



TOWNSHIP BOARD MEETING
LOCATION: 7527 HIGHLAND ROAD, WHITE LAKE - ANNEX BOARD ROOM
TUESDAY, AUGUST 20, 2024 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF AGENDA**
5. **PUBLIC COMMENT**
6. **CONSENT AGENDA**
 - A. [REVENUE AND EXPENSES](#)
 - B. [CHECK DISBURSEMENTS](#)
 - C. [BUDGET AMENDMENTS](#)
 - D. [LIST OF BILLS](#)
 - E. [DEPARTMENT REPORT - POLICE](#)
 - F. [DEPARTMENT REPORT - FIRE](#)
 - G. [DEPARTMENT REPORT - COMMUNITY DEVELOPMENT](#)
 - H. [DEPARTMENT REPORT – TREASURER](#)
7. **MINUTES**
 - A. [APPROVAL OF MINUTES - SPECIAL BOARD MEETING, JULY 1, 2024](#)
 - B. [APPROVAL OF MINUTES - SPECIAL BOARD MEETING, JULY 10, 2024](#)
 - C. [APPROVAL OF MINUTES - REGULAR BOARD MEETING, JULY 16, 2024](#)
8. **PUBLIC HEARINGS**
 - A. [PUBLIC HEARING TO HEAR PUBLIC COMMENTS REGARDING THE SPECIAL ASSESSMENT DISTRICT KNOWN AS EMERGENCY SEWER CONNECTIONS 2024-02](#)
9. **NEW BUSINESS**
 - A. [RESOLUTION #24-040; TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO PAY COSTS ASSOCIATED THEREWITH AND TO APPROVE THE PLANS AND ESTIMATES OF COSTS THEREFORE TO BE KNOWN AS: EMERGENCY SEWER CONNECTIONS 2024-02](#)
 - B. [REQUEST TO APPROVE LAKES AREA CO-RESPONDER PROGRAM](#)
 - C. [FIRST READING; REZONING REQUEST FOR PARCEL 12-23-227-003 - 9101 HIGHLAND ROAD](#)
 - D. [REQUEST TO APPROVE BS&A CLOUD UPGRADE AGREEMENT](#)
 - E. [RESOLUTION #24-039; TENTATIVELY DECLARING ITS INTENTION TO ESTABLISH A SPECIAL ASSESSMENT DISTRICT TO BE KNOWN AS COOLEY LAKE WEED CONTROL AND LAKE IMPROVEMENT 2024-2028](#)



- F. RESOLUTION #24-033; DETERMINING TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO PAY COSTS ASSOCIATED THEREWITH, APPROVING THE PLANS AND ESTIMATES OF COSTS THEREFORE TO BE KNOWN AS: BURGESS BAY WEED CONTROL AND LAKE IMPROVEMENT 2024-2028
- G. RESOLUTION #24-032; DETERMINING TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO PAY COSTS ASSOCIATED THEREWITH, APPROVING THE PLANS AND ESTIMATES OF COSTS THEREFORE TO BE KNOWN AS: MEADOW LANE ROAD MAINTENANCE 2024-2028
- H. REQUEST APPROVAL FOR LAKEPOINTE - PLANNED DEVELOPMENT AGREEMENT
- I. REQUEST APPROVAL FOR NEW HOPE - PLANNED DEVELOPMENT AGREEMENT
- J. REQUEST TO APPROVE HURON VALLEY YOUTH SERVICES AGREEMENT FOR YOUTH SERVICES FISCAL YEAR 2024-2025
- K. RESOLUTION #24-042; TO APPROVE RETAINER AGREEMENT WITH BENDZINSKI & CO. FOR LIMITED TAX GENERAL OBLIGATION BONDS, SERIES 2024
- L. REQUEST TO TRANSFER FUNDS TO IMPROVEMENT REVOLVING FUND - NEW TOWNSHIP BUILDINGS
- M. DISCUSSION REGARDING PINCREAST STORM WATER DRAINAGE SYSTEM MAINTENANCE
- N. RESOLUTION #24-043; TO APPROVE NON-UNION EMPLOYEE AND ELECTED OFFICIAL WAGE RESOLUTION
- O. REQUEST APPROVAL FOR CONTRACT AWARD (BALANCE) - BID PACKET #2 UTILITIES AND SITEWORK FOR NEW CIVIC CENTER DEVELOPMENT

10. OLD BUSINESS

- A. SECOND READING; REZONING REQUEST FOR PARCEL 12-16-200-030 - HALEY ROAD

11. FYI - CIVIC CENTER UPDATE

12. TRUSTEE COMMENTS

13. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

User: EHomeister

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BGD USED
Fund 101 - GENERAL FUND						
Revenues						
TAX COLLECTIONS						
101-000-402.000	CURRENT PROPERTY TAX	0.00	1,342,234.69	1,337,320.00	(4,914.69)	100.37
101-000-403.001	SPECIAL ASSMT STREET LIGHTS	0.00	17,096.00	17,150.00	54.00	99.69
101-000-405.000	TRAILER PARK TAX	851.00	5,108.50	7,500.00	2,391.50	68.11
101-000-412.000	DELINQUENT PROPERTY TAX	0.00	1,668.56	0.00	(1,668.56)	100.00
101-000-445.000	PENALTIES	0.00	17,837.67	17,000.00	(837.67)	104.93
101-000-445.001	PRIN RESIDENCE DENIALS	0.00	966.45	2,000.00	1,033.55	48.32
		<u>851.00</u>	<u>1,384,911.87</u>	<u>1,380,970.00</u>	<u>(3,941.87)</u>	<u>100.29</u>
TAX COLLECTIONS						
		851.00	1,384,911.87	1,380,970.00	(3,941.87)	100.29
OTHER LICENSE & PERMITS						
101-000-459.000	SOLICITOR PERMIT	0.00	530.00	500.00	(30.00)	106.00
101-000-481.000	DOG LICENSES	29.00	2,575.80	1,400.00	(1,175.80)	183.99
		<u>29.00</u>	<u>3,105.80</u>	<u>1,900.00</u>	<u>(1,205.80)</u>	<u>163.46</u>
OTHER LICENSE & PERMITS						
		29.00	3,105.80	1,900.00	(1,205.80)	163.46
TRANSPORTATION						
101-000-651.000	SENIOR ACTIVITIES	1,951.00	14,628.00	20,000.00	5,372.00	73.14
101-000-652.001	SENIOR CENTER REVENUE	426.00	3,523.03	3,000.00	(523.03)	117.43
		<u>2,377.00</u>	<u>18,151.03</u>	<u>23,000.00</u>	<u>4,848.97</u>	<u>78.92</u>
TRANSPORTATION						
		2,377.00	18,151.03	23,000.00	4,848.97	78.92
PLANNING REVENUE						
101-000-608.000	ZONING BOARD OF APPEALS	385.00	7,095.00	8,000.00	905.00	88.69
101-000-609.000	PLANNING COMMISSION FEES	0.00	4,360.00	4,500.00	140.00	96.89
101-000-622.000	RE-ZONING APPLICATION FEES	0.00	1,771.00	3,000.00	1,229.00	59.03
101-000-622.002	PLANNING DEPARTMENT REVIEWS	250.00	7,735.00	8,000.00	265.00	96.69
101-000-622.003	LANDSCAPING INSPECTION FEES	0.00	0.00	1,000.00	1,000.00	0.00
101-000-622.004	PUNCH LIST ADMIN FEES	0.00	6,916.69	2,500.00	(4,416.69)	276.67
101-000-622.005	FINAL BACK CHECK FEES	0.00	0.00	500.00	500.00	0.00
101-000-625.000	SPECIAL MEETING FEES	0.00	0.00	500.00	500.00	0.00
		<u>635.00</u>	<u>27,877.69</u>	<u>28,000.00</u>	<u>122.31</u>	<u>99.56</u>
PLANNING REVENUE						
		635.00	27,877.69	28,000.00	122.31	99.56
STATE SHARED						
101-000-576.000	STATE SHARED REV-CONSTITUTIONA	0.00	1,648,210.00	3,000,000.00	1,351,790.00	54.94
		<u>0.00</u>	<u>1,648,210.00</u>	<u>3,000,000.00</u>	<u>1,351,790.00</u>	<u>54.94</u>
STATE SHARED						
		0.00	1,648,210.00	3,000,000.00	1,351,790.00	54.94
FEES FOR SERVICES						
101-000-621.000	PLATTING & LOT SPLIT FEES	220.00	550.00	2,000.00	1,450.00	27.50
101-000-623.000	N S F FEE	0.00	100.00	200.00	100.00	50.00
101-000-627.000	DUPLICATING & PHOTOSTAT	0.00	4,179.04	500.00	(3,679.04)	835.81
101-000-643.000	CEMETERY LOTS	0.00	5,400.00	20,000.00	14,600.00	27.00
101-000-644.000	GRAVESITE OPENINGS/CLOSINGS	0.00	0.00	25,000.00	25,000.00	0.00
101-000-644.001	MONUMENT FOUNDATIONS/BRICK PAVERS	0.00	0.00	11,000.00	11,000.00	0.00
101-000-650.000	OTHER MAPS, CODES, ETC	0.00	5.00	50.00	45.00	10.00
101-000-654.000	OC ENHANCED REVENUE	2,068.93	8,942.05	4,000.00	(4,942.05)	223.55
101-000-689.000	SUMMER TAX COLLECTION REIMB	0.00	0.00	80,000.00	80,000.00	0.00
101-000-695.001	OTHER CABLE TV	0.00	235,406.55	500,000.00	264,593.45	47.08
101-000-695.003	ADMIN FEES - GARBAGE FUND	0.00	0.00	112,670.00	112,670.00	0.00
101-000-695.004	ADMIN FEES - TRUST & AGENCY	0.00	15,823.05	23,000.00	7,176.95	68.80
101-000-695.005	ADMIN FEES	372.16	2,259.28	5,000.00	2,740.72	45.19
101-000-695.007	ADMIN FEE SPECIAL ASSESSMENTS	0.00	0.00	5,000.00	5,000.00	0.00
		<u>2,661.09</u>	<u>272,664.97</u>	<u>788,420.00</u>	<u>515,755.03</u>	<u>34.59</u>
FEES FOR SERVICES						
		2,661.09	272,664.97	788,420.00	515,755.03	34.59
ORDINANCE FINES						

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Revenues						
101-000-656.000	ORDINANCE FINES	365.00	6,558.12	0.00	(6,558.12)	100.00
ORDINANCE FINES		365.00	6,558.12	0.00	(6,558.12)	100.00
MISCELLANEOUS						
101-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	116,411.00	116,411.00	0.00
101-000-441.000	INTERGOVERNMENTAL REVENUES	0.00	33,749.62	0.00	(33,749.62)	100.00
101-000-531.000	OTHER GRANTS	0.00	5,429.34	0.00	(5,429.34)	100.00
101-000-575.001	METRO ACT REVENUE	0.00	19,796.68	20,000.00	203.32	98.98
101-000-590.000	CASH BONDS CONTRIBUTIONS	0.00	0.00	600,000.00	600,000.00	0.00
101-000-590.001	GRINDERS-CONTRIBUTIONS	0.00	0.00	300,000.00	300,000.00	0.00
101-000-664.000	INTEREST INCOME	23,670.72	214,032.06	35,000.00	(179,032.06)	611.52
101-000-664.001	INTEREST - TRUST AND AGENCY	0.00	2,778.58	2,000.00	(778.58)	138.93
101-000-673.000	SALE OF FIXED ASSETS	0.00	325,390.00	0.00	(325,390.00)	100.00
101-000-676.000	ELECTION-REIMBURSEMENT	34,975.35	34,975.35	128,578.00	93,602.65	27.20
101-000-677.000	POSTAGE REVENUE	0.00	0.00	100.00	100.00	0.00
101-000-678.000	MISCELLANEOUS	0.00	2,987.36	10,000.00	7,012.64	29.87
101-000-685.000	OPIOID SETTLEMENT REVENUE	9,264.32	32,077.64	0.00	(32,077.64)	100.00
101-000-695.000	OTHER SUNDRY	0.00	1,727.12	1,200.00	(527.12)	143.93
MISCELLANEOUS		67,910.39	672,943.75	1,213,289.00	540,345.25	55.46
RENTS						
101-000-667.001	RENT COMMUNITY HALL	75.00	2,125.00	2,000.00	(125.00)	106.25
101-000-667.005	RENT-ORMOND RD TOWER	1,291.71	8,945.42	14,000.00	5,054.58	63.90
RENTS		1,366.71	11,070.42	16,000.00	4,929.58	69.19
TOTAL REVENUES						
		76,195.19	4,045,493.65	6,451,579.00	2,406,085.35	62.71
Expenditures						
TOWNSHIP BOARD						
101-101-703.000	SALARIES TRUSTEES	4,463.36	31,243.52	49,440.00	18,196.48	63.19
101-101-710.000	FEES & PER DIEM	990.00	4,215.00	14,000.00	9,785.00	30.11
101-101-715.000	SOCIAL SECURITY	355.21	2,458.94	3,760.00	1,301.06	65.40
101-101-717.000	GROUP LIFE INSURANCE	27.48	192.36	500.00	307.64	38.47
101-101-719.000	WORKERS' COMP INSURANCE	0.00	36.50	110.00	73.50	33.18
101-101-801.000	PROFESSIONAL FEES - ACTUARIAL	0.00	5,700.00	12,000.00	6,300.00	47.50
101-101-801.001	PROFESSIONAL FEES	0.00	0.00	10,000.00	10,000.00	0.00
101-101-807.000	AUDIT FEES	(17,900.00)	41,620.00	50,000.00	8,380.00	83.24
101-101-860.000	CONFERENCES & MILEAGE	0.00	2,623.19	4,000.00	1,376.81	65.58
101-101-957.000	SUBSCRIPTIONS	0.00	0.00	500.00	500.00	0.00
101-101-958.000	MEMBERSHIPS & DUES	4,877.00	16,868.33	18,000.00	1,131.67	93.71
101-101-962.000	MISCELLANEOUS	0.00	63.00	13,000.00	12,937.00	0.48
TOWNSHIP BOARD		(7,186.95)	105,020.84	175,310.00	70,289.16	59.91
SUPERVISOR						
101-171-703.000	SALARIES SUPERVISOR	12,474.69	66,410.55	108,115.00	41,704.45	61.43
101-171-704.000	SALARIES, DEPUTYY SUPERVISOR	10,073.25	53,626.26	87,300.00	33,673.74	61.43
101-171-706.000	SALARIES CLERICAL	6,901.43	36,740.62	59,820.00	23,079.38	61.42
101-171-708.000	SALARIES HR WAGES	10,160.10	58,604.10	92,570.00	33,965.90	63.31
101-171-709.000	OVERTIME	820.35	820.35	2,000.00	1,179.65	41.02
101-171-715.000	SOCIAL SECURITY	3,012.60	16,060.50	26,800.00	10,739.50	59.00
101-171-716.000	HOSP & OPTICAL INSURANCE	13,062.40	46,482.97	73,350.00	26,867.03	63.00

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Expenditures						
101-171-717.000	GROUP LIFE INSURANCE	31.40	219.80	435.00	215.20	50.53
101-171-718.000	PENSION	21,989.25	115,511.41	170,500.00	54,988.59	67.75
101-171-718.001	HEALTH CARE SAVINGS PROGRAM	452.59	2,596.06	4,300.00	1,703.94	60.37
101-171-718.002	457-EMPLOYER PORTION	138.03	736.16	0.00	(736.16)	100.00
101-171-719.000	WORKERS COMP INSURANCE	0.00	350.25	715.00	364.75	48.99
101-171-722.000	UNEMPLOYMENT INSURANCE	0.00	495.44	810.00	314.56	61.17
101-171-724.000	DENTAL INSURANCE	293.28	2,222.56	4,600.00	2,377.44	48.32
101-171-853.000	CELLULAR PHONE	43.28	259.59	800.00	540.41	32.45
101-171-864.000	CONFERENCES & MEETINGS	0.00	989.55	1,500.00	510.45	65.97
101-171-931.000	HR SERVICES ALLOCATION	0.00	0.00	(130,000.00)	(130,000.00)	0.00
101-171-957.000	SUBSCRIPTIONS	0.00	0.00	100.00	100.00	0.00
101-171-958.000	MEMBERSHIPS & DUES	0.00	0.00	500.00	500.00	0.00
101-171-959.000	COMMUNITY COMMUNICATIONS	0.00	0.00	20,000.00	20,000.00	0.00
101-171-960.000	TRAINING	0.00	0.00	300.00	300.00	0.00
101-171-960.001	TRAINING-HR	0.00	0.00	2,000.00	2,000.00	0.00
101-171-962.000	MISCELLANEOUS	0.00	52.43	650.00	597.57	8.07
SUPERVISOR		79,452.65	402,178.60	527,165.00	124,986.40	76.29
ELECTIONS						
101-191-706.000	PART TIME ELECTIONS	2,100.00	12,946.25	16,600.00	3,653.75	77.99
101-191-709.001	OVERTIME ELECTIONS	2,246.62	33,695.74	33,000.00	(695.74)	102.11
101-191-710.000	FEES & PER DIEM	375.00	53,550.00	103,779.00	50,229.00	51.60
101-191-715.000	SOCIAL SECURITY	189.33	5,025.35	2,000.00	(3,025.35)	251.27
101-191-722.000	UNEMPLOYMENT INSURANCE	6.75	1,119.33	400.00	(719.33)	279.83
101-191-730.000	POSTAGE-ELECTIONS	0.00	17,252.71	64,030.00	46,777.29	26.94
101-191-740.000	OPERATING SUPPLIES	1,656.08	36,818.90	13,185.00	(23,633.90)	279.25
101-191-860.000	MILEAGE	0.00	0.00	600.00	600.00	0.00
101-191-903.000	LEGAL NOTICES	922.25	2,123.50	6,900.00	4,776.50	30.78
101-191-934.000	EQUIPMENT MAINTENANCE	0.00	19,786.20	29,925.00	10,138.80	66.12
101-191-962.000	MISCELLANEOUS	0.00	0.00	4,000.00	4,000.00	0.00
ELECTIONS		7,496.03	182,317.98	274,419.00	92,101.02	66.44
ACCOUNTING						
101-192-701.000	SALARIES FINANCE DIRECTOR	12,045.38	64,125.38	109,220.00	45,094.62	58.71
101-192-702.000	SALARIES ASST FINANCE DIRECTOR	9,792.91	52,133.71	88,790.00	36,656.29	58.72
101-192-709.000	OVERTIME	0.00	179.53	1,500.00	1,320.47	11.97
101-192-715.000	SOCIAL SECURITY	1,659.15	8,883.89	15,265.00	6,381.11	58.20
101-192-716.000	HOSP & OPTICAL INSURANCE	4,358.93	13,820.95	15,800.00	1,979.05	87.47
101-192-717.000	GROUP LIFE INSURANCE	15.70	109.90	220.00	110.10	49.95
101-192-718.000	PENSION	1,490.91	10,436.37	18,120.00	7,683.63	57.60
101-192-719.000	WORKERS COMP INSURANCE	0.00	247.00	660.00	413.00	37.42
101-192-722.000	UNEMPLOYMENT INSURANCE	0.00	327.87	540.00	212.13	60.72
101-192-724.000	DENTAL INSURANCE	74.00	607.30	1,000.00	392.70	60.73
101-192-957.000	SUBSCRIPTIONS	0.00	0.00	50.00	50.00	0.00
101-192-958.000	MEMBERSHIPS & DUES	0.00	290.00	550.00	260.00	52.73
101-192-960.000	TRAINING	0.00	0.00	300.00	300.00	0.00
101-192-962.000	MISCELLANEOUS	0.00	0.00	200.00	200.00	0.00
ACCOUNTING		29,436.98	151,161.90	252,215.00	101,053.10	59.93
ASSESSING						
101-209-706.001	SALARIES ASSESSOR	11,705.85	62,317.54	101,455.00	39,137.46	61.42
101-209-706.002	SALARIES PROPERTY APPRAISER	15,147.93	85,816.38	139,700.00	53,883.62	61.42
101-209-706.003	SALARIES CLERICAL	0.00	24,924.02	57,735.00	32,810.98	43.10
101-209-707.000	SALARIES PART TIME	1,814.03	13,606.17	30,000.00	16,393.83	45.00

PERIOD ENDING 07/31/2024

Section 6, Item A.

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Fund 101 - GENERAL FUND						
Expenditures						
101-209-709.000	OVERTIME	0.00	408.29	1,500.00	1,091.71	27.22
101-209-715.000	SOCIAL SECURITY	2,168.44	14,042.22	25,300.00	11,257.78	55.50
101-209-716.000	HOSP & OPTICAL INSURANCE	5,920.66	49,939.43	93,280.00	43,340.57	53.54
101-209-717.000	GROUP LIFE INSURANCE	23.55	196.25	435.00	238.75	45.11
101-209-718.000	PENSION	3,897.98	26,454.99	50,500.00	24,045.01	52.39
101-209-718.001	HEALTH CARE SAVINGS PROGRAM	300.00	2,000.00	3,600.00	1,600.00	55.56
101-209-718.002	457-EMPLOYER PORTION	302.97	2,183.15	0.00	(2,183.15)	100.00
101-209-719.000	WORKERS COMP INSURANCE	0.00	735.50	2,455.00	1,719.50	29.96
101-209-722.000	UNEMPLOYMENT INSURANCE	0.00	831.83	1,350.00	518.17	61.62
101-209-724.000	DENTAL INSURANCE	363.48	3,613.84	6,400.00	2,786.16	56.47
101-209-801.000	PROFESSIONAL SERVICES	0.00	0.00	25,000.00	25,000.00	0.00
101-209-818.000	SOFTWARE SUPPORT FEES	0.00	1,858.10	4,500.00	2,641.90	41.29
101-209-820.000	LEGAL FEES	688.00	2,707.19	7,000.00	4,292.81	38.67
101-209-864.000	CONFERENCES & MEETINGS	281.88	281.88	3,200.00	2,918.12	8.81
101-209-903.000	LEGAL NOTICES	0.00	223.00	1,500.00	1,277.00	14.87
101-209-957.000	SUBSCRIPTIONS	0.00	0.00	200.00	200.00	0.00
101-209-958.000	MEMBERSHIPS & DUES	165.00	(185.00)	1,500.00	1,685.00	(12.33)
101-209-960.000	TRAINING	85.00	210.00	3,500.00	3,290.00	6.00
101-209-962.000	MISCELLANEOUS	0.00	300.00	2,000.00	1,700.00	15.00
ASSESSING		42,864.77	292,464.78	562,110.00	269,645.22	52.03
LEGAL FEES						
101-210-826.000	LEGAL FEES	3,472.92	29,188.22	80,000.00	50,811.78	36.49
101-210-826.001	TAX TRIBUNAL REFUNDS	0.00	0.00	2,000.00	2,000.00	0.00
101-210-826.002	LEGAL FEES-ORDINANCE	0.00	0.00	15,000.00	15,000.00	0.00
LEGAL FEES		3,472.92	29,188.22	97,000.00	67,811.78	30.09
CLERK						
101-215-703.000	SALARIES CLERK	11,850.99	63,090.23	102,710.00	39,619.77	61.43
101-215-704.000	SALARIES DEPUTY CLERK	10,073.25	53,626.22	87,305.00	33,678.78	61.42
101-215-706.001	SALARIES CLERICAL	14,294.69	76,099.72	123,920.00	47,820.28	61.41
101-215-709.000	OVERTIME	0.00	134.31	5,000.00	4,865.69	2.69
101-215-715.000	SOCIAL SECURITY	2,865.76	16,793.14	24,400.00	7,606.86	68.82
101-215-716.000	HOSP & OPTICAL INSURANCE	4,923.35	32,459.55	57,440.00	24,980.45	56.51
101-215-717.000	GROUP LIFE INSURANCE	31.40	219.80	435.00	215.20	50.53
101-215-718.000	PENSION	15,046.21	86,552.55	111,855.00	25,302.45	77.38
101-215-718.001	HEALTH CARE SAVINGS PROGRAM	967.38	5,526.58	9,050.00	3,523.42	61.07
101-215-718.002	457-EMPLOYER PORTION	168.63	897.72	0.00	(897.72)	100.00
101-215-719.000	WORKERS COMP INSURANCE	0.00	332.75	700.00	367.25	47.54
101-215-722.000	UNEMPLOYMENT INSURANCE	0.00	494.85	810.00	315.15	61.09
101-215-724.000	DENTAL INSURANCE	346.88	2,855.04	4,600.00	1,744.96	62.07
101-215-853.000	CELLULAR PHONE	141.78	460.02	1,200.00	739.98	38.34
101-215-860.000	MILEAGE	0.00	0.00	400.00	400.00	0.00
101-215-864.000	CONFERENCES & MEETINGS	159.00	2,501.61	6,000.00	3,498.39	41.69
101-215-903.000	LEGAL NOTICES	820.00	3,368.25	12,000.00	8,631.75	28.07
101-215-957.000	SUBSCRIPTIONS	0.00	0.00	300.00	300.00	0.00
101-215-958.000	MEMBERSHIPS & DUES	0.00	185.00	500.00	315.00	37.00
101-215-960.000	TRAINING	0.00	105.75	3,000.00	2,894.25	3.53
101-215-962.000	MISCELLANEOUS	197.00	357.00	700.00	343.00	51.00
CLERK		61,886.32	346,060.09	552,325.00	206,264.91	62.66
BOARD OF REVIEW						
101-247-710.000	FEES & PER DIEM	100.00	2,000.00	2,600.00	600.00	76
101-247-864.000	CONFERENCES & MEETINGS	0.00	18.00	150.00	132.00	12

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Expenditures						
101-247-903.000	LEGAL PUBLICATIONS	0.00	0.00	750.00	750.00	0.00
BOARD OF REVIEW		100.00	2,018.00	3,500.00	1,482.00	57.66
POSTAGE & MAILING						
101-248-730.000	POSTAGE	6,651.25	16,569.20	30,000.00	13,430.80	55.23
101-248-934.000	EQUIPMENT MAINTENANCE-POSTAGE METER	0.00	283.66	2,000.00	1,716.34	14.18
101-248-946.000	POSTAGE METER RENTAL	581.03	1,280.03	500.00	(780.03)	256.01
POSTAGE & MAILING		7,232.28	18,132.89	32,500.00	14,367.11	55.79
OFFICE SUPPLIES						
101-249-727.000	OFFICE SUPPLIES	359.37	17,608.34	41,000.00	23,391.66	42.95
OFFICE SUPPLIES		359.37	17,608.34	41,000.00	23,391.66	42.95
TREASURER						
101-253-703.000	SALARIES TREASURER	11,850.99	63,090.23	102,710.00	39,619.77	61.43
101-253-704.000	SALARIES DEPUTY TREASURER	10,073.25	53,626.26	87,305.00	33,678.74	61.42
101-253-706.001	SALARIES CLERICAL FT	15,716.74	83,207.44	140,470.00	57,262.56	59.24
101-253-709.000	OVERTIME	0.00	131.14	500.00	368.86	26.23
101-253-715.000	SOCIAL SECURITY	2,800.30	14,888.31	25,325.00	10,436.69	58.79
101-253-716.000	HOSP & OPTICAL INSURANCE	6,275.64	44,899.99	73,350.00	28,450.01	61.21
101-253-717.000	GROUP LIFE INSURANCE	31.40	219.80	435.00	215.20	50.53
101-253-718.000	PENSION	15,823.13	84,231.33	121,325.00	37,093.67	69.43
101-253-718.001	HEALTH CARE SAVINGS PROGRAM	552.58	3,296.09	5,500.00	2,203.91	59.93
101-253-718.002	457-EMPLOYER PORTION	168.45	887.60	0.00	(887.60)	100.00
101-253-719.000	WORKERS COMP INSURANCE	0.00	341.00	710.00	369.00	48.03
101-253-722.000	UNEMPLOYMENT INSURANCE	0.00	496.42	810.00	313.58	61.29
101-253-724.000	DENTAL INSURANCE	346.88	2,855.04	4,600.00	1,744.96	62.07
101-253-818.000	OC SOFTWARE SUPPORT FEES	0.00	2,326.36	2,500.00	173.64	93.05
101-253-860.000	MILEAGE	0.00	113.63	400.00	286.37	28.41
101-253-864.000	CONFERENCES & MEETINGS	308.25	2,137.96	2,500.00	362.04	85.52
101-253-903.000	LEGAL NOTICES	0.00	0.00	100.00	100.00	0.00
101-253-958.000	MEMBERSHIPS & DUES	350.00	350.00	900.00	550.00	38.89
101-253-960.000	TRAINING	0.00	0.00	400.00	400.00	0.00
101-253-962.000	MISCELLANEOUS	0.00	0.00	1,100.00	1,100.00	0.00
TREASURER		64,297.61	357,098.60	570,940.00	213,841.40	62.55
TOWNSHIP HALL & GROUNDS						
101-265-706.000	SALARIES MAINTENANCE	6,387.98	34,007.24	55,375.00	21,367.76	61.41
101-265-708.000	PART TIME MAINTENANCE	8,740.55	19,951.82	35,000.00	15,048.18	57.01
101-265-709.000	OVERTIME	276.81	3,943.53	8,000.00	4,056.47	49.29
101-265-715.000	SOCIAL SECURITY	1,179.09	4,432.61	8,125.00	3,692.39	54.56
101-265-716.000	HOSP & OPTICAL INSURANCE	1,570.54	10,360.13	18,800.00	8,439.87	55.11
101-265-717.000	GROUP LIFE INSURANCE	7.85	54.95	110.00	55.05	49.95
101-265-718.000	PENSION	1,244.56	8,187.18	15,125.00	6,937.82	54.13
101-265-718.001	HEALTH CARE SAVINGS PROGRAM	100.00	820.00	1,200.00	380.00	68.33
101-265-718.002	457-EMPLOYER PORTION	120.00	520.00	0.00	(520.00)	100.00
101-265-719.000	WORKERS COMP INSURANCE	0.00	1,371.75	4,465.00	3,093.25	30.72
101-265-722.000	UNEMPLOYMENT INSURANCE	157.34	524.03	600.00	75.97	87.34
101-265-724.000	DENTAL INSURANCE	67.56	562.73	900.00	337.27	62.53
101-265-853.000	TELEPHONE	692.31	7,882.44	12,000.00	4,117.56	65.69
101-265-863.000	VEHICLE MAINTENANCE	4,146.89	7,604.40	8,000.00	395.60	95.06
101-265-867.000	GASOLINE	1,066.03	5,499.22	10,000.00	4,500.78	54.99
101-265-910.000	INSURANCE	79.93	64,114.32	65,000.00	885.68	98.7

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDTG USED
Fund 101 - GENERAL FUND						
Expenditures						
101-265-921.001	ELECTRIC TWP HALL	2,997.41	18,069.18	35,000.00	16,930.82	51.63
101-265-922.000	UTILITIES-TWP HALL	172.55	3,652.88	7,200.00	3,547.12	50.73
101-265-923.000	HEAT TWP HALL	140.61	3,131.48	7,200.00	4,068.52	43.49
101-265-931.001	BLDG MAINTENANCE & SUPPLIES	4,677.23	31,988.38	60,000.00	28,011.62	53.31
101-265-931.002	GROUNDS MAINTENANCE	344.00	12,236.53	20,000.00	7,763.47	61.18
101-265-931.003	BLDG EQUIP MAINTENANCE	159.95	2,221.84	9,000.00	6,778.16	24.69
101-265-933.000	GROUNDS EQUIP MAINTENANCE	733.44	3,315.08	5,000.00	1,684.92	66.30
101-265-934.000	OFFICE EQUIP MAINTENANCE	0.00	0.00	1,500.00	1,500.00	0.00
101-265-940.000	TOWNSHIP RECORD RETENTION COSTS	197.68	1,694.37	1,600.00	(94.37)	105.90
101-265-971.000	TECHNOLOGY EQUIPMENT	6,563.80	66,927.66	110,000.00	43,072.34	60.84
101-265-974.000	IMPROVEMENTS & BETTERMENTS	0.00	0.00	165,000.00	165,000.00	0.00
101-265-977.000	EQUIPMENT ACQUISITIONS	0.00	6,000.00	125,000.00	119,000.00	4.80
TOWNSHIP HALL & GROUNDS		41,824.11	319,073.75	789,200.00	470,126.25	40.43
CEMETERY						
101-276-910.000	INSURANCE	(0.08)	63.11	150.00	86.89	42.07
101-276-921.000	ELECTRIC OXBOW	21.20	86.17	200.00	113.83	43.09
101-276-921.001	ELECTRIC WHITE LAKE	36.40	294.62	380.00	85.38	77.53
101-276-932.000	CEMETERY MAINT	2,731.00	7,979.00	30,000.00	22,021.00	26.60
101-276-935.000	CEMETERY-GRAVESITE OPENING/CLOSINGS	0.00	3,668.80	21,000.00	17,331.20	17.47
101-276-936.000	CEMETERY FOUNDATIONS/MONUMENTS EXPENSE	0.00	268.80	8,000.00	7,731.20	3.36
101-276-962.000	MISCELLANEOUS	0.00	0.00	600.00	600.00	0.00
101-276-974.000	LAND IMPROVEMENTS	0.00	0.00	5,000.00	5,000.00	0.00
CEMETERY		2,788.52	12,360.50	65,330.00	52,969.50	18.92
OTHER TOWNSHIP PROPERTIES						
101-269-853.001	TELEPHONE FISK FARM	0.00	0.00	250.00	250.00	0.00
101-269-910.001	INSURANCE COMM HALL	(0.49)	575.65	800.00	224.35	71.96
101-269-910.004	INSURANCE FISK	(1.65)	1,932.86	3,000.00	1,067.14	64.43
101-269-910.008	INSURANCE-ANNEX	(5.29)	6,184.90	7,000.00	815.10	88.36
101-269-921.001	ELECTRIC COMM HALL	56.29	297.90	700.00	402.10	42.56
101-269-921.004	ELECTRIC FISK	210.17	999.72	1,800.00	800.28	55.54
101-269-921.006	M59/BOGIE PROP STREET LIGHT	180.96	973.94	2,100.00	1,126.06	46.38
101-269-921.011	ELECTRIC-TWP ANNEX	737.98	5,385.64	12,000.00	6,614.36	44.88
101-269-922.004	UTILITIES FISK	57.24	974.96	1,900.00	925.04	51.31
101-269-922.010	UTILITIES-TWP ANNEX	57.24	114.48	2,000.00	1,885.52	5.72
101-269-923.001	HEAT COMM HALL	19.17	938.53	2,000.00	1,061.47	46.93
101-269-923.004	HEAT FISK	16.07	858.22	2,000.00	1,141.78	42.91
101-269-923.011	GAS-TWP ANNEX	21.16	2,426.64	8,000.00	5,573.36	30.33
101-269-931.001	BLDG MAINT COMM HALL	308.60	959.16	3,000.00	2,040.84	31.97
101-269-931.004	BLDG EQUIPMENT MAINT COMM HALL	0.00	205.41	500.00	294.59	41.08
101-269-931.007	BLDG MAINT FISK	0.00	4,790.55	25,000.00	20,209.45	19.16
101-269-931.008	EQUIP MAINT FISK	200.00	3,380.75	1,100.00	(2,280.75)	307.34
101-269-931.013	BUILDING MAINTENANCE-TWP ANNEX	354.38	1,694.06	10,000.00	8,305.94	16.94
101-269-931.014	10895 ELIZABETH LK PROPERTY MAINTENANCE	0.00	0.00	5,000.00	5,000.00	0.00
101-269-932.000	ANNEX GROUND MAINTENANCE	204.00	204.00	1,500.00	1,296.00	13.60
101-269-962.000	MISCELLANEOUS	0.00	0.00	750.00	750.00	0.00
OTHER TOWNSHIP PROPERTIES		2,415.83	32,897.37	90,400.00	57,502.63	36.39
HEALTH & WELFARE						
101-285-801.000	ENVIRONMENTAL PROFESSIONAL SERVICES	0.00	7,238.81	12,000.00	4,761.19	60.32
HEALTH & WELFARE		0.00	7,238.81	12,000.00	4,761.19	60.32

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PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Expenditures						
PLANNING						
101-402-706.001	COMMUNITY DEVELOPMENT DIRECTOR	12,537.66	66,745.13	108,660.00	41,914.87	61.43
101-402-706.002	SALARIES CLERICAL	7,513.65	39,999.96	65,120.00	25,120.04	61.43
101-402-707.000	SALARIES STAFF PLANNER	8,928.00	46,490.58	84,450.00	37,959.42	55.05
101-402-709.000	OVERTIME	119.04	1,591.38	4,000.00	2,408.62	39.78
101-402-710.000	PLANNING/ZBA BOARD FEES	4,090.00	13,375.00	11,000.00	(2,375.00)	121.59
101-402-715.000	SOCIAL SECURITY	2,542.85	12,919.64	20,900.00	7,980.36	61.82
101-402-716.000	HOSP & OPTICAL INSURANCE	1,907.75	17,873.20	30,650.00	12,776.80	58.31
101-402-717.000	GROUP LIFE INSURANCE	23.55	149.15	325.00	175.85	45.89
101-402-718.000	PENSION	2,119.86	13,535.01	23,310.00	9,774.99	58.07
101-402-718.001	HEALTH CARE SAVINGS PROGRAM	200.00	1,400.00	2,400.00	1,000.00	58.33
101-402-718.002	457-EMPLOYER PORTION	150.27	1,319.43	0.00	(1,319.43)	100.00
101-402-719.000	WORKERS COMP INSURANCE	0.00	556.25	1,320.00	763.75	42.14
101-402-722.000	UNEMPLOYMENT INSURANCE	169.33	665.28	810.00	144.72	82.13
101-402-724.000	DENTAL INSURANCE	279.32	2,218.31	3,000.00	781.69	73.94
101-402-729.000	PRINTING	0.00	0.00	1,500.00	1,500.00	0.00
101-402-757.000	OPERATING SUPPLIES	0.00	91.40	600.00	508.60	15.23
101-402-801.000	PROFESSIONAL FEES	600.00	9,586.51	44,000.00	34,413.49	21.79
101-402-853.000	CELLULAR PHONE	105.65	459.77	1,300.00	840.23	35.37
101-402-864.000	CONFERENCES & MEETINGS	0.00	0.00	3,900.00	3,900.00	0.00
101-402-903.000	LEGAL NOTICES	295.00	2,686.00	6,000.00	3,314.00	44.77
101-402-910.000	INSURANCE	(247.19)	3,738.27	5,700.00	1,961.73	65.58
101-402-957.000	SUBSCRIPTIONS	0.00	0.00	700.00	700.00	0.00
101-402-958.000	MEMBERSHIPS & DUES	0.00	1,453.00	2,200.00	747.00	66.05
101-402-960.000	TRAINING	0.00	339.00	4,100.00	3,761.00	8.27
101-402-962.000	MISCELLANEOUS	63.00	288.00	500.00	212.00	57.60
PLANNING		41,397.74	237,480.27	426,445.00	188,964.73	55.69
HIGHWAYS & STREETS						
101-446-930.000	TRAFFIC SIGNAL MAINTENANCE	82.42	393.01	1,000.00	606.99	39.30
101-448-926.000	STREET LIGHTING	4,611.28	28,247.76	52,000.00	23,752.24	54.32
101-451-970.000	ROAD CONSTRUCTION/TRI PARTY	0.00	92,871.60	180,000.00	87,128.40	51.60
HIGHWAYS & STREETS		4,693.70	121,512.37	233,000.00	111,487.63	52.15
SENIOR CENTER						
101-757-703.000	SALARIES SENIOR DIRECTOR	8,610.52	45,839.19	74,625.00	28,785.81	61.43
101-757-704.000	SALARIES PROGRAM DEVELOPER	6,766.20	36,020.70	58,650.00	22,629.30	61.42
101-757-707.000	PART-TIME CLERICAL	2,047.13	11,920.97	25,000.00	13,079.03	47.68
101-757-709.000	OVERTIME	0.00	111.46	500.00	388.54	22.29
101-757-715.000	SOCIAL SECURITY	1,318.60	7,106.22	12,150.00	5,043.78	58.49
101-757-716.000	HOSP & OPTICAL INSURANCE	2,390.78	15,352.06	37,400.00	22,047.94	41.05
101-757-717.000	GROUP LIFE INSURANCE	15.70	109.90	220.00	110.10	49.95
101-757-718.000	PENSION	1,066.89	6,912.41	9,655.00	2,742.59	71.59
101-757-718.001	HEALTH CARE SAVINGS PROGRAM	100.00	700.00	1,200.00	500.00	58.33
101-757-719.000	WORKERS COMP INSURANCE	0.00	222.00	600.00	378.00	37.00
101-757-722.000	UNEMPLOYMENT INSURANCE	0.00	501.45	810.00	308.55	61.91
101-757-724.000	DENTAL INSURANCE	104.56	866.38	1,800.00	933.62	48.13
101-757-751.000	SENIOR ACTIVITIES	1,703.70	17,246.10	30,000.00	12,753.90	57.49
101-757-757.000	OPERATING SUPPLIES	0.00	1,573.94	2,000.00	426.06	78.70
101-757-853.000	TELEPHONE	113.88	797.16	3,000.00	2,202.84	26.57
101-757-860.000	MILEAGE	45.56	302.58	1,200.00	897.42	25.22
101-757-864.000	CONFERENCES & MEETINGS	0.00	0.00	500.00	500.00	0.00
101-757-910.000	INSURANCE	(2.19)	2,549.67	3,350.00	800.33	76.00
101-757-921.000	ELECTRIC	573.80	3,759.15	4,800.00	1,040.85	78.00
101-757-922.000	UTILITIES	120.52	1,101.52	2,000.00	898.48	55.00

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Expenditures						
101-757-923.000	HEAT	21.54	1,047.18	2,200.00	1,152.82	47.60
101-757-931.000	BUILDING MAINTENANCE	1,632.49	8,853.39	10,000.00	1,146.61	88.53
101-757-957.000	SUBSCRIPTIONS	0.00	0.00	150.00	150.00	0.00
101-757-958.000	MEMBERSHIPS & DUES	0.00	75.00	150.00	75.00	50.00
101-757-962.000	MISCELLANEOUS	0.00	0.00	2,000.00	2,000.00	0.00
101-757-976.000	ADD & IMPROVEMENTS	0.00	0.00	8,000.00	8,000.00	0.00
SENIOR CENTER		26,629.68	162,968.43	291,960.00	128,991.57	55.82
RETIREE BENEFITS						
101-863-730.000	RETIREE HEALTH INSURANCE	6,482.66	50,454.92	110,000.00	59,545.08	45.87
101-863-730.003	OPEB FUNDING	0.00	135,000.00	135,000.00	0.00	100.00
RETIREE BENEFITS		6,482.66	185,454.92	245,000.00	59,545.08	75.70
OTHER						
101-299-956.000	UNALLOCATED MISCELLANEOUS	679.57	10,892.09	15,000.00	4,107.91	72.61
101-863-801.000	PAYROLL SERVICE	2,084.35	13,168.40	20,000.00	6,831.60	65.84
101-965-999.003	TRANSFER TO IMPROV REVOLVING	0.00	332,470.00	135,000.00	(197,470.00)	246.27
OTHER		2,763.92	356,530.49	170,000.00	(186,530.49)	33.32
ORDINANCE						
101-372-706.001	SALARIES ORDINANCE OFFICER	7,771.27	41,371.37	67,355.00	25,983.63	61.42
101-372-706.002	PART-TIME ORDINANCE	0.00	0.00	1,250.00	1,250.00	0.00
101-372-709.000	OVERTIME	0.00	0.00	1,000.00	1,000.00	0.00
101-372-715.000	SOCIAL SECURITY	573.47	2,964.91	5,325.00	2,360.09	55.68
101-372-716.000	HOSP & OPTICAL INSURANCE	4,291.67	23,888.46	23,350.00	(538.46)	102.31
101-372-717.000	GROUP LIFE INSURANCE	7.85	54.95	110.00	55.05	49.95
101-372-718.000	PENSION	1,110.61	7,774.27	13,500.00	5,725.73	57.59
101-372-719.000	WORKERS COMP INSURANCE	0.00	182.25	450.00	267.75	40.50
101-372-722.000	UNEMPLOYMENT INSURANCE	0.00	237.83	270.00	32.17	88.09
101-372-724.000	DENTAL INSURANCE	121.16	994.33	1,600.00	605.67	62.15
101-372-744.000	UNIFORMS-ORDINANCE	0.00	0.00	500.00	500.00	0.00
101-372-757.000	OPERATING SUPPLIES	0.00	91.38	200.00	108.62	45.69
101-372-853.000	CELLULAR PHONE	31.81	190.83	700.00	509.17	27.26
101-372-863.000	VEHICLE MAINTENANCE	0.00	1,041.79	2,500.00	1,458.21	41.67
101-372-864.000	CONFERENCE & MEETINGS	0.00	0.00	750.00	750.00	0.00
101-372-867.000	GASOLINE	84.34	432.48	1,500.00	1,067.52	28.83
101-372-910.000	INSURANCE	295.89	2,380.96	950.00	(1,430.96)	250.63
101-372-955.000	ORDINANCE ENFORCEMENTS COSTS	1,172.00	7,226.50	7,500.00	273.50	96.35
101-372-958.000	MEMBERSHIPS & DUES	0.00	0.00	150.00	150.00	0.00
101-372-960.000	TRAINING	309.00	309.00	500.00	191.00	61.80
101-372-962.000	MISCELLANEOUS	0.00	0.00	300.00	300.00	0.00
101-372-963.000	DANGEROUS BLDG DEMOLITIONS	0.00	0.00	10,000.00	10,000.00	0.00
ORDINANCE		15,769.07	89,141.31	139,760.00	50,618.69	63.78
OTHER						
101-000-934.000	CASH BONDS DEDUCTIONS	0.00	0.00	600,000.00	600,000.00	0.00
101-000-934.001	GRINDERS-DEDUCTIONS	0.00	0.00	300,000.00	300,000.00	0.00
OTHER		0.00	0.00	900,000.00	900,000.00	33.32
TOTAL EXPENDITURES		434,177.21	3,427,908.46	6,451,579.00	3,023,670.54	5

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 101 - GENERAL FUND						
Fund 101 - GENERAL FUND:						
	TOTAL REVENUES	76,195.19	4,045,493.65	6,451,579.00	2,406,085.35	62.71
	TOTAL EXPENDITURES	434,177.21	3,427,908.46	6,451,579.00	3,023,670.54	53.13
	NET OF REVENUES & EXPENDITURES	(357,982.02)	617,585.19	0.00	(617,585.19)	100.00

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR		2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
		MONTH 07/31/2024	YTD BALANCE 07/31/2024			
Fund 206 - FIRE						
Revenues						
REVENUES						
206-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	630,725.00	630,725.00	0.00
206-000-402.000	TAX COLLECTIONS	0.00	4,311,098.30	4,295,285.00	(15,813.30)	100.37
206-000-534.000	MISC GRANT REVENUE	0.00	768.75	0.00	(768.75)	100.00
206-000-607.000	PERMIT AND INSPECTION FEES	0.00	1,366.00	1,000.00	(366.00)	136.60
206-000-626.000	COST RECOVERY REVENUE	0.00	7,744.41	0.00	(7,744.41)	100.00
206-000-630.000	AMBULANCE TRANSPORTATION REVENUE	3,395.61	11,378.63	0.00	(11,378.63)	100.00
206-000-665.000	INTEREST	0.00	203,967.02	25,000.00	(178,967.02)	815.87
206-000-695.000	MISC REVENUE	120.00	9,205.98	1,000.00	(8,205.98)	920.60
206-336-977.002	USE OF FUND BALANCE	0.00	0.00	94,400.00	94,400.00	0.00
REVENUES		3,515.61	4,545,529.09	5,047,410.00	501,880.91	90.06
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TOTAL REVENUES		3,515.61	4,545,529.09	5,047,410.00	501,880.91	90.06
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Expenditures						
OTHER						
206-336-801.001	HR SERVICES	0.00	0.00	43,500.00	43,500.00	0.00
OTHER		0.00	0.00	43,500.00	43,500.00	23.14
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CIVIL SERVICE						
206-220-710.000	FEES & PER DIEM	0.00	450.00	1,000.00	550.00	45.00
206-220-727.000	SUPPLIES	0.00	895.00	500.00	(395.00)	179.00
206-220-903.000	LEGAL NOTICES	0.00	0.00	500.00	500.00	0.00
CIVIL SERVICE		0.00	1,345.00	2,000.00	655.00	67.25
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SALARIES						
206-336-705.000	SALARIES CHIEF	12,892.56	68,635.12	111,735.00	43,099.88	61.43
206-336-705.001	SALARIES CAPTAIN	39,236.87	197,798.68	308,000.00	110,201.32	64.22
206-336-706.001	SALARIES FIRE SERGEANT	61,334.44	289,170.85	531,315.00	242,144.15	54.43
206-336-706.003	SALARIES CLERICAL	7,513.66	39,999.95	65,120.00	25,120.05	61.42
206-336-706.005	SALARIES FIREFIGHTERS	98,385.54	520,287.18	882,340.00	362,052.82	58.97
206-336-706.007	FIRE MARSHAL	11,857.42	62,174.61	101,500.00	39,325.39	61.26
206-336-709.000	OVERTIME	21,757.04	95,150.93	90,000.00	(5,150.93)	105.72
206-336-710.000	PART TIME STAFF	3,816.26	21,945.72	55,000.00	33,054.28	39.90
206-336-720.000	HOLIDAY/PERSONAL PAY	0.00	91,698.54	270,500.00	178,801.46	33.90
SALARIES		256,793.79	1,386,861.58	2,415,510.00	1,028,648.42	57.41
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PAYROLL BENEFITS						
206-336-715.000	SOCIAL SECURITY	19,321.18	104,996.31	186,850.00	81,853.69	56.19
206-336-716.000	HOSP & OPTICAL INSURANCE	44,739.56	252,031.71	417,900.00	165,868.29	60.31
206-336-716.002	RETIREE HEALTH CARE PREMIUMS	6,042.74	59,524.13	60,000.00	475.87	99.21
206-336-717.000	GROUP LIFE INSURANCE	204.10	1,413.00	2,700.00	1,287.00	52.33
206-336-718.000	PENSION	39,816.44	249,526.18	436,200.00	186,673.82	57.20
206-336-718.002	HEALTH CARE SAVINGS PLAN	4,933.86	24,261.57	37,150.00	12,888.43	65.31
206-336-718.003	OPEB FUNDING	0.00	150,000.00	150,000.00	0.00	100.00
206-336-718.004	457 - EMPLOYER PORTION	1,767.63	7,863.23	1,200.00	(6,663.23)	655.27
206-336-719.000	WORKERS COMP INSURANCE	0.00	48,915.91	90,000.00	41,084.09	54.35
206-336-722.000	UNEMPLOYMENT INSURANCE	164.74	4,448.57	7,050.00	2,601.43	63.10
206-336-724.000	DENTAL INSURANCE	2,081.28	16,058.32	26,500.00	10,441.68	60.60
PAYROLL BENEFITS		119,071.53	919,038.93	1,415,550.00	496,511.07	60.60

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PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 206 - FIRE						
Expenditures						
OTHER						
206-336-727.000	OFFICE SUPPLIES	681.80	2,184.78	6,000.00	3,815.22	36.41
206-336-730.000	POSTAGE, SHIPPING	0.00	18.56	200.00	181.44	9.28
206-336-744.000	UNIFORMS	1,489.12	9,225.74	23,000.00	13,774.26	40.11
206-336-744.002	FOOD ALLOWANCE	0.00	8,039.54	19,600.00	11,560.46	41.02
206-336-757.000	OPERATING SUPPLIES	(3,687.23)	26,583.38	43,000.00	16,416.62	61.82
206-336-758.000	OXYGEN & AIR	137.50	1,473.50	2,600.00	1,126.50	56.67
206-336-767.000	MEDICAL SUPPLIES	3,147.19	18,705.29	40,000.00	21,294.71	46.76
206-336-801.000	CONSULTANT/PROFESSIONAL SERVICES	(995.10)	0.00	500.00	500.00	0.00
206-336-807.000	AUDIT FEES	6,000.00	6,000.00	6,000.00	0.00	100.00
206-336-826.000	LEGAL FEES	0.00	711.00	10,000.00	9,289.00	7.11
206-336-826.002	TAX TRIBUNAL REFUNDS	0.00	0.00	4,000.00	4,000.00	0.00
206-336-835.000	MEDICAL SERVICES	0.00	1,612.58	5,000.00	3,387.42	32.25
206-336-851.000	RADIO MAINTENANCE	0.00	0.00	2,000.00	2,000.00	0.00
206-336-853.000	CELL PHONES	274.08	1,644.48	4,500.00	2,855.52	36.54
206-336-853.001	TELEPHONE STATION 1	178.66	1,776.01	500.00	(1,276.01)	355.20
206-336-853.002	TELEPHONE STATION 2	67.34	471.38	500.00	28.62	94.28
206-336-853.003	TELEPHONE STATION 3	67.34	471.38	500.00	28.62	94.28
206-336-863.001	VEHICLE MAINTENANCE	5,765.71	31,305.73	62,000.00	30,694.27	50.49
206-336-863.002	TIRES	1,715.63	1,980.90	10,000.00	8,019.10	19.81
206-336-864.000	CONFERENCES & MEETINGS	459.70	4,773.61	14,500.00	9,726.39	32.92
206-336-867.000	GASOLINE	2,007.24	12,977.13	36,000.00	23,022.87	36.05
206-336-903.000	LEGAL NOTICES	0.00	0.00	200.00	200.00	0.00
206-336-910.000	INSURANCE	(17.10)	55,250.89	60,000.00	4,749.11	92.08
206-336-921.001	ELECTRIC STATION 1	1,276.94	8,124.84	15,750.00	7,625.16	51.59
206-336-921.002	ELECTRIC STATION 2	543.61	2,929.65	5,500.00	2,570.35	53.27
206-336-921.003	ELECTRIC STATION 3	282.36	2,462.49	5,500.00	3,037.51	44.77
206-336-922.001	UTILITIES - STATION 1	107.77	759.13	0.00	(759.13)	100.00
206-336-923.001	HEAT STATION 1	216.31	2,813.17	6,700.00	3,886.83	41.99
206-336-923.002	HEAT STATION 2	25.50	1,060.17	3,000.00	1,939.83	35.34
206-336-923.003	HEAT STATION 3	23.92	1,027.09	3,000.00	1,972.91	34.24
206-336-931.001	MAINTENANCE STATION 1	1,926.71	8,639.74	45,000.00	36,360.26	19.20
206-336-931.002	MAINTENANCE STATION 2	39.00	1,380.63	25,000.00	23,619.37	5.52
206-336-931.003	MAINTENANCE STATION 3	39.00	4,777.71	25,000.00	20,222.29	19.11
206-336-933.000	EQUIPMENT MAINTENANCE	537.18	7,228.60	21,900.00	14,671.40	33.01
206-336-957.000	SUBSCRIPTIONS	9,637.71	9,637.71	15,000.00	5,362.29	64.25
206-336-958.000	MEMBERSHIPS & DUES	(1,172.00)	857.62	5,000.00	4,142.38	17.15
206-336-960.000	TRAINING	1,869.76	18,614.07	44,500.00	25,885.93	41.83
206-336-962.000	MISCELLANEOUS	(1,514.28)	3,660.08	5,000.00	1,339.92	73.20
206-336-976.000	TRANSFER TO OTHER FUNDS	0.00	0.00	500,000.00	500,000.00	0.00
OTHER		31,131.37	259,178.58	1,076,450.00	817,271.42	23.14
AQUISTITIONS						
206-336-977.000	EQUIPMENT ACQUISITIONS 04M	0.00	25,011.35	51,900.00	26,888.65	48.19
206-336-977.001	SUPPLY ACQUISITIONS 04M	1,035.48	40,723.08	42,500.00	1,776.92	95.82
AQUISTITIONS		1,035.48	65,734.43	94,400.00	28,665.57	69.63
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TOTAL EXPENDITURES		408,032.17	2,632,158.52	5,047,410.00	2,415,251.48	52.15
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Fund 206 - FIRE:						
TOTAL REVENUES		3,515.61	4,545,529.09	5,047,410.00	501,880.91	9

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 206 - FIRE						
TOTAL EXPENDITURES		408,032.17	2,632,158.52	5,047,410.00	2,415,251.48	52.15
NET OF REVENUES & EXPENDITURES		(404,516.56)	1,913,370.57	0.00	(1,913,370.57)	100.00

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 207 - POLICE						
Revenues						
REVENUES						
207-000-393.000	DESIGNATED FUND BALANCE	0.00	0.00	668,075.00	668,075.00	0.00
207-000-402.000	TAX COLLECTIONS	0.00	6,960,230.19	6,934,565.00	(25,665.19)	100.37
207-000-530.000	FEDERAL GRANTS	0.00	1,050.00	0.00	(1,050.00)	100.00
207-000-530.001	GRANTS - OTHER	4,300.80	12,781.20	0.00	(12,781.20)	100.00
207-000-540.000	SNC (STATE 911) FUNDS	0.00	2,970.00	0.00	(2,970.00)	100.00
207-000-546.000	CRIMINAL JUSTICE TRNG 302 FUNDS	0.00	4,650.80	4,400.00	(250.80)	105.70
207-000-577.000	LIQUOR LICENSES	0.00	8,605.85	11,000.00	2,394.15	78.24
207-000-601.000	LIAISON OFFICER REIMBURSEMENT	0.00	60,150.00	45,000.00	(15,150.00)	133.67
207-000-607.000	SEX OFFENDERS REGISTRY FEE	50.00	1,200.00	1,500.00	300.00	80.00
207-000-608.001	WARRANT PROCESSING FEES	40.00	650.00	800.00	150.00	81.25
207-000-608.002	IMPOUND FEES	740.00	4,700.00	3,000.00	(1,700.00)	156.67
207-000-626.000	COST RECOVERY REVENUE	0.00	254.56	0.00	(254.56)	100.00
207-000-627.000	DUPLICATING & PHOTOSTAT	431.34	3,153.07	2,000.00	(1,153.07)	157.65
207-000-656.000	ORDINANCE FINES & COSTS	15,810.72	100,294.35	120,000.00	19,705.65	83.58
207-000-665.000	INTEREST	0.00	214,609.97	25,000.00	(189,609.97)	858.44
207-000-665.002	INTEREST INCOME-TAX FUND	0.00	0.00	1,500.00	1,500.00	0.00
207-000-673.000	SALE OF FIXED ASSETS	0.00	0.00	20,000.00	20,000.00	0.00
207-000-684.000	CROSSING GUARDS REIMBURSEMENT	6,906.13	6,906.13	35,000.00	28,093.87	19.73
207-000-690.000	INSURANCE REBATES	0.00	250.00	0.00	(250.00)	100.00
207-000-695.000	MISCELLANEOUS REVENUE	4,281.12	8,321.62	1,000.00	(7,321.62)	832.16
	REVENUES	32,560.11	7,390,777.74	7,872,840.00	482,062.26	93.88
TOTAL REVENUES		32,560.11	7,390,777.74	7,872,840.00	482,062.26	93.88
Expenditures						
OTHER						
207-301-730.000	POSTAGE	0.00	196.63	800.00	603.37	24.58
207-301-801.001	HR SERVICES	0.00	0.00	70,000.00	70,000.00	0.00
207-301-960.004	STATE CPE TRAINING	2,050.00	2,050.00	0.00	(2,050.00)	100.00
	OTHER	2,050.00	2,246.63	70,800.00	68,553.37	33.28
CIVIL SERVICE						
207-220-710.000	FEES & PER DIEM-CIVIL SVC	0.00	0.00	1,000.00	1,000.00	0.00
207-220-727.000	SUPPLIES-CIVIL SVC	0.00	269.00	1,000.00	731.00	26.90
207-220-903.000	LEGAL NOTICES-CIVIL SVC	0.00	0.00	1,000.00	1,000.00	0.00
	CIVIL SERVICE	0.00	269.00	3,000.00	2,731.00	8.97
SALARIES						
207-301-705.000	SALARIES CHIEF	12,892.50	68,634.54	111,735.00	43,100.46	61.43
207-301-706.001	SALARIES LIEUTENANTS	37,223.46	205,050.24	341,152.00	136,101.76	60.11
207-301-706.002	SALARIES SERGEANTS	34,658.88	218,878.79	415,623.00	196,744.21	52.66
207-301-706.003	SALARIES POLICE OFFICERS	215,411.55	1,133,353.58	1,854,100.00	720,746.42	61.13
207-301-706.004	SALARIES DISPATCHERS	41,217.02	220,360.46	351,770.00	131,409.54	62.64
207-301-706.005	SALARIES CLERICAL	19,669.48	104,432.92	159,025.00	54,592.08	65.67
207-301-706.006	SALARIES CADET	1,012.50	10,533.75	46,800.00	36,266.25	22.51
207-301-709.001	OVERTIME	11,702.76	76,778.20	180,000.00	103,221.80	42.65
207-301-709.002	COURT TIME	943.57	5,058.89	30,000.00	24,941.11	16.86
207-301-709.003	SHIFT PREMIUM	0.00	0.00	40,000.00	40,000.00	0.00
207-301-720.000	HOLIDAY PAY	1,824.05	1,824.05	140,000.00	138,175.95	88.00
	SALARIES	376,555.77	2,044,905.42	3,670,205.00	1,625,299.58	51.50

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BGD USED
Fund 207 - POLICE						
Expenditures						
PAYROLL BENEFITS						
207-301-715.000	SOCIAL SECURITY	28,522.65	155,691.79	280,165.00	124,473.21	55.57
207-301-716.000	HOSP & OPTICAL INSURANCE	57,744.94	428,742.22	700,000.00	271,257.78	61.25
207-301-716.001	RETIREE HOSP & OPTICAL INSURANCE	24,700.11	175,688.56	323,500.00	147,811.44	54.31
207-301-717.000	GROUP LIFE INSURANCE	290.45	2,080.25	4,320.00	2,239.75	48.15
207-301-718.000	PENSION	74,001.00	491,211.62	861,000.00	369,788.38	57.05
207-301-718.001	HEALTH CARE SAVINGS PROGRAM	8,596.95	46,377.27	78,000.00	31,622.73	59.46
207-301-718.002	457-EMPLOYER PORTION	6,315.77	23,783.12	0.00	(23,783.12)	100.00
207-301-718.003	OPEB FUNDING	0.00	250,000.00	250,000.00	0.00	100.00
207-301-719.000	WORKERS COMP INSURANCE	0.00	31,970.08	68,420.00	36,449.92	46.73
207-301-722.000	UNEMPLOYMENT INSURANCE	77.20	6,668.58	11,900.00	5,231.42	56.04
207-301-724.000	DENTAL INSURANCE	3,539.00	28,685.32	45,900.00	17,214.68	62.50
PAYROLL BENEFITS		203,788.07	1,640,898.81	2,623,205.00	982,306.19	62.55
OTHER						
207-301-727.000	OFFICE SUPPLIES	735.25	5,183.15	11,000.00	5,816.85	47.12
207-301-741.000	FIRE ARMS, TRNG & RANGE SUPPLIES	932.00	5,403.80	10,000.00	4,596.20	54.04
207-301-744.000	UNIFORMS	1,440.85	3,960.43	10,000.00	6,039.57	39.60
207-301-744.004	UNIFORM ALLOWANCE PAYOUT	0.00	31,313.73	35,000.00	3,686.27	89.47
207-301-757.000	OPERATING SUPPLIES	1,952.35	4,642.19	12,000.00	7,357.81	38.68
207-301-805.000	SEX OFFENDERS REGISTRY FEE	60.00	660.00	1,500.00	840.00	44.00
207-301-807.000	AUDIT FEES	6,000.00	6,000.00	6,000.00	0.00	100.00
207-301-818.000	COMPUTER SERVICES	3,018.00	23,197.29	12,000.00	(11,197.29)	193.31
207-301-826.000	LEGAL FEES-PROSECUTIONS	8,333.33	49,999.98	101,000.00	51,000.02	49.50
207-301-826.001	TAX TRIBUNAL REFUNDS	0.00	0.00	5,000.00	5,000.00	0.00
207-301-826.002	LEGAL FEES - LABOR RELATED	345.00	720.00	30,000.00	29,280.00	2.40
207-301-851.000	EQUIPMENT REPAIRS	0.00	0.00	3,000.00	3,000.00	0.00
207-301-853.000	TELEPHONE	642.22	5,273.67	15,000.00	9,726.33	35.16
207-301-860.000	MILEAGE	0.00	0.00	1,000.00	1,000.00	0.00
207-301-861.000	WITNESS FEES	18.00	108.70	1,000.00	891.30	10.87
207-301-863.001	VEHICLE MAINTENANCE	1,031.95	16,210.39	45,000.00	28,789.61	36.02
207-301-863.002	TIRES	0.00	2,707.96	5,000.00	2,292.04	54.16
207-301-864.000	CONFERENCES	640.32	4,981.07	7,000.00	2,018.93	71.16
207-301-867.000	GASOLINE	6,652.20	37,568.88	90,000.00	52,431.12	41.74
207-301-903.000	LEGAL NOTICES	0.00	0.00	500.00	500.00	0.00
207-301-910.000	INSURANCE	(91.44)	138,261.24	165,000.00	26,738.76	83.79
207-301-931.001	BLDG MAINTENANCE & SUPPLIES	796.31	8,765.34	15,000.00	6,234.66	58.44
207-301-933.000	EQUIP LEASE/ MAINT CONTRACTS	7,115.21	70,195.90	105,000.00	34,804.10	66.85
207-301-934.000	OFFICE EQUIP MAINTENANCE	0.00	1,108.99	6,000.00	4,891.01	18.48
207-301-958.000	MEMBERSHIPS & DUES	0.00	1,855.00	2,000.00	145.00	92.75
207-301-960.000	TRAINING	0.00	6,228.52	16,000.00	9,771.48	38.93
207-301-960.001	CRIMINAL JUSTICE TRNG 302 FUNDS	0.00	4,650.80	5,700.00	1,049.20	81.59
207-301-960.002	SNC (STATE 911) TRAINING FUNDS	0.00	1,868.26	5,400.00	3,531.74	34.60
207-301-960.003	TUITION REIMBURSEMENT	0.00	2,871.00	15,000.00	12,129.00	19.14
207-301-961.000	CERT EXPENDITURES	0.00	0.00	2,000.00	2,000.00	0.00
207-301-962.001	MISCELLANEOUS	1,437.93	2,529.32	8,000.00	5,470.68	31.62
207-301-962.003	EVIDENCE COLLECTION	200.00	1,056.43	4,000.00	2,943.57	26.41
207-301-976.000	TRANSFER TO OTHER FUNDS	0.00	0.00	500,000.00	500,000.00	0.00
OTHER		41,259.48	437,322.04	1,250,100.00	812,777.96	33.28
AQUISTITIONS						
207-301-977.000	EQUIPMENT ACQUISITIONS	9,910.68	81,526.52	225,000.00	143,473.48	36.23
207-301-977.003	ACCREDITATION, SOFTWARE, MTCE	7,154.83	7,344.19	8,000.00	655.81	91.18
AQUISTITIONS		17,065.51	88,870.71	233,000.00	144,129.29	31.74

PERIOD ENDING 07/31/2024

Section 6, Item A.

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 207 - POLICE						
Expenditures						
CROSSING GUARDS						
207-316-707.000	SALARIES PT - CROSSING GUARDS	0.00	11,715.00	20,000.00	8,285.00	58.58
207-316-715.000	SOCIAL SECURITY-CROSSING GUARDS	0.00	896.25	1,530.00	633.75	58.58
207-316-719.000	WORKERS COMP -CROSSING GUARDS	0.00	264.00	500.00	236.00	52.80
207-316-722.000	UNEMPLOYMENT INSUR CROSSING GUARDS	0.00	209.43	500.00	290.57	41.89
CROSSING GUARDS		0.00	13,084.68	22,530.00	9,445.32	58.08
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TOTAL EXPENDITURES		640,718.83	4,227,597.29	7,872,840.00	3,645,242.71	53.70
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Fund 207 - POLICE:						
TOTAL REVENUES		32,560.11	7,390,777.74	7,872,840.00	482,062.26	93.88
TOTAL EXPENDITURES		640,718.83	4,227,597.29	7,872,840.00	3,645,242.71	53.70
NET OF REVENUES & EXPENDITURES		(608,158.72)	3,163,180.45	0.00	(3,163,180.45)	100.00

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 208 - PARKS AND RECREATION FUND						
Revenues						
REVENUES						
208-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	869,082.00	869,082.00	0.00
208-000-402.000	PARKS AND RECREATION TAX COLLECTIONS	0.00	422,418.14	420,918.00	(1,500.14)	100.36
208-000-652.000	FIELD RENTAL	265.00	1,485.00	6,000.00	4,515.00	24.75
208-000-665.000	INTEREST	737.29	17,263.46	4,000.00	(13,263.46)	431.59
208-000-696.000	BOND PROCEEDS	2,812,881.90	2,812,881.90	0.00	(2,812,881.90)	100.00
REVENUES		2,813,884.19	3,254,048.50	1,300,000.00	(1,954,048.50)	250.31
TOTAL REVENUES						
		2,813,884.19	3,254,048.50	1,300,000.00	(1,954,048.50)	250.31
Expenditures						
EXPENSES						
208-000-710.000	FEE'S AND PER DIEM	0.00	250.00	3,400.00	3,150.00	7.35
208-000-715.000	SOC SEC & MEDICARE TAX	0.00	0.00	250.00	250.00	0.00
208-000-720.000	EVENT EXPENSES	1,524.16	3,500.16	10,000.00	6,499.84	35.00
208-000-722.000	MI UNEMPLOYMENT TAX	0.00	0.00	50.00	50.00	0.00
208-000-801.000	PROFESSIONAL SERVICES	61,900.00	62,440.00	20,000.00	(42,440.00)	312.20
208-000-903.000	LEGAL PUBLICATIONS	1,535.00	1,938.00	300.00	(1,638.00)	646.00
208-000-910.000	INSURANCE	(4.15)	4,845.75	5,200.00	354.25	93.19
208-000-921.000	ELECTRIC JUDY HAWLEY PARK	74.38	191.05	900.00	708.95	21.23
208-000-921.001	ELECTRIC - VETTER PARK	40.89	362.04	900.00	537.96	40.23
208-000-922.000	UTILITIES- PARKS	400.00	2,795.00	4,000.00	1,205.00	69.88
208-000-931.001	GROUNDS MAINTENANCE	4,295.00	13,309.95	43,000.00	29,690.05	30.95
208-000-932.000	PARK EQUIPMENT	0.00	0.00	5,000.00	5,000.00	0.00
208-000-958.000	MEMBERSHIPS AND DUES	0.00	0.00	500.00	500.00	0.00
208-000-962.000	MISCELLANEOUS	0.00	0.00	1,500.00	1,500.00	0.00
208-000-972.000	PATHWAY PROJECTS	149,658.52	611,645.17	600,000.00	(11,645.17)	101.94
208-000-973.000	BLOOMER PARK IMPROVEMENTS	0.00	0.00	5,000.00	5,000.00	0.00
208-000-974.000	PARK IMPROVEMENTS	0.00	3,875.00	600,000.00	596,125.00	0.65
208-000-992.000	BOND INTEREST	500.00	500.00	0.00	(500.00)	100.00
EXPENSES		219,923.80	705,652.12	1,300,000.00	594,347.88	54.28
TOTAL EXPENDITURES						
		219,923.80	705,652.12	1,300,000.00	594,347.88	54.28
Fund 208 - PARKS AND RECREATION FUND:						
TOTAL REVENUES		2,813,884.19	3,254,048.50	1,300,000.00	(1,954,048.50)	250.31
TOTAL EXPENDITURES		219,923.80	705,652.12	1,300,000.00	594,347.88	54.28
NET OF REVENUES & EXPENDITURES		2,593,960.39	2,548,396.38	0.00	(2,548,396.38)	100.00

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 249 - BUILDING DEPARTMENT FUND						
Revenues						
REVENUES						
249-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	126,910.00	126,910.00	0.00
REVENUES		0.00	0.00	126,910.00	126,910.00	0.00
BUILDING REVENUE						
249-000-452.000	CONTRACTORS GENERAL LICENSES	300.00	2,880.00	4,500.00	1,620.00	64.00
249-000-453.000	ELECTRICAL LICENSES	260.00	1,980.00	2,500.00	520.00	79.20
249-000-454.000	HEATING LICENSES	60.00	840.00	1,400.00	560.00	60.00
249-000-455.000	PLUMBING LICENSES	4.00	52.00	250.00	198.00	20.80
249-000-477.000	BUILDING PERMITS	23,805.00	197,990.20	380,000.00	182,009.80	52.10
249-000-478.000	ELECTRICAL PERMITS	7,510.50	51,814.50	80,000.00	28,185.50	64.77
249-000-479.000	HEATING PERMITS	19,181.40	66,471.40	110,000.00	43,528.60	60.43
249-000-480.000	PLUMBING PERMITS	5,225.00	26,444.00	48,000.00	21,556.00	55.09
249-000-482.000	PLOT PLAN REVIEWS	0.00	0.00	12,000.00	12,000.00	0.00
249-000-484.000	BUILDING PLAN REVIEWS	0.00	0.00	18,000.00	18,000.00	0.00
249-000-484.001	FIRE SAFETY REVIEWS	0.00	1,278.00	5,000.00	3,722.00	25.56
249-000-622.000	RENTAL REGISTRATION FEE	2,050.00	10,850.00	20,000.00	9,150.00	54.25
249-000-665.000	INTEREST	0.00	40,817.41	18,000.00	(22,817.41)	226.76
249-000-695.000	MISCELLANEOUS REVENUE	2,450.00	20,775.00	5,000.00	(15,775.00)	415.50
BUILDING REVENUE		60,845.90	422,192.51	704,650.00	282,457.49	59.92
TOTAL REVENUES		60,845.90	422,192.51	831,560.00	409,367.49	50.77
Expenditures						
SALARIES						
249-000-706.001	SALARIES BLDG OFFICIAL	11,004.98	58,586.39	95,400.00	36,813.61	61.41
249-000-706.002	SALARIES CLERICAL	11,582.97	56,559.69	130,760.00	74,200.31	43.25
249-000-706.003	CONTRACT BLDG INSPECTORS	7,320.00	29,116.00	65,000.00	35,884.00	44.79
249-000-706.005	BUILDING INSPECTOR	(2,400.00)	0.00	60,000.00	60,000.00	0.00
249-000-707.000	ELECTRICAL INSPECTOR	3,442.20	23,749.10	75,000.00	51,250.90	31.67
249-000-707.001	PLUMBING/MECHANICAL INSPECTOR	5,332.20	43,062.40	125,000.00	81,937.60	34.45
249-000-709.000	OVERTIME	0.00	0.00	2,000.00	2,000.00	0.00
SALARIES		36,282.35	211,073.58	553,160.00	342,086.42	38.16
PAYROLL BENEFITS						
249-000-715.000	SOCIAL SECURITY	1,998.70	9,410.66	22,050.00	12,639.34	42.68
249-000-716.000	HOSP & OPTICAL INSURANCE	3,545.23	30,695.08	78,550.00	47,854.92	39.08
249-000-716.001	RETIREE MEDICAL	348.23	1,392.92	0.00	(1,392.92)	100.00
249-000-717.000	GROUP LIFE INSURANCE	23.55	164.85	435.00	270.15	37.90
249-000-718.000	PENSION	2,650.95	16,553.26	32,800.00	16,246.74	50.47
249-000-718.001	HEALTH CARE SAVINGS PROGRAM	300.00	2,100.00	4,800.00	2,700.00	43.75
249-000-718.002	OPEB FUNDING	297.80	51,481.90	50,000.00	(1,481.90)	102.96
249-000-718.003	457-EMPLOYER PORTION	143.79	884.32	0.00	(884.32)	100.00
249-000-719.000	WORKERS COMP INSURANCE	0.00	1,173.00	2,830.00	1,657.00	41.45
249-000-722.000	UNEMPLOYMENT INSURANCE	0.00	501.40	685.00	183.60	73.20
249-000-724.000	DENTAL INSURANCE	309.88	2,551.39	5,000.00	2,448.61	51.03
PAYROLL BENEFITS		9,618.13	116,908.78	197,150.00	80,241.22	59.30
EXPENSES						
249-000-727.000	OFFICE SUPPLIES	0.00	547.84	3,500.00	2,952.16	1
249-000-730.000	POSTAGE	0.00	263.77	750.00	486.23	3

GL NUMBER	DESCRIPTION	ACTIVITY FOR MONTH 07/31/2024	YTD BALANCE 07/31/2024	2024 AMENDED BUDGET	AVAILABLE BALANCE	% BDGT USED
Fund 249 - BUILDING DEPARTMENT FUND						
Expenditures						
249-000-757.000	OPERATING SUPPLIES	0.00	447.90	1,500.00	1,052.10	29.86
249-000-801.000	PROFESSIONAL FEES	8,524.00	22,825.28	30,000.00	7,174.72	76.08
249-000-801.001	HR SERVICES	0.00	0.00	4,000.00	4,000.00	0.00
249-000-801.002	RENTAL INSPECTIONS	600.00	5,924.00	6,000.00	76.00	98.73
249-000-807.000	AUDIT FEES	4,000.00	4,000.00	4,000.00	0.00	100.00
249-000-853.000	CELLULAR PHONE	289.45	1,803.98	2,500.00	696.02	72.16
249-000-863.000	VEHICLE MAINTENANCE	0.00	125.97	1,500.00	1,374.03	8.40
249-000-864.000	CONFERENCES & MEETINGS	0.00	0.00	2,000.00	2,000.00	0.00
249-000-867.000	GASOLINE	68.28	429.70	1,000.00	570.30	42.97
249-000-910.000	INSURANCE	22.72	4,961.68	5,500.00	538.32	90.21
249-000-957.000	SUBSCRIPTIONS	0.00	0.00	500.00	500.00	0.00
249-000-958.000	MEMBERSHIPS & DUES	0.00	520.00	800.00	280.00	65.00
249-000-960.000	TRAINING	0.00	0.00	2,000.00	2,000.00	0.00
249-000-962.000	MISCELLANEOUS	0.00	0.00	700.00	700.00	0.00
249-000-971.000	TECHNOLOGY EQUIPMENT	546.85	3,548.95	15,000.00	11,451.05	23.66
EXPENSES		14,051.30	45,399.07	81,250.00	35,850.93	55.88
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TOTAL EXPENDITURES		59,951.78	373,381.43	831,560.00	458,178.57	44.90
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Fund 249 - BUILDING DEPARTMENT FUND:						
TOTAL REVENUES		60,845.90	422,192.51	831,560.00	409,367.49	50.77
TOTAL EXPENDITURES		59,951.78	373,381.43	831,560.00	458,178.57	44.90
NET OF REVENUES & EXPENDITURES		894.12	48,811.08	0.00	(48,811.08)	100.00
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TOTAL REVENUES - ALL FUNDS		2,987,001.00	19,658,041.49	21,503,389.00	1,845,347.51	91.42
TOTAL EXPENDITURES - ALL FUNDS		1,762,803.79	11,366,697.82	21,503,389.00	10,136,691.18	52.86
NET OF REVENUES & EXPENDITURES		1,224,197.21	8,291,343.67	0.00	(8,291,343.67)	100.00

WHITE LAKE TWP.

JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/01/2024	FLEX	2687	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	773.12
07/03/2024	FLEX	2688	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	2.45
07/05/2024	FLEX	2689	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	392.32
07/08/2024	FLEX	2690	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	699.59
07/09/2024	FLEX	2691	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	281.52
07/10/2024	FLEX	2692	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	65.96
07/11/2024	FLEX	2693	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	15.60
07/12/2024	FLEX	2694	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	224.53
07/15/2024	FLEX	2695	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	457.61
07/17/2024	FLEX	2696	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	14.30
07/18/2024	FLEX	2697	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	403.38
07/19/2024	FLEX	2698	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	153.18
07/22/2024	FLEX	2699	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	456.05
07/23/2024	FLEX	2700	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	163.95
07/24/2024	FLEX	2701	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	82.65
07/25/2024	FLEX	2702	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	282.97
07/26/2024	FLEX	2703	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	20.00
07/29/2024	FLEX	2704	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	1,088.87
07/31/2024	FLEX	2705	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	101-000-282.000	FLEXIBLE SPENDING ACCOI	217.93
FLEX Total							5,795.98
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-000-080.718	DUE FROM WATER PENSIC	3,381.66
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-000-231.001	PAY DEDUCT PENSION	11,302.27
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-171-718.000	PENSION	14,892.31
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-192-718.000	PENSION	1,490.91
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-209-718.000	PENSION	3,065.26
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-215-718.000	PENSION	10,045.20
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-253-718.000	PENSION	10,884.90
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-265-718.000	PENSION	1,140.22
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-372-718.000	PENSION	1,110.61
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-402-718.000	PENSION	1,559.67
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	101-757-718.000	PENSION	956.37
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	206-000-231.001	PAY DEDUCT PENSION	8,140.01
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	206-336-718.000	PENSION	33,644.30
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	207-000-231.001	PAY DEDUCT PENSION	11,469.70
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	207-301-718.000	PENSION	64,124.62
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	249-000-231.001	PAY DEDUCT PENSION	739.07
07/09/2024	GEN	1230113(E)	MERS	06/01/24-06/30/24 EE & ER MERS CONTRIBU	249-000-718.000	PENSION	2,268.41
07/09/2024	GEN	1230114(E)	MERS	JUNE EMPLOYER CONTRIBUTION FOR DROP	207-301-718.000	PENSION	825.12
07/09/2024	GEN	94812	OAKLAND COUNTY	P/R-BOND PROCEEDS TO OC POOL 77803	101-000-087.208	DUE FROM PARKS AND RE	2,812,881.90
07/11/2024	GEN	94813	21ST CENTURY MEDIA-MICHIGAN	ELECTIONS NOTICE 06/26/24	101-191-903.000	LEGAL NOTICES	217.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	GEN	94814	ADVANCED MARKETING PARTNERS IN	TAX STATEMENTS	101-249-727.000	OFFICE SUPPLIES	1,506.00
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	101-000-080.720	DUE FROM WATER 457 EM	79.17
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	101-000-231.001	PAY DEDUCT PENSION	3,879.65
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	101-171-718.002	457-EMPLOYER PORTION	46.01
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	101-209-718.002	457-EMPLOYER PORTION	100.99
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	101-265-718.002	457-EMPLOYER PORTION	40.00
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	206-000-231.001	PAY DEDUCT PENSION	3,344.12
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	206-336-718.004	457 - EMPLOYER PORTION	587.78
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	207-000-231.001	PAY DEDUCT PENSION	3,759.14
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	207-301-718.002	457-EMPLOYER PORTION	2,000.59
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	249-000-231.001	PAY DEDUCT PENSION	350.00
07/11/2024	GEN	94815	ALERUS FINANCIAL	07/03/24-MERS 457 CONTRIBUTIONS	249-000-718.003	457-EMPLOYER PORTION	47.93
07/11/2024	GEN	94816	ALL TYPE LAWN CARE	1444 LANGFIELD ORD ENF CUT	101-372-955.000	ORDINANCE ENFORCEMEN	200.00
07/11/2024	GEN	94816	ALL TYPE LAWN CARE	8685 HIGHLAND RD ORD ENF CUT	101-372-955.000	ORDINANCE ENFORCEMEN	150.00
07/11/2024	GEN	94817	AMAZON	PENS, WIRELESS KEYBOARD, ENVELOPES, CH/	101-191-740.000	OPERATING SUPPLIES	57.08
07/11/2024	GEN	94817	AMAZON	NAME PLATES	101-249-727.000	OFFICE SUPPLIES	12.48
07/11/2024	GEN	94817	AMAZON	PENS, WIRELESS KEYBOARD, ENVELOPES, CH/	101-249-727.000	OFFICE SUPPLIES	80.61
07/11/2024	GEN	94817	AMAZON	HEPA FILTER	101-265-931.001	BLDG MAINTENANCE & SU	66.02
07/11/2024	GEN	94817	AMAZON	PATCH CABLES/SWITCHES	101-265-971.000	TECHNOLOGY EQUIPMENT	212.02
07/11/2024	GEN	94817	AMAZON	POWER STRIP	101-265-971.000	TECHNOLOGY EQUIPMENT	31.97
07/11/2024	GEN	94817	AMAZON	PENS, WIRELESS KEYBOARD, ENVELOPES, CH/	101-265-971.000	TECHNOLOGY EQUIPMENT	139.99
07/11/2024	GEN	94817	AMAZON	HIGHLIGHTERS, CLIPS, WOOD DRESSER,	206-336-727.000	OFFICE SUPPLIES	185.41
07/11/2024	GEN	94817	AMAZON	STA #1 LAPTOP CASE	206-336-727.000	OFFICE SUPPLIES	103.63
07/11/2024	GEN	94817	AMAZON	STAPLES	206-336-727.000	OFFICE SUPPLIES	14.07
07/11/2024	GEN	94817	AMAZON	PAGE, UNDER ARMOUR, KNIFE, HEY DUDES	206-336-744.000	UNIFORMS	142.91
07/11/2024	GEN	94817	AMAZON	HOLLAND, CLUTCH PIN BACKINGS	206-336-744.000	UNIFORMS	10.98
07/11/2024	GEN	94817	AMAZON	CREAN, STREAMLIGHT FLASHLIGHT, INSOLES	206-336-744.000	UNIFORMS	135.84
07/11/2024	GEN	94817	AMAZON	LUDWIG, OAKLEY SUNGLASSES	206-336-744.000	UNIFORMS	157.99
07/11/2024	GEN	94817	AMAZON	PAGE, RETURN UNDER ARMOUR SURGE 4	206-336-744.000	UNIFORMS	(55.95)
07/11/2024	GEN	94817	AMAZON	CAR CHARGER	206-336-863.001	VEHICLE MAINTENANCE	16.97
07/11/2024	GEN	94817	AMAZON	GEAR KEEPER	206-336-931.001	MAINTENANCE STATION 1	29.98
07/11/2024	GEN	94817	AMAZON	PD, TONER CARTRIDGES	207-301-727.000	OFFICE SUPPLIES	258.10
07/11/2024	GEN	94817	AMAZON	LABELS, PENS	207-301-727.000	OFFICE SUPPLIES	35.95
07/11/2024	GEN	94817	AMAZON	PORTABLE CAR JUMP STARTER (2)	207-301-757.000	OPERATING SUPPLIES	199.98
07/11/2024	GEN	94817	AMAZON	STAINLESS STEEL MICROWAVE OVEN	207-301-757.000	OPERATING SUPPLIES	89.69
07/11/2024	GEN	94817	AMAZON	PLASTIC FORKS, PLATES	207-301-962.001	MISCELLANEOUS	81.93
07/11/2024	GEN	94818	ANTHONY SORGE INSPECTIONS, LLC	06/15/24-06/28/24 BUILDING INSPECTIONS	249-000-706.003	CONTRACT BLDG INSPECTC	2,440.00
07/11/2024	GEN	94818	ANTHONY SORGE INSPECTIONS, LLC	06/15/24-06/28/24 BUILDING INSPECTIONS	249-000-801.002	RENTAL INSPECTIONS	240.00
07/11/2024	GEN	94819	APPLIED INNOVATION	FD. MONTHLY CHARGES	206-336-727.000	OFFICE SUPPLIES	47.84
07/11/2024	GEN	94820	AUTOZONE	DIESEL EXH BLUEDEF	101-265-863.000	VEHICLE MAINTENANCE	58.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	GEN	94821	BACKFLOW PREVENTION SERVICES	BACKFLOW TESTING	101-265-931.003	BLDG EQUIP MAINTENANC	159.95
07/11/2024	GEN	94821	BACKFLOW PREVENTION SERVICES	BACKFLOW TESTING	101-265-931.003	BLDG EQUIP MAINTENANC	159.95
07/11/2024	GEN	94822	BASIC	07/01/24-07/31/24 COBRA ADMIN	101-299-956.000	UNALLOCATED MISCELLAN	81.90
07/11/2024	GEN	94823	BOUND TREE MEDICAL LLC.	AIRWAYS, CURAPLEX, SPLINT	206-336-767.000	MEDICAL SUPPLIES	1,064.59
07/11/2024	GEN	94824	CARLISLE WORTMAN ASSOCIATES INC	GULDA REZONING REVIEW	101-402-801.000	PROFESSIONAL FEES	600.00
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-000-080.962	DUE FROM WATER MISCEL	30.55
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-000-080.962	DUE FROM WATER MISCEL	22.52
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-000-080.962	DUE FROM WATER MISCEL	30.54
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	8.02
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	49.05
07/11/2024	GEN	94825	CINTAS	UNIFORM CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	8.02
07/11/2024	GEN	94826	COMCAST	STA #2 07/06/24-08/05/24 CHARGES	206-336-757.000	OPERATING SUPPLIES	353.66
07/11/2024	GEN	94827	CONSUMERS ENERGY	4870 ORMOND 05/23/24-06/20/24 CHARGES	206-336-923.003	HEAT STATION 3	23.26
07/11/2024	GEN	94828	DARWEL ENTERPRISES LLC	GEN, MONTHLY CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	192.19
07/11/2024	GEN	94828	DARWEL ENTERPRISES LLC	PD, MONTHLY CHARGES	207-301-931.001	BLDG MAINTENANCE & SU	115.78
07/11/2024	GEN	94829	DTE ENERGY	MONTHLY CHARGES	101-448-926.000	STREET LIGHTING	4,611.28
07/11/2024	GEN	94830	DTE ENERGY	685 UNION 05/22/24-06/21/24 CHARGES	101-757-921.000	ELECTRIC	543.63
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-000-080.716	DUE FROM WATER HOSPIT	20.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-000-080.716	DUE FROM WATER HOSPIT	72.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-171-716.000	HOSP & OPTICAL INSURAN	7,311.67
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-171-716.000	HOSP & OPTICAL INSURAN	72.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-192-716.000	HOSP & OPTICAL INSURAN	3,015.38
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-192-716.000	HOSP & OPTICAL INSURAN	36.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-209-716.000	HOSP & OPTICAL INSURAN	105.82
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-209-716.000	HOSP & OPTICAL INSURAN	54.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-215-716.000	HOSP & OPTICAL INSURAN	10.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-215-716.000	HOSP & OPTICAL INSURAN	18.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-253-716.000	HOSP & OPTICAL INSURAN	157.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-253-716.000	HOSP & OPTICAL INSURAN	72.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-265-716.000	HOSP & OPTICAL INSURAN	10.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-265-716.000	HOSP & OPTICAL INSURAN	18.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-372-716.000	HOSP & OPTICAL INSURAN	2,360.70
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-372-716.000	HOSP & OPTICAL INSURAN	18.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-402-716.000	HOSP & OPTICAL INSURAN	20.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-402-716.000	HOSP & OPTICAL INSURAN	18.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-757-716.000	HOSP & OPTICAL INSURAN	156.30
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-757-716.000	HOSP & OPTICAL INSURAN	36.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	101-863-730.000	RETIREE HEALTH INSURAN	208.84
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	101-863-730.000	RETIREE HEALTH INSURAN	54.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	206-336-716.000	HOSP & OPTICAL INSURAN	7,149.00

**WHITE LAKE TWP.
JULY 2024 CHECK DISBURSEMENTS**

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	206-336-716.000	HOSP & OPTICAL INSURAN	198.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	206-336-716.002	RETIREE HEALTH CARE PRE	54.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	207-301-716.000	HOSP & OPTICAL INSURAN	1,206.34
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	207-301-716.000	HOSP & OPTICAL INSURAN	522.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	207-301-716.001	RETIREE HOSP & OPTICAL I	1,023.91
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	207-301-716.001	RETIREE HOSP & OPTICAL I	288.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JUNE CLAIMS FUNDING	249-000-716.000	HOSP & OPTICAL INSURAN	20.00
07/11/2024	GEN	94831	EMPLOYEE HEALTH INSURANCE MAN/	JULY ADMIN FEES	249-000-716.000	HOSP & OPTICAL INSURAN	36.00
07/11/2024	GEN	94832	FIRST CHOICE COFFEE SERVICES	STA #1 & STA #2, WATER PURIFIER FILTERS	206-336-931.001	MAINTENANCE STATION 1	39.00
07/11/2024	GEN	94832	FIRST CHOICE COFFEE SERVICES	STA #1 & STA #2, WATER PURIFIER FILTERS	206-336-931.002	MAINTENANCE STATION 2	39.00
07/11/2024	GEN	94832	FIRST CHOICE COFFEE SERVICES	STA #3, WATER PURIFIER FILTERS	206-336-931.003	MAINTENANCE STATION 3	39.00
07/11/2024	GEN	94833	FLINT WELDING SUPPLY COMPANY	OXYGEN AND AIR	206-336-758.000	OXYGEN & AIR	137.50
07/11/2024	GEN	94834	HOUSTON'S LAWN SERVICE	JUNE MOWING CEMETERY SERVICES	101-276-932.000	CEMETERY MAINT	2,731.00
07/11/2024	GEN	94835	HURON VALLEY GUNS	JENKS, PANT	206-336-744.000	UNIFORMS	59.99
07/11/2024	GEN	94836	HURON VALLEY YOUTH ASSISTANCE	2022 CDBG YOUTH SERVICES	101-000-087.274	DUE FROM CDBG	1,278.00
07/11/2024	GEN	94836	HURON VALLEY YOUTH ASSISTANCE	2022 CDBG YOUTH SERVICES	274-000-080.000	DUE FROM COUNTY	1,278.00
07/11/2024	GEN	94836	HURON VALLEY YOUTH ASSISTANCE	2022 CDBG YOUTH SERVICES	274-000-214.101	DUE TO GENERAL FUND	(1,278.00)
07/11/2024	GEN	94836	HURON VALLEY YOUTH ASSISTANCE	2022 CDBG YOUTH SERVICES	274-000-683.000	CDBG REVENUE	(1,278.00)
07/11/2024	GEN	94836	HURON VALLEY YOUTH ASSISTANCE	2022 CDBG YOUTH SERVICES	274-000-801.000	SENIOR SERVICES	1,278.00
07/11/2024	GEN	94837	IMPERIAL DADE	PAPER TOWELS, BATH TISSUE, LINERS	206-336-931.001	MAINTENANCE STATION 1	387.86
07/11/2024	GEN	94838	INSPECTION SERVICES BY SAH	06/15/24-06/28/24 MECHANICAL INSPECTION	249-000-707.001	PLUMBING/MECHANICAL I	2,815.50
07/11/2024	GEN	94839	KIESLER POLICE SUPPLY	AMMO	207-301-741.000	FIRE ARMS, TRNG & RANGI	366.00
07/11/2024	GEN	94840	LOWES BUSINESS ACCOUNT	TOTES	206-336-757.000	OPERATING SUPPLIES	52.15
07/11/2024	GEN	94841	MARK CARLSON	06/15/24-06/28/24-ELECTRICAL INSPECTIONS	249-000-707.000	ELECTRICAL INSPECTOR	1,661.40
07/11/2024	GEN	94841	MARK CARLSON	06/15/24-06/28/24-ELECTRICAL INSPECTIONS	249-000-801.002	RENTAL INSPECTIONS	120.00
07/11/2024	GEN	94842	MICHIGAN ASSOCIATION OF PUBLIC E	LITTMAN, ANDREW 7/3/24 DUES	101-000-232.001	PAY DEDUCT DUES	30.00
07/11/2024	GEN	94843	MILLERS HIGHLAND TIRE AND AUTO R	2017 FUSION, REPLACE SPEED SENSOR, CABIN	207-301-863.001	VEHICLE MAINTENANCE	123.96
07/11/2024	GEN	94844	NORDIC SPRINKLERS	DUBLIN, SPINKLER REPAIR	101-265-933.000	GROUNDS EQUIP MAINTEN	526.00
07/11/2024	GEN	94845	OAKLAND COMMERCIAL CLEANING	JULY CLEANINGS	101-265-931.001	BLDG MAINTENANCE & SU	3,300.00
07/11/2024	GEN	94846	OAKLAND COUNTY	FRMS SERVICES APR-JUN 2024	206-336-958.000	MEMBERSHIPS & DUES	1,172.00
07/11/2024	GEN	94846	OAKLAND COUNTY	CLEMIS APR-JUN MEMBERSHIP AND USAGE F	207-301-933.000	EQUIP LEASE/ MAINT CON'	6,595.00
07/11/2024	GEN	94847	OAKLAND COUNTY LEGAL NEWS	NOTICE OF ELECTION COMMISSION 06/21/24	101-191-903.000	LEGAL NOTICES	97.00
07/11/2024	GEN	94847	OAKLAND COUNTY LEGAL NEWS	06/18/24 NOXIOUS WEED ORD	101-215-903.000	LEGAL NOTICES	169.00
07/11/2024	GEN	94848	OAKLAND COUNTY ROAD COMMISSIO	PERIOD ENDING 05/31/24 SERVICES	101-446-930.000	TRAFFIC SIGNAL MAINTEN,	5.02
07/11/2024	GEN	94849	OCCUPATIONAL HEALTH CENTERS OF	ZIEGLER, M - MCOLES PHYSICAL	207-301-962.001	MISCELLANEOUS	486.00
07/11/2024	GEN	94850	PAPERIMAGE	LITTMAN, POLOS	101-299-956.000	UNALLOCATED MISCELLAN	207.50
07/11/2024	GEN	94851	PHOENIX SAFETY OUTFITTERS	(2) CAIRN 880 TRADITIONAL HELMETS	206-336-977.001	SUPPLY ACQUISITIONS 04N	885.48
07/11/2024	GEN	94851	PHOENIX SAFETY OUTFITTERS	TURNOUT GEAR RENTAL	206-336-977.001	SUPPLY ACQUISITIONS 04N	150.00
07/11/2024	GEN	94852	PITNEY BOWES INC	JUNE POSTAGE AND SERVICES	101-248-730.000	POSTAGE	6,651.25
07/11/2024	GEN	94852	PITNEY BOWES INC	JUNE POSTAGE AND SERVICES	101-248-946.000	POSTAGE METER RENTAL	581.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	GEN	94853	POWERDMS	ANNUAL RENEWAL	207-301-977.003	ACCREDITATION, SOFTWARE	7,154.83
07/11/2024	GEN	94854	PRIORITY ONE EMERGENCY	21-5 UPFITTING SERVICES	207-301-977.000	EQUIPMENT ACQUISITION	9,910.68
07/11/2024	GEN	94855	RICOH USA INC.	PD, MONTHLY CHARGES	207-301-933.000	EQUIP LEASE/ MAINT CON	388.42
07/11/2024	GEN	94856	ROCKET ENTERPRISES INC.	REPAIRS TO FLAGPOLE	101-265-933.000	GROUPS EQUIP MAINTEN	87.50
07/11/2024	GEN	94857	ROSATI, SCHULTZ, JOPPICH	JUNE PROSECUTIONS	207-301-826.000	LEGAL FEES-PROSECUTION	8,333.33
07/11/2024	GEN	94858	SHIFMAN FOURNIER, PLC	JUNE SERVICES	101-210-826.000	LEGAL FEES	225.00
07/11/2024	GEN	94858	SHIFMAN FOURNIER, PLC	APRIL SERVICES	101-210-826.000	LEGAL FEES	45.00
07/11/2024	GEN	94858	SHIFMAN FOURNIER, PLC	APRIL SERVICES	207-301-826.002	LEGAL FEES - LABOR RELAT	345.00
07/11/2024	GEN	94859	SMART BUSINESS SOURCE	LABELS, PENS, FOLDERS	101-249-727.000	OFFICE SUPPLIES	70.57
07/11/2024	GEN	94860	SOUTHEAST MICHIGAN COUNCIL OF C	2024 MEMBERSHIP DUES	101-101-958.000	MEMBERSHIPS & DUES	4,877.00
07/11/2024	GEN	94861	STATE OF MICHIGAN (FEDERAL ID #38	ENDING REGISTRATION DATE 06/30/24	207-301-805.000	SEX OFFENDERS REGISTRY	60.00
07/11/2024	GEN	94862	STINE TURF & SNOW INC.	TWP OFFICES-SUMMER APPLICATION	101-265-931.002	GROUPS MAINTENANCE	140.00
07/11/2024	GEN	94863	STRYKER SALES, LLC	CAN;E. 6 WIRE PRECORDIAL LEAD ECG	206-336-767.000	MEDICAL SUPPLIES	181.22
07/11/2024	GEN	94864	LITHIA MOTORS	14 FORD EXP-OIL CHANGE, FILTER, INSPECT, E	101-265-863.000	VEHICLE MAINTENANCE	819.76
07/11/2024	GEN	94864	LITHIA MOTORS	17 FORD EXP-REPLACE O2 SENSORS	101-265-863.000	VEHICLE MAINTENANCE	380.04
07/11/2024	GEN	94865	TRANSUNION RISK AND ALTERNATIVE	JUNE SERVICES	207-301-962.001	MISCELLANEOUS	75.00
07/11/2024	GEN	94866	TRI-COUNTY SUPPLY	SOAP, TOWELS, WIPES	207-301-931.001	BLDG MAINTENANCE & SU	530.75
07/11/2024	GEN	94867	U.S. BANK EQUIPMENT FINANCE	06/20/24-07/20/24 MONTHLY SERVICES	101-265-971.000	TECHNOLOGY EQUIPMENT	1,654.57
07/11/2024	GEN	94867	U.S. BANK EQUIPMENT FINANCE	06/20/24-07/20/24 MONTHLY SERVICES	206-336-727.000	OFFICE SUPPLIES	48.00
07/11/2024	GEN	94867	U.S. BANK EQUIPMENT FINANCE	06/20/24-07/20/24 MONTHLY SERVICES	249-000-971.000	TECHNOLOGY EQUIPMENT	310.68
07/11/2024	GEN	94868	U.S. BANK EQUIPMENT FINANCE	DUBLIN MONTHLY CHARGES	101-757-931.000	BUILDING MAINTENANCE	278.30
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-000-080.716	DUE FROM WATER HOSPIT	51.30
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-171-716.000	HOSP & OPTICAL INSURAN	34.20
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-192-716.000	HOSP & OPTICAL INSURAN	17.10
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-209-716.000	HOSP & OPTICAL INSURAN	42.75
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-215-716.000	HOSP & OPTICAL INSURAN	34.20
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-253-716.000	HOSP & OPTICAL INSURAN	42.75
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-265-716.000	HOSP & OPTICAL INSURAN	8.55
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-372-716.000	HOSP & OPTICAL INSURAN	8.55
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-402-716.000	HOSP & OPTICAL INSURAN	25.65
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	101-757-716.000	HOSP & OPTICAL INSURAN	25.65
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	206-336-716.000	HOSP & OPTICAL INSURAN	239.40
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	207-301-716.000	HOSP & OPTICAL INSURAN	342.00
07/11/2024	GEN	94869	ULLIANCE, INC	3RD QUARTERLY LIFE ADVISOR EMP ASST PLA	249-000-716.000	HOSP & OPTICAL INSURAN	25.65
07/11/2024	GEN	94870	VC3 INC	ETHERNET PATCH CABLE	101-265-971.000	TECHNOLOGY EQUIPMENT	16.88
07/11/2024	GEN	94870	VC3 INC	HDMI 6 FT	101-265-971.000	TECHNOLOGY EQUIPMENT	14.47
07/11/2024	GEN	94870	VC3 INC	PROF SERVICES-CONFIGURATION AND INSTAL	207-301-818.000	COMPUTER SERVICES	1,920.00
07/11/2024	GEN	94870	VC3 INC	NEW DELL OPTIPLEX/MICROSOFT OFFICE 21	207-301-818.000	COMPUTER SERVICES	1,098.00
07/11/2024	GEN	94871	VIRTUAL ACADEMY	(41) VIRTUAL ACADEMY TRAINING	207-301-960.004	STATE CPE TRAINING	2,050.00
07/11/2024	GEN	94872	WALMART - CAPITAL ONE	MONTHLY CHARGES	206-336-727.000	OFFICE SUPPLIES	20.

