



PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MI 48383
THURSDAY, AUGUST 20, 2026 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. [August 6, 2026](#)
6. CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)
7. PUBLIC HEARING
 - A. [BP Gas Station - 8320 Highland Rd](#)
[Location: 8320 Highland Road, White Lake, MI 48386. The property is currently zoned GB \(General Development\). Identified as parcel number 12-13-454-019.](#)
[Request: Special Land Use](#)
8. CONTINUING BUSINESS
9. NEW BUSINESS
 - A. [Review of the 2027-2032 draft Capital Improvement Plan \(CIP\)](#)
10. LIAISON'S REPORT
11. PLANNING CONSULTANT'S REPORT
12. DIRECTOR'S REPORT
13. OTHER BUSINESS
14. COMMUNICATIONS
15. NEXT MEETING DATE: September 3, 2026
16. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting. An attempt will be made to provide reasonable accommodations.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
AUGUST 6, 2026**

CALL TO ORDER

Commissioner Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Mona Sevic

T. Joseph Seward

Pete Meagher

Scott Ruggles, Township Board Liaison

Merrie Carlock, Chairperson

Debby Dehart

Absent:

Robert Seeley, Vice Chair

Others:

Sean O'Neil, Community Development Director

David Waligora, Senior Planner

Michael Leuffgen, DLZ

Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

Senior Planner Waligora requested to swap items 13A and 9A.

It was MOVED by Commissioner Dehart, seconded by Commissioner Ruggles to approve the agenda as amended. The motion carried with a voice vote: (6 yes votes).

APPROVAL OF MINUTES

A. June 4, 2026

It was MOVED by Commissioner Sevic, seconded by Commissioner Meagher to approve the minutes as presented. The motion carried with a voice vote: (6 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

None.

CONTINUING BUSINESS

None.

NEW BUSINESS

- A. 9197 Highland Rd (former Tim Hortons/Wendys) Revised Final Site Plan Approval and Amended Planned Business Agreement Approval

Senior Planner Waligora shared his report with the Planning Commission. Attorney Hamameh clarified

Ron Chisea, architect, stated that the building material will remain the same, but the front façade will be updated and the building itself will be raised slightly. The windows will remain in their same locations, but the glass and frames will be replaced. The access drive into the site is existing, and was slightly revised to meet Fire Code regulations. The lighting poles will have LED fixtures and will not emit light pollution to the surrounding residential neighbors. Any of the thriving existing landscaping will remain, dead vegetation will be replaced. 76 new shrubs will be added to the site.

Jason Kishmish, developer, shared his excitement in renovating the site.

It was MOVED by Commissioner Seward, seconded by Commissioner Sevic, to recommend the Township Board approve the revised final site plan and amended planned business agreement as submitted for 9197 Highland Road. The motion carried with a roll call vote: (6 yes votes). (Seward/yes, Sevic/yes, Ruggles/yes, Carlock/yes, Dehart/yes, Meagher/yes)

LIAISON'S REPORT

Commissioner Ruggles updated the Planning Commission of the discussions at the July Board meeting. Commissioner Dehart stated three cases were heard at the July ZBA meeting; all three were approved. Commissioner Carlock shared that Stanley Park Phase One construction is complete and the park is now open.

DIRECTOR'S REPORT

None.

OTHER BUSINESS

- A. Lake Pointe Final Site Plan Approval Extension

It was MOVED by Commissioner Meagher, seconded by Commissioner Ruggles, to recommend the Township Board approve the Lake Pointe Final Site Plan Approval extension. The motion carried with a roll call vote: (6 yes votes). (Meagher/yes, Ruggles/yes, Sevic/yes, Carlock/yes, Dehart/yes, Seward/yes).

WHITE LAKE TOWNSHIP
PLANNING COMMISSION
AUGUST 6, 2026
COMMUNICATIONS

None.

NEXT MEETING DATE:

A. August 20, 2026

ADJOURNMENT

It was **MOVED** by Commissioner Meagher, seconded by Commissioner Sevic to adjourn at 7:28 P.M.
The motion carried with a voice vote (6 yes votes).

WHITE LAKE CHARTER TOWNSHIP COMMUNITY DEVELOPMENT DEPARTMENT PLANNING COMMISSION STAFF REPORT

Meeting Date: August 20, 2026

Agenda Item: Special Land Use

Staff: David Waligora, AICP, Senior Planner

Property Address: 8320 Highland Road (BP Gas Station)

Parcel ID: Y-12-13-454-019

Applicant: Hadi Boussi

Applicant Address: 22243 W. Warren Avenue, Dearborn Heights, MI 48127

Property Owner: Abdelrahman Salem

Property Address: 8320 Highland Road, White Lake, MI 48386

Zoning: GB – General Business

Existing Use: Automobile Service Station / Gas Station

Request

The applicant is requesting Special Land Use approval to expand the existing automobile service station use at 8320 Highland Road through the installation of four (4) DC fast-charging electric vehicle spaces, charging equipment, a new pad-mounted transformer, and associated electrical infrastructure. The proposed improvements are located within the northeastern portion of the existing BP gas station site.



Proposed Request

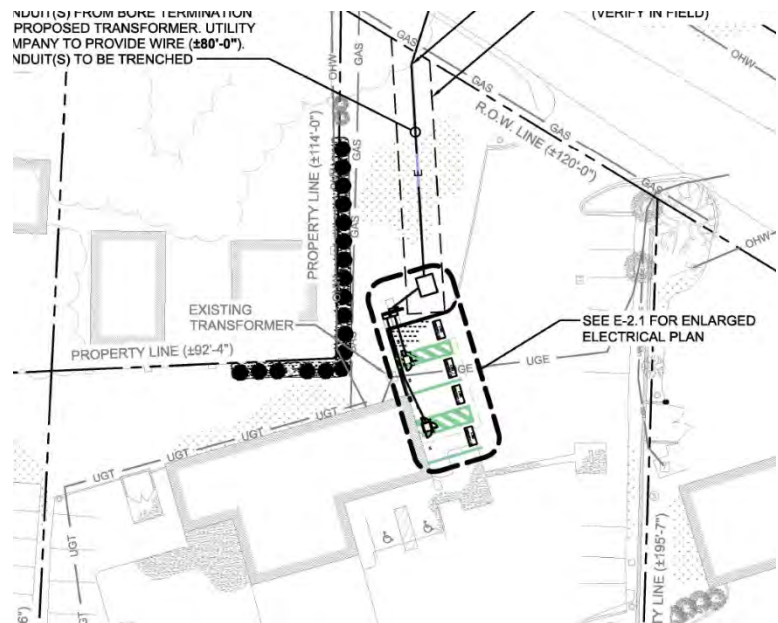
The applicant is requesting Special Land Use approval to expand the existing automobile service station use through the installation of four (4) direct current fast charging (DCFC) electric vehicle charging stations and associated electrical equipment. The proposed improvements would be located within the northeastern portion of the site, generally between the existing convenience store and Pontiac Lake Road.

The proposed improvements include four EV charging spaces, charging equipment, a new pad-mounted transformer and associated electrical infrastructure, along with modifications to the existing parking and circulation area necessary to accommodate the proposed improvements.

The application does not propose establishment of a new automobile service station. Rather, it represents an expansion of the longstanding automobile service station use. Available historical information indicates that automobile fueling has occurred on the property since at least the early 1960s, when the property operated as the Hudson Oil Station. The site was substantially redeveloped in approximately 1997, when the previous station was demolished and the property was developed generally in its present configuration.

The automobile service station predates the Township's current Special Land Use approval requirements. Staff has also been unable to locate a Special Land Use Permit or approved site plan associated with the 1997 redevelopment. Accordingly, no existing Special Land Use approval governing the current automobile service station has been identified in the Township's available records.

Because the applicant is now proposing an expansion of the automobile service station use, the Township is reviewing the use and proposed expansion under the current Special Land Use standards of the Zoning Ordinance. Finally, site plan review will be handled administratively.



Existing Features

The subject property is located at 8320 Highland Road and consists of Lots 21 and 22 of the Huron River Subdivision, totaling approximately 0.982 acres. The property is currently zoned GB, General Business, and is developed with an existing automobile service station/convenience store.

According to Township assessing records, the site contains a 2,846-square-foot, one-story commercial building classified as a mini-mart/convenience store.

The building was constructed in 1997 and has an average story height of approximately 14 feet.

The assessing records identify approximately 198.73 feet of total frontage and an average lot depth of approximately 215 feet. The site is located at the intersection of M-59 (Highland Road) and Pontiac Lake Road, with existing vehicular access to both roadways.

The site is currently improved with the convenience store building, gasoline fueling canopy and pumps, paved parking and circulation areas, and associated site improvements. The northeastern portion of the site contains additional parking and circulation area adjoining Pontiac Lake Road and the adjacent residential district.

Surrounding land uses generally consist of commercial development along the M-59 corridor and residential development to the north and northeast. M-59/Highland Road borders the property to the south, while Pontiac Lake Road borders the property to the east/northeast. Property immediately north/northeast of the site is zoned R1-C, Single-Family Residential, while commercial zoning and uses are generally located along the M-59 corridor to the east and west.



Site History / Existing Conditions

The subject property has a long history of automobile fueling use. Available historical information indicates that the property was in use as the **Hudson Oil Station** by at least the early 1960s, with curb cuts along Highland Road (M-59) established by approximately 1962. The automobile service station use therefore predates the Township's current Special Land Use requirements.

The site was substantially redeveloped in approximately **1997**, when the prior improvements were demolished and the service station was reconstructed generally in its present configuration. Around that time, an additional parcel appears to have been incorporated into the site to accommodate the northeastern parking and circulation area, and access to Pontiac Lake Road was established.

Staff reviewed available Township records for the 1997 redevelopment; however, **a Special Land Use Permit and/or approved site plan associated with that redevelopment was not located**. Accordingly, staff cannot confirm from the available records that the 1997 reconstruction received Special Land Use approval or identify any conditions that may have been attached to such an approval.

Historical Image from 1980



Section 4.10 – Automobile Service Station Standards

Although the subject property is zoned GB, General Business, the proposed expansion of the existing automobile service station is also reviewed for compliance with the specific automobile service station standards of Section 4.10. Staff reviewed the proposed improvements and existing site conditions against these standards as follows.

A. Entrance and Exit Drives

Section 4.10.A requires entrance and exit drives to be located at least 100 feet from any street intersection and at least 200 feet from any residential district.

The subject site contains longstanding access drives to both M-59 (Highland Road) and Pontiac Lake Road. These access points serve the existing automobile service station and are not proposed to be relocated, widened, or substantially modified as part of the EV charging project.

Although the existing driveway locations do not meet all current dimensional requirements of Section 4.10.A, staff considers these access points to be existing lawful nonconforming site conditions. The proposed EV charging facilities do not alter or increase the extent of these existing nonconformities.

Staff Finding: Legal nonconforming condition. No variance is required for the existing driveway locations as part of this application.

B. Minimum Street Frontage

Section 4.10.B requires a minimum of 200 feet of street frontage for an automobile service station.

Township assessing records identify approximately 198.73 feet of total frontage for the subject property. The existing lot configuration therefore falls approximately 1.27 feet short of the current requirement.

The proposed EV charging expansion does not alter the property boundaries, reduce the existing frontage, or otherwise increase the extent of the existing deficiency. Given the limited scope of the project and the fact that the site is not undergoing substantial redevelopment, staff considers the frontage deficiency to be an existing legal nonconforming site condition.

Staff Finding: Legal nonconforming condition. No variance is required for the existing frontage deficiency as part of this application.

C. Screening

Section 4.10.C requires a screen wall, obscuring fence, or land form buffer.

The site contains an existing approximately 6-foot-tall wood fence along the residential property line. The submitted plans describe the fence as weathered but structurally sound and propose that it remain. The applicant proposed additional plantings and shrubs in front of the existing fence, which are now shown on the site plan.

Given the limited scope of the proposed expansion and the fact that this application does not involve comprehensive redevelopment of the property, it is sufficient to satisfy the buffering requirement for this application.

Staff Finding: Complies as proposed.

D. Outdoor Lighting

Section 4.10.D requires outdoor lighting to be designed and shielded so that light does not project onto adjoining properties or public or private streets or rights-of-way. Outdoor lighting must also comply with the applicable performance standards of the Zoning Ordinance.

The proposed improvements will utilize fully shielded, wall-mounted lighting fixtures. Staff finds this approach acceptable provided the fixtures are downward-directed and installed so that illumination and glare are confined to the subject property.

Staff Finding: Complies subject to the use of fully shielded, downward-directed wall-mounted fixtures.

E. Steam Cleaning, Undercoating and Major Repair

Section 4.10.E prohibits steam cleaning, undercoating and major repair work.

The proposed EV charging expansion does not include any of these activities and does not propose an expansion of vehicle repair operations.

Staff Finding: Complies.

F. Setback of Fueling Equipment and Appurtenances

Section 4.10.F requires gasoline pumps, air and water hose stands, and other appurtenances to be set back at least 25 feet from existing or proposed street right-of-way lines.

The proposed EV charging equipment is located more than 25 feet from the applicable street right-of-way lines. The existing gasoline pumps and fueling canopy are not proposed to be relocated or modified as part of this application.

Staff Finding: Complies.

G. Vehicle Waiting Areas

Section 4.10.G requires adequate space to be available for vehicles that are required to wait.

The proposed project includes four dedicated EV charging spaces served by two DC fast chargers. The charging spaces are incorporated into the existing parking and circulation area adjacent to the convenience store. The site provides sufficient circulation area for vehicles entering and exiting the charging spaces, and the proposed configuration is not anticipated to result in vehicles waiting within the site's principal circulation routes or public rights-of-way.

Staff Finding: Complies.

H. Vehicle Storage

Section 4.10.H establishes screening and duration requirements for vehicles stored while awaiting service.

The proposed EV charging facilities are intended for temporary use by vehicles actively charging and do not involve the storage of vehicles awaiting repair or service. No expansion of vehicle storage activities is proposed.

Staff Finding: Not applicable to the proposed expansion.

Section 4.10 Recap

Staff finds that the proposed EV charging expansion is consistent with the applicable automobile service station standards of Section 4.10.

The existing driveway locations and approximately 198.73 feet of street frontage do not conform to the current dimensional standards of Sections 4.10.A and 4.10.B; however, these are longstanding existing site conditions that are not being altered or intensified by the proposed project. Staff therefore consider these conditions to be legal nonconforming site conditions for purposes of this limited expansion, and variance relief is not required as part of the present application.

The remaining applicable standards are either satisfied by the submitted plans or can be addressed through conditions of Special Land Use approval.

Special Land Use Standards – Section 6.10

Section 6.10 of the White Lake Township Zoning Ordinance requires the Planning Commission to make an affirmative finding for each of the following standards before approving a Special Land Use. Staff offers the following analysis based on the submitted plans and information available at the time of review.

i. Harmony with Surrounding Development and Zoning District

The subject property has operated as an automobile fueling/service station for several decades and is located within the GB, General Business District along the M-59 commercial corridor. The proposed installation of EV charging facilities represents an expansion and modernization of the existing automobile service station use rather than establishment of a substantially different land use.

The principal compatibility consideration is the relationship of the proposed charging facilities to the adjoining R1-C residential property. As discussed in greater detail under the nuisance standard below, staff has identified potential nighttime noise impacts associated with the proposed charging equipment. The applicant has also incorporated additional landscaping along the residential property line to supplement the existing fence and improve screening.

Staff Finding: Satisfied subject to conditions. The proposed expansion is generally compatible with the longstanding automobile service station and commercial character of the M-59 corridor, provided the recommended noise-related operating limitation and proposed residential buffering are maintained.

ii. Vehicular and Pedestrian Traffic

The subject property has existing vehicular access from both M-59 (Highland Road) and Pontiac Lake Road. The proposed EV charging facilities will utilize the existing access and circulation system and do not include the construction, relocation, or substantial modification of either driveway.

The proposed charging spaces are located adjacent to the existing convenience store and are integrated into the existing parking and circulation area. The work within the parking lot is limited primarily to installation of the charging facilities and associated electrical equipment, localized pavement modifications, and repair of deteriorated pavement and potholes.

The site does not currently contain a public sidewalk along Pontiac Lake Road. While Section 5.21 establishes sidewalk requirements for redevelopment, the present request represents a relatively limited expansion of an established automobile service station

and does not involve comprehensive redevelopment of the roadway frontages, driveway system, or principal parking areas. Given the limited scope of the proposed improvements and the number of longstanding existing site conditions, staff does not recommend requiring construction of the otherwise applicable sidewalk improvements as part of this application. Compliance with current sidewalk standards should instead be addressed as part of any future substantial redevelopment or remodel of the overall site.

Staff Finding: Satisfied for purposes of the Special Land Use standard. The proposed expansion will utilize the existing vehicular access and circulation system and is not anticipated to make vehicular or pedestrian traffic more hazardous than currently exists. Given the limited scope of the proposed improvements, staff is not recommending comprehensive pedestrian improvements as part of this application; those improvements can be addressed in conjunction with a future substantial redevelopment of the site.

iii. Nuisance Impacts, Including Noise and Lighting

The proposed EV charging equipment and associated transformer are located near residentially zoned property and therefore warrant particular review for potential noise and lighting impacts.

The principal stationary noise sources associated with the proposed expansion are the two DC fast chargers and the new pad-mounted transformer. The applicant's submitted equipment noise table identifies the chargers as producing 53 dBA at 13 feet and 47 dBA at 26 feet, while the transformer is identified at 48 dBA at 13 feet and 42 dBA at 26 feet.

Based on staff measurements from the submitted site plan, the nearest charger is located approximately 21.9 feet from the adjoining residential property line, the second charger approximately 34.7 feet, and the transformer approximately 25.7 feet from the property line. **Using the applicant's submitted sound data as a guide, the nearest charger alone is anticipated to generate approximately 48 to 49 dBA at the residential property line, which exceeds the Township's applicable 45 dBA nighttime noise standard.** The combined contribution of the two chargers and transformer would be greater than the contribution of the nearest charger alone.

The submitted noise information appears to address only the charging equipment and transformer. It does not quantify additional noise that may be generated by vehicles while actively using the DC fast chargers. Electric vehicles may operate battery cooling fans, coolant pumps, compressors, or other thermal-management systems during

charging. The level of vehicle-generated noise will vary by vehicle and operating conditions and cannot be reliably quantified from the information submitted. Accordingly, actual sound levels during charging events may exceed those attributable to the stationary equipment alone.

Based on the information currently submitted, staff does not believe the proposed charging operation can demonstrate compliance with the Township's nighttime noise standard. Staff therefore recommends that operation of the EV charging equipment be limited to 7:00 a.m. through 9:00 p.m., unless the applicant subsequently provides sufficient acoustical documentation and/or mitigation demonstrating compliance with the applicable nighttime noise standard at the adjoining residential property line.

The plans also propose new wall-mounted lighting associated with the EV charging area. Staff is comfortable with the use of fully shielded, downward-directed wall-mounted fixtures, provided the fixtures are designed and installed so that light is confined to the subject property and does not create glare or spillover onto adjoining residential property or public rights-of-way.

Staff Finding: Satisfied subject to conditions. The standard can be satisfied provided that the EV charging equipment is limited to operation between 7:00 a.m. and 9:00 p.m., unless nighttime noise compliance is otherwise demonstrated, and all proposed lighting consists of fully shielded, downward-directed wall-mounted fixtures.

iv. Buildings, Structures, Walls, Fences and Landscaping

The proposed EV charging equipment is located within the northeastern portion of the building near adjoining residential property. Because of this relationship, staff discussed additional screening and landscaping with the applicant during preliminary review of the project.

Additional plantings are proposed in front of the existing fence along the residential property line. The 6-foot-tall wood fence is identified as having a weathered appearance but being structurally sound and proposed to remain. The combination of the existing fence and the additional proposed landscaping is intended to improve visual screening between the charging area and the adjoining residences.

Staff Finding: Satisfied. The proposed location of the equipment, retention of the existing fence, and additional landscaping shown on the plan provide an appropriate level of screening for the scope of the proposed expansion.

v. Harmony with Adjacent Land Uses

The proposed EV charging facilities are functionally related to the existing automobile service station and are consistent with the longstanding commercial use of the property. The site is located along the M-59 commercial corridor, where vehicle-oriented commercial activity is already established.

The principal land use relationship requiring consideration is the adjoining residential property to the north and northeast. The proposed charging equipment has been positioned near the existing convenience store, and additional landscaping has been added along the residential property line to improve screening. Operational impacts are also addressed through the recommended limitation on charging activity between 9:00 p.m. and 7:00 a.m. unless compliance with the applicable nighttime noise standard is otherwise demonstrated.

Staff Finding: Satisfied subject to conditions. The proposed expansion is compatible with the physical and economic character of the surrounding area and with the existing commercial use of the property, provided the approved landscaping and recommended operational limitations are maintained.

vi. Density and Required Open Space

The proposed request does not involve residential development and therefore does not create any issue related to residential density.

The project consists of a limited expansion of an existing automobile service station within an already developed commercial site. The proposed improvements are concentrated within the existing developed area and do not materially alter the overall intensity of development on the property. Additional landscaping has been incorporated into the plan as part of the proposed improvements, particularly along the residential side of the site.

Because this application does not involve a comprehensive redevelopment of the property, staff is not recommending that the applicant reconstruct the entire site to current open-space and landscaping standards as part of this request.

Staff Finding: Satisfied. The proposed expansion does not increase residential density and does not materially reduce required open space or otherwise alter the overall development intensity of the site.

vii. Public Services and Facilities

The proposed EV charging expansion is limited in scope and is not anticipated to create a significant additional demand upon Township public services or facilities. The principal utility improvements associated with the project consist of the electrical infrastructure

necessary to serve the proposed charging stations, including the new pad-mounted transformer.

The applicant will be responsible for coordinating the proposed electrical improvements with the applicable utility provider and obtaining all required building, electrical, fire, and other permits prior to construction.

Staff Finding: Satisfied. The proposed expansion is not anticipated to create service or facility demands that cannot be accommodated by existing public services and utilities.

viii. Protection of the Natural Environment and Conservation of Natural Resources and Energy

The proposed improvements are located within an already developed commercial site and are largely confined to existing paved and disturbed areas. The project does not involve expansion into undeveloped portions of the property or significant alteration of existing natural features.

The proposed EV charging facilities will provide an additional vehicle fueling option that supports the use of electric vehicles and associated alternative energy infrastructure. The project also includes localized landscaping improvements and will be subject to applicable requirements for drainage, soil erosion control, utility installation, and restoration of disturbed areas.

Staff Finding: Satisfied. The proposed expansion is not expected to result in significant adverse impacts to the natural environment and is consistent with the intent of conserving energy resources through the provision of electric vehicle charging infrastructure.

ix. Public Convenience at the Proposed Location

The subject property is an existing automobile service station located at the intersection of M-59 (Highland Road) and Pontiac Lake Road. The proposed EV charging facilities would expand the range of vehicle fueling options available at an established automobile-oriented commercial site rather than requiring the development of a separate location for this service.

The proposed use is therefore well-suited to the existing function of the property and would provide an additional service to motorists traveling along the M-59 corridor and within the surrounding area.

Staff Finding: Satisfied. The proposed EV charging facilities are appropriately located at an existing automobile service station and would provide a convenient additional fueling option for the traveling public.

x. Public Health, Safety, and Welfare

The proposed expansion will utilize the existing access and circulation system of the automobile service station and is limited in scope to the installation of EV charging facilities, associated electrical equipment, localized pavement improvements, and landscaping.

Staff has reviewed the proposal with respect to circulation, parking, lighting, landscaping, screening, and the relationship of the proposed improvements to the adjoining residential property. The principal remaining health, safety, and welfare consideration is noise generated by the proposed chargers and transformer. As discussed previously, operation of the charging equipment should be limited to 7:00 a.m. through 9:00 p.m. unless the applicant demonstrates compliance with the applicable nighttime noise standard.

The project will also remain subject to applicable building, electrical, fire, utility, and other permitting requirements prior to construction.

Staff Finding: Satisfied subject to conditions. The proposed expansion can be operated in a manner protective of public health, safety, and welfare provided the recommended operating-hour limitation is observed and all applicable construction, electrical, fire, and utility requirements are satisfied.

xi. Property Values and Compatibility with Other Permitted Land Uses

The proposed EV charging facilities are consistent with the longstanding automobile service station use and the commercial character of the M-59 corridor. The primary compatibility consideration is the relationship of the proposed improvements to the adjoining residential properties.

The applicant has incorporated additional landscaping along the residential property line and will retain the existing 6-foot wood fence as part of the screening between the charging area and nearby residences. Operational impacts are further addressed through the recommended limitation on charging activity between 7:00 a.m. and 9:00 p.m. unless compliance with the applicable nighttime noise standard is otherwise demonstrated.

Staff Finding: Satisfied subject to conditions. With the proposed landscaping and screening improvements and the recommended operating-hour limitation, the

expansion is not expected to cause substantial injury to nearby property values or be detrimental to adjoining permitted land uses.

Planning Commission Consideration

The principal issue identified by staff is the potential for noise impacts on the adjoining residential property.

The applicant's submitted equipment data identifies the proposed DC fast chargers as producing 53 dBA at 13 feet and 47 dBA at 26 feet, while the proposed transformer is identified at 48 dBA at 13 feet and 42 dBA at 26 feet. Based on staff measurements from the submitted site plan, the nearest charger is approximately 21.9 feet from the residential property line, the second charger approximately 34.7 feet, and the transformer approximately 25.7 feet from the property line.

Based on the applicant's own sound data, the nearest charger alone is anticipated to generate approximately 48 to 49 dBA at the residential property line, exceeding the Township's applicable 45 dBA nighttime noise standard. The submitted noise information also does not quantify additional noise that may be generated by vehicles while actively charging, including battery cooling fans, compressors, pumps, and other thermal-management equipment.

The Planning Commission may wish to consider whether operation of the EV charging facilities should be limited to 7:00 a.m. through 9:00 p.m., unless the applicant can demonstrate through additional acoustical information or mitigation that the facility will comply with the applicable nighttime noise standard at the residential property line.

