 24" x 36" SCALE: 1/4" = 1'-0"  
 11" x 11" SCALE: 1/8" = 1'-0"



**EE PARTIAL EAST ELEVATION**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"



**EW PARTIAL WEST ELEVATION**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"

**EXISTING FRAMING NOTE:**  
 GENERAL CONTRACTOR IS TO EXAMINE AND ASSESS THE CONDITION OF EXISTING FRAMING IN ALL AREAS OF ALTERATION AND PROVIDE OWNER WITH INFORMATION REGARDING STATE OF FRAMING AND RECOMMENDATIONS FOR POSSIBLE SELECT REPLACEMENT AND / OR REMOVAL.

**TEMPORARY STRUCTURE NOTE:**  
 PROVIDE TEMPORARY BRACING AND / OR SHORING AS REQUIRED TO INSURE THE STABILITY OF THE STRUCTURE UNDER CONSTRUCTION UNTIL THE PERMANENT FRAMING IS INSTALLED AND SECURED IN PLACE.

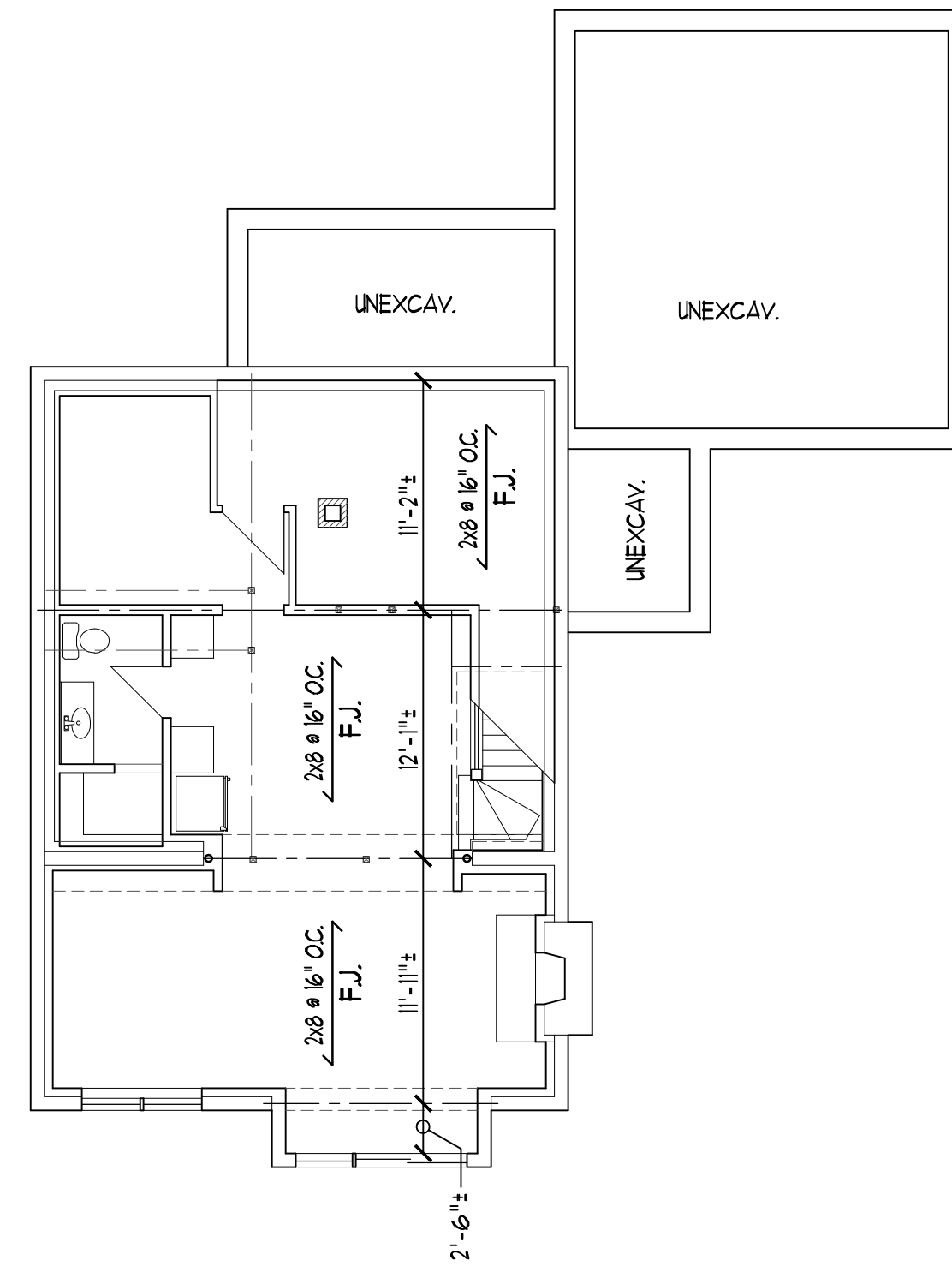
**EX. FOUNDATION NOTE:**  
 PRIOR TO ORDERING MATERIALS AND START OF CONSTRUCTION, GENERAL CONTRACTOR IS TO CONFIRM MIN. 3'-6" DEPTH OF EXISTING FOUNDATIONS / FOOTINGS. IF LESS THAN 3'-6" DEPTH IS ENCOUNTERED NOTIFY THE ARCHITECT IMMEDIATELY.



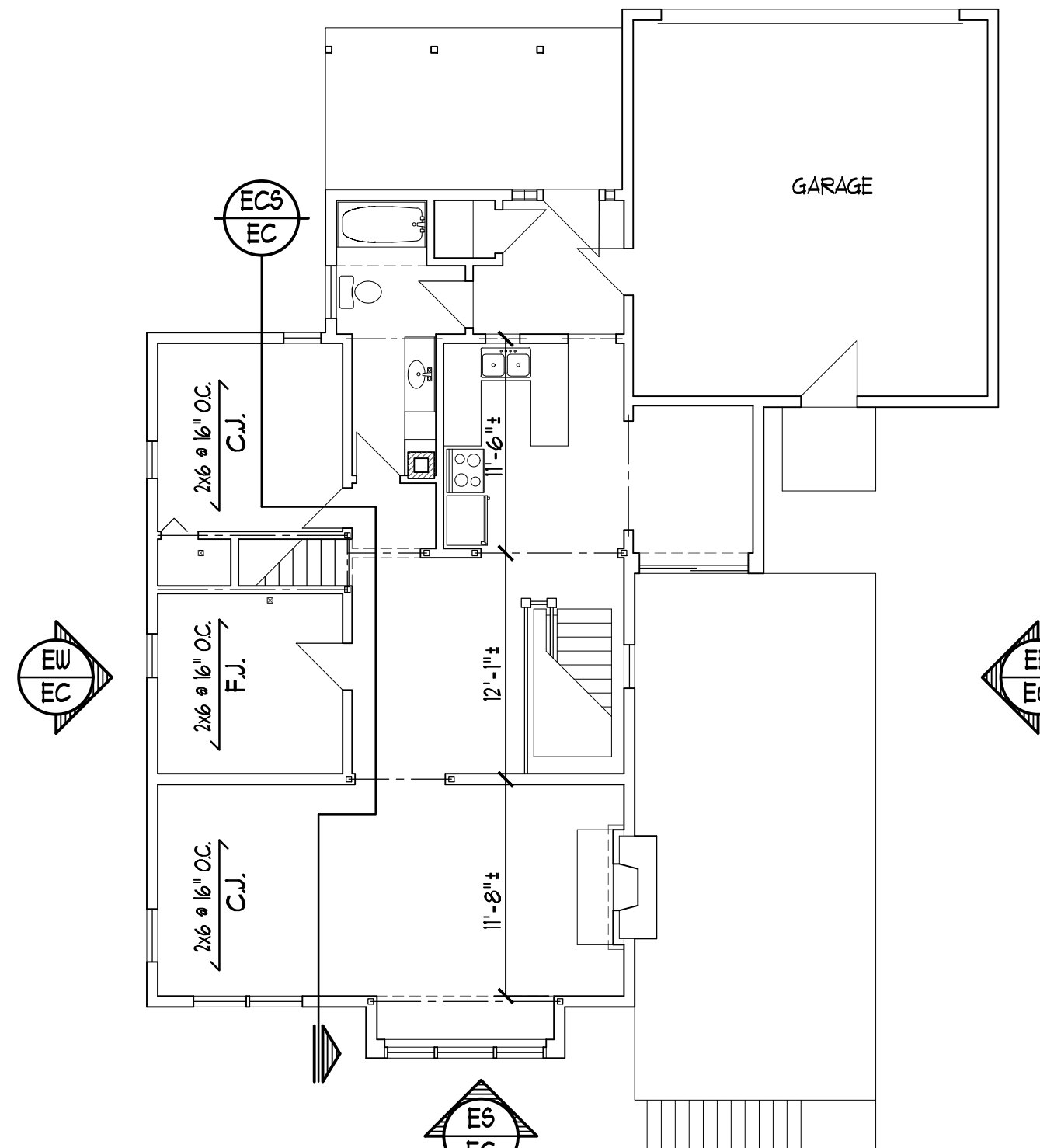
**ES SOUTH ELEVATION**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"

**FIELD VERIFICATION NOTE :**  
 THE GENERAL CONTRACTOR SHALL VERIFY EX. CONDITIONS, FRAMING, STRUCTURE, ETC. & CONFIRM INFORMATION INDICATED WITHIN THESE DOCUMENTS CAN BE EXECUTED AS INDICATED. THIS SHALL BE DONE AFTER SELECTIVE DEMOLITION HAS BEEN COMPLETED, BUT PRIOR TO ORDERING ANY MATERIALS OR TO START OF CONSTRUCTION. IF CONFLICTS BETWEEN PROPOSED CONSTRUCTION (AS IMPLIED WITHIN THESE DOCUMENTS) & CONDITIONS WHICH EXIST, THE GENERAL CONTRACTOR IS TO NOTIFY THE OWNER / TENANT & ARCHITECT TO DISCUSS REVISIONS NECESSARY TO ACCOMMODATE CONSTRUCTION WHICH EXISTS. THESE DRAWINGS ARE PREPARED IN GOOD FAITH TO REPRESENT CONSTRUCTION WHICH EXISTS & THAT IS ANTICIPATED. NOT ALL CONSTRUCTION / CONDITIONS WERE VISIBLE PRIOR TO SELECTIVE DEMOLITION, HOWEVER, DRAWINGS INDICATE THE FIRM'S ASSESSMENT OF PROBABLE EX. CONSTRUCTION & CONDITIONS.

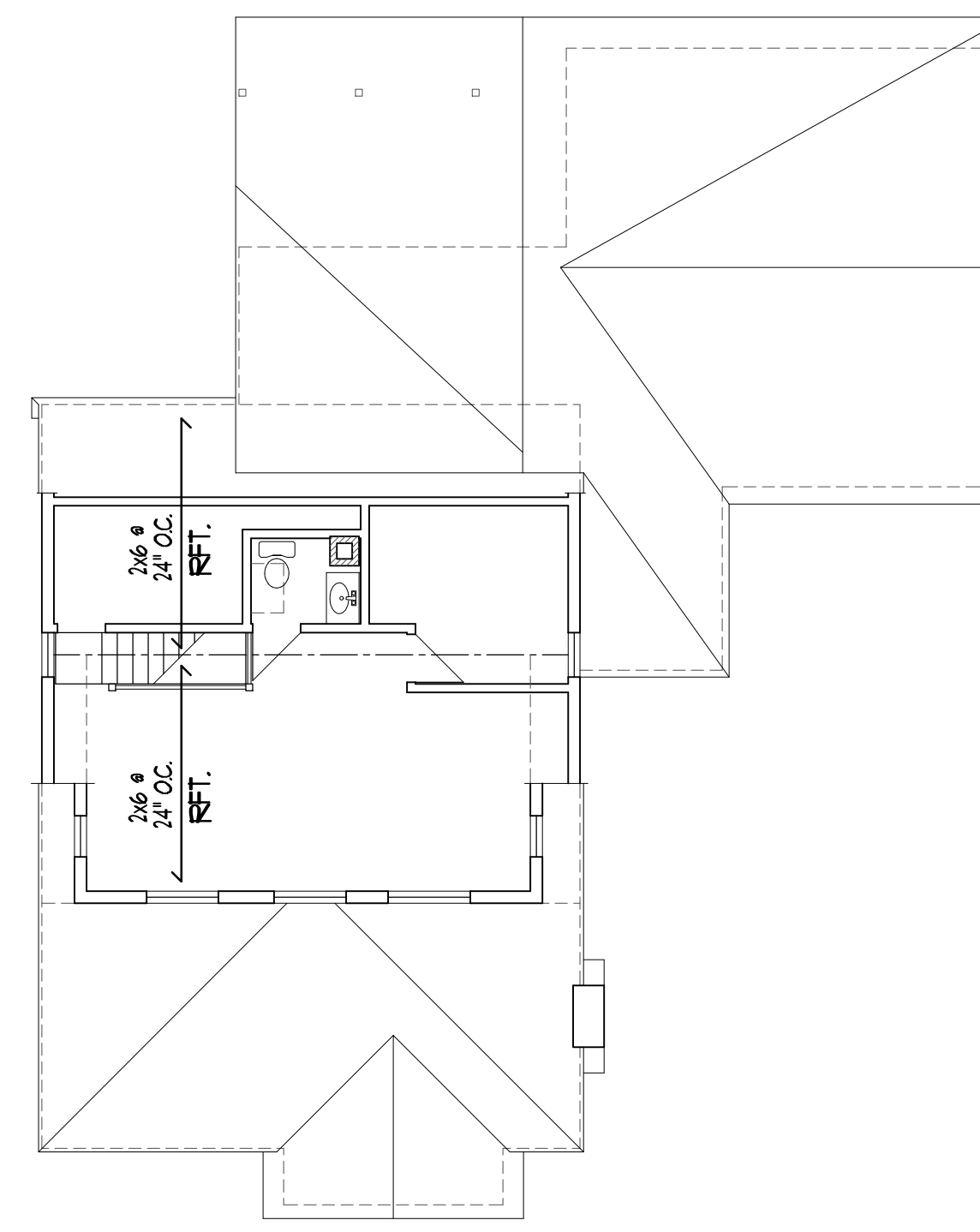
**SELECTIVE DEMOLITION NOTE :**  
 REMOVE / REWORK / RELOCATE ALL EX. UTILITIES, CONC, MASONRY, FRAMING, DOORS, WINDOWS, SIDING, SHEATHING, PARTITIONS, CHIMNEY, STAIRS, STRUCTURE, ETC. AS REQ'D TO COMPLETE WORK NOTED & IMPLIED IN THE PROPOSED PLANS. GENERAL CONTRACTOR IS EXPECTED TO EXAMINE THE DRAWINGS EX. THE EX. BUILDING AS NECESSARY TO VERIFY EXTENT OF DEMOLITION REQ'D TO ACCOMMODATE ALTERATIONS AND / OR ADDITION DESCRIBED WITHIN THESE CONTRACT DOCUMENTS. SEE GENERAL NOTES / SPECIFICATIONS FOR ADDITIONAL INFORMATION.



**LOWER LEVEL PLAN**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"



**FIRST FLOOR PLAN**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"



**SECOND FLOOR PLAN**  
 EC 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 11" SCALE: 1/16" = 1'-0"

CONSTRUCTION PERMITS FOR CONSTRUCTION UNTIL PERMITS ARE ISSUED BY THE GOVERNING AUTHORITIES. ALL TRADES INVOLVED WITH CONSTRUCTION ARE TO CONFIRM WITH GENERAL CONTRACTOR PRIOR TO BEGINNING WORK.  
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PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS  
 10199 LAKESIDE DRIVE  
 WHITE LAKE, MICHIGAN

STATUS:  PRELIM.  REVIEW  PERMIT  CONSTR.  REVISED

DATE: 02/22/24  
 JOB NO: 23966  
 SHEET NO: EC  
 966\_CD\_02

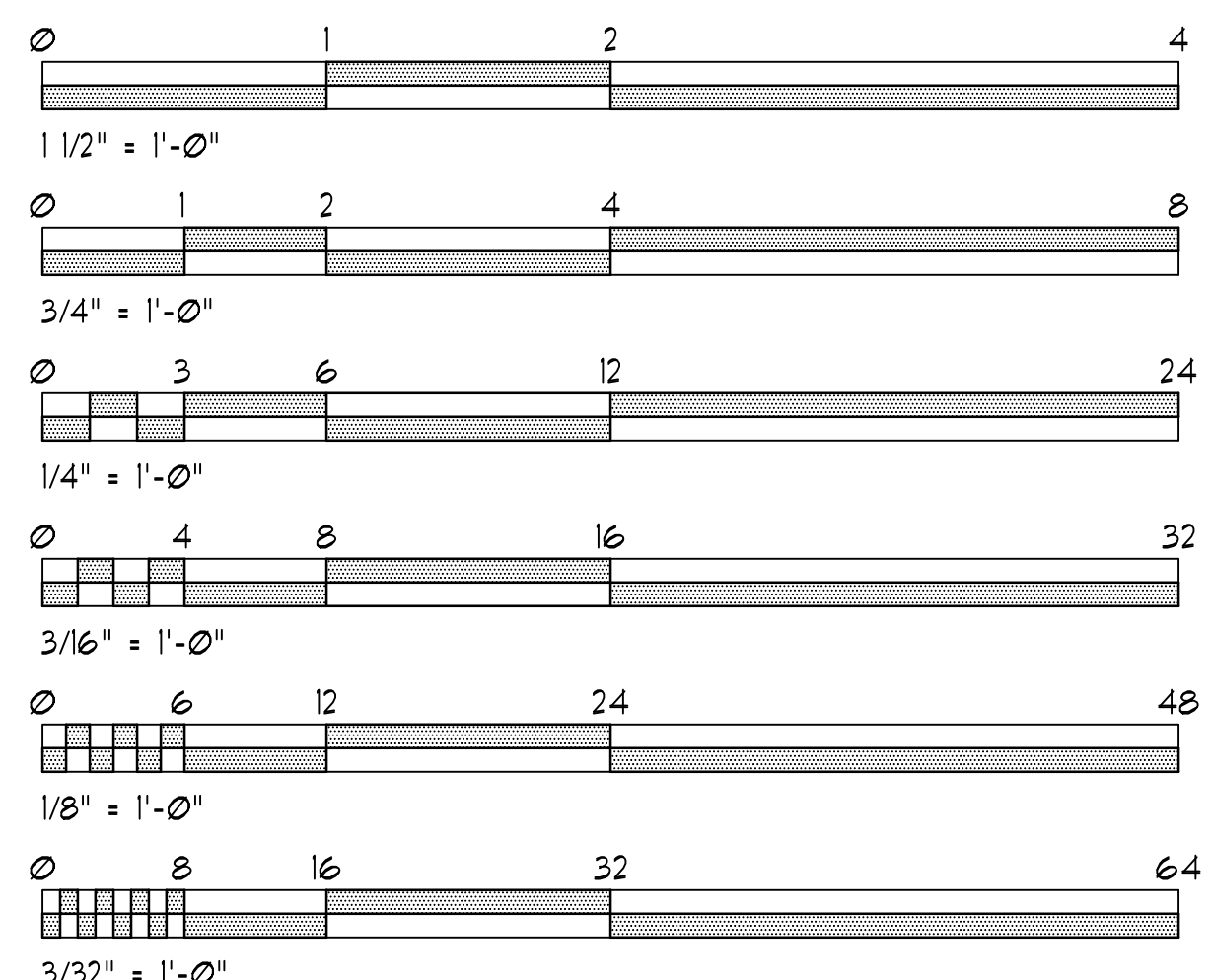
VERSAPRO RESTORATION & CONSTRUCTION

**JOSEPH PHILIPS ARCHITECT, LLC**

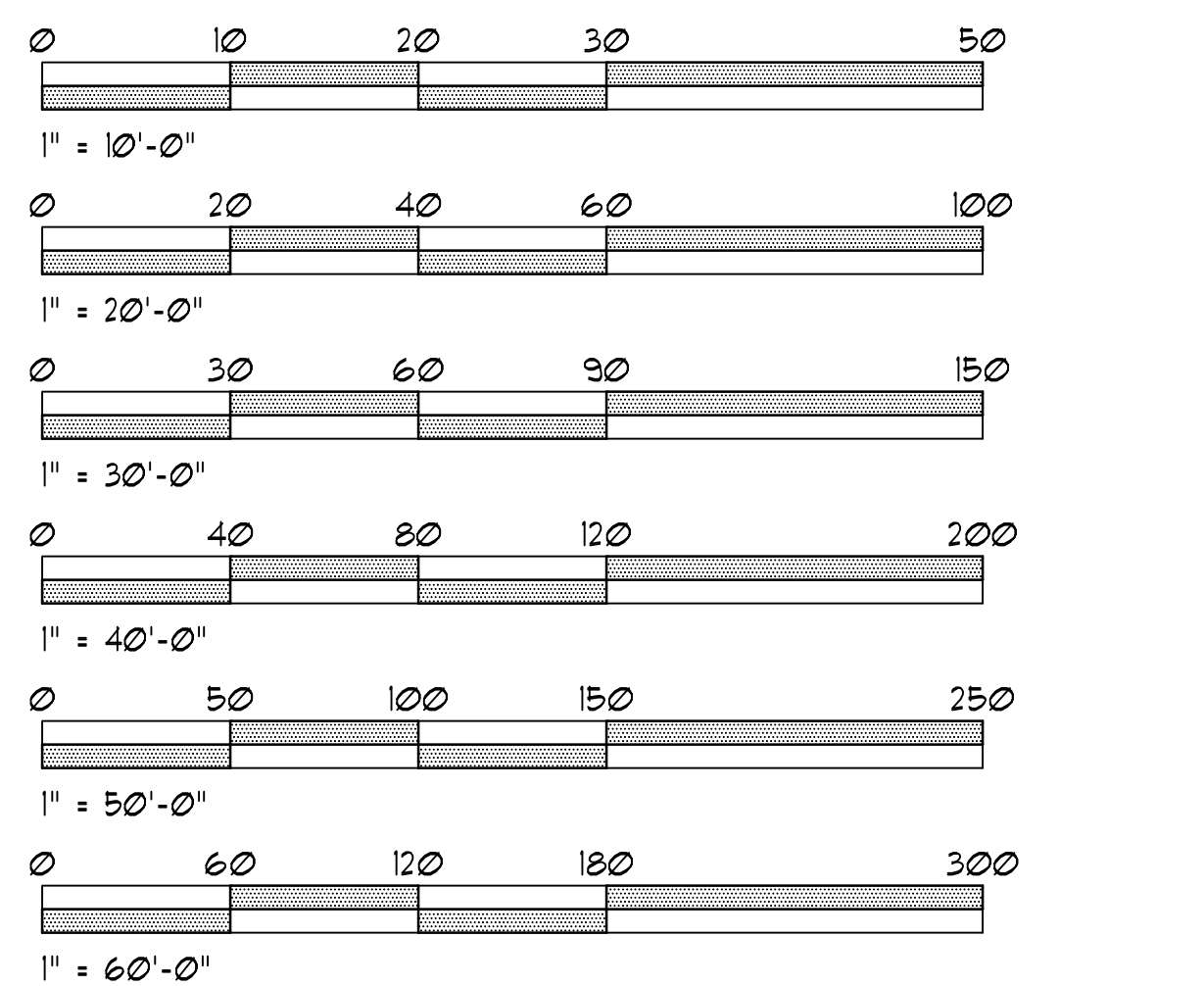
EMAIL: JOSEPHPHILIPSARCHITECT@GMAIL.COM WWW.JOSEPHPHILIPSARCHITECT.COM PHONE: (734) 455-8354

