



ZONING BOARD OF APPEALS MEETING
LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383
(FORMER WHITE LAKE LIBRARY)
THURSDAY, FEBRUARY 24, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF AGENDA

5. APPROVAL OF MINUTES

A. Zoning Board of Appeals Regular Meeting of January 27, 2022

6. OLD BUSINESS

7. NEW BUSINESS

A.

Applicant: Stacy Husslein

5654 Lancaster Lane

Commerce, MI 48382

Location: **320 View Drive**

White Lake, MI 48386 identified as 12-23-406-014

Request: The applicant requests to construct a single-family house with a side-entry garage that does not meet the minimum setback, requiring a variance from Article 3.11.T, Notes to District Standards. A variance from Article 3.1.5.E, R1-C Single Family Residential is also required to exceed the maximum lot coverage.

B.

Applicant: Robert Knisley

8780 Arlington Street

White Lake, MI 48386

Location: **9604 Buckingham Road**

White Lake, MI 48386 identified as 12-14-201-015

Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

C.

Applicant: Brad VanGorder

8890 Tackels Drive

White Lake, MI 48386

Location: **8890 Tackels Drive**

White Lake, MI 48386 identified as 12-13-104-007

Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a first and second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.



D.

Applicant: Rob Higgs

15486 Surrey

Livonia, MI 48154

Location: **(1) 3811 Ormond Road**

White Lake, MI 48383 identified as 12-07-329-013

(2) 12-07-329-035

Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.5.E, R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

8. OTHER BUSINESS

9. NEXT MEETING DATE: March 24, 2022 Regular Meeting

10. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
REGULAR MEETING
JANUARY 27, 2022**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Clif Seiber
Debby Dehart, Planning Commission Liaison
Kathleen Aseltyne
Niklaus Schillack
Jo Spencer, Chairperson

Absent:

Michael Powell, Township Board Liaison

Others:

Justin Quagliata, Staff Planner
Hannah Micallef, Recording Secretary

15 members of the public present

APPROVAL OF AGENDA

**MOVED by Member Aseltyne, SUPPORTED by Member Schillack, to approve the agenda as presented.
The motion CARRIED with a voice vote (5 yes votes).**

APPROVAL OF MINUTES:

- a. Zoning Board of Appeals Regular Meeting of December 9, 2021

Staff Planner Quagliata noted on page 6, the public hearing should read closed at 8:45 P.M.

**MOVED by Member Schillack, SUPPORTED by Member Seiber to approve the Zoning Board of Appeals
Regular Meeting Minutes of December 9, 2021 as amended.
The motion CARRIED with a voice vote (5 yes votes).**

NEW BUSINESS:

A. Applicant: Meghan & Mike Macy

9396 Beechcrest Drive

White Lake, MI 48386

Location: 9396 Beechcrest Drive

White Lake, MI 48386 identified as 12-35-201-011

Request: The applicant requests to install a privacy fence exceeding the allowed height, requiring a variance from Article 5.12.D.ii, Fences, Walls and Other Protective Barriers.

Chairperson Spencer noted for the record that 32 owners within 300 feet were notified. 0 letters were received in favor, 1 letter was received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Schillack asked staff if the survey was sealed and how an unsealed survey would affect the requested variance. Staff Planner Quagliata stated the survey was not sealed, and the ordinance required a signed and sealed survey.

Member Seiber asked staff if the 4-foot maximum fence height on lakefront lots was to improve visibility. Staff Planner Quagliata confirmed, and stated the ordinance was also written to improve aesthetics on the lake as well.

Member Dehart asked staff where the grade was measured from. Staff Planner Quagliata stated the zoning ordinance defined grade as "Finished ground level. When the word "grade" is used herein in relation to "building grade," "established grade," or "average grade," it shall mean the level of the ground adjacent to the Structure if the ground is level. If the ground is not level, the Finished Grade shall be determined by averaging the elevation of the ground for each side of the Structure using the highest and lowest point of each side, as measured five feet from the exterior walls of the Structure."

Megan and Mike Macy were present to speak on their case. Mrs. Macy said her family moved into a unique situation, and their neighbor was hostile. She did not feel comfortable in her backyard with her children outside and the neighbor's security cameras pointed at her house and children. She said the camera followed the children around the yard. She stated she was pleading for privacy and protection. The fence would also block the view of the blight in the neighbor's yard.

Member Seiber asked the applicant if the additional 2 feet on the fence would block the camera mounted on the neighbor's second floor. Mr. Macy said the additional 2 feet of fence would block another camera on the neighbor's property. The neighbor also sat on his patio and stared at their children.

Member Schillack asked the applicant why not arborvitaes instead of a fence. Mr. Macy said a fence was immediate, while the arborvitaes would have to grow. Their landscaper also said arborvitaes would be harder to grow in that area due to drainage concerns. Mrs. Macy said the neighbor had been aggressive with her family since they moved in. Mr. Macy added a 6-foot fence would help mitigate some of the overgrowth from the neighbor's yard.

Member Aseltyne stated anyone on a lake had their privacy minimized because lake lots were usually small, and the applicant's situation was not unique.

Chairperson Spencer opened the public hearing at 7:23 P.M.

Ryan Perry, 9436 Beechcrest Drive, spoke in support of the applicant's variance request.

Elizabeth Mason, 9452 Beechcrest Drive, spoke in support of the applicant's variance request.

Chairperson Spencer stated there was one letter from Vincent Cytacki in opposition of the request.

Chairperson Spencer closed the public hearing at 7:27 P.M.

Member Schillack stated he understood the applicant's concern, but there were other alternative options that would be available to the applicant.

Member Seiber stated he understood the additional 2 feet on the fence would help somewhat, but it would not shield the remaining camera. He added the neighbor had rights too, and the ordinance was written to protect the views for all lakefront owners.

Member Dehart stated she understood the applicant's concern, and suggested the applicants look into planting arborvitaes or seek legal counsel.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

A. Practical Difficulty

- Chairperson Spencer said she did not find a practical difficulty.
- Member Schillack said as a parent, the situation was tough but the standards were based off of the property.
- Member Seiber said the request was not related to topography or the lot.

B. Unique Situation

- Chairperson Spencer said even though she understood the applicant's request, she could not find a unique situation.

C. Not Self-Created

- Chairperson Spencer said there were alternatives to a 6-foot fence that would be effective.

D. Substantial Justice

- Member Seiber said he did not see any other lakefront lots in the area that had a fence height over 4 feet.

E. Minimum Variance Necessary

- Member Dehart said practical difficulty was not proven for the site.

Member Seiber MOVED to deny the variances requested by Meghan and Mike Macy for Parcel Number 12-35-201-011, identified as 9396 Beechcrest Drive, due to the following reason(s):

- **Failure to meet the standards from Article 7, Section 37 of the zoning ordinance.**

**SUPPORTED by Member Schillack and the motion CARRIED with a roll call vote:
(Seiber/yes, Schillack/yes, Aseltyne/yes, Dehart/yes, Spencer/yes)**

B. Applicant: Michael Epley
6075 Carroll Lake Road
Commerce, MI 48382

Location: **368 Lakeside Drive**

White Lake, MI 48386 identified as 12-22-428-003

Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Width. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 18 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Schillack asked staff if there were any issues with the addition going up instead of being indented into the existing house. Staff Planner Quagliata said no. Member Schillack asked staff if the existing house was legal nonconforming. Staff Planner Quagliata confirmed.

Member Dehart asked staff if the subject site was serviced by well and septic. Staff Planner Quagliata confirmed. The septic field was 15 feet from the existing house.

Mr. Epley from Epley Custom Design was present to speak on his case. He said the plans presented were preliminary. He said the north side of the site was an issue, and wanted to go vertical with the addition because the existing house was legal nonconforming. He added that it would cost more to inset the second-story addition. He said the house would lose fluidity if the addition was moved to the west.

Chairperson Spencer opened the public hearing at 7:52 P.M. Seeing no public comment, she closed the public hearing at 7:52 P.M.

Member Seiber stated the width of the lot was only 50 feet, and the lot was zoned for 80 feet. He appreciated the applicant moving the sides of the addition in to minimize the variance.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

A. Practical Difficulty

- Member Dehart said the site was narrow and the location of the septic demonstrated a practical difficulty.
- Member Schillack said while it was difficult, he still saw an envelope on the property that the addition could be built on without varying the ordinance.

B. Unique Situation

- Chairperson Spencer said she did not see a unique situation.
- Member Schillack said the subject site seemed similar to the lots around it.

- C. Not Self-Created
 - Member Seiber said the lot was nonconforming, which was not self-created.
- D. Substantial Justice
 - Member Dehart said other houses in the neighborhood had utilized more of the space on their parcels.
- E. Minimum Variance Necessary
 - Member Dehart said the minimum would be to bring the addition in to meet the 10-foot side yard setbacks. Member Schillack and Chairperson Spencer agreed.

Member Dehart MOVED to approve the variances requested by Michael Epley from Articles 3.1.6.E, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-22-428-003, identified as 368 Lakeside Drive, in order to construct a second-story addition. A variance from Article 7.23.A is granted to allow the second-story addition to encroach 5 feet into the required setback from the north side lot line and 4 feet into the required setback from the south side lot line. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 849%. A 20-foot variance from the required lot width is also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **In no event shall the projection of the roof overhang be closer than five feet to the east and west side lot lines.**
- **An as-built survey shall be required to verify the roof overhang setback from the north and south side lot lines.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**

**Member Aseltyne SUPPORTED and the motion carried with a roll call vote (3 yes votes):
(Dehart/yes, Aseltyne/yes, Schillack/no, Seiber/yes, Spencer/no)**

- C. Applicant: David Scalpone
11071 Beryl Drive
White Lake, MI 48386
Location: **11071 Beryl Drive**
White Lake, MI 48386 identified as 12-33-278-010
Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a first and second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width. A variance from Article 5.7.A, Accessory Buildings or Structures in Residential Districts is required for the setback between the principal building and accessory building. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Member Dehart indicated the applicant were neighbors and she did not stand to gain from the outcome of the variance request.

Chairperson Spencer noted for the record that 29 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 1 letter was returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Schillack stated he did not find applicant's variance requests were based on the property.

Member Dehart asked staff if the variance request for the garage could be considered this evening. Staff Planner Quagliata stated the ZBA would not grant the garage a side yard setback variance, and it would remain nonconforming.

Member Aselyne said she was concerned the proposed design not fitting in with the rest of the houses in the area. The addition would also increase the impervious surface on the lot, which could potentially lead to drainage issues in the future.

Chairperson Spencer said the ZBA was charged with eliminating nonconformities and not adding to them.

David and Jeanine Scalpone were present to speak on their case. Mrs. Scalpone said the house was built in the 1940s, and the addition was put on in 1994. Because of the addition, the crawlspace was unreachable. The variance request would help them get to the crawl space and ensure it remained structurally sound. She added they would hook up to the sewer, and would make the house more environmentally safe.

Member Schillack asked the applicant why connecting to the sewer was related to the construction. Mrs. Scalpone said without the construction, the crawl space could not be accessed to connect to sewer.

Chairperson Spencer opened the public hearing at 8:34 P.M.

Jill Pollans, 11011 Beryl Drive, spoke in support of the applicant's variance request.

Chairperson Spencer closed the public hearing at 8:36 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

A. Practical Difficulty

- Chairperson Spencer said the lot was nonconforming, but the ZBA was charged with eliminating nonconformities, and allowing the structure to be altered and enlarged went against what the ZBA was charged to do.
- Member Dehart said the lot was a practical difficulty, and the structure was also because of its shape.

B. Unique Situation

C. Not Self-Created

- Member Dehart said the applicant did not create the lot.
- Member Seiber said the lot was only 53 feet wide.

D. Substantial Justice

- Member Dehart said other houses on Castlewood Drive were enlarged at one point as well.

E. Minimum Variance Necessary

Member Seiber **MOVED** to approve the variances requested by David Scalpone from Articles 3.1.6.E, 5.7.A, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-33- 278-010, identified as 11071 Beryl Drive, in order to construct an addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 3.6 feet into the required setback from the east side lot line; to allow the garage to encroach 5 feet into the required setback from the west side lot and 20 feet into the required setback from the front lot line; and to exceed the allowed lot coverage by 7.68%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 1,115%. A 27-foot variance from the required lot width and a 5,161 square foot variance from the required lot size are also granted from Article 3.1.6.E. A 2.5-foot variance from Article 5.7.A is also granted to allow the house to encroach into the required setback from the garage. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- In no event shall the projection of any roof overhang be closer than five (5) feet to the east and west side lot lines.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.
- The nonconforming shed, including the concrete pad, shall be demolished and removed from the property.

Member Dehart **SUPPORTED** and the motion **FAILED** with a roll call vote (3 no votes):
(Seiber/yes, Dehart/yes, Spencer/no, Aseltyne/no, Schillack/no)

Mrs. Scalpone said the property next to theirs would never be built on as it was the association's lot. She did not want to touch the garage at all, and moving the garage would be a bigger financial cost.

Member Seiber **MOVED TO** approve the variances requested by David Scalpone from Articles 3.1.6.E, 5.7.A, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-33- 278-010, identified as 11071 Beryl Drive, in order to construct an addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 3.6 feet into the required setback from the east side lot line; to allow the garage to encroach 5 feet into the required setback from the west side lot and 20 feet into the required setback from the front lot line; and to exceed the allowed lot coverage by 7.68%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 1,115%. A 27-foot variance from the required lot width and a 5,161 square foot variance from the required lot size are also granted from Article 3.1.6.E. A 2.5-foot variance from Article 5.7.A is also granted to allow the house to encroach into the required setback from the garage. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
 - **The west side wall of the garage shall be removed and reconstructed to establish a five-foot side yard setback, which shall be measured from the roof overhang of the garage.**
 - **In no event shall the projection of any roof overhang be closer than five (5) feet to the east and west side lot lines.**
 - **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**
 - **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
 - **An as-built survey shall be required to verify the approved setbacks.**
 - **The nonconforming shed, including the concrete pad, shall be demolished and removed from the property.**

**Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote (3 yes votes):
(Seiber/yes, Dehart/yes, Spencer/no, Aseltyne/no, Schillack/yes)**

OTHER BUSINESS

A. Zoning Ordinance Discussion

Chairperson Spencer said she was in favor of making the sign ordinance more restrictive than it currently was. Staff Planner Quagliata stated the ZBA could recommend changes to the Planning Commission, and then the Planning Commission would have to hold a public hearing if it wanted to recommend ordinance amendments to the Township Board.

Member Seiber excused himself at 9:13 P.M.

Chairperson Spencer said in 2019, the ZBA heard 16 cases. In 2020, they heard 34 cases, and in 2021 heard 47 cases. She added she would like to table the zoning ordinance discussion until more research was done. Staff Planner Quagliata offered to provide more information.

B. Election of Officers

Member Schillack nominated Jo Spencer to serve at Chairperson of the White Lake Township Zoning Board of Appeals for the remainder of 2022. Member Aseltyne SUPPORTED, and the motion CARRIED with a roll call vote (4 yes votes):

(Dehart/yes, Aseltyne/yes, Schillack/yes, Spencer/yes).

Member Aseltyne nominated Niklaus Schillack to serve as Vice-Chairperson of the White Lake Township Zoning Board of Appeals for the remainder of 2022. The motion CARRIED with a roll call vote (4 yes votes):

(Aseltyne/yes, Dehart/yes Spencer/yes, Schillack/yes).

The ZBA took a recess 9:24 P.M. The ZBA returned from recess at 9:33 P.M.

C. Member Schillack Citizen Planner Presentation

Member Schillack presented his Citizen Planner presentation.

ADJOURNMENT

**MOVED by Member Aseltyne, SUPPORTED by Member Dehart to adjourn the meeting at 9:55 P.M.
The motion CARRIED with a voice vote (4 yes votes).**

NEXT MEETING DATE: February 24, 2022 Regular Meeting

DRAFT

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: February 24, 2022

Agenda item: 7a

Appeal Date: February 24, 2022

Applicant: Stacey Husslein

Address: 5654 Lancaster Lane
Commerce, MI 48382

Zoning: R1-C Single Family Residential

Location: 320 View Drive
White Lake, MI 48386

Property Description

The 0.36-acre (15,647 square feet – lot area to floodplain) parcel identified as 320 View Drive is located within the Twin Lakes Village condominium subdivision and zoned R1-C (Single Family Residential). Municipal water and sanitary sewer are available to serve the site.

Applicant's Proposal

Stacy Husslein, the applicant, is proposing to construct a single-story house with an attached three-car side-entry garage.

Planner's Report

The plot plan labels the proposed house as two-stories with walkout basement; the plan shall be revised accordingly if the variances are approved. Also, Note 3 on the plot plan states the Township defers to the Road Commission for Oakland County (RCOC) for right-of-way permit/work requirements. View Drive is a private road and not under the jurisdiction of the RCOC.

The proposed house is 3,580 square feet in size (first floor: 2,517 square feet; garage: 825 square feet; rear covered porch: 170 square feet; front porch: 68 square feet). According to the submitted plot plan, the proposed lot coverage is 22.88%, which is 2.88% (450.6 square feet) beyond the allowable limit (3,129.4 square feet).

Article 3, Section 11.T of the zoning ordinance states the minimum side yard setback for a side-entry garage shall be 25 feet. As proposed, the side-entry garage would be located 23.84 feet from the north side lot line, requiring a variance of 1.16 feet.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.11.T	Side-entry garage	25 feet	1.16 feet	23.84 feet
2	Article 3.1.5.E	Maximum lot coverage	20% (3,129.4 square feet)	2.88% (450.6 square feet)	22.88% (3,580 square feet)

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Stacy Husslein from Articles 3.1.5.E and 3.11.T of the Zoning Ordinance for Parcel Number 12-23-406-014, identified as 320 View Drive, in order to construct a new house with a side-entry garage that would encroach 1.16 feet into the required side yard setback and exceed the allowed lot coverage by 2.88%. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.

Denial: I move to deny the variances requested by Stacy Husslein for Parcel Number 12-23-406-014, identified as 320 View, due to the following reason(s):

Table: I move to table the variance requests of Stacy Husslein for Parcel Number 12-23-406-014, identified as 320 View Drive, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 25, 2022.
2. Plot plan dated September 7, 2021 (revision date ?).
3. Topographic survey dated August 25, 2021.
4. Architectural plans dated September 15, 2021.
5. Letter of denial from the Building Official dated January 14, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

Item A.

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Stacy Husslein PHONE: 248-383-3300
ADDRESS: 5654 Lancaster Ln. Commerce Twp. MI 48382
APPLICANT'S EMAIL ADDRESS: st_husslein@hotmail.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 320 View Dr. PARCEL # 12 - 23-406-014
CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____
VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

APPLICATION FEE: 385.00 (CALCULATED BY THE PLANNING DEPARTMENT)
APPLICANT'S SIGNATURE: Stacy M. Husslein DATE: 1/25/22

PLOT PLAN NOTES:

1. LOCATION AND ROTATION OF HOUSE AND GARAGE ARE PER BUILDER AND OWNER REQUEST.
2. NO NEW PUBLIC OR PRIVATE UTILITY IMPROVEMENTS ARE ANTICIPATED AS PART OF THIS PROJECT.
3. MAINTAIN A MINIMUM DISTANCE OF 3 FT. FROM BUILDING FOUNDATION AND 20 FT. FROM PROPERTY LINE FOR SUMP PUMP AND DOWNSPOUT DISCHARGE.
4. THE ESTIMATED TIME OF RE-ESTABLISHMENT OF PERMANENT VEGETATION IS SUMMER OF 2022.
5. ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXCEEDING 24 INCHES IN DEPTH, SUCH AS FOR BASEMENTS, CRAWL SPACES, POOLS, AND SPA MUST BE SECURED THROUGH THE USE OF A 4" HIGH FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 30 DAYS. AT SUCH TIME, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. 2009 MRC-R 104.1 & 2009 MRC-CHAPTER 33.
6. IN NO WAY SHALL SURFACE RUNOFF BE DIRECTED SO AS TO ADVERSELY IMPACT ADJACENT PROPERTIES WITH A FLOODING CONDITION. THE GRADING PLAN SHOULD CONTINUE AS FAR AS A STORM SEWER OUTLET OR OTHER NATURAL OUTLET POINT OF DISCHARGE TO ASSURE PROPER CONTROL OF SURFACE RUNOFF. SURFACE RUNOFF SHALL BE DIVERTED TO A STORM SEWER OR OTHER APPROVED POINT OF COLLECTION SO AS NOT TO CREATE A FLOODING CONDITION.
7. NO ACCESSORY STRUCTURES ARE APPROVED WITH THIS PERMIT.
8. BUILDER TO PROVIDE TREE PROTECTION FENCE PER WHITE LAKE ORDINANCE.

LEGEND

- SET
- FCI
- (R) RECORDED
- (M) MEASURED
- ⊙ EX. SANITARY MANHOLE
- PRO. GRADING ARROW
- x 920.0 PRO. SPOT GRADE
- x TP920.0 PRO. TOP/PAVEMENT GRADE
- ▬▬▬▬▬ PRO. SILT FENCE/LIMITS OF DISTURBANCE

FLOOD ZONE CONTOUR
944.00
N.A.V.D. 88

BENCHMARKS:

BM1
SANITARY FORCEMAIN MANHOLE WEST SIDE OF VIEW DRIVE, 11'± SOUTHEAST OF THE NORTHEAST UNIT CORNER FOR UNIT 128.
ELEVATION: 955.30 N.A.V.D.88

SURVEY NOTES:

1. TITLE WORK WAS NOT PROVIDED. EASEMENTS MAY EXIST AND ARE SHOWN.
2. A WETLAND AND TREE SURVEY WERE NOT PERFORMED AS PART OF THIS SURVEY.

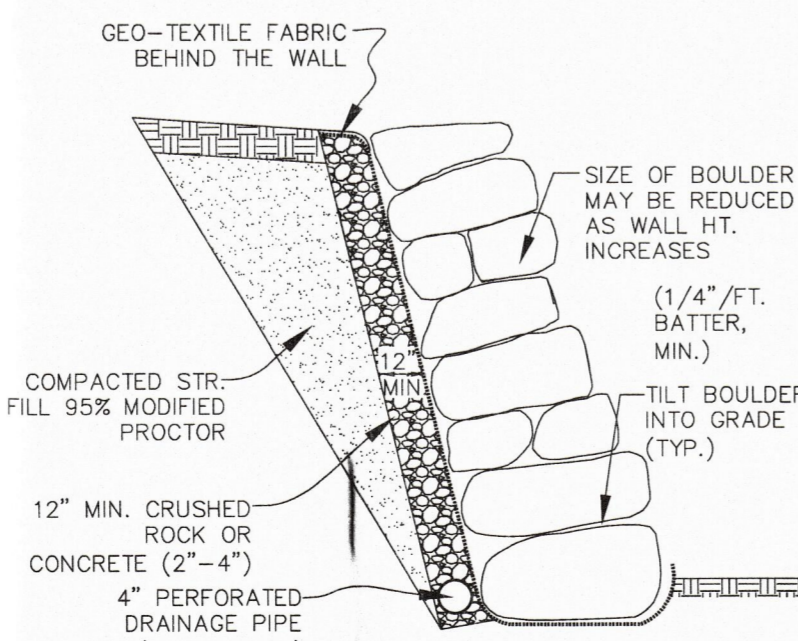
LEGAL DESCRIPTION (BY OTHERS):

UNIT 128 OF TWIN LAKES VILLAGE, A CONDOMINIUM ACCORDING TO THE MASTER DEED RECORDED IN LIBER 10691, PAGE 384, AND AS AMENDED BY THIRD AMENDMENT TO THE MASTER DEED RECORDED IN LIBER 17822, PAGE 87, OAKLAND COUNTY RECORDS, AS AMENDED, AND DESIGNATED AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 590, AS AMENDED, TOGETHER WITH RIGHTS IN THE GENERAL COMMON ELEMENTS AND THE LIMITED COMMON ELEMENTS AS SET FORTH IN THE AFORESAID MASTER DEED AND DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF MICHIGAN OF 1978, AS AMENDED.

FLOOD HAZARD STATEMENT:

A PORTION OF THIS PROPERTY IS LOCATED WITHIN A FEMA DESIGNATED ZONE "AE" FLOOD HAZARD AREA AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FOR MICHIGAN FLOOD INSURANCE RATE MAP (FIRM) #26125C0339F (COMMUNITY ID NO. 260479 - TOWNSHIP OF WHITE LAKE, MI) WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. THIS STATEMENT IS BASED ON THE RESULTS OF GRAPHIC PLOTTING ONTO THE ABOVE NAMED MAP AND PANEL, WHICH IS THE CURRENT MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS LOCATED. ZONE "AE" INDICATES BASE FLOOD ELEVATIONS DETERMINED. (ELEVATION = 944 FEET N.A.V.D.88)

ILLUSTRATIVE BOULDER RETAINING WALL CROSS SECTION



LOT COVERAGE CALCULATIONS:

LOT AREA TO FLOOD PLAIN: 15,647 S.F. (0.36 ACRES)
HOUSE AREA: 2,517 S.F.
ATTACHED GARAGE AREA: 825 S.F.
REAR COVERED PORCH AREA: 170 S.F.
FRONT PORCH AREA: 68 S.F.
DRIVEWAY/PORCH: 1,619 S.F.

LOT COVERAGE: 3,580 S.F. / 15,647 S.F. = 22.88%
IMPERVIOUS COVERAGE: 5,199 S.F. / 15,647 S.F. = 33.23%

NOTES:

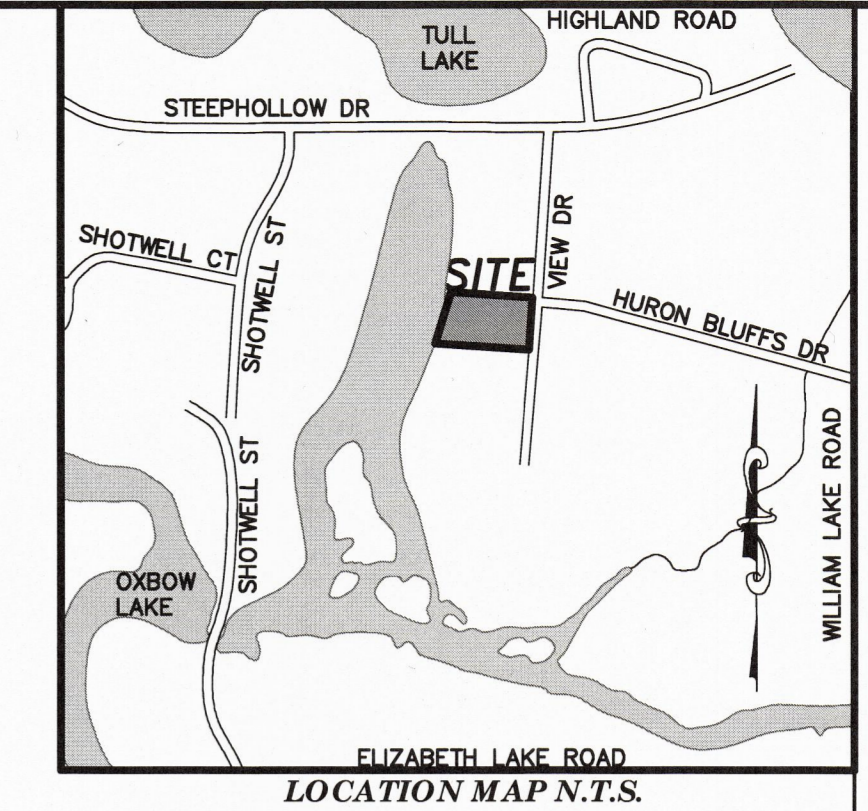
1. DRAINAGE ON THIS PROPERTY CANNOT AFFECT ADJACENT PROPERTIES.
2. MAINTAIN POSITIVE DRAINAGE ON SITE AND AWAY FROM PROPOSED STRUCTURE.
3. WHITE LAKE TOWNSHIP DEFERS TO RCOC FOR R.O.W. PERMIT/WORK REQUIREMENTS.
4. A SOIL EROSION CONTROL PERMIT WILL BE REQUIRED FROM OAKLAND COUNTY WATER RESOURCES COMMISSION.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



GREENTECH ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

RESIDENTIAL: Site Preparation, Utility Layout, Final Plans
COMMERCIAL: Site Planning, Surveying, Instrumentation & Multi-Unit Land Surveying
SURVEYING: Boundary, Topographic, Construction Staking

51147 Pontiac Trail, Wyom., MI 48393
Phone: (248) 666-0700 Fax: (248) 666-0701

811
Know what's below
Call before you dig.

PLOT PLAN
NICHOLAS & STACY HUSSLEIN

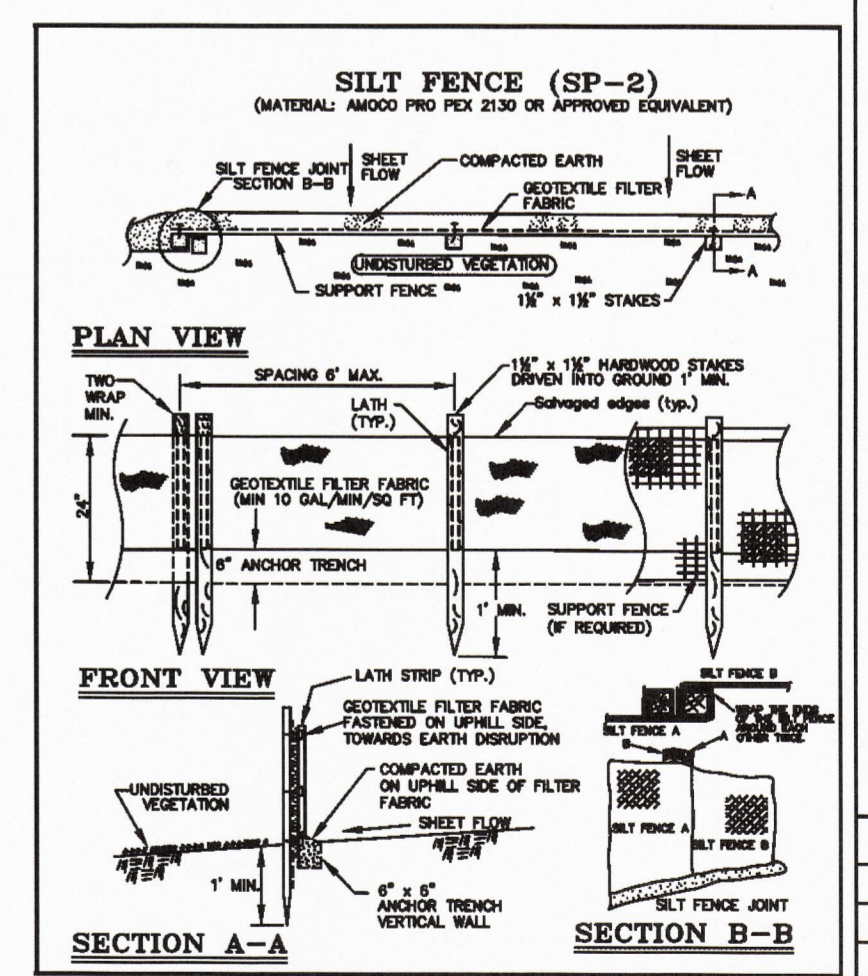
OWNER:
NICHOLAS & STACY HUSSLEIN
5654 LANCASTER LANE
COMMERCE TOWNSHIP, MI 48382
PHONE: (248)-383-3300

ZONING:
R1-C SINGLE-FAMILY RESIDENTIAL DISTRICT

SETBACKS:
FRONT: 35 FEET
REAR: 35 FEET
SIDE: 10 FEET

**NOTE: BUILDER/DESIGN PROFESSIONAL TO VERIFY SETBACK REQUIREMENTS PRIOR TO DESIGN.

CLIENT:
#320 VIEW DRIVE - PARCEL NO. 12-23-406-014
SECTION: 23
TOWNSHIP: 03N
RANGE: 08E
WHITE LAKE TOWNSHIP
OAKLAND COUNTY
MICHIGAN



STATE OF MICHIGAN
DANIEL J. LeCLAIR
ENGINEER
No. 10158
LICENSED PROFESSIONAL ENGINEER

REVISED
2021-12-20 REVISE PER REVIEW
2021-01-13 REVISE PER REVIEW

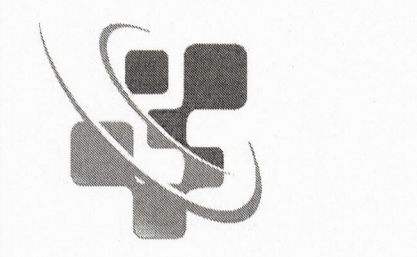
DATE: 9-7-2021
DRAWN BY: RMS
CHECKED BY: JPP

SCALE: HOR 1"=10 FT.
VER 1"=1 FT.

1
20-156

RESIDENTIAL
Subdivisions
Single-Family
Plot Plans
COMMERCIAL
Site Engineering
Site Engineering
Industrial Surveying
SURVEYING
ALTA Surveys
Topographic Surveys
Construction Staking

GREENTECH
ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
51147 Pontiac Trail, Wixom, MI 48393
Phone: (248) 668-0700 Fax: (248) 668-0701



811
Know what's below
Call before you dig.

CLIENT: NICOLAS & STACY HUSSLEIN
TOPOGRAPHIC SURVEY
#320 VIEW DRIVE - PARCEL NO. 12-23-406-014
SECTION: 23 TOWNSHIP: 03N. RANGE: 08E.
WHITE LAKE COUNTY
MICHIGAN

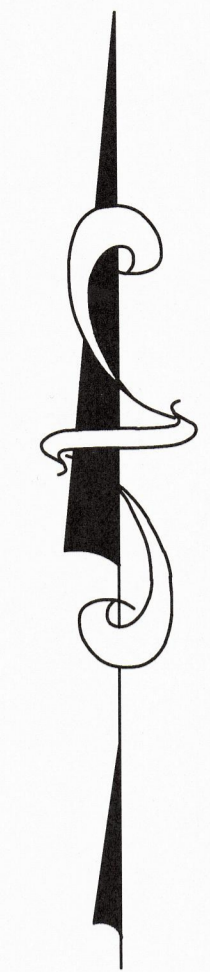
REVISED

DATE: 8-25-2021
DRAWN BY: PWK
CHECKED BY: JPP

FBK: ---
CHF: MM
SCALE: HOR 1"=10 FT.
VER 1"=--- FT.
1
20-156



LEGEND
● SET
○ FCI
(R) RECORDED
(M) MEASURED
⊙ EX. SANITARY MANHOLE
● SET CAPPED IRON
○ FOUND CAPPED IRON
(R) RECORDED
(M) MEASURED
⊙ EX. SANITARY MANHOLE



ZONING:
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IMMEDIATELY IF A CONFLICT IS APPARENT.