Section 6.11 – Planning Commission Action

In considering the application, the Planning Commission may incorporate its findings regarding the standards of Section 6.10 and any conditions of approval into its final action.

CHARTER TOWNSHIP OF WHITE LAKE

SITE PLAN AND PLAT REVIEW APPLICATION

White Lake Township Community Development Department, 7525 Highland Road, White Lake Michigan 48383 (248)698 3300 x163

APPLICANT AND PROPERTY INFORMATION

Applicant: Hadi Boussi
 Phone: (313) 798-7651 Fax:
 Address: 22243 W Warren Ave, Dearborn Hts, MI 48127
(Street) (City) (State) (Zip)
 Applicant's Legal Interest in Property: Contractor acting with owner authorization
 Property Owner: Abdelrahman Salem Phone: 248 633 5685
 Address: 8320 Highland Rd. White Lake, MI 48386
(Street) (City) (State) (Zip)

PROJECT INFORMATION

Project Name: 8320 Highland Parcel I.D. No.: 12-13-454-019
 Proposed Use: Addition of (4) EV Charging Stalls Current Zoning: GB
 Existing Use: Gas Station Parcel Size: 0.98 Floor Area / No. of Units 2,846sf/1

TYPE OF DEVELOPMENT

☐ Subdivision ☐ Site Condominium ☒ Commercial
☐ Multiple Family ☒ Special Land Use ☐ Industrial
☐ Adult Entertainment

SITE PLAN SUBMITTAL CHECKLIST

- ☐ PDF File and Three (3) paper copies (sealed) as required by Zoning Ordinance 58
☐ Application Review Fees

PLANS WILL NOT BE ACCEPTED UNLESS FOLDED AND NO GREATER THAN 24" X 36" IN SIZE

REQUIRED SIGNATURES

 7/20/26
(Signature of Property Owner) (Date)
 7/20/26
(Signature of Applicant) (Date)

WHITE LAKE TOWNSHIP COMMUNITY DEVELOPMENT FEE SCHEDULE					
PROJECT NAME: GAS STATION - ELECTRIC CHARGER STATION					
PLANNING REVIEW			PLANNING COMMISSION		
Special Land Use/Cluster Option	\$500 + site plan fee	\$500.00	Residential	\$950	
Planned Development Agreement	\$125/hour		Commercial	\$950	\$950.00
Rezoning Request Review	\$650		Industrial	\$950	
Condominium Plan	\$375 plus site plan review		Planned Business/Development	\$1,200	
Additional reviews	\$125/hour		Special Meeting	\$1,200	
Site Plan			ZONING BOARD OF APPEALS (includes P.H. Notice & Mailing)		
Site Condominium	\$1,625		Residential	\$400	
Public, Institutional or Semi-Public Uses	\$1,625		Commercial	\$500	
Multi-Family Residential	\$1,625		Special Meeting	\$1,000	
Non-Residential (incl. 3 reviews)	\$1,625		WETLAND CONSULTANT		
PBD/PDD Plan Review with Rezoning	\$650 + Plus Review Fee		Wetland verification and reports (flagged 2-5 acres of wetland)	\$500	
PBD/PDD Plan Review(w/o Rezoning)	\$1,625		Each additional acre over 5 acres of wetland	\$100	
Sign Review	\$125		Preliminary wetland impact review or Final/Construction plan	\$1,000	
			Final Construction plan wetland impact review/permit issuance	\$1,000	
Subdivision Plat			PLANNING DEPARTMENT		
Tentative preliminary	\$1,625		Administrative site plan review	\$500	\$500.00
Final preliminary	\$1,625		Public Hearing/legal ads/300" mailing	\$300	\$300.00
Final plat	\$1,625		Pre-application meeting	Based on departmental attendance	
			ATTORNEY REVIEW		
Traffic Impact Study			PBD Agreement	\$600	
Abbreviated impact assessment - (such as Trip Generation Analysis)	\$150 Hour		Easement review (incl. 2 reviews)	\$450	
Full impact study	\$150 Hour		Master Deeds and Bylaws (incl. 2 reviews)	\$1000	
Scoping contents with applicant	\$150 Hour		Recording Fee	\$50	
FIRE DEPARTMENT			Covenants and Restrictions	\$450	
Site Plan Review	\$233	\$233.00	Hourly rate for additional reviews	\$150	
Construction Plan Review	\$233		Private Road Agreement	\$450	
<i>Ma Baydoun Ocharge@usa.com</i>			ENGINEERING REVIEW		
			Preliminary Site Plan	\$2,500	
			Tentative preliminary plat	\$2,500	
			Final Site Plan/Construction plan and document review	Based on construction cost estimate	
			Final Preliminary plat/construction/final plat and legal documents	Based on construction cost estimate	
			Private Road review	\$2500	
			Total :		\$2,483.00
			10 % -Admin fee:		\$248.30
			TOTAL FEES DUE:		\$2,731.30

(The engineering review fee schedule was adopted by Board action July 19, 2005)

*CONSTRUCTION COSTS	ENGINEERING PLAN REVIEW FEE	DOCUMENT REVIEW FEE	TOTAL
Up to \$50,000	2.5% (\$500.00 minimum)	1.5% (\$500 minimum)	4.0% (\$1,000 min)
\$50,000 to \$100,000	2.0% (\$1,250 minimum)	1.0% (\$750 minimum)	3.0% (\$2,000 min)
\$100,000 to \$250,000	1.5% (\$2,000 minimum)	1.0% (\$1,000 minimum)	2.5% (\$3,000 min)
Over \$250,000	1.0% (\$3,750 minimum)	0.5% (\$2,500 minimum)	1.5% (\$6,250 min)

Applicable Fee Total

\$ _____
(enter total on page 3)

Note: A revised cost estimate and fee adjustment may be required as a result of design changes.

Submitted by: Hadi Boussi

Date: 7/20/26

Print Name: Hadi Boussi

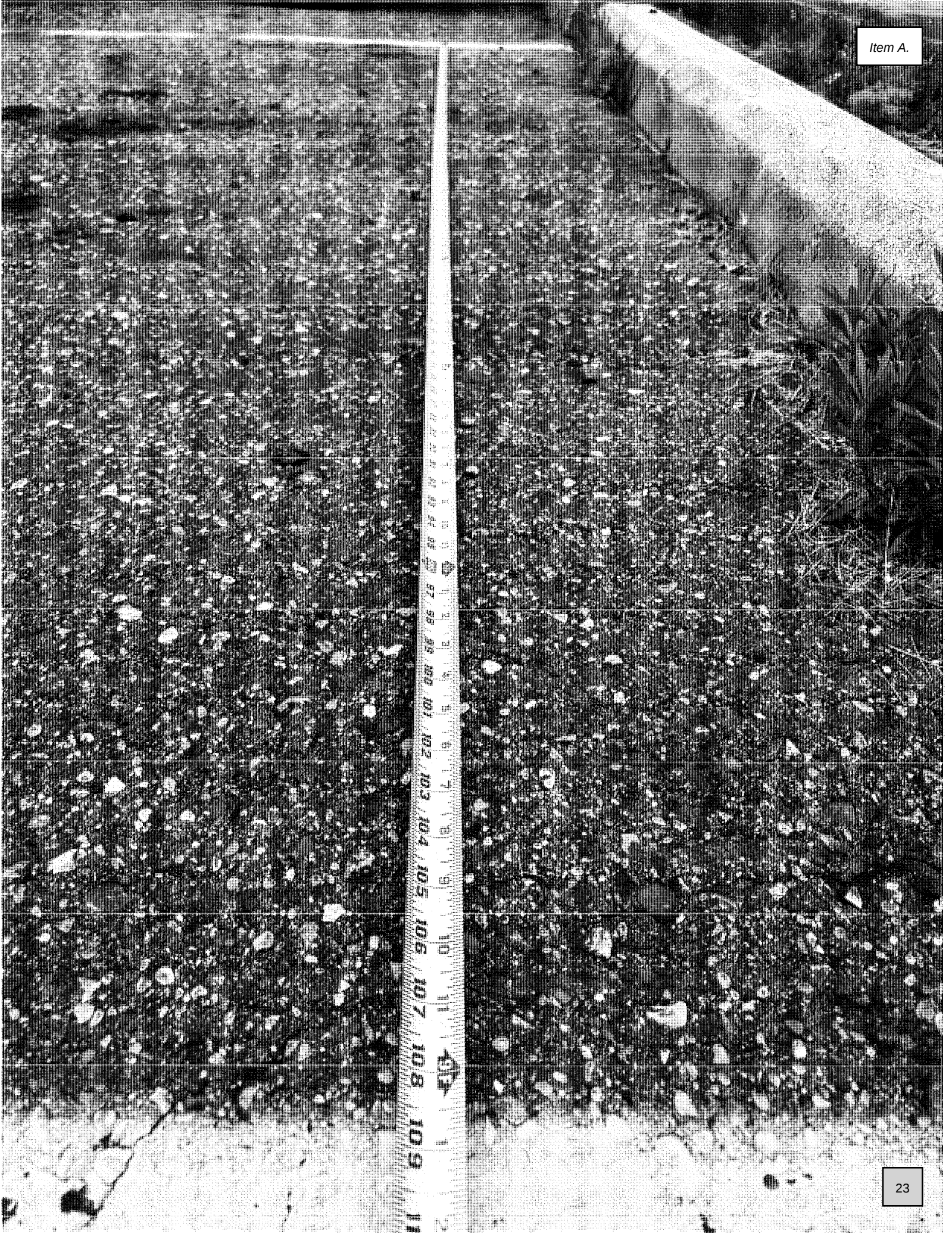
Make checks payable to White Lake Township.

For the construction plan review, two (2) sets of engineer sealed plans are required along with the following items:

as attached

Storm sewer rational formula calculations _____
 Storm sewer discharge area map (on-site & off-site) _____
 Storm water detention/sedimentation basin calcs _____
 Construction plan checklist, completed _____
 Detailed engineers construction cost estimate, itemized _____





New Light proposed on
above new EV chargers
to match the existing wall
mounted light

DTE Transformer Stake.
Center of transformer
marked.

28'



8320 HIGHLAND

8320 HIGHLAND ROAD
WHITE LAKE, MI 48386

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE FOLLOWING CODES:

BUILDING CODE:

2021 MICHIGAN BUILDING CODE (IBC 2021)

ELECTRICAL CODE:

2023 NATIONAL ELECTRICAL CODE (NEC 2023)

PROJECT DESCRIPTION

- PROPOSED INSTALLATION OF (2) 160kW DCFC CHARGERS TO SUPPLY (4) DEDICATED CHARGING STALLS

CONTACTS

APPLICANT:

CHARGE-X USA
22345 W. WARREN AVENUE
DEARBORN HEIGHTS, MI 48127
TEL: (313) 523-1333
www.charge-xusa.com

A&E:

WT GROUP AEC, LLC
2000 CENTER DRIVE
SUITE B411
HOFFMAN ESTATES, IL 60192
CONTACT: KEVIN CUNNIE
TEL: (847) 287-2085

AERIAL MAP



LOCATION MAP



SHEET INDEX

SHEET NUMBER:	DESCRIPTION:
T-1	TITLE SHEET
T-2 - T-4	GENERAL NOTES
1 OF 1	SURVEY (BY OTHERS)
C-1	OVERALL PROPERTY PLAN
C-2	OVERALL SITE PLAN
C-3	ENLARGED SITE PLAN
C-4	SOIL EROSION CONTROL PLAN
C-4.1	WRC SOIL EROSION DETAILS
C-4.2	CONSTRUCTION DETAILS
C-5	FEMA FIRMETTE MAP
C-6	WETLANDS MAP
C-7 - C-9	SITE DETAILS
L-1	LANDSCAPING PLAN
L-2	LANDSCAPING DETAIL & NOTES
E-1	ONE-LINE DIAGRAM
E-2	OVERALL ELECTRICAL PLAN
E-2.1	ENLARGED ELECTRICAL PLAN
E-3	ELECTRICAL DETAILS
E-4 - E-5	ELECTRICAL EQUIPMENT SPECIFICATIONS
E-6	UTILITY DETAILS AND SPECIFICATIONS

REFERENCED MATERIALS

A SITE WALK WAS NOT PERFORMED FOR THIS SITE PER SCOPE OF WORK. EQUIPMENT LAYOUT AND PLANS SHOWN WITHIN THIS SET WERE TAKEN FROM AVAILABLE DOCUMENTS/DRAWINGS PROVIDED BY OTHERS.



CALL AT LEAST THREE WORKING
DAYS BEFORE YOU DIG

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME

DO NOT SCALE DRAWINGS



WT GROUP AEC

Engineering with Precision, Pace and Passion.

2000 Center Drive, Suite B411
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T: (847) 287-2085
www.wtgroupaec.com

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Engineering • Design • Consulting

8320 HIGHLAND
8320 HIGHLAND ROAD
WHITE LAKE TOWNSHIP, MI 48386



EXPIRES: 03/02/28 SIGNED: 07/16/26

REVISIONS

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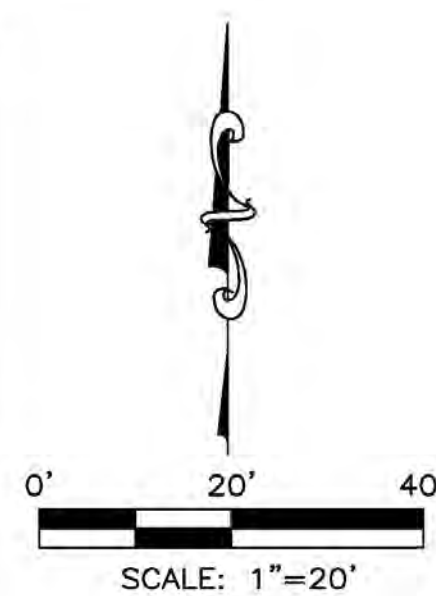
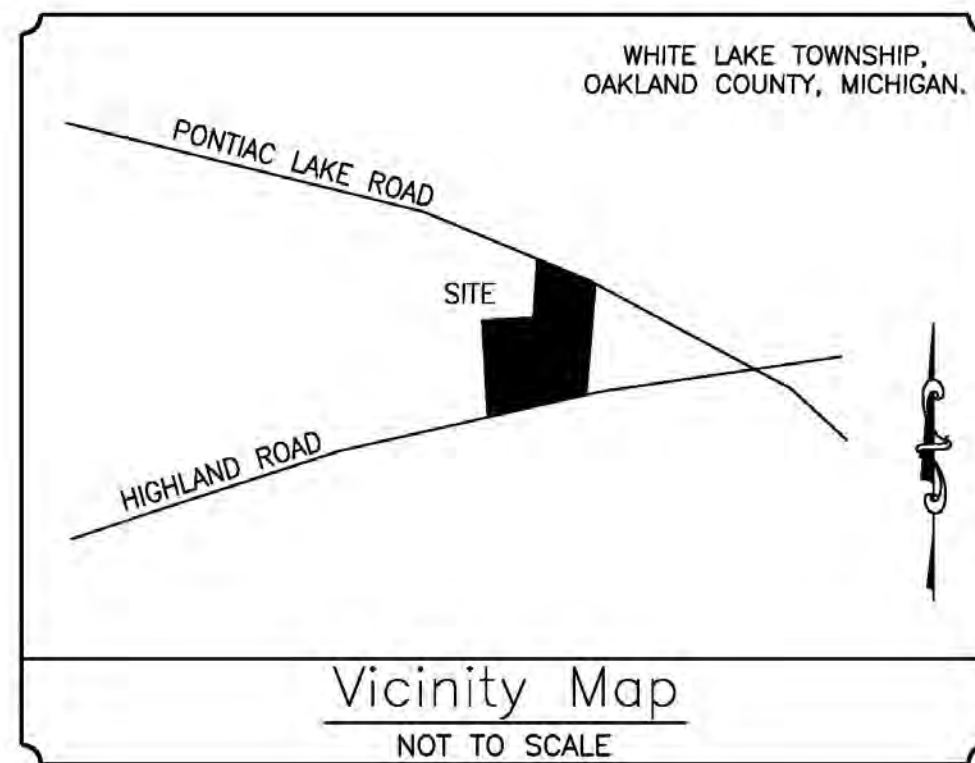
CHECK: JKR

DRAWN: JTB

JOB: T2600207

25

TITLE SHEET



ZONING INFORMATION

A ZONING REPORT WAS NOT PROVIDED BY THE CLIENT PER TABLE A 6(c) AND 6(d). THE ZONING CLASSIFICATION, SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS ARE NOT SHOWN HEREON.

NOTES CORRESPONDING TO SCHEDULE B

A TITLE COMMITMENT WAS NOT PROVIDED

GENERAL NOTES

- 1) NO EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION/ADDITIONS WERE OBSERVED WHILE CONDUCTING THE FIELD WORK. (ITEM 16, TABLE A).
- 2) NO EVIDENCE OF PROPOSED STREET RIGHT OF WAY LINE CHANGES WERE PROVIDED BY THE CONTROLLING JURISDICTION. (ITEM 17, TABLE A).
- 3) THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (ITEM 17, TABLE A).
- 4) THIS PARCEL HAS IMPROVED DIRECT ACCESS TO PONTIAC LAKE ROAD AND HIGHLAND ROAD (M-59), BOTH DEDICATED PUBLIC RIGHT OF WAYS.
- 5) THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY.
- 6) THERE ARE NO OBSERVED GAPS OR OVERLAPS BETWEEN THE BOUNDARY LINES OF THE PARCEL AS SHOWN ON THIS SURVEY MAP AND AS PROVIDED IN THE DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- 7) THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN ± 0.1 FOOT.
- 8) THE BOUNDARY LINES OF THE PARCEL AS PROVIDED IN THE DESCRIPTION PRESENTED IN THE TITLE COMMITMENT ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE DESCRIPTIONS OF RECORD.
- 9) EXCEPT AS OTHERWISE NOTED BELOW, IF THE OVERALL PARCELS CONSISTS OF TWO OR MORE DESCRIPTIONS, THERE ARE NO GAPS OR GORES BETWEEN SAID DESCRIPTIONS.
- 10) THIS PARCEL FRONTS ON BOTH PONTIAC LAKE ROAD AND HIGHLAND ROAD (M-59). (ITEM 14, TABLE A).
- 11) EASEMENTS AND EXCEPTIONS SHOWN HEREON WERE PROVIDED BY THE TITLE INSURANCE COMPANY, NO RESEARCH HAS BEEN CONDUCTED BY GEODETIC DESIGNS INC. TO IDENTIFY ANY ADDITIONAL EASEMENTS OR RECORD ENCUMBRANCES THAT MAY AFFECT THIS PARCEL.
- 12) ALL LINEAR DIMENSIONS SHOWN ARE IN INTERNATIONAL FEET AND DECIMALS THEREOF.
- 13) WHITE LAKE TOWNSHIP HAS NOT RESPONDED TO A REQUEST FOR MAPS OF UNDERGROUND WATER AND SANITARY AND THOSE ARE NOT SHOWN HEREON.

LEGEND

	Power Pole		Flag Pole		Storm Manhole
	Power Pole w/Light		Sign (As Noted)		Storm Catchbasin
	Light Pole		Well Head		Deciduous Tree
	Telephone Pole		Satellite Dish		Coniferous Tree
	Guy Wire		Tower		Sanitary Manhole
	Transformer		Water Valve		Sanitary Clean Out
	Electric Manhole		Fire Hydrant		Gas Valve
	Telephone Manhole		Water Manhole		Gas Manhole
	Telephone Pedestal		Water Meter Pit		Gas Meter
	Electric Meter		Water Meter		Gas Marker
	Cable Box		Indicates Handicapped Parking		Section Corner
	Air Conditioner Unit		Parking Count		Set 5/8" Bar & Cap
	Easement Identifier		Mailbox		Found Corner Monument
	Distance not to scale				Monitoring Well

ABBREVIATIONS

R = RECORDED	T-N = TOWN - NORTH	AVE. = AVENUE
M = MEASURED	R-E = RANGE - EAST	BLVD. = BOULEVARD
C = CALCULATED	SQ. FT. = SQUARE FEET	CT. = COURT
N = NORTH	NE = NORTHEAST	RD. = ROAD
E = EAST	SE = SOUTHEAST	ST. = STREET
S = SOUTH	SW = SOUTHWEST	PIN = PARCEL IDENTIFICATION NUMBER
W = WEST	NW = NORTHWEST	

DESCRIPTION

That part of Section 13, T3N, R8E, White Lake Township, Oakland County, Michigan being described as:

Lots 21 & 22, Huron River Subdivision, as recorded in Liber 57 of Plats, on Page 55, Oakland County Records.

BEARING BASIS

BEARINGS ARE BASED ON THE CENTERLINE OF PONTIAC LAKE ROAD RECORDED AS BEARING S $56^{\circ}12'E$.

FEMA 100 YEAR FLOODPLAIN

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP NUMBER 26125C0337F WHICH BEARS AN EFFECTIVE DATE OF 9/29/2006.

SIGNIFICANT OBSERVATIONS

INFORMATION NOTED BELOW IS SIMPLY A STATEMENT OF FACT REGARDING THE LOCATION OF OBSERVED IMPROVEMENTS RELATIVE TO BOUNDARY, EASEMENT, AND SETBACK LINES, AND IS NOT A LEGAL OPINION, OPINION OF OWNERSHIP, OR DETERMINATION OF ENCROACHMENTS.

BOUNDARY LINES	☒ A	DUMPSTER WALL CROSS PROPERTY LINE AS SHOWN
ROW & EASEMENTS		NONE OBSERVED
SETBACKS		NONE OBSERVED
PHYSICAL ACCESS BETWEEN ADJOINING PROPERTIES		NONE OBSERVED
USE OF ADJOINING PARCELS		NONE OBSERVED

CERTIFICATION

TO: RED E CHARGE:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7b2, 7c, 8, 9, 10a, 10b, 11, 12, 13, 14, 15, 16, 17, 18, 19, and 20 of Table A thereof. The fieldwork was completed on May 28, 2026.



David J. VanDenBerghe
DAVID J. VANDENBERGHE
PROFESSIONAL SURVEYOR #4001051489

Registration No. 4001051489
Within the State of Michigan

"ALTA/NSPS LAND TITLE SURVEY"

PREPARED BY:

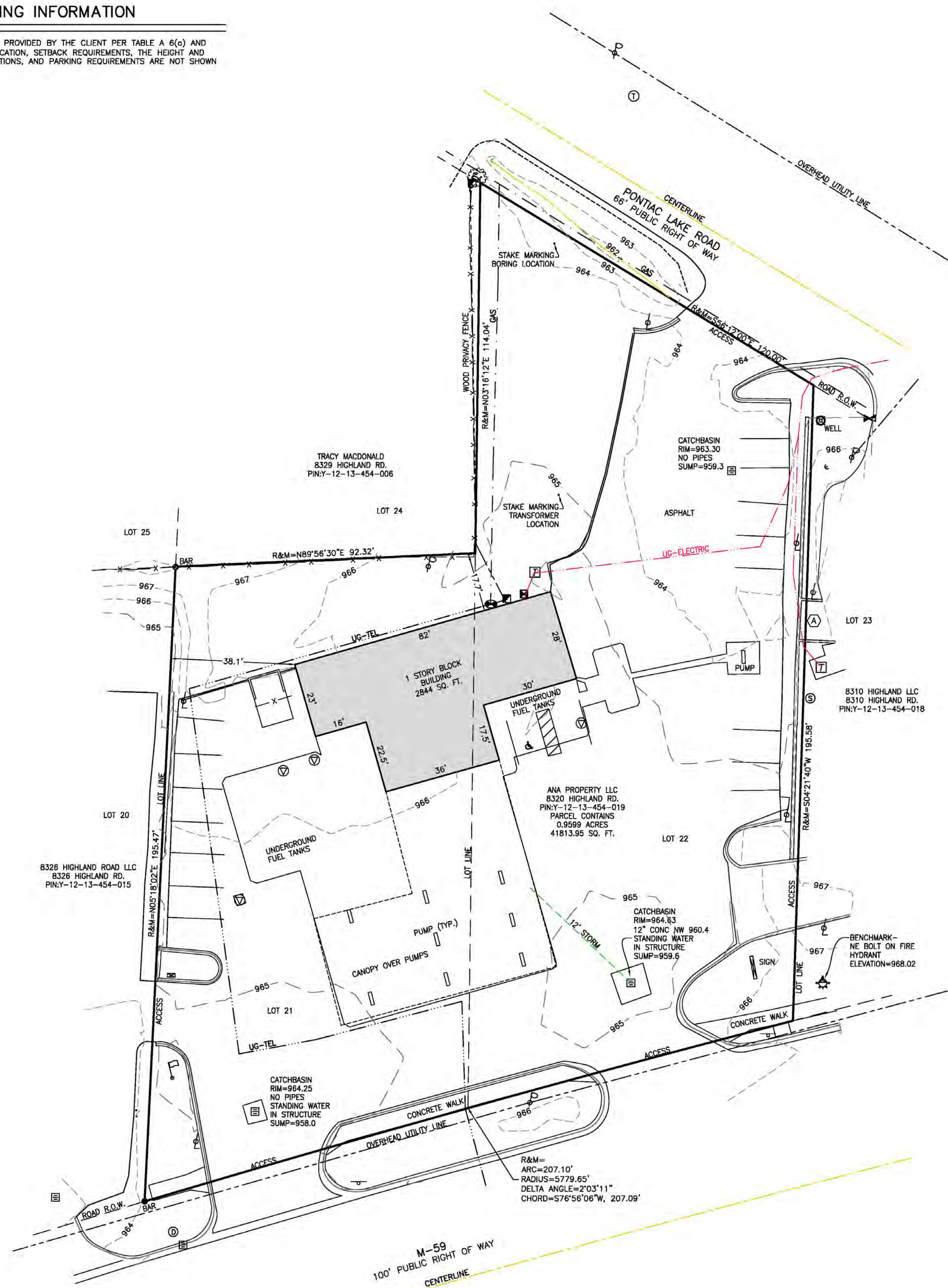


GEODETIC DESIGNS, INC.
2300 N. GRAND RIVER AVE.
LANSING, MI 48906
PHONE: (517) 908-0008
FAX: (517) 908-0009
WWW.GEODETICDESIGNS.COM

RED E CHARGE

8320 Highland Road
White Lake, MI
Parcel #12-13-454-019

DATE: May 28, 2026	SCALE: 1" = 20'
DRAWN BY: DJV	JOB NUMBER: S092-2026
CHECKED BY: DJV	SHEET 1 OF 1



UNDERGROUND UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND/OR EXISTING DRAWINGS AS PROVIDED BY THE FACILITY OWNER. THE UNDERGROUND UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES ON OR NEAR THE SURVEYED PARCEL, EITHER IN SERVICE OR ABANDONED. THE LOCATION OF BURIED UTILITIES ARE SHOWN TO INDICATE THAT A UTILITY EXISTS, BUT MAY REQUIRE SUB-SURFACE INVESTIGATION TO DETERMINE THE EXACT LOCATION.

