



## PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MI 48383  
THURSDAY, MARCH 06, 2025 – 6:30 PM

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*White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com*

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## AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
  - A. [January 16, 2025](#)
6. CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)
7. PUBLIC HEARING
  - A. [Zoning Ordinance Amendment - Article 5.0 Site Standards](#)
8. NEW BUSINESS
  - A. [PA116 Farmland and Open Space Preservation](#)
  - B. [Elizabeth Trace](#)  
[Identified as parcel number 12-26-204-038, located on the south side of Elizabeth Lake Road, east of Union Lake Road, consisting of 10.28 acres.](#)  
[Request: Amended preliminary and final site plan approvals](#)  
[Applicant: PH Homes](#)
9. CONTINUING BUSINESS
10. OTHER BUSINESS
  - A. [Conceptual review/discussion - Bogie Lake Road & Cedar Island Road](#)
11. LIAISON'S REPORT
12. DIRECTOR'S REPORT
13. NEXT MEETING DATE: March 20, 2025 & April 3, 2025
14. ADJOURNMENT

**Procedures for accommodations for persons with disabilities:** The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

**WHITE LAKE TOWNSHIP  
PLANNING COMMISSION  
JANUARY 16, 2025**

**CALL TO ORDER**

Chairperson Seward called the meeting to order at 6:30 P.M. He then led the Pledge of Allegiance.

**ROLL CALL**

**Present:**

T. Joseph Seward, Chairperson  
Merrie Carlock, Vice Chairperson  
Mona Sevic  
Robert Seeley  
Debby Dehart (late arrival)

**Absent:**

Scott Ruggles, Township Board Liaison  
Pete Meagher

**Others:**

Sean O'Neil, Community Development Director  
Matteo Passalacqua, Carlisle and Wortman  
Kyle Gall, DLZ  
Hannah Kennedy-Galley, Recording Secretary

**APPROVAL OF THE AGENDA**

**MOTION by Commissioner Seeley, seconded by Commissioner Carlock to approve the agenda as presented. The motion carried with a voice vote: (4 yes votes).**

**APPROVAL OF MINUTES**

A. December 5, 2024

**MOTION by Commissioner Carlock, seconded by Commissioner Seeley to approve the minutes as presented. The motion carried with a voice vote: (4 yes votes).**

**CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)**

None.

**PUBLIC HEARING**

**A. Caron Ridge Drive Rezoning**

Location: Property identified as Parcel Number 12-08-300-062 (4001 Caron Ridge Drive), located south of Jackson Boulevard, between Ormond Road and McKeachie Road, consisting of approximately 40.95 acres.

Request: **Applicant requests to rezone the property from R1-A (Single Family Residential) to SF (Suburban Farm) or any other appropriate zoning district.**

Director O'Neil summarized Staff Planner Littman's review.

Commissioner Carlock asked staff if the house on the property was accessed from Caron Ridge Drive. Director O'Neil confirmed; Caron Ridge Drive is stubbed off Marie Meadows Drive.

Jeremy Latozas, 4001 Caron Ridge, stated he would use the proposed pole barn to store vehicles for personal use.

Chairperson Seward opened the public hearing at 6:39 P.M.

Cody Anderson, 2980 Steeple Hill, wanted to keep the subject property undeveloped and was in favor of the applicant's proposal.

David Brown, 3551 Marie Meadows Drive, had no objections to the applicant's request.

Brandon Chambers, 3049 Steeple Hill Road, looked forward to the property staying in its current state.

James Allen, 3701 Apple Grove, favored the applicant's request.

Chairperson Seward closed the public hearing at 6:42 P.M.

Member Dehart stated that the applicant came before the ZBA, and the surrounding properties are zoned Suburban Farm. It made sense to her to rezone the property and build on it in compliance with the Suburban Farm zoning district.

**MOTION by Commission Seeley, seconded by Commissioner Sevic to recommend the Township board rezone the property identified as Parcel Number 12-08-300-062 (4001 Caron Ridge Drive) from R1-A Single Family Residential to Suburban Farm. The motion carried with a voice vote: (5 yes votes).**

**CONTINUING BUSINESS**

None.

**NEW BUSINESS**

**A. 9101 Highland Development**

Location: Property described as 9101 Highland Road, identified as parcel number 12-23-227-003, located south of Highland Road, west of Sunnybeach Boulevard, consisting of approximately 5.02 acres.

Request: **Revised preliminary site plan approval recommendation**

Mr. Passalacqua summarized his review memo.