WAYNE HOMES®

— EST. 1973 —



ABBREVIATIONS

A/C	AIR CONDITIONING	FT	FOOT/FEET	FVMT	PAVEMENT
AB	ANCHOR BOLT	FTG	FOOTING	QT	QUARRY TILE
ABV	ABOVE	FUR	FURR(ED)(ING)	R	RADIUS, RISER OR ROD
ACT	ACTUAL	FURN	FURNACE	RA	RETURN AIR
AD	ADHESIVE	FX	FIXED	RD	ROOF DRAIN
ADJ	ADJUSTABLE	GA	GAUGE	REC	RECREATION, RECESSED
AFF	ABOVE FINISH FLOOR	GAR	GARAGE	REC'D	RECEIVED
AGG	AGGREGATE	GC	GENERAL CONTRACT(OR)	REF	REFRIGERATOR
ALT	ALTERNATE	GFI	GROUND FAULT INTERRUPTER	REFR	REFERENCE
ARCH	ARCHITECT(URAL)	GI	GALVANIZED IRON	REIN	REINFORC(ED)(ING)
ASPH	ASPHALT	GL	GLASS GLAZING	REQ'D	REQUIRED
AUTO	AUTOMATIC	GL BLK	GLASS BLOCK	RES	RESILIENT
AVN	AVENUE	GR	GREAT ROOM	REV	REVISION(S), REVISED
BA	BATH	GRAN	GRANULAR	RFG	ROOFING
BA	BOARD	GWB	GYPSUM WALLBOARD	RI	ROUGH-IN
BB	BIFOLD	HB	HOSE BIBB	RJB	REINFORCED JUNCTION BOX
BIT	BITUMINOUS	HC	HOLLOW CORE	RL	RAILING
BLDG	BUILDING	HDR	HEADER	RM	ROOM
BLK	BLOCK	HDM	HARDWARE	RNG	RANGE
BLKG	BLOCKING	HM	HOLLOW METAL	RO	ROUGH OPENING
BM	BEAM	HRZ	HORIZONTAL	ROM	RIGHT OF WAY
BOT	BOTTOM	HP	HEAT PUMP	SC	SOLID CORE
BIF	BIFASS	HT	HEIGHT	SCHED	SCHEDULE
BR	BEDROOM	HTR	HEATER	SD	SMOKE DETECTOR
BRG	BEARING	HVAC	HEATING/VENTILATING/AIR COND	SECT	SECTION
BRK	BRICK	ID	INSIDE DIAMETER	SGD	SLIDING GLASS DOOR
BRKF	BREAKFAST	INSUL	INSULATE(ED)(ION)	SH	SHELF, SHELVING OR SINGLE HUNG
BSMT	BASEMENT	INT	INTERIOR	SHT	SHEET
BVL	BEVELED	I.S.L.O.	IN SIDE LOOKING OUT	SHTH	SHEATHING
CAB	CABINET	JST	JOINT	SIM	SIMILAR
CMD	CARBON MONOXIDE DETECTOR	KIT	KITCHEN	SL	SLIDER
CEM	CEMENT	LAM	LAMINATED	SPEC	SPECIFICATIONS
CER	CERAMIC	LAM	LAMINATED	SPKR	SPEAKER
CI	CAST IRON	LAV	LAVATORY	SQ	SQUARE
CJ	CONTROL JOINT	LIV	LIVING	SQFT	SQUARE FEET (FOOT)
CLG	CEILING	LL	LIVE LOAD	SQIN	SQUARE INCHES
CLK	CAULK(ING)	LNTL	LINTEL	SST	STAINLESS STEEL
CLR	CLEAR(ANCE)	LT	LIGHT	STD	STANDARD
CM	CONCRETE MASONRY UNIT	LVL	LAMINATED VENEER LUMBER	STL	STEEL
COL	COLUMN	LVR	LOUVER	STN	STONE
COMB	COMBINATION	MAS	MASONRY	STO	STORAGE
CONC	CONCRETE	MATL	MATERIAL	STOR	STORAGE
CONSTR	CONSTRUCTION	MAX	MAXIMUM	STRUCT	STRUCTURAL
CONT	CONTINUOUS	MBA	MASTER BATH	SUSP	SUSPENDED
CONTR	CONTRACTOR	MER	MASTER BEDROOM	T & G	TONGUE AND GROOVE
CPT	CARPET	MC	MEDICINE CABINET	T/	TOP
CRS	COURSE(S)	MECH	MECHANICAL	TB	TOWEL BAR
CSMT	CASEMENT	MFR	MANUFACTURER	TEL	TELEPHONE
CT	CERAMIC TILE	MH	MANHOLE	THK	THICKNESS
CJ FT	CUBIC FOOT	MIN	MINIMUM	THR	THRESHOLD
CJ YD	CUBIC YARD	MIR	MIRROR	TOC	TOP OF CONCRETE
DED	DEDICATED	MISC	MISCELLANEOUS	TOF	TOPE OF FOUNDATION
DET	DETAIL	MLDG	MOLDING, MOULDING	TP	TOILET PAPER HOLDER
DH	DOUBLE HUNG	MM	MILLIMETER	TRD	TREAD
DIA	DIAMETER	MO	MASONRY OPENING	TRPL	TRIPLE
DIM	DIMENSION	MOD	MODULAR	TV	TELEVISION
DL	DEAD LOAD	MTG	MOUNTED(ING)	TYP	TYPICAL
DN	DOWN	MTL	METAL	UNF	UNFINISHED
DR	DOWNSPOUT	MILL	MILLION	UTIL	UTILITY(IES)
DS	DISH WASHER	NIC	NOT IN CONTRACT	UC	UTILITY CABINET
DM	DISH WASHER	NOM	NOMINAL	VC	VANITY
EA	EACH	NTS	NOT TO SCALE	VB	VAPOR BARRIER
ELEC	ELECTRIC(AL)	OA	OVERALL	VERT	VERTICAL
ELEV	ELEVATION	OC	OVER CENTER	VIN	VINYL
ENT	ENTRY	OH	OVERHEAD	VNR	VENEER
EQ	EQUAL	OHD	OVERHEAD DOOR	VP	VAPOR PROOF
EST	ESTIMATE	OPT	OPTIONAL	VT	VINYL TILE
EXH	EXHAUST	O.S.L.I.	OUT SIDE LOOKING IN	W/	WITH
EXST	EXISTING	PAR	PARALLEL	W/O	WITHOUT
EXT	EXTERIOR	PARL	PARALLEL	WC	WATER CLOSET
FAM	FAMILY	PC	FULL CHAIN	WD	WOOD
FBO	FINISHED BY OTHERS	PDR	POWDER ROOM	WF	WIDE FLANGE
FD	FLOOR DRAIN	PED	PEDESTAL	WH	WATER HEATER
FDN	FOUNDATION	PERI	PERIMETER	WI	WROUGHT IRON
FIN	FINISH	PL	PLATE	WIC	WALK IN CLOSET
FLASH	FLASHING	PLAS	PLASTER	WO	WALK-OUT
FLR	FLOOR(ING)	PNTL	PAIN(T)ED	WP	WATER PROOF
FLOOR	FLOOR(ING)	PREFAB	PREFABRICATE(D)	WS	WATER SOFTNER
FO	FOUR	PSF	POUNDS PER SQUARE FOOT	WNSCT	WAINSCOT
FP	FIREPLACE	PSI	POUNDS PER SQUARE INCH	WVF	WELDED WIRE FABRIC
FPB	FIREPLACE	PSL	PARALLEL STAND LUMBER	WVM	WELDED WIRE MESH
FPFB	FROST PROOF HOSE BIB	PT	PRESSURE TREATED		
		PTN	PARTITION		
		PV	PAVE(ED)(ING)		
		PVC	POLYVINYL CHLORIDE		

DESIGN CRITERIA / CODE COMPLIANCE

THESE PLANS ARE TO COMPLY WITH:

GENERAL CONDITIONS / MISC. INFORMATION

FIREPLACE ROUGH OPENINGS (AS PER DETAIL SH-7):
 HEATILATOR (DV) NDV42361 - 42" WIDE x 34-7/8" TALL
 HEATILATOR (DV) NDV48421 - 49" WIDE x 34-7/8" TALL
 HEATILATOR (RADIANT WB) EL36 - 42" WIDE x 39-3/4" TALL
 HEATILATOR (CIRC. WB) A36C - 43" WIDE x 41-1/2" TALL
 HEATILATOR (CIRC. WB) A42C - 49" WIDE x 41-1/2" TALL
 HEATILATOR (WB) C-40 CONSTITUTION - 42-1/2" WIDE x 56-3/4" TALL
 HEAT & GLO (DV) SL750-TR5-IP1-E - 42" WIDE x 38-1/4" TALL
 HEAT & GLO (RADIANT WB) RH36 - 42" WIDE x 39-3/4" TALL
 HEAT & GLO (CIRC. WB) EM-415 - 43" WIDE x 41-1/2" TALL
 HEAT & GLO (CIRC. WB) EM-485T - 49" WIDE x 41-1/2" TALL

SHEET INDEX

A-1.00	COVER SHEET/ ABBREVIATIONS
A-1.10	GENERAL NOTES
A-1.20	WINDOW SCHEDULE
A-2.20	FOUNDATION PLAN
A-2.21	FOUNDATION DETAILS
A-2.30	FOUNDATION ELECTRICAL PLAN
A-2.40	FOUNDATION MECHANICAL PLAN
A-3.20	LOWER LEVEL FLOOR PLAN
A-3.21	LOWER LEVEL DETAILS
A-3.30	LOWER LEVEL ELECTRICAL PLAN
A-3.40	LOWER LEVEL MECHANICAL PLAN
A-4.00	FIRST FLOOR FRAMING PLAN
A-4.20	FIRST FLOOR PLAN
A-4.21	FIRST FLOOR DETAILS
A-4.30	FIRST FLOOR ELECTRICAL PLAN
A-4.40	FIRST FLOOR MECHANICAL PLAN
A-5.00	SECOND FLOOR FRAMING PLAN
A-5.20	SECOND FLOOR PLAN
A-5.30	SECOND FLOOR ELECTRICAL PLAN
A-5.40	SECOND FLOOR MECHANICAL PLAN
A-6.00	ROOF FRAMING PLAN
A-7.10	FRONT/ REAR ELEVATIONS
A-7.11	LEFT/ RIGHT ELEVATIONS
A-7.21	MISC. EXTERIOR DETAILS
A-8.10	KITCHEN PLAN
A-8.20	BATH PLAN
A-8.30	LAUNDRY PLAN
A-9.10	BUILDING SECTION
A-9.11	ALTERNATE BUILDING SECTION

GRAPHIC LEGEND

	CONCRETE (SECTIONS)		VINYL SIDING (ELEVATIONS)
	SOIL (SECTIONS)		BRICK (ELEVATIONS)
	GRAVEL (SECTIONS)		STONE (ELEVATIONS)
	INSULATION (SECTIONS)		SHAKE SIDING (ELEVATIONS)

SQUARE FOOTAGE SUMMARY

LOWER FLOOR AREA	0 S.F.
OPTIONAL FINISHED BSMT AREA	46 S.F.
FIRST FLOOR AREA	2481 S.F.
SECOND FLOOR AREA	0 S.F.
TOTAL FINISHED AREA	2527 S.F.
GARAGE AREA	821 S.F.

CHANGE ORDER SUMMARY

PRELIMS COMPLETED THRU CHANGE ORDER #	2
PERMS COMPLETED THRU CHANGE ORDER #	4
FINALS COMPLETED THRU CHANGE ORDER #	5

Litchfield

NICK & STACY HUSSLEIN
 320 VIEW DR.
 WHITE LAKE, MI.
 48386

WAYNE HOMES®
 — EST. 1973 —

HAR. 2113
 OAKLAND CO.

COVER SHEET

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name	date
prelim: RJB	10/08/20
perm: RJB	01/11/21
final: BTH	09/16/21
est: MCG	
revisions:	
date:	drawn by:



sheet: A1.00

GENERAL NOTES

FOUNDATION NOTES

1. STOOP TIE INTO BASEMENT WALL WITH (2) PIECES OF DUROWALL AT 5th AND 8th COURSES.
2. PORCHES LACED INTO BASEMENT WALL PER DETAIL FM-2.
3. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 72" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS TO BE WITHIN 1'-0 OF SILL PLATE SEAMS. MIN (2) ANCHOR BOLTS PER PLATE. NO ANCHOR BOLTS TO BE LOCATED UNDER WINDOWS IN SPLIT LEVEL. ANCHOR BOLT SPACING ON SPLIT/BILEVEL KNEEWALLS PER PRINTS. ANCHOR BOLTS AT O.H. DOORS TO BE SET 8" FROM M.O. 1/2" ANCHOR BOLTS USED AND INSTALLED MINIMUM 7" IN MASONRY/CONCRETE
4. 10" BLOCK EVERY THIRD BLOCK AT GARAGE/HOUSE WALL TO SUPPORT THE GARAGE FLOOR SLAB.
5. ADD WATER PLUG (SINGLE CELL) POURED CORE TO THE END OF ALL BULKHEADS AND LINTELS. (REFER TO LEGEND FOR SYMBOL)
6. 6 MIL VAPOR BARRIER TO BE INSTALLED BENEATH ALL CONCRETE SLABS.
7. POURED CORES CONSIST OF, (2) FILLED CELLS W/(1) #4 PER CELL, EACH.

FRAMING NOTES

1. DOUBLE STUDS AT CENTER BEARING WALL (1) STUD TO SUPPORT EACH JOIST AT HEAT RUNS.
2. ONLY OSB MAY BE USED AS SPACER MATERIAL BETWEEN PLYS IN STRUCTURAL HEADERS.
3. DOUBLE 2x8 HEADER WITH 7/16" OSB SPACER BETWEEN PLYS AT ALL BEARING WALL OPENINGS OR AS NOTED.
4. WHEN NECESSARY-DOUBLE 2x10 HEADER WITH CONTINUOUS 7/16" OSB BETWEEN PLYS AND DOUBLE JACKS AT EACH SIDE OF OPENING.
5. USE JOIST HANGERS WHERE NO SOLID BEARING IS PROVIDED.
6. ADD DOUBLE 2x10 BLOCKING UNDER ALL JACK AND KING STUDS AT ALL BEARING WALL OPENINGS
7. HOUSE AND GARAGE SILL PLATES OFFSET 1/2" FROM OUTSIDE FOUNDATION WALL SO SHEATHING WILL BE FLUSH WITH FOUNDATION WALL, UNLESS OTHERWISE NOTED.
8. LVL NAILING PATTERN TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. 4 PLY OR LARGER NEEDS TO BE NAILED PER PATTERN.
9. ADD 2x10 HORIZONTAL BLOCKING BETWEEN STUDS IN THESE LOCATION (TOP, MIDDLE, BOTTOM) OF STAIRWAY FOR HANDRAIL BRACKETS. BLOCKING TO BE INSTALLED IN FULL WALL OR OPPOSITE/RAIL AREA.
10. INSTALL 1x6 BLOCKING ON TOP PLATE OF ALL INTERIOR WALLS PERPENDICULAR TO TRUSSES IN THE MIDDLE THIRD OF THE TRUSS SPAN PER DETAIL SM-1.
11. INTERIOR TOP PLATES OF INTERSECTING WALLS NEED TO BE TIED IN.
12. ALL TRUSSES MUST BE INSTALLED AND BRACED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTION THAT ARE LEFT WITH TRUSS LOAD.
13. TRUSSES AND TRUSS WEBS ARE NEVER TO BE CUT OR ALTERED WITHOUT APPROVED ENGINEERING FROM BUILDER.
14. NO WOODEN SHIMS ARE TO BE USED UNDER ANY BEAMS (ONLY METAL SHIMS).
15. 1x4 #3 PINE STARTER STRIP IS TO BE USED AT THE BACK OF THE FLOORING LAYOUT PER DETAIL SF-3.

EXTERIOR ENVELOPE QUALITY

1. INSTALL PAN FLASHING UNDER ALL EXTERIOR DOORS EXCEPT FOR GARAGE/HOUSE AND GARAGE SERVICE DOOR PER DETAIL.
2. INSTALL 24" PVC BLACK PORCH FLASHING PER DETAIL.
3. ALL EXTERIOR WALLS COVERED W/HOUSEWRAP IN A SHINGLE AFFECT.
4. ALL WINDOWS TO BE INSTALLED, CAULKED AND TAPED PER DETAILS.
5. INSTALL PATIO DOOR PAN FLASHING PER DETAIL.
6. INSULATE AND HOUSE WRAP ALL CANTILEVERS PER DETAIL.
7. CORNER STEP FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
8. BRICK FLASHING AND WEEP HOLES INSTALLED PER DETAIL.
9. VINYL J-BLOCKS ARE TO BE USED AT ALL EXTERIOR LIGHT FIXTURES, METER BASES, HOSE BIBS, DISCONNECTS AND A/C OR H/P ELECTRICAL HOOK-UPS.
10. ALL PENETRATIONS WITHOUT J-BLOCK ARE TO HAVE DUCT SEAL INSTALLED.
11. FINAL ROUGH GRADE TO BE SLOPED TO TAKE WATER AWAY FROM FOUNDATION IN ALL DIRECTIONS. SLOPE OF GRADE MUST BE AT MINIMUM OF 6" EVERY 10'.

FINISHES

1. ALLOW 17" FROM END OF VANITY TO CENTERLINE OF TOILET, UNLESS NOTED OTHERWISE.
2. TOWEL BAR HEIGHT TO BE 46" FROM FLOOR.
3. PAPER HOLDER HEIGHT TO BE 24" FROM FLOOR.
4. TOWEL RING TO BE MOUNTED AT 60" ABOVE FINISHED FLOOR.

JOB SPECIFIC

- 1.

PRELIM VERIFY NOTES

1. VERIFY LOCATION AND LAYOUT OF WALKOUT BASEMENT ADDED TO CONTRACT.
2. VERIFY CHARGE NEEDED FOR INTERIOR FIREPLACE. NOT IN CONTRACT.
3. VERIFY TILE SHOWER WITH FIBERGLASS BASE ADDED TO CONTRACT AND SPECIFIES 3"X3" FLOOR TILE TO REPLACE 2"X2" FLOOR TILE. THERE IS NO FLOOR TILE IN THIS SHOWER DUE TO THE FIBERGLASS BASE. PLEASE ADVISE. TILE SHOWER WITH FIBERGLASS BASE SHOWN.
4. VERIFY UNABLE TO CENTER WINDOW IN OWNERS BATHROOM DUE TO THE TILE SHOWER. IS THIS OK?
5. VERIFY THE M38-300 SHOWER DOOR IS FOR A 36" SHOWER OPENING. THE TILE SHOWER IN THIS HOME HAS A 48" OPENING AND WILL NEED AN M-74 SHOWER DOOR. PLEASE UPDATE CONTRACT IF M-74 SHOWER DOOR IS WANTED. NO SHOWER DOOR SHOWN.
6. VERIFY IF SHOWER DOOR IS ADDED TO TILE SHOWER. IT MAY NOT BE ABLE TO OPEN A FULL 90 DEGREES DUE TO THE ADJACENT TOILET CLOSET WALL.
7. VERIFY AREA AT TOP OF STAIRS. DUE TO FINISHED STAIRS, DROPPED SOFFIT ADDED ABOVE RAIL AND SPINDLE TO CONTAIN COFFERED CEILING. IS THIS OK?
8. VERIFY IF DINING ROOM WAINSCOT TO TERMINATE AT RAIL AND SPINDLE.
9. VERIFY ALL ROOM SIZES. SOME DIMENSIONS MAY DIFFER FROM CONTRACT.

WAYNE HOMES
— EST. 1973 —

Litchfield

NICK & STACY HUSSLEIN
320 VIEW DR.
WHITE LAKE, MI.
48386

HAR. 2113
OAKLAND CO.

GENERAL NOTES

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final: STH	08/16/21
est: MCG	
revisions:	
date:	drawn by:



sheet: A110

WINDOW SCHEDULE											
WINDOW	WIDTH R.O.	HEIGHT R.O.	WINDOW	WIDTH R.O.	HEIGHT R.O.	WINDOW	WIDTH R.O.	HEIGHT R.O.	WINDOW	WIDTH R.O.	HEIGHT R.O.
ENCOMPASS SH1660-2	3'-0"	6'-0"	ENCOMPASS AH6012 over SH3056-2	6'-0"	7'-10"	ENCOMPASS DH1850/DH3050/DH1850	6'-4"	5'-0"	250 SERIES PW2050/DH4050/PW2050	8'-0"	5'-0"
ENCOMPASS SH1660-4	6'-0"	6'-0"	ENCOMPASS HC5975	5'-9 3/4"	2'-10 3/8"	ENCOMPASS DH1850/DH3450/DH1850	6'-8"	5'-0"	250 SERIES DH3050	3'-0"	5'-0"
ENCOMPASS SH1850	1'-8"	5'-0"	ENCOMPASS HC60	6'-0"	3'-0"	ENCOMPASS DH2050/DH3050/DH2050	7'-0"	5'-0"	250 SERIES DH3050-2	6'-0"	5'-0"
ENCOMPASS SH1850/SH3050/SH1850	6'-4"	5'-0"	ENCOMPASS HC60 over SH3050-2	6'-0"	8'-0"	ENCOMPASS DH2050/DH3450/DH2050	7'-4"	5'-0"	250 SERIES DH3450	3'-4"	5'-0"
ENCOMPASS SH1860-4	6'-8"	6'-0"	ENCOMPASS HC60 over SH3060-2	6'-0"	9'-0"	ENCOMPASS PW2050/DH4050/PW2050	8'-0"	5'-0"	250 SERIES DH3450-2	6'-8"	5'-0"
ENCOMPASS SH1860/SH3060/SH1860	6'-4"	6'-0"	ENCOMPASS HC60 over PW6040	6'-0"	7'-0"	ENCOMPASS DH2450/DH3450/DH2450	8'-0"	5'-0"			
ENCOMPASS SH2030	2'-0"	3'-0"	ENCOMPASS HC60 over PW6050	6'-0"	8'-0"	ENCOMPASS DH3050	3'-0"	5'-0"			
ENCOMPASS SH2030/PW4030/SH2030	8'-0"	3'-0"	ENCOMPASS QC30 over SH3060	3'-0"	9'-0"	ENCOMPASS DH3050-2	6'-0"	5'-0"			
ENCOMPASS SH2050	2'-0"	5'-0"	ENCOMPASS TR1816/TR3016/TR1816 over SH1856/SH3056/SH1856	6'-4"	7'-0"	ENCOMPASS DH3450	3'-4"	5'-0"	DOOR	WIDTH R.O.	HEIGHT R.O.
ENCOMPASS SH2050-3	6'-0"	5'-0"	ENCOMPASS TR2016/TR3016/TR2016 over SH2056/SH3056/SH2056	7'-0"	7'-0"	ENCOMPASS DH3450-2	6'-8"	5'-0"	DOOR w/1 SL	53 3/8"	82 1/4"
ENCOMPASS SH2050/SH3050/SH2050	7'-0"	5'-0"	ENCOMPASS TR2820-2 over SH2856-2	5'-4"	7'-6"	ENCOMPASS DH3450-3	10'-0"	5'-0"	DOOR w/2 SL	68 7/8"	82 1/4"
ENCOMPASS SH2050/HC30 over SH3050/SH2050	7'-0"	8'-0"	ENCOMPASS TR3012 over SH3050	3'-0"	6'-2"				DOOR w/2 SL w/ 15-1/2" TRANSOM	68 7/8"	98 1/4"
ENCOMPASS SH2050/PW4050/SH2050	8'-0"	5'-0"	ENCOMPASS TR3012 over SH3060	3'-0"	7'-2"				5068 SLIDER	4'-11 1/4"	6'-8"
ENCOMPASS SH2060/SH2660/SH2060	6'-6"	6'-0"	ENCOMPASS TR3012-2 over SH3050-2	6'-0"	6'-2"				6068 SLIDER	5'-11 1/4"	6'-8"
ENCOMPASS SH2060/SH3060/SH2060	7'-0"	6'-0"	ENCOMPASS TR3016-2 over SH3050-2	6'-0"	6'-6"	250 SERIES CM2020-3	6'-0"	2'-0"	ENCOMPASS TR6012 over PD 6068	5'-11 1/4"	7'-10"
ENCOMPASS SH2438	2'-4"	3'-8"	ENCOMPASS TR3016-2 over SH3056-2	6'-0"	7'-0"	250 SERIES CM3030	3'-0"	3'-0"	250 SERIES PD 5068	5'-0"	6'-8"
ENCOMPASS SH2440	2'-4"	4'-0"	ENCOMPASS TR6016 over PW4050/PW2050	6'-0"	6'-6"	250 SERIES CM3030-2	6'-0"	3'-0"	250 SERIES PD 6068	6'-0"	6'-8"
ENCOMPASS SH2450/SH3050/SH2450	7'-8"	5'-0"							6068 ATRIUM DOOR	6'-3 1/2"	6'-10 1/4"
ENCOMPASS SH2450/HC30 over SH3050/SH2450	7'-8"	8'-0"	ENCOMPASS PW1660	1'-6"	6'-0"	250 SERIES SH2050	2'-0"	5'-0"	6068 ATRIUM DOOR w/12" TRANSOM	6'-3 1/2"	7'-10"
ENCOMPASS SH2460-3	7'-0"	6'-0"	ENCOMPASS PW2020	2'-0"	2'-0"	250 SERIES SH2050/PW4050/SH2050	8'-0"	5'-0"	6068 FRENCH DOOR	6'-2 1/2"	6'-10 1/4"
ENCOMPASS SH2640	2'-6"	4'-0"	ENCOMPASS PW2020-3	6'-0"	2'-0"	250 SERIES SH2060/SH2660/SH2060	6'-6"	6'-0"			
ENCOMPASS SH2650	2'-6"	5'-0"	ENCOMPASS PW2030-3	6'-0"	3'-0"	250 SERIES SH2650	2'-6"	5'-0"	JOB SPECIFIC	WIDTH R.O.	HEIGHT R.O.
ENCOMPASS SH2650-2	5'-0"	5'-0"	ENCOMPASS PW2050	2'-0"	5'-0"	250 SERIES SH2660	2'-6"	6'-0"			
ENCOMPASS SH2660	2'-6"	6'-0"	ENCOMPASS PW2430-2	4'-8"	3'-0"	250 SERIES SH2660-2	5'-0"	6'-0"			
ENCOMPASS SH2660-2	5'-0"	6'-0"	ENCOMPASS PW2438	2'-4"	3'-8"	250 SERIES SH2660/SH3060/SH2660	7'-6"	6'-0"			
ENCOMPASS SH2660/SH3060/SH2660	8'-0"	6'-0"	ENCOMPASS PW2630	2'-6"	3'-0"	250 SERIES SH3030	3'-0"	3'-0"			
ENCOMPASS SH2840	2'-8"	4'-0"	ENCOMPASS PW2630-2	5'-0"	3'-0"	250 SERIES SH3030-2	6'-0"	3'-0"			
ENCOMPASS SH2850	2'-8"	5'-0"	ENCOMPASS PW2630-3	7'-6"	3'-0"	250 SERIES SH3046	3'-0"	4'-6"			
ENCOMPASS SH2860	2'-8"	6'-0"	ENCOMPASS PW2640-2	5'-0"	4'-0"	250 SERIES SH3046-2	6'-0"	4'-6"			
ENCOMPASS SH2860-3	8'-0"	6'-0"	ENCOMPASS PW2828	2'-8"	2'-8"	250 SERIES SH3050	3'-0"	5'-0"			
ENCOMPASS SH3030	3'-0"	3'-0"	ENCOMPASS PW2828-2	5'-4"	2'-8"	250 SERIES SH3050-2	6'-0"	5'-0"			
ENCOMPASS SH3030-2	6'-0"	3'-0"	ENCOMPASS PW2828-3	8'-0"	2'-8"	250 SERIES SH3050-3	9'-0"	5'-0"			
ENCOMPASS SH3040	3'-0"	4'-0"	ENCOMPASS PW3030	3'-0"	3'-0"	250 SERIES SH3060	3'-0"	6'-0"			
ENCOMPASS SH3040-2	6'-0"	4'-0"	ENCOMPASS PW3030-2	6'-0"	3'-0"	250 SERIES SH3060-2	6'-0"	6'-0"			
ENCOMPASS SH3046	3'-0"	5'-6"	ENCOMPASS PW3040	3'-0"	4'-0"	250 SERIES SH3060-3	9'-0"	6'-0"			
ENCOMPASS SH3046-2	6'-0"	5'-6"	ENCOMPASS PW3040-2	6'-0"	4'-0"	250 SERIES SH3450	3'-4"	5'-0"			
ENCOMPASS SH3050	3'-0"	5'-0"	ENCOMPASS PW3840	3'-8"	4'-0"	250 SERIES SH3450-2	6'-8"	5'-0"			
ENCOMPASS SH3050-2	6'-0"	5'-0"	ENCOMPASS PW3846	3'-8"	4'-6"	250 SERIES SH3460	3'-4"	6'-0"			
ENCOMPASS SH3050-3	9'-0"	5'-0"	ENCOMPASS PW3850	3'-8"	5'-0"	250 SERIES SH3460-2	6'-8"	6'-0"			
ENCOMPASS SH3056	3'-0"	5'-6"	ENCOMPASS PW4020	4'-0"	2'-0"						
ENCOMPASS SH3056-2	6'-0"	5'-6"	ENCOMPASS PW4024	4'-0"	2'-4"	250 SERIES TR6016 over PW4050/PW2050	6'-0"	6'-6"			
ENCOMPASS SH3056-3	9'-0"	5'-6"	ENCOMPASS PW4036	4'-0"	3'-6"						
ENCOMPASS SH3060	3'-0"	6'-0"	ENCOMPASS PW4040	4'-0"	4'-0"	250 SERIES PW1660	1'-6"	6'-0"			
ENCOMPASS SH3060-2	6'-0"	6'-0"	ENCOMPASS PW4050	4'-0"	5'-0"	250 SERIES PW2050	2'-0"	5'-0"			
ENCOMPASS SH3060-3	9'-0"	6'-0"	ENCOMPASS PW4650	4'-6"	5'-0"	250 SERIES PW2630	2'-6"	3'-0"			
ENCOMPASS SH3240	3'-2"	4'-0"	ENCOMPASS PW5040	5'-0"	4'-0"	250 SERIES PW2630-2	5'-0"	3'-0"			
ENCOMPASS SH3430	3'-4"	3'-0"	ENCOMPASS PW5820	5'-8"	2'-0"	250 SERIES PW2630-3	7'-6"	3'-0"			
ENCOMPASS SH3450	3'-4"	5'-0"	ENCOMPASS PW6040	6'-0"	4'-0"	250 SERIES PW2828	2'-8"	2'-8"			
ENCOMPASS SH3450-2	6'-8"	5'-0"	ENCOMPASS PW6046	6'-0"	4'-6"	250 SERIES PW3030	3'-0"	3'-0"			
ENCOMPASS SH3450-3	10'-0"	5'-0"	ENCOMPASS PW6050	6'-0"	5'-0"	250 SERIES PW3030-2	6'-0"	3'-0"			
ENCOMPASS SH3456	3'-4"	5'-6"				250 SERIES PW4036	4'-0"	3'-6"			
ENCOMPASS SH3456-2	6'-8"	5'-6"	ENCOMPASS SPRINGLINE 3060	3'-0"	6'-0"	250 SERIES PW4040	4'-0"	4'-0"			
ENCOMPASS SH3456-3	10'-0"	5'-6"	ENCOMPASS SPRINGLINE 4760	4'-7"	6'-0"						
ENCOMPASS SH3460	3'-4"	6'-0"	ENCOMPASS SPRINGLINE 5356	5'-3"	5'-6"						
ENCOMPASS SH3460-2	6'-8"	6'-0"	ENCOMPASS SPRINGLINE 6044	6'-0"	4'-4"						
			ENCOMPASS SPRINGLINE 6050	6'-0"	5'-0"						
SH=SINGLE HUNG DH=DOUBLE HUNG			PW=PICTURE WINDOW T, OR (T), OR TEMP=TEMPERED			HC=HALF CIRCLE TR=TRANSOM			PD=PATIO DOOR		

WAYNE HOMES
— EST. 1973 —

Litchfield


NICK & STACY HUSSLEIN
320 VIEA DR.
WHITE LAKE, MI.
48386

HAR. 2113
OAKLAND CO.

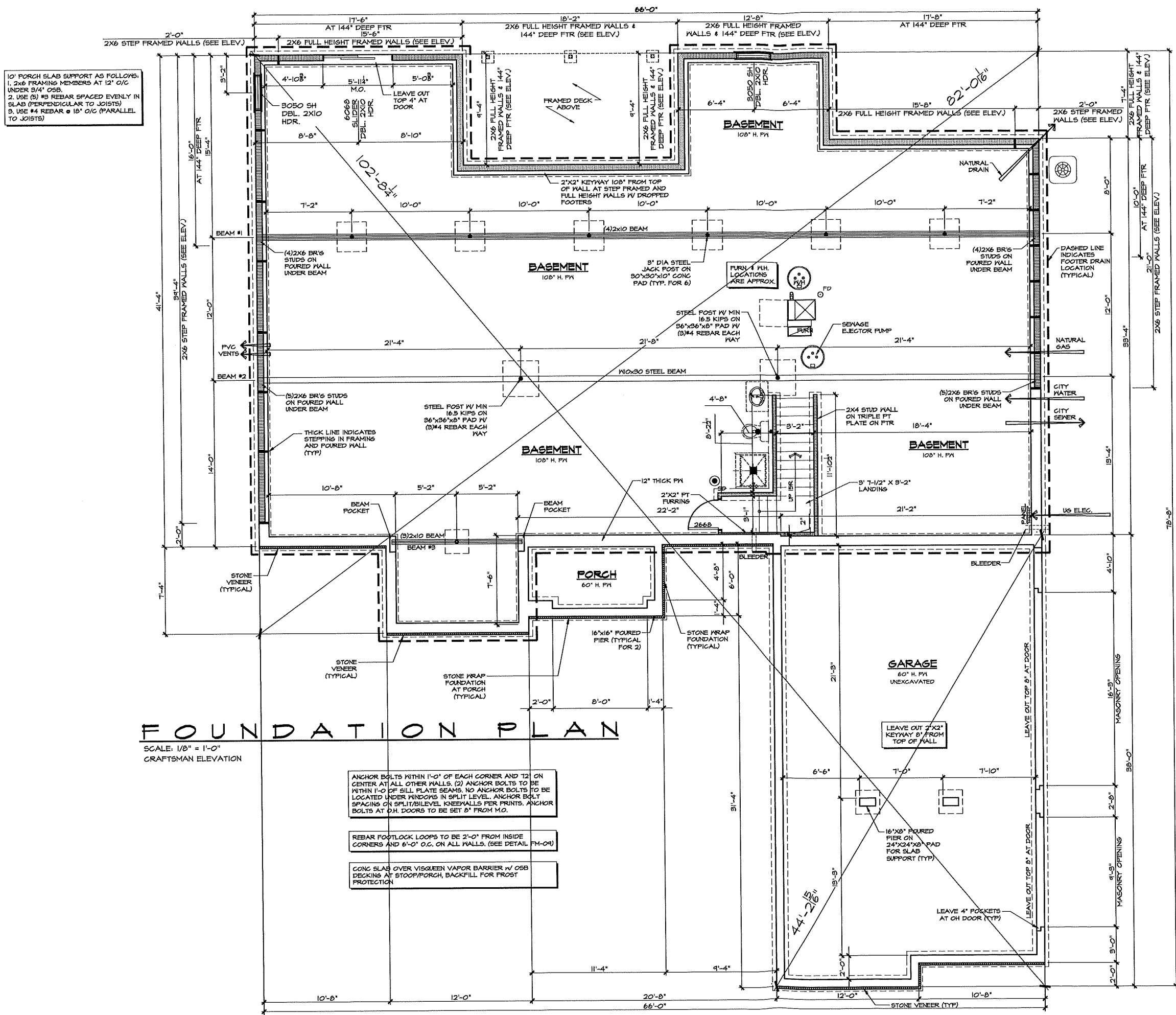
WINDOW SCHEDULE

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final: BTH	08/16/21
est: MCG	
revisions:	
date:	drawn by:



sheet: **A120**



- CONSTRUCTION NOTES:**
- GENERAL CONSTRUCTION:**
1. THESE PLANS WILL COMPLY W/ 2014 NEC.
 2. THESE PLANS WILL COMPLY W/ 2015 MRC.
 3. 4'-0" CEILINGS ON FIRST FLOOR UNLESS OTHERWISE NOTED.
 4. UP TO (2) CONTINUOUS RUN FANS.
 5. CRAFTSMAN III STYLE INTERIOR DOORS.
 6. BREAKFAST ROOM LIGHT AND WIRING IN CREDITED.
 7. FLUSH MOUNT LIGHT AND WIRING IN KITCHEN CREDITED.
 8. DINING ROOM LIGHT CREDITED, WIRING REMAINS.
 9. SMART CUSHION CARPET PADDING.
 10. SMOOTH CEILING TEXTURE.
 11. 5-1/4" BASE TRIM W/ 2-1/4" CASING.
 12. JAMB AND CASE WINDOWS.
 13. MAXWELL MX 21-412 ELONGATED TOILET TO ALL BATHS. (3 TOTAL)
 14. HOUSEWRAP REQUIRED ON ENTIRE HOUSE AND MUST BE TAPED.
 15. PASSIVE RADON SYSTEM TO BE INSTALLED. SEALED SUMP CROCK, 3" VENT TO ROOF & 110 OUTLET IN ATTIC. DESCRIBED IN APPENDIX "F" OF THE 2000 MRC.
- MASONRY/CONCRETE:**
1. 42" MIN FROST FOOTER TO BOTTOM ON FOOTER.
 2. 108" H. 10" THICK POURED FOUNDATIONS WALLS. VERTICAL REBAR NOT REQUIRED AND HORIZONTAL REBAR AT 12", 48" & 84" FROM TOP OF WALL.
 3. MIN. 3-1/2" THICK CONCRETE SLABS W/ VAPOR BARRIER UNDER ALL SLABS.
- FRAMING:**
1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES.
 2. 3'X3' LANDING REQUIRED ON ALL EXTERIOR DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS.

- ATTENTION MASON & FRAMER WALKOUT NOTES:**
- 1.) STEPPED 2X6 WALLS ARE STEPPED AS SHOWN ON THE ELEVATIONS.
 - 2.) AT FULL HEIGHT FRAMED WALLS LEAVE OUT TOP 104" OF POURED WALL.
 - 3.) STEPPED WALL SECTIONS ARE BUILT WITH ALL 10" POURED WALL AND A 2X10 SILL PLATE
 - 4.) EACH STEP HAS 1 ANCHOR BOLTS AT EACH END AND THEN EVERY 6'-0" O.C. AS NEEDED.
 - 5.) 2"X2" KEYWAY 108" FROM TOP OF POURED WALL AT STEP FRAMED WALLS WITH DROPPED FOOTER.
 - 6.) FRAME HDRS AS NOTED AT EACH OPENING.