This Survey is solely for the benefit of the parties set forth in the Surveyor's Certification. Geodetic Designs Incorporated disclaims any duty or obligation towards any party that is not identified in the Surveyor's Certification.

Geodetic Designs Incorporated will not include the providers of any third party reports in the Surveyor's Certification.

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- GENERAL NOTES:
1. CONTRACTOR RESPONSIBILITIES INCLUDE CHARGING STATION MOUNTING, OVERHEAD CONDUIT INSTALLATION AND WIRING.
 2. CONTRACTOR TO PAINT PROPOSED EV PARKING SPACES PER JURISDICTIONAL REQUIREMENTS.
 3. CONTRACTOR TO FIELD SCAN/X-RAY EXISTING CONCRETE SLAB TO ENSURE NO REINFORCEMENT IS DAMAGED DURING EQUIPMENT OR CONDUIT ANCHORING, ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
 4. EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
 5. UNDERGROUND CONDUIT PATH TO BE VERIFIED BY GPR PRIOR TO INSTALLATION.
 6. OVERALL CONDUIT ROUTE TO BE VERIFIED IN FIELD BY CONTRACTOR AND PROPERTY OWNER.
 7. 3/4" MINIMUM FOR ALL CONDUIT.
 8. ROOFTOP CONDUIT UTILIZING NON-PENETRATING SUPPORTS MAY BE USED IN ADDITION IF APPROVED BY PROPERTY OWNER.

PROPERTY INFORMATION	
JURISDICTION:	WHITE LAKE TOWNSHIP
ZONING:	GB
SUBDIVISION:	HURON RIVER
LOT AREA:	±0.9599 ACRES
OWNER:	ANA PROPERTY, LLC 8320 HIGHLAND ROAD WHITE LAKE TOWNSHIP, MI 48386

DISTANCES TO EXISTING BODIES OF WATER	
DIRECTION	
NORTH (PONTIAC LAKE)	±290'-0"
SOUTH (CEDAR CREEK)	±2575'-0"
EAST (INLET TO PONTIAC LAKE)	±660'-0"
WEST (UNNAMED PONDS)	±2690'-0"

LATITUDE AND LONGITUDE: 42.660101°, -83.449880°
SOURCE: GOOGLE MAPS, DATED 03/18/2026

NOTE:
TYPICAL PARKING SPACE MINIMUM
DIMENSION FOR 90° PARKING STALL:
• 9'-0" WIDTH
• 18'-0" DEPTH

NOTE:
THIS SITE PLAN IS BASED ON A SURVEY PROVIDED
BY GEODETIC DESIGNS, INC., DATED 05/28/2026.
CONTRACTOR SHALL FIELD VERIFY EXISTING
CONDITIONS PRIOR TO COMMENCEMENT OF
CONSTRUCTION.

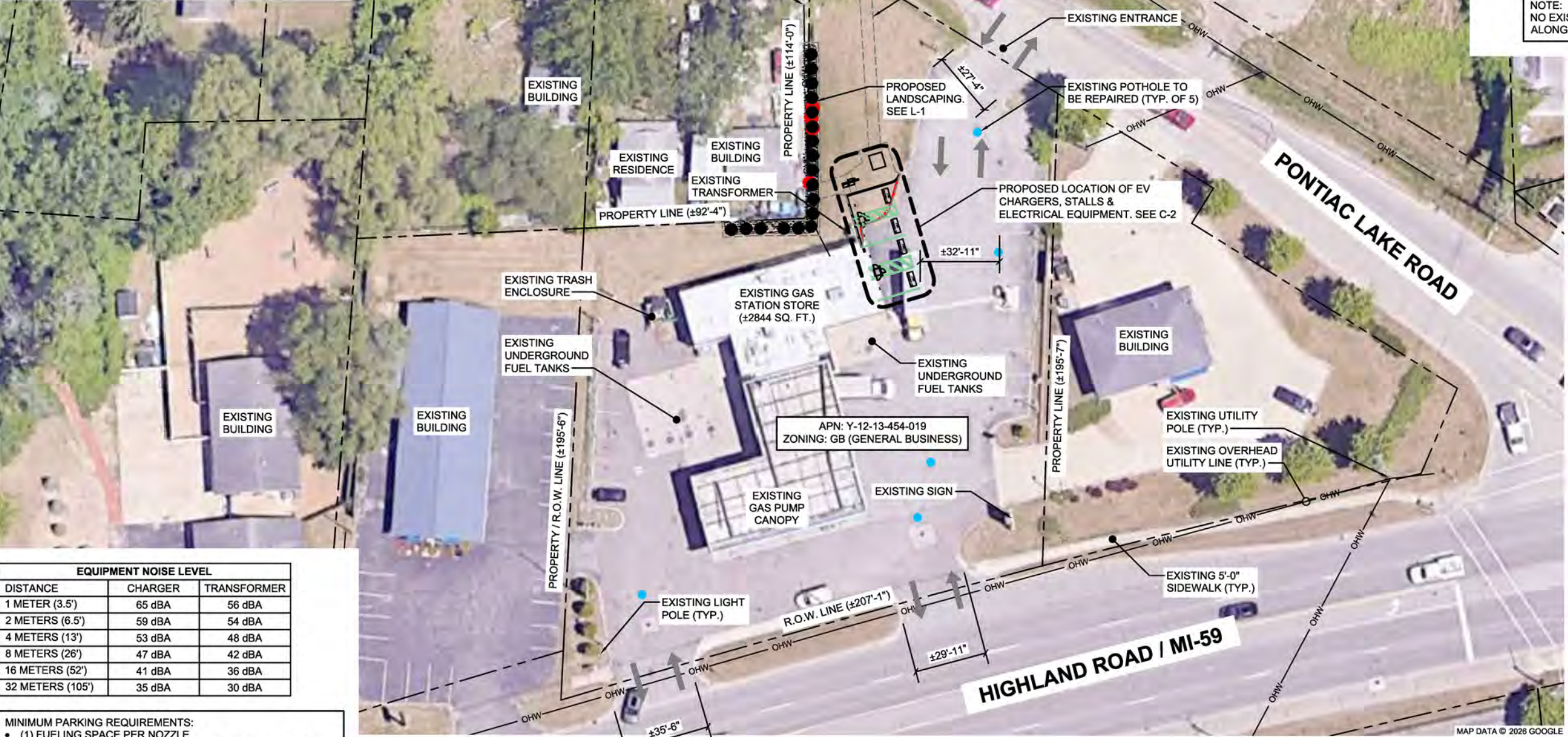
FLOOD STATEMENT:
BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS
LOCATED IN ZONE X OF FLOOD INSURANCE RATE
MAP NUMBER 26125C0337F WHICH BEARS AN
EFFECTIVE DATE OF 09/29/2006.

LEGAL DESCRIPTION:
THAT PART OF SECTION 13, T3N, R8E, WHITE LAKE
TOWNSHIP, OAKLAND COUNTY, MICHIGAN BEING
DESCRIBED AS:

LOTS 21 & 22, HURON RIVER SUBDIVISION, AS
RECORDED IN LIBER 57 OF PLATS, ON PAGE 55,
OAKLAND COUNTY RECORDS.

NOTE:
SEE 1/C-4.2 FOR SEQUENCE OF
CONSTRUCTION & COST ESTIMATES.

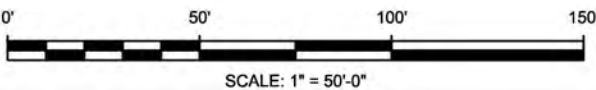
NOTE:
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EQUIPMENT NOISE LEVEL		
DISTANCE	CHARGER	TRANSFORMER
1 METER (3.5')	65 dBA	56 dBA
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4 METERS (13')	53 dBA	48 dBA
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MINIMUM PARKING REQUIREMENTS:
• (1) FUELING SPACE PER NOZZLE
• (1) PARKING SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA

BUILDING SQUARE FOOTAGE	EXISTING REGULAR PARKING STALLS	EXISTING ADA PARKING STALLS	EXISTING PARKING STALLS CONVERTED TO EV PARKING STALLS	NEW EV PARKING STALLS	TOTAL PARKING STALLS (INCLUDING EV STALLS)	TOTAL PARKING STALLS (EXCLUDING EV STALLS)
±2844	17	2	3	1	20	16



OVERALL PROPERTY PLAN
SCALE: 1" = 50'-0"



WT GROUP AEC
Engineering with Precision, Pace and Passion.
2000 Center Drive, Suite 8411
Farmington Hills, MI 48334
P: 248.298.8333
wgroupaec.com
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Item A.

8320 HIGHLAND
8320 HIGHLAND ROAD
WHITE LAKE TOWNSHIP, MI 48386

EXPIRES: 03/02/28 SIGNED: 07/16/26

REV.	ISSUED FOR	DATE	BY
A	FOR CLIENT REVIEW	03/18/26	JTB
0	REVISION	03/23/26	JTB
1	REVISION	05/20/26	JTB
2	REVISION	06/12/26	JTB
3	REVISION	07/16/26	JTB

AQUATIC \ DESIGN & PROGRAM MANAGEMENT
CIVIL \ TELECOMMUNICATION \ MECHANICAL
PLUMBING \ ELECTRICAL \ LAND SURVEYING
ACCESSIBILITY CONSULTING \ STRUCTURAL

CHECK: JKR
DRAWN: JTB
JOB: T2600207

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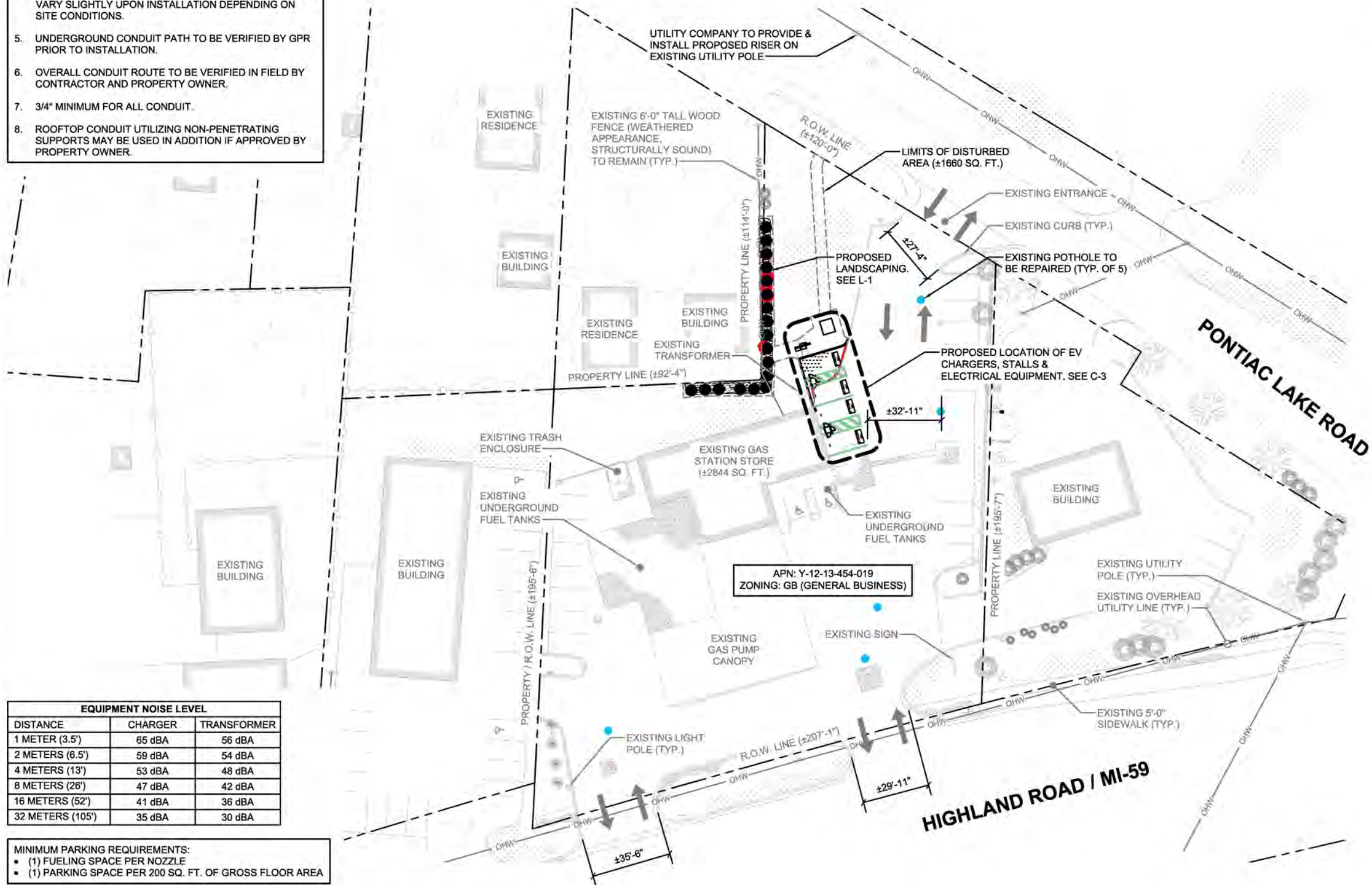
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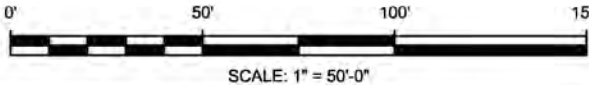
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SCALE: 1" = 50'-0"

1



Item A.

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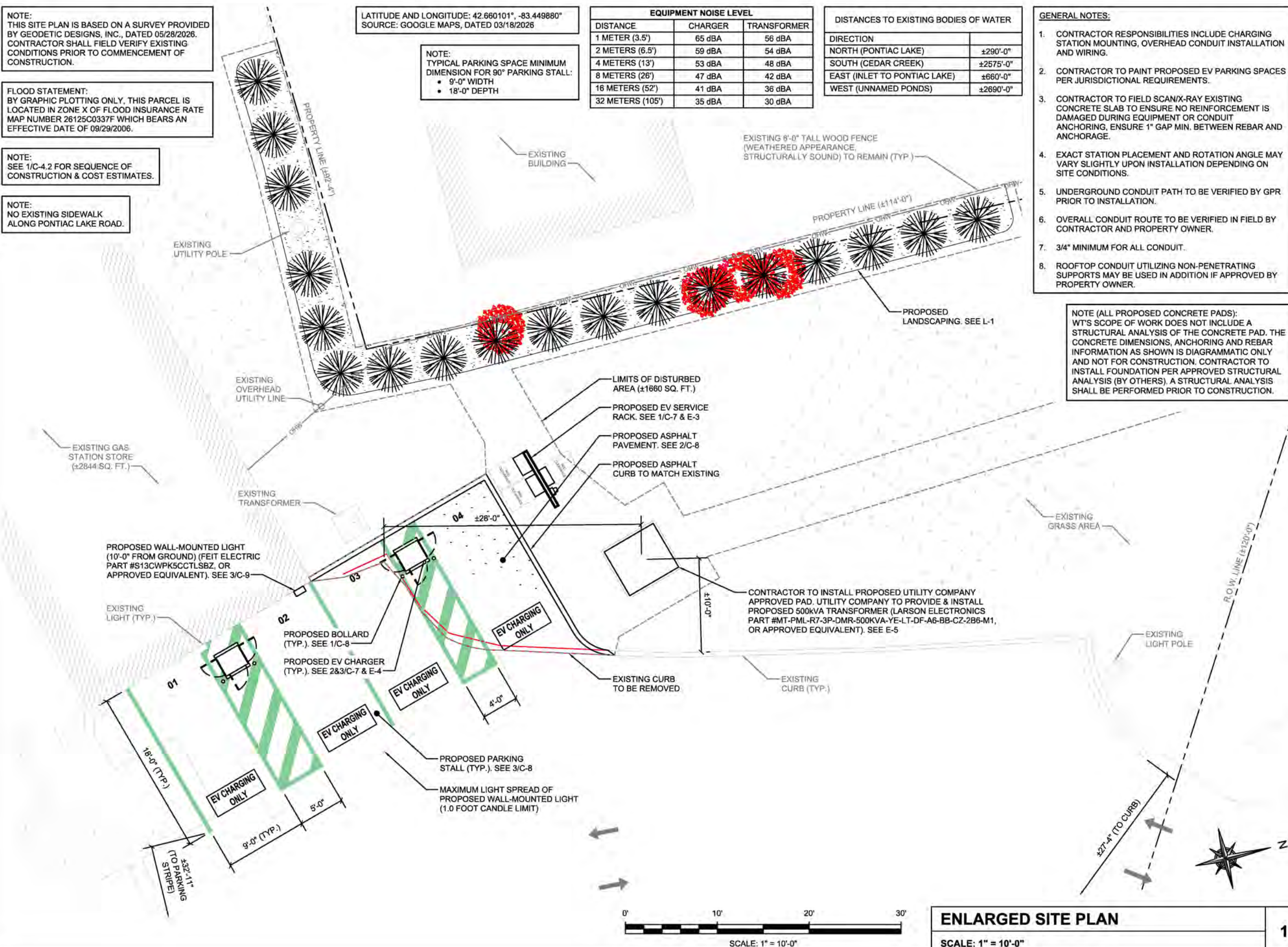
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8. ROOFTOP CONDUIT UTILIZING NON-PENETRATING SUPPORTS MAY BE USED IN ADDITION IF APPROVED BY PROPERTY OWNER.

NOTE (ALL PROPOSED CONCRETE PADS):
WT'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL ANALYSIS OF THE CONCRETE PAD. THE CONCRETE DIMENSIONS, ANCHORING AND REBAR INFORMATION AS SHOWN IS DIAGRAMMATIC ONLY AND NOT FOR CONSTRUCTION. CONTRACTOR TO INSTALL FOUNDATION PER APPROVED STRUCTURAL ANALYSIS (BY OTHERS). A STRUCTURAL ANALYSIS SHALL BE PERFORMED PRIOR TO CONSTRUCTION.



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ENLARGED SITE PLAN

XXX.XX

PROPOSED CONTOUR (FT)

XXX.XX

PROPOSED ELEVATION (FT)

T/F=XXX.XX
T/P=XXX.XX

FOUNDATION/PAVEMENT
ELEVATIONS (FT)

XXX.XX

INVERT/INLET (FT)

XXX.XX

PROPOSED SPOT GRADE (FT)

LF

LINEAR FEET

T/F

TOP OF FOUNDATION
(CONCRETE)

T/P

TOP OF PAVEMENT
(FINISHED GRADE/GRAVEL)

FLOW DIRECTION

PROPOSED CMP
(CORRUGATED METAL PIPE)

CENTER OF SWALE

PROPOSED CONTOUR

DISTANCES TO EXISTING BODIES OF WATER	
DIRECTION	
NORTH (PONTIAC LAKE)	±290'-0"
SOUTH (CEDAR CREEK)	±2575'-0"
EAST (INLET TO PONTIAC LAKE)	±660'-0"
WEST (UNNAMED PONDS)	±2690'-0"

NOTE:

DUE TO EXISTING TOPOGRAPHY, A
GRADING PLAN IS NOT REQUIRED.

NOTE:

CHARGE-X USA SHALL BE RESPONSIBLE FOR
INSPECTION AND MAINTENANCE OF SESC
MEASURES UNTIL FINAL STABILIZATION.

NOTE:

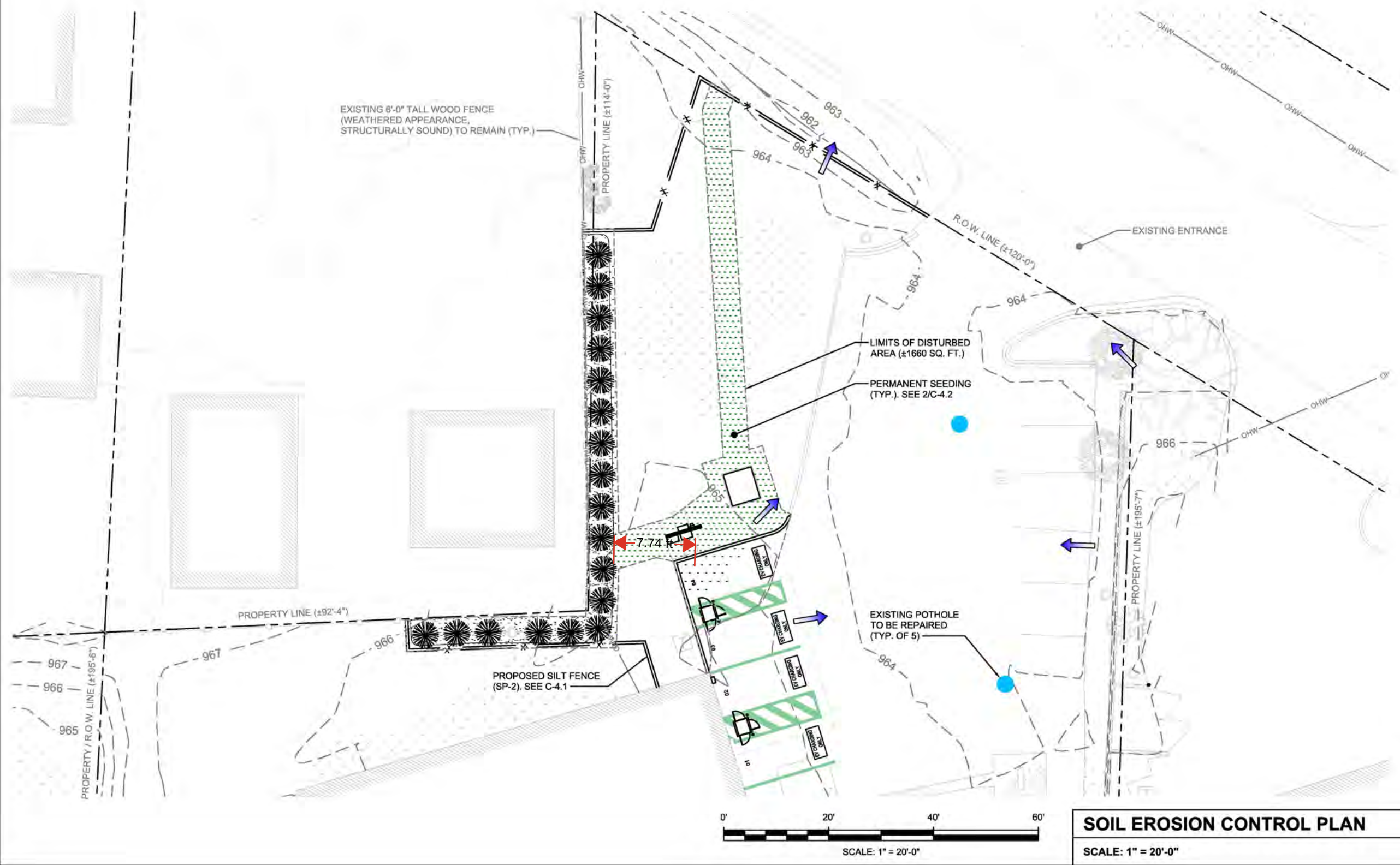
THE SOIL EROSION CONTROLS WILL BE
MAINTAINED WEEKLY AND AFTER EVERY
STORM EVENT BY CHARGE-X USA.

NOTE:

THIS SITE PLAN IS BASED ON A SURVEY PROVIDED
BY GEODETIC DESIGNS, INC., DATED 05/28/2026.
CONTRACTOR SHALL FIELD VERIFY EXISTING
CONDITIONS PRIOR TO COMMENCEMENT OF
CONSTRUCTION.

FLOOD STATEMENT:

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS
LOCATED IN ZONE X OF FLOOD INSURANCE RATE
MAP NUMBER 26125C0337F WHICH BEARS AN
EFFECTIVE DATE OF 09/29/2006.