# LEGEND OF SYMBOLS

## ARCHITECTURAL SCALES



## ENGINEERING SCALES



## ABBREVIATIONS

NOTE: SEE SHEET NO. ACC FOR ADDITIONAL ABBREVIATIONS

A	ABBREVIATION
ABREV.	ABBREVIATION
A/C	AIR CONDITIONING
ACCOM.	ACCOMMODATE
ACOUS.	ACOUSTIC / ACOUSTICAL
ACT.	ACOUSTICAL CEILING TILE
ACM.	ALUM. COMPOSITE MATERIAL
ADJ.	ADJACENT
AFF.	ABOVE FINISHED FLOOR
ALT.	ALTERNATE
ALUM.	ALUMINUM
AP.	ACCESS PANEL
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
ASPH.	ASPHALT
AVE.	AVENUE

B	ABBREVIATION
B/B	BACK TO BACK
B.C.	BOTTOM CHORD
BD.	BOARD
BDRM.	BEDROOM
BF.	BARRIER FREE
BF.T.R.	BARRIER FREE TOILET ROOM
BKLDG.	BRICK LEDGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BLVD.	BOULEVARD
BM.	BEAM
B.O.	BOTTOM OF
BOT.	BOTTOM

C	ABBREVIATION
BP.	BEARING PLATE
BRCC.	BRACING
BRG.	BEARING
BRK.	BRICK
BRKT.	BRACKET
BSMT.	BASEMENT
BTWN.	BETWEEN
B.W.	BOTHWAYS

D	ABBREVIATION
D.	DIMMER
DEG.	DEGREE
DET.	DETAIL
DF.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIN.	DINING
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR / DRIVE
D.S.	DOWN SPOUT
DW.	DISHWASHER
DWG.	DRAWING

E	ABBREVIATION
EA.	EACH
EB.	EXISTING BRICK
EC.	EXISTING CONSTRUCTION / EXISTING CONDITION
EIF.S.	EXTERIOR INSULATION & FINISH SYSTEM

B	ABBREVIATION
B.P.	BEARING PLATE
BRCC.	BRACING
BRG.	BEARING
BRK.	BRICK
BRKT.	BRACKET
BSMT.	BASEMENT
BTWN.	BETWEEN
B.W.	BOTHWAYS

C	ABBREVIATION
CONST.	CONSTRUCTION
CONT.	CONTINUE / CONTINUOUS
CONTD.	CONTINUED
COORD.	COORDINATE
CORR.	CORRIDOR
CPT.	CARPET
C./P.S.	COMMUNICATION / PHONE SERVICE
C.T.	COLLAR TIE / CERAMIC TILE
C.T.S.	CUT TO SIZE

D	ABBREVIATION
D.	DIMMER
DEG.	DEGREE
DET.	DETAIL
DF.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIN.	DINING
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR / DRIVE
D.S.	DOWN SPOUT
DW.	DISHWASHER
DWG.	DRAWING

E	ABBREVIATION
EA.	EACH
EB.	EXISTING BRICK
EC.	EXISTING CONSTRUCTION / EXISTING CONDITION
EIF.S.	EXTERIOR INSULATION & FINISH SYSTEM

## MISCELLANEOUS SYMBOLS

**GAS METER** **THERMOSTAT**

**F.D.** FLOOR DRAIN **W.** WATER METER

TANK TYPE WALL MOUNTED BIDET

WATER CLOSETS

SOAKING TUB

SOAKING TUB

GAS FIREPLACE

GAS OR WOOD FIREPLACE

SOAKING TUB

TUB / SHOWER

WALK-IN TUB UNIT

SHOWER

CORNER SHOWER

S.P. W.H. FURN. D W W/D

SUMP PIT WATER HEATER FURNACE WASHER & DRYER STACKED WASHER & DRYER IRONING BOARD

REFG. DW. MW. W.C. T.C.

REFRIGERATOR DISH-WASHER MICROWAVE COOK-TOP RANGE WINE COOLER TRASH COMPACTOR

LAUNDRY TUB FEDESTAL SINK VANITY SINK HAND SINK SINGLE SINK DOUBLE SINK

SINKS

22" x 30" ACCESS PANEL - CEILING OR FLOOR, UNO.

22" x 30" ACCESS PANEL - WALL, UNO.

AP. ACCESS PANEL

22 1/2" x 54" FULL-DOWN LADDER ACCESS

2x MEMBER - CONTINUOUS

2x MEMBER - BLOCKING

LAMINATED VENEER LUMBER

GYP. BD. CEILING

ADJUSTABLE SHELVING. FOUR (4) 12" WIDE SHELVES INDICATED

ADJUSTABLE HANGROD W/ ONE (1) SHELF

BASE CABINET W/ UPPER CABINET

BASE CABINET

## ARCHITECTURAL SYMBOLS

TOP OF SLAB = EL. 100'-0" ELEVATION INDICATOR

ELEVATION SYMBOL

CEILING HEIGHT INDICATOR

MISC. ELEVATION TARGET

T.O. BKLDG. ELEVATION INDICATOR

T.O. BLOCK ELEVATION INDICATOR

T.O. FINISHED FLOOR ELEVATION INDICATOR

T.O. FOOTING ELEVATION INDICATOR

T.O. FOUNDATION WALL ELEVATION INDICATOR

T.O. GRADE ELEVATION INDICATOR

T.O. LEDGE ELEVATION INDICATOR

T.O. PAVING ELEVATION INDICATOR

T.O. SLAB SPOT ELEVATION INDICATOR

T.O. SUBFLOOR ELEVATION INDICATOR

T.O. WALL ELEVATION INDICATOR

T.O. WALL PLATE ELEVATION INDICATOR

T.W. T.W.P.

ROOF / RAMP PITCH RATIO

CEILING PATTERN

FLOOR LEVEL

DETAIL HEIGHT

INDICATES DEPTH OF 2x MEMBER 16" O.C. - UNO.

INDICATES TYPE OF MEMBER (FLOOR JOIST, CEILING JOIST, ETC. - SEE ABBREVIATIONS)

INDICATES DEPTH OF MEMBER (ENGINEERED MEMBER 16" O.C. - UNO.)

INDICATES TYPE OF MEMBER (FLOOR JOIST, CEILING JOIST, ETC. - SEE ABBREVIATIONS)

POINT LOAD FROM ABOVE

SLOPE INDICATOR

DOOR SLIDE INDICATOR

WORK POINT

DOOR NUMBER

RELOCATED DOOR

REMOVE & RELOCATE DOOR

WALL TYPE

WINDOW TYPE

ROOM NUMBER

EQUIPMENT LETTER

CONSTRUCTION NOTE

ASSEMBLY NOTE (RESERVED SYMBOL)

(RESERVED SYMBOL)

CONCRETE

CONCRETE BLOCK

BRICK VENEER

STONE VENEER

STUD WALL CONST.

INSULATION

BATT INSUL OR SOUND ATTENUATION BLANKET

INSULATION (RIGID)

EARTH

SAND OR GRAVEL

LINE OF CONST. ABOVE OR BELOW

DEMOLITION LINE

EQUIPMENT LINE

PROPERTY LINE

CENTER LINE

SECTION CALLOUT

DETAIL INDICATOR

REF. LOCATION

AREA OF DET.

DETAIL NO. / LETTER

REFERENCE SHEET(S)

TRUE NORTH

ACTUAL NORTH

CALLLED NORTH

EXISTING DOOR

DOUBLE SWING DOOR

DOOR

DOUBLE DOOR

DOOR W/ SIDELITE

ALUMINUM & GLASS FRAMING SYSTEM

BI-FOLD DOOR

DOUBLE BI-FOLD DOOR

ARCHWAY

DOUBLE SLIDING DOOR

R.C.P. ARCHWAY

SLIDING POCKET DOOR

WINDOW

SLIDING DOOR WALL

BARN DOOR

ELEVATION LOCATION

ELEVATION LOCATION

INTERIOR ELEVATION

EL. 100'-0"

EL. 100'-1"

EL. 100'-0"

EL. 100'-1"

**JOSEPH PHILIPS ARCHITECT, LLC**

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PROJECT: DOBBS RESIDENCE - ADDITION & ALTERATIONS

STATUS: [ ] PRELIM. [ ] REVIEW [ ] PERMIT [ ] CONSTR. [ ] REVISION

DATE: 02/22/24

JOB NO: 23966

SHEET NO: 966-symr\_01

SYMR 966-symr\_01

VERSAPRO RESTORATION & CONSTRUCTION

915 WING STREET, PLYMOUTH, MICHIGAN 48170 PHONE: (734) 455-8354

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Rik Kowall, Supervisor  
 Anthony L. Noble, Clerk  
 Mike Roman, Treasurer



Trustees  
 Scott Ruggles  
 Liz Fessler Smith  
 Andrea C. Voorheis  
 Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 8, 2024

Bryan and Laura Dobbs  
 10199 Lakeside Dr.  
 White Lake, MI 48386

RE: Proposed Addition

Based on the submitted plans, the proposed 2<sup>nd</sup> story addition does not satisfy the White Lake Township Clear Zoning Ordinance. Additionally, all variances previously approved have expired.

**Article 3.1.6 of the White Lake Township Clear Zoning Ordinance for R1-D requires:** Minimum side yard setback of 10 feet one side and 20 feet total of two sides, a front yard setback of 30 feet, Minimum lot width of 80 feet, and minimum lot area of 12,000 square feet.

**Article 5.3 of the White Lake Township Clear Zoning Ordinance states:** said projection shall not extend more than five (5) feet into said required open spaces, and in no event will the projection be closer than five (5) feet to the lot line.

Based on a survey submitted in 2020, the existing structures and lot are non-conforming with a lot width of 58.07 ft. and lot area of 9,714 sq. ft. The site contains a residential structure having a 4.1 ft. side yard setback on the east side and a 4.2 ft. side yard setback on the west side. Further, the existing front yard setback is 6.7 ft. The proposed 2<sup>nd</sup> story addition would increase this non-conformity by adding living space within the required 10 ft. side yard setback. It is not clear from the submitted plans if the proposed addition encroaches the required 30 ft front yard setback. It should also be noted, any newly constructed projection must not extend into the 5 ft. side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 25<sup>th</sup> Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than March 28<sup>th</sup> at 4:30 PM. **Be advised, a certified boundary and location survey showing the proposed structure will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official  
 White Lake Township

WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS VIRTUAL REGULAR MEETING  
JANUARY 28, 2021

Ms. Spencer called the regular meeting of the White Lake Township Zoning Board of Appeals to order at 7:02 p.m. and led the Pledge of Allegiance. Roll was called:

ROLL CALL: Nik Schillack  
Debby Dehart  
Mike Powell  
Josephine Spencer – Chairperson  
Dave Walz – Vice Chair

Also Present: Justin Quagliata, Staff Planner  
Hannah Micallef, Recording Secretary  
Jason Hudson, White Lake Township Ordinance Officer  
Nick Spencer, White Lake Township Building Official

Visitors: 0

**Approval of the Agenda:**

**Mr. Walz MOTIONED to approve the agenda as presented. Mr. Schillack supported and the MOTION CARRIED with a roll call vote (Walz/yes, Schillack/yes, Powell/yes, Spencer/yes, Dehart/yes).**

**Approval of Minutes:**

Zoning Board of Appeals Special Meeting of December 17, 2020.

**Mr. Schillack MOTIONED to approve the special meeting minutes of December 17, 2020 as presented. Mr. Powell supported and the MOTION CARRIED with a roll call vote (Schillack/yes, Powell/yes, Spencer/yes, Dehart/yes, Walz/yes).**

**New Business**

a. Applicant: Robert Snapp  
3960 Woodmere Drive  
Waterford, MI 48329  
Location: **8834 Arlington Road**  
White Lake, MI 48386 identified as 12-13-176-002  
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard

Ms. Spencer noted for the record that 29 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Mr. Powell asked staff if the applicant made adjustments regarding the proposed width of the house. Staff Planner Quagliata said the bump out on the west side of the house was shrunk by 4/10 of a foot. Staff Planner Quagliata added the applicant could have changed the floorplan of the proposed home to achieve a larger setback.

Ms. Dehart asked staff if many of the parcels on the street were around 50' in width. Staff Planner Quagliata confirmed.

Mr. Snapp was present to speak on his case. He said he wanted the bump out on the house to create an architectural feature. He added houses around his had setbacks close to the road.

Mr. Powell asked the applicant about the bump out from the lake side of the house. Mr. Snapp said he did not think his proposal would be an issue since the neighbors around him had similar setbacks, and added the bump out could be seen from the road.

Mr. Walz asked staff what the lot coverage would be. Staff Planner Quagliata said 33%.

Chairperson Spencer opened the public hearing at 7:20 PM. Seeing no public comment, she closed the public hearing at 7:21 PM.

Mr. Powell asked staff how many feet there would be between the proposed house and the neighboring houses if the requested variances were approved. Staff Planner Quagliata said there would be 9.3' from the house to the west and 11.8' from the neighbor to the east.

Mr. Powell asked staff if the bump out on the west side was eliminated, would the applicant achieve a 10' setback from the neighboring house. Staff Planner Quagliata confirmed.

Mr. Walz asked the applicant how many people would be living in the proposed house. Mr. Snapp said four.

**Mr. Powell MOVED to table the variance requests of Robert Snapp for Parcel Number 12-13- 176-002, identified as 8834 Arlington Road, to consider comments stated during this meeting.**

**Ms. Dehart SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):**

**Powell: YES.**

**Dehart: YES.**

**Schillack: YES.**

**Spencer: YES.**

**Walz: YES; the applicant would have time to work with the Planning Department to revise his plans.**

- b.
- Applicant: M.J. Whelan Construction  
620 N. Milford Road Milford, MI 48381
- Location: **10199 Lakeside Drive**  
White Lake, MI 48386 identified as 12-27-477-011
- Request: The applicant requests to construct an addition to a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Side-Yard Setback, Minimum Lot Area, and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required

Ms. Spencer noted for the record that 30 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Mr. Schillack asked staff if the nonconformity of the house would be increased or decreased if the requested variances were granted. Staff Planner Quagliata said the nonconformity would stay about the same.

Matt Whalen was present to speak on the case. He said the comments of the Zoning Board of Appeals were taken into consideration when the plan was revised.

Chairperson Spencer opened the public hearing at 7:49 PM. Seeing no public comment, she closed the public hearing at 7:50 PM.

**Mr. Walz MOVED to approve the variances requested by M.J. Whelan Construction from Article 3.1.6.E and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-22-477-011, identified as 10199 Lakeside Drive, in order to alter the existing building and construct an addition that would encroach 23.3 feet into the required front yard setback, 5 feet into the required side yard setback from both the east and west property lines, and exceed the allowed value of improvements to a nonconforming structure by 380%. A 21.93-foot variance from the required lot width and 2,286.12 square foot variance from the required lot size are also granted from Article 3.1.6.E. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **An as-built survey shall be required to verify the side yard setbacks. The projection of the roof overhang shall be no closer than five feet to the east and west side lot lines.**

**Ms. Dehart SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):**

**Walz: YES; the plans were revised so a five-foot side yard setback variance could be granted.**

**Dehart: YES; for the reasons stated.**

**Schillack: YES; there would be an improvement to the neighborhood.**

**Spencer: YES; for the reasons stated and the hardship was not self-created.**

**Powell: YES; for the reasons stated.**

- c.                   Applicant:               Maria     Elliott  
                      Location:               **2115 Haley Road**  
  White Lake, MI 48383  
  identified as 12-16-401-024  
                      Request:               The applicant requests to exceed the allowed number of equine animals on a 3.01-acre Suburban Farm zoned parcel, requiring variances from Article 4.2.B, Maintenance of Animals.

Ms. Spencer noted for the record that 29 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Ms. Dehart asked to be recused from the case due to a previous realtor relationship with the applicant. Mr. Schillack moved in favor to recuse Ms. Dehart. There was no support, and the motion failed. Ms. Dehart remained in the virtual meeting room.

Staff Planner Quagliata gave his staff report.

Mr. Powell asked staff if the Zoning Board of Appeals needed to approve both variances to modify the acreage requirement and address the number of animals. Staff Planner Quagliata said the request was published for flexibility, so just one of the variances could be approved.

Chairperson Spencer asked staff if the requested variance on acreage were granted, would the variance run with the land forever. Staff Planner Quagliata confirmed.

Mr. Schillack asked Chairperson Spencer if a motion could be made to allow the variance for the fourth animal to exist for the current owners, but cease upon the house changing occupants. Chairperson Spencer said the Zoning Board of Appeals could do so, but such situation would be hard to enforce.

Mr. Walz asked Chairperson Spencer if the motion could be dependent on the requested variance being allowed until the fourth animal passed away. Chairperson Spencer said that would be hard to enforce. Staff Planner Quagliata added the Township had one ordinance officer, and tracking animal welfare would be difficult.

Ordinance Officer Hudson said by granting the requested variance, a precedence could be made with other Class II animals. He said the minimum Class II animal allowance standard was made less restrictive in the past from five acres to two acres.

Mr. and Mrs. Elliot, 2115 Haley Road, were present to speak on their class. Ms. Elliot said she was not seeking a permanent variance. Two of her horses were older in age and couldn't be ridden due to their health issues. She was unaware of the animal allowance when she purchased the third horse. She said when one of the horses passed away, she would bring proof of their passing to the Township. She said the horses and donkey were all bonded.

Mr. Powell asked Mrs. Elliot about the relationship between herself and the animals. Mrs. Elliot said she had one of the horses for twenty-five years, and another for twenty-two years. The younger horse grew up with the elder horse. The donkey was rescued and suffered from separation anxiety and mental trauma.

Chairperson Spencer opened the public hearing at 8:26 PM. She read a letter of opposition into the record. Seeing no public comment, she closed the public hearing at 8:28 PM.

Mr. Walz asked the applicant to address the letter. Mrs. Elliot said she had purchased the fourth riding horse unaware of the maximum animal allowance, and the pasture and barn were clean.

Ms. Dehart asked staff if a complaint was received by another neighbor, and what it was for. Ordinance Officer Hudson said the complaint was two-fold: the pasture was not sufficient for all of the animals, and the applicant exceeded the allowable number of Class II animals.

Ms. Elliot said she hired someone to clear more wooded area for the animals to have additional room. Mr. Elliot said work would be done to their backyard in the summer for even more room.

**Mr. Walz MOVED to approve the variances requested by Maria Elliot from Article 4, Section 2 of the Zoning Ordinance for Parcel Number 12-16-401-024, identified as 2115 Haley Road, in order to allow four (4) Class II animals on a 3.01-acre lot. This approval will have the following conditions:**

- **The Applicant shall comply with all necessary standards for the maintenance of Class II animals found in Article 4, Section 2 of the White Lake Township zoning ordinance.**
- **No additional Class II animals shall be maintained on the property**
- **The allowance for a fourth Class II animal shall expire upon the death of one of the existing animals on the property.**
- **The applicant shall provide the Township a veterinarian certified death certificate upon the passing of one of the existing animals.**

**Mr. Powell SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):**

**Walz: YES; for the reasons stated.**

**Powell: YES; the situation was unique.**

**Schillack: YES; there was not a precedent set.**

**Dehart: YES; for all the reasons stated.**

**Spencer: YES; the Zoning Board and staff worked with the applicants during the meeting for their unique situation.**

**Mr. Walz MOVED for a ten-minute recess. Mr. Powell supported. The Board returned at 9:11 p.m.**

- d.
- |            |   |
|------------|---|
| Applicant: | Metro Detroit Signs<br>11444 Kaltz Avenue<br>Warren, MI 48089   |
| Location:  | <b>9178 Highland Road</b><br>White Lake, MI 48386<br>identified as 12-23-226-005  |
| Request:   | The applicant requests to install a monument sign exceeding the allowed height, requiring a variance from Article 5.9.J.i, Regulations for Freestanding Signs in Non-Residential Districts. |

Ms. Spencer noted for the record that 16 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report. At the January 19 meeting the Township Board introduced the first reading of a series of zoning ordinance amendments. A provision of the sign ordinance being amended increased the maximum sign height from six feet to seven feet. After the Township Board adopts the zoning amendments at its February meeting, the proposed sign height would be conforming. The property owner was informed of this change to sign policy and asked to proceed with the variance request. Based on the increased sign height which would soon be permitted, staff recommended approval of the requested variance. With the amended ordinance, the sign height variance would be void. Granting the variance would allow the applicant to begin installing the sign in advance of the amended ordinance taking effect.

Chairperson Spencer opened the public hearing at 9:16 PM. Seeing no public comment, she closed the public hearing at 9:16 PM.

**Mr. Powell MOVED to approve the variance requested by Metro Detroit Signs from Article 5.9.J.i of the Zoning Ordinance for Parcel Number 12-23-26-005, identified as 9178 Highland Road, in order to install a monument sign that would exceed the allowed height by 7.68 inches. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **All nonconforming signs shall be removed from the property.**

**Mr. Schillack SUPPORTED, and the motion carried with a roll call vote (5 yes votes)**

**Powell: YES.**  
**Schillack: YES.**  
**Spencer: YES.**  
**Dehart: YES.**  
**Walz: YES.**

e.                      Applicant:                      James Stanecki  
   Location:                      **8884 Cooley Lake Road**  
                                        White Lake, MI 48386  
                                        identified as 12-36-351-027  
   Request:                      The applicant requests to divide a parcel of land, requiring  
                                        variances from Article 3.1.6.E, R1-D Single Family Residential  
                                        Minimum Lot Area and Minimum Lot Width.

Ms. Spencer noted for the record that 37 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.

Ms. Dehart asked staff if the proposed lots would be serviced by sewer. Staff Planner Quagliata confirmed, the current house was serviced by sewer. Staff Planner Quagliata added the lots were combined around 1989.

Chairperson Spencer asked staff if the current parcel were divided, would two nonconforming lots be created. Staff Planner Quagliata confirmed.

Mr. Schillack asked staff what the side yard setbacks would be for the proposed lots. Staff Planner Quagliata said the applicant's intention was to build a house on the proposed Parcel B, and the applicant mentioned appearing before the Zoning Board of Appeals in the future for setback variances for said house.

Mr. Stanecki was present to speak on his case. He said he wanted to split the lot with the goal of building his retirement home. He added while the proposed lots would be nonconforming, his proposed split lots would be bigger than most lots on the lake.

Ms. Dehart asked staff if the lots could be split in accordance to the way they were originally platted. Staff Planner Quagliata said no, because reverting to the original plats would create a nonconforming house.

Chairperson Spencer opened the public hearing at 9:41 PM. Seeing no public comment, she closed the public hearing at 9:41 PM.