**WHITE LAKE TWP.
JULY 2024 CHECK DISBURSEMENTS**

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	GEN	94872	WALMART - CAPITAL ONE	MONTHLY CHARGES	206-336-757.000	OPERATING SUPPLIES	83.86
07/11/2024	GEN	94872	WALMART - CAPITAL ONE	MONTHLY CHARGES	206-336-931.001	MAINTENANCE STATION 1	474.77
07/11/2024	GEN	94873	WEINGARTZ	BUSINGS/SCREWS	101-265-933.000	GROUPS EQUIP MAINTEN	37.98
07/11/2024	GEN	94873	WEINGARTZ	GATORLINE/NOZZLE	101-265-933.000	GROUPS EQUIP MAINTEN	81.96
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	101-000-080.867	DUE FROM WATER GASOLI	1,168.79
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	101-265-867.000	GASOLINE	1,066.03
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	101-372-867.000	GASOLINE	84.34
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	206-336-867.000	GASOLINE	2,007.24
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	207-301-867.000	GASOLINE	6,652.20
07/11/2024	GEN	94874	WEX BANK	JUNE FUEL CHARGES	249-000-867.000	GASOLINE	68.28
07/11/2024	GEN	94875	ZOLL MEDICAL CORPORATION	RESQPOD ITD 10 (5)	206-336-767.000	MEDICAL SUPPLIES	690.90
07/11/2024	GEN	94876	S&P GLOBAL RATINGS	P/R- ANALYTICAL SERVICES RENDERED FOR BI	208-000-801.000	PROFESSIONAL SERVICES	15,000.00
07/11/2024	GEN	94877	MUNIPLATFORM	P/R- BOND SERVICES	208-000-801.000	PROFESSIONAL SERVICES	750.00
07/11/2024	GEN	94878	ARIZENT	P/R-LEGAL ADVERTISEMENT BOND	208-000-903.000	LEGAL PUBLICATIONS	1,535.00
07/11/2024	GEN	94879	BRENDEL'S SEPTIC TANK SERVICE	P/R-STANLEY PARK JULY SERVICES	208-000-922.000	UTILITIES- PARKS	100.00
07/11/2024	GEN	94879	BRENDEL'S SEPTIC TANK SERVICE	P/R-HIDDEN PINES JULY SERVICES	208-000-922.000	UTILITIES- PARKS	100.00
07/11/2024	GEN	94879	BRENDEL'S SEPTIC TANK SERVICE	P/R-HAWLEY PARK JULY SERVICES	208-000-922.000	UTILITIES- PARKS	100.00
07/11/2024	GEN	94879	BRENDEL'S SEPTIC TANK SERVICE	P/R-VETTER PARK JULY SERVICES	208-000-922.000	UTILITIES- PARKS	100.00
07/11/2024	GEN	94880	DICKINSON WRIGHT PLLC	P/R-SERVICES RENDERED AS BOND COUNCEL	208-000-801.000	PROFESSIONAL SERVICES	22,500.00
07/11/2024	GEN	94881	STINE TURF & SNOW INC.	P/R-HAWLEY PARK-SUMMER APPLICATION	208-000-931.001	GROUPS MAINTENANCE	1,004.00
07/11/2024	GEN	94881	STINE TURF & SNOW INC.	P/R-HIDDEN PINES-SUMMER APPLICATION	208-000-931.001	GROUPS MAINTENANCE	1,255.00
07/11/2024	GEN	94882	ANYONE CAN PAINT LLC	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	100.00
07/11/2024	GEN	94883	JEANNE EAGEN	INSTRUCTOR FEES	101-757-751.000	SENIOR ACTIVITIES	74.00
07/11/2024	GEN	94884	LEISURE UNLIMITED LLC	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	127.00
07/11/2024	GEN	94885	MARLENE TURNER	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	70.00
07/11/2024	GEN	94886	NICOLE GRUBBS	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	175.00
07/11/2024	GEN	94887	OAKLAND COMMERCIAL CLEANING	DUBLIN, VINYL FLOOR STRIP AND SEAL	101-757-931.000	BUILDING MAINTENANCE	900.00
07/18/2024	GEN	94888	LOUISE CAROL CAPIZZI	WITNESS FEES	207-301-861.000	WITNESS FEES	6.00
07/18/2024	GEN	94889	TERESA LYNN LONGWELL	WITNESS FEES	207-301-861.000	WITNESS FEES	6.00
07/18/2024	GEN	94890	ROBERT ZELLINGER	WITNESS FEES	207-301-861.000	WITNESS FEES	6.00
07/18/2024	GEN	94891	ABC PRINTING	NOBLE, BUSINESS CARDS (1000)	101-215-962.000	MISCELLANEOUS	73.00
07/18/2024	GEN	94891	ABC PRINTING	LITTMAN, BUSINESS CARDS (500)	101-402-962.000	MISCELLANEOUS	63.00
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	101-000-080.720	DUE FROM WATER 457 EM	79.17
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	101-000-231.001	PAY DEDUCT PENSION	3,949.97
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	101-171-718.002	457-EMPLOYER PORTION	46.01
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	101-209-718.002	457-EMPLOYER PORTION	100.99
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	101-265-718.002	457-EMPLOYER PORTION	40.00
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	206-000-231.001	PAY DEDUCT PENSION	3,478.03
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	206-336-718.004	457 - EMPLOYER PORTION	592.07
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	207-000-231.001	PAY DEDUCT PENSION	3,729.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	207-301-718.002	457-EMPLOYER PORTION	1,995.86
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	249-000-231.001	PAY DEDUCT PENSION	350.00
07/18/2024	GEN	94892	ALERUS FINANCIAL	07/17/24-MERS 457 CONTRIBUTIONS	249-000-718.003	457-EMPLOYER PORTION	47.93
07/18/2024	GEN	94893	ALL TYPE LAWN CARE	9650 COOLEY, 9640 COOLEY, 1258 CASTLEWC	101-372-955.000	ORDINANCE ENFORCEMEN	450.00
07/18/2024	GEN	94894	ALPHA PSYCHOLOGICAL SERVICES	ZIEGLER, PSYCHOLOGICAL/NEW HIRE	207-301-757.000	OPERATING SUPPLIES	795.00
07/18/2024	GEN	94895	AMAZON	PD, FILE FOLDERS, TONER	207-301-727.000	OFFICE SUPPLIES	200.96
07/18/2024	GEN	94895	AMAZON	BATTERIES, TONER	207-301-727.000	OFFICE SUPPLIES	66.03
07/18/2024	GEN	94895	AMAZON	JIM KIT (2), WEDGES	207-301-757.000	OPERATING SUPPLIES	83.65
07/18/2024	GEN	94895	AMAZON	WEDGES	207-301-757.000	OPERATING SUPPLIES	49.99
07/18/2024	GEN	94896	ANTHONY SORGE INSPECTIONS, LLC	06/29/24-07/12/24 BUILDING INSPECTONS	249-000-706.005	BUILDING INSPECTOR	2,480.00
07/18/2024	GEN	94896	ANTHONY SORGE INSPECTIONS, LLC	06/29/24-07/12/24 BUILDING INSPECTONS	249-000-801.002	RENTAL INSPECTIONS	120.00
07/18/2024	GEN	94897	ASSOCIATION OF INTERNATIONAL CEF	08/01/24-07/31/25 ROMAN MEMBERSHIP DL	101-253-958.000	MEMBERSHIPS & DUES	350.00
07/18/2024	GEN	94898	AT&T MOBILITY	06/07/24-07/05/24 MONTHLY CHARGES	207-301-853.000	TELEPHONE	497.47
07/18/2024	GEN	94899	AUDIO SENTRY CORPORATION	REMOVE ABANDON PUL STATION/REPAIR	101-269-931.008	EQUIP MAINT FISK	200.00
07/18/2024	GEN	94900	BASIC	MONTHLY FSA PLAN ADMIN (38)	101-299-956.000	UNALLOCATED MISCELLAN	200.64
07/18/2024	GEN	94901	BLUE CARE NETWORK	08/01/24-08/31/24 HMO PREMIUMS	101-000-080.716	DUE FROM WATER HOSPIT	1,652.78
07/18/2024	GEN	94901	BLUE CARE NETWORK	08/01/24-08/31/24 HMO PREMIUMS	101-215-716.000	HOSP & OPTICAL INSURAN	3,305.56
07/18/2024	GEN	94901	BLUE CARE NETWORK	08/01/24-08/31/24 HMO PREMIUMS	101-402-716.000	HOSP & OPTICAL INSURAN	(826.39)
07/18/2024	GEN	94901	BLUE CARE NETWORK	08/01/24-08/31/24 HMO PREMIUMS	206-336-716.000	HOSP & OPTICAL INSURAN	18,841.70
07/18/2024	GEN	94901	BLUE CARE NETWORK	08/01/24-08/31/24 HMO PREMIUMS	207-301-716.000	HOSP & OPTICAL INSURAN	5,288.90
07/18/2024	GEN	94902	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 FIRE PATROL	206-336-716.000	HOSP & OPTICAL INSURAN	17,479.85
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-000-080.716	DUE FROM WATER HOSPIT	6,723.00
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-171-716.000	HOSP & OPTICAL INSURAN	5,916.26
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-192-716.000	HOSP & OPTICAL INSURAN	1,344.60
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-209-716.000	HOSP & OPTICAL INSURAN	6,050.70
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-215-716.000	HOSP & OPTICAL INSURAN	1,613.53
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-253-716.000	HOSP & OPTICAL INSURAN	6,319.63
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-265-716.000	HOSP & OPTICAL INSURAN	1,613.53
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-372-716.000	HOSP & OPTICAL INSURAN	2,016.90
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-402-716.000	HOSP & OPTICAL INSURAN	2,689.20
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	101-757-716.000	HOSP & OPTICAL INSURAN	2,285.83
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	206-336-716.000	HOSP & OPTICAL INSURAN	2,016.90
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	207-301-716.000	HOSP & OPTICAL INSURAN	4,033.80
07/18/2024	GEN	94903	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION ACTI	249-000-716.000	HOSP & OPTICAL INSURAN	3,630.43
07/18/2024	GEN	94904	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 FIRE RETIREE	206-336-716.002	RETIREE HEALTH CARE PRE	3,899.36
07/18/2024	GEN	94905	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION RETI	101-863-730.000	RETIREE HEALTH INSURAN	1,344.60
07/18/2024	GEN	94905	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 MAPE & NONUNION RETI	207-301-716.000	HOSP & OPTICAL INSURAN	2,016.90
07/18/2024	GEN	94906	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 CMD ACTIVE	207-301-716.000	HOSP & OPTICAL INSURAN	10,756.80
07/18/2024	GEN	94907	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 CMD RETIREE	207-301-716.001	RETIREE HOSP & OPTICAL I	4,571.66
07/18/2024	GEN	94908	BLUE CROSS BLUE SHIELD OF MICHIGI	08/01/24-08/31/24 PATROL ACTIVE	207-301-716.000	HOSP & OPTICAL INSURAN	36,304.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/18/2024	GEN	94909	BLUE CROSS BLUE SHIELD OF MICHIGAN	08/01/24-08/31/24 PATROL RETIREE	207-301-716.001	RETIREE HOSP & OPTICAL I	13,446.05
07/18/2024	GEN	94910	BLUE CROSS BLUE SHIELD OF MICHIGAN	08/01/24-08/31/24 PATROL RETIREE	207-301-716.001	RETIREE HOSP & OPTICAL I	2,026.93
07/18/2024	GEN	94911	BOUND TREE MEDICAL LLC.	CURAVIEW LARYNGOSCOPES, ELECTRODES, CI	206-336-767.000	MEDICAL SUPPLIES	561.71
07/18/2024	GEN	94912	CLYDE'S FRAME & WHEEL	13 FORD F45 TIRES/ALIGNMENT	206-336-863.001	VEHICLE MAINTENANCE	805.30
07/18/2024	GEN	94912	CLYDE'S FRAME & WHEEL	13 FORD F45 TIRES/ALIGNMENT	206-336-863.002	TIRES	1,729.40
07/18/2024	GEN	94913	COMCAST	07/15/24-08/14/24 4870 ORMOND CHARGES	206-336-757.000	OPERATING SUPPLIES	289.60
07/18/2024	GEN	94914	COMCAST	07/22/24-08/21/24 7525 HIGHLAND RD	101-000-080.962	DUE FROM WATER MISCEL	74.31
07/18/2024	GEN	94914	COMCAST	07/22/24-08/21/24 7525 HIGHLAND RD	101-265-971.000	TECHNOLOGY EQUIPMENT	109.90
07/18/2024	GEN	94914	COMCAST	07/22/24-08/21/24 7525 HIGHLAND RD	206-336-757.000	OPERATING SUPPLIES	145.49
07/18/2024	GEN	94914	COMCAST	07/22/24-08/21/24 7525 HIGHLAND RD	207-301-757.000	OPERATING SUPPLIES	98.04
07/18/2024	GEN	94914	COMCAST	07/22/24-08/21/24 7525 HIGHLAND RD	249-000-971.000	TECHNOLOGY EQUIPMENT	86.17
07/18/2024	GEN	94915	CORRIGAN RECORD STORAGE	07/01/24-07/31/24 MONTHLY CHARGES	101-265-940.000	TOWNSHIP RECORD RETEN	197.68
07/18/2024	GEN	94916	DTE ENERGY	7525 HIGHLAND 06/12/24-07/11/24	101-265-921.001	ELECTRIC TWP HALL	2,997.41
07/18/2024	GEN	94916	DTE ENERGY	9180 HIGHLAND 06/12/24-07/11/24	101-269-921.004	ELECTRIC FISK	185.91
07/18/2024	GEN	94916	DTE ENERGY	6355 HIGHLAND 06/12/24-07/11/24	101-269-921.006	M59/BOGIE PROP STREET I	180.96
07/18/2024	GEN	94916	DTE ENERGY	7527 HIGHLAND 06/12/24-07/11/24	101-269-921.011	ELECTRIC-TWP ANNEX	737.98
07/18/2024	GEN	94916	DTE ENERGY	860 ROUND LK MONTHLY CHARGES	206-336-921.002	ELECTRIC STATION 2	543.61
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-000-080.716	DUE FROM WATER HOSPIT	209.11
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-000-080.717	DUE FROM WATER GROUP	47.10
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-000-080.724	DUE FROM WATER DENTA	474.48
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-000-232.002	PAY DEDUCT ACC/CRIT/STI	752.56
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-101-717.000	GROUP LIFE INSURANCE	27.48
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-171-716.000	HOSP & OPTICAL INSURAN	178.27
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-171-717.000	GROUP LIFE INSURANCE	31.40
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-171-724.000	DENTAL INSURANCE	293.28
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-192-716.000	HOSP & OPTICAL INSURAN	95.85
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-192-717.000	GROUP LIFE INSURANCE	15.70
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-192-724.000	DENTAL INSURANCE	74.00
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-209-716.000	HOSP & OPTICAL INSURAN	117.39
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-209-717.000	GROUP LIFE INSURANCE	23.55
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-209-724.000	DENTAL INSURANCE	363.48
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-215-716.000	HOSP & OPTICAL INSURAN	167.06
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-215-717.000	GROUP LIFE INSURANCE	31.40
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-215-724.000	DENTAL INSURANCE	346.88
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-253-716.000	HOSP & OPTICAL INSURAN	171.76
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-253-717.000	GROUP LIFE INSURANCE	31.40
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-253-724.000	DENTAL INSURANCE	346.88
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-265-716.000	HOSP & OPTICAL INSURAN	32.96
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-265-717.000	GROUP LIFE INSURANCE	7.85
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-265-724.000	DENTAL INSURANCE	67.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-372-716.000	HOSP & OPTICAL INSURAN	37.52
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-372-717.000	GROUP LIFE INSURANCE	7.85
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-372-724.000	DENTAL INSURANCE	121.16
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-402-716.000	HOSP & OPTICAL INSURAN	131.29
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-402-717.000	GROUP LIFE INSURANCE	23.55
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-402-724.000	DENTAL INSURANCE	279.32
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-757-716.000	HOSP & OPTICAL INSURAN	74.50
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-757-717.000	GROUP LIFE INSURANCE	15.70
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	101-757-724.000	DENTAL INSURANCE	104.56
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	206-000-232.002	PAY DEDUCT ACC/CRIT/STI	234.70
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	206-336-716.000	HOSP & OPTICAL INSURAN	876.72
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	206-336-717.000	GROUP LIFE INSURANCE	204.10
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	206-336-724.000	DENTAL INSURANCE	2,081.28
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	207-000-232.002	PAY DEDUCT ACC/CRIT/STI	571.45
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	207-301-716.000	HOSP & OPTICAL INSURAN	1,455.20
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	207-301-717.000	GROUP LIFE INSURANCE	290.45
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	207-301-724.000	DENTAL INSURANCE	3,539.00
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	249-000-716.000	HOSP & OPTICAL INSURAN	95.65
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	249-000-717.000	GROUP LIFE INSURANCE	23.55
07/18/2024	GEN	94917	EQUITABLE FINANCIAL LIFE INS COMP	LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	249-000-724.000	DENTAL INSURANCE	309.88
07/18/2024	GEN	94918	FIRE SAVVY CONSULTANTS	WALMART (500+ SPRINKLERS) PLAN REVIEW	249-000-801.000	PROFESSIONAL FEES	3,024.00
07/18/2024	GEN	94919	GALLS, LLC	PAGE, PANTS	206-336-744.000	UNIFORMS	186.93
07/18/2024	GEN	94920	HURON VALLEY GUNS	JENSEN, POLO, PANT, QTR ZIP	206-336-744.000	UNIFORMS	461.94
07/18/2024	GEN	94920	HURON VALLEY GUNS	ZIEGLER, NEW HIRE UNIFORMS	207-301-744.000	UNIFORMS	1,440.85
07/18/2024	GEN	94921	IMAGETREND, INC	DIRECT MESSAGE COSTS	206-336-757.000	OPERATING SUPPLIES	800.00
07/18/2024	GEN	94922	IMPERIAL DADE	TOWELS, LINERS, CLEANING SUPPLIES	101-265-931.001	BLDG MAINTENANCE & SU	822.93
07/18/2024	GEN	94922	IMPERIAL DADE	TOWELS, LINERS, CLEANING SUPPLIES	101-269-931.001	BLDG MAINT COMM HALL	308.60
07/18/2024	GEN	94922	IMPERIAL DADE	TOWELS, LINERS, CLEANING SUPPLIES	101-269-931.013	BUILDING MAINTENANCE	514.33
07/18/2024	GEN	94922	IMPERIAL DADE	TOWELS, LINERS, CLEANING SUPPLIES	101-757-931.000	BUILDING MAINTENANCE	411.46
07/18/2024	GEN	94923	INSPECTION SERVICES BY SAH	06/26/24-07/12/24 MECHANICAL INSPECTION	249-000-707.001	PLUMBING/MECHANICAL I	2,516.70
07/18/2024	GEN	94924	INTERNATIONAL CODE COUNCIL INC.	BALANCE DUE ON INVOICE	206-336-757.000	OPERATING SUPPLIES	29.72
07/18/2024	GEN	94925	JULIA KELLER	BOARD OF REVIEW 1/2 DAY	101-247-710.000	FEES & PER DIEM	50.00
07/18/2024	GEN	94926	LOGOS & LETTERS	BALANCE DUE ON SHIRTS	206-336-962.000	MISCELLANEOUS	68.00
07/18/2024	GEN	94927	MARK BIRKHOLZ	BIRKHOLZ, REIMBURSE FOR FOOD/PARKING	206-336-960.000	TRAINING	24.84
07/18/2024	GEN	94928	MARK CARLSON	06/26/24-07/12/24 ELECTRICAL INSPECTIONS	249-000-707.000	ELECTRICAL INSPECTOR	1,780.80
07/18/2024	GEN	94928	MARK CARLSON	06/26/24-07/12/24 ELECTRICAL INSPECTIONS	249-000-801.002	RENTAL INSPECTIONS	120.00
07/18/2024	GEN	94929	KIM MCFADDEN	BOARD OF REVIEW 1/2 DAY	101-247-710.000	FEES & PER DIEM	50.00
07/18/2024	GEN	94930	MUNETRIX LLC - ACCTS RECEIVABLE	09/01/24-08/31/25 SUBSCRIPTION RENEWAL	101-265-971.000	TECHNOLOGY EQUIPMENT	4,234.00
07/18/2024	GEN	94931	OAKLAND COUNTY	EXCEL/LINDSEY	101-209-960.000	TRAINING	85.00
07/18/2024	GEN	94932	OAKLAND COUNTY MEDICAL CONTRO	FD, WEBSITE DUES 2024	206-336-757.000	OPERATING SUPPLIES	75.00

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/18/2024	GEN	94933	OXBOWINDO	68 PINEWOOD DR - NEW WINDOWS	101-000-087.274	DUE FROM CDBG	4,912.20
07/18/2024	GEN	94933	OXBOWINDO	68 PINEWOOD DR - NEW WINDOWS	274-000-080.000	DUE FROM COUNTY	4,912.20
07/18/2024	GEN	94933	OXBOWINDO	68 PINEWOOD DR - NEW WINDOWS	274-000-214.101	DUE TO GENERAL FUND	(4,912.20)
07/18/2024	GEN	94933	OXBOWINDO	68 PINEWOOD DR - NEW WINDOWS	274-000-683.000	CDBG REVENUE	(4,912.20)
07/18/2024	GEN	94933	OXBOWINDO	68 PINEWOOD DR - NEW WINDOWS	274-000-801.002	MINOR HOME REPAIR	4,912.20
07/18/2024	GEN	94934	PLANTE & MORAN PLLC	2024 AUDIT SERVICES	101-101-807.000	AUDIT FEES	3,100.00
07/18/2024	GEN	94935	RANDAZZO HEATING & COOLING	11385 BRIGHAM, REFUND PERMIT	249-000-477.000	BUILDING PERMITS	135.00
07/18/2024	GEN	94936	RANDAZZO HEATING & COOLING	11385 BRIGHAM, REFUND PERMIT	249-000-478.000	ELECTRICAL PERMITS	58.50
07/18/2024	GEN	94937	ROSATI, SCHULTZ, JOPPICH	MICHIGAN TAX TRIBUNAL CASE	101-209-820.000	LEGAL FEES	688.00
07/18/2024	GEN	94937	ROSATI, SCHULTZ, JOPPICH	GENERAL, SERVICES THRU 06/30/24	101-210-826.000	LEGAL FEES	3,202.92
07/18/2024	GEN	94937	ROSATI, SCHULTZ, JOPPICH	ORD, SERVICES THRU 06/30/24	101-372-955.000	ORDINANCE ENFORCEMEN	372.00
07/18/2024	GEN	94938	SMART BUSINESS SOURCE	PADS, HIGHLIGHTER, STND BOOKS	101-249-727.000	OFFICE SUPPLIES	49.27
07/18/2024	GEN	94939	STAR EMS	FEI, QIN-BLOOD DRAW	207-301-962.003	EVIDENCE COLLECTION	100.00
07/18/2024	GEN	94940	STATE OF MICHIGAN	STATE NOTARY FILING FEE-J LONDON	101-215-962.000	MISCELLANEOUS	10.00
07/18/2024	GEN	94941	STINE TURF & SNOW INC.	DUBLIN, SUMMER APPLICATION	101-265-931.002	GROUNDS MAINTENANCE	133.00
07/18/2024	GEN	94942	STRYKER SALES, LLC	LUCUS SUCTION CUP 3PACK	206-336-767.000	MEDICAL SUPPLIES	164.42
07/18/2024	GEN	94943	LITHIA MOTORS	18 FORD F250 REPLACE BALL JOINTS	101-265-863.000	VEHICLE MAINTENANCE	2,562.61
07/18/2024	GEN	94943	LITHIA MOTORS	ONEIL, REPLACE SENSORS	101-265-863.000	VEHICLE MAINTENANCE	292.35
07/18/2024	GEN	94944	SZOTT M59 CHRYSLER JEEP	22 DAIMLER DODGE DURANGO-DEDUCTIBLE	207-301-863.001	VEHICLE MAINTENANCE	250.00
07/18/2024	GEN	94945	VC3 INC	NEW DELL OPTIPLEX	206-336-757.000	OPERATING SUPPLIES	817.00
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-000-080.853	DUE FROM WATER PHONE	393.92
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-171-853.000	CELLULAR PHONE	43.28
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-215-853.000	CELLULAR PHONE	72.88
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-265-853.000	TELEPHONE	46.60
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-372-853.000	CELLULAR PHONE	31.81
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	101-402-853.000	CELLULAR PHONE	105.65
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	206-336-853.000	CELL PHONES	274.08
07/18/2024	GEN	94946	VERIZON WIRELESS	06/02/24-07/01/24 MONTHLY CHARGES	249-000-853.000	CELLULAR PHONE	222.11
07/18/2024	GEN	94947	WATER DEPOT	TWP, MONTHLY CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	81.00
07/18/2024	GEN	94947	WATER DEPOT	PD, MONTHLY CHARGES	207-301-931.001	BLDG MAINTENANCE & SU	34.00
07/18/2024	GEN	94948	WHITE LAKE TOWNSHIP	04/02/24-07/02/24 7525 HIGHLAND RD	101-265-922.000	UTILITIES-TWP HALL	172.55
07/18/2024	GEN	94948	WHITE LAKE TOWNSHIP	04/02/24-07/02/24 9180 HIGHLAND RD	101-269-922.004	UTILITIES FISK	57.24
07/18/2024	GEN	94948	WHITE LAKE TOWNSHIP	04/02/24-07/02/24 7527 HIGHLAND RD	101-269-922.010	UTILITIES-TWP ANNEX	57.24
07/18/2024	GEN	94948	WHITE LAKE TOWNSHIP	04/02/24-07/02/24 685 UNION LK RD	101-757-922.000	UTILITIES	120.52
07/18/2024	GEN	94948	WHITE LAKE TOWNSHIP	04/02/24-07/02/24 7420 HIGHLAND RD	206-336-922.001	UTILITIES - STATION 1	107.77
07/18/2024	GEN	94949	UNITED STATES TREASURY	FORM 720 2024 2ND QTR	101-299-956.000	UNALLOCATED MISCELLAN	344.54
07/18/2024	GEN	94950	BENDZINSKI & CO.	P/R-PROFESSIONAL SERVICES	208-000-801.000	PROFESSIONAL SERVICES	23,650.00
07/18/2024	GEN	94951	DTE ENERGY	P/R-7575 HIGHLAND 06/12/24-07/11/24	208-000-921.000	ELECTRIC JUDY HAWLEY PA	74.38
07/18/2024	GEN	94951	DTE ENERGY	P/R-687 UNION 06/12/24-07/11/24	208-000-921.001	ELECTRIC - VETTER PARK	40.89
07/18/2024	GEN	94952	STEED'S LAWN & LANDSCAPE LLC	P/R-MOW STANLEY PARK	208-000-931.001	GROUNDS MAINTENANCE	400.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/18/2024	GEN	94953	STINE TURF & SNOW INC.	P/R-VETTER PARK TREATMENT	208-000-931.001	GROUNDS MAINTENANCE	336.00
07/18/2024	GEN	94954	THE HUNTINGTON NATIONAL BANK	P/R-07/01/24-06/30/25 ADMIN FEE	208-000-992.000	BOND INTEREST	500.00
07/18/2024	GEN	94955	WELTON LAWN CARE	P/R-9180 HIGHLAND /FISK MOSQUITO CONTF	208-000-720.000	EVENT EXPENSES	324.16
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	101-000-080.716	DUE FROM WATER HOSPIT	696.46
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	101-863-730.000	RETIREE HEALTH INSURAN	4,875.22
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	206-336-716.002	RETIREE HEALTH CARE PRE	2,089.38
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	206-336-962.000	MISCELLANEOUS	(44.40)
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	207-301-716.001	RETIREE HOSP & OPTICAL I	6,964.60
07/18/2024	GEN	94956	BCBS OF MICHIGAN	08/01/24-08/31/24 MEDICARE ADV PREMIUM	249-000-716.001	RETIREE MEDICAL	348.23
07/24/2024	GEN	94957	BREEN'S LANDSCAPE & SUPPLY CENTE	CONTRACTOR 25 LBS	101-265-931.002	GROUNDS MAINTENANCE	71.00
07/24/2024	GEN	94958	DARWEL ENTERPRISES LLC	PD, MONTHLY CHARGES	207-301-931.001	BLDG MAINTENANCE & SU	115.78
07/24/2024	GEN	94959	DTE ENERGY	7500 HIGHLAND RD 06/20/24-07/18/24	101-269-921.001	ELECTRIC COMM HALL	56.29
07/24/2024	GEN	94959	DTE ENERGY	9830 ELIZABETH LK RD 06/12/24-07/11/24	101-276-921.000	ELECTRIC OXBOW	21.20
07/24/2024	GEN	94959	DTE ENERGY	6190 WHITE LAKE RD 06/20/24-07/18/24	101-276-921.001	ELECTRIC WHITE LAKE	36.40
07/24/2024	GEN	94959	DTE ENERGY	7440 HIGHLAND RD 06/20/24-07/18/24	206-336-921.001	ELECTRIC STATION 1	1,208.42
07/24/2024	GEN	94959	DTE ENERGY	7422 HIGHLAND RD 06/20/24-07/18/24	206-336-921.001	ELECTRIC STATION 1	27.32
07/24/2024	GEN	94959	DTE ENERGY	4870 ORMOND RD 06/20/24-07/18/24	206-336-921.003	ELECTRIC STATION 3	282.36
07/24/2024	GEN	94960	EMERGENCY SERVICES MARKETING CO	I AM RESPONDING 09/12/24-09/11/25	206-336-957.000	SUBSCRIPTIONS	810.00
07/24/2024	GEN	94961	FNBO	POTTER, MONTHLY CHARGES	101-000-080.962	DUE FROM WATER MISCEL	597.08
07/24/2024	GEN	94961	FNBO	SZOLACH MONTHLY CHARGES	101-000-080.962	DUE FROM WATER MISCEL	123.75
07/24/2024	GEN	94961	FNBO	GROSS, MONTHLY CHARGES	101-000-080.962	DUE FROM WATER MISCEL	81.65
07/24/2024	GEN	94961	FNBO	JIMENEZ, MONTHLY CHARGES	101-000-080.962	DUE FROM WATER MISCEL	66.85
07/24/2024	GEN	94961	FNBO	NOBLE, MONTHLY CHARGES	101-191-740.000	OPERATING SUPPLIES	1,599.00
07/24/2024	GEN	94961	FNBO	HIEBER, MAA CONFERENCE	101-209-864.000	CONFERENCES & MEETING	281.88
07/24/2024	GEN	94961	FNBO	NOBLE, MONTHLY CHARGES	101-215-853.000	CELLULAR PHONE	68.90
07/24/2024	GEN	94961	FNBO	NOBLE, MONTHLY CHARGES	101-215-962.000	MISCELLANEOUS	114.00
07/24/2024	GEN	94961	FNBO	CANVA SOFTWARE	101-249-727.000	OFFICE SUPPLIES	14.99
07/24/2024	GEN	94961	FNBO	SZOLACH MONTHLY CHARGES	101-265-863.000	VEHICLE MAINTENANCE	33.96
07/24/2024	GEN	94961	FNBO	SZOLACH MONTHLY CHARGES	101-265-931.001	BLDG MAINTENANCE & SU	84.00
07/24/2024	GEN	94961	FNBO	ICC-ORD/PROPERTY MTN/EXAM & GUIDE	101-372-960.000	TRAINING	309.00
07/24/2024	GEN	94961	FNBO	GORDINEAR MONTHLY CHARGES	101-757-751.000	SENIOR ACTIVITIES	792.70
07/24/2024	GEN	94961	FNBO	GORDINEAR MONTHLY CHARGES	101-757-931.000	BUILDING MAINTENANCE	37.75
07/24/2024	GEN	94961	FNBO	SZOLACH MONTHLY CHARGES	101-757-931.000	BUILDING MAINTENANCE	4.98
07/24/2024	GEN	94961	FNBO	CREAN, MONTHLY CHARGES	206-336-727.000	OFFICE SUPPLIES	14.83
07/24/2024	GEN	94961	FNBO	HANIFEN, MONTHLY CHARGES	206-336-727.000	OFFICE SUPPLIES	247.08
07/24/2024	GEN	94961	FNBO	CREAN, MONTHLY CHARGES	206-336-744.000	UNIFORMS	221.81
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-744.000	UNIFORMS	58.68
07/24/2024	GEN	94961	FNBO	HANIFEN, MONTHLY CHARGES	206-336-863.001	VEHICLE MAINTENANCE	14.99
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-863.001	VEHICLE MAINTENANCE	41.53
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-863.002	TIRES	(13.

WHITE LAKE TWP.
JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/24/2024	GEN	94961	FNBO	CREAN, MONTHLY CHARGES	206-336-864.000	CONFERENCES & MEETING	475.00
07/24/2024	GEN	94961	FNBO	HANIFEN, MONTHLY CHARGES	206-336-864.000	CONFERENCES & MEETING	(15.30)
07/24/2024	GEN	94961	FNBO	CREAN, MONTHLY CHARGES	206-336-933.000	EQUIPMENT MAINTENANC	21.18
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-933.000	EQUIPMENT MAINTENANC	16.00
07/24/2024	GEN	94961	FNBO	FISCHER, MONTHLY CHARGES	206-336-960.000	TRAINING	504.00
07/24/2024	GEN	94961	FNBO	HANNEMAN, MONTHLY CHARGES	206-336-960.000	TRAINING	336.00
07/24/2024	GEN	94961	FNBO	CREAN, MONTHLY CHARGES	206-336-960.000	TRAINING	327.00
07/24/2024	GEN	94961	FNBO	HANIFEN, MONTHLY CHARGES	206-336-960.000	TRAINING	168.00
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-960.000	TRAINING	509.92
07/24/2024	GEN	94961	FNBO	HOLLAND, MONTHLY CHARGES	206-336-962.000	MISCELLANEOUS	77.12
07/24/2024	GEN	94961	FNBO	KELLER, MONTHLY CHARGES	207-301-727.000	OFFICE SUPPLIES	114.26
07/24/2024	GEN	94961	FNBO	KELLER, MONTHLY CHARGES	207-301-863.001	VEHICLE MAINTENANCE	97.48
07/24/2024	GEN	94961	FNBO	SILVERTHORN, MONTHLY CHARGES	207-301-863.001	VEHICLE MAINTENANCE	84.76
07/24/2024	GEN	94961	FNBO	KELLER, MONTHLY CHARGES	207-301-864.000	CONFERENCES	202.83
07/24/2024	GEN	94961	FNBO	SILVERTHORN, MONTHLY CHARGES	207-301-864.000	CONFERENCES	437.49
07/24/2024	GEN	94962	FNBO	BOYNE MOUNTAIN LODGING FALL CONFEREN	101-253-864.000	CONFERENCES & MEETING	308.25
07/24/2024	GEN	94963	HURON VALLEY GUNS	MORELLI, EMBROIDERY SERVICES	206-336-744.000	UNIFORMS	78.00
07/24/2024	GEN	94964	KICKSTAND BREWNIG CO	07/20/24 ROCKIN THE FARM	101-000-214.016	DUE TO OTHERS	3,904.00
07/24/2024	GEN	94965	KIESLER POLICE SUPPLY	AMMO	207-301-741.000	FIRE ARMS, TRNG & RANGI	566.00
07/24/2024	GEN	94966	MACQUEEN EMERGENCY	RED HEAD BRASS	206-336-863.001	VEHICLE MAINTENANCE	384.08
07/24/2024	GEN	94967	MERGE LIVE	JULY 16, 2024 REGULAR TWP BOARD MEETIN	101-101-710.000	FEES & PER DIEM	265.00
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	101-000-080.853	DUE FROM WATER PHONE	88.93
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	101-000-080.962	DUE FROM WATER MISCEL	150.00
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	101-265-853.000	TELEPHONE	927.26
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	101-265-971.000	TECHNOLOGY EQUIPMENT	150.00
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	101-757-853.000	TELEPHONE	113.88
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	206-336-757.000	OPERATING SUPPLIES	150.00
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	206-336-853.001	TELEPHONE STATION 1	178.66
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	206-336-853.002	TELEPHONE STATION 2	67.34
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	206-336-853.003	TELEPHONE STATION 3	67.34
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	207-301-757.000	OPERATING SUPPLIES	150.00
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	207-301-853.000	TELEPHONE	144.75
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	249-000-853.000	CELLULAR PHONE	67.34
07/24/2024	GEN	94968	NET EXPRESS VOIP	08/01/24-08/31/24 MONTHLY CHARGES	249-000-971.000	TECHNOLOGY EQUIPMENT	150.00
07/24/2024	GEN	94969	OCAA	07/01/24-06/30/25 - CHARLICK, H MEMBERSH	101-209-958.000	MEMBERSHIPS & DUES	15.00
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	NOTICE OF VOTER REGISTRATION	101-191-903.000	LEGAL NOTICES	241.00
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	NOTICE OF ELECTION AUGUST 6	101-191-903.000	LEGAL NOTICES	367.00
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	NOTICE OF ADOPTION ORD NO. 120	101-215-903.000	LEGAL NOTICES	277.00
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	06/18/24 BOT SYNOPSIS	101-215-903.000	LEGAL NOTICES	199.00
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	NOTICE OF ADOPTION ORD NO 58-24A	101-215-903.000	LEGAL NOTICES	175.

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/24/2024	GEN	94970	OAKLAND COUNTY LEGAL NEWS	07/25/24 ZBA MEETING	101-402-903.000	LEGAL NOTICES	295.00
07/24/2024	GEN	94971	OAKLAND COUNTY ROAD COMMISSIO	SIGNAL MAINTENANCE, MONTHLY CHARGES	101-446-930.000	TRAFFIC SIGNAL MAINTEN,	82.42
07/24/2024	GEN	94972	OCCUPATIONAL HEALTH CENTERS OF	TERRY, T MCOLES PHYSICAL	207-301-757.000	OPERATING SUPPLIES	486.00
07/24/2024	GEN	94973	SAFEWAY SHREDDING	GEN, MONTHLY CHARGES	101-249-727.000	OFFICE SUPPLIES	79.95
07/24/2024	GEN	94973	SAFEWAY SHREDDING	PD, SHREDDING	207-301-727.000	OFFICE SUPPLIES	59.95
07/24/2024	GEN	94974	LITHIA MOTORS	21-51 OIL CHANGE, FILTER, INSPECT	207-301-863.001	VEHICLE MAINTENANCE	133.75
07/24/2024	GEN	94975	SZOTT M59 CHRYSLER JEEP	21-8 OIL CHANGE, FILTER, INSPECT	207-301-863.001	VEHICLE MAINTENANCE	124.00
07/24/2024	GEN	94976	RICOH	PD, 08/01/24-08/31/24 CHARGES	207-301-933.000	EQUIP LEASE/ MAINT CON'	131.79
07/24/2024	GEN	94977	FONSON COMPANY INC	PAY APP 3 TRIANGLE TRAIL PATHWAY	208-000-972.000	PATHWAY PROJECTS	149,658.52
07/25/2024	GEN	94978	JEANNE EAGEN	INSTRUCTOR FEES	101-757-751.000	SENIOR ACTIVITIES	158.00
07/25/2024	GEN	94979	LEISURE UNLIMITED LLC	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	172.00
07/25/2024	GEN	94980	MARLENE TURNER	INSTRUCTOR'S FEE	101-757-751.000	SENIOR ACTIVITIES	35.00
07/25/2024	GEN	94981	PHOENIX SAFETY OUTFITTERS	APRIL TURNOUT GEAR RENTAL/CADET	206-336-977.001	SUPPLY ACQUISITIONS 04N	150.00
07/25/2024	GEN	94981	PHOENIX SAFETY OUTFITTERS	MAY TURNOUT GEAR RENTAL/CADET	206-336-977.001	SUPPLY ACQUISITIONS 04N	150.00
GEN Total							3,633,869.98
07/11/2024	IMPR3	60063	SPRINGLINE EXCAVATION, LLC	PAY APP 2 - ELIZABETH LK RD RECONSTRUCTI	246-000-970.006	ELIZABETH LK RD RECONST	476,607.35
07/24/2024	IMPR3	60064	BECKETT & RAEDER	CIVIC CENTER PROFESSIONAL SERVICES	246-000-970.005	CAPITAL OUTLAY-NEW TW	51,076.25
07/24/2024	IMPR3	60065	STRAUB PETTITT YASTE	ARCJOTECTIRA;/ENG SERVICES THRU	246-000-970.005	CAPITAL OUTLAY-NEW TW	21,270.00
IMPR3 Total							548,953.60
07/11/2024	SEWFD	4121	COMMERCE TOWNSHIP	JUNE 2024 SEWER CONNECTIONS	590-000-969.000	CONNECTION EXPENSE-CO	24,480.00
07/11/2024	SEWFD	4122	EGANIX INC.	BIOLOGICAL AND NUTRIENT BLEND	590-000-930.000	REPAIRS & MAINTENANCE	2,700.00
07/18/2024	SEWFD	4123	ROSATI, SCHULTZ, JOPPICH	SEWER AGREEMENT, SERVICES THRU 06/0/24	590-000-801.000	PROFESSIONAL FEES	511.50
SEWFD Total							27,691.50
07/18/2024	TAX	6850	SHIRLEY GARNER	2024 JBOR SUMMERTAX REFUND 12-23-101-(703-000-385.005	DUE TO OTHERS (REFUNDS	1,215.89
07/18/2024	TAX	6851	ROSALEE DONALDSON	2024 SUMMER TAX REFUND 12-36-302-003 C	703-000-385.005	DUE TO OTHERS (REFUNDS	10.00
TAX Total							1,225.89
07/03/2024	TNA	15481	52-1 DISTRICT COURT	BOND-DANA LYNN GUTIERREZ	701-000-287.002	DUE TO COURTS	266.00
07/09/2024	TNA	15482	19TH DISTRICT COURT	BOND-JOSEPH MICHAEL WYNDER	701-000-287.002	DUE TO COURTS	192.00
07/11/2024	TNA	15483	AQUA -WEED CONTROL INC.	MANDON LAKE TREATMENTS	701-000-250.013	MANDON LAKE	5,695.00
07/11/2024	TNA	15484	AQUA -WEED CONTROL INC.	PONTIAC LAKE - TREATMENTS	701-000-250.008	PONTIAC LAKE WEED	22,185.00
07/11/2024	TNA	15485	C & E CONSTRUCTION CO INC	260 VIEW GRINDER INSTALL	701-000-284.006	GRINDER PUMP INSTALLS	6,252.50
07/11/2024	TNA	15486	CARLISLE WORTMAN ASSOCIATES INC	WEST VALLEY, REVISED SITE PLAN #6	701-000-286.410	WEST VALLEY	482.50
07/11/2024	TNA	15486	CARLISLE WORTMAN ASSOCIATES INC	GINKO SELF STORAGE, FINAL SITE PLAN REVIE	701-000-286.469	GINKO SELF STORAGE	1,002.50
07/11/2024	TNA	15486	CARLISLE WORTMAN ASSOCIATES INC	LASTING IMPRESSIONS, PSP REVIEW	701-000-286.474	LASTING IMPRESSIONS LAN	162.50
07/11/2024	TNA	15487	DTE ENERGY	9600 GARFORTH MANDON BAY 05/11/24-06/	701-000-250.013	MANDON LAKE	39.24
07/11/2024	TNA	15488	LAKES HARVESTING, INC.	PONTIAC LAKE WEED HARVESTING	701-000-250.008	PONTIAC LAKE WEED	10,437.50
07/11/2024	TNA	15488	LAKES HARVESTING, INC.	PONTIAC LAKE WEED HARVESTING	701-000-250.008	PONTIAC LAKE WEED	53,103.06
07/11/2024	TNA	15489	MICHELLE BARBER	BARBER,M-RETURN COMM HALL DEPOSIT	701-000-283.000	DEPOSITS FOR HALLS	200.00
07/11/2024	TNA	15490	O.C.W.R.C.	JUNE 2024 SEWER PERMITS	701-000-287.005	DUE TO OAKLAND CO SEW	1,000.00
07/11/2024	TNA	15491	OAKLAND COUNTY	AMENDMENT TO BILL OF SALE	701-000-286.471	HVS-ONSITE WATERMAIN I	30.

**WHITE LAKE TWP.
JULY 2024 CHECK DISBURSEMENTS**

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	TNA	15492	OAKLAND COUNTY	AMENDMENT TO GRANT OF WATERMAIN EA	701-000-286.471	HVS-ONSITE WATERMAIN I	30.00
07/11/2024	TNA	15493	OAKLAND COUNTY ANIMAL CONTROL	DOG LICENSES	701-000-285.011	DUE TO OAKLAND CO DOG	280.00
07/11/2024	TNA	15494	PLM LAKE & LAND MANAGEMENT CO	ROUND LAKE 06/27/24-WEED TREATMENT	701-000-250.006	ROUND LAKE IMPROVEME	972.50
07/11/2024	TNA	15495	PROGRESSIVE AE	ROUND LAKE MAPPING AND PLANT CONTROL	701-000-250.006	ROUND LAKE IMPROVEME	2,000.00
07/11/2024	TNA	15496	WHITE LAKE TOWNSHIP	260 VIEW GRINDER STA & ADMIN FEE	701-000-284.006	GRINDER PUMP INSTALLS	3,279.39
07/11/2024	TNA	15497	WHITE LAKE TREASURER	DOG LICENSES	701-000-285.012	DUE TO G/F DOG LICENSE	29.00
07/16/2024	TNA	15498	50TH DISTRICT COURT	BOND-LADAWNA JOY EMCH	701-000-287.002	DUE TO COURTS	222.00
07/18/2024	TNA	15499	AQUA -WEED CONTROL INC.	GRASS LK IMP BOARD, MAY/JULY TREATMEN	701-000-250.005	GRASS LAKE SAD	14,812.50
07/18/2024	TNA	15500	DTE ENERGY	LK ONA 3077 RIPPLEWAY 06/12/24-07/11/24	701-000-250.010	LAKE ONA IMPROVEMENT	87.78
07/18/2024	TNA	15500	DTE ENERGY	LK ONA 2827 RIPPLEWAY 06/12/24-07/11/24	701-000-250.010	LAKE ONA IMPROVEMENT	100.10
07/18/2024	TNA	15500	DTE ENERGY	LK ONA 2533 RIPPLEWAY 06/12/24-07/11/24	701-000-250.010	LAKE ONA IMPROVEMENT	199.69
07/18/2024	TNA	15501	DTE ENERGY	2660 STEEPLE 06/12/24-07/11/24	701-000-250.005	GRASS LAKE SAD	17.63
07/18/2024	TNA	15502	DTE ENERGY	LK NEVA 7255 BISCAYNE 06/12/24-07/11/24	701-000-250.011	LAKE NEVA IMPROVEMEN	25.96
07/18/2024	TNA	15503	OAKLAND COUNTY TREASURER	JUNE TRAILER TAX	701-000-287.003	DUE TO OAKLAND CO TR T.	4,255.00
07/18/2024	TNA	15504	ROSATI, SCHULTZ, JOPPICH	CORNERSTONE PRIVATE RD, SERVICES THRU (701-000-286.060	CORNERSTONE COURT (PR	713.00
07/18/2024	TNA	15504	ROSATI, SCHULTZ, JOPPICH	LAKE POINTE PD, SERVICES THRU 06/30/24	701-000-286.398	LAKE POINTE 17-006	201.50
07/18/2024	TNA	15504	ROSATI, SCHULTZ, JOPPICH	PRESERVICE AT HIDDEN LAKE, SERVICES THRL	701-000-286.407	PRESERVE AT HIDDEN LAKE	31.00
07/18/2024	TNA	15504	ROSATI, SCHULTZ, JOPPICH	WHITE LK ASSISTED LIVING, SERVICES THRU 0	701-000-286.442	NEW HOPE WHITE LAKE	77.50
07/18/2024	TNA	15505	WHITE LAKE TOWNSHIP	10420 ELIZABETH GRINDER EXTENSION	701-000-284.006	GRINDER PUMP INSTALLS	645.11
07/18/2024	TNA	15505	WHITE LAKE TOWNSHIP	2495 BOGIE LAKE GRINDER EXTENSION	701-000-284.006	GRINDER PUMP INSTALLS	555.55
07/18/2024	TNA	15506	WHITE LAKE TOWNSHIP	1342 CASTLEWOOD- MOVE DESIGN/EASEMEI	701-000-284.006	GRINDER PUMP INSTALLS	650.00
07/18/2024	TNA	15507	WHITE LAKE TOWNSHIP TREASURER	JUNE TRAILER TAX	701-000-285.013	DUE TO G/F TRAILER PARK	851.00
07/24/2024	TNA	15508	AQUA -WEED CONTROL INC.	BURGESS BAY, 06/20/24 TREATMENT	701-000-250.003	BURGESS BAY	2,830.00
07/24/2024	TNA	15509	CHRISTOPHER WATT	2495 BOGIE LK GRINDER STA ESCROW REFUN	701-000-284.006	GRINDER PUMP INSTALLS	787.95
07/24/2024	TNA	15510	DTE ENERGY	5301 COOLEY LK RD 06/12/24-07/11/24	701-000-250.010	LAKE ONA IMPROVEMENT	951.28
07/24/2024	TNA	15511	DTE ENERGY	ROUND LK 1287 GROVE PT 06/12/24-07/11/2	701-000-250.006	ROUND LAKE IMPROVEME	542.21
07/24/2024	TNA	15512	FABER LLC	260 VIEW GRINDER STA ESCROW REFUND	701-000-284.006	GRINDER PUMP INSTALLS	2,162.50
07/24/2024	TNA	15513	LAKESIDE LAWN & LANDSCAPE	ROUND LK 6/5, 6/26 LAWN MOWING	701-000-250.006	ROUND LAKE IMPROVEME	120.00
07/24/2024	TNA	15514	OAKLAND COUNTY LEGAL NEWS	BURGESS BAY NOTICE OF PUBLIC HEARING	701-000-250.003	BURGESS BAY	301.00
07/24/2024	TNA	15515	OAKLAND COUNTY LEGAL NEWS	MEADOW LANE, NOTICE OF PUBLIC HEARING	701-000-250.012	MEADOW LANE	301.00
07/24/2024	TNA	15516	THE PRESERVES LLC	9054/9056/9058 RHYAN GRINDER ESCROW R	701-000-284.006	GRINDER PUMP INSTALLS	3,356.00
07/24/2024	TNA	15517	WHITE LAKE TOWNSHIP	1284 BAYVIEW GRINDER PUMP & ADMIN FEE	701-000-284.006	GRINDER PUMP INSTALLS	4,536.03
07/30/2024	TNA	15518	FRIEND OF THE COURT	BOND-PAUL C SCHWARTZ	701-000-287.002	DUE TO COURTS	4,299.00
TNA Total							151,270.98
07/11/2024	WAT	8309	AQUATEST	COLIFORM BACTERIA TESTING	591-000-748.000	TESTING WATER SYSTEMS	168.00
07/11/2024	WAT	8310	CONSUMERS ENERGY	6260 GRASS LK 05/21/24-06/20/24 CHARGES	591-000-921.004	ELECTRICITY VILLAGE ACRE	18.42
07/11/2024	WAT	8310	CONSUMERS ENERGY	9164 STEEPHOLLOW 05/22/24-06/19/24 CHA	591-000-923.001	GAS TWIN LAKES	33.73
07/11/2024	WAT	8310	CONSUMERS ENERGY	8208 FOX BAY 05/22/24-06/19/24 CHARGES	591-000-923.002	GAS HILLVIEW	16.00
07/11/2024	WAT	8310	CONSUMERS ENERGY	8935 SATELITE 05/22/24-06/19/24 CHARGES	591-000-923.005	GAS VILLAGE ACRES-SATEL	25.67
07/11/2024	WAT	8311	DTE ENERGY	6260 GRASS LK 05/18/24-06/19/24 CHARGES	591-000-921.006	ELECTRICITY GRASS LAKE	4,671.00

WHITE LAKE TWP.
 JULY 2024 CHECK DISBURSEMENTS

Section 6, Item B.

Check Date	Bank	Check #	Payee	Description	GL #	Account Name	
07/11/2024	WAT	8312	HYDROCORP	JUNE INSPECTION AND REPORTING SERVICES	591-000-818.000	CONTRACTED SERVICES	267.00
07/11/2024	WAT	8313	MRWA	ANNUAL DUES	591-000-958.000	DUES & MISC	990.00
07/11/2024	WAT	8314	PREMIER SAFETY	CALIBRATION	591-000-744.000	SAFETY GEAR AND CLOTHII	250.31
07/11/2024	WAT	8315	USA BLUEBOOK	COILS/TUBING	591-000-740.000	OPERATING SUPPLIES	234.66
07/17/2024	WAT	8316	SZOTT M59 CHRYSLER JEEP	2023 RAM TRUCK	591-000-136.001	BUILDING & BUILDING IMF	46,299.00
07/18/2024	WAT	8317	ABC PRINTING	WAT, ENVELOPES	591-000-727.000	OFFICE SUPPLIES	808.10
07/18/2024	WAT	8318	APPLIED INNOVATION	DPS, MONTHLY CHARGES	591-000-727.000	OFFICE SUPPLIES	436.62
07/18/2024	WAT	8319	BLUE STAR INC.	SUBURBAN KNOLLS, COMPLETE DEMOLITION	591-000-931.000	REPAIR & MAINT BLDG & E	2,500.00
07/18/2024	WAT	8320	DTE ENERGY	360 WOODSEdge 06/11/24-07/10/24 CHARG	591-000-921.000	ELECTRICITY TOWER	84.77
07/18/2024	WAT	8320	DTE ENERGY	8906 HURON BLUFF 06/11/24-07/10/24 CHAF	591-000-921.001	ELECTRICITY TL	745.54
07/18/2024	WAT	8320	DTE ENERGY	9164 STEEPHOLLOW 06/11/24-07/10/24 CHA	591-000-921.001	ELECTRICITY TL	1,847.20
07/18/2024	WAT	8320	DTE ENERGY	8208 FOX BAY 06/11/24-07/10/24 CHARGES	591-000-921.002	ELECTRICITY HILLVIEW	1,734.91
07/18/2024	WAT	8320	DTE ENERGY	8935 SATELITE 06/11/24-07/10/24 CHARGES	591-000-921.004	ELECTRICITY VILLAGE ACRE	2,476.49
07/18/2024	WAT	8320	DTE ENERGY	145 HURONDALE 06/11/24-07/10/24 CHARG	591-000-921.008	ELECTRICITY-HURONDALE	1,087.50
07/18/2024	WAT	8320	DTE ENERGY	993 N WILLIAMS 06/11/24-07/10/24 CHARGI	591-000-921.010	ELECTRICITY 933 WILLIAM	21.58
07/18/2024	WAT	8321	OAKLAND SCHOOLS	CCR MAILING - 2178 RECORDS	591-000-727.000	OFFICE SUPPLIES	3,332.71
07/18/2024	WAT	8321	OAKLAND SCHOOLS	CCR MAILING - 2178 RECORDS	591-000-730.000	POSTAGE	1,107.74
07/18/2024	WAT	8322	ROSATI, SCHULTZ, JOPPICH	WAT, LEGAL SERVICES THRU 06/30/24	591-000-826.000	ATTORNEY FEES	31.00
07/18/2024	WAT	8323	USA BLUEBOOK	"NOT IN SERVICE" BAGS	591-000-740.000	OPERATING SUPPLIES	116.19
07/18/2024	WAT	8323	USA BLUEBOOK	REAGENT, TUBE ASSEMBLY	591-000-748.000	TESTING WATER SYSTEMS	365.51
07/18/2024	WAT	8323	USA BLUEBOOK	SERVICE BOX EXTENSIONS	591-000-934.000	REPAIR & MAINT WATER S	196.03
07/24/2024	WAT	8324	DTE ENERGY	6055 HIGHLAND 06/12/24-07/11/24 CHARGE	591-000-921.007	ELECTRICITY TOWER #2	43.64
07/24/2024	WAT	8325	LITHIA MOTORS	15 FORD TRANSIT-COOLANT BYPASS REPAIRS	591-000-863.000	REPAIRS & MAINT VEHICLE	380.81
07/24/2024	WAT	8326	USIC LOCATING SERVICES, LLC	06/01/24-06/30/24 MONTHLY SERVICES	591-000-818.000	CONTRACTED SERVICES	4,501.55
07/24/2024	WAT	8327	LITHIA MOTORS	BALANCE DUE ON INVOICE	591-000-863.000	REPAIRS & MAINT VEHICLE	300.00
WAT Total							75,092.61
Grand Total							4,443,900.54

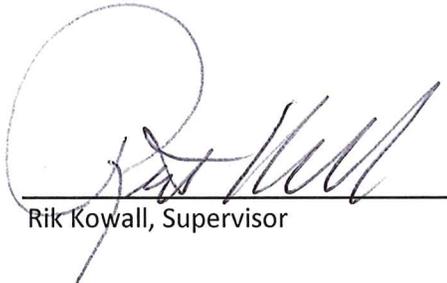
**WHITE LAKE TWP
IMPROVEMENT REVOLVING
8/20/2024**

BUDGET AMENDMENT

REASON FOR AMENDMENT:

Adjust budget/create for increased activity at Civic Center

<u>A/C #</u>	<u>A/C DESCRIPTION</u>	<u>YTD</u>	<u>24 BUDGET</u>	<u>AMEND</u>	<u>REVISED</u>
246-000-970.005	CAPITAL OUTLAY-NEW TWP HALL	596,526	300,000	800,000	1,100,000
246-000-970.006	ELIZABETH LK RD RECONSTRUCTIO	666,395	200,000	800,000	1,000,000
246-000-970.007	NEW PUBLIC SAFETY BUILDING	744,833	0	1,000,000	1,000,000
246-000-393.000	FUND BALANCE - DESIGNATED		870,000	(2,600,000)	(1,730,000)



Rik Kowall, Supervisor

8-12-24

Date

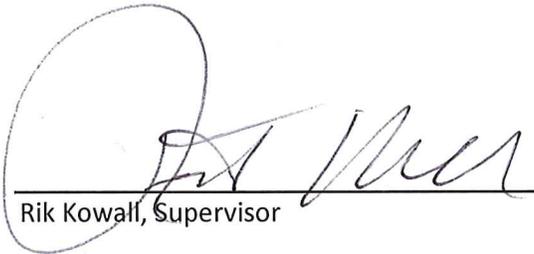
WHITE LAKE TWP
GENERAL TOWNSHIP/BUILDING
8/20/2024

BUDGET AMENDMENT

REASON FOR AMENDMENT:

Adjust, create budget for transfers to the Capital Improvement Revolving Fund

A/C #	A/C DESCRIPTION	YTD	24 BUDGET	AMEND	REVISED
101-965-999.003	TRANSFER TO IMPROV REVOLVING	332,470	135,000	200,000	335,000
101-000-393.000	FUND BALANCE - DESIGNATED		(135,511)	(200,000)	(335,511)
249-965-999.000	TRANSFER TO IMPROV REVOLVING	0	0	500,000	500,000
249-000-393.000	FUND BALANCE - DESIGNATED		(128,610)	(500,000)	(628,610)



Rik Kowalf, Supervisor

8-12-24

Date

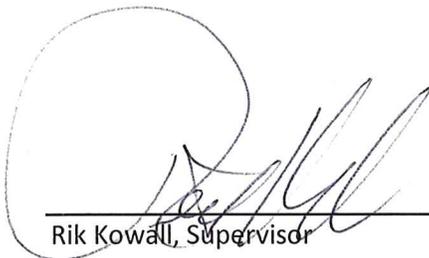
WHITE LAKE TWP
MULTIPLE FUNDS
8/20/2024

BUDGET AMENDMENT

REASON FOR AMENDMENT:

Create budget for new employee benefit of participating in 457 savings plans.
Correct 2024 Trustees' salary budget.

A/C #	A/C DESCRIPTION	YTD	24 BUDGET	AMEND	REVISED
101-101-703.000	SALARIES TRUSTEES	31,244	49,440	4,500	53,940
101-171-718.002	457-EMPLOYER PORTION	736	0	1,200	1,200
101-209-718.002	457-EMPLOYER PORTION	2,183	0	4,000	4,000
101-215-718.002	457-EMPLOYER PORTION	898	0	2,500	2,500
101-253-718.002	457-EMPLOYER PORTION	888	0	2,800	2,800
101-265-718.002	457-EMPLOYER PORTION	520	0	1,100	1,100
101-402-718.002	457-EMPLOYER PORTION	1,319	0	3,000	3,000
101-000-393.000	FUND BALANCE - DESIGNATED		(116,411)	(19,100)	(135,511)
206-336-718.004	457-EMPLOYER PORTION	7,863	0	15,000	15,000
206-000-393.000	FUND BALANCE - DESIGNATED		(630,725)	(15,000)	(645,725)
207-301-718.002	457-EMPLOYER PORTION	23,783	0	45,000	45,000
207-000-393.000	DESIGNATED FUND BALANCE		(668,075)	(45,000)	(713,075)
249-000-718.003	457-EMPLOYER PORTION	884	0	1,700	1,700
249-000-393.000	FUND BALANCE - DESIGNATED		(126,910)	(1,700)	(128,610)
591-000-718.002	457-EMPLOYER PORTION	1,073	0	2,100	2,100
591-000-393.000	FUND BALANCE - DESIGNATED		(461,292)	(2,100)	(463,392)



Rik Kowall, Supervisor

8-12-24

Date

White Lake Township
Clerk's Office



INVOICE LISTING AS OF 08/20/2024

<u>VENDOR</u>	<u>DESCRIPTION</u>	<u>EXPENSE TO LINE ITEM</u>	<u>AMOUNT</u>
Oakland Schools	Printing tax/water bills	Various	\$10,363.06

Fund #'s:

101 = General 206 = Fire 207 = Police 208 = Parks and Recreation 245 = PA 188 246 = Improvement
Revolving 249 = Building 296 = Sewer Operating 591 =Water

Invoices in bold were received after packet distribution
Original invoices are available for review in the Clerk's Office (Mon thru Fri 8am-5pm)

WHITE LAKE TOWNSHIP POLICE DEPARTMENT

JULY 2024

DETECTIVE BUREAU SUMMARY						
	Jul-24	Jul-23	% CHG.	YTD 24	YTD 23	% CHG.
ARRESTS	3	6	-50.0%	32	40	-20.0%
WARRANTS ISSUED	33	29	13.8%	253	265	-4.5%
JUVENILE PETITIONS	0	1	-100.0%	13	21	-38.1%
COURT CASES	5	1	400.0%	21	11	90.9%
PRISONERS ARRAIGNED	8	7	14.3%	54	71	-23.9%
CASES ASSIGNED	41	56	-26.8%	310	332	-6.6%
CASES CLOSED BY ARREST	56	81	-30.9%	370	373	-0.8%
CASES CLOSED OTHER	25	28	-10.7%	225	180	25.0%
UNIFORM DIVISION SUMMARY						
	Jul-24	Jul-23	% CHG.	YTD 24	YTD 23	% CHG.
ARRESTS	94	97	-3.1%	532	545	-2.4%
TRAFFIC WARNINGS	277	351	-21.1%	2,099	2,146	-2.2%
TICKETS ISSUED	321	377	-14.9%	2,323	2,483	-6.4%
ACCIDENT - PROPERTY DAMAGE	42	30	40.0%	261	200	30.5%
ACCIDENT - PERSONAL INJURY	5	11	-54.5%	44	56	-21.4%
ACCIDENT - FATAL	0	0	0.0%	2	2	0.0%
ACCIDENT - PRIVATE PROPERTY	5	14	-64.3%	80	67	19.4%
CALLS FOR SERVICE	1,971	2,125	-7.2%	14,871	14,441	3.0%
DISPATCH RUNS	890	886	0.5%	5,500	5,088	8.1%


 Daniel T. Keller, Chief of Police

Monthly Summary of Offenses

All Offenses that were Attempted or Completed

CLASS	Description	Aug-24	Aug-23	YTD 2024	YTD 2023	YTD % CHG	ARRESTS			
							ADULT		JUV	
							Aug-24	YTD	Aug-24	YTD
100	Murder / Manslaughter	0	0	0	1	-100.0%	0	0	0	0
200	Forcible Sexual Offenses	0	0	0	4	-400.0%	0	0	0	0
300	Robbery	0	0	0	2	-200.0%	0	0	0	0
400	Assault Offenses	8	8	52	64	-18.8%	6	37	0	2
500	Burglary / Home Invasion	0	1	5	3	66.7%	0	0	0	0
600	Larceny Violations	5	6	28	22	27.3%	0	0	0	0
700	Motor Vehicle Theft	1	1	5	6	-16.7%	0	2	0	0
800	Arson	0	0	0	1	-100.0%	0	0	0	0
900	Kidnapping / Abduction	0	0	0	0	0.0%	0	0	0	0
GROUP A TOTALS		14	16	90	103	-12.6%	6	39	0	2



Fire Department
Charter Township of White Lake

July 2024 Incident / Activity Summary

Incident Response breakdown

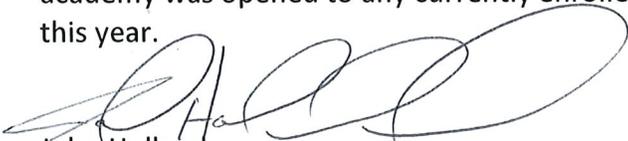
Medical/Rescue.....	225
Hostile Fires (Structure, Vehicle, Brush, and Other)	07
Hazardous Conditions	14
Public Service / Other	51
Uncategorized.....	03
Mutual Aid –	
• Given	02
• Received	00

Activity Summary

EMS –	
Hospital Transports by the Fire Department.	09
Public Service Events / Standby	05
Home Fire Safety Inspections	03
Public Service Events / Standby	03
Child seat inspection.....	01

Total Calls for Service: 300
YTD Total Run Volume: 1,941

Additional Comments: The week of August 12th-16th we'll be holding our 2nd Youth Fire Academy. The academy was opened to any currently enrolled 7th or 8th grader student. Our registration was full again this year.


John Holland
Fire Chief

Trustees

Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

Community Development Department Report

August 2024

Dear Township Board Members,

During the month of July, the department continued our work on several projects. The design work on the Civic Center project is complete and the bid packages are out. Work continues on the Elizabeth Lake Road reconstruction project, and completion is still expected this fall. The Triangle Trail project is now complete, and restoration work is wrapping up. A preconstruction meeting for Stanley Park is anticipated for later this month. Finally, we are working on the annual update to the CIP (Capital Improvement Plan) which we intend to complete in September.

There are several active projects in process. The Comfort Care development (Union Lake Rd & Carpathian) is working on a revised Final Site Plan and Development Agreement. The Gateway Crossing project (SW corner of M-59 & Bogie Lake Rd) is working on their Final Site Plan. The Panera Restaurant (Meijer out lot, east of the gas station) is working on their Final Site Plan and Development Agreement. The Ginko self-storage project (White Lake Rd. & Coastal Pkwy.) is working on their Final Site Plan. Culver's (Meijer out lot, east of the gas station) just received Preliminary Site Plan approval and is now working on their Final Site Plan. The Avalon project (M-59 & Hill Rd) has submitted their Final Site Plan for review. The Lasting Impressions project (White Lake Rd. & Coastal Pkwy.) is working on their Preliminary Site Plan and Special Land Use application and will likely head to the Planning Commission in September. River Caddis has submitted a site plan for a multiple-family project on their site at Elizabeth Lake Rd. & M-59. Finally, Walmart (M-59 & Fisk Rd) has applied for an interior remodel that includes a small addition (adjacent to the garden center) on the west side of their building.

As for approved projects, the Preserve at Hidden Lake, Trailside Meadow, and Eagles Landing projects continue construction on their projects. The West Valley and Lakepointe projects (near Bocovina on either side of Union Lake Rd.) have not started construction yet, but plan to this fall. The Oakland Harvesters (White Lake Rd. & Coastal Pkwy.) project held their preconstruction meeting and is hopefully moving ahead with site work this summer. Alpine Valley ski resort's small additional to their existing lodge and that was approved but construction is not yet underway.

Please find included in this monthly report the permit and inspection activity report for the Building Division. If you have any questions or require any additional information from the Community Development Department, please contact us.

Respectfully,


Sean O'Neil

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

Parks and Recreation August 2024

Dear Township Board,

As you know, the Parks and Recreational Millage Renewal Proposition passed on August 6th. As a result, the millage rate will increase by reverting back to its pre-2018 level of 0.30 mills for the next ten years. Funds collected from the new millage will primarily be utilized in funding parks and recreation projects outlined in the 2025-2030 Capital Improvement Plan, and a portion will go to the Township’s Corridor Improvement Authority. This millage will raise an estimated \$474,920 in the first year it is levied.

The last month has been productive. First of all, the restoration work on the Triangle Trail was completed during this period. Secondly, the construction contract for the Stanley Park Phase I improvements was finalized and we anticipate that a pre-construction meeting with STE Construction will take place in late August.

Last month’s Rockin’ the Farm event was successful and well attended. Our next major event, Trunk or Treat, is tentatively scheduled for Saturday, October 19th. Last year’s Trunk of Treat featured 47 cars distributing candy, kid games in the barn, and free donuts, cider, and hot dogs provided by Ruggles Farm and the White Lake Historical Society. This extremely popular event drew over 1,500 residents last year, and we anticipate that this year’s crowd will be at least that large.

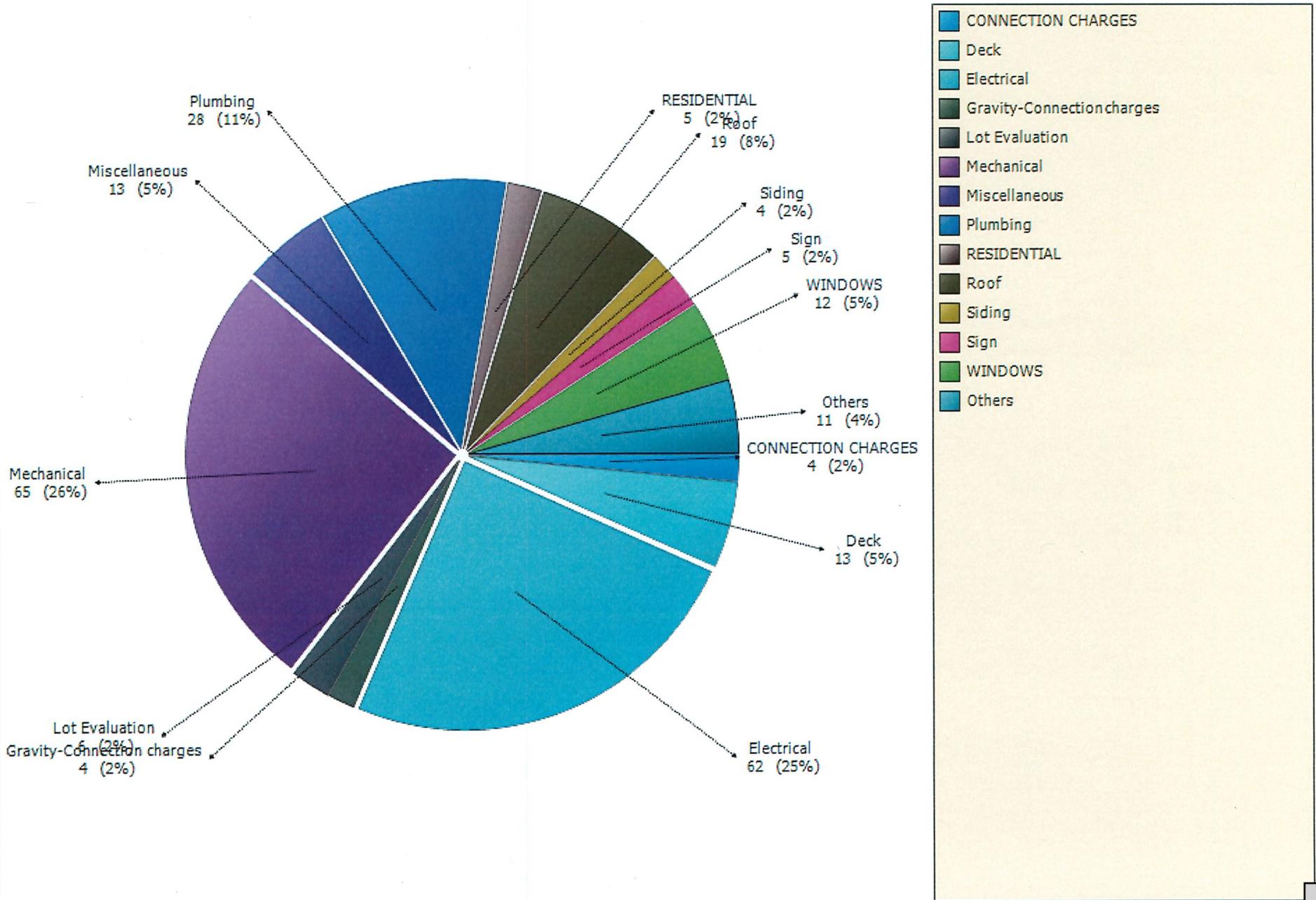
Of course, please contact me if you have any questions or comments.

Andrew Littman
Staff Planner

Breakdown of Permits by Category

Current Chart Filter: All Records, Permit.DateIssued Between 7/1/2024 12:00:00 AM AND 7/31/2024 11:59:59 PM

Permits by Category



WHITE LAKE TOWNSHIP TREASURER'S REPORT
GENERAL FUND
ENDING JULY 31, 2024

BALANCE AS OF JUNE 30, 2024	<u>29,291,506.85</u>
White Lake Water	0.00
Building:	
Building Licenses	300.00
Building Permits	23,940.00
Electrical Licenses	260.00
Electrical Permits	7,569.00
Maintenance and Supplies	
Mechanical Licenses	60.00
Mechanical Permits	19,181.40
Rental Fee/Misc. Revenue	4,500.00
Plumbing Licenses	4.00
Plumbing Permits	5,225.00
Fire Safety Reviews	0.00
Accrued Salaries	
Admin Fees	372.16
Cash Bonds	
CDBG	5,567.00
Cemetery Lots	
Conference & Meetings	
Delinquent Property Tax	
Dog License	29.00
Dental Ins / Optical Ins	
Due To Others	4,154.00
Duplicating & Photostat/Maps	
Deferred Inflows	
Election Reimbursement-Schools	34,975.35
Fees & Per Diem	320.95
Grinder Pump Inventory	7,443.26
Gravesite Openings/ Closings	
Intergovernmental Revenues	
Metro Act Revenue	
Miscellaneous	
Monument Foundations/Brick Pav	
NSF Fees	
OC Enhanced Revenue	2,068.93
Ordinance Fines	365.00
Other Sundry/Permits	
Opioid Settlement Revenue	9,264.32
Professional Fees	
Planning Department Reviews	250.00
Platting/Lot Split	220.00
Legal Fees	
Payroll Service	
PRE Denials	
Road Construction/Tri-Party	
Rent Community Hall & Fields	75.00
Rent- Ormond Tower	1,291.71
Reimbursements - Election	
Senior Activities	1,951.00
Senior Center Revenue	426.00
Solicitor Permits	
State Shared Revenue	
Telephone	281.55
Trailer Park Tax	851.00
Unallocated Miscellaneous	155.00
Zoning Board of Appeals	385.00
CASH RECEIPTS - Subtotal	<u>131,485.63</u>
Fire Cash Receipts	5,250.61
Police Cash Receipts	36,181.15
Due From Other Funds	2,812,881.90
American Rescue Plan Act	
Voided Checks	619.90
July Interest	73,664.53
TOTAL RECEIPTS	<u>3,060,083.72</u>
	<u>3,060,083.72</u>
Cash Disbursements	32,351,590.57
Transfers In	(4,557,315.82)
Transfers Out	217,427.95
NSF/Deposit Adjustment/Bank Service Chg	0.00
Balance as of July 31, 2024	<u>28,011,702.70</u>

RECONCILIATION OF CASH ON HAND

Checking	664,875.53
Investment	27,346,827.17
Balance as of July 31, 2024	<u>28,011,702.70</u>

**WHITE LAKE TOWNSHIP TREASURER'S REPORT
OTHER FUNDS
July 31, 2024**

Section 6, Item H.

CONSTRUCTION	Checking		\$	100.00
DRUG FORFEITURE	Savings		\$	140,374.38
	Interest	\$		2.50
EMPLOYEE FLEXIBLE SPENDING	Checking		\$	17,723.69
IMPROVEMENT REVOLVING FUND	Savings (3912)		\$	2,257.85
	Interest	\$		7.91
	OC Pool (77807)		\$	3,452,208.61
	Interest	\$		7,493.84
	Checking (3306)		\$	370,745.71
	JPM Securities (05602)		\$	7,711,570.25
	Interest	\$		48,684.03
LIBRARY DEBT	Savings		\$	145,622.76
	Interest	\$		510.47
PARKS & RECREATION	Savings		\$	875,619.42
	Interest	\$		18.33
	OC Pool		\$	3,144,084.60
	Interest	\$		718.96
PUBLIC ACT 188	Checking		\$	39,520.50
	Savings		\$	292,358.18
	Interest	\$		5.20
	OC Pool		\$	251,778.47
	Interest	\$		546.55
SEWER FUND	Checking		\$	351,766.06
SEWER MAINTENANCE	General Savings (3148)		\$	2,143,258.25
	Interest	\$		17,617.55
SPECIAL ASSESSMENTS	Rubbish Savings (1134)		\$	1,170,444.35
	Interest	\$		20.86
	SAD - Non sewer (8959)		\$	220,168.76
	Interest	\$		771.19
T & A ESCROW	Checking		\$	57,091.96
	Savings		\$	831,246.92
	Interest	\$		15.35
	OC Pool		\$	446,260.30
	Interest	\$		968.71
WATER	Operating Checking-HVSB		\$	268,187.85
	Operating MM-HVSB (515)		\$	2,079,174.16
	Interest	\$		696.93
	Water Capital OC Pool		\$	1,960,634.71
	Interest	\$		4,256.02
	Water Capital-Flagstar (7744)		\$	21,769.45
	Interest	\$		76.25
Water Capital-HVSB (309)		\$	1,046,521.59	
	Interest	\$		2,217.36
			\$	27,040,488.78
CURRENT TAX	Checking		\$	1,054,273.89
	CDARS			

Respectfully submitted

\$ 84,628.01 \$ 28,094,762.67

Mike Roman - Treasurer

CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Special Board of Trustees Meeting
July 1, 2024

CALL TO ORDER

Supervisor Kowall called the meeting to order at 5:30 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer
Liz Smith, Trustee
Andrea Voorheis, Trustee
Michael Powell, Trustee

Absent:

Scott Ruggles, Trustee

Also Present:

Aaron Phillips, McCarthy & Smith
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was **MOVED** by Supervisor Kowall, seconded by Trustee Smith to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

None.

NEW BUSINESS

A. REVIEW AND APPROVAL REQUEST FOR CIVIC CENTER SITE DEVELOPMENT - BID PACKAGE #2

The bid package will include site work, asphalt work, segmented retaining walls, carpentry & general trades, fencing and gates. The bid package #2 was a complication of bids put together from different contractors. The Construction Committee agreed with Mr. Phillip's recommendation.

Trustee Powell stated that the segmental retaining wall's contractor offered a voluntary alternate that could potentially to save costs upwards of \$20,000.00-\$40,000.00.

Clerk Noble thanked Mr. Phillips for diligently looking out for the Township's best interests.

Aaron Phillips, McCarthy & Smith, said Bid Package #2 will incorporate the buildings, and the bid opening for the buildings will be held on August 1st, 2024 at 10:00 A.M. There was a great bid turnout of bidders so far. The landscaping bid is extended due to no bidders. He thanked the Building Committee for their efforts on the post bid interviews. The contract award of \$4,625.098 will be awarded this evening. The intended target start date of the site work is September 9, 2024. Bid Package #2 included raw construction costs. Bid Package #3 will include the total project costs.

Trustee Powell asked Mr. Phillips if there was room for modification on the landscaping bid in order to lower costs. Mr. Phillips said cost engineering could be applied after bids for landscaping were received.

Steve Anderson, 8600 Newport, asked if value engineering was applied to the retaining wall. Trustee Powell said yes, and it would allow the contractor to opt for a design alternative, and the design engineer will evaluate the material integrity.

Mr. Anderson asked if there will be penalties if timelines are not achieved within the total project timeline. Mr. Phillips said a milestone timeline was created for the bidders to review before bid submittal, but there aren't any penalties for late deliveries, and there aren't bonuses for early delivery either.

**It was MOVED by Supervisor Kowall, seconded by Trustee Powell, to approve the bid package #2 utilities and site work presented July 1, 2024 in the amount of \$4,625,098.00. The motion carried with a roll call vote:
(Smith/yes, Voorheis/yes, Roman/yes, Powell/yes, Noble/yes, Kowall/yes).**

ADJOURNMENT

It was MOVED by Supervisor Kowall, seconded by Clerk Noble at 5:48 P.M. The motion carried with a voice vote: (6 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk MiPMC
Charter Township of White Lake

**CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Special Board of Trustees Meeting
July 10, 2024**

CALL TO ORDER

Supervisor Kowall called the meeting to order at 5:00 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

- Rik Kowall, Supervisor
- Anthony L. Noble, Clerk
- Mike Roman, Treasurer
- Scott Ruggles, Trustee
- Liz Smith, Trustee
- Andrea Voorheis, Trustee
- Michael Powell, Trustee

Also Present:

Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was **MOVED** by Clerk Noble, seconded by Trustee Voorheis to approve the agenda as presented. The motion carried with a voice vote: (7 yes votes).

PUBLIC COMMENT

None.

NEW BUSINESS

- A. RESOLUTION #24-035; APPROVING A SPECIAL LIQUOR LICENSE APPLICATION FOR ROCKIN THE FARM EVENT ON JULY 20, 2024 @ FISK FARM

It was **MOVED** by Treasurer Roman, seconded by Trustee Smith, to approve Resolution #24-035; a special Liquor License Application for Rockin the Farm event on July 20, 2024 at Fisk Farm. The motion carried with a voice vote: (7 yes votes).

ADJOURNMENT

It was **MOVED** by Clerk Noble, seconded by Trustee Voorheis to adjourn at 5:03 P.M. The motion carried with a voice vote: (7 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk MiPMC
Charter Township of White Lake

**CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Regular Board of Trustees Meeting
July 16, 2024**

CALL TO ORDER

Supervisor Kowall called the meeting to order at 6:30 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer
Scott Ruggles, Trustee
Liz Smith, Trustee
Andrea Voorheis, Trustee

Absent:

Michael Powell, Trustee

Also Present:

Trish Pergament, Deputy Supervisor
David Hieber, Township Assessor
John Holland, Fire Chief
Lisa Hamameh, Township Attorney
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was **MOVED** by Clerk Noble, seconded by Trustee Ruggles to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

Anthony Dubay, 7785 Haley Road, requested soccer nets at Hawley Park.

CONSENT AGENDA

- A. REVENUE AND EXPENSES
- B. CHECK DISBURSEMENTS
- C. DEPARTMENT REPORT - POLICE
- D. DEPARTMENT REPORT - FIRE
- E. DEPARTMENT REPORT - COMMUNITY DEVELOPMENT
- F. DEPARTMENT REPORT - TREASURER

It was **MOVED** by Trustee Ruggles, seconded by Trustee Voorheis to approve the consent agenda as presented. The motion carried with a voice vote: (6 yes votes).

MINUTES

A. APPROVAL OF MINUTES - REGULAR BOARD MEETING, JUNE 18, 2024

It was **MOVED** by Treasurer Roman, seconded by Clerk Noble to approve regular board meeting minutes of June 18, 2024 as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC HEARINGS

A. PUBLIC HEARING TO HEAR COMMENT REGARDING THE ESTABLISHMENT OF THE SPECIAL ASSESSMENT DISTRICT FOR BURGESS BAY WEED CONTROL AND LAKE IMPROVEMENT 2024-2028

It was **MOVED** by Supervisor Kowall, seconded by Treasurer Roman to open the public hearing to hear comment regarding the establishment of the Special Assessment District for Burgess Bay weed control and lake improvement 2024-2028 at 6:34 P.M. The motion carried with a roll call vote: (6 yes votes). (Kowall/yes, Smith/yes, Voorheis/yes, Ruggles/yes, Roman/yes, Noble/yes).

Seeing none, Supervisor Kowall **MOVED** to close the public hearing at 6:34 P.M. Treasurer Roman seconded, and the motion carried with a voice vote: (6 yes votes).

B. PUBLIC HEARING TO HEAR COMMENTS ON THE ESTABLISHMENT OF A SPECIAL ASSESSMENT DISTRICT FOR MEADOW LANE ROAD MAINTENANCE

It was **MOVED** by Supervisor Kowall, seconded by Clerk Noble to open the public hearing to hear comments on the establishment of Special Assessment District for Meadow Lane Road Maintenance at 6:35 P.M. The motion carried with a roll call vote: (6 yes votes) (Kowall/yes, Roman/yes, Smith/yes, Voorheis/yes, Ruggles/yes, Noble/yes).

Seeing none, Supervisor Kowall **MOVED** to close the public hearing at 6:35 P.M., Seconded by Treasurer Roman. The motion carried with a voice vote: (6 yes votes).

NEW BUSINESS

A. FIRST READING; REZONING REQUEST FOR PARCEL 12-16-200-030 HALEY ROAD

Assessor Hieber confirmed the parcel was split zoned Agricultural and Suburban Farm. He advised the applicant is looking to rezoning the entire parcel to Suburban Farm. Staff and consultant recommended the approval of the rezoning request.

Supervisor Kowall explained the differences between Agricultural and Suburban Farm zoning. He added the current request is consistent with the Master Plan.

Trustee Ruggles stated he is the Planning Commission liaison and read through the Planning Commission minutes. The Planning Commission unanimously recommended approval of the request and he agreed with the Planning Commission's recommendation.

Trustee Voorheis stated she agrees with Trustee Ruggles.

It was MOVED by Supervisor Kowall, seconded by Clerk Noble, to move the rezoning request for parcel 12-16-200-030 Haley Road to second reading. The motion carried with a voice vote: (6 yes votes).

B. RESOLUTION #24-034; TENTATIVELY DECLARING ITS INTENTION TO ESTABLISH A SPECIAL ASSESSMENT DISTRICT TO BE KNOWN AS EMERGENCY SEWER CONNECTIONS 2024-02

Supervisor Kowall explained how for the last several years, the Board has set up a program to allow special assessment districts for sewers in a cost-efficient manner.

Assessor Hieber explained the three-resolution process and said tonight's resolution will be the first of those steps.

It was MOVED by Treasurer Roman, seconded by Clerk Noble to approve Resolution #24-034; Tentatively Declaring Its Intention to Establish a Special Assessment District to Be Known as Emergency Sewer Connections 2024-02. The motion carried with a voice vote: (6 yes votes).

Supervisor Kowall recognized a member of the public who requested to speak on an earlier item. (Item A., Haley Road Rezoning Request).

Josh Chiatovich, White Lake farm owner of the 48.5 acres at Hitchcock/Hailey, 563 Josephine St., Detroit. wanted to make the Board aware there is a document with the owner of the property up for rezoning through Oakland County Probate Court that limits the property from being split more than three times. He advised the Board that there is no intention to allow the property to be split in five pieces because they wish to preserve the nature of the property. He stated he brought copies of the agreement for the Board if they wished to review.

Supervisor Kowall advised Mr. Chiatovich that tonight's Board meeting is not the appropriate place to submit documents and he reminded that the Board is not making the decision to split the property. Supervisor Kowall added once the zoning has been established Mr. Chiatovich should submit his documents through the Assessor and the County.

C. RESOLUTION #24-036; TO APPROVE INTERGOVERNMENTAL AGREEMENT BETWEEN THE CHARTER TOWNSHIP OF WHITE LAKE AND THE CHARTER TOWNSHIP OF WATERFORD FOR THE CONNECTION OF 1401 S. WILLIAMS LAKE ROAD TO AND UTILIZATION OF THE WHITE LAKE WATER SYSTEM

Supervisor Kowall stated on border communities it was common to allow access to utilities between municipalities.

It was MOVED by Trustee Ruggles, seconded by Trustee Smith, to approve Resolution #24-036; To Approve Intergovernmental Agreement Between the Charter Township of White Lake and The Charter Township of Waterford for The Connection Of 1401 S. Williams Lake Road to And Utilization of The White Lake Water System. The motion carried with a voice vote: (6 yes votes).

D. DISCUSSION AND PRESENTATION - BS&A CLOUD

Trish Pergament, Deputy Supervisor, was present to give a presentation regarding the transition of BS&A.net to BS&A Cloud. The Township currently uses the .net platform of BS&A, but it is being phased out and will not receive future support. BS&A is using a cloud-based platform, and will eliminate the need for the BS&A server. The issue is determining when to move to the Cloud. The Cloud platform would require a six-to-nine-month implementation period. The implementation will need to begin now to be able to have the Cloud ready for the tax season.

Supervisor Kowall said Oakland County could be moving away from the BS&A system.

Assessor Hieber said he tried to get an answer from the County regarding future BS&A support, but the County was unresponsive. He said he felt the ideal time to make the conversion to the new system would be sooner than later to support residents during the winter tax season.

Deputy Pergament said the current .NET system would run until the Cloud system is fully implemented and operational. She said she would look in to a multi-year agreement as opposed to an annual agreement. Significant cost increases are to be expected as well.

E. REQUEST TO APPROVE FIRE DEPARTMENT PURCHASE OF TURNOUT GEAR

Chief Holland said the request is for six sets of turnout gear to be purchased. There is a replacement schedule for the gear and he did budget for turnout gear this year but he wanted to clarify that last year's purchase is being charged to this year's budget.

Trustee Ruggles asked Chief Holland if the brands were switched due to cost. Chief Holland said partially, but the firefighters liked the fit of the gear as well.

It was MOVED by Clerk Noble, seconded by Trustee Smith, to approve the Fire Department purchase of turnout gear from the Phoenix Safety Outfitters, in the amount of \$25,182.00. The motion carried with a voice vote:(6 yes votes).

F. REQUEST TO APPROVE FIRE DEPARTMENT SALE OF 1997 PIERCE DASH TANKER TRUCK

Chief Holland said the request has been discussed previously. The truck is the oldest truck in the fleet and has not made a call for service in over a year. The truck is expensive to maintain. He is looking to list the truck for sale, and would bring the sale back to the Board for approval.

Clerk Noble asked Chief Holland about the turnaround time to order a tanker truck. Chief Holland answered about four years.

Clerk Noble said he is in favor of keeping this truck while the Township waited for a new one.

Chief Holland said the Township is currently operating with one tanker, and with the new mutual aid system, requests for mutual aid are answered quickly. He said the Township relies on mutual aid tankers, and felt confident the mutual aid will continue. Chief Holland added the mechanic that repaired the truck recommended to remove the truck from the fleet. Springfield and Independence Townships have tanker trucks to assist in an emergency. If the remaining tanker is out of service, the Fire Department would rely on mutual aid for water supply only. The Township would still have the engines that carried 1,000 gallons of water each.

Treasurer Roman asked Chief Holland how long it took for another community to provide a tanker. Chief Holland said that it depends on the situation. There are different variables that affect the response time.

Chief Holland stated he believes the 1997 Pierce tanker is worth around \$70,000.00.

Treasurer Roman suggested keeping the tanker and putting money into the tanker's maintenance.

Chief Holland said he did not want to replace the tanker, and he felt the Township would only need one Tanker. The old tanker has corrosion issues and the frame is corroding away.

Trustee Smith said she puts her trust in Chief Holland, and if he feels the tanker is a money pit and unsafe, she would rely on his expertise. The Board could reconsider the issue if there was an offer to purchase.

Trustee Voorheis agrees with Trustee Smith's statements, and said she would take Chief Holland's word on the state of the tanker.

Treasurer Roman said he thought the maintenance costs would have been higher for the tanker.

Chief Holland said the corrosion repair would be around \$40,000.00, and he has a list of other items that the tanker needed to have repaired.

Supervisor Kowall asked Chief Holland to bring back a list of all the repairs needed to the truck and the costs of the repairs, to get five more years out of the tanker.

Chief Holland stated he did not believe the Township needed two tankers.

Supervisor Kowall added communities were at all four corners of the Township to assist in mutual aid.

It was MOVED by Supervisor Kowall, seconded by Treasurer Roman to table Fire Department Sale of 1997 Pierce Dash Tanker Truck until next month. The motion carried with a voice vote: (6 yes votes).

Chief Holland indicated he would follow up with the mechanic at Emergency Vehicles Plus to discuss the potential sale price of the tanker.

F. REQUEST TO APPROVE VEHICLE PURCHASE FOR DPS

Supervisor Kowall said a good deal was found for a 2023 Dodge Ram 1500 pickup. The DPS Advisory Committee had reviewed the specs for the vehicle. The vehicle would be Director Potter's work vehicle.

Treasurer Roman said Director Potter is a working Director, and would need the truck to work on emergency calls.

Trustee Smith asked Supervisor if Director Potter could use the other DPS vehicles. Supervisor Kowall said no, the plow truck would not travel long distance and the other DPS vehicles were utilized daily.

Trustee Voorheis asked about the trucks labeling. Supervisor Kowall indicated the vehicle should be identified as a Township vehicle. Treasurer Roman agreed.

It was MOVED by Trustee Voorheis, seconded by Clerk Noble, to approve the purchase of the 2023 Dodge Ram for DPS in the amount of \$46,299.00. The motion carried with a voice vote: (6 yes votes).

G. RESOLUTION #24-037; ACCEPTING OFFER TO PURCHASE VACANT PARCEL ON GALE ISLAND IN WHITE LAKE TOWNSHIP

Treasurer Roman said the remaining lot received an offer of \$65,000.00 and the Township's realtor thought the offer was good. It is the only offer received for the lot.

It was MOVED by Treasurer Roman, seconded by Supervisor Kowall, to approve Resolution #24-037, Accepting Offer to Purchase Vacant Parcel on Gale Island in White Lake Township Subject to Attorney Review and authorized the Supervisor and Clerk to sign any required documents, and the proceeds of the sale go to the Improvement Revolving Fund. The motion carried with a voice vote: (6 yes votes).

FYI - CIVIC CENTER UPDATE

Supervisor Kowall said the land balancing contract was awarded; earth moving would begin this fall. There were meetings recently regarding the security and IT in the buildings. The bidding was open for the buildings, and bid opening would be August 1, 2024. The sewer taps were installed along the reconstruction site of Elizabeth Lake Road. The road will be cut and balanced shortly. Stanley Park will

begin construction sometime in the fall, the contract agreement had not been signed yet. The Triangle Trail was almost completed; a ribbon cutting will follow.

TRUSTEE COMMENTS

Trustee Voorheis welcomed Smart Bus to the Township. She reminded the audience that WOTA was also available. She welcomed everyone to join in at the fun at Rockin' the Farm this Saturday, July 20.

Treasurer Roman thanked Assessor Hieber and Andrea Grossi for their work on the Gale Island offer. He reminded the residents that tax bills could be provided in the Treasury Department, and are due without penalty until September 14, 2024.

Clerk Noble thanked Assessor Hieber for his work today, along with Deputy Pergament for her work on the BS&A contract. Ruggles Farm Stands opened today. Election training was moving forward

Trustee Ruggles participated in the Police Foundation gold outing and had a great time. He would be attending Rockin' the Farm. He complimented Assessor Hieber on the great job he is doing.

Trustee Smith said Walk for the Red is this Saturday and Sunday at the White-Water Carwash, from 10 a.m. to 3 p.m. She would be attending Rockin' the Farm as well; entry is \$5 for adults. The library has their summer reading program available for all ages, and they have a summer concert series. She encouraged everyone to vote in the August 6 election.

Supervisor Kowall commended Assessor Hieber on his work, and said he appreciated having him here. He appreciated Chief Holland's efforts as well. He gave a statement regarding the recent political violence, and encouraged civility among all.

ADJOURNMENT

**It was MOVED by Supervisor Kowall, seconded by Clerk Noble, to adjourn at 8:00 P.M.
The motion carried with a voice vote: (6 yes votes).**

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk
Charter Township of White Lake

Assessing Department

Memo

To: Township Board
From: David Hieber, Assessor
Date: August 20, 2024
Re: Hearing and Resolution #24-040 for Establishment of the Emergency Sewer Connections 2024-02 SAD

Comments: As you are aware, the Establishment of the Emergency Sewer Connections (SAD) requires a public hearing. The public hearing will allow residents the opportunity to express objections, concerns or support to the Township Board. The proposed special assessment district includes three properties that have been connected to the sanitary sewer system. All systems have been installed; therefore, actual costs have been used.

This public hearing was scheduled by the Township Board on 16th day of July, 2024 to take place on August 20, 2024. The attached notice of public hearing was mailed to the property owners on 8/8/24 and published in the 8/6/24 and 8/13/24 editions of the Oakland County Legal News.

A request to approve the resolution to establish the district for the Emergency Sewer Connections 2024-02 will immediately follow this hearing.

If you should have any questions or concerns regarding this information, please contact me at (248) 698-3300 ext. 117.



CHARTER TOWNSHIP OF WHITE LAKE
COUNTY OF OAKLAND, MICHIGAN

NOTICE OF PUBLIC HEARING
EMERGENCY SEWER CONNECTIONS 2024-02

NOTICE IS HEREBY GIVEN that the Township Board of the Charter Township of White Lake, Oakland County, Michigan, has determined to undertake certain improvements to the sanitary sewer system (the "Improvements") located within a special assessment district tentatively designated as Emergency Sewer Connections 2024-02 (the "District"), pursuant to Act 188 of the Public Acts of Michigan of 1954, MCL 41.721 *et seq.*, as amended ("Act 188").

DESCRIPTION OF PROPOSED SPECIAL ASSESSMENT DISTRICT

The Township Board has tentatively determined that all or part of the cost of said Improvements shall be specially assessed against each of the following described lots and parcels of land benefited by the Improvements and which together comprise the following proposed special assessment district:

EMERGENCY SEWER CONNECTIONS 2024-02

Address and parcels numbered:

Address	Parcel No.	Owner
215 Teggerdine Rd	Y -12-22-377-011	Howard G. Bliss Jr & Dori L Lund
1148 Castlewood Dr	Y -12-34-329-007	Gerald J Hubbard
11071 Beryl Dr	Y -12-33-278-010	David & Jeanine M Scalpone

TAKE NOTICE that the Township Board of the Charter Township of White Lake will hold a public hearing at a regular meeting of the Township Board on **August 20, 2024 at 6:30 p.m.**, at the White Lake Township Annex, 7527 Highland Road, White Lake, Michigan 48383 to hear and consider any objections to the proposed Improvements, the District and all other matters relating to said Improvements and the District. Persons needing assistance or aid to attend the meeting should contact the White Lake Clerk's Office by writing or calling 248-698-3300 ext. 7 at least 5 days prior to the meeting.

TAKE FURTHER NOTICE that the Township Board of the Charter Township of White Lake has initiated these special assessment proceedings pursuant to Section 3 of Act 188, MCL 41.723, on the Township Board's own initiative, and that the Township Board may proceed with the proposed Improvements unless written objections to the Improvements are filed with the Township Board at or before the public hearing by the record owners of land constituting more than 20% of the total land area in the proposed special assessment district. MCL 41.723(1)(a).

TAKE FURTHER NOTICE that preliminary plans and estimates of cost for the Improvements are on file with the Township Clerk for public examination. Periodic redetermination of cost may be necessary without a change in the special assessment district. In such cases, redeterminations may be made without further notice to record owners or parties in interest in the property.

This Notice was authorized by the Township Board of the Charter Township of White Lake.

Anthony L. Noble, Clerk
Charter Township of White Lake

RESOLUTION OF THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF WHITE LAKE TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO PAY COSTS ASSOCIATED THEREWITH AND TO APPROVE THE PLANS AND ESTIMATES OF COSTS THEREFOR TO BE KNOWN AS: EMERGENCY SEWER CONNECTIONS 2024-02

Resolution #24-040

At a regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, Michigan, and (the Township") held on the 20th day of August, 2024, at the Township Annex, 7527 Highland Rd, White Lake, MI 48383.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

WHEREAS, the Township Board of the Charter Township of White Lake, Oakland County, Michigan, has tentatively declared its intention to finance the Emergency Sewer Connections 2024-02 (the "Improvement"), and has tentatively designated a Special Assessment District against which costs of the improvement are to be assessed; and

WHEREAS, after due and legal notice, the Township Board of the Charter Township of White Lake held a public hearing on the 20th day of August, 2024, at 6:30 p.m. for the purpose of receiving comments regarding the Improvements and the Special Assessment District to be established therefor; and

WHEREAS, the Township Board may, pursuant to Act 188 of Public Acts of Michigan of 1954, as amended, revise, correct, amend or change the plans, estimate of cost, or special assessment district; and

NOW, THEREFORE, BE IT RESOLVED THAT:

1. In accordance with the provisions of Michigan Public Act 359 of 1947, as amended, and Michigan Public Act 188 of 1954, as amended, the Township Board of the Charter Township of White Lake hereby determines that financing the Improvement is reasonable, necessary and in the interest of the public health, safety and welfare of the inhabitants of the Charter Township of White Lake and shall be done.
2. The special assessment district known as the Emergency Sewer Connections 2024-02 is hereby determined to consist of the parcels of land attached hereto as Exhibit A.

3. The Township Board of the Charter Township of White Lake hereby approves the plans, specifications and estimates of costs in the sum of Sixty-Six Thousand Twenty-Two dollars and Ninety-Six cents (\$66,022.96) for the Emergency Sewer Connections 2024-02. The costs will be spread against the Special Assessment District hereby established as shown in Exhibit A.
4. The Township Board of the Charter Township of White Lake hereby establishes a Special Assessment District for the purpose set forth and names the Special Assessment District "Emergency Sewer Connections 2024-02." It includes the property described in Exhibit A attached hereto.
5. The term of the Special Assessment District shall be ten (10) years or at such earlier time as the Township Board may deem prudent.
6. The nature of the Improvements are such that a periodic redetermination of costs without a change in the special assessment district boundaries may be necessary based upon as-built cost information, verification of publication costs and legal expenses.
7. Periodic redetermination of costs, if any, will be made on 17th day of September, 2024 without further notice to record owners or parties in interest in the properties within the Emergency Sewer Connections 2024-02 Special Assessment District; however, if an actual incremental cost increase exceeds the estimated cost by 10% or more, notice and hearing will be given as provided in Public Act 188 of 1854.
8. The Township Supervisor is hereby directed, in accordance with Michigan Public Act 188 of 1954, as amended, to make a Special Assessment Roll in which shall be entered and described all of the parcels of land to be assessed, with the names of the respective owners thereof, if known, and the total amount to be assessed against each parcel of land, which amount shall be the relative portion of the whole sum to be levied against all parcels of land in the Special Assessment District as the benefit to the parcel of land bears to the total benefit to all parcels of land in the Special Assessment District.
9. When the Township Supervisor completes the Special Assessment Roll, he shall affix thereto his certificate stating that it was made pursuant to this resolution of the Township Board of the Charter Township of White Lake that in making the Special Assessment Roll he has, according to his best judgment, conformed in all respects to the directions contained in this resolution and to the statutes of this state.
10. The Township Supervisor shall file the Special Assessment Roll, with his certificate attached thereto, with the Township Clerk, who shall then present the same to the Township Board of the Charter Township of White Lake.
11. The hearing on the Special Assessment Roll shall be held on the 17th day of September, 2024, at 6:30 p.m. at the Township Annex, located at 7527 Highland Road, White Lake Township,

Michigan 48383. The Township Clerk is hereby directed to give notice of the hearing as required by law.

- 12. In order to appeal the amount of any special assessment, affected owners or parties with an interest must protest the proposed assessment. This may be done by filing a protest by the hearing date, by letter addressed to the Township Clerk at the above address or by protesting at the hearing. An owner or party having an interest in the real property affected by the special assessment may file a written appeal of the special assessment with the Michigan Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment is protested at the hearing held for the purpose of confirming the special assessment roll.
- 13. The names and addresses of those persons present at the Public Hearing who protested the assessment, if any, are set forth in attached Exhibit B.

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN)
) ss.
 COUNTY OF OAKLAND)

I, the undersigned duly qualified Township Clerk of the Charter Township of White Lake, Oakland County, Michigan, do hereby certify the foregoing is a true and complete copy of the proceedings taken by the Township Board of the Charter Township of White Lake at a meeting held on the 20th day of August, 2024.

CHARTER TOWNSHIP OF WHITE LAKE

ANTHONY L NOBLE, Clerk
 Charter Township of White Lake
 Dated: August 20, 2024

EXHIBIT A

Y -12-22-377-011	215 Teggerdine Rd	\$22,664.43	Howard G. Bliss Jr & Dori L Lund
Y -12-34-329-007	1148 Castlewood Dr	\$22,681.66	Gerald J Hubbard
Y -12-33-278-010	11071 Beryl Dr	\$20,676.87	David & Jeanine M Scalpone

EXHIBIT B



POLICE DEPARTMENT

CHARTER TOWNSHIP OF WHITE LAKE

DANIEL T. KELLER
CHIEF OF POLICE

August 12, 2024

Rik Kowall, Township Supervisor
White Lake Township

RE: LAKES AREA CO-RESPONDER PROGRAM

In the year 2020, as was the case nation-wide, the White Lake Township Police Department began to notice an uptick in mental health related calls-for-service. During the time period between June, 2019 and June, 2020 (COVID onset), the White Lake Township Police Department responded to nine (9) attempt suicides, two-hundred-eighteen (218) family trouble incidents, sixty-eight (68) mental health related calls, twenty (20) naloxone administered incidents, five-hundred-sixty-three (563) welfare checks, and three (3) drug overdose related calls-for-service. And, in total, members of the White Lake Township Police Department responded to one-thousand twenty-four (1,024) verified offenses specifically related to mental health issues, including family trouble incidents, mental health calls, walkaways, Narcan administered calls, overdoses, suicides, welfare checks, and domestic violence calls-for-service. As a result of the high number of calls related to mental health and substance abuse issues, the White Lake Township Police Department began a police/mental health collaboration with Common Ground of Oakland County. According to an article published by NPR in 2020, it was estimated that at least 20% of police calls-for-service involved a mental health or substance use crisis. Also, in a nationwide survey of more than 2,400 senior law enforcement officials conducted by the Naval Postgraduate School, around 84% of senior law enforcement officials said mental health related calls have increased in their careers, and 63% said the amount of time their department spends on mental illness calls has also increased. More than half of those surveyed reported the increased time is due to the inability to refer people to needed treatment. Additionally, the American Psychological Association recognizes that referring individuals to the appropriate mental health resources – and following up on progress-takes time and resources that already strain police, especially those from smaller departments.

The White Lake Township Police/Mental Health collaboration with Common Ground was initiated in order to put people experiencing mental health or substance abuse crisis in direct contact with the services available that could better assist White Lake residents with their specific crisis. As most of those calls-for-service are not criminal in nature, typical police services were not properly equipped to assist those in need. The referral program that was developed with Common Ground, as part of that police/mental health collaboration addressed the inability of police officers to assist individuals with long-term resolution to their personal mental health or substance abuse problems. The goals of the referral program were to reduce repeat calls-for-service to the same individuals, provide thorough and specific crisis related services to community residents, identify and utilize community resources to their fullest, provide a balanced approach to mental health, domestic violence, and suicidal ideation within the community, identify victims of human trafficking, reduce societal expectations of police, reduce departmental liability and use-of-force situations, and to identify police officer mental health issues and prevent officer suicide.

The police/mental health collaboration with Common Ground through the Referral Program established the following Mission Statement:

The White Lake Township Police Department – Mental Health Collaboration seeks to adequately address, reduce, and prevent mental health issues, domestic violence, and suicidal ideation concerns through a direct one-to-one working collaboration between members of the White Lake Township Police Department and mental health experts and suicide specialists.

The proper identification of mental health issues, domestic violence situations, suicidal ideation concerns and direct referral of those issues to established resources can better address and/or solve on-going issues, reduce repeat calls-for-service, and improve the overall quality of life throughout the White Lake Township community.

The initial Referral Program established with Common Ground was funded in full by a Substance Abuse and Mental Health Services Association (SAMHSA) Grant in the amount of \$1 million over a three (3) year period covering the years 2020 – 2023. The grant funds, and time period, have since expired; as Common Ground did not renew the grant upon its expiration. Despite the non-renewal of the SAMSHA grant, Common Ground has continued the referral program; however, the program no longer has a specific full-time employee designated to long-term follow-up with individuals that choose to remain in the referral program. The follow-up program is now filtered through Common Ground’s Crisis Helpline. Common Ground continues its goal of following-up with those individuals that have been referred by members of the White Lake Township Police Department; however, long-term follow-up contact and statistics of those that remain in the program, or begin long-term treatment programs, are no longer maintained. The Referral Program, in its current state, although beneficial to police officers as a means to provide improved services to residents of White Lake Township, no longer provides the access to long-term follow-up and citizen contacts, thus it is short on meeting the initial goals as set by the Mission Statement of the Police/Mental Health Collaboration established in 2020. In order to better serve the citizens of White Lake Township, improve police services, and continue to address the initial goals of that collaboration established with Common Ground, the White Lake Township Police Department has sought out the means to more thoroughly continue, improve, and expand the mental health and substance abuse crisis services experienced on a daily basis by residents of White Lake. In order to continue to meet those goals, the White Lake Township Police Department is seeking to expand its service capabilities through a social clinician Co-Responder Program in conjunction with the Oakland Community Health Network (OCHN).

The Co-Responder Model is deployed utilizing two methods, the Ride-Along Model and the Self-Deployed Model. In each instance, a trained clinician works through the White Lake Township Police Department, providing direct contact with residents in crisis, directly supporting police officers on calls-for-service with in-person assistance, and monitoring residents’ need for long-term mental health and substance abuse services through individual designed follow-up contact with that clinician.

The Ride-Along Model allows for the trained clinician to work directly with an assigned patrol officer during their shifts. Clinicians can complete mental health petitions on scene and immediately when needed, allowing officers the time to return to normal patrol and call-for-service response assignments. In this model, clinicians will have access to Probate Court, are capable of conducting follow-up services with the assistance of a certified police officer, and clinicians will have direct access to police resources, as well as individual health records and can access insurance/Medicare status.

The Self-Deployed Model involves the monitoring of CAD or Radio traffic for self-deployment to scenes requiring the specific assistance of a mental health or substance abuse social clinician. Clinicians can also be dispatched to specific scenes in need of services outside of law enforcement. The presence of a trained clinician on mental health or substance abuse related incidents will reduce the amount of time on calls for officers. Both the Ride-Along and Self-Deployed Model reduce repeat police calls-for-service, and both models increase access to behavioral health system for residents.

The new collaboration with Oakland Community Health Network will provide direct and personalized social clinician services to the citizens of White Lake Township. Due to the wide-ranging issues faced by communities nationwide the new program should be conducted in a collaborative manner, therefore, the clinician will be shared with the Walled Lake, Wolverine Lake, and Wixom communities. For the first year, 100% of the costs for the full-time social services clinician will be covered by the American Rescue Plan Act of 2021 grant, funded through Oakland County Board of Commissioners. In addition, 100% of the costs for the social clinician services will be covered for another three years via the 2023 Coronavirus State and Local Fiscal Recovery Fund Grant Contract, extending fully-funded social clinician services for the citizens of White Lake Township through September, 2027. In addition to the funding benefits, OCHN will be the primary employer of the social clinician, thereby taking on the responsibility of hiring, training, and providing the social clinician with additional fringe benefits. By employing the social services clinician through OCHN, the White Lake Township Police Department is free from the responsibility of hiring the social clinician, although our department will have a say in the final approval of the hired clinician, as well as their scheduling with the White Lake Township Police Department.

Therefore, based on the amount of mental health and substance abuse related calls-for-service, the identified benefits of referring individuals in crisis directly to services that are prepared to identify and assist people with their individual focused crisis issues, the 100% funding of the position for four (4) years, and the opportunity to work directly with a specific social services clinician within the White Lake Township community, I highly recommend the implementation of the Co-Responder Program in collaboration with Oakland Community Health Network.

Sincerely,



Daniel T. Keller
Chief of Police

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: May 10, 2024

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O’Neil, AICP
Community Development Director

SUBJECT: 9101 Highland Rezoning Request
Property described as 9101 Highland Road, identified as parcel number 12-23- 227-003, located south of Highland Road, west of Sunnybeach Boulevard, consisting of approximately 5.02 acres.
Request: Applicant requests to rezone the parcel from R1-C (Single Family Residential) to RB (Restricted Business) or any other appropriate zoning district.
Applicant: Affinity 10 Investments, LLC

The rezoning request will be considered by the Planning Commission at their regular meeting of May 16th, 2024. Draft minutes will be sent to you under separate cover. Please find enclosed the following related documents:

- ❑ Review letters prepared by the Township Staff Planner, Justin Quagliata, dated May 6, 2024.
- ❑ Rezoning application submitted by the applicant.
- ❑ Traffic impact study
- ❑ ALTA survey
- ❑ Site plan
- ❑ Public hearing notice.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O’Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: May 6, 2024

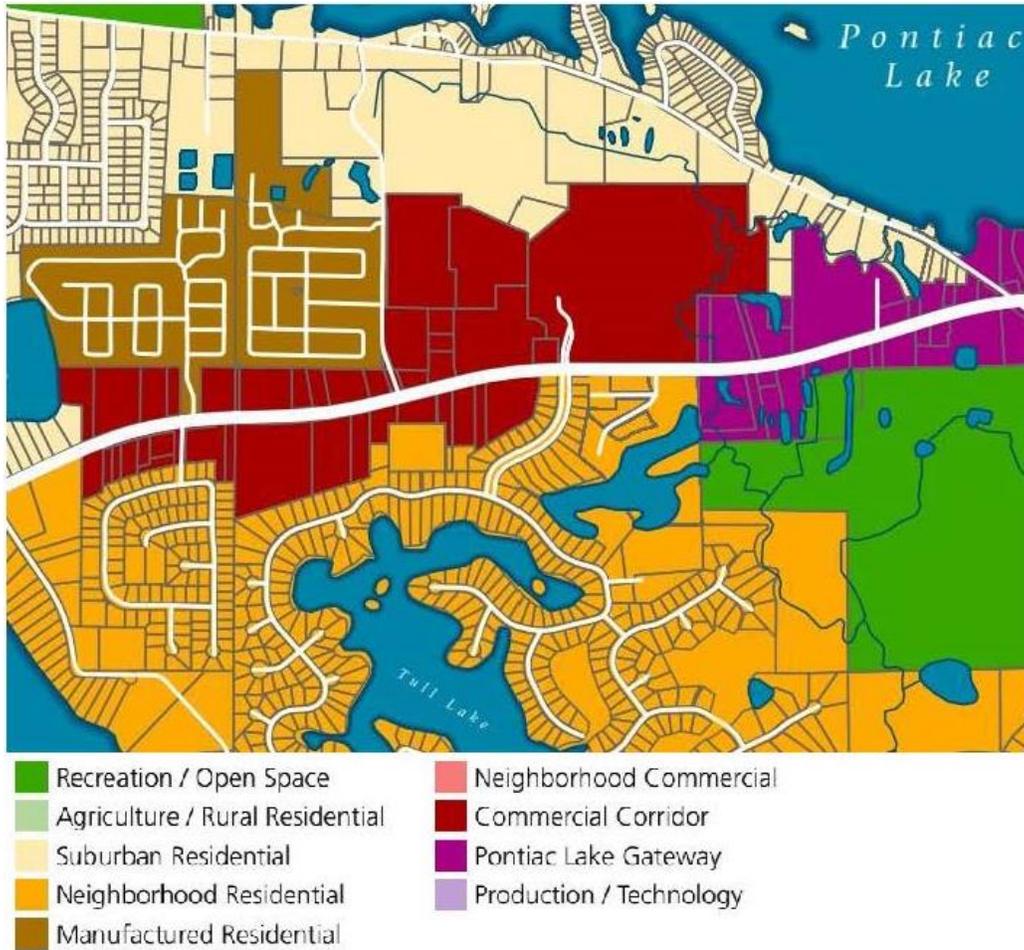
RE: 9101 Highland Road (Parcel Number 12-23-227-003)
Rezoning – Review #2

Affinity 10 Investments, LLC (Tom Hannawa) has requested the rezoning of approximately five acres located at 9101 Highland Road from R1-C (Single-Family Residential) to RB (Restricted Business). The site is located on the south side of Highland Road, west of Sunnybeach Boulevard and contains approximately 458.4 feet of frontage on Highland Road.

At its meeting on March 7, 2024 the Planning Commission recommended denial of a request by the Applicant to rezone the property from R1-C to GB (General Business). The Applicant has submitted a new rezoning application in response to Planning Commissioner and resident feedback received both at the previous public hearing, and at a community meeting the Applicant and development team held with residents last month.

The Future Land Use Map from the 2024 Master Plan designates the subject site in the Commercial Corridor category, which is intended to provide regional goods and services (such as large box-stores and drive-thrus) to residents and non-residents.

FUTURE LAND USE MAP

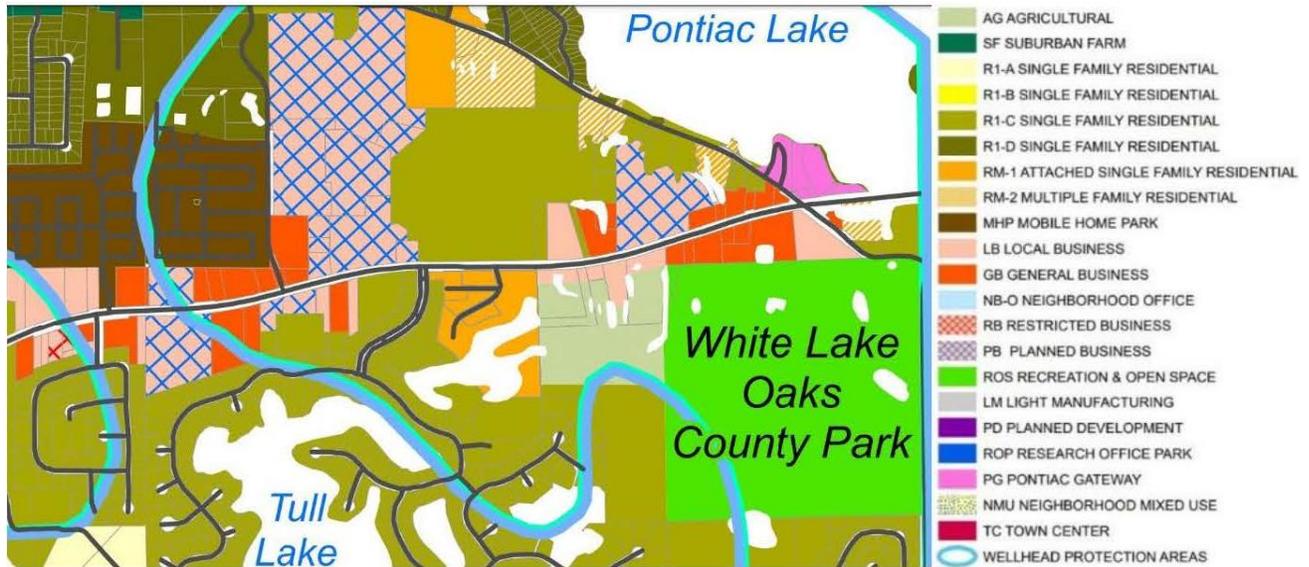


Zoning

The subject site is currently zoned R1-C, which requires a minimum of 100 feet of lot width and 16,000 square feet of lot area. The requested RB zoning district requires a minimum of 120 feet of lot width and one (1) acre of lot area. With approximately 458.4 feet of lot width on Highland Road and five acres of lot area, the site meets the minimum standards for both lot area and lot width of the existing and proposed zoning districts. The following table illustrates the lot width and lot area standards for the existing R1-C and proposed RB zoning districts:

ZONING DISTRICT	LOT WIDTH	LOT AREA
R1-C	100 feet	16,000 square feet
RB	120 feet	1 acre

ZONING MAP



Physical Features

The former Calvary Lutheran Church building and its associated parking lot occupy the property, as well as a community garden. Topography of the site is generally level. The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetland Map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map indicate neither wetlands nor floodplain are present on or near the site.

Access

The site fronts on Highland Road, which along the property is a five-lane road (two lanes in each direction and a center turn lane).

Utilities

Municipal water and sanitary sewer are available to serve the site. The location and capacity of utilities for any proposed development will be reviewed in detail by the Township Engineering Consultant at the time of a development submittal.

Staff Analysis

In considering any petition for an amendment to the zoning map, the Planning Commission and Township Board must consider the following criteria from Article 7, Section 13 of the Zoning Ordinance in making its findings, recommendations, and decision:

- A. *Consistency with the goals, policies and future land use map of the White Lake Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.* The Future Land Use Map from the 2024 Master Plan designates the subject site in the Commercial Corridor category, which aligns with the proposed RB zoning district.
- B. *Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district. If the property is rezoned to RB, it would not directly or indirectly have a substantial adverse impact on the natural resources of the Township.*
- C. *Evidence the Applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning. While no such evidence has been submitted, the property is five acres in size and located in a commercial corridor on Highland Road (M-59) with access to municipal water and sanitary sewer. It is reasonable to request commercial zoning on this type of property.*
- D. *The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values. The majority of the permitted and special land uses in the RB district are compatible with the surrounding uses and the nature of the uses anticipated in the Township Master Plan. Only the Township Assessor may provide comment on property values.*
- E. *The capacity of Township utilities and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township. The site is in an area intended to be serviced by public water and sanitary sewer. The Community Development Department defers to the Director of Public Services and Township Engineering Consultant on this matter.*
- F. *The capability of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district. Per staff comments on the previous rezoning application, a revised traffic impact study (TIS) has been submitted and now includes Sunnybeach Boulevard in the evaluation. For the purpose of this rezoning application, the information provided is sufficient. The TIS describes existing traffic conditions and compares the potential trip generation of the site's use under the existing and proposed zoning classifications.*
- G. *The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land in the Township currently zoned and available to accommodate the demand. Evidence of the demand in the Township for additional retail commercial uses has not been submitted. However, the location is appropriate for property zoned RB, given the traffic, residential units, and general density in the area.*

- H. The boundaries of the requested rezoning district are reasonable in relationship to its surroundings, and construction on the site will be able to meet the dimensional regulations for the zoning district listed in the Schedule of Regulations.* The subject site is located in a commercial corridor on Highland Road (M-59). The Applicant provided a revised concept plan showing two multi-tenant buildings on the site: the west building is 7,201 square feet in size and the east building is 6,409 square feet in size. The easterly unit in each building contains a drive-thru restaurant and each building has a patio in front; drive-thru restaurants and outdoor dining require special land use approval from the Planning Commission. Parking is shown on all sides of the buildings, with one driveway accessing Highland Road near the center of the site. The Applicant did not volunteer conditions on the rezoning related to the concept plan. Site plan review and approval would be required from the Planning Commission and Township Board to construct the buildings. The concept plan is not under consideration by the Township, and it has not been reviewed for compliance with applicable Zoning Ordinance requirements. Other factors that may impact future development of the site, such as, but not limited to, soils, topography, site layout, landscape and screening, stormwater/drainage, and utilities would be considered at the time of a development proposal. Note the revised concept plan shows a 30-foot greenbelt (previously 20 feet) along the east property line. Also, the proposed fence height along the east property line is now eight feet (previously six feet).
- I. The requested zoning district is considered to be more appropriate from the Township's perspective than another zoning district.* The uses allowed in the RB district are appropriate for the site.
- J. If the request is for a specific use, is rezoning the land more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use?* Rezoning would be the most appropriate way to allow for the proposed use. Amending the R1-C zoning district to allow retail commercial uses and drive-thru restaurants would not be advised.
- K. The requested rezoning will not create an isolated and unplanned spot zone.* The site is surrounded by R1-C (Single-Family Residential) zoning to the east and south, LB (Local Business) zoning to the west, and PB (Planned Business) zoning to the north.
- L. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.* This request (to rezone the property to RB) is a new application.
- M. An offer of conditions submitted as part of a conditional rezoning request shall bear a reasonable and rational relationship to the property for which rezoning is requested.* This standard is not applicable.
- N. Other factors deemed appropriate by the Planning Commission and Township Board.* The Planning Commission and Township Board could also consider other factors which may be relevant to the rezoning request.

Planning Commission Options

The Planning Commission may recommend approval or denial of the rezoning request, or it may recommend a different zoning designation than proposed by the Applicant to the Township Board. **The proposed rezoning is compatible with the 2024 Master Plan and surrounding land uses. Staff recommends approval of the rezoning from R1-C to RB.**

CHARTER TOWNSHIP OF WHITE LAKE
COMMUNITY DEVELOPMENT DEPARTMENT
7525 Highland Road, White Lake, Michigan 48383-2900
248-698-3300, Ext. 163

APPLICATION TO REZONE PROPERTY

Date: 04/22/2024

Applicant: Affinity 10 Investment LLC

Address: 4512 South Shore Street, Waterford MI 48328

Phone No.: 248-361-1666 Fax No.: N/A

E-mail: Thomashannawa@gmail.com

Applicant's Interest in Property: Owner

Property Owner: Affinity 10 Investment LLC

Owner's Address: 4512 South Shore Street, Waterford MI 48328

Phone No.: 248-361-1666 Fax No.: N/A

Location of Property: 9101 Highland Road

Sidwell No(s): 12-23-227-003

Total area of change: 5.02 acres

I, the undersigned (owner, attorney, or option holder) hereby request that this property now classified as R1-C (Single Family Residential) District, be reclassified as RB (Restricted Business) District.

Applicant's Signature: 

(If owner does not sign application, attach letter signed by owner, requesting zoning change.)

Please Print Name: Tom Hannawa

Required Attachments:

X 1. Legal description of the property proposed to be rezoned.

X 2. Location map

X 3. Rezoning sign location map

X 4. Statement indicating why change is requested

X 5. Review fee (check payable to the Charter Township of White Lake)



MEMO

VIA EMAIL: ewilliams@stonefieldeng.com

To: Stonefield Engineering

From: Jacob Swanson, PE, PTOE
Paul Bonner, EIT
Fleis & VandenBrink

Date: March 22, 2024

Re: 9101 Highland Road (M-59) – Commercial Development
White Lake Township, Michigan
Traffic Impact Study

1 INTRODUCTION

This memorandum presents the results of the Traffic Impact Study (TIS) for the proposed commercial development in White Lake Township, Michigan. The project site is generally located on the south side of Highland Road (M-59), approximately 1,000-feet east of Fisk Road, as shown on the attached **Figure 1**. The proposed commercial development includes the construction of retail and restaurant land uses. The project site is currently vacant and was previously occupied by the Calvary Lutheran Church, which will be razed with the construction of the proposed development. Site access is proposed via one (1) full access driveway on Highland Road (M-59). The study section of Highland Road (M-59) is under the jurisdiction of the Michigan Department of Transportation (MDOT). The purpose of this TIS is to evaluate the impact of the proposed development on the adjacent roadway network, as part of the site plan approval and driveway permitting processes.

Scope of work for this study was developed based on Fleis & VandenBrink’s (F&V) knowledge of the study area, understanding of the development program, accepted traffic engineering practices, and information published by the Institute of Transportation Engineers (ITE). Study analyses were completed using Synchro/SimTraffic (Version 11) traffic analysis software. Sources of data for this study include F&V subconsultant Quality Counts (QC), MDOT, the Road Commission for Oakland County (RCOC), White Lake Township, the Southeast Michigan Council of Governments (SEMCOG), and ITE.

2 BACKGROUND

2.1 EXISTING ROAD NETWORK

Lane use and traffic control at the study intersections are shown on the attached **Figure 2** and study roadways are further described below. For purposes of this study, all minor streets and driveways were assumed to have an operating speed of 25 miles per hour (mph), unless otherwise noted.

Highland Road (M-59) generally runs in the east / west directions, adjacent to the north side of the project site. The study section of roadway is classified as an *Other Principal Arterial*, is under the jurisdiction of MDOT, has a posted speed limit of 50-mph, and has an Average Annual Daily Traffic (AADT) volume of approximately 33,400 (MDOT 2022) vehicles per day (vpd). The study section of roadway provides a typical five-lane cross-section, with two (2) lanes of travel in each direction and a center two-way left-turn lane (TWLTL). At the signalized intersection with Fisk Road, Highland Road (M-59) widens to provide an exclusive eastbound right-turn lane. Additionally, Highland Road (M-59) widens to provide an exclusive westbound right-turn lane at the intersection with the JOANN Fabric driveway.

Fisk Road generally runs in the north / south directions, west of the project site, terminating at Highland Road (M-59). The study section of roadway is classified as a *Local Road*, is under the jurisdiction of RCOC, has an assumed prima facie speed limit of 55-mph, and has an AADT volume of approximately 1,256 vpd (MDOT 2022). The study section of Fisk Road provides typical three-lane cross-section, with one (1) lane of travel in each direction and a center TWLTL.

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Farmington Hills, MI 48334

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Sunny Beach Boulevard generally runs in the north / south directions, east of the project site. The study section of roadway is classified as a *Local Road*, is under the jurisdiction of RCOC, has an assumed residential prima facie speed limit of 25-mph, and has an AADT volume of approximately 1,840 vpd (MDOT 2012). The study section of Sunny Beach Boulevard services a residential neighborhood to the south of Highland Road (M-59) and services commercial uses to the north of Highland Road (M-59).

2.2 EXISTING TRAFFIC VOLUMES

F&V subconsultant QC collected existing Turning Movement Count (TMC) data on Wednesday, December 13, 2023, during the AM (7:00 AM to 9:00 AM) and PM (4:00 PM to 6:00 PM) peak periods at the following study intersections:

- Highland Road (M-59) & Fisk Road
- Highland Road (M-59) & JOANN Fabric Driveway

Additional TMC data was collected on Wednesday, March 13, 2024, at the following study intersection:

- Highland Road (M-59) & Sunny Beach Boulevard

During collection of the turning movement counts, Peak Hour Factors (PHFs), pedestrian and bicycle volumes, and commercial truck percentages were recorded and used in the traffic analysis. The peak hours of each of the study intersections were utilized and the through volumes were carried through the roadway network and balanced upwards at the proposed site driveways. Therefore, traffic volumes used in the analysis and shown on the attached traffic volume figures may not match the raw traffic volumes shown in the data collection.