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STATE OF MICHIGAN

MARK VENTRELLI

ENGINEER

No. 6201057905

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SOIL EROSION CONTROL PLAN

National Flood Hazard Layer FIRMette

83°27'18"W 42°39'50"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/8/2026 at 5:39 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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FEMA FIRMETTE MAP

SCALE: NONE

1



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FEMA FIRMETTE MAP



April 8, 2026

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond

- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)
This page was produced by the NWI mapper



WETLANDS MAP

SCALE: NONE

1



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ENGINEER
No. 6201057905
STATE OF MICHIGAN
LICENSED

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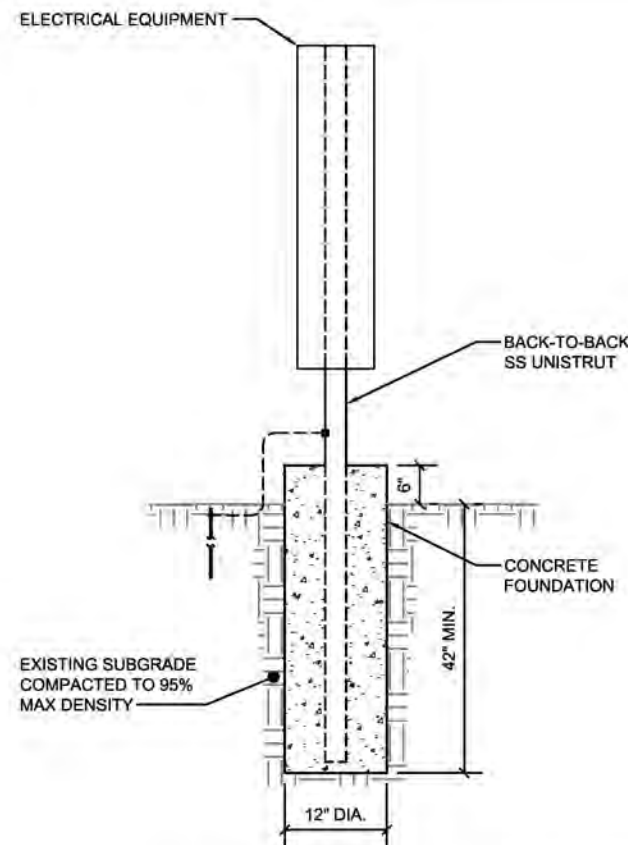
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C

32

WETLANDS MAP



EQUIPMENT RACK & FOUNDATION DETAIL

SCALE: NONE

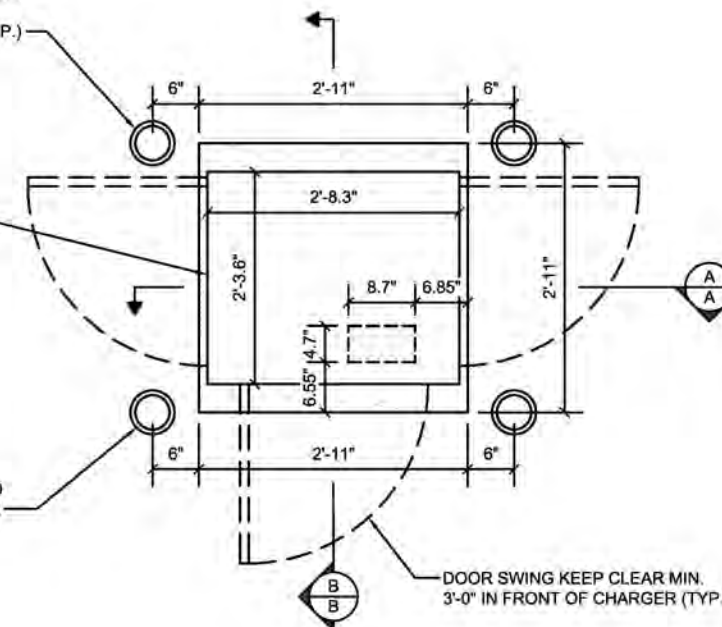
1

INCLUDE REAR BOLLARDS ONLY WHEN BACK OF CHARGER IS EXPOSED TO CAR OR PEDESTRIAN TRAFFIC VIA SIDEWALK, STREET, ALLEYWAY, ETC. WITHIN 3'-0" (TYP.)

NEW CHARGER BASE PLATE, CENTERED ON PROPOSED 35"x 35" CONCRETE PAD. SEE E-4 FOR LAYOUT

NEW C.I.P. BOLLARD W/ PVC SLIP COVER

DOOR SWING KEEP CLEAR MIN. 3'-0" IN FRONT OF CHARGER (TYP.)



CHARGER EQUIPMENT PAD PLAN

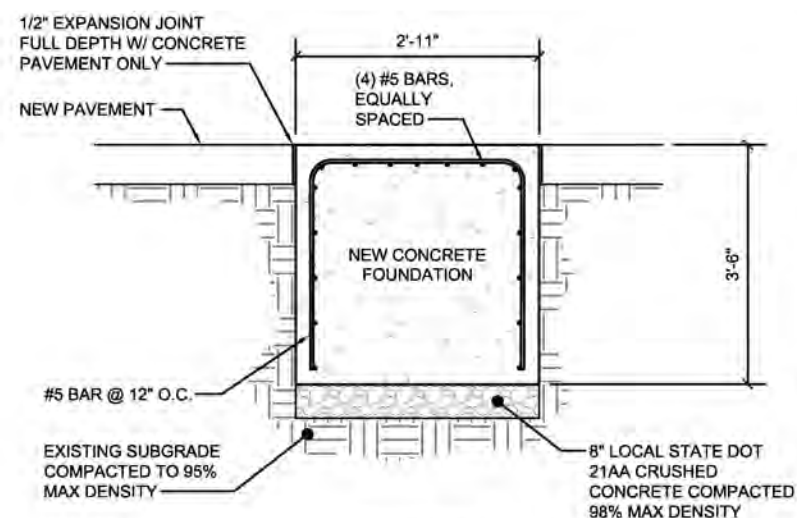
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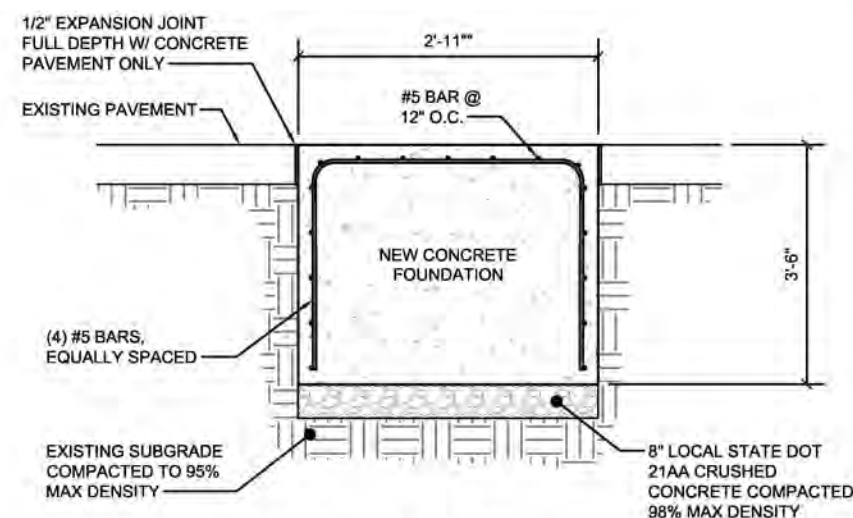
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CONSTRUCTION NOTES:

1. PROVIDE 3" MIN. CLEAR SPACE FROM EDGE OF PAD FOR ALL MOUNTING ANCHORS OR PENETRATIONS.
2. ALL CONCRETE TO USE LOCAL STATE DOT CONCRETE MIX 4000HP, 4000 PSI



SECTION "A-A"



SECTION "B-B"

CHARGER EQUIPMENT PAD SECTION

SCALE: NONE

3



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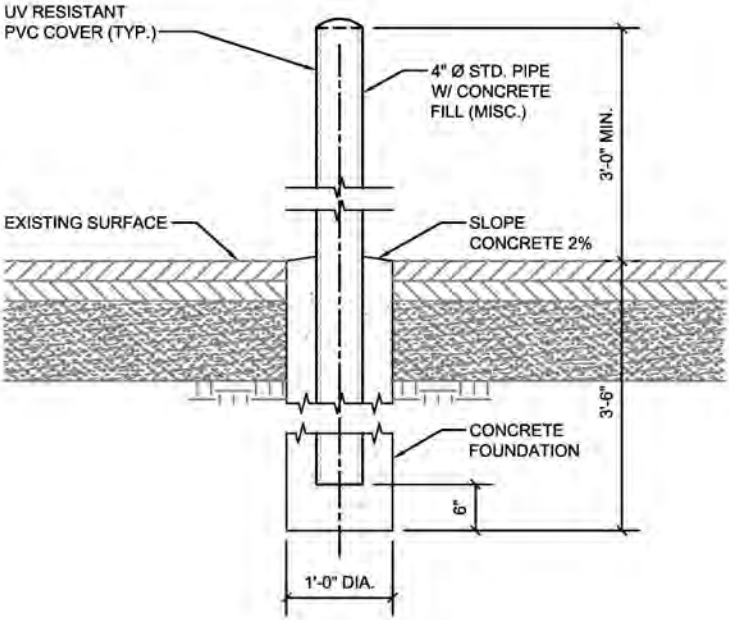
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33

SITE DETAILS

NOTE:
ALL BOLLARDS ARE TO BE PRIMED AND COVERED WITH 1/4" IDEAL SHIELD PVC COVER, OR APPROVED EQUAL. COLOR TO BE COORDINATED WITH OWNER.

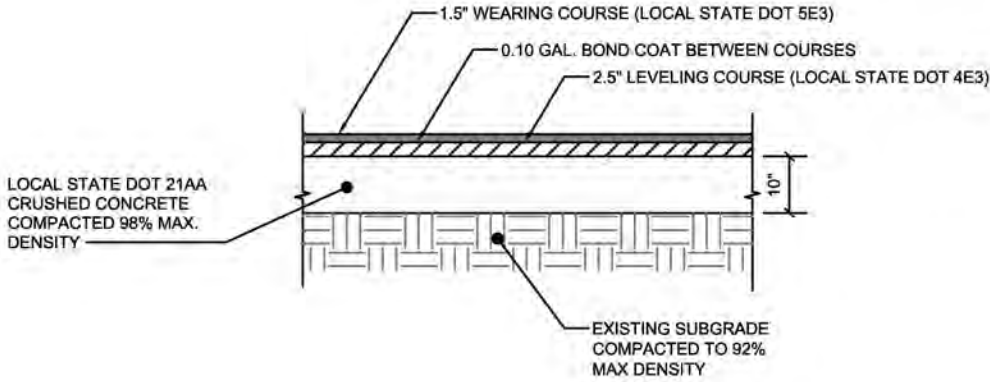


CAST-IN-PLACE (C.I.P.) BOLLARD DETAIL

SCALE: NONE

1

- NOTES:
1. ASPHALT SHALL BE SAW CUT FULL DEPTH AND REMOVED WITH A CLEAN EDGE. ALL BROKEN OR DETERIORATED ADJACENT SURFACES SHALL BE REMOVED AND REPLACED AS PART OF THIS PROJECT.
 2. ALL ADJACENT EDGED SHALL BE HOT ROLLED OVERLAPPED JOINTS WITH LIKE IN KIND CONCRETE WEAR COURSE. ALL SURFACES SHALL BE CLEANED, DRY, AND FREE OF DEBRIS BEFORE APPLYING BOND COMPOUND COAT.



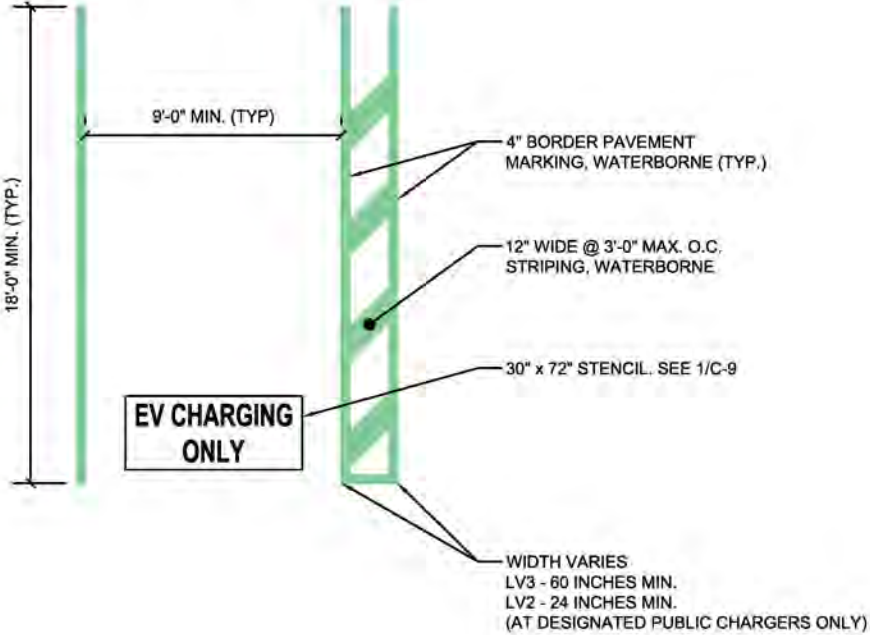
ASPHALT PAVEMENT DETAIL

SCALE: NONE

2

NOTE:
ALTERNATE PATCH - TO BE USED AT OWNER'S DISCRETION.

CUSTOMER PARKING ONLY SIGN. CHARGING SPACE SHALL BE UNRESTRICTED



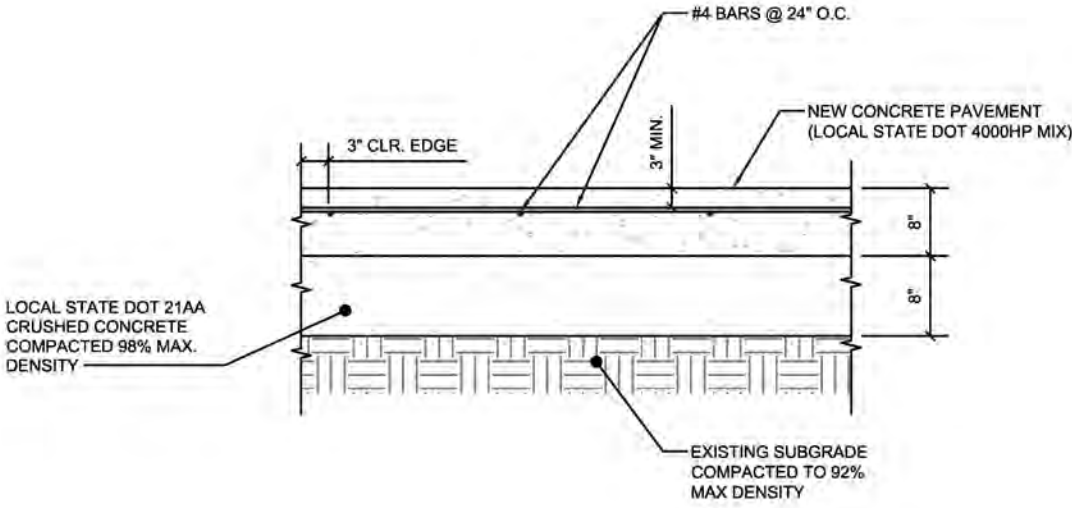
PARKING SPACE PAVEMENT MARKINGS

SCALE: NONE

3

NOTE:
ALL NEW PAVEMENT MARKINGS TO BE GREEN OR AS APPROVED BY OWNER.

NOTE:
ONLY FOR USE ON CONCRETE AND ASPHALT PAVEMENT WHEN APPLICABLE.



CONCRETE PAVEMENT DETAIL

SCALE: NONE

4



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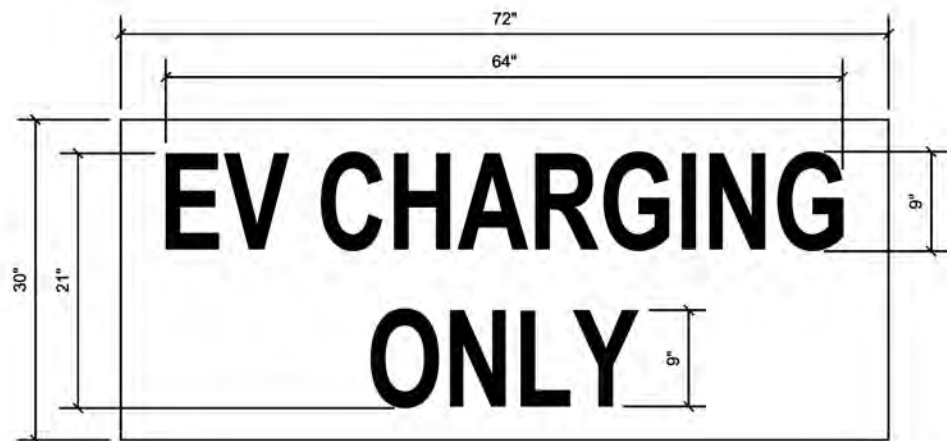
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34
SITE DETAILS



NOTE:
CHARGE-X USA TO PROVIDE SIGNS
IN CHARGER SHIPPING CRATES.

EV STENCIL DETAIL

SCALE: NONE

1

NOT USED

SCALE: NONE

2

NOTE:
FOOT CANDLE LIMIT FOR GAS STATION/
CONVENIENCE STORE APRON = 1.0



8000/6000/4000 Lumens Adjustable White Commercial
Wall Pack Light

Features

- Adjustable brightness and color temperature
- IP65 wet location rated, suitable for use in open-air decks and patios
- Dusk to dawn turns on automatically at night and off during the day, for added convenience
- Special Features:** Dusk to Dawn, Switch Activated, All Weather Resistant



Specifications

Item Number	Item Length (In)	Item Width (In)	Item Height (In)
S13CWPK5CCTLSBZ	7.5	14.4	9.6
Bulb Finish	Fixture Type	Fixture Finish	Fixture Lens Material
Bronze	Security	Aluminum	Clear
Fixture Color	Technology	Brightness (LUMENS)	Color Accuracy (CRI)
Bronze	LED - SMD	8000	80
Color Temperature (CCT)	Life Hours	Life Years	Voltage (V)
3000 3500 4000 5000 6500	50000	45.7	120-277
Energy Used (Wattage)	Battery Operated	Pack Quantity	Bulbs Included
86	No	1	Yes
Smart	Portable	Dimmable	Hardwire
No	No	0-10	Yes
Enclosed Fixture Rated	Safety Location	CEC Compliant	
No	Wet	Not Regulated	

Felit Electric Company | 4901 Gregg Road | Pico Rivera, CA 90660 | felit.com

SITE LIGHTING DETAIL

SCALE: NONE

3



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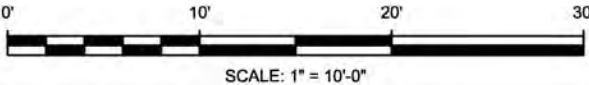
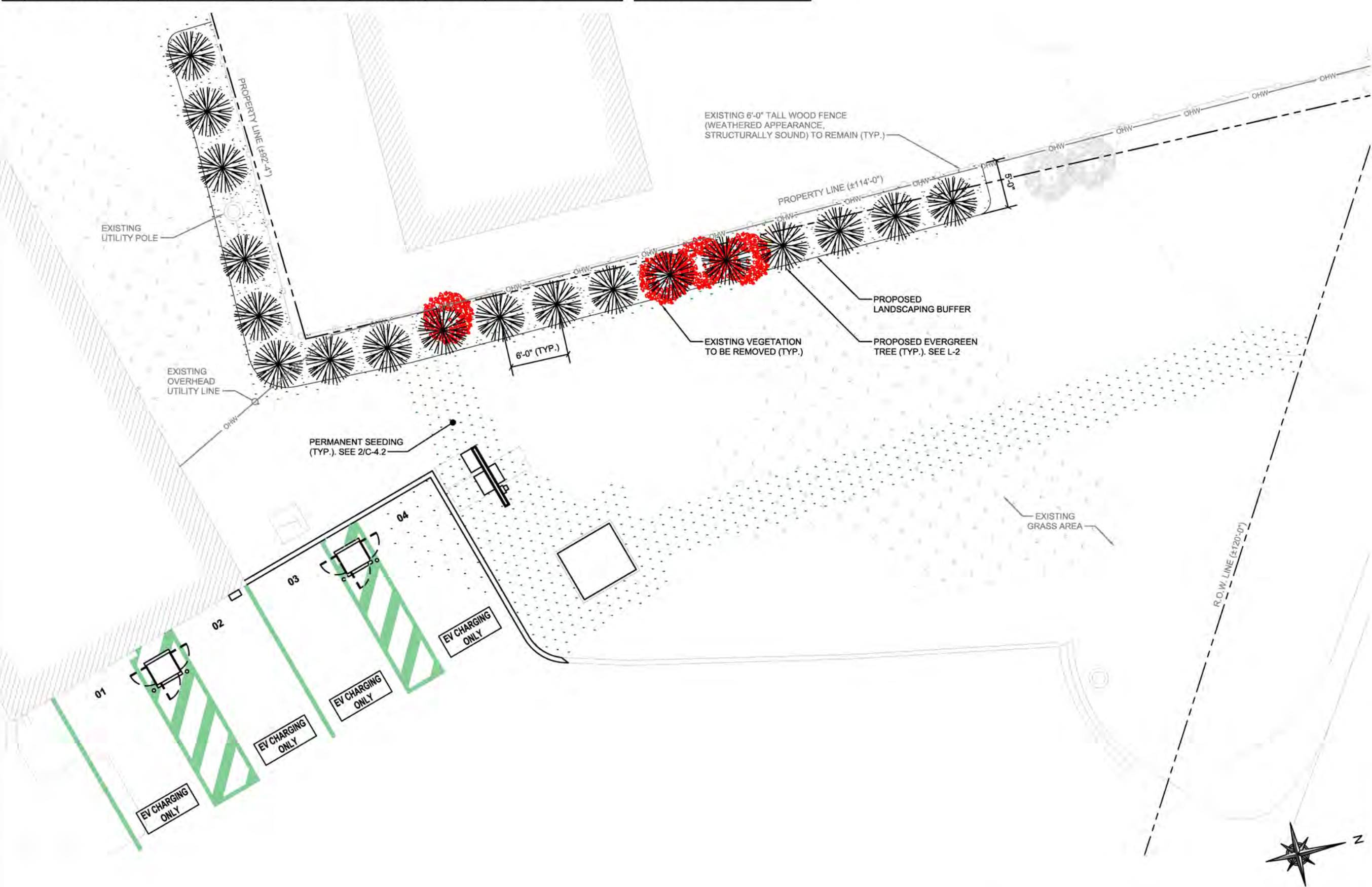
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SITE DETAILS

LANDSCAPE CHART						
QTY.	COMMON NAME	SCIENTIFIC NAME	HT. AT INSTALL	SPACING	ROOTBALL	OVERALL PROJECTED HEIGHT
18	MISSION ARBORVITAE	thuja occidentalis 'mission'	6'-0"	6'-0" O.C. MAX	B/B	10'-0"

NOTE:
LAND OWNER WILL BE RESPONSIBLE
FOR MAINTAINING AND WATERING ALL
LANDSCAPING ON SITE.



LANDSCAPING PLAN
SCALE: 1" = 10'-0"

1

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LANDSCAPING PLAN

ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:

1. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT.
2. NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FIRE HYDRANT OR OTHER ABOVE GROUND UTILITIES.
3. NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS.

INSTALLATION STANDARDS:

1. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
2. ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE STATE OF MICHIGAN.
3. ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
4. ALL TAGS, WIRES, PLASTIC TIES AND ROPE SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL. IF A PLASTIC 'BURLAP' IS USED, IT SHALL BE REMOVED IN ITS ENTIRETY FROM THE ROOTBALL.
5. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) FEET AROUND THE BASE OF THE TREE.
6. TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COVERED TO PREVENT CUTTING INTO THE BARK.
7. ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE, PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE.
8. THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER.

PLANTING SEASONS:

1. PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST.
2. THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
3. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED.

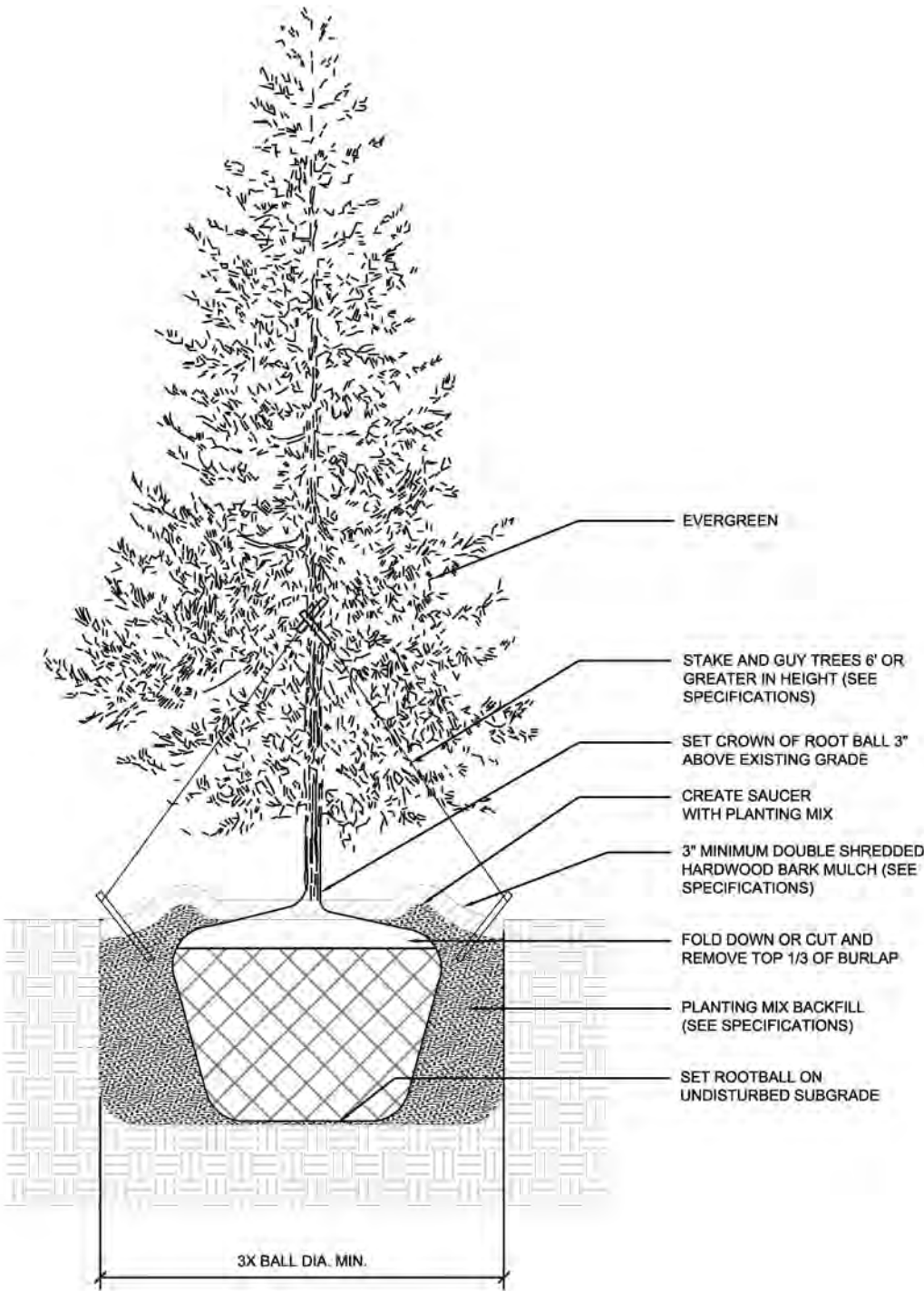
PLANTING:

1. ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE.
2. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE.
3. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX.
4. PLANTING MIX TO CONSIST OF 1/3 TOP SOIL, 1/3 SOIL FROM EXCAVATION, AND 1/3 MUSHROOM COMPOST (OR 1/3 PEAT MOSS).