WAYNE HOMES
 — EST. 1973 —

Litchfield
 NICK & STACY HUSSLEIN
 320 VIEW DR.
 WHITE LAKE, MI.
 48386

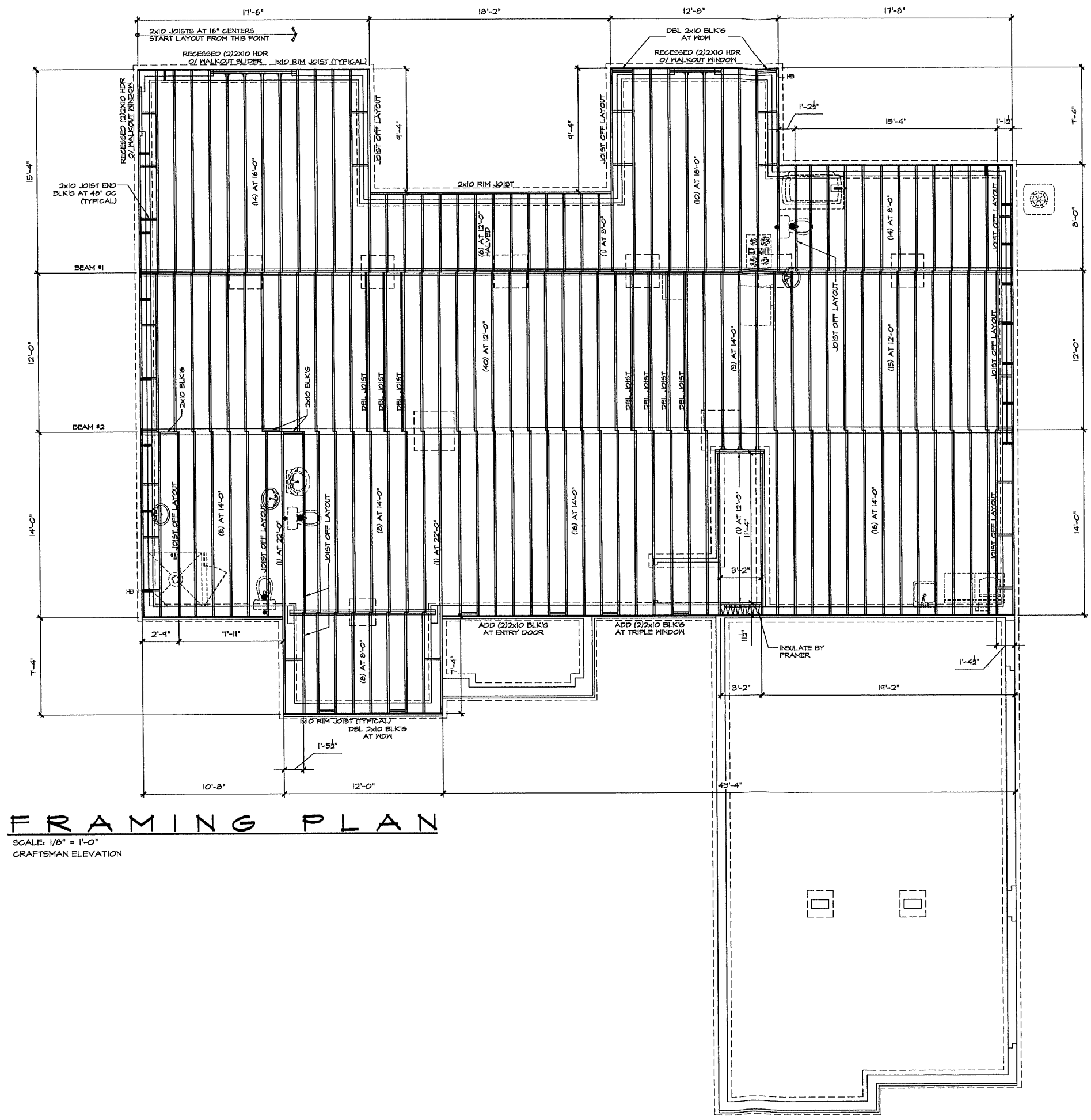
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FOUNDATION PLAN

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sheet: **A2.20**



FRAMING PLAN

SCALE: 1/8" = 1'-0"
CRAFTSMAN ELEVATION

- CONSTRUCTION NOTES:**
- GENERAL CONSTRUCTION:**
1. THESE PLANS WILL COMPLY W/ 2014 NEC.
 2. THESE PLANS WILL COMPLY W/ 2015 MRC.
 3. 9'-0" CEILINGS ON FIRST FLOOR UNLESS OTHERWISE NOTED.
 4. UP TO (2) CONTINUOUS RUN FANS.
 5. CRAFTSMAN III STYLE INTERIOR DOORS.
 6. BREAKFAST ROOM LIGHT AND WIRING IN CREDITED.
 7. FLUSH MOUNT LIGHT AND WIRING IN KITCHEN CREDITED.
 8. DINING ROOM LIGHT CREDITED, WIRING REMAINS.
 9. SMART CUSHION CARPET PADDING.
 10. SMOOTH CEILING TEXTURE.
 11. 5-1/4" BASE TRIM W/ 2-1/4" CASING.
 12. JAMB AND CASE WINDOWS.
 13. MAXNELL MX 21-412 ELONGATED TOILET TO ALL BATHS. (3 TOTAL)
 14. HOUSEWRAP REQUIRED ON ENTIRE HOUSE AND MUST BE TAPED.
 15. PASSIVE RADON SYSTEM TO BE INSTALLED. SEALED SUMP CROCK, 3" VENT TO ROOF & 110 OUTLET IN ATTIC. DESCRIBED IN APPENDIX 'F' OF THE 2000 MRC.
- MASONRY/CONCRETE:**
1. 42" MIN FROST FOOTER TO BOTTOM ON FOOTER.
 2. 108" H, 10" THICK POURED FOUNDATIONS WALLS. VERTICAL REBAR NOT REQUIRED AND HORIZONTAL REBAR AT 12', 48" & 84" FROM TOP OF WALL.
 3. MIN. 3-1/2" THICK CONCRETE SLABS W/ VAPOR BARRIER UNDER ALL SLABS.
- FRAMING:**
1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES.
 2. 3'x3' LANDING REQUIRED ON ALL EXTERIOR DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS.

WAYNE HOMES
— EST. 1973 —

Litchfield

NICK & STACY HUSSELL
320 VIEW DR.
WHITE LAKE, MI.
48386

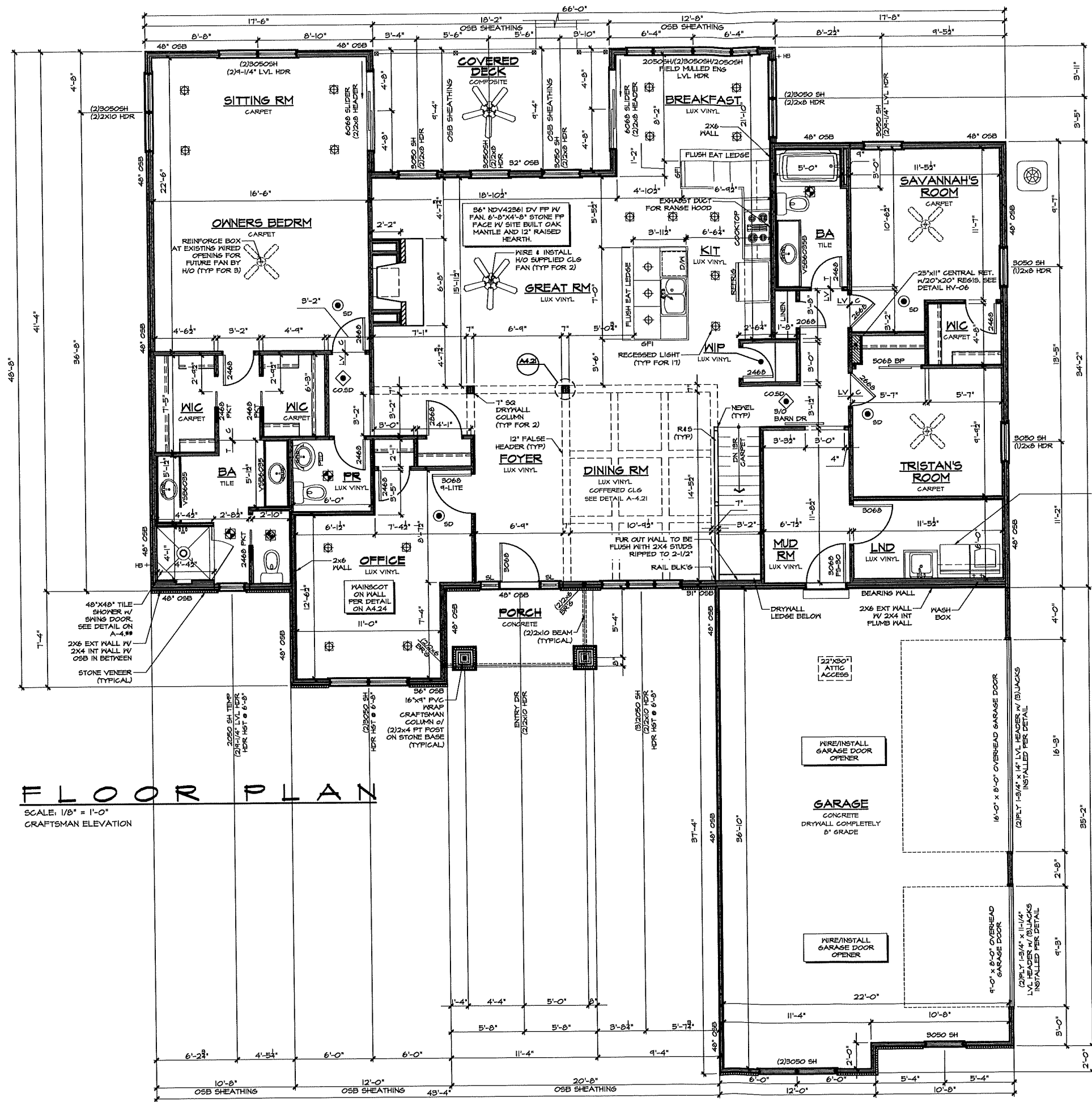
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FIRST FLOOR FRAMING PLAN

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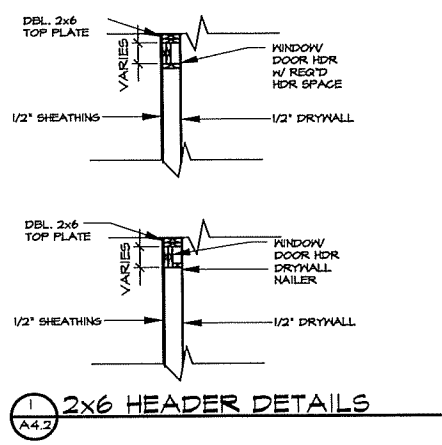
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sheet: **A4.00**

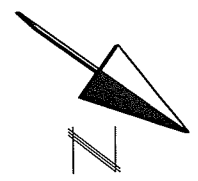


FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 CRAFTSMAN ELEVATION

- CONSTRUCTION NOTES:**
- GENERAL CONSTRUCTION:**
1. THESE PLANS WILL COMPLY W/ 2014 NEC.
 2. THESE PLANS WILL COMPLY W/ 2015 MRC.
 3. 9'-0" CEILINGS ON FIRST FLOOR UNLESS OTHERWISE NOTED.
 4. UP TO (2) CONTINUOUS RUN FANS.
 5. CRAFTSMAN III STYLE INTERIOR DOORS.
 6. BREAKFAST ROOM LIGHT AND WIRING IN CREDITED.
 7. FLUSH MOUNT LIGHT AND WIRING IN KITCHEN CREDITED.
 8. DINING ROOM LIGHT CREDITED, WIRING REMAINS.
 9. SMART CUSHION CARPET PADDING.
 10. SMOOTH CEILING TEXTURE.
 11. 5'-1/4" BASE TRIM W/ 2'-1/4" CASING.
 12. JAMB AND CASE WINDOWS.
 13. MAXWELL MX 21-412 ELONGATED TOILET TO ALL BATHS. (3 TOTAL)
 14. HOUSEWRAP REQUIRED ON ENTIRE HOUSE AND MUST BE TAPED.
 15. PASSIVE RADON SYSTEM TO BE INSTALLED. SEALED SUMP CROCK, 3" VENT TO ROOF & 1/2" OUTLET IN ATTIC, DESCRIBED IN APPENDIX "F" OF THE 2000 MRC.
- MASONRY/CONCRETE:**
1. 42" MIN FROST FOOTER TO BOTTOM ON FOOTER.
 2. 108" H, 10" THICK POURED FOUNDATIONS WALLS. VERTICAL REBAR NOT REQUIRED AND HORIZONTAL REBAR AT 12", 48" & 84" FROM TOP OF WALL.
 3. MIN. 3'-1/2" THICK CONCRETE SLABS W/ VAPOR BARRIER UNDER ALL SLABS.
- FRAMING:**
1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES.
 2. 3'x3' LANDING REQUIRED ON ALL EXTERIOR DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS.



2x6 HEADER DETAILS



WAYNE HOMES
 — EST. 1973 —

Litchfield

NICK & STACY HUSSLEIN
 320 VIEW DR.
 WHITE LAKE, MI.
 48886

HAR. 2113
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FIRST FLOOR PLAN

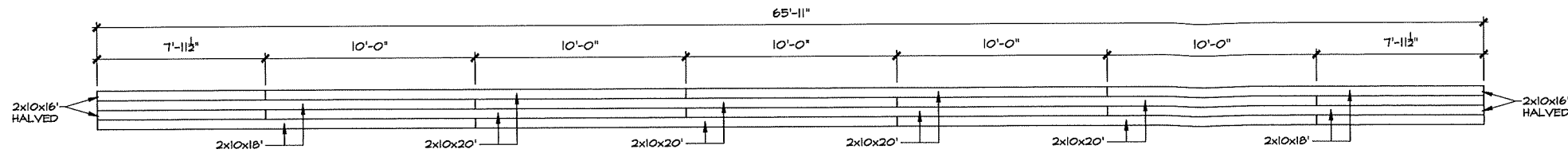
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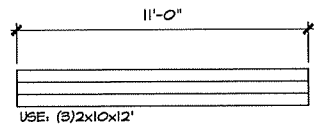
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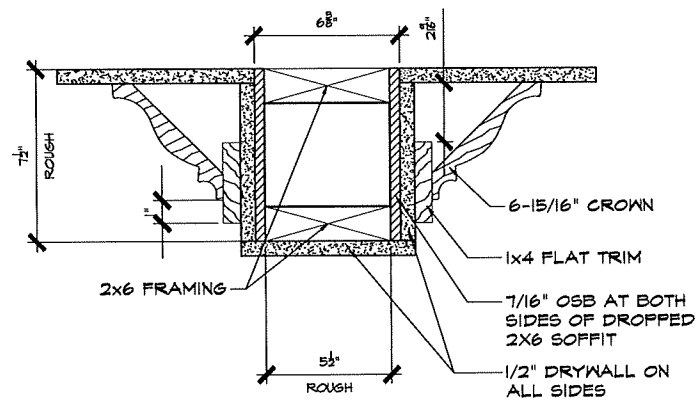
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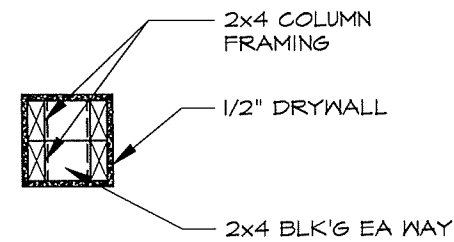
1 BEAM #1 LAYOUT
A4.21



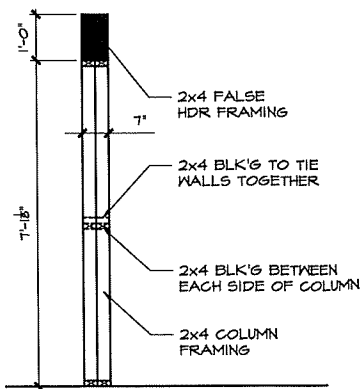
2 BEAM #3 LAYOUT
A4.21



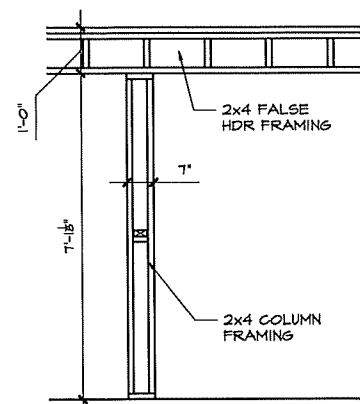
1 COFFERED CLG CROSS SECTION
50-24 1-1/2" = 1'-0"



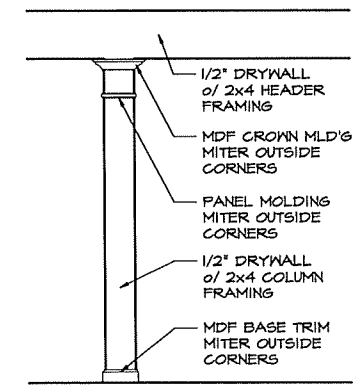
5 COLUMN DETAIL
A4.21 3/4" = 1'-0"



6 COLUMN DETAIL
A4.21 1/4" = 1'-0"



7 COLUMN DETAIL
A4.21 1/4" = 1'-0"



8 COLUMN FINISH
A4.21 1/4" = 1'-0"

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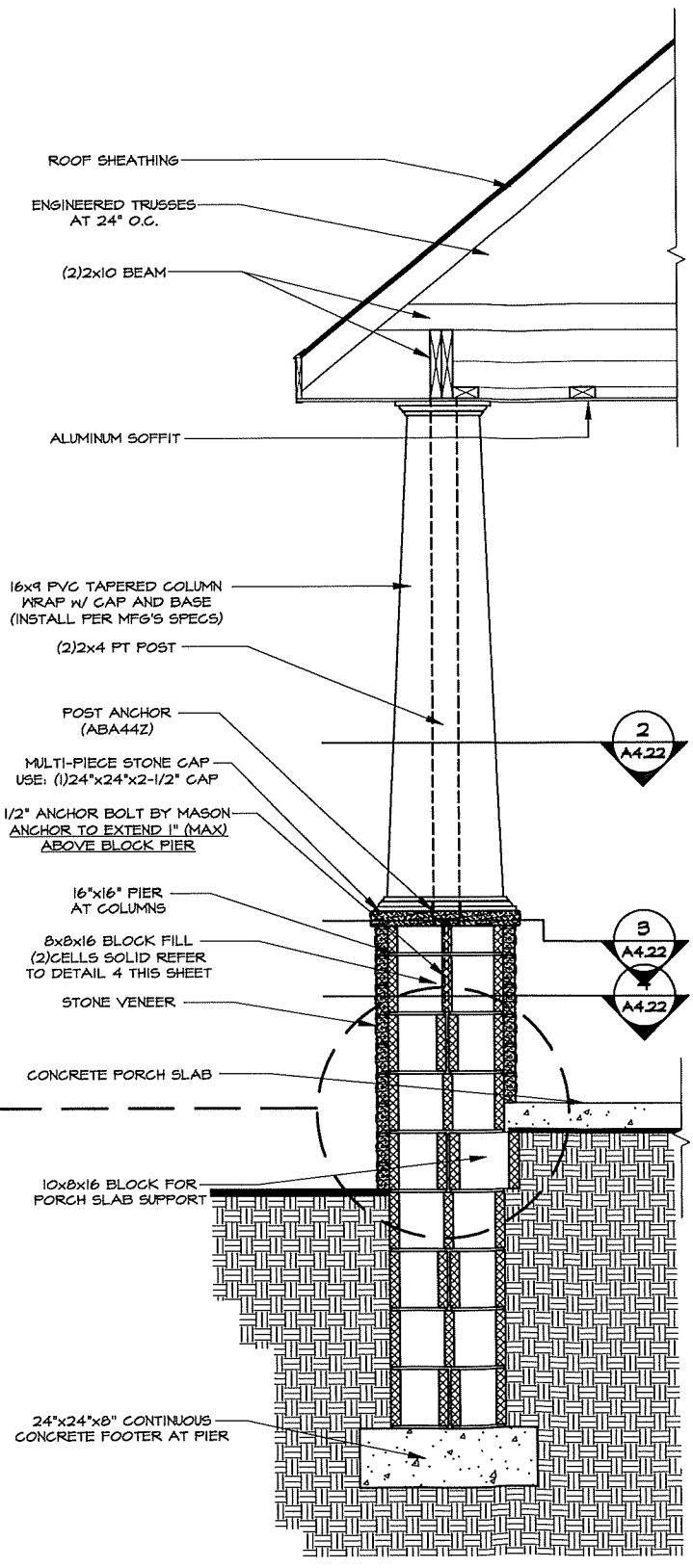
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NICK & STACY HUSSLEIN
320 VIEW DR.
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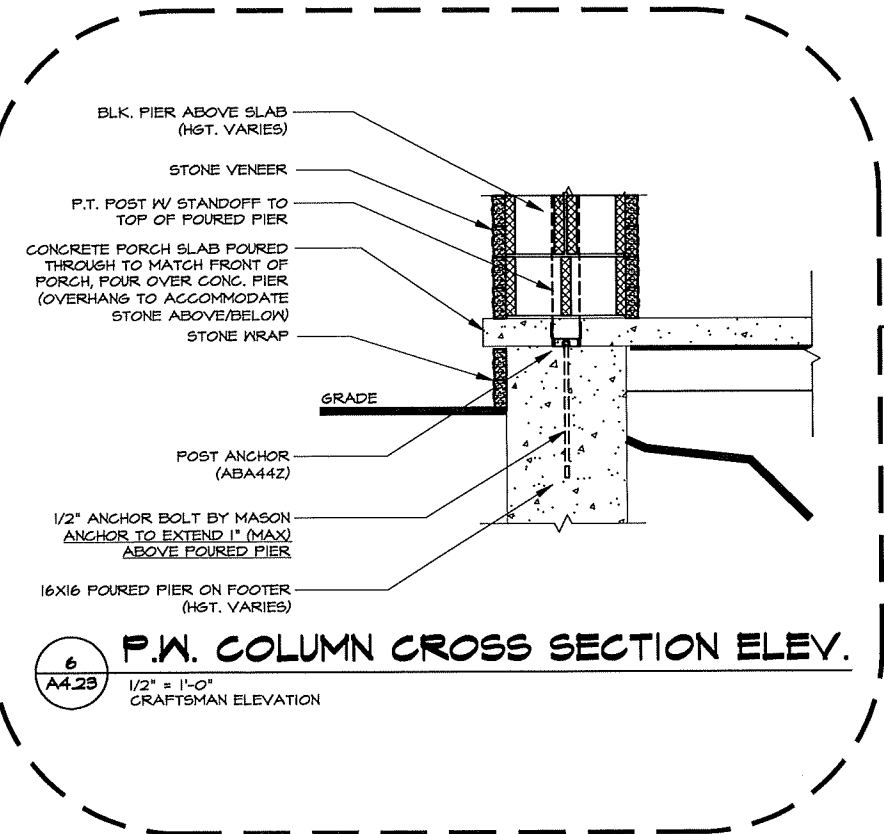
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est: MCG	

revisions:
date: drawn by:

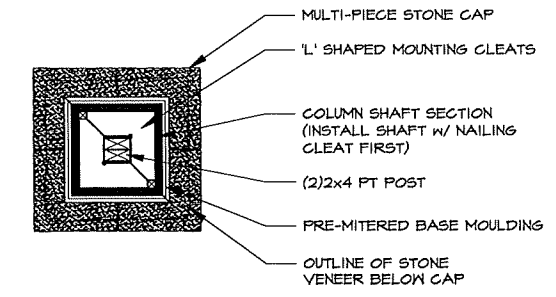
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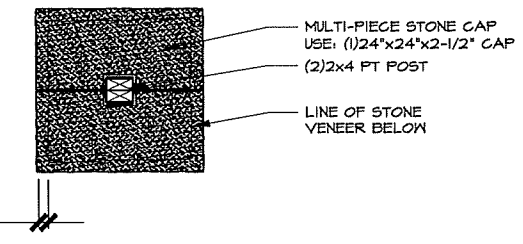
1 COLUMN CROSS SECTION ELEVATION
A4.22 1/2" = 1'-0"



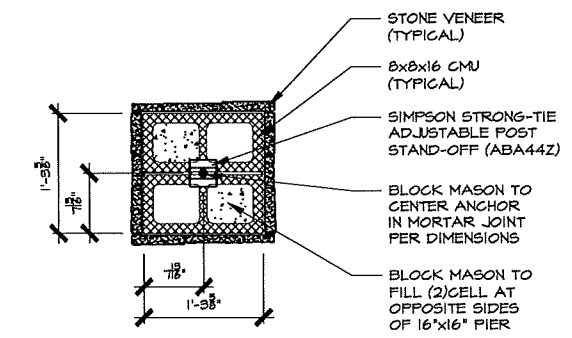
6 P.W. COLUMN CROSS SECTION ELEV.
A4.28 1/2" = 1'-0" CRAFTSMAN ELEVATION



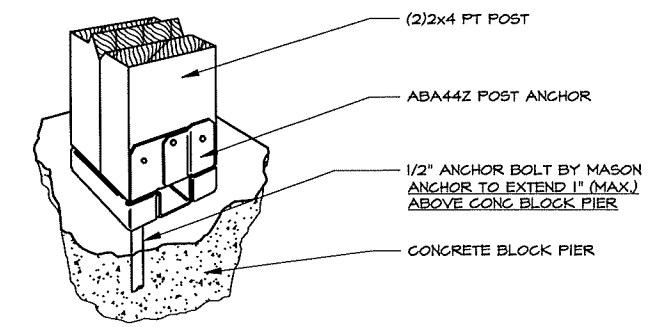
2 SECTION AT PVC COLUMN
A4.22 1/2" = 1'-0"



3 SECTION AT STONE CAP
A4.22 1/2" = 1'-0"



4 SECTION AT STONE BASE
A4.22 1/2" = 1'-0"



5 POST ANCHOR DETAIL
A4.22 NO TO SCALE

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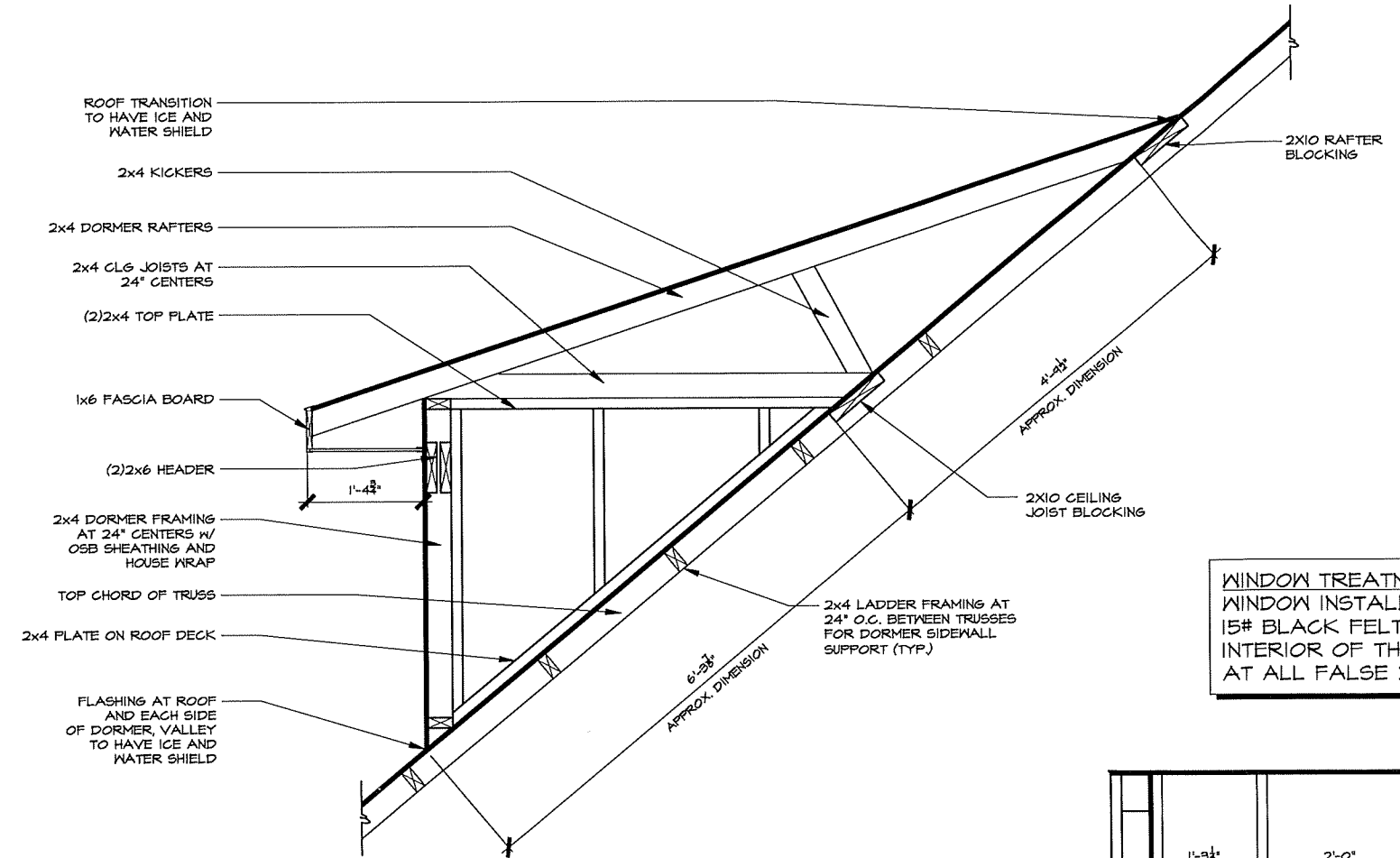
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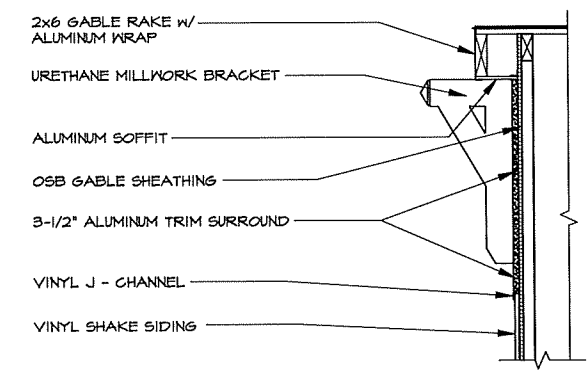
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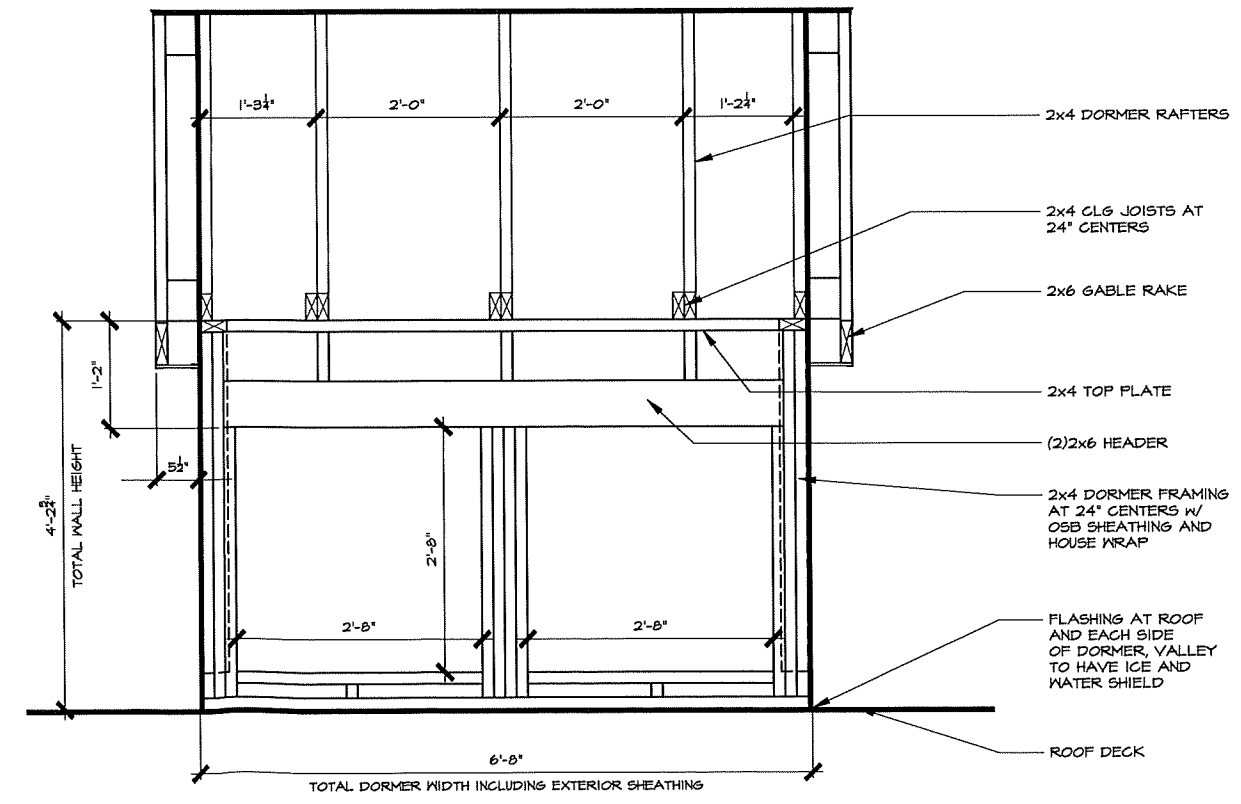


WINDOW TREATMENT:
WINDOW INSTALLER TO INSTALL 15# BLACK FELT PAPER ON THE INTERIOR OF THE WINDOW OPENING AT ALL FALSE DORMER WINDOWS

1
A-4.23
1/2" = 1'-0"
CRAFTSMAN ELEVATION



3
A4.23
1/2" = 1'-0"
CRAFTSMAN ELEVATION



2
A-4.23
1/2" = 1'-0"
CRAFTSMAN ELEVATION

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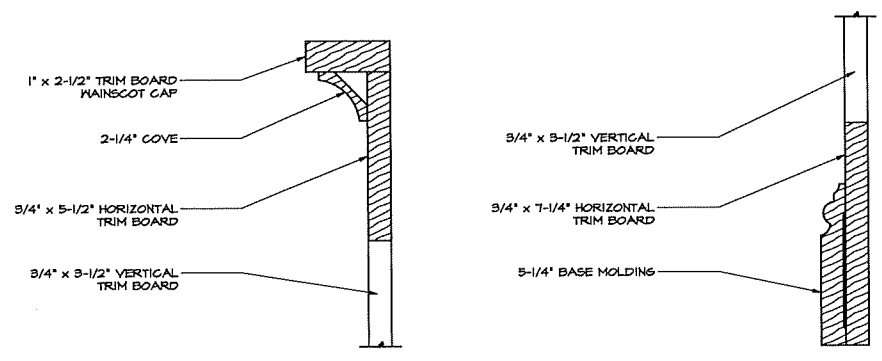
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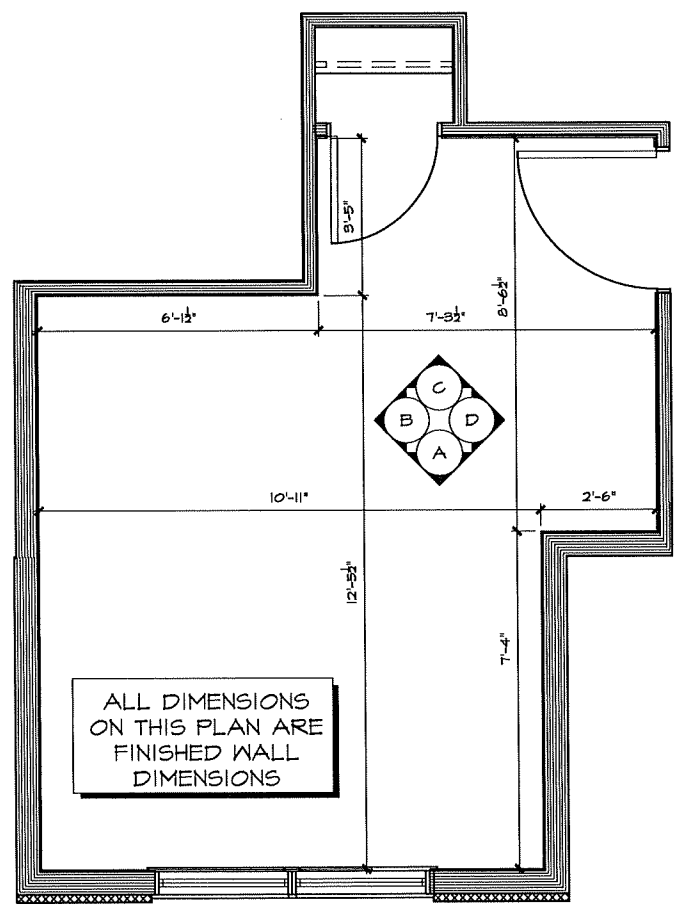
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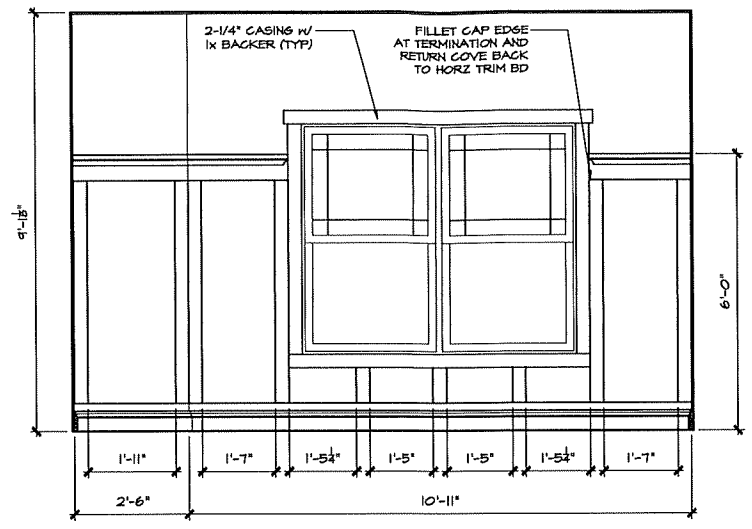
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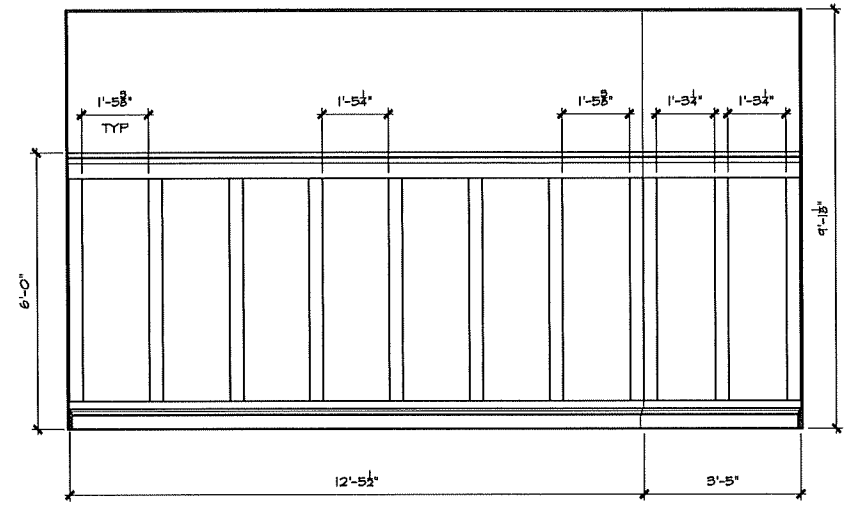
1 WAINSCOTING - CAP AND BASE DETAILS