**Mr. Walz MOVED to deny the variances requested by James Stanecki for Parcel Number 12-36-351-027, identified as 8884 Cooley Lake Road, due to the following reason(s):**

- **The request was a self-imposed hardship.**

**Mr. Schillack SUPPORTED, and the MOTION CARRIED with a roll call vote (5 yes votes):**

**Walz: YES; this was a self-imposed hardship and the applicant was not prevented from unreasonable access to his existing home.**

**Schillack: YES; this was a self-imposed hardship**

**Dehart: YES; this was a self-imposed hardship and the Zoning Board of Appeals could not create two nonconforming lots.**

**Powell: YES; there was no demonstration of practical difficulty and the situation was not unique. The situation was self-created and the applicant was able to expand his current home on his current lot.**

**Spencer: YES; this was a self-imposed hardship and the Zoning Board of Appeals was not denying the applicant substantial justice of his property.**

f.	Applicant:	Matthew Slicker
	Location:	<b>408 Burgess Drive</b> White Lake, MI 48386 identified as 12-27-427-004
	Request:	The applicant requests to construct garage and living space additions to a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Side-Yard Setback and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures will be required due to both the value of improvements and the increase in cubic content

Ms. Spencer noted for the record that 37 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition and 0 letters were returned undeliverable from the US Postal Service.

Staff Planner Quagliata gave his staff report.



Chairperson Spencer asked staff if the new garage would be in the same footprint of the existing garage. Staff Planner Quagliata said the garage would be increased in size and currently the wall was 4.8' from the side yard lot line, with the roof overhang around 3.8' from the side lot line. The new garage wall would be 6' from the side yard lot line, with the roof overhang 5' from the side lot line. The new garage would be 33' deep.

Mr. Schillack asked staff if the requested variances would increase or decrease the nonconformities of the lot. Staff Planner Quagliata said the nonconformities would be increased. He also added although the proposed plans would improve the side yard setback, the expansion of cubic content to the garage would be increasing the nonconformity.

Mr. Schillack asked staff how close would the proposed garage be to the neighboring house on the west. Staff Planner Quagliata said around 20'.

Mr. Slicker was present to speak on his case. He was seeking the requested variances in order to have a garage where he could store more than just his vehicle and boat. He wanted to create a second story above the garage to create additional living and storage space. There would be a staircase within the garage that would take up 3'-4' of the proposed 33' depth of the garage.

Mr. Walz asked the applicant if the garage was for additional storage and living space. Mr. Slicker confirmed. Mr. Walz asked staff if the storage and living space would be an issue. Staff Planner Quagliata said it would not.

Mr. Powell asked the applicant where the septic field was and where the tanks were. Mr. Slicker said the septic field was up the hill, and the septic tanks were 10' off the proposed garage wall.

Ms. Dehart asked the applicant where the proposed addition's staircase would be. Mr. Slicker said the opening of the staircase would be internal to the house, but the staircase itself would be in the garage.

Chairperson Spencer opened the public hearing at 10:03 PM. Seeing no public comment, she closed the public hearing at 10:03 PM.

**Mr. Schillack MOVED to deny the variances requested by Matthew Slicker for Parcel Number 12-27-427-004, identified as 408 Burgess Drive, due to the following reason(s):**

- **This was a self-imposed hardship.**

**Mr. Powell supported and the MOTION CARRIED with a roll call vote (3 yes votes):**

**Schillack: YES; this was a self-imposed hardship.**

**Powell: YES; the situation was not unique and it was a self-imposed hardship.**

**Dehart: NO; the side yard setback would be improved.**

**Walz: NO; he believed a hardship existed and the encroachment into the setback would be reduced.**

**Spencer: YES; there was no practical difficulty.**

**Other Business**

**a. Bylaw Amendments**

Staff Planner Quagliata said the bylaws had not been updated in over twenty years, and there were three major changes: the term limits for chair and vice chair were eliminated, business or public hearing would not be taken up after 10 PM without approval from the chair, and the agenda would be limited to six public hearings per meeting.

Mr. Schillack asked staff if meetings twice a month should be considered, as the meetings consistently had a full caseload in recent months. Staff Planner Quagliata suggested asking the Township Board to start meetings at 6:00 PM. Mr. Walz said commitments of the applicants and the rest of the Zoning Board of Appeals would need to be considered.

**Mr. Schillack MOVED to approve the bylaws as presented. Ms. Dehart SUPPORTED and the motion CARRIED with a roll call vote (Schillack/yes, Dehart/yes, Spencer/yes, Walz/yes, Powell/yes).**

**b. Election of Officers**

**Mr. Schillack MOVED to elect Josephine Spencer as Chairperson of the Zoning Board of Appeals and David Walz as Vice Chairperson of the Zoning Board Appeals for 2021. Mr. Powell SUPPORTED and the motion CARRIED with a roll call vote (Schillack/yes Powell/yes, Dehart/yes, Spencer/yes, Walz/yes).**

**c. Survey Requirement Resolution**

**Mr. Schillack MOVED to approve the survey requirement resolution. Mr. Walz supported, and the MOTION CARRIED with a roll call vote (Schillack/yes, Powell/yes, Spencer/yes, Walz/yes, Dehart/yes).**

**Adjournment: Ms. Dehart MOTIONED to adjourn the meeting at 10:34 P.M. Mr. Walz SUPPORTED. All in favor.**

**Next Meeting Date:** February 25, 2021

**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS**

**REPORT OF THE  
COMMUNITY DEVELOPMENT DEPARTMENT**

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** April 25, 2024

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**Agenda item:** 8b

**Appeal Date:** April 25, 2024

**Applicant:** Jordan Billet

**Address:** 8874 Arlington Road  
White Lake, MI 48386

**Zoning:** R1-D Single Family Residential

**Location:** 8874 Arlington Road  
White Lake, MI 48386

## **Property Description**

The approximately 0.25-acre (11,025 square feet) parcel identified as 8874 Arlington Road is located on Pontiac Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,475 square feet in size) utilizes a private well for potable water and the public sanitary sewer system for sanitation.

## **Applicant's Proposal**

Jordan Billet, the Applicant, is proposing to construct single- and second-story additions on the house.

## **Planner's Report**

The existing house was built in 1954 and is nonconforming to setbacks; the building is located 5.2 feet from the north side lot line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 975 square foot deficiency in lot area and a 50-foot deficiency in lot width; in the R1-D zoning district the minimum lot area requirement is 12,000 square feet and the minimum lot width requirement is 80 feet.

As proposed the second story is approximately 667 square feet in size and would encroach approximately six inches into the north side yard setback. Also, the proposed building height is 26 feet-4 inches (mid-peak roof height), requiring a 1 foot-4 inch variance to exceed the 25-foot maximum building height.

The proposed first floor addition is approximately 148 square feet in size. Additionally, the proposed lot coverage is 21.41% (2,361 square feet), which is 1.41% (156 square feet) beyond the 20% maximum lot coverage allowed (2,205 square feet).

Section 5.7.A of the Zoning Ordinance states no detached garage or accessory building or structure shall be located closer than 10 feet to any principal structure or building unless it conforms to all regulations of the ordinance applicable to principal structures and buildings. Based on the submitted plot plan, the 12.5-foot by 20.7-foot (258.75 square feet) accessory building is nonconforming with a 2.8-foot setback from the south side lot line and a 10.9-foot setback from Pontiac Lake. With the addition the accessory building would be considered part of the house (7.7 feet between buildings), and therefore subject to the 10-foot side yard setback and 30-foot rear yard setback in the R1-D zoning district. Section 7.27.vii of the Zoning Ordinance prohibits the Zoning Board of Appeals from granting a variance to permit a setback of less than five feet from a side lot line for safety reasons; this would require the Applicant to reconstruct the south side wall of the aforementioned accessory building to be five feet from the side lot line, including the roof overhang. As the garage is located 10.9 feet from the rear property line, a 19.1-foot variance is requested to encroach into the 30-foot rear yard setback.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$121,000), the maximum extent of improvements cannot exceed \$60,500. The value of the proposed work is \$100,000. A variance to exceed to exceed the allowed value of improvements by 165% is requested.

Following is a summary of nonconformities and proposed enlargements/alterations:

Nonconformity #	Ordinance Section	Subject	Standard	Request	Result
1	Article 3.1.6.E	Rear yard setback	30 feet	19.1 feet (accessory building)	10.9 feet
2	Article 3.1.6.E	Side yard setback	10 feet	5 feet (west accessory building; south side lot line)	5 feet (with rebuild)
3	Article 3.1.6.E	Side yard setback	10 feet	0.50 foot	9.5 feet (house – north side)
4	Article 3.1.6.E	Maximum lot coverage	20% (2,205 square feet)	1.41% (156 square feet)	21.41% (2,361 square feet)
5	Article 3.1.6.E	Maximum building height	25 feet	1 foot-4 inches	26 feet-4 inches

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming buildings	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$60,500)	165%	\$39,500 over allowed improvements
3	Article 5.7.A	Accessory building setback	10 feet	2.3 feet	7.7 feet (from house)

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Jordan Billet from Article 7.23.A of the Zoning Ordinance for Parcel Number 12-13-157-006, identified as 8874 Arlington Road, in order to enlarge and alter nonconforming buildings by: allowing the second-story addition to encroach 0.5 foot into the required setback from the north side lot line and exceeding the maximum building height by 1 foot-4 inches; allowing the west accessory building to encroach 5 feet into the required setback from the south side lot and 19.1 feet into the required rear yard setback; and exceeding the allowed lot coverage by 1.41%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure (house) by 165%. A 2.3-foot variance from Article 5.7.A is also granted to allow the house to encroach into the required setback from the west accessory building. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The south side wall of the west accessory building shall be removed and reconstructed to establish a five-foot side yard setback, which shall be measured from the roof overhang of the accessory building.
- In no event shall the projection of any roof overhang be closer than five feet to the side lot lines.
- No mechanical units, including HVAC system or generator, shall be placed closer than five feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.

**Denial:** I move to deny the variances requested by Jordan Billet for Parcel Number 12-13-157-006, identified as 8874 Arlington Road, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Jordan Billet *to a date certain or other triggering mechanism* for Parcel Number 12-13-157-006, identified as 8874 Arlington Road, to consider comments stated during this public hearing.

## Attachments:

1. Variance application dated March 25, 2024.
2. Plot plan (revision date March 21, 2024).
3. Applicant's written statement.
4. Plans prepared by the Applicant.
5. Letter of denial from the Building Official dated March 26, 2024.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
  - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
ZONING BOARD OF APPEALS APPLICATION

Item B.

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: Jordan Billet PHONE: 845 475 5990  
ADDRESS: 8874 Arlington street <sup>White Lake</sup> MI 48386  
APPLICANT'S EMAIL ADDRESS: BootscatinBillet@gmail.com  
APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 8874 Arlington st. white <sup>lake MI 48386</sup> PARCEL # 12-13-157-006  
CURRENT ZONING: R1-D PARCEL SIZE: 11,025 <sup>2</sup>foot

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: \_\_\_\_\_  
VALUE OF IMPROVEMENT: \$ 100,000 SEV OF EXISTING STRUCTURE: \$ \_\_\_\_\_

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: 385 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)  
APPLICANT'S SIGNATURE: Jordan Billet DATE: 3/25/24



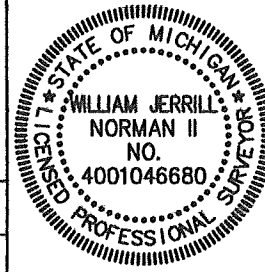
# KIEFT ENGINEERING, INC.

PROFESSIONAL CIVIL ENGINEERS AND LAND SURVEYORS



5852 South Main Street, Ste #1  
Clarkston, Michigan 48346  
Tel: 248-625-5251  
Fax: 248-625-7110  
www.kiefteng.com

## CERTIFICATE OF SURVEY



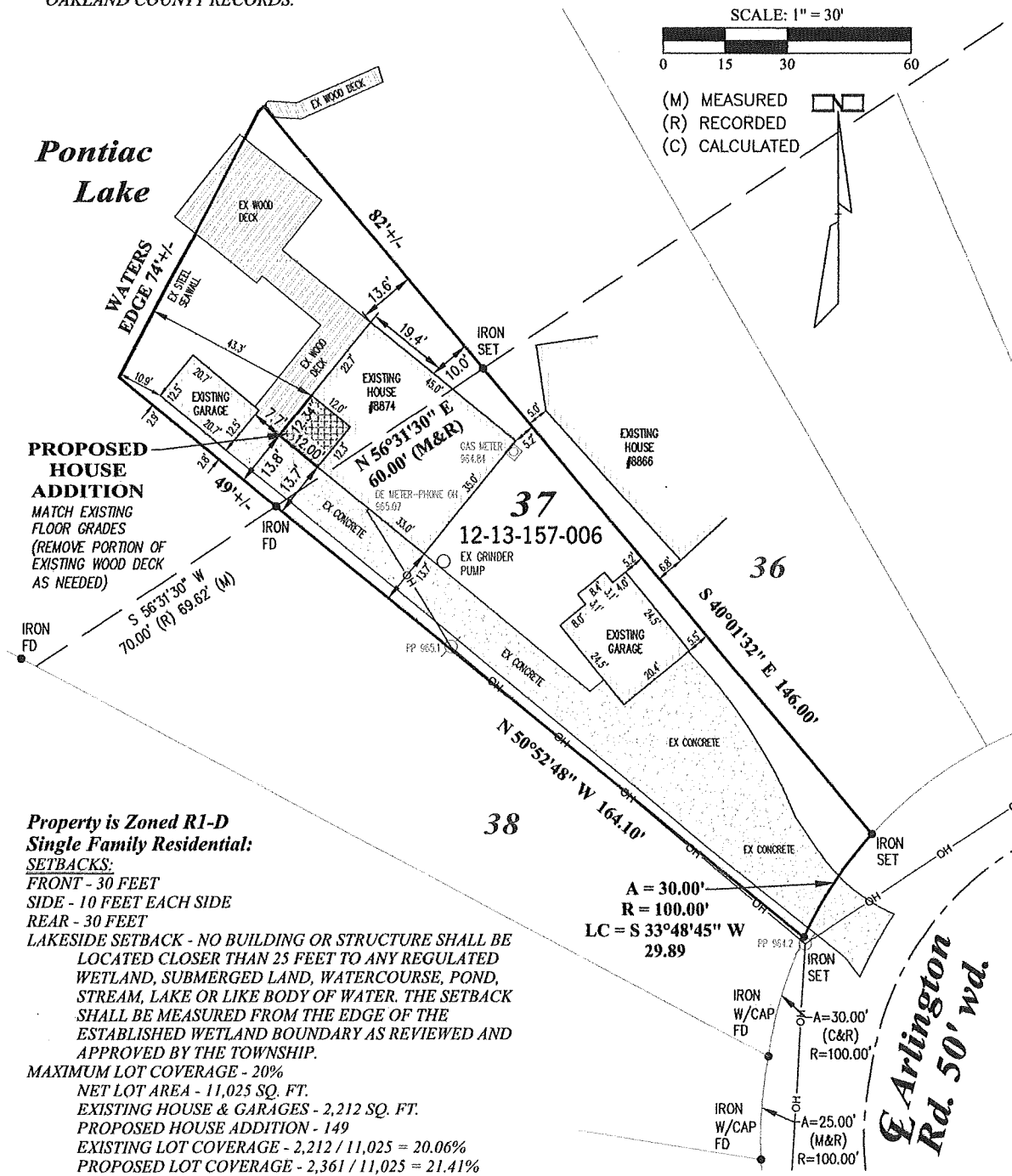
Survey for	<u>JORDAN BILLET</u>	REV.	3-21-2024
		Date	2-14-2024
Address	<u>8874 ARLINGTON RD. WHITE LAKE, MI 48386</u>	Job No.	<u>2023.303</u>

## PLOT PLAN FOR HOUSE ADDITION

This is to certify that I, William J. Norman II, a Professional Land Surveyor, have this date made a survey of a parcel of land described as follows:

### PARCEL 12-13-157-006

LOT 37, "ENGLISH VILLAS SUBDIVISION" A SUBDIVISION OF PART OF SECTIONS 11, 13 & 14, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN LIBER 51 OF PLATS, PAGES 22 & 22A, OAKLAND COUNTY RECORDS.



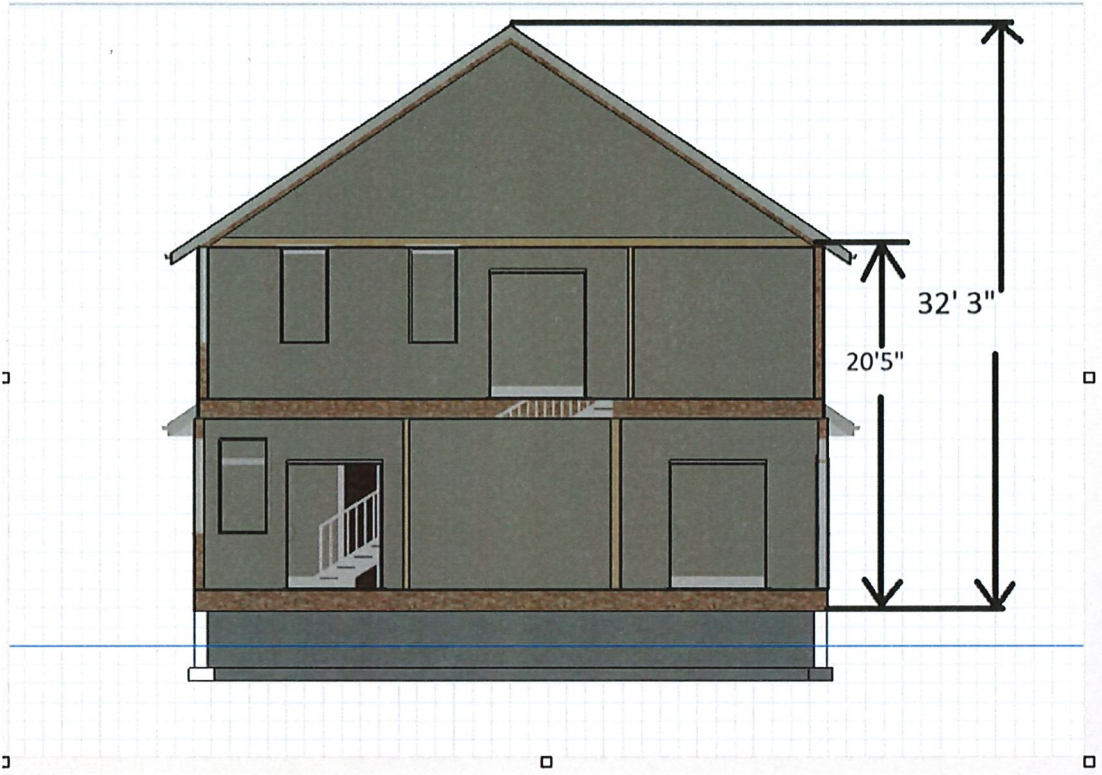
**Property is Zoned R1-D  
Single Family Residential:**

**SETBACKS:**

- FRONT - 30 FEET
- SIDE - 10 FEET EACH SIDE
- REAR - 30 FEET

LAKESIDE SETBACK - NO BUILDING OR STRUCTURE SHALL BE LOCATED CLOSER THAN 25 FEET TO ANY REGULATED WETLAND, SUBMERGED LAND, WATERCOURSE, POND, STREAM, LAKE OR LIKE BODY OF WATER. THE SETBACK SHALL BE MEASURED FROM THE EDGE OF THE ESTABLISHED WETLAND BOUNDARY AS REVIEWED AND APPROVED BY THE TOWNSHIP.

MAXIMUM LOT COVERAGE - 20%  
 NET LOT AREA - 11,025 SQ. FT.  
 EXISTING HOUSE & GARAGES - 2,212 SQ. FT.  
 PROPOSED HOUSE ADDITION - 149  
 EXISTING LOT COVERAGE - 2,212 / 11,025 = 20.06%  
 PROPOSED LOT COVERAGE - 2,361 / 11,025 = 21.41%

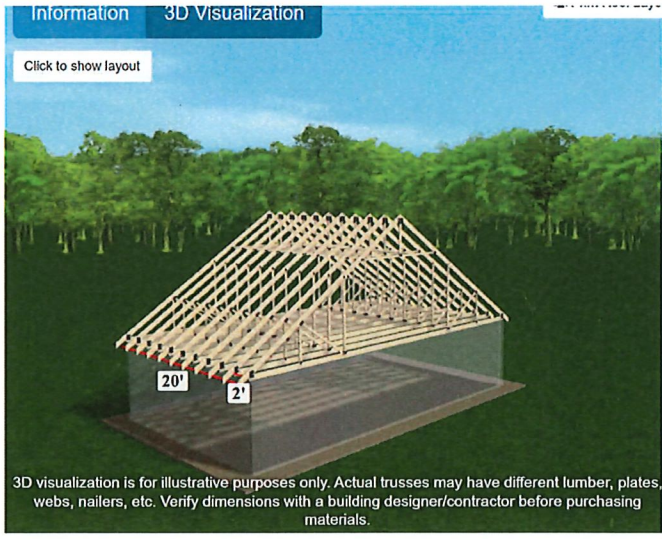


Heights shown are measured from top of foundation. To account to foundation to grade assume another 1-2 foot

$$(32'3'' + 20'5'') / 2 = 26'4''$$

Truss Specifications

Truss Span	34	ft	0	in	0	/16
Truss Pitch	8	/12				
On Center Spacing	2	ft	0	in	0	/16
Left Overhang	12	in	0	/16		
Right Overhang	12	in	0	/16		
Inside Clear Height	8	ft				
Quantity	11					
Engineering Requirements						
Live Load Top Chord	30	psf				



The reasons for the addition and why we are requesting a variance  
1. there is nowhere else to build out.

a. on the front of the house, there is a grinder pump to work around that isnt moved easily, as well as AC and a generator. The house design is all bed rooms on that side, so building out there would mean further renovations to remove a bedroom to replace with a hallway reducing square footage to add more.

b. There is only roughly ~10 feet on ether side of the house now.

c. off the back of the house there is only ~13 feet to work with and would need to be offset from the current house making a funky shape that would not be very useful footage

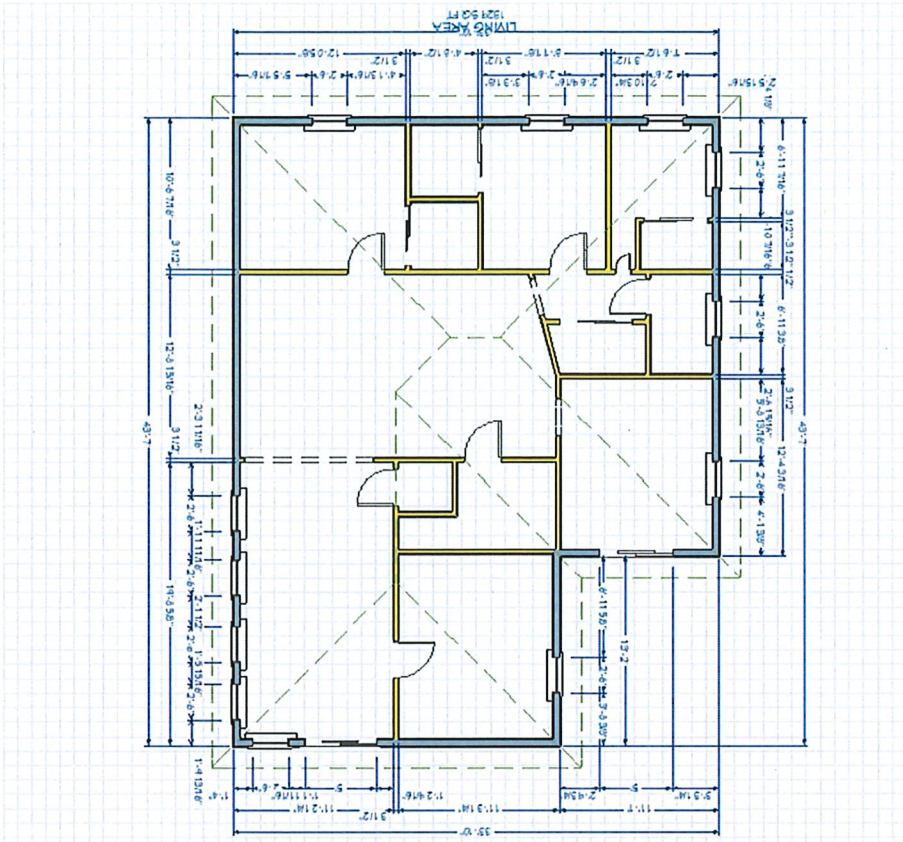
2. the expansion of the foot print is due to maximizing square footage while minimizing materials and construction effort, we are bringing the house to a square from an unnatural shape it is now

3. The upstairs is brought back far enough to need a variance because that is where existing headers and load bearing walls are. Anywhere else would require much more structural work below to support the wall.