CLEAN UP:

1. ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE.
2. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVE ALL MUD OR DIRT.

NOTE:
ALL MATERIALS SURROUNDING THE TREE
ROOT BALL, INCLUDING WIRING, ARE TO BE
REMOVED PRIOR TO PLANTING OF TREES.



NOTES

SCALE: NONE

1

LANDSCAPING DETAIL

SCALE: NONE

2

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LEGEND

TRENCHING ROUTE

PENDING UTILITY COORDINATION

CONDUIT NOTE:
ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC. ABOVE-GRADE CONDUIT (INCLUDING CONDUIT ASSOCIATED WITH FREE-STANDING OR WALL-MOUNTED SERVICE EQUIPMENT) SHALL BE SCHEDULE 40 PVC, UNLESS THE ABOVE-GRADE RUN LENGTH IS GREATER THAN OR EQUAL TO (5) FEET, IN WHICH CASE SCHEDULE 80 PVC SHALL BE UTILIZED.

TRENCHING NOTE:
PROPOSED TRENCHING ROUTE IS SCHEMATIC AND SUBJECT TO MODIFICATION BASED ON FIELD CONDITIONS AND/OR IDENTIFICATION OF A MORE EFFICIENT ROUTING METHOD. ALL TRENCHING SHALL AVOID EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE UTILITY LOCATING THROUGH MISS DIG PRIOR TO EXCAVATION.

LEGEND

GAS

GAS LINE

OHW

OVERHEAD UTILITY LINE

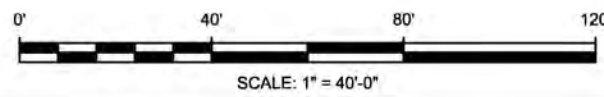
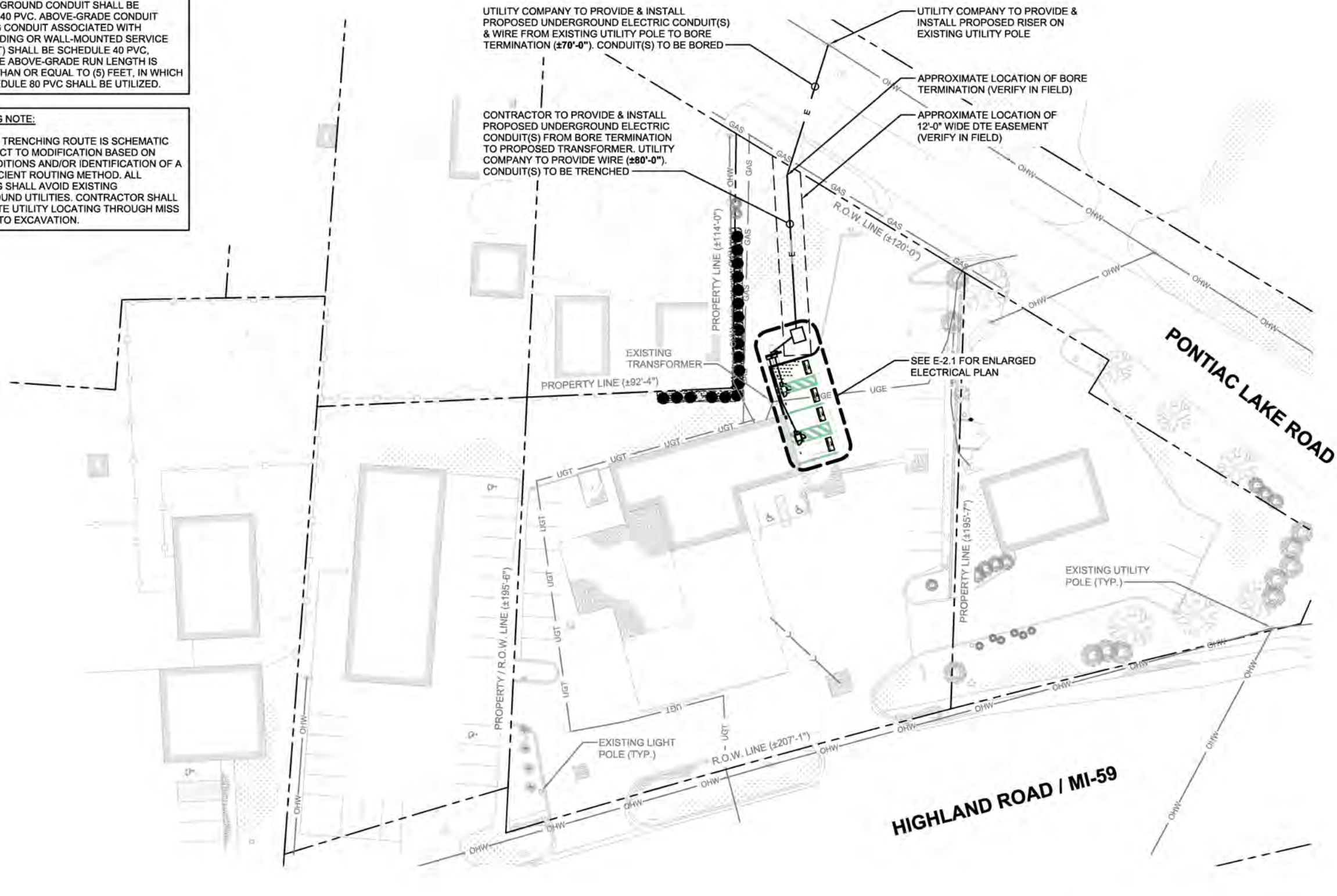
STORM SEWER LINE

UGE

UNDERGROUND ELECTRIC LINE

UGT

UNDERGROUND TELCO LINE



OVERALL ELECTRICAL PLAN

SCALE: 1" = 40'-0"

1



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MARK VENTRELLI
ENGINEER
No. 6201057905
STATE OF MICHIGAN
LICENSED

EXPIRES: 03/02/28 SIGNED: 07/16/26

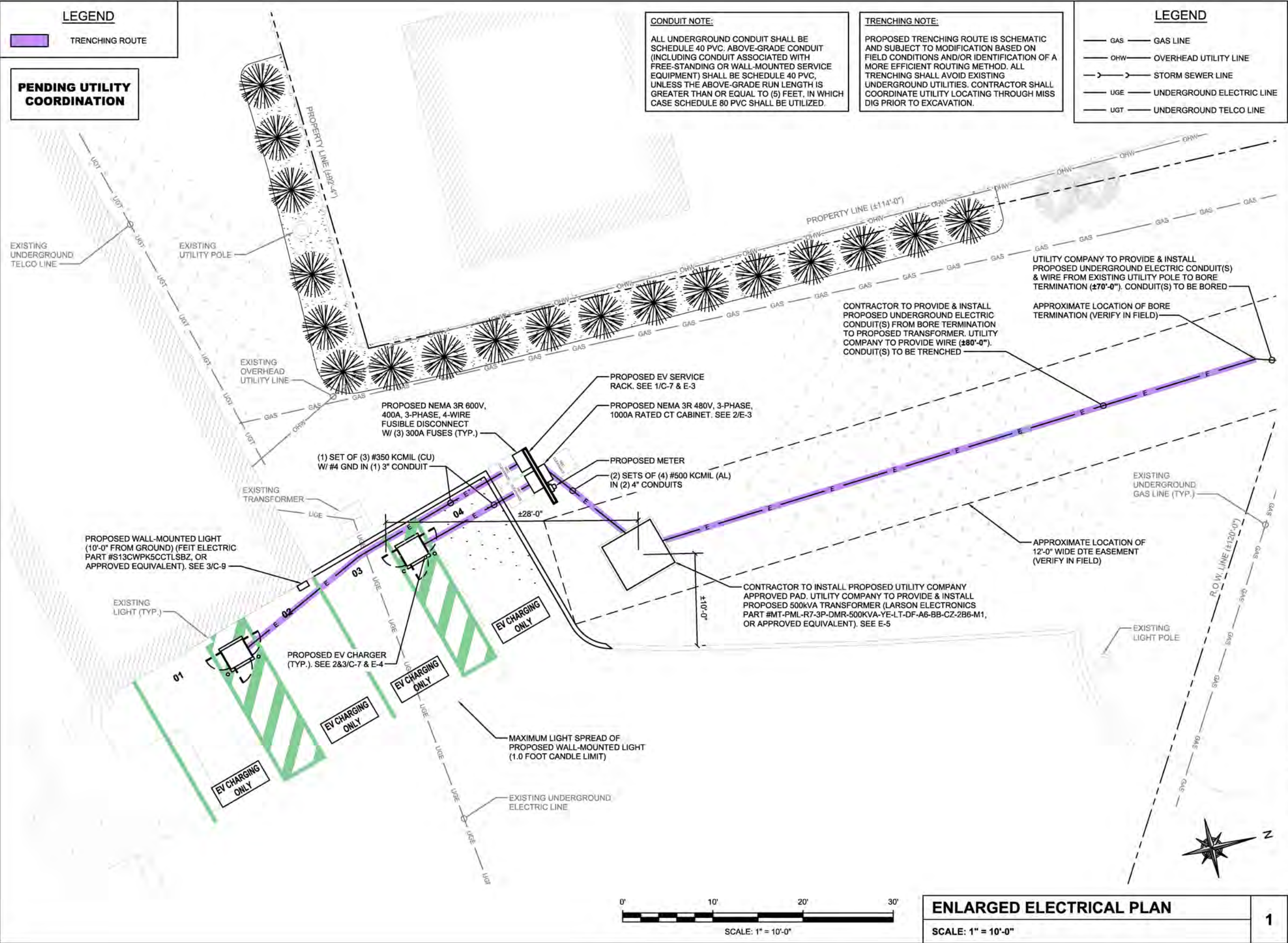
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OVERALL ELECTRICAL PLAN

38



LEGEND

TRENCHING ROUTE

PENDING UTILITY COORDINATION

CONDUIT NOTE:

ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC. ABOVE-GRADE CONDUIT (INCLUDING CONDUIT ASSOCIATED WITH FREE-STANDING OR WALL-MOUNTED SERVICE EQUIPMENT) SHALL BE SCHEDULE 40 PVC, UNLESS THE ABOVE-GRADE RUN LENGTH IS GREATER THAN OR EQUAL TO (5) FEET, IN WHICH CASE SCHEDULE 80 PVC SHALL BE UTILIZED.

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LEGEND

— GAS — GAS LINE

— OHW — OVERHEAD UTILITY LINE

— S — STORM SEWER LINE

— UGE — UNDERGROUND ELECTRIC LINE

— UGT — UNDERGROUND TELCO LINE

CHARGE-X

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Item A.

STATE OF MICHIGAN
MARK VENTRELLI
ENGINEER
No. 6201057905
LICENSED

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E-1
ENLARGED ELECTRICAL PLAN

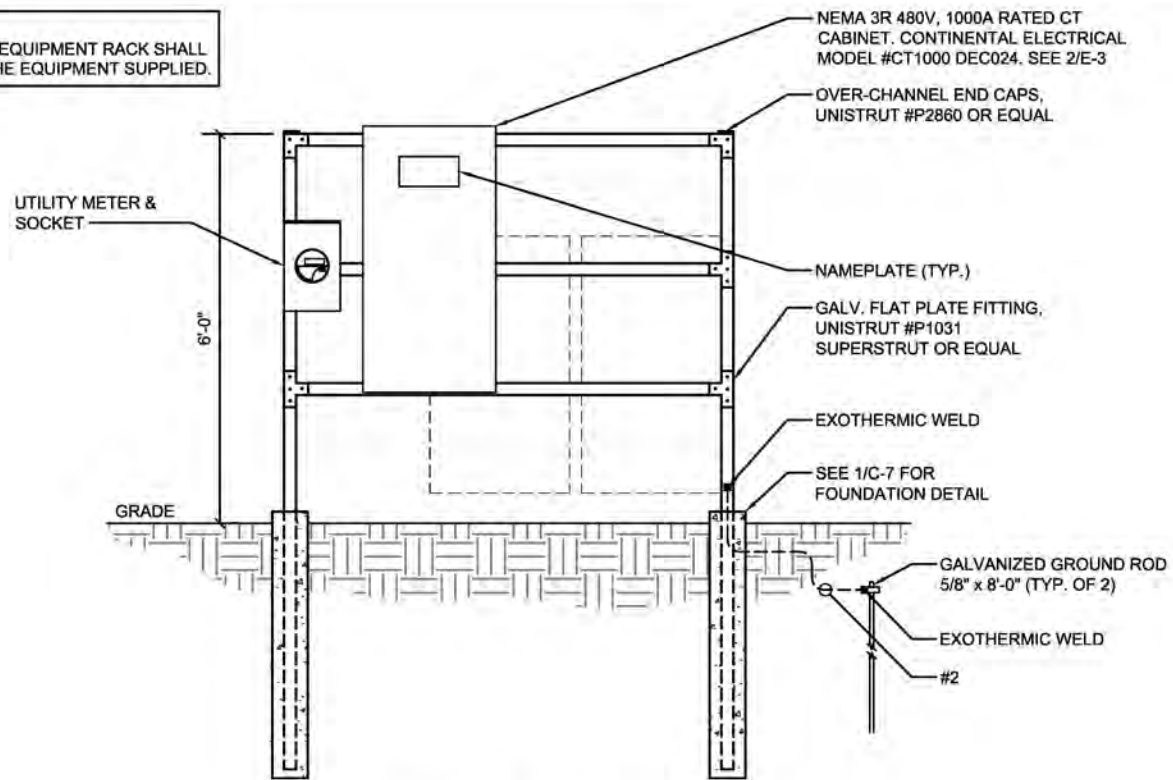
39

ENLARGED ELECTRICAL PLAN

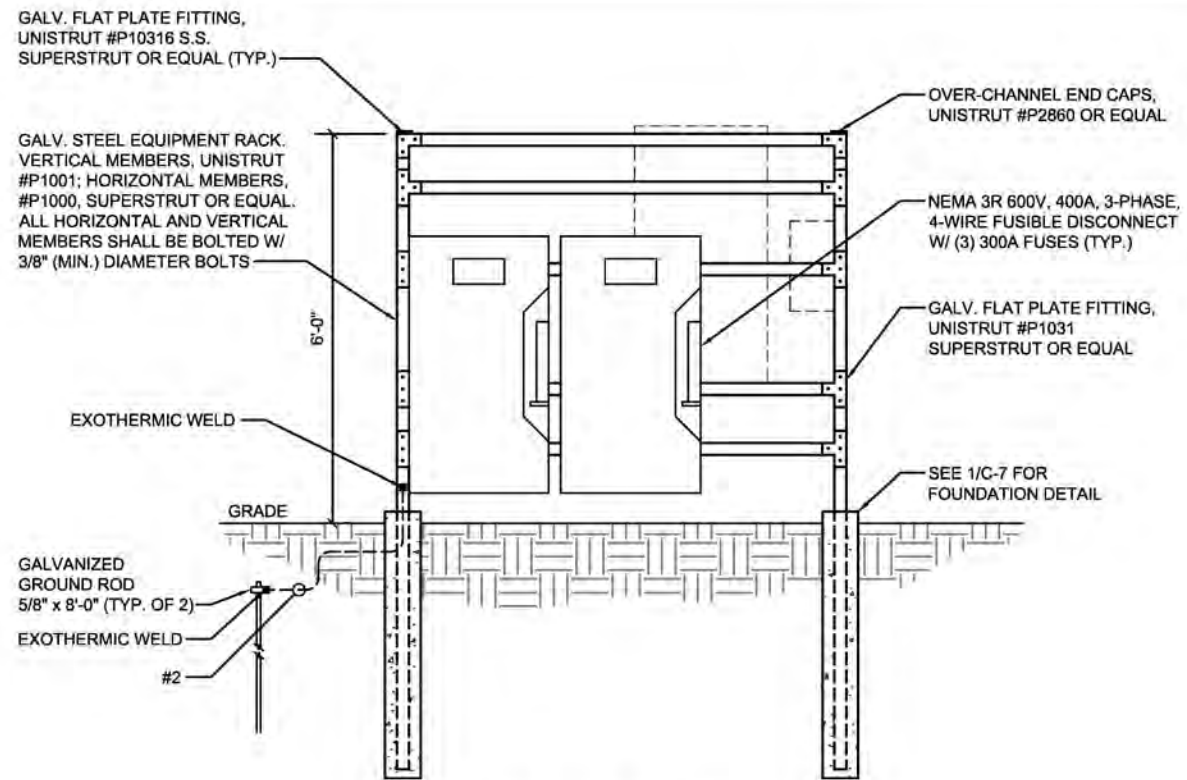
SCALE: 1" = 10'-0"

1

NOTE:
EXACT WIDTH OF THE EQUIPMENT RACK SHALL
BE DETERMINED BY THE EQUIPMENT SUPPLIED.



FRONT VIEW



REAR VIEW

EQUIPMENT RACK DETAIL

SCALE: NONE

1

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- 3R CONSTRUCTION
- LIFT-OFF DOOR
- AVAILABLE WITH OUR U.L. LISTED BUS RUISER
- PADLOCK & SEAL PROVISIONS
- EXPANDED 36" WIDE UNIT AVAILABLE - (SPECIFY EXPANDED LEFT OR RIGHT SIDE GUTTER)

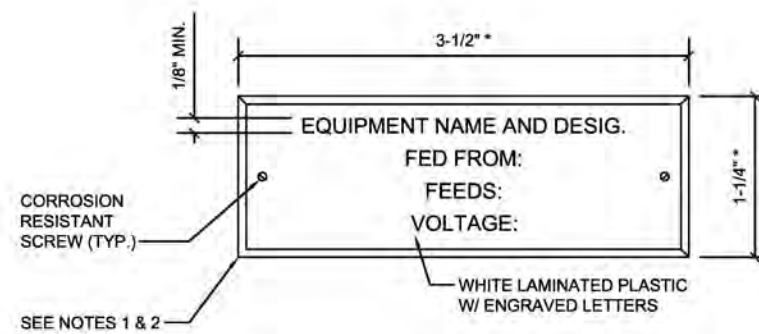


JANUARY 2000

CT CABINET SPECIFICATIONS

SCALE: NONE

2



* SMALLER SIZES MAY BE USED AS INDICATED; SEE SPECIFICATIONS

NOTES:

1. NAMEPLATES SHALL BE PROVIDED FOR ALL NEW BRANCH CIRCUITS IN NEW DISTRIBUTION PANELS AND RECEPTACLE PANELS.
2. NAMEPLATES SHALL BE PROVIDED FOR NEW BRANCH CIRCUITS AND/OR MODIFICATIONS TO EXISTING SWITCHGEARS, DISTRIBUTION PANELS, AND RECEPTACLE PANELS.

NAMEPLATE DETAIL

SCALE: NONE

3



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E 40

ELECTRICAL DETAILS

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MAXICHARGER™
DC FAST 60KW-240KW WITH 20KW INCREMENTS
SPECIFICATIONS



- FLEXIBLE POWER MODULE DESIGN
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SPECIFICATIONS CHARGER DC FAST 60KW-240KW WITH 20KW INCREMENTS

PARAMETERS	DCFC 60KW-120KW	DCFC 140KW-240KW
CHARGE POWER	60KW-120KW	140KW-240KW
CHARGE VOLTAGE	200V-550V	200V-550V
CHARGE CURRENT	150A-250A	150A-250A
CHARGE TIME	15-30 MIN	15-30 MIN
CHARGE EFFICIENCY	>95%	>95%
CHARGE TEMPERATURE	-30°C to 55°C	-30°C to 55°C
CHARGE HUMIDITY	5% to 95%	5% to 95%
CHARGE ALTITUDE	0 to 3000m	0 to 3000m
CHARGE VIBRATION	0.1g to 0.5g	0.1g to 0.5g
CHARGE SHOCK	0.5g to 1.5g	0.5g to 1.5g
CHARGE PROTECTION	Overvoltage, Overcurrent, Overtemperature, Short circuit, Ground fault, Arc fault, Fire, Theft, Tamper, etc.	Overvoltage, Overcurrent, Overtemperature, Short circuit, Ground fault, Arc fault, Fire, Theft, Tamper, etc.
CHARGE COMMUNICATION	4G/LTE, Wi-Fi, Bluetooth, RS485, CAN, etc.	4G/LTE, Wi-Fi, Bluetooth, RS485, CAN, etc.
CHARGE DISPLAY	27" Touchscreen	27" Touchscreen
CHARGE MOUNTING	Wall Mount, Pole Mount, etc.	Wall Mount, Pole Mount, etc.
CHARGE WEIGHT	150kg	200kg
CHARGE DIMENSIONS	1200mm x 600mm x 200mm	1200mm x 600mm x 200mm
CHARGE COMPLIANCE	CE, FCC, RoHS, etc.	CE, FCC, RoHS, etc.
CHARGE WARRANTY	3 Years	3 Years

FC

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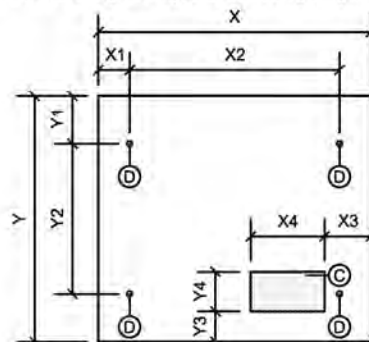
CHARGER SPECIFICATIONS

SCALE: NONE

1

PARAMETER	SPECIFICATIONS			
	MAXICHARGER DC FAST 120		MAXICHARGER DC FAST 160	
	in.	mm	in.	mm
X	32.3	820	32.3	820
Y	25.2	640	29.1	740
X1	3.7	95	3.7	95
X2	24.8	630	24.8	630
X3	5.5	140	5.5	140
X4	8.7	220	8.7	220
Y1	3.7	94.3	5.7	144.3
Y2	17.7	450	17.7	450
Y3	5.2	131	3.6	91.5
Y4	4.7	120	4.7	120

6. PLACE THE DRILLING TEMPLATE ON THE CONCRETE SURFACE, ALIGNING THE MARKED AREA (C). MARK THE FOUR MOUNTING HOLES (D) AND REMOVE THE DRILLING TEMPLATE. DRILL HOLES WITH DEPTH OVER 4.3 INCHES (110 mm) AND 4/5 INCH (20 mm) IN DIAMETER. CLEAN ANY DEBRIS.



CHARGER BASE

SCALE: NONE

2

4.1.1 LOCATION REQUIREMENTS

- THE MAXICHARGER REQUIRES AN INSTALLATION SPACE OF 95.3 x 80.8 INCHES (2420 x 1950 mm, FOR MAXICHARGER DF 120) OR 103.2 x 80.7 INCHES (2620 x 2050 mm, FOR MAXICHARGER DF 160) IN ORDER TO ENSURE THE NORMAL OPERATION AND AIRFLOW AROUND THE MAXICHARGER. THE SPACE IS CALCULATED AS FOLLOWS:

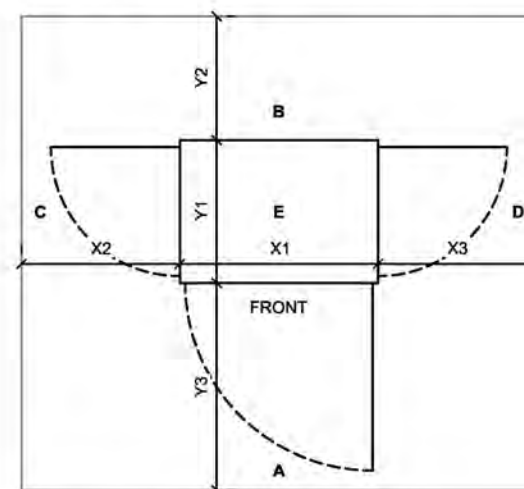


FIGURE 4-1 LOCATION REQUIREMENTS

- A. FRONT SIDE OF THE MAXICHARGER
- B. REAR SIDE OF THE MAXICHARGER
- C. LEFT SIDE OF THE MAXICHARGER
- D. RIGHT SIDE OF THE MAXICHARGER
- E. CABINET

TABLE 4-1 SPACE REQUIREMENTS FOR MAXICHARGER DF 120

PARAMETER	SPECIFICATION	
	in.	mm
X1	32.3	820
X2	31.5	800
X3	31.5	800
Y1	23.6	600
Y2	19.7	500
Y3	33.5	850

TABLE 4-2 SPACE REQUIREMENTS FOR MAXICHARGER DF 160

PARAMETER	SPECIFICATION	
	in.	mm
X1	32.3	820
X2	35.4	900
X3	35.4	900
Y1	27.6	700
Y2	19.7	500
Y3	33.5	850

CHARGER CLEARANCES

SCALE: NONE

3

NOTE:
CHARGER BASES ARE THE SAME
FOR 160KW THRU 240KW CHARGERS.

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E 41
ELECTRICAL EQUIP
SPECIFICATIONS

TO: White Lake Township Planning Commission
FROM: David Waligora, AICP, Senior Planner
DATE: August 13, 2026
RE: 2027–2032 Capital Improvement Plan – Cover Memo

Staff has prepared the draft 2027–2032 Capital Improvement Plan (CIP) for initial review and discussion by the Planning Commission. As an annually updated six-year planning document, much of the proposed CIP carries forward projects identified in last year's plan, with departments updating project timing, scope, and estimated costs as appropriate.

For this update, the Fire Department has retained much of its previously identified capital program while adding four new projects. The Water and Sewer program areas generally maintain the same projects included in the prior CIP, with updated cost estimates and related figures. Other program areas have similarly been updated based on current departmental priorities and available information.