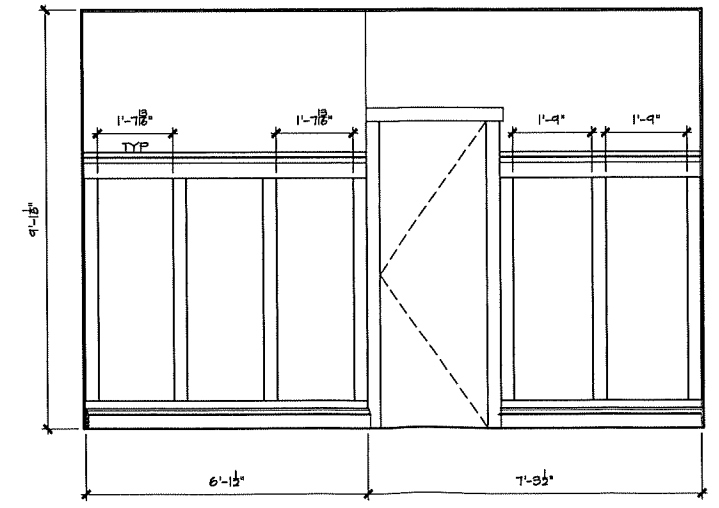
OFFICE PLAN
SCALE: 1/4" = 1'-0"



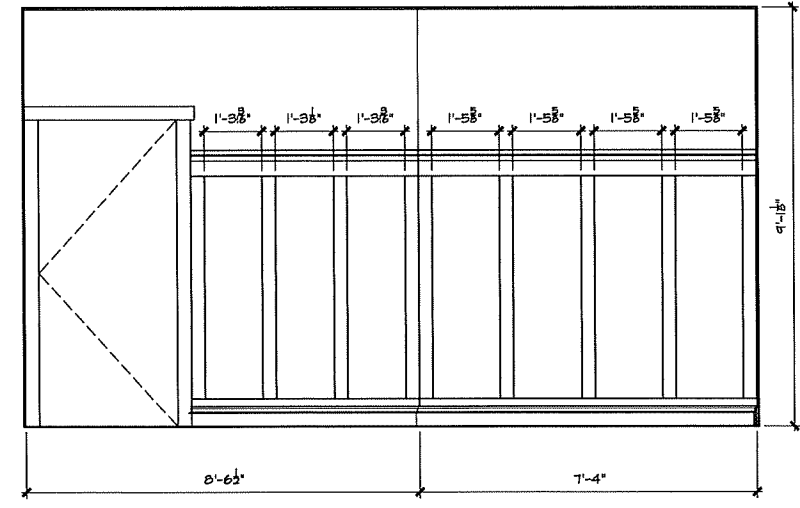
A WAINSCOT ELEVATION W/ WINDOW



B WAINSCOT ELEVATION



C WAINSCOT ELEVATION W/ DOOR



D WAINSCOT ELEVATION W/ DOOR

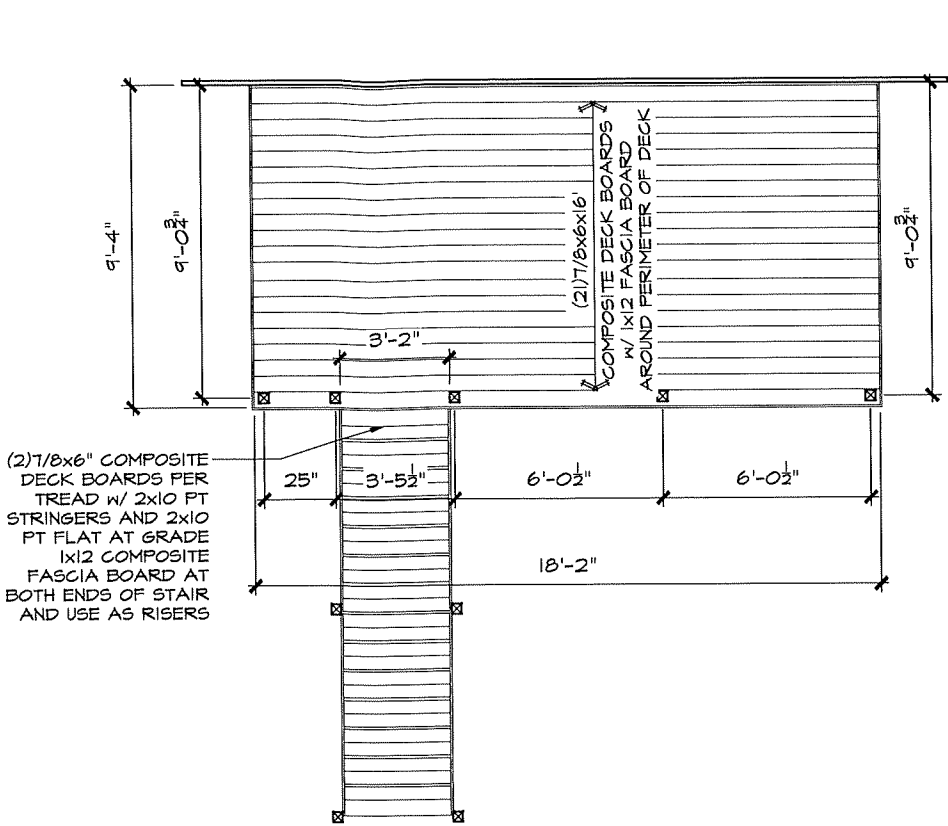
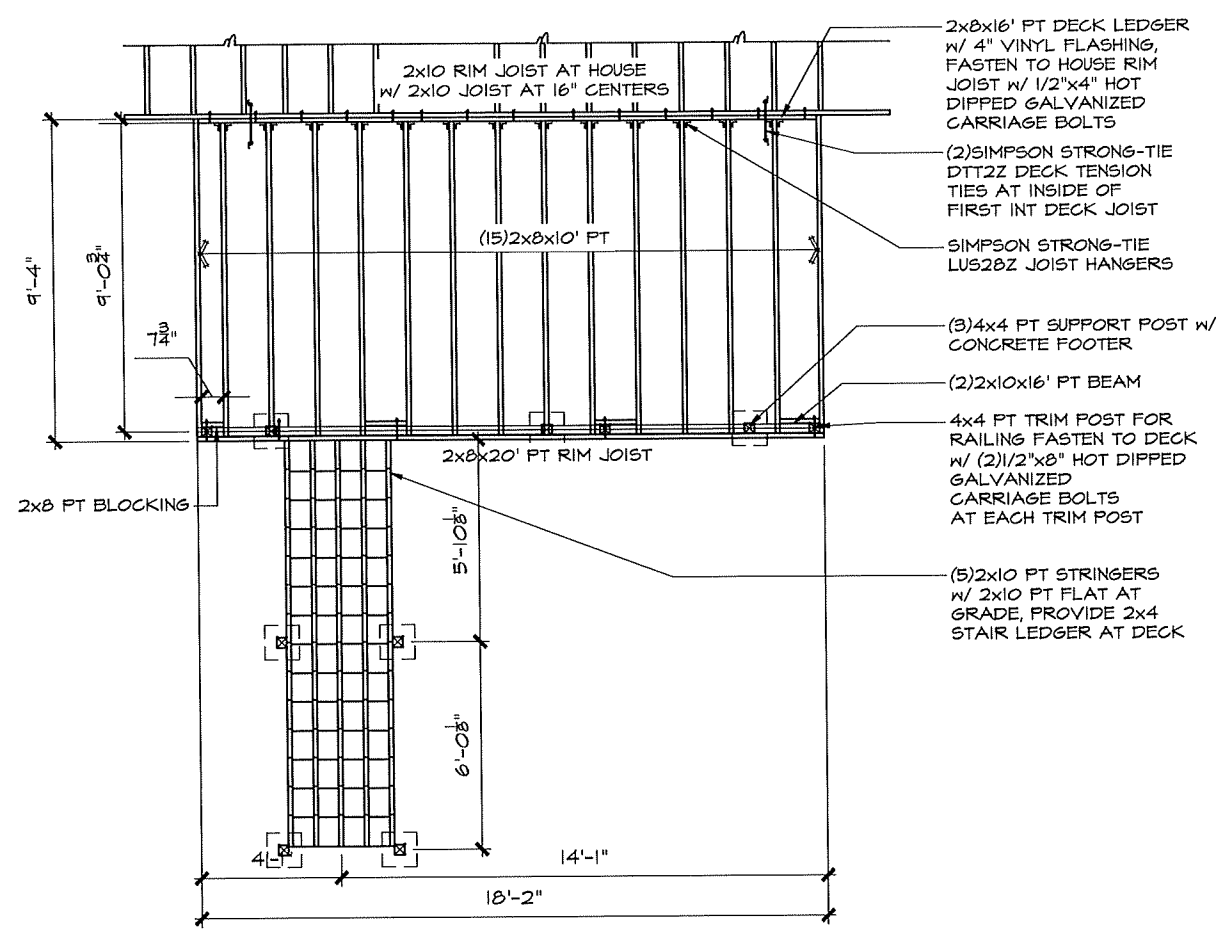
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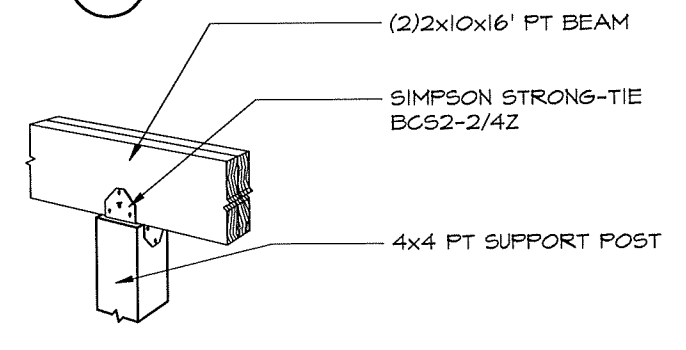


GENERAL NOTES:

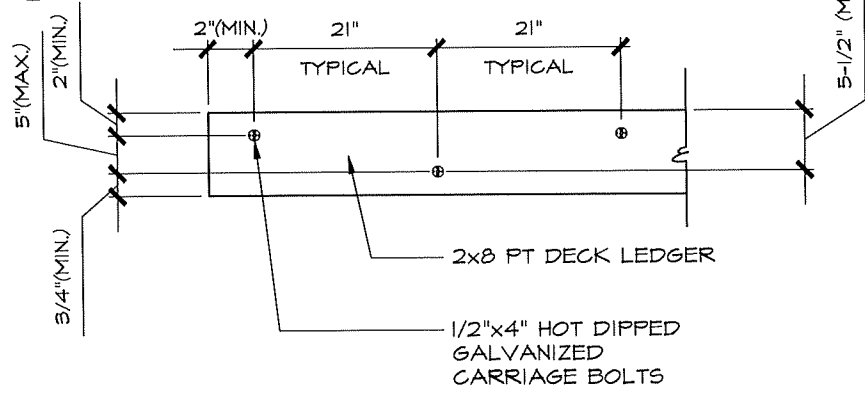
- ALL TRIM POSTS TO BE ATTACHED TO END JOIST AND ADJOINING PERPENDICULAR JOIST w/ (2) 1/2"x8" HOT DIPPED GALVANIZED CARRIAGE BOLTS.
- IF NO PERPENDICULAR JOIST IS AVAILABLE AT TRIM POST, USE 2x8 BLOCKING ON EACH SIDE OF POST.
- INSTALL COMPOSITE RAILING PER MANUFACTURERS SPECS.

1 DECK FRAMING PLAN
SCALE: 3/16" = 1'-0"

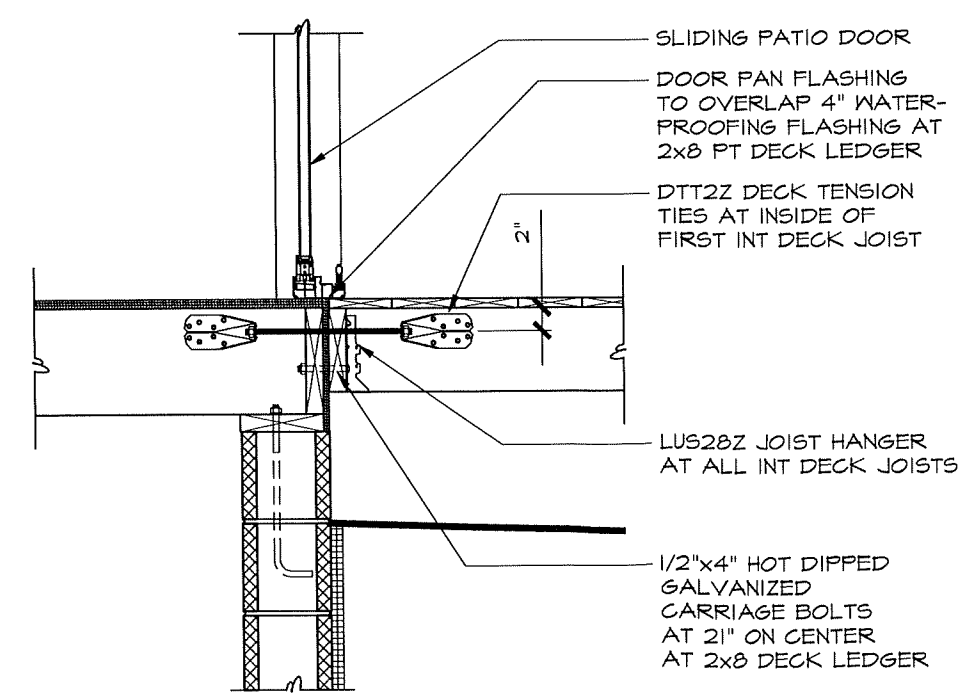
2 DECK SHEATHING PLAN
SCALE: 3/16" = 1'-0"



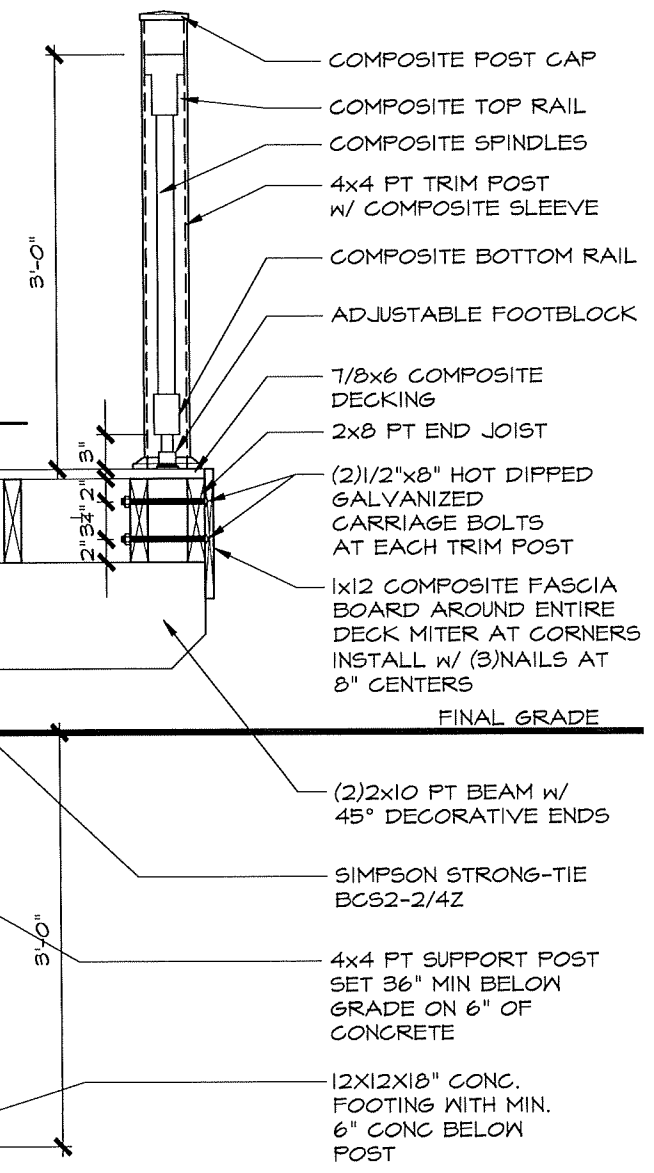
3 BEAM/POST CONNECTION
SCALE: 3/4" = 1'-0"



5 LEDGER BOLTING DETAIL
SCALE: 3/4" = 1'-0"



4 DECK/HOUSE CONNECTION
SCALE: 3/4" = 1'-0"



7 RAILING CROSS SECTION
SCALE: 3/4" = 1'-0"

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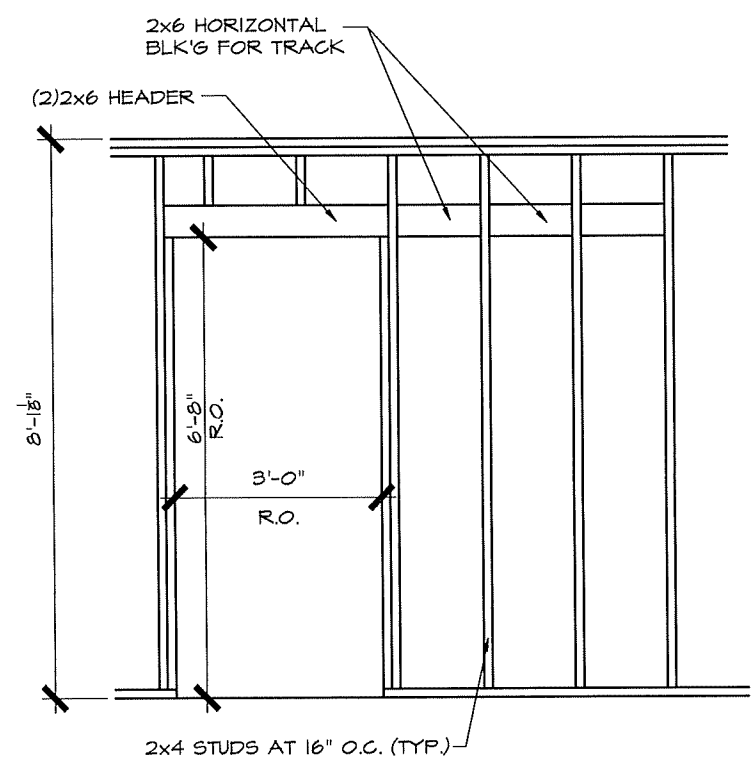
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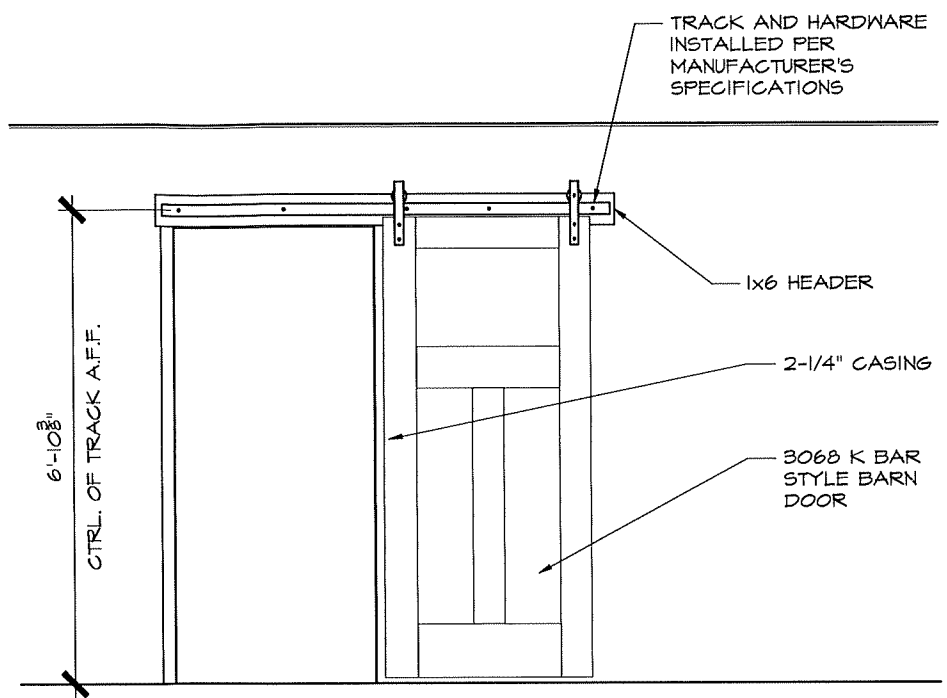
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date:	drawn by:

sheet: **A4.25**



1 FRAMING DETAIL FOR BARN DOOR
 TP-08 NOT TO SCALE



2 TRIM DETAIL FOR BARN DOOR
 TP-08 NOT TO SCALE

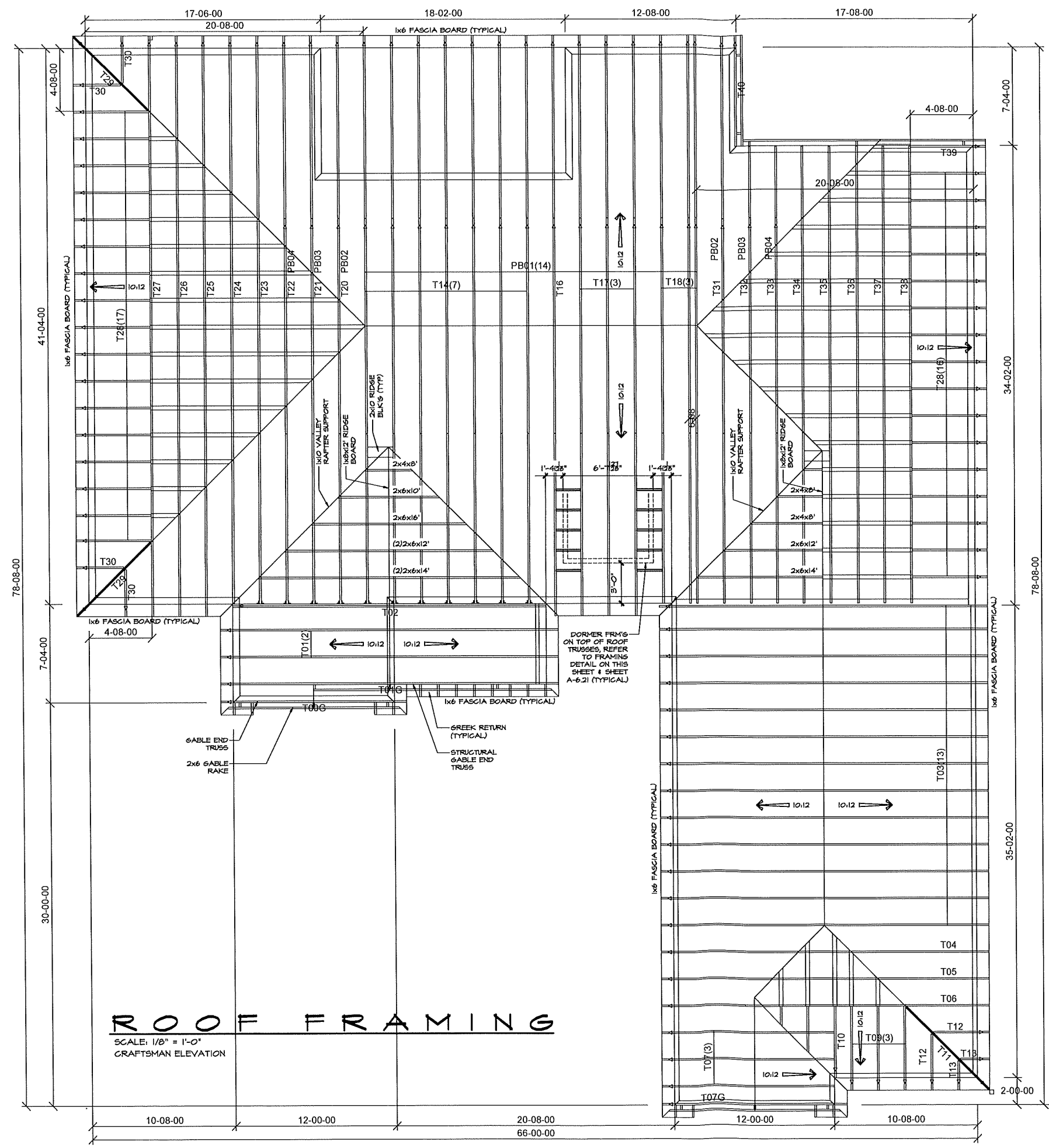
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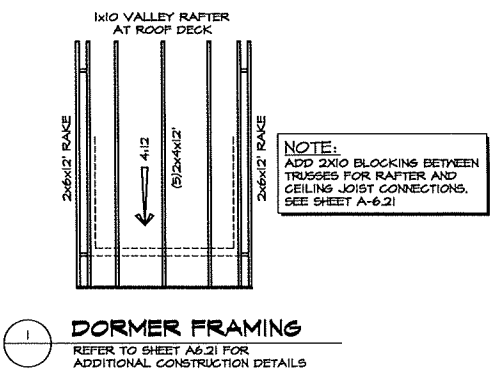
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ROOF FRAMING
 SCALE: 1/8" = 1'-0"
 CRAFTSMAN ELEVATION

- CONSTRUCTION NOTES:**
- GENERAL CONSTRUCTION:**
1. THESE PLANS WILL COMPLY W/ 2014 NEC.
 2. THESE PLANS WILL COMPLY W/ 2015 MRC.
 3. 1'-0" CEILINGS ON FIRST FLOOR UNLESS OTHERWISE NOTED.
 4. UP TO (2) CONTINUOUS RUN FANS.
 5. CRAFTSMAN III STYLE INTERIOR DOORS.
 6. BREAKFAST ROOM LIGHT AND WIRING IN CREDITED.
 7. FLUSH MOUNT LIGHT AND WIRING IN KITCHEN CREDITED.
 8. DINING ROOM LIGHT CREDITED, WIRING REMAINS.
 9. SMART CUSHION CARPET PADDING.
 10. SMOOTH CEILING TEXTURE.
 11. 5-1/4" BASE TRIM W/ 2-1/4" CASING.
 12. JAMB AND CASE WINDOWS.
 13. MAXWELL MX 21-412 ELONGATED TOILET TO ALL BATHS. (3 TOTAL)
 14. HOUSEWRAP REQUIRED ON ENTIRE HOUSE AND MUST BE TAPED.
 15. PASSIVE RADON SYSTEM TO BE INSTALLED. SEALED SUMP CROCK, 3" VENT TO ROOF & 110 OUTLET IN ATTIC. DESCRIBED IN APPENDIX "F" OF THE 2000 MRC.
- MASONRY/CONCRETE:**
1. 42" MIN FROST FOOTER TO BOTTOM ON FOOTER.
 2. 108" H, 10" THICK POURED FOUNDATIONS WALLS. VERTICAL REBAR NOT REQUIRED AND HORIZONTAL REBAR AT 12", 48" & 84" FROM TOP OF WALL.
 3. MIN. 3-1/2" THICK CONCRETE SLABS W/ VAPOR BARRIER UNDER ALL SLABS.
- FRAMING:**
1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES.
 2. OSB SHEATHING ON ALL GARAGE EXTERIOR WALLS.
 3. 3'x3' LANDING REQUIRED ON ALL EXTERIOR DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS.



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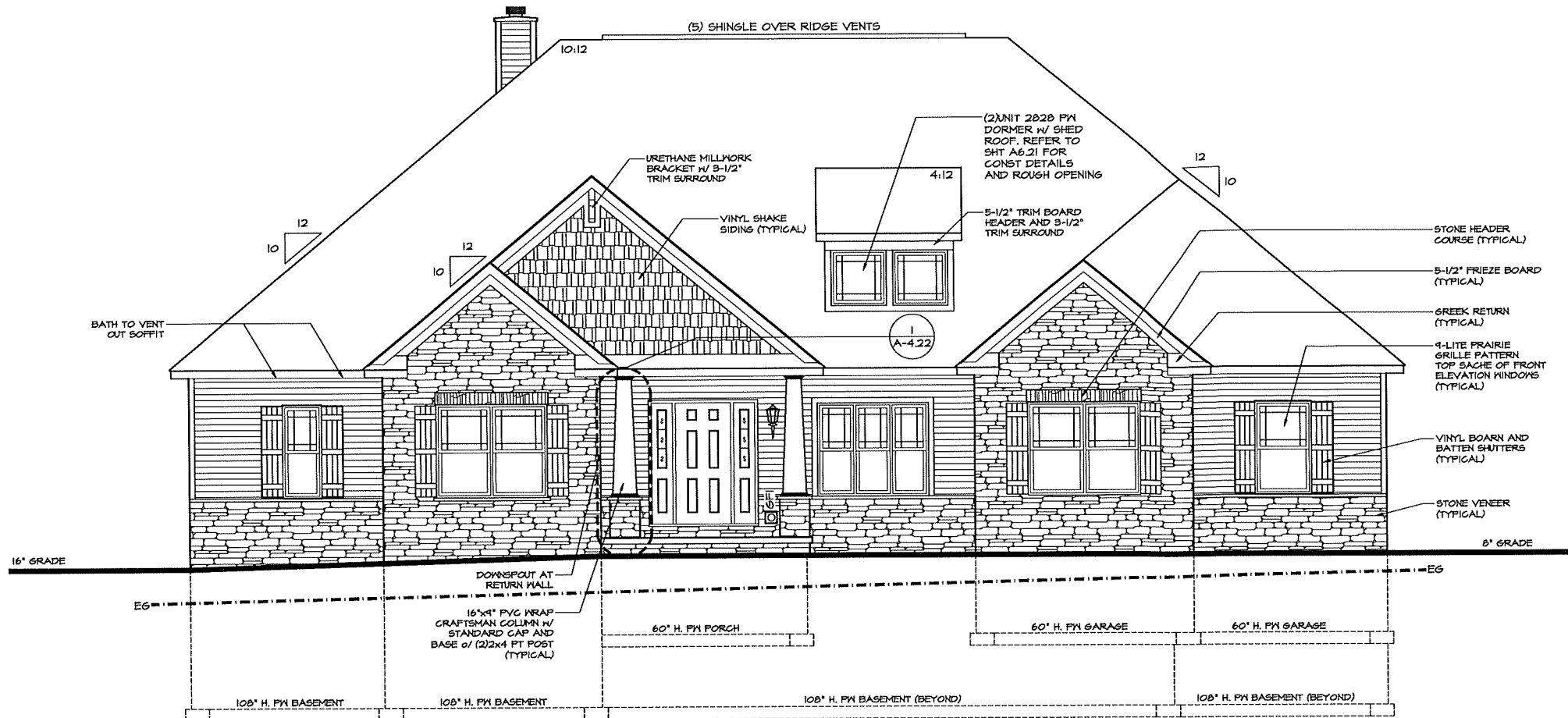
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ROOF FRAMING PLAN

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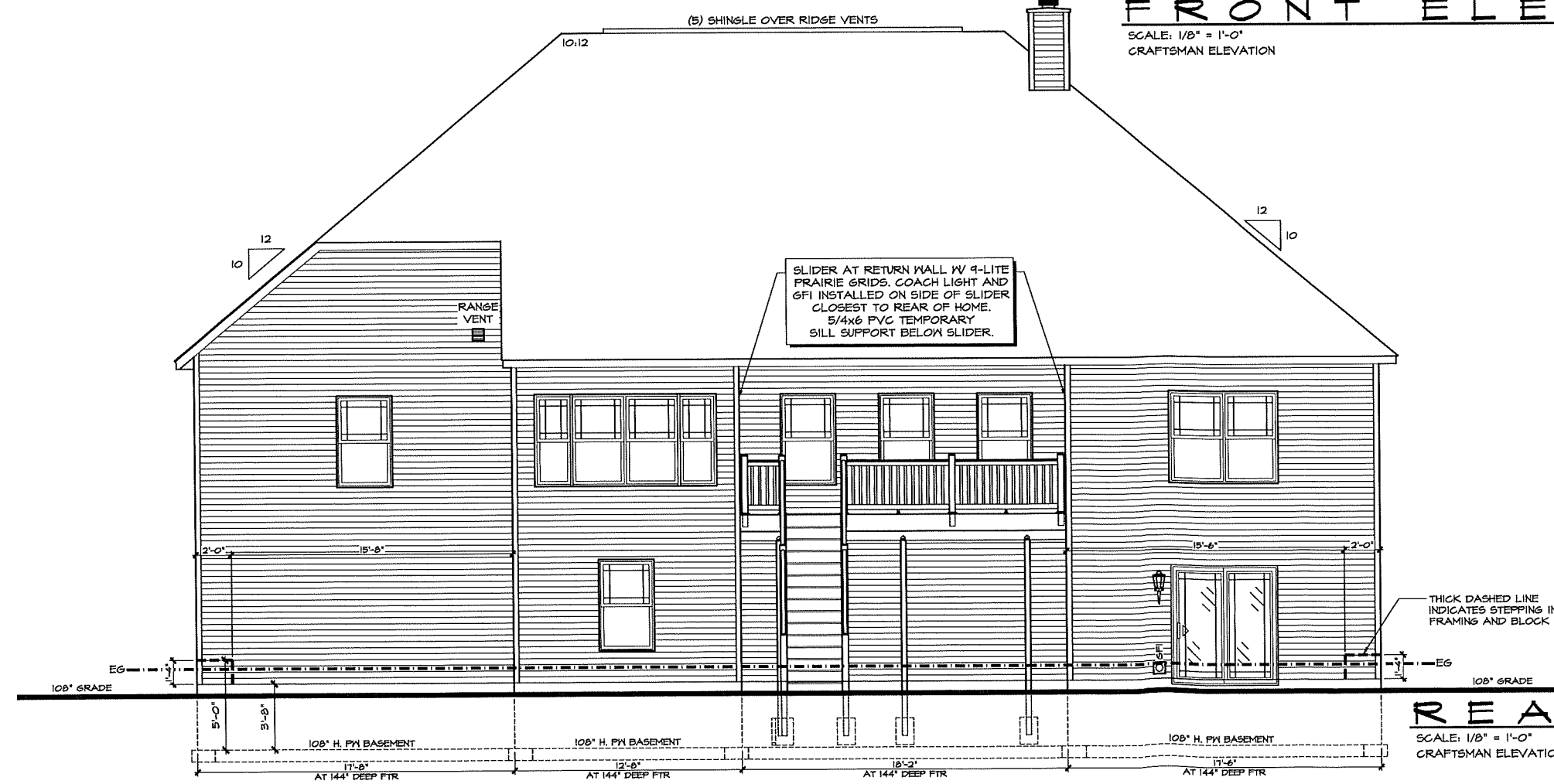
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SIDING NOTE:
SOFFIT AT EAVES TO HAVE
EVERY BRD PANEL SOLID

FRONT ELEVATION

SCALE: 1/8" = 1'-0"
CRAFTSMAN ELEVATION



REAR ELEVATION

SCALE: 1/8" = 1'-0"
CRAFTSMAN ELEVATION

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FRONT/REAR ELEVATIONS

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A7.10

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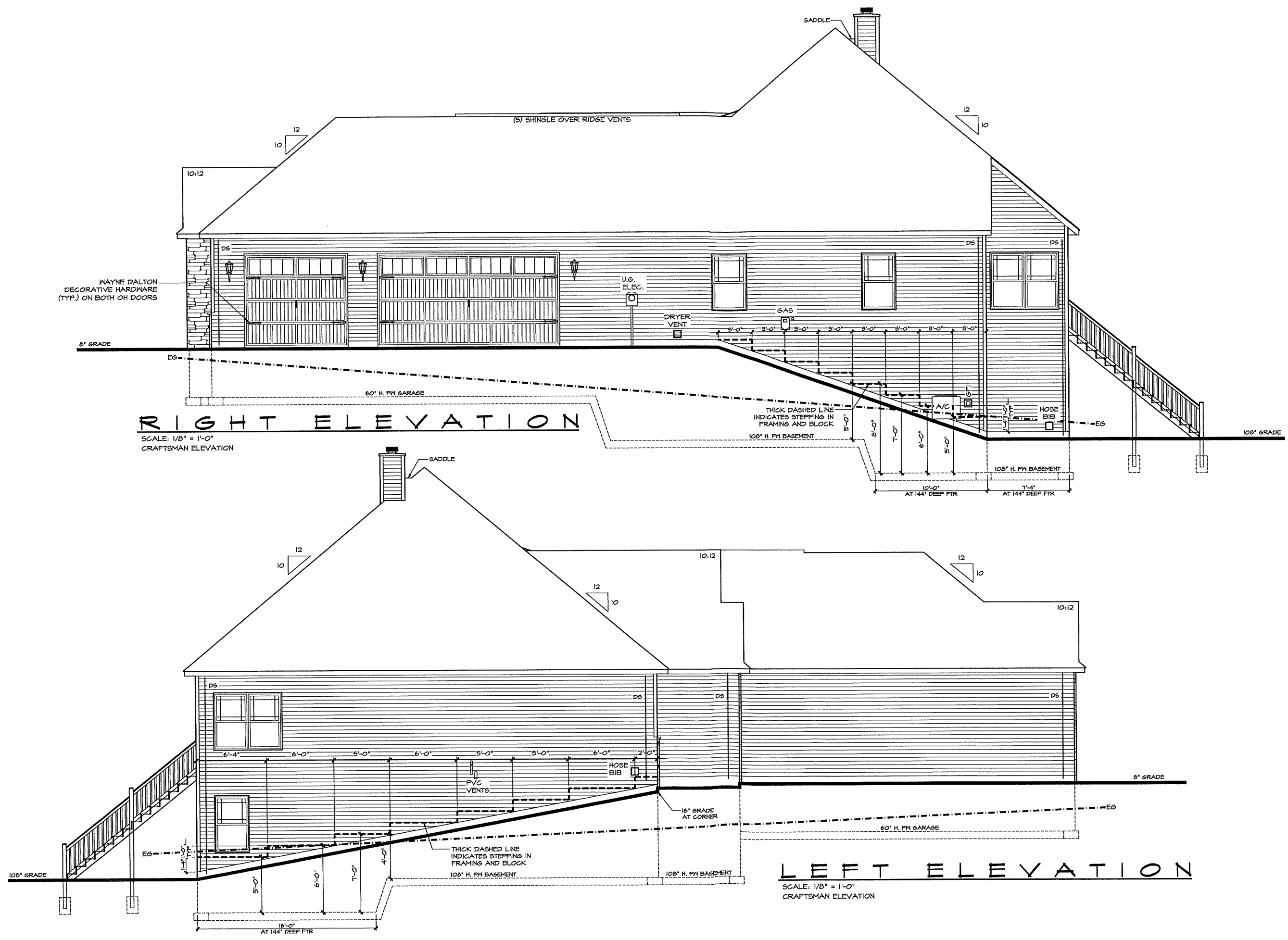
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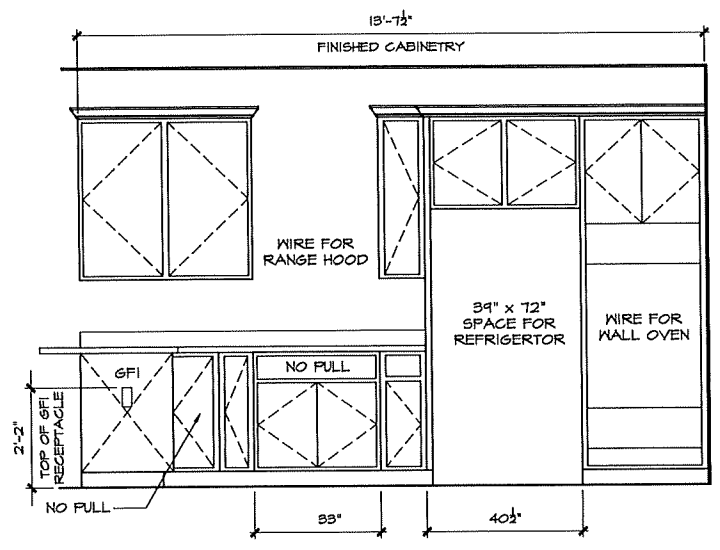
RIGHT/LEFT ELEVATIONS
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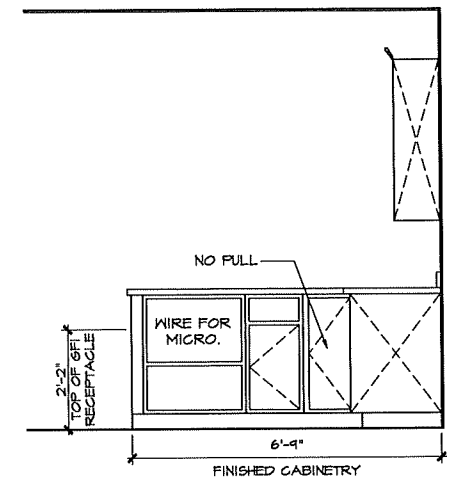