4. the peak being higher is to accommodate an attic

Current house views





After addition

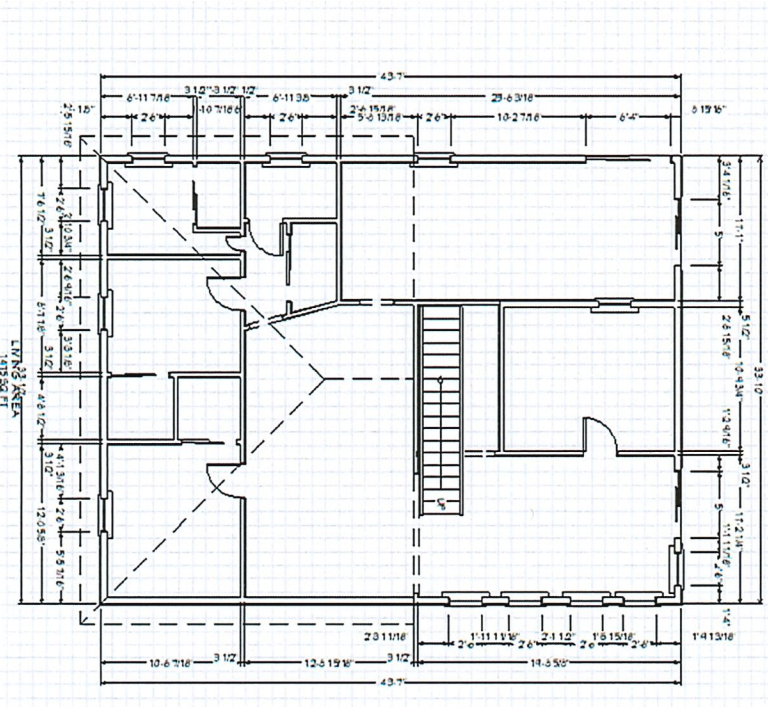
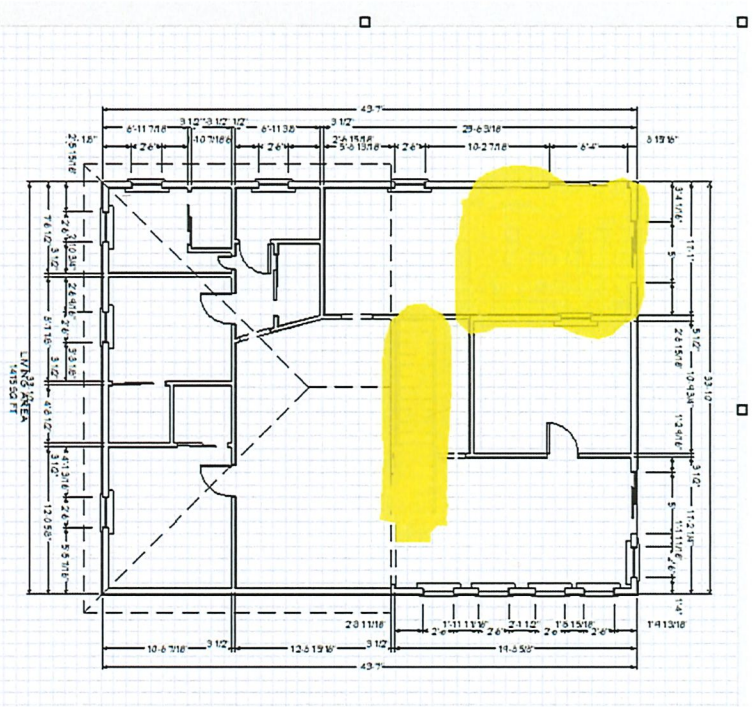
Square off kitchen on first floor

Add second story on ~1/2 the house – 9 foot walls

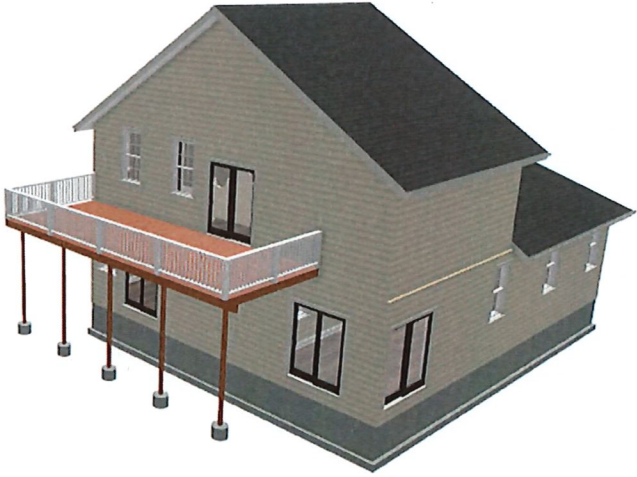
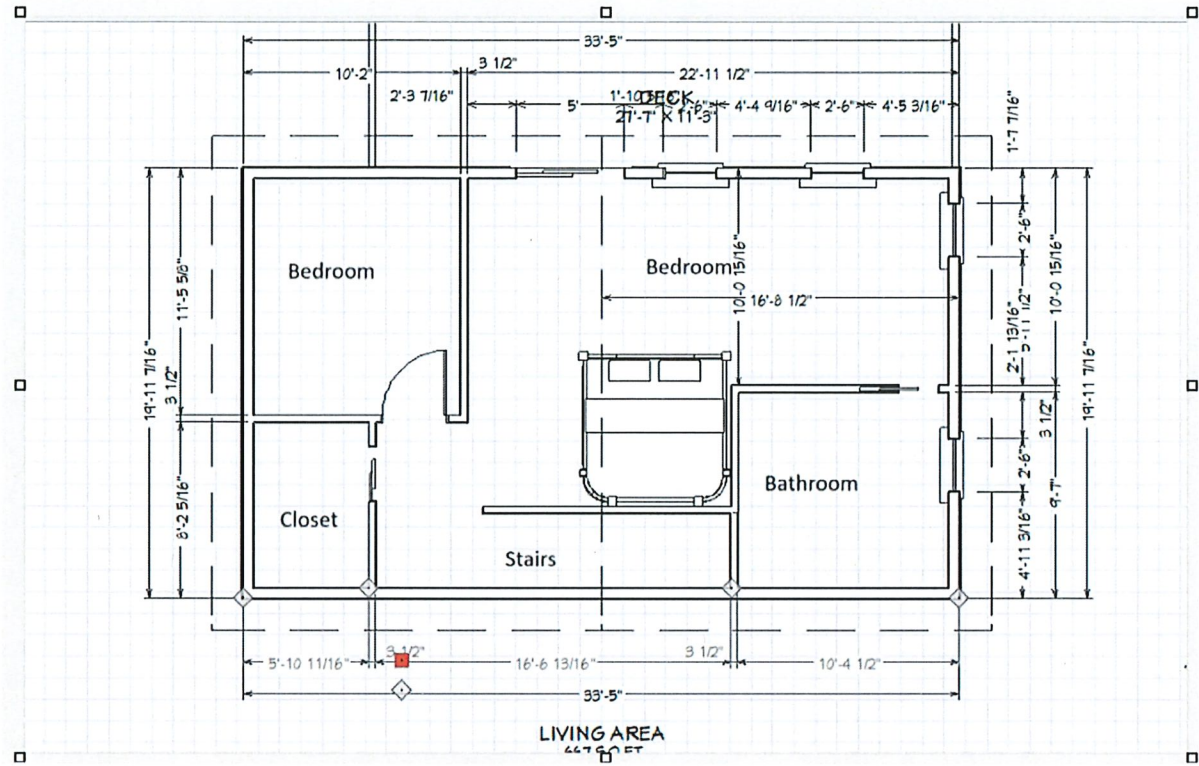
Attic added above the 2<sup>nd</sup> story 8/12 roof pitch

Deck to be added later

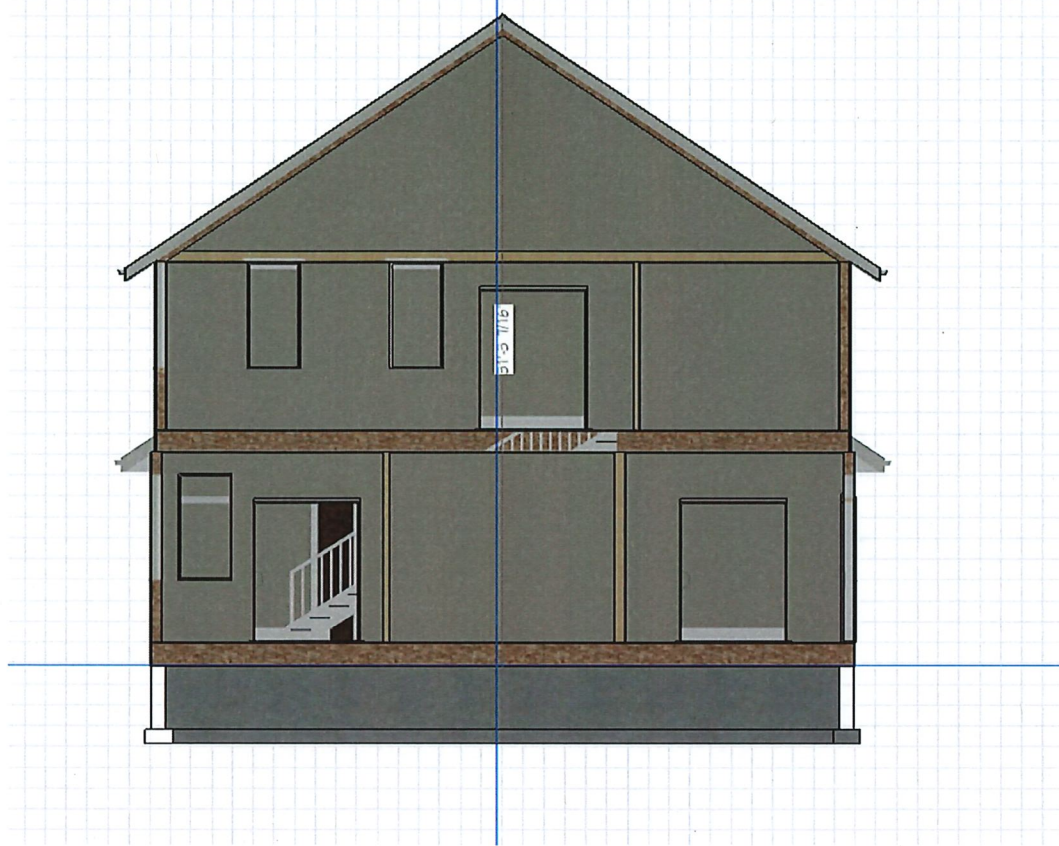
First story



Second story



lake2: Elevation - Elevation 1







Rik Kowall, Supervisor  
Anthony L. Noble, Clerk  
Mike Roman, Treasurer



Trustees  
Scott Ruggles  
Liz Fessler Smith  
Andrea C. Voorheis  
Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 26, 2024

Jordan Billet  
8874 Arlington Rd  
White Lake, MI 48386

RE: 1<sup>st</sup> and 2<sup>nd</sup> story addition

Based on the submitted plans, the proposed 1<sup>st</sup> and 2<sup>nd</sup> story addition do not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

**Article 3.1.6 of the White Lake Township Clear Zoning Ordinance:** Requires a minimum side yard setback of 10 ft, minimum lot width of 80 ft, maximum lot coverage of 20% and maximum building height of 25 ft.

The existing lot is legal non-conforming with a lot width of 30 ft. The proposed 1<sup>st</sup> story addition would increase the lot coverage to 21.41%. The proposed 2<sup>nd</sup> story addition would encroach approximately 6 inches into the required side yard setback, and have a mid-peak roof height of 26 ft - 4 in.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 25<sup>th</sup> Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than March 28<sup>th</sup> at 4:30 PM. ***The certified boundary and location survey must show all proposed structures.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official  
White Lake Township

# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** April 25, 2024

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**Agenda item:** 8c

**Appeal Date:** April 25, 2024

**Applicant:** Sid Jamil

**Address:** 1767 Carriage Hill  
Commerce, MI 48382

**Zoning:** R1-D Single Family Residential

**Location:** 10890 Hillway Drive  
White Lake, MI 48386

## **Property Description**

The 0.37-acre (16,204 square feet) parcel identified as 10890 Hillway Drive is located on Sugden Lake and zoned R1-D (Single Family Residential).

## **Applicant's Proposal**

Sid Jamil, the Applicant, is requesting variances to alter a nonconforming building and increase the cubic content of a nonconforming building by completing first-floor and second-floor additions.

## **Planner's Report**

In December 2023 the Zoning Board of Appeals (ZBA) approved variances allowing first-floor and second-floor additions on the nonconforming house. The minutes from that meeting are attached to this staff report. Additionally, the staff report for the previous variance application (attached) should be referenced for a more complete overview of the property and initial project.

The current request is to expand upon the variances previously granted by:

- Constructing a 20-foot by 24-foot (480 square feet) first-floor addition north of the existing covered patio which was allowed to be enclosed as part of the previous request. A three-foot variance is requested to encroach into the 10-foot west side yard setback.
- Constructing a 22-foot by 24-foot (528 square feet) second-floor addition over the existing garage. A three-foot variance is requested to encroach into the 10-foot west side yard setback.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$32,240), the maximum extent of improvements cannot exceed \$16,120. Last December the ZBA granted a variance to exceed the allowed value of improvements by 248% (\$40,000 value of improvement to the nonconforming portion of the building). The value of the proposed work is \$45,000. A variance to further exceed the allowed value of improvements by 112.5% is requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	\$40,000 (with prior variance)	112.5%	\$45,000 over allowed improvements

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Sid Jamil from Articles 7.23.A and 7.28.A of the Zoning Ordinance for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, in order to complete additions that would encroach 3 feet into the required west side yard setback and exceed the allowed value of improvements to a nonconforming structure by an additional 112.5%. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The Applicant shall submit architectural plans for the additions to the satisfaction of the Building Official.
- No mechanical units, including HVAC system or generator, shall be placed in the front yard or closer than five (5) feet to any side yard lot line or rear yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Division.
- An as-built survey shall be required to verify the approved setbacks.

**Denial:** I move to deny the variances requested by Sid Jamil for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Sid Jamil *to a date certain or other triggering mechanism* for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, to consider comments stated during this public hearing.

## Attachments:

1. Variance application dated March 26, 2024.
2. Survey dated November 3, 2023 (revision date April 15, 2024).
3. Plans prepared by the Applicant.
4. Letter of denial from the Building Official dated November 7, 2023.
5. Staff report dated December 14, 2023.
6. Minutes of the December 14, 2023 Zoning Board of Appeals meeting.

### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

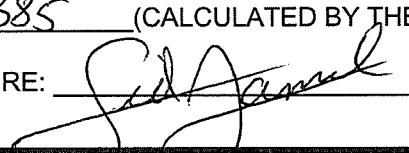
CHARTER TOWNSHIP OF WHITE LAKE  
**ZONING BOARD OF APPEALS APPLICATION**  
Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: Sid Jamil PHONE: 248-345-1174  
ADDRESS: 1767 Carriage Hill Commerce Tap, MI 48383  
APPLICANT'S EMAIL ADDRESS: Sid@SidJamil.com  
APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 10890 Hillway Drive PARCEL # 12 - 34-352-003  
CURRENT ZONING: R-1D PARCEL SIZE: \_\_\_\_\_

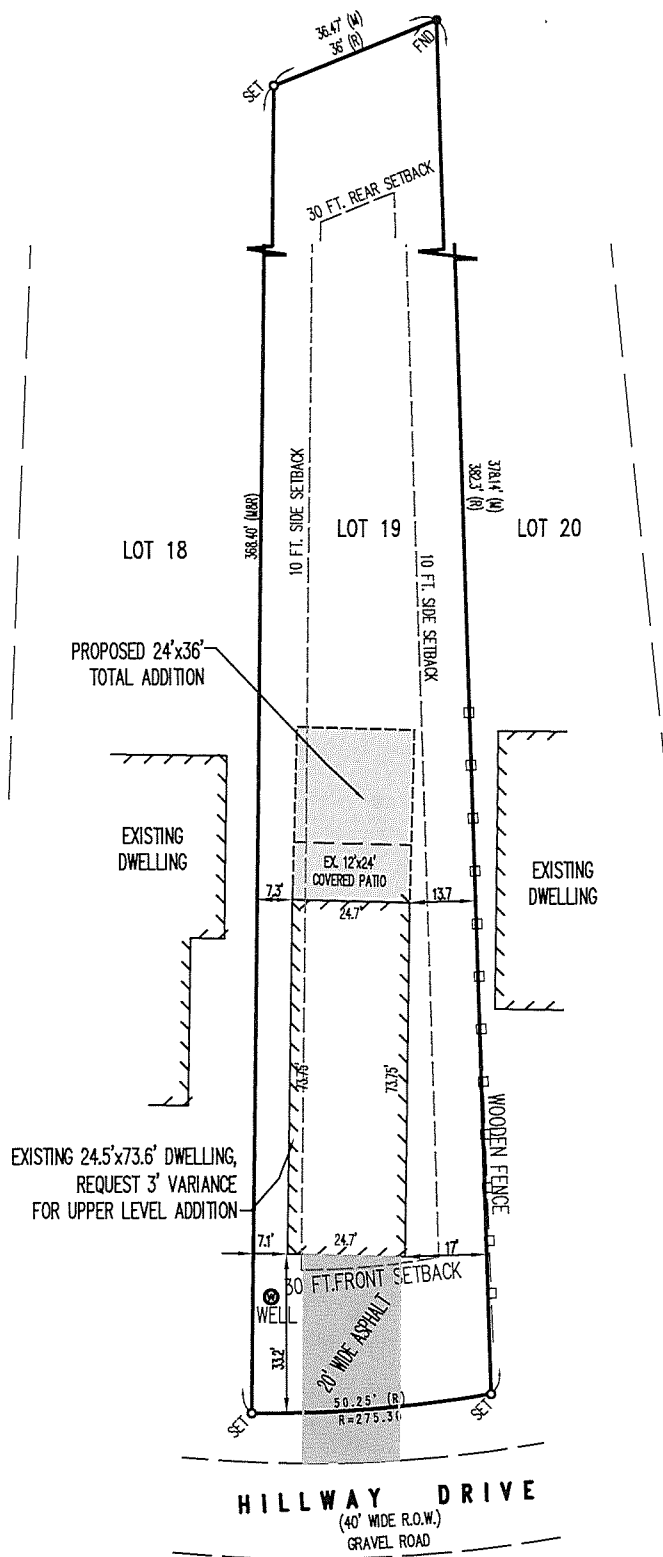
STATE REQUESTED VARIANCE AND ORDINANCE SECTION: \_\_\_\_\_  
VALUE OF IMPROVEMENT: \$ 45,000 SEV OF EXISTING STRUCTURE: \$ \_\_\_\_\_

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

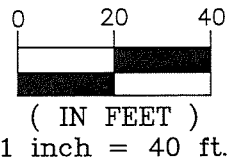
APPLICATION FEE: \$385 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)  
APPLICANT'S SIGNATURE:  DATE: 03/26/2024

**LEGAL DESCRIPTION (AS PROVIDED):**

LOTS 19 OF "OAK RIDGE PARK", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 22 ON PAGE 10, TOWNSHIP OF WHITE LAKE, OAKLAND COUNTY, MICHIGAN.



**GRAPHIC SCALE**



**LEGEND**

- SET IRON #21585
- FOUND IRON
- ▲ SET WOOD STAKE
- ⊙ SECTION CORNER
- (M) MEASURED
- (R) RECORDED
- O. A. OVERALL DISTANCE
- R/W RIGHT OF WAY
- E-W EAST-WEST

**NOTES:**

1. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
2. THIS SURVEY WAS PERFORMED FOR THE PURPOSE SHOWN HEREON AND DOES NOT MAKE ANY REPRESENTATION AS TO THE DELINEATION OF ANY JURISDICTIONAL LINES EXCEPT AS SHOWN OR NOTED HEREON.