Staff is also requesting Planning Commission feedback regarding the Township's current definition of a capital improvement. The existing CIP generally establishes a \$50,000 minimum project cost, a threshold that has been in place since the CIP was established in 2009. Given the increase in construction, equipment, and professional service costs since that time, staff would like the Commission to consider whether the threshold should be increased from \$50,000 to \$75,000.

The draft is being presented at this time primarily for Planning Commission discussion and feedback. A public hearing has been scheduled for September 3, 2026, at which time the Commission will receive public comment and consider its formal recommendation on the CIP to the Township Board.

2027-2032 Capital Improvement Plan (CIP)



CHARTER TOWNSHIP OF WHITE LAKE
Oakland County, Michigan

2027-2032 Capital Improvement Plan (CIP)

ACKNOWLEDGEMENTS

White Lake Township Board of Trustees

Rik Kowall, Supervisor | Anthony L. Noble, Clerk | Mike Roman, Treasurer |
Scott Ruggles, Trustee | Liz Fessler Smith, Trustee | Andrea C. Voorheis, Trustee | Steve Anderson, Trustee |

White Lake Township Planning Commission

Merrie Carlock, Chair | Robert Seeley, Vice-Chair | Debby Dehart, Secretary & ZBA Liaison | T. Joseph Seward |
Scott Ruggles, Township Board Liaison | Mona Sevic | Peter Meagher |

White Lake Township Department Heads

Rik Kowall, Supervisor | Anthony L. Noble, Clerk | Mike Roman, Treasurer |
David Hieber, Assessor | Aaron Potter, DPS Director | David Feichtner, Fire Chief |
Daniel T. Keller, Chief of Police | Sean O'Neil (AICP), Community Development Director |
Kathy Gordinear, Dublin Community Senior Center Director | David Waligora, Parks and Recreation | Nick Spencer,
Building Official |

White Lake Township Community Development Department — Planning Division

Sean O'Neil (AICP), Community Development Director | David Waligora, AICP, Senior Planner |
Hannah Kennedy-Galley, Building Specialist | Paige Myers, Executive Secretary |

The CIP Team

Community Development Department — Planning Division | Staff and Administration of White Lake Township

Table of Contents

Table Of Contents	i
Resolution of Adoption	iii
Ch. 1. Overview	1-1
1a. CIP Overview	1-3
1b. White Lake Township Overview	1-7
1c. CIP Process Overview	1-9
Ch. 2. Existing Capital Facilities	2-1
Figure 2-1. Existing Capital Facilities Map	2-7
Ch. 3. Executive Summary	3-1
Ch. 4. CIP Components	4-1
4a. Facilities	4-3
4b. Fire Protection / EMS	4-5
4c. Internal Services	4-9
4d. Parks and Recreation	4-11
4e. Police Department	4-16
4f. Sanitary Sewerage Disposal System	4-18
4g. Water Supply System	4-20
Appendix	A-1
Michigan Planning Enabling Act of 2008 Excerpt	A-1
Project Application Form	A-2
Project Cost Detail Form	A-4
Project Rating Form	A-5
Summary Project Worksheet	A-7



Resolution of Adoption

White Lake Oakland County, Michigan

Capital Improvement Plan 2027-2032 Resolution #26-027

Motion by _____, supported by _____, that the White Lake Township Board of Trustees accept the Capital Improvement Plan for the years 2027-2032. The White Lake Township Board has determined the following:

WHEREAS, the Michigan Planning Enabling Act, Act 33 of 2008, requires the White Lake Township Planning Commission to annually prepare a Capital Improvement Plan for the benefit of the health, safety, and welfare of the community as those criteria relate to the physical development of the Charter Township of White Lake; and

WHEREAS, the Township's professional engineering consultant and Community Development Director have consulted with the Township's professional staff who carry on the business of planning and providing for the present and future needs of the citizens of the Charter Township of White Lake; and

WHEREAS, the Capital Improvement Plan is intended to consider the present and future needs and goals of the Charter Township of White Lake, as identified by the public, department heads, the Township Board of Trustees, and the Township Planning Commission, in consideration of existing projects and plans as well as anticipated resources; and

WHEREAS, the Capital Improvement Plan is a flexible document, intended to be reevaluated and updated on an annual basis to project into the six (6) succeeding years, and further amended as necessary to address the policies and philosophies of relevant Township Boards, Planning Commissions, and other stakeholders; and

WHEREAS the Capital Improvement Plan is a guide and forum to aid the Township Supervisor and Township Board of Trustees in making decisions regarding the physical development and infrastructure maintenance of the Township and determining what, if any, resources can and should be available to carry out the Township Board's policies and budgetary decisions; and

WHEREAS, the draft of the Capital Improvement Plan has been available for public review via the Township website and copies made available at the office of the Township Community Development Department, and has been an agenda item for discussion and review by the Planning Commission and Township Board at several public meetings, and has been the subject of a duly-noticed Public Hearing held before the

Resolution of Adoption, continued

White Lake Township Planning Commission on September 3, 2026 and will be reviewed, revised, and updated by the Planning Commission on an annual basis; and

WHEREAS, the Capital Improvement Projects included within the Capital Improvement Plan have been evaluated utilizing a point-system of variables that included, among other things, whether a Capital Improvement Project has already begun, whether funds have been committed to the Project, the sources of funds committed to a Project, whether the Project is required per a legal obligation, or whether the projects is part of a Township-adopted policy, plan, or program; and

WHEREAS the White Lake Township Planning Commission on September 3, 2026, moved to adopt the 2027-2032 Capital Improvement Plan.

NOW THEREFORE BE RESOLVED, that the Capital Improvement Plan presented during the Public Hearing on September 3, 2026, and revised by the public comments received during that Public Hearing, and adopted by the White Lake Township Planning Commission on September 3, 2026, IS ACCEPTED BY THE WHITE LAKE TOWNSHIP BOARD OF TRUSTEES; and

BE FURTHER RESOLVED, that this Capital Improvement Plan should be published and attested to according to State law.

Ayes:

Nays:

Absent:

RESOLUTION DECLARED ADOPTED.

I HEREBY CERTIFY, that I am duly elected and qualified Clerk of the Charter Township of White Lake, County of Oakland, State of Michigan, and the keeper of the records of the proceedings of said Township as authorized by the Township Board, and the foregoing is a true and correct copy of a resolution duly adopted by a majority vote at a regular meeting of the Township Board legally held on the September 15, 2026 at which a quorum was present.

Anthony L. Noble, Clerk
White Lake Township
Oakland County, Michigan

1. Overview

The 2027-2032 White Lake Township Capital Improvement Plan (CIP) will serve as a tool to assist White Lake Township in turning long-range policy planning into real improvements on the ground. A six-year capital improvement plan and an annual update of that plan is a requirement for White Lake Township under the Michigan Planning Enabling Act of 2008. The following report identifies the major capital improvements needed and/or planned for the community, the time-frame for implementation of those improvements, and the budget and revenue sources that will make those improvements a reality. Capital improvements cover multiple departments within White Lake Township, and include new Township facilities, water and sewer extensions, fire protection vehicles and equipment, police equipment, parks and recreation facilities, non-motorized pathways, and professional services.

The following subsections within this first chapter include an introduction to capital improvement planning, the community of White Lake Township, and the capital improvement planning process. In subsequent chapters, this report summarizes existing facilities (Chapter 2), provides detailed components for all major Township departments, facilities, and systems (Chapter 3), and presents the projected cost and revenue sources for all covered improvements (Chapter 4).



1a. Overview - CIP Overview

What is a Capital Improvement Plan (CIP)?

A Capital Improvement Plan is a six-year schedule of public physical improvements which identifies the needs for major public infrastructure improvements, and the sources of funding to make those improvements. It provides a schedule of expenditures for constructing, maintaining, upgrading, and/or replacing a community's physical inventory. The CIP, therefore, is a tool to assess the long-term capital project requirements (the "big jobs") of White Lake Township. Since capital improvement projects are spread across multiple community needs (fire protection, police, water and sewer, parks and recreation, municipal administration, etc.), the CIP prioritizes these projects across the entire community and over time, providing an "apples-to-apples" comparison of the community's various needs and wants.

What are Capital Improvement Projects?

Capital improvement projects are major and infrequent expenditures, such as the construction of a new facility, a major rehabilitation or repair of an existing facility, or the purchase of major equipment. Capital improvement projects are non-recurring expenditures that tend to be large both in physical size and in cost, and have a long-term usefulness (10 years or more). Examples of capital improvement projects can include:

- Construction of a new township hall
- Construction of a new fire station
- Extension of a water/sewer line
- Purchase of a new fire truck
- Major rehabilitation of a township's community/senior center
- Creation of a new township park

Examples of expenditures which would not usually constitute a capital improvement project include:

- Purchase of new office furniture
- Purchase of small equipment (lawn mowers, copiers, individual computers, etc.)
- Recurring maintenance of existing facilities
- Minor repairs of existing buildings and equipment
- Minor improvements to existing buildings (carpet, painting, etc.)

The term “major expenditure” is relative; what is “major” to one community might be “minor” to another. The City of Ann Arbor, for example, sets a minimum threshold of \$100,000 for projects to be included in the City’s CIP, while the City of Rochester Hills sets a minimum of \$25,000. White Lake Township’s policy for determining a Capital Improvement is defined in the following section.

What is White Lake Township’s Capital Improvement Policy?

A capital improvement project is a major, nonrecurring expenditure that meets one of more of the following criteria:

- Any acquisition of land for a public purpose which costs \$50,000 or more.
- Any construction of a new public facility (Township building, water/sewer lines, pathways), or any addition to an existing public facility, the cost of which equals \$50,000 or more and has a useful life of three or more years.
- A nonrecurring rehabilitation (not to include annual/recurring maintenance) of a building, its grounds, a facility, or equipment, the cost of said rehabilitation being \$50,000 or more with a useful life of three or more years.
- Purchase of major equipment which, individually or in total, cost \$50,000 or more with a useful life of three or more years.
- Planning, feasibility, engineering, or design studies related to an individual capital improvement project, or program implemented through individual capital improvement projects, with a cost of \$50,000 or more and a useful life of three or more years.

Why a CIP for White Lake Township?

The Michigan Planning Enabling Act of 2008 requires a Capital Improvement Program for any Michigan township which owns and/or operates a water supply or sewage disposal system. Since White Lake Township owns and manages both a public water and sanitary sewer system, adopting and annually updating a Capital Improvement Plan is a requirement per State law.

What are the benefits of preparing a CIP?

The CIP is more than just a State requirement; it is an essential planning tool in addition to a statement of budgetary policy. It informs the taxpayers of White Lake Township how the Township plans to prioritize, schedule, and coordinate capital improvement projects over the next six (6) years. The benefits of creating and annually updating the CIP include:

- Prudent use of taxpayer dollars
- Focusing the Township expenditures on the needs of the community
- Prioritizing projects across the needs of the community
- Generating community support by inviting public input
- Promoting economic development
- Improving the Township’s eligibility for State and Federal grants

- Providing an implementation tool for the goals and objectives of the Township Master Plan;
- Transparency in identification of high-priority projects
- Coordination/cost-sharing between projects

What is the role of the Township Planning Commission in the CIP process?

The Capital Improvement Plan is a dynamic planning document, intended to serve as a tool to implement the White Lake Township Master Plan. The Master Plan should correspondingly include capital improvement projects as well as guide long-term capital planning. The White Lake Township Planning Commission is uniquely qualified to manage the development and annual update of the Township's CIP, based on its role in creating and updating the Township Master Plan. The Planning Commission's role will ensure that public works projects are consistent with the land uses identified within the Master Plan. By making a recommendation of approval for the CIP to the Township Board, the Planning Commission agrees that the projects outlined within it reasonably address the Township's capital improvement needs.

The CIP is an essential link between planning for capital improvement projects and budgeting for them. Once approved by the Township Board, the CIP can be used to develop the capital project portion of the Township's budget. Those projects included in the CIP's first year (2027) potentially form the basis for the upcoming year's capital project budget. As the CIP is annually updated, a continuous relationship will be maintained between the CIP and the Township's annual budget. The annual update to the CIP will occur in advance of the preparation of the Township's budget.



1b. Overview - White Lake Township Overview

White Lake Township, Oakland County's "Four Seasons Playground," prides itself as a community which continues to promote economic growth, sustainable development, and a strong sense of place. White Lake's character as a premier residential community, with ample recreational opportunities and superior public and private schools, sets it apart and establishes the Township's unique identity.

The Township continues to promote sound fiscal policy while maintaining appropriate levels of service to meet the needs of its growing population. Public utilities infrastructure, police, fire and emergency services, parks, recreation and senior services, as well as planning, building inspection and administrative services are all designed to provide residents with the full-service amenities of a modern municipality in a cost-effective, fiscally responsible, and sustainable manner.

Principal Land Uses

While the commercial base of White Lake Township continues to grow, the principal land use within the Township remains single-family residential. Based on existing land use data from Oakland County Economic Development and Community Affairs, 46.7% of the Township's nearly 24,000 acres is developed as single-family residential. The second largest land use in the Township (in terms of land area) is recreation/open space, comprised of two State Recreation Areas (Pontiac Lake and Highland), a regional Metropark (HCMA's Indian Springs), and an Oakland County-owned golf course (White Lake Oaks). Combined, the recreation/open space land uses within the Township comprise over 25% of the land area (6,000 acres). The Township's commercial, industrial, and office uses comprised 2.2% of the land area in 2019. The majority of the commercial, industrial, and office uses in White Lake Township are located along the Highland Road (M-59) corridor, although some are scattered elsewhere throughout the Township, mostly in the southeast quadrant. There is also a small industrial concentration in the Township's northeast corner. The 21 lakes within White Lake Township comprise almost 11% of its total land area. Figure 1-1 displays the 2024 Existing Land Use Map.

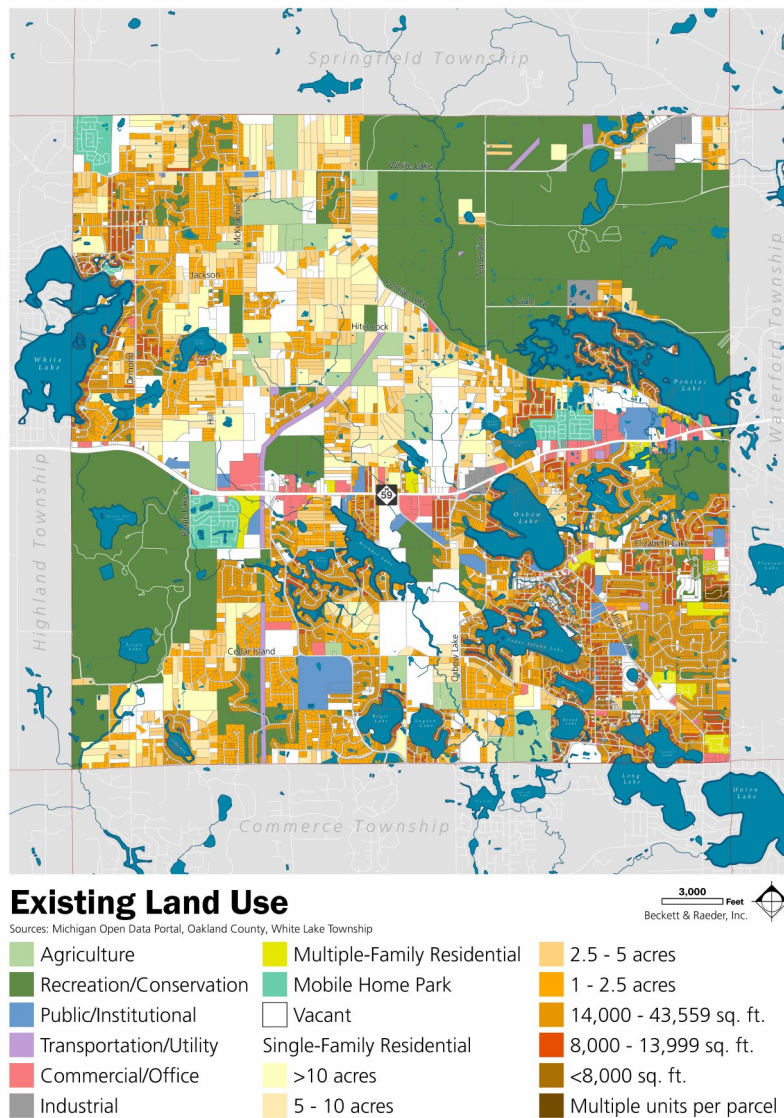
Population

As of the 2020 Census, the population of White Lake Township was 30,950, a 3.1% increase from the 2010 Census (30,019). Population projections by the Southeast Michigan Council of Governments (SEMCOG) estimate the population of White Lake Township will only increase slightly over the next twenty years, with a forecasted population of 32,236 in 2040. This projection is subject to change based on economic and social factors.

Employment

SEMCOG Community Data for White Lake Township shows the two highest employment sectors within the Township to be Retail Trade (approximately 21% of total employment) and Information and Financial Activities (approximately 15%).

FIGURE 1-1 EXISTING LAND USE, 2024



1c. Overview - CIP Process Overview

Background

The development and the adoption of a CIP is driven by a statutory requirement at the State level. The State of Michigan has set forth the requirement for a CIP under the Michigan Planning Enabling Act, Act 33 of 2008. This reporting requirement for townships was effective September 1, 2008. The following excerpt from Act 33 sets forth the requirement of a township to adopt a CIP:

"...(2) Any township may prepare and adopt a capital improvement program. However, subsection (1) is only mandatory for a township if the township, alone or jointly with 1 or more other local units of government, owns or operates a water supply or sewage disposal system."

The contents of the CIP are set forth under the Government Accounting Standards Board Statement 34 that basically **requires** the CIP to report on the value of their infrastructure. GASB 34 requires state and local governments to begin reporting all financial transactions, including the value of their infrastructure assets, roads, bridges, water and sewer facilities, and dams, in their annual financial reports on an accrual accounting basis.

The Charter Township of White Lake is not a road agency under Public Act 51 of the laws of the State of Michigan. Accordingly, public road and bridge projects are not reported in this CIP. **All other infrastructure components with construction costs in excess of \$50,000 per year are reported in this CIP.**

The following sections outline the Program Areas of the White Lake Township CIP:

1. Data Collection Process
2. Data Compilation Process
3. CIP Adoption Process

PROGRAM AREAS

The components of the CIP are compiled and reported by Program Areas. The following table (Figure 1-2) displays the Program Areas used in this CIP (each assigned with a color). These program areas represent the stakeholders in the CIP.

FIGURE 1-2. CIP PROGRAM AREAS	
Label	Definition / Description
BP / PK	Bike paths, trail ways, and park facilities/services
FA	Township-owned buildings and facilities (offices, storage buildings, museums, etc.)
FD	Fire protection / EMS facilities and equipment
IS	Internal support services (IT, GIS, fleet vehicles, communications, etc.)
PD	Police Department facilities and equipment
SS	Sanitary sewerage disposal system
WS	Water supply system

1. Data Collection

Each of the stakeholders outlined above has either a master plan or schedule that defines the needs and resource level within their respective area of responsibility. This information is in varied formats and cannot be readily compiled without a significant amount of interpretation. To resolve this interface situation, standard forms were created that allow the stakeholders to define their projects and resource allocation levels. The standard forms used for data collection are found in the Appendix. At a meeting with the stakeholders, the CIP process and the forms were explained in detail along with a request for the forms to be filled out based on what information was available. The information generated from these forms has been systematically compiled as the core of the CIP. A definition of the forms is provided as follows:

- Project Application Form** - Consists of project descriptions, schedules, necessity, and possible sources of funding. The information provides an understanding of the overall scope of each project and how it is valued within its program area and within the Township. While stakeholders may be aware of major projects further out on the horizon, only those planned for within the six-year window of the 2027-2032 CIP were included.
- Project Cost Detail Form** - Consists of a matrix of six (6) budget years across the top of the form and a listing of costing components along the side of the form. The form is split into two (2) parts; the upper half is the capital cost for the project and the lower half is the cost of operations or maintenance for that project if applicable. Recognition of the operations and maintenance costs of a project is a valuable tool in forecasting future needs for resource allocation. Investment in a new facility is only worthwhile if there are funds available to operate and maintain it.

- **Project Rating Form** - Used to rate both the importance and impact of a project within its program area and within the Township (an “apples-to-apples” comparison). The rating number is not an absolute in itself but is important in distinguishing between projects that are similar in scope. The ratings are weighted with emphasis given to those projects that are mandated by law, by agreement, or because they are a matter affecting health, safety, and welfare.

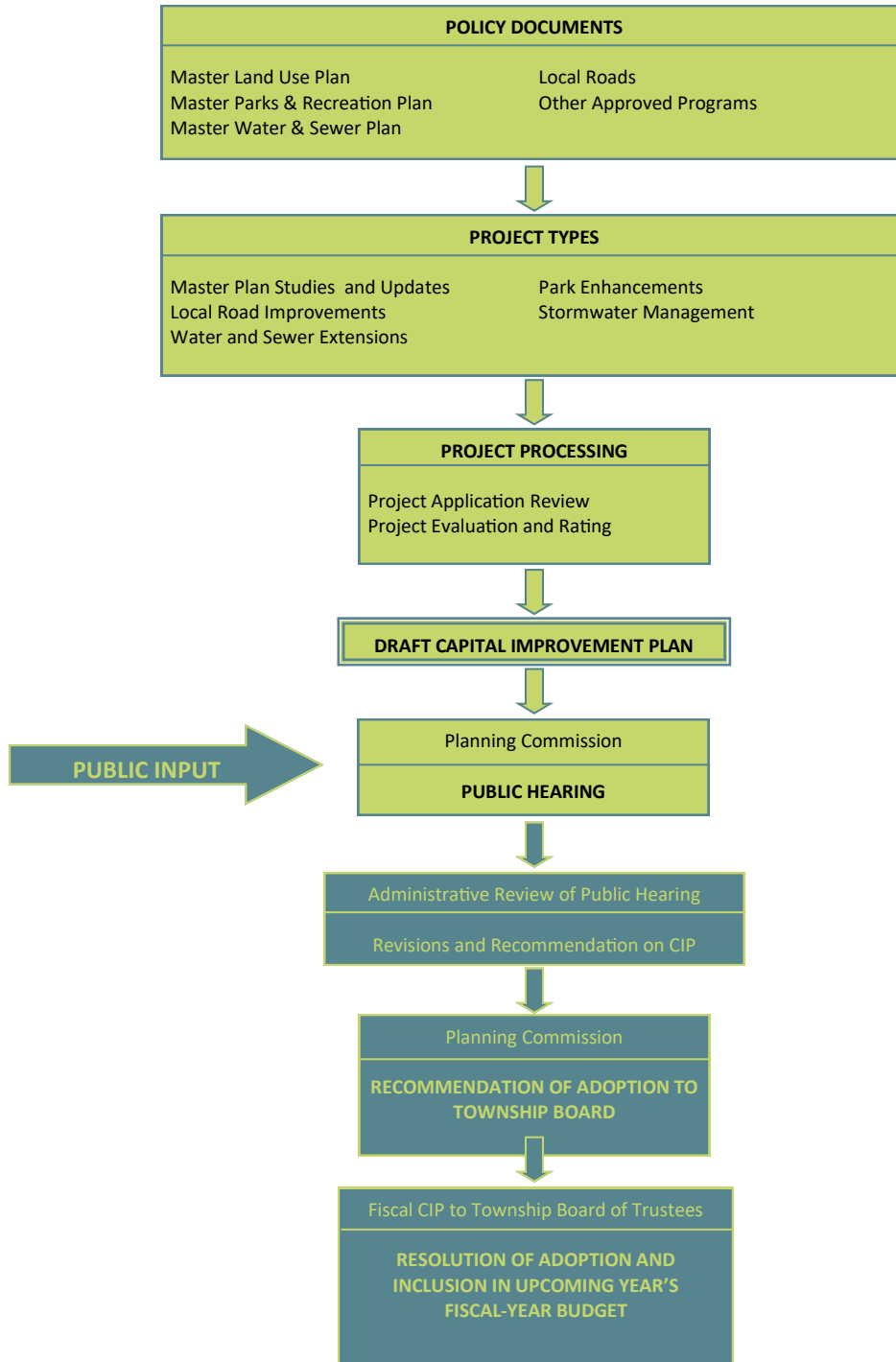
2. Data Compilation

The information received from the stakeholders has been compiled into a Project Summary Worksheet. This worksheet contains all of the projects in the CIP over six (6) budget years with a cost summary of each budget year by program area and for the entire CIP. Included with the worksheet is the listing of possible funding sources and an estimate of the Township’s share for each project. The Project Summary Worksheet can be found in the Appendix of this CIP.

3. CIP Adoption Process

The adoption process involves a public hearing to solicit citizen input. The CIP will then be modified (if necessary), approved by the Township Planning Commission (via a formal recommendation for approval to the Township Board), and forwarded to the Township Board for adoption. Adoption of the CIP by the Township’s Board of Trustees does not constitute an authorization to commit resources to any project. This approval is recognition of a plan for projects within the community that may move toward implementation in the future. The projects included within Year 1 of the Capital Improvement Plan potentially form the basis for the upcoming year’s capital projects budget. An outline of the process is displayed in Figure 1-3 on the following page.

FIGURE 1-3. CIP ADOPTION PROCESS



2. Existing Capital Facilities

In developing a Capital Improvement Plan, communities often find it essential to develop an inventory of their existing capital facilities. Before a community develops a list of “What we need,” it is important to first look at “What we have.” As stated in White Lake Township’s Master Plan, “A municipality’s public facilities are an important part of community life and are directly related to important issues such as quality of life and protection of the public health, safety, and welfare.” The following is a summary of White Lake Township’s major capital facilities and their current condition (where applicable), as determined by the directors of the respective departments. The location of existing Township facilities is noted on the Existing Facilities Map (Figure 2-1).