The weekday AM and PM peak hours for the adjacent roadway network were observed to generally occur between 7:30 AM to 8:30 AM and 4:15 PM to 5:15 PM, respectively. F&V collected an inventory of existing lane use and traffic controls, as shown on the attached **Figure 2**. F&V also obtained the current signal timing permit for the study intersection of Highland Road (M-59) & Fisk Road from MDOT. The existing 2023 peak hour traffic volumes used in the analysis are shown on the attached **Figure 3**. All applicable background data referenced in this memorandum are attached.

3 EXISTING CONDITIONS

Existing peak hour vehicle delays and Levels of Service (LOS) were calculated at the study intersections using Synchro/SimTraffic (Version 11) traffic analysis software. This analysis was based on the existing lane use and traffic control shown on the attached **Figure 2**, the exiting peak hour traffic volumes shown on the attached **Figure 3**, and methodologies presented in the *Highway Capacity Manual, 6th Edition* (HCM6).

Descriptions of LOS “A” through “F” as defined in the HCM6, are attached. Typically, LOS D is considered acceptable, with LOS A representing minimal delay, and LOS F indicating failing conditions. Additionally, SimTraffic network simulations were reviewed to evaluate network operations and vehicle queues. The results for the exiting conditions analysis are attached and shown in **Table 1**.

Table 1: Existing Intersection Operations

Intersection	Control	Approach	Existing Conditions			
			AM Peak		PM Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS
1 Highland Road (M-59) & Fisk Road	Signalized	EBL	14.0	B	53.1	D
		EBT	27.7	C	18.2	B
		EBR	14.7	B	11.0	B
		WBL	15.9	C	11.6	B
		WBTR	22.7	C	25.3	C
		NBL	25.1	C	47.9	D
		NBTR	22.3	C	38.0	D
		SBL	27.3	C	67.0	E
		SBTR	24.7	C	47.1	D
		Overall			25.3	C

	Intersection	Control	Approach	Existing Conditions			
				AM Peak		PM Peak	
				Delay (s/veh)	LOS	Delay (s/veh)	LOS
2	Highland Road (M-59) & JOANN Fabric Drive	Stop (Minor)	EBL	11.1	B	17.2	C
			WB	Free			
			SB	12.2	B	40.6	E
3	Highland Road (M-59) & Sunny Beach Boulevard	Stop (Minor)	EBL	10.8	B	17.0	C
			WBL	9.5	A	15.8	C
			NBL	75.9	F	\$	F
			NBTR	12.1	B	17.6	C
			SB	50.3	F	\$	F

Note: \$ Indicates delays exceeding 1,000 seconds / vehicle.

The results of the existing conditions analysis indicates that all approaches and movements at the study intersections are currently operating acceptably, at LOS D or better during both the AM and PM peak hours, with the following exceptions:

Highland Road (M-59) & Fisk Road

- During the PM peak hour: the southbound left-turn movement currently operates at LOS E.

Review of SimTraffic network simulations indicates generally acceptable operations. Occasional periods of vehicle queues were observed for this movement; however, the majority of vehicle queues were observed to be processed within each cycle length, leaving minimal residual vehicle queueing. Additionally, any remaining vehicle queues were observed to dissipate and were not present throughout the PM peak hour.

Highland Road (M-59) & JOANN Fabric Drive

- During the PM peak hour: the southbound approach currently operates at LOS E.

The southbound approach was designed to prohibit egress left-turns; however, the left-turn traffic from this approach is causing the reported delay. The total volume of southbound egress traffic during the PM peak hour is very low (3 vehicles), which includes two (2) vehicles making an egress left-turn movement. Additionally, although the delay experienced by these vehicles causes the approach to operate at LOS E, review of SimTraffic microsimulations indicates acceptable operations; the 95th percentile queue length reported for this approach was approximately 11-feet (~1 vehicle), which is not significant.

Highland Road (M-59) & Sunny Beach Boulevard

- During both the AM and PM peak periods: The northbound left-turn movement and the southbound approach are both currently operate at LOS F.

Review of SimTraffic network simulations indicates generally acceptable operations during the AM peak hour. Occasional periods of vehicle queues were observed along the stop-controlled minor-street approaches; however, these queues were able to find adequate gaps within the through traffic along Highland Road (M-59), without experiencing significant delays or excessive queueing. Review of SimTraffic microsimulations during the PM peak hour indicates that vehicles along Sunny Beach Boulevard experience difficulty in finding gaps within the through traffic along Highland Road (M-59), resulting in long vehicle queues along the minor street; these vehicle queues do not dissipate and were typically observed to persist throughout the PM peak hour.

4 BACKGROUND CONDITIONS (2025)

Historical population and economic profile data was obtained for White Lake Township from the Southeast Michigan Council of Governments (SEMCOG) database, in order to calculate a background growth rate to project the existing 2023 peak hour traffic volumes to the site buildout year of 2025. Population and employment projections from 2020 to 2050 were reviewed and show average annual growth rates of 0.41% and 0.28%, respectively. Therefore, a conservative background growth rate of **0.5%** per year was applied to the existing peak hour traffic volumes to forecast the background 2025 peak hour traffic volume **without the proposed development**, as shown on the attached **Figure 4**.

In addition to background growth, it is important to account for traffic that will be generated by approved developments within the study area that have yet to be constructed or are currently under construction. At the time of this study, no background developments were identified within the vicinity of the project site.

Background peak hour vehicle delays and LOS **without the proposed development** were calculated at the study intersections based on the existing lane use and traffic control shown on the attached **Figure 2**, the background peak hour traffic volumes shown on the attached **Figure 4**, and methodologies presented in the HCM6. The results of the background conditions analysis are attached and summarized in **Table 2**.

Table 2: Background Intersection Operations

Intersection	Control	Approach	Existing Conditions				Background Conditions				Difference			
			AM Peak		PM Peak		AM Peak		PM Peak		AM Peak		PM Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
1 Highland Road (M-59) & Fisk Road	Signal	EBL	14.0	B	53.1	D	14.1	B	56.4	E	0.1	-	3.3	D→E
		EBT	27.7	C	18.2	B	28.1	C	18.3	B	0.4	-	0.1	-
		EBR	14.7	B	11.0	B	14.7	B	11.0	B	0.0	-	0.0	-
		WBL	15.9	C	11.6	B	16.0	C	11.8	B	0.1	-	0.2	-
		WBTR	22.7	C	25.3	C	22.9	C	25.6	C	0.2	-	0.3	-
		NBL	25.1	C	47.9	D	25.2	C	48.1	D	0.1	-	0.2	-
		NBTR	22.3	C	38.0	D	23.3	C	38.0	D	0.0	-	0.0	-
		SBL	27.3	C	67.0	E	27.3	C	67.6	E	0.0	-	0.6	-
		SBTR	24.7	C	47.1	D	24.7	C	47.4	D	0.0	-	0.3	-
Overall	25.3	C	28.6	C	25.6	C	29.0	C	0.3	-	0.4	-		
2 Highland Road (M-59) & JOANN Fabric Dr.	Stop (Minor)	EBL	11.1	B	17.2	C	11.2	B	17.4	C	0.1	-	0.2	-
		WB	Free				Free				N/A			
		SB	12.5	B	40.6	E	12.6	B	41.7	E	0.1	-	1.1	-
3 Highland Road (M-59) & Sunny Beach Boulevard	Stop (Minor)	EBL	10.8	B	17.0	C	10.9	B	17.2	C	0.1	-	0.2	-
		WBL	9.5	A	15.8	C	9.5	A	16.0	C	0.0	-	0.2	-
		NBL	75.9	F	\$	F	84.6	F	\$	F	8.7	-	-	-
		NBTR	12.1	B	17.6	C	12.2	B	17.8	C	0.1	-	0.2	-
		SB	50.3	F	\$	F	52.7	F	\$	F	2.4	-	-	-

Note: \$ Indicates delays exceeding 1,000 seconds / vehicle.

The results of the background conditions analysis indicates that all approaches and movements at the study intersections are expected to continue operating in a manner similar to the existing conditions analysis, with minor increases in delays and the following additional impacts to LOS:

Highland Road (M-59) & Fisk Road

- During the PM peak hour: The eastbound left-turn movement is expected to operate at LOS E.

Review of SimTraffic network simulations indicates generally acceptable operations. Occasional periods of vehicle queues were observed for the eastbound and southbound left-turn movements during the PM peak hour; however, the majority of vehicle queues were observed to be processed within 1-2 cycle length, leaving minimal residual vehicle queueing. Additionally, any remaining vehicle queues were observed to dissipate and were not present throughout the peak hour.

5 SITE TRIP GENERATION

The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the proposed development were calculated using the rates and equations published by the Institute of Transportation Engineers (ITE) in *Trip Generation, 11th Edition*. For purposes of this study the following land uses were assumed in the analysis: a coffee shop with drive-through, a fast-casual restaurant, a fast-food restaurant with drive-through, and retail space. Additionally, the proposed restaurants will not have breakfast service; however, in order to provide a conservative analysis, the AM peak hour trip generation was included for these land uses. The site trip generation forecast utilized for this study is summarized in **Table 3**.

Table 3: Site Trip Generation Summary

Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
					In	Out	Total	In	Out	Total
Strip Retail Plaza (<40k SF)	822	6,184	SF	491	9	6	15	28	27	55
		<i>Pass-By (0% AM, 40% PM)</i>		98	0	0	0	11	11	22
		New Trips		393	9	6	15	17	15	33
Fast Casual Restaurant	930	2,502	SF	243	9	5	14	17	14	31
		<i>Pass-By (0% AM, 43% PM)</i>		104	0	0	0	6	6	12
		New Trips		139	9	5	14	11	8	19
Fast Food Restaurant w/ Drive Through	934	2,402	SF	1,123	55	52	107	41	38	79
		<i>Pass-By (50%AM, 55% PM)</i>		590	27	27	54	21	21	42
		New Trips		533	28	25	53	20	17	37
Coffee Shop with Drive-Through	937	2,522	SF	1,346	111	106	217	49	49	98
		<i>Pass-By (50% AM, 55% PM)</i>		707	54	54	108	27	27	54
		New Trips		639	57	52	109	22	22	44
		Total Trips		3,203	184	169	353	135	128	263
		<i>Total Pass-By</i>		1,499	81	81	162	65	65	130
		Total New Trips		1,704	103	88	191	70	63	133

As is typical of commercial developments, a portion of the trips generated by the proposed development are from vehicles already on the adjacent roadway network that will pass the site on their way from an origin to their ultimate destination. Therefore, not all traffic at the site driveway is necessarily new traffic added to the street system. These trips are therefore reduced from the total external trips generated by a study site. This percentage of the trips generated by the development are considered “pass-by”, which are already present of the adjacent roadway network. The percentage of pass-by used in this analysis was determined based on the rates published by ITE in the *Trip Generation Manual, 11th Edition*.

6 SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roadway network based on the proposed stie access plan and driveway configurations, the existing peak hour traffic patterns in the adjacent roadway network, and methodologies published by ITE. The ITE trip distribution methodology assumes that new trips will enter the network and access the development, then leave the development and return to their direction of origin, whereas pass-by trips will enter and exit the development in their original direction of travel. The stie trip distributions utilized in the analysis are summarized in **Table 4**.

Table 4: Site Trip Distribution

New Trips				Pass-By Trips		
AM	PM	To/From	Via	Direction	AM	PM
7%	12%	North	Fisk Road			
40%	52%	East	Highland Road (M-59)	Westbound	42%	56%
53%	36%	West	Highland Road (M-59)	Eastbound	58%	44%
100%	100%	Total			100%	100%

The vehicular traffic volumes shown in **Table 3** were distributed to the study roadway network according to the distribution shown in **Table 4**. Therefore, the site generated trips shown on the attached **Figure 5** were added to the background peak hour traffic volumes shown on the attached **Figure 4**, in order to calculate the future peak hour traffic volumes, with the addition of the proposed development. Future peak hour traffic volumes are shown on the attached **Figure 6**.

7 FUTURE CONDITIONS (2025)

Future peak hour vehicle delays and LOS **with the addition of the site-generated trips from the proposed development**, were calculated based on the proposed lane use and traffic controls shown on the attached **Figure 2**, the future peak hour traffic volumes shown on the attached **Figure 6**, and the methodologies presented in the HCM6. Results of the future conditions analysis are attached and summarized in **Table 5**.

Table 5: Future Intersection Operations

Intersection	Control	Approach	Background Conditions				Future Conditions				Difference				
			AM Peak		PM Peak		AM Peak		PM Peak		AM Peak		PM Peak		
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	
1	Highland Road (M-59) & Fisk Road	Signal	EBL	14.1	B	56.4	E	14.5	B	60.8	E	0.4	-	4.4	-
			EBT	28.1	C	18.3	B	30.2	C	18.6	B	2.1	-	0.3	-
			EBR	14.7	B	11.0	B	14.7	B	11.0	B	0.0	-	0.0	-
			WBL	16.0	C	11.8	B	16.8	B	12.0	B	0.8	C→B	0.2	-
			WBTR	22.9	C	25.6	C	23.9	C	26.6	C	0.0	-	0.0	-
			NBL	25.2	C	48.1	D	25.2	C	48.1	D	0.0	-	0.0	-
			NBTR	23.3	C	38.0	D	22.3	C	38.0	D	0.0	-	0.0	-
			SBL	27.3	C	67.6	E	27.6	C	70.7	E	0.3	-	3.1	-
			SBTR	24.7	C	47.4	D	24.7	C	47.4	D	0.0	-	0.0	-
		Overall	25.6	C	29.0	C	27.1	C	29.9	C	1.5	-	0.9	-	
2	Highland Road (M-59) & JOANN Fabric Dr.	Stop (Minor)	EBL	11.2	B	17.4	C	11.4	B	17.9	C	0.2	-	0.5	-
			WB	Free				Free				N/A			
			SB	12.6	B	41.7	E	12.9	B	43.7	E	0.3	-	2.0	-
3	Highland Road (M-59) & Sunny Beach Boulevard	Stop (Minor)	EBL	10.9	B	17.2	C	11.1	B	17.7	C	0.2	-	0.5	-
			WBL	9.5	A	16.0	C	9.8	A	16.4	C	0.3	-	0.4	-
			NBL	84.6	F	\$	F	95.4	F	\$	F	10.8	-	-	-
			NBTR	12.2	B	17.8	C	12.7	B	18.2	C	0.5	-	0.4	-
			SB	52.7	F	\$	F	63.5	F	\$	F	10.8	-	-	-
4	Highland Road (M-59) & Site Drive	Stop (Minor)	EB	N/A				Free				N/A			
			WBL	N/A				11.1	B	10.5	B	N/A			
			NB	N/A				32.0	D	42.0	E	N/A			

Note: \$ Indicates delays exceeding 1,000 seconds / vehicle.

Results of the future conditions analysis indicate that all approaches and movements at the study intersections are expected to continue operating in a manner similar to the background conditions analysis, with minor increases in delays and no additional impacts to LOS. Additionally, the proposed site driveway is expected to operate acceptably, at LOS D or better, during both peak periods, with the exception of the following:

Highland Road (M-59) & Site Drive

- During the PM peak hour: The northbound approach is expected to operate at LOS E.

Review of SimTraffic network simulations indicates that egress vehicles were unable to find adequate gaps within the through traffic along Highland Road (M-59), resulting in long vehicle queues; these vehicle queues do not dissipate and were typically observed to persist throughout the PM peak hour.

Therefore, the results of the future conditions analysis indicates that the site-generated traffic volumes from the proposed development are expected to have a negligible impact to the delay (LOS) and vehicle queueing observed at the off-site study intersections of Highland Road (M-59) with Fisk Road, JOANN Fabric Drive, and Sunny Beach Boulevard.

8 ACCESS MANAGEMENT

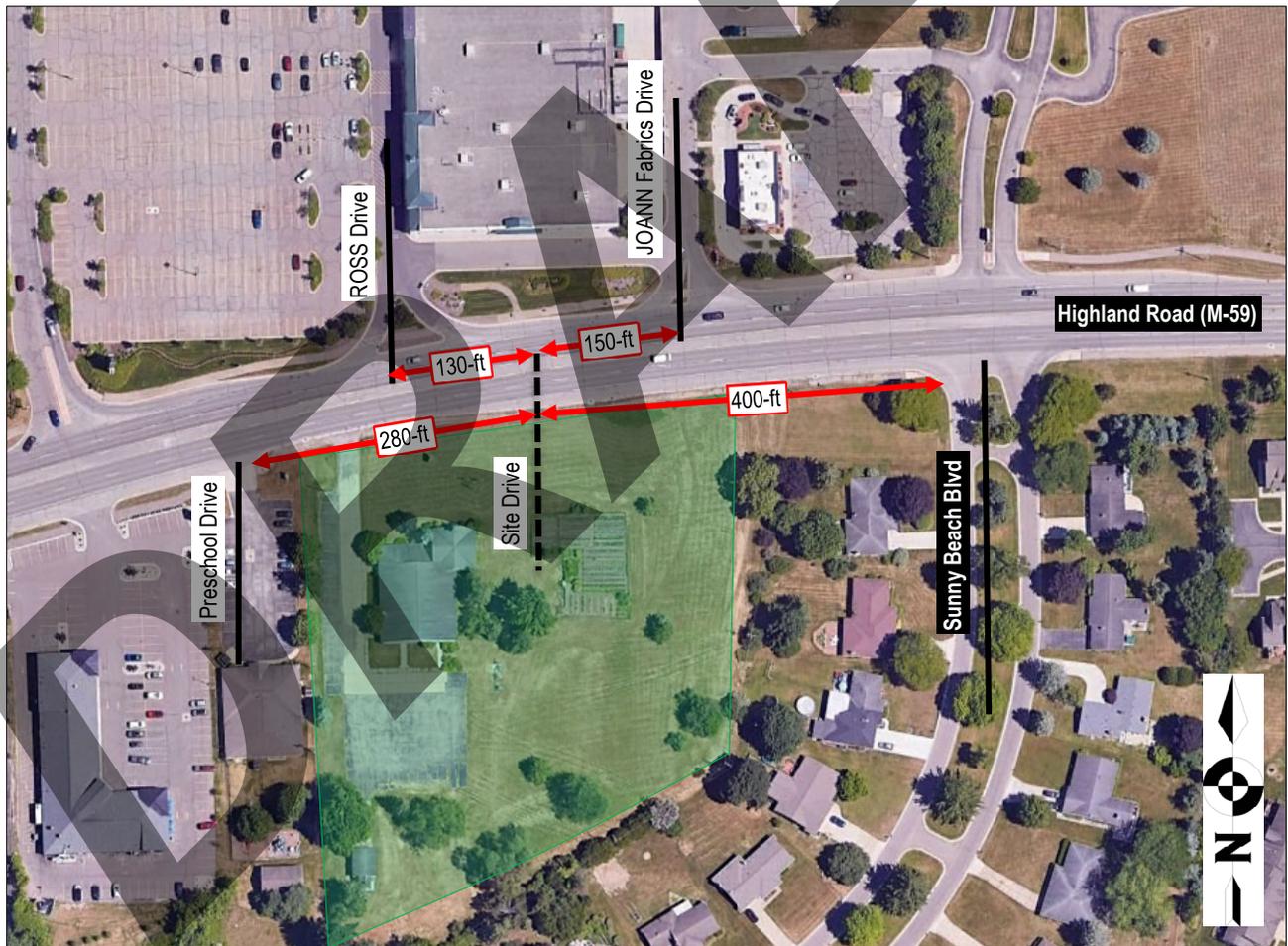
8.1 DRIVEWAY SPACING EVALUATION

The MDOT *Geometric Design Guidance* (Section 1.2.2) criteria were utilized to evaluate the location of the proposed site driveway, in relation to nearby intersections and access points within close proximity to the project site. The intersection corner clearance criteria were evaluated for the 50-mph section of Highland Road (M-59), adjacent to the project site. The distance of the proposed site driveway from nearby intersections and access points, and the warranting criteria are summarized in **Table 6** and displayed in **Exhibit 1**.

Table 6: Desirable Corner Clearance Summary

Adjacent Driveways & Intersections			Distance	Criteria	Meets
Site Drive	to	Preschool Drive	280 feet	455 feet	NO
Site Drive	to	Sunny Beach Boulevard	400 feet	170 feet	YES
Site Drive	to	JOANN Fabrics Drive	150 feet	750 feet	NO
Site Drive	to	ROSS Drive	130 feet	750 feet	NO

Exhibit 1: Proposed Driveway Spacing



The results of the driveway spacing analysis indicate that the location of the proposed site driveway on Highland Road (M-59) is not expected to meet the desirable MDOT spacing criteria, in relation to the nearby intersection and driveways. However, there is not sufficient property frontage to meet the recommended spacing criteria. Additionally, the site plan includes proposed future cross access, stubbed at the property line to the west; this would provide improved site access, permitting this cross access between the nearby developments on the south side of Highland Road (M-59), should the adjacent property ever be redeveloped. Furthermore, shared access is not available with the Sunny Beach Boulevard neighborhood to the east.

8.2 AUXILIARY TURN LANE EVALUATION

The MDOT auxiliary turn lane criteria were evaluated at the proposed site driveway on Highland Road (M-59). Highland Road (M-59) currently provides an existing center two-way left-turn lane (TWLTL); therefore, the left-turn lane criteria was not evaluated at the proposed site driveway. This analysis was based on the future peak hour traffic volumes shown on the attached **Figure 6**. The results of the analysis are shown on the attached chart and are summarized in **Table 7**.

Table 7: Right-turn Treatment Criteria Evaluation Summary

Intersection	Peak Period		Recommendation
	AM Peak Hour	PM Peak Hour	
Highland Road (M-59) at Site Drive	Right-Turn Lane	Right-Turn Lane	Right-Turn Lane

The result of the auxiliary turn lane evaluation indicates that a right-turn deceleration lane is warranted along eastbound Highland Road (M-59) at the proposed site driveway.

9 FUTURE CONDITIONS WITH IMPROVEMENTS ANALYSIS

Mitigation measures were investigated in order to improve the study intersections and mitigate the impact of the proposed development. The mitigation measures that were identified and the impacts to the study intersections are discussed below:

9.1 HIGHLAND ROAD (M-59) & FISK ROAD

Signal timing optimizations were reviewed at the study intersection of Highland Road (M-59) & Fisk Road and were determined to adequately improve all approaches and movements to LOS D or better during the PM peak hour. Therefore, the following improvements are recommended:

- Optimize the signal timing splits during the PM peak hour.

9.2 HIGHLAND ROAD (M-59) & SITE DRIVE

The proposed site plan includes shared access to the property to the west of the project site, which would reduce the projected delay for egress traffic; however, the property west would need to be redeveloped to accommodate such a cross access connection. Additionally, providing cross access with the Sunny Beach Boulevard neighborhood to the west would also reduce egress delays; however, this is not feasible. Therefore, the following improvements are recommended:

- Provide exclusive egress left-turn and right-turn lanes at the proposed Site Drive.
- Provide an eastbound right-turn lane along Highland Road (M-59) at the proposed Site Drive.

The results of the future improvements analysis, with the implementation of the recommended mitigation measures, are attached and summarized in **Table 8**.

Table 8: Future Intersection Operations with Improvements

Intersection	Control	Approach	Future Conditions				Future w/ IMP				Difference								
			AM Peak		PM Peak		AM Peak		PM Peak		AM Peak		PM Peak						
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS					
1 Highland Road (M-59) & Fisk Road	Signal	EBL	14.5	B	60.8	E	No Change				No Change								
		EBT	30.2	C	18.6	B										50.8	D	-10.0	E→D
		EBR	14.7	B	11.0	B										22.6	C	4.0	B→C
		WBL	16.8	B	12.0	B										13.3	B	2.3	-
		WBTR	23.9	C	26.6	C										15.7	B	3.7	-
		NBL	25.2	C	48.1	D										47.3	D	20.7	C→D
		NBTR	22.3	C	38.0	D										43.0	D	-5.1	-
		SBL	27.6	C	70.7	E										34.1	C	-3.9	D→C
		SBTR	24.7	C	47.4	D										54.2	D	-16.5	E→D
		Overall	27.1	C	29.9	C										40.9	D	-6.5	-
					38.4	D	8.5	C→D											

Intersection	Control	Approach	Future Conditions				Future w/ IMP				Difference			
			AM Peak		PM Peak		AM Peak		PM Peak		AM Peak		PM Peak	
			Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS	Delay (s/veh)	LOS
4 Highland Road (M-59) & Site Drive	Stop (Minor)	EB	Free				Free				N/A			
		WBL	11.1	B	10.5	B	11.1	B	10.5	B	0.0	-	0.0	-
		NBL	32.0	D	42.0	E	30.4	D	46.8	E	-1.6	-	4.8	-
		NBR					12.6	B	13.6	B	-19.4	D→B	-28.4	E→B

The results of the future conditions with improvements analysis indicate that, with the implementation of the recommended improvements, all study intersection approaches and movements are expected to continue to operate acceptably, at LOS D or better during both peak periods, with the following exception:

Highland Road (M-59) & Site Drive

- During the PM peak hour: The northbound left-turn movement is expected to operate at LOS E.

Review of SimTraffic microsimulations indicates improved operations and reduced vehicle queuing at the signalized study intersection of Highland Road (M-59) & Fisk Road and the stop-controlled intersection of Highland Road (M-59) & Site Drive during the PM peak hour.

10 QUEUEING ANALYSIS

The drive-through vehicle queuing was reviewed to determine if the proposed on-site queue lengths provide adequate storage to accommodate the projected operations. The development plan includes two (2) drive-through windows.

The coffee-shop is expected to have a peak trip generation of 111 trips during the AM peak hour. Coffee-shops with drive-through typically have an average service rate of approximately 80 vehicles per hour, with 80% of customers utilizing the drive-through. Therefore, of the total vehicles generated by the proposed coffee-shop during the peak period, it is estimated that approximately 89 vehicles will utilize the drive-through; the remaining vehicles will park and walk-in. The evaluation of the queue length included two criteria:

1. A queuing analysis was performed to determine if the projected demand of the site exceeds the service rate and calculate the projected queuing. The projected demand (89 veh/hr) is greater than the service rate (80 veh/hr) of the site; therefore, there is a potential for vehicles to queue past the pickup window, as the demand exceeds the capacity.
2. A Poisson Distribution was performed to determine the probability of random arrivals. The results indicate a maximum potential of five (5) vehicles arriving at any given time.

The results of the queuing analysis for the coffee shop are summarized in **Table 9**.

Table 9: Coffee Shop Vehicle Queuing Analysis

DRIVE-THROUGH STACKING SPACE CALCULATOR	
Number of Arrivals	86
Time per Vehicle (s)	45
Service Rate (veh/hr)	80
Drive-Through Queue (veh)	9
Peak Arrival (veh)	5
Vehicle Length	25
TOTAL QUEUE (ft)	350

The fast-food restaurant is expected to have a peak trip generation of 55 trips during the AM peak hour. Fast-food restaurants with drive-through typically have an average service rate of approximately 90 vehicles per hour and 70% of customers utilizing the drive-through. Therefore, of the total vehicles generated by the proposed fast-food restaurant during the peak period, it is estimated that approximately 39 vehicles will utilize the drive-through; the remaining vehicles will park and walk-in. The evaluation of the queue length included two criteria:

1. A queueing analysis was performed to determine if the projected demand of the site exceeds the service rate and calculate the projected queueing. The projected demand (39 veh/hr) is less than the service rate (90 veh/hr) of the site; therefore, the required queueing for the fast-food restaurant is based on the maximum potential for random arrivals.
2. A Poisson Distribution was performed to determine the probability of random arrivals. The results indicate a maximum potential of four (4) vehicles arriving at any given time.

The results of the queueing analysis for the fast-food restaurant are summarized in **Table 10**.

Table 10: Fast-Food Restaurant Vehicle Queuing Analysis

DRIVE-THROUGH STACKING SPACE CALCULATOR	
Number of Arrivals	39
Time per Vehicle (s)	40
Service Rate (veh/hr)	90
Peak Arrival (veh)	4
Vehicle Length	25
TOTAL QUEUE (ft)	100

The results of the projected vehicle queuing analysis indicates that the maximum anticipated arrivals generated by the proposed coffee-shop with drive-through can be adequately accommodated within the available queue length, without impacting internal site circulation or the operations along Highland Road (M-59).

11 CONCLUSIONS

The conclusions of this TIS are as follows:

1. Existing Conditions (2023)

- The results of the existing conditions analysis indicates that all approaches and movements at the study intersections are currently operating acceptably, at LOS D or better, during both the AM and PM peak hours, with the following exceptions:
 - Highland Road (M-59) & Fisk Road: The SB left-turn movement is currently operating at LOS E, during the PM peak hour. Review of SimTraffic network simulations indicates generally acceptable operations. Occasional periods of vehicle queues were observed; however, the majority were observed to be processed within each cycle length, leaving minimal residual vehicle queueing.
 - Highland Road (M-59) & JOANN Fabric Drive: The SB approach is currently operating at LOS E during the PM peak hour. This approach was designed to prohibit egress left-turns; however, this traffic is causing the reported delay. The total volume of southbound egress traffic is very low (3 vehicles), which includes two (2) vehicles making an egress left-turn movement.
 - Highland Road (M-59) & Sunny Beach Boulevard: The NB left-turn movement and the SB approach are both currently operating at LOS F during both peak hours. Review of SimTraffic network simulations indicates generally acceptable operations during the AM peak hour. Occasional periods of vehicle queues were observed along the minor-street approaches; however, these queues were able to find adequate gaps in the through traffic along Highland Road (M-59).

Review of SimTraffic microsimulations during the PM peak hour indicates that vehicles along Sunny Beach Boulevard experience difficulty in finding gaps within the through traffic along Highland Road (M-59), resulting in long vehicle queues along the minor street; these vehicle queues do not dissipate and were typically observed to persist throughout the PM peak hour.

2. Background Conditions (2025 No Build)

- A conservative annual background growth rate of **0.5%** per year was utilized to project the existing peak hour traffic volumes to the buildout year of 2025.
- The results of the background conditions analysis indicates that the study intersections are expected to continue operating in a manner similar to the existing conditions analysis, with minor increases in delays due increases in background traffic volumes and the following additional impacts to LOS:
 - Highland Road (M-59) & Fisk Road: The EB left-turn movement is expected to operate at LOS E, during the PM peak hour.

3. Future Conditions (2025 Build)

- With the addition of the site-generated trips, the study intersections are expected to continue operating in a manner similar to the background conditions analysis, with no additional impacts to LOS.
- All approaches and movements at the proposed site driveway intersection with Highland Road (M-59) are expected to operate acceptably, at LOS D or better, during both the AM and PM peak hours, with the following exception:
 - Highland Road (M-59) & Site Drive: The NB approach is expected to operate at LOS E during the PM peak hour. Review of SimTraffic network simulations indicates that egress vehicles were unable to find adequate gaps within the through traffic along Highland Road (M-59), resulting in long vehicle queues; these vehicle queues do not dissipate and were typically observed to persist throughout the PM peak hour.
- Therefore, the results of the future conditions analysis indicates that the site-generated traffic volumes from the proposed development are expected to have a negligible impact to the delay (LOS) and vehicle queueing observed at the off-site study intersections of Highland Road (M-59) with Fisk Road, JOANN Fabric Drive, and Sunny Beach Boulevard.

4. Access Management

- The results of the driveway spacing analysis indicates that the location of the proposed site driveway on Highland Road (M-59) is not expected to meet the desirable MDOT spacing criteria, in relation to the nearby intersection and driveway.
 - However, there is not sufficient property frontage to meet the recommended spacing criteria. Additionally, the site plan includes proposed future cross access, stubbed at the property line to the west; this would provide improved site access, permitting this cross access between the nearby developments on the south side of Highland Road (M-59), should the adjacent property ever be redeveloped. Furthermore, shared access is not available with the Sunny Beach Boulevard neighborhood to the east.
- The MDOT auxiliary right-turn treatment criteria were evaluated at the proposed site driveway; the result of the analysis indicates that a right-turn lane is recommended along eastbound Highland Road (M-59) at the proposed Site Drive.

5. Future Conditions with Improvements

- Signal timing optimizations were reviewed and were determined to adequately improve the signalized study intersection of Highland Road (M-59) & Fisk Road to LOS D or better during the PM peak hour. Additionally, the vehicle queues at the signalized study intersection were observed to be reduced, with the implementation of the recommended mitigation measures.
- Mitigation measures were investigated at the intersection of Highland Road (M-59) & Site Drive. The results of the improvements evaluation indicates that providing exclusive egress left-turn and right-turn lanes would improve the projected operations. Additionally, the warranted eastbound right-turn lane along Highland Road (M-59) was included in the improvements analysis. The results indicate that the northbound left-turn movement is still expected to operate at LOS E during the PM peak hour; however, review of SimTraffic network simulations indicates improved operations.

6. Drive-Through Queueing Evaluation

- The results of the drive-through queueing evaluation indicates that the proposed site plan can adequately accommodate the projected vehicle queueing associated with the proposed coffee-shop and fast-food restaurants, without impacting internal site circulation or the operations along Highland Road (M-59).

12 RECOMMENDATIONS

The recommendation of this TIS are as follows:

- Provide exclusive egress left-turn and right-turn lanes at the proposed Site Drive.
- Provide an eastbound right-turn lane along Highland Road (M-59) at the proposed Site Drive.
- Optimize the PM peak hour signal timing at the Highland Road (M-59) & Fisk Road intersection.

Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Attached: Figures 1 – 6
Proposed Site Plan
Traffic Volume Data
Signal Timing Permits
Synchro / SimTraffic Results
Auxiliary Lane Warrants

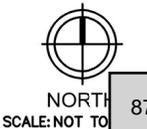


FIGURE 1
SITE LOCATION

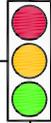
9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

 SITE LOCATION



FISK ROAD



PRIVATE DRIVE

HIGHLAND ROAD (M-59)

SITE DRIVE

JOANN FABRIC DRIVE

SUNNY BEACH BOULEVARD

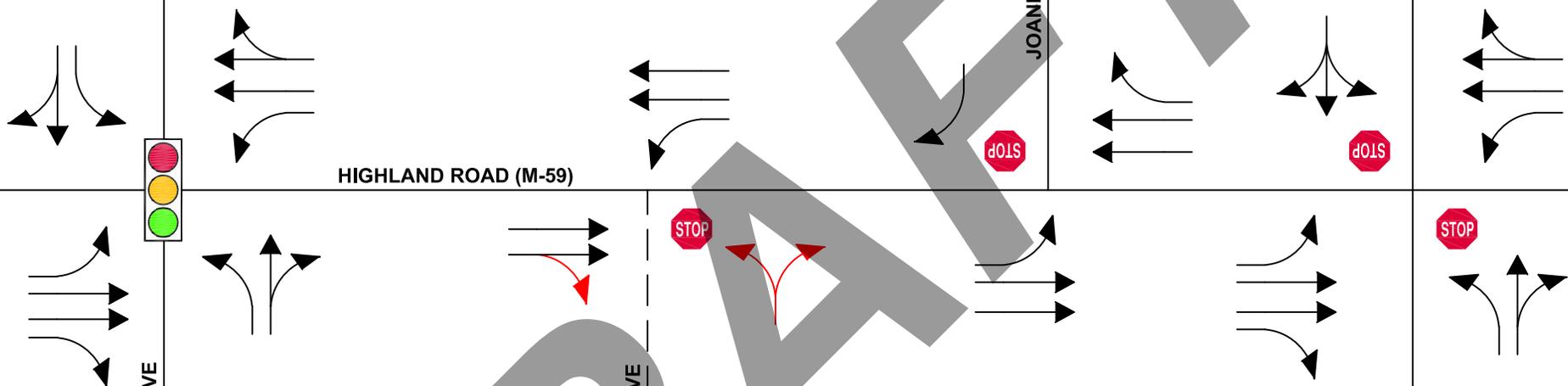


FIGURE 2

LANE USE AND TRAFFIC CONTROL

9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

- ROADS
- PROPOSED ROADS
- LANE USE
- PROPOSED LANE USE
- SIGNALIZED INTERSECTION
- UNSIGNALIZED INTERSECTION



SCALE: NOT TO

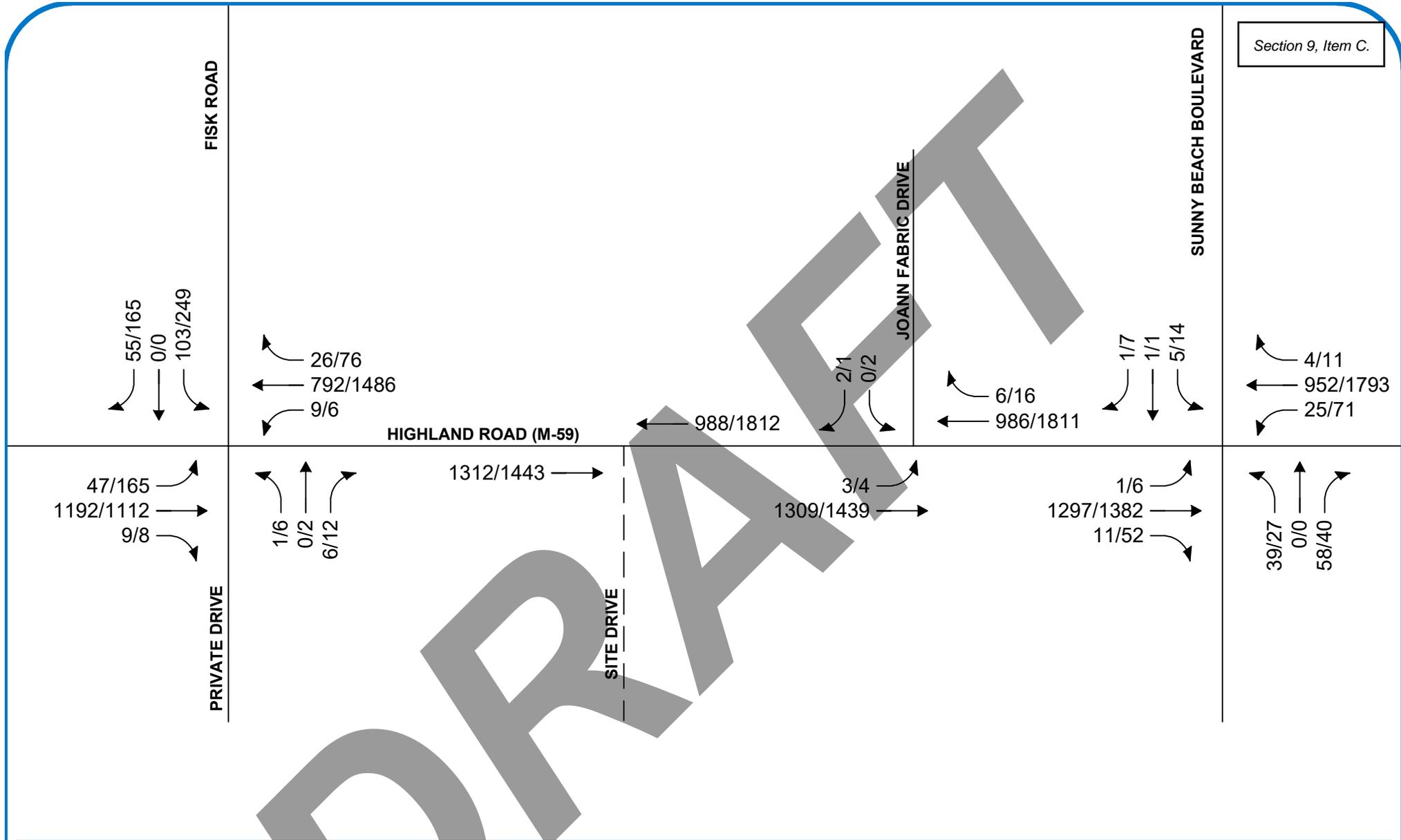


FIGURE 3

EXISTING TRAFFIC VOLUMES

9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

- ROADS
- - - PROPOSED ROADS
- TRAFFIC VOLUMES (AM/PM)



NORTH
SCALE: NOT TO

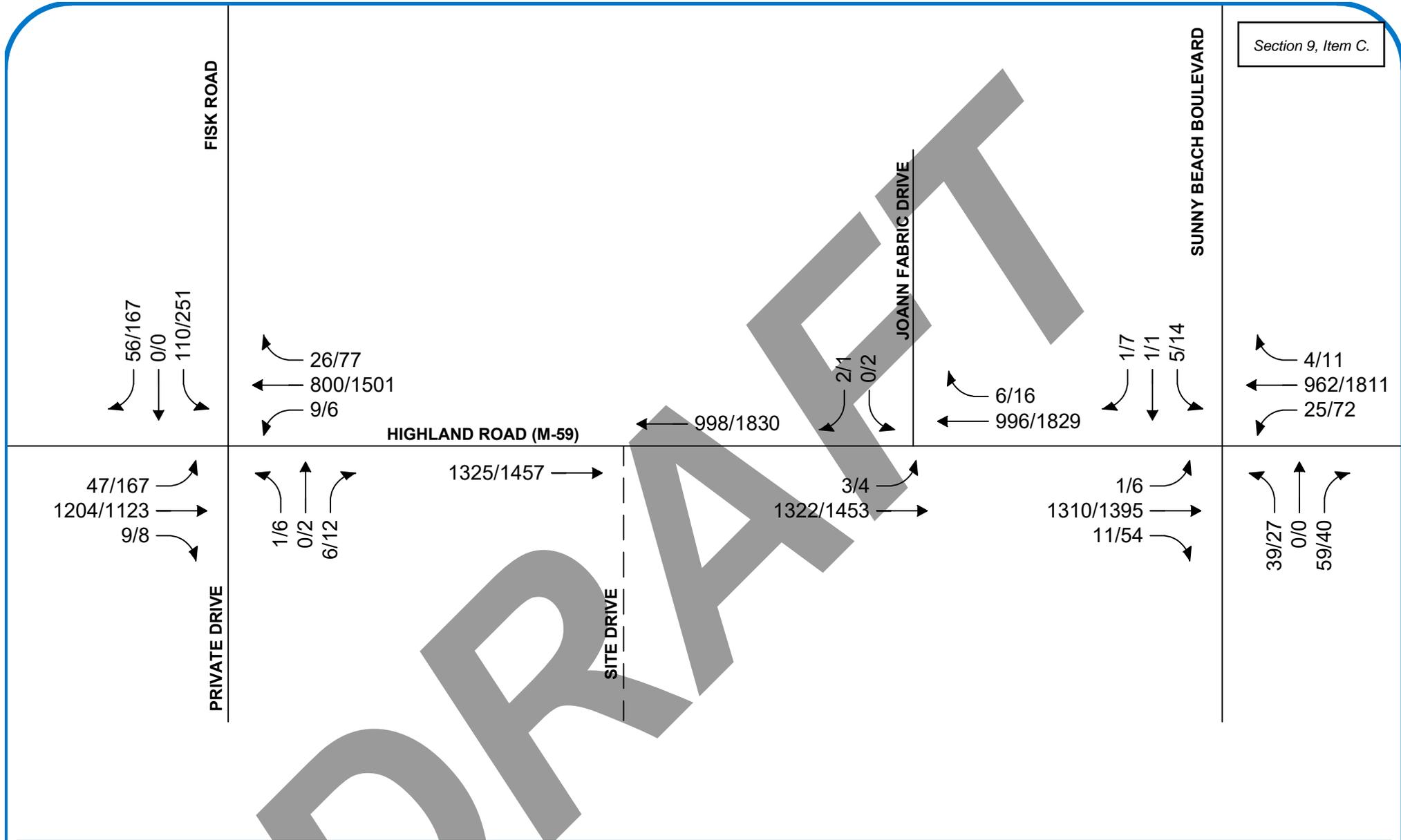


FIGURE 4

BACKGROUND TRAFFIC VOLUMES

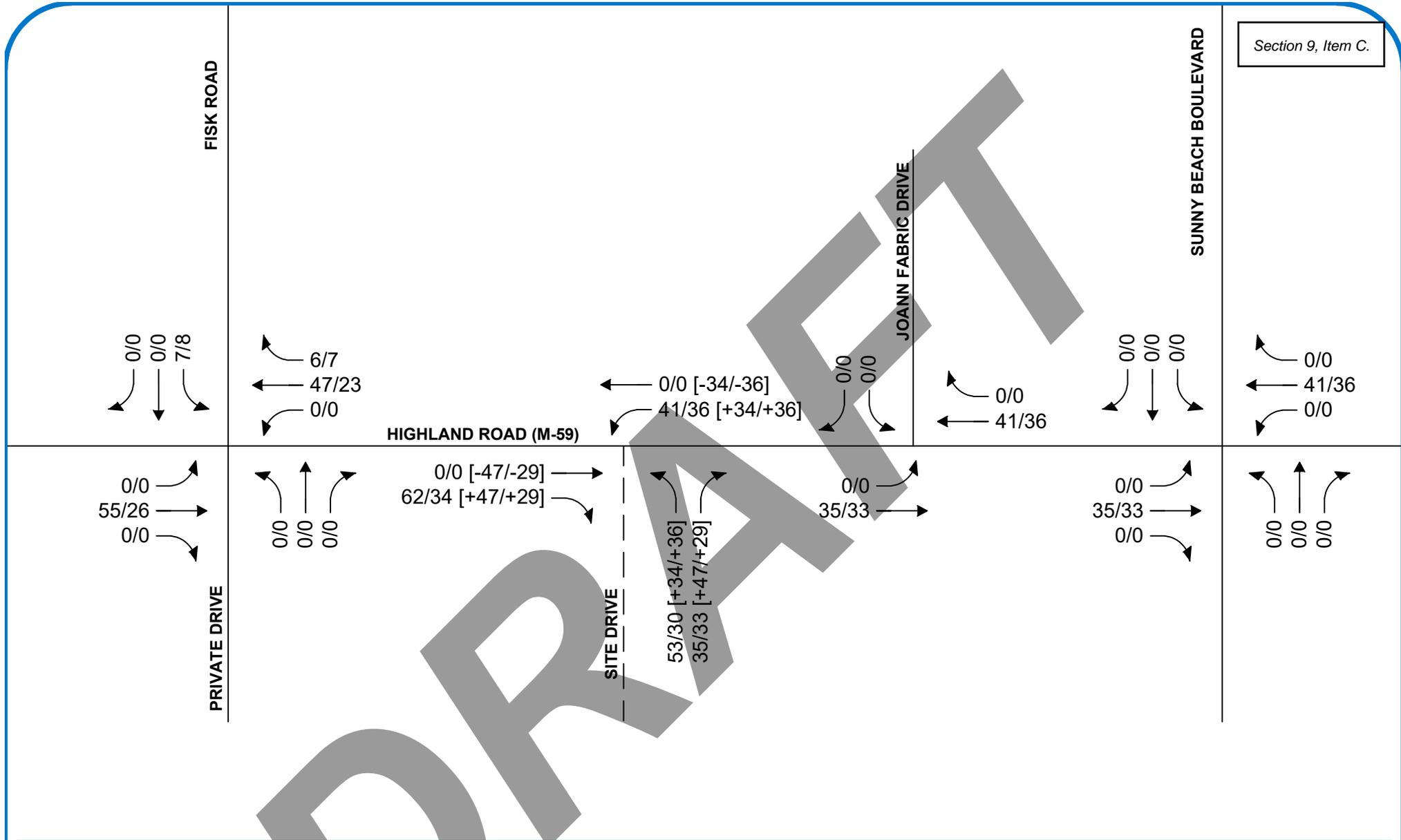
9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

- ROADS
- PROPOSED ROADS
- TRAFFIC VOLUMES (AM/PM)



NORTH
SCALE: NOT TO 90



**FIGURE 5
SITE-GENERATED
TRAFFIC VOLUMES**

9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

- ROADS
- - - PROPOSED ROADS
- TRAFFIC VOLUMES (AM/PM)
- +/-[000/000] PASS-BY [AM/PM]



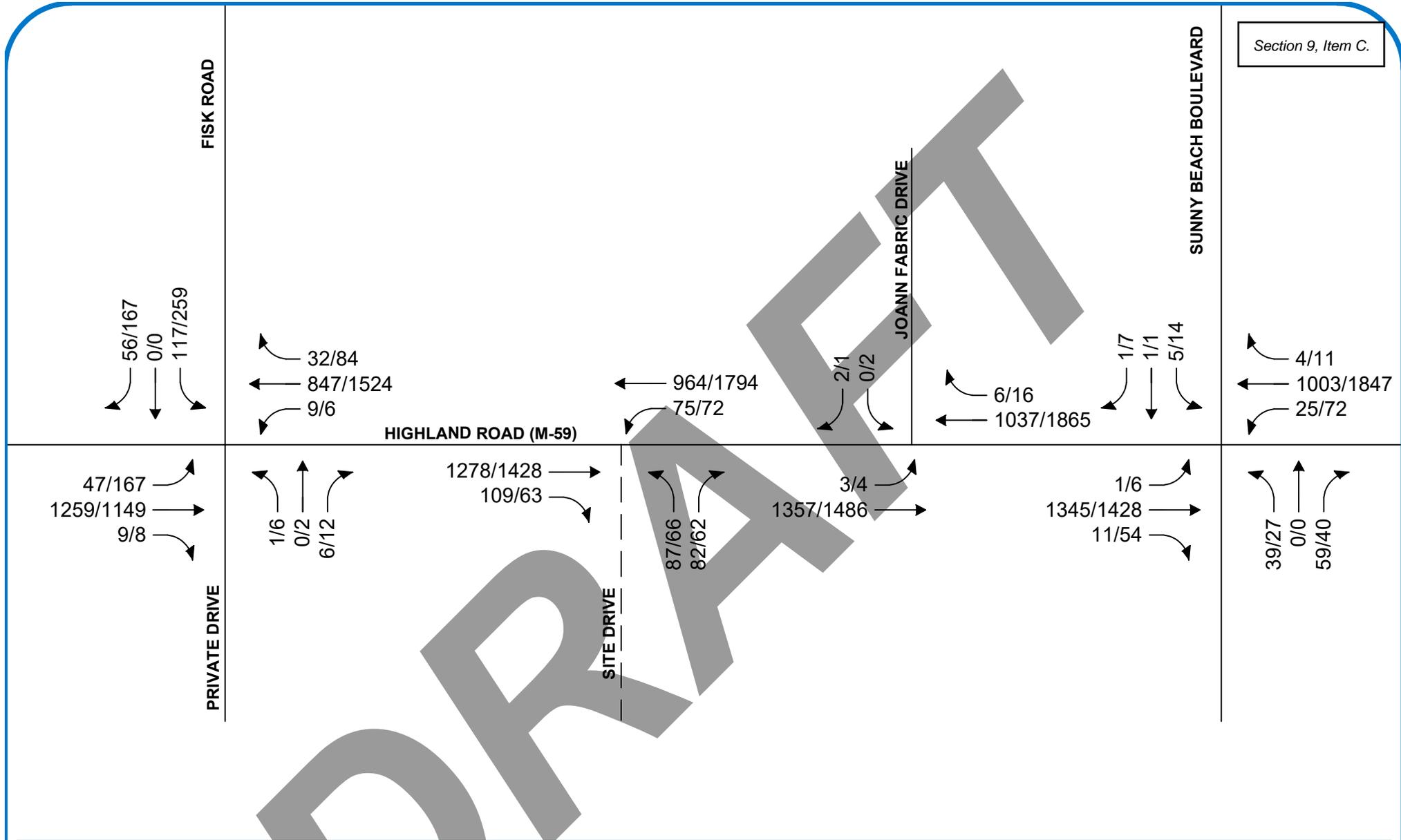


FIGURE 6

FUTURE TRAFFIC VOLUMES

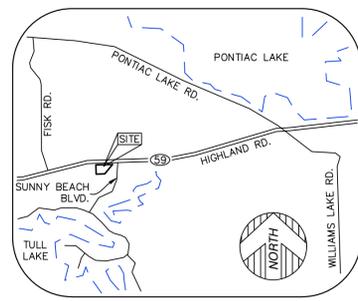
9101 HIGHLAND ROAD TIS - WHITE LAKE TOWNSHIP, MI

LEGEND

- ROADS
- - - PROPOSED ROADS
- TRAFFIC VOLUMES (AM/PM)



NORTH
SCALE: NOT TO



VICINITY MAP (NOT TO SCALE)

PARKING
HANDICAP PARKING = 2 STALLS
STANDARD PARKING = 50 STALLS

PARCEL AREA
195,568± SQUARE FEET = 4.49± ACRES

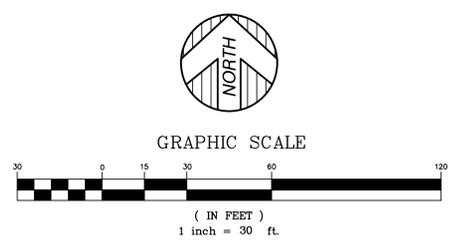
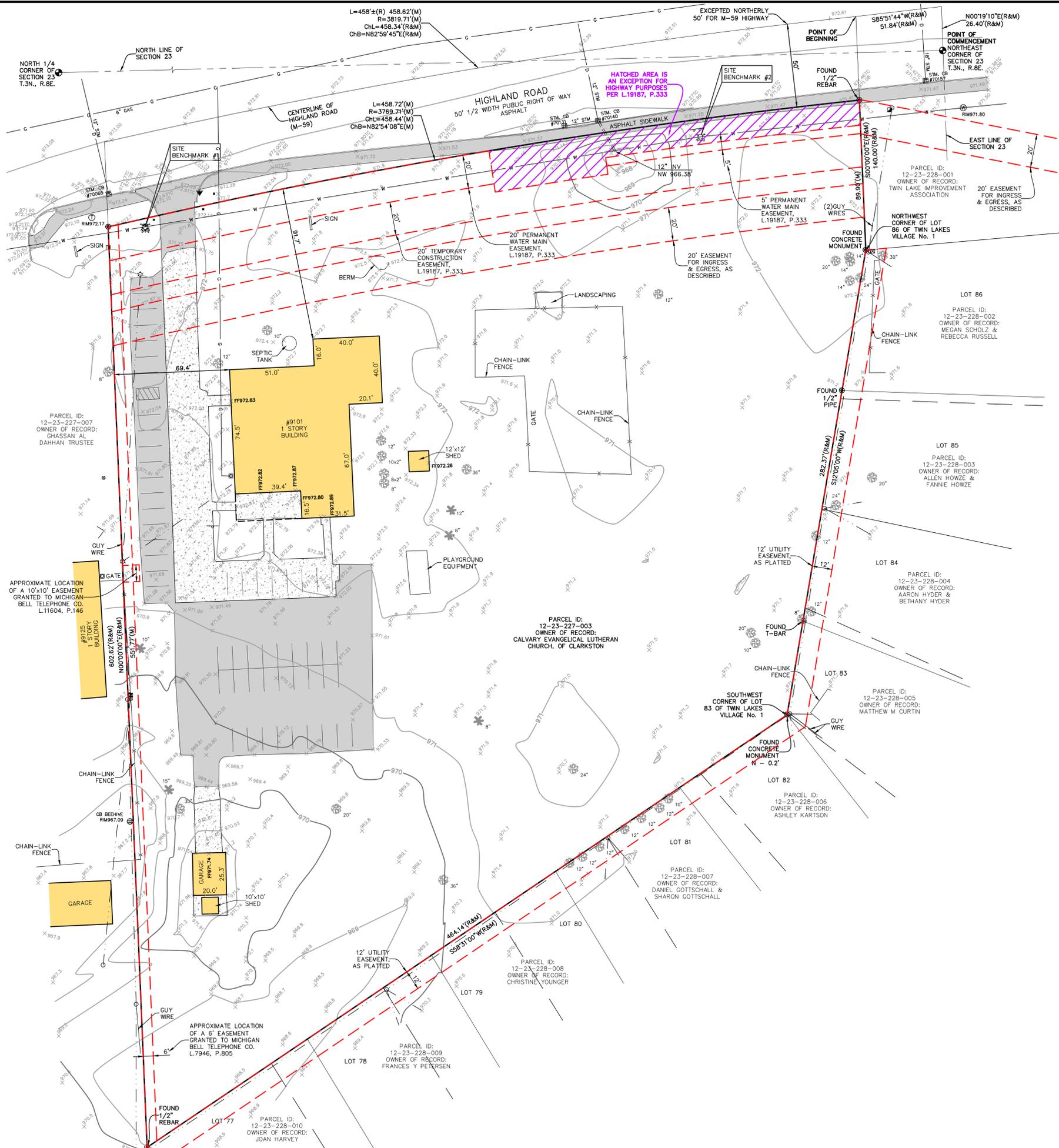
BASIS OF BEARING
SOUTH 85°51'44" WEST, BEING THE CENTERLINE OF HIGHLAND ROAD (M-59), AS DESCRIBED.

BENCHMARK
SITE BENCHMARK #1
ARROW ON HYDRANT, WEST SIDE OF ASPHALT ENTRANCE.
ELEVATION = 975.36' (NAVD 88)
SITE BENCHMARK #2
ARROW ON TRAFFIC SIGNAL POST, EAST SIDE OF PROPERTY.
ELEVATION = 974.20' (NAVD 88)

SURVEYOR'S NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

LEGEND

●	FOUND MONUMENT (AS NOTED)
⊙	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊕	GROUND ELEVATION
⊖	ELECTRIC METER
⊕	ELECTRIC RISER
⊕	UTILITY POLE
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE RISER
⊕	CABLE TV RISER
⊕	CLEANOUT
⊕	ROUND CATCH BASIN
⊕	SQUARE CATCH BASIN
⊕	FIRE HYDRANT
⊕	WATER GATE MANHOLE
⊕	WATER VALVE
⊕	FENCE POST
⊕	FLOOD LIGHT
⊕	SINGLE POST SIGN
⊕	DOUBLE POST SIGN
⊕	HANDICAP PARKING
⊕	DECIDUOUS TREE (AS NOTED)
⊕	CONIFEROUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	ADJOINER PARCEL LINE
---	SECTION LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	BUILDING OVERHANG
---	CONCRETE CURB
---	RAISED CONCRETE
---	PARKING
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	FENCE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	GAS LINE
---	STORM LINE
---	WATER LINE
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE



PROPERTY DESCRIPTION

THE LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 14, AND EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 23, TOWN 3 NORTH, RANGE 8 EAST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 23, TOWN 3 NORTH, RANGE 8 EAST, AND RUNNING THENCE NORTH 00 DEGREES 19 MINUTES 10 SECONDS EAST 26.40 FEET TO THE CENTERLINE OF HIGHLAND ROAD (M-59), THENCE SOUTH 85 DEGREES 51 MINUTES 44 SECONDS WEST 51.84 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 140.00 FEET TO A MONUMENT, WHICH IS THE NORTHWEST CORNER OF LOT 86 OF TWIN LAKES VILLAGE NO. 1; THENCE SOUTH 12 DEGREES 05 MINUTES 00 SECONDS WEST 282.37 FEET TO A MONUMENT WHICH IS THE SOUTHWEST CORNER OF LOT 83 OF SAID TWIN LAKES VILLAGE NO. 1; THENCE SOUTH 58 DEGREES 31 MINUTES 00 SECONDS WEST 484.14 FEET; THENCE NORTH 602.62 FEET TO THE CENTERLINE OF HIGHLAND ROAD (M-59), THENCE EASTERLY ALONG SAID CENTERLINE WHICH IS ON A CURVE TO THE RIGHT, WHOSE CHORD BEARS NORTH 82 DEGREES 59 MINUTES 45 SECONDS EAST 458.34 FEET, A DISTANCE ALONG THE CURVE OF 458.00 FEET MORE OR LESS TO THE POINT OF BEGINNING OF THIS DESCRIPTION, EXCEPTING THE NORTHERLY 50 FEET THEREOF SITUATED WITHIN M-59 HIGHWAY.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER A 20 FOOT PRIVATE ROAD WHOSE CENTERLINE IS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT AT THE INTERSECTION OF THE CENTERLINE OF HIGHLAND ROAD (M-59) AND THE WEST RIGHT OF WAY LINE OF SUNNYBEACH BOULEVARD IN SECTION 13, TOWN 3 NORTH, RANGE 8 EAST, AND RUNNING THENCE SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST 29.01 FEET TO THE SOUTH LINE OF SAID SECTION 13; SAID SECTION 13; THENCE CONTINUING SOUTH 00 DEGREES 00 MINUTES 54 SECONDS EAST 73.99 FEET OVER AND ACROSS SAID SOUTH SECTION LINE TO A POINT LOCATED IN SECTION 24 WHERE THE CENTERLINE OF THE PRIVATE ROAD RIGHT OF WAY INTERSECTS THE WEST RIGHT OF WAY LINE OF SUNNYBEACH BOULEVARD, WHICH IS THE POINT OF BEGINNING OF SAID PRIVATE ROAD RIGHT OF WAY; THENCE NORTH 76 DEGREES 27 MINUTES 33 SECONDS WEST 154.31 FEET TO THE EAST LINE OF SAID 5 ACRES DESCRIBED AS THE CAPTIONED LAND ABOVE.

SUBJECT TO A 20 FEET EASEMENT FOR INGRESS AND EGRESS OVER THAT PART OF SAID DESCRIBED 5 ACRES OF LAND, THE CENTERLINE OF SAID EASEMENT IS DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE EAST LINE OF SAID 5 ACRE PARCEL OF LAND DISTANT SOUTH 60.00 FEET FROM THE NORTHEAST CORNER THEREOF, THENCE RUNNING ALONG A CURVE TO THE LEFT PARALLEL TO THE STATE HIGHWAY M-59 RIGHT OF WAY TO THE WEST LINE OF SAID 5 ACRES DESCRIBED AS THE CAPTIONED LAND ABOVE.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FILE NO. 63-18598786-SQM, REVISION 3, DATED AUGUST 21, 2023, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
8. RIGHT OF WAY GRANTED TO MICHIGAN BELL TELEPHONE COMPANY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF LINES OF COMMUNICATION RECORDED IN LIBER 7946, PAGE 805, OAKLAND COUNTY RECORDS. (AS SHOWN)
9. EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF COMMUNICATION FACILITIES RECORDED IN LIBER 11604, PAGE 146, OAKLAND COUNTY RECORDS. (AS SHOWN)
10. EASEMENT GRANTED TO THE CHARTER TOWNSHIP OF WHITE LAKE FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF WATER MAIN RECORDED IN LIBER 19187, PAGE 333, OAKLAND COUNTY RECORDS. (AS SHOWN)

MANHOLE SCHEDULE

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
70065	CATCH BASIN	971.68	12	N	968.03
70131	CATCH BASIN	970.71	12	E	966.71
70140	CATCH BASIN	970.70	12	W	966.50
		970.70	12	N	966.45
		970.70	12	S	966.55
70157	CATCH BASIN	971.02	18	N	964.12

SURVEYOR'S CERTIFICATION

TO AFFINITY 10 INVESTMENTS, LLC, A MICHIGAN LIMITED LIABILITY COMPANY; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; ATA NATIONAL TITLE GROUP, LLC, AND STONEFIELD ENGINEERING AND DESIGN:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 09/14/23.
DATE OF PLAT OR MAP: 09/28/23

DRAFT

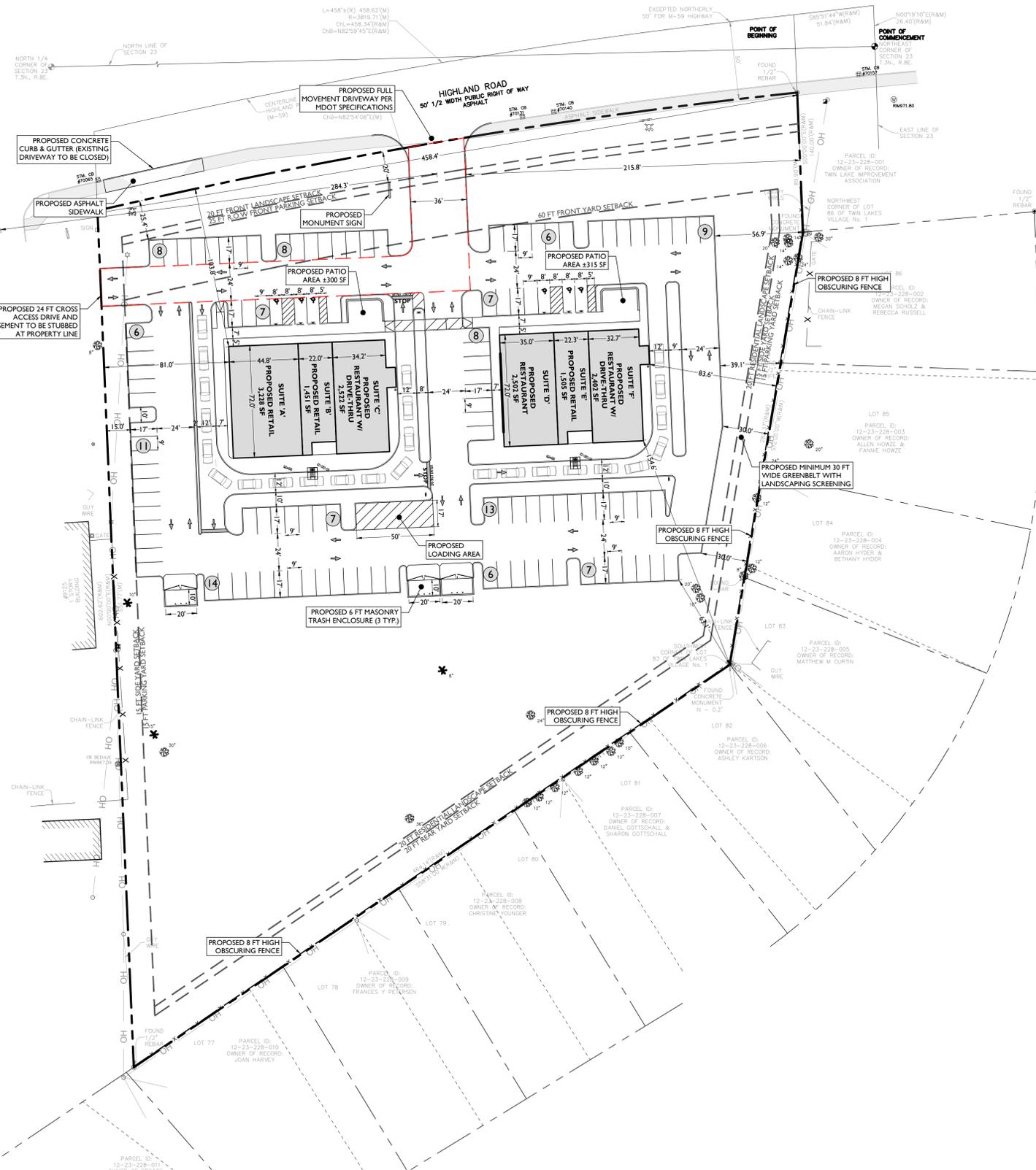
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
9101 HIGHLAND ROAD, WHITE LAKE, MICHIGAN,
PART OF SECTION 23,
TOWN 3 NORTH, RANGE 8 EAST

KEM-TEC
PROFESSIONAL ENGINEERING
SURVEYING & ENVIRONMENTAL
SERVICES
A GROUP OF COMPANIES
Grand Blanc
Ann Arbor
Eastpointe
Detroit
www.kemttecgroupofcompanies.com

DATE	REVISION	BY	DESCRIPTION
09/28/23			
09/28/23			
SEPTEMBER 28, 2023			
23-01922			

SCALE: 1" = 30'
1
1 OF 1 SHEETS



LOCATION MAP
SCALE: 1" = 2,000'±

LAND USE AND ZONING
PID: 12-23-227-003

EXISTING ZONE: RI-C SINGLE FAMILY RESIDENTIAL
2024 MASTER PLAN: COMMERCIAL CORRIDOR
PROPOSED REZONE: RESTRICTED BUSINESS DISTRICT (RB)

PROPOSED USE	PERMITTED USE	PROPOSED USE
RESTAURANT OR FAST FOOD	RESTAURANT	RESTAURANT
DRIVE-THRU WINDOW	SPECIAL LAND USE	DRIVE-THRU WINDOW
RETAIL STORE	RETAIL STORE	RETAIL STORE

ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	1 AC	195,568 SF (4.5 AC)
MINIMUM LOT WIDTH	200 FT	458.4 FT
MAXIMUM BUILDING HEIGHT	35 FT (2 STORIES)	<35 FT (1 STORY)
MINIMUM FRONT YARD SETBACK	60 FT ⁽¹⁾	103.8 FT
MINIMUM SIDE YARD SETBACK (ONE)	15 FT	81.0 FT
MINIMUM SIDE YARD SETBACK (BOTH)	20 FT	164.6 FT
MINIMUM REAR YARD SETBACK	20 FT	154.6 FT
MINIMUM DRIVEWAY FROM RESIDENTIAL	200 FT ⁽¹⁾	215.8 FT
MINIMUM FRONT LANDSCAPE SETBACK	20 FT	25.4 FT
MINIMUM R.O.W PARKING SETBACK	25 FT ⁽²⁾	25.4 FT
INTERIOR LANDSCAPING AREA	15% (29,335 SF)	>15%
MINIMUM DRIVEWAY SPACING (HIGHLAND ROAD)	455 FT	2284.3 FT TO WEST (V)
TRASH ENCLOSURE SETBACK	103.8 FT ⁽¹⁾	COMPLIES
MINIMUM SIDE PARKING SETBACK	15 FT	15.0 FT

- (V) VARIANCE
- REQUIREMENT FOR RESTAURANT WITH DRIVE-THRU
 - NO PARKING STALL SHALL BE LOCATED ADJACENT TO R.O.W LINE, STREET EASEMENT OR SIDEWALK WHICHEVER IS CLOSER
 - NO ENCLOSURES SHALL BE PERMITTED CLOSER TO THE FRONT LOT LINE THAN THE PRINCIPAL BUILDING

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 5.11.M	FAST FOOD PARKING: 1 SPACE PER 75 OF GFA (2,522 SF + 2,402 SF) = 4,924 SF (4,924 SF) (1 SPACE / 75 SF) = 66 SPACES RESTAURANT PARKING: 1 SPACE PER 100 SF OF GFA (2,502 SF) (1 SPACE / 100 SF) = 25 SPACES RETAIL PARKING: 1 SPACE PER 200 SF OF GFA (3,228 SF + 1,451 SF + 1,505 SF) = 6,184 SF (6,184 SF) (1 SPACE / 200 SF) = 31 SPACES TOTAL: 66 + 25 + 31 = 122 SPACES	117 SPACES
§ 5.11.M	STACKING (WEST DRIVE-THRU): 8 STACKING CARS (9 FT X 18 FT) (12 FT X 18 FT)	15 SPACES
§ 5.11.M	STACKING (EAST DRIVE-THRU): 8 STACKING CARS (9 FT X 18 FT) (12 FT X 18 FT)	10 SPACES
§ 5.11.Q	90° PARKING: 9 FT X 18 FT WITH 24 FT AISLE ⁽¹⁾ W/ 24 FT AISLE	9 FT X 17 FT
§ 5.19	LANDSCAPE REQUIREMENT: 20 FT WIDTH ALONG RESIDENTIAL 6-8 FT OBSCURING FENCE LOADING AREA:	30 FT WIDTH 8 FT FENCE
§ 5.11.P.I	10 FT X 50 FT WITH 15 FT CLEARANCE	17 FT X 50 FT

(1) PARKING SPACE LENGTH MAY BE REDUCED TO 17 FT WHERE 7 FT SIDEWALK OR LANDSCAPE IS PROVIDED

SYMBOL DESCRIPTION

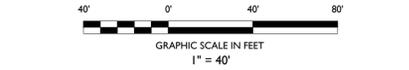
---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
▨	PROPOSED SCREEN WALL
—X—X—	PROPOSED 8 FT OBSCURING FENCE

SIGNAGE REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 5.9.1.B	MULTI-TENANT SIGN HEIGHT: 15 FT ⁽¹⁾	<15 FT
§ 5.9.1	SIGN AREA: 6 SF PER 1 FT OF SETBACK	<150 SF
§ 5.9.1	MAXIMUM SIGN AREA: 150 SF ⁽¹⁾	<150 SF
§ 5.9.1.A	SIGN SETBACK: 10 FT	20.0 FT
§ 5.9.1.A	RESIDENTIAL SETBACK: 100 FT	>200 FT

- MAXIMUM SIGN AREA SHALL NOT INCLUDE DECORATIVE ELEMENTS SUCH AS BASES, COLUMNS OR CAPS
- MINIMUM HEIGHT OF A SIGN BASE SHALL BE 2 FT IN HEIGHT
- EACH INDIVIDUAL TENANT SIGN SHALL NOT EXCEED 4 FT IN HEIGHT

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



ISSUE	DATE	BY	DESCRIPTION
3	4/27/2024	JRC/JJP	SUBMISSION FOR REVISED REZONING REQUEST
2	04/15/2024	EM	FOR PRELIMINARY MDOT REVIEW
1	11/29/2023	JRC/JJP	SUBMISSION FOR REZONING

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Detroit, MI · Rutherford, NJ · New York, NY
Boston, MA · Princeton, NJ · Tampa, FL
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

9101 HIGHLAND ROAD
PROPOSED MULTI-TENANT BUILDING

SITE PLAN EXHIBIT

PARCEL ID: 12-23-227-003
9101 HIGHLAND ROAD
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

J. REID COOKSEY, P.E.
MICHIGAN LICENSE No. 6201069428
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 40' PROJECT ID: DET-230219

TITLE: **PRELIMINARY SITE PLAN (REZONING REQUEST)**

DRAWING: **EX-1**

WHITE LAKE TOWNSHIP

NOTICE OF PUBLIC HEARING

Section 9, Item C.

Notice is hereby given the Planning Commission of White Lake will hold a public hearing on **Thursday, May 16th, 2024 at 6:30 P.M.** at the Township Annex, 7527 Highland Road, White Lake, Michigan 48383, to consider the following changes to the zoning map:

Property described as 9101 Highland Road, identified as parcel number 12-23-227-003, located south of Highland Road, west of Sunnybeach Boulevard, consisting of approximately 5.02 acres.

Applicant requests to rezone the parcel from R1-C (Single Family Residential) to RB (Restricted Business) or any other appropriate zoning district.

The applicant is Affinity 10 Investments, LLC.

Persons interested are requested to be present. Pertinent information relative to this rezoning request is on file at the Community Development Department and may be examined at any time during regular business hours of 8:00 a.m. to 5:00 p.m. Persons interested may visit the Community Development Department, contact the Community Development Department by telephone at 248-698-3300, ext. 5, or attend the Public Hearing on the date specified. Written comments are also welcome at 7525 Highland Road, White Lake, MI 48383. Individuals with disabilities requiring auxiliary aids or services should contact the Clerk's Office at least 5 days before the hearing.

95

Sean O'Neil, AICP
Community Development Director



INTER OFFICE MEMO

August 20, 2024

Dear Board members,

At the July 16 board meeting we had a discussion regarding the need to upgrade to BS&A Cloud. We also explained the need to do it soon to meet tax timing for the Treasurer's department and prior to the upcoming flurry of activities related to our new buildings.

During the July 16th meeting the Board agreed with the need to upgrade BS&A but requested that I attempt to negotiate a contract to lock the annual pricing in for a few years. While BS&A would agree to a three-year contract, they would not agree to lock in the annual module pricing, but they did agree to spread the 1st year module costs and implementation costs over the three-year contract. However, their standard language for increases would apply, which is:

After the first year, and for the 3-year term of the contract agreement, BS&A Software commits to increase the SaaS fee by no more than the greater of the yearly Consumers Price Index for All Urban Consumers U.S. city average (CPI-U) or five percent (5%) per year.

BS&A did also agree to reduce the implementation fee by \$7,200.00 as an incentive since they did not agree to hold the pricing each year of the contract.

Dave Hieber - Assessor, Kim Patton - Deputy Treasurer, and I sat in on the negotiation call with BS&A. Upon receiving and reviewing this proposal, we all agreed it was in the Township's best interest to move forward to ask the Board to consider this agreement, with the understanding that we still need legal to review/negotiate terms if approved by the Board. This review must be completed by August 30, 2024, to lock in the \$7,200.00 discount.


Trish Pergament
Deputy Supervisor

**Proposal for:
White Lake Charter Township, Oakland County MI**

August 15, 2024

Quoted by: Michael VanHal

Software and Services for BS&A Cloud Upgrade



Thank you for the opportunity to quote our software and services.

At BS&A, we are focused on delivering unparalleled service, solutions, support, and customer satisfaction. You'll see this in our literature, but it's not just a marketing strategy... it's a mindset deeply embedded in our DNA. Our goal is to provide such remarkable customer service that our customers feel compelled to remark about it.

*We are extremely proud of the many long-term customer relationships we have built. Our success is directly correlated with putting the customer first and consistently choosing to **listen**. Delivering unparalleled customer service is the foundation of our company.*

Cost Summary

Software is licensed for use only by municipality identified on the cover page. If used for additional entities or agencies, please contact BS&A for appropriate pricing. Prices subject to change if the actual count is significantly different than the estimated count. Module fees are charged annually and include unlimited support.

Upgrade - Cloud Modules - Annual Fee

Financial Management

General Ledger	\$10,450
Accounts Payable	\$8,575
Cash Receipting	\$9,460
Utility Billing (<i>approximately 2,400 utility accounts</i>)	\$3,550

Community Development

Building Department	\$16,970
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Property

Assessing (<i>decentralizing from County's Citrix environment</i>)	\$11,580
Tax (<i>decentralizing from County's Citrix environment</i>)	\$7,665

Subtotal **\$68,250**

New Purchase - Cloud Modules - Annual Fee

Financial Management

Fixed Assets	\$6,395
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Property

Special Assessment	\$3,300
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BS&A Online

Public Records Search + Online Bill Pay <i>With use of integrated Credit Card Processor Pay-Per-Hit</i>	\$0
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Subtotal **\$9,695**



Data Conversions/Database Setup

No conversion or database setup to be performed for:

Fixed Assets

Upgrade Implementation

Services include:

- *Management of your upgrade by our dedicated upgrade team for a smooth shift from .NET to cloud-based software, minimizing disruption*
- *Project schedule aligned with your processes and needs, ensuring a seamless transition timeline*
- *Expedited upgrade to cloud capturing existing process to minimize demands required of client teams*
- *Onboarding planned around critical process dates, ensuring your team is well-prepared for effective cloud software utilization*
- *Central contact for streamlined communication between project leaders, developers, IT staff, and conversion resources*
- *Testing and implementation of existing municipal customizations prior to go-live, preserving functionality and ensuring critical components are converted*
- *Preliminary data conversion with attachments, mirroring final conversion for a smooth transition*
- *Thorough data verification for all modules, ensuring accuracy and reliability of converted data, including automated balancing*
- *Key module validation managed by dedicated upgrade team (vs. customer in previous methodology), including testing of parallel processes*
- *Migration of key custom user-based designed reports handled out-the-box, enabling seamless access to critical insights.*
- *As needed, transition from .NET Online Payments to cloud architecture configuration for uninterrupted payment processing.*
- *Automated scaffolding of users and security roles based on your previous configurations*
- *Conversion of approval workflows based on role-based security, maintaining established processes*
- *As needed, configuration of existing hardware (barcode scanners, etc.) for seamless integration with cloud environment*
- *Documentation of our standard processes, facilitating easy access to essential information*
- *Upgrade training*
- *Prioritized response post go-live for 2 weeks from the upgrade team*
- *3 post go-live survey touch points to check-in on post-go live experience*
- *Remote go-live assistance and remote office hours for a successful transition to the cloud-based software*
- *Travel not expected, but any necessary travel would be billed at a per trip and/or per day cost*

\$69,400

Courtesy Discount, available if contract is executed prior to August 30, 2024

-\$7,200



New Module Project Management and Implementation Planning

Services include:

- Analyzing customer processes to ensure all critical components are addressed.
- Creating and managing the project schedule in accordance with the customer's existing processes and needs.
- Planning and scheduling training around any planned process changes included in the project plan.
- Modifying the project schedule as needed to accommodate any changes to the scope and requirements of the project that are discovered.
- Providing a central contact between the customer's project leaders, developers, trainers, IT staff, conversion staff, and other resources required throughout the transition period.
- Installing the software and providing IT consultation for network, server, and workstation configuration and requirements.
- Reviewing and addressing the specifications for needed customizations to meet customer needs (when applicable).

\$2,100

New Module Implementation and Training

- \$1,200/day
- Days quoted are estimates; you are billed for actual days used

Services include:

- Setting up users and user security rights for each application
- Performing final process and procedure review
- Configuring custom settings in each application to fit the needs of the customer
- Setting up application integration and workflow methods
- Onsite verification of converted data for balancing and auditing purposes
- Training and Go-Live

Software Setup	Days:	4	\$4,800
Financial Management Modules	Days:	2	\$2,400
Property Modules	Days:	1	\$1,200
	Total:	7	Subtotal \$8,400

Travel Expenses

Travel Expenses for New Module Training

\$840



Cost Totals

SaaS fees are billed annually. After the first year, and for the 3 year term of the contract agreement BS&A Software commits to increase the SaaS Fee by no more than the greater of the yearly Consumers Price Index for All Urban Consumers U.S. city average (CPI-U) or five percent (5%) per year.

Upgrade Modules - Annual Fee	\$68,250
New Modules - Annual Fee	\$9,695
Upgrade Implementation	\$62,200
New Module Project Management and Implementation Planning	\$2,100
New Modules Implementation and Training and Travel Expenses	\$9,240
Total Proposed	\$151,485

Travel not expected for Upgrades. Any necessary travel to be billed at a per trip and/or per day cost.

Payment Schedule

- 1st Payment: **\$24,515** to be invoiced upon execution of this agreement.
- 2nd Payment: **\$68,250** to be invoiced upon activation of customer's site for upgrade modules.
- 3rd Payment: **\$24,515** to be invoiced upon completion of upgrade implementation. Not to be sooner than January of 2025.
- 4th Payment: **\$9,695** to be invoiced upon activation of new modules.
- 5th Payment: **\$24,510** to be invoiced the later of completion of new module training or January of 2026.

BS&A commits to implementation of the systems between April and June of 2025, with receipt of a signed contract no later than August 30, 2024.

Additional Information

Program Customization

BS&A strives to provide a flexible solution that can be tailored to each municipality's needs. However, in some cases, custom work may be required. Typical examples include:

- custom payment import/lock box import
- custom OCR scan-line
- custom journal export to an outside accounting system
- custom reports

If you require any custom work, please let us know so that we can better understand the scope of your request and include that in a separate proposal.

Cash Receipting Hardware

		Quantity		Cost
Epson THM-6000V Series Receipt Printer*	\$1,100	x	_____	= \$ _____
APG Series 100Cash Drawer**	\$275	x	_____	= \$ _____
Honeywell Hyperion 1300g Linear-Imaging Scanner	\$275	x	_____	= \$ _____
Credit Card Reader (if using Invoice Cloud)	\$75	x	_____	= \$ _____

This will add \$ _____ to the Total Proposed.

**IMPORTANT. The receipt printer must be plugged into the USB port on one workstation (not your server). This printer is not to be shared with other workstations. If more than one workstation will be used for receipting, please consider purchasing more than one receipt printer.*

Please provide the number of cash drawers that will be hooked up to the printer _____

Note: The availability, model numbers, and pricing for all third party hardware listed above is subject to availability from the manufacturers. In the event that the listed hardware is no longer available at the time of purchase, a comparable replacement will be available, at the then current cost. Returns require pre-approval, and all purchased equipment must be shipped back to BS&A in its original packaging. Returns are subject to a re-stocking fee of \$50.00.

Additional Training - Building Department Report Designer

Most of our Building Department customers heavily use our Report Designer, which is included free with the program. Report Designer Training is not included in the training quoted on this proposal and is highly recommended. You may attend a class at our office in Bath Township, or we can train at your location. Report Designer Training is typically completed in one day.

Please check the option you are interested in. Report Designer Training will be scheduled after successful implementation and training of your Building Department software.

- Classroom training, \$205/person/day
- On-site training (unlimited attendees), \$1,200/day, travel not included

BS&A Online

Connection Requirements

BS&A Cloud modules require a high-speed internet connection (cable modem or DSL).



**BS&A
CUSTOMER ORDER FORM**

This Customer Order Form (this “**Order**”) is entered into as of the “**Effective Date**” identified below between BS&A Software, LLC, a Delaware limited liability company with offices located at 14965 Abbey Lane, Bath, MI 48808 (“**BS&A**”) and the “**Customer**” identified below. Capitalized terms used but not defined in this Order have the meanings given them elsewhere in the Agreement (as defined below). BS&A and Customer may be referred to herein collectively as the “**Parties**” or individually as a “**Party**”. The Parties hereby agree as follows:

Customer Name: White Lake Charter Township, Oakland County	Sponsor Contact: []
Billing Address: 7525 Highland Road, White Lake, MI 48383	Sponsor Phone: []
Accounts Payable Email: []	Sponsor Email: []

Platform and Fee Information

Effective Date: []	
Platform Description: Those modules and feature packs of BS&A’s proprietary hosted enterprise resource planning service for managing local government functions that are identified in the Pricing Sheet.	
“Usage Limitations”:	
<input type="checkbox"/> <i>Number of Authorized Users:</i> [INSERT # OF SEATS]	
<input type="checkbox"/> <i>Other:</i> [INSERT OTHER USAGE LIMITATIONS, IF ANY]	
“Initial Subscription Period”: [Three (3) years]	Subscription Fees: \$77,945, payable [annually].
Professional Services (if any): \$80,740	Service Fees (if any):
Other Customer Terms:	

The Customer Agreement (the “**Agreement**”), made and entered into as of the Effective Date between BS&A and Customer, includes and incorporates: (i) the above Order; (ii) any Orders previously or subsequently entered into by the Parties; and (iii) the Customer Terms and Conditions, which are attached to this Order (the “**Terms and Conditions**”); (iv) the Pricing Sheet attached to this Order (the “**Pricing Sheet**”); and (v) any Statements of Work (each an “**SOW**”) entered into by the parties, a form of which is attached to this Order .

BS&A SOFTWARE, LLC

WHITE LAKE CHARTER TOWNSHIP

Name: _____
Title: _____

Name: _____
Title: _____

EXHIBIT A
CUSTOMER TERMS AND CONDITIONS

The Parties agree as follows:

1. Definitions.

1.1 **“Authorized User”** means Customer’s employees, consultants, contractors, and agents: (i) who are authorized by Customer to access and use the Platform under this Agreement; and (ii) for whom access to the Platform has been purchased hereunder.

1.2 **“BS&A IP”** means the Platform and any and all intellectual property provided to Customer or any Authorized User in connection with the foregoing. For the avoidance of doubt, BS&A IP includes Usage Data and any information, data, or other content derived from BS&A’s provision of the Platform but does not include Customer Data.

1.3 **“Business Contact Data”** means Personal Information that relates to BS&A’s relationship with Customer, including, by way of example and without limitation, the names and contact information of Authorized Users and any other data BS&A collects for the purpose of managing its relationship with Customer, identity verification, or as otherwise required by applicable laws, rules, or regulations.

1.4 **“Customer Data”** means information, data, and other content, in any form or medium, that is submitted, posted, or otherwise transmitted by or on behalf of Customer or an Authorized User through the Platform, including Business Contact Data; provided that, for purposes of clarity, Customer Data as defined herein does not include Business Contact Data or Usage Data.

1.5 **“Documentation”** means Company’s end user documentation relating to the Platform, including any user guides.

1.6 **“Harmful Code”** means any software, hardware, or other technology, device, or means, including any virus, worm, malware, or other malicious computer code, the purpose or effect of which is to permit unauthorized access to, or to destroy, disrupt, disable, distort, or otherwise harm or impede in any manner any (i) computer, software, firmware, hardware, system, or network; or (ii) any application or function of any of the foregoing or the security, integrity, confidentiality, or use of any data processed thereby.

1.7 **“Order”** means: (i) a purchase order, order form, or other ordering document entered into by the Parties that incorporates this Agreement by reference; or (ii) if Customer registered for the Platform through BS&A’s online ordering process, the results of such online ordering process.

1.8 **“Personal Information”** means any information that, individually or in combination, does or can identify a specific individual or by or from which a specific individual may be identified, contacted, or located, including without limitation all data considered “personal data”, “personally identifiable information”, or something similar under applicable laws, rules, or regulations relating to data privacy.

1.9 **“Platform”** has the meaning set forth on the Order.

1.10 **“Professional Services”** means training, migration, implementation, integration, or other professional services that are memorialized in writing in a Statement of Work and provided to Customer in connection with its use of the Platform hereunder.

1.11 **“Statement of Work”** or **“SOW”** means a written statement of work for Professional Services executed by both Parties that incorporates this Agreement by reference.

1.12 **“Subscription Period”** means the time period identified on the Order during which Customer’s Authorized Users may access and use the Platform.

1.13 **“Third-Party Products”** means any third-party products provided with, integrated with, or incorporated into the Platform.

1.14 **“Usage Data”** means usage data collected and processed by BS&A in connection with Customer’s use of the Platform, including without limitation test configuration metadata, activity logs, and data used to optimize and maintain performance of the Platform, and to investigate and prevent system abuse. For purposes of clarity, Customer Data is not Usage Data and Usage Data does not contain Personal Information or any other Customer Data.

1.15 **“Usage Limitations”** means the usage limitations set forth in this Agreement and the Order, including without limitation any limitations on the number of Authorized Users (if any), and the applicable product, pricing, and support tiers agreed-upon by the Parties.

2. Access and Use.

2.1 Provision of Access. Subject to and conditioned on Customer’s compliance with the terms and conditions of this Agreement, including without limitation the Usage Limitations, Customer may, solely through its Authorized Users, access and use the Platform during the Subscription Period on a non-exclusive, non-transferable (except in compliance with Section 15.9), and non-sublicensable basis. Such use is limited to Customer’s internal business purposes and the features and functionalities specified in the Order. Each Authorized User must have its own unique account on the Platform and Authorized Users may not share their account credentials with one another or any third party. Customer will be responsible for all of the acts and omissions of its Authorized Users in connection with this Agreement and for all use of Authorized Users’ accounts.

2.2 Documentation License. Subject to and conditioned on Customer’s compliance with the terms and conditions of this Agreement, Company hereby grants to Customer a non-exclusive, non-transferable (except in compliance with Section 15.9), and non-sublicensable license to use the Documentation during the Subscription Period solely for Customer’s internal business purposes in connection with its use of the Platform.

2.3 Use Restrictions. Customer shall not use the Platform for any purposes beyond the scope of the access granted in this Agreement. Customer shall not at any time, directly or indirectly, and shall not permit any Authorized Users to: (i) copy, modify, or create derivative works of any BS&A IP, whether in whole or in part; (ii) rent, lease, lend, sell, license, sublicense, assign, distribute, publish, transfer, or otherwise make available the Platform or Documentation to any third party; (iii) reverse engineer, disassemble, decompile, decode, adapt, or otherwise attempt to derive or gain access to any software component of the Platform, in whole or in part; (iv) remove any proprietary notices from any BS&A IP; (v) use any BS&A IP in any manner or for any purpose that infringes, misappropriates, or otherwise violates any intellectual property right or other right of any person, or that violates any applicable law; (vi) access or use any BS&A IP for purposes of competitive analysis of BS&A or the Platform, the development, provision, or use of a competing software service or product, or any other purpose that is to BS&A’s detriment or commercial disadvantage; (vii) bypass or breach any security device or protection used by the Platform or access or use the Platform other than by an Authorized User through the use of valid access credentials; (viii) input, upload, transmit, or otherwise provide to or through the Platform any information or materials, including Customer Data, that are unlawful or injurious or that infringe or otherwise violate any third party’s intellectual property or other rights, or that contain, transmit, or activate any Harmful Code; or (ix) use any BS&A IP for any activity where use or failure of the BS&A IP could lead to death, personal injury, or environmental damage, including life support systems, emergency services, nuclear facilities, autonomous vehicles, or air traffic control.

2.4 Reservation of Rights. BS&A reserves all rights not expressly granted to Customer in this Agreement. Except for the limited rights and licenses expressly granted under this Agreement, nothing in this Agreement grants, by implication, waiver, estoppel, or otherwise, to Customer or any third party any intellectual property rights or other right, title, or interest in or to the BS&A IP.

2.5 Suspension. Notwithstanding anything to the contrary in this Agreement, BS&A may temporarily suspend Customer’s and any Authorized User’s access to any portion or all of the Platform if: (i) BS&A reasonably determines that (a) there is a threat or attack on any of the BS&A IP; (b) Customer’s or any Authorized User’s use of the BS&A IP disrupts or poses a security risk to the BS&A IP or to any other customer or vendor of BS&A; (c) Customer, or any Authorized User, is using the BS&A IP for fraudulent or illegal activities; (d) subject to applicable law, Customer has ceased to continue its business in the ordinary course, made an assignment for the benefit of creditors or similar disposition of its assets, or become the subject of any bankruptcy, reorganization, liquidation, dissolution, or similar proceeding; (e) BS&A’s provision of the Platform to Customer or any Authorized User is prohibited by applicable law; or (f) any Customer Data submitted, posted, or otherwise transmitted by or on behalf of Customer or an Authorized User through the Platform may infringe or otherwise violate any third party’s intellectual property or other rights; (ii) any vendor of BS&A has suspended or terminated BS&A’s access to or use of any Third-Party Products required to enable Customer to access the Platform; or (iii) in accordance with Section 7.1 (any such suspension described in subclauses (i), (ii), or (iii), a **“Service Suspension”**). BS&A shall use commercially reasonable efforts to provide written notice of any Service Suspension to Customer and to provide updates regarding resumption of access to the Platform following any Service Suspension. BS&A shall use commercially reasonable efforts to resume providing access to the Platform as soon as reasonably possible after the event giving rise to the Service Suspension is cured. BS&A will have no liability for any damage, liabilities, losses (including any

loss of data or profits), or any other consequences that Customer or any Authorized User may incur as a result of a Service Suspension.

2.6 Business Contact Data and Usage Data. Notwithstanding anything to the contrary in this Agreement, BS&A may process Business Contact Data: (i) to manage BS&A's relationship with Customer; (ii) to carry out BS&A's core business operations, such as, by way of example and without limitation, accounting, audits, tax preparation and for filing and compliance purposes; (iii) to monitor, investigate, prevent and detect fraud, security incidents and other misuse of the Platform, and to prevent harm to BS&A, Customer, and BS&A's other customers; (iv) for identity verification purposes; and (v) to comply with applicable laws, rules, and regulations relating to the processing and retention of Personal Information to which BS&A may be subject. BS&A may process Usage Data for any lawful purpose, including to monitor, maintain, and optimize the Platform.'

3. Customer Responsibilities.

3.1 General. Customer is responsible and liable for all uses of the Platform and Documentation resulting from access provided by Customer, directly or indirectly, whether such access or use is permitted by or in violation of this Agreement. Without limiting the generality of the foregoing, Customer is responsible for all acts and omissions of Authorized Users, and any act or omission by an Authorized User that would constitute a breach of this Agreement if taken by Customer will be deemed a breach of this Agreement by Customer. Customer shall use reasonable efforts to make all Authorized Users aware of this Agreement's provisions as applicable to such Authorized User's use of the Platform and shall cause Authorized Users to comply with such provisions.

3.2 Third-Party Products. BS&A may from time to time make Third-Party Products available to Customer or BS&A may allow for certain Third-Party Products to be integrated with the Platform to allow for the transmission of Customer Data from such Third-Party Products into the Platform. For purposes of this Agreement, such Third-Party Products are subject to their own terms and conditions. BS&A is not responsible for the operation of any Third-Party Products and makes no representations or warranties of any kind with respect to Third-Party Products or their respective providers. If Customer does not agree to abide by the applicable terms for any such Third-Party Products, then Customer should not install or use such Third-Party Products. By authorizing BS&A to transmit Customer Data from Third-Party Products into the Platform, Customer represents and warrants to BS&A that it has all right, power, and authority to provide such authorization.

3.3 Customer Control and Responsibility. Customer has and will retain sole responsibility for: (i) all Customer Data, including its content and use; (ii) all information, instructions, and materials provided by or on behalf of Customer or any Authorized User in connection with the Platform; (iii) Customer's information technology infrastructure, including computers, software, databases, electronic systems (including database management systems), and networks, whether operated directly by Customer or through the use of third-party platforms or service providers ("**Customer Systems**"); (iv) the security and use of Customer's and its Authorized Users' access credentials; and (v) all access to and use of the Platform directly or indirectly by or through the Customer Systems or its or its Authorized Users' access credentials, with or without Customer's knowledge or consent, including all results obtained from, and all conclusions, decisions, and actions based on, such access or use. For purposes of clarity, Customer Systems do not include BS&A's information technology infrastructure, including computers, software, databases, electronic systems (including database management systems, and networks operated directly by BS&A and its third-party service providers.

4. Support. Subject to and conditioned on Customer's compliance with the terms and conditions of this Agreement, including payment of applicable Fees, BS&A will use commercially reasonable efforts to provide Customer with basic customer support via BS&A's standard support channels during BS&A's normal business hours.

5. Professional Services. BS&A will perform Professional Services as described in an Order or Statement of Work. Customer will provide BS&A all reasonable cooperation required for BS&A to perform the Professional Services, including without limitation timely access to any reasonably required Customer materials, information, or personnel. Subject to any limitations identified in an Order or Statement of Work, Customer will reimburse BS&A's reasonable travel and lodging expenses incurred in providing Professional Services. To the extent the Professional Services result in any work product of any kind or character ("**Work Product**"), all such Work Product will remain owned solely and exclusively by BS&A and, to the extent any such Work Product consists of enhancements, improvements, or other modifications to the Platform, such Work Product may be used by Customer solely in connection with Customer's authorized use of the Platform under this Agreement.

6. Insurance. During the Subscription Period, BS&A shall procure and maintain appropriate insurance policies with

coverage limits that are commensurate with industry standards and sufficient to protect against potential risks associated with this Agreement. The insurance policies shall be obtained from reputable and financially sound insurance providers, and BS&A agrees to provide proof of such insurance upon request by Customer.

7. Fees and Taxes.

7.1 Fees. The Platform may be provided for a fee or other charge. Customer shall pay BS&A the fees (“Fees”) identified in the Order without offset or deduction at the cadence identified in the Order (e.g., monthly or annually). BS&A may increase the Fees annually, provided that BS&A will provide Customer at least thirty (30) days’ notice of such increase prior to the end of the then-current Term. The amount of the Fee increase will be in BS&A’s sole discretion, provided that Customer agrees that the increase may be at least the greater of: (i) five percent (5%); or (ii) the annual increase in the relevant Consumer Price Index for all Urban Consumers published by the Bureau of Labor Statistics for the then-current calendar year, in each case as compared to the Fees applicable during then-current Term, as applicable. Fees paid by Customer are non-refundable. Customer shall make all payments hereunder in US dollars by ACH or via another reasonable method chosen by BS&A, to such account as BS&A may specify in writing from time to time, or by another mutually agreed-upon payment method. If Customer pays via invoice, Customer will pay the invoiced amount within thirty (30) calendar days of the invoice date. If Customer fails to make any payment when due, and Customer has not notified BS&A in writing within ten (10) days of the payment becoming due and payable that the payment is subject to a good faith dispute, without limiting BS&A’s other rights and remedies, and to the fullest extent permissible under applicable law: (i) BS&A may charge interest on the undisputed past due amount at the rate of 1.5% per month, calculated daily and compounded monthly or, if lower, the highest rate permitted under applicable law; (ii) Customer shall reimburse BS&A for all reasonable costs incurred by BS&A in collecting any late payments or interest, including attorneys’ fees, court costs, and collection agency fees; and (iii) if such failure continues for ten (10) days or more, BS&A may suspend Customer’s and its Authorized Users’ access to all or any part of the Platform until such amounts are paid in full.

7.2 Taxes. All Fees and other amounts payable by Customer under this Agreement are exclusive of taxes and similar assessments. Customer is responsible for all sales, use, and excise taxes, and any other similar taxes, duties, and charges of any kind imposed by any federal, state, or local governmental or regulatory authority on any amounts payable by Customer hereunder, other than any taxes imposed on BS&A’s income.

8. Confidential Information.

8.1 Definition. From time to time during the Subscription Period, either Party may disclose or make available to the other Party information about its business affairs, products, confidential intellectual property, trade secrets, third-party confidential information, and other sensitive or proprietary information, whether orally or in written, electronic, or other form or media that: (i) is marked, designated or otherwise identified as “confidential” or something similar at the time of disclosure or within a reasonable period of time thereafter; or (ii) would be considered confidential by a reasonable person given the nature of the information or the circumstances of its disclosure (collectively, “Confidential Information”). Except for Personal Information, Confidential Information does not include information that, at the time of disclosure is: (a) in the public domain; (b) known to the receiving Party at the time of disclosure; (c) rightfully obtained by the receiving Party on a non-confidential basis from a third party; or (d) independently developed by the receiving Party without use of, reference to, or reliance upon the disclosing Party’s Confidential Information.

8.2 Duty. The receiving Party shall not disclose the disclosing Party’s Confidential Information to any person or entity, except to the receiving Party’s employees, contractors, and agents who have a need to know the Confidential Information for the receiving Party to exercise its rights or perform its obligations hereunder (“Representatives”). The receiving Party will be responsible for all the acts and omissions of its Representatives as they relate to Confidential Information hereunder. Notwithstanding the foregoing, each Party may disclose Confidential Information to the limited extent required (i) in order to comply with the order of a court or other governmental body, or as otherwise necessary to comply with applicable law, provided that the Party making the disclosure pursuant to the order shall first have given written notice to the other Party and made a reasonable effort to obtain a protective order; or (ii) to establish a Party’s rights under this Agreement, including to make required court filings. Further, notwithstanding the foregoing, each Party may disclose the terms and existence of this Agreement to its actual or potential investors, debtholders, acquirers, or merger partners under customary confidentiality terms.

8.3 Return of Materials; Effects of Termination/Expiration. On the expiration or termination of the Agreement, the receiving Party shall promptly return to the disclosing Party all copies, whether in written, electronic, or other form or media, of the disclosing Party’s Confidential Information, or destroy all such copies and certify in writing to the disclosing Party that such Confidential Information has been destroyed. Each Party’s obligations of non-use and non-

disclosure with regard to Confidential Information are effective as of the Effective Date and will expire three (3) years from the date of termination or expiration of this Agreement; provided, however, with respect to any Confidential Information that constitutes a trade secret (as determined under applicable law), such obligations of non-disclosure will survive the termination or expiration of this Agreement for as long as such Confidential Information remains subject to trade secret protection under applicable law.

9. Data Security and Processing of Personal Information.

9.1 Customer Data. Customer hereby grants to BS&A a non-exclusive, royalty-free, worldwide license to reproduce, distribute, and otherwise use and display the Customer Data and perform all acts with respect to the Customer Data as may be necessary for BS&A to provide the Platform and otherwise perform its obligations hereunder. Customer may export the Customer Data at any time through the features and functionalities made available via the Platform. For the avoidance of doubt, aggregated, de-identified, and anonymized portions, sets, or other combinations of Customer Data that do not contain personally identifying elements of Customer's identity or of any Authorized Users are Usage Data and not Customer Data.

9.2 Security Measures. BS&A will implement and maintain commercially reasonable administrative, physical, and technical safeguards designed to protect Customer Data (including Personal Information provided as part of Business Contact Data) from unauthorized access, use, alteration, or disclosure.

9.3 Processing of Personal Information. BS&A's rights and obligations with respect to Personal Information that it collects directly from individuals (if any) are set forth in BS&A's Privacy Policy (as amended from time to time in accordance with its terms). Personal Information processed by BS&A on behalf of Customer is considered Customer Data and is governed by the terms of this Agreement.

10. Intellectual Property Ownership; Feedback.

10.1 BS&A IP. Customer acknowledges that, as between Customer and BS&A, BS&A owns all right, title, and interest, including all intellectual property rights, in and to the BS&A IP and, with respect to Third-Party Products, the applicable third-party providers own all right, title, and interest, including all intellectual property rights, in and to the Third-Party Products.

10.2 Usage Data. Customer acknowledges that, as between BS&A and Customer, BS&A owns all right, title, and interest, including all intellectual property rights, in and to the Usage Data.

10.3 Customer Data. BS&A acknowledges that, as between BS&A and Customer, Customer owns all right, title, and interest, including all intellectual property rights, in and to the Customer Data, including all Business Contact Data.

10.4 Feedback. If Customer or any of its employees or contractors sends or transmits any communications or materials to BS&A by mail, email, telephone, or otherwise, suggesting or recommending changes to the BS&A IP, including without limitation, new features or functionality relating thereto, or any comments, questions, suggestions, or the like ("**Feedback**"), BS&A is free to use such Feedback irrespective of any other obligation or limitation between the Parties governing such Feedback.

11. Mutual Warranties; Disclaimer of Other Warranties.

11.1 Mutual Warranties. Each party hereby represents and warrants to the other that: (i) it has the full right, power, and authority to enter into, execute, and perform its obligations under this Agreement without any conflict with or violation of any other obligations to which it may be subject; and (ii) this Agreement is binding on such party in accordance with its terms.

11.2 Disclaimer of Other Warranties. THE BS&A IP IS PROVIDED "AS IS" AND BS&A HEREBY DISCLAIMS ALL WARRANTIES, WHETHER EXPRESS, IMPLIED, STATUTORY, OR OTHERWISE. BS&A SPECIFICALLY DISCLAIMS ALL IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, TITLE, AND NON-INFRINGEMENT, AND ALL WARRANTIES ARISING FROM COURSE OF DEALING, USAGE, OR TRADE PRACTICE. BS&A MAKES NO WARRANTY OF ANY KIND THAT THE BS&A IP, OR ANY PRODUCTS OR RESULTS OF THE USE THEREOF, WILL MEET CUSTOMER'S OR ANY OTHER PERSON'S REQUIREMENTS, OPERATE WITHOUT INTERRUPTION, ACHIEVE ANY INTENDED RESULT, BE COMPATIBLE OR WORK WITH ANY SOFTWARE, SYSTEM OR OTHER PLATFORM, OR BE SECURE, ACCURATE, COMPLETE, FREE OF HARMFUL CODE, OR ERROR FREE.

12. Indemnification.

12.1 BS&A Indemnification.

(a) BS&A shall indemnify, defend, and hold harmless Customer from and against any and all losses, damages, liabilities, costs (including reasonable attorneys' fees) ("**Losses**") incurred by Customer resulting from any third-party claim, suit, action, or proceeding ("**Third-Party Claim**") brought against Customer alleging that the Platform, or any use of the Platform in accordance with this Agreement, infringes or misappropriates such third party's US intellectual property rights; provided that Customer promptly notifies BS&A in writing of the claim, cooperates with BS&A, and allows BS&A sole authority to control the defense and settlement of such claim.

(b) If such a claim is made or appears possible, Customer agrees to permit BS&A, at BS&A's sole discretion: to (i) modify or replace the Platform, or component or part thereof, to make it non-infringing; or (ii) obtain the right for Customer to continue use. If BS&A determines that neither alternative is reasonably commercially available, BS&A may terminate this Agreement, in its entirety or with respect to the affected component or part, effective immediately on written notice to Customer, and as Customer's sole and exclusive remedy therefor, BS&A will provide to Customer a prorated refund of prepaid, unused Fees attributable to the Platform (and not including any one-time Fees for Professional Services).

(c) This Section 12.1 will not apply to the extent that the alleged infringement arises from: (i) use of the Platform in combination with data, software, hardware, equipment, or technology not provided by BS&A or authorized by BS&A in writing; (ii) modifications to the Platform not made by BS&A; (iii) Customer Data; or (iv) Third-Party Products.

12.2 Customer Indemnification. To the extent permitted under applicable laws, Customer shall indemnify, hold harmless, and, at BS&A's option, defend BS&A from and against any Losses resulting from any Third-Party Claim alleging that the Customer Data, or any use of the Customer Data in accordance with this Agreement, infringes or misappropriates such third party's intellectual property or other rights and any Third-Party Claims based on Customer's or any Authorized User's (i) negligence or willful misconduct; (ii) use of the Platform in a manner not authorized by this Agreement; or (iii) use of the Platform in combination with data, software, hardware, equipment or technology not provided by BS&A or authorized by BS&A in writing; in each case provided that Customer may not settle any Third-Party Claim against BS&A unless BS&A consents to such settlement, and further provided that BS&A will have the right, at its option, to defend itself against any such Third-Party Claim or to participate in the defense thereof by counsel of its own choice.

12.3 Sole Remedy. THIS SECTION 12.3 SETS FORTH CUSTOMER'S SOLE REMEDIES AND BS&A'S SOLE LIABILITY AND OBLIGATION FOR ANY ACTUAL, THREATENED, OR ALLEGED CLAIMS THAT THE PLATFORM INFRINGE, MISAPPROPRIATE, OR OTHERWISE VIOLATE ANY INTELLECTUAL PROPERTY RIGHTS OF ANY THIRD PARTY.

13. Limitations of Liability. IN NO EVENT WILL EITHER PARTY BE LIABLE UNDER OR IN CONNECTION WITH THIS AGREEMENT UNDER ANY LEGAL OR EQUITABLE THEORY, INCLUDING BREACH OF CONTRACT, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY, AND OTHERWISE, FOR ANY: (i) CONSEQUENTIAL, INCIDENTAL, INDIRECT, EXEMPLARY, SPECIAL, ENHANCED, OR PUNITIVE DAMAGES; (ii) INCREASED COSTS, DIMINUTION IN VALUE OR LOST BUSINESS, PRODUCTION, REVENUES, OR PROFITS; (iii) LOSS OF GOODWILL OR REPUTATION; (iv) USE, INABILITY TO USE, LOSS, INTERRUPTION, DELAY OR RECOVERY OF ANY DATA, OR BREACH OF DATA OR SYSTEM SECURITY; OR (v) COST OF REPLACEMENT GOODS OR SERVICES, IN EACH CASE REGARDLESS OF WHETHER BS&A WAS ADVISED OF THE POSSIBILITY OF SUCH LOSSES OR DAMAGES OR SUCH LOSSES OR DAMAGES WERE OTHERWISE FORESEEABLE. IN NO EVENT WILL EITHER PARTY'S AGGREGATE LIABILITY ARISING OUT OF OR RELATED TO THIS AGREEMENT UNDER ANY LEGAL OR EQUITABLE THEORY, INCLUDING BREACH OF CONTRACT, TORT (INCLUDING NEGLIGENCE), STRICT LIABILITY, AND OTHERWISE EXCEED THE TOTAL AMOUNTS PAID AND/OR PAYABLE TO BS&A UNDER THIS AGREEMENT IN THE TWELVE (12) MONTHS IMMEDIATELY PRECEDING THE CLAIM. THE FOREGOING LIMITATIONS OF LIABILITY WILL NOT APPLY WITH RESPECT TO LIABILITIES ARISING FROM: (A) A PARTY'S BREACH OF ITS CONFIDENTIALITY OBLIGATIONS UNDER SECTION 8; (B) A PARTY'S GROSS NEGLIGENCE, FRAUD, OR WILLFUL MISCONDUCT; OR (C) A PARTY'S INDEMNIFICATION OBLIGATIONS UNDER SECTION 12 (PROVIDED THAT BS&A'S TOTAL AGGREGATE LIABILITY IN CONNECTION WITH SUCH INDEMNIFICATION OBLIGATIONS WILL NOT EXCEED THREE TIMES (3X) THE TOTAL AMOUNTS PAID AND/OR PAYABLE TO BS&A UNDER THIS AGREEMENT IN THE TWELVE (12) MONTHS IMMEDIATELY PRECEDING THE CLAIM).

14. Subscription Period and Termination.

14.1 Subscription Period. The initial term of this Agreement begins on the Effective Date and, unless terminated earlier pursuant to this Agreement's express provisions, will continue in effect for the period identified in the

Order (the “**Initial Subscription Period**”). This Agreement will automatically renew for additional successive terms equal to the length of the Initial Subscription Period unless earlier terminated pursuant to this Agreement’s express provisions or either Party gives the other Party written notice of non-renewal at least thirty (30) days prior to the expiration of the then-current term (each a “**Renewal Subscription Period**” and together with the Initial Subscription Period, the “**Subscription Period**”).

14.2 Termination. In addition to any other express termination right set forth in this Agreement:

(a) BS&A may terminate this Agreement, effective on written notice to Customer, if Customer: (i) fails to pay any amount when due hereunder, and such failure continues more than ten (10) calendar days after BS&A’s delivery of written notice thereof; or (ii) breaches any of its obligations under Section 2.3 or Section 8;

(b) either Party may terminate this Agreement, effective on written notice to the other Party, if the other Party materially breaches this Agreement, and such breach: (i) is incapable of cure; or (ii) being capable of cure, remains uncured thirty (30) calendar days after the non-breaching Party provides the breaching Party with written notice of such breach; or

(c) either Party may terminate this Agreement, effective immediately upon written notice to the other Party, if the other Party: (i) becomes insolvent or is generally unable to pay, or fails to pay, its debts as they become due; (ii) files or has filed against it, a petition for voluntary or involuntary bankruptcy or otherwise becomes subject, voluntarily or involuntarily, to any proceeding under any domestic or foreign bankruptcy or insolvency law; (iii) makes or seeks to make a general assignment for the benefit of its creditors; or (iv) applies for or has appointed a receiver, trustee, custodian, or similar agent appointed by order of any court of competent jurisdiction to take charge of or sell any material portion of its property or business.

14.3 Effect of Expiration or Termination. Upon expiration or earlier termination of this Agreement, Customer shall immediately discontinue use of the BS&A IP and, without limiting Customer’s obligations under Section 8, Customer shall delete, destroy, or return all copies of the BS&A IP and certify in writing to the BS&A that the BS&A IP has been deleted or destroyed. No expiration or termination will affect Customer’s obligation to pay all Fees that may have become due before such expiration or termination or entitle Customer to any refund.

14.4 Survival. This Section 14.4 and Sections 1, 5, 8, 10, 11, 12, 13, 14.3, and 15 survive any termination or expiration of this Agreement. No other provisions of this Agreement survive the expiration or earlier termination of this Agreement.

15. Miscellaneous.

15.1 Relationship of the Parties. BS&A performs its obligations hereunder as an independent contractor and not a partner, joint venture, or agent of Customer and shall not bind nor attempt to bind Customer to any contract without Customer’s prior written approval on a case-by-case basis. BS&A is responsible for hiring, firing, and supervising its personnel is solely responsible hereunder for its personnel, including without limitation for: (a) payment of compensation to such personnel; (b) withholding (if applicable), paying, and reporting, for all personnel assigned to perform services (including Professional Services) in connection with this Agreement, applicable tax withholding, social security taxes, employment head taxes, unemployment insurance, and other taxes or charges applicable to such personnel; and (c) health or disability benefits, retirement benefits, or welfare, pension, or other benefits (if any) to which such personnel may be entitled. For purposes of clarity, BS&A’s personnel will not be eligible to participate in any of Customer’s employee benefit plans, fringe benefit programs, group insurance arrangements, or similar programs.

15.2 Entire Agreement. This Agreement, together with any other documents incorporated herein by reference, constitutes the sole and entire agreement of the Parties with respect to the subject matter of this Agreement and supersedes all prior and contemporaneous understandings, agreements, and representations and warranties, both written and oral, with respect to such subject matter. In the event of any inconsistency between the statements made in the body of this Agreement, the related Exhibits, and any other documents incorporated herein by reference, the following order of precedence governs: (i) first, this Agreement; and (ii) second, any other documents incorporated herein by reference.

15.3 Notices. All notices, requests, consents, claims, demands, waivers, and other communications hereunder (each, a “**Notice**”) must be in writing and addressed to the Parties at the addresses set forth on the first page of this Agreement (or to such other address that may be designated by the Party giving Notice from time to time in accordance with this Section). All Notices must be delivered by personal delivery, nationally recognized overnight courier

(with all fees pre-paid), facsimile or email (with confirmation of transmission) or certified or registered mail (in each case, return receipt requested, postage pre-paid). Except as otherwise provided in this Agreement, a Notice is effective only: (i) upon receipt by the receiving Party; and (ii) if the Party giving the Notice has complied with the requirements of this Section.

15.4 Force Majeure. In no event shall either Party be liable to the other Party, or be deemed to have breached this Agreement, for any failure or delay in performing its obligations under this Agreement (except for any obligations to make payments), if and to the extent such failure or delay is caused by any circumstances beyond such Party's reasonable control, including but not limited to acts of God, flood, fire, earthquake, explosion, war, terrorism, invasion, riot or other civil unrest, strikes, labor stoppages or slowdowns or other industrial disturbances, or passage of law or any action taken by a governmental or public authority, including imposing an embargo.

15.5 Amendment and Modification. No amendment or modification to this Agreement is effective unless it is in writing and signed by an authorized representative of each Party.

15.6 Waiver. No failure or delay by either Party in exercising any right or remedy available to it in connection with this Agreement will constitute a waiver of such right or remedy. No waiver under this Agreement will be effective unless made in writing and signed by an authorized representative of the Party granting the waiver.