JOSEPH A WYZYNAJTYS, P.S. NO 21585

PREPARED FOR:  
**SID & FAITH JAMIL**  
 10890 HILLWAY DRIVE  
 WHITE LAKE TWP, MI 48386

SCALE: 1"=40'	JOB NO. WLAKE 34 SD	DATE: 11.03.2023	REV: 04.15.2024
DRN BY: MCS		APPR BY: J.A.W.	PAGE: 1 of 1



**DPS, INC**  
**SURVEYING & ENGINEERING**  
 3189 MANN ROAD WATERFORD, MI 48329  
 17195 SILVER PARKWAY, NO. 153, FENTON, MI 48430  
 PHONE: 810.701.9418  
 EMAIL: DPSINC14@MSN.COM

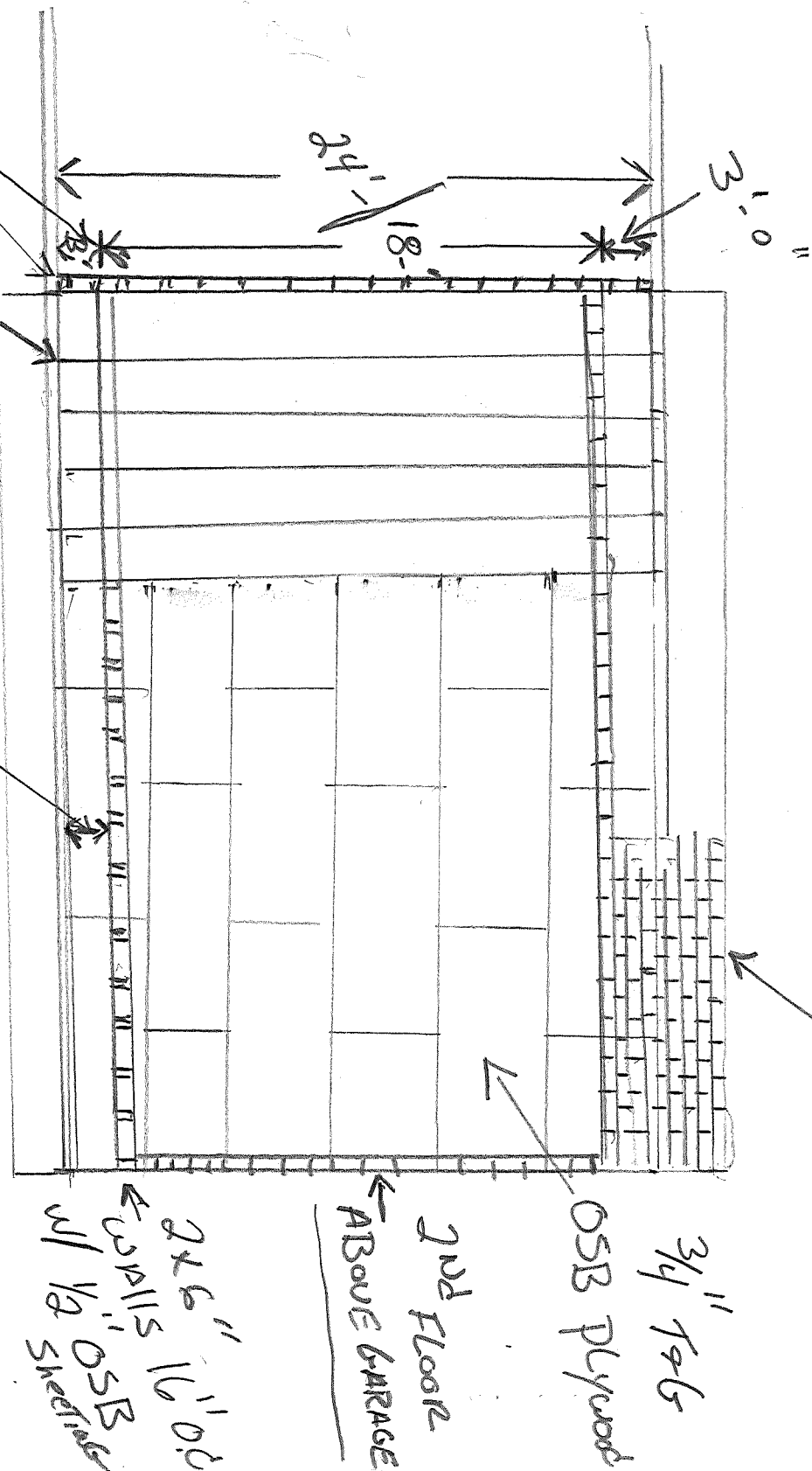


1st Floor  
PLAN

# NEW EDITION FOR STORAGE

21'x18'

EXISTING OVER  
HAND TO REMAIN



2x6" 16" O.C  
FIRE WALL w/  
5/8 DRY WALL BOTH  
SIDES TO SPAN 24'-0"

ENGINEERED  
FLOOR JOIST  
w/  
5/8 DRY WALL BOTH  
SIDES TO SPAN 24'-0"

3'-0" BACK  
FROM EXISTING  
GARAGE WALLS

20" OVER HANG

2x6" 16" OC  
WALLS w/ 1/2" OSB  
SHEATHING

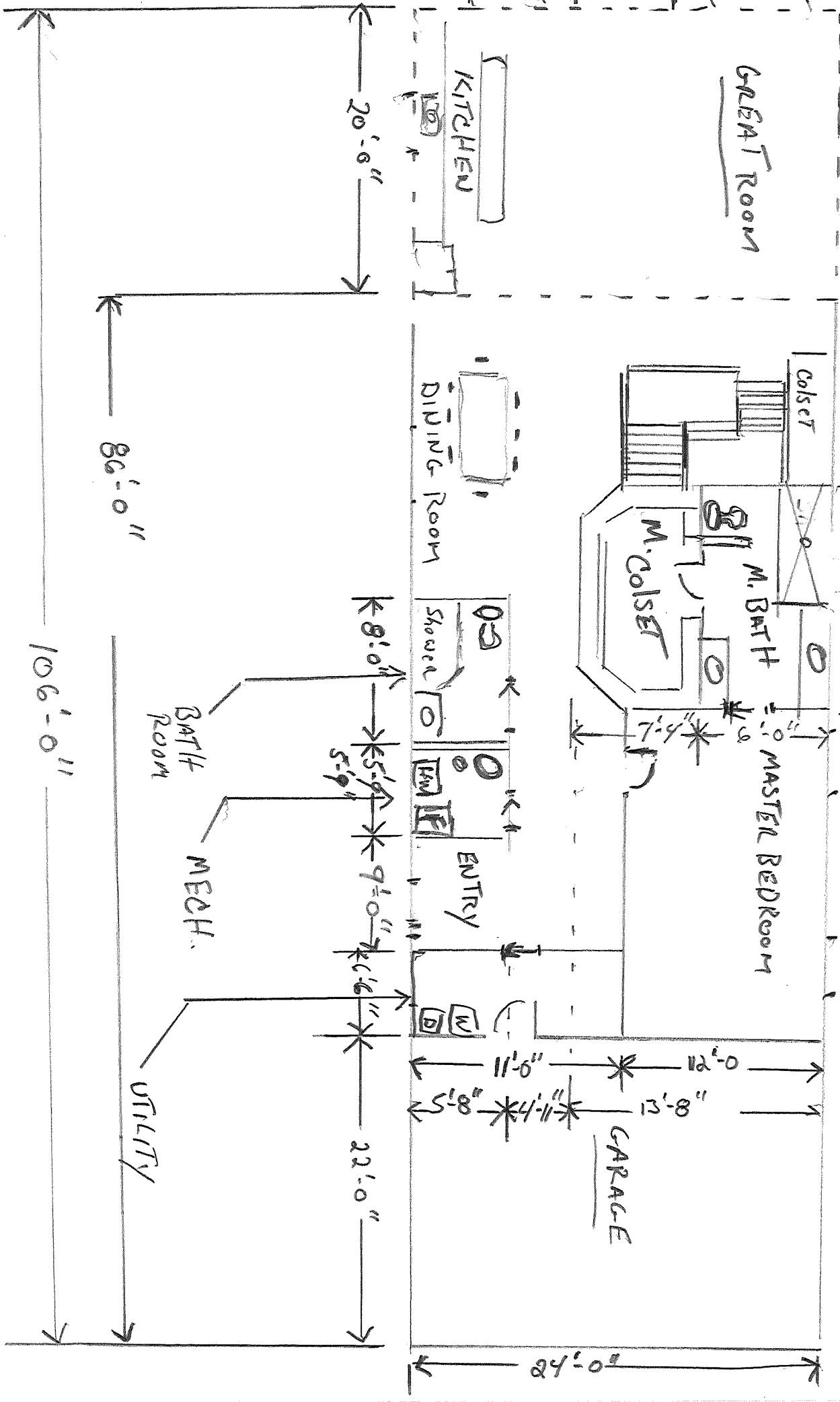
2nd Floor  
ABOVE GARAGE

OSB Plywood  
3/4" T&G

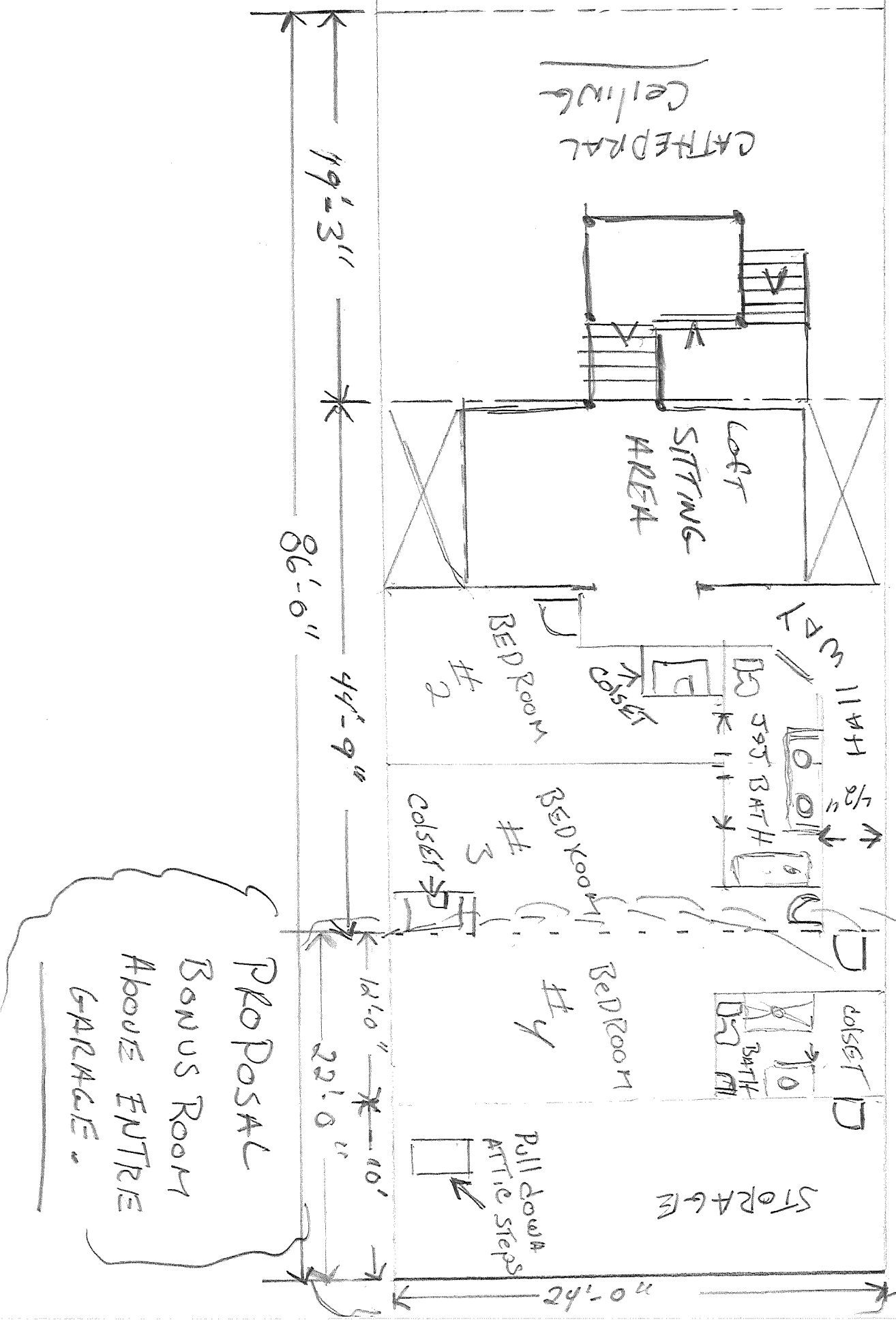
Item C.

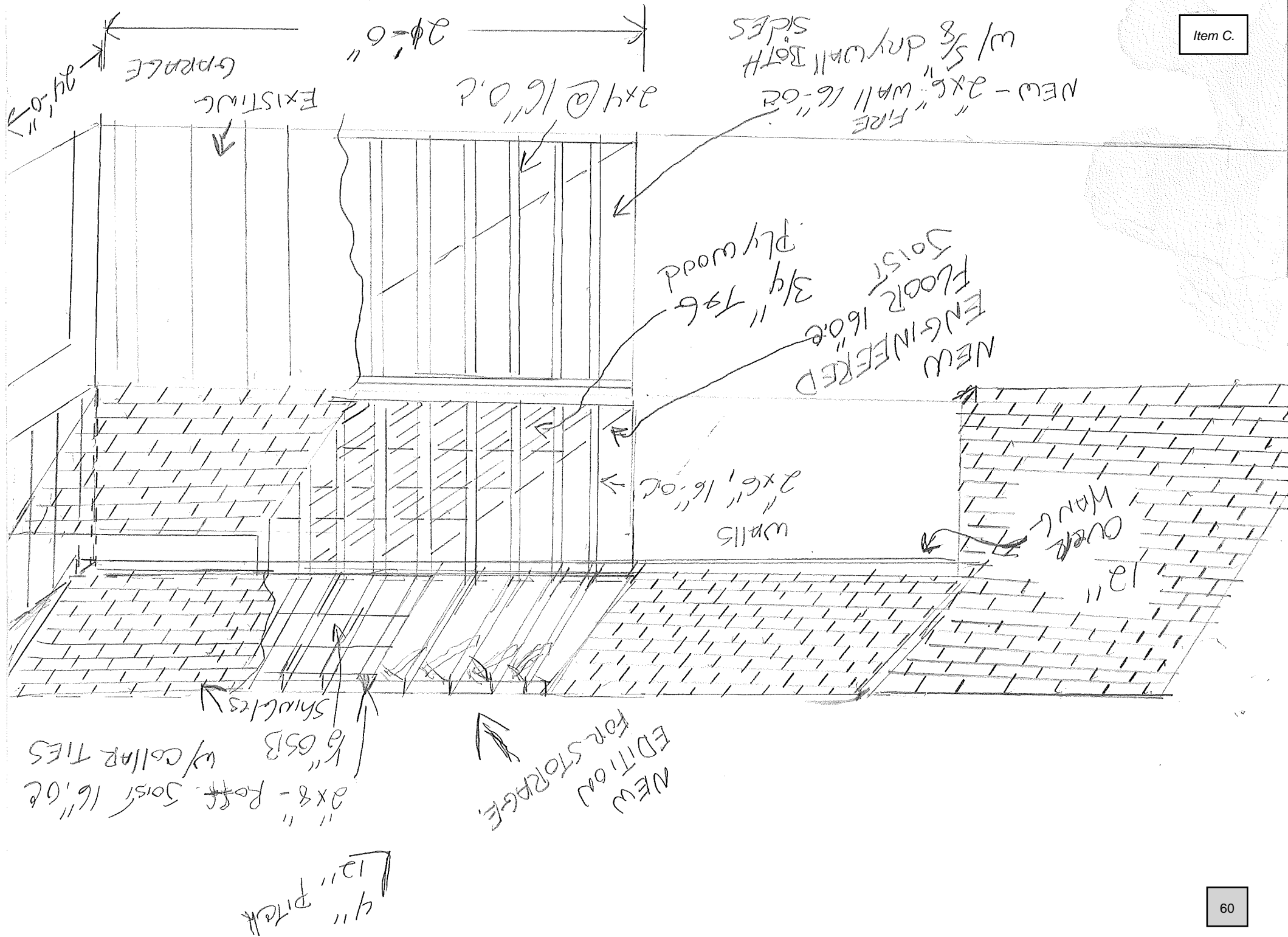
PROPOSAL  
EXTENSION  
20'x8'  
↓

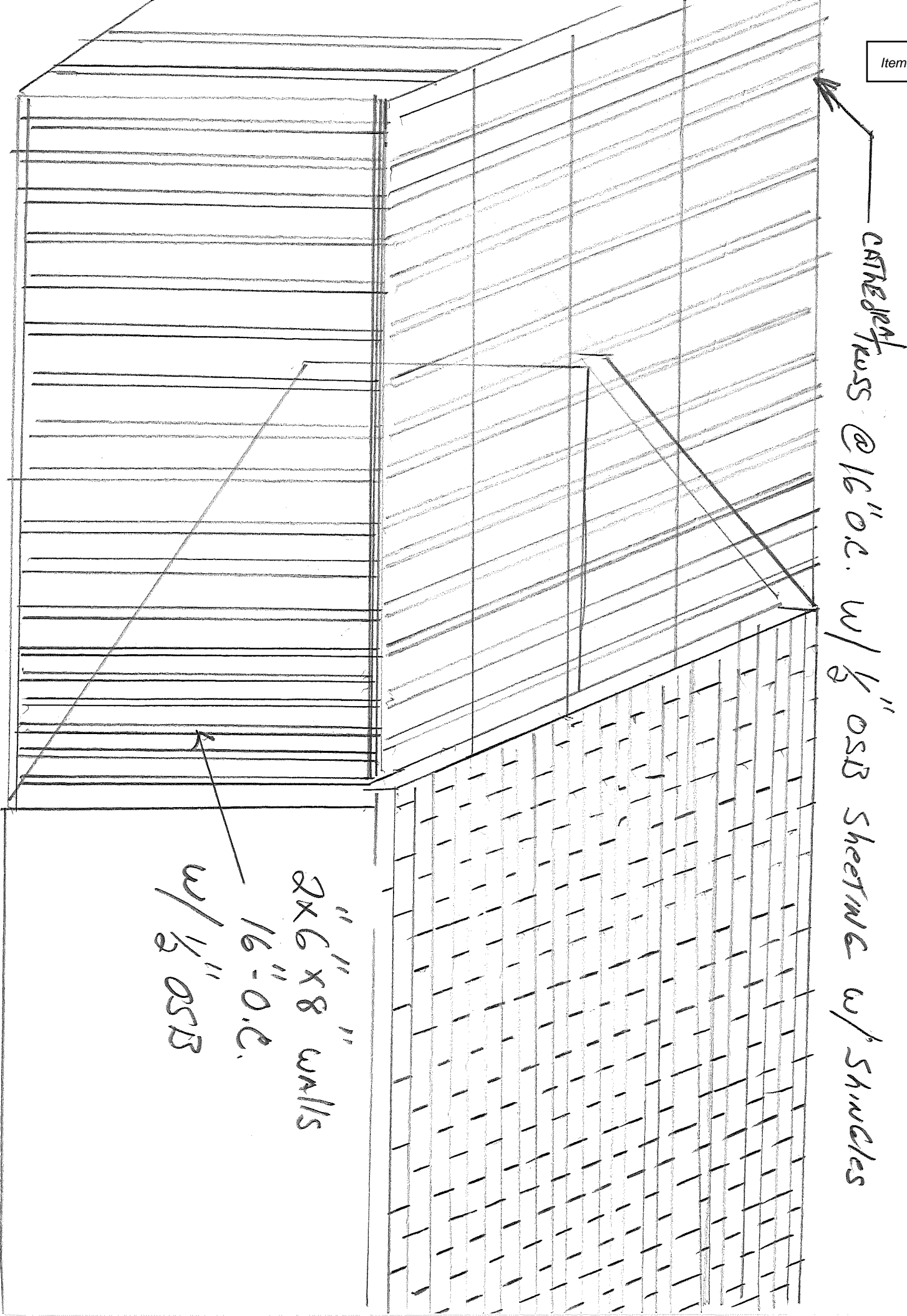
# MAIN LEVEL FLOOR PLAN

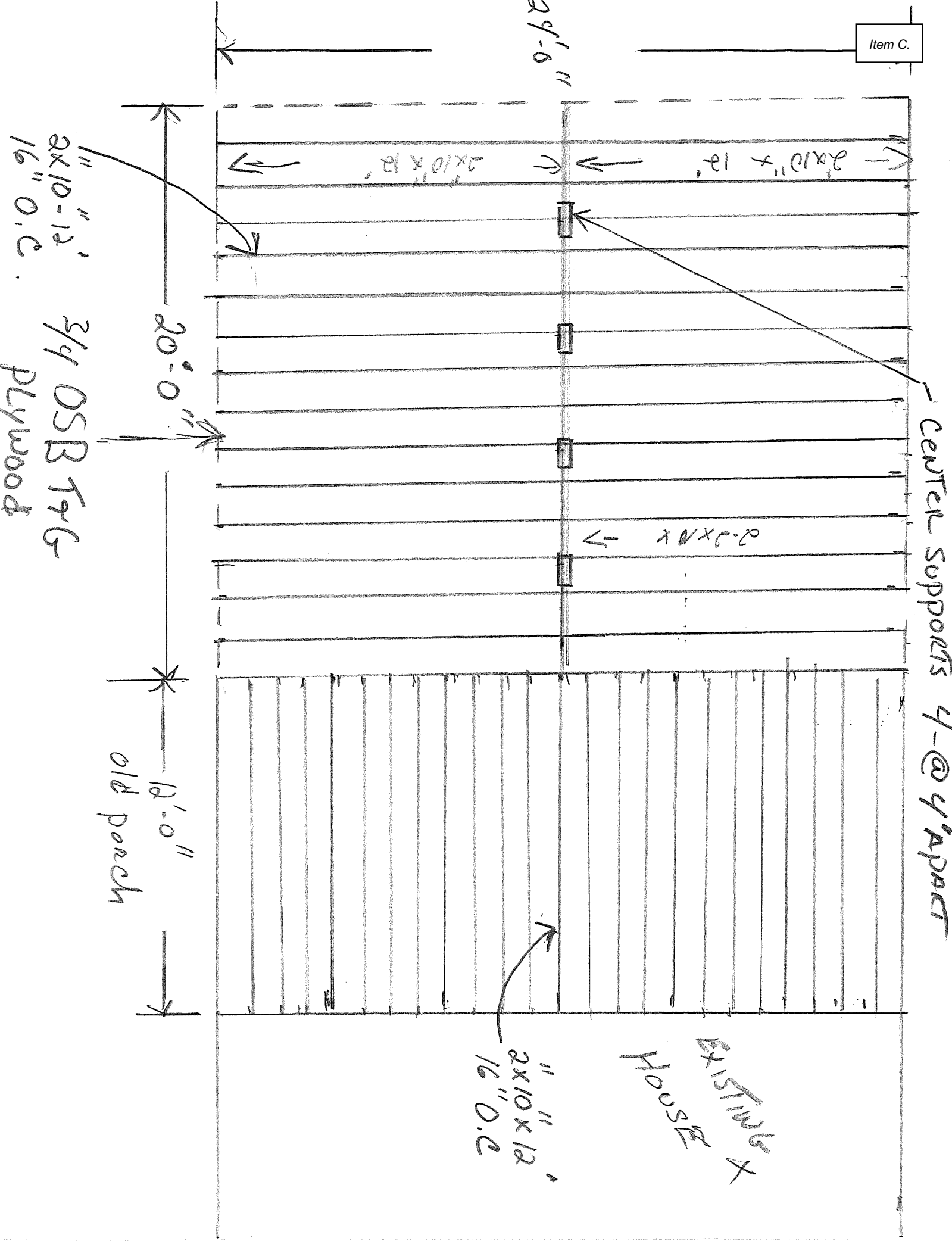


# UPPER LEVEL FLOOR PLAN









2x10-12'  
16" O.C.  
3/4 OSB T+G  
Plywood

12'-0"  
old porch

2x10-12'  
16" O.C.