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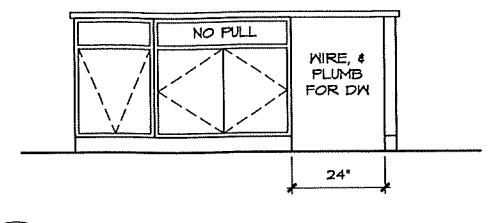




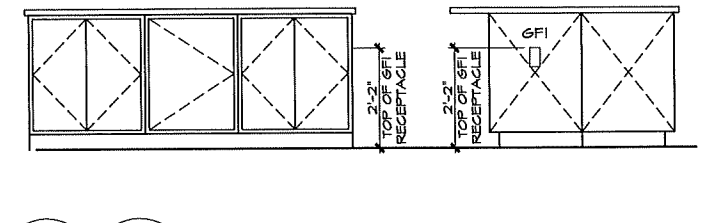
A CABINET ELEVATION



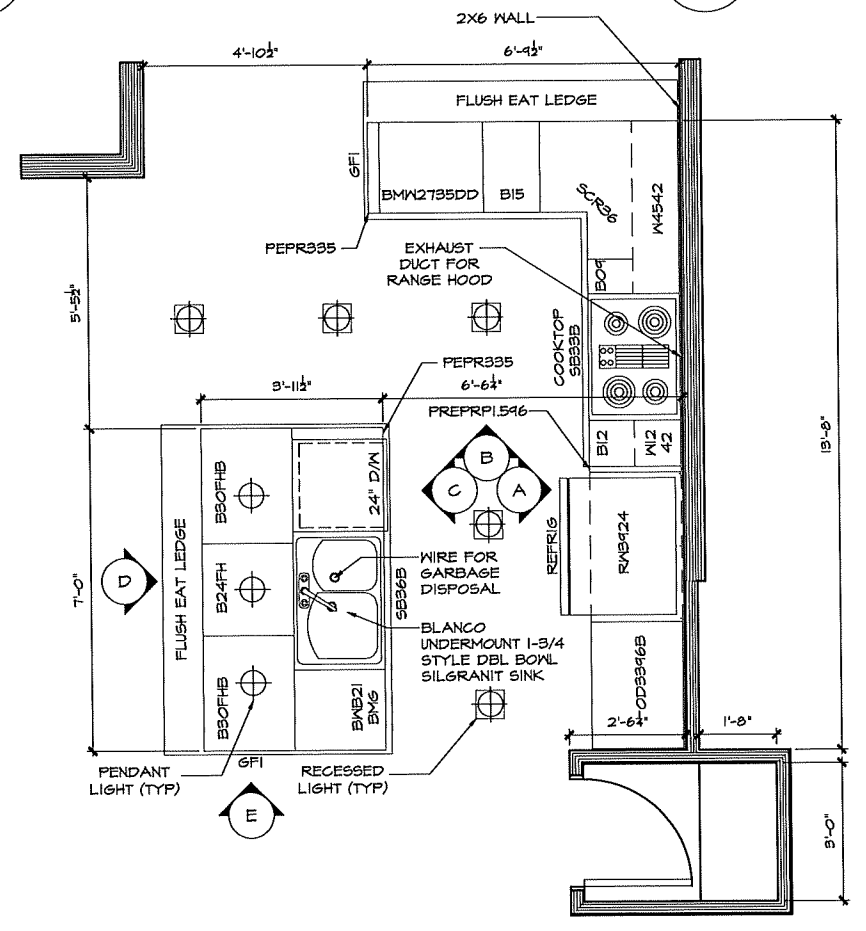
B CABINET ELEVATION



C CABINET ELEVATION



D E CABINET ELEVATION

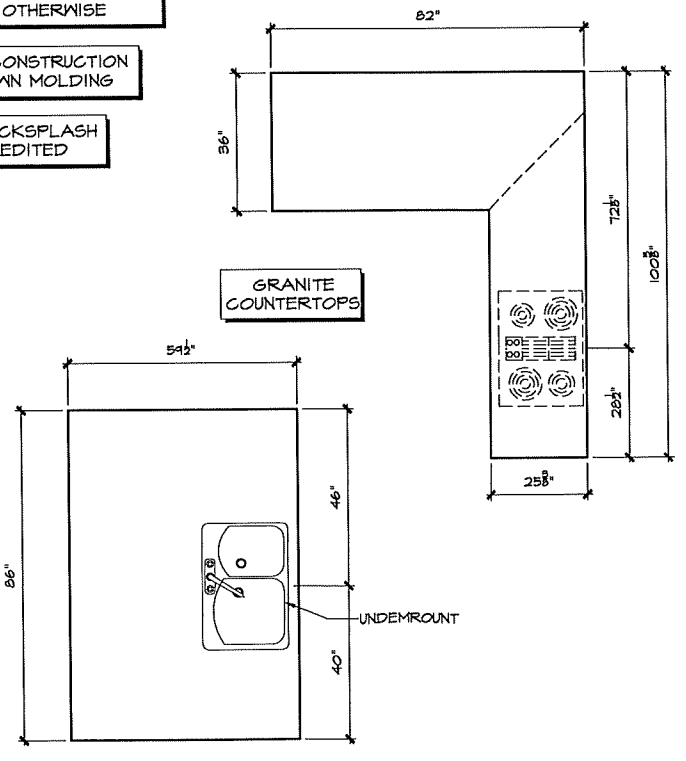


KITCHEN PLAN
SCALE: 1/4" = 1'-0"

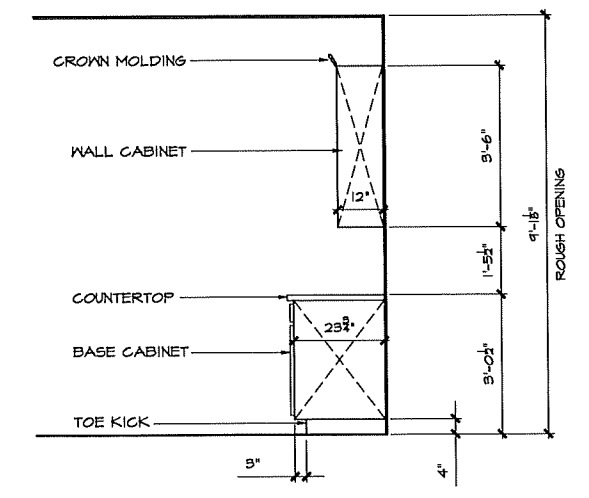
PULLS AT ALL CABINETS UNLESS NOTED OTHERWISE

SELECT CONSTRUCTION W/ CROWN MOLDING

4" BACKSPLASH CREDITED



COUNTERTOP LAYOUTS



CABINET SECTION

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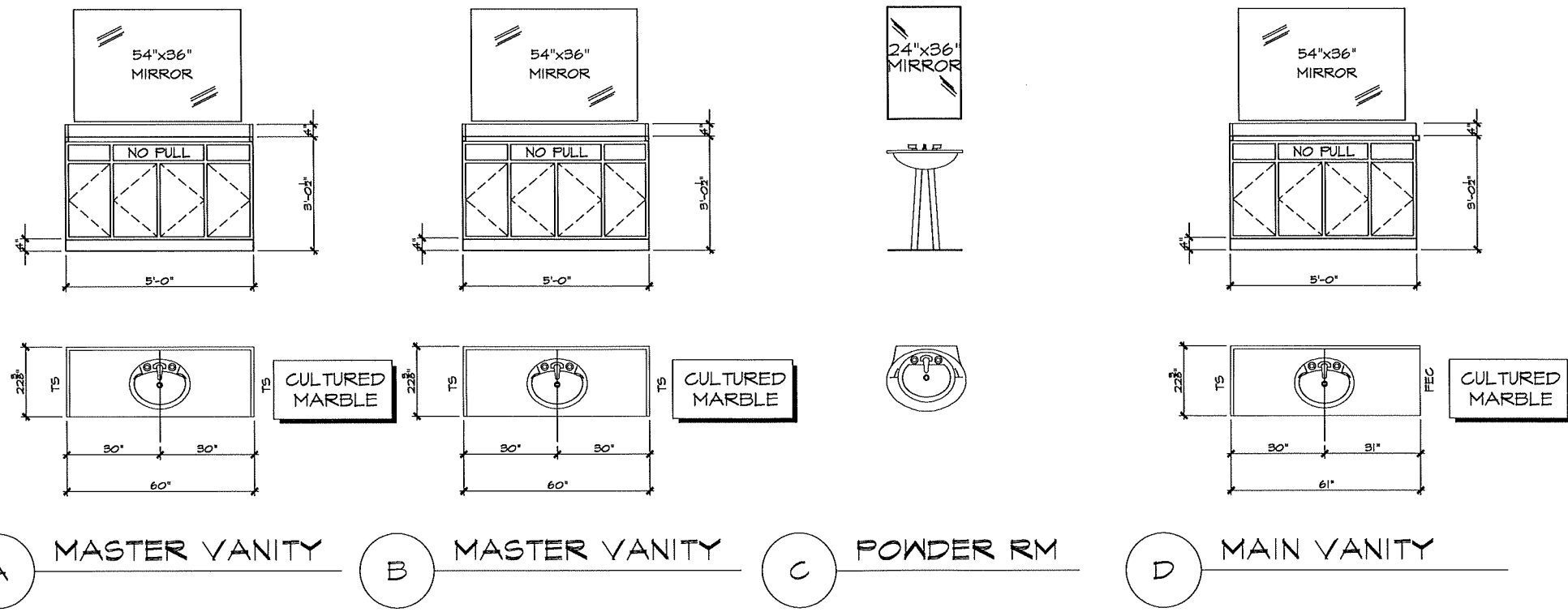
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KITCHEN PLAN AND CABINETRY DETAILS

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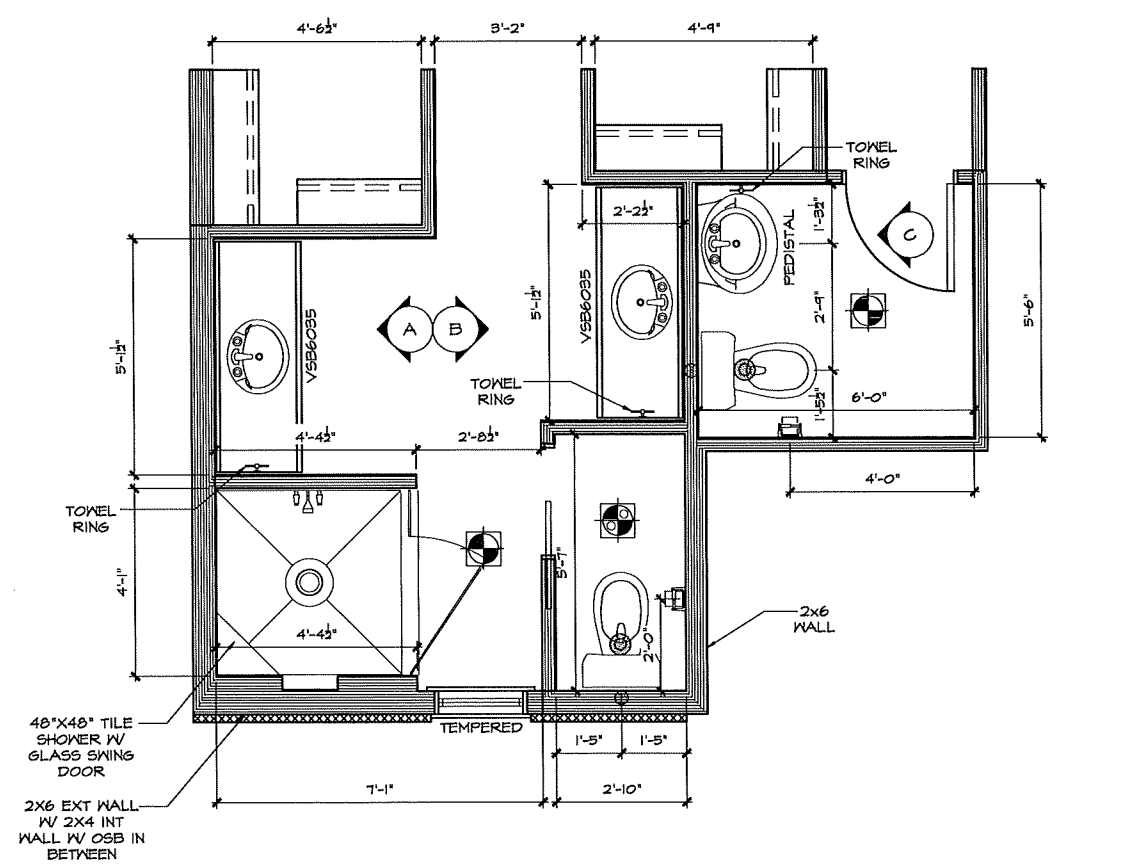
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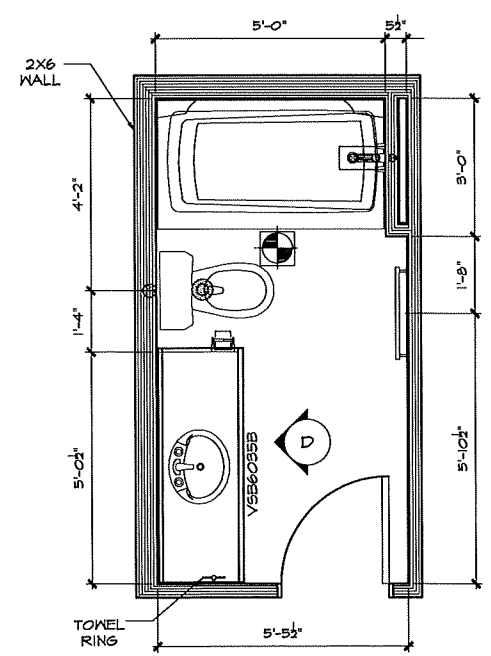


A MASTER VANITY B MASTER VANITY C POWDER RM D MAIN VANITY

SELECT CONSTRUCTION



MASTER / POWDER RM
SCALE: 1/4" = 1'-0"



MAIN BATH
SCALE: 1/4" = 1'-0"

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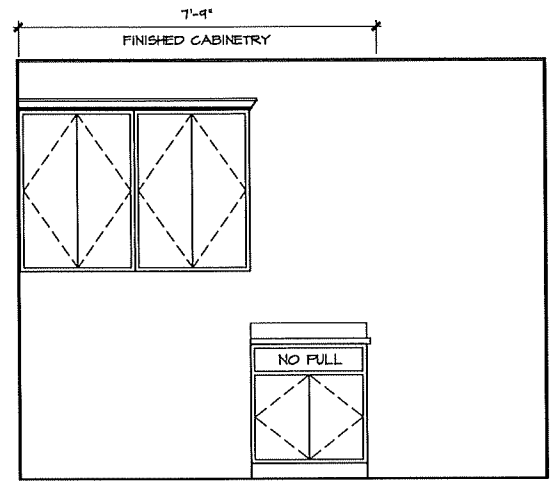
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BATH PLAN AND CABINETRY DETAILS

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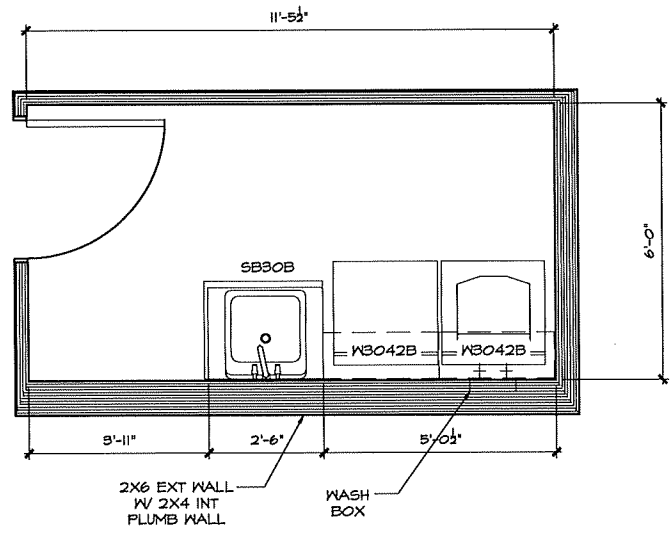
name	date
prelim: RUB	10/06/20
perm: RUB	01/11/21
final: 8TH	09/15/21
est: MCG	
revisions:	
date:	drawn by:

sheet: **A8.20**

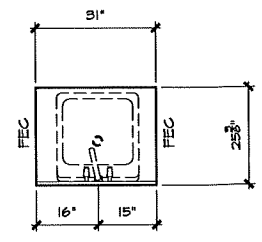


A CABINET ELEVATION

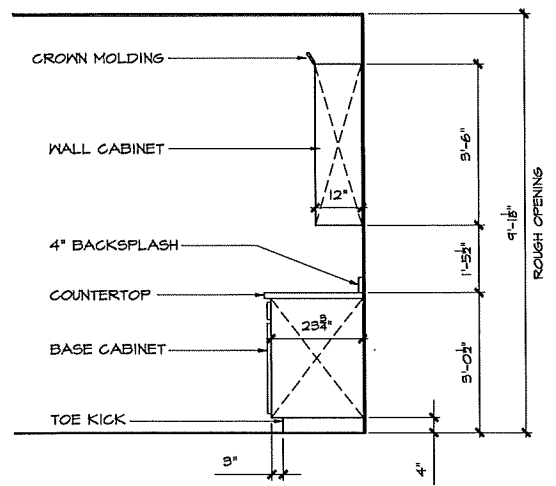
SELECT CONSTRUCTION
W/ CROWN MOLDING



LAUNDRY PLAN
SCALE: 1/4" = 1'-0"



COUNTERTOP LAYOUTS



CABINET SECTION

BATH PLAN AND CABINETRY DETAILS
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name	date
prelim: RJB	10/06/20
perm: RJB	01/11/21
final: STH	09/15/21
est: MCG	
revisions:	
date:	drawn by:

sheet: **A8.30**

Litchfield
NICK & STACY HUSSLEIN
320 VIEA DR.
WHITE LAKE, MI. 48886

WAYNE HOMES
— EST. 1973 —
HAR. 2113
OAKLAND CO.

WAYNE HOMES
— EST. 1973 —

Litchfield

NICK & STACY HUSSLEIN
320 VIEA DR.
WHITE LAKE, MI.
48886
HAR. 211B
OAKLAND CO.

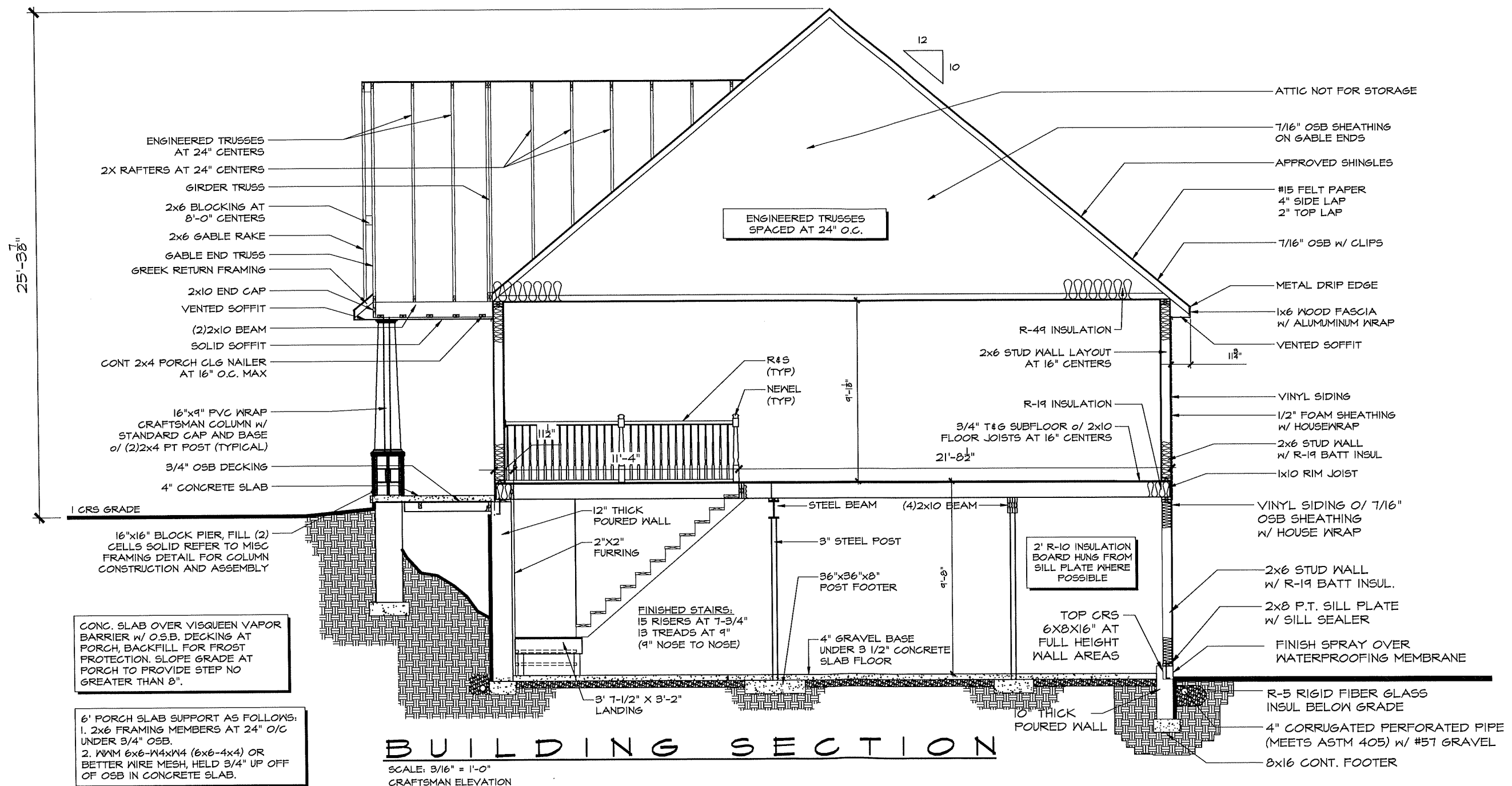
BUILDING SECTION

Wayne Homes expressly reserves its common law copyright and other property rights in these plans. These plans are not to be reproduced, changed, or copied in any form or manner, nor are they to be assigned to a third party without the written permission of Wayne Homes. In the event of any dispute, the laws of the State of Michigan shall govern. Wayne Homes and its affiliates are not responsible for any errors or omissions. Wayne Homes is not a contractor. Refer to contract for specific products selected. ©2008 Wayne Homes

name	date
prelim: RJB	10/06/20
perm: RJB	01/11/21
final: STH	09/15/21
est: MCG	
revisions:	
date:	drawn by:



sheet: **A9.10**



- ENGINEERED TRUSSES AT 24" CENTERS
- 2X RAFTERS AT 24" CENTERS
- GIRDER TRUSS
- 2x6 BLOCKING AT 8'-0" CENTERS
- 2x6 GABLE RAKE
- GABLE END TRUSS
- GREEK RETURN FRAMING
- 2x10 END CAP
- VENTED SOFFIT
- (2)2x10 BEAM
- SOLID SOFFIT
- CONT 2x4 PORCH CLG NAILER AT 16" O.C. MAX

- 16"x9" PVC WRAP CRAFTSMAN COLUMN w/ STANDARD CAP AND BASE o/ (2)2x4 FT POST (TYPICAL)
- 3/4" OSB DECKING
- 4" CONCRETE SLAB

16"x16" BLOCK PIER, FILL (2) CELLS SOLID REFER TO MISC FRAMING DETAIL FOR COLUMN CONSTRUCTION AND ASSEMBLY

CONC. SLAB OVER VISQUEEN VAPOR BARRIER w/ O.S.B. DECKING AT PORCH. BACKFILL FOR FROST PROTECTION. SLOPE GRADE AT PORCH TO PROVIDE STEP NO GREATER THAN 8".

6" PORCH SLAB SUPPORT AS FOLLOWS:
1. 2x6 FRAMING MEMBERS AT 24" O/C UNDER 3/4" OSB.
2. W/M 6x6-W4xW4 (6x6-4x4) OR BETTER WIRE MESH, HELD 3/4" UP OFF OF OSB IN CONCRETE SLAB.

PORCH BEAM HEIGHT TO BE DETERMINED AND SET IN FIELD BY FRAMER. PORCH BEAM NEEDS TO BE COMPLETELY CONCEALED IN SOFFIT OVERHANG AND PORCH FASCIA IS TO LINE UP WITH OTHER CONNECTING FASCIA(S). PORCH BEAM MAY REQUIRE 2x FLAT MATERIAL ON TOP FOR RAFTER BUILD-UP.

- ATTIC NOT FOR STORAGE
- 7/16" OSB SHEATHING ON GABLE ENDS
- APPROVED SHINGLES
- #15 FELT PAPER 4" SIDE LAP 2" TOP LAP
- 7/16" OSB w/ CLIPS
- METAL DRIP EDGE
- 1x6 WOOD FASCIA w/ ALUMINUM WRAP
- VENTED SOFFIT
- R-49 INSULATION
- 2x6 STUD WALL LAYOUT AT 16" CENTERS
- R-19 INSULATION
- 3/4" T&G SUBFLOOR o/ 2x10 FLOOR JOISTS AT 16" CENTERS
- 21'-8 1/2"
- VINYL SIDING
- 1/2" FOAM SHEATHING w/ HOUSEWRAP
- 2x6 STUD WALL w/ R-19 BATT INSUL
- 1x10 RIM JOIST
- VINYL SIDING o/ 7/16" OSB SHEATHING w/ HOUSE WRAP
- 2x6 STUD WALL w/ R-19 BATT INSUL.
- 2x8 P.T. SILL PLATE w/ SILL SEALER
- FINISH SPRAY OVER WATERPROOFING MEMBRANE
- R-5 RIGID FIBER GLASS INSUL BELOW GRADE
- 4" CORRUGATED PERFORATED PIPE (MEETS ASTM 405) w/ #57 GRAVEL
- 8x16 CONT. FOOTER

ENGINEERED TRUSSES SPACED AT 24" O.C.

2" R-10 INSULATION BOARD HUNG FROM SILL PLATE WHERE POSSIBLE

TOP CRS 6X8X16" AT FULL HEIGHT WALL AREAS

FINISHED STAIRS: 15 RISERS AT 7-3/4" 13 TREADS AT 9" (9" NOSE TO NOSE)

BUILDING SECTION

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

January 14, 2022

Nicholas Husslein
5654 Lancaster Ln
Commerce, MI 48382

RE: Proposed Residential Structure at 320 View Dr

Based on the submitted plans, the proposed residential addition does not satisfy the White Lake Township Clear Zoning Ordinance for Residential District Standards

Article 3.11 (T) of the White Lake Township Clear Zoning Ordinance: The minimum side yard setback for a side entry garage shall be 25'

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Maximum lot coverage of 20%.

The proposed structure would have a side entry garage with a side yard setback of 23.8 ft of a required minimum 25 ft. Furthermore, the non-conforming structure would yield a lot coverage greater than 20%.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the February 24th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than January 27th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: February 24, 2022

Agenda item: 7b

Appeal Date: February 24, 2022

Applicant: Robert Knisley

Address: 8780 Arlington Street
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 9604 Buckingham Road
White Lake, MI 48386

Property Description

The approximately 0.218-acre (9,505 square feet) parcel identified as 9604 Buckingham Road is located within the English Villas subdivision on Pontiac Lake and zoned R1-D (Single Family Residential). The property is served by a private well for potable water and the public sanitary sewer system for sanitation. The double lot (Lots 187 and 188) contains 95 feet in width at the front property line.

Applicant's Proposal

Robert Knisley, the applicant, is proposing to construct a two-story house with an attached two-car garage.

Planner's Report

In March 2021 the Zoning Board of Appeals (ZBA) denied variance requests from the applicant to construct a first- and second-story addition on an existing house. The ZBA determined the building was unsafe and ordered demolition of the house within 60 days of denial. On January 13, 2022 the applicant received a permit to demolish the house, and the demolition has since been completed.

The proposed house is 4,147 square feet in size (first floor: 1,880 square feet; second floor: 1,605 square feet; garage: 662 square feet). According to the submitted site plan, the proposed lot coverage is 27% (2,565 square feet), which is 7% (664 square feet) beyond the allowable limit (1,901 square feet). As proposed, the house at its closest point would be located 18.5 feet from the front lot line, requiring a variance of 11.5 feet from the required 30-foot front yard setback. A variance to address the lot area nonconformity is also requested.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Front yard setback	30 feet	11.5 feet	18.5 feet
2	Article 3.1.6.E	Maximum lot coverage	20% (1,901 square feet)	7% (664 square feet)	27% (2,565 square feet)
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	2,495 square feet	9,505 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Robert Knisley from Articles 3.1.6.E and 7.28.A of the Zoning Ordinance for Parcel Number 12-14-201-015, identified as 9604 Buckingham Road, in order to construct a new house that would encroach 11.5 feet into the required front yard setback and exceed the allowed lot coverage by 7%. A 2,495 square foot variance from the required lot area is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.

Denial: I move to deny the variances requested by Robert Knisley for Parcel Number 12-14-201-015, identified as 9604 Buckingham Road, due to the following reason(s):

Table: I move to table the variance requests of Robert Knisley for Parcel Number 12-14-201-015, identified as 9604 Buckingham Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 24, 2022.
2. Applicant's written statement dated January 24, 2022.
3. Site plan dated January 10, 2022.
4. Exterior elevations and floor plans dated December 21, 2021.
5. Letter of denial from the Building Official dated January 25, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Robert E Knisley PHONE: 248-495-6065
ADDRESS: 8780 Arlington St White Lake MI 48386
APPLICANT'S EMAIL ADDRESS: BobKnisley@gmail.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9604 Buckingham PARCEL # 12-14-201-015
CURRENT ZONING: R1D PARCEL SIZE: 9,505 SF

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____
VALUE OF IMPROVEMENT: \$ 320,000.00 SEV OF EXISTING STRUCTURE: \$ 85,530

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)
APPLICANT'S SIGNATURE: Robert E Knisley DATE: 1-24-22

Variance**1-24-22****Knisley Building Request for Variance**

We are planning to build a new beautifully designed home on Buckingham, Pontiac Lake. My family has a reach history and have lived on Pontiac Lake for more than 50 years, beginning in 1966 when my grandfather bought a cottage for my mother on Tackles. We have a long history living on the lake and as residents are committed to building attractive homes to increase property values, protect the environment, and enhance the neighborhood.

Since our last meeting, I have been working with an architect for the last 8 months. I have the demolished the existing structure which was requested of me at the last meeting. We are planning to build a 3000 square ft house on the property which will be a vase improvement. We have changed the plans as you requested and now submit the enclosed plan. We feel the new home will be an improvement to the neighborhood and is supported by our neighbors 100%. The new structure allows for plenty of room by the lake and each side to create space between the lake and each of the neighbor's properties.

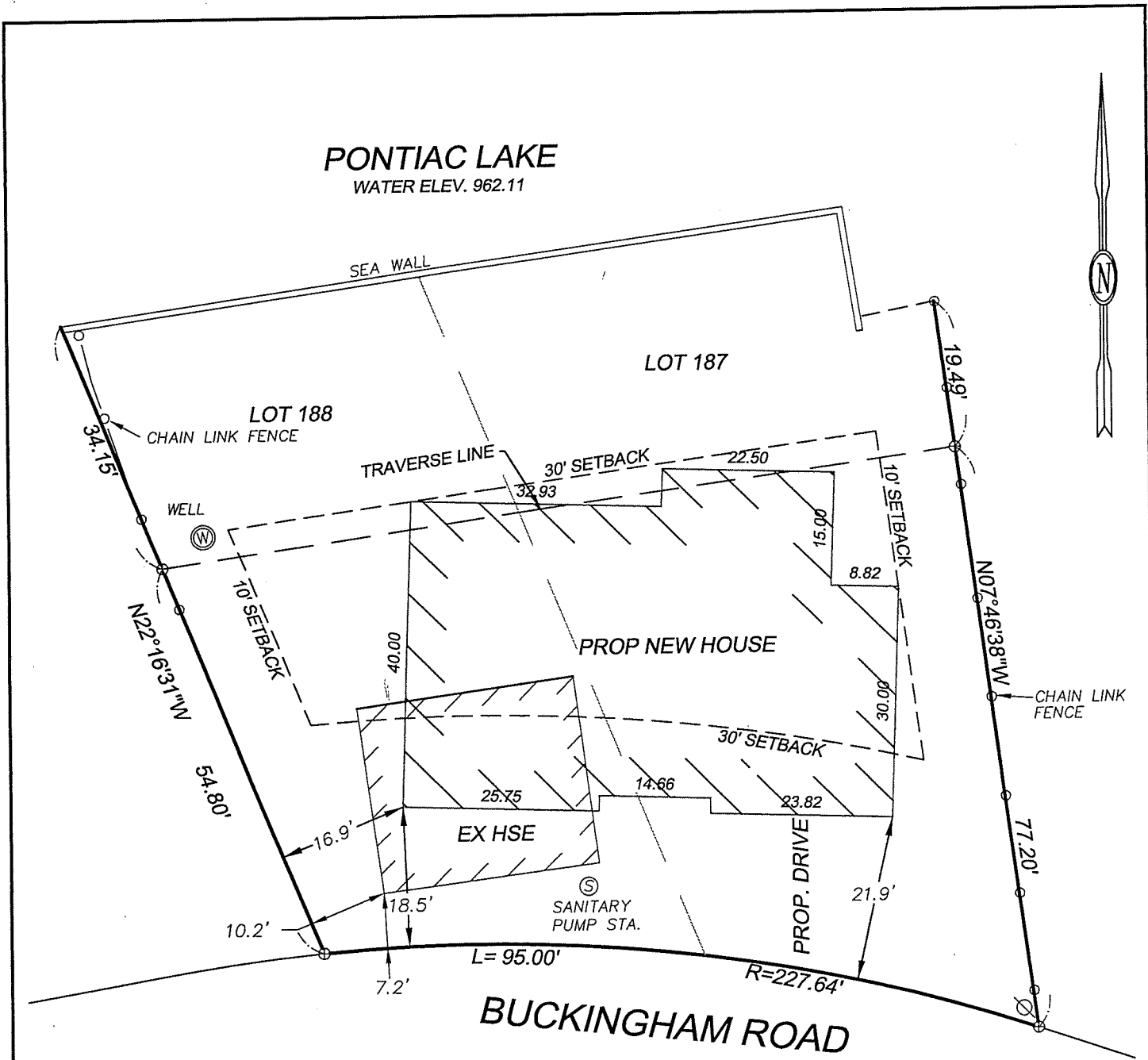
In the new plan, the house will be 30 ft from the water, both sides of the house are within the township requirements of 10 ft. However, to accommodate the architectural plan (See Enclosed) for our new home, based on the current requirement 25 feet from road, we need to request a variance to reduce the requirement to 22 feet from the road.

I have completed all of the requirements of the board thus far, and spent over \$12,000.00 to prepare the land as per the township requirements

By granting me this variance, I will be able to get started as soon as the weather permit and plan on completing the house by this summer.

Sincerely,

Robert Knisley

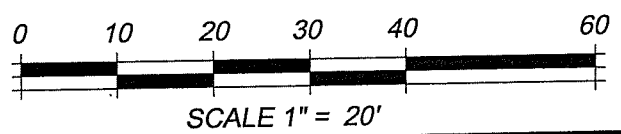


LOT COVERAGE
LOT AREA = 9,505 S.F.

PROP NEW HOUSE & GARAGE=2565 S. F. 27 % (30% MAX)

DESCRIPTION PARCEL 12-14-201-015
LOTS 187 & 188 OF "ENGLISH VILLAS SUBDIVISION", A SUBDIVISION OF PART OF SECTIONS 11, 13, & 14, T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 51 OF PLATS, PAGES 22 & 22A, OAKLAND COUNTY RECORDS.