15.7 Severability. If any provision of this Agreement is invalid, illegal, or unenforceable in any jurisdiction, such invalidity, illegality, or unenforceability will not affect any other term or provision of this Agreement or invalidate or render unenforceable such term or provision in any other jurisdiction. Upon such determination that any term or other provision is invalid, illegal, or unenforceable, the Parties shall negotiate in good faith to modify this Agreement so as to effect their original intent as closely as possible in a mutually acceptable manner in order that the transactions contemplated hereby be consummated as originally contemplated to the greatest extent possible.

15.8 Governing Law; Submission to Jurisdiction. To the extent permissible under applicable laws, this Agreement is governed by and construed in accordance with the internal laws of the State of Delaware without giving effect to any choice or conflict of law provision or rule that would require or permit the application of the laws of any jurisdiction other than those of the State of Delaware. To the extent permissible under applicable laws, any legal suit, action, or proceeding arising out of or related to this Agreement must be instituted in the federal courts of the United States or the courts of the State of Delaware in each case located in New Castle County, Delaware and each Party irrevocably submits to the exclusive jurisdiction of such courts in any such suit, action, or proceeding. If Customer is located in a jurisdiction that requires that this Agreement be governed by and construed in accordance with laws other than those of the State of Delaware, or that require any legal suits, actions, or proceedings arising out of or related to this Agreement be instituted in state and federal courts located anywhere other than New Castle County, Delaware, then the Parties agree that such other laws shall apply and to institute any such legal suits, actions, or proceedings in such other jurisdiction(s).

15.9 Assignment. Neither Party may assign any of its rights or delegate any of its obligations hereunder (except in the case of either Party utilizing authorized subcontractors and consultants), in each case whether voluntarily, involuntarily, by operation of law or otherwise, without the prior written consent of the other Party. Any purported assignment or delegation in violation of this Section will be null and void. No assignment or delegation will relieve the assigning or delegating Party of any of its obligations hereunder. This Agreement is binding upon and inures to the benefit of the Parties and their respective permitted successors and assigns. Notwithstanding the foregoing, either Party may freely assign this Agreement to an affiliate or successor in interest in the event of a merger, acquisition, sale of all or substantially all of its assets, corporate reorganization, or other change in control, without the prior consent of the other Party.

15.10 Export Regulation. The Platforms utilize software and technology that may be subject to US export control laws, including the US Export Administration Act and its associated regulations. Customer shall not, directly or indirectly, export, re-export, or release the Platform or the underlying software or technology to, or make the Platform or the underlying software or technology accessible from, any jurisdiction or country to which export, re-export, or release is prohibited by law, rule, or regulation. Customer shall comply with all applicable federal laws, regulations, and rules, and complete all required undertakings (including obtaining any necessary export license or other governmental approval), prior to exporting, re-exporting, releasing, or otherwise making the Platform or the underlying software or technology available outside the US.

15.11 US Government Rights. Each of the Documentation and software components that constitute the Platform is a "commercial item" as that term is defined at 48 C.F.R. § 2.101, consisting of "commercial computer software"

and “commercial computer software documentation” as such terms are used in 48 C.F.R. § 12.212. Accordingly, if Customer is an agency of the US Government or any contractor therefor, Customer only receives those rights with respect to the Documentation and the Platform as are granted to all other end users, in accordance with (a) 48 C.F.R. § 227.7201 through 48 C.F.R. § 227.7204, with respect to the Department of Defense and their contractors, or (b) 48 C.F.R. § 12.212, with respect to all other US Government users and their contractors.

15.12 Equitable Relief. Each Party acknowledges and agrees that a breach or threatened breach by such Party of any of its obligations under Section 8 or, in the case of Customer, Section 2.3, would cause the other Party irreparable harm for which monetary damages would not be an adequate remedy and agrees that, in the event of such breach or threatened breach, the other Party will be entitled to equitable relief, including a restraining order, an injunction, specific performance and any other relief that may be available from any court, without any requirement to post a bond or other security, or to prove actual damages or that monetary damages are not an adequate remedy. Such remedies are not exclusive and are in addition to all other remedies that may be available at law, in equity or otherwise.

EXHIBIT B
PRICING SHEET

Upgrade - Cloud Modules - Annual Fee

Financial Management

General Ledger	\$10,450
Accounts Payable	\$8,575
Cash Receipting	\$9,460
Utility Billing (<i>approximately 2,400 utility accounts</i>)	\$3,550

Community Development

Building Department	\$16,970
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Property

Assessing (<i>decentralizing from County's Citrix environment</i>)	\$11,580
Tax (<i>decentralizing from County's Citrix environment</i>)	\$7,665

Subtotal \$68,250

New Purchase - Cloud Modules - Annual Fee

Financial Management

Fixed Assets	\$6,395
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Property

Special Assessment	\$3,300
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BS&A Online

Public Records Search + Online Bill Pay <i>With use of integrated Credit Card Processor Pay-Per-Hit</i>	\$0
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Subtotal \$9,695

Data Conversions/Database Setup

No conversion or database setup to be performed for:

Fixed Assets

Upgrade Implementation

Services include:

- *Management of your upgrade by our dedicated upgrade team for a smooth shift from .NET to cloud-based software, minimizing disruption*
- *Project schedule aligned with your processes and needs, ensuring a seamless transition timeline*
- *Expedited upgrade to cloud capturing existing process to minimize demands required of client teams*
- *Onboarding planned around critical process dates, ensuring your team is well-prepared for effective cloud software utilization*
- *Central contact for streamlined communication between project leaders, developers, IT staff, and conversion resources*
- *Testing and implementation of existing municipal customizations prior to go-live, preserving functionality and ensuring critical components are converted*
- *Preliminary data conversion with attachments, mirroring final conversion for a smooth transition*
- *Thorough data verification for all modules, ensuring accuracy and reliability of converted data, including automated balancing*
- *Key module validation managed by dedicated upgrade team (vs. customer in previous methodology), including testing of parallel processes*
- *Migration of key custom user-based designed reports handled out-the-box, enabling seamless access to critical insights.*
- *As needed, transition from .NET Online Payments to cloud architecture configuration for uninterrupted payment processing.*
- *Automated scaffolding of users and security roles based on your previous configurations*
- *Conversion of approval workflows based on role-based security, maintaining established processes*
- *As needed, configuration of existing hardware (barcode scanners, etc.) for seamless integration with cloud environment*
- *Documentation of our standard processes, facilitating easy access to essential information*
- *Upgrade training*
- *Prioritized response post go-live for 2 weeks from the upgrade team*
- *3 post go-live survey touch points to check-in on post-go live experience*
- *Remote go-live assistance and remote office hours for a successful transition to the cloud-based software*
- *Travel not expected, but any necessary travel would be billed at a per trip and/or per day cost*

\$69,400

Courtesy Discount, available if contract is executed prior to August 30, 2024

-\$7,200

New Module Project Management and Implementation Planning

Services include:

- Analyzing customer processes to ensure all critical components are addressed.
- Creating and managing the project schedule in accordance with the customer's existing processes and needs.
- Planning and scheduling training around any planned process changes included in the project plan.
- Modifying the project schedule as needed to accommodate any changes to the scope and requirements of the project that are discovered.
- Providing a central contact between the customer's project leaders, developers, trainers, IT staff, conversion staff, and other resources required throughout the transition period.
- Installing the software and providing IT consultation for network, server, and workstation configuration and requirements.
- Reviewing and addressing the specifications for needed customizations to meet customer needs (when applicable).

\$2,100

New Module Implementation and Training

- \$1,200/day
- Days quoted are estimates; you are billed for actual days used

Services include:

- Setting up users and user security rights for each application
- Performing final process and procedure review
- Configuring custom settings in each application to fit the needs of the customer
- Setting up application integration and workflow methods
- Onsite verification of converted data for balancing and auditing purposes
- Training and Go-Live

Software Setup	Days:	4	\$4,800
Financial Management Modules	Days:	2	\$2,400
Property Modules	Days:	1	\$1,200
		Total:	7
			Subtotal \$8,400

Travel Expenses

Travel Expenses for New Module Training **\$840**

**CHARTER TOWNSHIP OF WHITE LAKE
OAKLAND COUNTY, MICHIGAN
RESOLUTION NO. #24-039**

**RESOLUTION OF THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF
WHITE LAKE, TENTATIVELY DECLARING ITS INTENTION TO ESTABLISH A
SPECIAL ASSESSMENT DISTRICT TO BE KNOWN AS
*Cooley Lake Weed Control and Lake Improvement 2024-2028***

At the regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, State of Michigan, held in the Township Annex, 7527 Highland Road, in accordance with the Open Meetings Act, Public Act 267 of 1976 as amended, on the 20th day of August, 2024 at 6:30 p.m. with those present and absent being:

PRESENT:

ABSENT:

The following preamble and resolution were offered by **XXXXXX** and seconded by **XXXXXX**.

WHEREAS, the Charter Township of White Lake, Oakland County, Michigan, has received a petition requesting the establishment of a special assessment district to finance Cooley Lake Weed Control and Lake Improvement 2024-2028 and;

WHEREAS, the Charter Township of White Lake has caused to be prepared plans showing the improvement, the location thereof and an estimate of the cost thereof, and;

WHEREAS, the Charter Township of White Lake is in receipt of such plans and estimates of costs, the same having been filed with the Township Clerk,

NOW, THEREFORE, BE IT RESOLVED THAT:

1. In accordance with Public Act 188 of 1954, as amended, the Township Board of the Charter Township of White Lake, Oakland County, Michigan, hereby tentatively declares its intention to finance Cooley Lake Weed Control and Lake Improvement 2024-2028 to provide service to that portion of the Township described in attached Exhibit A. The Township Board tentatively designates the Special Assessment District against which the cost of the improvement is to be assessed as being that portion of the Charter Township of White Lake described in "Exhibit A" attached hereto and made a part hereof.
2. The Township Board intends to proceed with the Improvements pursuant to Act 188.
3. The preliminary plans showing the Improvements, their location, and an estimate of cost thereof have been obtained by the Township and have been filed with the Township Clerk.

4. The Township Board tentatively designates the Special Assessment District known as “Cooley Lake Weed Control and Lake Improvement 2024-2028” (“the District”) consisting of certain parcels of land, the descriptions of which are set forth in the Notice of Hearing attached as **Exhibit A**, which descriptions are incorporated by reference, and against which parcels all or a portion of the cost of the improvement shall be assessed.
5. The Township Board shall hold a public hearing at the regular meeting of the Township Board on the 17th day of September, 2024, at 6:30 p.m. in the Township Annex, located at 7527 Highland Road, White Lake, Michigan, 48383 to hear and consider objections to the proposed Improvements and to all other matters relating to the Improvements.
6. The Township Clerk is directed to publish the Notice of Hearing, attached as **Exhibit B**, in a newspaper circulating in the Township as required by Act 188 and to provide the notice by first class mail addressed to the record owner or party in interest of each parcel in the District.
7. All actions heretofore taken by Township officials, employees, and agents with respect to the Improvements and proceedings under Act 188 are hereby ratified and confirmed.

A vote on the foregoing resolution was taken and was as follows:

Ayes:
 Nays:
 Absent:

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN)
)ss.
 COUNTY OF OAKLAND)

I, the undersigned duly qualified Township Clerk of the Charter Township of White Lake, Oakland County, Michigan, do hereby certify the foregoing is a true and complete copy of the proceedings taken by the Township Board of the Charter Township of White Lake at a meeting held on the 20th day of August, 2024.

Anthony L. Noble, Clerk
 Charter Township of White Lake

EXHIBIT A

Y -12-35-426-068	Y -12-36-303-028	Y -12-36-327-012	Y -12-36-351-002	Y -12-36-452-002
Y -12-35-432-002	Y -12-36-303-029	Y -12-36-327-013	Y -12-36-351-003	Y -12-36-452-003
Y -12-35-432-003	Y -12-36-303-030	Y -12-36-327-014	Y -12-36-351-007	Y -12-36-452-006
Y -12-35-432-004	Y -12-36-303-031	Y -12-36-327-015	Y -12-36-351-008	Y -12-36-452-007
Y -12-35-432-006	Y -12-36-303-033	Y -12-36-327-016	Y -12-36-351-009	Y -12-36-452-008
Y -12-35-432-013	Y -12-36-303-034	Y -12-36-327-017	Y -12-36-351-011	Y -12-36-452-009
Y -12-35-432-014	Y -12-36-304-001	Y -12-36-327-018	Y -12-36-351-012	Y -12-36-452-010
Y -12-35-432-017	Y -12-36-304-002	Y -12-36-327-021	Y -12-36-351-013	Y -12-36-452-013
Y -12-35-432-018	Y -12-36-304-005	Y -12-36-327-022	Y -12-36-351-014	Y -12-36-452-015
Y -12-35-432-020	Y -12-36-304-006	Y -12-36-327-023	Y -12-36-351-015	Y -12-36-452-016
Y -12-35-432-021	Y -12-36-304-011	Y -12-36-327-026	Y -12-36-351-016	Y -12-36-452-017
Y -12-35-432-022	Y -12-36-304-012	Y -12-36-327-027	Y -12-36-351-019	Y -12-36-452-018
Y -12-35-432-023	Y -12-36-304-013	Y -12-36-327-028	Y -12-36-351-020	Y -12-36-452-020
Y -12-35-432-024	Y -12-36-305-001	Y -12-36-327-029	Y -12-36-351-021	Y -12-36-452-021
Y -12-35-432-025	Y -12-36-305-004	Y -12-36-327-030	Y -12-36-351-022	Y -12-36-452-022
Y -12-35-432-026	Y -12-36-305-005	Y -12-36-327-031	Y -12-36-351-023	Y -12-36-452-023
Y -12-35-477-001	Y -12-36-305-006	Y -12-36-327-032	Y -12-36-351-027	Y -12-36-452-024
Y -12-36-302-001	Y -12-36-307-002	Y -12-36-327-033	Y -12-36-351-028	Y -12-36-452-025
Y -12-36-302-002	Y -12-36-307-003	Y -12-36-327-034	Y -12-36-351-030	Y -12-36-453-001
Y -12-36-302-003	Y -12-36-307-004	Y -12-36-327-035	Y -12-36-351-031	Y -12-36-453-002
Y -12-36-302-004	Y -12-36-307-005	Y -12-36-327-036	Y -12-36-351-036	Y -12-36-453-003
Y -12-36-302-005	Y -12-36-307-006	Y -12-36-327-037	Y -12-36-351-037	Y -12-36-453-004
Y -12-36-302-006	Y -12-36-307-007	Y -12-36-327-038	Y -12-36-376-004	Y -12-36-453-005
Y -12-36-302-018	Y -12-36-307-008	Y -12-36-327-039	Y -12-36-376-005	Y -12-36-453-009
Y -12-36-302-019	Y -12-36-307-009	Y -12-36-327-044	Y -12-36-376-006	Y -12-36-453-010
Y -12-36-303-005	Y -12-36-307-010	Y -12-36-327-045	Y -12-36-376-007	Y -12-36-453-011
Y -12-36-303-006	Y -12-36-307-011	Y -12-36-327-047	Y -12-36-376-008	Y -12-36-453-012
Y -12-36-303-007	Y -12-36-307-012	Y -12-36-327-048	Y -12-36-376-009	Y -12-36-453-013
Y -12-36-303-008	Y -12-36-307-013	Y -12-36-327-050	Y -12-36-376-010	Y -12-36-453-014
Y -12-36-303-009	Y -12-36-307-014	Y -12-36-327-051	Y -12-36-376-015	Y -12-36-453-015
Y -12-36-303-011	Y -12-36-327-002	Y -12-36-327-052	Y -12-36-376-017	Y -12-36-453-016
Y -12-36-303-012	Y -12-36-327-003	Y -12-36-327-053	Y -12-36-376-018	Y -12-36-453-017
Y -12-36-303-016	Y -12-36-327-004	Y -12-36-327-055	Y -12-36-376-019	Y -12-36-453-018
Y -12-36-303-022	Y -12-36-327-005	Y -12-36-327-056	Y -12-36-377-002	Y -12-36-453-019
Y -12-36-303-025	Y -12-36-327-006	Y -12-36-327-057	Y -12-36-377-003	Y -12-36-453-020
Y -12-36-303-026	Y -12-36-327-011	Y -12-36-327-058	Y -12-36-452-001	Y -12-36-453-022
				Y -12-36-453-023
				Y -12-36-454-001
				Y -12-36-454-002

EXHIBIT B



**CHARTER TOWNSHIP OF WHITE LAKE
COUNTY OF OAKLAND, MICHIGAN
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Township Board of the Charter Township of White Lake, Oakland County, Michigan, will meet at a Regular Board meeting on the **17th day of September, 2024 at 6:30 p.m** at the Township Annex, located at 7527 Highland Road, White Lake Township, Michigan 48383, to determine if the following Special Assessment District will be established and to receive public comments, if any, regarding creation of the following Special Assessment District:

Cooley Lake Weed Control and Lake Improvement 2024-2028

The proposed Special Assessment District involves the following properties located in the Charter Township of White Lake, Oakland County, Michigan:

Y -12-35-426-068	Y -12-36-303-028	Y -12-36-327-012	Y -12-36-351-002	Y -12-36-452-002
Y -12-35-432-002	Y -12-36-303-029	Y -12-36-327-013	Y -12-36-351-003	Y -12-36-452-003
Y -12-35-432-003	Y -12-36-303-030	Y -12-36-327-014	Y -12-36-351-007	Y -12-36-452-006
Y -12-35-432-004	Y -12-36-303-031	Y -12-36-327-015	Y -12-36-351-008	Y -12-36-452-007
Y -12-35-432-006	Y -12-36-303-033	Y -12-36-327-016	Y -12-36-351-009	Y -12-36-452-008
Y -12-35-432-013	Y -12-36-303-034	Y -12-36-327-017	Y -12-36-351-011	Y -12-36-452-009
Y -12-35-432-014	Y -12-36-304-001	Y -12-36-327-018	Y -12-36-351-012	Y -12-36-452-010
Y -12-35-432-017	Y -12-36-304-002	Y -12-36-327-021	Y -12-36-351-013	Y -12-36-452-013
Y -12-35-432-018	Y -12-36-304-005	Y -12-36-327-022	Y -12-36-351-014	Y -12-36-452-015
Y -12-35-432-020	Y -12-36-304-006	Y -12-36-327-023	Y -12-36-351-015	Y -12-36-452-016
Y -12-35-432-021	Y -12-36-304-011	Y -12-36-327-026	Y -12-36-351-016	Y -12-36-452-017
Y -12-35-432-022	Y -12-36-304-012	Y -12-36-327-027	Y -12-36-351-019	Y -12-36-452-018
Y -12-35-432-023	Y -12-36-304-013	Y -12-36-327-028	Y -12-36-351-020	Y -12-36-452-020
Y -12-35-432-024	Y -12-36-305-001	Y -12-36-327-029	Y -12-36-351-021	Y -12-36-452-021
Y -12-35-432-025	Y -12-36-305-004	Y -12-36-327-030	Y -12-36-351-022	Y -12-36-452-022
Y -12-35-432-026	Y -12-36-305-005	Y -12-36-327-031	Y -12-36-351-023	Y -12-36-452-023
Y -12-35-477-001	Y -12-36-305-006	Y -12-36-327-032	Y -12-36-351-027	Y -12-36-452-024
Y -12-36-302-001	Y -12-36-307-002	Y -12-36-327-033	Y -12-36-351-028	Y -12-36-452-025
Y -12-36-302-002	Y -12-36-307-003	Y -12-36-327-034	Y -12-36-351-030	Y -12-36-453-001
Y -12-36-302-003	Y -12-36-307-004	Y -12-36-327-035	Y -12-36-351-031	Y -12-36-453-002
Y -12-36-302-004	Y -12-36-307-005	Y -12-36-327-036	Y -12-36-351-036	Y -12-36-453-003
Y -12-36-302-005	Y -12-36-307-006	Y -12-36-327-037	Y -12-36-351-037	Y -12-36-453-004
Y -12-36-302-006	Y -12-36-307-007	Y -12-36-327-038	Y -12-36-376-004	Y -12-36-453-005
Y -12-36-302-018	Y -12-36-307-008	Y -12-36-327-039	Y -12-36-376-005	Y -12-36-453-009
Y -12-36-302-019	Y -12-36-307-009	Y -12-36-327-044	Y -12-36-376-006	Y -12-36-453-010
Y -12-36-303-005	Y -12-36-307-010	Y -12-36-327-045	Y -12-36-376-007	Y -12-36-453-011
Y -12-36-303-006	Y -12-36-307-011	Y -12-36-327-047	Y -12-36-376-008	Y -12-36-453-012
Y -12-36-303-007	Y -12-36-307-012	Y -12-36-327-048	Y -12-36-376-009	Y -12-36-453-013
Y -12-36-303-008	Y -12-36-307-013	Y -12-36-327-050	Y -12-36-376-010	Y -12-36-453-014
Y -12-36-303-009	Y -12-36-307-014	Y -12-36-327-051	Y -12-36-376-015	Y -12-36-453-015
Y -12-36-303-011	Y -12-36-327-002	Y -12-36-327-052	Y -12-36-376-017	Y -12-36-453-016
Y -12-36-303-012	Y -12-36-327-003	Y -12-36-327-053	Y -12-36-376-018	Y -12-36-453-017

Y -12-36-303-016	Y -12-36-327-004	Y -12-36-327-055	Y -12-36-376-019	Y -12-36-453-018
Y -12-36-303-022	Y -12-36-327-005	Y -12-36-327-056	Y -12-36-377-002	Y -12-36-453-019
Y -12-36-303-025	Y -12-36-327-006	Y -12-36-327-057	Y -12-36-377-003	Y -12-36-453-020
Y -12-36-303-026	Y -12-36-327-011	Y -12-36-327-058	Y -12-36-452-001	Y -12-36-453-022
				Y -12-36-453-023
				Y -12-36-454-001
				Y -12-36-454-002

Persons needing assistance or aid to attend the meeting should contact the White Lake Clerk’s Office by writing or calling 248-698-3300 ext. 7 at least 5 days prior to the meeting.

In order to appeal the amount of any special assessment, affected owners or parties with an interest must protest the proposed assessment. This may be done by appearing in person at the hearing or having an agent appear at the hearing on behalf of an owner or party in interest, or in writing by filing a letter of protest before the hearing, addressed to the Township Clerk at 7525 Highland Road, White Lake Township, Michigan 48383. An owner or party having an interest in the real property affected by the special assessment may file a written appeal of the special assessment with the Michigan Tax Tribunal within 30 days after the confirmation of the special assessment roll if the special assessment is protested at the hearing held for the purpose of confirming the special assessment roll. Please direct any questions you may have to the Assessor’s Office at (248) 698-3300, Ext. 3.

Anthony L Noble, Clerk
Charter Township of White Lake

**Assessing
Department**

Memo

To: Township Board
From: David Hieber, Assessor
Date: August 20, 2024
Re: Establishment Resolution #24-033 for Burgess Bay Weed Control and Lake Improvement 2024-2028 SAD

Comments: As you are aware, the Establishment of the Burgess Bay Weed Control and Lake Improvement 2024-2028 (SAD) requires a public hearing. The public hearing held on July 16, 2024 allowed residents the opportunity to express objections, concerns or support to the Township Board. The proposed special assessment district is for 5 years, includes 20 properties with the annual cost of \$ 375 per parcel.

The notice of public hearing was mailed to the property owners on 07/03/2024 and published in the 07/02/2024 and 07/09/2024 editions of the Oakland County Legal News.

This is a request to approve resolution #24-033 to establish the district for the Burgess Bay Weed Control and Lake Improvement 2024-2028.

If you should have any questions or concerns regarding this information, please contact me at (248) 698-3300 ext. 117.

**CHARTER TOWNSHIP OF WHITE LAKE
OAKLAND COUNTY, MICHIGAN
RESOLUTION NO. 24-033**

**RESOLUTION OF THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF
WHITE LAKE DETERMINING TO UNDERTAKE AN IMPROVEMENT PROJECT
AND TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO
PAY COSTS ASSOCIATED THEREWITH, APPROVING THE PLANS AND
ESTIMATES OF COSTS THEREFORE TO BE KNOWN AS:**

Burgess Bay Weed Control and Lake Improvement 2024-2028

At the regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, State of Michigan, held in the Township Annex, 7527 Highland Road, in accordance with the Open Meetings Act, Public Act 267 of 1976 as amended, on the 20th day of August, 2024 at 6:30 p.m. with those present and absent being:

PRESENT:

ABSENT:

The following preamble and resolution were offered by **XXXXX** and seconded by **XXXXXX**.

WHEREAS, the residents of Burgess Bay in White Lake Township desire to enter into a contractual relationship to maintain Burgess Bay on Cedar Island Lake and the Township Board of the Charter Township of White Lake, Oakland County, Michigan, being desirous to assist in such activity has investigated forming a Special Assessment District against which costs of the maintenance are to be assessed and;

WHEREAS, after due and legal notice, the Township Board of the Charter Township of White Lake held a public hearing on the 16th day of July, 2024 at 6:30 p.m. with for the purpose of receiving comments regarding the improvements, the Special Assessment District to be established therefore;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. In accordance with the provisions of Michigan Public Act 188 of 1954, as amended, the Township Board of the Charter Township of White Lake hereby determines that assisting the residents is reasonable, necessary and in the interest of the public health, safety and welfare of the inhabitants of the Charter Township of White Lake and shall be done.
2. The Township Board of the Charter Township of White Lake hereby approves the estimate of costs in the sum of Thirty-Seven Thousand Five Hundred dollars (\$37,500) for the maintenance and improvement of Burgess Bay. The aggregate of all such costs will be spread

against the Special Assessment District hereby established which includes township administration fees.

3. The Township Board of the Charter Township of White Lake hereby establishes a Special Assessment District for the purpose set forth and names the Special Assessment District “Burgess Bay Weed Control and Lake Improvement 2024-2028.” It includes the property described in Exhibit A attached hereto.
4. The term of the Special Assessment District shall be for five (5) years and ends on December 31, 2028.
5. The form and content of the notice published and mailed to property owners in the Special Assessment District by the Township Clerk with respect to the public hearing held on 16th day of July, 2024, and all actions of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.
6. When the Township Supervisor completes the Special Assessment Roll, he shall affix thereto his certificate stating that it was made pursuant to this Resolution of the Township Board of the Charter Township of White Lake, that in making the Special Assessment Roll he has, according to his best judgment, conformed in all respects to the directions contained in this resolution and to the statutes of this state.
7. The Township Supervisor shall file the Special Assessment Roll, with his certificate attached thereto, with the Township Clerk, who shall then present the same to the Township Board of the Charter Township of White Lake.
8. The hearing on the Special Assessment Roll shall be held on 17th day of September, 2024 at 6:30 p.m. at the Township Annex, located at 7527 Highland Road, White Lake Township, Michigan 48383. The Township Clerk is hereby directed to give notice of the hearing as required by law.
9. In order to appeal the amount of any special assessment, affected owners or parties with an interest must protest the proposed assessment. This may be done by appearing in person at the hearing, having an agent appear at the hearing on behalf of an owner or party in interest or by filing a protest by the hearing date, by letter addressed to the Township Clerk at 7525 Highland Road, White Lake, MI 48383. An owner or party having an interest in the real property affected by the special assessment may file a written appeal of the special assessment with the Michigan Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment is protested at the hearing held for the purpose of confirming the special assessment roll.
10. The names and addresses of those persons present at the Public Hearing who protested the assessment, if any, are set forth in attached Exhibit B.

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

I, the undersigned duly qualified Township Clerk of the Charter Township of White Lake, Oakland County, Michigan, do hereby certify the foregoing is a true and complete copy of the proceedings taken by the Township Board of the Charter Township of White Lake at a meeting held on the 20th day of August, 2024.

CHARTER TOWNSHIP OF WHITE LAKE

Anthony L Noble, Clerk
Dated: 20th day of August, 2024

EXHIBIT A

- 12-26-304-001
- 12-26-304-002
- 12-26-304-003
- 12-26-304-004
- 12-26-304-008
- 12-26-351-002
- 12-26-351-007
- 12-26-352-001
- 12-26-352-002
- 12-26-352-006
- 12-26-352-007
- 12-26-352-025
- 12-26-352-026
- 12-27-429-001
- 12-27-429-002
- 12-27-429-003
- 12-27-429-004
- 12-27-429-005
- 12-27-429-006
- 12-27-429-010

EXHIBIT B

**Assessing
Department**

Memo

To: Township Board
From: David Hieber, Assessor
Date: August 20, 2024
Re: Establishment Resolution #24-032 for
Meadow Lane Road Maintenance 2024-2028 SAD

Comments: As you are aware, the Establishment of the Meadow Lane Road Maintenance 2024-2028 (SAD) requires a public hearing. The public hearing, held on July 16, 2024 allowed residents the opportunity to express objections, concerns or support to the Township Board. The proposed special assessment district is for 5 years, includes 8 properties with the annual cost of \$ 650 per parcel.

The notice of public hearing was mailed to the property owners on 07/03/2024 and published in the 07/02/2024 and 07/09/2024 editions of the Oakland County Legal News.

This is a request to approve resolution #24-032 to establish the district for Meadow Lane Road Maintenance 2024-2028.

If you should have any questions or concerns regarding this information, please contact me at (248) 698-3300 ext. 117.

**CHARTER TOWNSHIP OF WHITE LAKE
OAKLAND COUNTY, MICHIGAN
RESOLUTION NO. 24-032**

**RESOLUTION OF THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF
WHITE LAKE DETERMINING TO UNDERTAKE AN IMPROVEMENT PROJECT
AND TO ESTABLISH AND MAINTAIN A SPECIAL ASSESSMENT DISTRICT TO
PAY COSTS ASSOCIATED THEREWITH, APPROVING THE PLANS AND
ESTIMATES OF COSTS THEREFORE TO BE KNOWN AS:**

Meadow Lane Road Maintenance 2024-2028

At the regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, State of Michigan, held in the Township Annex, 7527 Highland Road, in accordance with the Open Meetings Act, Public Act 267 of 1976 as amended, on the 20th day of August, 2024 at 6:30 p.m. with those present and absent being:

PRESENT:

ABSENT:

The following preamble and resolution were offered by **XXXXXX** and seconded by **XXXXXX**.

WHEREAS, the residents on Meadow Lane in White Lake Township desire to enter into a contractual relationship to maintain Meadow Lane and the Township Board of the Charter Township of White Lake, Oakland County, Michigan, being desirous to assist in such activity has investigated forming a Special Assessment District against which costs of the maintenance are to be assessed and;

WHEREAS, after due and legal notice, the Township Board of the Charter Township of White Lake held a public hearing on the 16th day of July, 2024 at 6:30 p.m. with for the purpose of receiving comments regarding the improvements, the Special Assessment District to be established therefore;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. In accordance with the provisions of Michigan Public Act 188 of 1954, as amended, the Township Board of the Charter Township of White Lake hereby determines that assisting the residents is reasonable, necessary and in the interest of the public health, safety and welfare of the inhabitants of the Charter Township of White Lake and shall be done.
2. The Township Board of the Charter Township of White Lake hereby approves the estimate of costs in the sum of Twenty-Six Thousand dollars (\$26,000) for the maintenance and

improvement of Meadow Lane. The aggregate of all such costs will be spread against the Special Assessment District hereby established which includes township administration fees.

3. The Township Board of the Charter Township of White Lake hereby establishes a Special Assessment District for the purpose set forth and names the Special Assessment District "Meadow Lane Road Maintenance 2024-2028." It includes the property described in Exhibit A attached hereto.
4. The term of the Special Assessment District shall be for five (5) years and ends on December 31, 2028.
5. The form and content of the notice published and mailed to property owners in the Special Assessment District by the Township Clerk with respect to the public hearing held on the 16th day of July, 2024, and all actions of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.
6. When the Township Supervisor completes the Special Assessment Roll, he shall affix thereto his certificate stating that it was made pursuant to this Resolution of the Township Board of the Charter Township of White Lake, that in making the Special Assessment Roll he has, according to his best judgment, conformed in all respects to the directions contained in this resolution and to the statutes of this state.
7. The Township Supervisor shall file the Special Assessment Roll, with his certificate attached thereto, with the Township Clerk, who shall then present the same to the Township Board of the Charter Township of White Lake.
8. The hearing on the Special Assessment Roll shall be held on 17th day of September, 2024 at 6:30 p.m. at the Township Annex, located at 7527 Highland Road, White Lake Township, Michigan 48383. The Township Clerk is hereby directed to give notice of the hearing as required by law.
9. In order to appeal the amount of any special assessment, affected owners or parties with an interest must protest the proposed assessment. This may be done by appearing in person at the hearing, having an agent appear at the hearing on behalf of an owner or party in interest or by filing a protest by the hearing date, by letter addressed to the Township Clerk at 7525 Highland Road, White Lake, MI 48383. An owner or party having an interest in the real property affected by the special assessment may file a written appeal of the special assessment with the Michigan Tax Tribunal within 30 days after the confirmation of the special assessment roll if that special assessment is protested at the hearing held for the purpose of confirming the special assessment roll.
10. The names and addresses of those persons present at the Public Hearing who protested the assessment, if any, are set forth in attached Exhibit B.

EXHIBIT A

12-09-300-007
12-09-300-008
12-09-300-009
12-09-300-010
12-09-300-011
12-09-300-013
12-09-300-014
12-09-300-031

EXHIBIT B

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM**

COMMUNITY DEVELOPMENT DEPARTMENT

DATE: August 19, 2024

TO: Rik Kowall, Supervisor
Township Board Members

FROM: Sean O’Neil, AICP
Planning Director

**SUBJECT: Lakepointe
Final Site Plan Re-approval
Revised Planned Development Agreement Approval**
Located on the northeast corner of Union Lake Road and Carpathian, consisting of approximately 13.32 acres. The property is currently zoned PD (Planned Development). Identified as parcel number 12-36-177-008.

The above request is now ready for Township Board Consideration. The matter was be considered by the Planning Commission at their regular meeting of August 15, 2024, at which time the Planning Commission recommended the Township approve the revised planned development agreement.

Please find the related documents:

- ❑ Draft minutes of the August 15, 2024 Planning Commission meeting
- ❑ Review letter prepared by the Township’s engineer, Mr. Michael Leuffgen, dated April 10, 2024.
- ❑ Review letter prepared by the Township’s former staff Planner, Justin Quagliata, dated April 2, 2024
- ❑ Review letter prepared by WLT Fire Chief, John Holland, dated March 26, 2024.
- ❑ Lakepointe’s final engineering and site plans.
- ❑ Review letter prepared by the Township’s engineer, Mr. Michael Leuffgen, dated August 7, 2024.
- ❑ Review letter prepared by the Township’ attorney, Lisa Hamameh, dated July 30, 2024.
- ❑ Lakepointe’s planned development agreement.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you need any additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
AUGUST 15, 2024**

CALL TO ORDER

Chairperson Seward called the meeting to order at 6:30 P.M. He then led the Pledge of Allegiance.

ROLL CALL

Present:

T. Joseph Seward, Chairperson
Debby Dehart
Scott Ruggles, Township Board Liaison
Merrie Carlock, Vice Chairperson
Mona Sevic
Robert Seeley
Pete Meagher
Matt Slicker
Steve Anderson

Others:

Sean O’Neil, Community Development Director
Andrew Littman, Staff Planner
Mike Leuffgen, DLZ
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

MOTION by Commissioner Seeley, seconded by Commissioner Carlock to approve the agenda as presented. The motion carried with a voice vote: (9 yes votes).

APPROVAL OF MINUTES

A. June 20, 2024

Chairperson Seward wanted “round a bout” on the last page of the minutes to read “round-a-bout.”

MOTION by Commissioner Anderson, seconded by Commissioner Sevic to approve the minutes of June 20, 2024 as amended. The motion carried with a voice vote: (9 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

None.

CONTINUING BUSINESS

A. Lakepointe

Location: Located on the northeast corner of Union Lake Road and Carpathian, consisting of approximately 13.32 acres. The property is currently zoned PD (Planned Development). Identified as parcel numbers 12-36-177-008.

Request: i) **Final site plan re approval**

ii) **Revised Planned development agreement approval**

Applicant: Fairview Construction Company

Director O'Neil briefly went over the applicant's requests. Director O'Neil noted that the applicant's community benefit would be of a monetary nature due to the neighbor to the north of the site being unresponsive in regards to the previously proposed sidewalk extension.

Commissioner Carlock asked Director O'Neil if the pathway could be put in the right of way. Jason Emerine, Seiber Keast Lehner, said the right of way in front of Independence Village was not deeded and would require an easement from Independence Village. Independence Village was not amenable to an easement. There would be an additional \$7,500.00 donation to the Park fund from the applicant as well.

Commissioner Anderson asked staff if the money would be held for a future pathway in the area. Director O'Neil said no, the money allocation would go to make other connections, the funds would be used in a meaningful way.

Mr. Leuffgen briefly went over his engineering review. There were discrepancies regarding the estimated costs for the sidewalk donation.

Commissioner Anderson asked Mr. Emerine if a TIS was waived. Mr. Emerine stated that RCOC had requested a TIS, and it was done. The results from the study said that there was no impact to the traffic, and RCOC agreed with the findings from the study.

Commissioner Anderson asked staff if they felt all the outstanding items would be addressed prior to construction. Director O'Neil said all of the outstanding comments had to be addressed prior to a pre-construction meeting.

Commissioner Dehart said the proposed bypass lane was no longer shown on the plan. Mr. Emerine said the bypass lane was not warranted by the RCOC, so it was not included, and the previous FSP was approved without the plan.

Commissioner Meagher said all three developments (West Valley, Comfort Care, and Lakepointe) were dependent on West Valley for storm sewer. Mr. Emerine said Lakepointe had a detention basin, as did West Valley, and would outlet storm water by Cedar Island Road. Comfort Care had a retention basin, so stormwater would be absorbed by the ground. DPS Director Aaron Potter wanted each development to have their own easements with their own stormwater management agreements. Mr. Leuffgen added that West Valley had been issued a permit from EGLE for stormwater discharge.

Michael Furnari, developer, said he was excited to get the project going and agreed to a \$8,700.00 donation to the pathway fund in lieu of the previously proposed offsite sidewalk community benefit.

MOTION by Commissioner Meagher, seconded by Commissioner Sevic, to re-approve the final site plan for Lakepointe, parcel identified as 12-36-177-008, subject to the review letters included in the packet being addressed and subject to addressing the comments made by the Township Attorney. The motion carried with a voice vote: (8 yes votes | Seeley no).

MOTION by Commissioner Meagher, seconded by Commissioner Anderson, to recommend approval to the Township Board for Lakepointe’s revised planned development agreement, parcel identified as identified as 12-36-177-008 subject to addressing the remaining outstanding staff and consultant comments and subject to replacing the community benefit contribution off an offsite sidewalk with a monetary contribution for pathways in the amount of \$8,700.00, as agreed to by the developer this evening. The motion carried with a voice vote: (8 yes votes | Seeley no).

NEW BUSINESS

- A. Review and discussion of the 2025-2030 draft Capital Improvement Plan (CIP)

Staff Planner Littman briefly went over the draft CIP. He summarized the increased cost estimates for each department’s projects.

Commissioner Carlock asked staff if there was a list of completed projects. Staff Planner Littman said the projects that were completed were Triangle Trail, the Bogie Lake Water Extension, and the Aspen Meadows Wellhouse. He added that he would include these in the final CIP.

Commissioner Ruggles asked staff where the request for the backhoe machine was requested from. Director O’Neil said it was a request from the DPS department.

Commissioner Anderson asked staff if rating or cost drove the priority of a project. Director O’Neil said there were variables, but highly rated projects indicated a high need for a project.

Staff Planner said a water supply project from last year’s CIP was removed from this year’s report. The project was no longer necessary due to the anticipated Township Hall construction.

Commissioner Sevic asked for clarification regarding the amounts listed on the CIP Components table. The numbers listed in parentheses was the number of sets requested, and a edit needed to be made to clarify the notation.

Commissioner Slicker stated that the backhoe machine project should have clarification regarding the cost sharing.

Commissioner Anderson said the overall funding statement was missing a figure that was referenced in the text. Staff said the text would be clarified.

Commissioner Slicker noted that the Sewer Fund projects were listed to be paid by the General Fund. Director O'Neil said that would need to be clarified as well.

Commissioner Seeley asked if there were any other emergency water connections in the Township. Mr. Leuffgen confirmed, and said the one included in the CIP would be on Williams Lake Road, near Hess-Hathaway Park. Commissioner Seeley spoke highly to emergency water connections.

LIAISON'S REPORT

Commissioner Dehart said the August ZBA meeting was canceled, but the ZBA did meet in July. There were five cases heard. Three were approved, one was denied, and one was tabled.

Commissioner Carlock stated that Parks and Rec met for the first time in a few months. The contractor for Stanley Park was delaying, and the Township was considering asking the State to use the next lowest bidder. Director O'Neil authorized Beckett & Raeder to reach out to the next lowest bidder. The Fisk Farm Festival would be held September 7 and 8, 2024, and Trunk or Treat was scheduled for October 19, 2024. She added that the Parks and Rec millage passed, and she thanked the voters.

Commissioner Ruggles said the Township Board met today at special Board meeting to discuss the budget and approve the 2025 millage rates. He congratulated Commissioner Anderson on his election win.

PLANNING CONSULTANT'S REPORT

None.

DIRECTOR'S REPORT

Director O'Neil said the Planning Commission would meet on September 5, 2024 for the CIP public hearing as well as a public hearing for the Lasting Impressions special land use. There was a potential of a couple other items being eligible for the agenda too.

OTHER BUSINESS

Commissioner Sevic said the Fisk Farm festival was looking for volunteers.

COMMUNICATIONS

None

NEXT MEETING DATE: September 5, 2024

ADJOURNMENT

**MOTION by Commissioner Carlock, seconded by Commissioner Sevic, to adjourn at 7:44 P.M.
The motion carried with a voice vote: (9 yes votes).**



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

April 10, 2024

Sean O’ Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Lake Pointe – Final Site Plan and Final Engineering Plan –7th Review

DLZ # 1745-0385-00

Dear Mr. O’ Neil,

Our office has reviewed the above-mentioned revised plans prepared by Seiber, Keast, Lehner Engineering and dated February 13, 2024. These plans were reviewed for conformance with the Township Engineering Design Standards. We offer the following comments for your consideration:

Please note that comments from our December 21, 2023 review are listed in *italics*. Responses to those comments are listed in **bold**. New comments are listed in standard type.

Preliminary Site Plan Comments-The following comments from our Preliminary Site Plan review letter dated January 7, 2020 will need to be addressed:

Grading/Paving

1. *The proposed bypass lane on the west side of the Union Lake Road has been removed from this submittal. We defer to Oakland County Road Commission regarding the requirements for this bypass lane.* **Comment remains as a notation.**

Storm Sewer & Storm Water Management

1. *The plans have been revised to utilize detention instead of retention. A detention basin outlet has been provided which will leave the site, cross Union Lake Road, and discharge through the West*



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Lake Pointe- FSP/FEP Review.07

April 10, 2024

Page 2 of 5

*Valley site which is currently under common ownership. The FEP plans for both developments will need to be coordinated to ensure capacity is available in the West Valley development and proposed outlet. Condo Documents will need to be clarified for both developments regarding shared maintenance responsibility. The Road Commission for Oakland County will need to approve and permit the proposed storm sewer outlet crossing. **Comment remains as a notation. We also note that the FEP plans for both developments have been coordinated and that capacity is available in and accounted for in the West Valley storm sewer system. A supplemental sheet (Overall Storm Water Management System “West Valley & Lake Pointe”) has been included in the FEP sets for both developments.***

Final Site Plan/Final Engineering Plan Comments-

Grading/Paving

1. *An off- site easement will be required from Independence Village for construction of proposed sidewalk should the area for construction fall outside the existing Union Lake Road right of way. Please verify location of right of way relative to proposed sidewalk. Comment remains. Design engineer has indicated that the applicant will be sending an easement request to the Independence Village owner requesting an easement for the sidewalk that is proposed across the Independence Village frontage. **Comment remains as a notation.***
2. *Note that the grading plan has been reviewed for general conformance with the Township’s requirements for grading. More detailed grading reviews will be conducted on individual buildings at time of plot plan submittal. **Comment remains as a notation.***

Sanitary Sewer

1. *The sanitary sewer proposed along the Union Lake Road frontage is proposed to be constructed as part of the proposed West Valley development. Note that approval of this development is subject to the approval of that offsite sanitary sewer, and it must be available for use by this development. In addition, an off-site easement will be required from Independence Village granted to West Valley for construction of proposed sanitary sewer should the area for construction fall outside the existing Union Lake Road right of way. Please verify location of right of way relative to proposed sanitary sewer. Design engineer has noted that the existing sanitary sewer to the northwest along Union Lake Road is within the future 60’ half right of way for Union Lake Road. **Comment remains as a notation in regard to West Valley approval requirements.***
2. *It should be noted that the REU unit assignment factor of 0.6 REU per unit is acceptable for the purpose of capacity calculations however the Township Ordinance requires 1.0 REU per unit for the purpose of capital connection charges. **Comment remains as a notation.***



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WLT- Lake Pointe- FSP/FEP Review.07

April 10, 2024

Page 3 of 5

3. *Approvals/permits will be required from OCWRC and EGLE. Once sanitary sewer revisions have been addressed, please provide signed & sealed electronic set for submittal to WRC along with a completed part 41 Permit Application. Easement exhibits have been submitted for review and comments were provided in our April 6, 2021 review letter. Please provide revised easement exhibits for review. Comment addressed. Revised easement exhibits were submitted, and outstanding comments have been addressed. Please reference our April 28, 2021 PDA review letter. In addition, a signed and sealed electronic set for sanitary sewer permit application and a Part 41 permit application have recently been provided. We note that EGLE held the previous permit submittal until the sanitary sewer plans and permit application were submitted for West Valley. No sanitary sewer permit has been issued for Lake Pointe. Resubmittal of plans and permit application to EGLE is currently in process. **Comment remains as a notation.***

Watermain

1. *The plans show a 20-foot-wide watermain easement which is acceptable. Easement exhibits shall be provided for review as attachments to the Township standard conveyance document. Easement exhibits have been submitted for review and comments were provided in our April 6, 2021 review letter. Please provide revised easement exhibits for review. Comment addressed. Revised easements exhibits were submitted, and outstanding comments have been addressed. Please reference our April 28, 2021, PDA review letter. **Comment remains as a notation.***
2. *A permit will be required from EGLE for the watermain portion of the project. Once the watermain items have been addressed, please provide 5 signed & sealed hard copies of applicable plan sheets along with a completed, electronic Act 399 permit application for Township signature and submittal to EGLE. Comment outstanding; An EGLE Act 399 permit was issued April 14, 2021 and is valid for 2 years, so it is now expired. The permit will need to be renewed. Comment addressed. Signed and sealed plans and permit application for watermain permit renewal have been submitted electronically to our office; submittal to the appropriate agencies for permit renewal is currently in process. **Comment remains as a notation.***

Stormwater Management

1. *A Storm Water Management Facilities Easement, Maintenance Agreement and Lien document will need to be completed and exhibits provided for review. Easement exhibits have been submitted for review and comments were provided in our April 6, 2021 review letter. Please provide revised easement exhibits for review. Comment addressed. Revised easements exhibits were submitted, and*



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EXCEPTIONAL DESIGN
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WLT- Lake Pointe- FSP/FEP Review.07

April 10, 2024

Page 4 of 5

outstanding comments have been addressed. Please reference our April 28, 2021, PDA review letter.

Comment remains as a notation.

2. *Flows from the proposed detention basin for this development are proposed to be routed through proposed storm sewer in the proposed West Valley development to the southeast on the south side of Union Lake Road. Note that the West Valley development will require Final Engineering Plan approval prior to approval of Lake Pointe, since the feasibility of Lake Pointe will depend on installation of storm sewer within the West Valley development. **Comment remains as a notation.***
3. *The footings for the proposed retaining wall along the east and southeast part of the property will need to be placed such that the footings have no negative influence with respect to vertical or lateral stresses on the adjacent storm sewer. Please verify this will not occur. Comment partially addressed. The design engineer has stated that “The retaining wall has not yet been designed. The retaining wall has been shifted so the face of wall is at least 10 feet away (horizontally) from the storm sewer. Given that the depth of the storm sewer is less than 10 feet and that the retaining wall will have some sort of buried foundation depth, the retaining wall foundation loads on underlying soils should not have an influence on the storm sewer.” We request that the engineer who will design the wall provide an analysis of the loads and potential impacts the wall may have on surrounding utilities. Please provide completed analysis to our office. Comment addressed; signed & sealed wall design calculations have been provided. Note the wall calculations have not been reviewed by this office but will be filed with the project documents for future reference. **Comment remains as a notation.***
4. **Since Lake Pointe is dependent on West Valley for conveyance of stormwater flows from the Lake Pointe site, we are requesting confirmation from EGLE that they are aware of Lake Pointe’s stormwater contribution to West Valley’s ultimate stormwater outlet and that EGLE has evaluated and approves of this. This confirmation shall be required prior to final engineering approval for Lake Pointe.**

Required Permits and Approvals

The following permits and approvals will be required:

1. Permit from the Road Commission for all work within the Union Lake Road Right-Of-Way including the proposed storm sewer crossing.
2. SESC permit from OCWRC. **Permit #000698-2021-CO issued 2021.**
3. A Notice of Coverage for Stormwater Discharge under the NPDES program as administered by EGLE is required.
4. Watermain permit from EGLE (Expired)- Renewal of permit in progress.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Lake Pointe- FSP/FEP Review.07
April 10, 2024
Page 5 of 5

5. Sanitary sewer permit from OCWRC (We found record of approval from May 17, 2021; OCWRC Job #S21-0125 CW). It will have to be determined if this is still valid or if resubmittal is required.
6. Sanitary sewer permit from EGLE (We recall EGLE was holding their review of plans until West Valley plans were submitted for review concurrently)
7. Executed Stormwater Maintenance Agreement
8. Easements for Sanitary Sewer and Watermain
9. Sidewalk easement from Independence Village

Recommendation

The plans are approvable subject to the applicant acquiring the approvals/permits referenced above, and the related West Valley approvals including that mentioned in Comment 4 under Stormwater Management above.

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P. E.
Senior Engineer

Cc: Justin Quagliata, Community Development, *via email*
Hannah Kennedy-Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

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Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Section 9, Item H.

Scott Huggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 2, 2024

JMF White Lake, LLC
1700 W. Big Beaver Road, Suite 120
Troy, MI 48084

ATTN: Michael Furnari

**RE: Lake Pointe – Final Site Plan Backcheck #4
Parcel Number 12-36-177-003**

Dear Mr. Furnari:

Community Development Department staff have completed the second backcheck for the above referenced project. The following comments from the previous backcheck dated December 26, 2023 are listed below. Responses to those comments are provided in **(green)**.

- All required landscape areas in excess of 200 square feet shall be irrigated to assist in maintaining a healthy condition for all plantings and lawn areas. **An irrigation plan shall be provided. (Comment outstanding).** **(Comment addressed. Sheet LS-3 has been revised accordingly).** **(Note: an irrigation plan dated February 3, 2024 (revision date February 21, 2024) has been provided).**
- All required site irrigation systems shall include a rain sensor or similar measure to ensure irrigation does not occur during or shortly after precipitation events. All site plans shall note installation of required irrigation. **Add note to landscape plan. (Comment addressed. A note has been added to Sheet LS-3).**
- Trees shall not be planted closer than four feet to a property line. **Add note to landscape plan. (Comment partially addressed. Note 22 has been added to Sheet LS-1. However, the spelling of the word “planted” is incorrect and shall be addressed).** **(Comment addressed. Note 22 has been revised).**
- Trees identified for protection during construction and the means of protection shall be identified prior to final site plan. No construction shall occur until tree protection has been installed and approved by the Community Development Director. **Add note to landscape plan. (Comment addressed. A note has been added to Sheet LS-3).**
- Austrian Pine and White Pine are not an acceptable evergreen tree. **Pine trees are prohibited in the Township. Revise landscape plan to provide an acceptable species of evergreen tree and remove all references to pine trees. (Comment partially addressed. The landscape legend on Sheet LS-2 still lists pine species. Revise the landscape legend accordingly).** **(Comment remains outstanding).** **(Comment outstanding. Contrary to the response letter, the landscape legend on Sheet LS-2 still needs revision)**

- No more than two planted trees in a row shall be of the same species. **Revise landscape plan. (Comment outstanding).** (Comment addressed. Tree cluster/grouping planting notes have been added to Sheet LS-2).
- The landscape plan mentions mulch. Per the Zoning Ordinance, the mulch product itself shall be at least doubled-shredded quality. **Revise landscape plan. (Comment partially addressed. The tree planting, evergreen planting, and shrub planting details on Sheet LS-2 still do not note double-shredded mulch. Revise accordingly).** (Comment addressed. The details on Sheet LS-3 have been revised accordingly).
- As stated in previous correspondence (dated February 22, 2021), **the building materials shall be labeled on the building elevations, Sheets A201 and A203.** (Comment outstanding). (Comment remains outstanding). (Comment addressed. Material notations have been added to the elevations).
- As stated in previous correspondence (dated February 22, 2021), **elevations and building material details shall be provided for the clubhouse building.** (Comment addressed. Community building elevations have been provided).
- **Architectural plan sheets A101, A102, A200, A201, A203 all list West Valley list in the title block. While the residential buildings proposed between both projects are the same, plans in the Lake Pointe plan set shall be titled as such. Revise accordingly.** (Comment outstanding). (Comment addressed. The title blocks on the aforementioned sheets have been revised).
- As stated in previous correspondence (dated February 22, 2021), Sheet LS-5 indicates a decorative street light is proposed adjacent to the entrance of the development, and pedestrian bollard lighting is proposed at several places along the internal sidewalk network. Neither of the lighting types are full cutoff luminaries as required for outdoor lighting. However, the Zoning Ordinance permits non-cutoff fixtures if they are decorative pedestrian fixtures less than 100 watts and pedestrian fixtures shall not use clear globes. **Wattage for each luminaire shall be noted on Sheet LS-5, and lighting fixture specification sheets (cut sheets) shall be submitted for the two aforementioned luminaries.** (Comment outstanding). (Comment remains outstanding). (Comment addressed. Luminaire wattage has been added to Sheet LS-5 and cut sheets have been provided for both of the aforementioned luminaries).
- **The lighting fixture specification sheet (cut sheet) shall be submitted for the proposed entrance sign panel “uplighting.” The method of sign illumination is subject to review and approval by the Planning Division. Note uplighting is prohibited in the Township and the sign panel uplighting detail on Sheet LS-4 shall be removed.** (Comment addressed. The sign panel uplighting detail on Sheet LS-5 have been removed).

Prior to scheduling a pre-construction meeting, the following items shall be addressed: **(Comments outstanding).** (Comments remain outstanding). (Comments remain outstanding).

- Planned Development Agreement (PDA) review and approval. **(A revised PDA, submitted April 1, 2024, is currently under review).**
- Final Engineering Plan (FEP) review and approval (completed administratively).
- Provide documentation satisfactory to the Township Attorney evidencing ownership of the property.

- Submit ~~reciprocal access~~ **pathway/sidewalk** easement agreement (must be reviewed, approved, and executed prior to scheduling a pre-construction meeting).
- Submit required utility (water, sewer, storm sewer) easement agreements (must be reviewed, approved, and executed prior to scheduling a pre-construction meeting).
- Provide a construction cost estimate sealed by the design engineer.
- Provide inspection fees (payable at the pre-construction meeting).
- Provide Certificates of Insurance listing DLZ and the Township as Additional Insured. Note XCU (Explosion, Collapse, and Underground) coverage must be provided.
- Provide a copy of all applicable agency permits to Township (must be submitted prior to scheduling a pre-construction meeting).
- Five (5) hard copies of the final plans must be brought to the pre-construction meeting for signing/stamping.

If you have any questions regarding this matter, please contact me at (248) 698-3300 ext. 177 or by email at justinq@whitelaketwp.com.

Sincerely,



Justin Quagliata
Staff Planner

cc: Sean O’Neil, Community Development Director
Nick Spencer, Building Official
Michael Leuffgen, DLZ
Victoria Loemker, DLZ
Jason Emerine, Seiber Keast Lehner, Inc.



Fire Department
Charter Township
of White Lake

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 03/26/24

Project: Lake Pointe

File #: Not Shown

Date on Plans: 02/13/24 (revision)

The Fire Department has the following comments with regard to the revised plans for the project known as Lake Pointe:

The Fire Department has no further comments regarding this project as submitted.

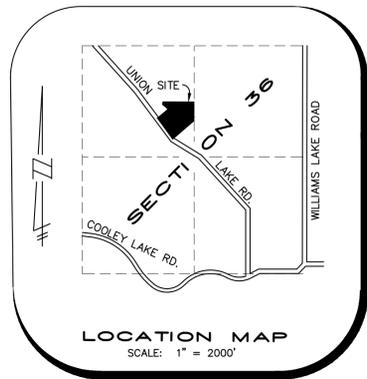
John Holland
Fire Chief
Charter Township of White Lake
(248)698-3993
jholland@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

ENGINEERING CONSTRUCTION PLANS FOR LAKE POINTE

A MULTI FAMILY DEVELOPMENT
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP,
OAKLAND COUNTY, MICHIGAN

PREPARED FOR:
JMF, WHITE LAKE, LLC
1700 W. BIG BEAVER ROAD, STE. 120
TROY, MI 48084
PHONE: (248) 602-2220



BENCHMARKS

BM#1 - CONCRETE MONUMENT AT SOUTHWEST CORNER OF PROPERTY.
ELEVATION: 948.29 NAVD88

BM#2 - TELECOM MANHOLE COVER AT NORTHEAST CORNER OF CARPATHIAN DRIVE AND UNION LAKE ROAD.
ELEVATION: 984.75 NAVD88

BM#3 - TELECOM MANHOLE COVER ±485' WSET OF CENTER OF SECTION 36 ALONG THE SOUTH PROPERTY LINE.
ELEVATION: 962.72 NAVD88

NCS PID D16198
ELEVATION 966.63 NAVD88

LEGAL DESCRIPTION

LEGAL DESCRIPTION - OVERALL PARCEL RECOMBINATION:
A PARCEL OF LAND BEING A PART OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 36, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH ¼ POST OF SAID SECTION 36, T.3N., R.8E., OAKLAND COUNTY, MICHIGAN, THENCE PROCEEDING ALONG THE NORTH AND SOUTH ¼ LINE OF SAID SECTION 36, SOUTH 00 DEGREES 03 MINUTES 47 SECONDS EAST, 1315.77 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SAID SECTION, THENCE IN PART ALONG THE WESTERLY LINE OF BOCOVINA COUNTRYSIDE HOMES, OAKLAND COUNTY PLAN NO. 755, MASTER DEED AS RECORDED IN LIBER 12457, PAGES 419 THROUGH 492, 1ST AMENDMENT AS RECORDED IN LIBER 13514, PAGES 811 THROUGH 817 OAKLAND COUNTY RECORDS, SOUTH 00 DEGREES 18 MINUTES 25 SECONDS EAST, 475.18 FEET, THENCE ALONG THE NORTHWESTERLY LINE OF CARPATHIAN DRIVE AS RECORDED IN BOCOVINA HOMESITES, OAKLAND PLAN NO. 754, MASTER DEED AS RECORDED IN LIBER 12457, PAGES 493 THROUGH 563, 1ST AMENDMENT AS RECORDED IN LIBER 13514, PAGES 801 THROUGH 810, OAKLAND COUNTY RECORDS, SOUTH 46 DEGREES 03 MINUTES 08 SECONDS WEST, 580.14 FEET TO THE CENTERLINE OF UNION LAKE ROAD, THENCE ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 1432.69 FEET, CENTRAL ANGLE 12 DEGREES 18 MINUTES 04 SECONDS, (THE CHORD OF SAID CURVE BEARS NORTH 42 DEGREES 30 MINUTES 07 SECONDS WEST, 307.00 FEET) AND HAVING AN ARC DISTANCE OF 307.58 FEET; THENCE CONTINUING ALONG SAID CENTERLINE THE FOLLOWING TWO COURSES, NORTH 36 DEGREES 21 MINUTES 05 SECONDS WEST, 21.54 FEET AND NORTH 36 DEGREES 44 MINUTES 42 SECONDS WEST, 468.27 FEET; THENCE NORTH 21 DEGREES 07 MINUTES 22 SECONDS EAST, 307.10 FEET; THENCE SOUTH 88 DEGREES 32 MINUTES 43 SECONDS EAST, 812.20 FEET TO THE POINT OF BEGINNING OF THE PARCEL, HEREIN DESCRIBED, CONTAINING 580,140 GROSS SQUARE FEET OR 13.32 GROSS ACRES OF LAND, MORE OR LESS, ALSO BEING SUBJECT TO THE RIGHTS OF THE PUBLIC AND/OR ANY OTHER GOVERNMENTAL UNIT IN ANY PART OF UNION LAKE ROAD TAKEN, USED OR DEDICATED FOR STREET, ROAD, HIGHWAY OR PUBLIC UTILITY PURPOSES. ALSO BEING SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS OR CONDITIONS OF RECORD, SIDWELL NOS.: 12-36-177-003, 12-36-177-002.

GENERAL NOTES

- THE CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT (248) 334-9901 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL KEEP THE INSPECTOR APPRAISED OF THE NEED FOR INSPECTION ON A DAY TO DAY BASIS. LACKING SPECIFIC SCHEDULING WITH THE INSPECTOR, THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO THE TOWNSHIP ENGINEER PRIOR TO RECOMMENDING WORK. INSPECTION FAILURE TO INFORM THE INSPECTOR OR THE TOWNSHIP ENGINEER OF A WORK CANCELLATION MAY RESULT IN A ONE HALF DAY INSPECTION CHARGE TO THE DEVELOPER.
- THE DEVELOPER SHALL CONTACT THE TOWNSHIP PLANNING DEPARTMENT AT (248) 698-3300 TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE DEVELOPER'S PRIME SITE CONTRACTOR SHALL ATTEND. A COPY OF ALL PERMITS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO SCHEDULING THE MEETING.
- ALL CONSTRUCTION MUST CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY WHITE LAKE TOWNSHIP.
- CONTRACTOR SHALL CONTACT MISS DIG AT 1-800-482-7171, 72 HOURS IN ADVANCE OF CONSTRUCTION, FOR EXISTING UNDERGROUND UTILITY LOCATIONS.
- ALL SOIL EROSION AND SILTATION MUST BE CONTROLLED AND CONTAINED ON-SITE.
- ALL EXCAVATION, INCLUDING ALL UTILITIES AND LEADS, UNDER OR WITHIN 1 ON 1 INFLUENCE OF ANY PAVEMENT (INCLUDING SIDEWALKS), EXISTING OR PROPOSED, OR WHERE SAND BACKFILL IS CALLED FOR ON THE PLAN, SHALL BE BACKFILLED AND COMPACTED WITH GRANULAR MATERIAL (SAND) MDOT CLASS II TO 95 PERCENT MAXIMUM UNIT DENSITY (ALL OTHERS 90 PERCENT).
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND FACILITIES. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT THE PROPOSED UTILITY CROSSINGS PRIOR TO THE START OF UNDERGROUND CONSTRUCTION. ANY CONFLICTS WITH UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER.
- WHERE TWO UTILITIES CROSS, INCLUDING SANITARY SEWER LEADS, PROVIDE POROUS GRADE "B" BACKFILL MATERIAL COMPACTED TO THE UNDERSIDE OF THE HIGHER UTILITY OR AS SPECIFIED ON THE DETAIL SHEET.
- DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
- ANY MUD TRACKED ONTO UNION LAKE ROAD SHALL BE REMOVED DAILY.
- IF DEWATERING IS DETERMINED TO BE REQUIRED, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY THE AREA TO BE DEWATERED, SUBMIT A DEWATERING PLAN TO THE WHITE LAKE TOWNSHIP ENGINEERING DIVISION FOR REVIEW, TO MONITOR AND TO DETERMINE THAT THERE WILL NOT BE ANY IMPACT TO ANY ADJOINING OR OFFSITE PROPERTIES. DEWATERING PROCEDURES SHALL BE IN COMPLIANCE WITH WHITE LAKE TOWNSHIP.
- A ROAD COMMISSION FOR OAKLAND COUNTY RIGHT-OF-WAY PERMIT IS REQUIRED FOR ANY WORK WITHIN THE UNION LAKE ROAD RIGHTS-OF-WAY (OR ANY PUBLIC ROAD RIGHT-OF-WAY) AND/OR ANY TOWNSHIP EASEMENT.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, INVERTS AND GRADES PRIOR TO THE START OF ANY WORK.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- WHITE LAKE TOWNSHIP HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE STREETS CONTAINED WITHIN OR PRIVATE STREETS PROVIDING ACCESS TO THE PROPERTY DESCRIBED IN THE PLAN.
- IN ORDER TO VERIFY COMPLIANCE WITH APPROVED PLANS, FULL-TIME CONSTRUCTION OBSERVATION WILL GENERALLY BE REQUIRED DURING ALL PHASES OF UNDERGROUND SITE CONSTRUCTION INCLUDING INSTALLATION OF SANITARY SEWER, STORM SEWERS, DRAINS, WATER MAINS AND APPURTENANCES AS WELL AS PRIVATE STREET CURBING AND PAVING CONSTRUCTION. INTERMITTENT OBSERVATIONS WILL BE MADE FOR SITE GRADING, PARKING LOT CURBING AND PAVING, RETAINING WALL CONSTRUCTION AND OTHER SURFACE ACTIVITY.

LAKE POINTE

Quantity Summary

SANITARY SEWER		QUANTITY
1	6" PVC SDR 35 HOUSE LEAD	1,506 L.F.
2	8" PVC TRUSS SANITARY SEWER	1,387 L.F.
3	4" DIA. MANHOLE	10 EA.
WATER MAIN		QUANTITY
1	8" WATER MAIN D.I. CL54	2,216 L.F.
2	HYDRANT, VALVE & BOX	7 EA.
3	8" G.V.&W.	3 EA.
4	8"x12" TAPPING SLEEVE, VALVE & WELL	2 EA.
5	1" WATER SERVICE	1,101 L.F.
STORM SEWER		QUANTITY
1	12" C-76 CL 4	1,886 L.F.
2	15" C-76 CL 4	611 L.F.
3	18" C-76 CL 4	592 L.F.
4	21" C-76 CL 4	543 L.F.
5	24" C-76 CL 4	47 L.F.
6	2" DIA. INLET	9 EA.
7	4" DIA. CATCH BASIN	21 EA.
8	6" DIA. CATCH BASIN	1 EA.
9	4" DIA. MANHOLE	5 EA.
10	6" DIA. OVERFLOW MANHOLE	1 EA.
11	24" CONC. END SECTION W/ RIP RAP	1 EA.
12	6" DIA. CONTECH CS-6	1 EA.
13	36" STANDPIPE	1 EA.
PAVING		QUANTITY
1	INTERNAL ASPH. PAVEMENT (4" ON 10")	5,124 S.Y.
2	R.C.O.C. ROW ASPHALT PAVEMENT	511 S.Y.
3	CONCRETE SIDEWALK	22,880 S.F.
4	THICKENED EDGE CONCRETE WALK	537 L.F.
5	24" MOUNTABLE CONC. & STANDARD GUTTER	2,922 L.F.
6	F4 CONC. CURB& GUTTER	396 L.F.
7	B2 ROLL CURB WITH GUTTER	121 L.F.

ESTIMATED QUANTITIES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL DETERMINE THE QUANTITIES OF WORK REQUIRED TO COMPLETE THE PROJECT.



- ### SHEET INDEX
- COVER SHEET
 - COMPOSITE UTILITY AND OVERALL SITE PLAN
 - EXISTING CONDITIONS AND DEMOLITION PLAN
 - GRADING & S.E.S.C. PLAN
 - GRADING & S.E.S.C. PLAN
 - GRADING & S.E.S.C. PLAN
 - PROPOSED CONTOUR PLAN
 - DETAILED GRADING PLAN FOR ADA PATHWAYS
 - ROAD AND SANITARY SEWER PLAN
 - ROAD AND SANITARY SEWER PROFILES
 - WATERMAIN PLAN
 - 10A. WATER MAIN PROFILES
 11. STORM SEWER PLAN
 12. STORM SEWER PROFILES
 13. STORM SEWER PROFILES
 14. CONTECH CS-6 DETAILS
 15. DETENTION BASIN PLAN, CALCULATIONS AND PROFILE
 16. DRAINAGE DISTRIBUTION PLAN & STORM SEWER CALCULATIONS
 - 16A. OVERALL STORM WATER MANAGEMENT SYSTEM "WEST VALLEY & LAKE POINTE"
 17. APPROACH PLAN
 - ND1. NOTES AND DETAILS
 - ND2. NOTES AND DETAILS

- ### DETAILS:
- WHITE LAKE TOWNSHIP
SANITARY SEWER STANDARD DETAILS
WATER MAIN STANDARD DETAILS
STORM SEWER STANDARD DETAILS
- OAKLAND COUNTY
SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
- ### LANDSCAPE PLANS:
- LS-1 OVERALL LANDSCAPE PLAN
LS-2 GENERAL LANDSCAPE PLANTING DETAIL
LS-3 PLANT MATERIAL LIST AND PLANT DETAILS
LS-4 BLDG. FOUNDATION, CLUBHOUSE AND ENTRY PLANTINGS
LS-5 SITE AMENITY, PERGOLA AND ENTRY SIGN DETAILS
LS-6 POOL DECK PLAN
LS-7 POOL PERGOLA/TRELLIS ELEVATIONS & DETAILS
- ### IRRIGATION PLANS:
- IRR-1 IRRIGATION PLAN
IRR-2 IRRIGATION PLAN
IRR-3 IRRIGATION PLAN
IRR-4 IRRIGATION NOTES & DETAILS
- ### ARCHITECTURE PLANS:
- A100 BUILDING PLANS
A101 UNIT ELEVATIONS
A200 BUILDING PLANS
A201 BUILDING ELEVATIONS
A202 BUILDING PLANS
A203 BUILDING ELEVATIONS
A204 BUILDING PLANS
A205 BUILDING ELEVATIONS
AS-1 SITE PLAN
CB4.0 COMMUNITY BUILDING ELVATIONS

CLINTON TOWNSHIP OFFICE
17001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48038
586.412.7050

FARMINGTON HILLS OFFICE
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331
248.308.3331

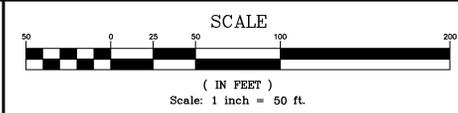
ARCHITECTURAL PLANS PROVIDED BY:
ALEXANDER V. BOGAERTS AND ASSOCIATES, P.C.
2445 FRANKLIN ROAD
BLOOMFIELD HILLS, MICHIGAN 48302
PHONE: 248.334.5000

LANDSCAPE PLANS PROVIDED BY:
FELINO PASCUAL & ASSOCIATES LANDSCAPE ARCHITECTURE
24333 ORCHARD LAKE ROAD, SUITE G
FARMINGTON, MICHIGAN 48336
PHONE: 248.557.5588

SURVEY PROVIDED BY:
ALPINE ENGINEERING, INC.
46892 WEST ROAD, SUITE 109
NOVI, MICHIGAN 48377
PHONE: 248.926.3765

REVISIONS			ENGINEER'S SEAL
NO.	ITEM	DATE	
1.	REVISE PER OWNER	6-3-20	
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20	
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21	
4.	REVISE PER WHITE LAKE TWP	03-03-21	
5.	ADD WATER MAIN PROFILES PER E.G.L.E.	04-07-21	
6.	REVISED PER TOWNSHIP	04-25-23	
8.	REVISED PER TOWNSHIP	7-27-23	
8.	REVISE PER AGENCIES	02-13-24	

DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 18-039
CHECKED BY: P.K. DRAWING FILE: 18089CY.dwg



- ### NOTES
- ON-SITE SANITARY SEWERS, AND WATER MAINS SHALL BE CENTERED IN A 20-FOOT WIDE EASEMENT.
 - ALL OFF-SITE SANITARY AND WATER MAIN IMPROVEMENTS WILL BECOME PUBLIC PROPERTY.
 - CRITICAL STORM STRUCTURES WILL BE FITTED WITH TRAPS.
 - PERIODIC MAINTENANCE OF THE STORM WATER DETENTION BASIN WILL BE REQUIRED.
 - PROVISIONS PURSUANT TO OAKLAND COUNTY DRAIN COMMISSION EROSION CONTROL MANUAL WILL BE UNDERTAKEN INCLUDING, BUT NOT LIMITED TO, SILT FENCE AND INLET FILTERS.
 - "NO PARKING - FIRE LANE" SIGNAGE SHALL BE INSTALLED PROHIBITING PARKING ON ONE SIDE OF THE STREET.
 - PROPOSED GRADES WILL MATCH EXISTING ELEVATIONS AT THE PROPERTY LINE UNLESS RETAINING WALLS ARE PROVIDED OR GRADING EASEMENTS OBTAINED.
 - A PERMIT FROM THE ROAD COMMISSION FOR OAKLAND COUNTY WILL BE REQUIRED FOR ALL WORK IN THE UNION LAKE ROAD RIGHT-OF-WAY.
 - ALL WATER MAIN SHALL BE CLASS 54 DUCTILE IRON. ALL GATE VALVES SHALL BE PLACED IN GATE WELLS.
 - ALL STRUCTURES EXCEPT FOR INLETS WHICH CONNECT TO CATCH BASINS WILL BE A MINIMUM OF FOUR FEET IN DIAMETER.
 - THE DEVELOPMENT SHALL BE CONSTRUCTED AS A SINGLE PHASE.
 - THE CONSTRUCTION TYPE OF THE PROPOSED BUILDINGS IS WOOD CONSTRUCTION WITH BRICK VENEER AND SLAB ON GRADE.
 - THE FRONT PORCH LIGHTS AND THE COACH LIGHTS WILL UTILIZE 75 WATT BULBS.

PARKING CALCULATIONS

SPACES REQUIRED:
 2 SPACES FOR EACH UNIT, PLUS 1/4 SPACE FOR EACH BEDROOM.
 2 SPACES FOR EACH UNIT = 138 SPACES
 138 BEDROOMS/4 = 34.5 SPACES
 TOTAL SPACES REQUIRED = 172.5

SPACES PROVIDED:
 2 SPACES PER GARAGE = 138
 2 SPACES PER DRIVEWAY = 138
 ADDITIONAL PARKING SPACES = 31
 TOTAL SPACES PROVIDED = 307

Accessible Parking Spaces	
Total Parking Spaces (Excluding Garages)	169
Accessible Spaces	
Per 2010 ADA (208.2.3 Residential Facilities)	
Total Required (Minimum 2% of the total)	4
Total Provided	
Standard Accessible Spaces	2
Van Accessible Spaces	2
	4

- ### SITE DATA
- EXISTING ZONING: R1-C/SINGLE FAMILY RESIDENTIAL AND LB/LOCAL BUSINESS
 - SITE AREA: 13.32 ACRES GROSS, 12.76 ACRES NET
 - PROPOSED LAND USE: ATTACHED SINGLE FAMILY DEVELOPMENT APARTMENTS- MULTI FAMILY
 - ALL PROPOSED UNITS ARE 2-BEDROOMS
 - DENSITY: 69 UNITS/12.76 ACRES = 5.41 UNITS/ACRE
 - PROPERTY LINE SETBACK = FRONT 40 FEET
SIDE 25 FEET
REAR 25 FEET
 - INTERNAL SETBACK = 30 FEET FROM BACK OF CURB.
 - SIDE YARD SETBACK: MIN. 20 FEET BETWEEN BUILDINGS
 - DWELLING UNITS: 69 - (2 BEDROOM UNITS)
 - TRASH DISPOSAL SHALL BE BY CURB SIDE PICKUP.
 - LIGHTING SHALL BE PROVIDED BY PHOTOCELL OPERATED LIGHTS LOCATED ON THE FRONT OF EACH HOME.

WETLANDS

NO WETLANDS EXIST ON SITE.

FLOODPLAIN INFORMATION

THE SUBJECT PROPERTY LIES WITHIN A ZONE "X" FLOOD HAZARD AREA - "AREAS OF MINIMAL FLOODING", PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 26125C0477F, MAP EFFECTIVE SEPTEMBER 29, 2006.

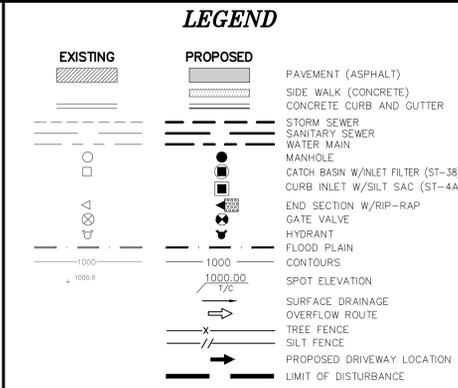
DENSITY CALCULATION:

AREA OF RESIDENTIAL SITE = 13.32 Ac.
 AREA OF 60' R.O.W. = 0.56 Ac.
 DENSITY AREA = 13.32-0.56 = 12.76 Ac.
 AREA OF INTERNAL ROADS = 1.31 Ac.
 NET DENSITY AREA = 12.76-1.31 = 11.45 Ac.
 NET DENSITY AREA = 498,762 S.F.

IF RM-1 ZONING APPLIED:

FOR 2 BEDROOMS UNITS
 REQUIRED 6,000 S.F./UNIT
 DEDUCT 10,000 S.F. FOR FIRST UNIT

TOTAL ALLOWABLE UNITS =
 498,762 - 10,000 / 6,000 = 81
 TOTAL ALLOWABLE UNITS = 82 UNITS
 TOTAL UNITS PROVIDED = 69 UNITS
 (5.41 UNITS / ACRE)



- ### LIST OF ALL REQUIRED STATE AND FEDERAL PERMITS
- | TYPE | AGENCY | STATUS |
|-------------------|--------|-----------|
| 1. NPDES | MDEQ | NOT FILED |
| 2. SANITARY SEWER | MDEQ | NOT FILED |
| 3. WATER MAIN | MDEQ | NOT FILED |

LAKE POINTE

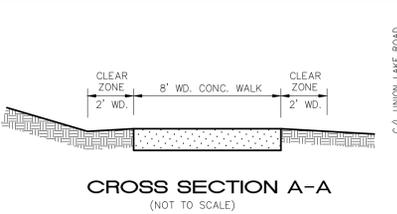
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
 WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

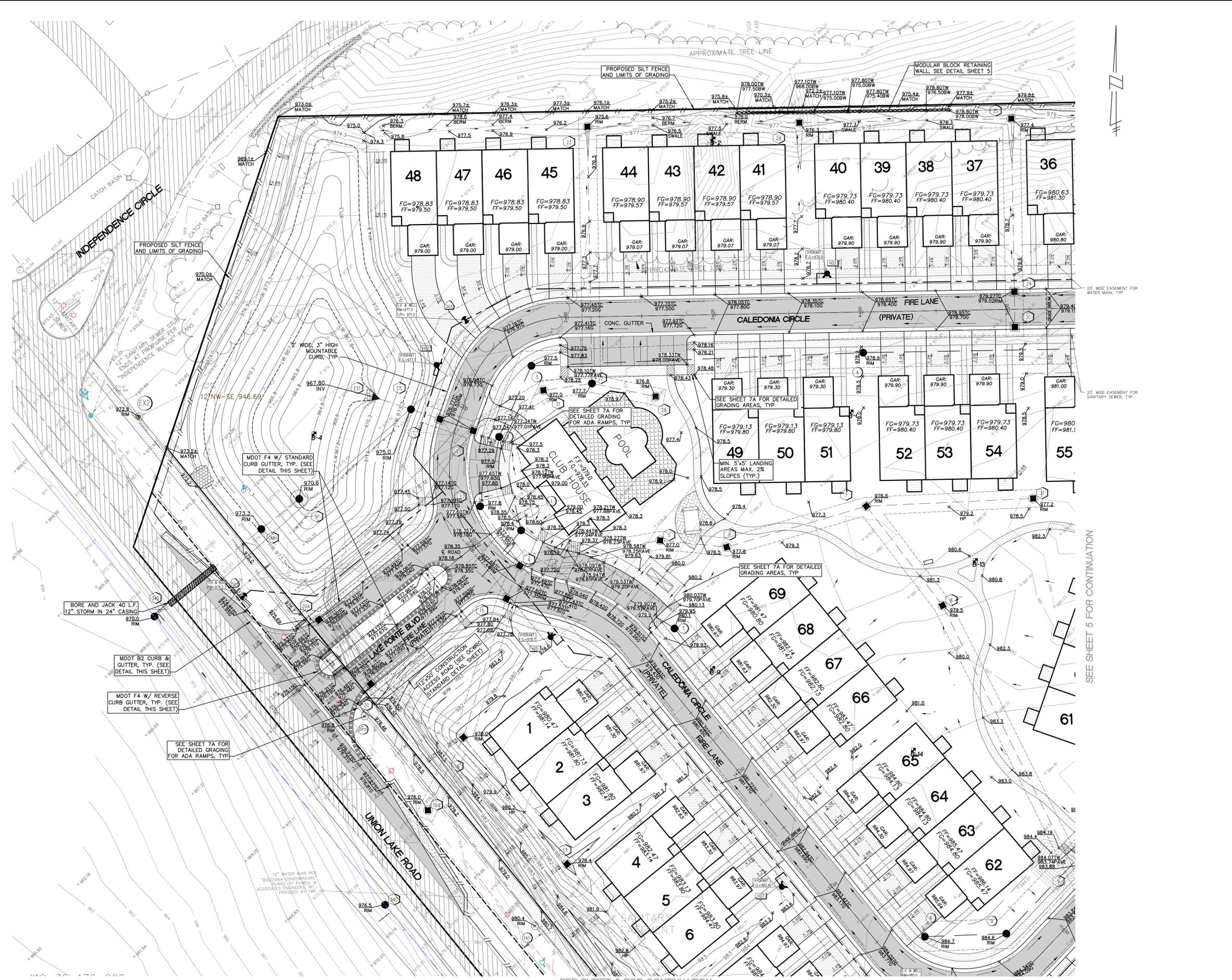
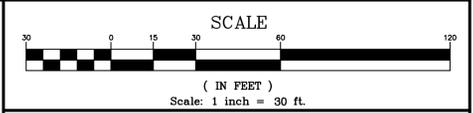
REVISIONS		UTILITY WARNING
NO.	DATE	<p>Know what's below. Call before you dig.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.</p>
1. REVISE PER OWNER	6-3-20	
2. REVISE GRADES ON UNITS 2 AND 6	11-9-20	
3. REV PER 11-20-20 WL TWP LETTER	02-02-21	
4. REVISE PER WHITE LAKE TWP	03-03-21	
6. REVISED PER TOWNSHIP	04-25-23	
7. REVISED PER TOWNSHIP	7-27-23	
8. REVISE PER AGENCIES	02-13-24	

STORM STRUCTURE SCHEDULE

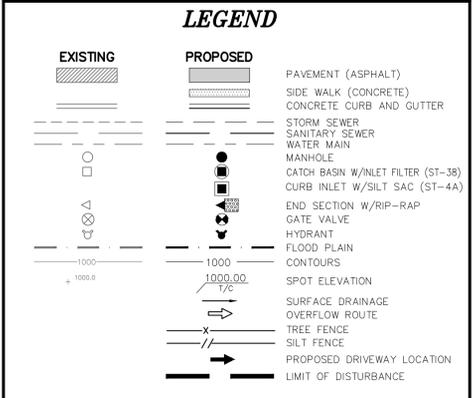
NO.	TYPE	SIZE (DIA)	SUMP DEPTH (feet)	FRAME AND COVER
1	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
2	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
3	MANHOLE	4	0	EJW 1040 Frame Type B Cover
4	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
5	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
6	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
7	CATCH BASIN	6	2	EJW 1040 Frame Type N Cover
8	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
9	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
10	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
11	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
12	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
13	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
15	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
16	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
17	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
18	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
19	INLET	2	0	EJW 1040 Frame Type N Cover
20	CATCH BASIN	4	2	EJW 7045 Frame Type M1 Cover
20A	INLET	2	0	EJW 7045 Frame Type M1 Cover
21	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
22	MANHOLE	4	0	EJW 1040 Frame Type B Cover
23	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
24	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
25	CATCH BASIN	4	2	EJW 1040 Frame Type N Cover
26	MANHOLE	4	0	EJW 1040 Frame Type B Cover
27	INLET	2	0	EJW 1040 Frame Type N Cover
28	INLET	2	0	EJW 1040 Frame Type N Cover
29	CATCH BASIN	4	2	EJW 7065 Frame Type M1 Cover
30	INLET	2	0	EJW 7065 Frame Type M1 Cover
31	INLET	2	0	EJW 1040 Frame Type N Cover
32	INLET	2	0	EJW 1040 Frame Type N Cover
34C	MANHOLE	4	0	EJW 1040 Frame Type B Cover
34D	MANHOLE	4	0	EJW 1040 Frame Type B Cover
OMH	OVERFLOW MANHOLE	6	0	EJW 1040 Frame Type B Cover
SP	STAND PIPE	3		SEE DETAIL ON SHEET 15
CS	CONTECH	6		SEE DETAIL ON SHEET 14

- ### PROPOSED IMPROVEMENTS
- MUNICIPAL SEWER TO BE PROVIDED BY CONSTRUCTING A GRAVITY SEWER. ALL ON-SITE GRAVITY SEWER SHALL BE 8-INCH DIAMETER.
 - WATER SUPPLY TO BE PROVIDED BY CONNECTING TO EXISTING 12" WATER MAINS ALONG UNION LAKE ROAD. ALL WATER MAIN SHALL BE 8-INCH DIAMETER UNLESS OTHERWISE NOTED.
 - ON-SITE STORM WATER DETENTION SHALL BE PROVIDED PER OAKLAND COUNTY DRAIN COMMISSION STANDARDS. ALL STORM DRAINAGE EASEMENTS SHALL BE A MINIMUM OF 20 FEET WIDE IF NECESSARY.
 - ROADWAYS SHALL BE 27' WD. (B-B) WITH CONC. CURB & GUTTER AND ASPHALT PAVEMENT. ALL ROADWAYS SHALL BE PRIVATE. ALL SIDEWALKS SHALL BE 5 FEET WIDE. UNLESS OTHERWISE NOTED, AND MEET ALL ADA REQUIREMENTS.
 - ALL ELECTRIC, CABLE T.V. AND TELEPHONE LINES SHALL BE LOCATED UNDERGROUND, AND SHALL BE PLACED WITHIN EASEMENTS DEDICATED FOR SUCH USE.





- O.C.W.R.C. S.E.S.C. NOTES**
- CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION CONTROLS WEEKLY AND AFTER EVERY STORM EVENT.
 - SEE SHEET ND1 FOR SOIL EROSION CONTROL MAINTENANCE.
- GRADING NOTES**
- PROVIDE MINIMUM 2% SLOPE IN SIDE YARD AND REAR YARD SWALES.
 - MAINTAIN A MAXIMUM 1V:3H SLOPE FROM HOUSE TO SIDE YARD SWALES.
 - AFTER INITIAL EXAMINATION & GRADING OF THE RETENTION BASIN, SILT FENCE SHALL BE PLACED AROUND THE BASINS UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- PAVING NOTES**
- SIDEWALKS AND RAMP CONSTRUCTION SHALL BE ACCORDANCE WITH ADA STANDARDS. (SEE SHEET ND1 FOR RAMP DETAILS)
 - SEE SHEET ND1 & 16 FOR ALL CURB AND PAVING DETAILS.
 - SEE UNION LAKE ROAD APPROACH PLAN NOTES ON SHEETS 16.



LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
NO.	DESCRIPTION	DATE
1.	REVISED PER OWNER	6-3-20
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21
4.	REVISE PER WHITE LAKE TWP	03-03-21
6.	REVISED PER TOWNSHIP	04-25-23
7.	REVISED PER TOWNSHIP	7-27-23
8.	REVISED PER AGENCIES	02-13-24

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

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DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039GR.dwg

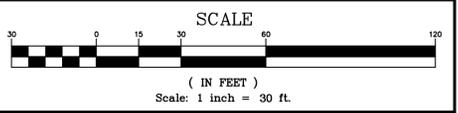
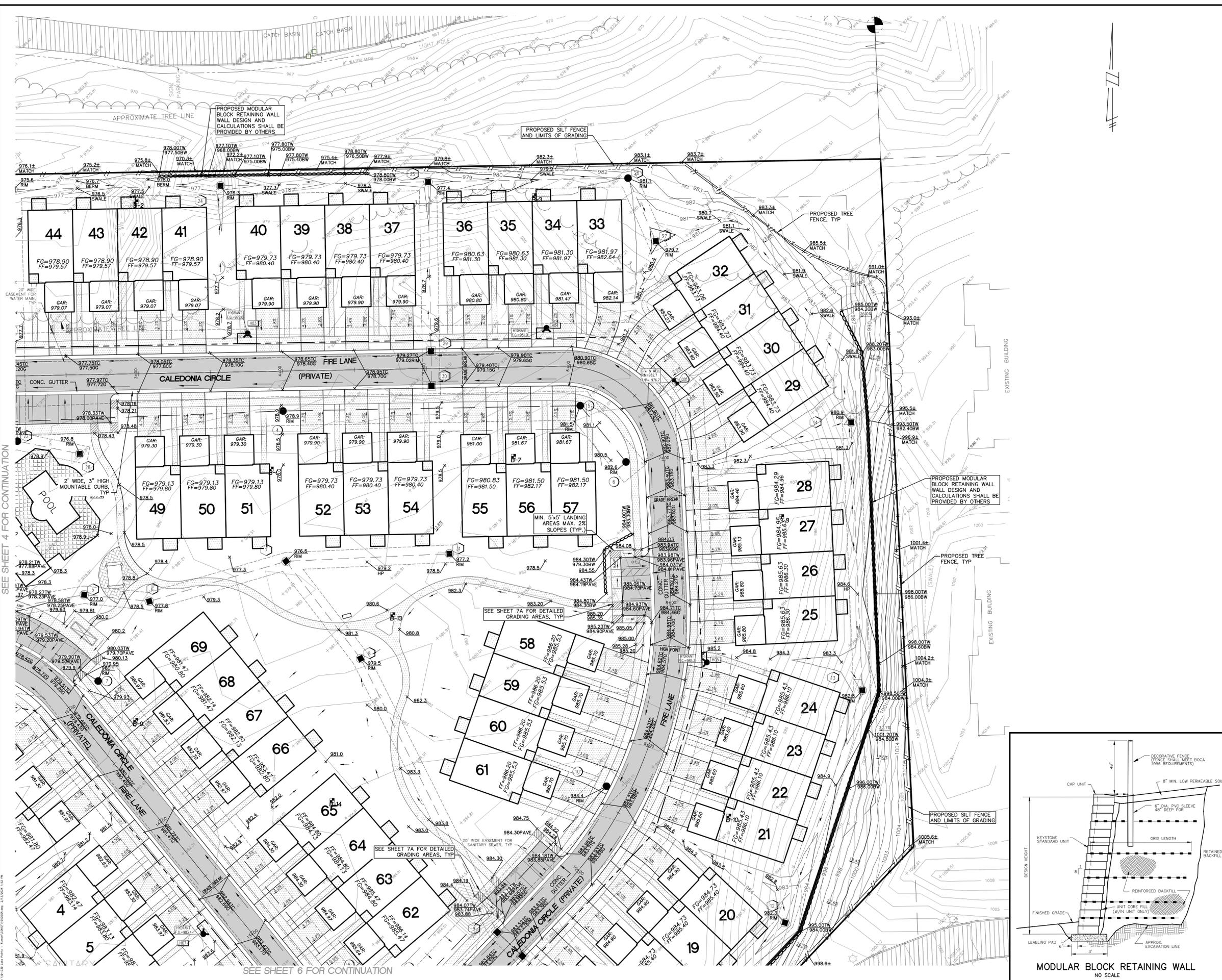
GRADING & S.E.S.C. PLAN

SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48838 588.412.7050

FARMINGTON HILLS OFFICE: 38206 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3341

SHEET 4



- O.C.W.R.C. S.E.S.C. NOTES**
- CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION CONTROLS WEEKLY AND AFTER EVERY STORM EVENT.
 - SEE SHEET ND1 FOR SOIL EROSION CONTROL MAINTENANCE.
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- PROVIDE MINIMUM 2% SLOPE IN SIDE YARD AND REAR YARD SWALES.
 - MAINTAIN A MAXIMUM 1V:3H SLOPE FROM HOUSE TO SIDE YARD SWALES.
 - AFTER INITIAL EXAMINATION & GRADING OF THE RETENTION BASIN, SILT FENCE SHALL BE PLACED AROUND THE BASINS UNTIL PERMANENT VEGETATION IS ESTABLISHED.
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- SIDEWALKS AND RAMP CONSTRUCTION SHALL BE ACCORDANCE WITH ADA STANDARDS. (SEE SHEET ND1 FOR RAMP DETAILS)
 - SEE SHEET ND1 & 16 FOR ALL CURB AND PAVING DETAILS.
 - SEE UNION LAKE ROAD APPROACH PLAN NOTES ON SHEETS 16.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PAVEMENT (ASPHALT)
[Symbol]	[Symbol]	SIDE WALK (CONCRETE)
[Symbol]	[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CATCH BASIN W/INLET FILTER (ST-38)
[Symbol]	[Symbol]	CURB INLET W/SILT SAC (ST-4A)
[Symbol]	[Symbol]	END SECTION W/RIP-RAP
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	FLOOD PLAIN
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	SURFACE DRAINAGE
[Symbol]	[Symbol]	OVERFLOW ROUTE
[Symbol]	[Symbol]	TREE FENCE
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	PROPOSED DRIVEWAY LOCATION
[Symbol]	[Symbol]	LIMIT OF DISTURBANCE

LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

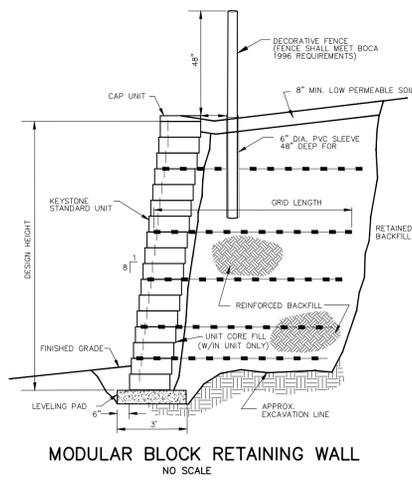
REVISIONS		UTILITY WARNING
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DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
 CHECKED BY: J.E. DRAWING FILE: 19039GR.dwg



GRADING & S.E.S.C. PLAN

SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48836 588.412.7060

PARRAMONT HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 PARRAMONT HILLS, MI 48837 248.308.3311

SHEET 5

SEE SHEET 4 FOR CONTINUATION

SEE SHEET 6 FOR CONTINUATION

SEE SHEET 7A FOR DETAILED GRADING AREAS, TYP

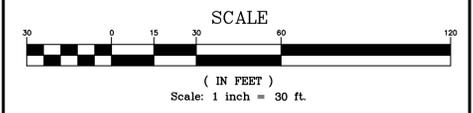
SEE SHEET 7A FOR DETAILED GRADING AREAS, TYP

PROPOSED SILT FENCE AND LIMITS OF GRADING

PROPOSED MODULAR BLOCK RETAINING WALL DESIGN AND CALCULATIONS SHALL BE PROVIDED BY OTHERS

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LEGEND

EXISTING	PROPOSED	DESCRIPTION
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[Solid Line]	[Solid Line]	CONCRETE CURB AND GUTTER
[Dashed Line]	[Dashed Line]	STORM SEWER
[Dashed Line]	[Dashed Line]	SANITARY SEWER
[Dashed Line]	[Dashed Line]	WATER MAIN
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[Circle]	[Circle]	FLOOD PLAIN
[Circle]	[Circle]	CONTOURS
[Circle]	[Circle]	SPOT ELEVATION
[Circle]	[Circle]	SURFACE DRAINAGE
[Circle]	[Circle]	OVERFLOW ROUTE
[Circle]	[Circle]	TREE FENCE
[Circle]	[Circle]	SILT FENCE
[Circle]	[Circle]	PROPOSED DRIVEWAY LOCATION
[Circle]	[Circle]	LIMIT OF DISTURBANCE

LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
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GRADING & S.E.S.C. PLAN

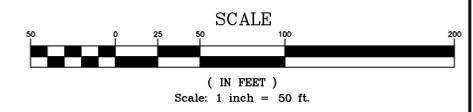
SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48831 586.412.7060

FARMINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3341

SHEET 6

PARCEL ACRES



LEGEND	
	EXISTING PAVEMENT (ASPHALT)
	PROPOSED PAVEMENT (ASPHALT)
	EXISTING CONCRETE CURB AND GUTTER
	PROPOSED CONCRETE CURB AND GUTTER
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	MANHOLE
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WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

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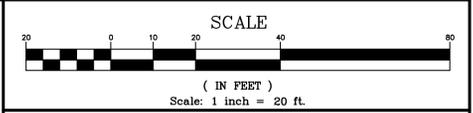
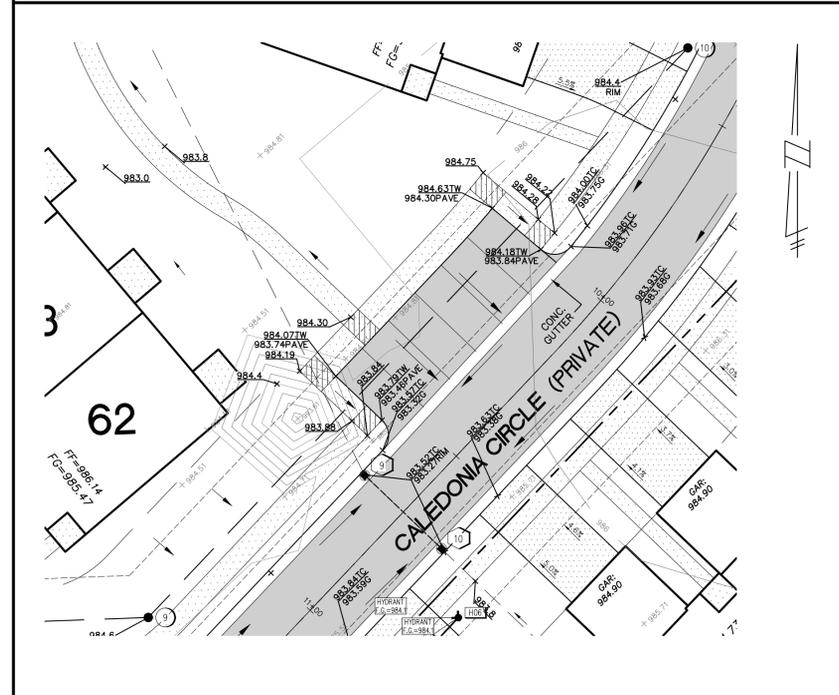
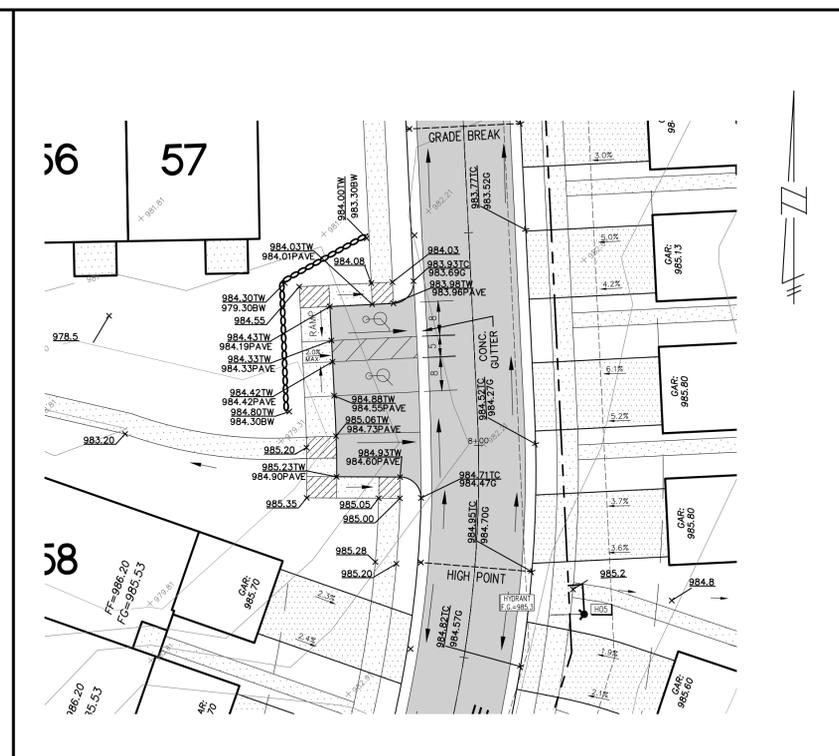
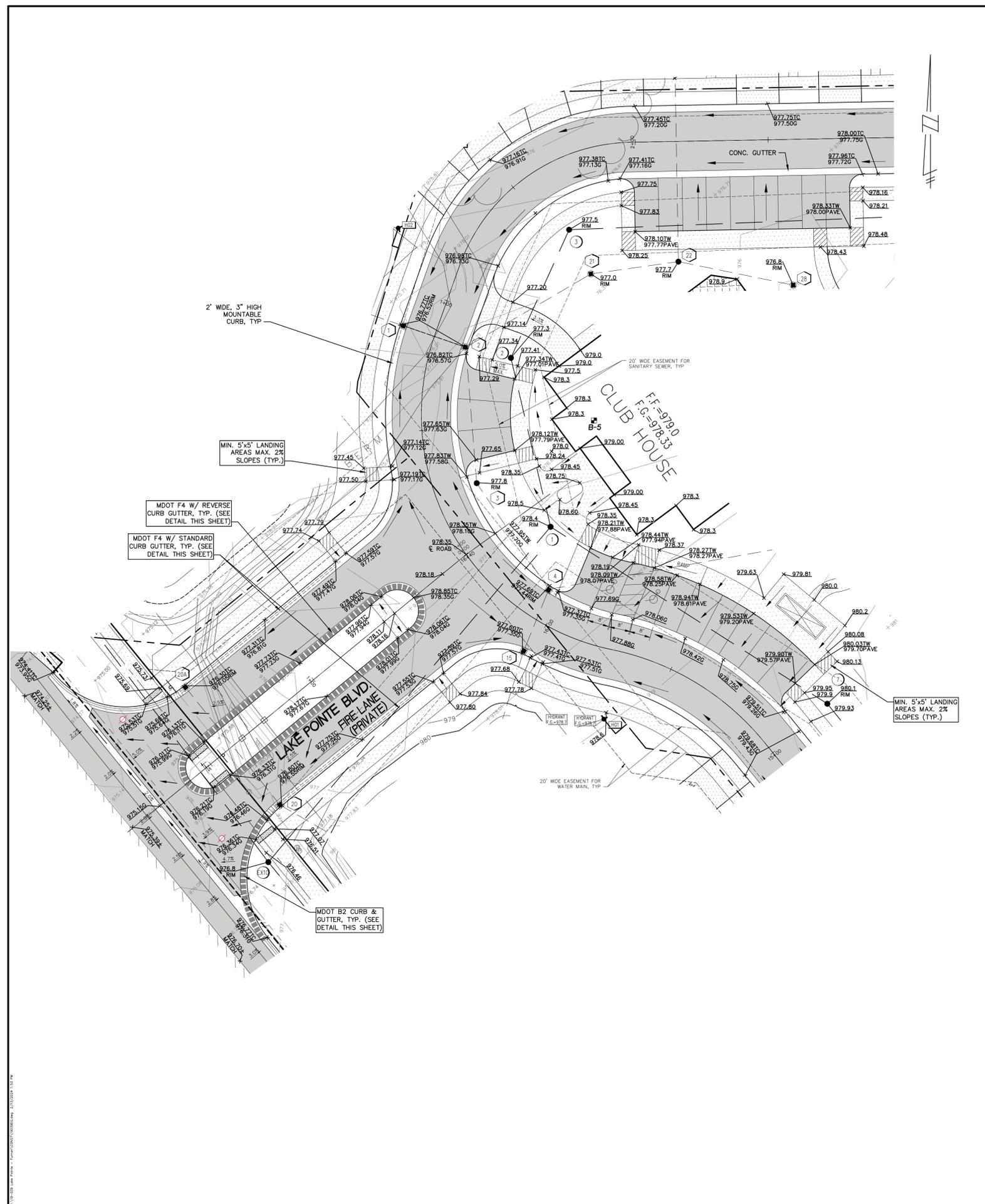
PROPOSED CONTOUR PLAN

SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 588.412.7050

PARENTON HILLS OFFICE: 38026 COUNTRY CLUB DRIVE, SUITE C8 PARENTON HILLS, MI 48861 248.308.3311

SHEET 7



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[Circle]	[Circle]	LIMIT OF DISTURBANCE

LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
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1.	REVISE PER OWNER	6-3-20
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UTILITY WARNING
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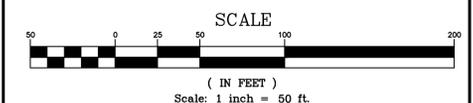
DETAILED GRADING PLAN FOR ADA PATHWAYS

SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 588.412.7060
FARMINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3341

SHEET 7A

19-039-DWG-001.dwg - 04/08/2020 10:00:00 AM - 19-039-DWG-001.dwg



SANITARY SEWER BASIS OF DESIGN

CONNECTION TO PROPOSED MANHOLE / 12-INCH PVC TRUSS ON THE NORTHEAST SIDE OF UNION LAKE ROAD AT LAKE POINTE BLVD.

INITIAL DESIGN AND ULTIMATE

RESIDENTIAL EQUIVALENCY UNIT (REU) CALCULATION		Number of Units	Unit Factor	REUs
MULTI-FAMILY	Area (Ac)	69	0.6	41.4
	Area (SF)			
Health Club / Fitness Center w Showers &/or Pool	Number of Fixtures	5	1.29	6.5
				TOTAL 47.9

POPULATION	= 2.7 people/unit x 129.20 people	47.9 units
POPULATION DENSITY	= 129.20 people / 13.32 Acres	9.70 ppl / ac
AVERAGE FLOW	= 129.20 people x 12,920 gal/day	100 gal/cap/day
	= 0.0200 cfs	
PEAK FACTOR	= (18+SQRT(P/1000))/(4+SQRT(P/1000)) = 4.21 (28,400 > Pop > 500)	
PEAK FLOW	= PEAK FACTOR X AVERAGE FLOW = 0.0842 cfs	

COMPACTED SAND BACKFILL UNDER THE INFLUENCE OF ROADS. MATERIAL COMPACTED TO 95% MAXIMUM UNIT DENSITY.

- #### NOTES
- ALL SANITARY SEWER SHALL BE PVC TRUSS PIPE OR APPROVED EQUIVALENT.
 - ALL SANITARY SEWER LEADS SHALL BE SDR 23.5 PVC PIPE.
 - ALL TRENCHES WITHIN 1 ON 1 SLOPE FROM TOP OF CURBS SHALL BE BACKFILLED WITH GRANULAR MATERIAL CLASS II AND COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT.
 - SANITARY LEADS SHALL BE A MINIMUM OF 1% GRADE, A MAXIMUM OF 150 LF AND A MINIMUM 6" DIAMETER.
 - SANITARY LEADS SHALL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.
 - ALL SANITARY MANHOLES SHALL BE 4' DIAMETER UNLESS OTHERWISE NOTED.

LEGEND

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[Symbol]	[Symbol]	PAVEMENT (ASPHALT)
[Symbol]	[Symbol]	SIDE WALK (CONCRETE)
[Symbol]	[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	STORM SEWER
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LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
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REVISIONS

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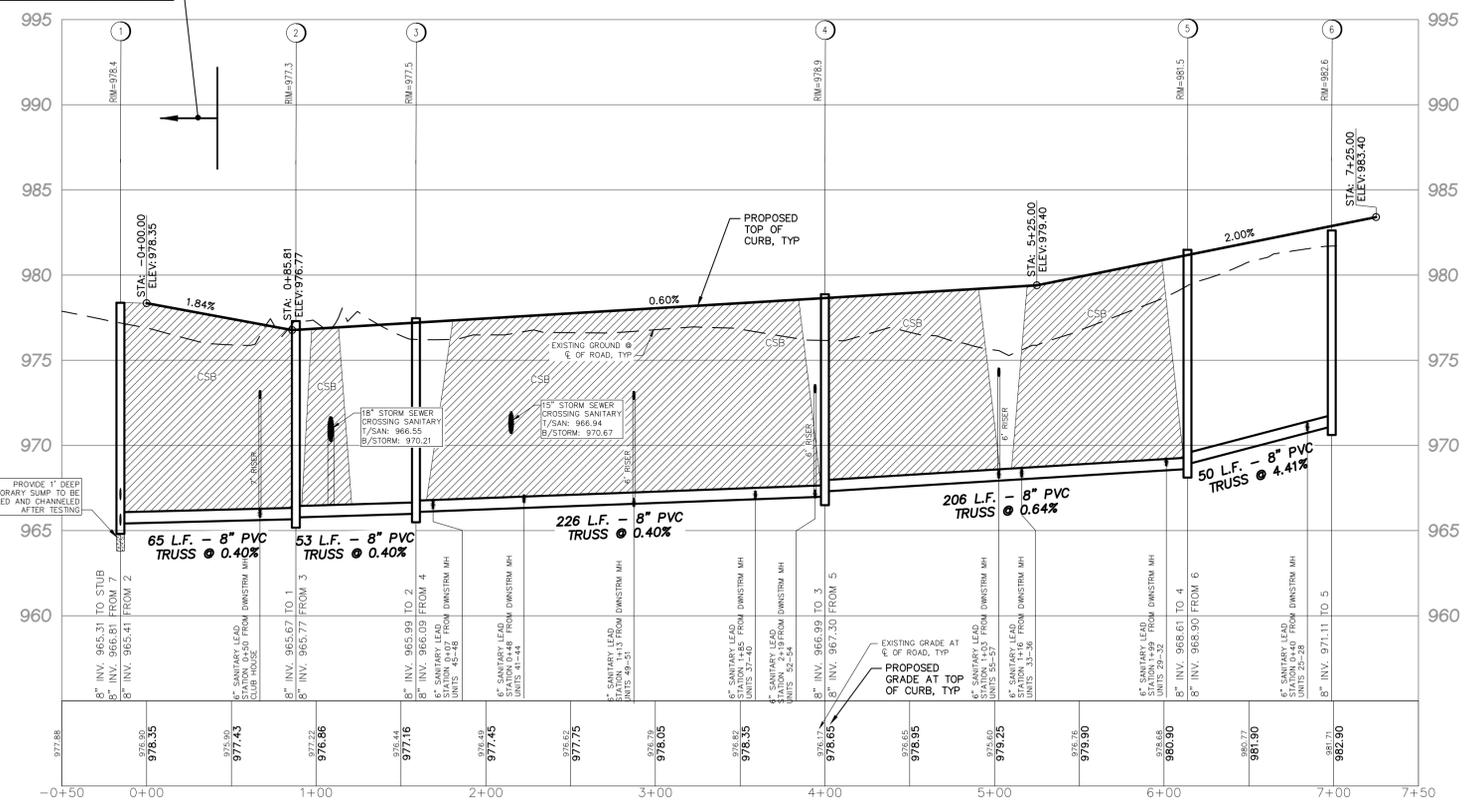
ROAD AND SANITARY SEWER PLAN

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48036 588.412.7060

PARMENTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 PARMENTON HILLS, MI 48381 248.308.3341

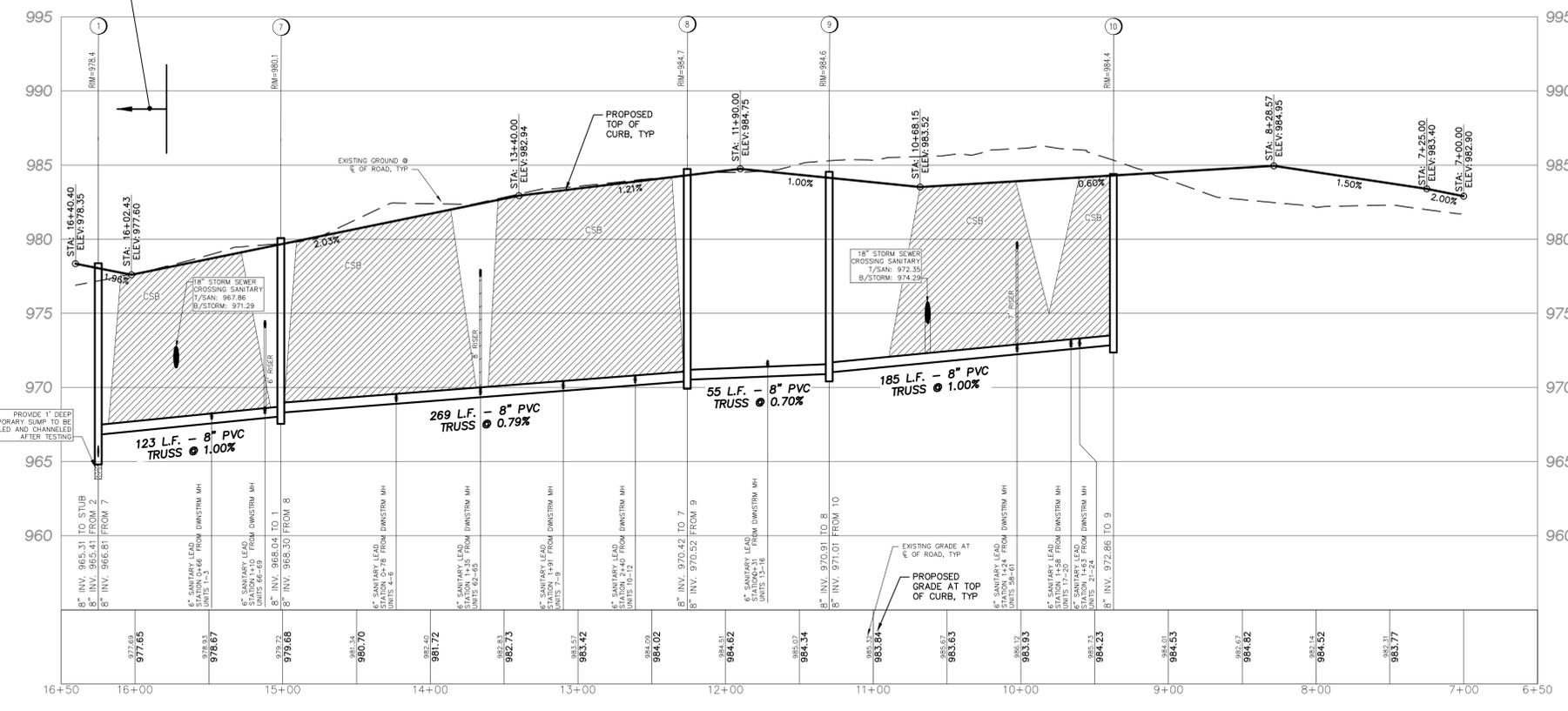
SHEET 8

SEE GRADING PLAN (SHEET 4) FOR INTERSECTION GRADING DETAIL

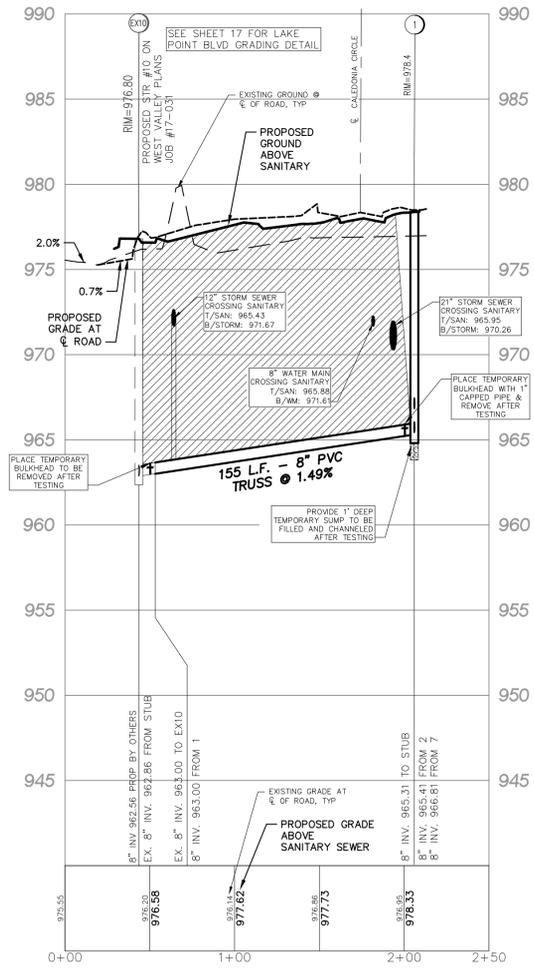


CALEDONIA CIRCLE
SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

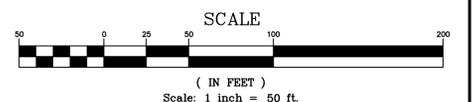
SEE GRADING PLAN (SHEET 4) FOR INTERSECTION GRADING DETAIL



CALEDONIA CIRCLE
SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



LAKE POINTE BLVD
SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'



LEGEND		
	EXISTING	PAVEMENT (ASPHALT)
	PROPOSED	SIDE WALK (CONCRETE)
		CONCRETE CURB AND GUTTER
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
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LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

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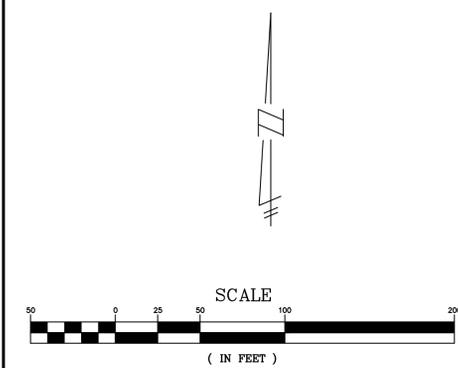
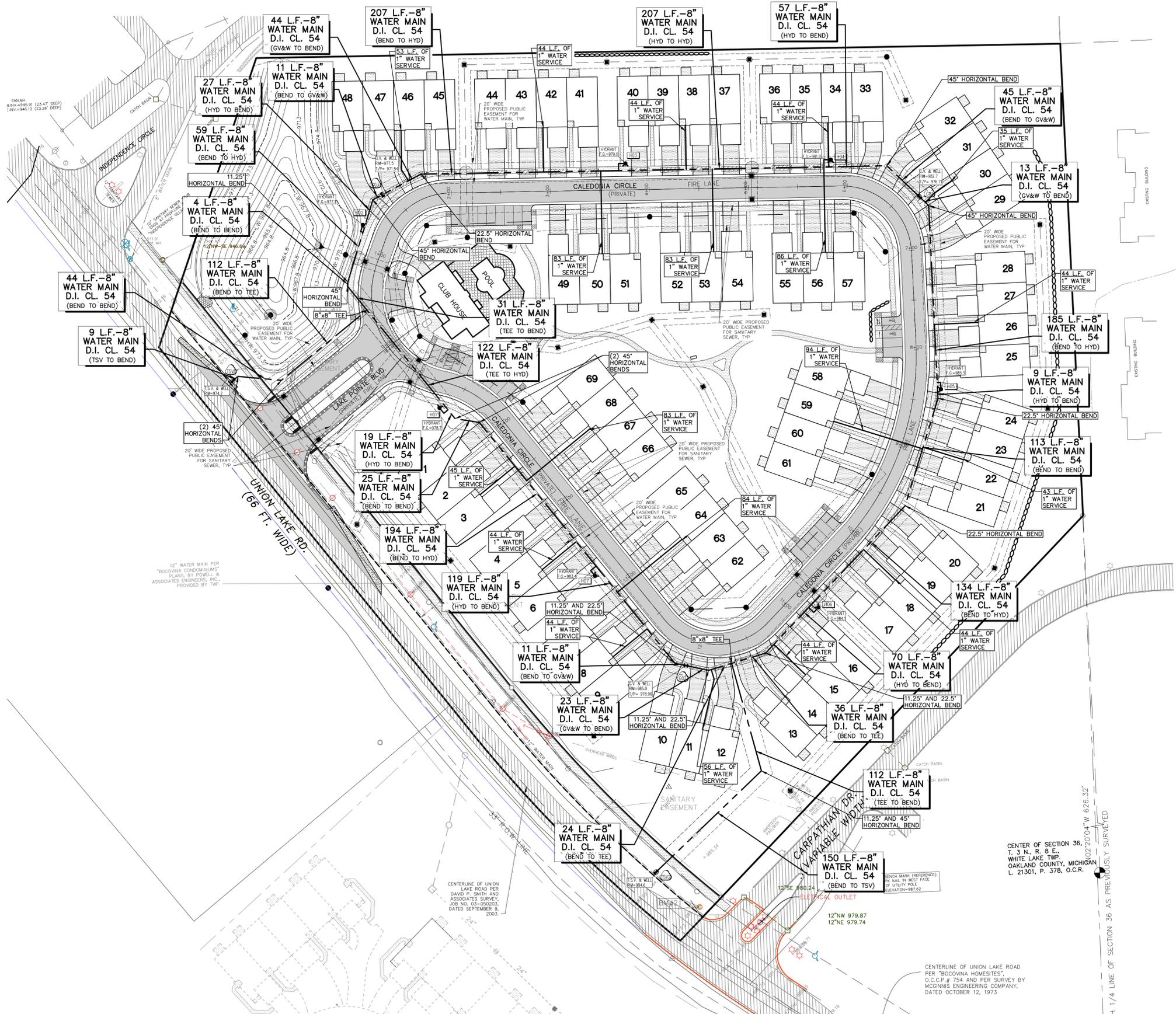
DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039RD.dwg

ROAD AND SANITARY SEWER PROFILES

SKL SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

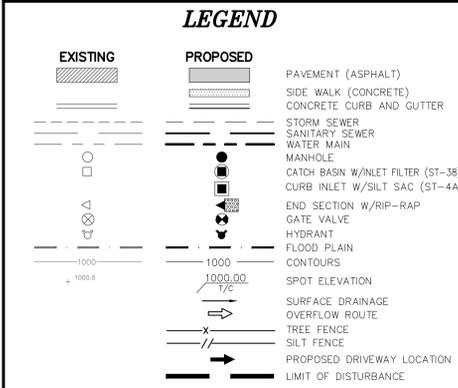
CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48036 588.412.7060

PARENTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 PARENTON HILLS, MI 48381 248.308.3311



LOWER WATER MAIN AS NECESSARY TO MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES.
 COMPACTED SAND BACKFILL UNDER THE INFLUENCE OF ROADS. MATERIAL COMPACTED TO 95% MAXIMUM UNIT WEIGHT.