EXISTING  
HOOPS

CENTER SUPPORTS 4-@4" APART

Fill Block  
w/ MASONRY  
MIX

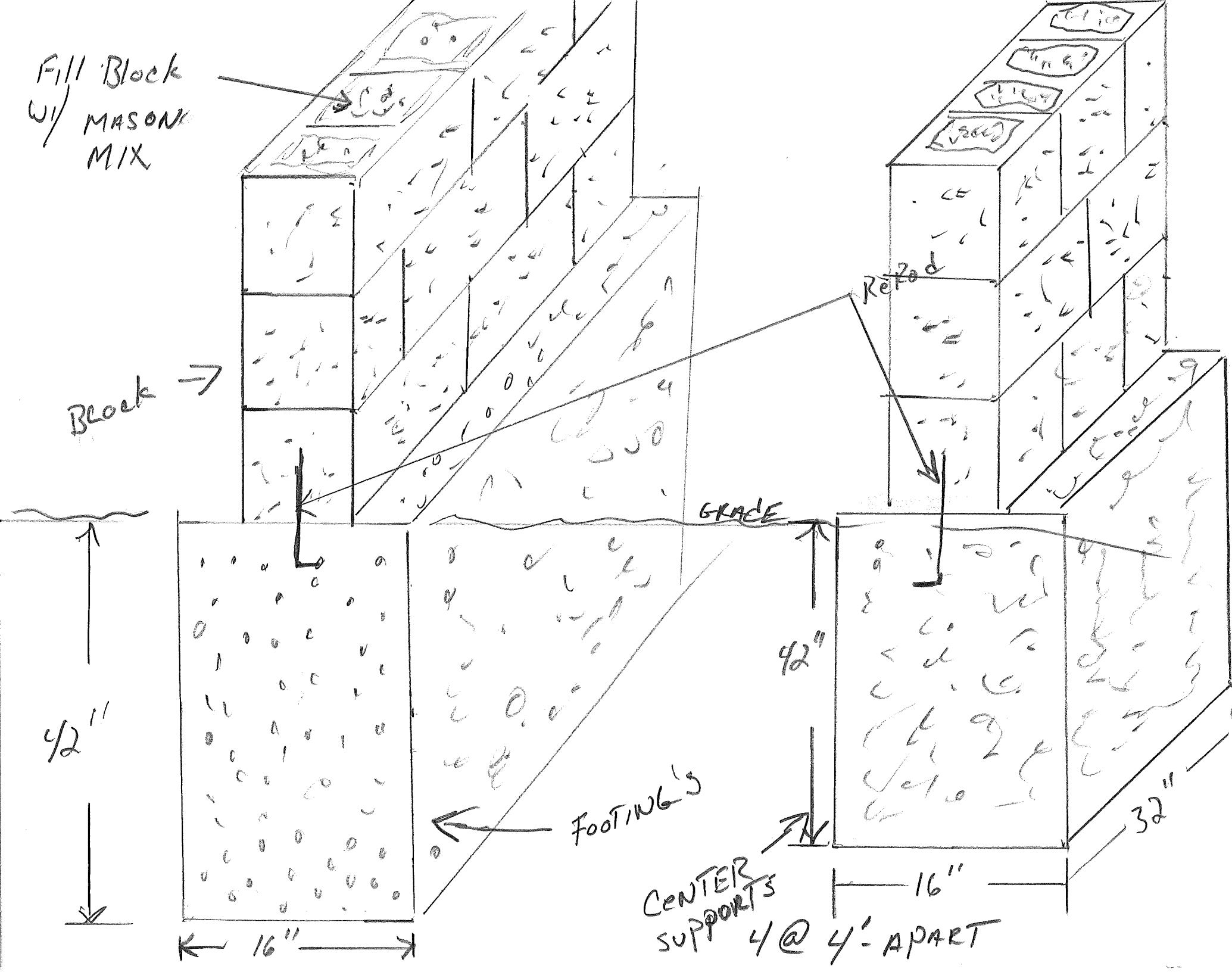
Block →

Rebar

GRADE

FOOTING'S

CENTER  
SUPPORTS  
4 @ 4'-APART



Rik Kowall, Supervisor  
 Anthony L. Noble, Clerk  
 Mike Roman, Treasurer



Trustees  
 Scott Ruggles  
 Liz Fessler Smith  
 Andrea C. Voorheis  
 Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

November 7, 2023

Sadeer Jamil  
 1767 Carriage Hill  
 Commerce Twp, MI 48382

RE: Addition at 10890 Hillway Dr

Based on the submitted plans, the proposed 2<sup>nd</sup> story and converted patio addition do not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

**Article 3.1.6 of the White Lake Township Clear Zoning Ordinance:** Requires a minimum side yard setback of 10 ft, and minimum lot width of 80 ft.

The existing lot is legal non-conforming with a lot width of 50.25 ft. The existing home has a side yard setback of 7.1 ft. Based on aerial imagery, an unpermitted and unapproved 2<sup>nd</sup> story addition and rear covered patio were constructed between 2012 and 2014 by the former property owner. The unpermitted structures encroach the east side yard setback by 2.9 ft. The proposed work further expands this nonconformity. Additionally, the submitted building plans indicate a covered side entrance is proposed; however, the site plan does not reflect this. This proposed covered area appears to encroach the east side yard setback line. If this structure is proposed to be added, the site plan would need to be updated to show the proposed covered area and side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the December 14<sup>th</sup> Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than November 14<sup>th</sup> at 4:30 PM. ***The certified boundary and location survey must show all proposed structures.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official  
 White Lake Township



# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** December 14, 2023

---

**Agenda item:** 8c

**Appeal Date:** December 14, 2023

**Applicant:** Sadeer "Sid" Jamil

**Address:** 1767 Carriage Hill  
Commerce, MI 48382

**Zoning:** R1-D Single Family Residential

**Location:** 10890 Hillway Drive  
White Lake, MI 48386

## **Property Description**

The 0.37-acre (16,204 square feet) parcel identified as 10890 Hillway Drive is located on Sugden Lake and zoned R1-D (Single Family Residential).

## **Applicant's Proposal**

Sadeer "Sid" Jamil, the Applicant, is requesting a post-construction variance to alter a nonconforming building and increase the cubic content of a nonconforming building by completing first-floor and second-floor additions.

## **Planner's Report**

Currently the existing house is nonconforming to setbacks; based on the submitted survey, the building is located 7.1 feet from the west side lot line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 29.75-foot deficiency in lot width; the minimum lot width requirement is 80 feet in the R1-D zoning district.

Sometime between 2012 and 2014, the previous property owner constructed an unapproved/unpermitted second-story addition and rear covered patio. The unpermitted work did not conform to the required setback from the west property line. Per the submitted plans, the rear covered patio is proposed to be converted to 288 square feet of living space. Currently, the southwest corner of the covered patio is located 7.3 feet from the west side lot line, encroaching 2.7 feet into the required setback. The second story addition would be 508 square feet in size and encroach approximately 2.8 feet into the west side yard setback.

The submitted architectural plans show a proposed covered porch extending approximately four-six feet (extent of projection not dimensioned/labeled on the plans) off the west side of the building. Section 7.27.vii of the Zoning Ordinance prohibits the Zoning Board of Appeals from granting a variance to permit a setback of less than five feet from a side lot line to ensure access for fire equipment and other emergency vehicles. If the Board decides to approve the request, a condition must be revising the architectural plans to eliminate the proposed covered porch.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$32,240), the maximum extent of improvements cannot exceed \$16,120. The Applicant did not provide a proposed value of work. For reference, the August 2023 Building Valuation Data published by the International Code Council estimates cost of single-family residential construction at \$165.67 per square foot for living areas. A staff estimate for the value of improvement to the nonconforming portion of the building is approximately \$40,000. A variance to exceed the allowed value of improvements by 248% is required.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$16,120)	248%	\$23,880 over allowed improvements
3	Article 3.1.6.E	Minimum lot width	80 feet	29.75 feet	50.25 feet

Similar to a pre-construction variance request, for a post-construction variance request the ZBA may approve, approve with conditions, or deny the variance. If the variance is denied, the unapproved/unpermitted additions should be required to be removed from the building.

#### **Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Sadeer Jamil from Articles 7.23.A and 7.28.A of the Zoning Ordinance for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, in order to complete additions that would encroach 3 feet into the required west side yard setback and exceed the allowed value of improvements to a nonconforming structure by 248%. A 29.75-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The Applicant shall resubmit architectural plans showing elimination of the proposed covered porch from the west side of the house.
- No mechanical units, including HVAC system or generator, shall be placed in the front yard or closer than five (5) feet to any side yard lot line or rear yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Division.
- An as-built survey shall be required to verify the approved setbacks.

**Denial:** I move to deny the variances requested by Sadeer Jamil for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Sadeer Jamil *to a date certain or other triggering mechanism* for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, to consider comments stated during this public hearing.

**Attachments:**

1. Variance application dated November 14, 2023.
2. Survey dated November 3, 2023.
3. Architectural plans dated September 15, 2023 (revision date November 13, 2023).
4. Letter of denial from the Building Official dated November 7, 2023.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
  - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

**WHITE LAKE TOWNSHIP  
ZONING BOARD OF APPEALS  
DECEMBER 14, 2023**

Item C.

**CALL TO ORDER**

Chairperson Spencer called the meeting to order 7:01 P.M. She led the Pledge Allegiance.

Roll was called:

**ROLL CALL**

**Present:**

Jo Spencer, Chairperson

Clif Seiber

Kathleen Aseltyne

Debby Dehart, Planning Commission Liaison

Niklaus Schillack, Vice Chairperson

**Absent:**

Mike Powell, Board Liaison

**Others:**

Justin Quagliata, Staff Planner

Hannah Kennedy-Galley, Recording Secretary

**APPROVAL OF AGENDA**

**MOTION by Member Schillack, seconded by Member Aseltyne to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).**

**CALL TO THE PUBLIC**

None.

**APPROVAL OF MINUTES**

A. September 28, 2023

Member Schillack wanted to make an edit on Page 2, Paragraph 2 to add to “the benefit of the applicant.”

**MOTION by Member Schillack, supported by Member Seiber to approve the minutes of September 28, 2023 as amended. The motion carried with a voice vote: (5 yes votes).**

**OLD BUSINESS**

None.

**NEW BUSINESS**

A. Applicant: Leonard Mydini  
4780 Dixie Hwy.

WHITE LAKE TOWNSHIP  
 ZONING BOARD OF APPEALS  
 DECEMBER 14, 2023

Waterford, MI 48329

Location: **8317 Highland Road**

White Lake, MI 48386 identified as 12-13-455-021

Request: The applicant requests to install a wall sign on the side elevation of the building, requiring a variance from Article 5.9.J.ii.b, Wall Signs.

Chairperson Spencer noted for the record 11 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata gave a brief report.

Member Dehart asked staff if there was a current sign on the north side of the building. Staff Planner Quagliata said no.

Scott David, 2331 Oakdale, was present to speak on behalf of the applicant. The building was existing and had received fascia improvements. The owner wanted signage at the entrance of the building. Only one wall sign was being requested.

Member Schillack asked the applicant why the sign was proposed to be in this location. Mr. David said the proposed sign had proximity to the road.

Chairperson Spencer opened the public hearing at 7:11 P.M. Seeing no public comment, she closed the public hearing at 7:11 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

- Member Seiber said the location of the building presented a practical difficulty, in addition to the fact the building was located close to Highland Road.

B. Unique Situation

- Member Dehart said there was a unique situation because the entrance to the building and the parking was to the west.
- Member Schillack added there was a unique situation because the building was nonconforming.

C. Not Self-Created

- The applicant did not build the building.

D. Substantial Justice

- Chairperson Spencer said the sign being on the Highland Road side would help traveler's see the building and the parking lot.

- Member Schillack said if an individual attempted to make a turn to see the building, it could be dangerous.

E. Minimum Variance Necessary

- Chairperson Spencer said she saw the minimum variance necessary.
- Member Schillack added conditioning approval on no additional signage further ensured the minimum variance necessary.

**Member Seiber MOVED approve the variance requested by Leonard Mydini from Article 5.9.J.ii.b of the Zoning Ordinance for Parcel Number 12-13-455-021, identified as 8317 Highland Road, in order to install a 55.4 square foot wall sign on the west side elevation of the building. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **No additional signage shall be permitted on the building.**
- **Any future modification to signage on the building, except for eliminating signage, shall require approval of the Zoning Board of Appeals**

**Member Schillack supported, and the motion carried with a roll call vote: (5 yes votes) (Seiber/yes, Schillack/yes, Spencer/yes, Dehart/yes, Aseltyne/yes)**

B. Applicant: Jade Robb  
 10280 Lakeside Drive  
 White Lake, MI 48386

Location: **Parcel Number 12-22-428-013**

Request: The applicant requests to construct an accessory building (garage), requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Minimum Lot Area, and Minimum Lot Width.

Chairperson Spencer noted for the record 27 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata gave a brief report.

Member Schillack asked staff if the property was serviced by well and septic. Staff Planner Quagliata confirmed. The well and septic locations were not labeled on the survey.

Jade Robb, 10280 Lakeside Drive, was present to speak on her case. The property was her late fathers, and she was finishing the project. The intention was to finish the garage to match the house. The existing garage which had been recently demolished was small, and the existing footings would be used. The septic was to the left of the garage. The lot was tricky and small, and most of the

garages on the street sat close to the road. She was aimable to adjusting the overhang on the garage, and the dormer could be adjusted as well. The upstairs would be used for storage.

Member Schillack commented he did not know where the septic and well were located. He asked the applicant why the garage was moved toward the road. Ms. Robb said the choice was made due to a large elevation change in the property. She added the well was behind the house, between the house and the shed.

Member Seiber asked the applicant if the concrete slab would be removed. Ms. Robb said the slab was in poor shape and most likely needed to be removed.

Member Seiber asked the applicant if the garage could be moved over six inches to keep the overhang on the garage outside of the five-foot side yard setback. Ms. Robb said the goal was to save some money by saving the existing footing. She said she wanted to keep the existing wall and create a six-inch overhang.

Member Seiber asked the applicant if the garage were moved to meet the front yard setback, would it suffice as an alternate location. Ms. Robb said the issue was the elevation change. She said it was not a favorable option, but it was a possible option.

Member Seiber said if the location of the septic field was properly identified on the survey, it would give a more accurate idea of the property limitations.

Member Aseltyne asked the applicant if she knew where the septic tank and field were located. Ms. Robb said the tank was on the west side of the property.

Member Aseltyne asked the applicant if she was willing to reduce the wall height. Ms. Robb said she was fine with adjusting the height.

Chairperson Spencer opened the public hearing at 7:35 P.M. Seeing no public comment, she closed the public hearing at 7:35 P.M.

Member Aseltyne asked staff if the survey was valid without the septic and well identified. Staff Planner Quagliata said if the Board was comfortable making a decision with the information provided, it could do so.

Member Schillack said the ZBA being provided a complete survey was a clear part of the application process. He struggled to make a decision without a complete survey.

The ZBA discussed what it would like for the applicant to address at a future meeting.

**Member Seiber MOVED to postpone the appeal of Jade Robb to the next available meeting date after a revised plan is submitted for Parcel Number 12-22-428-013, identified as 10280 Lakeside**



**Drive, to consider comments stated by staff, the Zoning Board of Appeals members, and the public during this hearing and to revise the plans.**

**Member Aseltyne supported and the motion carried with a roll call vote: (5 yes votes) (Seiber/yes, Aseltyne/yes, Dehart/yes, Spencer/yes, Schillack/yes).**

- C. Applicant: Sadeer “Sid” Jamil  
1767 Carriage Hill  
Commerce, MI 48382  
Location: **10890 Hillway Drive**  
White Lake, MI 48386 identified as 12-34-352-003  
Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct first and second-story additions, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is also required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record 28 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 1 letter was returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata gave a brief report.

Member Schillack asked staff if the property was serviced by a well and the public sanitary sewer. Staff Planner Quagliata confirmed.

Member Dehart asked staff who would determine if there were footings that could support the additions. Staff Planner Quagliata said it would be something the Building Official would do during plan review, and the Building Official may require a structural engineer’s report on the foundation.

Sid Jamil, 1767 Carriage Hill, was present to speak on his case. The west side entry/porch had been eliminated, and he would have it corrected on the plans. He bought the house from an estate, and the house needed to be gutted due to the previous property owner passing in the house and being unfound for months. There was mold in the house, and a new roof was needed. The house was too small for his family, and he was open to working with the Board. He said the majority of the properties on the street were deficient in lot width.

Member Seiber asked the applicant what was the depth of the covered porch overhang, as it was not dimensioned on the plan. Mr. Jamil said he was not sure, and would have the architect dimension it on revised plans.

Chairperson Spencer opened the public hearing at 8:02 P.M.

Nancy Geer, 10891 Hillway, spoke against the applicant's request due to the proposed construction impacting her views.

Staff Planner Quagliata said the Township did not have a view ordinance.

Craig Matthie, 10882 Hillway, spoke in favor of the improvements being made to the property.

Chairperson Spencer closed the public hearing at 8:09 P.M.

Mrs. Jamil, applicant, said trees were removed on the west side of the property. A total of four trees were removed to improve the neighbor's views. She added the second story would not be excessively tall and should not impact the neighbor's views.

Member Aseltyne said having a large family and wanting more space was a self-created problem.

Member Schillack added the decisions made by the Board had to be based on the property itself.

Staff Planner Quagliata said he assumed the door on the side of the house would remain, and the overhang would be removed. He clarified the Zoning Ordinance contained maximum building height standards, and the maximum building height allowed in the R1-D zoning district was 25 feet. The only case an aggrieved party may have relative to building height would be in regard to the portion of the proposed second story encroaching three feet into the side yard setback.

The ZBA discussed the variance requests being of post-construction nature due to previous owner's unpermitted second story and rear covered porch.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

- Member Seiber said the width of the lot was well under the 80 feet required for the zoning classification, and the existing house width was minimal.

B. Unique Situation

- Member Dehart said the lots were platted years ago and did not meet today's width standards for the zoning district.

C. Not Self-Created

- The applicant did not build the house or create the lot width.
- Member Schillack said technically the previous property owner's actions created a self-created problem.

D. Substantial Justice

- Member Schillack said the proposed house would be in line with the surrounding neighbors.

E. Minimum Variance Necessary

- Member Dehart said by removing the proposed side covered porch from their plans, the applicants were staying within the footprint of the existing house.
- Member Schillack said the building height the applicant requested was compliant with the Zoning Ordinance.

**Member Seiber MOVED to approve the variances requested by Sadeer Jamil from Articles 7.23.A and 7.28.A of the Zoning Ordinance for Parcel Number 12-34-352-003, identified as 10890 Hillway Drive, in order to complete additions that would encroach 3 feet into the required west side yard setback and exceed the allowed value of improvements to a nonconforming structure by 248%. A 29.75-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **The Applicant shall modify architectural plans showing elimination of the proposed covered porch from the west side of the house and dimension the roof overhangs.**
- **No mechanical units, including HVAC system or generator, shall be placed in the front yard or closer than five (5) feet to any side yard lot line or rear yard lot line.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Division.**
- **An as-built survey shall be required to verify the approved setbacks**
- **In no event shall the projection of any roof overhang be closer than five feet to the side property lines.**
- **The Board recommends the Building Official require an engineer certify the foundation under the existing rear covered porch.**

**Member Dehart supported, and the motion carried with a roll call vote: (5 yes votes) (Seiber/yes, Dehart/yes, Aseityne/yes, Spencer/yes, Schillack/yes).**

- D. Applicant: Chase Middler  
 951 W. Clarkston Rd.  
 Lake Orion, MI 48362  
 Location: **Parcel Number 12-21-278-010**  
 Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, and Minimum Lot Width.

Chairperson Spencer noted for the record 14 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata gave a brief report.

Member Seiber asked staff if there were two front yard setbacks, would the lot have two rear yard setbacks. Staff Planner Quagliata said no. He stated when the lot was platted, the proposed house orientation would not have been allowed. He added while there was not an access management ordinance at the time the lot was platted, a permit for a driveway on Highland Road would not have been obtained. If someone had built on the lot back in the day, the east property line would have been a side yard, and the house orientation would have been adjusted.

Member Schillack asked staff if the property was on municipal water. Staff Planner Quagliata said the proposed house would be connected to municipal water and sewer.

Member Seiber asked the applicant if the covered deck was intended to be built. Dave Smith, on behalf of the applicant, said no. Member Seiber said the architectural plans and site plan showed a front covered porch, and the architectural plans showed a rear covered porch that was not shown on the site plan. Member Seiber said the site plan showed a rear deck. Mr. Smith said the porch would be open. A future deck would be put on the north side of the house.

Chairperson Spencer opened the public hearing at 8:52 P.M. Seeing no public comment, she closed the public hearing at 8:52 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
  - Member Seiber said the lot being on a corner created a practical difficulty, as well as the applicant's efforts to configure the proposed house to not exceed the front line on the house on Lake Lane and the house on Highland Road.
- B. Unique Situation
  - Member Schillack said the corner lot provided a unique situation.
- C. Not Self-Created
  - The applicant did not plat the lot.
- D. Substantial Justice
  - Member Schillack said the proposed house lined up with the surrounding houses, and the applicant would have what the neighbor's had.
- E. Minimum Variance Necessary
  - Member Schillack said he made the motion for the property receiving variances in 2019, and he felt this plan was better than the previous expired plan.

**Member Schillack move to approve the variances requested by Chase Middler from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-21-278-010 in order to construct a new house that would encroach 10 feet into the required front yard setback and 19.6 feet into the required rear yard setback. A 15.19-foot variance from the required lot width is also granted from Article 3.1.5.E. This approval will have the following conditions:**

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Division.**
- **No mechanical units, including HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear yard lot line.**
- **The proposed deck shall be setback at least five feet from the east property line.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Division.**
- **An as-built survey shall be required to verify the approved setbacks and lot coverage.**
- **When submitting the building permit application, the plot plan and architectural plan shall be consistent.**

**Member Aseltyne supported, and the motion carried with a roll call vote: (5 yes votes) (Schillack/yes, Aseltyne/yes, Dehart/yes, Seiber/yes, Spencer/yes).**

**OTHER BUSINESS**

Staff Planner Quagliata stated beginning in January 2024, the ZBA will meet at 6:30 P.M. instead of 7:00 P.M. for regular meetings.

**NEXT MEETING DATE: January 25, 2024.**

**ADJOURNMENT**

**MOTION by Member Aseltyne, seconded by Member Schillack, to adjourn at 9:04 P.M. The motion carried with a voice vote: (5 yes votes).**

# WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Zoning Board of Appeals  
**FROM:** Justin Quagliata, Staff Planner  
**DATE:** April 25, 2024

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**Agenda item:** 8d

**Appeal Date:** April 25, 2024

**Applicant:** Eric Goins & Julie Rule-Goins

**Address:** 1032 Round Lake Road  
White Lake, MI 48386

**Zoning:** R1-D Single Family Residential

**Location:** 1032 Round Lake Road  
White Lake, MI 48386

### **Property Description**

The 0.21-acre (9,134 square feet) parcel identified as 1032 Round Lake Road is located on Mandon Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 2,564 square feet in size) utilizes a private well for potable water and the public sanitary sewer system for sanitation.

### **Applicant's Proposal**

Eric Goins & Julie Rule-Goins, the Applicants, are proposing to alter a nonconforming building and increase the cubic content of a nonconforming building by increasing the second-story roof height. The proposed roof setback from the north side lot line is 7 feet-9 inches.

### **Planner's Report**

Currently the existing house is nonconforming to setbacks; the building is located 5.9 feet from the north side property line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 2,866 square foot deficiency in lot area. In the R1-D zoning district the minimum lot area requirement is 12,000 square feet.