BEARINGS BASED ON NAD83 (CORS2011) SPC MI. SOUTH ZONE
ELEVATION DATUM NAVD 88



Drawing for: ROBERT KNISLEY 9604 BUCHINGHAM RD. WHITE LAKE, MI. 48386	
Drawn By:	LAS
Date:	1/10/22
Scale:	1" = 20'
Job Number:	10860

LEGEND	
R. = RECORDED	⊙ = FOUND "T" IRON
M. = MEASURED	⊗ = CONCRETE MONUMENT
D. = DEEDED	○ = FOUND IRON PIPE
C. = CALCULATED	⊠ = LATH ON LINE
⊕ = SET 1/2" IRON BAR	X = CHISELED "X"
● = FOUND IRON	○ = SET NAIL / SPIKE

TRI-COUNTY SURVEYING, INC.
8615 RICHARDSON RD.
COMMERCE TWP., MICHIGAN 48390
248-363-2550

STATE OF MICHIGAN
Joseph Carl Kapelczak
LICENSED PROFESSIONAL SURVEYOR
License No. 4001024598

CONTACTS:

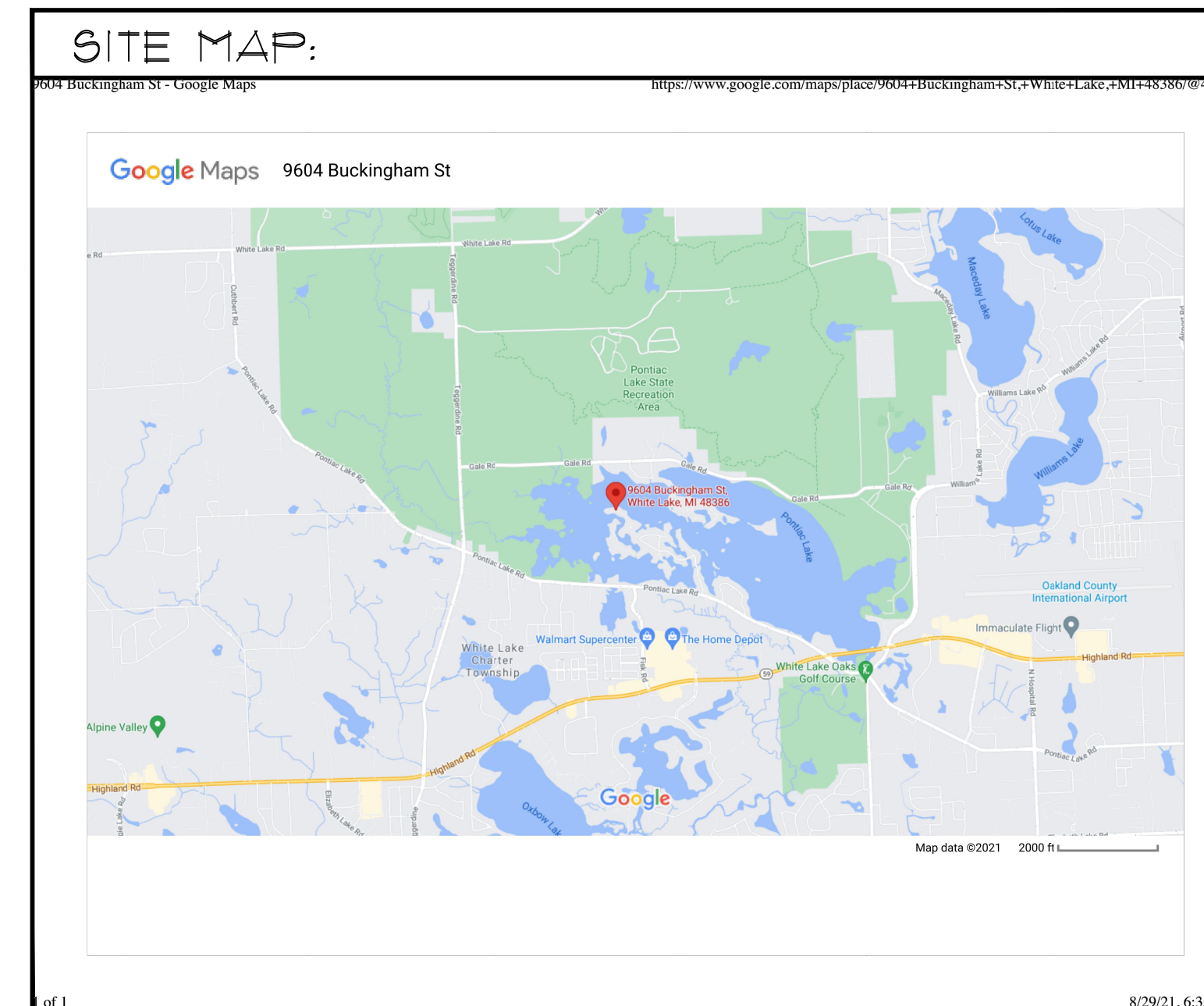
GENERAL CONTRACTOR:
T.B.D

OWNER / SITE ADDRESS:
Bob Knisley
9604 Buckingham Road
White Lake Township, MI 48386
bobknisley@gmail.com
248-495-6065

BUILDING DEPARTMENT:
White lake Township
7527 Highland Road
White Lake, MI 48383
248-698-3300
Attention Nick Spencer, Building Official

PLANS PREPARED BY:
JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099

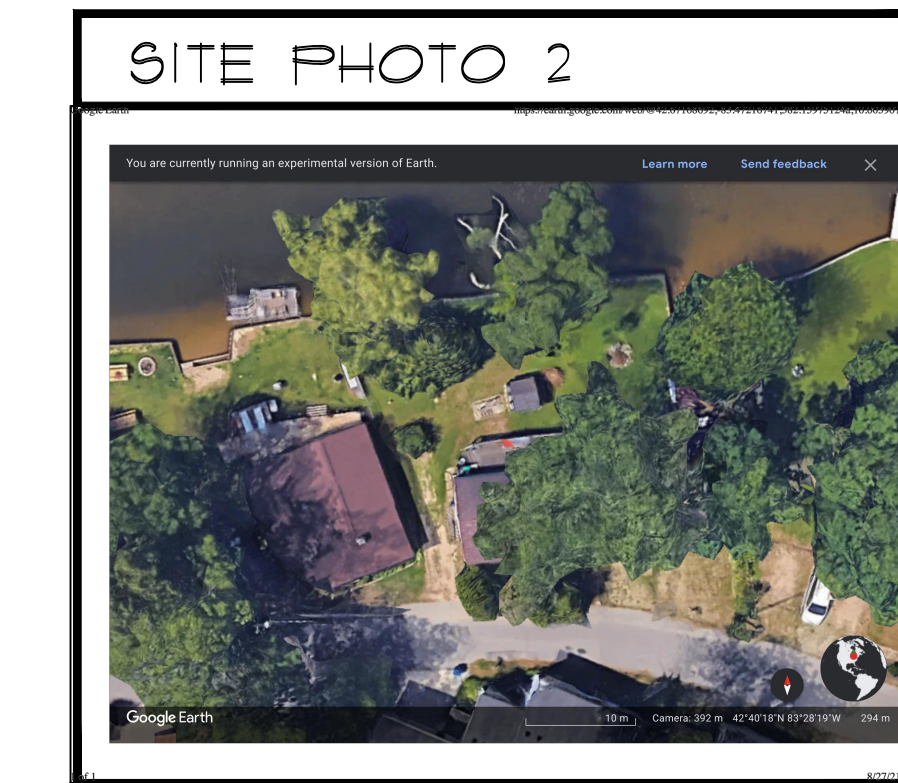
DRAWING LIST	
C-1	COVER SHEET
S-1	SITE PLAN
A-1a	DIMENSIONED FLOOR PLAN: LOWER
A-1b	DIMENSIONED FLOOR PLAN: UPPER
A-2a	ARCHITECTURAL FLOOR PLAN: LOWER
A-2b	ARCHITECTURAL FLOOR PLAN: UPPER
A-3	EXTERIOR ELEVATIONS
A-4	EXTERIOR ELEVATIONS
A-5	BUILDING SECTIONS
APPROXIMATE GROSS LIVING AREA:	
<ul style="list-style-type: none"> - LOWER LEVEL: 1800 SF GROSS AREA - UPPER LEVEL: 1605 SF GROSS AREA - GARAGE AREA: 662 SF GROSS AREA - PERCENTAGE TO LOT SIZE: APPROX 30% 	

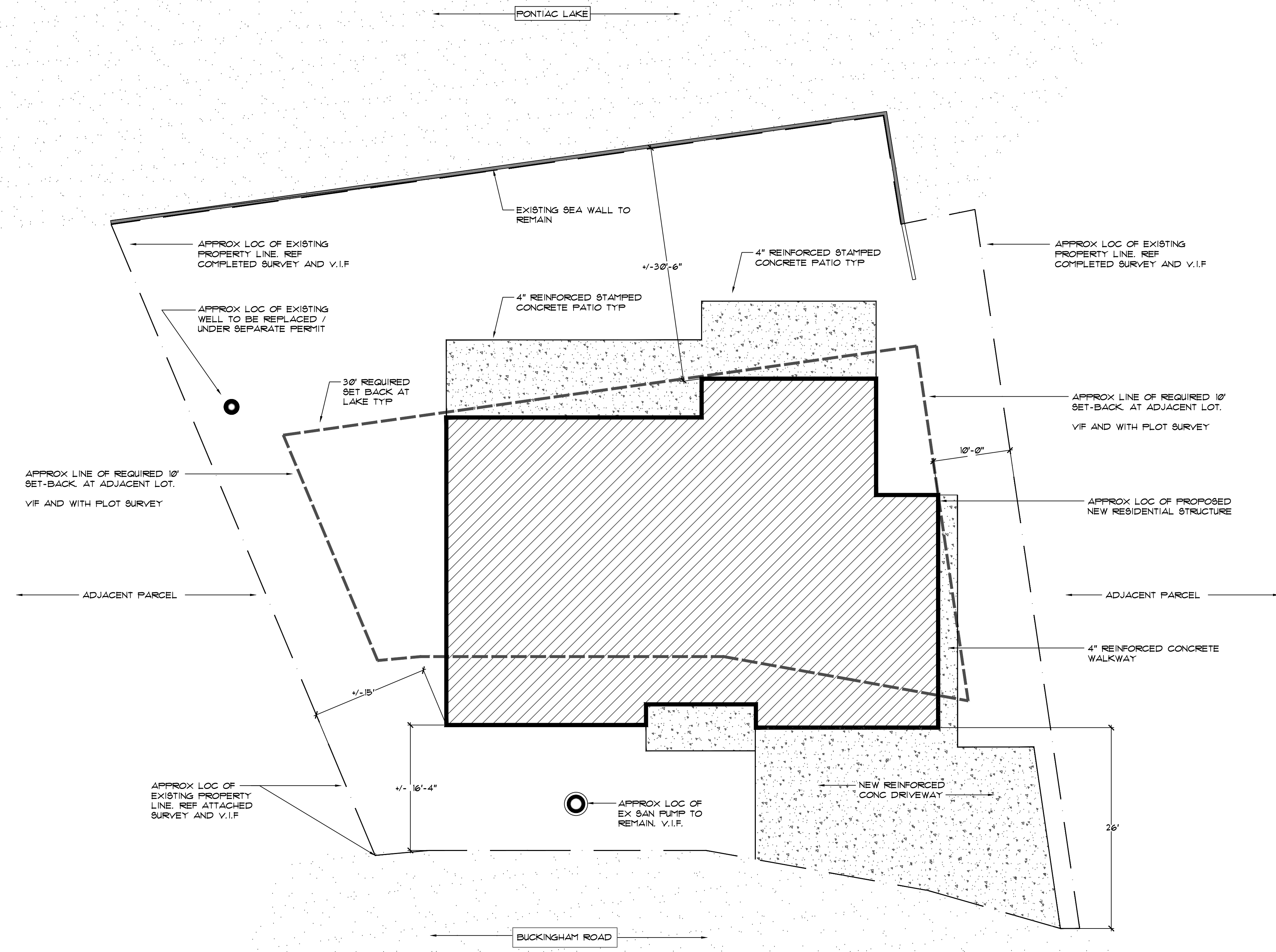


COMPLETED INSPECTIONS:	
SITE PLUMB MECH ELEC BLDG	

SEAL (IF REQ'D):
ISSUE DATES:
OWNER REVIEW:
09/15/2021
FINAL:
12/21/2021
REVISIONS:
PROJECT #:
SCALE:
N/A
DRAWN BY:
JPI
APPROVED BY:
BK
SHEET TITLE:
COVER SHEET
PREPARED BY:
JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099
KNISLEY RESIDENCE 9604 BUCKINGHAM WHITE LAKE, MI 48383
SHEET #
C1

- NOTES:**
- VERIFY ALL NEW FIXTURES, FINISHES, LIGHTING AND MILLWORK WITH OWNER PRIOR TO ORDER / INSTALL
 - FIELD VERIFY ALL EXISTING CONDITIONS
 - VERIFY OWNER SELECTION FOR ALL WINDOWS AND DOOR
 - VERIFY ALL EXISTING CONDITIONS IN ADVANCE
 - ALL FLOOR TRANSITIONS TO BE FLUSH AND LEVEL. USE WOOD SADDLE WHERE CARPET MEETS CARPET
 - GC TO ENSURE ALL NECESSARY PERMITS ARE SECURED AND INSPECTIONS COMPLETED AS DICTATED BY LOCAL GOVERNING AGENCIES
 - GC TO ENSURE A SAFE WORK SITE AT ALL TIMES- INSTALL BARRIERS, CAUTION SIGNS, ETC AS REQUIRED
 - GC TO COORDINATE ALL PHASES OF WORK WITH OWNER AND LOCAL MUNICIPALITIES
 - USE FIGURED DIMENSIONS ONLY- DO NOT SCALE THESE PRINTS
 - ALL WORK TO BE IN COMPLIANCE WITH LOCAL GOVERNING CODES AND REQUIREMENTS
 - OWNER TO SELECT GENERAL CONTRACTOR AND APPROVE NECESSARY TRADES
 - GC TO ENSURE ALL INSPECTIONS ARE COMPLETED AS REQUIRED BY LOCAL GOVERNING AGENCIES
 - ALL EXTERIOR DIMENSIONS TAKEN TO OUTSIDE FACE OF FRAMED WALL(S)
 - ALL INTERIOR DIMENSIONS TAKEN TO CENTERLINE OF WALL / WALL(S)
 - ALL DOOR AND WINDOW DIMENSIONS TAKEN TO CENTERLINE OF OPENING
 - GC / FRAMING CONTRACTOR TO VERIFY ALL DIMENSIONS WITH OWNER PRIOR TO START
 - GC / CONTRACTOR TO VERIFY ALL WINDOW AND DOOR / SIZES WITH OWNER PRIOR TO START OF CONSTRUCTION
 - VERIFY SIZE OF MECH EQUIPMENT PRIOR TO FRAMING MECH ROOM





ROOF SYSTEM AND GUTTERS TO DRAIN TOWARDS LAKE

SEAL:

ISSUE DATES:
OWNER REVIEW:
09/15/2021

FINAL:
12/21/2021

PROJECT #:

SCALE:

VARIABLES

DRAWN BY:

JP

APPROVED BY:

BK

SHEET TITLE:

SITE PLAN
PLOT PLAN

PREPARED BY:
JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099

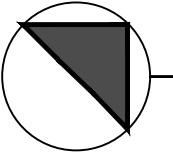
KNISLEY RESIDENCE
9604 BUCKINGHAM
WHITE LAKE, MI 48383

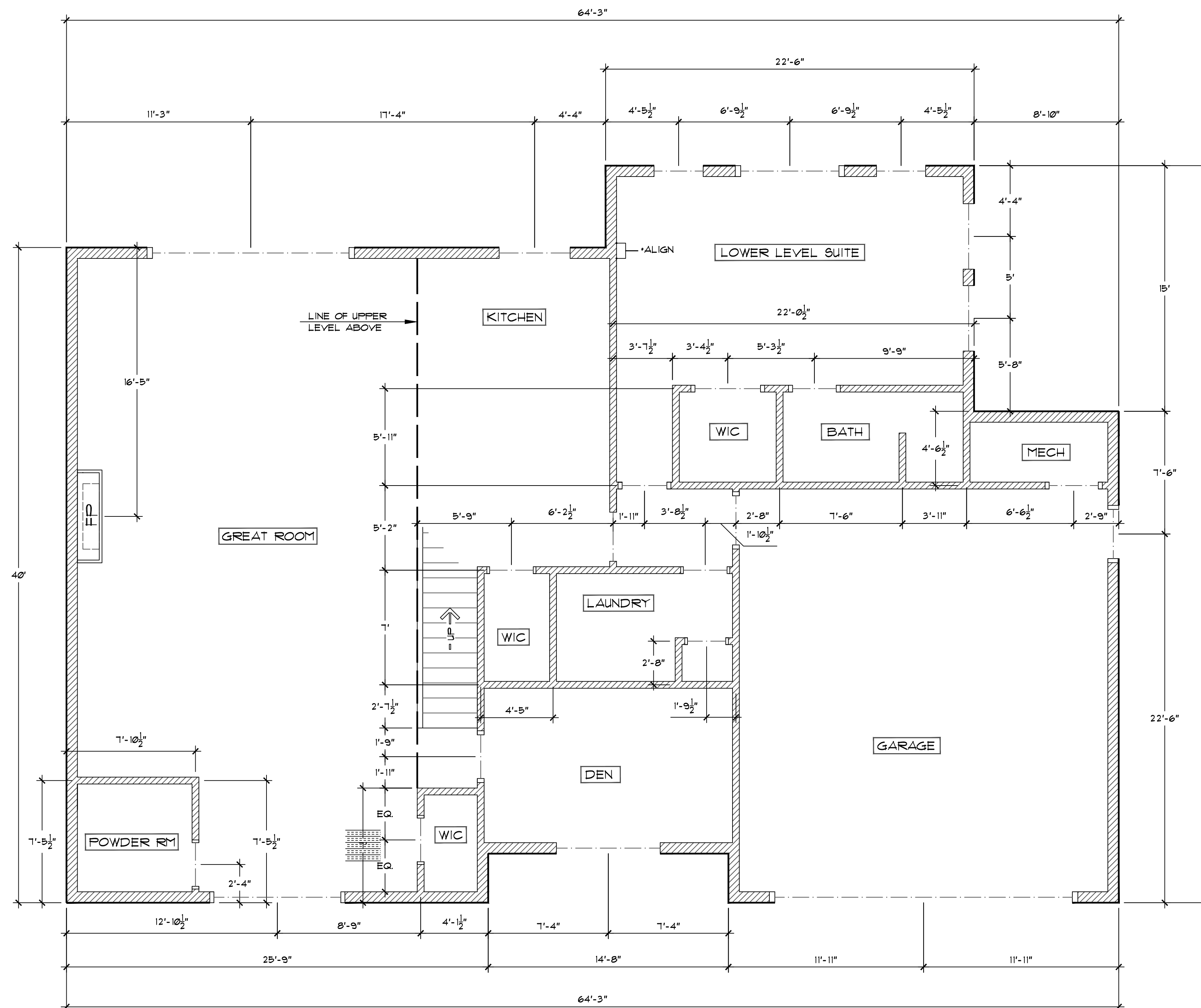
SHEET #

S1

NOTE: COPIES OF SITE SURVEY TO BE SUBMITTED ALONG WITH THESE DOCUMENTS.

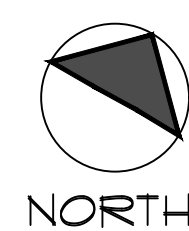
SURVEY TO BE PREPARED AND SEALED BY STATE-LICENSED ENGINEER OR SURVEY COMPANY

 SITE PLAN
SCALE: 1/8" = 1'-0" (USE FIGURED DIMENSIONS ONLY)
NORTH



NOTES

- ALL EXTERIOR DIMENSIONS TAKEN TO OUTSIDE FACE OF FRAMED WALL(S)
- ALL INTERIOR DIMENSIONS TAKEN TO CENTERLINE OF WALL / WALL(S)
- ALL DOOR AND WINDOW DIMENSIONS TAKEN TO CENTERLINE OF OPENING
- GC / FRAMING CONTRACTOR TO VERIFY ALL DIMENSIONS WITH OWNER PRIOR TO START
- GC / CONTRACTOR TO VERIFY ALL WINDOW AND DOOR / SIZES WITH OWNER PRIOR TO START OF CONSTRUCTION
- VERIFY SIZE OF MECH EQUIPMENT PRIOR TO FRAMING MECH ROOM
- REFERENCE ATTACHED ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION, NOTES AND DETAILS



DIMENSIONED FLOOR PLAN: LOWER LEVEL

SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)

SEAL:

ISSUE DATES:

OWNER REVIEW:

09/15/2021

FINAL:

12/21/2021

REVISIONS:

PROJECT #:

SCALE:

1/4" = 1'-0"

DRAWN BY:

JP

APPROVED BY:

BK

SHEET TITLE:

DIMENSIONED FLOORPLAN

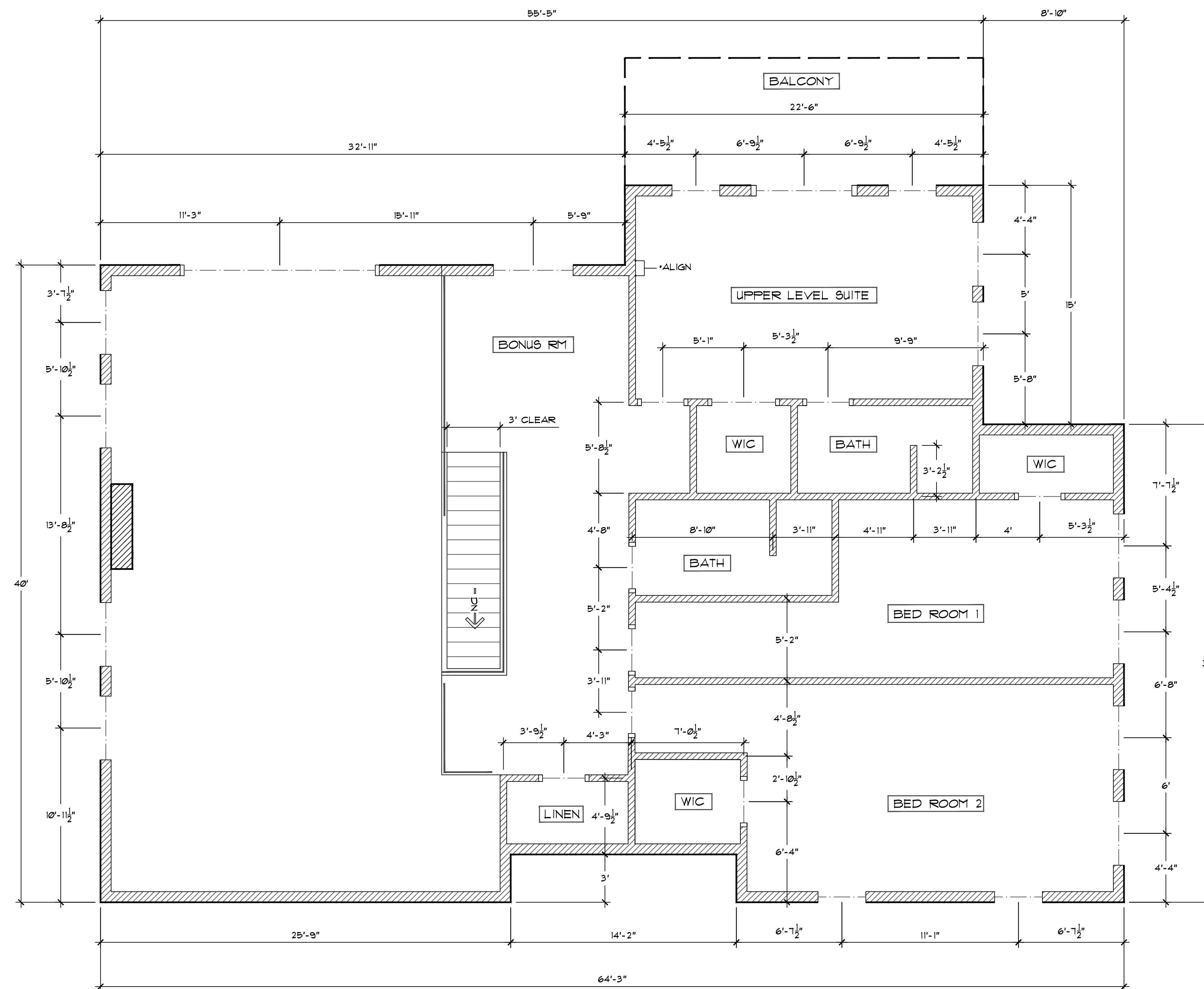
PREPARED BY:

JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099

KNISLEY RESIDENCE
9604 BUCKINGHAM
WHITE LAKE, MI 48383

SHEET #

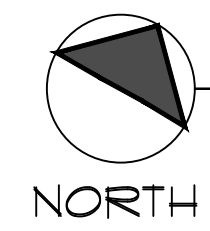
A1a



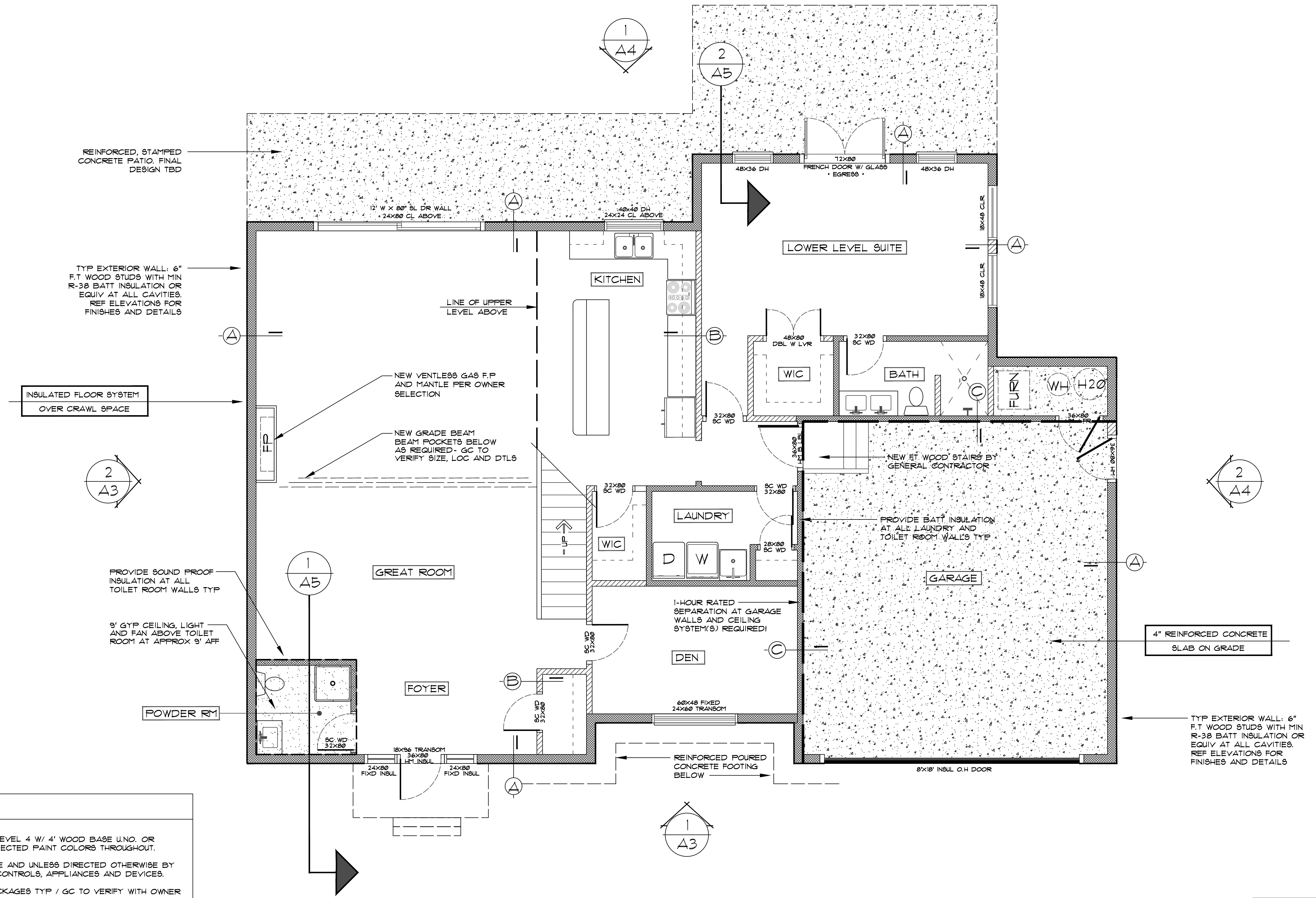
NOTES

- ALL EXTERIOR DIMENSIONS TAKEN TO OUTSIDE FACE OF FRAMED WALL(S)
- ALL INTERIOR DIMENSIONS TAKEN TO CENTERLINE OF WALL / WALL(S)
- ALL DOOR AND WINDOW DIMENSIONS TAKEN TO CENTERLINE OF OPENING
- GC / FRAMING CONTRACTOR TO VERIFY ALL DIMENSIONS WITH OWNER PRIOR TO START
- GC / CONTRACTOR TO VERIFY ALL WINDOW AND DOOR / SIZES WITH OWNER PRIOR TO START OF CONSTRUCTION
- VERIFY SIZE OF MECH EQUIPMENT PRIOR TO FRAMING MECH ROOM
- REFERENCE ATTACHED ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION, NOTES AND DETAILS

DIMENSIONED FLOOR PLAN: UPPER LEVEL
 SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)



SEAL:
ISSUE DATES:
OWNER REVIEW: 09/15/2021
FINAL: 12/21/2021
REVISIONS:
PROJECT #:
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
APPROVED BY: BK
SHEET TITLE: DIMENSIONED FLOORPLAN
PREPARED BY: JPI ATTN: Joe Peres jperes1971@yahoo.com 317-764-3099
KNISLEY RESIDENCE 9604 BUCKINGHAM WHITE LAKE, MI 48383
SHEET #
A10



NOTES

ALL INTERIOR WALLS 1/2" GYP FINISHED TO LEVEL 4 W/ 4" WOOD BASE U.N.O. OR UNLESS DIRECTED BY OWNER. OWNER SELECTED PAINT COLORS THROUGHOUT.

INSTALL OUTLETS AND SWITCHES PER CODE AND UNLESS DIRECTED OTHERWISE BY OWNER. OWNER TO SELECT ALL LIGHTING, CONTROLS, APPLIANCES AND DEVICES.

OWNER SELECTED DOOR AND WINDOW PACKAGES TYP / GC TO VERIFY WITH OWNER AND SUPPLIER.

OWNER SELECTED FLOOR FINISHES / GC TO INSTALL AND ENSURE PROPER TRANSITIONS AT FINISH CHANGES.

FINAL KITCHEN DESIGN BY OTHERS / OWNER SPECIFIED AND SUPPLIED APPLIANCES GC TO VERIFY RESTROOM FIXTURES WITH OWNER PRIOR TO ORDERING.

ALL PLUMBING TO BE DONE BY STATE LICENSED TRADE / TRADE WILL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND INSPECTIONS

ALL ELECTRICAL TO BE DONE BY STATE LICENSED TRADE / TRADE WILL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND INSPECTIONS.

ENSURE ALL ROOMS ARE EQUIPPED WITH SMOKE AND CARBON MONOXIDE DETECTORS WHICH ARE HARD-WIRED WITH BATTERY BACK-UP.

ALL MECHANICAL EQUIPMENT TO BE INSTALLED BY STATE LICENSED TRADE / TRADE WILL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND INSPECTIONS

ALL / ANY UTILITY AND SITE WORK UNDER SEPARATE PERMIT

ARCHITECTURAL FLOOR PLAN: LOWER LEVEL
 SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)



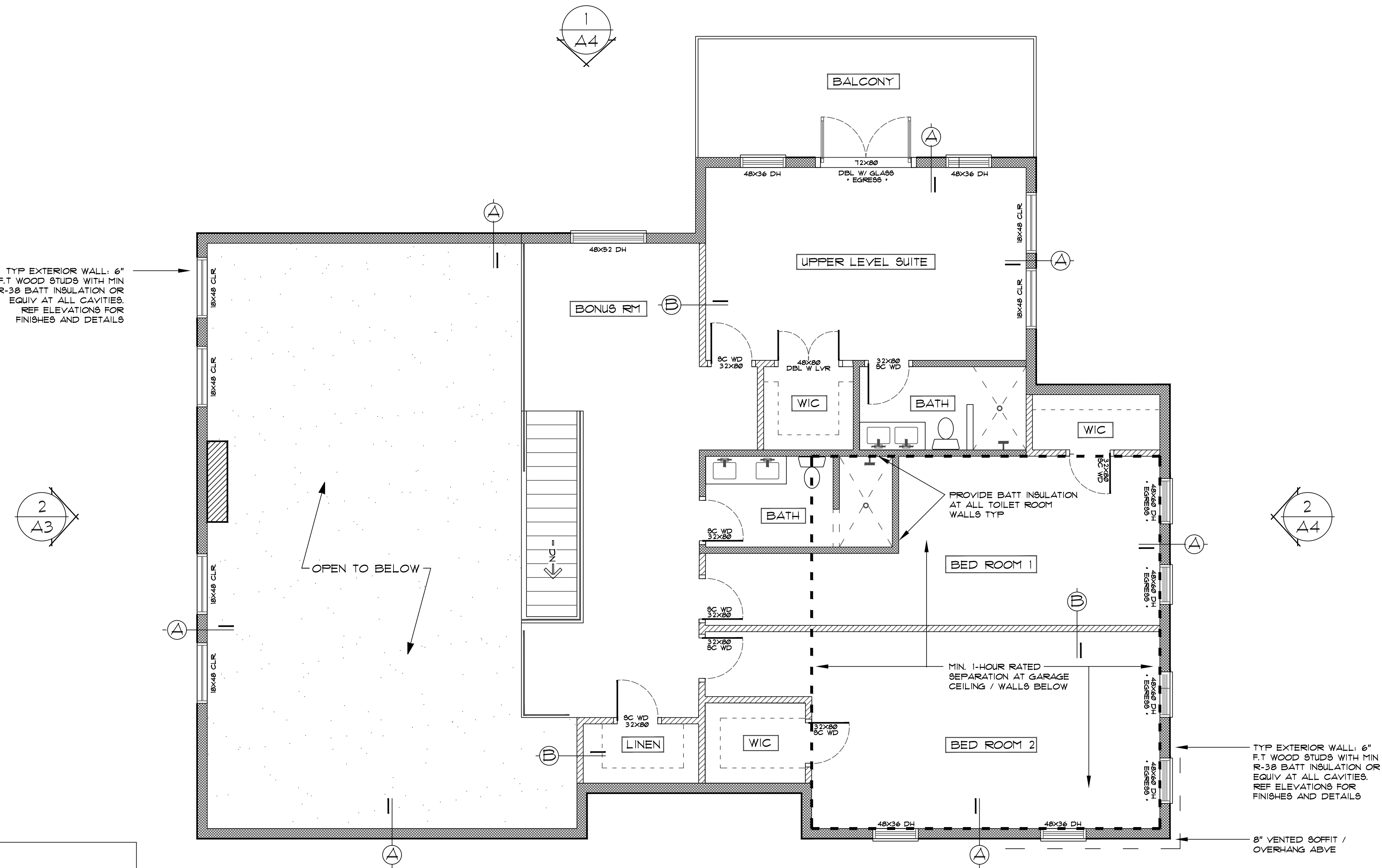
NOTE: PROVIDE +/- 10' CEILING HEIGHTS THRU ALL LOWER LEVEL LIVING AREAS TYP / U.N.O.

UL APPROVED / HARD-WIRED FIRE DETECTORS REQUIRED IN ALL ROOMS; TO BE INSTALLED BY ELEC CONTRACTOR

PROVIDE UL APPROVED CO2 DETECTORS AS REQUIRED TO COVER MECH ROOM AND LIVING AREAS TYP

WALL LEGEND	
A	6" FT WOOD STUD WALL WITH R-38 MIN INSULATION. REF ELEVATIONS FOR EXTERIOR FINISHES
B	INTERIOR WALLS 1/2" GYP U.N.O. / FIN. LEVEL 4 W/ 4" WOOD BASE TYP. COLOR SELECTION BY OWNER.
C	4" FT WOOD STUD WALL WITH 1/2" GYP BOARD AND 4" WOOD BASE TYP. FIN. LEVEL 4 / COLOR SELECTION BY OWNER. PROVIDE BATT INSUL AT ALL TOILET ROOM WALLS
D	4" FT WOOD STUD WALL WITH (2) LAYERS 5/8" GYP BOARD FOR 1-HOUR SEPARATION. PROVIDE MIN R-38 BATT INSULATION IN ALL CAVITIES.

SEAL:
ISSUE DATES:
OWNER REVIEW:
09/15/2021
FINAL:
12/21/2021
REVISIONS:
PROJECT #:
SCALE:
1/4" = 1'-0"
DRAWN BY:
JP
APPROVED BY:
BK
SHEET TITLE:
ARCHITECTURAL FLOORPLAN
PREPARED BY:
JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099
KNISLEY RESIDENCE
9604 BUCKINGHAM
WHITE LAKE, MI 48383
SHEET #
A2a



NOTES

ALL INTERIOR WALLS 1/2" GYP FINISHED TO LEVEL 4 W/ 4" WOOD BASE U.N.O. OR UNLESS DIRECTED BY OWNER. OWNER SELECTED PAINT COLORS THROUGHOUT.

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ALL / ANY UTILITY AND SITE WORK UNDER SEPARATE PERMIT

ARCHITECTURAL FLOOR PLAN: UPPER LEVEL
 SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)

NOTE: PROVIDE +/- 8" CEILING HEIGHTS THRU ALL UPPER LEVEL LIVING AREAS TYP / U.N.O.