- ### NOTES
1. ALL TRENCHES WITHIN 1 ON 1 SLOPE FROM TOP OF CURBS SHALL BE BACKFILLED WITH GRANULAR MATERIAL CLASS II AND COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT.
 2. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 6'-0" OF COVER EXCEPT AT GATE WELLS WHERE THEY SHALL BE INSTALLED WITH A 5' DEPTH OF COVER.
 3. ALL WATER MAIN SHALL BE DUCTILE IRON, CLASS 54, CEMENT LINED.
 4. ALL HYDRANTS MUST BE A MINIMUM OF 6' (FROM CENTER) OFF THE BACK OF CURB.
 5. HYDRANT LEADS ARE 6". LENGTH OF LEAD IS 13' UNLESS OTHERWISE NOTED.
 6. ALL WATER SERVICES ARE TO BE 1" DIAMETER. ALL WATER SERVICES SHALL BE COPPER K OR 200 PSI BLUE POLY SDR9 TUBING WITH TRACER WIRE, OR APPROVED EQUAL.



LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
 WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
NO.	ITEM	DATE
1.	REVISE PER OWNER	6-3-20
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21
4.	REVISE PER WHITE LAKE TWP	03-03-21
6.	REVISED PER TOWNSHIP	04-25-23
7.	REVISED PER TOWNSHIP	7-27-23
8.	REVISED PER AGENCIES	02-13-24

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

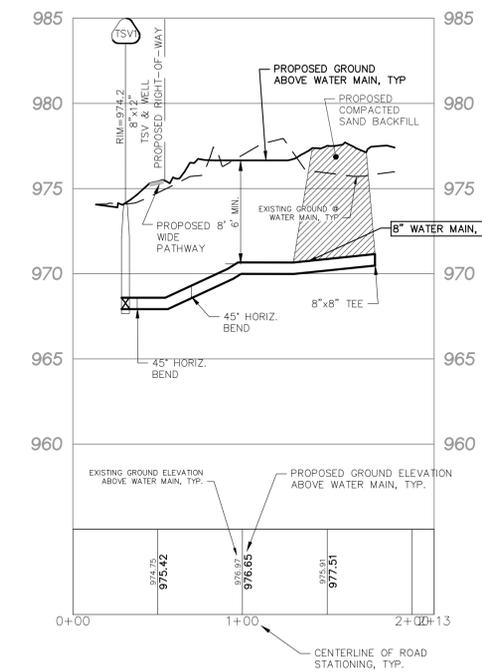
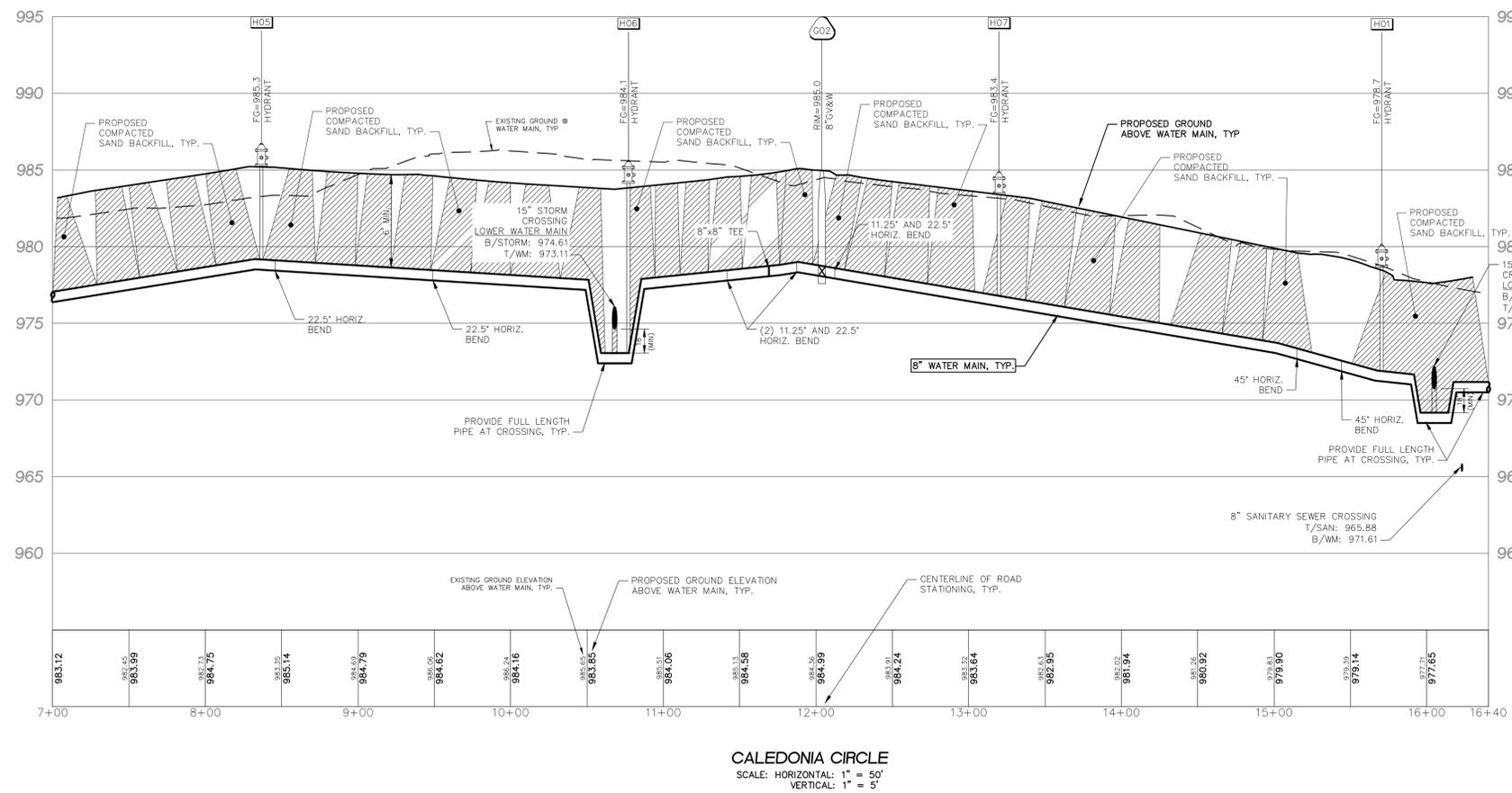
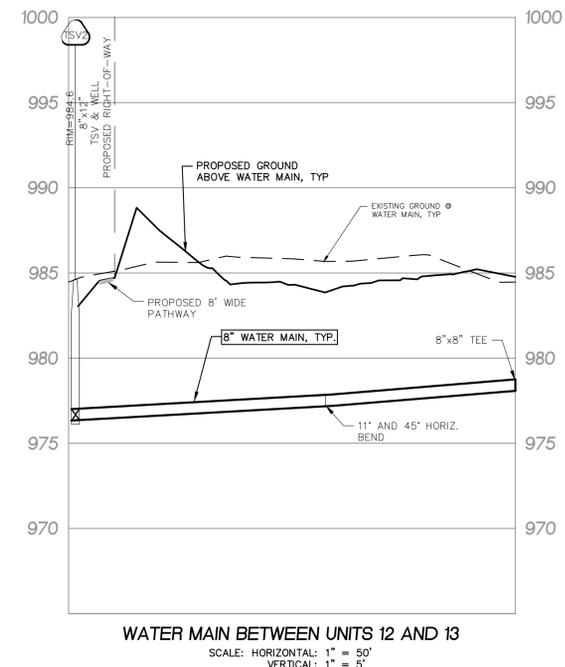
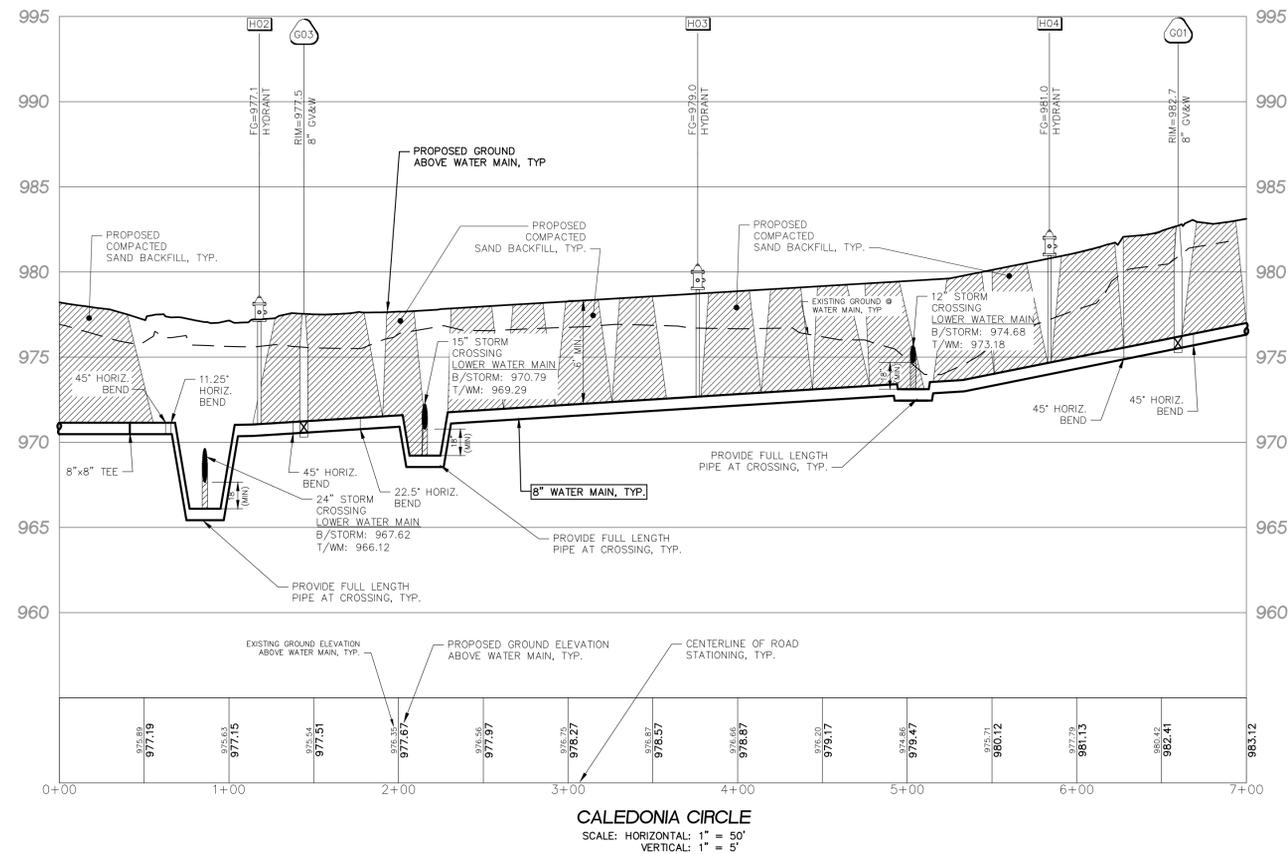
DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
 CHECKED BY: J.E. DRAWING FILE: 19039WM.dwg

WATERMAIN PLAN

SKL SEIBER KEAST LEHNER
 ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48838 588.412.7050
 PARMINGTON HILLS OFFICE: 38206 COUNTRY CLUB DRIVE, SUITE C8 PARMINGTON HILLS, MI 48361 248.308.3341

SHEET 10



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Hatched Area]	[Hatched Area]	PAVEMENT (ASPHALT)
[Dashed Line]	[Dashed Line]	SIDE WALK (CONCRETE)
[Dashed Line]	[Dashed Line]	CONCRETE CURB AND GUTTER
[Dashed Line]	[Dashed Line]	STORM SEWER
[Dashed Line]	[Dashed Line]	SANITARY SEWER
[Circle]	[Circle]	WATER MAIN
[Circle]	[Circle]	MANHOLE
[Circle]	[Circle]	CATCH BASIN W/INLET FILTER (ST-38)
[Circle]	[Circle]	CURB INLET W/SILT SAC (ST-4A)
[Circle]	[Circle]	END SECTION W/RIP-RAP
[Circle]	[Circle]	GATE VALVE
[Circle]	[Circle]	HYDRANT
[Circle]	[Circle]	FLOOD PLAIN
[Circle]	[Circle]	CONTOURS
[Circle]	[Circle]	SPOT ELEVATION
[Circle]	[Circle]	SURFACE DRAINAGE
[Circle]	[Circle]	OVERFLOW ROUTE
[Circle]	[Circle]	TREE FENCE
[Circle]	[Circle]	SILT FENCE
[Circle]	[Circle]	PROPOSED DRIVEWAY LOCATION
[Circle]	[Circle]	LIMIT OF DISTURBANCE

LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
NO.	ITEM	DATE
1.	REVISE PER OWNER	6-3-20
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21
4.	REVISE PER WHITE LAKE TWP	03-03-21
5.	ADD WATER MAIN PROFILES PER E.G.L.E	04-07-21
6.	REVISED PER TOWNSHIP	04-25-23
7.	REVISED PER TOWNSHIP	7-27-23
8.	REVISE PER AGENCIES	02-13-24

UTILITY WARNING
UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

811 Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039WM.dwg

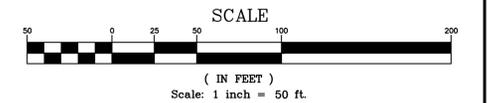
WATER MAIN PROFILES

SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 588.412.7050

PARRINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 PARRINGTON HILLS, MI 48381 248.308.3311

SHEET 10A



LOWER WATER MAIN AS NECESSARY TO MAINTAIN 18" MINIMUM VERTICAL SEPARATION BETWEEN UTILITIES.

COMPACTED SAND BACKFILL UNDER THE INFLUENCE OF ROADS. MATERIAL COMPACTED TO 95% MAXIMUM UNIT DENSITY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PAYEMENT (ASPHALT)
[Symbol]	[Symbol]	SIDE WALK (CONCRETE)
[Symbol]	[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CATCH BASIN W/INLET FILTER (ST-38)
[Symbol]	[Symbol]	CURB INLET W/SILT SAC (ST-4A)
[Symbol]	[Symbol]	END SECTION W/RIP-RAP
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	FLOOD PLAIN
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	SURFACE DRAINAGE
[Symbol]	[Symbol]	OVERFLOW ROUTE
[Symbol]	[Symbol]	TREE FENCE
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	PROPOSED DRIVEWAY LOCATION
[Symbol]	[Symbol]	LIMIT OF DISTURBANCE

LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
NO.	ITEM	DATE
1.	REVISE PER OWNER	6-3-20
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21
4.	REVISE PER WHITE LAKE TWP	03-03-21
6.	REVISED PER TOWNSHIP	04-25-23
7.	REVISED PER TOWNSHIP	7-27-23
8.	REVISE PER AGENCIES	02-13-24

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

811 Know what's below. Call before you dig.

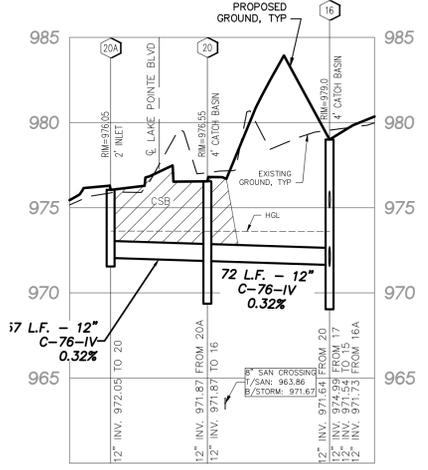
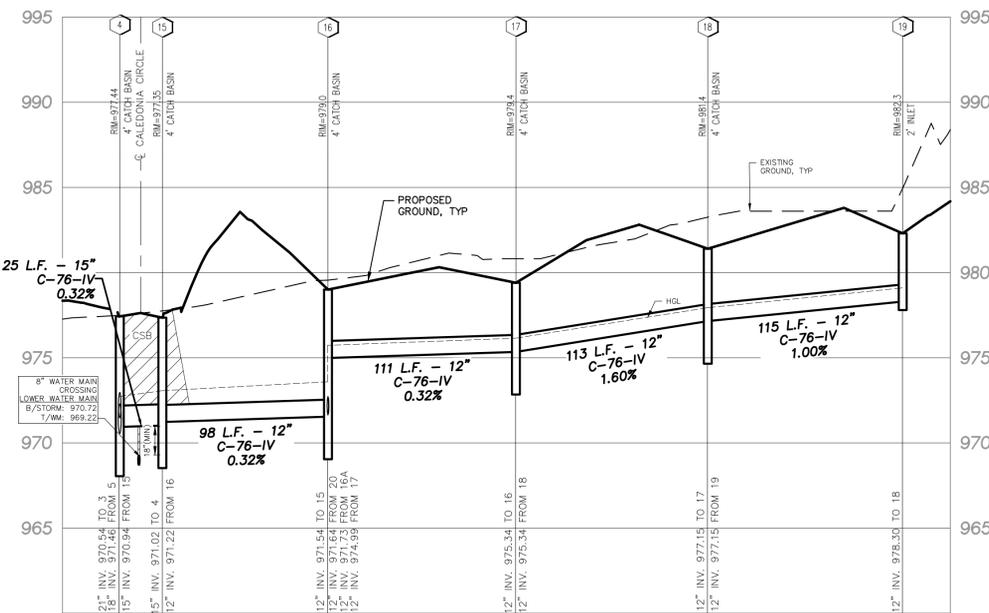
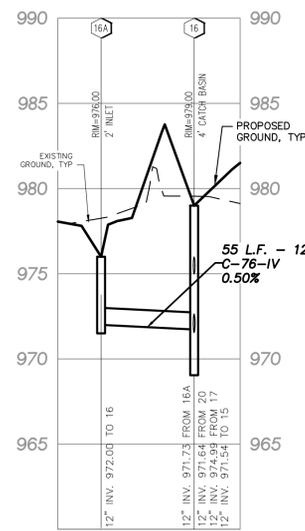
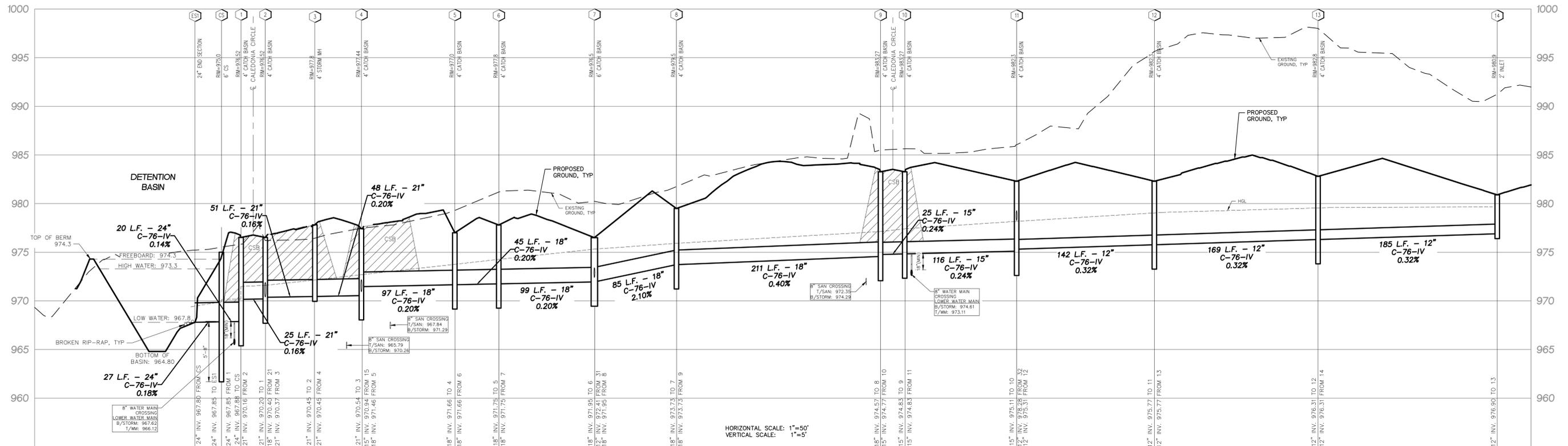
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DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039ST.dwg

STORM SEWER PLAN

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48036 588.412.7050
FARMINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3341



LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS		UTILITY WARNING
NO.	ITEM	DATE
1	REVISE PER OWNER	6-3-20
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3	REV PER 11-20-20 W.L. TWP LETTER	02-02-21
4	REVISE PER WHITE LAKE TWP	03-03-21
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6	REVISED PER TOWNSHIP	7-27-23
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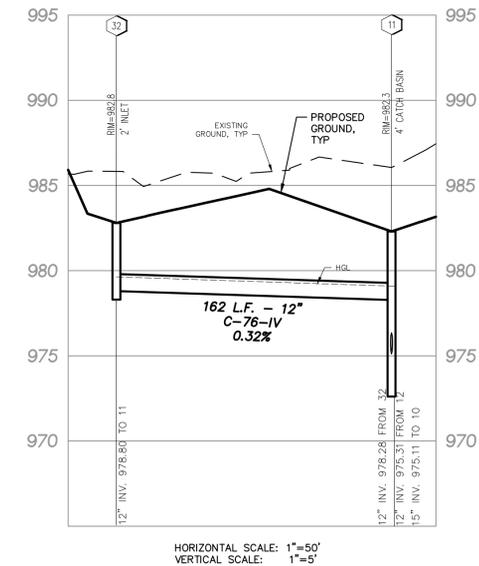
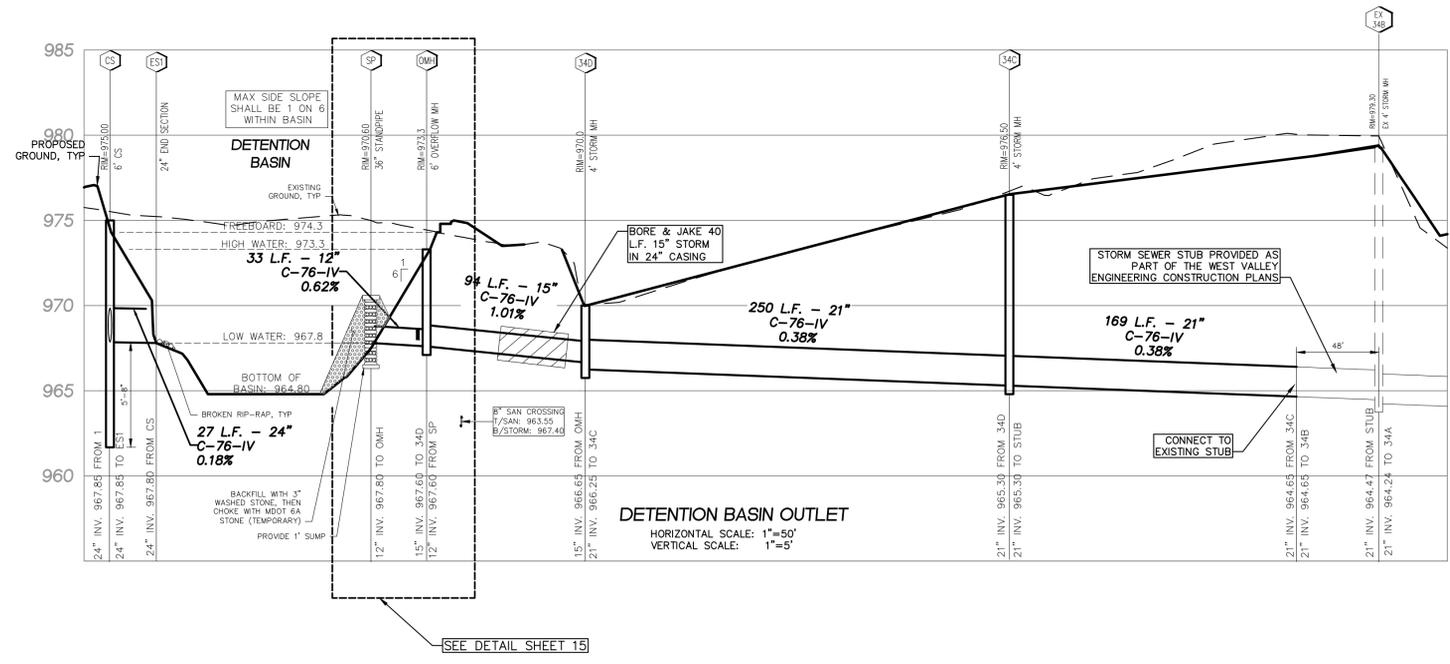
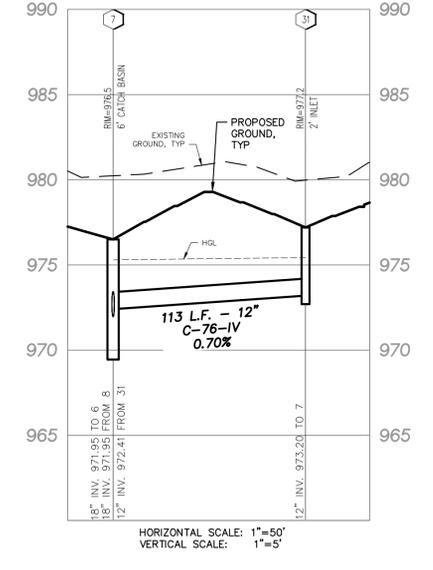
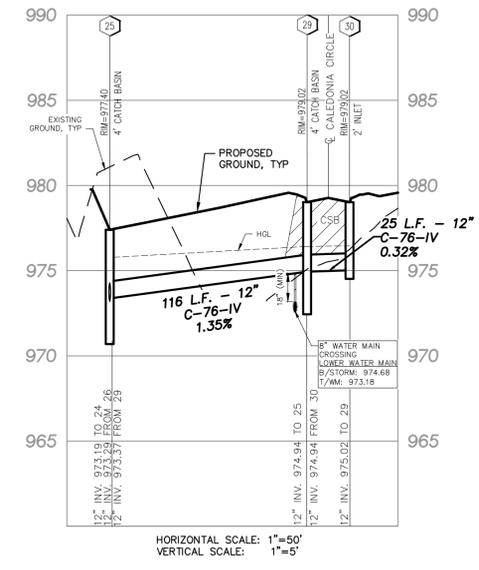
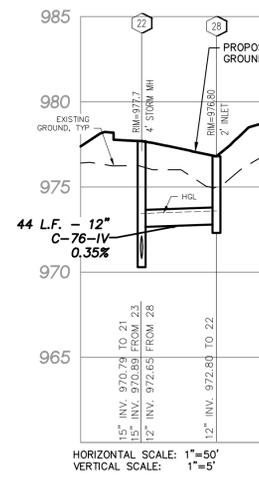
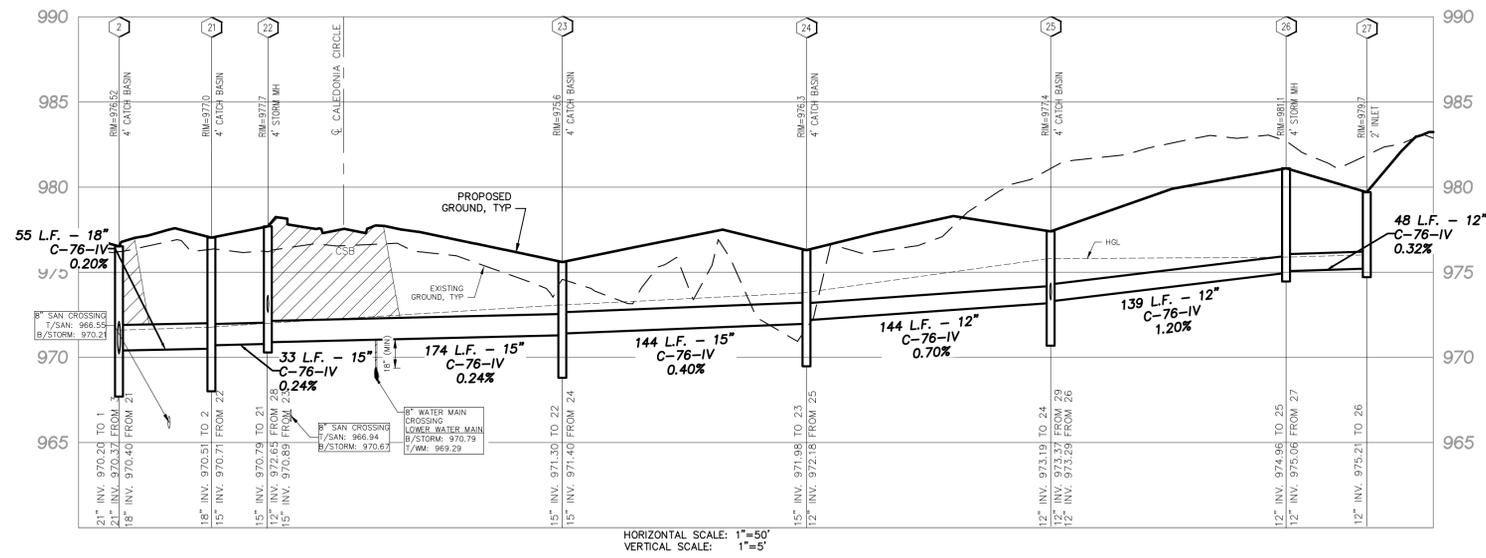
STORM SEWER PROFILES

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE
1700 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48831
588.412.7060

PARRAMONT HILLS OFFICE
38205 COUNTRY CLUB DRIVE, SUITE C8
PARRAMONT HILLS, MI 48831
248.308.3331

SHEET
12



LAKE POINTE
SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS			UTILITY WARNING
NO.	ITEM	DATE	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED. Know what's below. Call before you dig. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.
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7.	REVISED PER TOWNSHIP	7-27-23	
8.	REVISED PER AGENCIES	02-13-24	

DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039SST.dwg

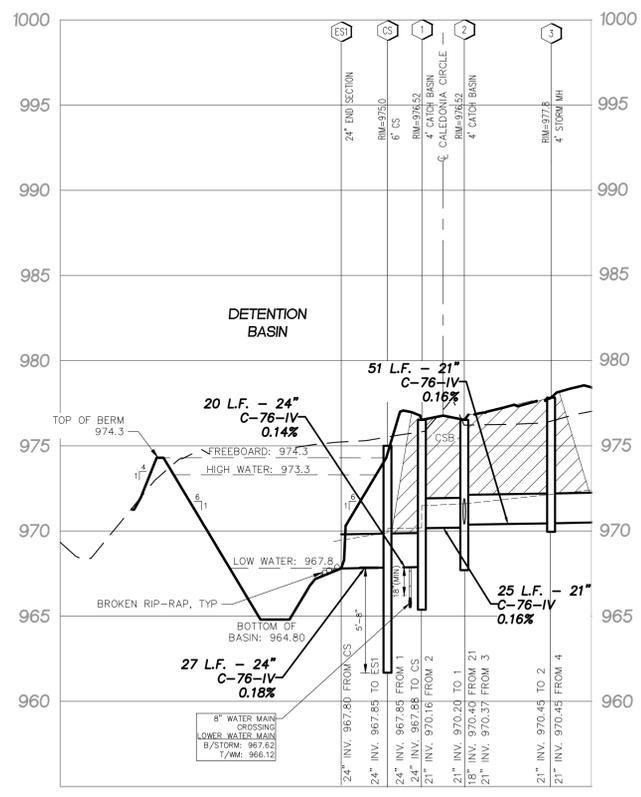
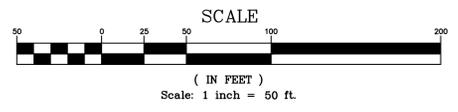
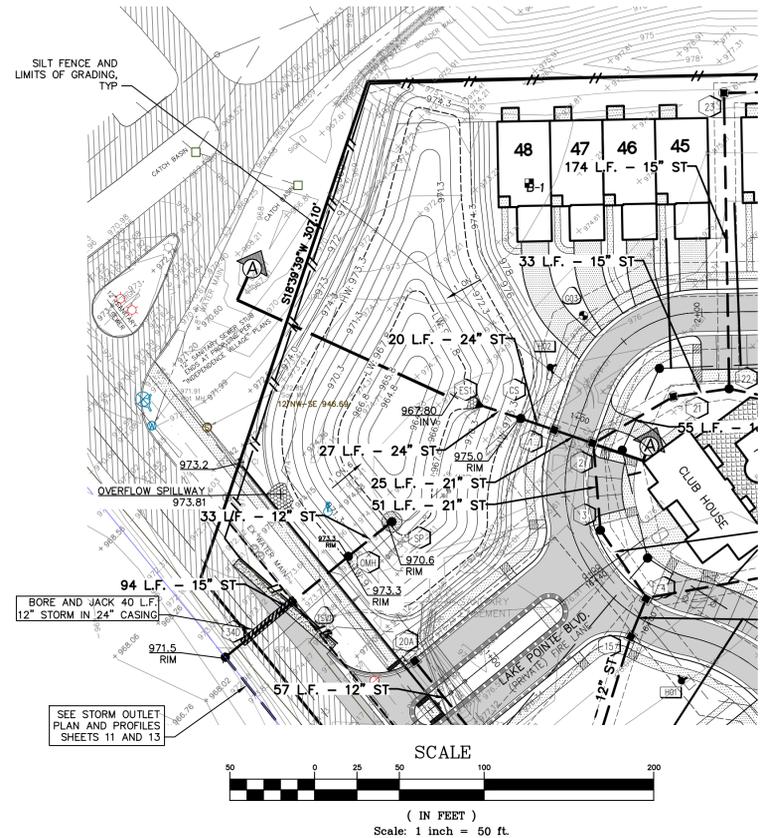
STORM SEWER PROFILES

SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48038 588.412.7060

PARRISVILLE HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 PARRISVILLE, MI 48861 248.308.3331

SHEET 13



Detention Basin Calculations

DETERMINE DETENTION VOLUME REQUIREMENTS (100-YEAR STORM)

Ac =	11.64	Ac	Developed ON-SITE area tributary to the Detention Basin
Q _{all} =	2.33	cfs	Allowable Outflow (Total Area x 0.2 cfs/Ac.)
C =	0.53		
Q ₀ = Q _{all} / (Ac * C) =		0.38	cfs/Ac. Imp
T = -25 + sqrt(10312.5/Q ₀) =		139.88	min
Vs = (16500*T)/(T+25)-40*Q ₀ *T =		11876	cf/Ac. Imp
Vt = Vs * Ac * C =		72,880	ft ³ req'd

DETERMINE DETENTION VOLUME REQUIREMENTS (1-YEAR STORM)

OCWRC Volume (1-yr Storm)

Vr = 4320 * C * A = **26,511 ft³**

DETERMINE VOLUME PROVIDED FOR 1 YEAR AND 100-YEAR STORMS

	Elevation	Area	Vol (ft ³)	
Low Water	967.8	6,248	3,396	
	968.3	7,336	3,396	
	969.3	9,785	11,957	1 Year Storm EL. = 970.60 ft
	970.3	12,665	23,182	Volume provided = 27,517 ft ³
	971.3	16,238	37,633	
High Water	972.3	20,112	55,808	100 Year Storm EL. = 973.30 ft
	973.3	24,135	77,932	Volume provided = 77,932 ft ³

DETERMINE OUTLET SIZE TO DEWATER 1 YEAR STORM IN 48 HOURS

Volume of Storage =	27,517	ft ³
Median Surface Area =	9,827	ft ²
Orifice Area Required =	0.038	
Area of 1" diameter hole =	0.00545	
Number of holes required =	6.96	
Therefore use	7	1" Diameter Holes

DETERMINE 100-YEAR DETENTION BASIN OUTLET SIZE

Orifice Formula, Q = 0.625*A*sqrt(64.4*H)	
Q _{all} =	2.33 cfs
Outlet Size =	6.000 in
Invert Elevation =	967.80 ft
Springline EL. =	968.05 ft
H =	5.25 ft
Area Req'd = A =	0.2026 sf
Area of Outlet Used =	0.1963 sf
Diameter Req'd =	6.000 in
USE	6.000 in Dia Outlet
Q Discharge =	2.26 cfs

SIZE PRIMARY OVERFLOW STRUCTURE (OMH)

Size of Overflow MH =	6 ft
% of MH that can be used as a Weir =	50 %
Calculated Length of Weir = L =	9.42 ft
Acegrage Tributary to Overflow (onsite + offsite) =	12.58 Ac
Composite Runoff Coefficient =	0.53

(From Pipe Flow Calculations)

Longest Time of Flow to Basin =	21.19 min
Sum of all Flow into the Basin =	23.74 cfs
Volume of Basin (Det Calcs) =	77,932 ft ³
Storage Elevation =	973.30 ft
Freeboard Elevation =	974.30 ft
Time to Fill Basin Vprow / Flow into Basin =	54.71 min.
l = 175 / (T+25) =	1.73 in / hr
Qexp = C ¹ *A =	11.50 cfs
Qweir = 3.33*(L) ^{3/2}	

Calculate how high the water will rise above the Overflow Structure to pass the expected flow.

h =	0.51 ft
Rim Overflow MH =	973.30 ft
Elevation of Water during Overflow Conditions =	973.81 ft
Elevation of Water during Overflow Condition is Less than	

Determine "C" Factor for Detention Basin

DETERMINE "C" FACTOR	Area	C	Area * C
AREA TRIBUTARY TO ON-SITE STORM SEWER	10.95 Ac.		
AREA TRIBUTARY TO CB 16A	0.94 Ac.		
AREA OF DETENTION BASIN	0.69 Ac.		
TOTAL AREA TRIBUTARY TO DETENTION BASIN	= 12.58 Ac		
DETENTION BASIN LOW WATER	= 0.17 Ac	@ 1.00	= 0.17
PAVING AREA (WALKS, DRIVE, ROAD)	= 3.14 Ac	@ 0.80	= 2.51
BUILDING AREA	= 3.19 Ac	@ 0.90	= 2.87
LAWN AREA INCLUDING DETENTION BASIN AREA	= 6.25 Ac	@ 0.20	= 1.25
TOTAL AREA	= 12.58 Ac	@	6.63

Cavg = A * C / TOTAL ACRES = **0.53**

Determine On-Site Area to be Detained for in Detention Basin Calculations

(Note: Exclude ROW Area Tributary to CB 16A)

TOTAL AREA TRIBUTARY TO DETENTION BASIN	= 12.58 Ac
AREA TRIBUTARY TO CB 16A	= -0.94 Ac
ON-SITE AREA TRIBUTARY TO DETENTION BASIN	= 11.64 Ac

NOTES:

- ALL TRENCHES WITHIN 1 ON 1 SLOPE FROM TOP OF CURBS SHALL BE BACKFILLED WITH GRANULAR MATERIAL CLASS II AND COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT.
- ALL END SECTIONS SHALL BE CONSTRUCTED ACCORDING TO THE "END SECTION AND BAR SCREEN DETAIL" ON SHEET ND.

LEGEND

EXISTING	PROPOSED	
		PAVEMENT (ASPHALT)
		SIDE WALK (CONCRETE)
		CONCRETE CURB AND GUTTER
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		MANHOLE
		CATCH BASIN W/INLET FILTER (ST-38)
		CURB INLET W/SILT SAC (ST-4A)
		END SECTION W/RIP-RAP
		GATE VALVE
		HYDRANT
		FLOOD PLAIN
		CONTOURS
		SPOT ELEVATION
		SURFACE DRAINAGE
		OVERFLOW ROUTE
		TREE FENCE
		SILT FENCE
		PROPOSED DRIVEWAY LOCATION
		LIMIT OF DISTURBANCE

LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST
WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS			UTILITY WARNING
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2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20	
3.	REV PER 11-20-20 WLL TWP LETTER	02-02-21	
4.	REVISE PER WHITE LAKE TWP	03-03-21	
6.	REVISED PER TOWNSHIP	04-25-23	
7.	REVISED PER TOWNSHIP	7-27-23	
8.	REVISED PER AGENCIES	02-13-24	

DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-039
CHECKED BY: J.E. DRAWING FILE: 19039DB.dwg

DETENTION BASIN PLAN, CALCULATIONS AND PROFILE

 SEIBER KEAST LEHNER ENGINEERING SURVEYING CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48831 588.412.7060	FARMINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3331	SHEET <h1>15</h1>
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SOIL EROSION CONTROL NOTES

- 1. SACK TYPE FILTERS SHALL BE INSTALLED ON ALL CATCH BASINS AND INLETS.
2. DEWATERING OF ANY KIND MUST BE FILTERED THROUGH VEGETATION, STONE OR "FILTER BAG".
3. IT IS THE DEVELOPER'S RESPONSIBILITY TO INSURE THE PROJECT STREETS AND ADJACENT ROADS ARE CLEAN & SWEEPED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
4. IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO INSTALLATION OF PUBLIC UTILITIES (I.E. PHONE, GAS, ELECTRIC, CABLE, ETC.)
5. THE DEVELOPER IS RESPONSIBLE FOR DUST CONTROL THROUGHOUT ALL PERIODS OF CONSTRUCTION. WATERING TANKS WILL BE AVAILABLE AT ALL TIMES TO BE USED ON ANY AREA WHERE DUST BECOMES A PROBLEM.
6. PARKING OF VEHICLES, EQUIPMENT, OR STOCKPIILING OF MATERIALS IS STRICTLY PROHIBITED ALONG OR WITHIN THE UNION LAKE ROAD RIGHT OF WAY AREA.
7. ALL CULVERT END SECTIONS MUST CONTAIN GROUTED RIP-RAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.
8. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE DEVELOPER.

RIP-RAP

INSPECTIONS SHOULD BE MADE OF ALL RIP-RAPPED SITES IMMEDIATELY AFTER THE FIRST RAINFALL FOLLOWING INSTALLATION. THIS IS PARTICULARLY IMPORTANT IN AREAS WHERE RIP-RAP THAT IS DISPLACED DURING THE STORM WOULD IMPACT CULVERTS. THEREFORE, RIP-RAP SITES SHOULD BE CHECKED FOLLOWING STORMS, ESPECIALLY THOSE WHICH ARE NEAR OR EXCEED STORM FREQUENCY USED IN THE DESIGN. DISPLACED RIP-RAP SHOULD BE REMOVED FROM ITS DOWNSTREAM LOCATION AND NEW RIP-RAP PLACE ACCORDING TO THE ENGINEERED SPECIFICATIONS.

STORMWATER CONVEYANCE CHANNEL

AT MINIMUM, CHECK ALL CONSTRUCTED CHANNELS AFTER EACH STORM WHICH MEETS OR EXCEEDS THE DESIGN STORM. ON RIP-RAP LINED WATERWAYS, CHECK FOR SCOURING BELOW THE RIP-RAP LAYER, AND BE SURE THE STONES HAVE NOT BEEN DISPLACED BY THE FLOW. PARTICULAR ATTENTION SHOULD BE PAID TO THE OUTLET OF THE CHANNEL. IF EROSION IS OCCURRING, APPROPRIATE ENERGY DISSIPATION MEASURES SHOULD BE TAKEN. SEDIMENT SHOULD BE REMOVED FROM RIP-RAP LINED CHANNELS IF IT REDUCES THE CAPACITY OF THE CHANNEL.

SPOIL PILES

WHEN VEGETATION STABILIZATION IS PROMPTLY AND EFFECTIVELY APPLIED, VERY LITTLE MAINTENANCE IS REQUIRED. THE GUIDELINES BELOW SHOULD BE FOLLOWED ON ALL SITES: (1) PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE EXCESSIVE EROSION HASN'T OCCURRED. IF RUN OFF OR WIND EROSION HAS OCCURRED, REDUCE THE SIDE OF SLOPES OF THE SPOIL PILE, OR STABILIZE THE SPOIL PILE WITH PIECES OF SOIL LAID PERPENDICULAR TO THE SLOPE, AND STAKED. (2) WHEN FILTER FENCING IS USED AROUND A SPOIL PILE, PERIODIC CHECKS SHOULD BE MADE TO ENSURE THAT PIPING HAS NOT OCCURRED UNDER FENCING, AND TO ENSURE THE FENCE HAS NOT COLLAPSED DUE TO SOIL SLIPPING OR ACCESS BY CONSTRUCTION EQUIPMENT. REPAIR ANY DAMAGED FENCING IMMEDIATELY. (3) BERMS AT THE BASE OF THE SPOIL PILE WHICH BECOME DAMAGED SHOULD BE REPLACED.

S.E.S.C. SEQUENCE OF CONSTRUCTION

- 1. INSTALL ALL SOIL EROSION AND TREE PROTECTION FENCING AS PER APPROVED PLANS. CLEAR ONLY WHAT IS NECESSARY TO INSTALL FENCING.
2. STRIP AND STOCKPILE TOPSOIL IN A LOCATION APPROVED BY THE OWNER/ENGINEER. PLACEMENT OF ADDITIONAL CONTROL MEASURES MUST BE INSTALLED ON AND AROUND THE STOCKPILE.
3. CONSTRUCT DETENTION BASIN ALONG WITH APPLICABLE STORM SEWER (END-SECTIONS, SHORT STORM SEWER LENGTHS, STANDPIPE OUTLET FILTER). GRADE TO FINAL ELEVATIONS, DISTRIBUTE TOPSOIL, SEED AND STAKE STRAW MULCH BLANKETS ON THE SLOPES OF THE BASIN.
4. INSTALL UTILITIES (WATER MAIN, STORM SEWER, SANITARY SEWER) COMPLETE.
5. INSTALL, AS PER APPROVED PLANS, THE CATCH BASIN INLET FILTERS. INSPECT AND MAINTAIN FILTERS AS DIRECTED TO PREVENT CLOGGING AND UNNECESSARY FLOODING.
6. GRADE ROADWAY LIMITS AND INSTALL PAVEMENT COMPLETE.
7. BEGIN BUILDING CONSTRUCTION.
8. INSTALL ALL PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE) COMPLETE.
9. STABILIZE TEMPORARILY OR PERMANENTLY ALL DISTURBED AREAS WITHIN FIVE (5) DAYS OF FINAL GRADE.
10. INSPECT AND MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WEEKLY AND AFTER EVERY STORM EVENT THROUGHOUT THE CONSTRUCTION OF THE PROJECT. REMOVAL OF CONTROL MEASURES MAY ONLY TAKE PLACE ONCE THE ENTIRE SITE IS FULLY STABILIZED. UPON FULL STABILIZATION IS COMPLETE, REMOVE THE STAND PIPE AND GRAVEL FILTER. THE DEVELOPER IS RESPONSIBLE FOR ALL SOIL EROSION CONTROL MEASURES.
11. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION DEPOSIT BY THE ROAD COMMISSION FOR UNION LAKE ROAD.

CATCH BASIN FILTERS

EFFECTIVE FILTERS WILL COLLECT SEDIMENT, PARTICULARLY WHEN THE SOIL IS SANDY. THESE FILTERS MUST BE CLEANED PERIODICALLY, SO THEY DON'T BECOME CLOGGED AND CAUSE FLOODING CONDITIONS, PIPING, OR OVERTOPPING OF THE CONTROL STRUCTURES. MAINTENANCE OF THESE ITEMS REQUIRES INSPECTION WEEKLY OR AFTER EACH RAIN EVENT. ALSO, THESE ITEMS ARE REPAIRABLE IF MAINTAINED CORRECTLY. THEY CAN BE REMOVED, EMPTIED, CLEANED AND REPLACED WITHOUT PURCHASING NEW ONES.

BUFFER/FILTER STRIPS

(25' ENVIRONMENTAL SETBACKS) PERIODIC INSPECTIONS SHOULD BE DONE TO ENSURE THAT CONCENTRATED FLOWS HAVE NOT DEVELOPED, AND TO MAKE SURE THE VEGETATIVE COVER IS MAINTAINING ITS EFFECTIVENESS. IF THE INTEGRITY OF THE BUFFER/FILTER STRIP IS JEOPARDIZED BY UPLAND EROSION, OR IF CONCENTRATED FLOWS ARE CREATING RILLS OR GULLIES UP-SLOPE OF THE STRIP, ADDITIONAL BMP'S MAY NEED TO BE INSTALLED. IF THE BUFFER STRIP IS BEING JEOPARDIZED BY STREAM BANK EROSION, THEN THE CAUSE OF THE BANK EROSION NEEDS TO BE INVESTIGATED AND ACTIONS TAKEN TO ADDRESS THE CAUSES. DAMAGED STRIPS SHOULD BE REPAIRED AS SOON AS POSSIBLE. STRIPS DAMAGED DUE TO CONSTRUCTION UP-SLOPE OF THE BUFFER/FILTER SHOULD BE REPLANTED, AS NECESSARY, AFTER THE CAUSE OF THE DAMAGE IS ASSESSED AND ANY OTHER BMP'S ARE NEEDED ARE IMPLEMENTED.

SOIL EROSION CONTROL VIOLATIONS/CITATIONS

- 1. ROUTINE INSPECTIONS WILL BE PERFORMED BY THE OAKLAND COUNTY WATER RESOURCE COMMISSION (O.C.W.R.C.) OR ITS AGENT ONCE A WEEK.
2. UPON COMPLETION OF INSPECTION, IF THE SITE IS FOUND NOT TO BE IN COMPLIANCE WITH O.C.W.R.C.'S SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE, THEN THE PERMIT HOLDER/SIGNER WILL BE ISSUED, BY HAND, MAIL OR EMAIL, A "NOTICE OF EROSION CONTROL DEFICIENCY" LETTER, THAT WILL INCLUDE ALL CURRENT AND PERTINENT NON-COMPLIANCE ITEMS. THE SITE AND/OR DEVELOPMENT WILL HAVE A PRE-DETERMINED AMOUNT OF TIME, FROM THE DATE OF THE "NOTICE" TO RECTIFY THESE ITEMS.
3. IF ALL OF THE ITEMS HAVE NOT BEEN ADDRESSED AFTER THE ELAPSED TIME SPECIFIED, THE PERMIT HOLDER/SIGNER WILL RECEIVE A "NON-COMPLIANCE" LETTER, WHICH WILL INCLUDE A "NOTICE TO SHOW CAUSE".
4. UPON RECEIPT OF THE "NON-COMPLIANCE" LETTER AND THE "NOTICE TO SHOW CAUSE", THE PERMIT HOLDER/SIGNER WILL ATTEND A SHOW CAUSE HEARING AS WELL AS PAY A RE-INSPECTION FEE IN THE AMOUNT OF \$250.00 TO THE O.C.W.R.C. FOR ADDITIONAL INSPECTIONS, HEARINGS AND REPORT FOLLOW UP. BEFORE MENTIONED ACTIVITIES MUST TAKE PLACE WITHIN 24 HOURS UPON RECEIPT OF THE LETTER. AFTER THE HEARING, THE PROJECT, DEVELOPMENT MAY BE ISSUED A "STOP WORK" ORDER.
5. IF A CITATION IS ISSUED TO THE PERMIT HOLDER/SIGNER AFTER THE SHOW CAUSE HEARING, AN ADDITIONAL \$400.00 WILL BE PAID TO THEN O.C.W.R.C. FOR FOLLOW-UP INSPECTIONS, MEETINGS AND OTHER EXPENSES INCURRED.

SILT FENCE

SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE AREA IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

SEEDING, SODDING & MULCHING

SEEDDED, SODDED OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY BE NEEDED TO BE APPLIED TO HOLD THE AFOREMENTIONED MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS.

ACCESS ROAD (UNION LAKE ROAD)

PROPER MAINTENANCE INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.

DETENTION BASIN MAINTENANCE SCHEDULE :

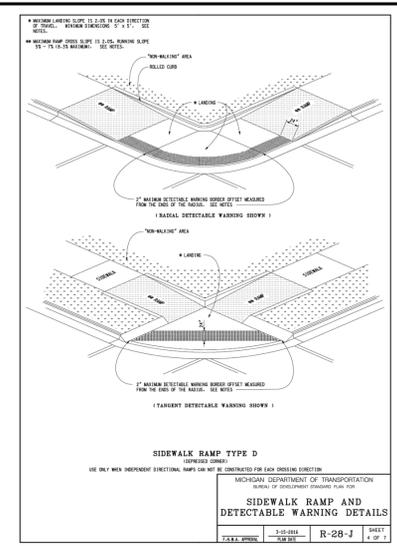
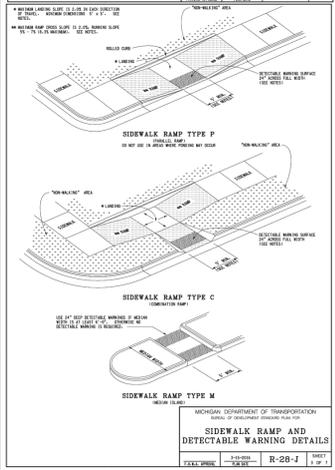
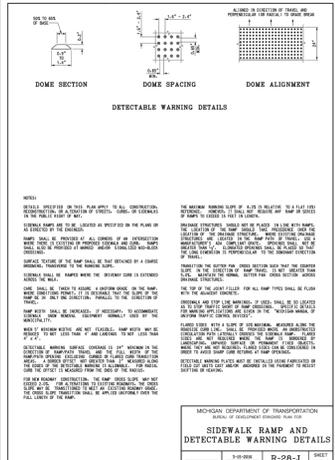
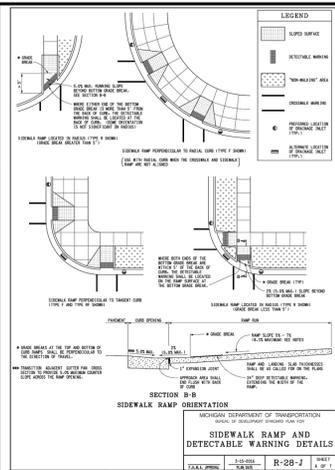
- 1. CHECKING THE DEPTH OF SEDIMENT DEPOSIT TO ENSURE THE CAPACITY OF THE SEDIMENT STRUCTURES IS ADEQUATE FOR STORM WATER AND SEDIMENT DEPOSITION, AND FOR THE REMOVING OF SEDIMENT.
2. CHECKING THE BASIN FOR PIPING, SEEPAGE, OR OTHER MECHANICAL DAMAGE.
3. CHECKING FOR THE PRESENCE OF ANY SOIL CAKING, WHICH WOULD PREVENT PROPER DRAINAGE FROM THE BASIN.
4. ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.
5. SEDIMENT REMOVED DURING CLEANING SHOULD BE PLACED AT AN UPLAND AREA AND STABILIZED SO THAT IT DOES NOT RE-ENTER THE DRAINAGE COURSE.

GROUND WATER NOTES

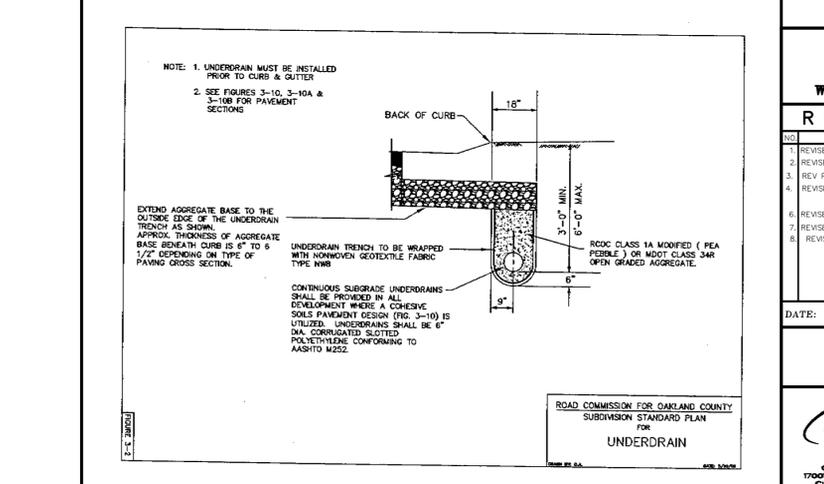
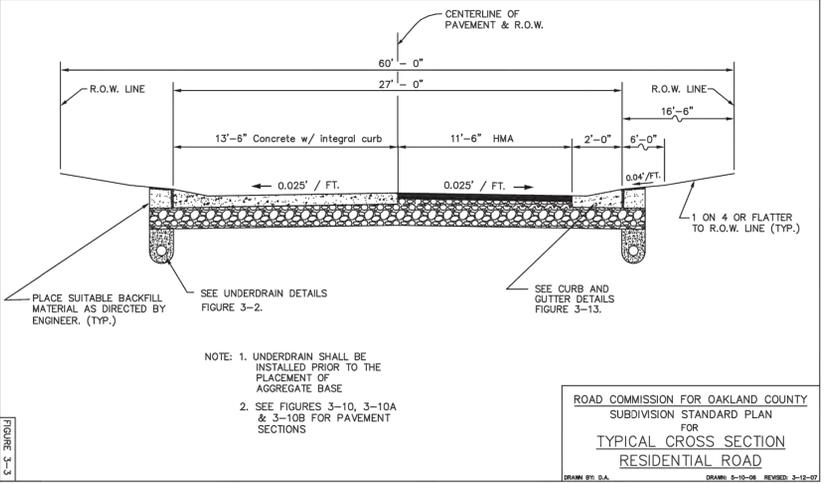
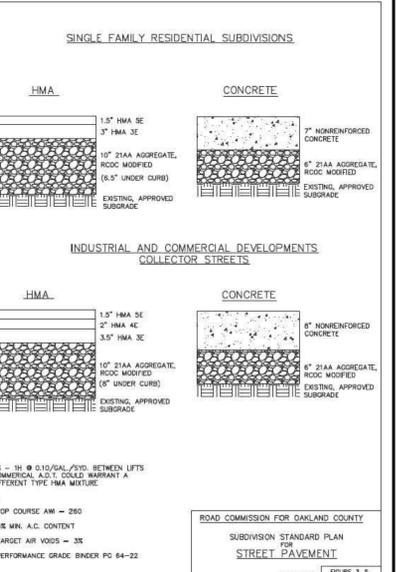
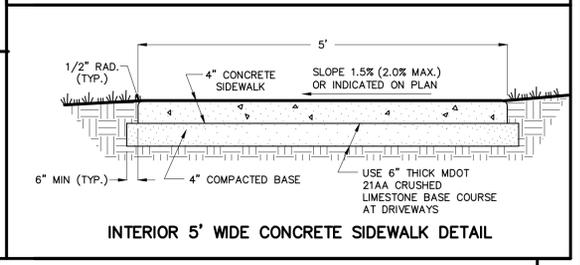
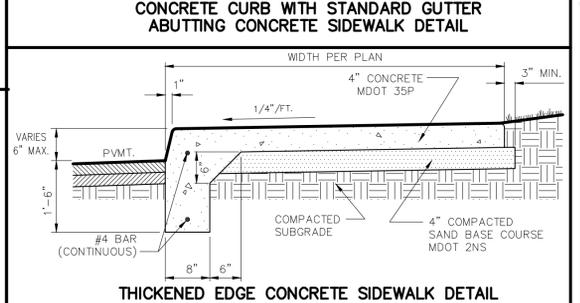
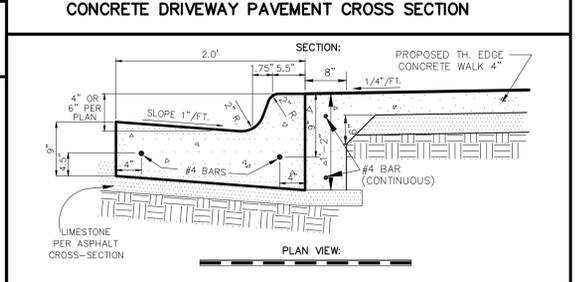
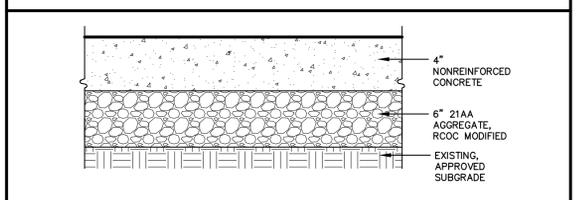
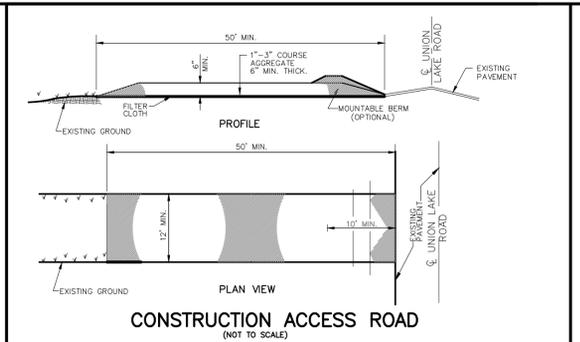
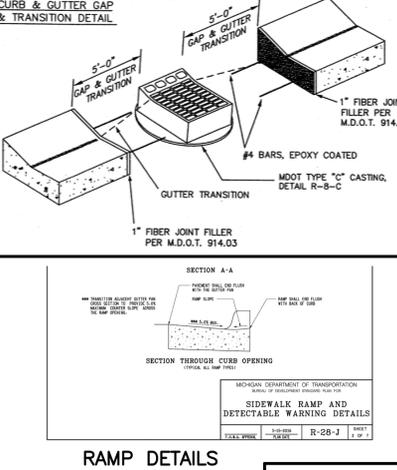
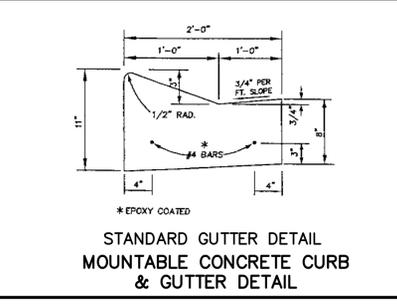
- 1. IF THE STATIC GROUNDWATER LEVEL IS HIGHER THAN THE ELEVATION AT WHICH PROPOSED CONSTRUCTION WORK WILL TAKE PLACE, WHETHER DETERMINED BY INITIAL SOIL BORINGS OR DURING CONSTRUCTION, SO THAT IT WILL BE NECESSARY TO DEWATER AN AREA TO CONTINUE CONSTRUCTION, THEN THE WHITE LAKE TOWNSHIP WILL REQUIRE A WRITTEN DEWATERING PROCEDURE PROVIDED BY THE APPLICANT'S ENGINEER, PRIOR TO COMMENCEMENT OF THE DEWATERING OPERATION.
2. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR MUST CONTACT WHITE LAKE DPS IN WRITING SHOWING NEED TO DEWATER PRIOR TO ANY FURTHER CONSTRUCTION.
3. IF PROCEDURES ARE NOT SUBMITTED OR, ONCE APPROVED, ARE NOT ADHERED TO, THEN WHITE LAKE TOWNSHIP MAY TAKE ACTION TO SUSPEND DEWATERING ACTIVITIES AT THE PROJECT TO REQUIRE THE ADHERENCE TO PROCEDURES.

INSPECTION & MAINTENANCE SCHEDULE FOR SOIL EROSION CONTROL

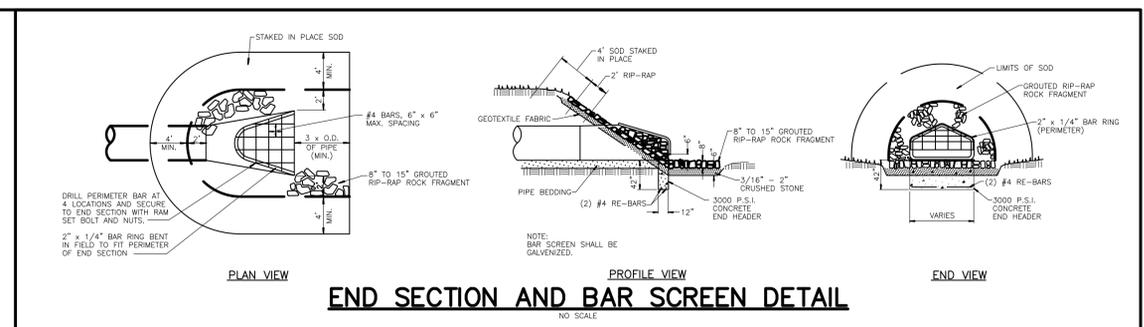
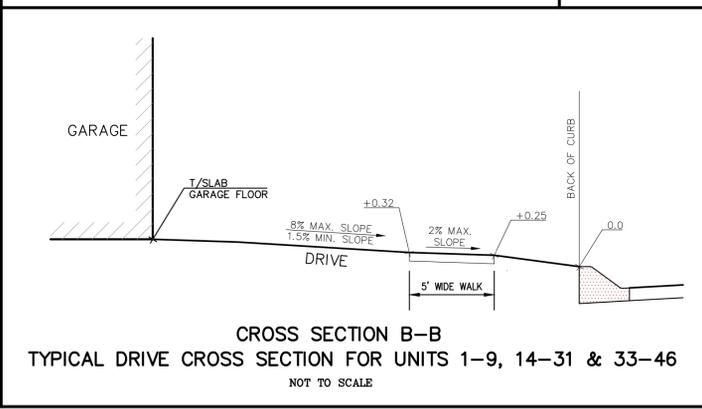
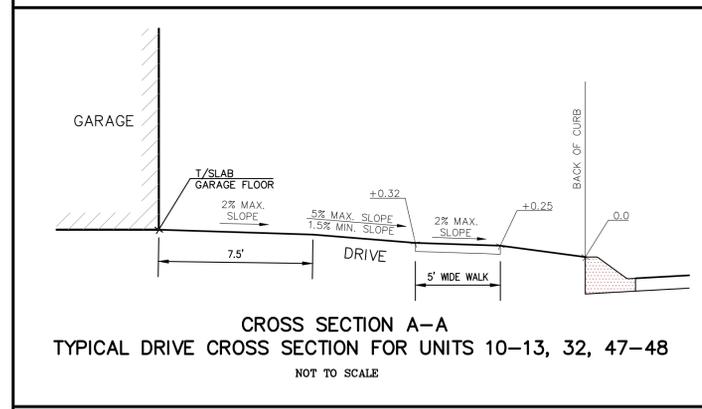
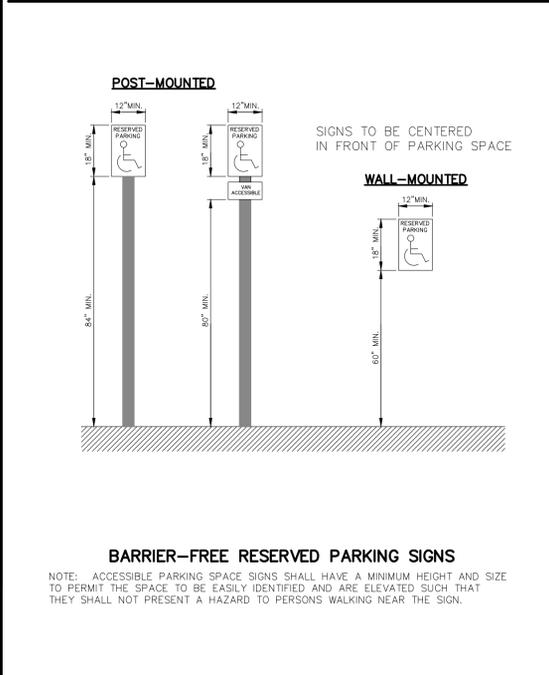
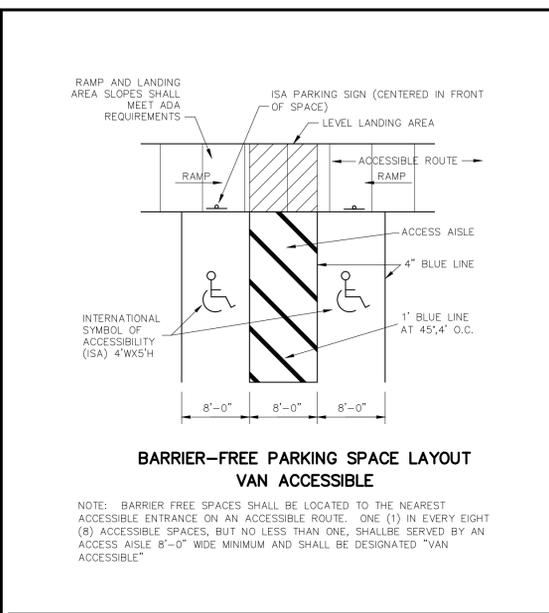
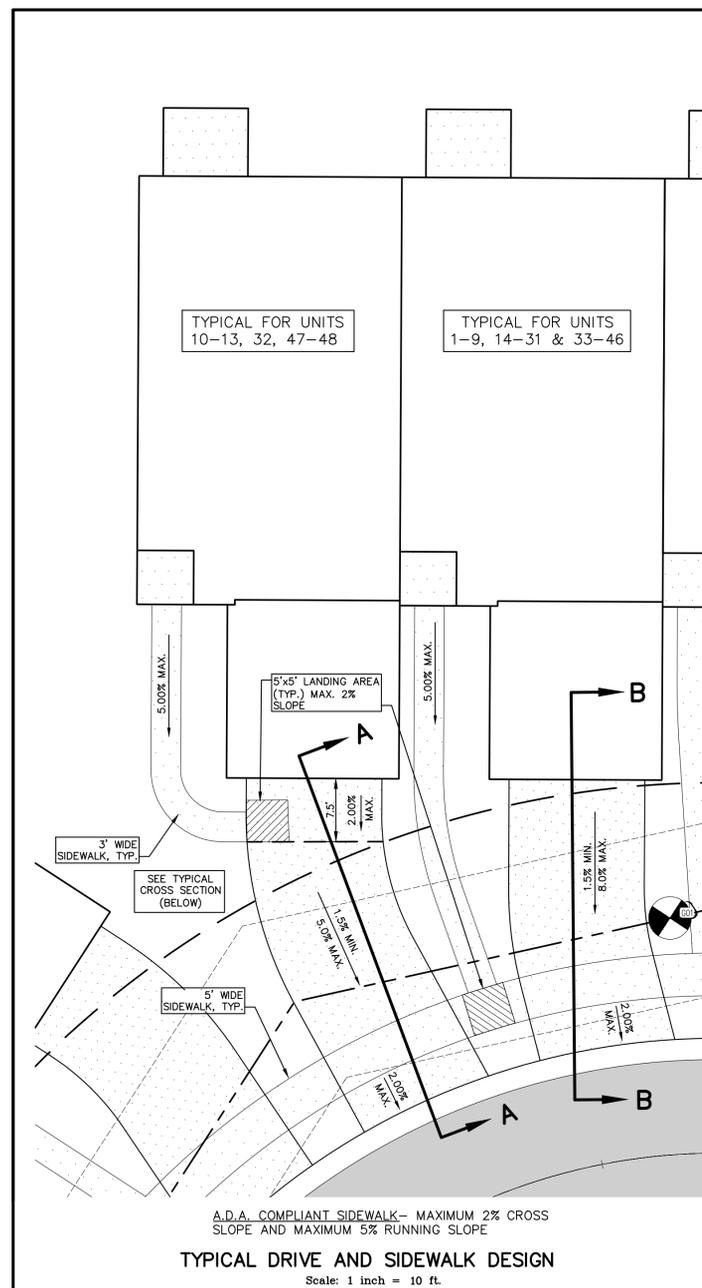
GRADE STABILIZATION STRUCTURES SUCH AS: DROP CONTROL STRUCTURES; SIDE DRAINS (ENCLOSED); DROP INLET SPILLWAYS; DROP PIPES; STRAIGHT PIPES; TOEWALLS; DROP BOXES; CHUTES OR FLUMES (SOD, ROCK CONCRETE); EARTH EMBANKMENT STRUCTURES; DOWNDRAINS; SPILLWAYS SHALL BE MAINTAINED AS FOLLOWS:
BECAUSE GRADE STABILIZATION STRUCTURES ARE SUBJECT TO HIGH FLOW CONDITIONS, PERIODIC INSPECTIONS SHOULD BE PERFORMED TO ENSURE THAT EROSION IS NOT OCCURRING, AND THAT VEGETATION IS ADEQUATELY ESTABLISHED. THESE STRUCTURES SHOULD ALSO BE INSPECTED AFTER STORM EVENTS WHICH EXCEED THE DESIGN STORM.
THE DETENTION BASIN SHOULD BE INVESTIGATED TO ENSURE THAT THE CONCENTRATED FLOWS ARE NOT CAUSING EROSION INTO THE BOTTOM OF THE BASIN AND BLOCKING INFILTRATION. CHECK THE EMERGENCY BYPASS/OVERFLOW FOR EROSION. CHECK THE STRUCTURES ITSELF FOR CRACKED CONCRETE. UNEVEN OR EXCESSIVE SETTLING, PIPING AND PROPER DRAIN FUNCTIONING. REPAIR OR REPLACE FAILING STRUCTURES IMMEDIATELY. ADDRESS VEGETATION AND EROSION PROBLEMS AS SOON AS WEATHER PERMITS. OPEN STRUCTURES SHOULD BE SIGNED OR MARKED TO ALERT PEOPLE IN THE VICINITY ABOUT POTENTIAL DANGERS.



NOTE: DETECTABLE WARNING PLATES MUST BE CONCRETE-EMBEDDED DETECTABLE WARNING PLATES. STAMPED CONCRETE WILL NOT BE ACCEPTABLE.



LAKE POINTE SECTION 36, TOWN 3 NORTH, RANGE 8 EAST WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN
REVISIONS table with columns for NO., ITEM, DATE, and DESCRIPTION.
UTILITY WARNING: UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
NOTES AND DETAILS: UNDERDRAIN
SHEET ND1



LAKE POINTE

SECTION 36, TOWN 3 NORTH, RANGE 8 EAST

WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

REVISIONS			UTILITY WARNING
NO.	ITEM	DATE	
1.	REVISE PER OWNER	6-3-20	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.  Know what's below. Call before you dig. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.
2.	REVISE GRADES ON UNITS 2 AND 6	11-9-20	
3.	REV PER 11-20-20 WL TWP LETTER	02-02-21	
4.	REVISE PER WHITE LAKE TWP	03-03-21	
6.	REVISED PER TOWNSHIP	04-25-23	
7.	REVISED PER TOWNSHIP	7-27-23	
8.	REVISED PER AGENCIES	02-13-24	

DATE: 04-08-2020 DESIGNED BY: A.A. JOB NUMBER: 19-030
 CHECKED BY: J.E. DRAWING FILE: 19030ND.dwg

NOTES AND DETAILS



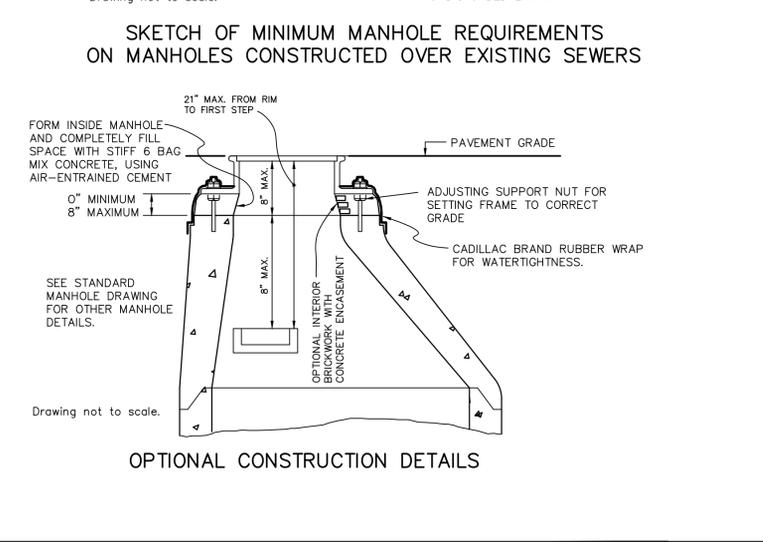
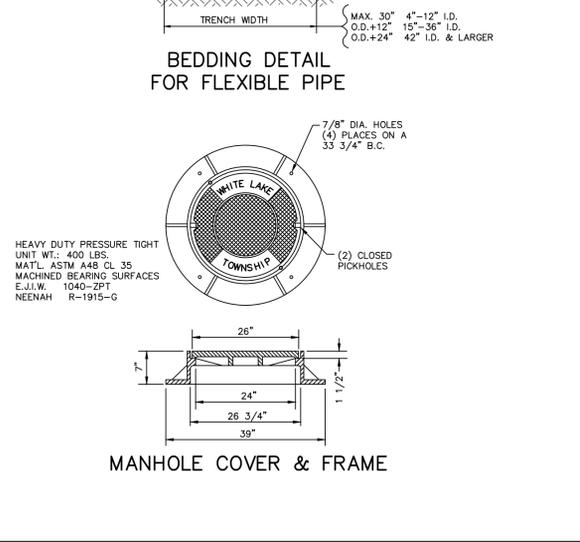
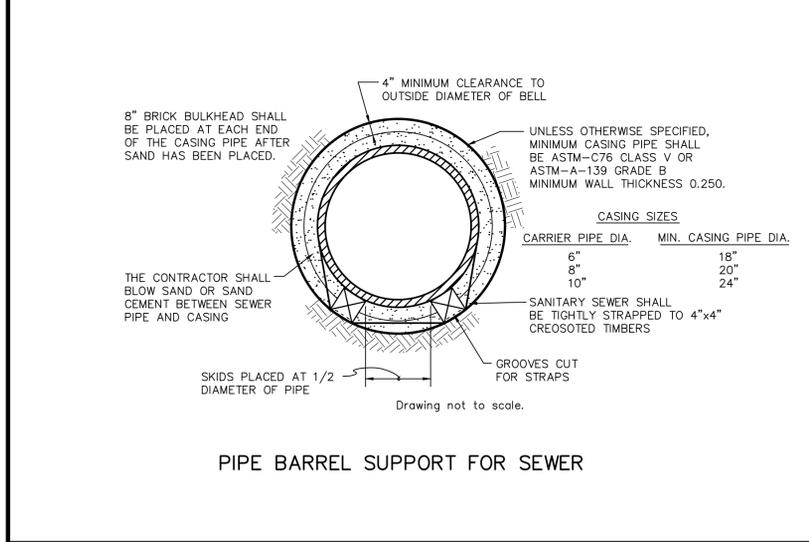
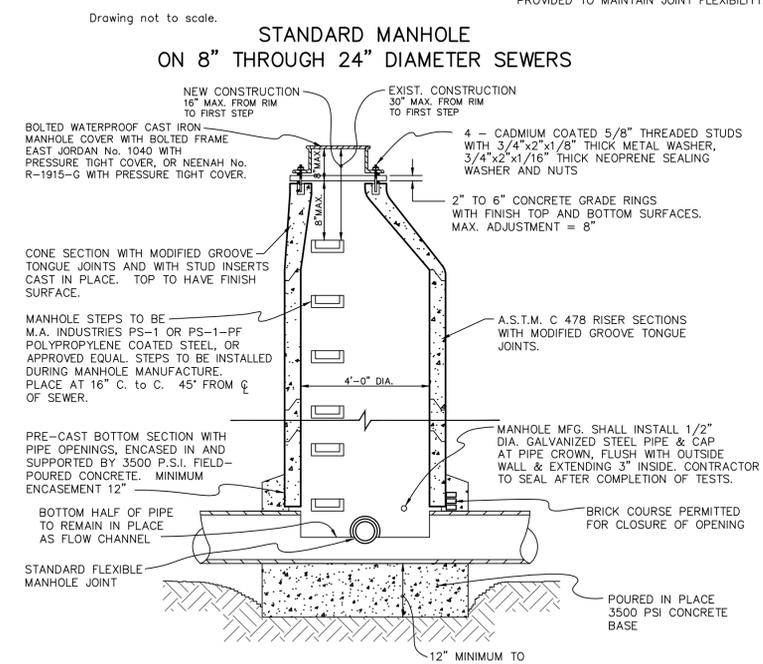
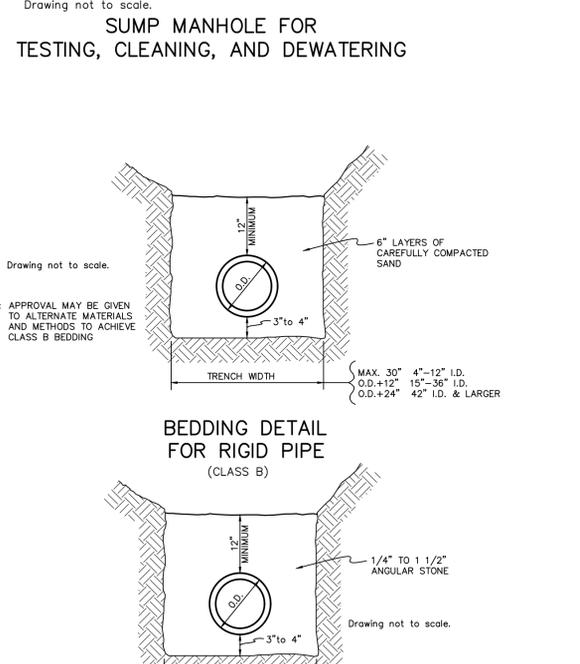
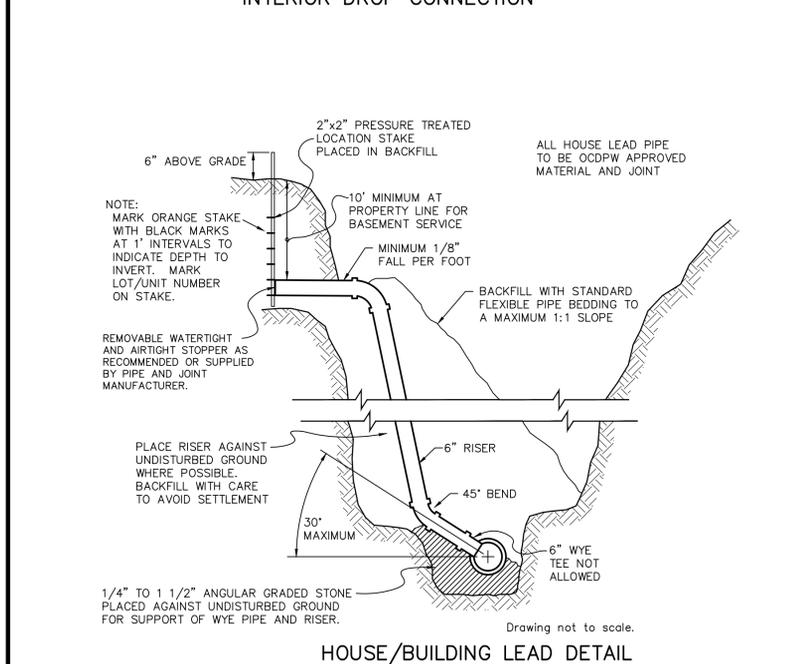
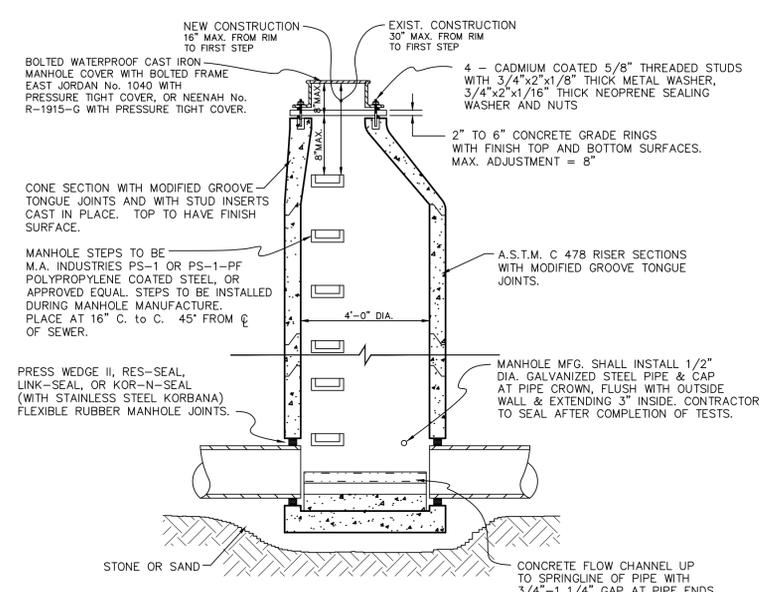
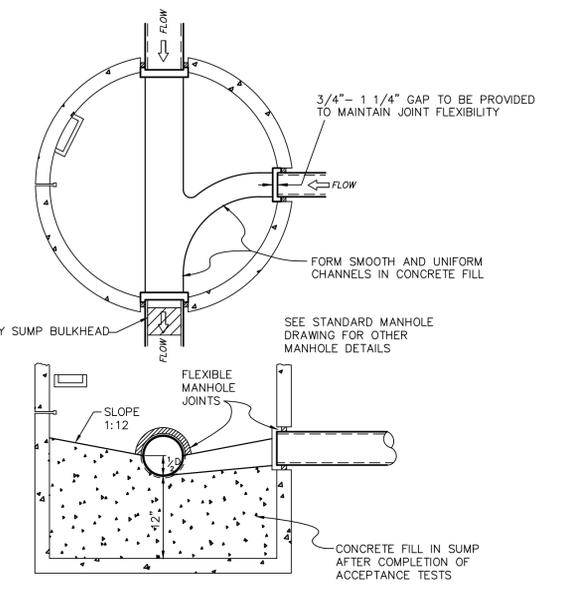
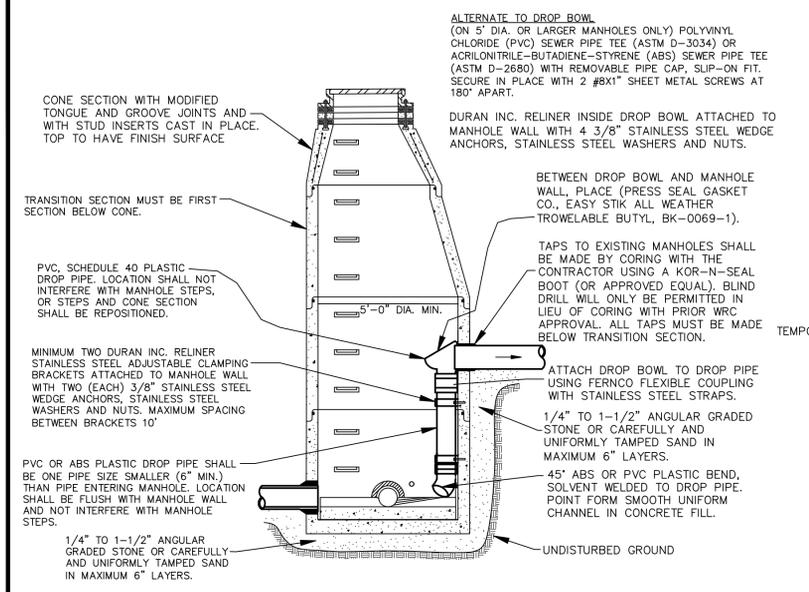
SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE: 1700 NINETEEN MILE ROAD, SUITE 3 CLINTON TOWNSHIP, MI 48036 588.412.7060

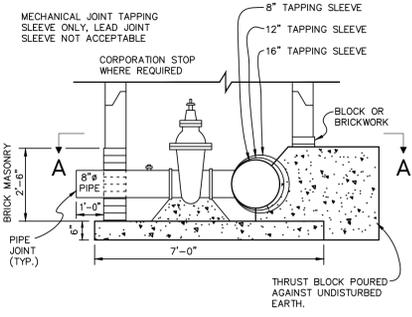
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FARMINGTON HILLS OFFICE: 38205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 248.308.3331

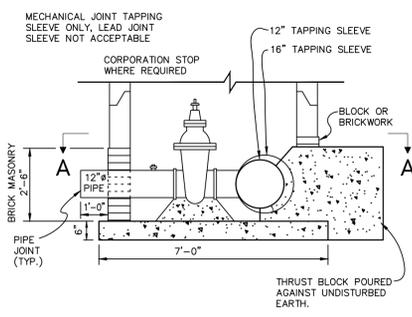
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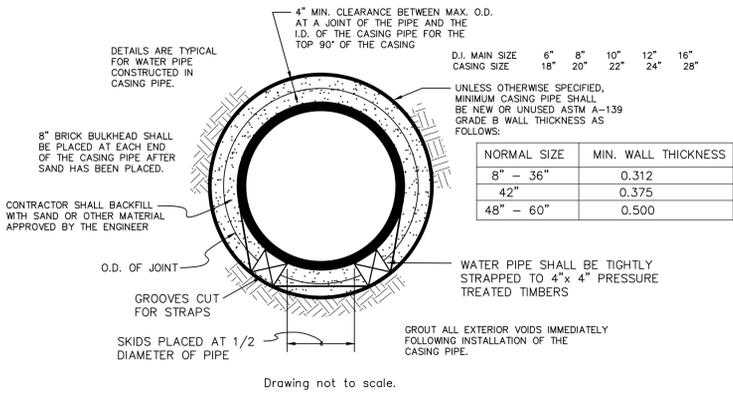
- SANITARY SEWER CONSTRUCTION NOTES**
- All construction shall conform to the current standards and specifications of the local unit of government and the Oakland County Water Resources Commissioner (OCWRC). All sanitary sewer construction shall have full time inspection supervised by a professional engineer provided by or caused to be provided by the local unit of government.
 - At all connections to Oakland County Water Resources Commissioner's sewers or extensions, and before start of construction, the Contractor must obtain a Sewer Inspection Permit issued by the OCWRC. Gravity sewer permit charges are \$250.00 for each connection plus \$25.00 for each manhole constructed. Pressure sewer permit charges are \$250.00 per 2460 L.F. of force main with a minimum permit fee of \$250.00. Failure to pass any test segment will result in an additional charge to the Contractor for each retest, in accordance with the above price schedule. The Contractor shall also have posted with the OCWRC a \$5,000.00 surety bond and \$500.00 cash deposit. The Contractor shall notify the local unit of government and the OCWRC (248-858-1110) 24 hours prior to the beginning of any construction. Final acceptance tests must be witnessed by County personnel and must be scheduled by Municipality or its consultant in advance with 24 hour notice at 248-858-1110.
 - No sewer installation shall have an infiltration or exfiltration exceeding 100 gallons per inch diameter per mile of pipe in a 24 hour period, and no single run of sewer between manholes shall exceed 100 gallons per inch diameter per mile. Air tests in lieu of infiltration tests shall be as specified in the OCWRC "Acceptance Tests", dated September, 1972. Only pipe and pipe joints approved by the Oakland County Water Resources Commissioner may be used for sanitary sewer construction.
 - Located in the first manhole upstream from the point of all connections to an existing OCWRC sewer, or extension thereto, a temporary 12-inch deep sump shall be provided in the first manhole above the connection which will be filled in after such successful completion of any acceptance test up to the standard fill provided for the flow channel. A watertight bulkhead shall be provided on the downstream of the sump manhole.
 - All building leads and risers shall be 6-inch S.D.R. 23.5 ABS OR PVC pipe with chemically fused joints, or an approved equal pipe and joint. Sewer pipe wye shall contain factory installed premium joint material of an approved type compatible with that of the building lead pipe used. Building leads to be furnished with removable air tight and water-tight stoppers.
 - All rigid sewer pipe shall be installed in Class "B" bedding or better. All flexible, semi-flexible or composite sewer pipe shall be installed in conformance to the Oakland County Water Resources Commissioner specifications.
 - All new manholes shall have Oakland County Water Resources Commissioner approved flexible, water-tight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Precast manhole cone sections shall be Oakland County Water Resources Commissioner approved modified eccentric cone type. All manholes shall be provided with bolted, water-tight covers.
 - At all connections to manholes on Oakland County Water Resources Commissioner's sewers or extensions thereto drop connections will be required when the difference in invert elevations exceeds 18-inches. Outside drop connections only will be approved.
 - Taps to existing manholes shall be made by coring. The Contractor shall place a KOR-N-SEAL boot (or OCWRC approved equal) after coring is completed. Blind drilling will not be permitted in lieu of coring.
 - New manholes constructed directly on Oakland County Water Resources Commissioner's sewers shall be provided with covers reading "Oakland County - Sanitary" in raised letters. New manholes built over an existing sanitary sewer shall have monolithic poured bottoms.
 - No ground water, storm water, construction water, downspout drainage or weep tile drainage shall be allowed to enter any sanitary sewer installation.
 - Prior to excavation, the Contractor shall telephone MISS DIG (647-7344) for the location of underground pipeline and cable facilities, and shall also notify representatives of other utilities located in the vicinity of the work.
 - 18" minimum vertical separation and 10' minimum horizontal separation must be maintained between sanitary sewer and water main.
 - Manhole frame and cover shall be as follows: East Jordan heavy manhole cover, base flange type #1040 or Neenah Foundry heavy duty #R-1642 manhole frame. Solid lid cover shall be non-rocking and marked "WHITE LAKE TOWNSHIP SEWER DEPARTMENT."



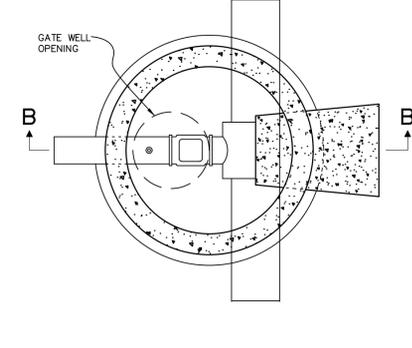
16" X 8", 12" X 8", 8" X 8" TAPPING SLEEVE, VALVE & WELL (B-B)



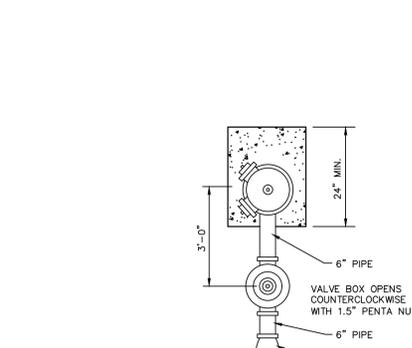
16" X 12", 12" X 12" TAPPING SLEEVE, VALVE & WELL (B-B)



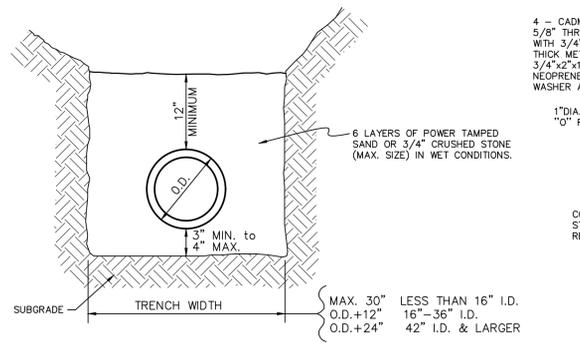
PIPE BARREL SUPPORT FOR WATER MAIN CONSTRUCTED IN CASING



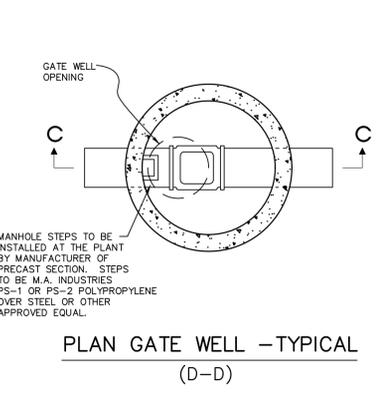
PLAN TAPPING SLEEVE, VALVE & WELL - TYPICAL (A-A)



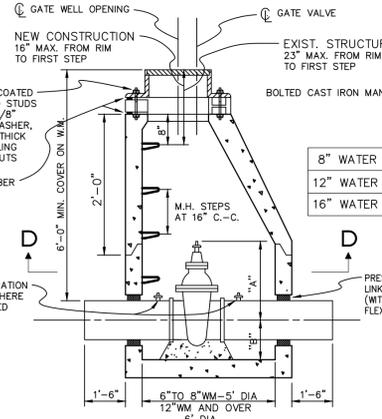
DETAIL OF HYDRANT SETTINGS



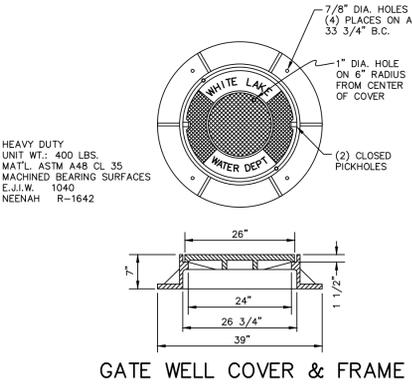
STANDARD BEDDING FOR WATER PIPE



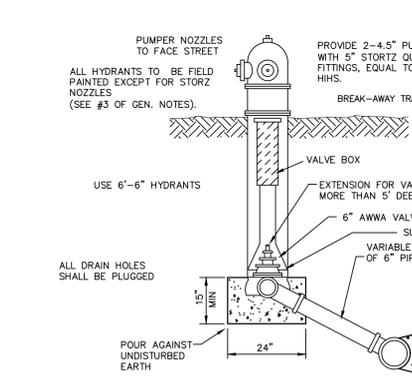
PLAN GATE WELL - TYPICAL (D-D)



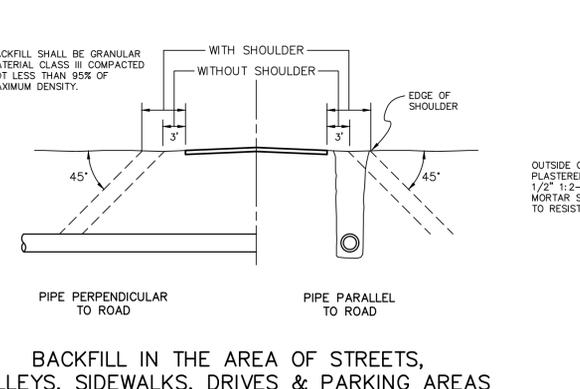
GATE WELL (C-C)



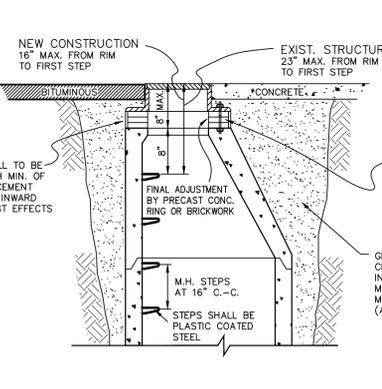
GATE WELL COVER & FRAME



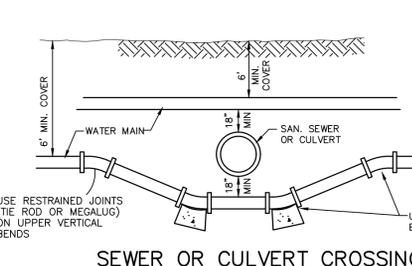
DETAIL OF HYDRANT SETTINGS



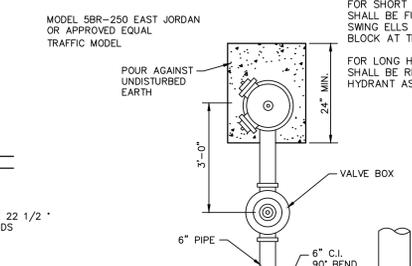
BACKFILL IN THE AREA OF STREETS, ALLEYS, SIDEWALKS, DRIVES & PARKING AREAS



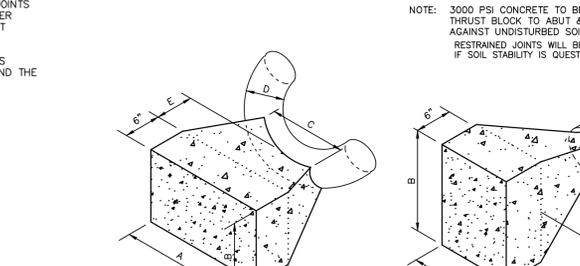
GATE WELL TOPS WITHIN PAVEMENT AREAS



SEWER OR CULVERT CROSSING



DETAIL OF HYDRANT SETTINGS



FOR 90° BENDS OR SMALLER

D	A	B	C	E MIN
20"	8"	6.5"	3.5"	2.5"
16"	6"	4.5"	2.5"	2"
12"	4"	3"	2"	1.75"
10"	3"	2"	1.5"	1.75"
8"	3"	2"	1.5"	1.5"
6"	2"	1.5"	2"	1.25"

FOR PLUGS

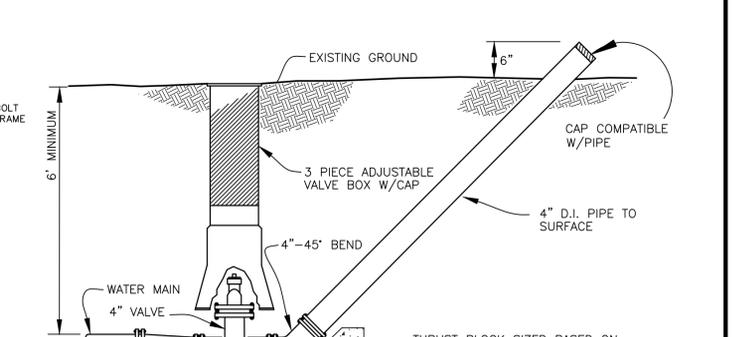
D	A	B	C	E MIN
20"	7"	5"	2.5"	3"
16"	4.7"	4.7"	2.5"	2.75"
12"	4.3"	3"	1.75"	1.75"
10"	3"	2"	1.5"	1.75"
8"	2.8"	2.5"	1.5"	2.25"
6"	1.5"	1.5"	0.25"	2.25"

FOR TEES

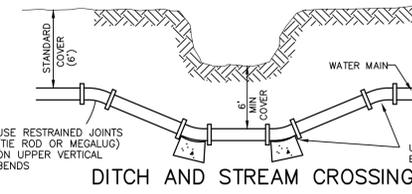
D	A	B	C	E MIN
20"	6.5"	4.5"	3.5"	3"
16"	4.7"	4.7"	2.5"	2.75"
12"	4"	3"	2.5"	2.5"
10"	3"	2"	2.25"	2.25"
8"	2.7"	2"	2"	2.25"
6"	2"	2"	2"	2.25"

THRUST BLOCK DETAILS

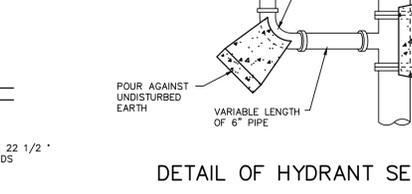
- WATER MAIN NOTES**
- All construction procedures and materials used on this project shall conform to White Lake Township current standards and specifications.
 - All hydrants shall be East Jordan Iron Works 5BR-250 traffic model. Self-draining hydrants shall not be used. Valve shall have 1-1/2" pentagon nut and shall open counter-clockwise. Provide two 4.5" Storz quick connect nozzles (Harrington Integral Hydrant Storz, Model HHS) as manufactured by Harrington, Inc. of Erie, PA.
 - All hydrants shall be field painted with a heavy coat of bright safety red polyurethane or alkyl glass enamel, except for the Storz fittings and caps, which shall be left unpainted.
 - Johnson and Anderson, Inc. field personnel will affix to the fixed collar of each Storz connection 1" wide 3M Scotch reflective tape, color coded per NFPA 291 guidelines flow capacity.
 - All water mains shall be ductile iron pipe Class 54, cement lined with push on joints. Mechanical joints allowed only for tapping sleeves, hydrants & hydrant valves. Only Cor-Blue bolts shall be used for assembling mechanical joints. All bands, tees, valves and hydrant tees shall have a poured concrete thrust block as detailed on this sheet. Joints which have thrust blocks bearing on soil of questionable stability shall be fully restrained utilizing Tyler swivel ells and adapters or a system approved by the Township Engineer. HDPE pipe for directional boring, if approved by the Township Engineer, shall meet all of the requirements of the MDEQ and shall be DR9 (200 psi), and shall have two #8 tracer wires, terminated in the nearest gate well at the highest step.
 - Tapping sleeve shall be mechanical joint or approved equal. Ductile iron or Stainless steel are allowed.
 - Specifications shall include direction of operation of all valves. All valves shall be counter clockwise open.
 - All necessary easements shall be provided in the name of White Lake Township before acceptance of the water distribution system.
 - The design engineer shall furnish White Lake Township with one reproducible set of "As-Built" water main plans or an AutoCAD file upon completion of the job.
 - All required cross-connection devices shall be installed as required by the local plumbing inspector and in accordance with the standards of the Michigan Department of Public Health.
 - Gate well frame and cover shall be as follows: East Jordan heavy manhole cover, base flange type #1040 or Neenah Foundry heavy duty #1642 Manhole frame, solid lid cover shall be non-racking and marked "White Lake Water Department"
 - Gate valves shall be AWWA approved and of a double disc or resilient wedge design with push on joints, 16" gate valves may be mechanical joint provided Cor-Blue bolts are used. All gate valves with operating nuts greater than 5" below ground surface shall be provided with an extension stem. The length of the extension shall be such that it will be within 5" of the ground surface when an extension is used it shall be held in place by an extension stem guide suitably fastened to the wall of the gate well.
 - 1" corporation stops are to be placed on the main at each side of each main line gate valve and at such other locations as may be required by the engineer.
 - All pipe and fittings shall be subjected to a hydro-static pressure test of 150 PSI for a 2 hour duration; Township Engineer must be present. Maximum segment 2000 feet except that longer segments may be tested with allowable leakage based on 2000 feet.
 - 2 consecutive safe bacteria samples shall be taken from the water system approx. 24 hours apart at points established by the Township Engineer. Samples shall be taken by the Township Engineer.
 - Filling, flushing and sampling of water main can only be performed with a "Jumper" Line, the jumper shall be equipped with an approved RPZ type of backflow preventer.
 - Adjustments on gate wells shall be limited to 23" maximum from top of rim to first step in accordance with MIOSHA Rule 341.
 - All new water service lines shall have a minimum nominal size of 1". Services from 1" to 2" may be type K copper tubing or plastic DR-9 (200 PSI rated) meeting ASTM D2237-03 (Standard Specification for Polyethylene (PE) plastic tubing). ASTM Designation and pressure rating shall be stamped on the pipe by the manufacturer. Plastic pipe shall also meet AWWA C-301 Specifications. All sizes shall relate to the copper tubing outside diameter standard size (CTS). Copper pipe joints shall be flared. Fittings shall adapt to the plastic pipe with compression to iron pipe thread adapter. Plastic pipes shall be either compression style with a steel insert or may be fusion welded in the larger sizes.
 - Plastic water service pipes shall be traced with two #10 copper tracer wires or two #12 copper coated steel or stainless steel wires insulated with a minimum of 30 mils of polyethylene insulation. The tracer wires shall be terminated to supply line so as to be locatable at the building and the curb box without digging.
 - Water services sizes 3" and greater shall be Class 54 cement lined ductile iron with push on joints or HDPE DR-9 (200 PSI rated) with fusion welded joints and fittings, DIPS (Ductile Iron Pipe Size).
 - A stop box shall be installed at the property or easement line and shall be equivalent to an A.Y. McDonald Mfg. 6100 flare regular pattern ball valve. The curb box shall have a 1" riser pipe with an Erie 2-hole pattern cover equivalent to A.Y. McDonald Mfg. 5601L. Stop box shall be protected with a 2'x4' painted blue extending 4 feet above ground.
 - Standard pipe cover shall be 6'-0".
 - Air release manholes shall consist of a standard 5' diameter gate well style structure with a ValMatic Model 25C air release valve mounted on a 1" corporation stop. Air release shall be equipped with the vacuum check option. A 1/2" diameter galvanized pipe air discharge shall be extended to within 12" of the top of the structure. A goose-neck trap shall be installed at the top of the riser to prevent debris & water from entering the valve.