Article 7.28 of the Zoning Ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$101,230), the maximum extent of improvements cannot exceed \$50,615. The value of the proposed work is \$60,000. A variance to exceed to exceed the allowed value of improvements by 119% is requested.

The requested variances are listed in the following table.

<b>Variance #</b>	<b>Ordinance Section</b>	<b>Subject</b>	<b>Standard</b>	<b>Requested Variance</b>	<b>Result</b>
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming structure	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$50,615)	119%	\$9,385 over allowed improvements
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	2,866 square feet	9,134 square feet

**Zoning Board of Appeals Options:**

**Approval:** I move to approve the variances requested by Eric Goins & Julie Rule-Goins from Article 7.23.A and Article 7.28.A of the Zoning Ordinance for Parcel Number 12-35-255-013, identified as 1032 Round Lake Road, in order to increase the second-story roof height that would encroach 2 feet-3 inches feet into the required side yard setback from the north lot line and exceed the allowed value of improvements to a nonconforming structure by 119%. A 2,866 square foot variance from the required lot area is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
- The roof overhang shall be no closer than five feet to the north side lot line.

**Denial:** I move to deny the variances requested by Eric Goins & Julie Rule-Goins for Parcel Number 12-35-255-013, identified as 1032 Round Lake Road, due to the following reason(s):

**Postpone:** I move to postpone the appeal of Eric Goins & Julie Rule-Goins *to a date certain or other triggering mechanism* for Parcel Number 12-35-255-013, identified as 1032 Round Lake Road, to consider comments stated during this public hearing.

**Attachments:**

1. Variance application dated March 27, 2024.
2. Applicant's written statement dated March 27, 2024.
3. Certified boundary survey dated March 25, 2024 (revision date April 11, 2024).
4. Architectural plans dated March 27, 2024.
5. Letter of denial from the Building Official dated April 9, 2024.



### 7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
  - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE  
ZONING BOARD OF APPEALS APPLICATION

Community Development Department, 7525 Highland Road,  
White Lake, Michigan, 48383  
(248) 698-3300 x5

APPLICANT'S NAME: Eric + Julie Rule-Goins PHONE: 248 472 9838 <sup>9838</sup>

ADDRESS: 1032 Round Lk. Ad., White Lk. MI. 48386

APPLICANT'S EMAIL ADDRESS: esgoins@yahoo.com, michiganrules1@gmail.com

APPLICANT'S INTEREST IN PROPERTY:  OWNER  BUILDER  OTHER: \_\_\_\_\_

ADDRESS OF AFFECTED PROPERTY: 1032 Round Lk. Rd. PARCEL # 12-35-255-013

CURRENT ZONING: SFR PARCEL SIZE: 136.77' x 80.00' x 160.66' x 35.06'

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: \_\_\_\_\_

VALUE OF IMPROVEMENT: \$ 600,000<sup>est</sup> SEV OF EXISITING STRUCTURE: \$ 153,330<sup>410</sup>

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 3-27-24  
3-27-24

March 27, 2024

Eric & Julie Goins  
1032 Round Lake Rd.  
White Lake, MI. 48386

To whom it may concern,

Due to being within 10' of our North property line, we are asking for a variance to allow us permission to raise the height of an existing ridge beam to straighten an old, sagging ridge line, increase the roof pitch, and tie it in better visually with the new East facing reverse gable on our second-floor addition.

Regards,

Eric & Julie Goins

**CERTIFIED BOUNDARY SURVEY**

LEGAL DESCRIPTION OF PARCEL PER WARRANTY DEED RECORDED L:24321 P:064

LOT 15 AND LOT 16, EXCEPT A TRIANGULAR PART DESCRIBED AS BEGINNING AT THE SOUTHEAST CORNER OF LOT 16; THENCE NORTH 89 DEGREES 26 MINUTES 00 SECONDS WEST 180 FEET; THENCE NORTH 32 DEGREES 59 MINUTES 00 SECONDS EAST, 44.31 FEET; THENCE SOUTH 75 DEGREES 58 MINUTES 15 SECONDS EAST, 160.66 FEET TO THE POINT OF BEGINNING OF HAMBLEY AND BOWLED OAK PARK SUBDIVISION, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN PLAT LIBER 15, PAGE 21, OAKLAND COUNTY RECORDS

PARCEL I.D. #12-35-255-013  
COMMONLY KNOWN AS: 1032 ROUND LAKE ROAD, WHITE LAKE, MI 48386

LEGAL DESCRIPTION OF PARCEL AS SURVEYED:

A PARCEL OF LAND BEING PART OF THE NORTHEAST QUARTER OF SECTION 35, TOWN 3 NORTH, RANGE 8 EAST, COUNTY OF OAKLAND, STATE OF MICHIGAN; CONSISTING OF ALL OF LOT 15 AND PART OF LOT 16 OF HAMBLEY AND BOWLES OAK PARK SUBDIVISION, AS RECORDED IN LIBER 15, PAGE 21, OAKLAND COUNTY RECORDS; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 35, THENCE SOUTH 88°07'29" WEST, ALONG THE 1/4 LINE OF SAID SECTION 1,374.23 FEET; THENCE NORTH 2°46'30" WEST, 33.00 FEET TO THE POINT OF INTERSECTION OF THE WEST LINE OF ROUND LAKE ROAD AND THE NORTH LINE OF CEDAR ISLAND ROAD; THENCE CONTINUING NORTH 2°46'30" WEST, ALONG SAID WEST LINE 543.69 FEET TO THE SOUTHEAST CORNER OF LOT 16 OF SAID SUBDIVISION, ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 79°18'41" WEST, 160.66 FEET; THENCE NORTH 27°41'39" EAST, 11.87 FEET; THENCE NORTH 19°48'30" EAST, 35.06 FEET TO THE NORTHWEST CORNER OF LOT 15 OF SAID SUBDIVISION; THENCE NORTH 87°13'30" EAST, ALONG THE NORTH LINE OF SAID LOT 15 136.77 FEET TO THE NORTHEAST CORNER OF SAID LOT 15; THENCE SOUTH 2°46'30" EAST, ALONG THE EAST LINE OF SAID LOT 15 ALSO BEING THE WEST LINE OF ROUND LAKE ROAD, 80.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 9,134 SFT OR 0.21 ACRES MORE OR LESS

**SECTION CORNER WITNESSES**

E 1/4 CORNER, SEC 35. T3N, R8E  
FND MON W/ REMON CAP  
PER LCRC L:17882 P:464

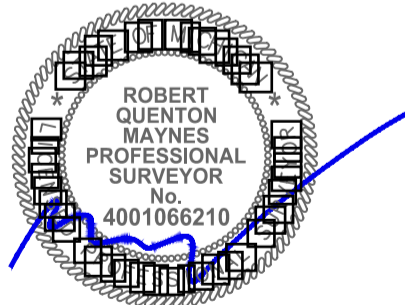
SOUTH 20.18' - CENTER OF CEDAR ISLAND ROAD  
N70°E 12.43' - SET NAIL S FACE 6' WILLOW  
S03°E 54.50' - NE CORNER OF TELEPHONE RISER  
S78°E 120.93' - SET NAIL N FACE OF 24" OAK

P.C.C. 026 (CENTER) SEC 35. T3N, R8E  
FND MON W/ REMON CAP  
PER LCRC L:39860 P:110

N81°W 42.47' - NAIL W/TAG S FACE U. POLE  
S41°W 100.97" - SE GARAGE CORNER HOUSE #1100  
S35°E 91.16' - NAIL W/TAG W FACE U. POLE  
S67°E 69.55' - NAIL W/TAG S FACE U. POLE

**ZONING REQUIREMENTS**

DISTRICT: R1-D  
LOT SIZE: 12,000 SFT (REQ)/9,134 SFT (EXIST)  
FRONT SETBACK: 30 FT (REQ)/35.7 FT (EXIST)  
REAR SETBACK: 30 FT (REQ)/34.0 FT (EXIST)  
SIDE SETBACK: 10 FT (REQ)/ 5.9 FT (EXIST)



**SURVEYOR'S CERTIFICATION**

I, ROBERT Q. MAYNES, P.S.#4001066210, HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE SUBJECT PROPERTIES ON 08-11-2023 AND THAT THE RELATIVE POSITION OF ALL FIELD OBSERVATIONS IS WITHIN TOLERANCES GENERALLY ACCEPTED BY CURRENT SURVEYING PRACTICES AND THAT I HAVE FULLY COMPLIED WITH THE REGULATIONS OF ACT 132, P.A. 1970, AS AMENDED.

ROBERT Q. MAYNES, P.S.#4001066210

REFERENCE: ROGER STECKER SURVEY, DATED 4-05-07 OF LOTS 17-19

**EXISTING PARCEL LEGAL DESCRIPTION**

CLIENT: ERIC GOINS  
1032 ROUND LAKE ROAD  
WHITE LAKE, MI 48386

**THE UMLOR GROUP**  
49287 WEST ROAD  
WIXOM, MICHIGAN 48393  
TEL. (248) 773-7656  
FAX. (866) 690-4307

DRAWN BY: RQM  
CHKD BY: BDR  
DATE: 03/25/2024  
SHT. NO.: 1 OF

REV PER TWP 4/11/2024

CERTIFIED BOUNDARY SURVEY



0 15 30  
1 inch = 30 feet

FND IRON ROD  
IN HANDHOLE AT  
NE CORNER LOT 1  
(HELD FOR LINE)

MANDON LAKE

PARCEL #12-35-255-012  
1026 ROUND LAKE RD

LOT 14

670' (C)  
668.97' (M)

CONC. 0.70' NORTH  
OF  $\ell$  AT CORNER

LAYOVER NEW ROOF, INCREASE  
FROM 4/12 TO 6/12

S89°26'E 138' (R)  
N87°13'30"E 136.77' (M)

5.9'

7'-9"

EX WALL

ROUND LAKE ROAD  
33 FT 1/2 WIDTH ROW

N23°09'E 34.6' (R)

N19°48'30"E 35.06' (M)

OWNER: JULIE RULE &  
ERIC GOINS  
PARCEL #12-35-255-013  
1032 ROUND LAKE RD

LOT 15

FND T-IRON  
1.30' N OF  $\ell$   
1.98' S OF  
LOT 15/16 LINE

N32°59'E (R) 11.70' (C)

-N27°41'39"E 11.87' (M)

PROPOSED 2nd FLOOR ADDITION

PROPOSED BALCONY

EX. 2nd floor

LOT 16

WALL ON  $\ell$ ±

N32°59'00"E (R)

N29°38'30"E (M) 44.31' (R&M)

S75°58'15"E (R)

N79°18'41"W (M) 160.66' (R&M)

S0°34'W (R) 80.00' (R&M)

S02°46'30"E (M) 80.00' (R&M)

POB

N89°26'00"W (R)

S87°13'30"W (M) 180.00' (R&M)

PARCEL #12-35-255-014  
1042 ROUND LAKE RD

LOT 17

S0°34'W (R) 537.00' (C)  
N02°46'30"W 543.69' (M)

FND NAIL & WASHER  
IRON #30103  
0.15' WEST

FND IRON ROD  
(HELD)

LOT 18

FND CAPPED  
IRON #30103  
0.15' SOUTH

FND CAPPED  
IRON #30103  
(HELD)

LEGEND

- @ SET IRON ROD W/CAP #66210
- (C) COMPUTED MEASUREMENT
- (R) RECORD MEASUREMENT
- (M) AS-SURVEYED MEASUREMENT
- EXISTING BUILDING
- CONCRETE PAVEMENT
- EXISTING FENCE
- REQUIRED SETBACK PER ORDINANCE

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE "AS-SURVEYED" AND  
BASED ON THE MICHIGAN STATE PLANE COORDINATE  
SYSTEM, SOUTH ZONE, INTERNATIONAL FOOT

P.C.C. 026 (CENTER)  
SEC 35. T3N, R8E

S0°34'W (R)  
N02°46'30"W (M)  
33.00' (R&M)

E 1/4 CORNER  
SEC 35. T3N, R8E

CEDAR ISLAND  
ROAD

S88°07'29"W 1374.23' (M)

SKETCH OF SUBJECT PROPERTY

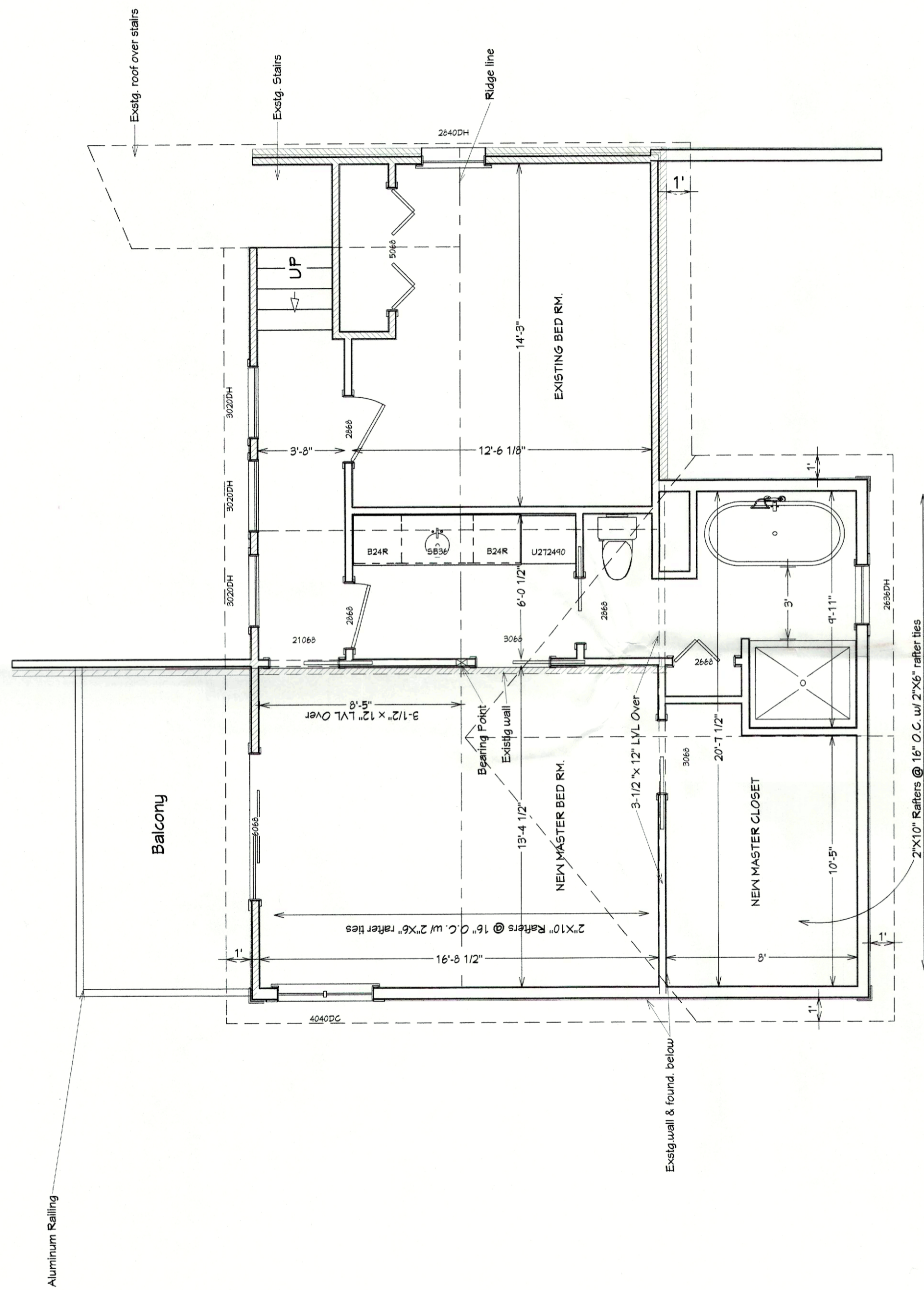
CLIENT: ERIC GOINS  
1032 ROUND LAKE ROAD  
WHITE LAKE, MI 48386

**THE UMLOR GROUP**  
49287 WEST ROAD  
WIXOM, MICHIGAN 48393  
TEL. (248) 773-7656  
FAX. (866) 690-4307

DRAWN BY: RQM  
CHKD BY: BDR  
DATE: 03/25/2024  
SHT. NO. 2 OF



REV PER TWP 4/11/2024



LIVING AREA  
782 sq ft

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Second Floor Plan**

PROJECT DESCRIPTION:  
Goins Residence Addition  
1032 Round Lake Rd.  
White Lake, MI. 48386

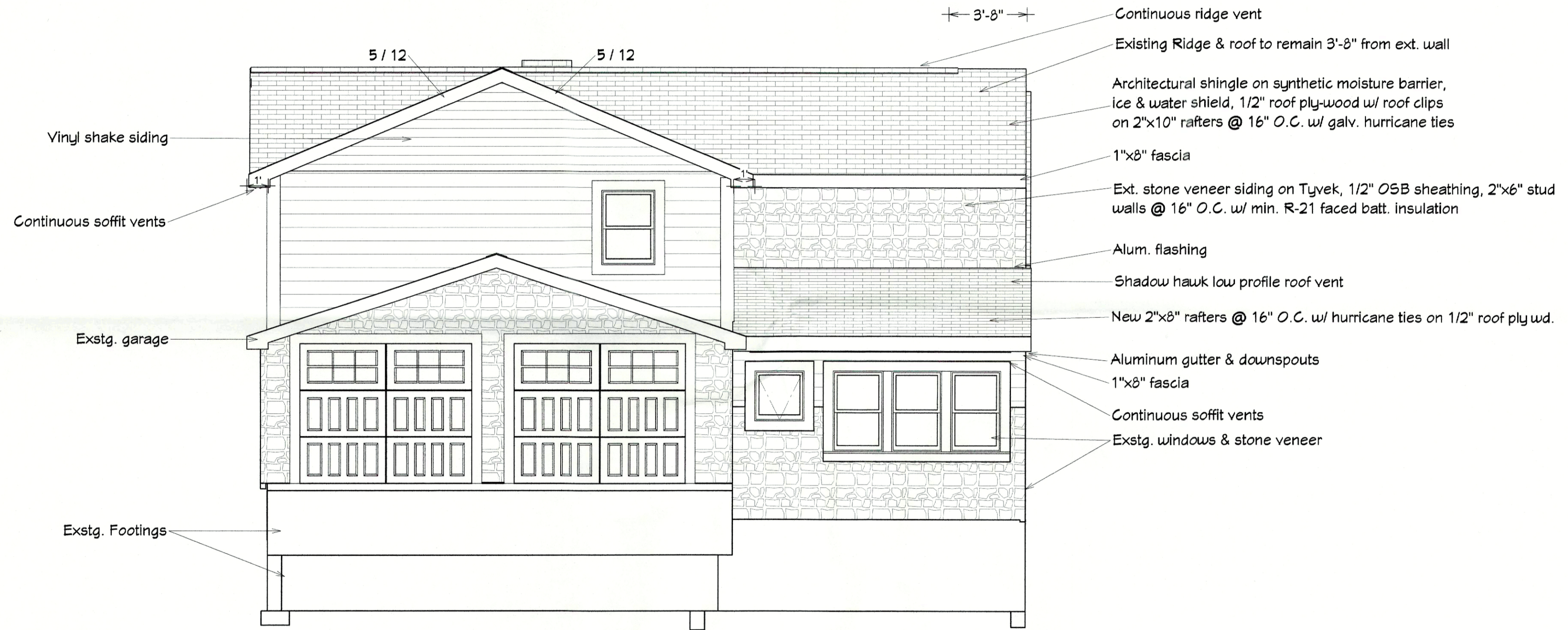
DRAWINGS PROVIDED BY:  
Eric Goins  
248-472-9838  
esgoins@yahoo.com

DATE:  
3/27/24

SCALE:

SHEET:

**A-1**



Elevation 9

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**East Elevation**

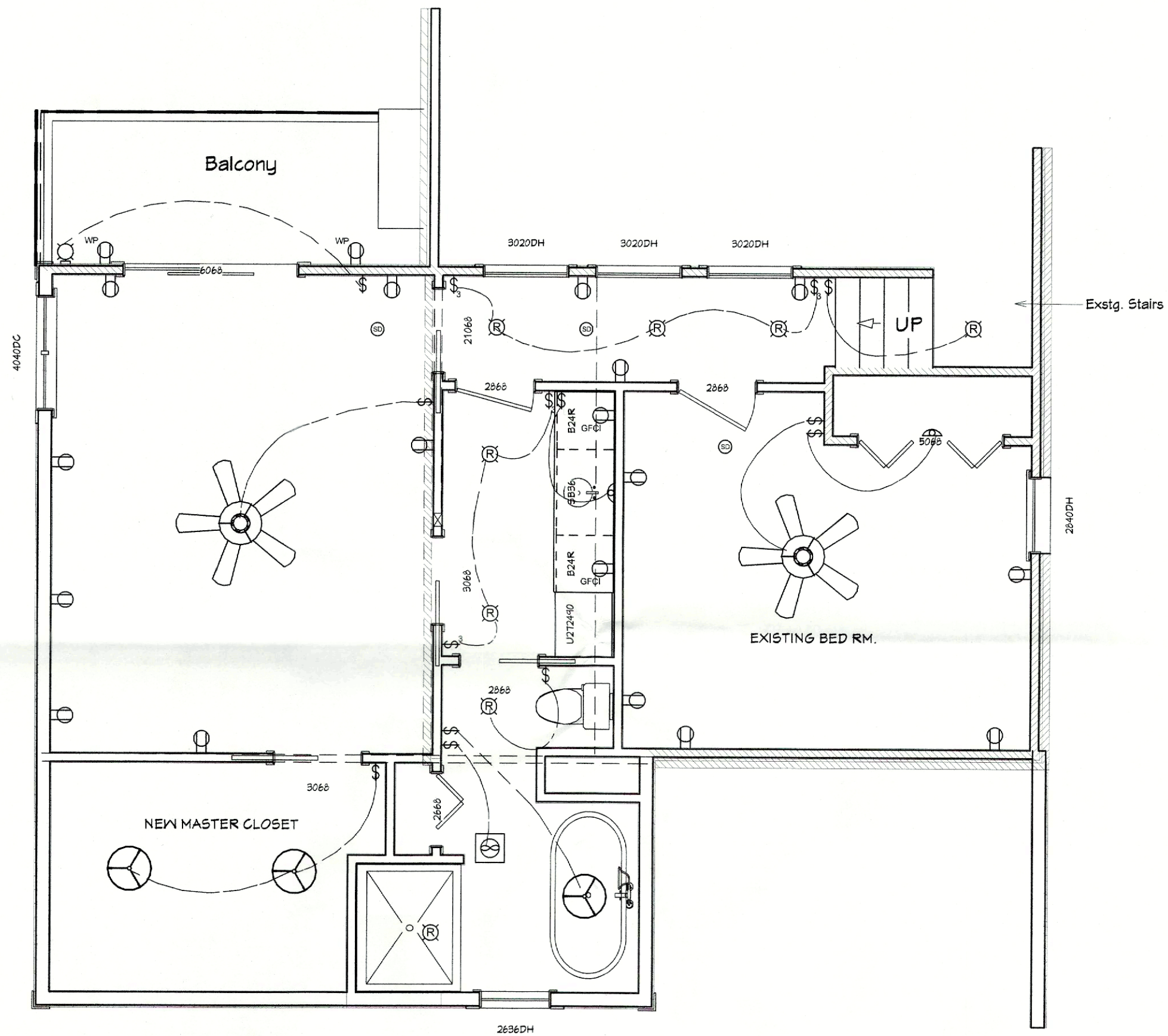
PROJECT DESCRIPTION:  
Goins Residence Addition  
1032 Round Lake Rd.  
White Lake, MI. 48386