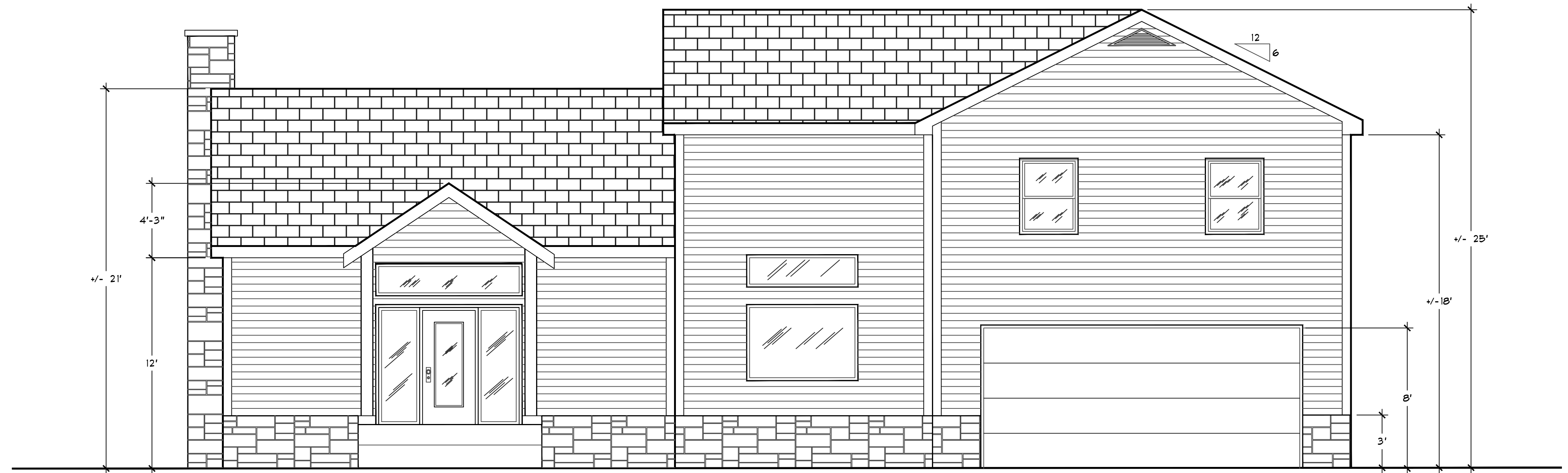
UL APPROVED / HARD-WIRED FIRE DETECTORS REQUIRED IN ALL ROOMS. TO BE INSTALLED BY ELEC CONTRACTOR

PROVIDE UL APPROVED CO2 DETECTORS AS REQUIRED TO COVER MECH ROOM AND LIVING AREAS TYP

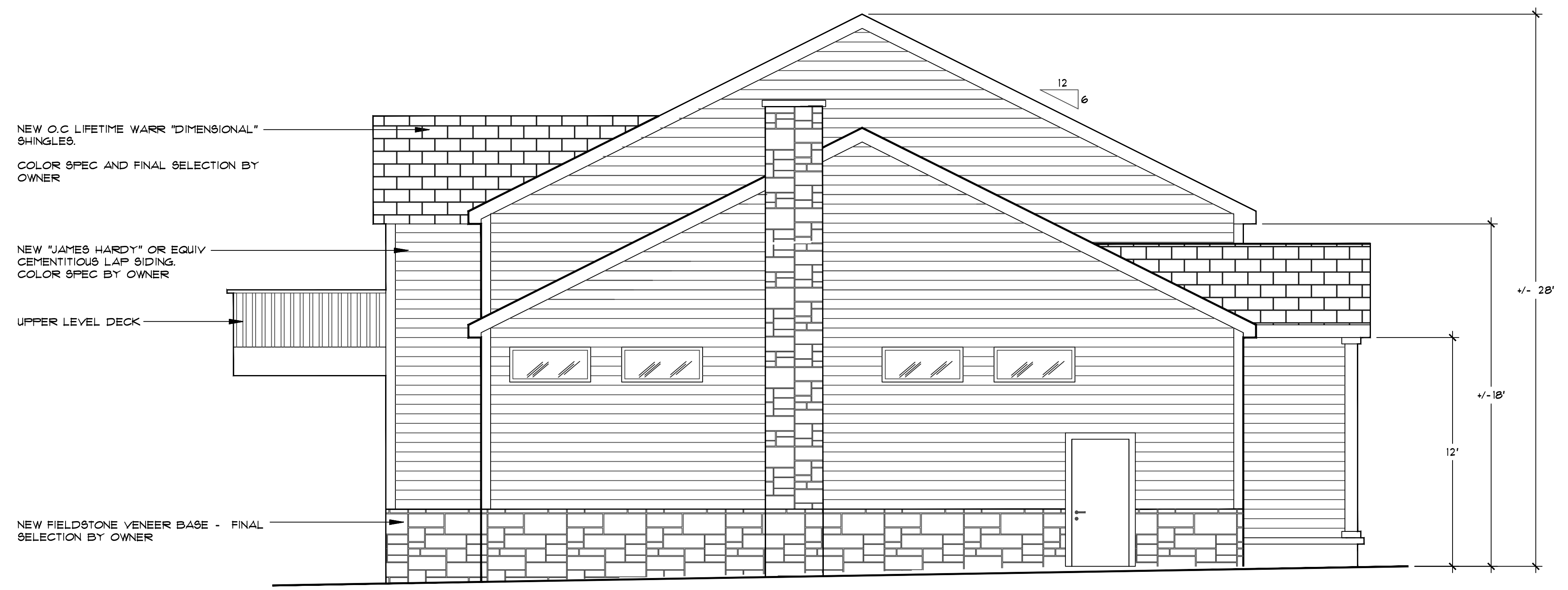
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A	6" FT WOOD STUD WALL WITH R-38 MIN INSULATION. REF ELEVATIONS FOR EXTERIOR FINISHES
B	INTERIOR WALLS 1/2" GYP UNO / FIN. LEVEL 4 W/ 4" WOOD BASE TYP. COLOR SELECTION BY OWNER.
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C	4" FT WOOD STUD WALL WITH (2) LAYERS OF 5/8" GYP BOARD FOR 1-HOUR SEPARATION. PROVIDE MIN R-38 BATT INSULATION IN ALL CAVITIES.

SEAL:
ISSUE DATES:
OWNER REVIEW:
09/15/2021
FINAL:
12/21/2021
REVISIONS:
PROJECT #:
SCALE:
1/4" = 1'-0"
DRAWN BY:
JP
APPROVED BY:
BK
SHEET TITLE:
ARCHITECTURAL FLOORPLAN
PREPARED BY:
JPI
ATTN: Joe Peres
jperes1971@yahoo.com
317-764-3099
KNISLEY RESIDENCE
9604 BUCKINGHAM
WHITE LAKE, MI 48383
SHEET #
A210



1 EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)



2 EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)

SEAL:
ISSUE DATES:
OWNER REVIEW: 09/15/2021
FINAL: 12/21/2021
REVISIONS:
PROJECT #:
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
APPROVED BY: BK
SHEET TITLE: EXTERIOR ELEVATIONS
PREPARED BY: JPI ATTN: Joe Peres jperes1971@yahoo.com 317-764-3099

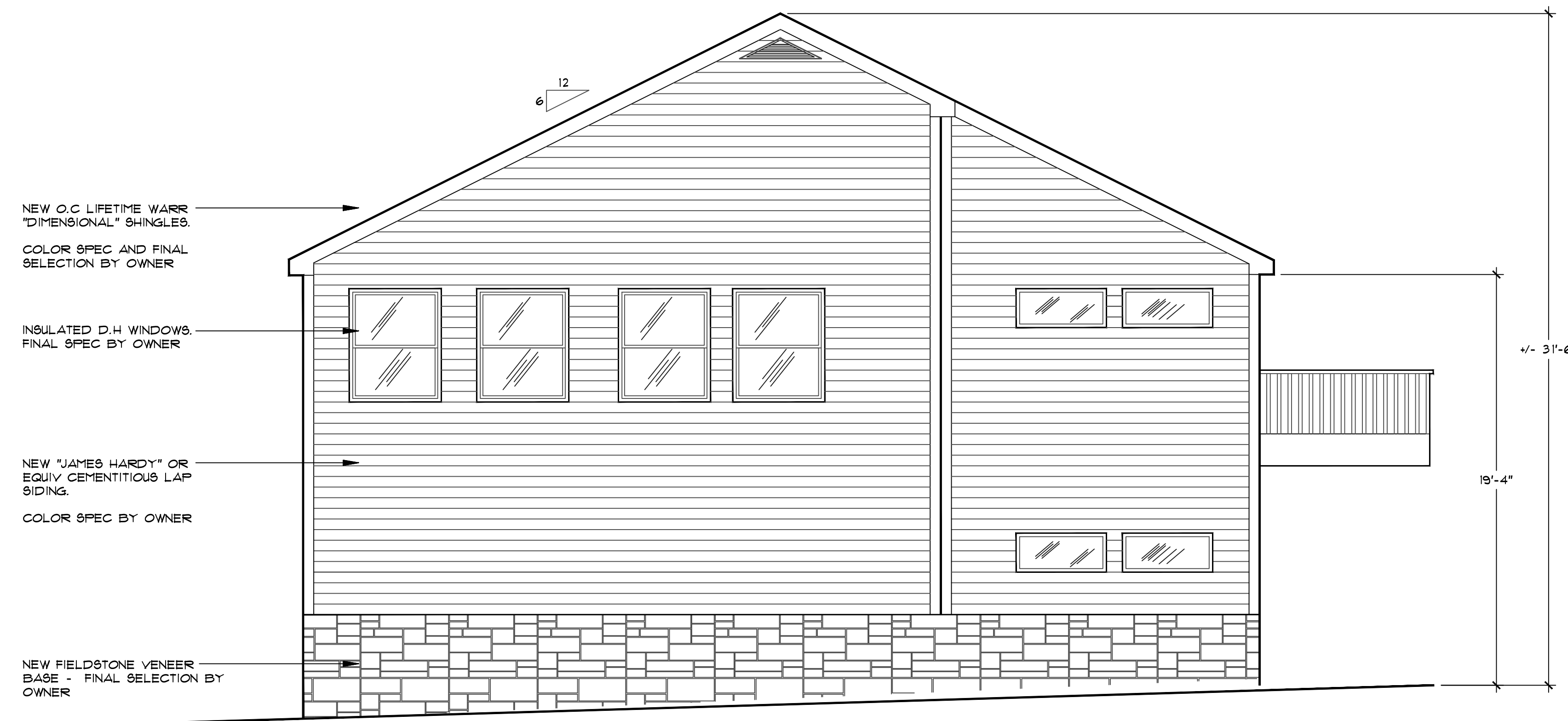
KNISLEY RESIDENCE
 9604 BUCKINGHAM
 WHITE LAKE, MI 48383

SHEET #
A3

NOTE: ALL DIMENSIONS ABOVE GRADE ARE APPROXIMATE



1 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)



2 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0" (USE FIGURED DIMENSIONS ONLY)

NOTE: ALL DIMENSIONS ABOVE GRADE ARE APPROXIMATE

SEAL:
ISSUE DATES:
OWNER REVIEW: 09/15/2021
PERMITTING: 12/21/2021
REVISIONS:
PROJECT #:
SCALE: 1/4" = 1'-0"
DRAWN BY: JP
APPROVED BY: BK
SHEET TITLE: EXTERIOR ELEVATIONS
PREPARED BY: JPI ATTN: Joe Peres jperes1911@yahoo.com 311-764-3099
KNISLEY RESIDENCE 9604 BUCKINGHAM WHITE LAKE, MI 48383
SHEET #
A4

SEAL:

ISSUE DATES:

OWNER REVIEW:

09/15/2021

PERMITTING:

12/21/2021

REVISIONS:

PROJECT #:

SCALE:

1/2" = 1'-0"

DRAWN BY:

JP

APPROVED BY:

BK

SHEET TITLE:

BUILDING SECTION

PREPARED BY:

JPI

ATTN: Joe Peres

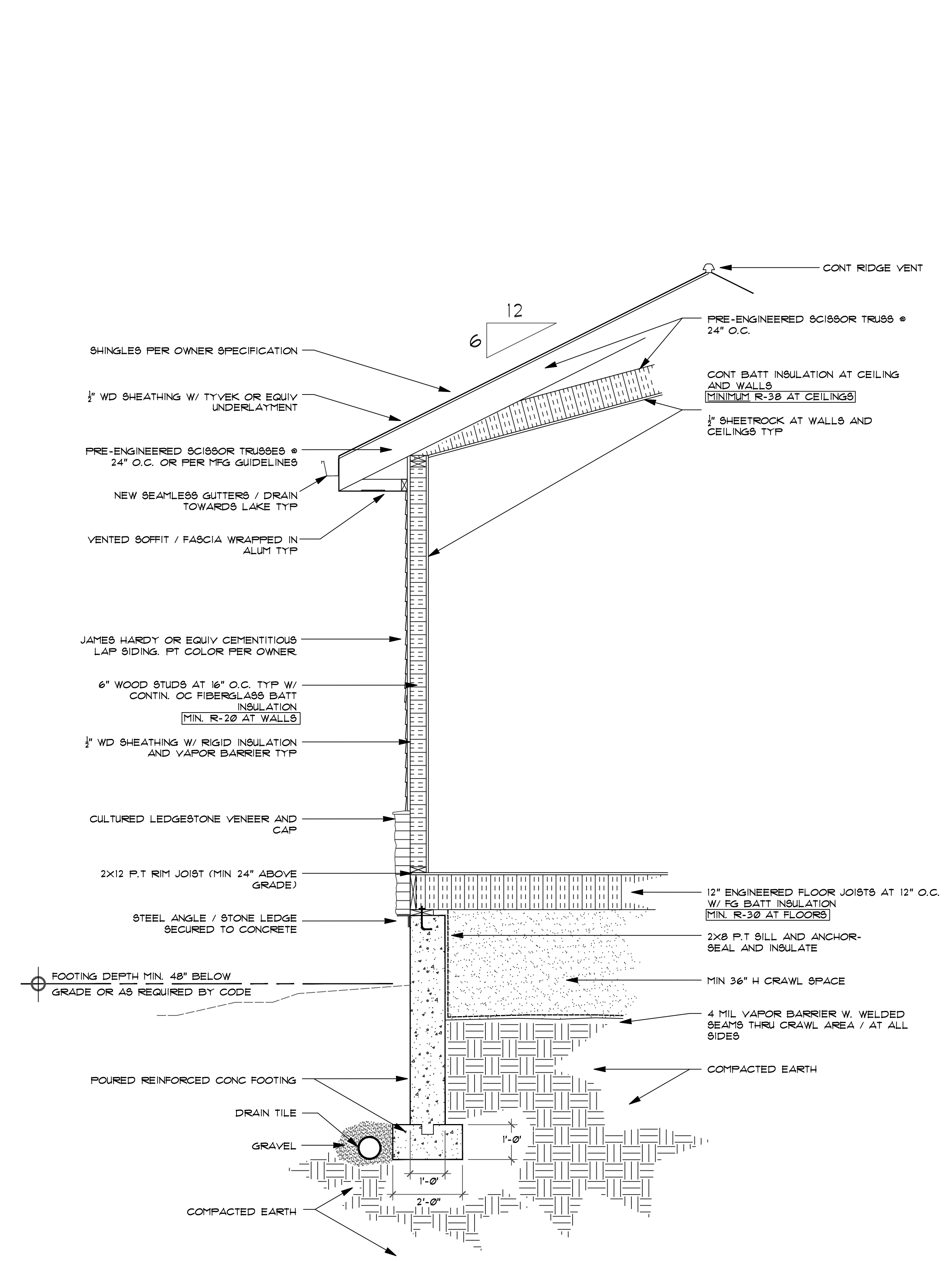
jperes1911@yahoo.com

317-764-3099

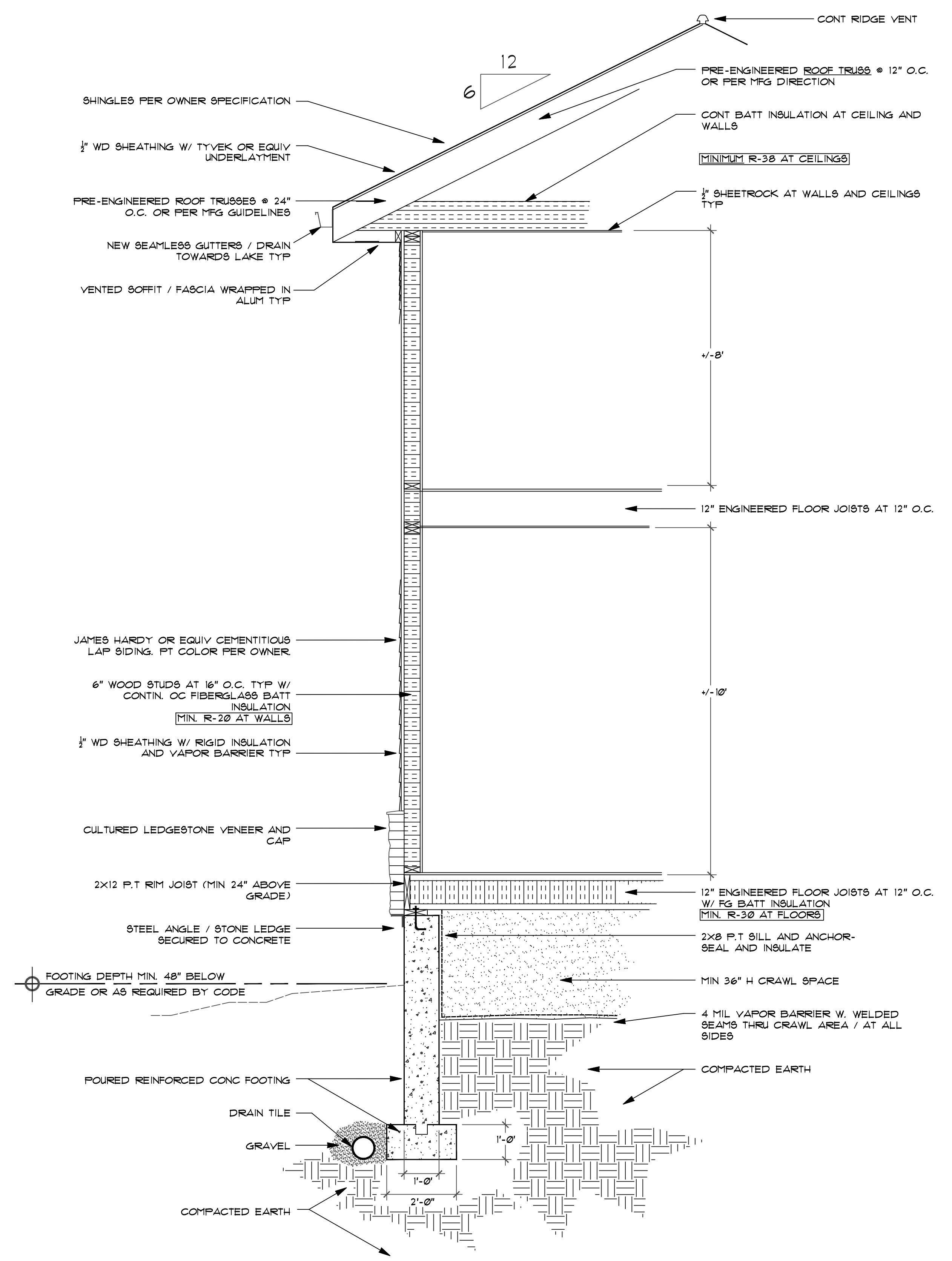
KNISLEY RESIDENCE
9604 BUCKINGHAM
WHITE LAKE, MI 48383

SHEET #

A5



1 BUILDING SECTION
SCALE: 1/2" = 1'-0" (USE FIGURED DIMENSIONS ONLY)



2 BUILDING SECTION @ GREAT ROOM
SCALE: 1/2" = 1'-0" (USE FIGURED DIMENSIONS ONLY)

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

January 25, 2022

Robert Knisley
8780 Arlington
White Lake, MI 48386

RE: Proposed Residential Structure at 9604 Buckingham

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 30 ft, maximum lot coverage of 20%, and minimum lot size of 12,000 sq ft.

The existing lot is legal non-conforming with an area of 9,505 sq ft. The proposed residential structure would have a front yard setback of 18.5 ft. Furthermore, the lot coverage would be 27%.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the February 24th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than January 27th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: February 24, 2022

Agenda item: 7c

Appeal Date: February 24, 2022

Applicant: Brad VanGorder

Address: 8890 Tackels Drive
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 8890 Tackels Drive
White Lake, MI 48386

Property Description

The approximately 0.151-acre (6,578.3 square feet) parcel identified as 8890 Tackels Drive is located on Pontiac Lake and zoned R1-D (Single Family Residential). The existing house on the property utilizes a private well for potable water and the public sanitary sewer system for sanitation.

Applicant's Proposal

Brad VanGorder, the applicant, is proposing to construct single- and second-story additions on the house.

Planner's Report

In 1999 the Zoning Board of Appeals granted the following five variances:

- 886 square foot variance from the minimum lot area
- 1.5-foot variance from the minimum side yard setback
- 2% variance from the maximum lot coverage
- 26.5-foot variance from the minimum front yard setback
- 3.5-foot variance from the required distance between buildings

The above variances, which included a condition the porch on the lake side of the house not be enclosed, expired and are void. In 2004 the previous Building Official approved plans for an addition, and variances should have been required. The existing house is nonconforming to setbacks; the structure is located 4.3 feet from the west side lot line and 27.8 feet from the front lot line. A minimum 10-foot side yard setback and 30-foot front yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 5,421.7 square foot deficiency in lot area and a 40-foot deficiency in lot width; in the R1-D zoning district the minimum lot size requirement is 12,000 square feet and the minimum lot width requirement is 80 feet. Variances are requested to address the area and width nonconformities.

The proposed first floor addition is approximately 162 square feet in size and would enclose an existing open courtyard. As proposed the second story would maintain the existing 4.3-foot side yard setback and is approximately 254 square feet in size. The second story would extend above the proposed enclosed courtyard area and existing enclosed connection between the house and garage to the west. The wall and roof overhang of the proposed second story is within five feet of the side lot line. Article 5, Section 3 of the zoning ordinance prohibits roofs, gutters, windows, and open balconies from projecting closer than five feet to a lot line. Article 7, Section 27.vii of the zoning ordinance prohibits the Zoning Board of Appeals from granting a variance of less than five feet from a side lot line for safety reasons.

The structural work at the front of the house (increasing wall height and raising garage roof line to match house roof line elevation) would occur within the front yard setback and would require a variance.

Additionally, the proposed lot coverage is approximately 31.1% (2,405 square feet), which is 11.1% (1,089.34 square feet) beyond the 20% maximum lot coverage allowed (1,315.66 square feet). Lot coverage was calculated by staff and not provided on the survey.

Article 7, Section 28 of the zoning ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any period of twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$113,430), the maximum extent of improvements cannot exceed \$46,715. The value of the proposed work is \$150,000. A variance to exceed the allowed value of improvements by 321% is requested.

Following is a summary of nonconformities and proposed enlargements/alterations:

Nonconformity #	Ordinance Section	Subject	Standard	Request	Result
1	Article 3.1.6.E	Front yard setback	30 feet	2.2 feet	27.8 feet
2	Article 3.1.6.E	Side yard setback	10 feet	5 feet	5 feet (west)
3	Article 3.1.6.E	Maximum lot coverage	20% (1,315.66 square feet)	11.1% (1,089.34 square feet)	31.1% (2,405 square feet)

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming house	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$46,715)	321%	\$103,285 over allowed improvements
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	5,421.7 square feet	6,578.3 square feet
4	Article 3.1.6.E	Minimum lot width	80 feet	40 feet	40 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Brad VanGorder from Articles 3.1.6.E, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-13-104-007, identified as 8890 Tackels Drive, in order to construct an addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 5 feet into the required setback from the west side lot line; to allow structural work to encroach 2.2 feet into the required setback from the front lot line; and to exceed the allowed lot coverage by 11.1%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 321%. A 40-foot variance from the required lot width and a 5,421.7 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The west side wall of the second-story addition shall be relocated east to provide a five-foot side yard setback, which shall be measured from the roof overhang of the addition.
- In no event shall the projection of any roof overhang be closer than five (5) feet to the west side lot line.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.
- The gutter system shall direct stormwater away neighboring properties.

Denial: I move to deny the variances requested by Brad VanGorder for Parcel Number 12-13-104-007, identified as 8890 Tackels Drive, due to the following reason(s):

Table: I move to table the variance requests of Brad VanGorder for Parcel Number 12-13-104-007, identified as 8890 Tackels Drive, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 22, 2022.
2. Certificate of survey dated January 22, 2022.
3. Architectural plans.
4. Letter of denial from the Building Official dated February 2, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

RECEIVED

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

JAN 27 2022

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

BUILDING DEPARTMENT

APPLICANT'S NAME: BRAD VAN GORDER PHONE: 248-732-9661

ADDRESS: 8890 Tackles Drive White Lake, MI 48386

APPLICANT'S EMAIL ADDRESS: BVANGORDER@LASALLEINC.COM

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 8890 Tackles Dr PARCEL # 12-13-104-007

CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

-The existing structure already exist from prior approval from Township -> addition is to only fill in void between house & GARAGE -> Addition does not ADD ANY new obstructions to any adjacent property views

-Additional living space Required to support additional family members with more kids & Also our parents having to live with us due to deteriorating health

-Addition will increase homes value along with adjacent property values.

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 01/22/2022

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Main body of handwritten text, consisting of several lines of cursive script.

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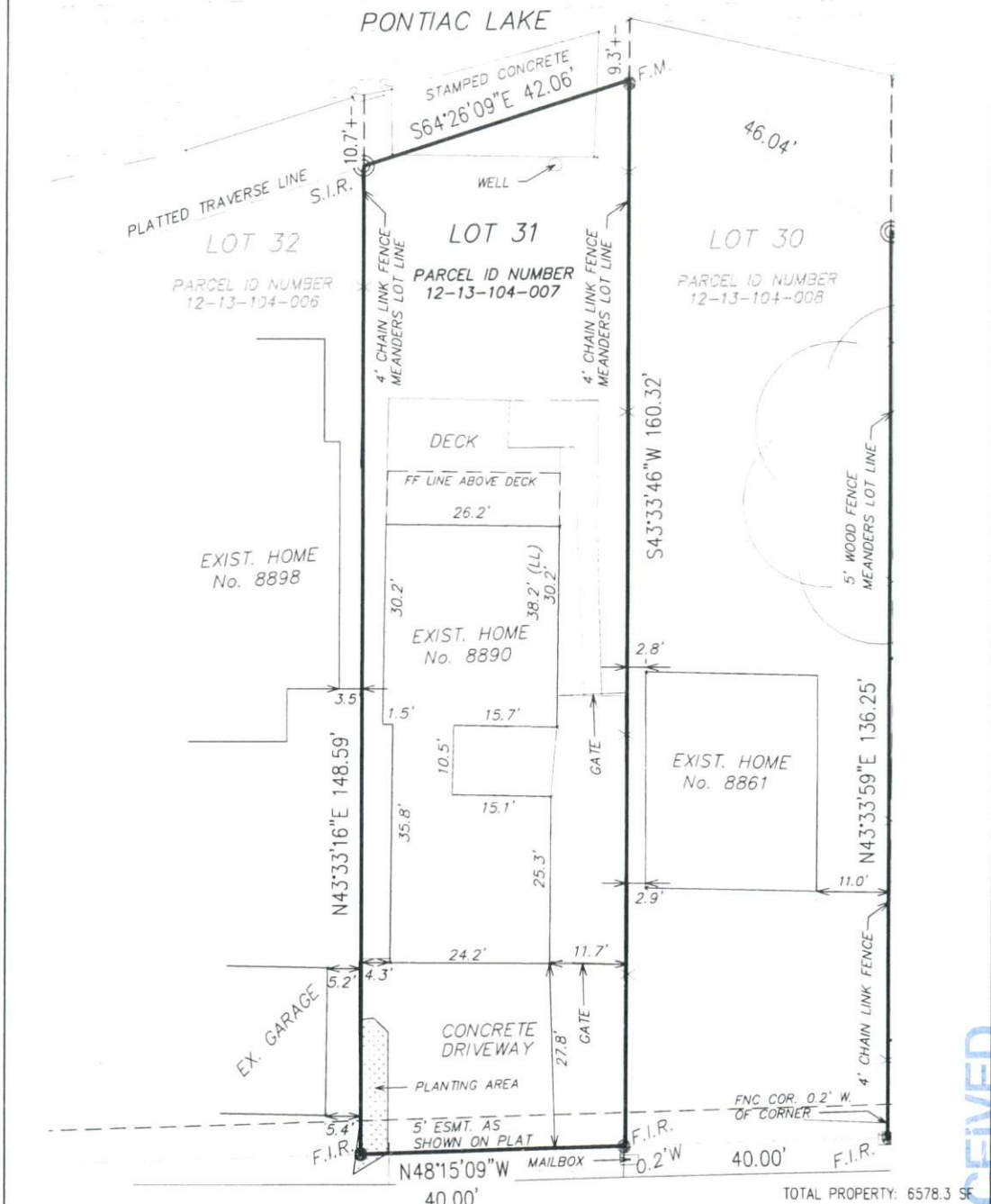
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1/18/2022 8:59 AM

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Piggott, Robert

CERTIFICATE OF SURVEY



BEARINGS ARE ROTATED TO MICHIGAN STATE PLANE COORDINATE SYSTEM

TACKELS DRIVE
30' WIDE

TOTAL PROPERTY: 6578.3 SF
EXIST HSE/GARAGE: 1709.5 SF

LEGEND:
 F.I.R. FOUND IRON ROD
 F.I.P. FOUND IRON PIPE
 S.I.R. SET IRON ROD
 (R) RECORDED
 (M) MEASURED

JOB NO. 20220034	 HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915	555 HULET DRIVE BLOOMFIELD HILLS, MICH. P.O. BOX 824 48303 - 0824	PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 454-6359 WEB SITE: http://www.hrcengr.com	SHEET NO. 1 OF 2
DATE 01/22/2022				

RECEIVED

JAN 27 2022

BUILDING DEPARTMENT

CERTIFICATE OF SURVEY

PROPERTY DESCRIPTION 8890 TACKELS - 12-13-104-007 (AS SHOWN IN COUNTY RECORDS)
LOT 31 OF "TRAILS END SUB", PART OF THE NORTHWEST 1/4 OF SECTION 13, T.3N., R.8E., WHITE
LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 56 OF PLATS, PAGE 3,
OAKLAND COUNTY RECORDS.

SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

1/18/2022 9:00 AM

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Piggott, Robert

RECEIVED

JAN 27 2022

BUILDING
DEPARTMENT

CERTIFICATION

I CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE UNDER MY SUPERVISION OF THE LAND DESCRIBED HEREON
IN COMPLIANCE WITH THE REQUIREMENTS OF PUBLIC ACT 132 OF
1970, AS AMENDED. THE RELATIVE ERROR OF CLOSURE BEING
NOT GREATER THAN 1 PART IN 5000; AND THAT THE ENCROACHMENTS
AFFECTING SAID LAND, IF ANY, ARE LOCATED AS SHOWN HEREON.



STEPHEN R JACOBI, P.S.
PROFESSIONAL SURVEYOR NO. 4001043057



JOB NO. 20220034	 HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915	555 HULET DRIVE BLOOMFIELD HILLS, MICH. 48303 - 0824	P.O. BOX 824 48303 - 0824	SHEET NO.
DATE 01/22/2022		PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 454-6359 WEB SITE: http://www.hrcengr.com		2 OF 2

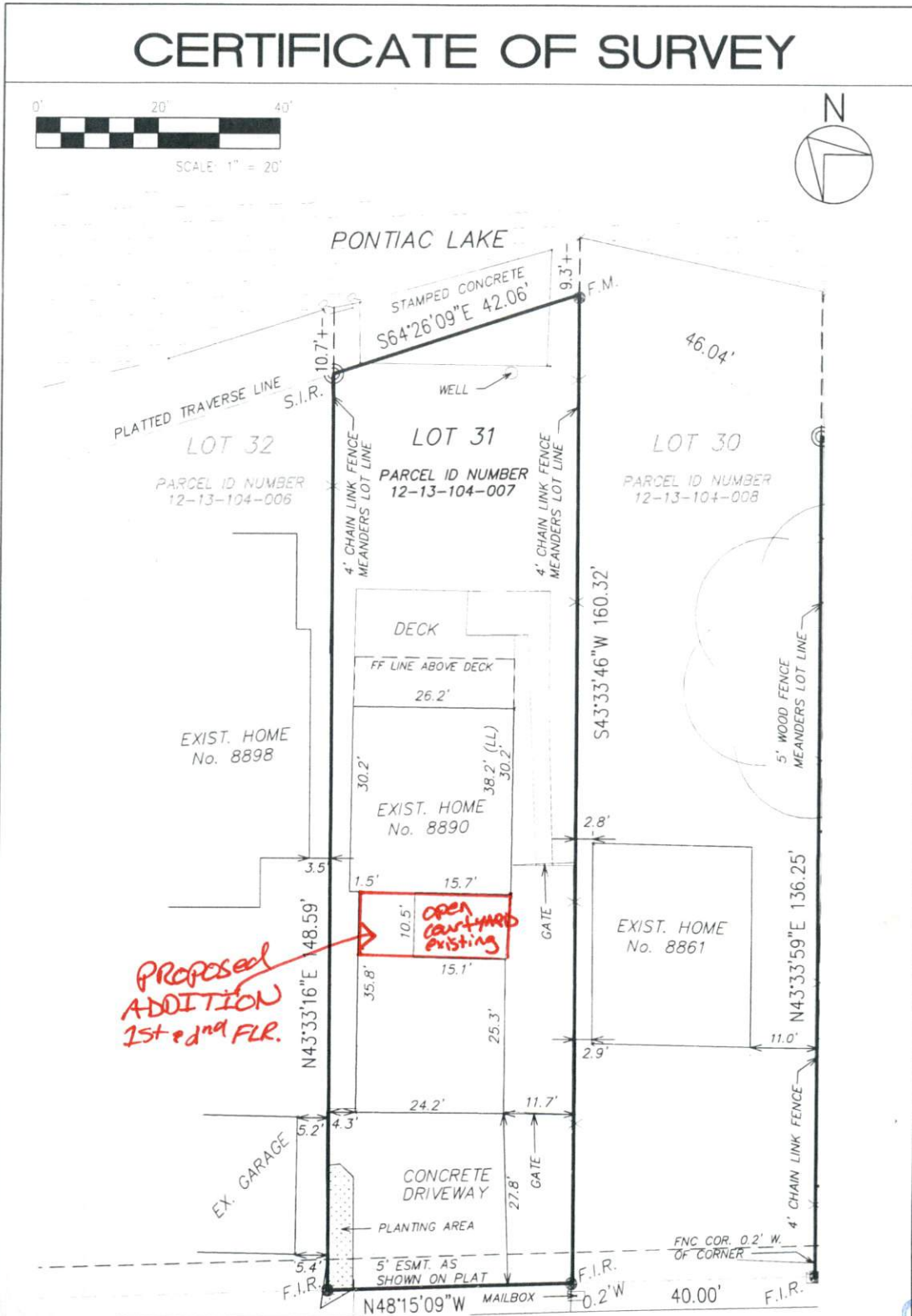
CERTIFICATE OF SURVEY

1/18/2022 8:59 AM



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Piggott, Robert



Proposed ADDITION 1st & 2nd FLR.