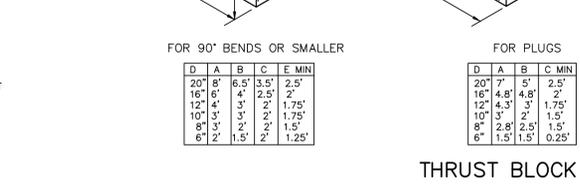
TEMPORARY BLOWOFF ASS'Y



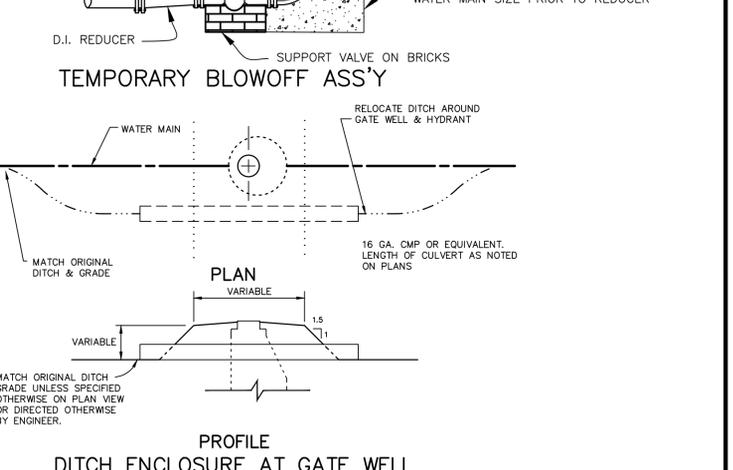
DITCH AND STREAM CROSSING



DETAIL OF HYDRANT SETTINGS



THRUST BLOCK DETAILS



DITCH ENCLOSURE AT GATE WELL

DRAWN: CAD DESIGN: OA CHECKED: - SCALE: VERT. - HORZ. AS NOTED

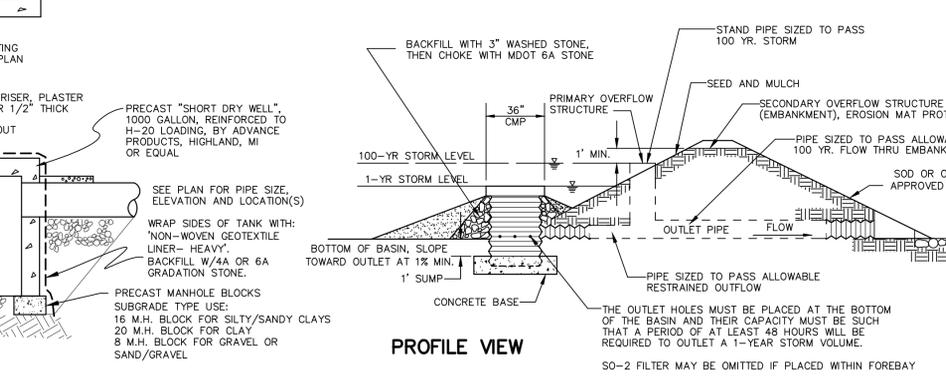
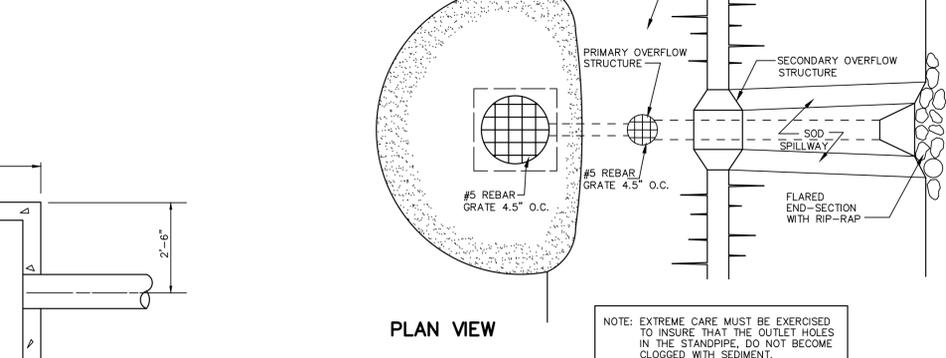
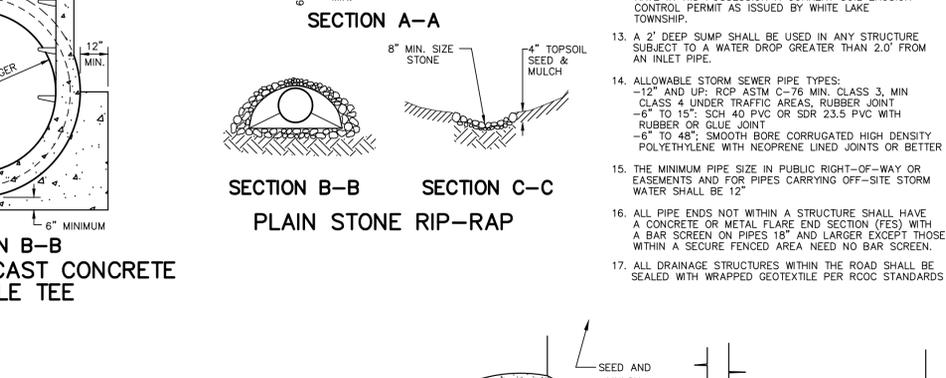
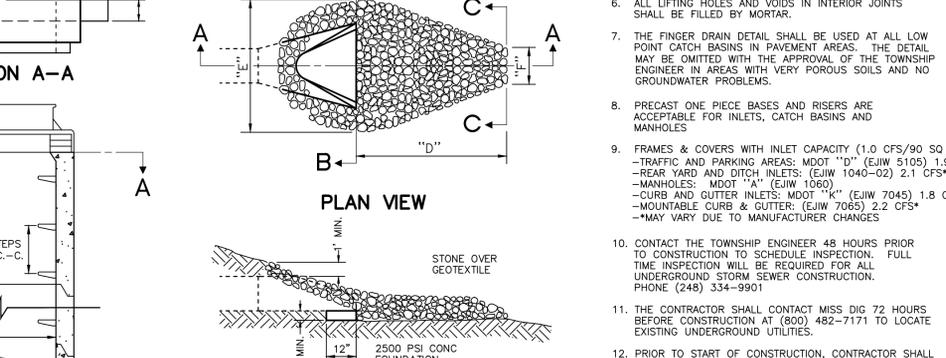
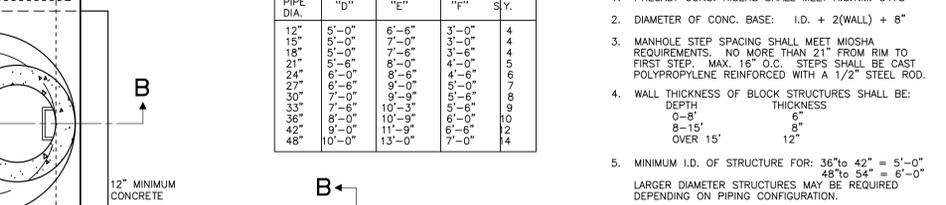
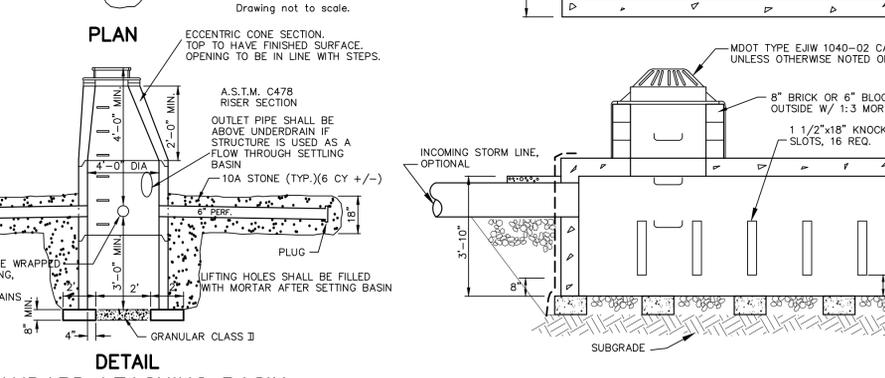
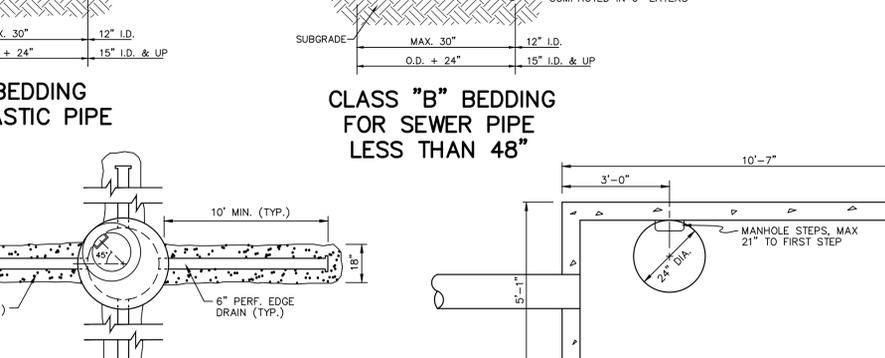
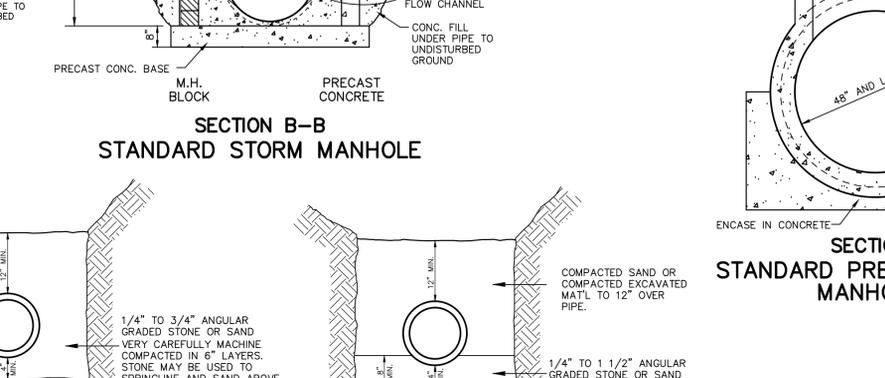
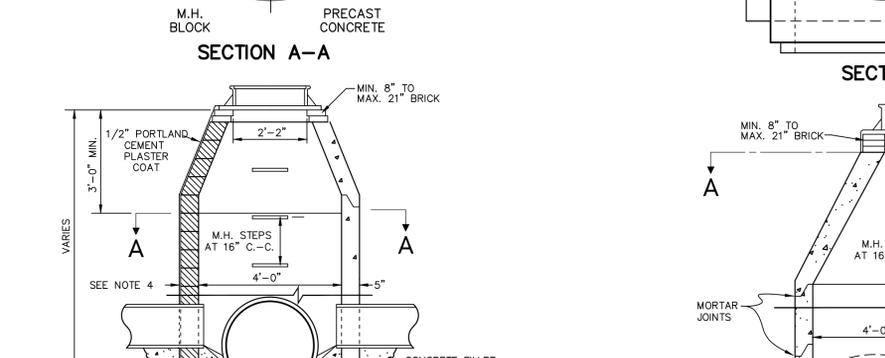
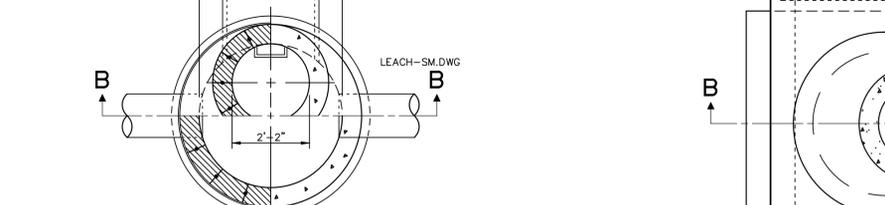
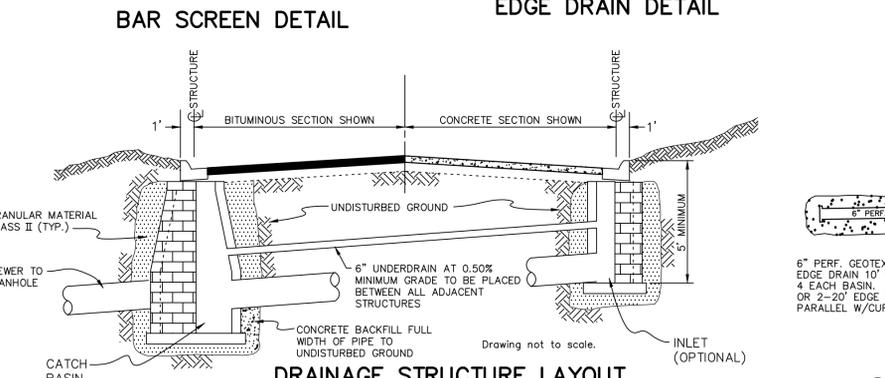
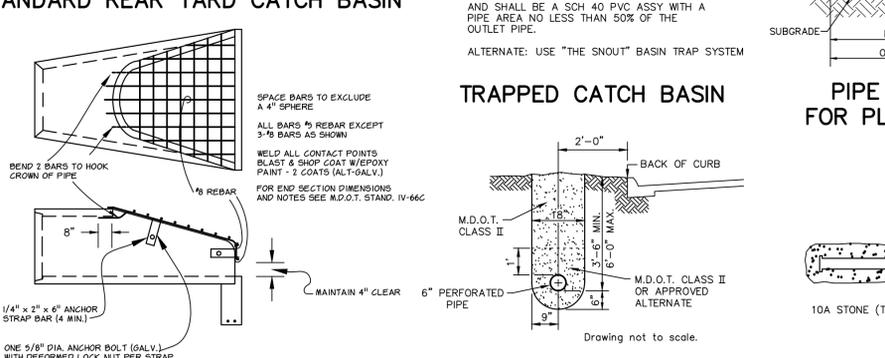
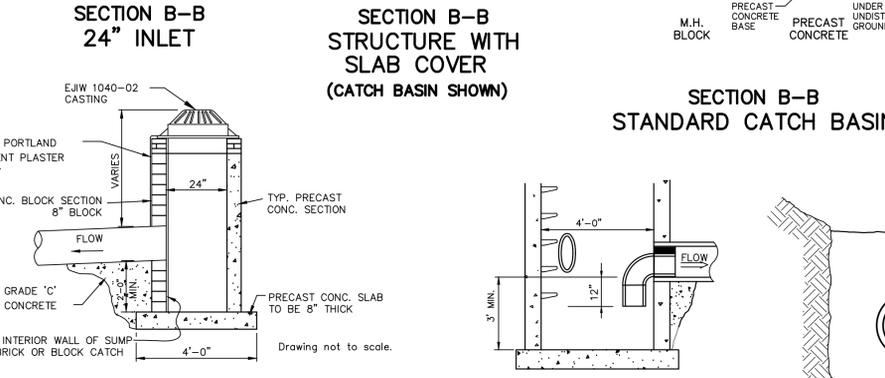
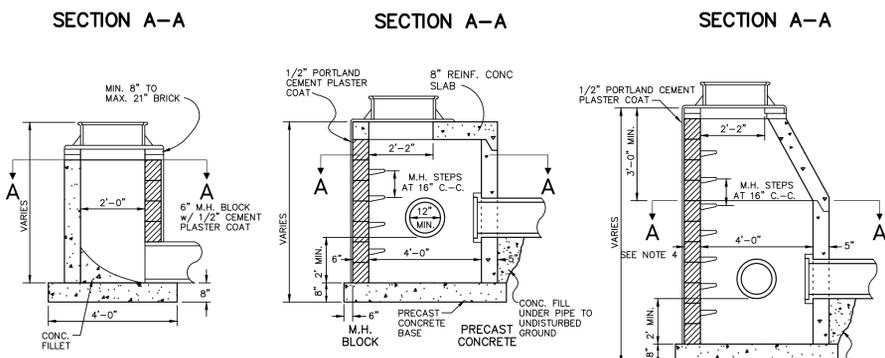
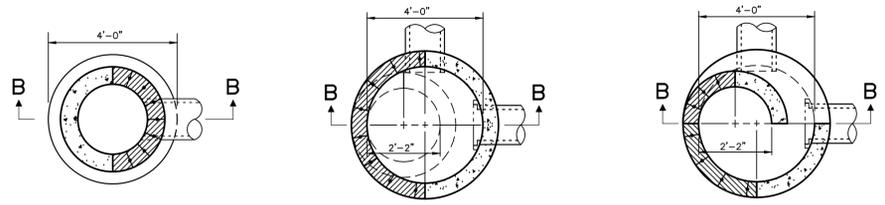
NO.	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE
1	GENERAL	REVISION TO CAD	12/29/95	GW & NUT SIZE	07/23/98	CLARIFY HYD. SPEC	02/07/01	REV. HYD. THRUST, AIR REL.	03/29/04
2	ADD NOTE	17	11/04/97	PIPE COVER & FLANGE TAPE	05/12/99	5-BR HYD. WS STAKE	02/27/02	HDPE, HYD. VALVES	07/18/05
3	REVISE	HYD. & THRUSTING	05/18/98	ADD BLOWOFF	07/06/99	ADD NOTE 19	07/23/03	UPDATED TITLE BLOCK	04/30/13

Johnson & Anderson
 4494 Elizabeth Lake Road Waterford, Michigan 48328
 1060 W. Norton Avenue, Suite 7 Muskegon, Michigan 49441
 2291 Water Street, Suite 6 Port Huron, Michigan 48060
 (248) 881-7800 (248) 881-2680 (231) 780-3100 (231) 780-3115 (810) 987-7800 (810) 987-7895

White Lake Township
 7525 Highland Road (M-59)
 White Lake, Michigan 48383
 248-698-3300

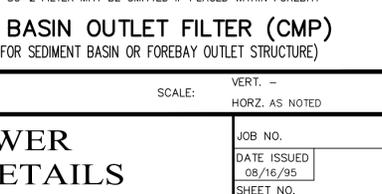
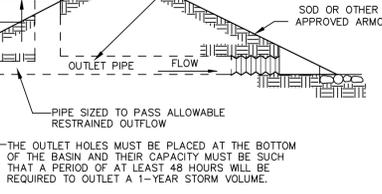
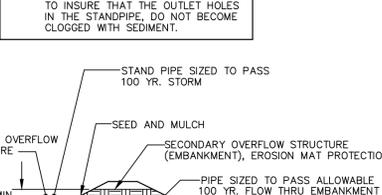
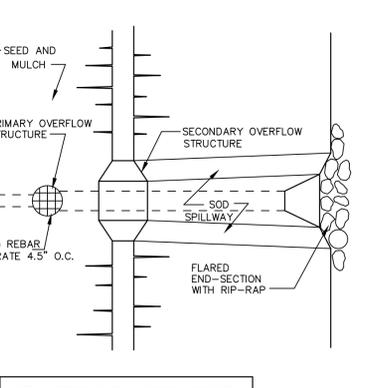
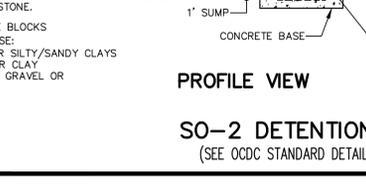
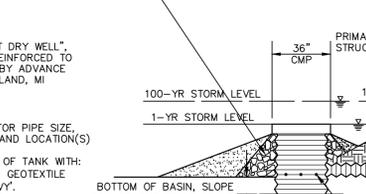
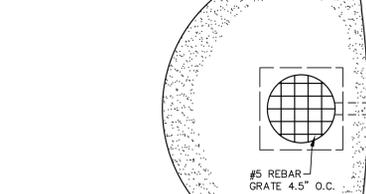
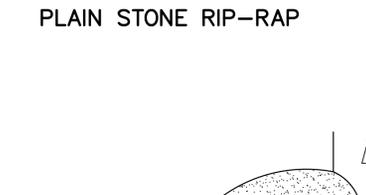
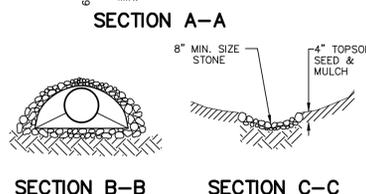
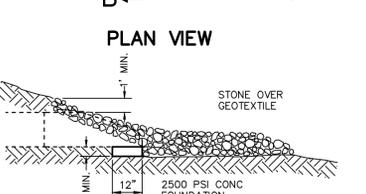
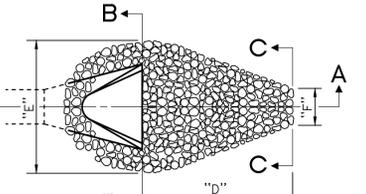
WATER MAIN STANDARD DETAILS

JOB NO. _____
 DATE ISSUED _____
 SHEET NO. _____



PIPE DIA.	"D"	"E"	"F"	S.Y.
12"	5'-0"	6'-6"	3'-0"	4
15"	5'-0"	7'-0"	3'-0"	4
18"	5'-0"	7'-6"	3'-0"	4
21"	5'-6"	8'-0"	4'-0"	5
24"	6'-0"	8'-6"	4'-6"	6
27"	6'-6"	9'-0"	5'-0"	7
30"	7'-0"	9'-6"	5'-6"	8
33"	7'-6"	10'-3"	5'-6"	9
36"	8'-0"	10'-9"	6'-0"	10
42"	9'-0"	11'-9"	6'-6"	12
48"	10'-0"	13'-0"	7'-0"	14

- STORM SEWER NOTES**
- PRECAST CONC. RISERS SHALL MEET A.S.T.M. C478
 - DIAMETER OF CONC. BASE: I.D. + 2(WALL) + 8"
 - MANHOLE STEP SPACING SHALL MEET MISHA REQUIREMENTS. NO MORE THAN 21" FROM RIM TO FIRST STEP. MAX. 16" O.C. STEPS SHALL BE CAST POLYPROPYLENE REINFORCED WITH A 1/2" STEEL ROD.
 - WALL THICKNESS OF BLOCK STRUCTURES SHALL BE:
DEPTH THICKNESS
0-8' 8"
8-15' 8"
OVER 15' 12"
 - MINIMUM I.D. OF STRUCTURE FOR: 36" to 42" = 5'-0"
48" to 54" = 6'-0"
LARGER DIAMETER STRUCTURES MAY BE REQUIRED DEPENDING ON PIPING CONFIGURATION.
 - ALL LIFTING HOLES AND VOIDS IN INTERIOR JOINTS SHALL BE FILLED BY MORTAR.
 - THE FINGER DRAIN DETAIL SHALL BE USED AT ALL LOW POINT CATCH BASINS IN PAVEMENT AREAS. THE DETAIL MAY BE OMITTED WITH THE APPROVAL OF THE TOWNSHIP ENGINEER IN AREAS WITH VERY POROUS SOILS AND NO GROUNDWATER PROBLEMS.
 - PRECAST ONE PIECE BASES AND RISERS ARE ACCEPTABLE FOR INLETS, CATCH BASINS AND MANHOLES.
 - FRAMES & COVERS WITH INLET CAPACITY (1.0 CFS/90 SQ IN) -TRAFFIC AND PARKING AREAS: MDOT "D" (EJW 5105) 1.9 CFS*
-REAR YARD AND DITCH INLETS: (EJW 1040-02) 2.1 CFS*
-MANHOLES: MDOT "A" (EJW 1060)
-CURB AND GUTTER INLETS: MDOT "K" (EJW 7045) 1.8 CFS*
-MOUNTABLE CURB & GUTTER: (EJW 7065) 2.2 CFS*
*MAY VARY DUE TO MANUFACTURER CHANGES
 - CONTACT THE TOWNSHIP ENGINEER 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE INSPECTION. FULL TIME INSPECTION WILL BE REQUIRED FOR ALL UNDERGROUND STORM SEWER CONSTRUCTION. PHONE: (248) 334-9901
 - THE CONTRACTOR SHALL CONTACT MISS DG 72 HOURS BEFORE CONSTRUCTION AT (800) 482-7171 TO LOCATE EXISTING UNDERGROUND UTILITIES.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL HAVE IN HIS POSSESSION A CURRENT SOIL EROSION CONTROL PERMIT AS ISSUED BY WHITE LAKE TOWNSHIP.
 - A 2' DEEP SUMP SHALL BE USED IN ANY STRUCTURE SUBJECT TO A WATER DROP GREATER THAN 2.0' FROM AN INLET PIPE.
 - ALLOWABLE STORM SEWER PIPE TYPES:
-12" AND UP: RCP ASTM C-76 MIN CLASS 3, MIN CLASS 4 UNDER TRAFFIC AREAS, RUBBER JOINT
-6" TO 15": SCH 40 PVC OR SDR 23.5 PVC WITH RUBBER OR GLUE JOINT
-6" TO 48": SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE WITH NEOPRENE LINED JOINTS OR BETTER
 - THE MINIMUM PIPE SIZE IN PUBLIC RIGHT-OF-WAY OR EASEMENTS AND FOR PIPES CARRYING OFF-SITE STORM WATER SHALL BE 12"
 - ALL PIPE ENDS NOT WITHIN A STRUCTURE SHALL HAVE A CONCRETE OR METAL FLARE END SECTION (FES) WITH A BAR SCREEN ON PIPES 18" AND LARGER EXCEPT THOSE WITHIN A SECURE FENCED AREA NEED NO BAR SCREEN.
 - ALL DRAINAGE STRUCTURES WITHIN THE ROAD SHALL BE SEALED WITH WRAPPED GEOTEXTILE PER ROC STANDARD

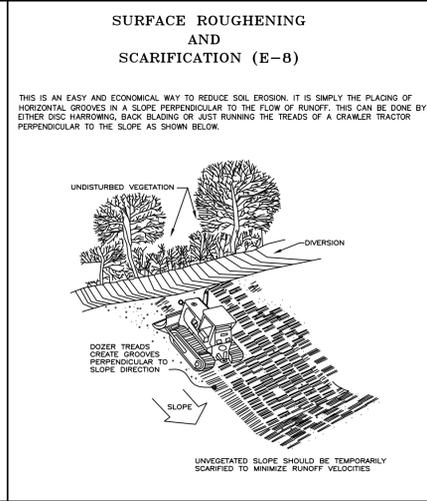
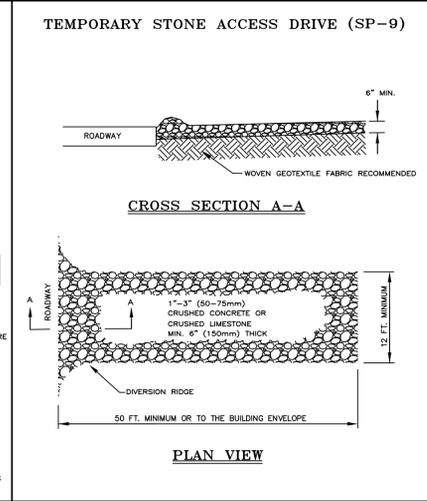
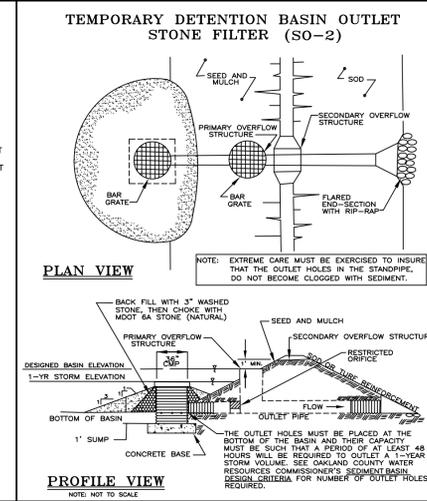
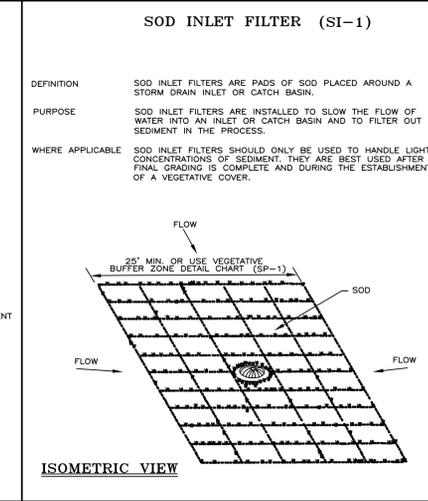
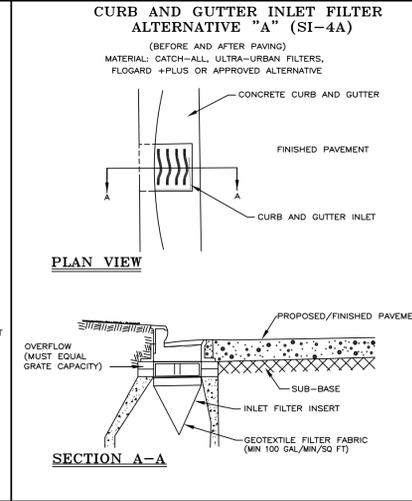
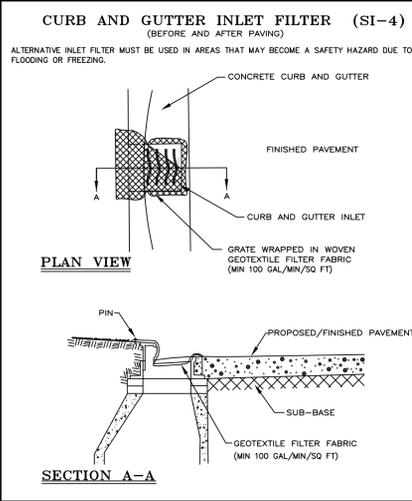
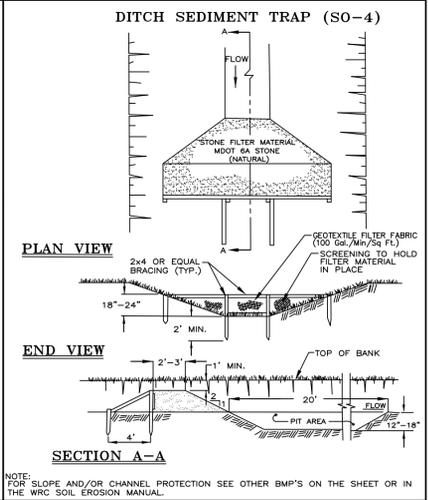
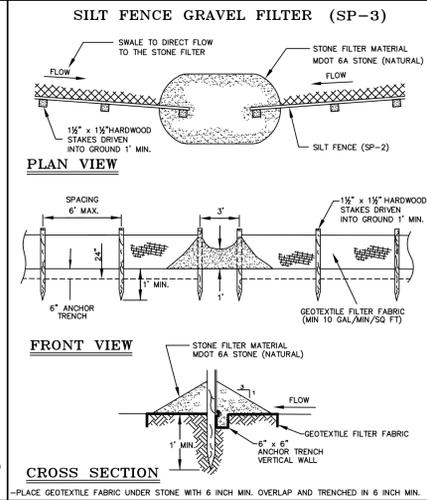
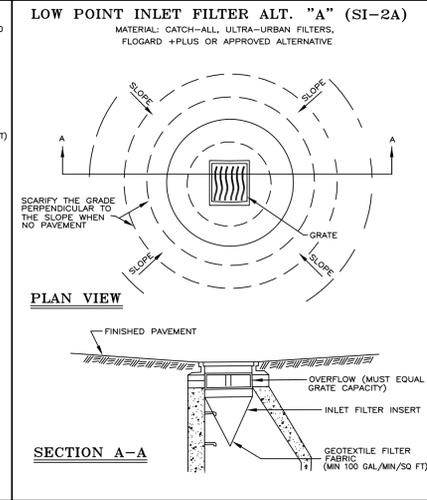
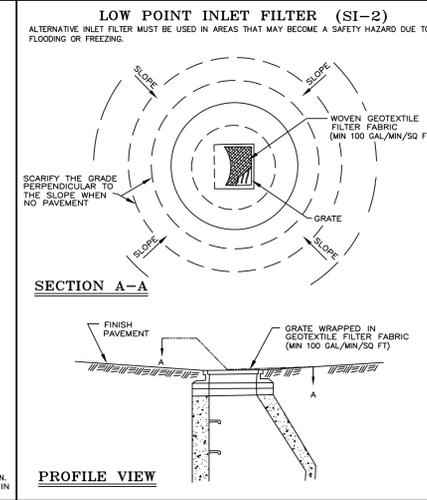
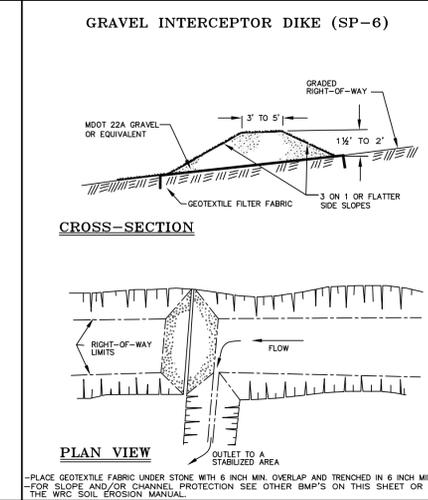
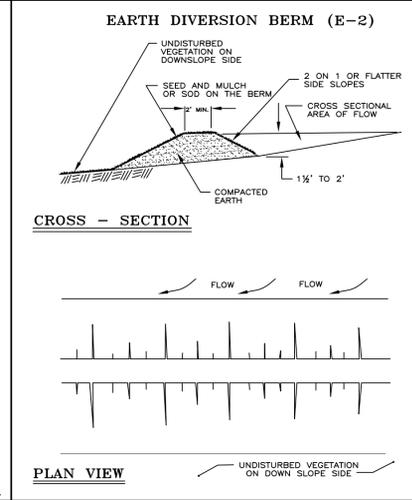
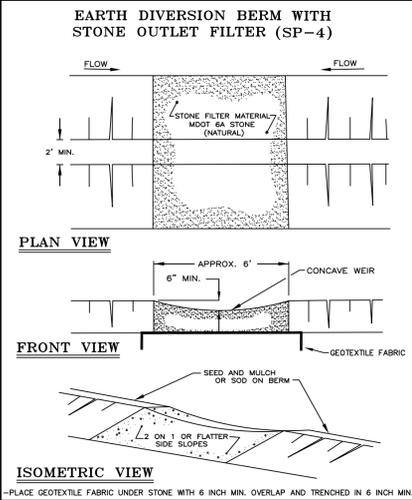
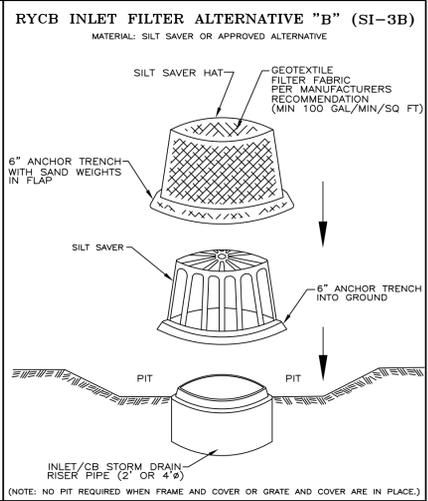
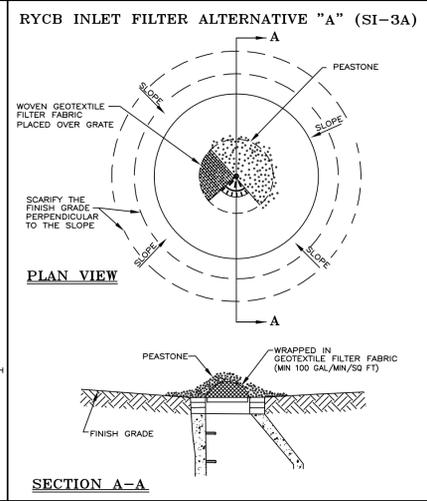
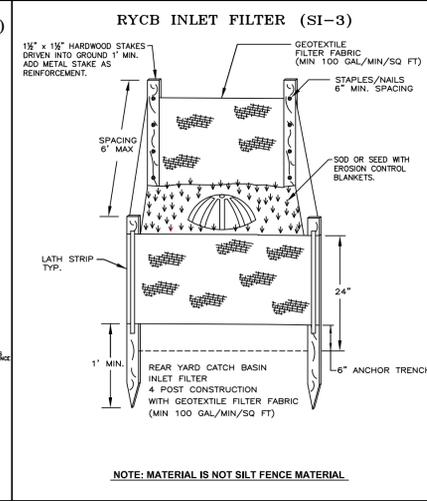
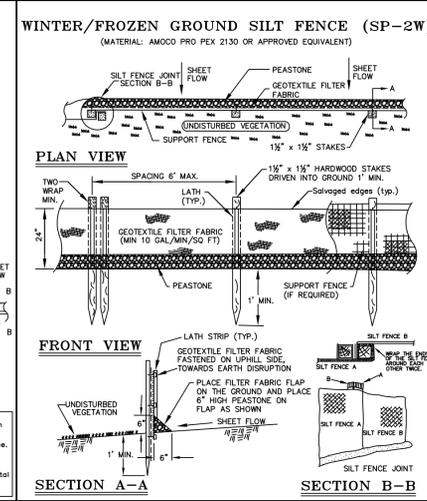
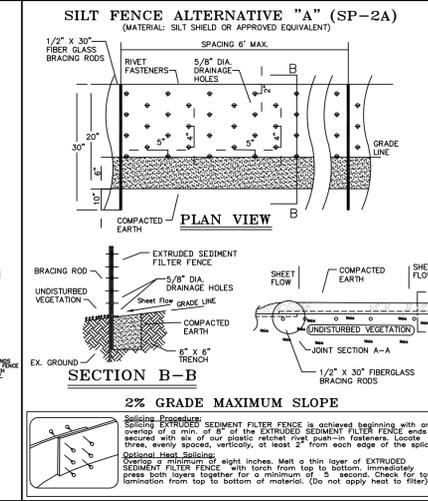
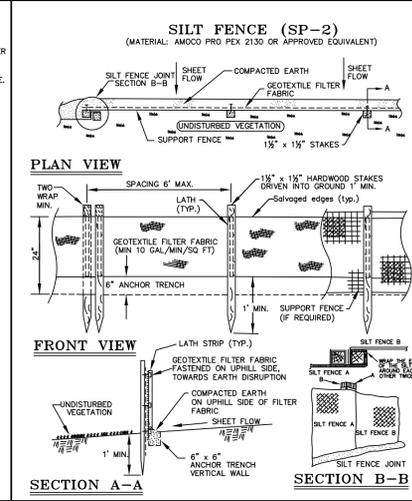
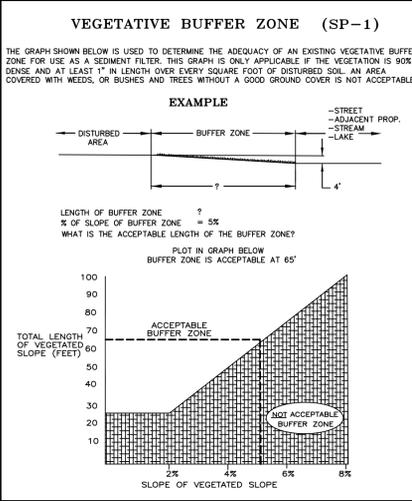
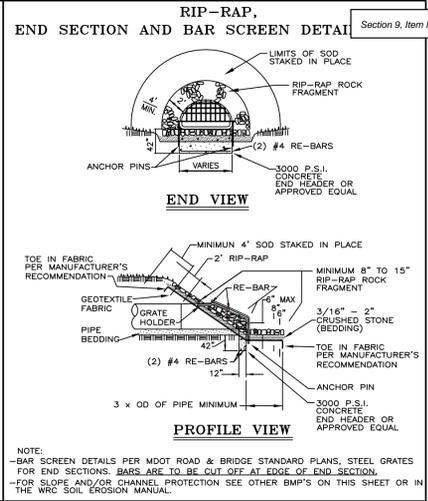
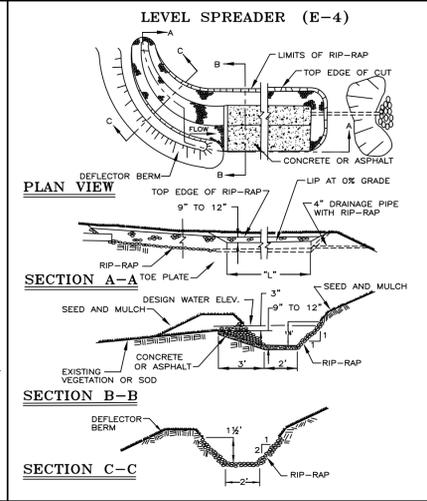
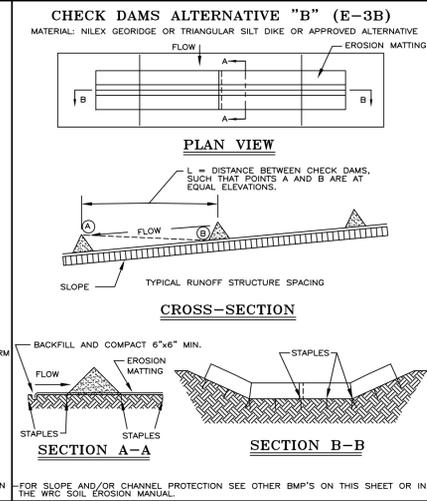
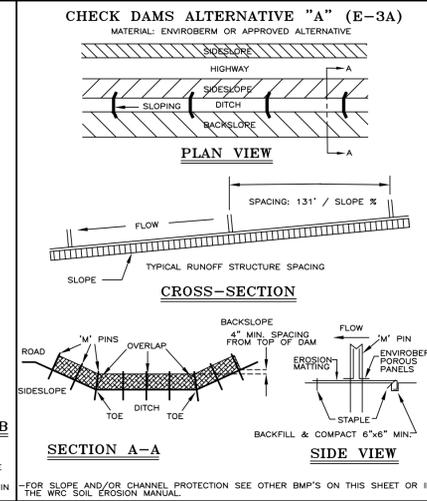
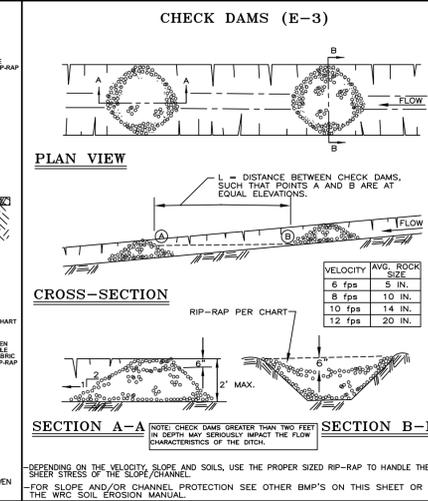
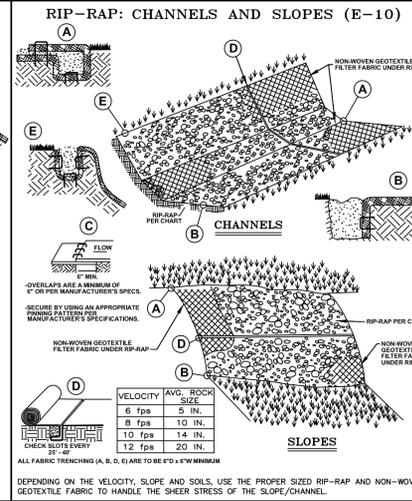
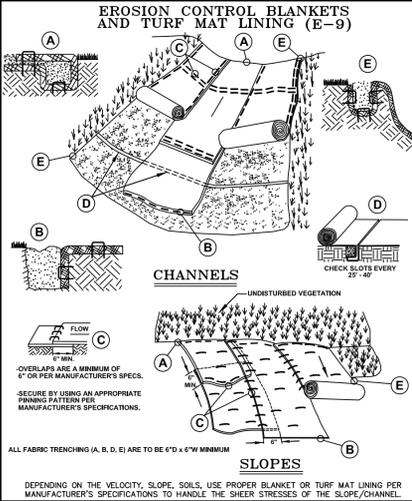


MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE
	FIRST ISSUE	08/16/95		REVISE	10-03-02		REVISE	06-01-07
	ADD SO-1	06-17-96		REVISE	12-17-03		UPDATED TITLE BLOCK	04/30/13
	NEW BAR GRATE	11-03-97		SEC REFERENCE	05-17-05			

Johnson & Anderson
 4494 Elizabeth Lake Road Waterford, Michigan 48328 tel (248) 681-7800 fax (248) 681-2660
 1060 W. Norton Avenue, Suite 7 Muskegon, Michigan 49441 tel (231) 780-3100 fax (231) 780-3115
 3910 Lapeer Road Port Huron, Michigan 48060 tel (810) 987-7820 fax (810) 987-7895

White Lake Township
 7525 Highland Road (M-59)
 White Lake, Michigan 48383
 248-698-3300

STORM SEWER STANDARD DETAILS
 DATE ISSUED: 08/16/95
 SHEET NO.:



NOTE:

WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF ANY INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REV.	BY	DATE	DESCRIPTION
1	WRC	01/01/01	ISSUED FOR CONSTRUCTION
2	WRC	01/01/01	PROPOSED DETAIL REVISIONS
3	WRC	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
4	WRC	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
5	WRC	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES

ORIG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: WRC

DRAWN BY: Mapping

WRC WATER RESOURCES COMMISSIONER

ONE PUBLIC WORKS DRIVE, BLDG 905 WEST WATERFORD, MICHIGAN 48320-1907

SHEET NO.: 1 of 174



client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER ROAD SUITE 120
 TROY, MI 48084

project:
LAKE POINTE
 project location:
 White Lake Twp., Michigan
 Union Lake Road

sheet title:
OVERALL LANDSCAPE PLAN VIEW
 job no./issue/revision date:
 LS19.124.11 TWP. 11-12-2019
 LS19.124.12 TWP. 12-27-2019
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 LS23.081.08 ENG. UPDATED 8-1-2023
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 LS24.026.02 COMMENTS 2-7-2024

drawn by:
JP, DK
 checked by:
FP
 date:
1-30-2024
 notice:
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project no:
LS24.026.02

sheet no:
LS-1 of 7

overall view landscape plan for:
Lake Pointe
 a multi-family residential community
 White Lake Township, Michigan

note:
 conceptual landscape plan for graphic presentation purposes only and in no way a construction document or approved for record.



scale: 0' 30' 60' 120' 180'
 1" = 60' - 0"

general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY WHITE LAKE TOWNSHIP AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARBARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE FEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 a) SHADE TREES _____ 5 FT.
 b) ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) _____ 10 FT.
 c) SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY _____ 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER AND/OR WITHIN 5' TO 6' OF ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING. EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 12" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE TWP. OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.
- TREES SHALL NOT BE PLANTED CLOSER THAN (4') FOUR FEET TO A PROPERTY LINE.

sheet index

- LS-1 OVERALL LANDSCAPE PLAN VIEW
- LS-2 GENERAL PLANTING DETAIL
- LS-3 PLANT MATERIAL LIST & PLANTING DETAILS
- LS-4 BUILDING FOUNDATION, CLUBHOUSE & ENTRY PLANTING DETAILS
- LS-5 SITE AMENITY, PERGOLA & ENTRY SIGN DETAILS
- LS-6 POOL DECK PLAN
- LS-7 POOL PERGOLA \ TRELLIS ELEVATIONS & DETAILS

residential landscape requirements:

greenbelt	REQUIRED	PROVIDED
TOTAL LN.FT. OF GREENBELT FRONTAGE	825±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 30 LN.FT. (825' LN.FT. / 30 LN.FT. = 27.5 TREES)	28	28
EIGHT (8) SHRUB PER 30 LN.FT. (825' LN.FT. / 30 LN.FT. = 27.5 X 8 = 220 SHRUBS)	190	255 (A)

interior landscape	REQUIRED	PROVIDED
TOTAL ACRES OF SITE	19.32 AC±	
ACRES OF 60' R.O.M. AREA	56 AC±	
ACRES OF INTERNAL ROAD AREA	1.31 AC±	
TOTAL ACRES OF SITE NET AREA	11.45 AC± (498,762 SQ.FT.)	
TOTAL SQ.FT. OF INTERIOR LANDSCAPING AREA (15% OF 11.45 AC± (498,762 SQ.FT.) = 74,814.3±)	74,814.3±	
ONE (1) DECIDUOUS, ORNAMENTAL OR EVERGREEN TREE PER 300 SQ.FT. (74,814.3 SQ.FT. / 300 SQ.FT. = 249.4 TREES)	250	265 (B)
FIVE (5) SHRUB PER 300 SQ.FT. (74,814.3 SQ.FT. / 300 SQ.FT. = 249.4 X 5 = 1,247 SHRUBS)	1,247	478 (C)

residential buffer	REQUIRED	PROVIDED
TOTAL LN.FT. OF EAST PROPERTY LINE	475±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 15 LN.FT. (475 LN.FT. / 15 LN.FT. = 31.7 TREES)	32	32
FOUR (4) SHRUB PER 15 LN.FT. (475 LN.FT. / 15 LN.FT. = 31.7 X 4 = 126.7 SHRUBS)	127	167 (B)

note:
 'A' - 65 SUPPLEMENTAL SHRUB PLANTINGS TO BE CREDITED TOWARDS INTERIOR LANDSCAPE PLANTING REQUIREMENTS
 'B' - 40 SUPPLEMENTAL SHRUB PLANTINGS TO BE CREDITED TOWARDS INTERIOR LANDSCAPE PLANTING REQUIREMENTS
 'C' - SUPPLEMENTAL PERENNIAL PLANTINGS TO BE CREDITED TOWARDS INTERIOR SHRUB LANDSCAPE PLANTING REQUIREMENTS
 620- PERENNIALS AND GRASSES
 2500- GROUND COVERS



LAWN AREAS TO RECEIVE IRRIGATION & SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE.
 HATCHING DENOTES EXISTING TREES AND VEGETATION

PROPOSED PERGOLA FEATURE

DETENTION BASIN - SEE ENGINEERING PLANS FOR LOCATION, SIZE, SIDE SLOPES, WATER ELEVATION, TOP OF BANK AND DETAILS.

10' (33' 47" DEEP) 12' (33' 30" DEEP)

PROPOSED CLUBHOUSE FACILITY AND POOL

PROPOSED ENTRY SIGN LOCATION

detention

25' VEHICULAR CLEARVIEW LINE

LAWN AREAS TO RECEIVE IRRIGATION & SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.

5' WIDE MEANDERING PEDESTRIAN WALK.

PROPOSED RETAINING WALL. SEE ENGINEERING PLANS FOR DETAILS

PROPOSED RESIDENTIAL UNITS SEE ENGINEERING & ARCHITECTURAL PLANS FOR SITE PLAN, UTILITY LAYOUT, BUILDING ARCHITECTURE & DETAILS.

5' WIDE INTERIOR COLLECTOR WALK, TYP.

TREES SHALL NOT BE PLANTED CLOSER THAN 4 FEET FROM THE PROPERTY LINE

HATCHING DENOTES EXISTING EVERGREEN TREES ON ADJACENT PROPERTY

PROPOSED RETAINING WALL. SEE ENGINEERING PLANS FOR DETAILS

LAWN AREAS TO RECEIVE IRRIGATION & SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.

HATCHING DENOTES EXISTING TREES

tree cluster/grouping planting notes:

- typical 3 to 4 evergreen or canopy tree cluster grouping per same species
- maximum of 8 evergreen tree cluster grouping per same species provided
- maximum of 5 canopy tree cluster grouping per same species provided



client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER ROAD SUITE 120
 TROY, MI 48084

project:
LAKE POINTE

project location:
 White Lake Twp., Michigan

Union Lake Road
 sheet title:
GENERAL LANDSCAPE PLANTING DETAIL

job no./issue/revision date:

LS19.124.11	TWP.	11-12-2019
LS19.124.12	TWP.	12-27-2019
LS20.089.10	TWP.	10-14-2020
LS21.009.01	SPA	1-18-2021
LS21.009.01	SPA	2-02-2021
LS21.009.03	SPA	3-22-2021
LS23.081.08	ENG. (UPDATED)	8-1-2023
LS23.081.12	TWP. COMMENTS	12-3-2023
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drawn by:
JP, DK
 checked by:
FP
 date:
1-30-2024

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project no:
LS24.026.02

sheet no:
LS-2 of 7



PROPOSED ADJACENT CLUBHOUSE FACILITY LANDSCAPE PLANTINGS. SEE SHEET L9-4 FOR DETAILS

DETENTION POND - SEE SHEET L9-3 FOR PROPOSED PLANTINGS AND POND SEED MIX DETAILS

HATCHING DENOTES EXISTING WOODS AND VEGETATION ON ADJACENT PROPERTY TO REMAIN

HATCHING DENOTES EXISTING TREES AND VEGETATION ON ADJACENT PROPERTY TO REMAIN

PROPOSED BUILDING FOUNDATION PLANTINGS. SEE SHT. L9-4 FOR DETAILS

REAR YARD AREAS TO RECEIVE HYDROSEED ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE.

HATCHING DENOTES EXISTING EVERGREEN TREES ON ADJACENT PROPERTY

PROPOSED RETAINING WALL. SEE ENGINEERING PLANS FOR DETAILS

FRONT AND SIDES LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE

tree cluster/grouping planting notes:

1. typical 3 to 4 evergreen or canopy tree cluster grouping per same species
2. maximum of 8-evergreen tree cluster grouping per same species provided
3. maximum of 5-canopy tree cluster grouping per same species provided

2A landscape planting details
 SCALE: 1"=40'-0"

landscape legend

- deciduous trees**
 (Maples, Celtis occidentalis, Zeikova serrata, Oaks, Lindens, Nyssa sylvatica, etc...)
- ornamental trees**
 (Eastern Redbud, Crabs, Hawthorn, Serviceberry, etc...)
- evergreen trees**
 (White Pine, Austrian Pine, Spruces)
- deciduous shrubs**
 (viburnum, forsythia, burning bush, cotoneaster dogwood, etc.)
- evergreen shrubs**
 (Junipers, yews, hollies, arborvitae, boxwood, etc.)
- perennials and/or seasonal flowers**
 (Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, etc...)

PROPOSED UNDERGROUND UTILITIES-SEE ENGINEERING PLAN FOR FINAL LOCATIONS, SIZES, TYPES, ELEVATIONS AND DETAILS.

PROPOSED BUILDING FOUNDATION PLANTINGS. SEE SHT. L9-4 FOR DETAILS

8' WIDE CONC. PUBLIC WALK, TYP.

25' VEHICULAR CLEARVIEW LINE

CROWN CUL-DE-SAC ISLAND 18" AT CENTER LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE.

SEE ENTRY SIGN MONUMENT ON SEE SHEET L9-5 FOR DETAILS

PROPOSED ADJACENT ENTRANCE LANDSCAPE PLANTINGS. SEE SHEET L9-4 FOR DETAILS

OPEN SPACE LAWN AREAS TO RECEIVE IRRIGATION AND SOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE

FELINO A. PASCUAL
and ASSOCIATES
Community Land Planner and
registered Landscape Architect
24333 Orchard Lake Rd, Suite G
Farmington Hills, MI 48336
ph. (248) 557-5588
fax. (248) 557-5416

client:
JMF WHITE LAKE, LLC.
1700 W. BIG BEAVER ROAD SUITE 120
TROY, MI 48084

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CALL MISS DIG
1-800-482-7171
For free location of public utility lines.

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project no:
LS24.026.02

sheet no:
LS-3 of 7

Landscape maintenance notes:

LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.

1. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.

2. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

3. ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

Planting landscape notes:

GENERAL NOTES:

- PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE WHITE LAKE TOWNSHIP, AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
- PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSERY GROWN, IN HEALTHY CONDITION, FREE AT FEELS AND DISEASES.
- MULCH IS TO BE NATURAL COLORED, DOUBLE SHREPPED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
- CALL MISS DIG AT 1-800-482-7171 PRIOR TO ANY CONSTRUCTION.

DECIDUOUS 4 EVERGREEN TREE:

- TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.
- REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.

SHRUB:

- SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

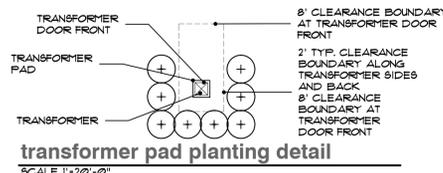
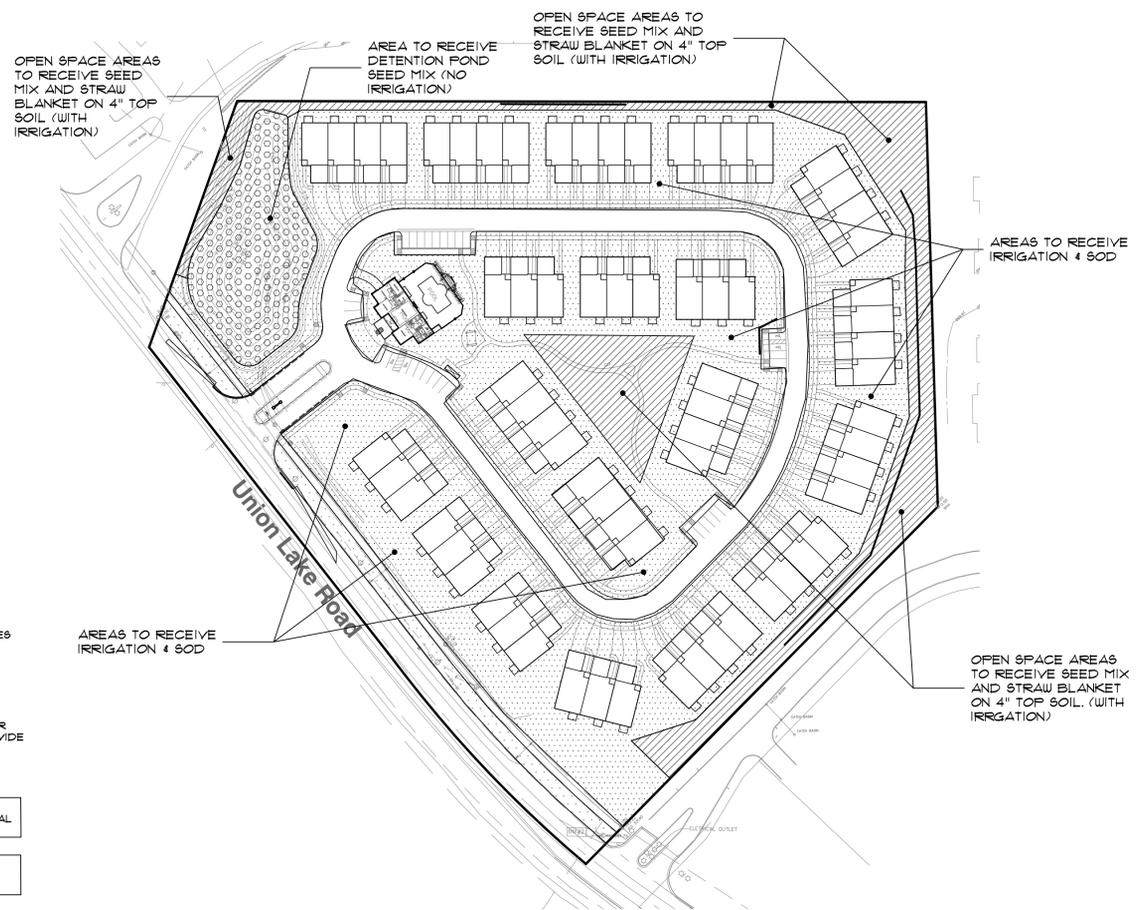
LAWN:

- SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL, SOD TO BE INSTALLED ON MINIMUM 2" TOPSOIL.
- SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:
5% PERENNIAL RYE GRASS
40% RED FESCUE
25% CHEWING FESCUE
60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED, PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA.

TREES IDENTIFIED FOR PROTECTION DURING CONSTRUCTION AND THE MEANS OF PROTECTION SHALL BE IDENTIFIED PRIOR TO FINAL SITE PLAN.

NO CONSTRUCTION SHALL OCCUR UNTIL TREE PROTECTION HAS BEEN INSTALLED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.



plant material list

key	quant. LS-2	botanical name	common name	size	comments
LARGE AND SMALL DECIDUOUS TREES					
GT	8	GLEDTISIA TRI. INERHIS 'SKYCOLE'	SKYLINE LOCUST	2 1/2" BB	
TC	8	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2" BB	
LB	7	LIQUIDAMBAR SYTRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
ZS	12	ZELKOVA SERRATE 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2 1/2" BB	
AR	11	ACER R. 'FRANKSRED'	RED SUNSET RED MAPLE	2 1/2" BB	
CO	10	CELTIS OCCIDENTALIS	HACKBERRY	2 1/2" BB	
LT	10	LIRIODENDRON TULIPIFERA	TULIPTREE	2 1/2" BB	
QB	12	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	2 1/2" BB	
AF	18	ACER X FREEMANII 'JEFFERED'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
APC	3	ACER P. 'CRIMSON KING'	CRIMSON KING NORWAY MAPLE	2 1/2" BB	
AS	2	ACER SACCHARUM	SUGAR MAPLE	2 1/2" BB	
OY	9	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	2 1/2" BB	
CJ	2	CERCIDIPHYLLUM JAPONICUM	KATSURATREE	2 1/2" BB	
CB	6	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAN	2 1/2" BB	
BR	2	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2 1/2" BB	
CC	7	CERCIS CANADENSIS	EASTERN REDBUD (MULTI-STEM)	8' BB	(MULTI-STEM)
AC	6	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	8' BB	(MULTI-STEM)
CK	5	CORNUS KOUSA	KOUSA DOGWOOD	2" BB	
CP	1	CRATAEGUS PHAENOPYRUM	WASHINGTON HAUHORN	2" BB	
MS	6	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" BB	
MF	7	MALUS FLORIBUNDA	JAPANESE FLOWERING CRABAPPLE	2" BB	
MU	7	MAGNOLIA LILIFLORA 'JANE'	JANE MAGNOLIA	8' BB	(MULTI-STEM)
MR	4	MALUS 'RED BARRON'	RED BARRON CRABAPPLE	2" BB	
AP	2	ACER P. 'BLOODGOOD'	BLOODGOOD LACE LEAF JAPANESE MAPLE	7'1" CONT. T. HIGH	
LARGE AND SMALL EVERGREENS					
AU	36	ABIES CONCOLOR	CONCOLOR WHITE FIR	8' BB	
AUL	18	ABIES CONCOLOR	CONCOLOR WHITE FIR	10' BB O	
PA	34	PICEA ABIES	NORWAY SPRUCE	8' BB	
PAL	20	PICEA ABIES	NORWAY SPRUCE	10' BB O	
PD	32	PICEA GLAUCA 'DENSATA'	BLACK HILL SPRUCE	8' BB	
PDL	20	PICEA GLAUCA 'DENSATA'	BLACK HILL SPRUCE	10' BB O	
SHRUBS					
YD	26	VIBURNUM DENTATUM 'CHICAGO LUSTRE'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	3' BB	60" SPACING O.C.
FI	50	FORSYTHIA X INTERMEDIA	BORDER FORSYTHIA	3" BB	60" SPACING O.C.
CS	28	CORNUS STOLONIFERA	REDTIG WOOD	3" BB	60" SPACING O.C.
YMK	43	VIBURNUM X B. 'MOHAUK'	MOHAUK VIBURNUM	3" BB	60" SPACING O.C.
RAG	11	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT BURNING	24" CONT	48" SPACING O.C.
EF	55	ELONYMUS FORTUNEI 'MOONSHADOW'	MOONSHADOW ELONYMUS	24" CONT	48" SPACING O.C.

detention basin seed mix:

Sedge Meadow Mix: (Edge Zone)
A mix of sedges, grasses and wildflowers recommended for soils that are saturated during most of the growing season. Use just above the normal waterline in the capillary zone in our Lake Edge Enhancement System.

Sedge Meadow Mix oz/acre

1. Carex comosa (Bristly Sedge)	1. Aster puniceus (Swamp Aster)
2. Carex cristatella (Crested Sedge)	2. Aster umbellatus (Flat-topped Aster)
3. Carex frankii (Frank's Sedge)	3. Cassia hebecarpa (Wild Senna)
4. Carex hystericina (Porcupine Sedge)	4. Eupatorium maculatum (spotted Joe-Pye Weed)
5. Carex lurida (Lurid Sedge)	5. Eupatorium perfoliatum (Boneset)
6. Carex stipata (Awn-Fruited Sedge)	6. Helianthus autumnalis (Autumn Sneezeweed)
7. Carex trichoides (Pinnated Oval Sedge)	7. Liatris spicata (Dense Spizing Star)
8. Carex vulpinoidea (Fox Sedge)	8. Lobelia cardinalis (Cardinal Flower)
9. Elymus virginicus (Virginia Wild Rye)	9. Lobelia siphilitica (Great Blue Lobelia)
10. Glycyria striata (Fowl Manna Grass)	10. Penstemon digitalis (Foxglove Beardtongue)
11. Leersia oryzoides (Rice Cut Grass)	11. Pycnanthemum virginicum (Mountain Mint)
12. Panicum virgatum (Switchgrass)	12. Rudbeckia fulgida speciosa (Showy Black-Eyed Susan)
13. Scirpus atrovirens (Dark Green Bulrush)	13. Rudbeckia hirta (Black-Eyed Susan)
	14. Rudbeckia subtomentosa (Sweet Black-Eyed Susan)
	15. Siphium integrifolium (Raisinweed)
	16. Siphium perfoliatum (Cupplant)
	17. Siphium terebinthaceum (Prairie Dock)
	18. Solidago patula (Swamp Goldenrod)
	19. Solidago rigida (Ricklefs's Goldenrod)
	20. Verbena hastata (Blue Vervain)
	21. Veronica fasciculata (Smooth Ironweed)
	22. Veronicastrum virginicum (Culver's Root)
	23. Zizia aurea (Golden Alexander)

Forbs oz/acre

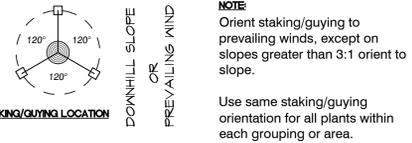
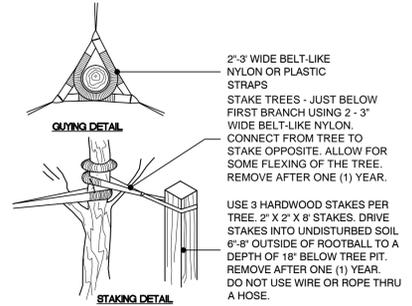
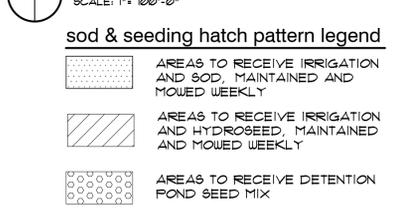
1. Alisma subcordatum (Water plantain)	1. Aster puniceus (Swamp Aster)
2. Angelica atropurpurea (Angelica)	2. Aster umbellatus (Flat-topped Aster)
3. Aster novae-angiae (New England Aster)	3. Cassia hebecarpa (Wild Senna)
	4. Eupatorium maculatum (spotted Joe-Pye Weed)
	5. Eupatorium perfoliatum (Boneset)
	6. Helianthus autumnalis (Autumn Sneezeweed)
	7. Liatris spicata (Dense Spizing Star)
	8. Lobelia cardinalis (Cardinal Flower)
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	20. Verbena hastata (Blue Vervain)
	21. Veronica fasciculata (Smooth Ironweed)
	22. Veronicastrum virginicum (Culver's Root)
	23. Zizia aurea (Golden Alexander)

Components per acre
8 lbs grasses and sedges; 3 lbs forbs

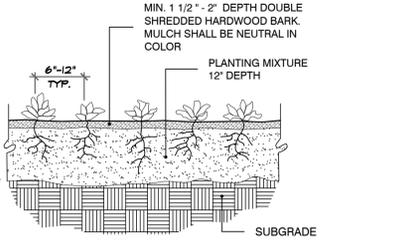
annual cover: (Edge, Upland & Dry Upland Zones)
50% Temporary Grasses: will contain two of the following species.
Seed Oats: Avena sativa
Annual Rye: Lolium multiflorum
Winter Wheat: Triticum aestivum
American Slough Grass: Beckmannia syzigachne

SOURCE:
NATIVESCAPE LLC
P.O. BOX 122
MANCHESTER, MICHIGAN 48058
ph: 517.456.9696
www.nativescape.net

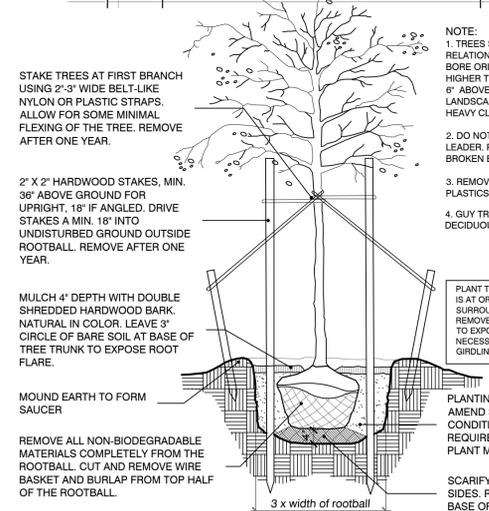
sod & seeding area reference location map



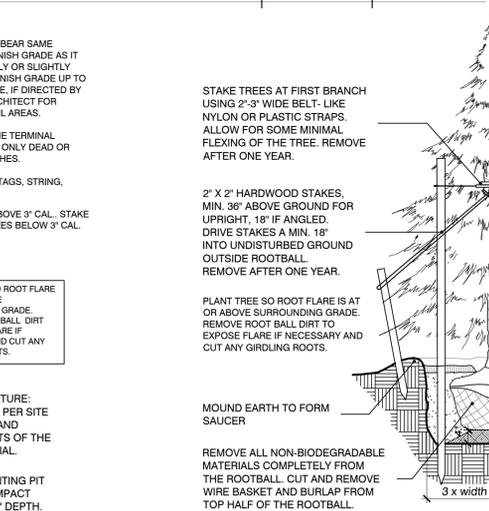
tree staking detail
no scale



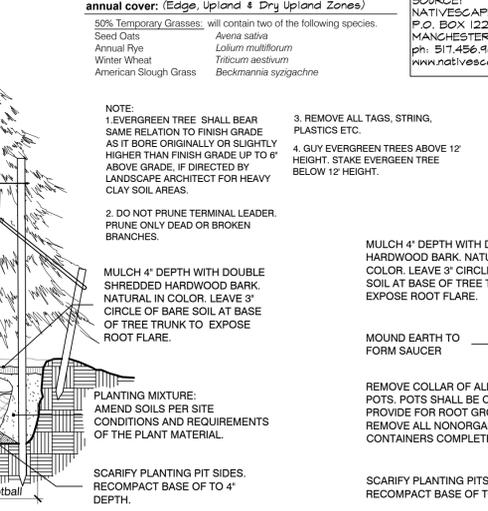
perennial planting detail
no scale



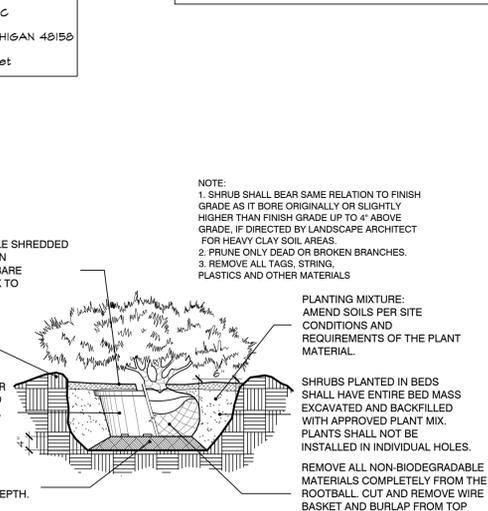
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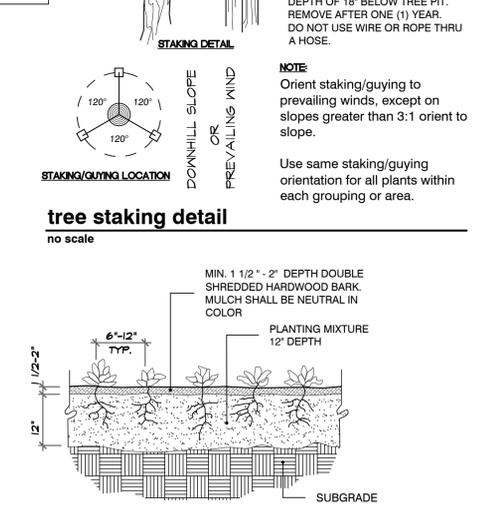
evergreen planting detail
no scale



shrub planting detail
no scale



shrub planting detail
no scale



perennial planting detail
no scale

FP A
FELINO A. PASCUAL
 and ASSOCIATES
 Community Land Planner and
 registered Landscape Architect
 24333 Orchard Lake Rd, Suite G
 Farmington Hills, MI 48336
 ph. (248) 557-5588
 fax. (248) 557-5416



client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER ROAD SUITE 120
 TROY, MI 48084

project:
LAKE POINTE

project location:
 White Lake Twp., Michigan

Union Lake Road
 sheet title:
BLDG. FOUNDATION, CLUBHOUSE AND ENTRY PLANTINGS

job no./issue/revision date:

LS19.124.11	TWP.	11-12-2019
LS19.124.12	TWP.	12-27-2019
LS20.089.10	TWP.	10-14-2020
LS21.009.01	SPA	1-18-2021
LS21.009.01	SPA	2-02-2021
LS21.009.03	SPA	3-22-2021
LS23.081.08	ENG. UPDATED	8-1-2023
LS23.081.12	COMMENTS	12-3-2023
LS24.026.02	COMMENTS	2-7-2024

drawn by:
JP, DK
 checked by:
FP
 date:
1-30-2024

notice:
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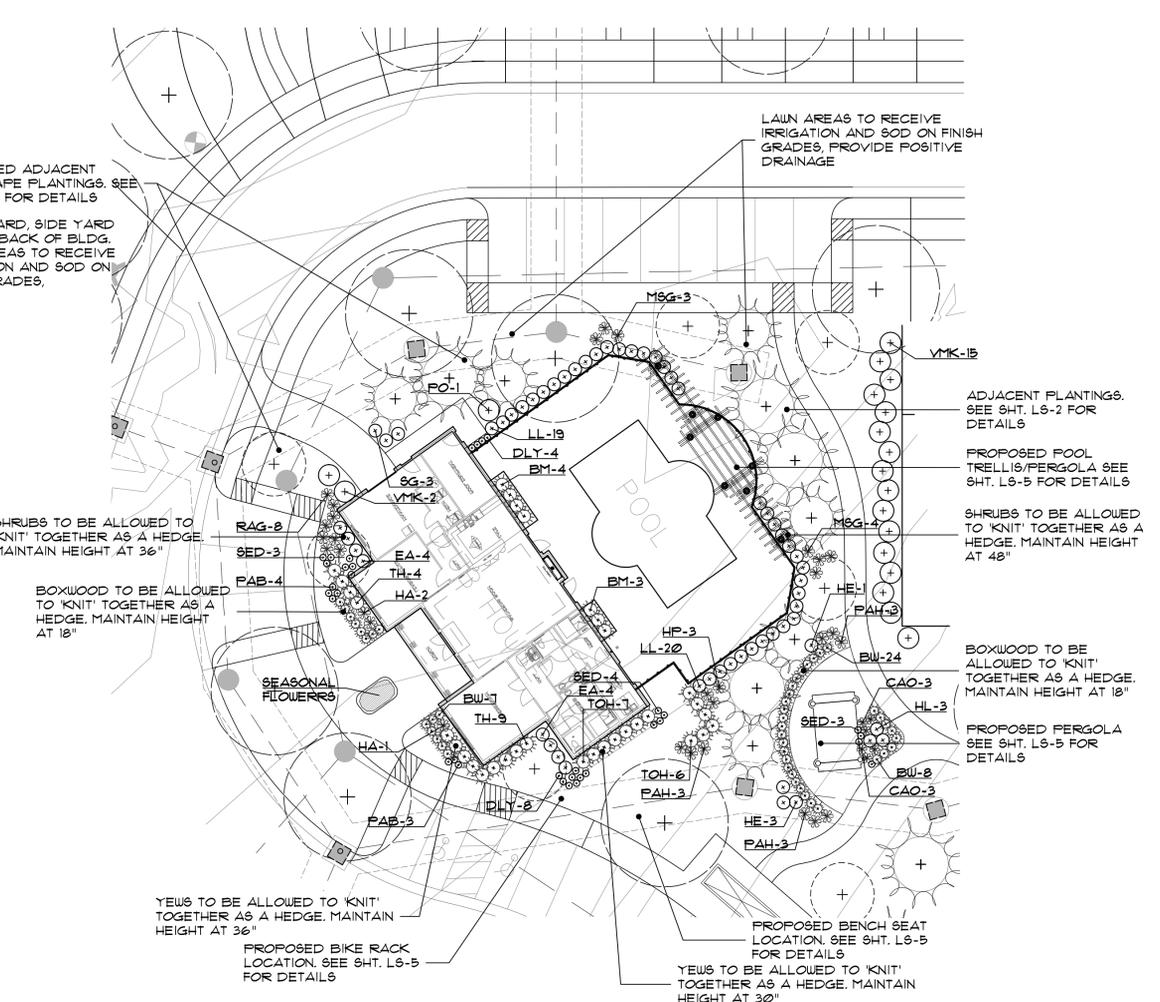
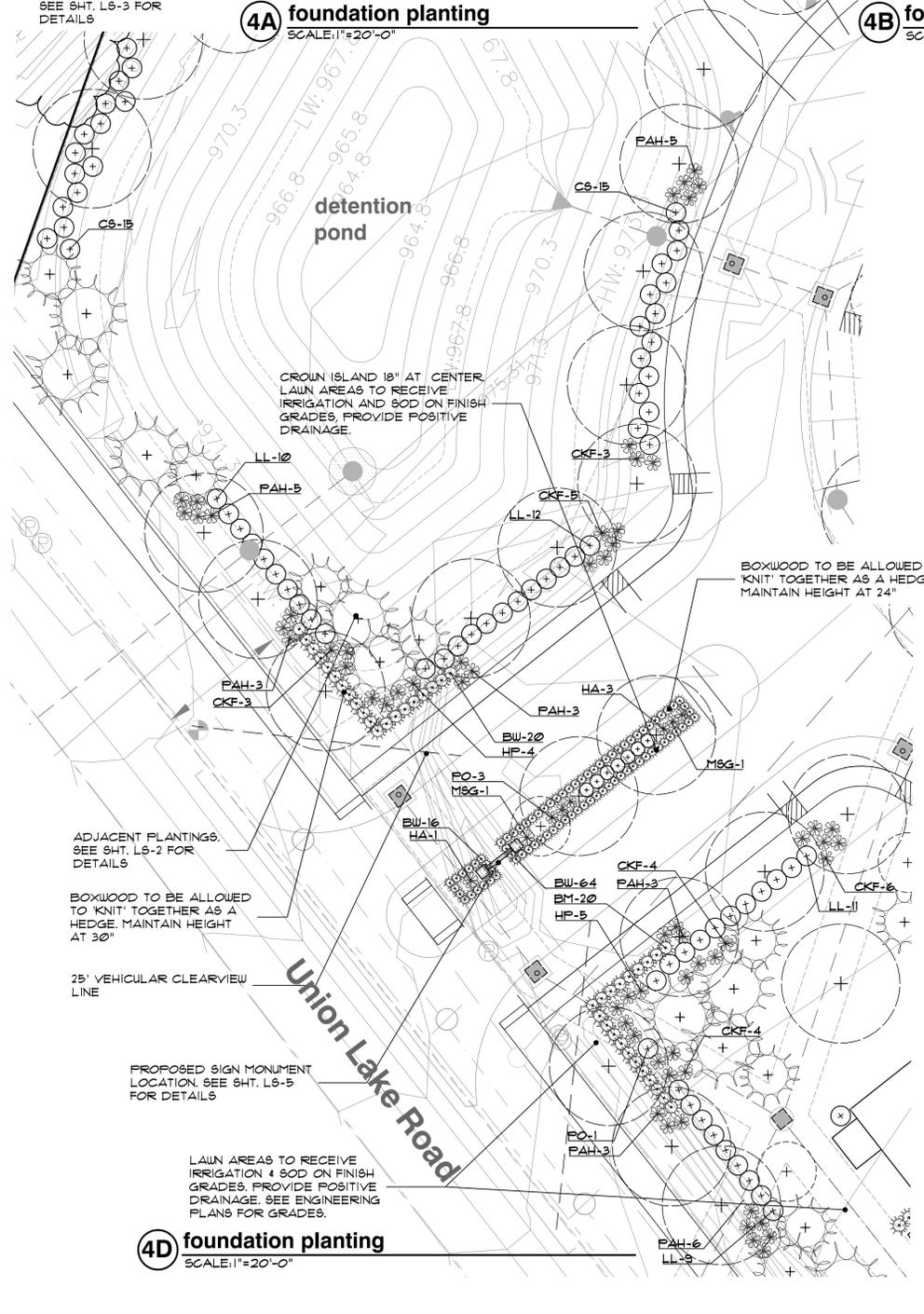
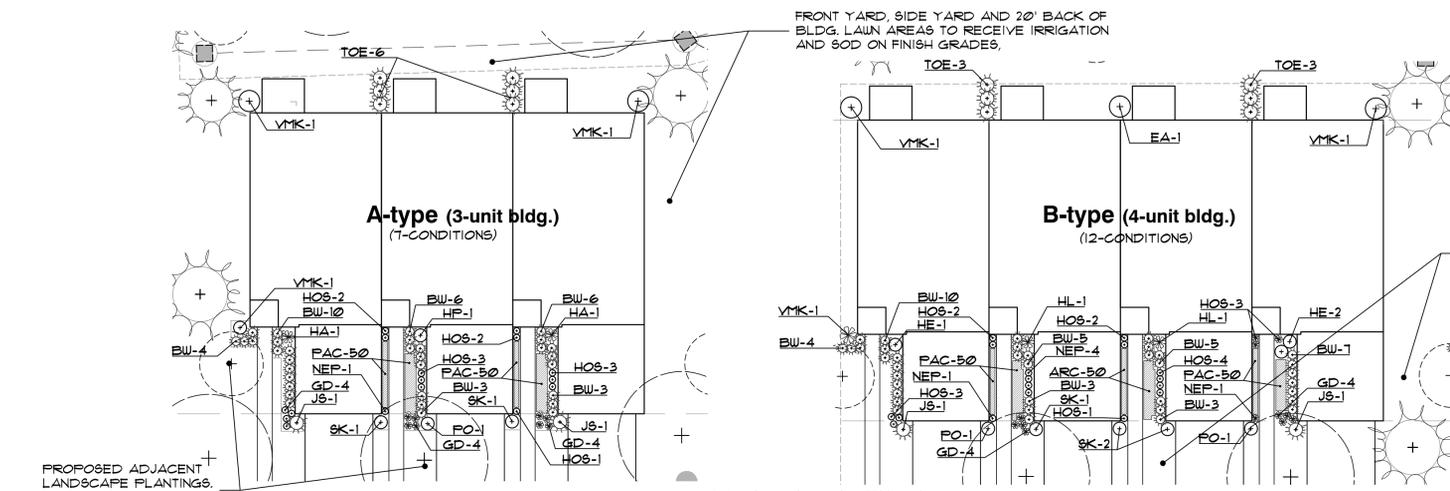
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3 WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171
 For free location of public utility lines.

The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

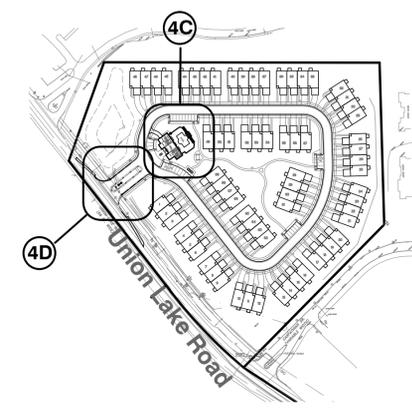
project no:
LS24.026.02

sheet no:
LS-4 of 7



plant material list

key	quant. 4A	quant. 4B	quant. 4C	quant. 4D	botanical name	common name	size	comments
SHRUBS								
SK	14	36	-	-	SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC	3' BB.	
HP	1	-	3	9	HYDRANGEA PANICLE 'BOBO'	BOBO HYDRANGEA	9" CONT.	
HA	14	-	3	4	HYDRANGEA 'ANNABELLE'	ANNABELLE HYDRANGEA	9" CONT.	
HL	-	24	3	-	HYDRANGEA 'LINDSEY ANN'	LA DREAMIN HYDRANGEA	9" CONT.	
HE	-	36	4	-	HYDRANGEA M. 'GLOWING EMBERS'	GLOWING EMBERS HYDRANGEA	9" CONT.	
PO	1	24	1	4	PHYSCOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	9" CONT.	
SG	-	-	3	-	SPIRAEA X.B. 'BUMALDA 'GOLDFLAME'	GOLDFLAME SPIRAEA	9" CONT.	
VMK	21	36	11	-	VIBURNUM X.B. 'MOHAUK'	MOHAUK VIBURNUM	3' BB	
LL	-	-	39	42	LIGUSTRUM X. VICARYI	GOLDEN VICARY PRIVET	9" CONT.	60" O.C. SPACING
EA	-	12	8	-	BUONYMUS ALATUS COMPACTA	DWARF WINGED BURNING BUSH	3' BB	60" O.C. SPACING
RAG	-	-	8	-	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	9" CONT.	
BW	224	444	39	100	BUXUS M. 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" HIGH BB	24" O.C. SPACING
BM	-	-	1	20	BUXUS M. 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	30" HIGH BB	32" O.C. SPACING
TH	-	-	19	-	TAXUS 'HICKSII'	HICK YEWUS	30" BB	36" O.C. SPACING
TOE	42	12	-	-	THUJA OCCIDENTALIS 'SHARADG'	EMERALD GREEN ARBORVITAE	5' BB.	36" O.C. SPACING
TOH	-	-	13	-	THUJA OCCIDENTALIS 'HELTZ'	HELTZ ARBORVITAE	9" CONT.	36" O.C. SPACING
CS	-	-	-	30	CORNUS STOLONIFERA	REDTWIG DOGWOOD	9" CONT.	60" O.C. SPACING
JS	14	24	-	-	JUNIPERUS SKYROCKET	SKYROCKET JUNIFER	5' BB	60" O.C. SPACING
PERENNIALS AND GRASSES								
NEP	1	12	-	-	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW NEPETA	4" CONT.	24" O.C. SPACING
GD	84	36	-	-	GERANIUM X. 'ROZANNE'	ROZANNE GERANIUM	32 / FLAT	12" O.C. SPACING
PAC	100	1200	-	-	FACHYSANDRA TERMINALIS	JAPANESE FACHYSANDRA	32 / FLAT	12" O.C. SPACING
DLY	-	-	12	-	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAY'LILY	4" CONT.	24" O.C. SPACING
SED	-	-	10	-	SEDUM X. 'NEON'	NEON SEDUM	4" CONT.	12" O.C. SPACING
HOS	11	180	-	-	HOSTA 'PATRIOT'	PATRIOT HOSTA	4" CONT.	24" O.C. SPACING
PAH	-	-	9	28	FENNIBETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	9" CONT.	36" O.C. SPACING
CKF	-	-	-	25	CALAMAGROSTIS X.A. 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	9" CONT.	36" O.C. SPACING
ARC	-	600	-	-	AUGIA REPTAN 'CATLIN'S GAINT'	CATLIN'S GAINT AUGIA	32 / FLAT	12" O.C. SPACING
M8G	-	-	1	2	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAPANESE SILVER GRASS	9" CONT.	
PAB	-	-	1	-	FENNIBETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	9" CONT.	36" O.C. SPACING
CAO	-	-	6	-	CALAMAGROSTIS X. ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	9" CONT.	36" O.C. SPACING





client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER ROAD SUITE 120
 TROY, MI 48084

project:
LAKE POINTE
 project location:
 White Lake Twp., Michigan

Union Lake Road
 sheet title:
SITE AMENITY, PERGOLA AND ENTRY SIGN DETAILS
 job no./issue/revision date:
 LS19.124.11 TWP. 11-12-2019
 LS19.124.12 TWP. 12-27-2019
 LS20.089.10 TWP. 10-14-2020
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 LS21.009.01 SPA 2-02-2021
 LS21.009.03 SPA 3-22-2021
 LS23.081.08 ENG. UPDATED 8-1-2023
 LS23.081.12 TWP. COMMENTS 12-3-2023
 LS24.026.02 COMMENTS 2-7-2024

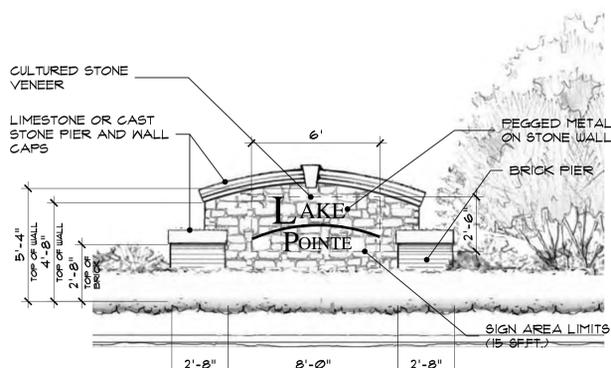
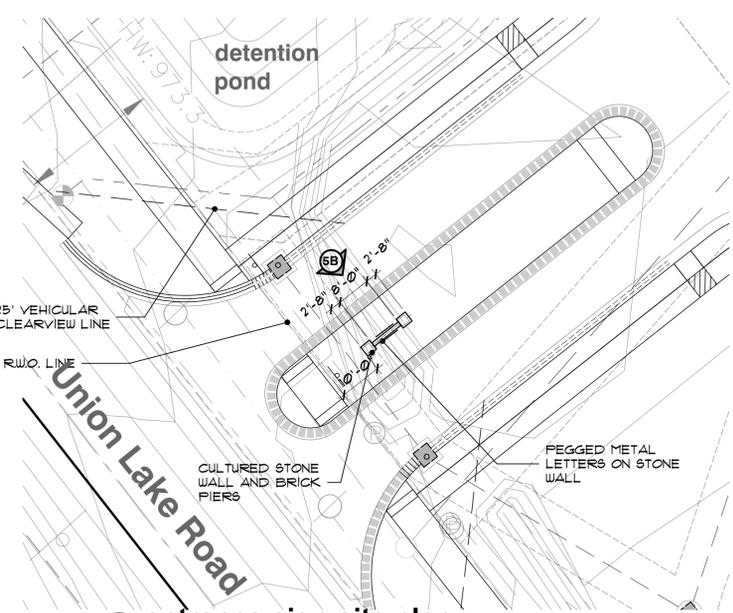
drawn by:
JP, DK
 checked by:
FP
 date:
1-30-2024
 notice:
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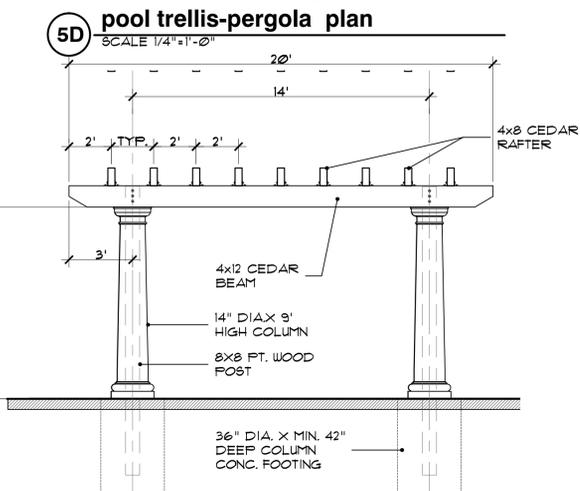
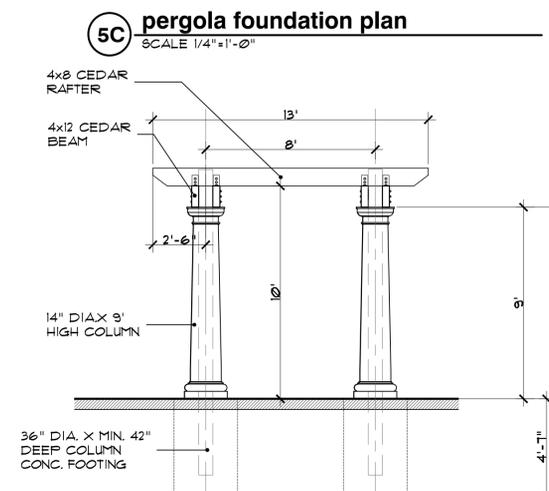
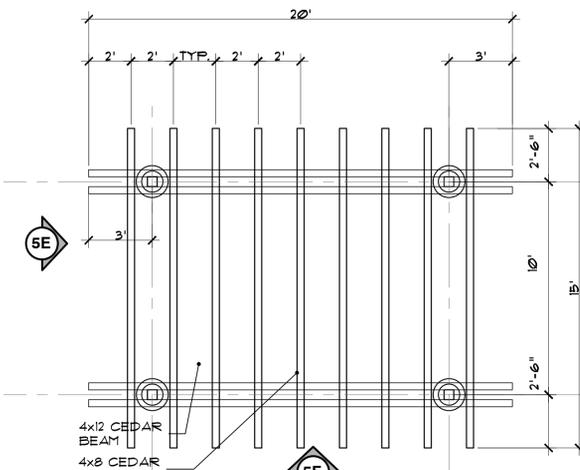
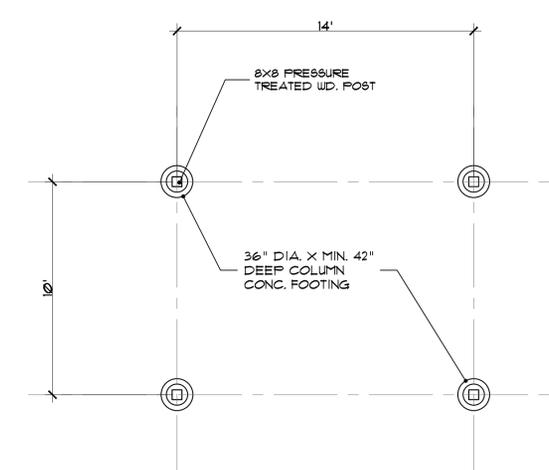
project no:
LS24.026.02

sheet no:
LS-5 of 7



signage monument notes:

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH ARCHITECT.
2. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENTS
4. VERIFY SOIL BEARING CAPACITY PRIOR TO TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.



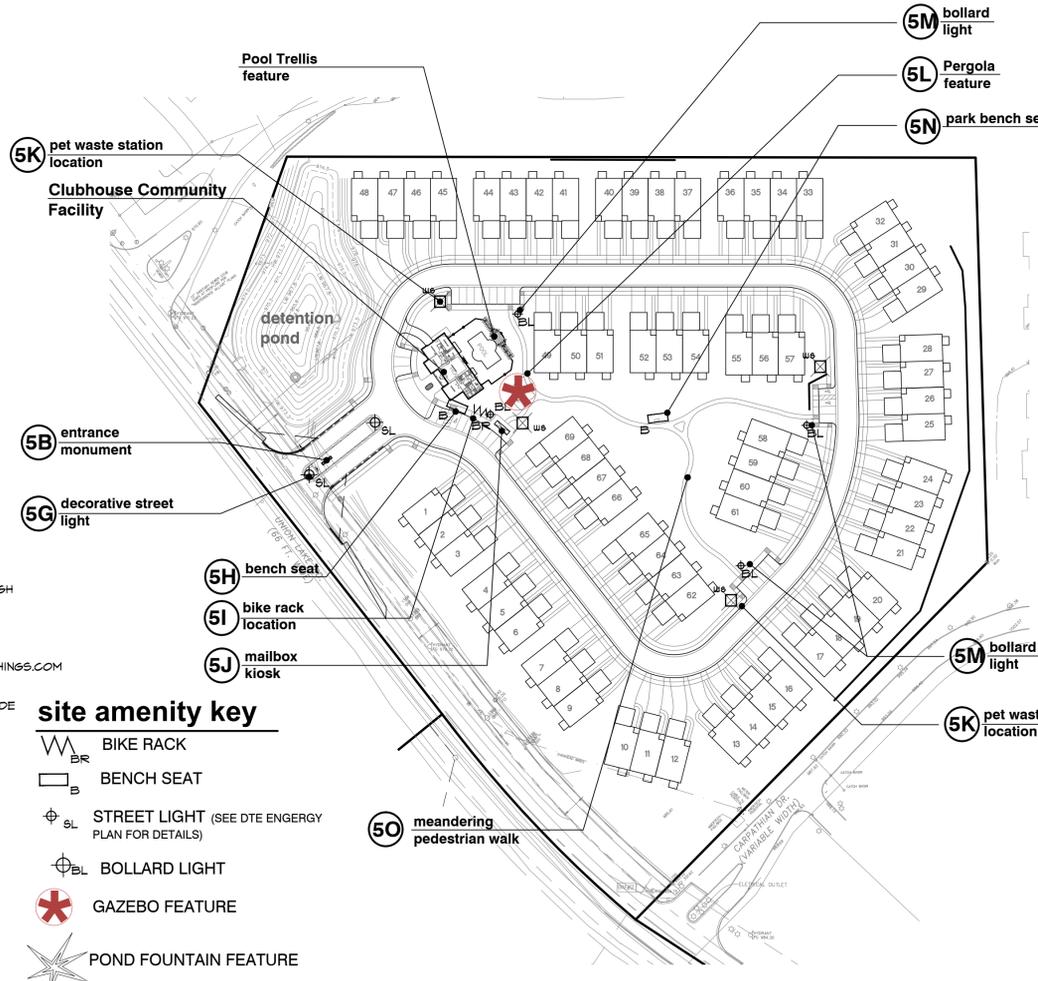
5G decorative pole & light
 (1-CONDITION)
 DTE OUTDOOR LIGHTING ACORN SERIES - 60 WATTS, LED, 4000K OR EQUAL



5H bench seat
 (1-CONDITION)
 MANUFACTURED BY ANOVA, INC.
 211 NORTH LINDBERGH BLVD. SUITE 200 ST. LOUIS, MISSOURI 63141-1804
 TOLL FREE NO. (800)231-1827 WWW.ANOVAFURNISHINGS.COM
 MODEL NO. LENC6 DESCRIPTION: 6' WIDE CONTOUR BENCH FINISH: Black



5I bicycle rack
 (1-CONDITION)
 BIKE RACK BY DUMOR INC. MODEL NO. 130-20 (8-2 SURFACE PLATE MOUNT) 2 3/8" O.D. BLACK POWDER-COATED LOOP OR EQUAL



- site amenity key**
- BR BIKE RACK
 - B BENCH SEAT
 - SL STREET LIGHT (SEE DTE ENRGY PLAN FOR DETAILS)
 - BL BOLLARD LIGHT
 - GZ GAZEBO FEATURE
 - PF POND FOUNTAIN FEATURE



5J mailbox kiosk
 (1-LOCATIONS)



5L pergola feature
 (1-CONDITION)
 STICK BUILT OR KIT FORM. TO BE BUILT BY MANUFACTURER STANDARDS



5N park bench seating
 (1-CONDITIONS)
 6' WIDE PARK BENCH SEAT BY DUMOR, INC. MODEL NO. 34-60D (8-1) SUPPORT: 8-1 EMBEDMENT FINISH: BLACK POWDER-COATED



5K pet waste station
 TOTAL OF 4-CONDITIONS
 BY ZERO WASTE USA 12316 WORLD TRADE DRIVE #102 SAN DIEGO, CA. 92128 PH. 800-784-2568 WWW.ZEROWASTEUSA.COM
 MODEL NO. JJB006-BLACK DESCRIPTION: ENTRY DOG WASTE STATION (73"H X 13"W) FINISH: BLACK



5M bollard light
 (4-CONDITIONS)
 BY LITHONIA LIGHTS OR EQUAL MODEL: DSXB LED (D-SERIES LED BOLLARD 8" DIA X 42" HGT.) OR EQUAL.
 ASYMMETRIC (12LED) 22 WATTS, 4000K



5O meandering pedestrian walk
 5' WIDE MEANDERING WALK

lighting note:
 ALL FRONT PORCH LIGHTS AND COACH LIGHTS WILL UTILIZE 75 WATT BULBS.



FELINO A. PASCUAL and ASSOCIATES

Community Land Planner and registered Landscape Architect
24333 Orchard Lake Rd, Suite G
Farmington Hills, MI 48336
ph. (248) 557-5588
fax. (248) 557-5416

seal:



client:

JMF WHITE LAKE, LLC.

1700 W. BIG BEAVER ROAD SUITE 120
TROY, MI 48084

project:

LAKE POINTE

project location:

White Lake Twp., Michigan

Union Lake Road

sheet title:

POOL PERGOLA
TRELLIS ELEVATIONS
& DETAILS

job no./issue/revision date:

LS19.124.11	TWP.	11-12-2019
LS19.124.12	TWP.	12-27-2019
LS20.089.10	TWP.	10-14-2020
LS21.009.01	SPA	1-18-2021
LS21.009.01	SPA	2-02-2021
LS21.009.03	SPA	3-22-2021
LS23.081.08	ENG. UPDATED	8-1-2023
LS23.081.12	TWP. COMMENTS	12-3-2023
LS24.026.02	TWP. COMMENTS	2-7-2024

drawn by:

JP, DK

checked by:

FP

date:

1-30-2024

notice:

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project no:

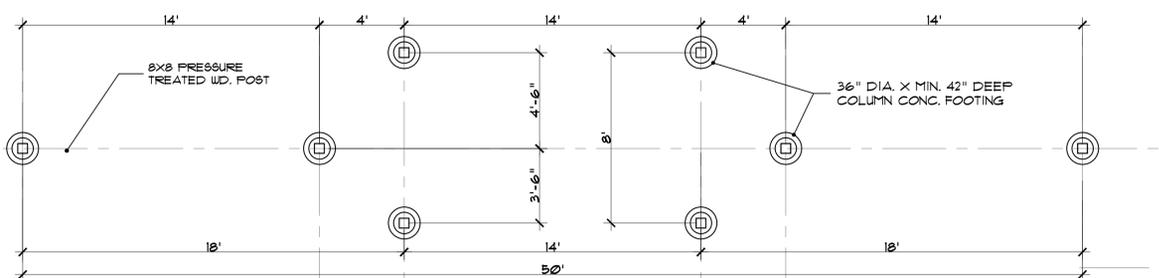
LS24.026.02

sheet no:

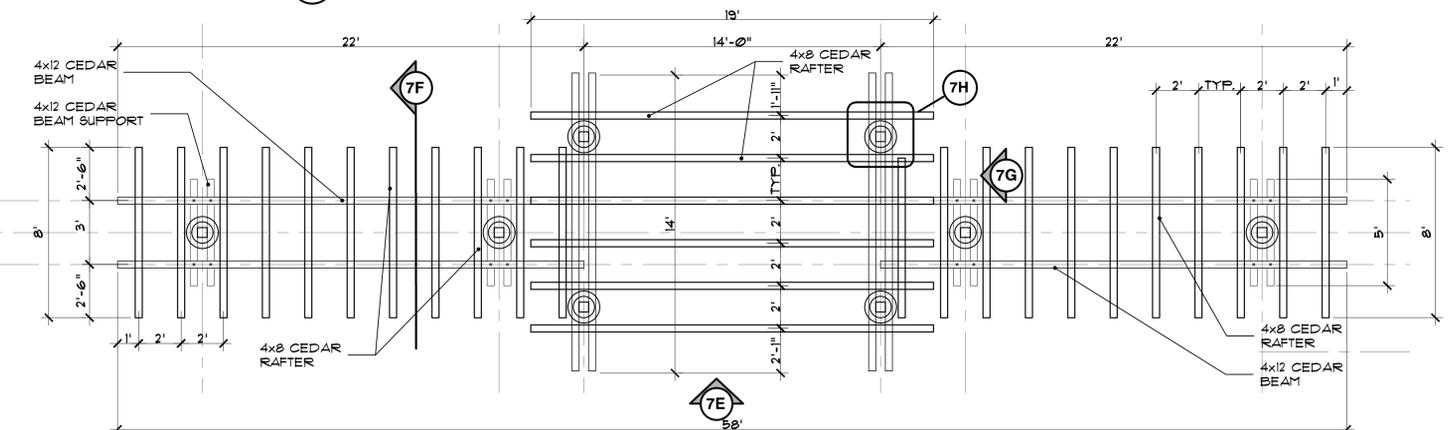
LS-7 of 7

general notes:

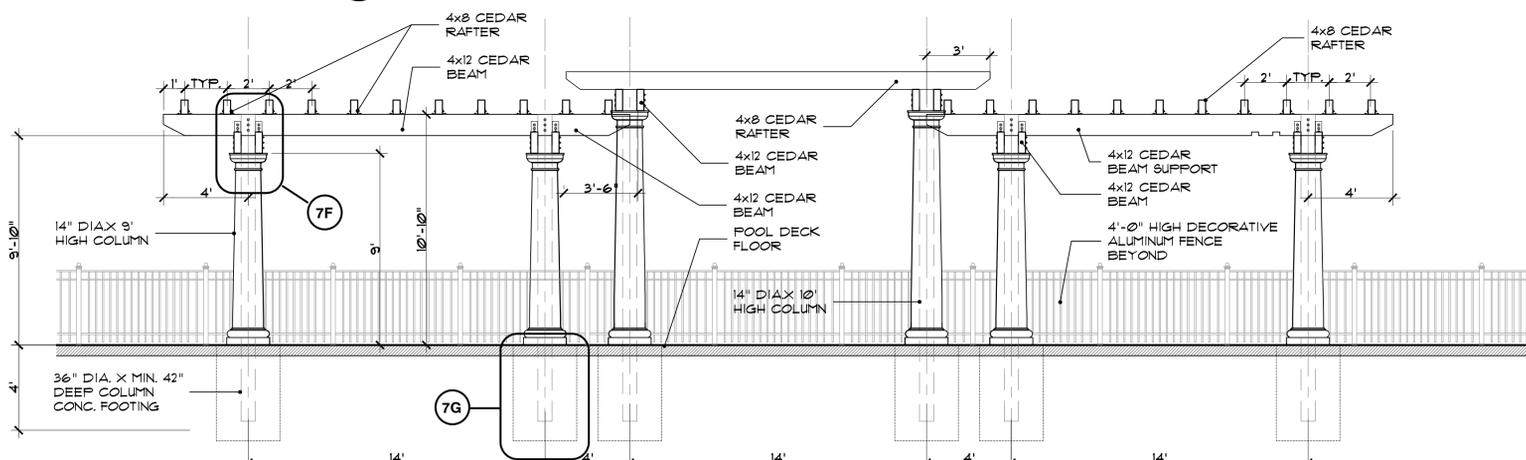
- ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION FROM ALL NECESSARY AGENCIES.
- CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANS AND RELATED WORK. CONTACT THE OWNER WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLANS AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING. CONTACT MISS DIG AT 811 OR 800-482-7171 BEFORE YOU DIG
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY
- VERIFY SOIL BEARING CAPACITY PRIOR TO ANY POST FOOTING CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL POST FOOTING DESIGN.
- ALL EXPOSED SAW CUT AREAS OF CEDAR WOOD LUMBER TO BE SEALED WITH WOOD PRESERVATIVE AS REQUIRED INCLUDING TRIMMED ENDS PER DRAWINGS.
- ALL BRACKETS, FASTENERS, COMPOSITE SCREWS, NAILS, BOLTS, SHALL BE GALVANIZED OR ZINC COATED WITH ACG AND CBA RATED FORMULATIONS.
- GRADES BY OTHERS. FINAL GRADES TO PROVIDE POSITIVE DRAINAGE
- CONSTRUCTION SUPERVISION AND SITE SAFETY SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND SHALL MEET ALL MUNICIPAL AND STATE REQUIREMENTS AND REGULATIONS.
- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2000 P.S.I. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE STRUCTURAL ENGINEER. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER
- PROVIDE NECESSARY SHEETING SHORING BRACING, ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.
- MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS. U.O.N. ± SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. ± EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
- ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
- PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.



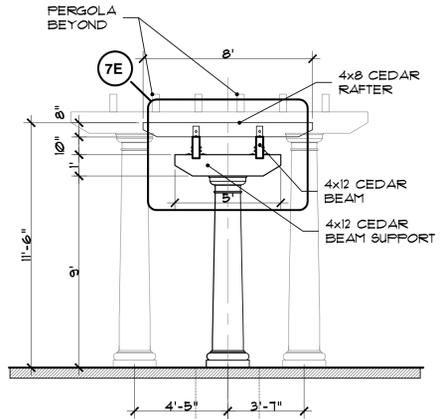
7A pool trellis-pergola foundation plan
SCALE 1/4" = 1'-0"



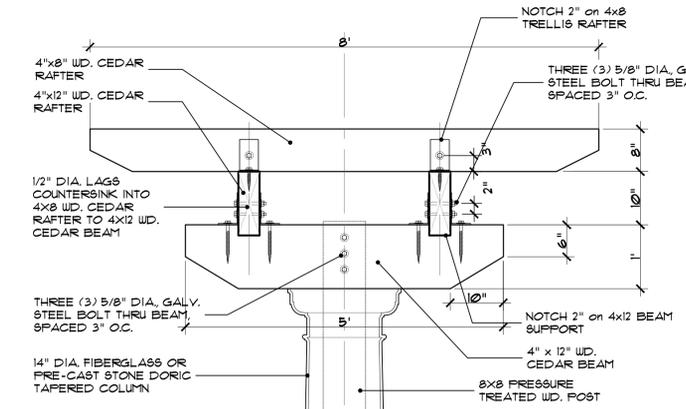
7B pool trellis-pergola plan
SCALE 1/4" = 1'-0"



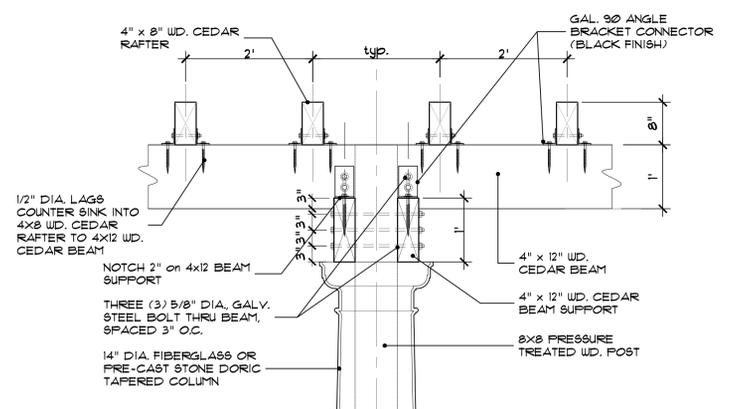
7C pool trellis-pergola elevation view
SCALE 1/4" = 1'-0"



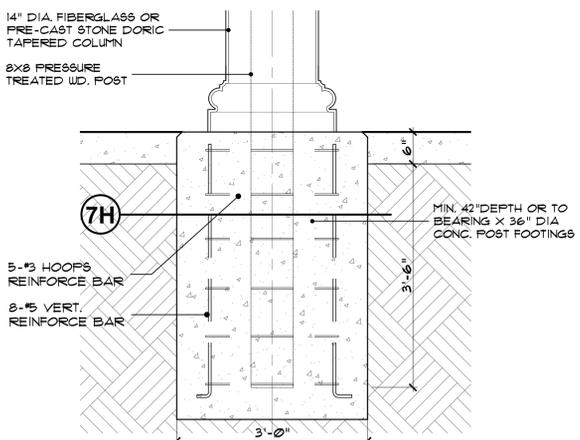
7D pool trellis-pergola elevation view
SCALE 1/4" = 1'-0"



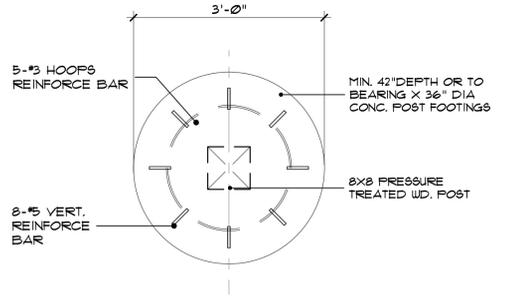
7E trellis connection detail
SCALE: 3/4" = 1'-0"



7F pergola connection detail
SCALE: 3/4" = 1'-0"



7G pergola footing detail
SCALE: 3/4" = 1'-0"



7H pergola footing detail
SCALE: 3/4" = 1'-0"

FP A
FELINO A. PASCUAL
 and ASSOCIATES
 Community Land Planner and
 registered Landscape Architect
 24333 Orchard Lake Rd, Suite G
 Farmington Hills, MI 48336
 ph. (248) 557-5588
 fax. (248) 557-5416

seal:
 client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER ROAD SUITE 120
 TROY, MI 48084

project:
LAKE POINTE
 project location:
 White Lake Twp., Michigan

Union Lake Road
 sheet title:
IRRIGATION PLAN

job no./issue/revision date:
 LS24.026.02 2-7-2024
 LS24.026.02 irrigation 2-21-2024

drawn by:
JP, DK, PH
 checked by:
FP
 date:
2-3-2024

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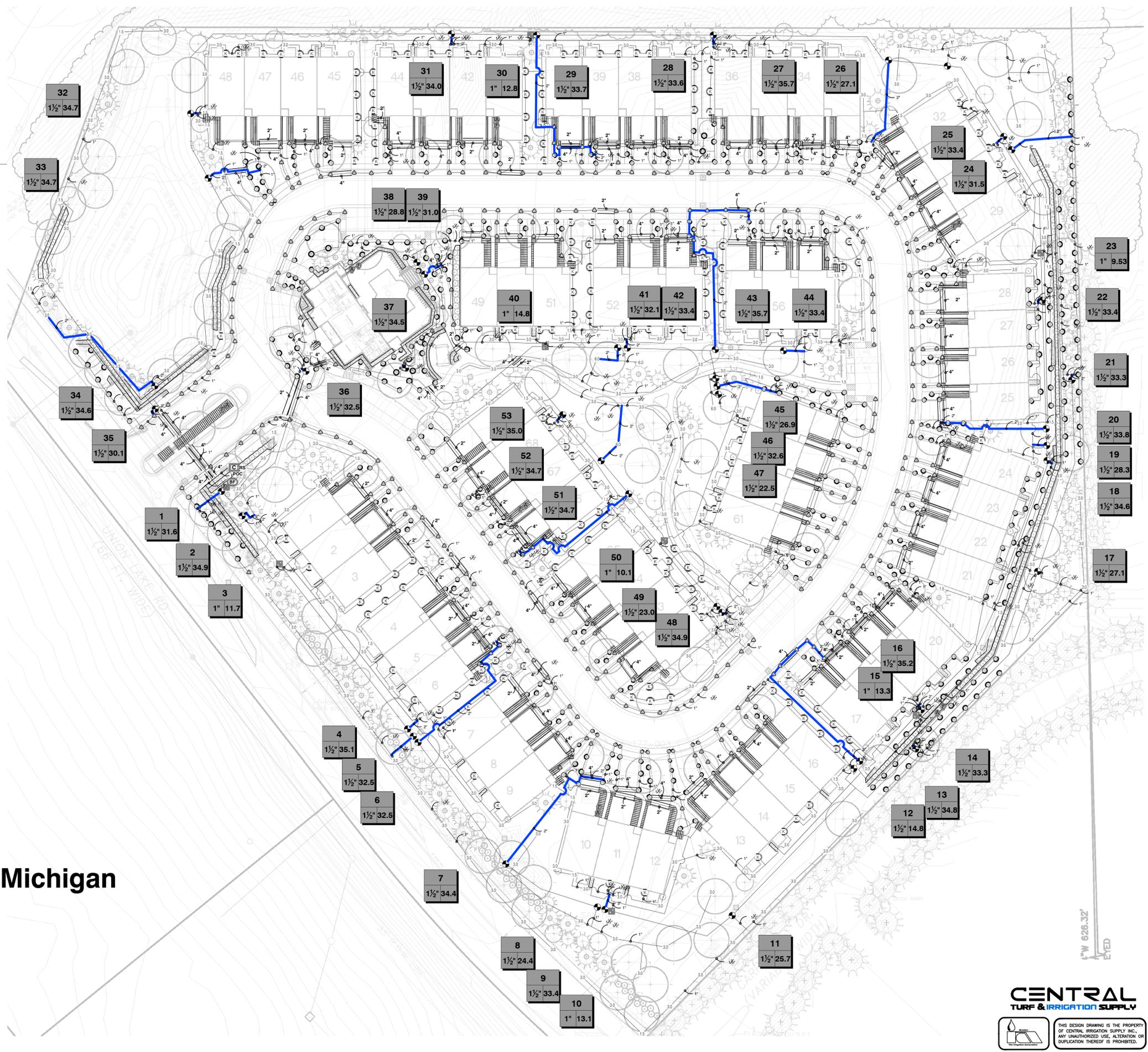

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project no:
LS24.032.02

sheet no:
IRR-1 of 4

CENTRAL
 TURF & IRRIGATION SUPPLY

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IRRIGATION SCHEDULE

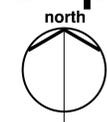
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird 1804 15 Strip Series	371
	Rain Bird 1804 8 Series MPR	58
	Rain Bird 1804 10 Series MPR	193
	Rain Bird 1804 12 Series MPR	25
	Rain Bird 1804 15 Series MPR	227
	Rain Bird 1804 ADJ	4
	Hunter MP2000 PROS-04-PRS40-CV	181
SYMBOL	MANUFACTURER/MODEL	QTY
1.5	Rain Bird 5004-PC 1.5	59
3.0	Rain Bird 5004-PC 3.0	184
6.0	Rain Bird 5004-PC 6.0	4
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird XCZ-100-IVMO 1"	7
	Flush Valve	7
	Drip Air Relief Valve	7
	Area to Receive Dripline	8,245 l.f.
	Rain Bird XFD-06-18	4,284 l.f.
SYMBOL	MANUFACTURER/MODEL	QTY
	Rain Bird IVM-PGA Globe 1-1/2"	46
	Rain Bird 44-RC 1"	1
	Febco 765 2"	1
	Rain Bird ESPLXIVM	1
	Rain Bird WR2-RC	1
	Point of Connection	1
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1"	23,698 l.f.
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1 1/2"	4,756 l.f.
	Irrigation Lateral Line: PVC Class 160 SDR 26 2"	1,688 l.f.
	Irrigation Mainline: PVC Class 160 SDR 26 2 1/2"	4,030 l.f.
	Pipe Sleeve: PVC Class 160 SDR 26 2"	724.4 l.f.
	Pipe Sleeve: PVC Class 160 SDR 26 4"	1,086 l.f.