DRAWINGS PROVIDED BY:  
Eric Goins  
248-472-9838  
esgoins@yahoo.com

DATE:  
3/27/24

SCALE:

SHEET:  
**A-1**



LIVING AREA  
782 sq ft

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Electrical Elevation**

PROJECT DESCRIPTION:  
**Goins Residence Addition  
1032 Round Lake Rd.  
White Lake, MI. 48386**

DRAWINGS PROVIDED BY:  
**Eric Goins  
248-472-9838  
esgoins@yahoo.com**

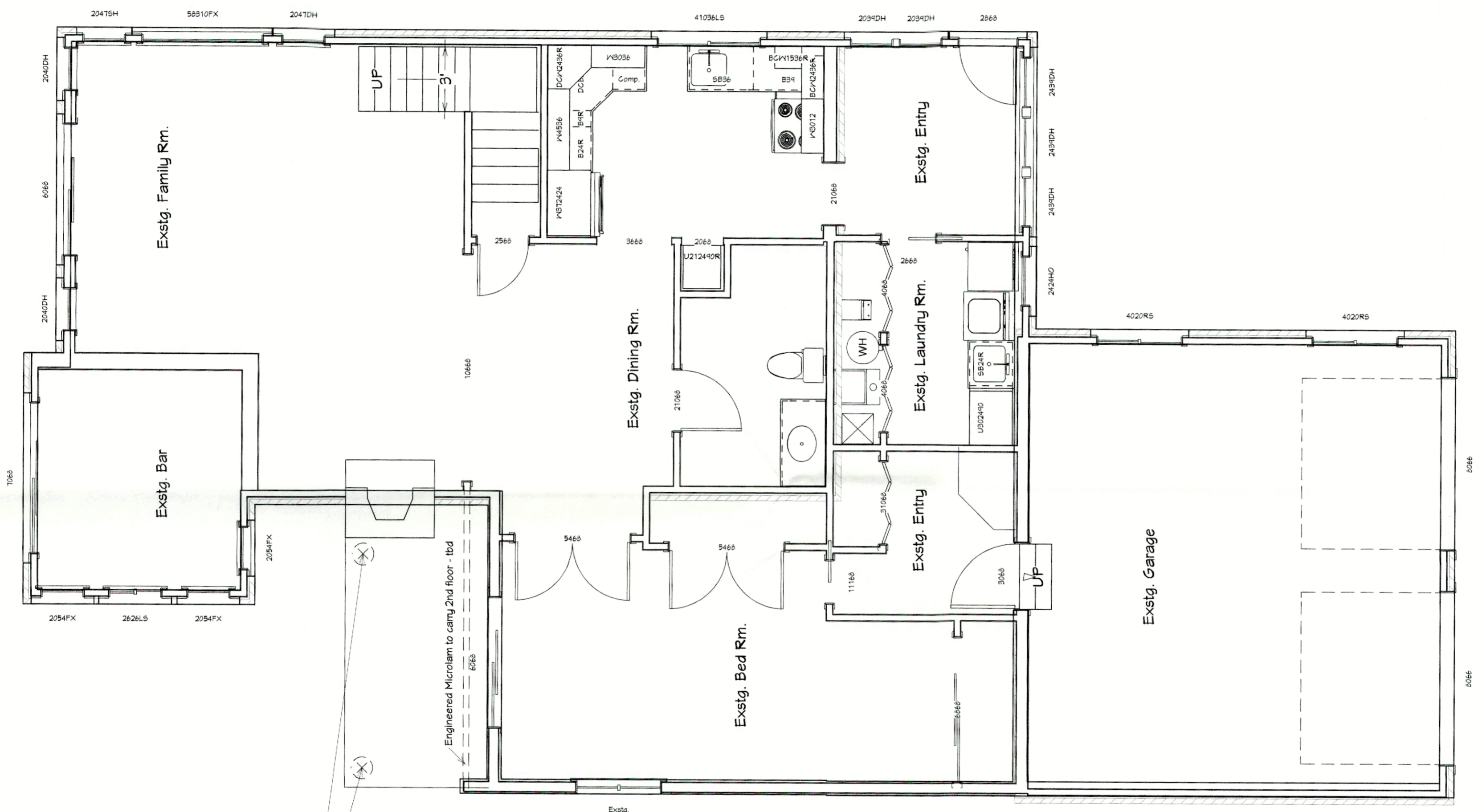
DATE:  
**3/27/24**

SCALE:

SHEET:

**A-1**





Two 6"x6" pressure trtd. posts  
w/ (3) 2"x10" header & 2"x8"  
floor joist @ 16" O.C.

**LIVING AREA**  
1782 sq ft

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**First Floor Plan**

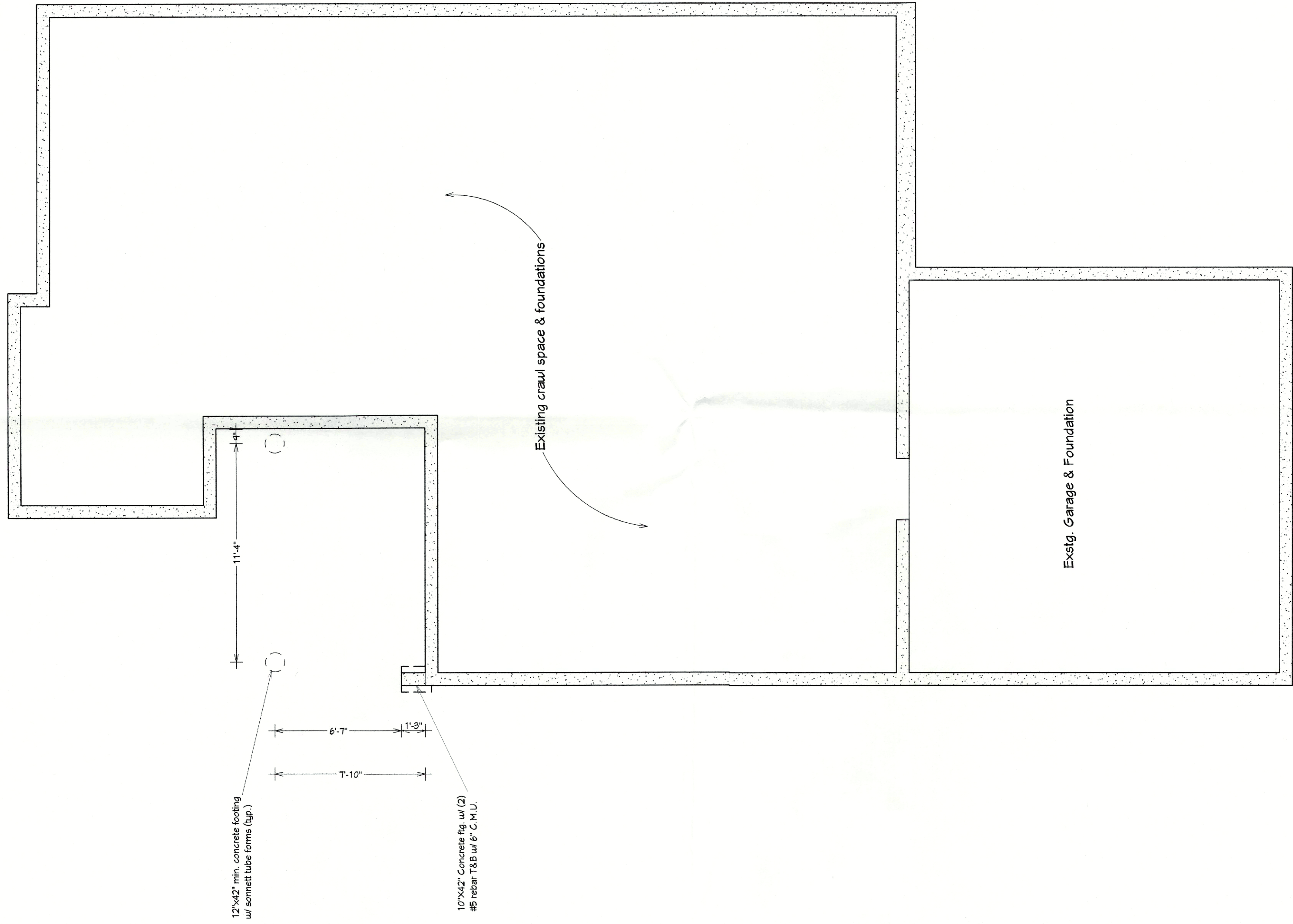
PROJECT DESCRIPTION:  
**Goins Residence Addition**  
1032 Round Lake Rd.  
White Lake, MI. 48386

DRAWINGS PROVIDED BY:  
**Eric Goins**  
248-472-9838  
esgoins@yahoo.com

DATE:  
3/27/24

SCALE:

SHEET:  
**A-1**



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**Foundation Plan**

PROJECT DESCRIPTION:  
**Goins Residence Addition  
 1032 Round Lake Rd.  
 White Lake, MI. 48386**

DRAWINGS PROVIDED BY:  
**Eric Goins  
 248-472-9838  
 esgoins@yahoo.com**

DATE:

3/27/24

SCALE:

SHEET:

**A-1**

Frame new roof w/ 2"x10" Rafters @ 16" O.C. & layover existing roof

Cont. ridge vent (Typ.)

Architectural shingles on synthetic moisture barrier, ice & water shield, 1/2" roof plywood w/ roof clips on 2"x10" rafters @ 16" oc. w/ hurricane ties

1"x6" Rakes

1"x8" Fascias

12" Overhangs w/ cont. vented soffits & insulation baffles (Typ.)

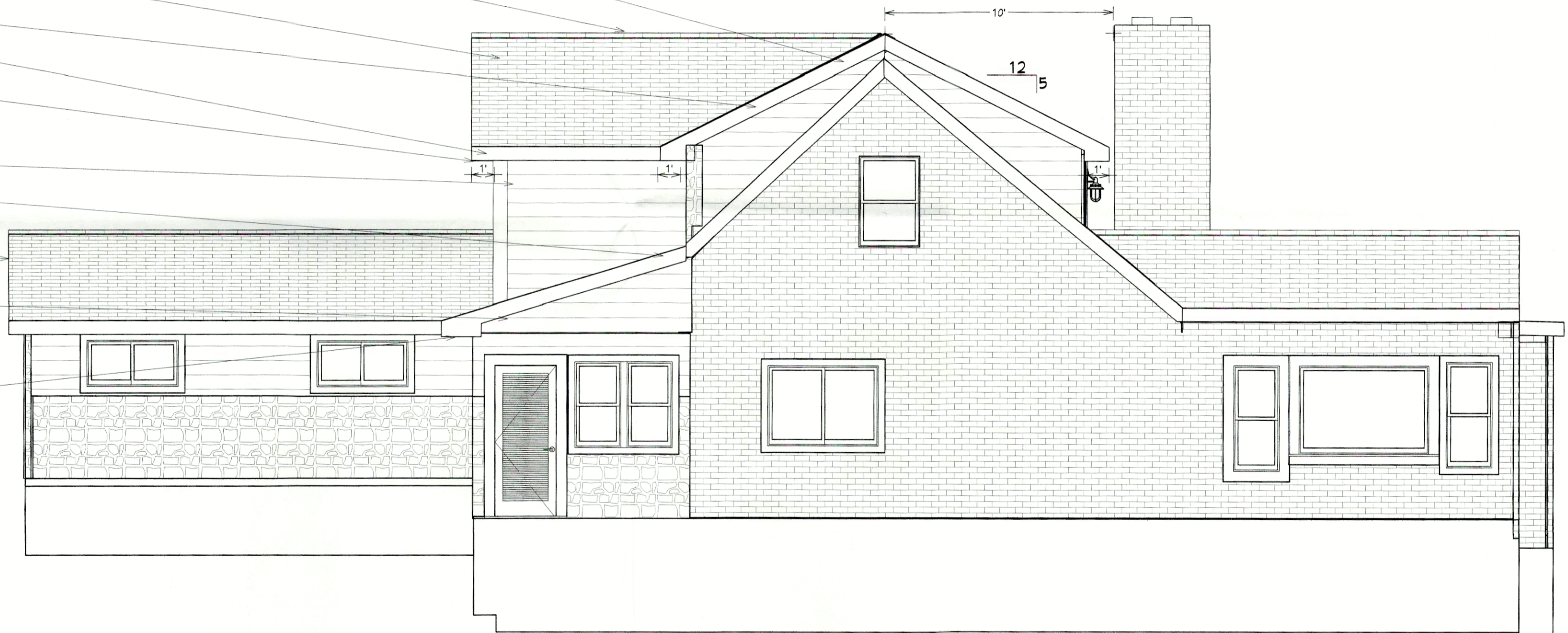
Lap siding on tyvek, 1/2" O.S.B. & 2"x6" studs @ 16" O.C. w/ R-21 faced insulation

ShadowHawk low profile roof vent

Exstg. garage

Reframe roof w/ 1/2" roof plywood w/ roof clips on 2"x8" rafters @ 16" o.c. & hurricane ties

16" O.H. w/ continuous soffit vent



Elevation 10

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

North Elevation

PROJECT DESCRIPTION:

Goins Residence Addition  
1032 Round Lake Rd.  
White Lake, MI. 48386

DRAWINGS PROVIDED BY:

Eric Goins  
248-472-9838  
esgoins@yahoo.com

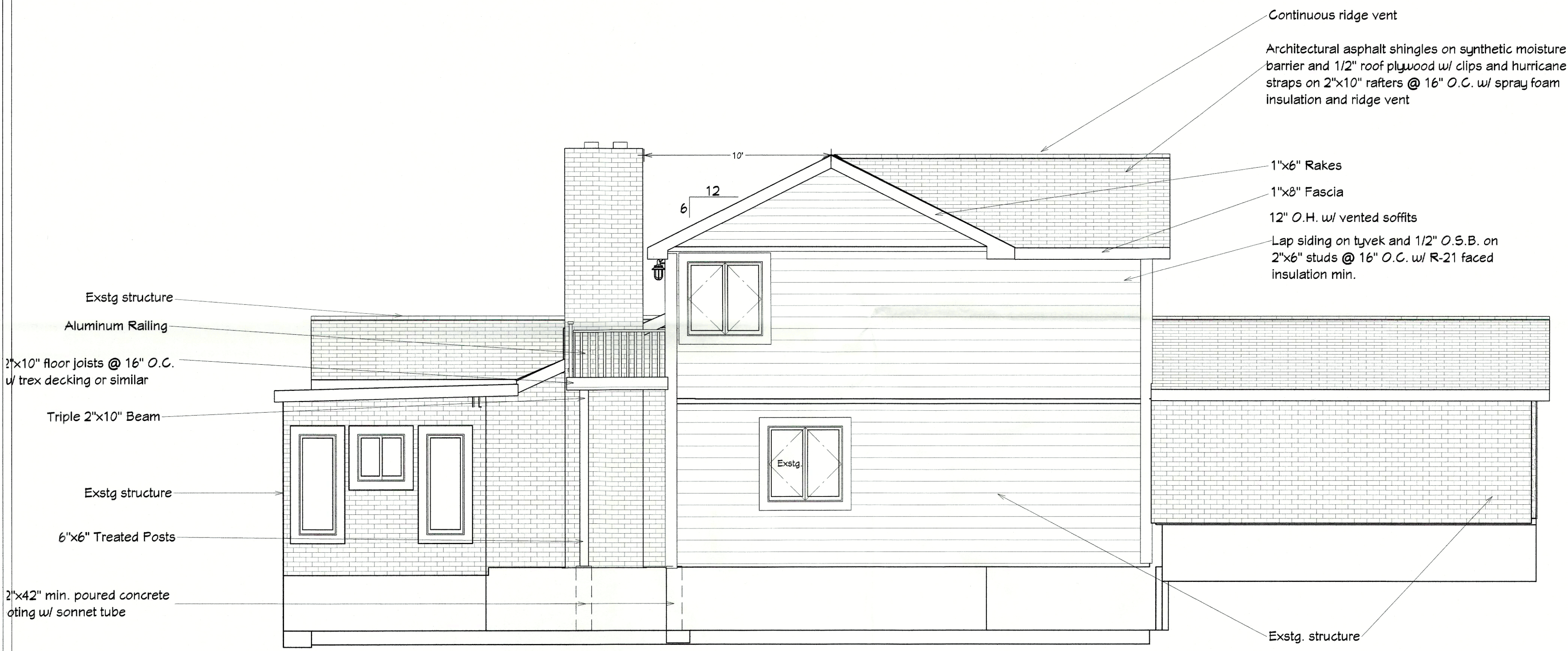
DATE:

3/27/24

SCALE:

SHEET:

A-1



Continuous ridge vent

Architectural asphalt shingles on synthetic moisture barrier and 1/2" roof plywood w/ clips and hurricane straps on 2"x10" rafters @ 16" O.C. w/ spray foam insulation and ridge vent

1"x6" Rakes

1"x8" Fascia

12" O.H. w/ vented soffits

Lap siding on tyvek and 1/2" O.S.B. on 2"x6" studs @ 16" O.C. w/ R-21 faced insulation min.

Exstg. structure

Aluminum Railing

2"x10" floor joists @ 16" O.C. w/ trex decking or similar

Triple 2"x10" Beam

Exstg. structure

6"x6" Treated Posts

2"x42" min. poured concrete footing w/ sonnet tube

Elevation 12

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: **South Elevation**

PROJECT DESCRIPTION:  
**Goins Residence Addition**  
 1032 Round Lake Rd.  
 White Lake, MI. 48386

DRAWINGS PROVIDED BY:  
**Eric Goins**  
 248-472-9838  
 esgoins@yahoo.com

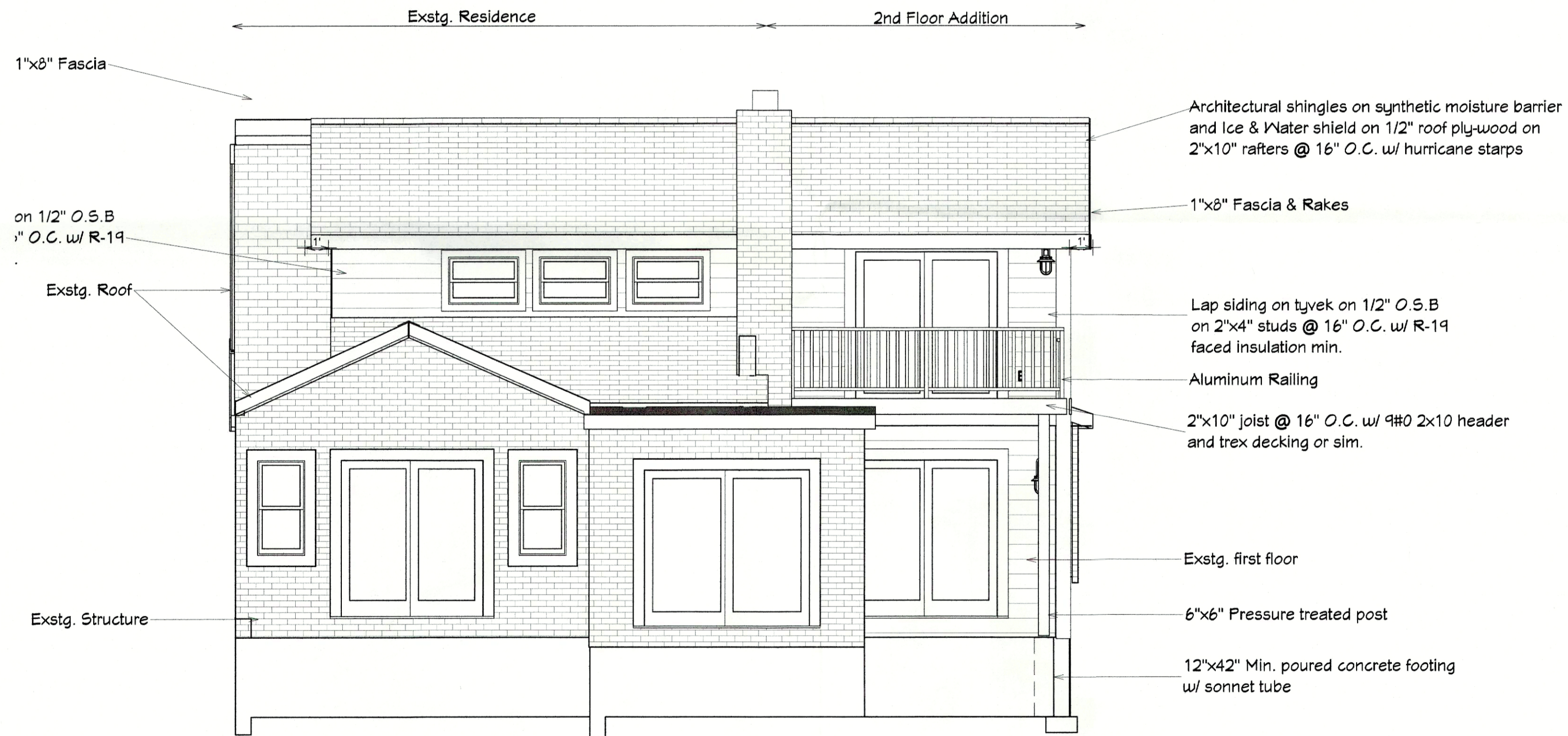
DATE:

3/27/24

SCALE:

SHEET:

**A-1**



NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**West Elevation**

PROJECT DESCRIPTION:  
**Goins Residence Addition  
1032 Round Lake Rd.  
White Lake, MI. 48386**

DRAWINGS PROVIDED BY:  
**Eric Goins  
248-472-9838  
esgoins@yahoo.com**

DATE:

3/27/24

SCALE:

SHEET:

**A-1**

Rik Kowall, Supervisor  
Anthony L. Noble, Clerk  
Mike Roman, Treasurer



Trustees  
Scott Ruggles  
Liz Fessler Smith  
Andrea C. Voorheis  
Michael Powell

## WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 9, 2024

Eric Goins  
1032 Round Lake Rd  
White Lake, MI 48386

RE: Proposed Addition

Based on the submitted plans, the proposed residential addition does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

**Article 3.1.6 of the White Lake Township Clear Zoning Ordinance:** Requires a minimum side yard setback of 10 ft each side, as well as a minimum lot size of 12,000 sq ft.

The existing lot and structure are legal non-conforming with the 9,134 sq ft lot containing a residential structure; having an approximate 5.5 ft side yard setback on the north side. The proposed 2<sup>nd</sup> story addition would further increase this non-conformity on the south side of the property with an approximate 8 ft side yard setback.

Approval of the building plans would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. **The certified boundary and location survey should be updated to detail the existing side yard setback dimension and proposed 2<sup>nd</sup> story side yard setback dimension for the Zoning Board of Appeals to make an informed decision.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official  
White Lake Township