White Lake Township Hall

7525 Highland Road

Year Built: ±1948

Last Major Improvement: 1996

Houses: Supervisor, Clerk, Treasurer, Assessing, Building, Planning, Water, Sewer, Maintenance

Condition: Fair

Extent of Use: Heavy



White Lake Township Fleet Vehicles

Includes: Administrative vehicles, inspection vehicles; does not include Fire Dept. vehicles

Year Acquired: Varies

Condition: Varies

Extent of Use: Varies

Average Duty Cycle: Approximately 7 years



Fire Hall Number 1 (Headquarters)

7420 Highland Road

Year Built: ±1948

Last Major Improvement: Parking Lot Replacement

Serves: M-59 corridor; northeast and southwest quadrant

Condition: Fair

Extent of Use: Heavy



Fire Hall Number 2

Address: 860 Round Lake Road
 Year Built: ±1973
 Last Major Improvement: ±1996
 Serves: Southeast quadrant
 Condition: Fair
 Extent of Use: Heavy



Fire Hall Number 3

4870 Ormond Road
 Year Built: ±1979
 Last Major Improvement: ±1996
 Serves: Northwest quadrant
 Condition: Fair
 Extent of Use: Moderate



White Lake Township Police Station

7525 Highland Road
 Year Built: ±1949
 Last Major Improvement: 2001 (expansion)
 Condition: Poor
 Extent of Use: Heavy



White Lake Township Police Garage

Location: Behind Police Station
 Year Built: 2004
 Last Major Improvement: None
 Condition: Poor
 Extent of Use: Heavy



White Lake Township Police Communications System

Year Acquired: New in 2010
 Last Major Improvement: None
 Condition: Good
 Extent of Use: Heavy



White Lake Township Police Vehicles

Includes: 18 Vehicles
 Year Acquired: Varies
 Condition: Excellent
 Extent of Use: Heavy

**Fire and EMS Equipment**

Includes: three engines, two tankers, two ambulances / transporting units, one light duty rescue (no pumping or water carrying capabilities), one pick-up style grass truck with a skid-mounted pump and tank, four fleet vehicles, one drone aircraft, two cardiac monitors, and breathing apparatus
 Year acquired: Varies; between 1997 and 2022
 Condition: Varies; from Fair to Excellent
 Extent of Use: Varies; primarily Moderate to Heavy

**Township Office Annex**

7527 Highland Road
 Year Built: 1985
 Last Major Improvement: 2020 remodel
 Condition: Good
 Extent of Use: Moderate

**Dublin Community Senior Center**

685 Union Lake Road
 Year Built: approx. 1950
 Last Major Improvement: 2001
 Condition: Good
 Extent of Use: Heavy

**White Lake Township Clerk's Equipment**

Includes: Voting tabulation machines (18)
 Voter assist terminals (13)
 Year acquired: Varies; between 2018 and 2022
 Condition: Excellent
 Extent of Use: Varies



White Lake Township Water System

Includes: Approx. 55 miles of water main ranging in size from 4 to 16 inches in diameter, service supply laterals, 15 pressure control valves, approx. 1,000 gate valves, approx. 700 fire hydrants and hydrant valves, 2 one million gallon elevated water storage tanks, 5 water treatment plants, 9 water supply wells

Year Built: Ongoing

Last Major Improvement/Extension: 2020 Hillview Well House & 2019 Twin Lakes II Well House

Condition: Varies; primarily Good to Excellent

Extent of Use: Varies; primarily Moderate to Heavy

**White Lake Township Sanitary Sewer System**

Includes: The Township's wastewater collection system serves approximately 4,500 people in the Township. Sewer mains were constructed largely in 1999 or later. There are approximately 20 miles of gravity sewer mains and approximately 22 miles of pressured mains. The Township's sanitary system contains ten (10) pumping stations. The wastewater flow is ultimately discharged into Commerce Township's collection system and is conveyed to the Commerce Township Wastewater Treatment Plant for treatment.

Year Built: Ongoing since 1998

Last Major Improvement/Extension: 2012

Condition: Good to Excellent

Extent of Use: Light to Moderate

**Water Tower 1**

360 Woodsedge Drive

Year Built: 1994

Last Major Improvement: 2007

Condition: Good

Extent of Use: Heavy

**Water Tower 2**

6055 Highland Road

Year Built: 2004

Last Major Improvement: None

Condition: Excellent

Extent of Use: Moderate



Hidden Pines Park

Location: Intersection of White Lake Road and Hidden Pines Drive.

Size: 9 Acres

Includes: Baseball Field and parking area

**Township-Owned Land**

Total acreage: approx. 177 acres (including Township parks)

**Judy Hawley Park**

Location: Behind Township Hall, just east of the Township Annex

Size: 12 acres

Includes: Soccer fields, pavilion, play structure, basketball courts, sand volleyball court, and pathway

**Ferdinand C. Vetter Park**

Location: Behind Dublin Community Center on Union Lake Road

Size: 6 acres

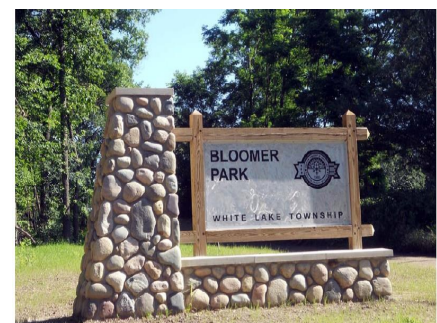
Includes: Baseball field, picnic shelter, pathway, and play structure

**Bloomer Park**

Location: West side of McKeachie Road, between Grass Lake and Jackson Roads

Size: Approximately 28 acres

Description: Picnic shelter, scenic overlook, and nature trails



Stanley Park

Location: West side of Elizabeth Lake Road, south of White Lake Library

Size: 59 acres

Description: Park opened to vehicular traffic on July 1, 2026. Phase 2 anticipated construction in 2027.



White Lake Community Hall

Address: 7500 Highland Road

Year Built: 1875 (State-designated historic site)

Last Major Renovation: 2013 (Interior)

Condition: Good

Extent of Use: Light



Civic Center

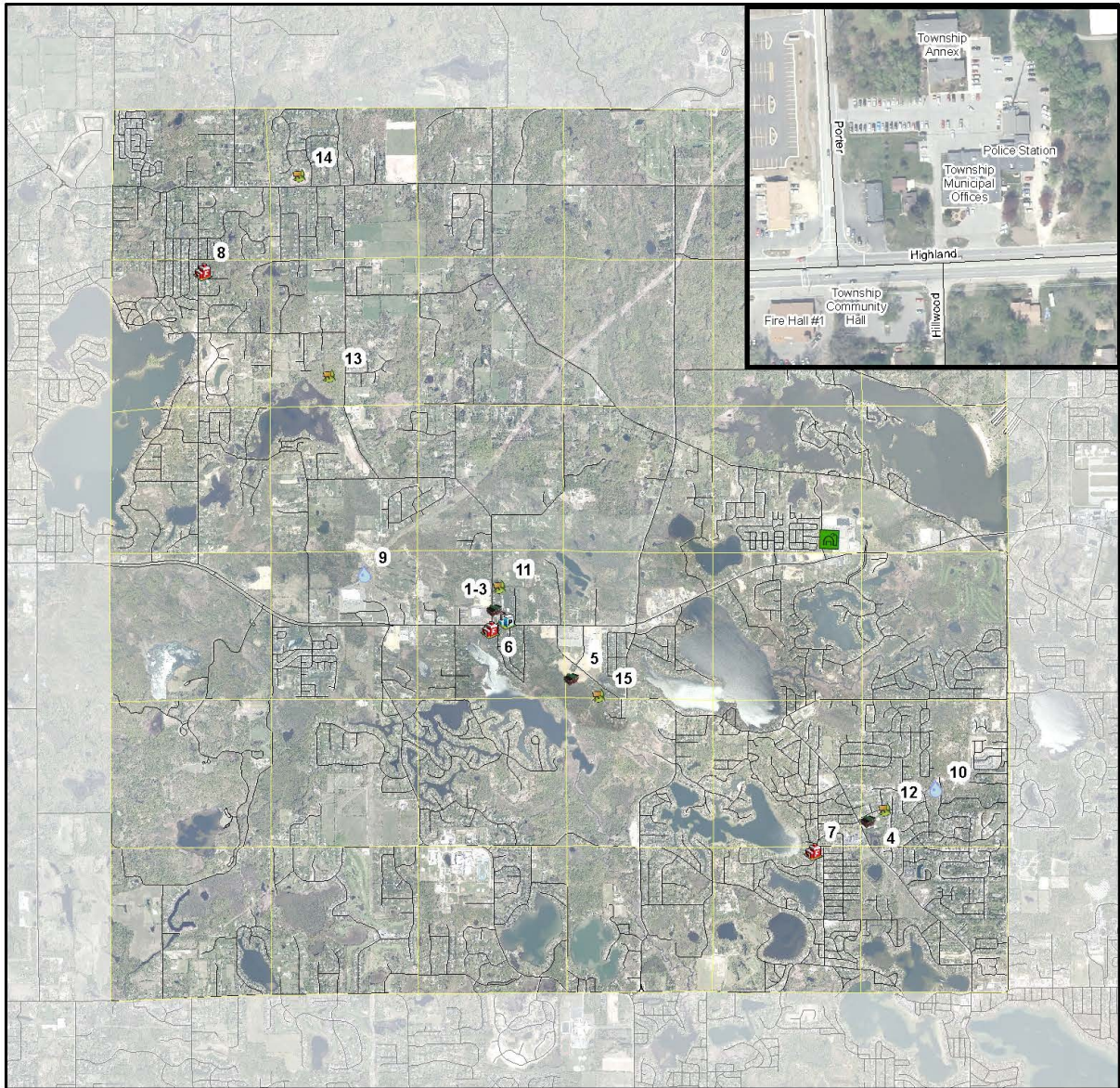
Location: West side of Elizabeth Lake Road, south of White Lake Library

Size: 29 acres

Description: Currently under development, anticipated completion for Fall 2026.



FIGURE 2-1



White Lake Charter Township



Existing Facilities

- | | | | |
|---|--------------------------------|---|-------------------------------|
|  | Public Facilities |  | Water Towers |
| | 1 - Township Municipal Offices | | 9 - Water Tower #1 |
| | 2 - Community Hall | | 10 - Water Tower #2 |
| | 3 - Township Annex |  | Township Parks |
| | 4 - Dublin Community Center | | 11 - Judy Hawley Park |
| | 5 - Civic Center Property | | 12 - Ferdinand C. Vetter Park |
|  | Fire Stations | | 13 - Bloomer Park |
| | 6 - Fire Hall #1 | | 14 - Hidden Pines Park |
| | 7 - Fire Hall #2 | | 15 - Stanley Park |
| | 8 - Fire Hall #3 |  | Fisk Farm |
|  | Police Station | | |



3. Executive Summary

Stakeholders

The level of input from the stakeholders has greatly contributed toward the formulation of the CIP. Project profiles consisting of the Project Application Form, the Project Cost Detail Form, and the Project Rating Form were received from Parks and Recreation, Senior Center, Police Department, Fire Protection, Facilities, and Department of Public Services. Though some of the information received will require further detail, it is the most current information available until future refinements are made to the project profile.

Project Histories

Just as important as tracking current and future projects is cataloging the past accomplishments of the Capital Improvement Plan. Located in the back of the plan is a Project Histories Summary Table. This table illustrates those past projects that have been completed or canceled. Some projects are changed over time; the original project number may be dropped and new project numbers created in its place. The Project Histories Summary can be used to track the priorities of the Township over time and can help track overall investment in the community based on geographic regions.

2026 Project Histories

The capital improvement projects, outlined in the 2026-2031 CIP, completed during 2026 were Township Civic Building (FA-0007) and Public Safety Headquarters (FA-0006).

Projects

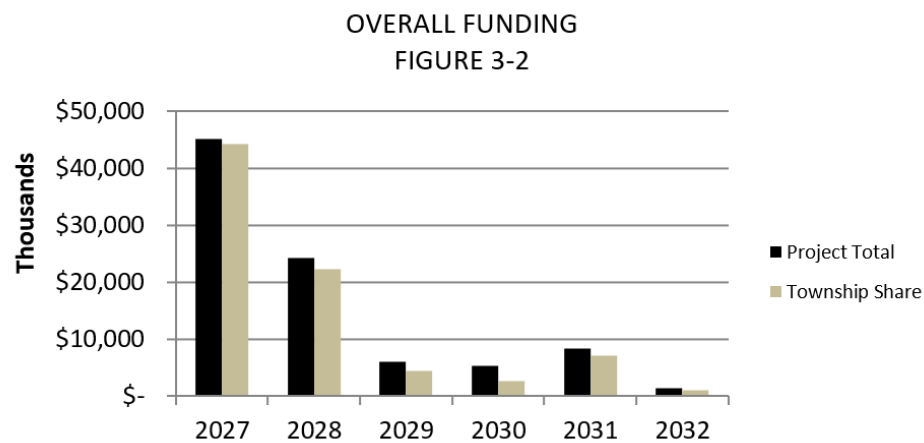
Review of the Project Summary Worksheet (found in the Appendix of this report) indicates that there are several individual projects located in the same geographic area. There are potential cost savings that can be realized by combining projects. At a minimum, mobilization, traffic control, and restoration are just some of the potential cost savings achieved by combining projects for construction. The potential grouping of projects are identified in Figure 3-1 below:

FIGURE 3-1	
Location	Project Labels
M-59, Teggerdine east 0.3 miles	BP-0003 & PK-0006
Stanley Park Phase II & Pickleball Courts	PK-0013 & PK-0014
Elizabeth Lake Road, south of White Lake Library	FA-0006 & FA-0007
Repaint Water Tower I & 2	WS-0021 & WS-0022

If the funding and timing of these projects can be orchestrated, the savings are significant. The exact savings cannot be determined until a detailed project costing and analysis of the common scope between the projects is performed. Also, in the future other projects such as new facilities can be studied to determine if combining operations can realize a cost savings. Other benefits include providing a list of projects in advance in order to help establish the need for grants and funding opportunities.

Funding

This CIP has many projects that are unfunded. The limitations of funding will likely cause projects to be delayed, deferred or cancelled. Each project has a potential funding source and many are dependent on a contribution from the Township's General Fund (GF). Many projects list funding sources from State and Federal grant programs, but those grants have not yet been secured. The following chart depicts the relationship between total project costs, and the Township's share of those costs. Additional revenue for projects that are not completely funded by the Township will come from grants and other funding sources.



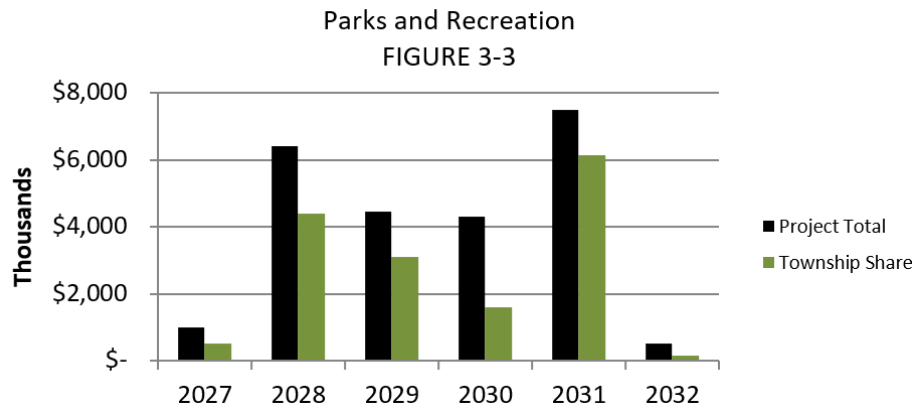
The Township's General Fund balance at the end of fiscal year 2025 was \$8,058,037. That amount is inadequate to support the Township's share of the CIP, which is shown in Figure 3-2 above.

Funding Components

In the following section, each of the funds shown on the Project Summary Worksheet are graphed and reported as part of the CIP with the exception of the projects listed under Internal Services.

Parks and Recreation

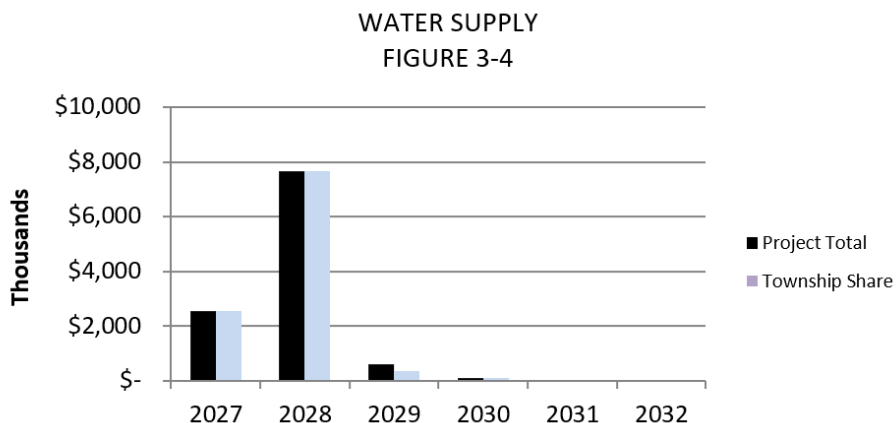
The Parks and Recreation Fund had a fund balance of **\$2,757,920** as of December 31, 2025, as shown in the Township's 2025 Audit Report. The 2026 Budget carries forward a beginning fund balance of **\$2,757,920.22** for the Parks and Recreation Fund. These funds, together with any awarded grant funds, may be used to support and leverage future park improvement projects.



Careful budgeting of the Parks and Recreation Fund will allow the level of service and maintenance of the Township's current and future park facilities to occur until additional parks funding can be established.

Water Supply Fund

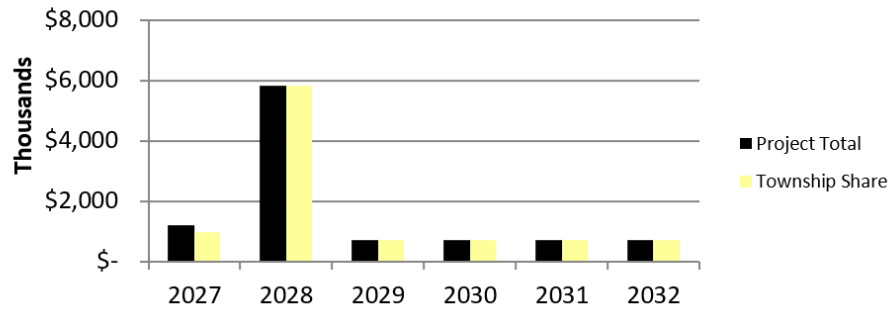
The Water Supply Fund (WF) is an enterprise fund that is not dependent on support from the General Fund. The Water Supply Fund (WF) has a balance of \$16,316,762 as of the close of 2025. Several projects in this program area are funded using the Drinking Water Revolving Fund supplemented by the Water Supply Fund balance.



Sewerage Disposal System

Development of sewer has been done either by private development or special assessment districts (SADs). As of 2025, the Sewer Fund (Enterprise Fund) has a balance of \$31,887,477.

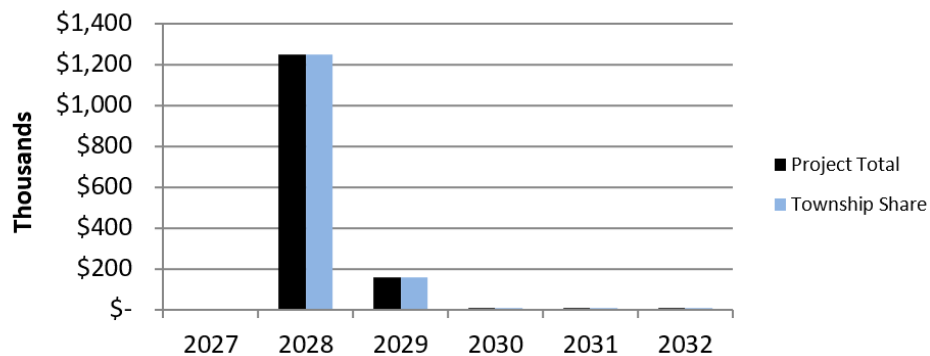
SEWERAGE DISPOSAL
FIGURE 3-5



Police Department

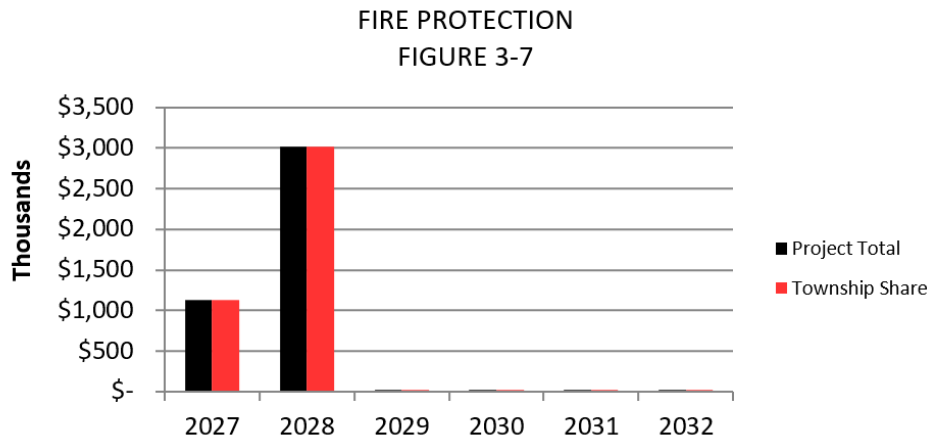
The 2025 CAFR reports a balance of \$6,186,253 in the Police Fund. The Police Department is currently funded by a Township Millage.

POLICE DEPARTMENT
FIGURE 3-6



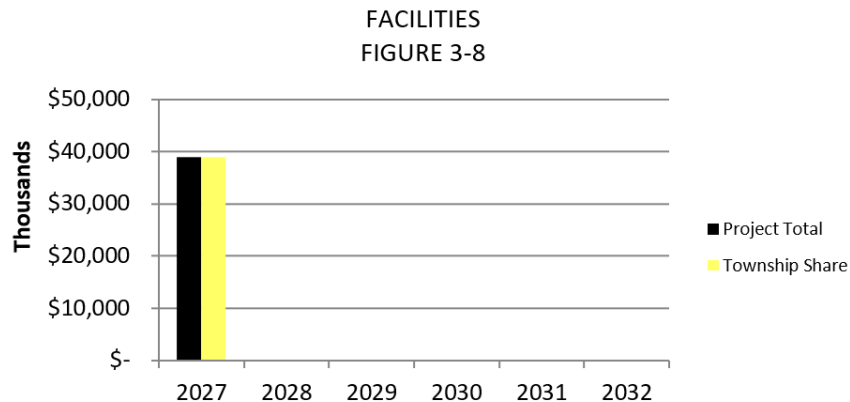
Fire Protection

The Fire Protection Fund has a balance of \$5,924,401 as reported in the 2025 CAFR. The Fire Protection Fund is supported solely through millage money.



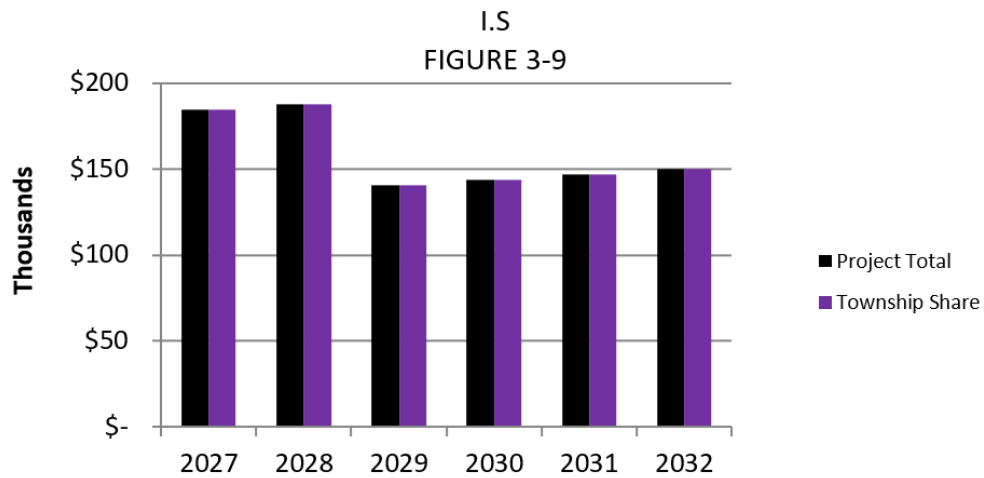
Facilities

The Township Civic Center district will have a new Public Safety Headquarters that will cost approximately \$25 million dollars and a new Civic Center Building to replace the current Township Offices at an approximate cost of \$20 million dollars. This money will come from the Capital Project Fund and the issuance of bonds. The Township currently has \$10,166,676 available for a new Township Municipal Complex in an Improvement Revolving Fund listed in the 2025 CAFR.



Internal Services

The Internal Services used to support the operating departments are included in the CIP due to their costs that are in excess of \$50,000. As these services are collected as a charge back to the operating departments, there is no special fund involved.



4. CIP Components

The components of the Capital Improvement Plan have been compiled and reported by the following seven program areas, each representing a stakeholder in the CIP.