Valve Callout

#	Valve Number
# #	Valve Flow
# #	Valve Size

irrigation plan for:
Lakepointe
White Lake Township, Michigan

note:
 unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



scale: 0' 20' 40' 80' 120'
 1" = 40' - 0"

seal:

client:
JMF WHITE LAKE, LLC.
 1700 W. BIG BEAVER
 ROAD SUITE 120
 TROY, MI 48084

project:
**LAKE
 POINTE**

project location:
 White Lake Twp.,
 Michigan

Union Lake Road
 sheet title:

IRRIGATION PLAN

job no./issue/revision date:
 LS24.026.02
 LS24.026.02
 LS24.026.02

drawn by:
JP, DK, PH
 checked by:
FP
 date:
2-3-2024

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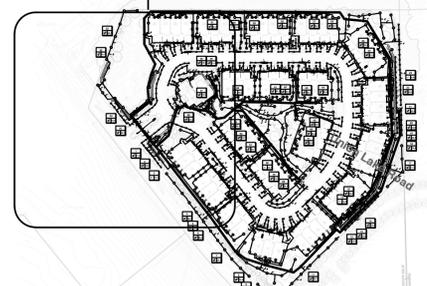
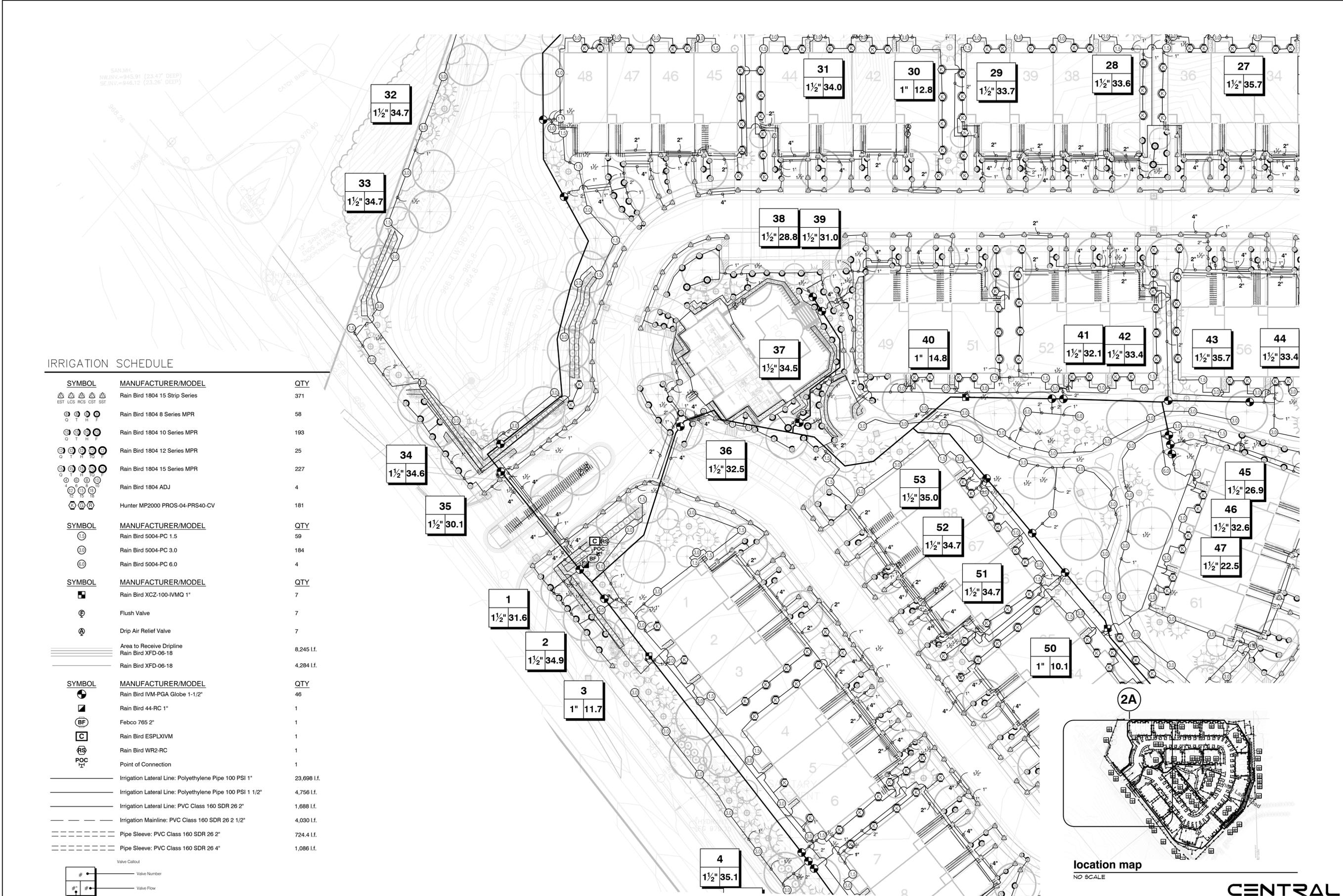
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project no:
LS24.032.02

sheet no:
IRR-2 of 4



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location map
 NO SCALE

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY
△	Rain Bird 1804 15 Strip Series	371
○	Rain Bird 1804 8 Series MPR	58
○	Rain Bird 1804 10 Series MPR	193
○	Rain Bird 1804 12 Series MPR	25
○	Rain Bird 1804 15 Series MPR	227
○	Rain Bird 1804 ADJ	4
○	Hunter MP2000 PROS-04-PRS40-CV	181
○	Rain Bird 5004-PC 1.5	59
○	Rain Bird 5004-PC 3.0	184
○	Rain Bird 5004-PC 6.0	4
■	Rain Bird XCZ-100-IVMQ 1"	7
⊕	Flush Valve	7
⊕	Drip Air Relief Valve	7
≡	Area to Receive Dripline	8,245 l.f.
≡	Rain Bird XFD-06-18	4,284 l.f.
○	Rain Bird IVM-PGA Globe 1-1/2"	46
□	Rain Bird 44-RC 1"	1
BF	Febco 765 2"	1
C	Rain Bird ESPLXIVM	1
RS	Rain Bird WR2-RC	1
POC	Point of Connection	1
—	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1"	23,698 l.f.
—	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1 1/2"	4,756 l.f.
—	Irrigation Lateral Line: PVC Class 160 SDR 26 2"	1,688 l.f.
—	Irrigation Mainline: PVC Class 160 SDR 26 2 1/2"	4,030 l.f.
—	Pipe Sleeve: PVC Class 160 SDR 26 2"	724.4 l.f.
—	Pipe Sleeve: PVC Class 160 SDR 26 4"	1,086 l.f.
•	Valve Callout	
•	Valve Number	
•	Valve Flow	
•	Valve Size	

2A IRRIGATION PLAN
 SCALE: 1"=30'-0"



FELINO A. PASCUAL and ASSOCIATES

Community Land Planner and registered Landscape Architect
24333 Orchard Lake Rd, Suite G
Farmington Hills, MI 48336
ph. (248) 557-5588
fax. (248) 557-5416

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1700 W. BIG BEAVER ROAD SUITE 120
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project:
LAKE POINTE

project location:
White Lake Twp., Michigan

Union Lake Road
sheet title:
IRRIGATION PLAN

job no./issue/revision date:
LS24.026.02 ^{UPDATES} COMMENTS 2-7-2024
LS24.026.02 irrigation 2-21-2024

drawn by:
JP, DK, PH
checked by:
FP
date:
2-3-2024

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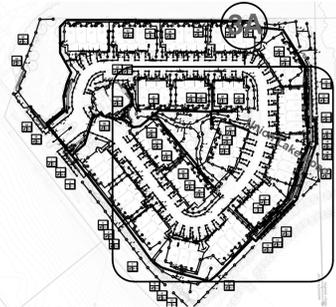
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project no:
LS24.032.02

sheet no:
IRR-3 of 4



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location map
NO SCALE



3A IRRIGATION PLAN
SCALE: 1"=30'-0"

220'04" W 626.32'
SURVEYED



FELINO A. PASCUAL
and ASSOCIATES
Community Land Planner and
registered Landscape Architect
24333 Orchard Lake Rd, Suite G
Farmington Hills, MI 48336
ph. (248) 557-5588
fax. (248) 557-5416

seal:

client:
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1700 W. BIG BEAVER
ROAD SUITE 120
TROY, MI 48084

project:
LAKE POINTE

project location:
White Lake Twp., Michigan

Union Lake Road

sheet title:
IRRIGATION NOTES & DETAILS

job no./issue/revision date:

LS24.026.02 ^{UPDATES} COMMENTS: 2-7-2024
LS24.026.02 irrigation 2-21-2024

drawn by:
JP, DK, PH

checked by:
FP

date:
2-3-2024

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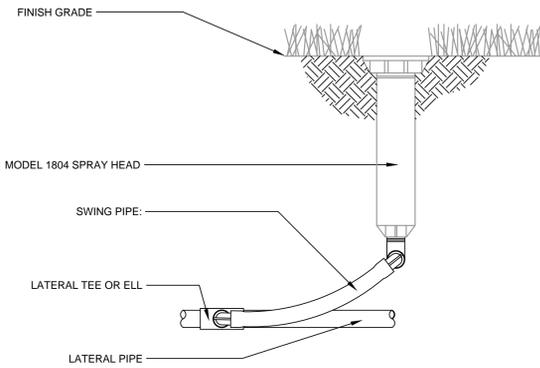


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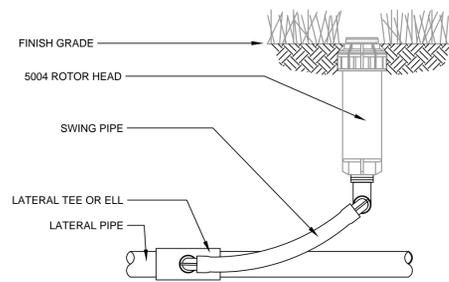
project no:
LS24.032.02

sheet no:
IRR-4 of 4

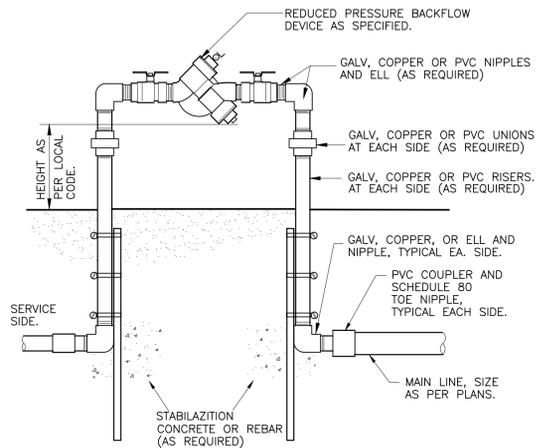
INSTALLATION MAY DIFFER PER LOCAL CODE



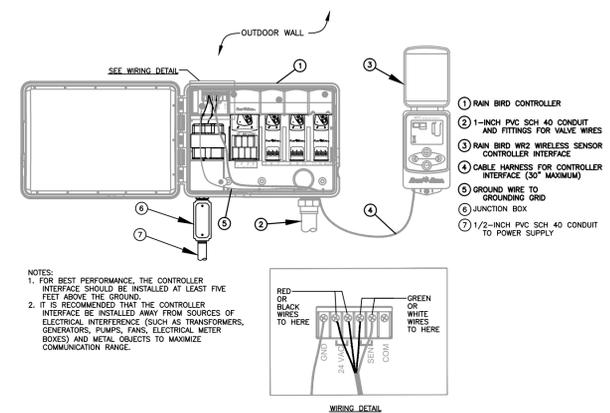
1 1804 SPRAY HEAD WITH SWING PIPE
S1-SP-RAI-01



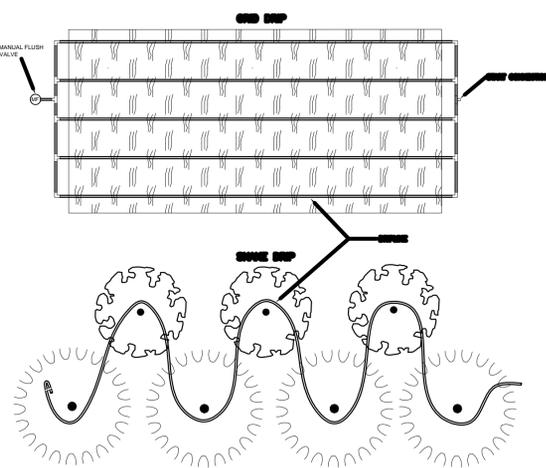
2 5004 ROTOR HEAD WITH SWING PIPE
NTS S1-RO-RAI-01



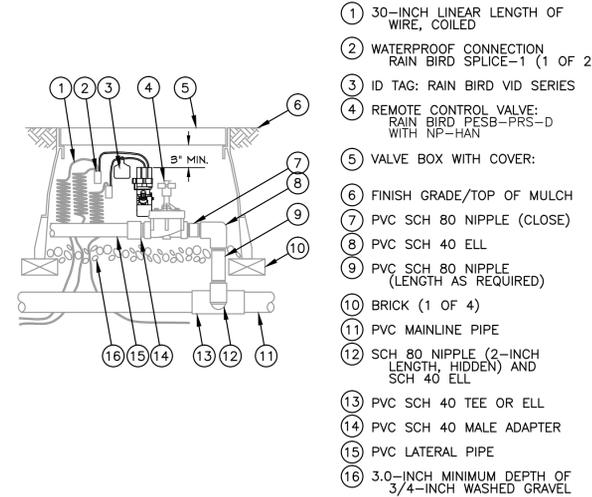
3 REDUCED PRESSURE BACKFLOW DEVICE STANDARD
S1-BA-01



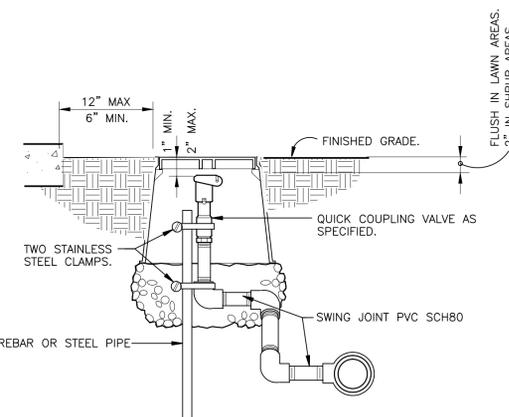
00 WR2 WIRELESS RAIN SENSOR
NTS



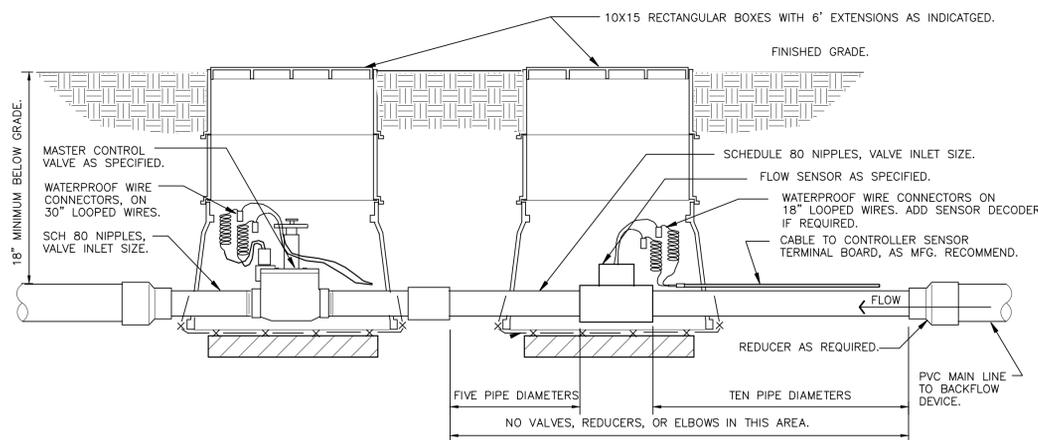
5 TYPICAL DRIP TUBING LAYOUT
NTS



6 PEB SERIES ELECTRIC VALVE
S1-VA-RAI-03



8 QUICK COUPLING VALVE IN BOX
S1-QU-01



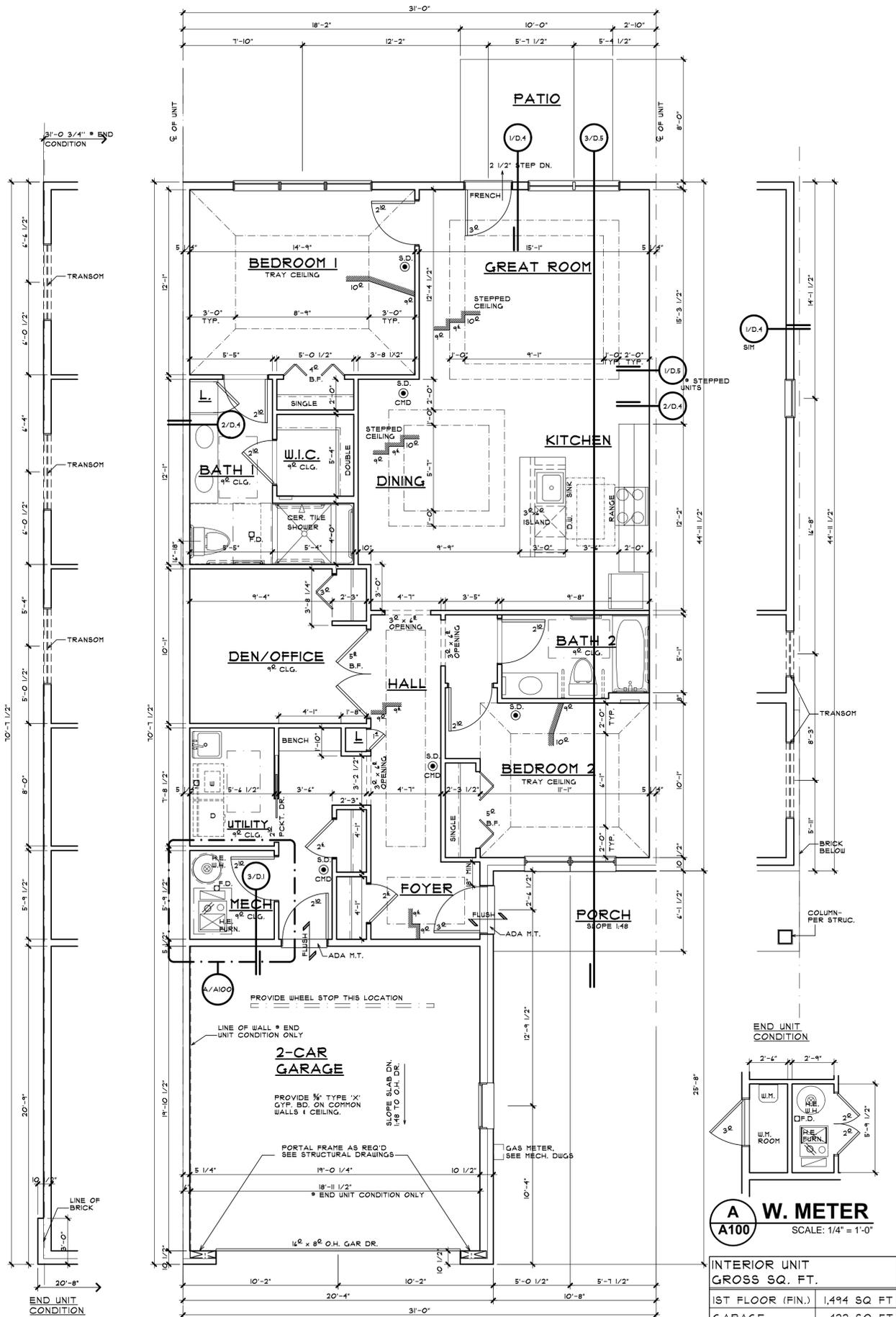
9 MASTER VALVE/FLOW SENSOR ASSEMBLY
S1-MI-03

IRRIGATION SPECIFICATIONS

- IRRIGATION SYSTEM DESIGN BASED ON 75 GPM AT 69 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION(POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE(GPM) AND POUNDS PER SQUARE INCH(PSI) FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5 FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION TO BE PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWING IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES. EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTIONS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 2 WIRE, UL APPROVED DIRECT BURY.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...). SITEONE LANDSCAPE SUPPLY BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SITEONE LANDSCAPE SUPPLY LANDSCAPES IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.



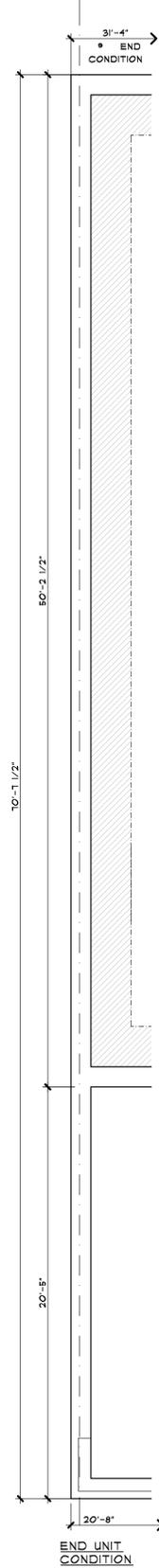
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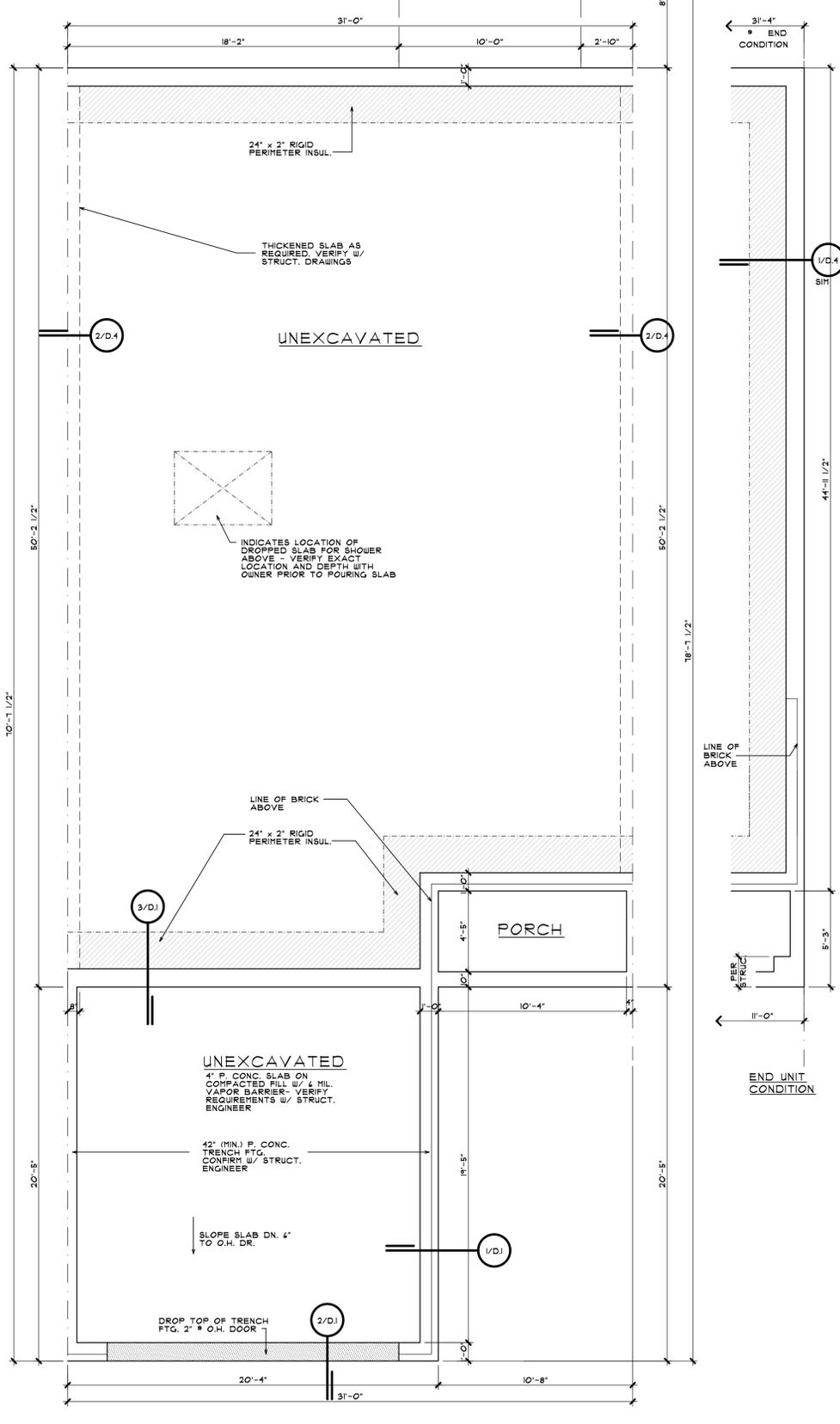
2 TYP. UNIT FIRST FLOOR PLAN
A100 SINGLE STORY DWELLING UNIT - TYPE 'B'
 SCALE: 1/4" = 1'-0"

INTERIOR UNIT GROSS SQ. FT.	
1ST FLOOR (FIN.)	1,494 SQ FT
GARAGE	422 SQ FT

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.



1 TYP. UNIT FOUNDATION PLAN
A100 SINGLE STORY DWELLING UNIT - TYPE 'B'
 SCALE: 1/4" = 1'-0"



- NOTES**
- ALL EXTERIOR TRIM TO BE ALUMINUM UNWRAPPED OR VINYL. VERIFY EXACT LOCATIONS FOR EACH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE PEEP HOLES AND DEAD BOLTS AT ALL FRONT ENTRY DOORS. SEE BUILDER FOR SPECIFICATIONS.
 - ALL DRYWALL TO BE PREPPED & READY TO BE PAINTED INCLUDING THE GARAGE.
 - BRICK ROWLOCK SILLS MAY BE REPLACED WITH PRECAST STONE OR CONCRETE. VERIFY WITH BUILDER PRIOR TO CONSTRUCTION.
 - NOTE: FUTURE GRAB BARS SHOWN AT WATER CLOSETS, TUBS & SHOWERS. PROVIDE BLOCKING ONLY AT TIME OF OCCUPANCY.
 - NOTE: ALL GYP. BOARD INSTALLED IN ROUGH BY ROUGH CARPENTERS MUST BE MOISTURE RESISTANT TYPE APPROVED FOR INSTALLATION DURING THE ROUGH FRAMING PROCESS.
 - NOTE: ROUGH CARPENTER TO VERIFY ALL TUB AND SHOWER SIZES PRIOR TO ROUGH IN.
 - NOTE: SEE STRUCTURAL ENGINEERING PLANS (BY OTHERS) FOR ALL STRUCTURAL INFORMATION. ALL FOUNDATION INFORMATION REGARDING BEARING CAPACITY OF SOIL CAN VARY ON A BUILDING BY BUILDING BASIS.

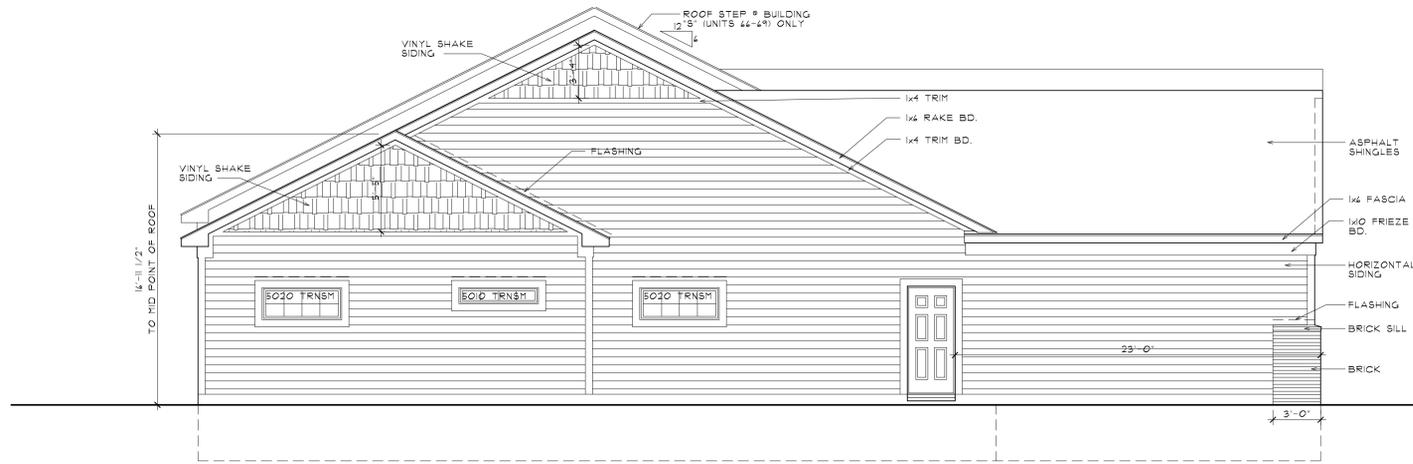
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION

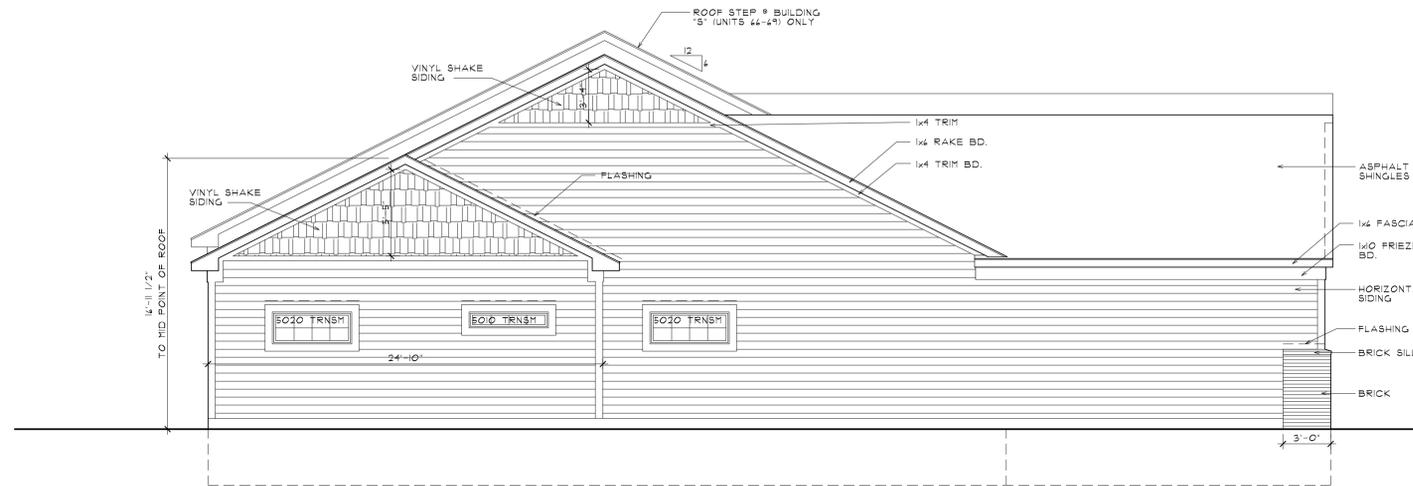
SEE SHEETS D-1-D-4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

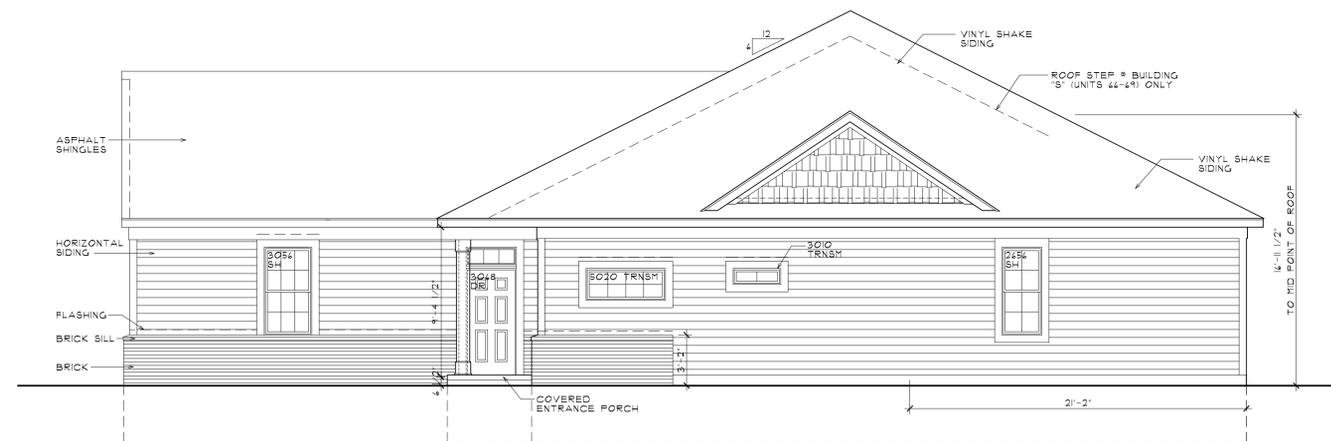
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4 TYP. LEFT SIDE ELEVATION
A101 WITH METER ROOM SCALE: 3/16" = 1'-0"



4 TYP. LEFT SIDE ELEVATION
A101 SINGLE STORY DWELLING UNIT - TYPE 'B' SCALE: 3/16" = 1'-0"



3 TYP. RIGHT SIDE ELEVATION
A101 SINGLE STORY DWELLING UNIT - TYPE 'B' SCALE: 3/16" = 1'-0"

WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS.

EXCEPTIONS:
 1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F2090.

SEE 1/4" SCALE PLANS FOR SIDE ELEVATION SHEET A 101

PROPOSED VENT AREA: REQUIRED PER EACH UNIT

VENT AREA RATIO 1:150
 ATTIC AREA = 1488 SQ.FT. (1/150)
 VENT AREA = 9.9 SQ.FT. x 144 = 1426 SQ.IN.
 50% SOFFIT AND 50% RIDGE = 713 SQ.IN. EACH

VENT AREA PROVIDED * RIDGE

CONTINUOUS SOFFIT TYPE * 18 SQ.IN. PER FT. = X LIN.FT.
 LOUVER AT RIDGE TYPE * 54 SQ.IN. EA. = 14 UNITS
 TOTAL VENTING AT RIDGE = 156 SQ.IN.

VENT AREA PROVIDED * SOFFIT

CONTINUOUS SOFFIT TYPE * 9 SQ.IN. PER FT. = X LIN.FT.
 LOUVER TYPE 8"x 14" w/o BRICK * 54 SQ.IN. EA. = 14 UNITS
 TOTAL VENTING AT SOFFIT = 156 SQ.IN.

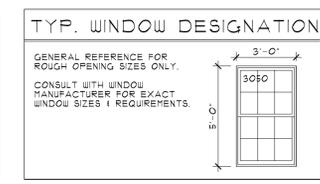
NOTES

ALL EXTERIOR TRIM TO BE ALUMINUM WRAPPED OR VINYL. VERIFY EXACT LOCATIONS FOR EACH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION. PROVIDE FREE HOLES AND DEAD BOLTS AT ALL FRONT ENTRY DOORS. SEE BUILDER FOR SPECIFICATIONS.

ALL DRYWALL TO BE READY TO BE PAINTED. BRICK ROWLOCK SILLS MAY BE REPLACED WITH PRECAST STONE OR CONCRETE. VERIFY WITH BUILDER PRIOR TO CONSTRUCTION.

FIXED GLASS WINDOWS IN GABLES TO HAVE OPAQUE FINISH ON INTERIOR OF GLASS SO FRAMING OF ROOF NOT VISIBLE FROM EXTERIOR. PROVIDE RECESS LIGHT IN SOFFIT ABOVE DOOR ENTRY - CONNECT TO PHOTO CELL.

NOTE: VERIFY TYPE OF TRIM w/ OWNER PRIOR TO CONSTRUCTION. OWNER MAY CHOOSE 2x TRIM WRAPPED IN ALUMINUM OR VINYL TRIM BOARDS.



OVERHANGS & DRAINAGE

PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEERING DRAWINGS FOR CONNECTION DETAILS & LOCATIONS.

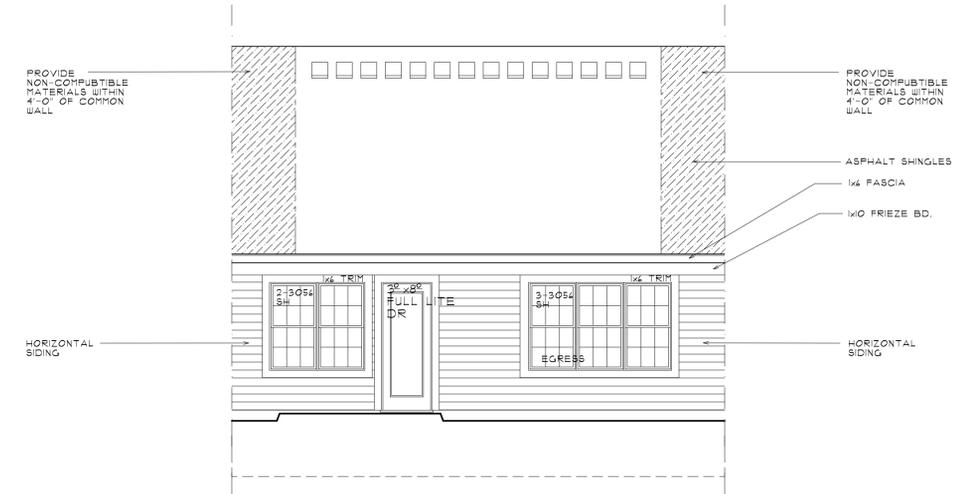
DOWNSPOUT LOCATIONS ARE T.B.D. BY BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 1" AT SIDING.

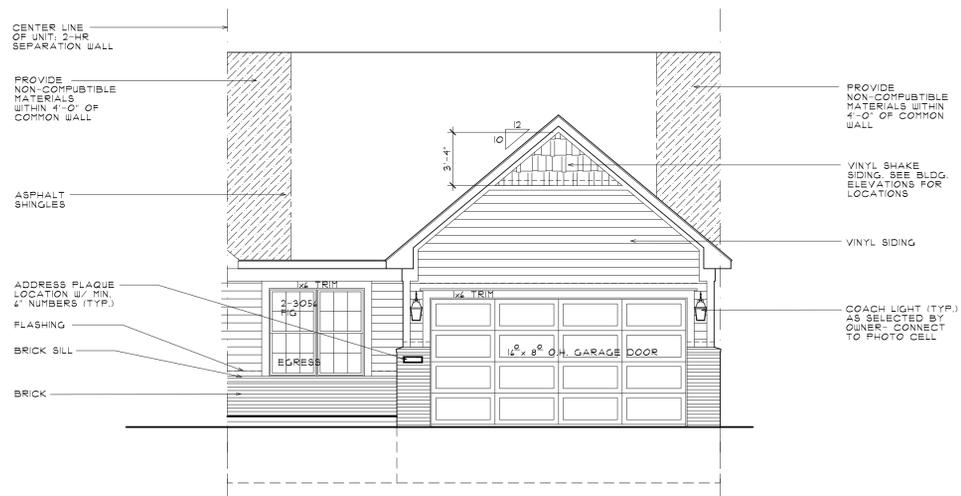
EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

NOTE: SEE A5-1 FOR INDIVIDUAL BUILDING COLOR SCHEME



2 TYP. REAR ELEVATION
A101 SINGLE STORY DWELLING UNIT - TYPE 'B' SCALE: 3/16" = 1'-0"



1 TYP. FRONT ELEVATION
A101 SINGLE STORY DWELLING UNIT - TYPE 'B' SCALE: 3/16" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

SEE SHEETS OJ-D-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

Section 9, Item H.

Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

SHEET TITLE
 UNIT ELEVATIONS

CLIENT/PROJECT
 LAKE POINTE
 MULTIFAMILY COMMUNITY
 WHITE LAKE, MICHIGAN

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 ALEXANDER V.
 BOGAERTS + ASSOC.

PRELIMINARY
 08-19-19

BIDS

PERMITS
 06-16-21

CONSTRUCTION

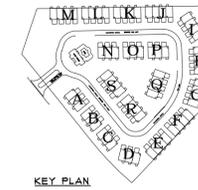
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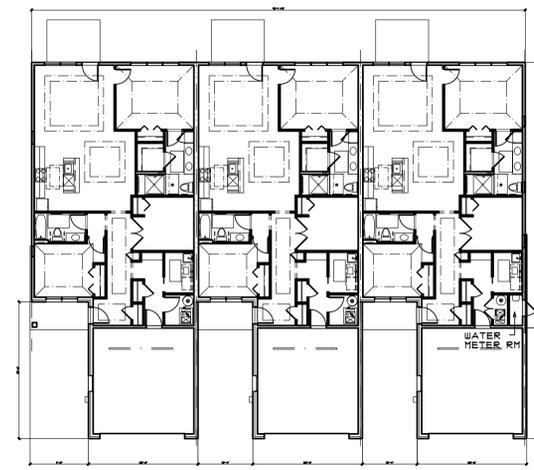


NOTE:
 • REFER TO 1/4" SCALE UNIT PLANS FOR ALL NOTES, DIMENSIONS, DETAILS AND ALL ADDITIONAL INFORMATION NOT SHOWN.
 • SEE STRUCTURAL ENGINEERING PLANS (BY OTHERS) FOR ALL STRUCTURAL INFORMATION. ALL FOUNDATION INFORMATION REGARDING BEARING CAPACITY OF SOIL CAN VARY ON A BUILDING BY BUILDING BASIS.
 • REFER TO CIVIL ENGINEERING PLANS (BY OTHERS) FOR ADDITIONAL INFORMATION ON BUILDING STEPS & GRADING INFORMATION.

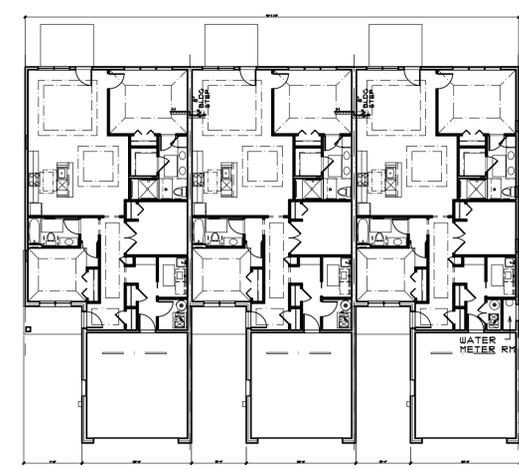
NOTE: CONFIRM WATER METER ROOM LOCATION W/ CIVIL PRIOR TO CONSTRUCTION.



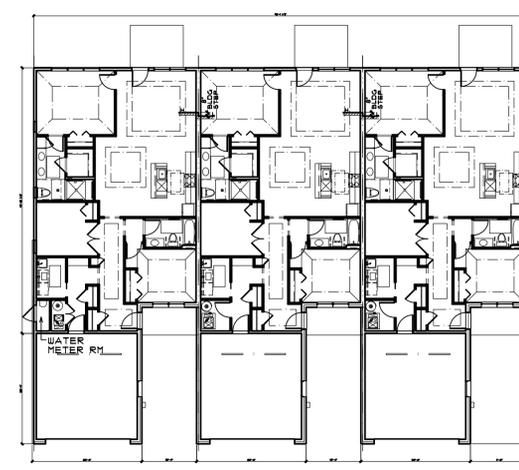
8 BLDG E (UNITS 13-16)
 A200 FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"



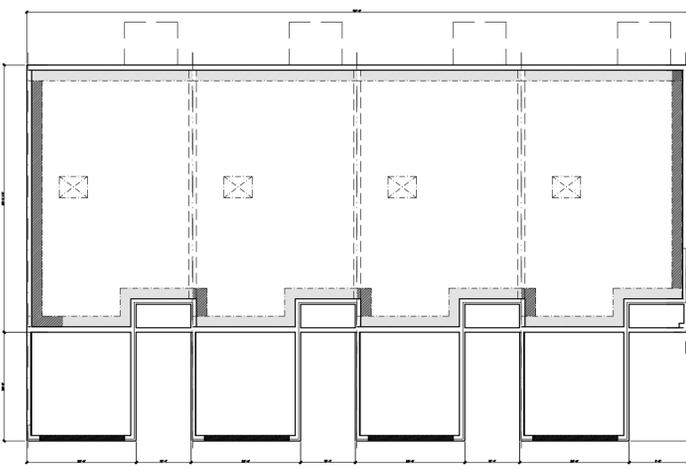
6 BLDG C,D,N,O - FIRST FLOOR PLAN
 A200 (UNITS 7-9, 10-12, 49-51, 52-54) SCALE: 1/16" = 1'-0"



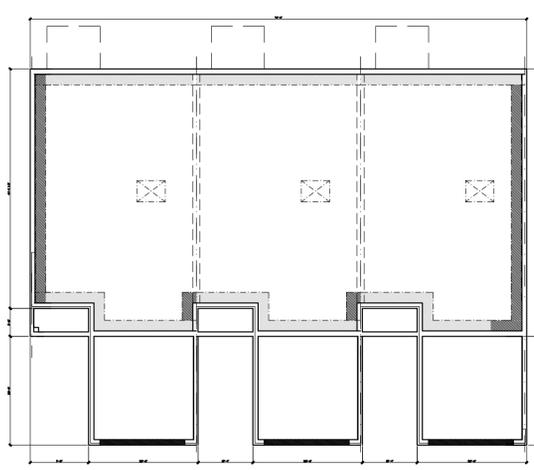
4 BLDG B (UNITS 4-6)
 A200 FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"



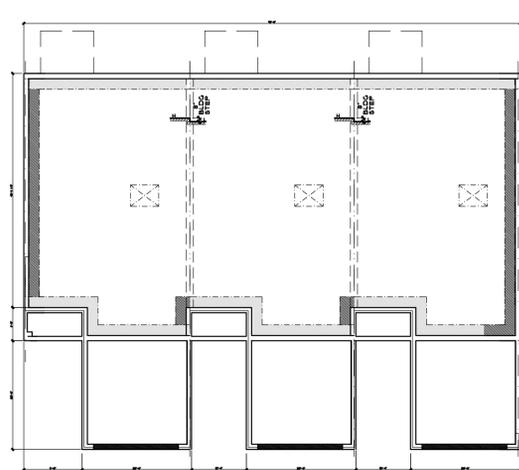
2 BLDG A (UNITS 1-3)
 A200 FIRST FLOOR PLAN SCALE: 1/16" = 1'-0"



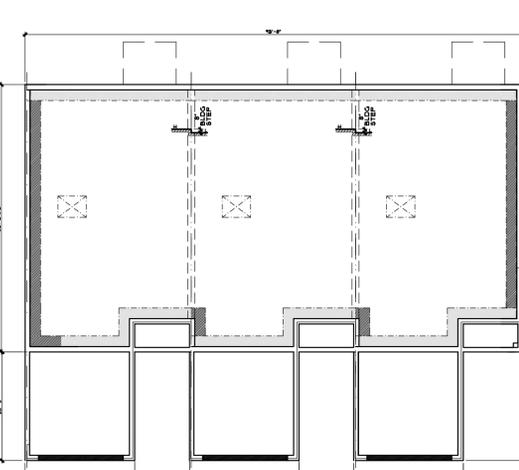
7 BLDG E (UNITS 13-16)
 A200 FOUNDATION PLAN SCALE: 1/16" = 1'-0"



5 BLDG C,D,N,O - FOUNDATION PLAN
 A200 (UNITS 7-9, 10-12, 49-51, 52-54) SCALE: 1/16" = 1'-0"



3 BLDG B (UNITS 4-6)
 A200 FOUNDATION PLAN SCALE: 1/16" = 1'-0"



1 BLDG A (UNITS 1-3)
 A200 FOUNDATION PLAN SCALE: 1/16" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

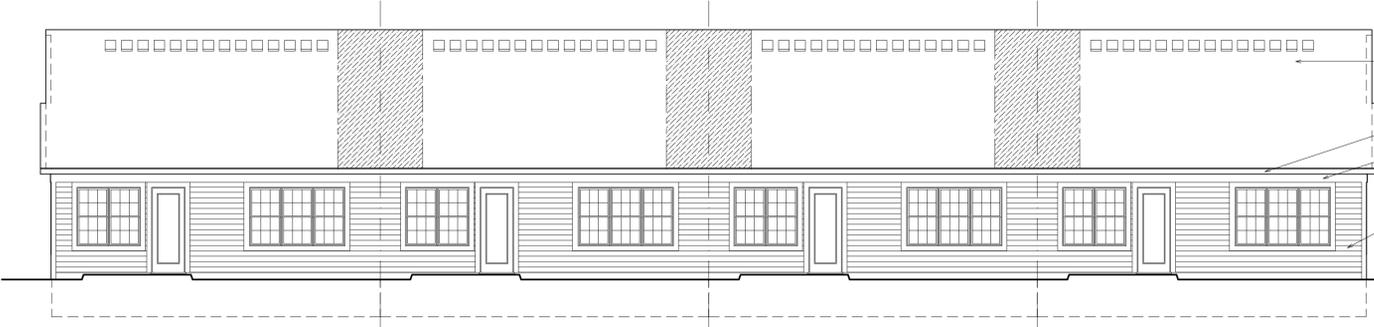
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

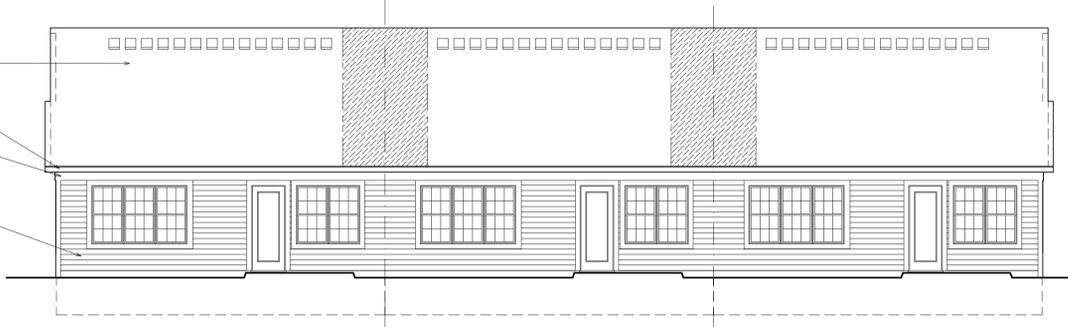
SEE SHEETS D-J-D.4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

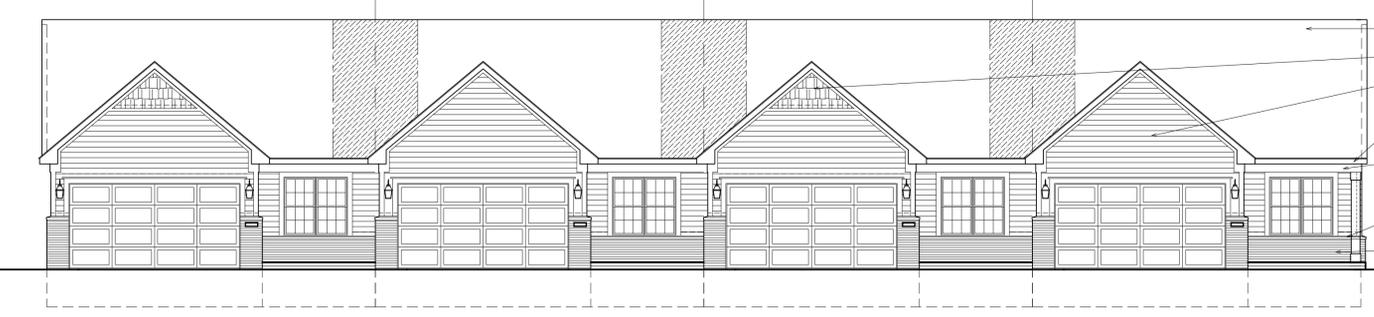
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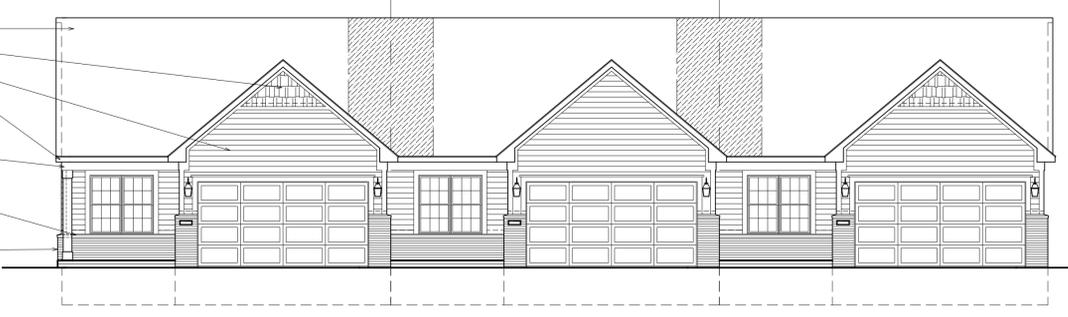
8 BUILDING E (UNITS 13-16) - REAR ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"



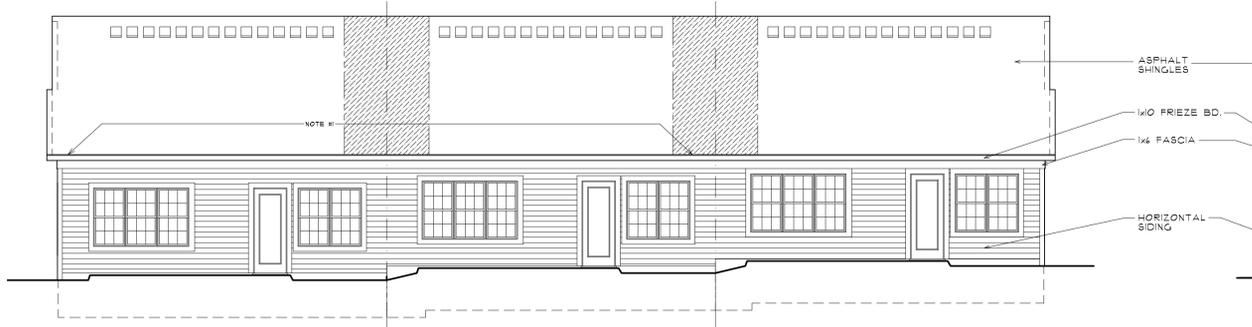
6 BUILDINGS C,D,N,O - REAR ELEVATION
 A201 SINGLE STORY TYPE "B" - (UNITS 7-9, 10-12, 49-51, 52-54) SCALE: 1/8" = 1'-0"



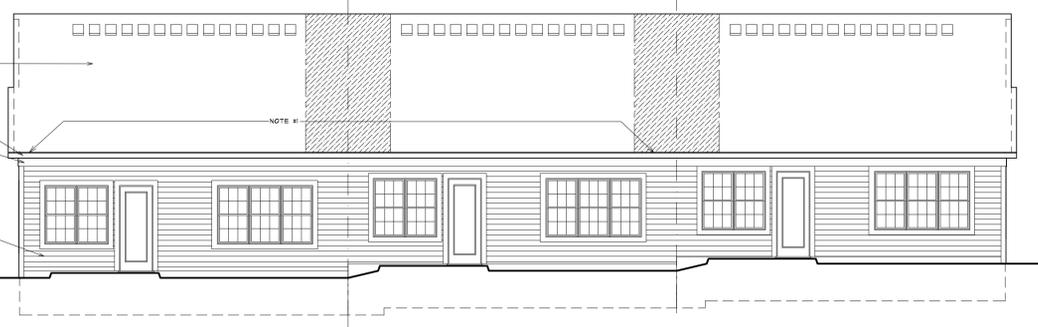
7 BUILDING E (UNITS 13-16) - FRONT ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"



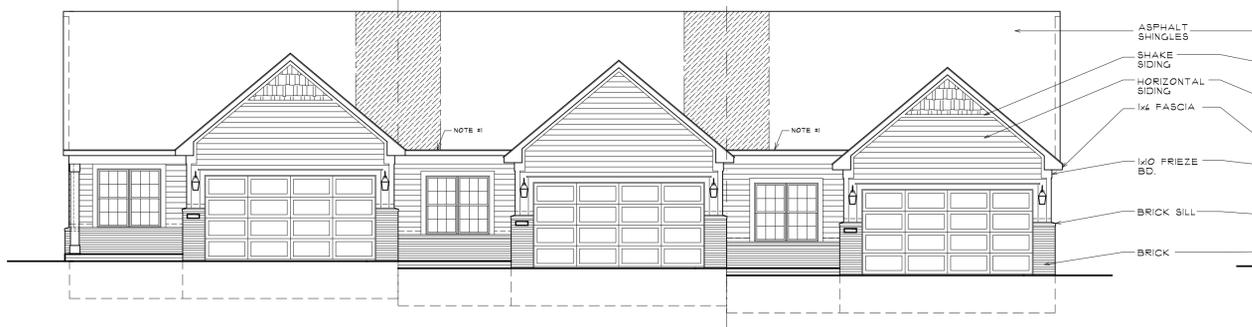
5 BUILDINGS C,D,N,O - FRONT ELEVATION
 A201 SINGLE STORY TYPE "B" - (UNITS 7-9, 10-12, 49-51, 52-54) SCALE: 1/8" = 1'-0"



4 BUILDING B (UNITS 4-6) - REAR ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"



2 BUILDING A (UNITS 1-3) - REAR ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"



3 BUILDING B (UNITS 4-6) - FRONT ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"



1 BUILDING A (UNITS 1-3) - FRONT ELEVATION
 A201 SINGLE STORY TYPE "B" SCALE: 1/8" = 1'-0"

NOTES
 ALL EXTERIOR TRIM TO BE ALUMINUM WRAPPED OR VINYL. VERIFY EXACT LOCATIONS FOR EACH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION.
 PROVIDE PEEP HOLES AND DEAD BOLTS AT ALL FRONT ENTRY DOORS. SEE BUILDER FOR SPECIFICATIONS.
 ALL DRYWALL TO BE READY TO BE PAINTED
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 PROVIDE RECESS LIGHT IN SOFFIT ABOVE DOOR ENTRY - CONNECT TO PHOTO CELL.

NOTE:
 REFER TO 1/4" SCALE ELEVATIONS ON SHEET A103 FOR ADDITIONAL NOTES AND DIMENSIONS. SEE SHEET S-1 FOR COLOR SCHEME OF BUILDINGS.
 NOTE #1:
 RAISE HEELS AS NECESSARY TO ELIMINATE STEP IN THE ROOF.

SEE 1/4" SCALE PLANS FOR SIDE ELEVATION SHEET A 101

NOTE: SEE A5-1 FOR INDIVIDUAL BUILDING COLOR SCHEME

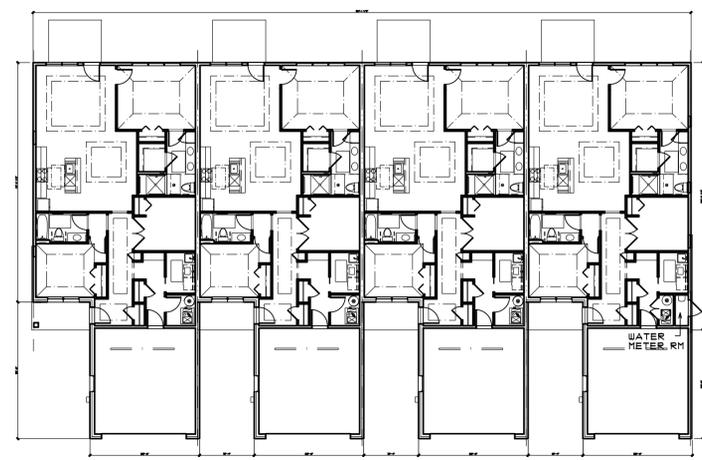
ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.
 BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.
 SEE SHEETS N-1 - N-4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.
 SEE SHEETS OJ-D-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.
 DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.



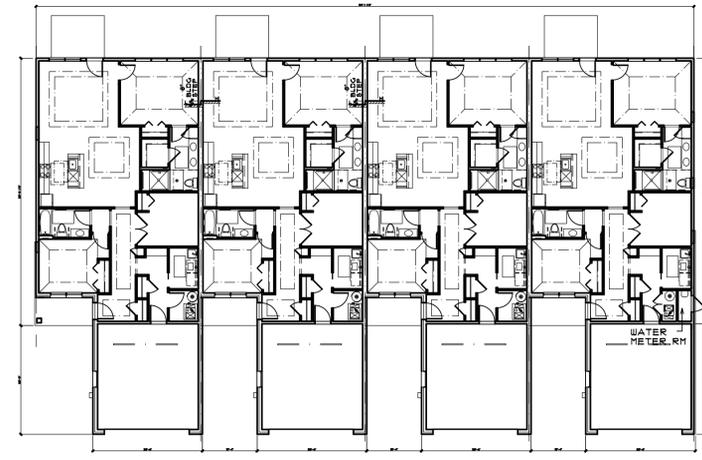
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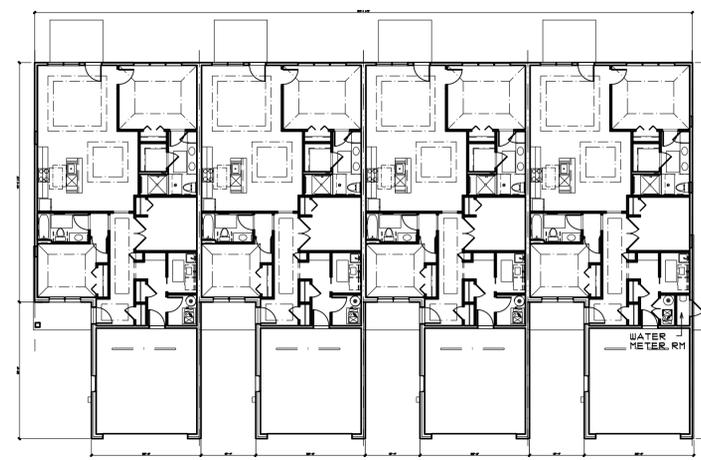
NOTE: CONFIRM WATER METER ROOM LOCATION W/ CIVIL PRIOR TO CONSTRUCTION.



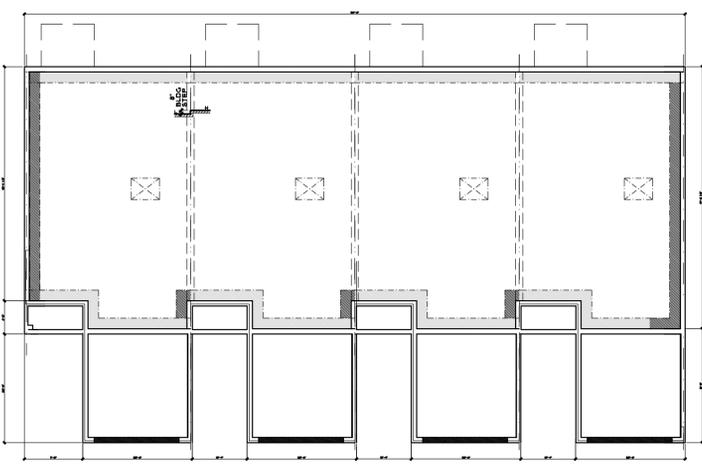
6 BLDG I - FIRST FLOOR PLAN
 A202 UNITS (29-32) SCALE: 1/16" = 1'-0"



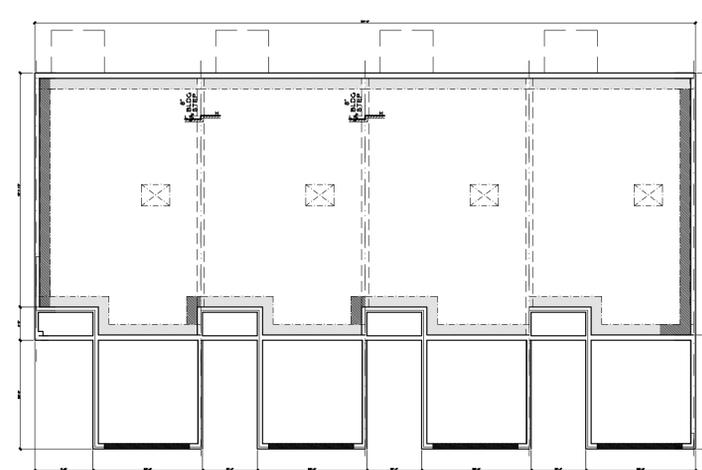
4 BLDG H - FIRST FLOOR PLAN
 A202 UNITS (25-28) SCALE: 1/16" = 1'-0"



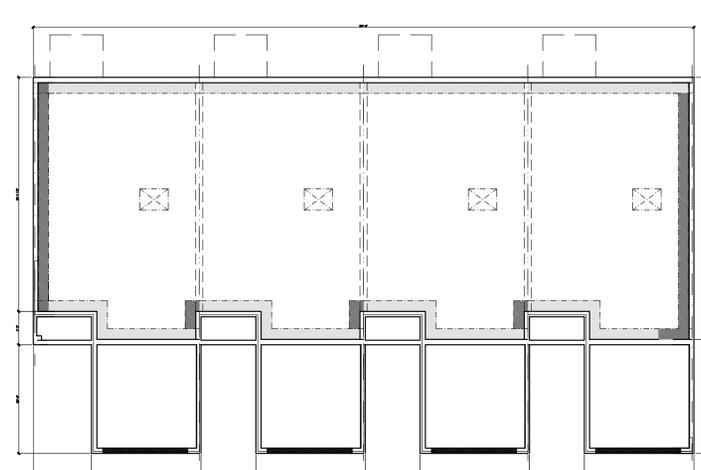
2 BLDGS F,G,K,L,M,Q - FIRST FLOOR PLAN
 A202 UNITS (17-20, 21-24, 37-40, 41-44, 45-48, 58-61) SCALE: 1/16" = 1'-0"



5 BLDG I - FOUNDATION PLAN
 A202 UNITS (29-32) SCALE: 1/16" = 1'-0"



3 BLDG H - FOUNDATION PLAN
 A202 UNITS (25-28) SCALE: 1/16" = 1'-0"



1 BLDGS F,G,K,L,M,Q - FOUNDATION PLAN
 A202 UNITS (17-20, 21-24, 37-40, 41-44, 45-48, 58-61) SCALE: 1/16" = 1'-0"

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BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

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NOTE:
 REFER TO 1/4" SCALE ELEVATIONS ON SHEET
 A203 FOR ADDITIONAL NOTES AND DIMENSIONS.
 SEE SHEET S-1 FOR COLOR SCHEME OF BUILDINGS

NOTE 2:
 RAISE HEELS AS NECESSARY TO ELIMINATE STEP
 IN THE ROOF.

SEE
 1" SCALE PLANS FOR SIDE
 ELEVATION SHEET A 101

NOTE: SEE A5-1 FOR
 INDIVIDUAL BUILDING COLOR
 SCHEME

NOTES

ALL EXTERIOR TRIM TO BE ALUMINUM WRAPPED
 OR VINYL. VERIFY EXACT LOCATIONS FOR EACH
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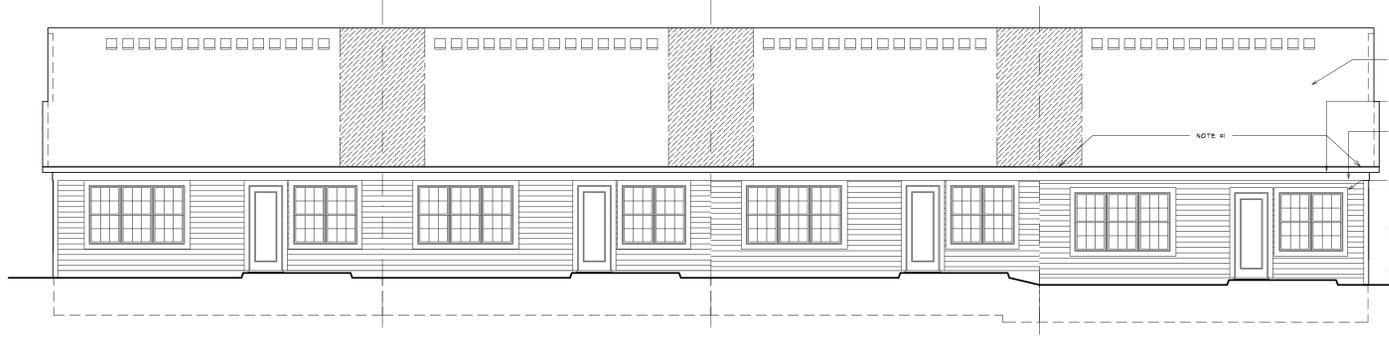
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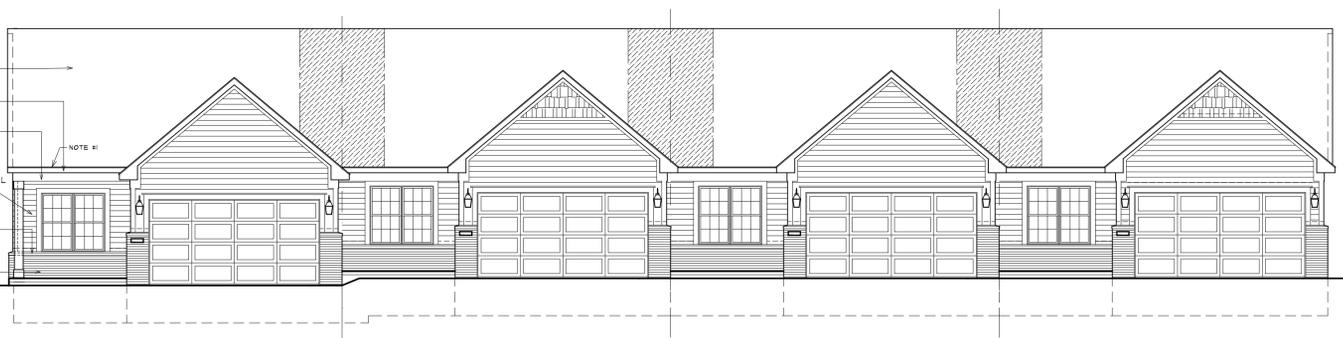
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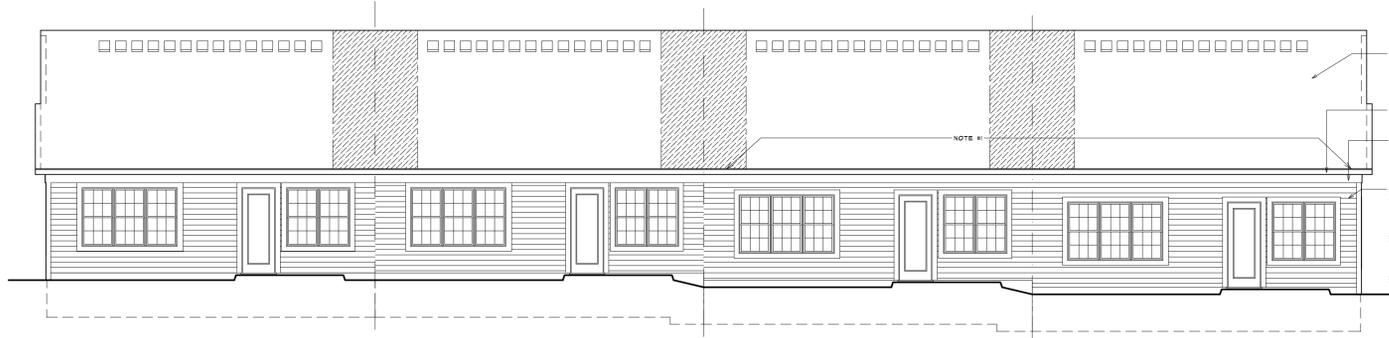
6 BUILDINGS I - REAR ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (29-32)

SCALE: 1/8" = 1'-0"



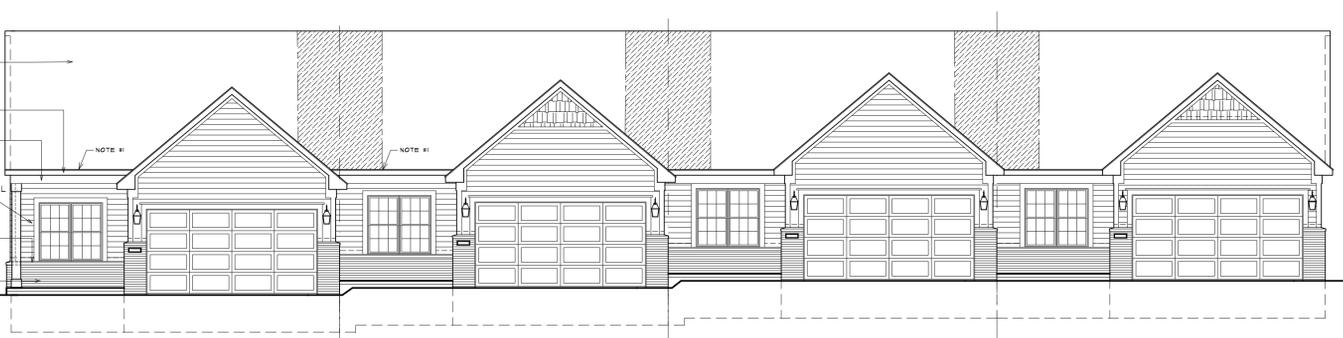
5 BUILDINGS I - FRONT ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (29-32)

SCALE: 1/8" = 1'-0"



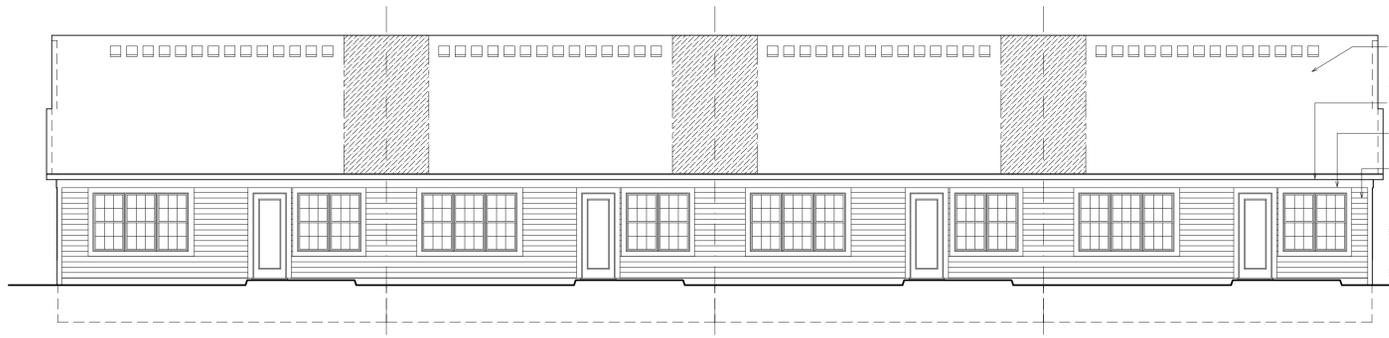
4 BUILDING H - REAR ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (25-28)

SCALE: 1/8" = 1'-0"



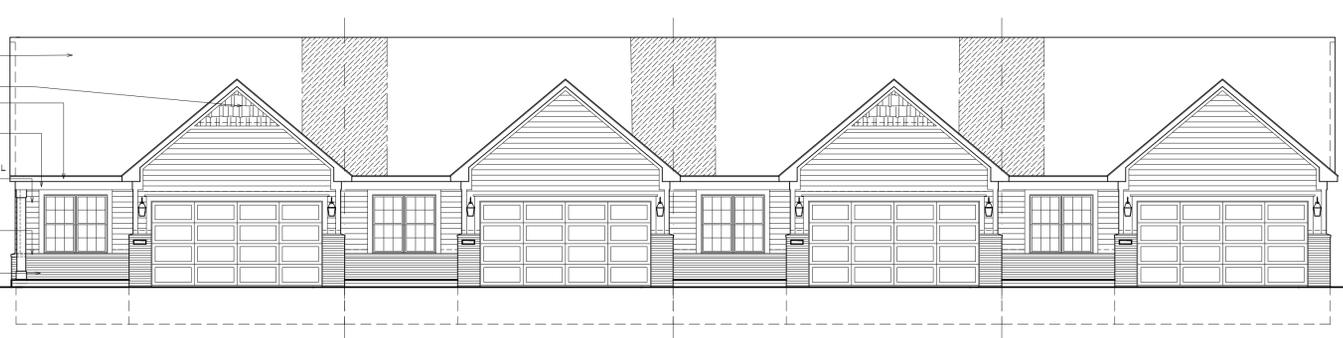
3 BUILDING H - FRONT ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (25-28)

SCALE: 1/8" = 1'-0"



2 BUILDINGS F,G,K,L,M,Q - REAR ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (17-20, 21-24, 37-40, 41-44, 45-48, 58-61)

SCALE: 1/8" = 1'-0"



1 BUILDINGS F,G,K,L,M,Q - FRONT ELEVATION
 A203 SINGLE STORY TYPE "B" - UNITS (17-20, 21-24, 37-40, 41-44, 45-48, 58-61)

SCALE: 1/8" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE
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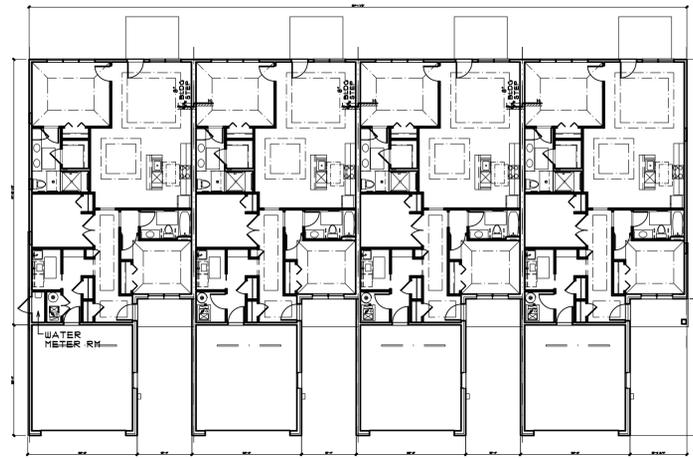
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH
 OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL DETAILS
 REGARDING DRAWINGS & CONSTRUCTION.

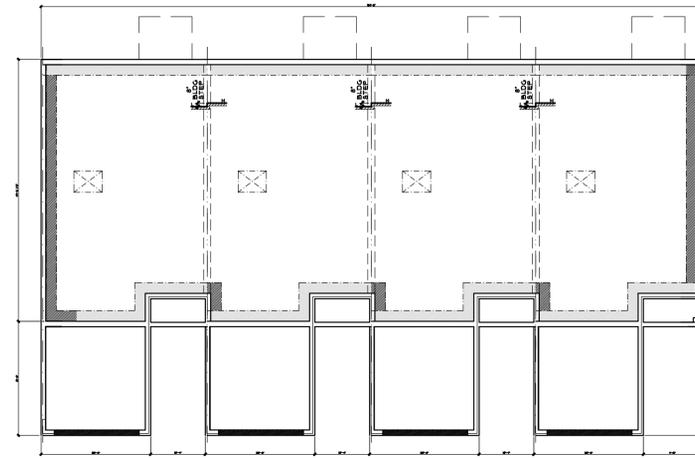
SEE SHEETS D1-D4 FOR ADDITIONAL NOTES
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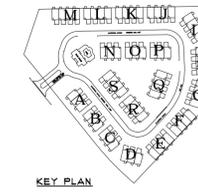
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8 BLDG S - FIRST FLOOR PLAN
A204 UNITS (66-69) SCALE: 1/16" = 1'-0"



7 BLDG S - FOUNDATION PLAN
A204 UNITS (66-69) SCALE: 1/16" = 1'-0"



NOTE:

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- REFER TO CIVIL ENGINEERING PLANS (BY OTHERS) FOR ADDITIONAL INFORMATION ON BUILDING STEPS & GRADING INFORMATION.

NOTE: CONFIRM WATER METER ROOM LOCATION W/ CIVIL PRIOR TO CONSTRUCTION.

Section 9, Item H.

Alexander V. Bogagerts + Associates, P.C. • Architecture • Planning • Interior Design

2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

BUILDING PLANS

SINGLE STORY TYPE "B" UNITS

LAKE POINTE MULTIFAMILY COMMUNITY

WHITE LAKE, MICHIGAN

CLIENT/PROJECT: LAKE POINTE MULTIFAMILY COMMUNITY WHITE LAKE, MICHIGAN

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PRELIMINARY 06-19-19

PERMITS 06-16-21

CONSTRUCTION

REVISIONS: 22-10-18 OWNER COMMENT RESPONSE 2024 02 06

DRAWN BY: MS/DA
 CAD FILENAME: 2216.DWG
 CHECKED BY:

JOB NUMBER: 2216
 DATE:

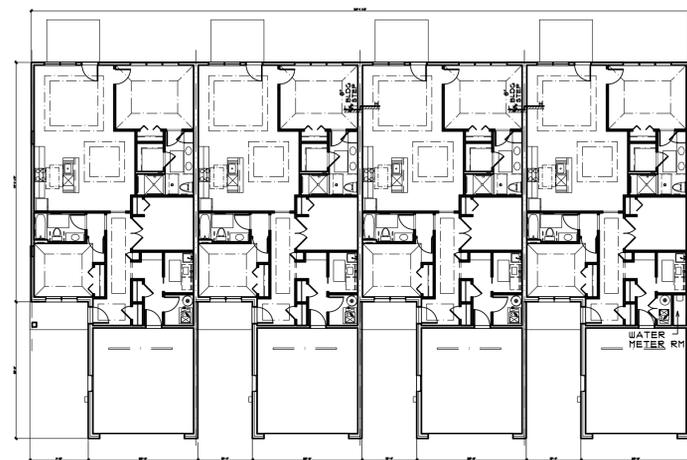
SHEET NUMBER: **A204**



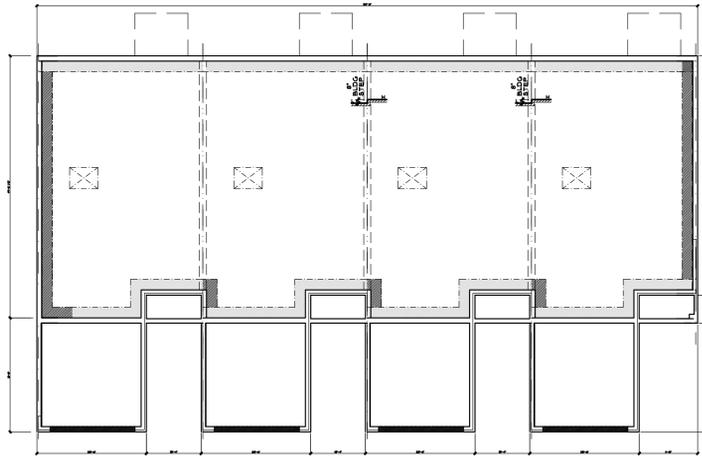
6 BLDG R - FIRST FLOOR PLAN
A204 UNITS (62-65) SCALE: 1/16" = 1'-0"



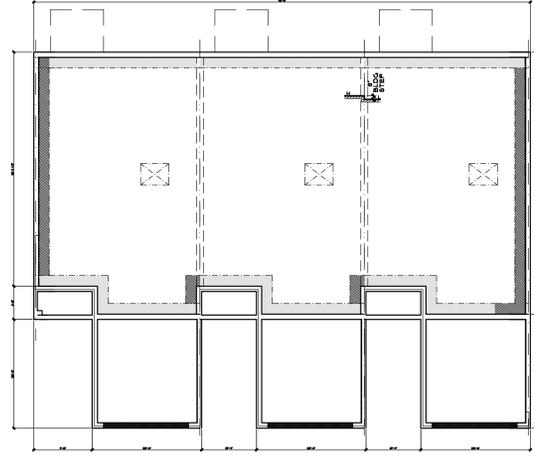
4 BLDG P - FIRST FLOOR PLAN
A204 UNITS (55-57) SCALE: 1/16" = 1'-0"



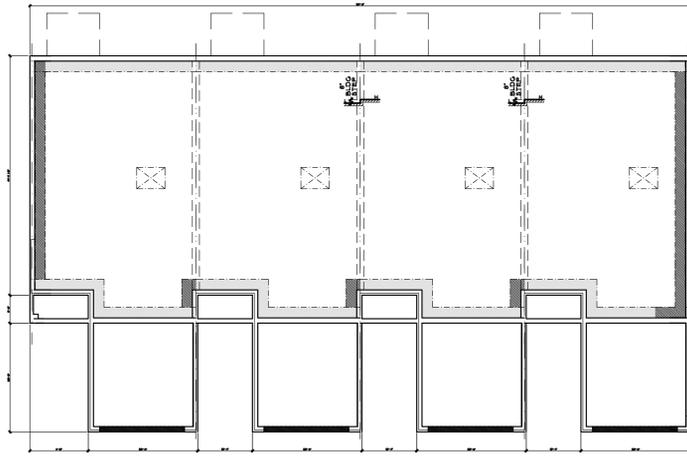
2 BLDG J - FIRST FLOOR PLAN
A204 UNITS (33-36) SCALE: 1/16" = 1'-0"



5 BLDG R - FOUNDATION PLAN
A204 UNITS (62-65) SCALE: 1/16" = 1'-0"



3 BLDG P - FOUNDATION PLAN
A204 UNITS (55-57) SCALE: 1/16" = 1'-0"



1 BLDG J - FOUNDATION PLAN
A204 UNITS (33-36) SCALE: 1/16" = 1'-0"

ALL INTERIOR PARTITION DIMENSIONS ARE 3/16" UNLESS NOTED OTHERWISE.

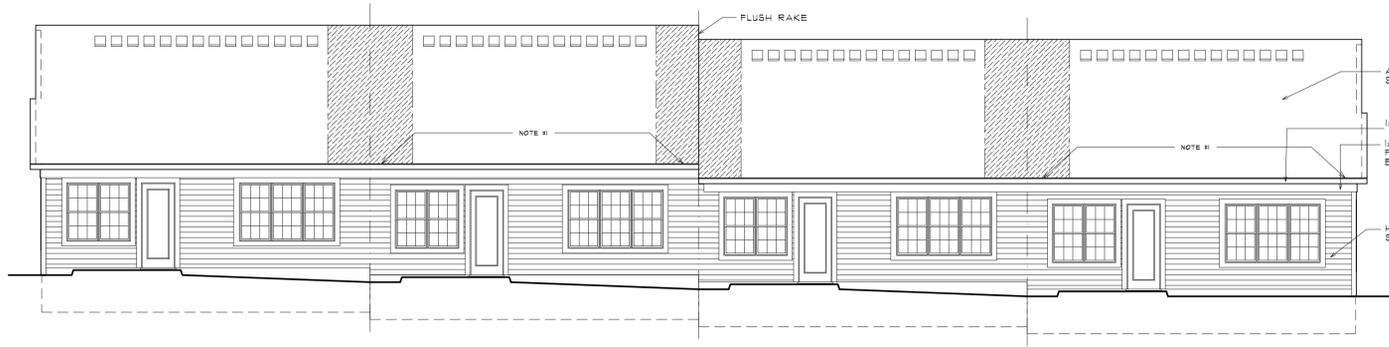
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

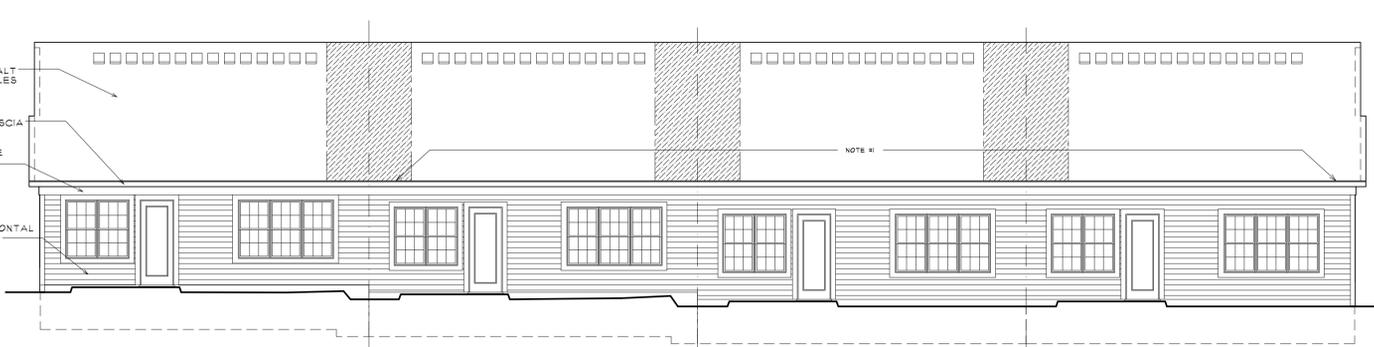
SEE SHEETS D1-D4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

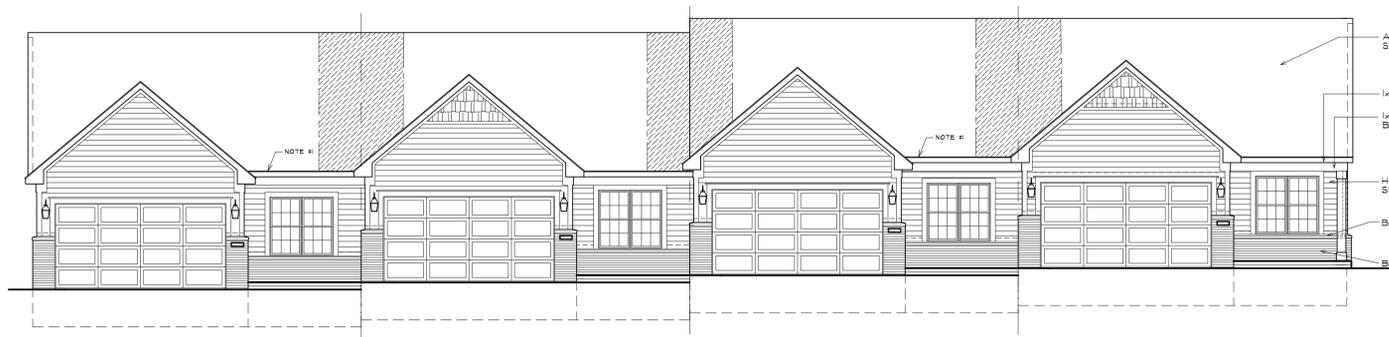
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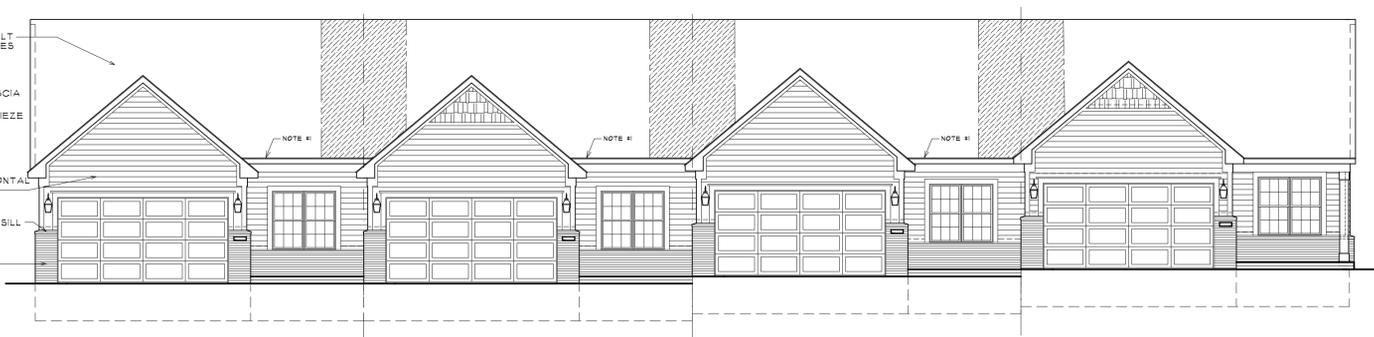
8 BUILDING S (UNITS 66-69) - REAR ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



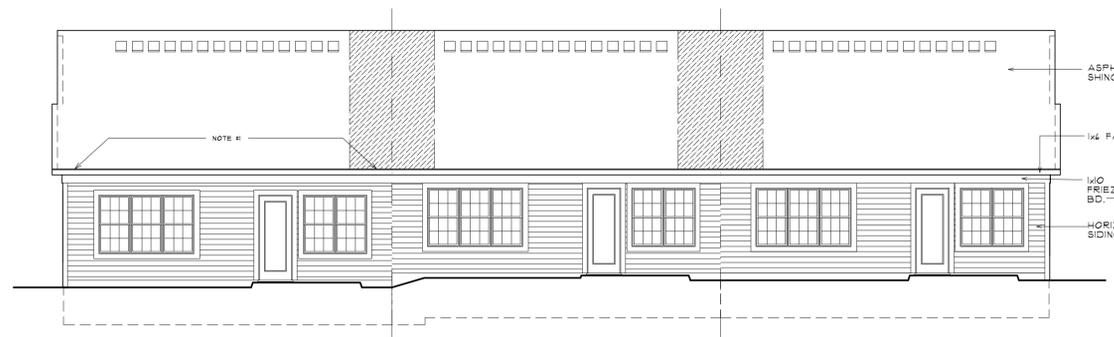
6 BUILDING R (UNITS 62-65) - REAR ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



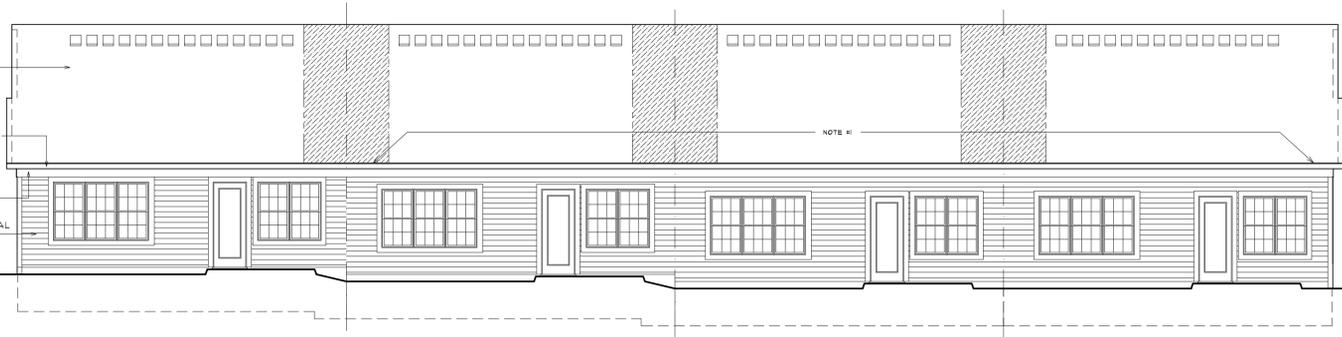
7 BUILDING S (UNITS 66-69) - FRONT ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



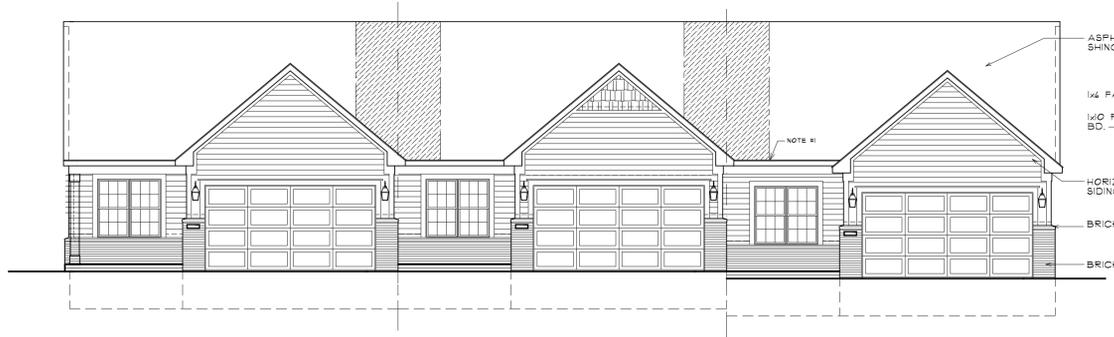
5 BUILDING R (UNITS 62-65) - FRONT ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



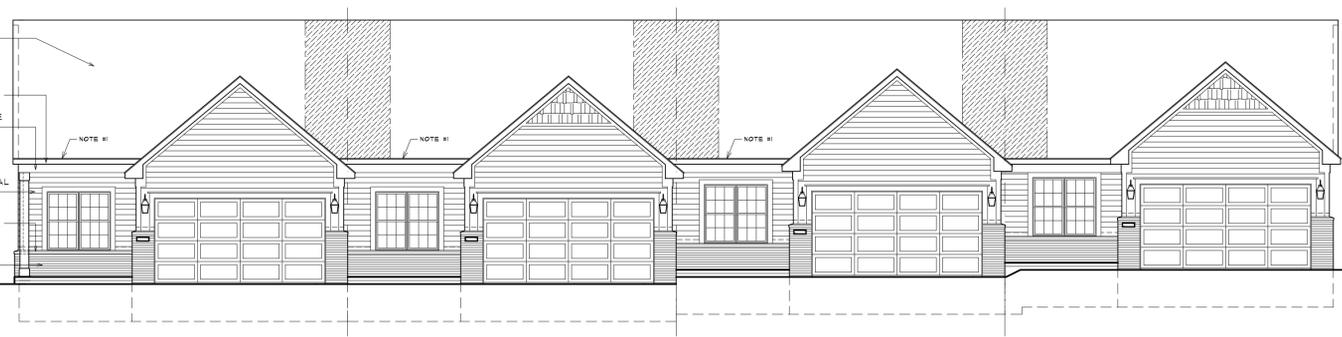
4 BUILDING P (UNITS 55-57) - REAR ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



2 BUILDING J (UNITS 33-36) - REAR ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



3 BUILDING P (UNITS 55-57) - FRONT ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"



1 BUILDING J (UNITS 33-36) - FRONT ELEVATION
 SINGLE STORY TYPE "B"
 SCALE: 1/8" = 1'-0"

NOTES

ALL EXTERIOR TRIM TO BE ALUMINUM WRAPPED OR VINYL. VERIFY EXACT LOCATIONS FOR EACH MATERIAL WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE FEET HOLES AND DEAD BOLTS AT ALL FRONT ENTRY DOORS. SEE BUILDER FOR SPECIFICATIONS.

ALL DRYWALL TO BE READY TO BE PAINTED

BRICK ROULOCK SILLS MAY BE REPLACED WITH PRECAST STONE OR CONCRETE. VERIFY WITH BUILDER PRIOR TO CONSTRUCTION

FIXED GLASS WINDOWS IN GABLES TO HAVE OPAQUE FINISH ON INTERIOR OF GLASS SO FRAMING OF ROOF NOT VISIBLE FROM EXTERIOR.

PROVIDE RECESS LIGHT IN SOFFIT ABOVE DOOR ENTRY - CONNECT TO PHOTO CELL.

NOTE:
 REFER TO 1/4" SCALE ELEVATIONS ON SHEET A103 FOR ADDITIONAL NOTES AND DIMENSIONS.
 SEE SHEET S-1 FOR COLOR SCHEME OF BUILDINGS

NOTE #1:
 RAISE HEELS AS NECESSARY TO ELIMINATE STEP IN THE ROOF.

SEE 1/4" SCALE PLANS FOR SIDE ELEVATION SHEET A 101

NOTE: SEE A-1 FOR INDIVIDUAL BUILDING COLOR SCHEME

ALL INTERIOR PARTITION DIMENSIONS ARE 3 1/2" UNLESS NOTED OTHERWISE.

BEFORE CONSTRUCTION OBTAIN WINDOW / DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

SEE SHEETS N-1 - N-4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS / CONSTRUCTION

SEE SHEETS D1-D4 FOR ADDITIONAL NOTES REGARDING DRAWINGS / CONSTRUCTION.

DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

FUNARI: LAKE POINTE
EXTERIOR MATERIALS AND FINISHES

Updated: 10-18-2022

Scheme A

Brampton Brick Crossroads Series "Whitestone", Queen Size

Variform American Herald: Board & Batten 5.5" x 1.5", Double 5" Horizontal Siding. Color: Rich Mocha

Vinyl Trim: Dover White

Variform Heritage Cedar Shake Siding: Double 5" exposure. Color: Wedgewood

Mid America Vinyl Shutters in Black #02

Front Entry Door Paint: Sandtone

Garage: Garage

Scheme B

Brampton Brick Crossroads Series "Crawford", Queen Size

Variform American Herald Board & Batten 5.5" x 1.5", Double 5" Horizontal Siding. Color: Sandy Tan

Vinyl Trim: Heritage Linen

Variform Heritage Cedar Triple 5" exposure. Color: Island Pearl

Mid America Vinyl Shutters in Midnight Blue #166

Front Entry Door Paint: Desert Tan

Garage Door: Desert Tan

Scheme C

Brampton Brick Crossroads Series "Greystone", Queen Size

Variform American Herald Board & Batten 5.5" x 1.5", Double 5" Horizontal Siding. Color: Mountain Clay

Vinyl Trim: Heritage Linen

Variform Heritage Cedar Triple 5" exposure. Color: Lakeshore Fern

Mid America Vinyl Shutters in White #01

Front Entry Door Paint: Desert Tan

Garage Door: Desert Tan

All Schemes

Roof Shingles: Certaineed "Landmark Series" Weathered Wood

Windows & Railings: Black

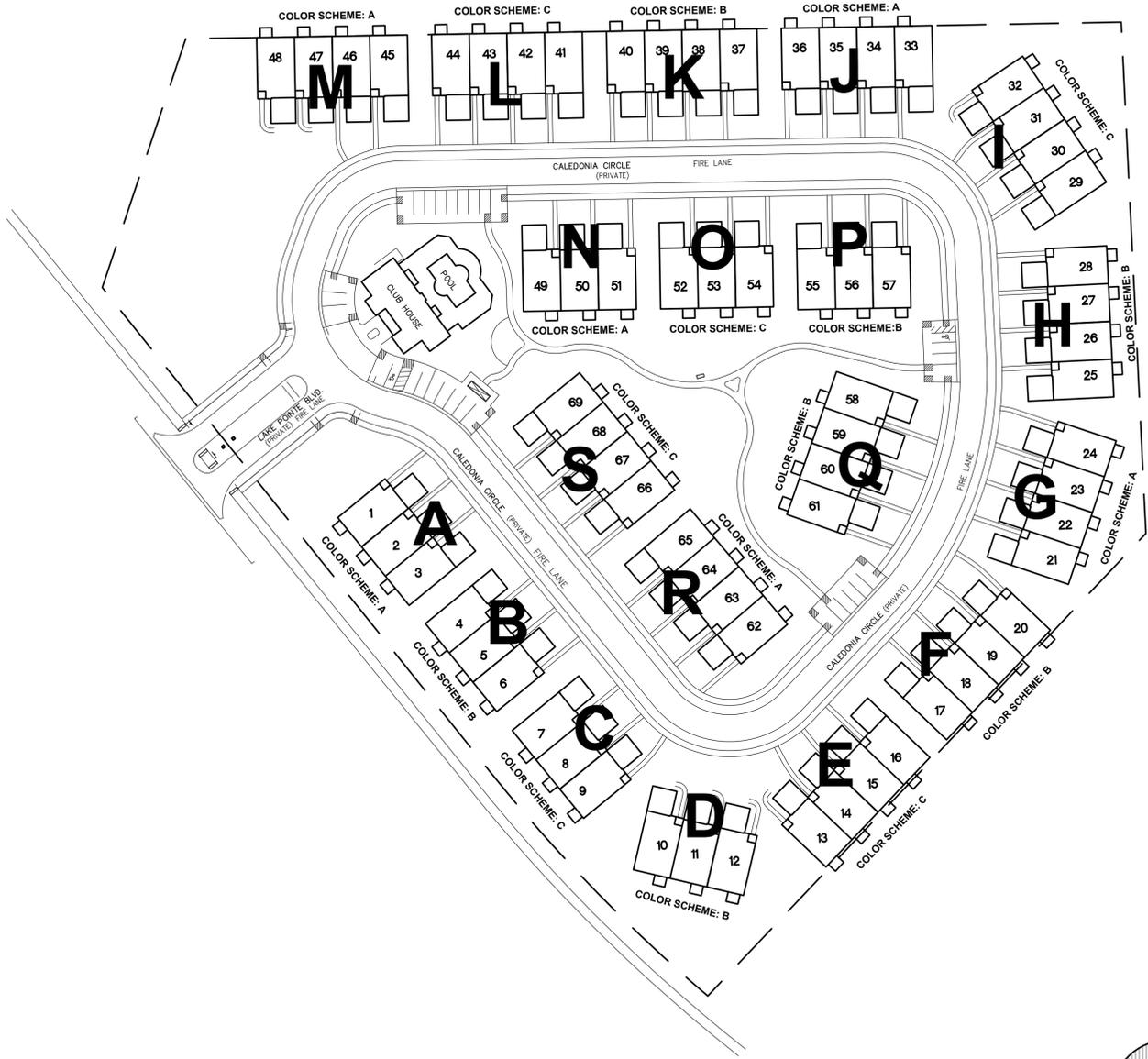
Trex Decking in Rocky Harbor. Scheme A

Trex Decking in Coastal Bluff. Scheme B & C

Note: Photos are a digital representation of specified materials. All Materials to be similar/equal. Refer to Architect's renderings and construction drawings for material locations.

2 COLOR SCHEMES

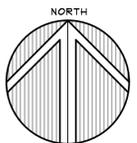
Scale: NONE



1 SITE PLAN

NOTE: SITE PLAN SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL ADDITIONAL INFORMATION.

Scale: NONE



Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000

CLIENT/PROJECT
LAKE POINTE
MULTIFAMILY COMMUNITY

SUBJECT
SITE PLAN

CLIENT/PROJECT
LAKE POINTE
MULTIFAMILY COMMUNITY

WHITE LAKE, MICHIGAN

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■ PRELIMINARY
08-19-19

BIDS

■ PERMITS
06-16-21

CONSTRUCTION

REVISIONS
22-10-18 OWNER
COMMENT RESPONSE
2024 02 06

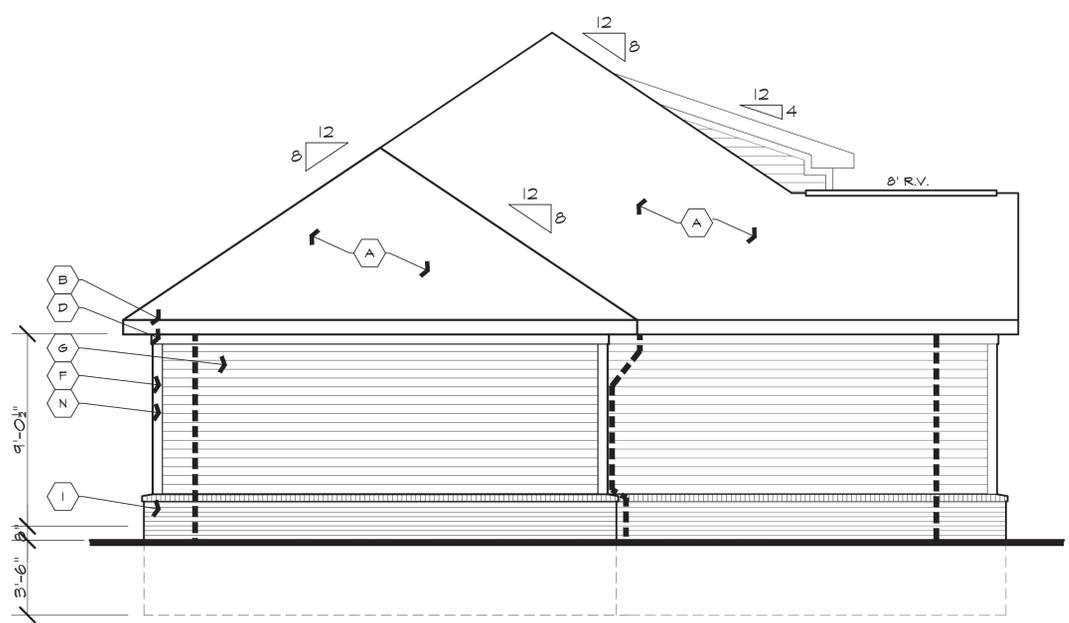
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CHECKED BY

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2216

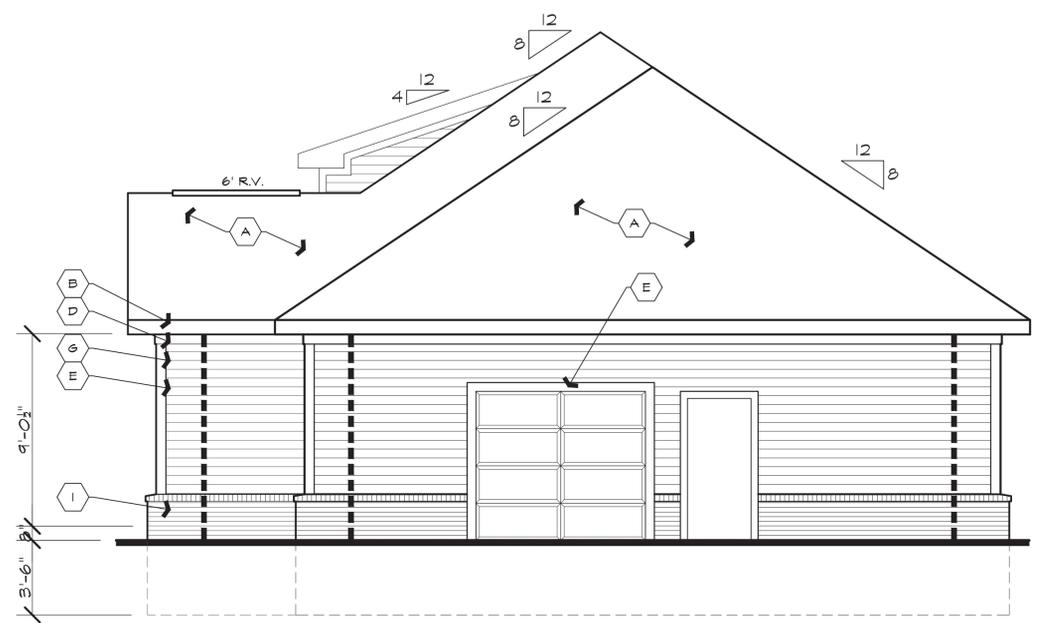
DATE

SHEET NUMBER
AS-1

838 W. Long Lake #250
 Bloomfield Hills, MI 48302
 248 540-5940 Fax 248 540-4820
 Email: pai@progressiveassociates.com



LEFT ELEVATION
 SCALE: 1/4"=1'-0"

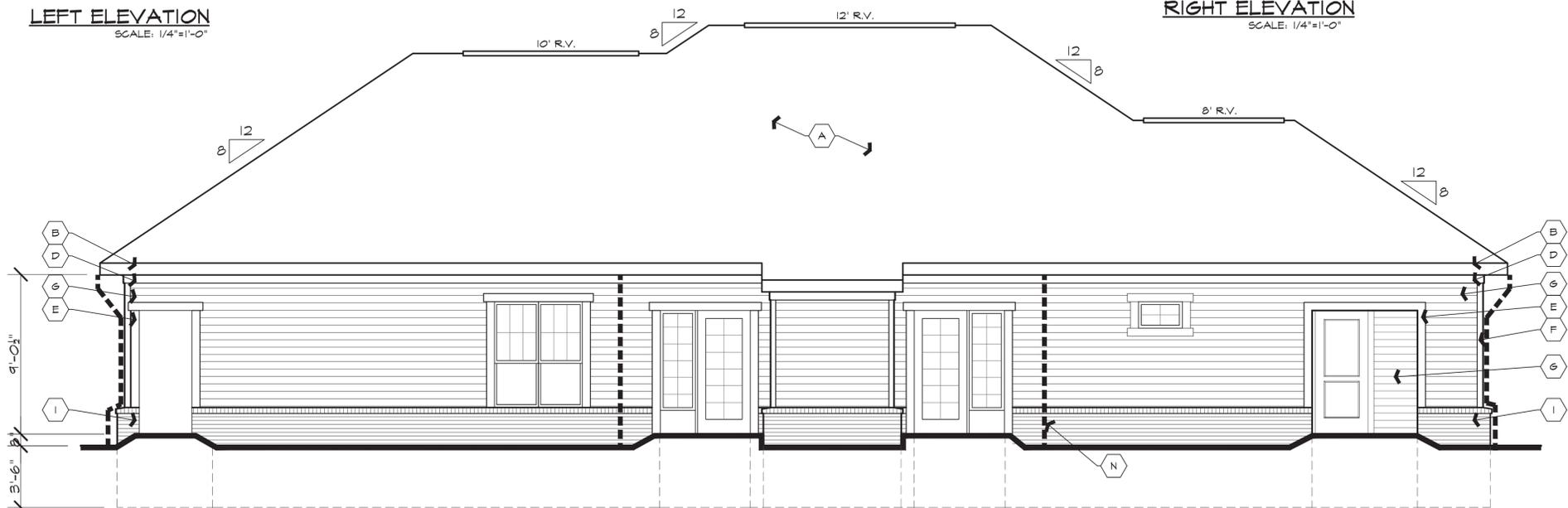


RIGHT ELEVATION
 SCALE: 1/4"=1'-0"

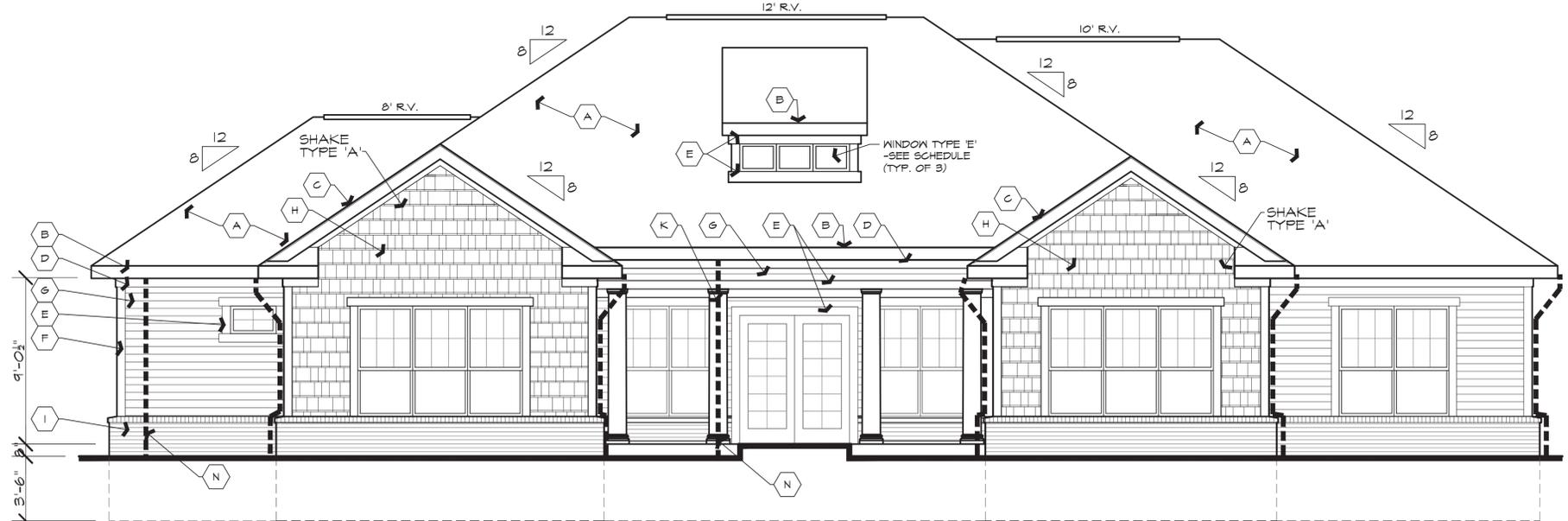
NOTE TO ALL CONTRACTORS :
 ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW & COORDINATE PLANS W/ EXTERIOR BLDG. ELEVATIONS, SECTIONS, & DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BLDG. ELEVATIONS, SECTIONS & DETAILS IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, & COORDINATE THE WORK, & CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OF PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.

MATERIAL LEGEND

- (A) ASPHALT SHINGLES
- (B) MET. DRIP EDGE & GUTTER ON 2x8 WD. TRIM FASCIA (ALUM. CLAD)
- (C) MET. DRIP EDGE ON 2x8 WD. TRIM RAKE BD. (ALUM. CLAD)
- (D) 1x4 WD. TRIM SUB-RAKE BD. (ALUM. CLAD)
- (E) 1x6 FRIEZE BD W/ ALUM WRAP
- (F) 1x6 VINYL TRIM
- (G) VINYL CORNER TRIM
- (H) HORIZ. VINYL SIDING
- (I) VINYL SHAKE SIDING
- (J) BRICK W/ BRICK SILL
- (K) 12" RD COLUMN
- (L) MTL FLASHING
- (M) ROOF JACK
- (N) DOWNSPOUT



REAR ELEVATION
 SCALE: 1/4"=1'-0"



FRONT ELEVATION
 SCALE: 1/4"=1'-0"

Issued For:	REVIEW
	11.11.16
	REVISED
	7.10.17
	REVISED PER COMMENTS
	10.12.17
	REVISED
	12.4.17

Developer:
FAIRVIEW COMPANIES
 1700 W. Big Beaver, Suite 120
 Troy, Michigan 48084

Project:
ENCORE
 at DEERHILL

Independence Township, Michigan
 Sheet Title:

COMMUNITY BUILDING ELEVATIONS

Project Number: 16-122
 Drawn: RCC
 Checked: DT
 Date: 9.23.16
 Sheet Number:



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

August 7, 2024

Sean O’ Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Lake Pointe Apartment Development – Planned Development Agreement – 6th Review

DLZ Job No. 1745-0385-00

Dear Mr. O’ Neil,

The applicant is proposing a 69 unit attached single family apartment development on a 13.32 acre parcel located off Union Lake Road. This is a review of the proposed PDA documents that were prepared for JMF White Lake, LLC. and were submitted to this office on July 29, 2024 via Dropbox.

The following items were submitted as part of this review:

- Draft PDA Agreement

Please note that comments from our June 27, 2024 review are in *italics*. Responses to those items are in **bold**. New comments are in standard font.

We offer the following comments for your consideration:

General

1. *We generally defer comment regarding document format and agreement language to the Township Attorney.* **Comment remains.**
2. *We defer to the Township regarding item 2.4 and whether the Township does indeed waive the Traffic Impact Assessment, and Community Impact Statements. Comment partially addressed. A Traffic Impact Assessment was submitted and reviewed by Township staff and consultants. It is unknown whether a Community Impact Statement has been submitted and reviewed by the appropriate parties. Comment addressed. Design engineer has stated that a Community Impact Statement is not required by the Township.* **The requirement for a Community Impact Statement**



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Lake Pointe PDA – Review .06

August 7, 2024

Page 2 of 3

was waived at the White Lake Township Board meeting on May 18, 2021. Comment remains as a notation.