Open Courtyard Existing

BEARINGS ARE ROTATED TO MICHIGAN STATE PLANE COORDINATE SYSTEM

TACKELS DRIVE
30' WIDE

TOTAL PROPERTY: 6578.3 SF
EXIST HSE/GARAGE: 1709.5 SF

LEGEND:
F.I.R. FOUND IRON ROD
F.I.P. FOUND IRON PIPE
S.I.R. SET IRON ROD
(R) RECORDED
(M) MEASURED

JOB NO.
20220034
DATE
01/22/2022

HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915

555 HULET DRIVE
BLOOMFIELD HILLS, MICH.
PHONE: (248) 454-8300
FAX (1st. Floor): (248) 454-6312
FAX (2nd. Floor): (248) 454-8359
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)

P.O. BOX 824
48303 - 0824
SHEET NO.
1
OF **2**

RECEIVED

JAN 27 2022

BUILDING DEPARTMENT

CERTIFICATE OF SURVEY

1/18/2022 9:00 AM

PROPERTY DESCRIPTION 8890 TACKELS - 12-13-104-007 (AS SHOWN IN COUNTY RECORDS)
LOT 31 OF "TRAILS END SUB", PART OF THE NORTHWEST 1/4 OF SECTION 13, T.3N., R.8E., WHITE
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SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

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Piggott, Robert

RECEIVED
JAN 27 2022
BUILDING
DEPARTMENT

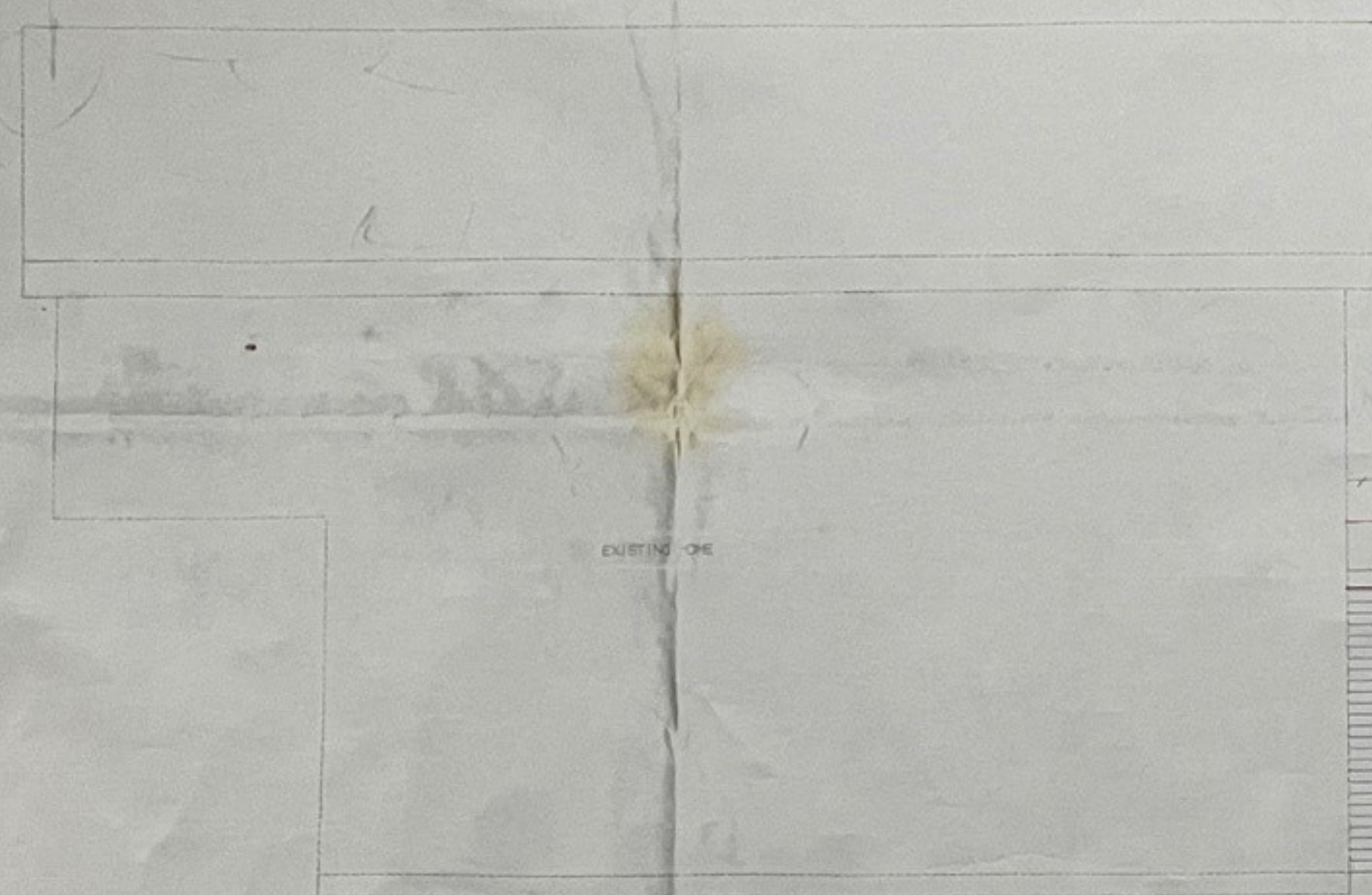
CERTIFICATION

I CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE UNDER MY SUPERVISION OF THE LAND DESCRIBED HEREON
IN COMPLIANCE WITH THE REQUIREMENTS OF PUBLIC ACT 132 OF
1970, AS AMENDED. THE RELATIVE ERROR OF CLOSURE BEING
NOT GREATER THAN 1 PART IN 5000; AND THAT THE ENCROACHMENTS
AFFECTING SAID LAND, IF ANY, ARE LOCATED AS SHOWN HEREON.

STEPHEN R JACOBI, P.S.
PROFESSIONAL SURVEYOR NO. 4001043057



JOB NO. 20220034	 HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915	555 HULET DRIVE BLOOMFIELD HILLS, MICH.	P.O. BOX 824 48303 - 0824	SHEET NO.
DATE 01/22/2022		PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 454-6359 WEB SITE: http://www.hrcenr.com		2 OF 2



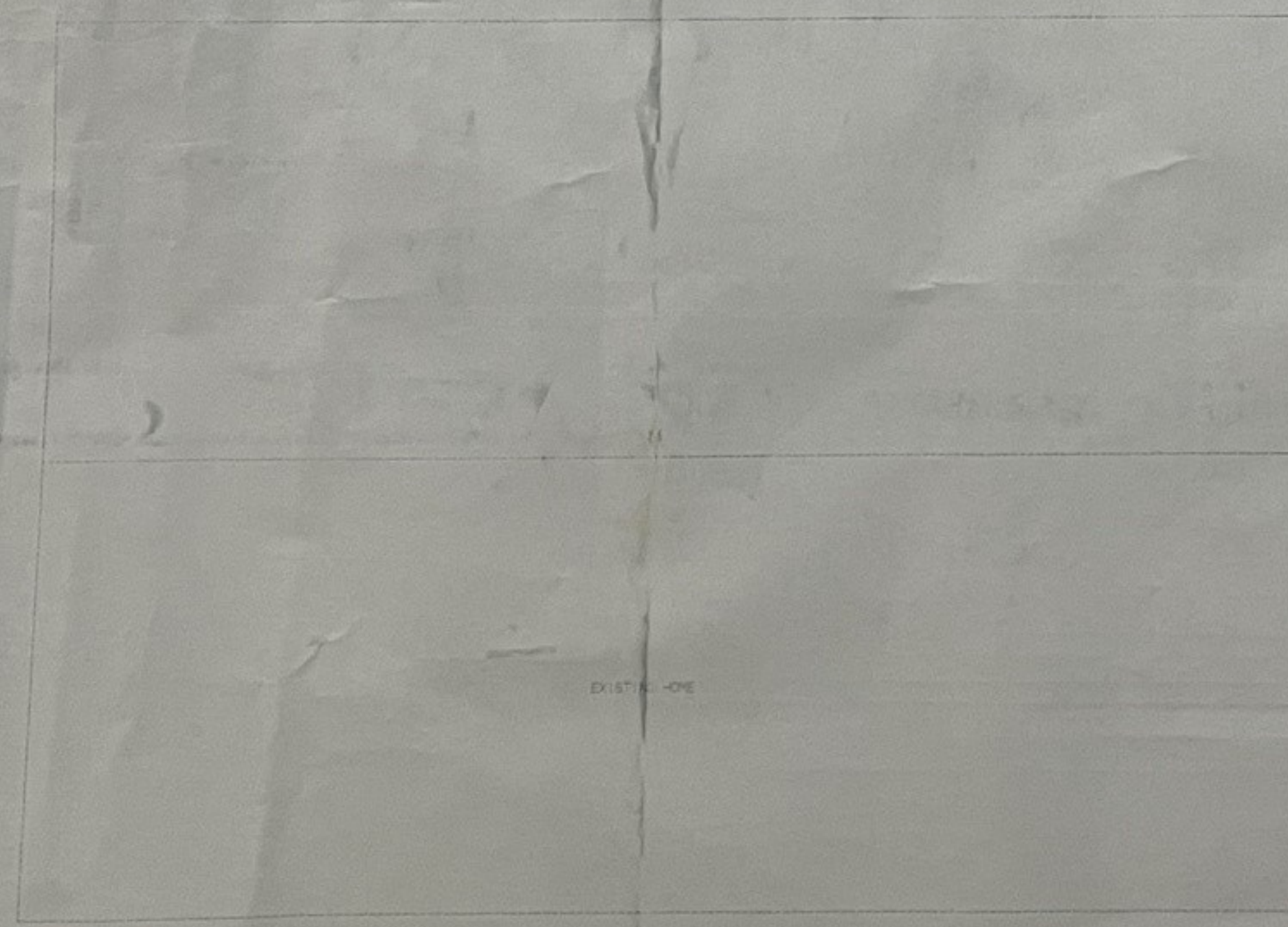
1st Floor
 Addition to existing
 structure to include
 a living area of
 approx. 100 sq. ft.
 located to the east

EXISTING - ONE



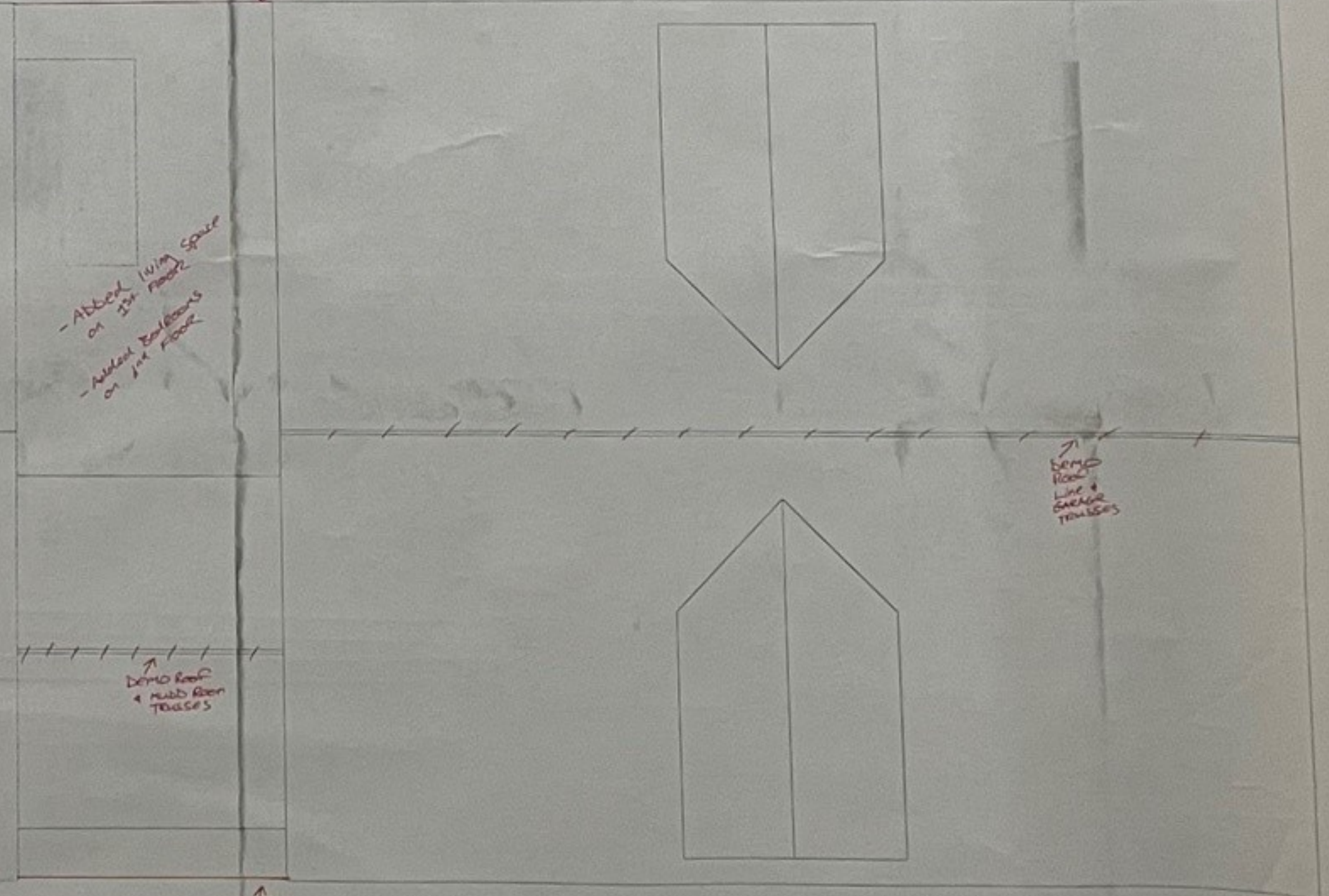
EXISTING - ONE

SIDE ELEVATION



- Add Living space
 on 1st floor
 - Add windows
 on 1st floor

EXISTING - ONE



EXISTING - ONE

PLAN VIEW

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 2, 2022

Bradley VanGorder
8890 Tackles Dr
White Lake, MI 48386

RE: Proposed 1st and 2nd Story Addition

Based on the submitted plans, the proposed residential addition does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum lot width of 80 ft, minimum side yard setback of 10 ft each side and 20 ft total, minimum front yard setback of 30 ft, minimum lot size of 12,000 sq ft, and maximum lot coverage of 20%.

The existing structure and lot are legal non-conforming. The approximate 5,964 sq ft, and 40 ft wide lot contains a residential structure; having a 4.3 ft side yard setback on the west side which would be maintained on the proposed 2nd story. The proposed 1st and 2nd story addition would expand the building footprint to an 11.7 ft setback on the west side, for a total side yard setback of 16 ft. This expansion would also increase the total lot coverage to approximately 34.3%. Additionally, Article 5.3 of the ordinance states that in no instance shall any portion of the proposed structure project closer than 5 ft to either side yard lot line.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. The Zoning Board of Appeals (ZBA) will require certified lot coverage calculations from the engineer. If you have further questions, the Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: February 24, 2022

Agenda item: 7d

Appeal Date: February 24, 2022

Applicant: Rob Higgs

Address: 15486 Surrey
Livonia, MI 48154

Zoning: R1-C Single Family Residential

Location: (1) 3811 Ormond Road
White Lake, MI 48383
(2) Parcel Number 12-07-329-035

Property Description

There are two parcels part of this request, both zoned R1-C (Single Family Residential) and located on White Lake.

North Parcel: 3811 Ormond Road (12-07-329-013) is approximately 0.092-acre (4,007.52 square feet) in size. The property is served by a private well for potable water and a private septic system for sanitation.

South Parcel: Parcel Number 12-07-329-035 is approximately 0.211-acre (9,191.16 square feet) in size.

Applicant's Proposal

Rob Higgs, the applicant, with permission from the property owner's power of attorney, is seeking variances to construct a two-story house with an attached garage.

Planner's Report

Building elevations and floor plans were not provided. The applicant's builder stated the footprint shown on the Grant Ward drawing is the maximum extent of what is being requested, and they will conform their architecture to the footprint if it is approved. The provided plan measures the rear setback of the house to the platted lot line, which extends into White Lake. The setback is measured from the ordinary high-water mark of the lake, which is not shown on the plan. It is also not clear if the provided plan calculated lot coverage to the water or included the water (which the zoning ordinance does not allow). Three different versions of plans were submitted, and the first version of the plan showed approximately 26% lot coverage (calculated by staff – not shown on the plan). The current (third version) of the plan shows 16% lot coverage (this is questionable – see prior information in this paragraph).

As indicated on the provided plan, the proposed house footprint is 2,438 square feet in size (the garage area, and any second story, are not defined.). As proposed, the house at its closest point would be located 13.7 feet from the front lot line, requiring a variance of 21.3 feet from the required 35-foot front yard setback. A variance to address the lot area nonconformity is also requested. According to the survey, the combined parcels would contain 0.343-acre (14,941.08 square feet) in area. It appears the provided plan may have included lake area as net lot area, which the zoning ordinance does not allow. The plan shows 16% proposed lot coverage. With the information provided, staff cannot confirm the lot coverage.

While rear yard setback and lot coverage variances were published as a request (based on an initial plan submitted), the latest plan indicates such variances are not needed.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.5.E	Front yard setback	35 feet	13.7 feet	21.3 feet
2	Article 3.1.5.E	Minimum lot area	16,000 square feet	2,800 square feet?	13,200 square feet?

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Rob Higgs from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 in order to construct a new house that would encroach 21.3 feet into the required front yard setback. A 2,800 square foot variance from the required lot area is also granted from Article 3.1.5.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- Prior to issuance of a building permit, a demolition permit shall be obtained from the Township to remove the existing buildings and structures from the subject parcels.
- No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.
- The subject parcels shall be combined prior to issuance of a building permit.
- A revised plot plan shall be submitted to meet requirements of the Building Official.

Denial: I move to deny the variances requested by Rob Higgs for Parcel Number 12-07-329-01, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 due to the following reason(s):

Table: I move to table the variance requests of Rob Higgs for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 to consider comments stated during this public hearing.

Attachments:

1. Variance application dated January 26, 2022.
2. Site plan dated February 4, 2022.
3. Letter of denial from the Building Official dated February 3, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Rob Higgs PHONE: 734 657-9467

ADDRESS: 15486 Surrey Livonia MI

APPLICANT'S EMAIL ADDRESS: Robert.HiggsSR@yahoo.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: Purchaser

ADDRESS OF AFFECTED PROPERTY: 3811 armand PARCEL # 12 - 07-329-013
+035

CURRENT ZONING: _____ PARCEL SIZE: _____

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Front + Rear Setbacks

VALUE OF IMPROVEMENT: \$ 400,000 SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONAL SHEETS MAY BE ATTACHED)

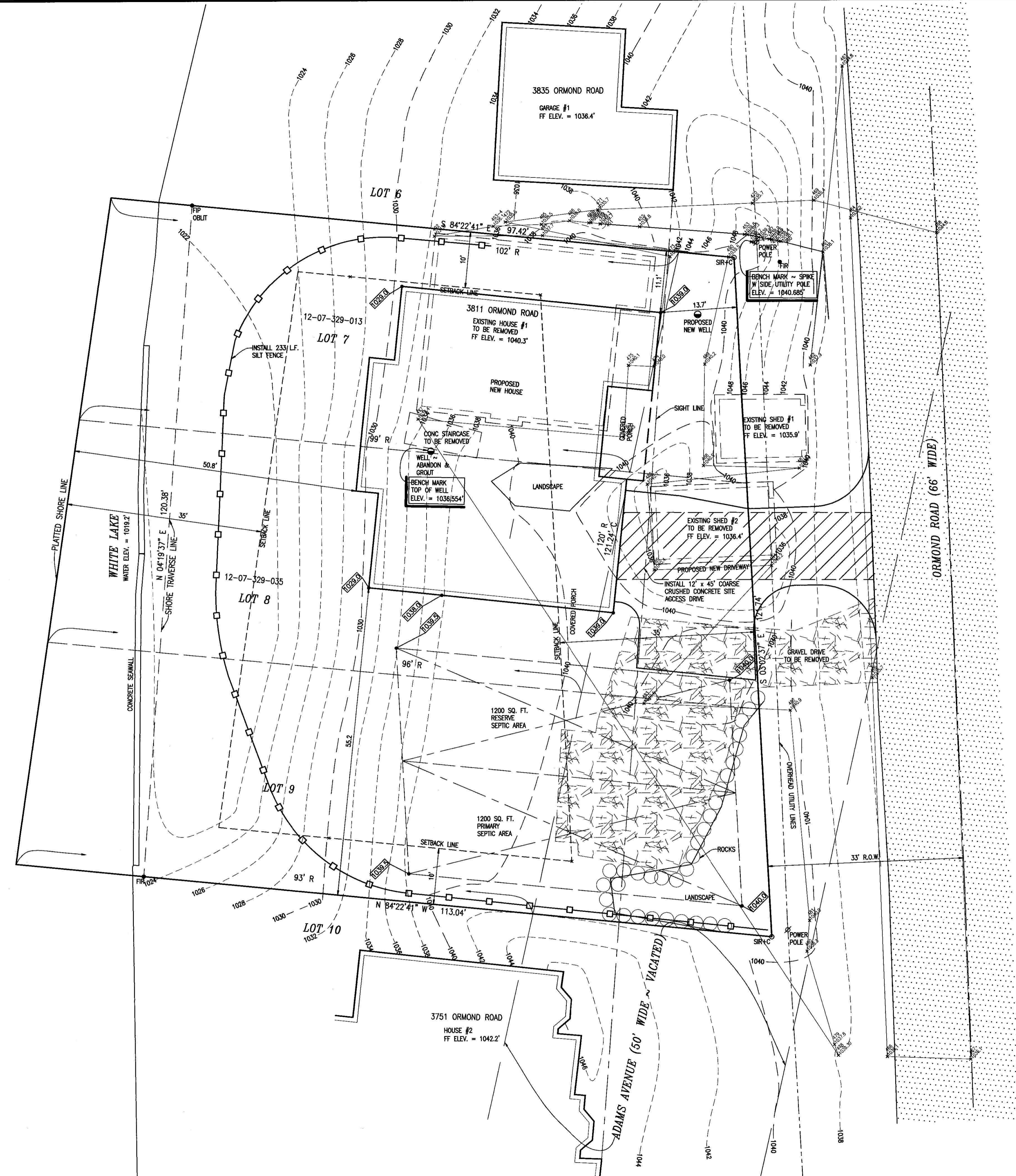
Lake lot difficulties and easements
requesting Front + Rear variances to build
New home and improve the look of the lots

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

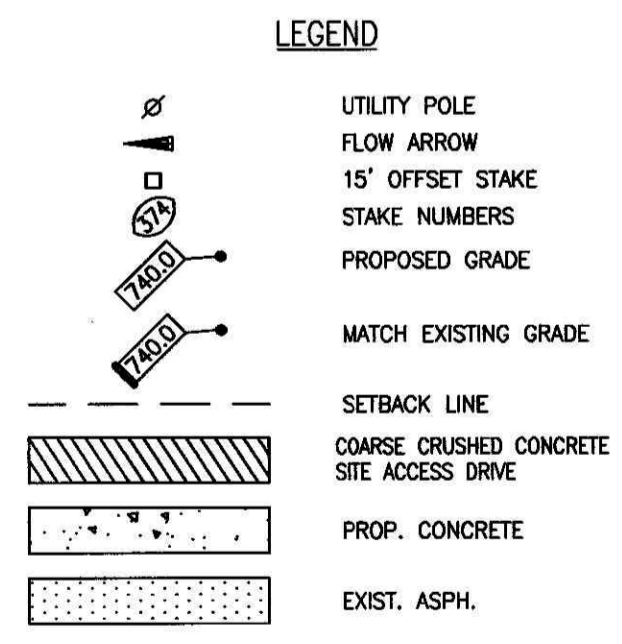
APPLICANT'S SIGNATURE: Robert Higgs DATE: 1/26/20

10

- SOIL EROSION CONTROL AND MAINTENANCE NOTES:
1. ALL EROSION AND SEDIMENT CONTROL PROCEDURES SHALL CONFORM TO OAKLAND COUNTY'S DESIGN CRITERIA AND IMPLEMENTATION PROCEDURES FOR EROSION AND SEDIMENTATION CONTROL.
 2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
 3. EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS, WETLANDS OR WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
 4. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
 5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL AS FOLLOWS: SILT FENCE DIVERSION BARRIER WITH STONE OUTLET FILTERS AS HEREON SHOWN AND INSTALL CATCH BASIN/INLET FILTERS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT CONTROL MEASURES, SUCH AS DITCHES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.
 6. ALL DIRT TRACKED ONTO EXISTING PUBLIC ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- SEQUENCE OF OPERATIONS FOR SOIL EROSION CONTROL:
1. PROVIDE PERIMETER SEDIMENTATION CONTROLS, AS SPECIFIED IN THE SEQUENCE OF OPERATIONS, AT LOCATIONS AS ILLUSTRATED ON THESE DRAWINGS.
 2. INSTALL GEOTEXTILE SEDIMENT CONTROL FENCE WITH THE TAIL ANCHORED IN A 6" DEEP TRENCH. INSTALL ACCESS DRIVE CONSISTING OF 6" DEEP COARSE CRUSHED CONCRETE ON GEOTEXTILE FABRIC AS ILLUSTRATED.
 3. IF THE PROPOSED PERIMETER PROTECTION CANNOT BE PROPERLY MAINTAINED, OR PROVES TO BE INSUFFICIENT, THEN ADDITIONAL PERIMETER SEDIMENTATION CONTROLS SUCH AS GEOTEXTILE SILT FENCE AND BERMS SHALL BE REQUIRED.
 4. CLEAR, GRUB, STRIP AND STOCKPILE TOPSOIL.
 5. GRADE THE SITE, IMMEDIATELY ESTABLISH VEGETATION ON ALL DITCHES AND SWALES. OR, INSTALL TEMPORARY STABILIZATION DURING THE NON-GROWING SEASON FOR ALL AREAS TO BE SEED OR SOILED. NOTE: ALL AREAS TEMPORARILY STABILIZED DURING THE NON-GROWING SEASON SHALL BE PERMANENTLY STABILIZED IMMEDIATELY (WITHIN 6 DAYS) FOLLOWING THE COMMENCEMENT OF THE NEXT PLANTING SEASON. DORMANT SEEDING IS ALSO RECOMMENDED FOR EARLY SPRING GROWTH.
 6. STABILIZE ALL DISTURBED AREAS THAT EXCEED A SLOPE OF 1 ON 4 WITH EXCESSION BLANKET OR APPROVED SOIL EROSION CONTROL MATS.
 7. BEGIN BUILDING CONSTRUCTION, PROPOSED FOR SPRING OF 2022.
 8. INSTALL DRY WELLS, PERFORATED TILE AND RP-RAP. WRAP RIMS WITH GEOTEXTILE FABRIC AND COVER WITH PEA STONE FILTERS.
 9. INSTALL ALL PUBLIC UTILITIES: GAS, ELECTRIC, TELEPHONE ETC.
 10. INSTALL PAVEMENT, REPAIR AND/OR REPLACE STONE INLET AND OUTLET FILTERS AS REQUIRED.
 11. FINISH GRADE, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPE ALL DISTURBED AREAS NOT BUILT UPON OR PAVED. ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE SEED WITHIN 5 DAYS OF FINAL GRADING.
 12. CLEAN PAVEMENTS, WALKS, SWALES, DITCHES, CULVERTS, WATERWAYS, STORM SEWERS, RETENTION AND/OR DETENTION BASINS, LAKES, STREAMS AND WETLANDS OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY IN DISTURBED AREAS.
 13. COMPLETE BUILDING CONSTRUCTION, COMPLETION PROPOSED FOR FALL OF 2022.
- EROSION CONTROL MAINTENANCE MEASURES
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN IN PROPER WORKING ORDER ALL OF THE SOIL EROSION CONTROL STRUCTURES AND MATERIALS AS DETAILED ON THESE PLANS. INSPECTION AND EVALUATION OF SOIL EROSION CONTROL MEASURES SHALL BE PERFORMED AT LEAST DAILY AS WELL AS DURING AND IMMEDIATELY FOLLOWING RAIN OR THAWING. MAINTENANCE SHALL BE PERFORMED AND MODIFICATIONS IN MATERIALS AND METHODS MADE AS REQUIRED TO PREVENT ANY EROSION OF SOILS OR MIGRATION OF SILTS FROM THIS SITE.
- NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) PERMIT REQUIREMENTS REQUIRE WEEKLY INSPECTIONS BY A CERTIFIED STORM WATER MANAGEMENT OPERATOR AS WELL AS INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR MODIFICATIONS AND MAINTENANCE WHICH SHALL BE CARRIED OUT BY THE CONTRACTOR WITHOUT DELAY.
1. THE CONTRACTOR SHALL MAINTAIN, ENLARGE AND REPAIR THE COARSE CRUSHED CONCRETE CONSTRUCTION ACCESS DRIVE AS NECESSARY. COARSE CRUSHED CONCRETE IS TO BE ADDED OR REPLACED WHEN FILLED WITH SEDIMENT, IT PONDS WATER OR IS RUTTED. DRIVERS SHALL BE INSTRUCTED TO CLEAN TIRES, TAILGATES AND HITCHES TO PREVENT MUD, DIRT AND GRAVEL FROM BEING TRANSPORTED OFF SITE.
 2. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ALL DIRT TRACKED ONTO OFFSITE PAVEMENT AND ROADWAYS.
 3. THE CONTRACTOR SHALL CLEAN THE SILT FROM THE PEA STONE OUTLET FILTERS AND INLET FILTERS AS NECESSARY.
 4. THE CONTRACTOR SHALL REPAIR, REPLACE, RETRENCH, REBACKFILL OR EXPECT FALLEN DOWN, UNDERMINED OR OVERRUN SILT FENCE AS REQUIRED TO MAINTAIN ITS EFFECTIVENESS TO CONTAIN OR DIRECT STORM WATER TO THE PEA STONE FILTERS.
 5. THE CONTRACTOR SHALL CLEAN AND REPLACE THE STONE IN THE INLET FILTERS AND REPLACE TORN OR DAMAGED FILTER FABRIC AS REQUIRED.
 6. THE CONTRACTOR SHALL REPAIR ERODED OR DAMAGED SLOPES. THE DAMAGED AREA OF THE SLOPES SHALL BE STABILIZED WITH STONE AND/OR TOPSOIL, SEED AND MULCH OR EROSION CONTROL BLANKETS WITH A THIN COVER OF MULCH.
 7. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES AND MATERIALS WHEN THEY ARE NO LONGER NEEDED AND/OR VEGETATION IS VIGOROUSLY ESTABLISHED OVER UNPAVED AREAS. TOPSOIL, SEED, MULCH AND EROSION CONTROL BLANKETS SHALL BE PLACED OR INSTALLED AS REQUIRED IN AREAS EXPOSED BY THE REMOVAL OF SILT FENCE AND STONE OUTLET FILTERS WHEN THEY ARE NO LONGER NEEDED.

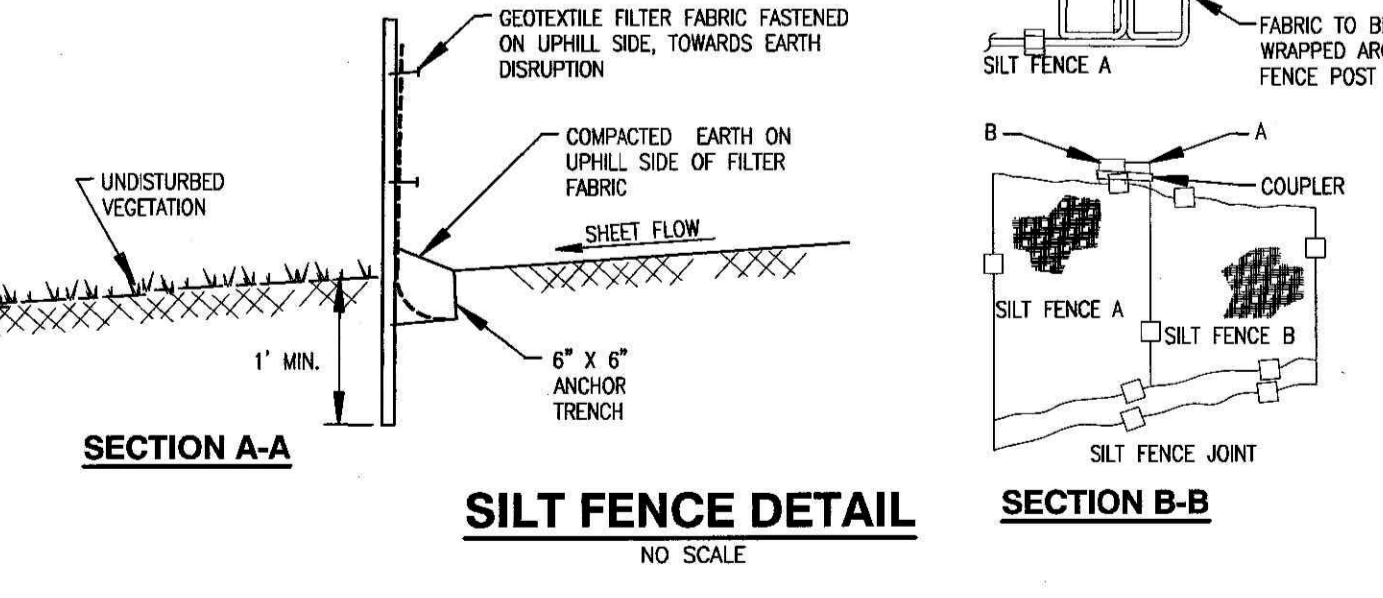
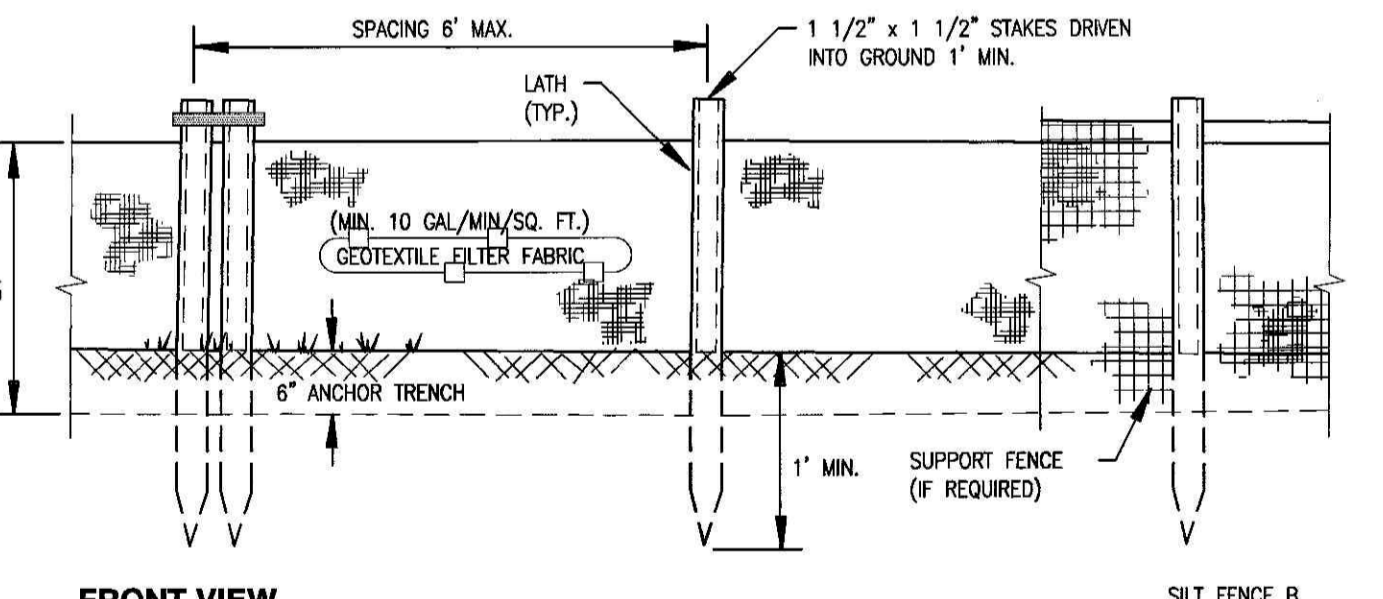
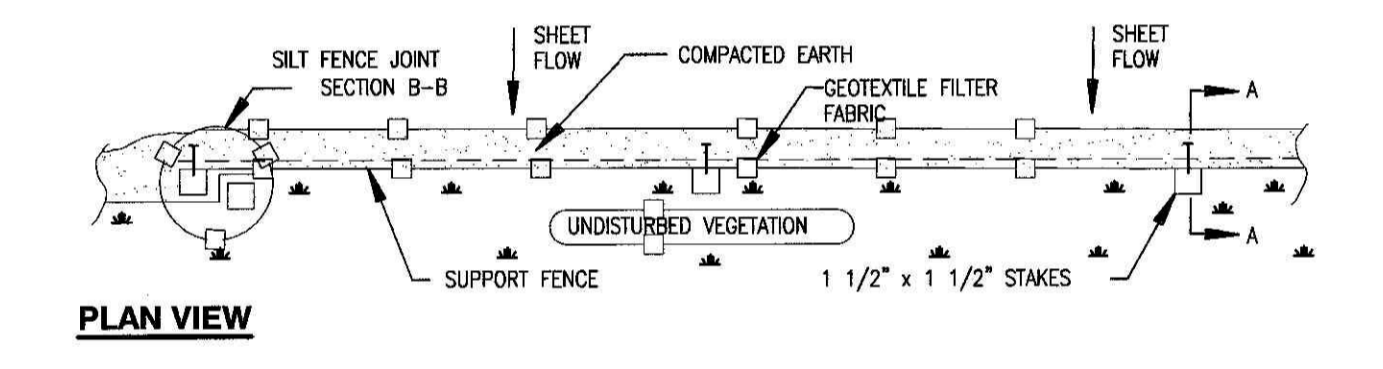


LOT AREA = 0.343 ACRES
 HOUSE = 2438 SQ. FT. = 0.056 ACRES
 LOT COVERAGE = 16%



ZONING R1C
 SINGLE FAMILY
 RESIDENTIAL

(SETBACKS)
 FRONT - 35'
 SIDES - 10'
 REAR - 35'



72 HOURS
 (3 WORKING DAYS)
BEFORE YOU DIG
 CALL MISS DIG
 DIAL 811
 (TOLL FREE)

FIELD BOOK: _____ PAGE: _____
 DRAWING FILE: 211201-10.dwg
 DATA FILE: 211201P
 DESC. FILE: 211201

GRANT J. WARD
 REGISTERED LAND SURVEYOR
 LICENSE NO. 22445

SITE PLAN
 "PLEASANT VIEW SUBDIVISION", L.22, P.9, LOTS 7, 8 & 9,
 T.3N., R.8E., OAKLAND COUNTY, SECTION 7,
 P.I. #12-07-329-013 & 035,
 3811 ORMOND ROAD, WHITE LAKE, MICHIGAN 48383.

For **GILES REMODELING, LLC**
 672 N. MILFORD ROAD, SUITE 152,
 HIGHLAND, MICHIGAN 48357
 andrew@gilescontractingllc.com (248) 568-4318

DATE
 FEBRUARY 4, 2022
 JANUARY 27, 2022

SHEET 1 OF 1
 SCALE: 1" = 10'

JOB NO.: 21-1201-10

GRANT WARD SURVEYORS
 REGISTERED LAND SURVEYORS
 655 BROADWAY - P.O. BOX 440
 DAVENPORT, MICHIGAN 48350
 PHONE: (248) 634-0700
 EMAIL: GWS@TRM.COM

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

February 3, 2022

Andrea Poquette
3811 Ormond Rd
White Lake, MI 48383

RE: Proposed Residential Structure at 3811 Ormond and Property 12-07-329-035

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 35 ft, minimum rear yard setback of 35 ft, minimum lot area of 16,000 sq ft, and maximum lot coverage of 20%.

Article 3.11 (T) of the White Lake Township Clear Zoning Ordinance: The minimum side yard setback for a side entry garage shall be 25'

The proposed newly combined lot would be non-conforming with an area of 13,200 sq ft. The proposed residential structure would have a rear yard setback of 28 ft from the established water's edge on the west side and front yard setback of 24 ft on the east side. The lot coverage would be approximately 26%. Furthermore, the structure would have a side entry garage with a side yard setback of 14.3 ft of a required minimum 25 ft.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. The Zoning Board of Appeals (ZBA) will require certified lot coverage calculations from the engineer as well as the rear setback to be dimensioned from the nearest water's edge. If the variances are approved, the lot combination would be required to be completed before submittal of the Building Permit Application to the Building Department. If you have further questions, the Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township