	Section 4e. <u>Police Department</u> PD-0002 - Mobile Command Center PD-0002 - Public Safety Firearms Range
Section 4b. <u>Fire Protection / Emergency Medical Services</u> FD-0002 - Fire Station 2 Replacement FD-0006 - Fire Ladder Truck FD-0009 - Fire Station 3 Replacement FD-0017 - Structural Firefighting Gear FD-0019 - Engine / Pumper Replacement	Section 4f. <u>Sanitary Sewerage Disposal System</u> SS-0005 - Western Outlet Sanitary Extension Phase 2 SS-0006 - Pump Station at Lakeland High school SS-0008 - Upgrades & Equipment Replacement of 7 Sanitary Sewage Pump Stations
Section 4c. <u>Internal Services</u> IS-0002 - Fleet Vehicles (excluding Fire) IS-0003 - Document Management Program	Section 4g. <u>Water Supply System</u> WS-0004 - Twin Lakes Well Replacement and Upgrades WS-0012 - 6 - Inch Diameter Water Main Replacement WS-0015 - Twin Lakes I Well House Updates WS-0017 - Interconnection of High Pressure Districts (Elizabeth Lake Road) WS-0018 - Residual Chlorine Analyzers at Water Towers WS-0019 - Residential and Commercial Meter Replacement with AMR System WS-0021 - Repaint Water Tower 1 WS-0022 - Repaint Water Tower 2 WS-0023 - Backhoe Machine WS-0024 - Waterford / White Lake Emergency Interconnection WS-0025 - DPS Storage / Maintenance Building
Section 4d. <u>Parks and Recreation</u> BP-0002 - M-59 Pathway (Phase I) BP-0003 - M-59 Pathway (Phase II) BP-0004 - M-59 Pathway (Phase III) BP-0005 - Union Lake Rd. Pathway BP-0006 - Bogie Lake Rd. Pathway PK-0002 - Four Seasons Trail (Phase I) PK-0003 - Four Seasons Trail (Phase II) PK-0004 - Four Seasons Trail (Phase III) PK-0008 - Hidden Pines Park Phase II PK-0009 - Teggerdine Trail Design PK-0010 - Bloomer Park (Phase II) PK-0013 - Stanley Park (Phase II) PK-0014 - Pickleball Courts	

Funding Sources Abbreviations

Building Authority	BA
Fire Protection Fund	FPF
General Fund	GF
Federal Housing and Urban Development	HUD
Michigan Dept. of Transportation Enhancement Grant	MDOT-EG
Michigan Natural Resources Trust Fund Grant	MNRTFG
Michigan Safe Routes to School Program	MSRSP
Parks & Recreation - Special Township Revenue Fund	P&RF
Police Department Fund	PDF
Road Commission Tri-Party Program	RCOCTP
Special Assessment District	SAD
Sewer Fund (Township Enterprise Fund)	SF
State Revolving Fund	SRF
United States Dept. of Transportation	USDOT
Drinking Water Revolving Fund	DWRF
Water Supply Fund (Township Enterprise Fund)	WF
Private Developer	PD

4a. CIP Components - Facilities

Overview

Facilities play an important role in providing an environment that is conducive to supporting the various operating departments that provide services directly to the residents in the Township. Facilities can be new building projects, building renovations, building expansions or the cost of services to support the existing buildings if this cost is significant. Identification of significant costs to support existing building operations is an important tool in determining the cost effectiveness of operating existing public buildings.

Funding for supporting existing Facilities is normally derived by either a charge back to the budgets from the operating departments or done as a direct operating cost to General Fund. Funding for new Facilities can be accomplished by a building authority. The Township has a legally established Building Authority that would be the governing body to finance and construct any new public buildings in the Township.

On the following page, each of the Facilities projects are listed along with their cost and funding sources.

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intentionally left blank.*

4b. CIP Components - Fire Protection/EMS

Overview

Fire Protection/Emergency Medical Services provides a variety of vital services to Township residents. Fire Protection facilities are provided at several locations within the Township. In the CIP, new Fire Protection facilities, new Fire Protection equipment, and new Fire Protection vehicles are included under this section.

Fire Protection is principally funded by a Township Millage. Potential sources of funding for projects are the Fire Protection Fund balance, bond issue, or grants. Another possibility would be to use the Township's Building Authority to finance new fire stations.

On the following pages, each of the Fire Protection projects are listed along with their cost and potential funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY FIRE PROTECTION (FD)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0001	Extrication Tools	New Equipment	106	GF, FPF	\$120,000	\$120,000	\$--
<u>Project Description</u> We need to upgrade our extrication tools every 8-10 years or so due to construction methods of vehicles. Our tools are 10 years old.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0003	Brush Truck	New Equipment	141	GF, FPF	\$90,000	\$90,000	\$--
<u>Project Description</u> We currently have one brush truck. It is nearing its end of life for both the vehicle and the skid unit (pump, hose, etc. that goes in the bed).							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0004	Water tanker (tender) truck	New Equipment	139	GF, FPF	\$500,000	\$500,000	\$--
<u>Project Description</u> We currently have one (1) tanker (tender) truck. Seceral years ago, the department sold the third tanker (tender). We recently sold our second one that was beyond its useful life. We need to replace it.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0005	Ambulance	New Equipment	111	GF, FPF	\$300,000	\$300,000	\$--
<u>Project Description</u> We currently have three (3) excellent ambulances. Should one go down for a short or longer period of time, we need to have a reliable backup. A good used of remounted ambulance should suffice.							

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY FIRE PROTECTION (FD)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0002	Fire Station 2 Replacement	New Construction	140	Grant, Bond Issue, BA	\$4,000,000	\$4,000,000	\$--
<u>Project Description</u> Construct a satellite fire station with living quarters and three bays.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0006	Fire Ladder Truck	New Equipment	108	FPF	\$1,500,000	\$1,500,000	\$--
<u>Project Description</u> 100-foot fire-fighting ladder truck.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0009	Fire Station 3 Replacement	New Construction	112	Grant, Bond Issue, BA, GF	\$5,000,000	\$5,000,000	\$--
<u>Project Description</u> Restoration and Addition to the existing Fire Station 3.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0017	Structural Firefighting Gear (30 sets)	New Equipment	102	FPF	\$126,000	\$126,000	\$--
<u>Project Description</u> Structural Firefighting Gear. \$4,200 per set = \$126,000							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
FD-0019	Engine/Pumper Replacement	New Equipment	112	FPF	\$3,000,000	\$3,000,000	\$--
<u>Project Description</u> Specification process beginning in 2027.							



4c. CIP Components - Internal Services

Overview

Internal Services play an important role in supporting the various operating departments that provide services directly to the residents in the Township. While Internal Services in itself is not a “project,” the cost of this internal support is significant and bears inclusion as part of the CIP. Internal Services in this CIP are defined as computer networks, geographic information service (GIS), document storage, communications, and fleet vehicles.

There is no dedicated fund for Internal Services. Funding for Internal Services is normally derived by a charge back to the budgets from the operating departments that use or are supported by these services.

On the following page, each of the Internal Services projects are listed along with their cost and funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY INTERNAL SERVICES (IS)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
IS-0002	Fleet Vehicles	New Equipment	80	PD / GF	\$ 873,000	\$ 873,000	\$--

Project Description

Replacement of cars and trucks (except Fire Department) on an annual basis to systematize the vehicle replacement process. Estimates are for a combination of three (3) cars and two (2) trucks each year, for a total of six (6) years.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
IS-0003	Document Management Program	Equipment / Professional Services	90	GF	\$100,000	\$100,000	\$--

Project Description

Project includes providing Township Departments with the necessary software and hardware needed to continue digitizing the Township's document files. Project also includes funding for contracting with private firms to help expedite the process.

4d. CIP Components - Parks & Recreation

Overview

The Parks and Recreation Master Plan outlines a variety of services to Township residents. Parks and Recreation is principally funded by a non-major special revenue fund. Potential funding for projects can be from Parks and Recreation Fund balance, grants such as Michigan Department of Natural Resources Trust Fund, County based tri-party funding, Michigan Safe Routes to School Program, Michigan Department of Transportation Enhancement Grant, or Federal Housing and Urban Development.

In January 2023 the Township Board adopted the 2023-2027 Parks and Recreation Master Plan. The Plan outlines goals and objectives illustrating the vision for parks and recreation over the next five plus years, and documents desired capital improvements to meet the goals, and categorizes them as short-, mid-, long-term, or ongoing priorities including magnitude of cost of the proposed capital improvements. The Plan also identifies potential funding sources that might best align with the various capital projects. The CIP incorporates several of the capital projects identified in the 2023-2027 Parks and Recreation Master Plan.

On the following pages, each of the Parks and Recreation projects are listed along with their cost and potential funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY PARKS AND RECREATION (BP and PK)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
BP-0002	M-59 Pathway (Phase I)	Rehabilitation	98	MDOT-EG; P&RF	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long term, high-priority objective is the development of a Township-wide system of pathways connected to the regional network. Renovation of the M-59 pathway is an essential element that will connect future north-south routes, for example, Bogie Lake Pathway to the Four Seasons Trail.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
BP-0003	M-59 Pathway (Phase II)	Rehabilitation	98	MDOT-EG; P&RF	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long term, high-priority objective is the development of a Township-wide system of pathways connected to the regional network. Renovation of the M-59 pathway is an essential element that will connect future north-south routes, for example, Bogie Lake Pathway to the Four Seasons Trail.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
BP-0004	M-59 Pathway (Phase III)	Rehabilitation	98	MDOT-EG; P&RF	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long term, high-priority objective is the development of a Township-wide system of pathways connected to the regional network. Renovation of the M-59 pathway is an essential element that will connect future north-south routes, for example, Bogie Lake Pathway to the Four Seasons Trail.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
BP-0005	Union Lake Road Pathway	New Construction	98	MNRTFG; RCOCTP; P&RF	\$1,500,000	\$1,150,000	\$350,000

Project Description

The Union Lake Road corridor is the area of White Lake that contains the highest density of residential development in the Township. A pathway along the corridor is critical to provide residents with safe, non-motorized access to homes, churches, schools, parks, retail, and other places in the area.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
BP-0006	Bogie Lake Road Pathway	New Construction	83	MDOT-EG; P&RF; MSRSP	\$5,500,000	\$5,000,000	\$500,000

Project Description

An important, long term, high-priority objective is the development of a Township wide system of pathways connected to the regional network. This pathway provides the north-south connection from M-59 (north) to the Township's southern boundary and connects a complex of 3 schools to neighborhoods throughout the length of the corridor.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0002	Four Seasons Trail (Phase I)	New Construction	67	MNRTFG; P&RF; USDOT	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long-term, high-priority objective is the development of a Township-wide pathways system. The ITC Corridor Four Seasons Trail provides a critical link between Pontiac Lake State Recreation Area and Highland Lake State Recreation Area, via the M-59 trailway. This route is included in the Oakland County Greenways Plan and should include state and regional financial participation. Construction of the trailway is expected to occur over several years.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0003	Four Seasons Trail (Phase II)	New Construction	67	MNRTFG; P&RF; USDOT	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long-term, high-priority objective is the development of a Township-wide pathways system. The ITC Corridor Four Seasons Trail provides a critical link between Pontiac Lake State Recreation Area and Highland Lake State Recreation Area, via the M-59 trailway. This route is included in the Oakland County Greenways Plan and should include state and regional financial participation. Construction of the trailway is expected to occur over several years.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0004	Four Seasons Trail (Phase III)	New Construction	67	MNRTFG; P&RF; USDOT	\$2,000,000	\$1,500,000	\$500,000

Project Description

An important, long-term, high-priority objective is the development of a Township-wide pathways system. The ITC Corridor Four Seasons Trail provides a critical link between Pontiac Lake State Recreation Area and Highland Lake State Recreation Area, via the M-59 trailway. This route is included in the Oakland County Greenways Plan and should include state and regional financial participation. Construction of the trailway is expected to occur over several years.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0008	Hidden Pines Park Phase II	New Construction	80	MNRTFG; P&RF, Passport Grant	\$500,000	\$150,000	\$350,000

Project Description

This property would be further developed using the Hidden Pines Park Master Plan that was completed in 2012. Improvements would include a playground as well as other park amenities.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0009	Teggerdine Trail Development Design	New Construction	78	MNRTFG, P&RF	\$150,000	\$150,000	-

Project Description

The Teggerdine Road Pathway would connect M-59 in the south to Indian Springs Metro Park in the north. This pathway would provide access at certain points to the Pontiac Lake Recreation Area. This pathway would connect to regional pathways through Indian Springs Metro Park, and through the potential development of a trail inside of the ITC transmission corridor in White Lake.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0010	Bloomer Park Phase II	New Construction	60	MNRTFG, P&RF	\$305,000	\$105,000	\$200,000

Project Description

With the completion of Bloomer Park's Phase I redevelopment in 2013, the Township seeks to complete the restoration of the northern half of the park. The second phase of development would include completing the pathway network and providing other park amenities including park benches.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0013	Stanley Park Phase II	Improvements	91	MNRTFG; P&RF; GF; Donations	\$2,250,000	\$1,250,000	\$1,000,000

Project Description

Balance of Stanley Park improvements.

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PK-0014	Pickleball Courts	New Construction	91	Grant(s); P&RF	\$450,000	\$100,000	\$350,000

Project Description

Location to be determined. This recreational amenity is identified in the Parks and Recreation Master Plan.

4e. CIP Components - Police Department

Overview

The Township Police Department provides a variety of vital services to Township residents. The costs of operations and the demand for services create financial circumstances that are difficult to predict. In this CIP, special police equipment is listed as projects. Standard police cars are included as Internal Services under Fleet.

Police Department operations are funded by a major special revenue fund. Potential funding for projects can be from the Police Fund balance, grants from sources such as Homeland Security, and drug forfeitures. The Police also have a 10-year operating millage that will collect through 2031.

On the following page, each of the Police Department projects are listed along with their cost and potential funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY POLICE DEPARTMENT (PD)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PD-0002	Mobile Command Center	New Equipment	65	Grants; Drug Forfeitures	\$152,000	\$152,000	\$--
<u>Project Description</u> A Mobile Command Center is a vehicle-based police facility, usually built around a motor home chassis. It allows command officers to provide on-scene command and control of large scale events or catastrophes.							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
PD-0003	Public Safety Firearms Range	New Construction	99	Grants; Drug Forfeitures; PDF	\$1,250,000	\$1,250,000	\$--
<u>Project Description</u> Outfitting of the Public Safety Building Firearms Range by moving forward with construction of the range, the Firearms Instruction Unit will be able to provide training to officers on a consistent basis. Additional benefits to White Lake Township are that area agencies will be able to utilize this range for training purposes for a fee that will help offset the cost of the outfitting.							

4f. CIP Components - Sanitary Sewerage Disposal System

Overview

Sanitary Sewerage Disposal Systems do not currently provide service to all Township residents. Sewerage Disposal Systems that do exist are operated by the Water Resources Commissioner for Oakland County.

A Sanitary Sewerage Disposal Enterprise Fund was created in 2022.

The Department of Public Services completed an asset management plan in 2019 following a roughly three year study of the condition of the Township waste water system. Potential sources of funding for projects are the Sewer Fund, Special Assessment Districts (SADs), and the State Revolving Fund (SRF) loan program.

On the following page, each of the Sanitary Sewerage Disposal projects are listed along with their cost and potential funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY Sanitary Sewer (SS)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
SS-0005	Western Outlet Sanitary Extension Phase Two	New Construction	80	SF, SRF	\$5,329,711	\$5,329,711	\$--
<u>Project Description</u> The proposed project will provide public force main sewer from the HVS Lakeland Campus north to M-59. The scope of the project will include the placement of 12" HDD directionally drilled pressure sewer (force main) with related appurtenances, pipe rework within the temporary diversion district, traffic control, pavement replacement, and restoration.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
SS-0006	Pump Station at Lakeland	New Construction	110	SF, SRF, Private Development	\$500,000	\$260,250	\$--
<u>Project Description</u> Installation of intermediate booster pumping station on sanitary sewer force main consisting of two submersible pumps, and building housing controls and generator.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
SS-0008	Sanitary Sewer Pump Stations (11)	Rehabilitation	139	SF, SRF	\$6,994,348	\$6,994,348	\$--
<u>Project Description</u> Replacement of pumping equipment, controls, and addition of VFDs (Variable Frequency Drive) and iron filtration. VFDs will provide better system control and operational cost savings.							

4g. CIP Components - Water Supply System

Overview

The Municipal Water Supply System that is owned and operated by the Township and administered by the Department of Public Services does not provide service to all Township residents. The Municipal Water Supply System derives its water from underground aquifers and is used for fire protection and domestic consumption. Many areas of the Township currently operate with private wells as their source of potable water supply.

The Township has a Water Enterprise Fund managed by the Department of Public Services.

The Department of Public Services completed an asset management plan in 2017 following a roughly three-year study of the condition of the Township water system. Potential sources of funding for Water Supply projects are the Water Fund balance, Drinking Water Revolving Fund (DWRP), revenue bonds, special assessment districts (SADs), or contributions from General Fund.

On the following pages, each of the Water Supply projects are listed along with their cost and potential funding sources.

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY WATER SUPPLY (WS)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0004	Twin Lakes I Well Replacement and Upgrades	Rehabilitation	126	DWRF, WF	\$500,000	\$484,000	\$16,000
<u>Project Description</u> The Township proposes to install a new well and pump at Twin Lakes I well site to replace the smaller capacity well at the site. This will require discussion with the MDEQ water bureau, site investigation using test/production well(s) to evaluate aquifer capacities, engineering design, permitting, identifying funding sources, contract administration and construction. This will have to be combined with WS-0015.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0012	6-Inch Water Main Replacement (9,000ft)	Rehabilitation	114	WF, DWRF	\$2,723,516	\$2,723,516	\$--
<u>Project Description</u> Replace 6-inch diameter water main in Colony Heights, Twin Lakes Village, and Suburban Knolls for better system pressure and fire flow.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0015	Twin Lakes Well House Upgrades	Rehabilitation	108	WF, DWRF	\$3,123,000	\$3,123,000	\$--
<u>Project Description</u> Update controls, piping, iron filtration, and instrumentation to allow efficient operation of the Twin Lakes well house. New in 2027 is well replacement.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0017	High Pressure Districts Elizabeth Lake Road	New Construction	90	WF, DWRF	\$3,928,148	\$3,928,148	\$--
<u>Project Description</u> The interconnect will allow the high pressure district to utilize both elevated towers for storage at Aspen Meadows and Village Acres well houses for water supply. This will increase system reliability.							

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY WATER SUPPLY (WS)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0018	Residual Chlorine Analyzer for Water Towers	New Construction	146	WF, DWRF	\$50,000	\$50,000	\$--
<u>Project Description</u> Residual Chlorine Analyzers will allow monitoring of water quality both in and out of the Townships water towers. It will allow adjustments of chlorine feed rates to maintain minimum chlorine residuals throughout the water system as required by regulations.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0019	Meter Replacement	Rehabilitation	82	WF, DWRF	\$500,000	\$500,000	\$--
<u>Project Description</u> The water system meters in older subdivisions are reaching or exceeding their useful life. As meters age they deteriorate and develop inaccuracies in readings. Replacing meters will provide homeowners with the proper readings and provide accurate billing of water usage.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0021	Repaint Water Tower 1	Rehabilitation	127	WF, DWRF	\$658,672	\$658,672	\$--
<u>Project Description</u> Exterior overcoat polyurethane paint. Complete wet interior repaint.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0022	Repaint Water Tower 2	Rehabilitation	127	WF, DWRF	\$312,300	\$312,300	\$--
<u>Project Description</u> Exterior overcoat polyurethane paint. Dry interior partial repaint.							

CHARTER TOWNSHIP OF WHITE LAKE CAPITAL IMPROVEMENTS PLAN PROJECT SUMMARY WATER SUPPLY (WS)							
PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0023	Backhoe Machine	New Equipment	74	WF, DWRF	\$100,000	\$100,000	\$--
<u>Project Description</u> Purchase a Backhoe Machine to assist in day-to-day department operations.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0024	Waterford / White Lake Emergency Interconnection	New Construction	103	WF, DWRF, Waterford	\$500,000	\$250,000	\$--
<u>Project Description</u> Construction of a second interconnection between the Waterford and White Lake water systems to increase reliability and capacity.							

PROJECT NUMBER	PROJECT TITLE	CATEGORY	RATING	FUNDING	PROJECT COST	TOWNSHIP SHARE	OTHER FUNDS
WS-0025	DPS Storage / Maintenance Building	New Construction	58	SF, WF	\$1,457,400	\$1,457,400	\$--
<u>Project Description</u> Currently gathering estimates and developing preliminary site plan.							



Appendix

Excerpt from the Michigan Planning Enabling Act of 2008:

MICHIGAN PLANNING ENABLING ACT (EXCERPT) Act 33 of 2008

125.3865 Capital improvements program of public structures and improvements; preparation; basis.

Sec. 65.

(1) To further the desirable future development of the local unit of government under the master plan, a planning commission, after adoption of a master plan, shall annually prepare a capital improvements program of public structures and improvements, unless the planning commission is exempted from this requirement by charter or otherwise. If the planning commission is exempted, the legislative body either shall prepare and adopt a capital improvements program, separate from or as a part of the annual budget, or shall delegate the preparation of the capital improvements program to the chief elected official or a nonelected administrative official, subject to final approval by the legislative body. The capital improvements program shall show those public structures and improvements, in the general order of their priority, that in the commission's judgment will be needed or desirable and can be undertaken within the ensuing 6-year period. The capital improvements program shall be based upon the requirements of the local unit of government for all types of public structures and improvements. Consequently, each agency or department of the local unit of government with authority for public structures or improvements shall upon request furnish the planning commission with lists, plans, and estimates of time and cost of those public structures and improvements.

(2) Any township may prepare and adopt a capital improvement program. However, subsection (1) is only mandatory for a township if the township, alone or jointly with 1 or more other local units of government, owns or operates a water supply or sewage disposal system.

History: 2008, Act 33, Eff. Sept. 1, 2008

Charter Township of White Lake Capital Improvement Plan – Project Application

Project Title: [Click here to enter text.](#)
 Program Area: [Choose an item.](#)
 Prepared By: [Click here to enter text.](#)
 Date Prepared: [Click here to enter a date.](#)
 CIP ID #: [Click here to enter text.](#)

Project Description: Provide a brief (1-2 paragraph) description of project:

[Click here to enter text.](#)

Planning Context: Is the project part of an Adopted Program, Policy or Plan?

Yes or No

[Choose an item.](#) If yes, identify Program, Policy or Plan

[Click here to enter text.](#)

List the adopted program or policy, and how this project directly or indirectly meets these objectives:

[Click here to enter text.](#)

Planning Context: Is the Township Legally Obligated to perform this service? (E.G. Federal or State Law, Consent Judgment, etc.)

Yes or No

[Choose an item.](#)

If yes, please describe Township's Obligation:

[Click here to enter text.](#)

Schedule: Estimated project beginning and ending dates. If project will take several years to complete, fill out Form 2. If applicable, be sure to include any work done in prior years, including studies or other planning:

[Click here to enter text.](#)

Coordination: Please identify if this project is dependant upon one or more other CIP projects, and describe what the relationship is:

[Click here to enter text.](#)

Project Priority: Low, Medium, High

[Choose an item.](#) Priority within Program Area

[Choose an item.](#) Priority for the Township

Form 1 - Page 1 of 2

Capital Improvement Plan – Project Application

Prior Approval: Is this project included the prior year's budget?
Has this project been approved by the Township Board, Commission or Authority?

Yes or No

Choose an item.

If Yes, Choose an item.

Total Estimated Cost: In today's dollars (Amount shown here should agree with total on Form 2)

[Click here to enter text.](#)

List all funding options available for this project.

[Click here to enter text.](#)

Recommended funding option(s) to be used? (i.e: Operating Revenues, Grants, Fund Balance, Bond Issue etc...)

[Click here to enter text.](#)

Basis of Cost Estimate: Please check the following

[Choose an item.](#)

Impacts. Describe potential loss of service, benefit or opportunity if the project is not included in the C.I.P.

[Click here to enter text.](#)

CHARTER TOWNSHIP OF WHITE LAKE
Capital Improvement Plan
Project Cost Detail

Project ID _____
Category _____

	Prior Year	Budget Year	Budget Year 2	Budget Year 3	Budget Year 4	Budget Year 5	Budget Year 6	Totals	TWP Share
Project Construction Components								\$ -	-
Preliminary Engineering								\$ -	-
Right of Way or Easement Services								\$ -	-
Land Acquisition								\$ -	-
Geotechnical Engineering								\$ -	-
Environmental Services								\$ -	-
Contractor payments								\$ -	-
Construction Engineering								\$ -	-
Depreciable equipment or facilities								\$ -	-
Post Construction Monitoring								\$ -	-
Finance Costs								\$ -	-
Other Construction Costs								\$ -	-
Total Construction Cost	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Operating Costs								Totals	TWP Share
Contracted Services								0	-
Staff								0	-
Routine Maintenance								0	-
Utilities, Insurance, Communication								0	-
Other								0	-
Total Operating Cost	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Project Cost	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

W.L.T. Project Costing Form template

10/5/2009

CHARTER TOWNSHIP OF WHITE LAKE Capital Improvement Plan Project Evaluation Form		Project ID		
Rater Name:	Score Range	Rater Score	Weight	Total Points
1. Contribution to Health, Safety & Welfare			5	0
Eliminates a known hazard (accident history)	5			
Eliminates a potential hazard	4			
Materially contributes	3			
Minimally contributes	1			
No impact	0			
2. Project Needed to Comply with Local, State or Federal Law			5	0
Yes	5			
No	0			
3. Project Conforms to Adopted Program, Policy or Plan			4	0
Project is consistent with adopted City Council policy or plan	5			
Project is consistent with Administrative policy	3			
No policy / plan in place	0			
4. Project Remediates as Existing or Projected Deficiency			3	0
Completely Remedy Problem	5			
Partially Remedy Problem	3			
No	0			
5. Will Project Upgrade Facilities			3	0
Rehabilitates / upgrades existing facility	5			
Replaces existing facility	3			
New facility	1			
6. Contributes to Long-term Needs of Community			2	0
More than 30 years	5			
21 - 30 years	4			
11 - 20 years	3			
4 - 10 years	2			
3 years or less	1			
7. Annual Impact on Operating Costs Compared to Operating Costs assuming the project proceeds			2	0
Net Cost Savings	5			
No Change	4			
Minimal increase (>\$25,000)	3			
Moderate Increase (\$25,000 - \$100,000)	2			
Major Increase (>\$100,000)	1			
8. Annual Impact on Operating Costs Compared to Operating Costs assuming the project does not proceed			2	0
Major Impact (> \$100,000)	5			
Moderate Impact (\$50,000 - \$100,000)	3			
Minor Impact (\$25,000-\$50,000)	2			
Minimal Impact (< \$25,000)	1			
None	0			
9. Service Area of Project			2	0
Regional	5			
Township-Wide	4			
Several neighborhoods	3			
One neighborhood or less	1			
10. Department Priority			2	0
High	5			
Medium	3			
Low	1			
11. Project Delivers Level of Service Desired by Community			2	0
High	5			
Medium	3			
Low	1			