3. *We defer to the Township with respect to whether there will be restrictions and by laws since this development is to be single family apartments. Our concern is the protection of surface drainage easements from encroachments so as surface drainage in these areas does not become impeded. Comment rescinded, design engineer has stated that this development consists only of rental properties and will thus be under the control of a single owner. **Comment remains as a notation.***
4. *A Storm Maintenance Agreement and Lien are required as noted in our February 22, 2021 Final Engineering Review letter. The Storm Sewer and Detention Basin Easement documents were provided with this PDA review. The Maintenance Agreement will need to contain language referencing shared maintenance responsibility between Lake Pointe and West Valley as detention basin discharge from Lake Pointe will flow through West Valley’s storm sewer system. Comment remains as a notation; we recommend approval subject to preparation and approval of a joint maintenance agreement regarding the storm sewer. **Article IV Section 4.6 references the parties will enter into stormwater maintenance and easement agreements; we recommend this language be revised to match the Township standard form which is titled “storm water management facilities easement, maintenance agreement, and lien”. We also recommend the reference to item (c) be removed as the Comfort Care Senior Living facility has no connection to the Lake Pointe development.***
5. *Item 4.11 of the agreement references the requirement to obtain an off-site easement from Independence Village in order to extend the proposed sidewalk fronting Union Lake Road. Per a Zoom meeting held with our office and the developer, as well as the developer’s engineer on May 30, 2024, the portion of sidewalk fronting Independence Village will not be done. The developer noted in this meeting that Independence Village is not willing to provide an easement document for the sidewalk extension. **We recommend this language (Article IV, Item 4.11 of Agreement) be removed from the agreement; however, we will defer to the Township Attorney regarding this item.***



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Lake Pointe PDA – Review .06

August 7, 2024

Page 3 of 3

Recommendation-

We recommend approval of the PDA subject to incorporation of the above referenced items. If you have any questions, please feel free to contact us.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P. E.
Senior Engineer

Cc: Andrew Littman, Community Development, *via email*
Aaron Potter, DPS Director, *via email*
Hannah Kennedy-Galley, Community Development, *via email*
Lisa Hamameh, RSJA Law, *via email*

X:\Projects\2017\1745\038500 WLT Lake Pointe\PDA Review\Submittal #6\Review.06.docx

LISA J. HAMAMEH
lhamameh@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsjalaw.com



ROSATI | SCHULTZ
JOPPICH | AMTSBUECHLER

July 30, 2024

via email only: soneil@whitelaketwp.com

Sean O'Neil
Community Development Director
White Lake Township
7525 Highland Road
White Lake, Michigan 48383

**RE: 6th Review of Planned Development Agreement
Lake Pointe**

Dear Sean:

You asked that we review the proposed revised Planned Development Agreement for Lake Pointe ("Agreement") submitted by JMF White Lake, LLC ("Developer"). There were no Exhibits attached to this draft and, therefore, we defer to the Township Engineer regarding the Exhibits. Our comments regarding the Planned Development Agreement follow:

General Comments

1. As stated in previous correspondence, prior to the execution of the Agreement, the Developer must provide documentation evidencing ownership of the Property. Developer has provided an unrecorded Warranty Deed, dated March 26, 2021. The Township may want to verify it has been recorded at the Register of Deeds and there have been no ownership changes since that time by reviewing property documents or assessing records, or by requesting a title search. In addition, a company resolution authorizing the signer to execute the Agreement on behalf of the LLC is required.
2. As stated in previous correspondence, the Township should consider whether the development schedule provided in Paragraph 4.2 is acceptable. The Zoning Ordinance requires a development schedule, including any individual stages or phases, and the anticipated beginning and completion dates.
3. Paragraph 1.2 should be revised to move the last sentence after the first sentence so the events occur chronologically. Additionally, this Paragraph provides that the Final Site Plan expired on July 7, 2024. Has that been extended again?
4. Paragraph 1.5 should be revised to coincide with the Township's Zoning Ordinance, Section 6.7(E). For example, the second sentence defines "minor changes" to be limited to those provided in the ordinance, but also expands the definition to include Section

- 6.7(E)(ii and iii) which are not "minor changes" and may not be approved administratively. Additionally, Community Development Director should replace the term Planning Director.
5. While a provision was added to Paragraph 4.6 to address storm water maintenance easement in light of the shared facilities with West Valley and Comfort Care, additional discussion is needed. A meeting to discuss this issue is recommended
 6. While I recognize these are new requests, the Agreement should be revised to include the following provisions:
 - a. A breach provision to provide:
 1. Any breach of this Agreement shall constitute a nuisance *per se* which shall be abated. The parties therefore agree that, in the event of a breach of this Agreement by Developer, which is not cured in accordance with this Agreement, the Township, in addition to any other relief which it may be entitled to at law or in equity, shall be entitled under this Agreement for an order of a court of competent jurisdiction providing for relief in the form of injunctive relief or specific performance requiring abatement of the nuisance *per se*.
 2. In the event of a breach of this Agreement, the Township may notify Developer of the occurrence of the breach and issue a written notice requiring the breach be cured within thirty (30) days; provided, however, that if the breach, by its nature cannot be cured within thirty (30) days, Developer shall not be in breach hereunder if Developer commences the cure within the thirty (30) day period and diligently pursues the cure to completion.
 - b. a provision acknowledging that at the time of execution of the Agreement, the Owner will not have yet obtained engineering approvals for the Development and that additional conditions may be imposed, provided that no such conditions be inconsistent with the PD Plan or this Agreement and shall not change or eliminate any development right authorized thereby. Those conditions shall be incorporated into and made part of this Agreement automatically upon issuance of said conditions.

If you have any additional questions or would like to discuss this matter further, please call.

Very truly yours,

ROSATI SCHULTZ JOPPICH
& AMTSBUECHLER PC



Lisa J. Hamameh

cc: M. Leuffgen
V. Loekmker

PLANNED DEVELOPMENT AGREEMENT

LAKE POINTE

Entered into between:

JMF Union Lake, LLC

A Michigan limited liability company

and

Charter Township of White Lake, a Michigan Charter Township

Dated: _____, 2024

PLANNED DEVELOPMENT AGREEMENT

(Lakepoint – White Lake Township)

This Planned Development Agreement (the "Agreement") is entered into as of _____, 2024, by and among JMF Union Lake, LLC, a Michigan limited liability company, whose address is 1700 W. Big Beaver Road, Suite 120, Troy, Michigan 48084 (hereafter referred to as “Developer” or "Owner"), and Charter Township of White Lake, a Michigan Charter Township, whose address is 7525 Highland Road, White Lake, Michigan 48383 ("Township").

RECITALS

- A. Developer owns certain real property consisting of approximately 13.32 acres located in the Township on the northeast side of Union Lake Road and northwest of Carpathian Drive, which is more particularly described on **Exhibit A** attached hereto (the "Property"). The Property is zoned PD, or Planned Development by the Township.
- B. Developer desires to develop the Property as multi-family, residential housing project consisting of 69 units as depicted in the Final Site Plan prepared by Seiber, Keast Engineering, L.L.C. (Job No. 19-039, revised February 13, 2024), attached hereto as **Exhibit B** (the “Final PD Plan”), for the proposed Lake Pointe residential development (the “Project”).
- C. At a meeting held by the Township Planning Commission on January 16, 2020, the Township Planning Commission recommended approval of Developer’s revised Preliminary Site Plan, subject to conditions.
- D. At a meeting held by the Township Board on January 21, 2020, the Township Board approved the revised Preliminary Site Plan, subject to conditions.
- E. At a meeting held by the Township Board on February 16, 2021, the Township Board approved a one-year extension of the revised Preliminary Site Plan for the Project.
- F. At a meeting held by the Township Planning Commission on May 6, 2021, the Planning Commission approved the Final Site Plan, subject to conditions, and

recommended approval of the Planned Development Agreement to the Township Board.

- G. At a meeting held by the Township Board on May 18, 2021, the Township Board approved the Planned Development Agreement and waived the requirement for a community impact statement.
- H. At a meeting held by the Township Planning Commission on February 1, 2024, the Planning Commission approved an extension of the Final Site Plan until July 7, 2024.
- I. By entering into this Agreement, Owner and the Township desire to set forth the parties' obligations with respect to the Planned Development for the Property and the Project and the terms and requirements under which the Property and the Project shall be developed.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in this Agreement, the parties agree as follows:

ARTICLE I

DESCRIPTION OF THE PROJECT; PD AND PD PLANS

- 1.1. **Description of Project.** The project ("Project") covers an area comprising approximately of 13.32 acres located on the northeast side of Union Lake Road and west of Williams Lake Road. The Project will consist of 69 attached residential rental housing units. Each residence will be ranch-style dwelling with a 2-car attached garage.
- 1.2. **PD Plan Approval; Exhibits.** The revised Preliminary Site Plan prepared by Sieber, Keast Engineering, L.L.C. was approved by the Township Board on January 21, 2020, and thereafter extended for one year by the Township Board at its meeting held on February 16, 2021. On May 18, 2021, the Township Board approved the original Planned Development Agreement, which thereafter expired, and then on August __, 2024, approved this Agreement, which approval grants Developer the right to construct facilities as set forth in the Final PD Plan, subject to this Agreement and all applicable permits in the ordinary course, as the same may be modified and amended in accordance with the Township Zoning Ordinance from time to time. All exhibits attached hereto are incorporated herein and made a part hereof by reference. Thereafter, the Final Site Plan was extended by the Planning Commission to July 7, 2024.
- 1.3. **Performance Criteria.** Developer affirmatively submits that the proposed uses on the Property shall not exceed the performance criteria found in the Township Zoning Ordinance and the standards listed therein.
- 1.4. **Waivers and/or Modifications to Standard Zoning Requirements.** Except as otherwise provided in this Agreement and the Final PD Plan, Developer shall adhere to all applicable

Township ordinances, codes, rules, regulations and standards. Waivers from the Township Zoning Ordinance which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth on the Final PD Plan and this Agreement.

- 1.5. **Minor Modifications.** If, following the approval of the Final PD Plan, Developer proposes minor changes to the Final PD Plan, including changes required during final engineering review and required by other State and County regulatory agencies, such minor changes may be made subject only to "Administrative Approval". The term "Minor Changes" shall be those changes set forth in the Township Zoning Ordinance, Article 6, Section 6.7(E)(i-iii). For purposes of this Agreement, "Administrative Approval" shall mean the approval by the Planning Director of the Township, or his/her designee, or such other individual as may be designated by the Township Board, without the necessity of review by the Township Board or the Township Planning Commission or any amendment to this Agreement.

- 1.6. **Statement of Planning Objectives and Community Benefits to be Achieved by the Project.** The primary planning objectives of this development are to create alternative, high quality rental housing options that appeal to both active retirees and empty nesters who want to stay in place or be attracted to the White Lake community and to meet the needs and growing demand of younger working and professional millennials for high quality rental housing, consistent with the Master Plan objective to provide for a diversity of housing opportunities in the Township. The Project will provide more open space and less housing density than permitted under the applicable zoning ordinance and Master Plan. A substantially larger open space area is achievable because of the unique situation where the Developer also owns the West Valley development on the southwest side of Union Lake Road and can provide an integrated storm drainage system serving multiple properties. For the reasons described in paragraph 2.3 below, Developer also agreed to contribute \$15,000 for the installation of speed bumps in the neighboring Bocovina development. Developer will also contribute: (a) to the Township the sum of \$2,050 for the future installation of approximately 630 square feet of offsite concrete sidewalk along Union Lake Road to Independence Circle; and (b) the sum of \$7,500 to the Park Fund. While the density of the Project is consistent with the existing zoning, the contribution to the Park Fund will assist the Township in continuing to furnish public amenities that will serve the new residents of the Project. The Project also includes substantial on-site recreational amenities, including walking paths, seating areas and a swimming pool and clubhouse.

ARTICLE II

REQUIREMENTS FOR DEVELOPMENT

- 2.1. **Development Standards.** The Property shall be developed and improved in compliance with the following:

- (a) The Charter Township of White Lake Zoning Ordinance, as amended, and engineering design standards, except where modified by this Agreement and the Exhibits attached hereto;
 - (b) This Agreement;
 - (c) The Final PD Plan;
 - (d) The conditions set forth in Paragraph 2.3 below; and
 - (e) All applicable federal, state and county laws, rules and regulations.
- 2.2. **Effect of PD Approval.** To the extent that developing the Property in accordance with this Agreement and the PD Plan will deviate from the Zoning Ordinance or any other Township Ordinance or regulation, this Agreement and the Final PD Plan shall control. To the extent this Agreement and PD Plan attached hereto are silent on development issues, the Project shall comply with the Zoning Ordinance and other Township ordinances and regulations. All improvements constructed in accordance with this Agreement and the Final PD Plan shall be deemed to be conforming under the Zoning Ordinance and in compliance with all ordinances of the Township. The Project shall not be subject to any additional requirements contained in any amendments or additions to Zoning Ordinances adopted subsequent to the date of this Agreement which conflict with the provisions of this Agreement including the PD Plan and/or any plans which are approved pursuant to this Agreement.
- 2.3. **Conditions to Approval.** Prior to commencement of construction of the Project, Developer will: contribute the sum of up to \$15,000 to pay for speed bumps to be installed in the neighboring Bocovina residential development per a separate written agreement with the Bocovina’s homeowners association; and deliver the sum of \$2,050 to the Township for future installation of an off-site concrete sidewalk as described in paragraph 1.6 above. The purpose of the speedbumps is to both discourage cut-through traffic and reduce traffic speeds for safety of the residents. The off-site sidewalk contribution is intended to further the Township’s objective of achieving connectivity and non-motorized access throughout the Township. In addition, no bars shall be installed on the back of patios to interfere with access to the open space from the patios.
- 2.4. **Traffic Impact Assessment.** Revised traffic impact assessments dated December 2, 2019, and June 7, 2024, prepared by Fleis & Vandenbrink were received and reviewed by Township staff and consultants.

ARTICLE III

USES WITHIN THE PROJECT

- 3.1. **Approved Uses for the Project.** The Project will consist of 69 ranch-style residential units (or a density at 5.41 units per acre) in 19 buildings. Each residence shall have two bedrooms and an attached 2-car garage and each building shall contain no more than 4-attached residential dwelling units.

- 3.2. **Project Amenities.** In order to provide on-site recreational amenities to serve the residents of the Project, Developer will install a clubhouse and pool as depicted in the Final PD Plan. An open space area consisting of approximately 8.42 acres will be maintained, with walking paths, seating, a pergola structure and dog waste stations as depicted in the Final PD Plan.

ARTICLE IV

DEVELOPER'S RIGHTS AND OBLIGATIONS

- 4.1. **Right to Develop.** Developer shall have the right to develop the Property in accordance with the PD Plan and this Agreement.
- 4.2. **Development Schedule.** Developer shall commence development of the Project within 12 months from the Township's approval of this Agreement. The intent is complete the development as a single phase once commenced. The foregoing development schedule may be modified by Developer as necessary or appropriate based on the timing of State and County agency approvals, market and other conditions, with the Township's consent, which shall not be unreasonably withheld or delayed.
- 4.3. **Internal Roads in the Project.** The internal roads within the Project will be private and constructed in accordance with Final PD Plan, Township Engineering Design Standards, approved Final Engineering Plan, and RCOC Approval.
- 4.4. **Landscape Plan.** The Landscape Plans, Sheets LS-1 through LS-7, which are part of the Final PD Plan attached hereto as Exhibit B, identify the landscaping to be installed within the Project.
- 4.5. **Utilities.**
- (a) **Sanitary Sewer System.** Sanitary sewers shall be extended by the Developer to serve the Project which must connect to the Township's sanitary sewer system. Connection to the sanitary sewer system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township's Ordinance. The Final PD Plan identifies the sewer lines and related sanitary sewer easements to be dedicated to the Township as depicted in the Easement for Sanitary Sewer Exhibits.
 - (b) **Water System.** Water service shall be extended by the Developer to serve the Project which must connect to the Township's water system. Connection to the water system shall require payment of all applicable fees, charges, and assessments, in accordance with the Township Ordinance. The Final PD Plan identifies the water lines and related water easements to be dedicated to the Township as depicted in the Easement for Watermain Exhibits.
- 4.6. **Storm Water Detention.** Storm water shall be conveyed by a storm sewer system to a storm water detention basin located within the Project as shown in the Final PD Plan. All such storm water drainage facilities, including the detention basin and all related improvements shall be designed in accordance with all applicable ordinances and

engineering regulations and standards as depicted in the Easement for Storm Sewer Exhibits. Prior to commencement of construction, the parties ~~(and, to the extent applicable, third parties)~~ will enter into ~~the following a separate sStormwater mMaintenance and easement aAgreements utilizing standard Township agreement forms: (a) stormwater agreement for the Project; (b) stormwater agreement serving both the Project and the proposed adjacent West Valley development; and (c) a stormwater overflow easement for the Comfort Care Senior Living facility on nearby land. in a form to be mutually agreed upon by the parties in the exercise of reasonable discretion.~~

- 4.7. **Signs.** The entrance signage and other directional signage for the Project shall be as depicted in the Final PD Plan. Any additional signage or modification of signage proposed to be installed will have to be approved by the Township and Developer will comply with all the sign regulations in the Township's sign ordinance.
- 4.8. **Architectural and Site Design Guidelines.** The Project shall be developed in conformance with the following architectural and site minimum standards:
 - (a) **Minimum Setbacks.** Setback requirements shall be in accordance with the approved final PD Plan.
 - (b) **Exterior Materials.** The building elevations and exterior materials shall be consistent with the elevations and materials set forth in the Final PD Plan and any modifications to same will be of equal or better quality and durability and shall be approved in accordance with the Township Zoning Ordinance.
 - (c) **Driveways and Sidewalks.** Curbs, gutters and sidewalks shall be constructed of concrete and shall be in accordance with the approved Final PD Plan and approved Final Engineering Plan. Driveways shall be constructed of concrete.
- 4.9 **Permits and Authorizations.** All state, county and federal permits required for completion of the project shall be approved prior to the scheduling of a pre-construction meeting with Developer and the Township staff and consultants.
- 4.10 **Improvements and Alternations.** Developer shall not engage in any improvements or alterations on the Property, including, without limitation, site grading work or installation of utilities, until completion of the pre-construction meeting.
- 4.11 **Offsite Pathway/Sidewalk Easement.** Developer agrees that it shall obtain a fully executed offsite pathway/sidewalk easement from the adjoining owner(s) of Independence Village in such form as is approved by the Township, prior to scheduling the pre-construction meeting.

ARTICLE V

MAINTENANCE OF OPEN SPACE

- 5.1. **Common Elements and Common Facilities.** The Developer shall have the responsibility for maintaining the open space and installed landscaping located within the Project.

ARTICLE VI

TOWNSHIP'S RIGHTS AND OBLIGATIONS

- 6.1. **Permits and Authorizations.** The Township shall grant to Developer and its contractors and subcontractors all Township permits and authorizations necessary to bring and/or construct all utilities necessary to service the Property and to otherwise develop and improve the Property in accordance with the Final PD Plan, provided the Developer has first made all requisite filings and submissions for permits, complied with the requirements for said permits or authorizations submittals, and paid all required fees in accordance with the Township's Ordinances. Any applications for permits or authorizations from the Township will be processed in the customary manner. The Township shall cooperate with Developer in connection with Developer's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and or discussions are consistent with the Final PD Plan and this Agreement and provided that the Township shall not be required to initiate legal proceedings or assume any financial obligations of Developer, including without limitation the payment of any compensation, cost or fee. Once appropriate approvals are granted, Developer shall be entitled to obtain a grading permit from the Township and thereafter commence grading and clearing activities.
- 6.2. **Township Action For Failure to Maintain Property.** In the event the Developer defaults in its obligation to maintain the property in a reasonable condition, using reasonable standards, and consistent with and as required under the Final PD Plan and this Agreement, the Township may serve written notice upon Developer setting forth the manner in which Developer has failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than thirty (30) days, and shall set forth the date, time and place of a hearing before the Township Board for the purpose of allowing Developer to be heard as to why the Township should not proceed to perform the maintenance which has not been undertaken. In that hearing, the time for curing such deficiencies, and the hearing itself, may be extended. If, following the hearing, the Township Board shall determine that the Developer has not cured such deficiency within the time specified at the hearing, then upon five (5) days written notice to Developer, the Township shall thereupon have the power and authority, but not the obligation, to enter upon the Property or cause its agents or contractors to enter upon the Property to cure such deficiency as reasonably found by the Township to be appropriate and/or necessary, in a manner so as to reasonably minimize any interference with the residential occupancy and use the Property and the cost and expense of such curative actions, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township shall be paid by the Developer. Such amount shall constitute a lien on the Property and the Township may require such costs and expenses to be paid prior to the commencement of work. If such costs and expenses have not been paid within sixty (60) days of a billing to the Developer, all unpaid amounts may be (a) placed on a delinquent tax roll of the Township as to the Property and shall accrue interest and penalties and shall be collected as and shall be deemed delinquent real property taxes in

the discretion of the Township; or (b) assessed against the Developer and collected as special assessment on the next annual Township tax roll; or (c) collected by use of the applicable provisions of Michigan law providing for foreclosure by advertisement, the Owner having specifically granted the Township the required power of sale to do so; or (d) collected by suit against Developer. If suit is initiated, the Developer shall pay all of the Township's reasonable legal fees and costs. The selection of remedy shall be at the sole option of the Township, and election of one remedy shall not waive the use of any other remedy.

ARTICLE VII

MISCELLANEOUS PROVISIONS

- 7.1. **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Michigan.
- 7.2. **Counterparts.** This Agreement may be executed in multiple counterparts, each of which shall be deemed an original and all of which shall constitute an agreement. The signature of any party to any counterpart shall be deemed to be a signature to, and may be appended to, any other counterpart.
- 7.3. **Successors and Assigns.** The terms, provisions and conditions of this Agreement are and shall be deemed to be of benefit to the Property and shall run with and bind the Property, and shall bind and inure to the benefit of the successors and assigns of the parties to this Agreement.
- 7.4. **Amendment.** This Agreement may only be modified by written agreement of the Township and Developer or any successor in title who assumes Developer's rights and obligations hereunder.
- 7.5. **Authority.** This Agreement has been duly authorized by all necessary action of Developer and the Township, through the approval of the members of the Developer and the Township Board at a meeting in accordance with the laws of the State of Michigan, and the ordinances of the Township. By the execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property in its respective entities to its terms and conditions.
- 7.6. **Partial Invalidity.** Invalidation of any of the provisions contained in this Agreement or the application thereof to any persons by judgment or court order shall in no way affect any of the other provisions hereof or the application thereof to any other person and the same shall remain in full force and effect.
- 7.7. **No Partnership.** None of the terms or provisions contained in this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.
- 7.8. **Incorporation of Documents.** The recitals contained in this Agreement, the introductory paragraph, and all exhibits attached to this Agreement and referred to herein shall for all

purposes be deemed to be incorporated in this Agreement by this reference and made a part of this Agreement.

- 7.9. **Integration Clause.** This Agreement is intended as the complete integration of all understandings between the parties related to the subject matter herein. No prior contemporaneous addition, deletion, or other amendment shall have any force or effect whatsoever, unless referenced in this Agreement.
- 7.10. **Recording.** This Agreement shall be executed by the parties and recorded by the Township in the office of the Oakland County Register of Deeds. All recording fees shall be paid by the Developer.
- 7.11. **Waiver.** Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this Agreement shall be affecting or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall affect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.
- 7.12. **Violations.** Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.
- 7.13. **Acknowledgments.** The parties negotiated the terms of the Agreement and the parties agree that its terms, conditions and requirements are lawful and consistent with the intent and provisions of local ordinances, state and federal law. Developer has offered and agreed to proceed with the undertakings and obligations as set forth in this Agreement in order to protect the public health, safety, and welfare and provide material advantages and development options for Developer, all of which undertakings and obligations the parties agree are necessary in order to ensure public health, safety, and welfare, to ensure compatibility with adjacent uses of land, to promote use of the Property in a socially, environmentally, and economically desirable manner, and to achieve other reasonable and legitimate objectives of the parties, as authorized under applicable Township ordinances and the Michigan Zoning Enabling Act, MCL 125.3101, *et seq.*, as amended. It is also agreed and acknowledged that the terms, conditions, obligations, and requirements of this Agreement are dearly and substantially related to the burdens to be created by the development and use of the Property under the approved PD, and are, without exception, clearly and substantially related to the Township's legitimate interests in protecting the public health, safety and general welfare. Furthermore, the parties fully accept and agree to the final terms, conditions, requirements and obligations of the Agreement and shall not be permitted in the future to claim that the effect of the Agreement results in an unreasonable limitation upon uses of all or any portion of the Property, or claim that enforcement of the

Agreement causes an inverse condemnation, other condemnation or taking of all or any portion of the Property.

(Signatures and notarization are contained on the following pages)

JMF UNION LAKE, LLC, a Michigan limited liability company

By: _____

Printed: Michael S. Furnari

Its: Sole Member and Manager

Dated:

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing Planned Development Agreement was acknowledged before me this ____ day of _____, 2024 by Michael S. Furnari, the Sole Member and Manager of JMF Union Lake, LLC, a Michigan limited liability company, on behalf of said company.

Notary Public
Notary Public, State of Michigan, County of _
Acting in the County of _
My Commission Expires: _

CHARTER TOWNSHIP OF WHITE LAKE, a
Michigan Charter Township

By: _____

Printed: _____

Its: _____

Dated: _____

STATE OF MICHIGAN)
) SS
COUNTY OF OAKLAND)

The foregoing Planned Development Agreement was acknowledged before me this ____ day of _____, 2024 by _____, the _____ of Charter Township of White Lake, a Michigan Charter Township, on behalf of said Charter Township.

Notary Public
Notary Public, State of Michigan, County of _____
Acting in the County of _____
My Commission Expires: ____

Prepared by:

Alan M. Greene, Esq.
Dykema Gossett PLLC
39577 Woodward Avenue, Suite 300
Bloomfield Hills, MI 48304

When recorded, return to:

White Lake Township
c/o Township Clerk
7525 Highland Road
White Lake, MI 48383

121352.000001 4865-5536-0723.1

EXHIBIT A

(Legal Description)

EXHIBIT B

(Final Site Plan)

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM**

COMMUNITY DEVELOPMENT DEPARTMENT

DATE: Cwi wuv'34.'4246
TO: Rik Kowall, Supervisor
Township Board Members
FROM: Sean O'Neil, AICP
Eqo o wplk' 'F gxgr o gpv'F ktgevt

SUBJECT: New Hope White Lake (Co gpf gf 'Planned Development Agreement)

Located on the west side of Williams Lake Road and south of Elizabeth Lake, consisting of approximately 13.32 acres. Identified as parcel number 12-25-400-029. The property is currently zoned Planned Development (PD).

The above request is now ready for Township Board consideration. The matter was considered by the Planning Commission at their regular meeting on Cr tkl'6.'4246. at which time the **Planning Commission recommended approval** of the co gpf gf 'planned development agreement. Please find enclosed the following related documents:

- § Minutes from the Planning Commission meeting held on Cr tkl'6.'4246
- § Review letter prepared by Attorney Lisa Hamameh, dated Cwi wuv'7.'4246.
- § Review letter prepared by the Township Engineering Consultant, Mr. Mike Leuffgen, Cwi wuv'8.'4246.
- § Planned Development Agreement and Exhibits for New Hope White Lake, dated Lxpg'42460

Please place this matter on the next available Township Board agenda. Contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
APRIL 4, 2024**

CALL TO ORDER

Chairperson Seward called the meeting to order at 6:30 P.M.

Roll was called:

Present:

T. Joseph Seward, Chairperson
Steve Anderson
Debby Dehart
Pete Meagher
Matt Slicker
Merrie Carlock, Vice Chairperson
Mona Sevic

Absent:

Robert Seeley
Scott Ruggles, Township Board Liaison

Others:

Sean O'Neil, Community Development Director
Justin Quagliata, Staff Planner
Mike Leuffgen, DLZ
John Iacoangeli, Beckett & Raeder
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

MOTION by Commissioner Carlock, seconded by Commissioner Anderson to approve the agenda as presented. The motion carried with a voice vote: (7 yes votes).

APPROVAL OF MINUTES

A. March 7, 2024

Chairperson Seward noted a correction to the minutes: Page 2, the name Seifman needed to be corrected.

MOTION by Commissioner Anderson, seconded by Commissioner Anderson, to approve the minutes of March 7, 2024 as corrected. The motion carried with a voice vote: (6 yes votes, Meagher abstained).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

A. Gateway Crossing

Property described as parcel numbers 12-20-426-003 (6350 Highland Road) and 12-20-402-003 (6340 Highland Road), located at the southwest corner of Bogie Lake Road and Highland Road, consisting of approximately 5.36 acres.

Request: **Preliminary site plan and special land use approvals**

Applicant: Najor Companies

Staff Planner Quagliata gave a brief overview of the applicant's request.

Commissioner Sevic asked staff for clarification regarding ingress and egress to the property. Staff Planner Quagliata said it would be right in, right out only on M-59, and there was another proposed driveway on the east side of Bogie Lake Road

Commissioner Meagher asked staff if the distance from Bogie Lake to the driveway was an MDOT or Township issue. Staff Planner Quagliata confirmed it was a Township issue, and the applicant would need to seek a variance from the ZBA.

Commissioner Slicker asked for clarification regarding the traffic on the east side of the property. Staff Planner Quagliata said it was proposed to have traffic enter from the east driveway Bogie Lake Road to avoid drive thru traffic on the north and west, as a driveway on Highland Road. There was discussion to remove parking on the northeastern corner of the site to relieve traffic at the northwestern side of the building and to provide more safety to customers navigating the site. He added that there would be steady traffic within the site, and keeping the internal traffic moving safely was important.

Commissioner Anderson asked staff about the sidewalk. Staff Planner Quagliata said the developer was required to remove the existing shoulder and convert it to greenbelt. Sidewalk would be installed along the property's Highland Road frontage.

Commissioner Dehart asked staff if there would be a left turn lane on Bogie Lake Road. Staff Planner Quagliata said no, there was a right-hand taper that would need to be improved to the Road Commission standards.

Mr. Leuffgen briefly went over his engineering review.

Commissioner Anderson asked Mr. Leuffgen if the traffic study was reviewed. Mr. Leuffgen confirmed, DLZ reviewed the study and was in agreement with the findings.

Brian Najor, Najor Companies, was present to speak on behalf of his request. He had owned the property for many years, and was hoping to add to the Township's growth. His development was demand driven, and tried to put his best foot forward in coming up with a plan for the site. The site was challenging due to the elevation changes. He had previously worked with Redwood to provide necessary easements, and had a good rapport with Redwood.

Scott Tousignant, Boss Engineering, clarified a few items. He said regarding the drive approaches, he had spoken with MDOT and they were satisfied with those locations. If the M-59 approach was shifted, the construction feasibility would be minimal, and it would be the same with the Bogie Lake approach if it were shifted south due to the change in elevation. The one-way stub near Bogie Lake Road would help direct drivers to the drive thru lane. In regards to the circulation, the elimination of three parking spaces would help alleviate some of the concern. The site circulation would be kept predictable and there would potentially be the opportunity for a turn around.

Beau Wynn, Detroit Architectural Group, said the property would be well maintained and taken care of because it would remain a family-owned business. He briefly went over the building's elevations and materials.

Commissioner Carlock asked staff where the ordering and pick up areas would be. Staff Planner Quagliata said the drive thru would be on the south side of the building, and the window for pickup would be on the northeast area of the building.

Commissioner Carlock asked Mr. Wynn about the panels on the elevations. Mr. Wynn said they were decorative brick.

Commissioner Carlock asked staff about window coverage. Staff Planner Quagliata said the zoning ordinance required 30% window coverage on the east elevation of the building, and the applicant only proposed 9.27% coverage on their plan. The applicant would need to seek a variance for the reduction in coverage.

Commissioner Anderson asked Mr. Wynn if drivers westbound be able to see mechanical units on the top of the building. Mr. Wynn said it was possible due to the elevation of the site.

Commissioner Anderson asked Mr. Najor if all of the tenants were confirmed for the development. Mr. Najor said he was in talks with a few different tenants, and was in the process of securing the anchor tenant.

Commissioner Dehart asked if the drive thru lane was missed, would a driver have to turn around to get into the lane. Mr. Tousignant said yes.

Chairperson Seward opened the public hearing at 7:18 P.M.

Paul Cronenwett, pastor of Grace Church, wanted to know if there was impact to his church's driveway easement. It was confirmed there would be a positive impact due to the connection of the sidewalk pathway.

Chairperson Seward closed the public hearing at 7:20 P.M.

MOTION by Commissioner Meagher, seconded by Commissioner Anderson, to approve the special land use for Gateway Crossing, identified as parcel numbers 12-20-426-003 (6350 Highland Road) and

12-20-402-003 (6340 Highland Road), subject to addressing staff and consultant’s comments and approval of ZBA variances. The motion carried with a voice vote: (7 yes votes).

MOTION by Commissioner Meagher, seconded by Commissioner Sevic, to recommend Township Board approve the preliminary site plan for Gateway Crossing, identified as parcel numbers 12-20-426-003 (6350 Highland Road) and 12-20-402-003 (6340 Highland Road), subject to addressing staff and consultant comments and approval of ZBA variances. The motion carried with a voice vote: (7 yes votes).

B. 2024 Master Plan

Mr. Iacoangeli briefly reviewed the Master Plan process for the audience.

Director O’Neil confirmed this was the only public hearing for this matter. The next step in the process was for the Planning Commission to take action to approve the Master Plan, and then the Township Board would take action as well.

Director O’Neil thanked Mrs. Mary Earley for her help on editing the document on grammatical issues

Chairperson Seward opened the public hearing at 7:33 P.M.

Steve Woodard, 955 Schuyler, shared his concerns regarding the focus areas on the plan, in particular the area of Bogie Lake Road and Cedar Island Road. Mr. Iacoangeli said that focus area was reworked with the comments from resident participation and the Planning Commission.

Jim Runestad, 2210 Teggerdine, spoke in concern over an abundance of proposed apartments and potential congestion in the Township. He wanted the Master Plan to reflecting the concerns and desires of the Township residents.

Director O’Neil said a lot of the land use categories didn’t change in the plan, and multiple family uses were seen south of M-59, and the market has demanded the ranch style attached product that was geared toward empty nesters. There was interest in both purchasing and renting.

Commissioner Slicker stated that internal community members may not want multiple family housing, but future residents might want multiple family housing. Director O’Neil said as time and demands changed, it would be difficult to predict what the demand for people looking to move to the Township would want.

Mary Earley, 5925 Pine Ridge Court, had read the Master Plan in its entirety three times. She placed her trust in the Planning Commission and Township staff, and stated that Mr. Runestad’s comments were fearmongering.

Director O’Neil said there was a letter from a developer that was concerning the Pontiac Lake Gateway District.

The Planning Commission favored a lower building height for the Pontiac Lake Gateway district.

**MOTION by Commissioner Meagher, seconded by Commissioner Sevic to adopt by resolution the 2024 White Lake Master Plan and recommend approval to the Township Board. The motion carried with a roll call vote: (7 votes).
(Meagher/yes, Dehart/yes, Carlock/yes, Seward/yes, Anderson/yes, Sevic/yes, Slicker/yes).**

C. Zoning Ordinance amendments

Director O’Neil said he had not received a lot of feedback regarding the amendments. He highlighted the sections regarding height in the Pontiac Lake Gateway district. He added the ZBA saw countless variances regarding lot coverage, and it made sense to increase the allowable lot coverage by 5% - 10%, depending on lot size. There was discussion on renaming Agricultural and Suburban Farm. The Planning Commission favored leaving the districts as is. Parking was another significant standard that was discussed. The ordinance standard would remain the same, but the change would make the minimum the maximum, effectively reducing the standard by 75%. If an applicant wanted more than the maximum allowed parking, they would need to seek a variance.

Commissioner Slicker was concerned with parking problems in the future with strip centers with different use retailers. Director O’Neil said it was a possibility that parking could fall short in that instance, but for the most part, the change would be beneficial.

The Planning Commission shared their support of the change to the parking minimum/maximum.

ZBA approvals were extended to 12 months, and final site plan approvals were extended to 2 years.

Chairperson Seward opened the public hearing at 8:24 P.M.

There was one letter regarding the amendments to be included into the record.

Chairperson Seward closed the public hearing at 8:24 P.M.

**MOTION by Commissioner Meagher, seconded by Commissioner Carlock recommend the Township Board adopt the Zoning Ordinance amendments, subject to the omittance of sections 11, 12, 14, and 15. The motion carried with a roll call vote: (7 yes votes).
(Slicker/yes, Sevic/yes, Anderson/yes, Seward/yes, Carlock/yes, Dehart/yes, Meagher/yes).**

CONTINUING BUSINESS

None.

NEW BUSINESS

None.

LIAISON'S REPORT

The ZBA had three cases last month; three approvals were received. Triangle Trail construction was underway. The contract was awarded for Stanley Park Phase 1, the construction contract was waiting on approval. Hess-Hathaway was holding their sheep shearing on April 27.

DIRECTOR'S REPORT

The second reading of the Six Lake/Filling Station was approved; the Board made the decision to rezone the properties to General Business. The new Civic Center building designs were due May 15. The pre-con for the Elizabeth Lake Road reconstruction project was scheduled for the near future.

OTHER BUSINESS

A. New Hope White Lake PDA amendment

Director O'Neil gave a brief overview of the request.

Rumi Shazad, owner, was present to speak on behalf of his request. He said the addition of Sokol Healthcare Training on site would help staff his building, as well as provide training opportunities. The request was for the company to rent the office building on the property.

Stephanie and Doug Sokol, were present. They stated they were a family and veteran owned business, and the building would have three staff. Classes would be run every two weeks for 10 days. They were licensed through the state, and held licenses to hold the CNA courses. They also held clinical training, which was another benefit of sharing the location with the assisted living.

Commissioner Anderson asked Ms. Sokol what the criteria was of the applicants who would be attending the training. Ms. Sokol said she received a lot of applicants through Michigan Works, and accepted applicants from 17 years old. The applicants had to have a clear background check and a negative TB skin test. The majority of her students were high school and college graduates; the busiest time for training was late spring/early summer.

Director O'Neil asked Mr. Shahzad if there would be any additional signage needed. Mr. Shazad said there would be signage outside of the office building. Director O'Neil said the sign on Williams Lake Road could be changed to include Sokol Healthcare. Mr. Shahzad said he would also be utilizing digital marketing. Mr. Sokol suggested basic vinyl sign on the window of the office building.

Commissioner Dehart was in favor of the request. She added that more nurses were needed everywhere.

MOTION by Commissioner Meagher, seconded by Commissioner Carlock to recommend the Township Board approve of New Hope's Planned Development Agreement, including signage amendments as discussed, subject to staff working with the developer on language. The motion carried with a voice vote: (7 yes votes).

B. Walmart temporary use request

MOTION by Commissioner Carlock, second by Commissioner Dehart to recuse Commissioner Sevic from the Walmart temporary use request due to Walmart being her employer. The motion carried with a voice vote: (6 yes votes).

Director O’Neil briefly went over the request.

MOTION by Commissioner Slicker, seconded by Commissioner Anderson, to approve Walmart’s temporary use request subject to staff memo conditions. The motion carried with a voice vote: (6 yes votes).

COMMUNICATIONS

There would not be a meeting on April 18.

NEXT MEETING DATE: May 2, 2024.

ADJOURNMENT

MOTION by Commissioner Carlock, seconded by Commissioner Meagher to adjourn at 9:02 P.M. The motion carried with a voice vote: (7 yes votes).



LISA J. HAMAMEH
lhamameh@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsjalaw.com

August 5, 2024

via email only: soneil@whitelaketwp.com
Sean O'Neil
Community Development Director
White Lake Township
7525 Highland Road
White Lake, Michigan 48383

**RE: 2nd Review of First Amendment to Planned Development Agreement
New Hope White Lake**

Dear Sean:

You asked that we review the proposed First Amendment to Planned Development Agreement for New Hope White Lake ("Agreement") sent via transmittal dated July 29, 2024. We defer to the Township Engineer regarding the Exhibits. Our comments regarding the First Amendment to Planned Development Agreement follow:

General Comments

1. As stated in previous correspondence, prior to the execution of the Agreement, the Developer must provide documentation evidencing ownership of the Property. In addition, a company resolution authorizing the signer to execute the Agreement on behalf of the LLC is required.
2. Recital G should be revised to change reference from "Original PUD" to "Agreement" as defined in the First Amendment to PD Agreement. Additionally, Recital G should be revised to change "desires" to "requested." Finally, Recital G should be revised to change reference from Exhibit A to Exhibit B, since Exhibit A is the legal description.
3. Recitals H and I should be revised to reflect the "modifications to the landscape plan" as opposed to the "use modification."
4. Recitals G, H and I should be moved after Recital B, so the actions are in chronological order.
5. After Paragraph 4 (referencing changes to Section 4.7), Paragraph 5 should be added to reference the changes to Section 4.8. As such, a sentence should be added to read: Section 4.8 is amended and restated as follows: (followed by the restated section).

6. Section 4.4 should also be revised to follow the same format as the rest of the changes and as described in Paragraph 5, above, and the remaining paragraphs renumbered accordingly. Additionally, Section 4.4 should be revised to reference the Landscape Plan that was included as an Exhibit in the Agreement.
7. A new provision should be added to state: The exhibits attached hereto and the recital paragraphs set forth above are hereby incorporated into this First Amendment to PUD Agreement by this reference as though fully set forth herein.

If you have any additional questions or would like to discuss this matter further, please call.

Very truly yours,

ROSATI SCHULTZ JOPPICH
& AMTSBUECHLER PC



Lisa J. Hamameh

cc: M. Leuffgen
V. Loekmker
A. Littman



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

August 6, 2024

Sean O’ Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: New Hope White Lake – PDA Document and Exhibit Review- 1st Amended PDA-5th Review

DLZ # 2045-7094-00

Dear Mr. O’ Neil,

Our office has reviewed the above-mentioned amended PDA document dated June 2024 and the associated exhibits. This document and exhibits were reviewed for language relative to engineering and engineering related concerns.

Items provided as a part of this review are as follows:

- Draft Planned Development Agreement dated ~~July 9, 2020~~ ~~May 2024~~ June 2024.
- Exhibit A- Legal Description of Property (ID#12-25-400-029).
- Exhibit B A—~~Legal Description of Property (ID# 12-25-400-029)~~—Final Revised Landscape Plan prepared by Bell Landscaping and dated ~~October 17, 2022~~ July 26,2024.
- ~~Exhibit B—Preliminary Site Plan~~
- ~~Exhibit C—Final Site Plan~~
- ~~Exhibit D—Landscaping Plan~~
- ~~Exhibit E—Building Layout~~

Comments from our previous letter dated June 10, 2024 are in *italics*. Responses to those comments are in **bold**. New comments are in regular typeface.

We offer the following comments for your consideration:

1. *The revised landscaping plan proposes changes to location and type of landscaping in various areas. The current plan does not show the location of storm sewer, sanitary sewer, and watermain. These utilities shall be shown on the landscape plan as per that shown on the final engineering AS BUILT*



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- New Hope White Lake- PDA and Exhibit
Review.05
August 6, 2024
Page 3 of 3

Recommendation

There are a few minor items that shall be revised on the Landscaping plan so we can verify the revised landscaping does not interfere with the existing utilities. We recommend these items be updated on the plans and resubmitted for a final review.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Cc: Hannah Kennedy-Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Lisa Hamameh, Township Attorney, RSJA Law, *via email*

X:\Projects\2020\2045\709400 WLTNew Hope White\Closeout and Acceptance Paperwork\PDA Agreement and Exhibits-
Review.05\PDA Document and Exhibit Review.05.docx

**FIRST AMENDMENT TO~~DE~~
PLANNED DEVELOPMENT AGREEMENT
NEW HOPE WHITE LAKE ASSISTED LIVING
AND MEMORY CARE COMMUNITY**

Entered into between:

New Hope White Lake, LLC

A Michigan limited liability company

and

Charter Township of White Lake, a Michigan Charter Township

Dated: ~~June~~May ____, 2024

FIRST AMENDMENT TO ~~ED~~ PLANNED DEVELOPMENT AGREEMENT

This first Amendment to ~~ed~~ Planned Development Agreement (“Amended Agreement”) is entered into as of _____, 2024, by and among New Hope White Lake, LLC, a Michigan limited liability company, whose address is 450 S. Williams Lake Rd., White Lake, Michigan 48386 (hereafter referred to as “Owner”), and Charter Township of White Lake, a Michigan Charter Township, whose address is 7525 Highland Road, White Lake, Michigan 48383 (“Township”).

RECITALS

- A. Owner owns certain real property consisting of approximately 21.57 acres located in the Charter Township of White Lake, Oakland County, Michigan, as more fully which is more particularly described in ~~on~~ attached Exhibit A (the “Property”) attached hereto (the “Property”).
- B. Owner and the Township are parties to a certain ~~A~~ Planned Development Agreement dated was entered into by the parties on October 26, 2020 and recorded at the Oakland County Register of Deeds on October 29, 2020 at Liber 55074 and Page 724 (the “Agreement”), pertaining to the Property.
- ~~C. The Agreement describes the uses of each building on the Property and Owner has requested desires to modify the usage permitted in of one of the its buildings on the property and seeks to obtain the approval of such modification and to its accompanying signage from the White Lake Township Board.~~
- C.
- D. Heretofore, Owner has used a 2,621 square feet building as office space with three model units of Owner’s Assisted Living and Memory Care Community. Owner proposes to use such building as a health care training facility and ~~be allowed to make~~ accompany signage modifications.
- E. T~~On April 4, 2024~~ the White Lake Township Planning Commission considered and recommended approval of the of the requested use modification at its regular meeting on April 4, 2024 ~~amended Planned Development Agreement.~~

F. On May 21, 2024 the Township Board approved the entry, execution, and recording of this Amendment. The White Lake Township Board considered and approved the requested use modification at its regular meeting on May 21, 2024, subject to execution of this First Amendment to Planned Development Agreement.

G. Owner desires to modify the landscaping plan that was part of the original PDA. Attached as Exhibit A is the final revised Landscaping Plan.

H. The White Lake Township Planning Commission considered and recommended approval of the requested use modification at its regular meeting on October 6, 2022.

I. The White Lake Township Board considered and approved the requested use modification at its regular meeting on October 18, 2022, subject to execution of this First Amendment to Planned Development Agreement.

F.J. By entering into this First Amendment to Planned Development Agreement, Owner and the Township desire to set forth the parties' obligations with respect to this First Amendment to Planned Development Agreement for the Property.

NOW, THEREFORE, in consideration of the premises and the mutual covenants of the parties described in ~~this First~~ Amendment to the Agreement, the parties agree as follows:

1. Section 1.1 is Amended and restated as follows:

1.1 **Description of Project.** The project ("Project") covers an area comprising approximately of 21.57 acres located on Schroeder Drive off of Williams Lake Road in the Township. The Project will consist of a 93,541 square foot Assisted Living and Memory Care Community (the "Community") and a 2,621 square foot building which will be ~~us-leased~~ as a health care training ~~facility~~ academy. The Community will be licensed with the State of Michigan as a "Home for the Aged". The Community will comprise 59 assisted living units, 24 memory care units and 12 enhanced memory care units. There are six floor plans residents can choose from with square foot sizes of 470, 500, 600, 630, 720, 847. The Community will be a single-story structure. When the Community becomes fully occupied, the estimated staffing will be 70 employees.

2. Section 1.7 is Amended and restated as follows:

1.2 **Statement of Applicant’s Intention, Lease to Residents, and Lease to healthcare training ~~facility~~academy.** It is the intent of the Owner to own and operate a 95 unit (117 beds) Home for the Aged and lease such units to residents who require assisted living, memory care or enhanced memory care services. The Owner will also lease the 2,621 square foot building to a healthcare training ~~facility~~academy.

3. Section 3.1 is Amended and restated as follows:

USES WITHIN THE PROJECT

3.1 **Approved Uses for the Project.** The Project will consist of ~~a 2,621-square-foot office building that will be leased to a health care training academy and a facility that wil an assisted living, memory care or enhanced memory care services facility that will comprise 1-comprise~~ 59 assisted living units, 24 memory care units, 12 enhanced memory care units, as well as facilities necessary and common for this type of community as set forth in the final PD plan, including a 2,621 square foot office building that will be used as a health care training facility.

4. Section 4.7 is Amended and restated as follows:

4.7 ~~Intentionally Omitted. Office Building: A separate office building will be used as a health care training academy. Section 4.8 is Amended and restated as follows:~~

- 4.8 **Signs.** Any sign installed will have to be approved and Owner will comply with all the sign regulations in the Township’s sign ordinance. These signs include:
- a. A window sign covering up to 25% of the total window area of the building housing the health care training academy.
 - b. The existing monument sign may be updated with a new tenant panel which may include the name of the health care training academy. A sign permit shall be required from the Community Development Department.

Section 4.4 is Amended and Restated as follows:

4.4 **Landscape Plan.** The Landscape Plan that was originally part of the PD Plan was revised and approved by the Board of Trustees on October 18, 2022. Attached as **Exhibit B** is the final revised Landscaping Plan.

5. The recital paragraphs set forth above are hereby incorporated into this First Amendment to Planned Development Agreement by this reference as though fully set forth herein.

Acknowledged before me in _____ County, Michigan, on _____, 2024 by _____.

s/ _____
_____, Notary public
State of Michigan, County of _____.
My commission expires:
Acting in _____ County

CHARTER TOWNSHIP OF WHITE LAKE

(dated)

By: Anthony L. Noble
Its: Clerk

Acknowledged before me in _____ County, Michigan, on _____, 2024 by _____.

s/ _____
_____, Notary public
State of Michigan, County of _____.
My commission expires:
Acting in Saginaw _____ County

Prepared by:
Swartz & Wilson, PLC
4371 State St.
Saginaw, MI 48603
989-793-7000

Return to:
White Lake Township
Community Development Department
7525 Highland Road
White Lake, MI 48383

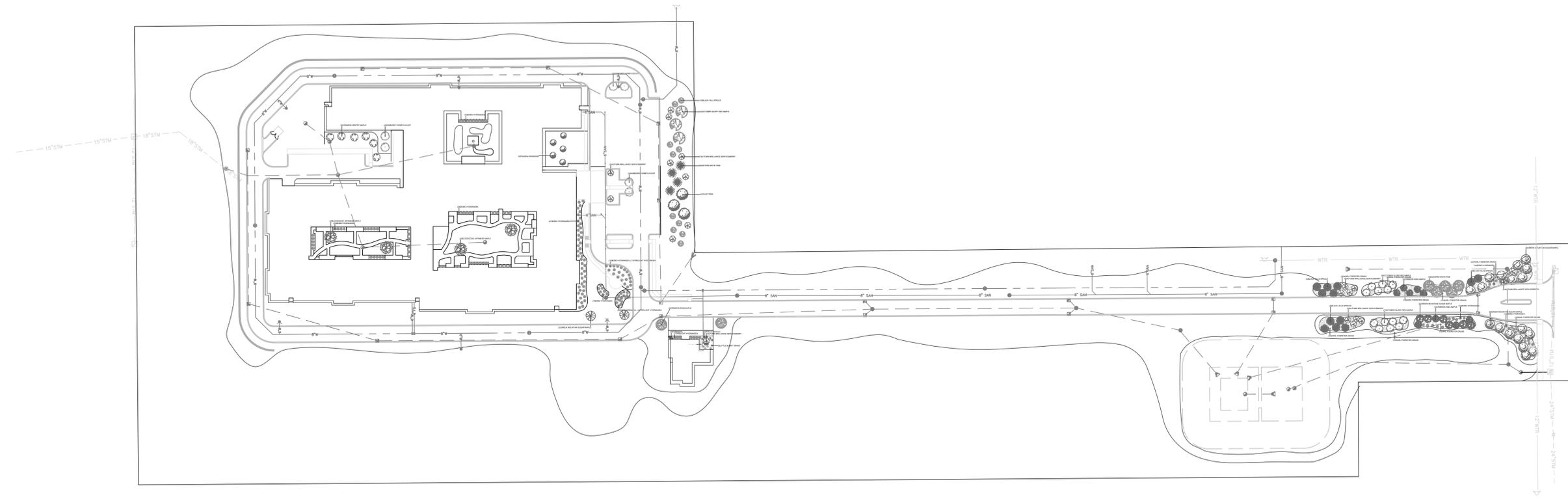
EXHIBIT "A"

Land situated in the Township of White Lake, County of Oakland, State of Michigan

A parcel of land located in part of the Southeast 1/4 of Section 25, Town 3 North, Range 8 East, White Lake Township, Oakland County, Michigan, described as beginning at a point, said point being distant South 00 degrees 21 minutes 07 seconds East, 338.10 feet along the East line of Section 25, said line also being the centerline of Williams Lake Road (33 feet wide 1/2 width) from the East 1/4 corner of said Section 25; thence from said point of beginning and continuing along the East line of Section 25, South 00 degrees 21 minutes 07 seconds East, 200.10 feet; thence South 89 degrees 36 minutes 32 seconds West, 315.65 feet; thence South 00 degrees 21 minutes 07 seconds East, 138.00 feet; thence along the North line of Settler's Pointe, Oakland County Condominium Plat No. 693, South 89 degrees 36 minutes 31 seconds West, record, South 89 degrees 36 minutes 32 seconds West, measured 1,791.83 feet; thence North 00 degrees 30 minutes 31 seconds West, 669.98 feet; thence along the East and West 1/4 line, (as occupied), the following two (2) courses and distances North 89 degrees 29 minutes 29 seconds East, 786.89 feet record, 785.67 feet measured and North 89 degrees 24 minutes 23 seconds East, 36.70 feet record, 35.25 feet measured; thence South 00 degrees 21 minutes 07 seconds East, 338.10 feet; thence North 89 degrees 24 minutes 33 seconds East, 1,288.40 feet to the point of beginning.

Commonly Known as:
Tax Parcel ID: 12-25-400-029

EXHIBIT B



BELL
LANDSCAPING

5247 N. Westervelt Road, Saginaw, MI 48604
 Phone: (989) 752-2641 Fax: (989) 752-1705

2022 COMMERCIAL LANDSCAPE DESIGN

NEW HOPE WHITE LAKE

450 S Williams Lake Rd, White Lake, MI 48386
 rumi@newhopevalley.us

DATE: 07/26/24 SCALE: 1"=60'

SHEET: 1 OF 2

REVISION: 05

SHEET SIZE: 36" X 24"

DESCRIPTION
 LANDSCAPE
 PLAN

DESIGNED BY
 MIN KIM

EDITED BY
 ANDY ANDRE

**AGREEMENT BETWEEN WHITE LAKE TOWNSHIP AND
HURON VALLEY YOUTH SERVICES
FOR YOUTH ASSISTANCE SERVICES**

This Agreement for Youth Assistance Services (“Agreement”) is entered into on the ___st day of August 2024, between White Lake Township, 7525 Highland Rd., White Lake, MI 48383 (the “Township”), and Huron Valley Youth Assistance, 1000 Hill Rd., White Lake, MI 48383 (“HVYA”).

RECITALS

1. The Township has determined there is a need for certain services to residents, specifically related to the prevention of juvenile delinquency and neglect within the community; and
2. The Township has determined that it is impractical at this time to render such services directly utilizing Township personnel and facilities; and
3. The Township is authorized by MCL 123.461 to appropriate funds for operating centers aimed at curbing juvenile delinquency within the community; and
4. The Township has determined it is in the best interest of the public health, safety, and welfare to provide other programs aimed at curbing juvenile delinquency and providing youth involvement, education, and recreation within the Township; and
5. The Oakland County Circuit Court – Family Division has authority under MCL 712A.2(e) to assist in or establish programs aimed at the prevention of juvenile delinquency and neglect; and
6. HVYA is such a program, established by the Oakland County Circuit Court – Family Division in cooperation with the Townships of White Lake, Commerce, Highland, Milford, Huron Valley Schools, and the Village of Milford; and
7. HVYA is willing to furnish such services to the Township and the Township is willing to appropriate funds for the support of such services.

ROLES AND RESPONSIBILITIES

HVYA is a community-based program whose mission is to strengthen youth and families and to prevent and reduce juvenile delinquency, neglect, and abuse through community involvement. Oakland County Circuit Court – Family Division provided professional staff, casework services, and oversight of the program under MCL 712A.2. Local municipalities provide funding for office operations with their authority to combat juvenile delinquency under MCL 123.461. The HVYA Board of Directors is responsible for the administration of the HVYA office, secretarial staff, and services.

AGREEMENT

1. HVYA agrees to furnish, and the Township agrees to appropriate funds for the support of, counseling services for the prevention of juvenile delinquency and neglect within the Township, and for youth involvement, education, and recreation programs.
2. The Township shall provide HVYA with the sum of \$9,606.00 toward the operational expenses of HVYA as sponsorship funding for HVYA's 2024 - 2025 fiscal year.
3. HVYA and/or the Township reserves the right to terminate this Agreement upon sixty (60) days written notice to their respective address listed below:

Youth Services Agency:
 Huron Valley Youth Assistance
 1000 Hill Rd.
 White Lake, MI 48383

Municipality:
 White Lake Township
 7525 Highland Rd.
 White Lake, MI 48383

Officer Name: A. Roscoe Smith

Officer Name: Rik Kowall

Officer Title: Co-Chairperson

Officer Title: Supervisor

Signature: _____

Signature: _____



Huron Valley Youth Assistance

Brooks Center
1000 Hill Road
White Lake, MI 48383
248.676.8499 phone
248.676.8471 fax

August 7, 2024

Mr. Rik Kowall, Supervisor
White Lake Township
7525 Highland Road
White Lake, MI 48383

Re: 2024 Sponsorship request

Dear Mr. Kowall & Township Board Members:

Huron Valley Youth Assistance (HVYA) is requesting \$9,606.00 in sponsorship funds for its 2024-2025 fiscal year. This amount is generated from the 2023 caseload numbers: 38% of families served were White Lake Township residents and 38% of the projected 2024-2025 expenses is \$9,606.00. These funds will abundantly help toward efforts to reduce juvenile delinquency and child abuse and child neglect. This money represents the long-standing commitment between White Lake Township and Huron Valley Youth Assistance in our united effort to strengthen local children, youth, and families, through community involvement.

In addition, we request that you appoint a representative from White Lake Township to serve on the HVYA board as a liaison between the Township and youth Assistance. HVYA meets on the second Tuesday of the month, at 2:00 p.m., in Brooks Center (1000 Hill Rd., White Lake).

HVYA is grateful that the local Townships of Commerce, Highland, Milford and White Lake as well as the Village of Milford join the Oakland County Circuit Court – Family Division to sponsor its programs and services for young people and families. On behalf of Huron Valley Youth Assistance, we thank you for your ongoing sponsorship of the HVYA program.

Sincerely,

Cathy Baker
HVYA President

A. Roscoe Smith
HVYA Vice president

Enclosures

Sponsored By: Highland Township • Milford Township • Villiage of Milford • White Lake Township
Huron Valley School District • Oakland County Circuit Court - Family Division



**HURON VALLEY YOUTH ASSISTANCE
 BROOKS CENTER
 1000 HILL RD.
 WHITE LAKE, MI 48383**

PHONE: (248) 676-8499

Email: youth.assistance@hvs.org

INVOICE

AUGUST 7, 2023

TO:

White Lake Township
 7525 Highland Rd.
 White Lake, MI 48383

FOR:

Youth Assistance Services
 7/2024-6/2025

DESCRIPTION	SERVICE DATES	AMOUNT
Youth Assistance Services	July 2024- June 2025	\$9,606.00
TOTAL		\$9,606.00

Huron Valley Youth Assistance 7/2024 – 6/2025 Anticipated Expenses

Operational Expenses

Secretary Staff **\$21,000.00**

Part-time office secretary wages, federal withholding, FICA, State withholdings, unemployment insurance and workers compensation insurance.

Office Equipment **\$1000.00**

Office Supplies **\$900.00**

Office supplies and general operational.

Office Water Supply **\$80.00**

Annual ongoing fee for use of bottled water services in the building.

Office Program Lease **\$250.00**

Software

Postage **\$900.00**

Postage. Utilization of electronic communication methods only work for some families after Initial USPS contact. Postage costs have increased.

Insurances **\$1,150.00**

Liability and Workers Compensation Insurances are reasonably priced by the opportunity to obtain them at group rates via the collaborative efforts of the Oakland County Youth Assistance – Coordinating Council.

Huron Valley Youth Assistance 7/2024 – 6/2025 Anticipated Expenses

Programs Expenses

Mental Health Wellness **\$1,500.00**

Uplifting, coping, stress relief, goodie bags, for at risk Students for Holiday break.

Counseling & Family Education Material **\$2,500.00**

Purchasing counseling tools of evidence based Interactive Journals for Behavior Change.

HVYA purchased family Education and prevention materials and/or sponsored programs on Suicide, Vaping, THC, and Parenting Classes.

Health relationship cards with candy were distributed to the High school students during the month of February.

HVYA has promoted child abuse prevention by recognizing April as Child Abuse Prevention Month. The past few years HVYA has joined the “Pinwheels for Prevention” efforts by placing bouquets of blue pinwheels in the school buildings with child abuse prevention literature for parents and staff.

Camp Program **\$2,000.00**

We are seeing an increased need for summer camp assistance with younger students 6–12-year-olds.

Skill Building **\$2,000.00**

HVYA provides scholarships to low-income student allowing them the opportunity to participate in skill building activities such as athletics, arts, band, recreation programs, swimming pool passes, tutoring, mental health fees, Drivers Education, and others. We are receiving more requests in recent year for younger student 6–12-year-olds.

Huron Valley Youth Assistance 7/2024 – 6/2025 Anticipated Expenses

Youth Recognition **\$1,500.00**

HVYA aspires to recognize children and youth for community services, their contributions to help and support others as well as and efforts made to turning their own lives around.

Special Grant Funded Youth Services Programs **\$5,200**

HVYA has acquired approved CDBG funds for youth services. These special youth services programs include:

- Family education on contemporary issues that impact teens and their families (e.g., vaping, substance use/abuse, cyber safety, life skills, parenting skills);
- Teen camp programs.
- Enrichment and skill building activities for teens.
- Prevention and intervention programs focus on teenage substance use screening, counseling, and cessation for teenagers; and
- Mental health wellness programs to empower teens with coping skills, communicating their emotions, and addressing their mental health concerns.

**RESOLUTION TO APPROVE RETAINER AGREEMENT WITH BENDZINSKI & CO.
FOR LIMITED TAX GENERAL OBLIGATION BONDS, SERIES 2024**

Resolution #24-042

At a regular meeting of the Township Board of the Charter Township of White Lake, Oakland County, Michigan, held on the 20th day of August 2024 in the Township Annex, located at 7527 Highland Road, White Lake, Michigan at 6:30 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution was offered by _____ and supported by _____.

WHEREAS, Bendzinski & Co. Municipal Finance Advisors, registered as “municipal advisors” pursuant to Section 15B of the Securities Exchange Act advisors, have long served as the Township’s Municipal Financial Advisors; and

WHEREAS, the Township Board desires to retain the services of Bendzinski & Co., to assist in the issuance of Limited Tax General Obligation Bonds, Series 2024; and

WHEREAS, the Township Board has considered the Retainer Agreement for Bendzinski & Co., Municipal Finance Advisors for the issuance of Limited Tax General Obligation Bonds, Series 2024 (the “Agreement”), attached as Exhibit A.

NOW, THEREFORE, the Township Board of the Charter Township of White Lake, Oakland County resolves as follows:

1. The Township Board resolves to approve the Agreement, attached as Exhibit A to this Resolution, and hereby authorizes the Township Supervisor to execute the Agreement on behalf of the Township.

A vote on the foregoing resolution was taken and was as follows:

YEAS: _____

NAYS: _____

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN)
)ss
COUNTY OF OAKLAND)

I, the undersigned, the duly qualified and acting Township Clerk of the Charter Township of White Lake, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of certain proceedings taken by the Township Board at a regular meeting held on the 20th day of August 2024.

Anthony L. Noble, Township Clerk
Charter Township of White Lake

Exhibit A
(Agreement Attached)



July 26, 2024

Mr. Mike Roman, Treasurer
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Charter Township of White, County of Oakland, State of Michigan, Limited Tax General
Obligation Bonds, Series 2024

Dear Mr. Roman,

Bendzinski & Co. Municipal Finance Advisors would like to thank you for the opportunity to serve as the Registered Municipal Advisor for the issuance of the above referenced bond issue. This letter (the "Agreement") will confirm the terms of our engagement:

- Act on behalf of the Charter Township of White Lake, (the "Issuer") with a fiduciary duty, as well as dealing fairly with all persons in accordance with the rules and regulations set forth by the Municipal Securities Rulemaking Board ("Board" or "MSRB") and the Securities and Exchange Commission ("SEC");
- Phase I
 - Prepare complete financial information in cooperation with officials and engineers in order to arrive at the amount of the issue to be sold;
 - Development of cash flow analysis and revenue sources to meet the principal and interest obligations on the proposed bonds;
 - With input from the Issuer, determine whether a private placement, competitive or a negotiated sale is the most beneficial to the issuance of the bonds depending on the selected bond issue type and current market conditions, and then develop a plan of finance;
- Phase II
 - Prepare a time schedule, illustrating the steps necessary to issue the bonds;
 - If necessary, prepare with officials, the forms required by the Municipal Finance Division of the Michigan Department of Treasury;
 - Prepare bond specifications for bond counsel including interest rate limitations, redemption provisions, bidding, and good faith details;
 - Assist with the selection of registrar/transfer/paying agent, if requested;
 - Assist the Issuer with the selection of an underwriter or placement agent, if requested;

- Based on information provided by the Issuer and other parties, prepare preliminary and final official statement or other disclosure documents. Except as specifically provided herein, Bendzinski & Co. is not responsible for preparing any preliminary or final disclosure document, or for certifying as to the accuracy or completeness of any preliminary or final disclosure document, other than with respect to any information about Bendzinski & Co. provided by Bendzinski & Co. for inclusion in such documents ;
- If the Bonds are to be rated, advising and assisting with the selection of rating agencies. Preparation of materials to be provided to ratings agencies and in developing strategies with officials for meetings with ratings agencies;
- A representative of Bendzinski & Co. shall review the bids for compliance with the terms set forth by the Issuer;
- After the bids are received, Bendzinski & Co. will calculate and verify the True Interest Cost on the bids submitted.
- Prepare an easy to read comparison of all the bids received;
- Prepare final closing memo, pricing numbers including the final debt service schedule, pricing summary, and sources and uses of funds based on lowest bid; and
- Usual and customary Registered Municipal Advisor services as may be requested by the Issuer.

Bendzinski & Co. proposes a fee of \$59,000.00.

The Issuer will also be charged \$400 for the approximate pro rata cost of the annual subscription fee for Lumesis Diver Pricing & Scales software.

We believe this provides you with the outline of the services we provide. The services provided under this Agreement are limited to the services described above unless otherwise agreed to in writing by Bendzinski & Co.

The Registered Municipal Advisor fee is payable once the bonds are sold and delivered. If the Issuer decides not to proceed with the issuance after Phase II work has begun, a mutually agreeable fee will be due based on the work completed. Although this form of compensation may be customary, it presents a conflict because Bendzinski & Co. may have an incentive to recommend unnecessary financings or financings that are disadvantageous to the Issuer. For example, when facts or circumstances arise that could cause the financing or other transaction to be delayed or fail to close, Bendzinski & Co. may have an incentive to discourage a full consideration of such facts and circumstances, or to discourage consideration of alternatives that may result in the cancellation of the financing or other transaction. Bendzinski & Co. manages and mitigates this conflict primarily by adherence to the fiduciary duty which it owes to municipal entities such as the Issuer which require it to put the interests of the Issuer ahead of its own.

The Municipal Advisory Council of Michigan (the "MAC") assesses Bendzinski & Co., a \$450.00 fee for every bond issue where we act as municipal advisor in the State of Michigan.

Our membership in the MAC is voluntary, but the per bond issue assessment is meant to cover costs for credit reports and similar information available from the MAC that is used in the offering document and in other states is billed directly by a third-party. The MAC is a single-source municipal database for essential bond and note details for all local government issuers in Michigan. Among 23 distinctive credit reports, the MAC is the primary source for Issuer's debt statements, overlapping debt and indirect debt, as used to determine suitability and as disclosed in official statements, (if applicable). The MAC tracks, monitors and records all Michigan new issue bond sales, whether competitive, negotiated or private placements and bond calls. The MAC does not do any lobbying. Robert J. Bendzinski, currently serves on the MAC Board of Directors.

Bendzinski & Co. is registered as a "municipal advisor" pursuant to Section 15B of the Securities Exchange Act and rules and regulations adopted by the SEC and the MSRB. As part of this registration Bendzinski & Co. is required to disclose to the SEC information regarding any criminal actions, regulatory actions, investigations, terminations, judgments, liens, civil judicial actions, customer complaints, arbitrations and civil litigation involving Bendzinski & Co. Pursuant to MSRB Rule G-42, Bendzinski & Co. is required to disclose any legal or disciplinary event that is material to the Issuer's evaluation of Bendzinski & Co. or the integrity of its management or advisory personnel. Bendzinski & Co. has determined that no such event exists as there are no criminal actions, regulatory actions, investigations, terminations, judgments, liens, civil judicial actions, customer complaints, arbitrations or civil litigation involving Bendzinski & Co. that were required to be reported to the SEC.

The MSRB has made available on its website (www.msrb.org) a municipal advisory client brochure that describes the protections that may be provided by MSRB rules and how to file a complaint with the appropriate regulatory authority.

Copies of Bendzinski & Co.'s filings with the SEC can currently be found by accessing the SEC's EDGAR system Company Search Page, which is currently available at <https://www.sec.gov/edgar/searchedgar/companysearch.html> and searching for either Bendzinski & Co. or for our CIK number which is 1614475. This Agreement contains certain mandatory disclosures required by MSRB Rule G-42 and MSRB Rule G-10 (the "Disclosures"). Bendzinski & Co. agrees to promptly amend or supplement the Disclosures to reflect any material changes or additions, which shall be delivered to the Issuer and incorporated by reference as of the date thereof into this Agreement to the same extent as if set forth herein.

It is understood and agreed that either party to this Agreement may terminate the Agreement for any reason upon thirty (30) days prior written notice to the other party. If our employment on this basis is agreeable to you, please endorse your acceptance hereof on this letter which will constitute our contract of employment.

Should you have any questions or require any additional information, please do not hesitate to call.

Sincerely,
BENDZINSKI & CO.
Municipal Finance Advisors



Robert J. Bendzinski, CIPMA
President
Registered Municipal Advisor

Accepted: _____, 2024

CHARTER TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN

By: _____
Name, Title

8/20/2024

Request to transfer funds of \$1,635,000 to Improvement Revolving fund - new buildings

<u>Department</u>	<u>May 2023 Contributions</u>	<u>2024 contribution request</u>
General Fund	\$ 500,000	\$ 135,000
Building	\$ 500,000	\$ 500,000
Water	\$ 250,000	\$ -
Sewer	\$ 250,000	\$ -
Police Dept.	\$ 500,000	\$ 500,000
Fire Dept.	\$ 500,000	\$ 500,000
Totals	<u>\$ 2,500,000.00</u>	<u>\$ 1,635,000.00</u>

CHARTER TOWNSHIP OF WHITE LAKE
NON-UNION EMPLOYEE AND ELECTED OFFICIAL WAGE RESOLUTION
RESOLUTION NO. 24-043

At a regular meeting of the Township Board of the Charter Township of White Lake, Oakland County, Michigan, held in the Township Annex, 7527 Highland Road, White Lake, Michigan, on the 20th day of August 2024 at 6:30 p.m.

PRESENT:

ABSENT:

The following preamble and resolution were offered by _____ and supported by _____.

WHEREAS, White Lake Township has various non-union full-time employees, which includes elected officials and deputies, and non-union part-time employees;

WHEREAS, pursuant to MCL 41.95 and MCL 42.6 the compensation of elected officers shall be determined by resolution of the Board;

WHEREAS, The Township has agreed to a one-year contract extension with the Union workforce representing the police patrol and command officers, career firefighters and part-time firefighters, and general township employees for the period of January 1, 2026, through December 31, 2026;

NOW THEREFORE BE IT RESOLVED that the Township will also provide to all current active non-union full-time employees, elected officials, deputies, and non-union part-time employees (excluding the police chiefs secretary, cadets, crossing guards, election poll workers, and appointed board and commission members, whose wages have previously been handled independent of this resolution), the following wage increases equal to those of the union workforce as set forth below:

- September 7, 2024 – 3.0% increase
- January 1, 2025 – 2.5% increase
- January 1, 2026 – 3.0% increase

A vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED ADOPTED

Clerk’s Certification

I, Anthony L. Noble, the duly elected and acting Clerk of White Lake Township, County of Oakland, State of Michigan, do hereby certify that the foregoing is a true and complete copy of the resolution adopted by the Township Board of the Charter Township of White Lake at a regular meeting held on August 20, 2024 the original of which resolution is on file in my office.

Anthony L. Noble, Clerk
White Lake Township



August 20, 2024

Mr. Sean O’Neil
Community Development Director
White Lake Charter Township
7525 Highland Road
White Lake, MI 48383

RE: White Lake Charter Township New Civic Center Development
Bid Package #2 Utilities & Sitework

SUBJ: Contract Award Recommendation (Balance)

Dear Mr. O’Neil,

On Thursday, July 25, 2024, at 10:00 AM, sealed bids were received and publicly opened for the work pertaining to the above referenced project. In attendance at the bid opening were representatives from White Lake Charter Township, Beckett & Raeder, Inc., McCarthy & Smith, Inc., and interested Bidders. Bids were opened, recorded, and tabulated.

The project team has conducted post bid interviews with the following low, qualified Bidders, for the bid divisions of work. During the post bid interview, the project team reviewed the Contractors’ qualifications, scope of work, project schedule, manpower requirements, and specified materials. Based upon the project team’s review of the proposals and bidders, we propose the following companies to White Lake Charter Township for contract award:

Bid Division 148: Landscaping

J.W. Christmas & Associates, Inc.

Brandon Christmas
4212 Old Plank Road
Milford, MI 48381

Base Bid	\$	565,862.25
PLM Bond (Selective Insurance)	\$	16,976.00
Total	\$	582,838.25

TOTAL (BALANCE) AWARD RECOMMENDATION AMOUNT: \$ 582,838.25

The Bid Summary and Bid Tabulation are included in this package.

I trust the above recommendations meet the approval of the Administration and the Board of Trustees. McCarthy & Smith, Inc. representatives will attend the August 20, 2024 Township Board Meeting to address any concerns.

Sincerely,

Aaron A. Phillips



Aaron A. Phillips
Project Director
McCarthy & Smith, Inc.

Bid Award Summary (Balance)

Bid Division / Description		Apparent Low Bidder	BASE BID				SUMMARY ITEMS				AREA BREAKDOWN	
			BASE BID	PLM Bond	Total Base Bid	Accepted VA/VE	Total Award Recommendation	Number of Bidders	Low	High	Area A (Public Safety Building)	Area B (Township Hall Building)
101	Earthwork & Site Utilities	Cortis Brothers Trucking & Excavating *	\$ 2,259,576.00	\$ 22,824.00	\$ 2,282,400.00	\$ (145,000.00)	\$ 2,137,400.00	5	\$ 2,176,000.00	\$ 2,899,999.00	\$ 1,042,292.00	\$ 1,095,108.00
102	Asphalt Paving & Site Concrete	Nagle Paving Company	\$ 1,418,900.00	\$ 8,500.00	\$ 1,427,400.00	\$ -	\$ 1,427,400.00	3	\$ 1,418,900.00	\$ 1,470,500.00	\$ 829,125.00	\$ 598,275.00
108	Carpentry & General Trades	Commercial Contracting Corporation	\$ 79,935.00	\$ 640.00	\$ 80,575.00	\$ -	\$ 80,575.00	2	\$ 79,935.00	\$ 88,400.00	\$ 25,650.00	\$ 54,925.00
148	Landscaping	J. W. Christmas & Associates, Inc.	\$ 565,862.25	\$ 16,976.00	\$ 582,838.25	\$ -	\$ 582,838.25	4	\$ 565,862.25	\$ 1,243,685.00	\$ 134,375.36	\$ 448,462.89
149	Fencing & Gates	Nationwide Construction Group	\$ 260,556.00	\$ 1,300.00	\$ 261,856.00	\$ -	\$ 261,856.00	2	\$ 260,556.00	\$ 289,150.00	\$ 261,856.00	\$ -
178	Segmental Retaining Walls	Highland Services LLC	\$ 696,959.00	\$ 20,908.00	\$ 717,867.00	\$ -	\$ 717,867.00	1	\$ 696,959.00	\$ 696,959.00	\$ 717,867.00	\$ -
TOTALS			\$ 5,281,788.25	\$ 71,148.00	\$ 5,352,936.25	\$ (145,000.00)	\$ 5,207,936.25	17	\$ 5,198,212.25	\$ 6,688,693.00	\$ 3,011,165.36	\$ 2,196,770.89

* 2nd low base bid. Acceptance of Voluntary Alternates yeilds low bid. Low bidder had an estimating error and the bid was withdrawn.

HARD CONSTRUCTION BUDGET SUMMARY	
Site Work Hard Construction Budget	\$ 5,216,216.00
Base Bid + PLM Bond	\$ 5,352,936.25
Accepted Voluntary Alternates	
VA #1: Retain excess earth on site	\$ (115,000.00)
VA #2: Asphalt millings i.l.o stone	\$ (30,000.00)
Total Accepted VA	\$ (145,000.00)
Base Bid + PLM Bonds + Accepted VA	\$ 5,207,936.25
Total Award Recommendation	\$ 5,207,936.25
Project Hard Construction Variance	\$ 8,279.75

Job #1203-23: White Lake Township Civic Center Development - BP#2 Utilities & Sitework

Prepared by McCarthy & Smith, Inc. - 24317 Indoplex Circle, Farmington Hills, MI 48335, United States of America

Bid Package Lead: Mary Beth Dorsch (mdorsch@mccarthysmith.com)

Project Location: White Lake, MI, United States of America

BD 148: Landscaping Generated July 29, 2024	J.W. Christmas & Associates, Inc. Submitted by Laura Christmas	KLM Landscape Submitted by Kirk Knobloch	Marinos Landscape Submitted by Drew Ollila	WH Canon Company Submitted by Estimating WH Canon																																																																																																																																																																																			
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**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: July 8, 2024

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O’Neil, AICP
Community Development Director

SUBJECT: 12-16-200-030 - Rezoning Request
Location: Property described as Parcel Number 12-16-200-030, located south of Hitchcock Road, on the west side of Haley Road, consisting of approximately 15 acres.
Request: Applicant requests to rezone the parcel from AG (Agricultural) to SF (Suburban Farms) or any other appropriate zoning district.
Applicant: Lisa Gulda

The rezoning request was considered by the Planning Commission at their regular meeting of June 20, 2024, at which time the Planning Commission recommended approval of the rezoning request. Please find enclosed the following related documents:

- Draft minutes of the June 20, 2024 Planning Commission meeting.
- Review letters prepared by the Planning Consultant, Matteo Passalacqua, dated June 3, 2024.
- Rezoning application submitted by the applicant.
- Survey.
- Public hearing notice.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
JUNE 20, 2024**

CALL TO ORDER

Chairperson Seward called the meeting to order at 6:30 P.M. He then led the Pledge of Allegiance.

ROLL CALL

Present:

- T. Joseph Seward, Chairperson
- Debby Dehart
- Merrie Carlock, Vice Chairperson
- Mona Sevic
- Robert Seeley
- Pete Meagher
- Matt Slicker
- Steve Anderson (arrival at 6:39 P.M.)

Absent:

Scott Ruggles, Township Board Liaison

Others:

- Sean O’Neil, Community Development Director
- Andrew Littman, Staff Planner
- Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

MOTION by Commissioner Seeley, seconded by Commissioner Carlock to approve the agenda as presented.

APPROVAL OF MINUTES

- A. May 16, 2024

MOTION by Commissioner Seeley, seconded by Commissioner Sevic to approve the minutes of May 16, 2024 as presented. The motion carried with a voice vote: (7 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None

PUBLIC HEARING

- A. **12-16-200-030 - Rezoning Request**
 Location: Property described as Parcel Number 12-16-200-030, located south of Hitchcock Road, on the west side of Haley Road, consisting of approximately 15 acres.
 Request: **Applicant requests to rezone the parcel from AG (Agricultural) to SF**

(Suburban Farms) or any other appropriate zoning district.

Applicant: Lisa Gulda

Director O'Neil gave a brief report of the applicant's request.

Commissioner Sevic asked staff if the surrounding lots on the west side of Haley Road wooded. Director O'Neil confirmed.

Chairperson Seward opened the public hearing at 6:42 P.M.

Jeremy Kelly, said he owned the parcels to the south west of the subject site, and said there was a court order document that stipulated the allowed acreage for the splits.

Director O'Neil said the only matter being considered tonight was the rezoning. The splits would be done through the Assessing Department, and was a separate matter from the rezoning request. The issue of the splits and the court order should not have bearing on the rezoning request.

Mr. Kelly stated that his acreage was set up for a conservation sanctuary, per his late father's wishes.

Beverly Hurst, 7430 Hitchcock, wanted to know the specifics of the rezoning request. Director O'Neil said roughly 10 acres of the property was Suburban Farm, and about five acres of the property was Agricultural.

Anthony Dubay, 7785 Haley, spoke against the applicant's request. He wanted to see bigger acreage lots, and would rather see three houses than five.

Laura Meyer, 2880 Haley Road, spoke in opposition of the applicant's request and expressed her concern about increased traffic on Haley Road.

Christopher Young, 7755 Haley Road, expressed concerns about potential endangered species inhabiting the property.

Mark Hurst, 7430 Hitchcock Road, asked staff's reasoning for advocating for the request.

Michael Meyer, 7685 Haley Road, wanted to know how a decision on the rezoning request could be made without the lot splits. Director O'Neil said today's request was changing land use, and the land division did not come through the Planning Commission, and was a separate process.

Beverly Hurst, 7430 Hitchcock, said a rezoning needed to take account into what would occur on the property in the future. It would be impactful to the residents and Haley Road.

Derrick Hunt, 7476 Hitchcock, said he grew up on the road and was concerned about the water table and the wildlife. He wanted to keep the late Terry Kelly's dream alive by leaving the property as is.

Chairperson Seward closed the public hearing at 7:05 P.M.

Commissioner Dehart said she did not like split zoning, and the property owners had a right to have the same zoning as the surrounding neighbors

MOTION by Commissioner Meagher, seconded by Commissioner Slicker to recommend the Township approve the rezoning requested by Lisa Gulda for vacant parcel 12-16-200-030 from AG (Agricultural) to SF (Suburban Farm). The motion carried with a voice vote: (8 yes votes). (Meagher/yes, Seeley/yes, Dehart/yes, Carlock/yes, Seward/yes, Anderson/yes, Slicker/yes, Sevic/yes).

CONTINUING BUSINESS

A. West Valley

Location: Identified as parcel 12-36-176-003, located on the west side of Union Lake Road, across from Carpathian Drive, and north of Cooley Lake Road, consisting of approximately 15 acres.

Currently zoned as (RM-1) Attached Single Family

Request: **Final site plan re-approval**

Applicant: Fairview Construction Company

Director O’Neil briefly summarized the applicant’s request. The secondary access drive off of Casa Loma had been eliminated, per the Fire Department.

Commissioner Anderson asked staff if the developer would be accountable for the Comfort Care’s secondary access. Director O’Neil said the developer would be working out those details with the Comfort Care team.

Jason Emerine, 3925 Country Club Drive, said the Cedar Island Road ROW did tie into the property line. He had met with the Fire Chief and Fire Marshal and spoke at length regarding the removal of the secondary access point. A turning access plan was provided, and a paved access road would be provided to the property line. A fire access easement would also be included. All three were requirements from the Fire Marshal in order to eliminate the secondary access road. The developer would provide the access road to the property line, and Comfort Care would take care of the access road beyond the property line.

The water main connection would be provided for future connection, including a 12” main with a stub.

It was **MOVED** by Commissioner Seeley, seconded by Commissioner Sevic, to approve the final site plan for West Valley, identified as vacant parcel 12-36-176-003, located on the west side of Union Lake Road, across from Carpathian Drive, and north of Cooley Lake Road, consisting of approximately 15 acres, zoned as (RM-1) Attached Single Family. The motion carried with a voice vote: (8 yes votes).

NEW BUSINESS

None.

OTHER BUSINESS

None.

LIAISON'S REPORT

The ZBA met last month; there were five applicants. There was one denial and four approvals. Parks and Recreation did not meet this month. Rockin the Farm would be held on July 20 at Fisk Farm.

DIRECTOR'S REPORT

The zoning ordinance amendments were adopted at the Board meeting this past Tuesday. Sanitary sewer caps were added to the Elizabeth Lake Road reconstruction project. Several lakes received fireworks permits.

The bond sale for the Triangle Trail and Stanley parks projects went through. Triangle Trail was near completion. The Elizabeth Lake Road reconstruction project was moving along, there was hope the road would be opened by the beginning of the school year. The bid opening for the sitework was today, and at a preliminary glance, the bids were on budget. The bid package for the building would go out in a week, and be open for a few weeks. A bid opening for the buildings was tentatively scheduled for late July, with the award expected in early August. The CIP update would be underway soon.

The new Staff Planner, Andrew Littman, was introduced. He worked at McKenna previously, and had also worked at Gibbs Planning Group. He was looking forward to working at the Township. Welcome Andrew!

COMMISSIONER COMMENTS

Commissioner Dehart complimented Carter's Plumbing on their site improvements. She wanted beautification to the roundabouts in the Township.

NEXT MEETING DATE: August 1, 2024

ADJOURNMENT

MOTION by Commissioner Meagher, seconded by Commissioner Slicker, to adjourn at 7:58 P.M. The motion carried with a voice vote: (8 yes votes).

Director's Report

Project Name: 12-16-200-030 Rezoning
 Description: Rezoning Request
 Date on Agenda this packet pertains to: June 20, 2024

- Public Hearing
- Initial Submittal
- Revised Plans
- Preliminary Approval
- Final Approval
- Special Land Use
- Rezoning
- Other: _____

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Based on comments from the Planning Consultant
Matteo Passalacqua	Carlisle & Wortman Associates Inc	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	See letter dated 06/3/2024



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: June 3, 2024

**Rezoning Review
For
White Lake Township, Michigan**

- Applicant:** Lisa Gulda
- Project Name:** Haley Road Rezoning
- Location:** Southwest corner of Hitchcock Road and Haley Road
- Parcel ID:** 12-16-200-030
- Plan Date:** May 28th, 2024
- Current Zoning:** AG, Agricultural District
- Action Requested:** Rezone to SF, Suburban Farms District

PROJECT DESCRIPTION

The Applicant is requesting a zoning change for the parcel located near the southwest corner of Hitchcock and Haley Roads for the purpose of establishing a unified zoning designation and splitting the lot into five (5) parcels. The lot is currently zoned both AG and SF per the White Lake 2022 zoning map last updated October 10th, 2022.

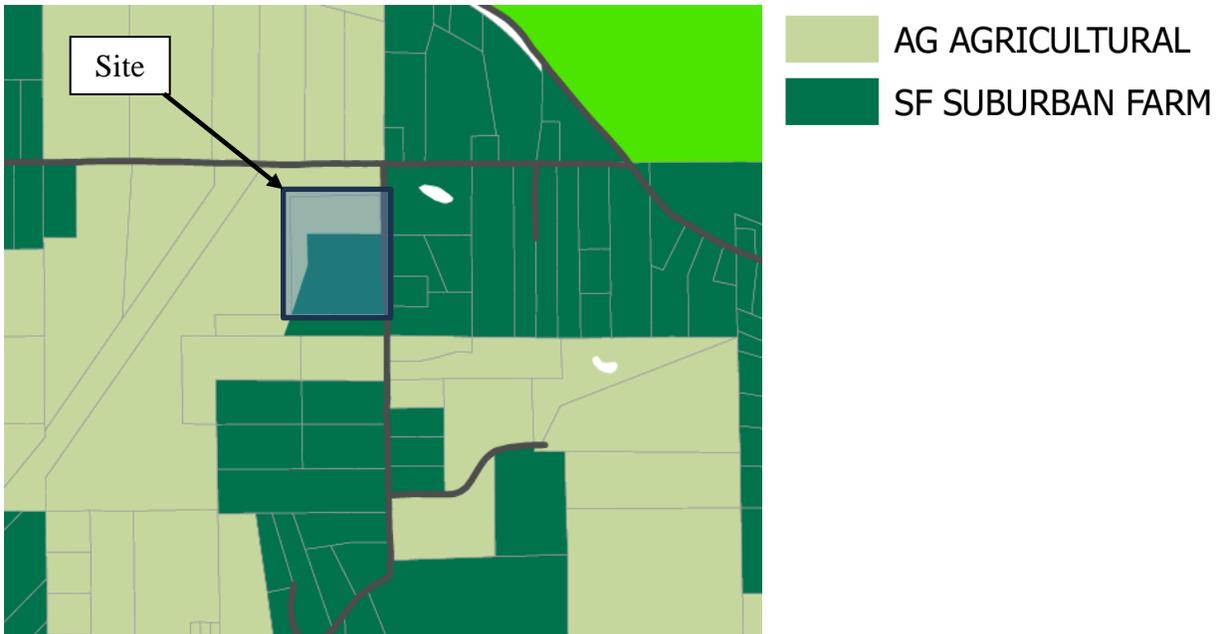
Benjamin R. Carlisle, *President* Douglas J. Lewan, *Executive Vice President* John L. Enos, *Vice President*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal*
Paul Montagno, *Principal*, Megan Masson-Minock, *Principal*, Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

Aerial Photograph



NEIGHBORING ZONING AND LAND USE

Zoning



The zoning and existing land uses for the subject site and surrounding parcels are identified in the following table:

Direction	Zoning	Existing Use
North	AG – Agricultural	Vacant
South	SF – Suburban Farms	Vacant
East	SF – Suburban Farms	Single Family Homes
West	AG – Agricultural	Vacant

If approved, the parcel, and proposed lot splits, would conform to the lot size and dimension standards for SF. Permitted uses in the SF and AG zones are shown below. All residential uses are identical with AG allowing for more intense agricultural uses. These uses are conducive with the existing neighboring properties.

Zone	AG	SF
Permitted Uses	Adult foster care family home Family day care homes Farms iv. Home occupation Outdoor recreation uses, other public and private parks and similar outdoor recreation uses not listed in §4.38 Single-family detached dwellings Vegetable, fruit, flower and herb gardening Tree and shrub nurseries, not including landscape contractors Private stable Temporary roadside stand Temporary agricultural uses Temporary uses within a building	Adult foster care family home Family day care homes Home occupation Outdoor recreation uses, other public and private parks and similar outdoor recreation uses not listed in §4.38 Single-family detached dwellings Private stable Tree and shrub nurseries; vegetable, fruit, flower and herb gardens

Items to be addressed: None.

NATURAL FEATURES

The site is undeveloped and consists mainly of woodland clusters with intertwining open fields. No natural feature information was provided in the application. Below is our observed condition of the site.

Topography: The site appears relatively flat.

Wetlands: The Department of Environment, Great Lakes and Energy indicate wetlands located along western border of the parcel.

Woodland: Several woodland clusters are onsite which are composed of mature trees and vegetation.

Soils: Predominant soils are Marlette Loam and Fox Sandy Loam.

Water: The site is not within any regulated floodplains.

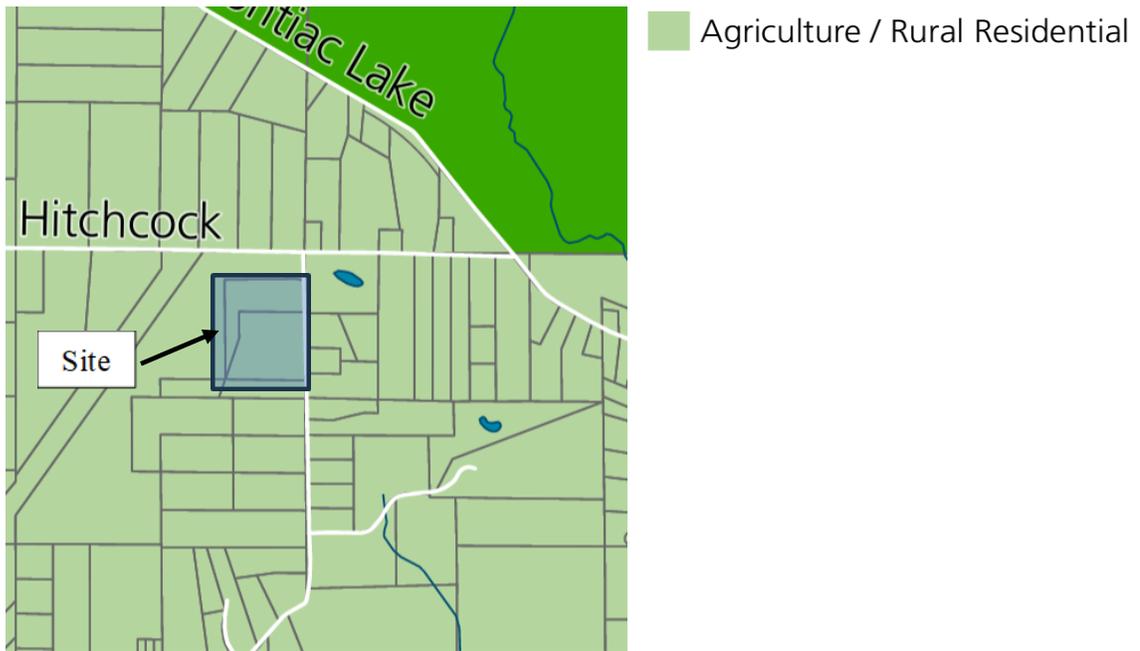
Items to be addressed: None.

MASTER PLAN

The Township’s Master Plan is a comprehensive document that includes many elements that should be considered when determining rezoning requests. Pertinent sections to review include future land uses, as well as goals, objectives and strategies of the site(s) proposed for rezoning.

Future Land Use

Under the current Master Plan, the site is located in the Agricultural / Rural Residential district which is shown below:



We note that the Master Plan anticipates the site being a uniform designation. The description and example of uses (not an exhaustive list) for the Agricultural / Rural Residential District are:

Description: *“Maintains agricultural land and rural living through large lots and limited residential development. Subdivision residential development is discouraged”*

Example of Uses: *“Large-lot single family, agriculture, farm-stands, cider mills”*

Lot sizes are not prescribed in the Master Plan for future land use designations however the corresponding zoning districts associated with Agricultural / Rural Residential district are AG and SF.

No conflict exists with the Master Plan in the consideration of this parcel being rezoned to Suburban Farm.

Items to be addressed: None.

DEVELOPMENT POTENTIAL

If rezoned, the lot will allow for low density single family residential and accessory improvements as well as any other of the permitted uses listed earlier in this report and noted in Section 3.1.2 of the Zoning Ordinance. If the parcel is subdivided into separate lots conforming to SF standards, a maximum of five (5) lots could be created and permit the same improvements / uses as referenced above. Accounting for current market conditions and infrastructure, the likely use for the lot(s) would be single family residential homes.

REZONING STANDARDS

Section 7.9 of the White Lake Township Zoning Ordinance states that all proposed amendments to the provisions of the Ordinance or the Official Zoning Map shall be referred to the Planning Commission for public hearing and recommendation to the Township Board, prior to consideration thereof by the Township Board.

Section 7.13 of the White Lake Township Zoning Ordinance outlines the criteria the Planning Commission and Township Board are to utilize when assessing any petition for an amendment to the Official Zoning Map. Below is a review of the materials provided by the applicant as they relate to the proposed rezoning:

- A. *Consistency with the goals, policies and future land use map of the White Lake Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.*

CWA Comment: The Future Land Use Map from the Master Plan designates the subject site in the Agricultural / Rural Residential category, which aligns with the proposed SF zoning district and uses.

- B. *Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.*

CWA Comment: The SF designation is compatible with the current natural environment as well as the low density development permitted in the zone.

- C. *Evidence the applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning.*

CWA Comment: No such evidence addressing this criterion was submitted with the application. We note that selling or developing lots with multiple zoning designations can be challenging based on the nature of the proposed use.

- D. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.*

CWA Comment: No use is proposed as part of the rezoning request. In the event a use is proposed, the permitted and special land uses in the SF district are compatible with the surrounding uses and the nature of the uses anticipated in the Township Master Plan. Any use other than SF residential would require the submission of a site plan application to ensure zoning standards are met. Only the Township Assessor may provide comment on property values.

- E. The capacity of Township utilities and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

CWA Comment: The site is not serviced by public water and sanitary sewer. No additional Township services are anticipated as a result of rezoning to SF. We defer to the Director of Public Services and Township Engineering Consultant on any concerns with infrastructure or public safety services.

- F. The capability of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district.*

CWA Comment: Pursuant to Section 6.3.E of the zoning ordinance, the requirement for submittal of a rezoning traffic study was waived by the Community Development Department. Future requests for development, may require submittal of a traffic analysis.

- G. The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land in the township currently zoned and available to accommodate the demand.*

CWA Comment: Evidence of the demand in the Township for additional SF zoned property has not been submitted. However, the location is appropriate for property zoned as such, given the traffic, residential units, neighboring uses and general developmental density in the area.

- H. *The boundaries of the requested rezoning district are reasonable in relationship to its surroundings, and construction on the site will be able to meet the dimensional regulations for the zoning district listed in the Schedule of Regulations.*

CWA Comment: Construction on the site is not proposed at this time. However, rezoning to SF to establish uniform development standards for the site is preferable. Factors that may impact future development of the site, such as, but not limited to, soils, topography, site layout, stormwater/drainage, and utilities would be considered at the time of a development proposal.

- I. *The requested zoning district is considered to be more appropriate from the township's perspective than another zoning district.*

CWA Comment: The uses and development standards allowed in the SF district are appropriate for the site and are complementary to the AG district. A denser residential district proposal would be less appropriate for the site.

- J. *If the request is for a specific use, is rezoning the land more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use?*

CWA Comment: The intent of the request is to apply uniform zoning so the lot can be divided. If approved, the permitted uses for the divided lots are conducive with the SF zoning designation.

- K. *The requested rezoning will not create an isolated and unplanned spot zone.*

CWA Comment: No spot zoning is proposed. The surrounding and nearby areas are zoned AG, SF and ROS (Recreation and Open Space).

- L. *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

CWA Comment: This request is a new application.

- M. *An offer of conditions submitted as part of a conditional rezoning request shall bear a reasonable and rational relationship to the property for which rezoning is requested.*

CWA Comment: No conditions were offered in the application.

N. Other factors deemed appropriate by the Planning Commission and Township Board.

CWA Comment: The Planning Commission and Township Board may also consider other factors which may be relevant to the rezoning request.

Items to be addressed: Any concerns from Township Engineering and Public Services should be addressed.

RECOMONDATION

The proposed rezoning is compatible with both the existing and future land uses/zoning, consistent with the Master Plan, and applies uniform zoning for the parcel. Pending any items needing clarification or resolution by the Township Engineer and Public Service departments, we recommend the proposed rezoning.

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner

CHARTER TOWNSHIP OF WHITE LAKE
COMMUNITY DEVELOPMENT DEPARTMENT
7525 Highland Road, White Lake, Michigan 48383-2900
248-698-3300, Ext. 163

APPLICATION TO REZONE PROPERTY

Date: 5/28/24

Applicant: Lisa Gulda

Address: 5033 Thicket Lane, Clarkston, MI 48346

Phone No.: 248-904-8571 Fax No.: _____

E-mail: lisagulda@yahoo.com

Applicant's Interest in Property: Owner

Property Owner: SAME

Owner's Address: _____

Phone No.: _____ Fax No.: _____

Location of Property: Haley Rd - Vacant

Sidwell No(s): 12-16-200-030

Total area of change: _____ acres

I, the undersigned (owner, attorney, or option holder) hereby request that this property now classified as AG District, be reclassified as SF District.

Applicant's Signature: Lisa Gulda
(If owner does not sign application, attach letter signed by owner, requesting zoning change.)

Please Print Name: Lisa Gulda

Required Attachments:

- 1. Legal description of the property proposed to be rezoned.
- 2. Location map
- 3. Rezoning sign location map
- _____ 4. Statement indicating why change is requested
- _____ 5. Review fee (check payable to the Charter Township of White Lake)

C E R T I F I C A T E O F S U R V E Y

LEGAL DESCRIPTION-PARCEL 1:

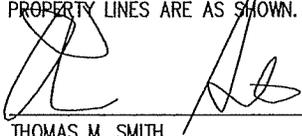
PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT LOCATED ON THE EAST LINE OF SECTION 16, DISTANT S 01°00'00"E, 253.75 FEET FROM THE NORTHEAST SECTION CORNER; THENCE CONTINUING S 01°00'00" E, ALONG SAID EAST LINE, 900.00 FEET; THENCE S 89°58'09" W, 720.00 FEET; THENCE N 01°00'00" W, 900.00 FEET; THENCE N 88°35'15" E, 640.99 FEET; THENCE S 78°59'11" E, 80.69 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN HALEY ROAD. PARCEL CONTAINS 15.00 ACRES OF LAND.

LEGAL DESCRIPTION-PARCEL 2:

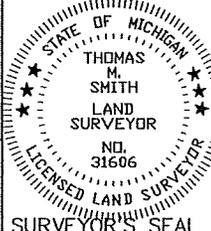
PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE NORTHEAST CORNER OF SECTION 16; THENCE S 01°00'00"E, ALONG THE EAST LINE OF SAID SECTION 16, 253.75 FEET; THENCE N 78°59'11" W, 80.69 FEET; THENCE S 88°35'15" W, 640.99 FEET; THENCE S 01°00'00" E, 900.00 FEET; THENCE S 89°58'09" W, 587.05 FEET; THENCE S 01°09'58" E, 166.70 FEET; THENCE S 89°58'09" W, 258.77 FEET; THENCE S 01°00'25" E, 673.44 FEET; THENCE N 89°58'09" E, 258.77 FEET; THENCE S 01°00'25" E, 656.95 FEET TO THE EAST-WEST ¼ LINE OF SAID SECTION 16; THENCE S 89°31'57" W, ALONG SAID EAST-WEST ¼ LINE, 1314.16 FEET TO THE CENTER OF SECTION 16; THENCE N 00°37'01" W, ALONG THE NORTH-SOUTH ¼ LINE, 256.58 FEET; THENCE N 34°44'11" E, 2930.34 FEET TO THE NORTH LINE OF SAID SECTION 16 AND THE CENTERLINE OF HITCHCOCK ROAD(66 FT WD); THENCE S 89°49'19" E, ALONG SAID NORTH LINE, 907.31 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN HITCHCOCK & HALEY ROADS(66 FT WD). PARCEL CONTAINS 48.48 ACRES OF LAND.

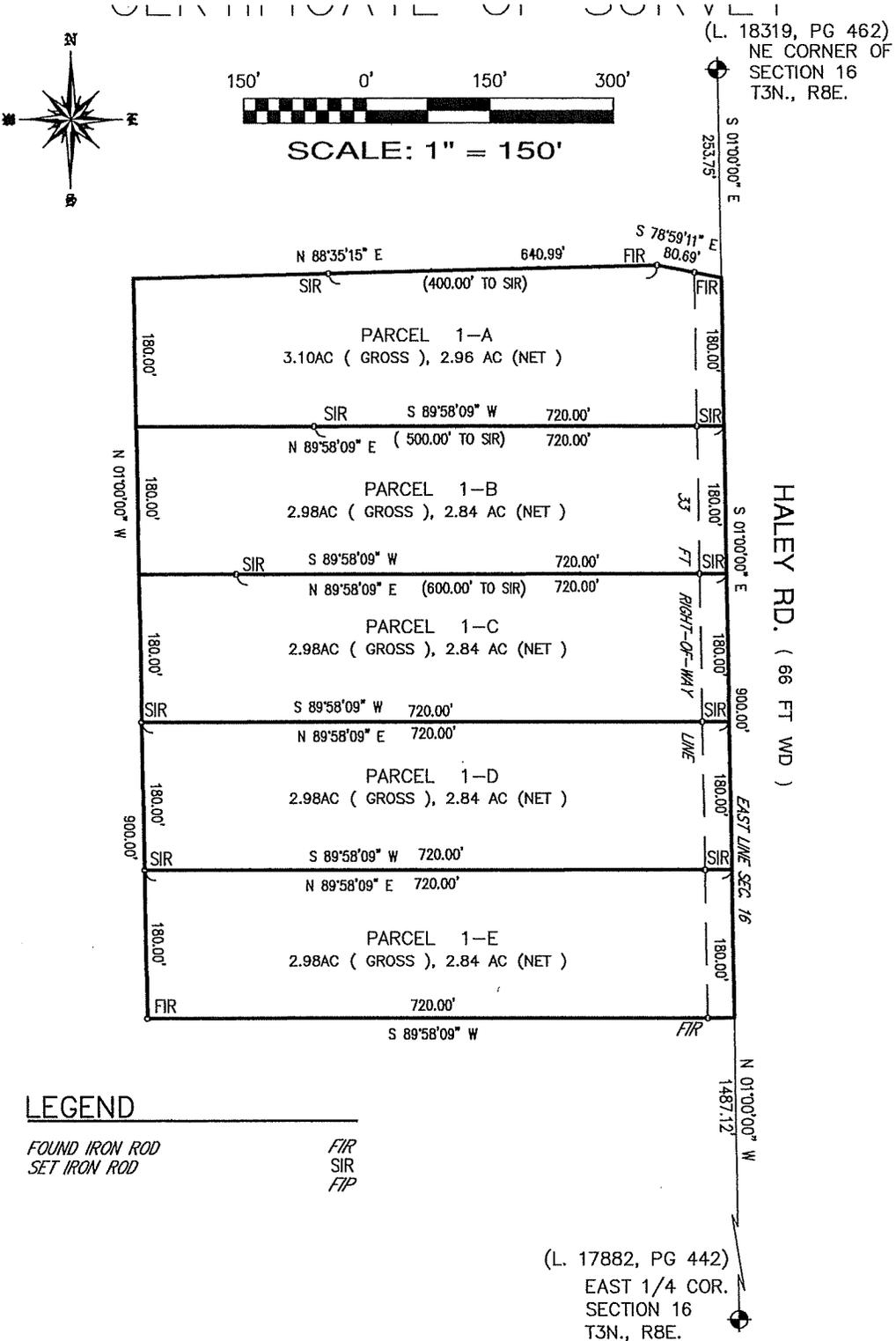
SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED HEREON THAT THE PROPERTY LINES ARE AS SHOWN.



THOMAS M. SMITH
R.L.S. No. 31606

ISSUED FOR:	REV'D BY:	ISSUED FOR:	REV'D BY:
THOMAS M. SMITH P.S. PROFESSIONAL LAND SURVEYOR			
7559 OLDE STURBRIDGE TRAIL tsmith7559@yahoo.com CLARKSTON, MICHIGAN 48348 PHONE: (248) 625-3276			
DRAWN BY TMS	JOB No. 20-171	DESCRIPTION	SURVEYOR'S SEAL
DATE 06-30-20	SHEET No. 3 OF 3	SCALE N/A	
		PT SEC 16, T3N., R8E WHITE LAKE TWP., MI	



LEGEND

FOUND IRON ROD	FIR
SET IRON ROD	SIR
	FIP

(L. 17882, PG 442)
EAST 1/4 COR.
SECTION 16
T3N., R8E.

ISSUED FOR:	REV'D BY:	ISSUED FOR:	REV'D BY:
THOMAS M. SMITH P.S. PROFESSIONAL LAND SURVEYOR			
7559 OLDE STURBRIDGE TRAIL tsmith7559@yahoo.com CLARKSTON, MICHIGAN 48348 PHONE: (248) 625-3276			
DRAWN BY TMS JOB No. 20-171		DESCRIPTION	
DATE 03-13-22 SHEET No. 1 OF 2 SCALE 1"=150'		PT SEC 16, T3N., R8E WHITE LAKE TWP., MI	
			SURVEYOR'S SEAL

UNIVERSITY OF MICHIGAN

LEGAL DESCRIPTION-PARCEL 1-A:

PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R. 8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT LOCATED ON THE EAST LINE OF SAID SECTION 16, DISTANT S 01'00'00" E, 253.75 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 16; THENCE CONTINUING S 01'00'00" E, ALONG SAID EAST LINE, 180.00 FEET; THENCE S 89'58'09" W, 720.00 FEET; THENCE N 01'00'00" W, 180.00 FEET; THENCE N 88'35'15" E, 640.99 FEET; THENCE S 78'59'11" E, 80.67 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN THE EAST 33 FEET FOR ROAD PURPOSES. PARCEL CONTAINS 3.10 ACRES OF LAND.

LEGAL DESCRIPTION-PARCEL 1-B:

PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R. 8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT LOCATED ON THE EAST LINE OF SAID SECTION 16, DISTANT S 01'00'00" E, 433.75 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 16; THENCE CONTINUING S 01'00'00" E, ALONG SAID EAST LINE, 180.00 FEET; THENCE S 89'58'09" W, 720.00 FEET; THENCE N 01'00'00" W, 180.00 FEET; THENCE N 89'58'09" E, 720.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN THE EAST 33 FEET FOR ROAD PURPOSES. PARCEL CONTAINS 2.98 ACRES OF LAND.

LEGAL DESCRIPTION-PARCEL 1-C:

PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R. 8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT LOCATED ON THE EAST LINE OF SAID SECTION 16, DISTANT S 01'00'00" E, 613.75 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 16; THENCE CONTINUING S 01'00'00" E, ALONG SAID EAST LINE, 180.00 FEET; THENCE S 89'58'09" W, 720.00 FEET; THENCE N 01'00'00" W, 180.00 FEET; THENCE N 89'58'09" E, 720.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN THE EAST 33 FEET FOR ROAD PURPOSES. PARCEL CONTAINS 2.98 ACRES OF LAND.

LEGAL DESCRIPTION-PARCEL 1-D:

PART OF THE NORTHEAST ¼ OF SECTION 16, T3N., R. 8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT LOCATED ON THE EAST LINE OF SAID SECTION 16, DISTANT S 01'00'00" E, 793.75 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 16; THENCE CONTINUING S 01'00'00" E, ALONG SAID EAST LINE, 180.00 FEET; THENCE S 89'58'09" W, 720.00 FEET; THENCE N 01'00'00" W, 180.00 FEET; THENCE N 89'58'09" E, 720.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO THE RIGHTS OF THE PUBLIC IN THE EAST 33 FEET FOR ROAD PURPOSES. PARCEL CONTAINS 2.98 ACRES OF LAND.

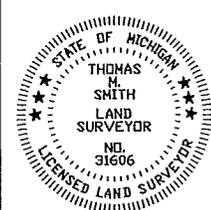
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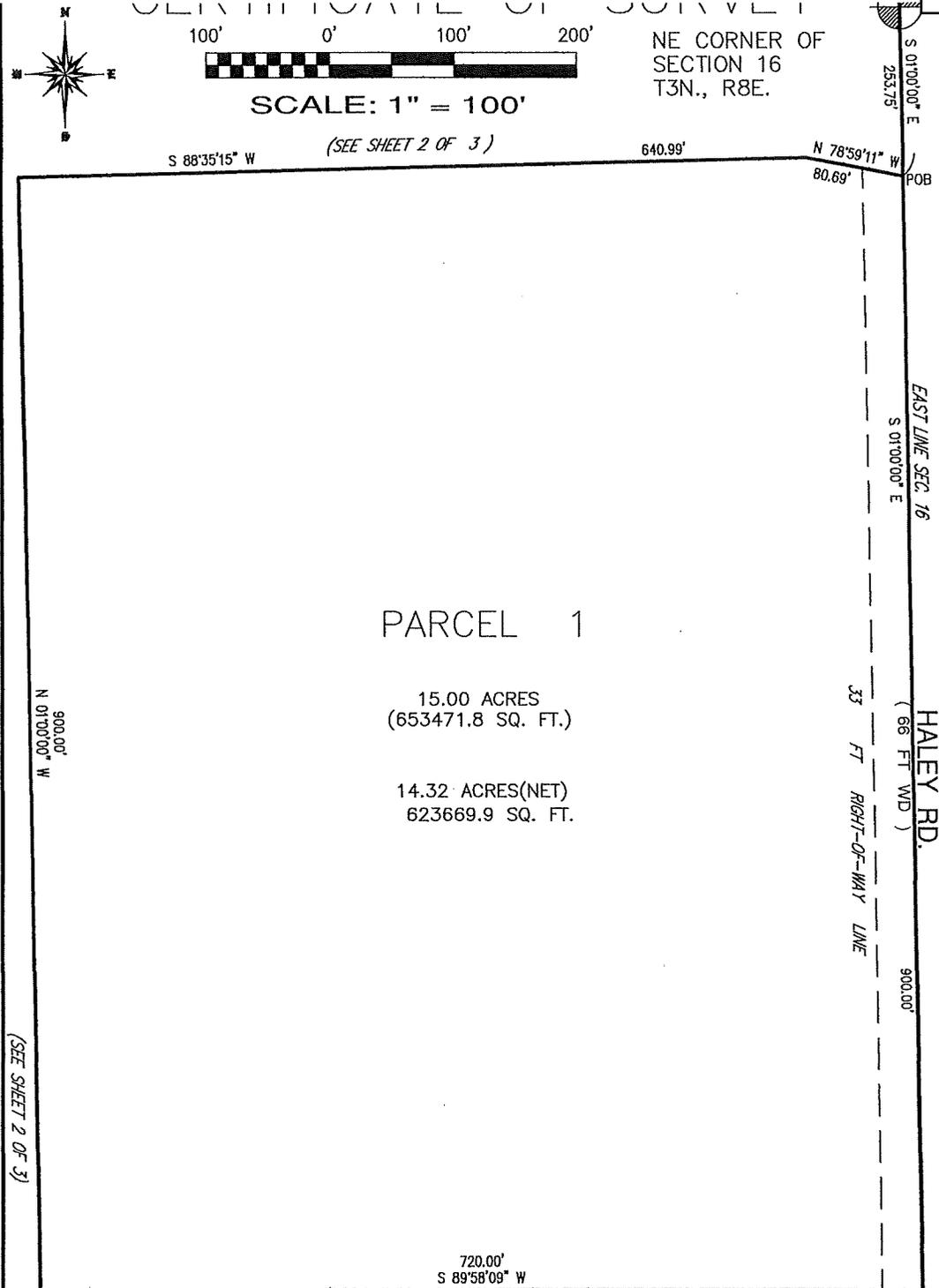
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WE HEREBY CERTIFY that we have surveyed the property herein described and that we have placed marker irons at the corners of the parcel or as indicated in the above sketch and that we have complied with the survey requirements of Public Act 132 of 1970, as amended. Error of closure 1:66,550 bearings based on deed of record.



THOMAS M SMITH, PS #31606

ISSUED FOR:	REV'D BY:	ISSUED FOR:	REV'D BY:
THOMAS M. SMITH P.S. PROFESSIONAL LAND SURVEYOR			
7559 OLDE STURBRIDGE TRAIL tsmith7559@yahoo.com CLARKSTON, MICHIGAN 48348 PHONE: (248) 625-3276			
DRAWN BY TMS	JOB No. 20-171	DESCRIPTION	
DATE 03-13-22 SHEET No. 2 OF 2 SCALE N/A		PT SEC 16, T3N., R8E WHITE LAKE TWP., MI	
		SURVEYOR'S SEAL	



PARCEL 1

15.00 ACRES
(653471.8 SQ. FT.)

14.32 ACRES (NET)
623669.9 SQ. FT.

ISSUED FOR:	REV'D BY:	ISSUED FOR:	REV'D BY:
THOMAS M. SMITH P.S. PROFESSIONAL LAND SURVEYOR			
7559 OLDE STURBRIDGE TRAIL tsmith7559@yahoo.com CLARKSTON, MICHIGAN 48348 PHONE: (248) 625-3276			
DRAWN BY TMS	JOB No. 20-171	DESCRIPTION	
DATE 06-30-20 SHEET No. 1 OF 3 SCALE 1"=100'		PT SEC 16, T3N., R8E WHITE LAKE TWP., MI	

WHITE LAKE TOWNSHIP

NOTICE OF PUBLIC HEARING

Section 10, Item A.

Notice is hereby given the Planning Commission of White Lake will hold a public hearing on **Thursday, June 20, 2024 at 6:30 P.M.** at the Township Annex, 7527 Highland Road, White Lake, Michigan 48383, to consider the following changes to the zoning map:

Property identified as Parcel Number 12-16-200-030, located south of Hitchcock Road, on the west side of Haley Road, consisting of approximately 15 acres.

Applicant requests to rezone the parcel from AG (Agricultural) to SF (Suburban Farms) or any other appropriate zoning district.

Persons interested are requested to be present. Pertinent information relative to this rezoning request is on file at the Community Development Department and may be examined at any time during the Township's summer business hours; Monday through Thursday, 8:00 a.m. through 5:00 p.m., and Friday from 8:00 a.m. through 12:00 p.m., (excluding holidays). Persons interested may visit the Community Development Department, contact the Community Development Department by telephone at 248-698-3300, ext. 5, or attend the Public Hearing on the date specified. Written comments are also welcome at 7525 Highland Road, White Lake, MI 48383. Individuals with disabilities requiring auxiliary aids or services should contact the Clerk's Office at least 5 days before the hearing.

Sean O'Neil, AICP
Community Development Director

279