Mr. Gall reviewed the DLZ letter.

Erin McMachen, Stonefield Engineering & Design, was present. She stated that the plans have been changed based on the comments at the last Planning Commission meeting. The fence line will be placed

on the 20' residential setback. There will be zero light spillover on the residential properties, and a good portion of the site will remain green space.

Commissioner Carlock asked if there would be a long-term maintenance plan for the landscaping plan. Director O'Neil said if the neighbors decide to move the fence between now and the final site plan, it could be discussed at that time. Ms. McMachen said she is welcome to receive feedback from the neighbors regarding fence material and location.

**MOTION by Commissioner Dehart, seconded by Commissioner Seeley, to recommend the Township Board approve the revised preliminary site plan for 9101 Highland Development, identified as parcel number 12-23-227-003, subject to consideration of landscaping and fencing comments, and subject to staff and consultant comments. The motion carried with a voice vote: (5 yes votes).**

**B. Panera**

Location: Located on the north side of Highland Road (M-59) and west of Bogie Lake Road and identified as parcel number 12-20-276-035. The project area on the parcel consists of approximately 1.63 acres. Currently zoned PB (Planned Business District).

Requests: **1) Final site plan approval**

**2) Planned development agreement approval recommendation**

Director O'Neil stated that Panera received preliminary site plan approval a year and a half ago. During that time, the plans have been revised slightly. The building was revised from a two-unit building to a four-unit building. He felt it made sense to move forward with the final site plan at this time due to the site remaining largely the same.

Mr. Gall summarized the DLZ letter. He added that the driveway alignment with Culver's has been moved to the east and it was recommended to align Panera's driveway location better with the Culver's driveway. The driveway realignment can be worked on before final engineering approval.

Mr. Passalacqua reviewed his letter. The building size was increased slightly. A landscaping waiver would be needed; however, the waiver could be eliminated by planting landscaping around the dumpster enclosure.

Mitchell Harvey, Stonefield Engineering, was present. He stated the previous preliminary site plan was similar to the plan shown tonight. The challenge with the site is the existing topography, especially the grade changes. The driveway was shifted further east to avoid the retaining wall and major fill to the site. The shift allowed a reduction in the retaining walls. Culver's has agreed to the cross-access easement. The sidewalk will be tied into the ring road to connect to further east and west developments. 46 new trees and 286 shrubs will be added across the site. The existing mature trees on the site will remain, and the brush and bushes will be removed. Additional trees will be supplemented to maintain the green strip along Highland Road. The façade will be largely masonry and glazed windows on the south side of the building, The orientation of the building has remained unchanged, Panera and the other tenants will face south. The signage will be visible along Highland Road. He wanted to maintain the

façade facing the same way as the property to the east. He said he was working with the Fire Marshal on the 20' drive aisle to the east.

**MOTION by Commissioner Seeley, seconded by Commissioner Sevic, to approve the final site plan for White Lake Retail Management II, identified as parcel number 12-20-276-035, subject to enhanced landscaping instead of spanning glass windows, and subject to addressing the remaining comments from staff and consultants, and giving staff the authority to approve recommended changes. The motion carried with a voice vote: (5 yes votes)**

**MOTION by Commissioner Seeley, seconded by Commissioner Carlock, to recommend the Township Board approve the PBD for White Lake Retail Management II, identified as parcel number 12-20-276-035, subject to resolution of all of the outstanding PBD comments. The motion carried with a voice vote: (5 yes votes).**

**OTHER BUSINESS**

- A. Bryan Ede - Conceptual Presentation

Bryan Ede was present and shared his presentation with the Planning Commission.

- B. Election of Officers and Selection of Liaisons

**MOTION by Chairperson Seward, seconded by Commissioner Seeley to appoint Merrie Carlock to chair the Planning Commission. The motion carried with a voice vote : (5 yes votes)**

**MOTION by Commissioner Seward, seconded by Commissioner Sevic to appoint Robert Seeley as vice chair of the Planning Commission. The motion carried with a voice vote: (5 yes votes)**

**MOTION by Commission Seward, seconded by Commissioner Seeley to appoint Debby Dehart as secretary. The motion carried with a voice vote: (5 yes votes).**

**MOTION by Commissioner Seward, seconded by Commissioner Seward to maintain the liaisons as Merrie Carlock and Debby Dehart for Parks and Recreation and ZBA respectively. The motion carried with a voice vote: (5 yes votes).**

**LIAISON'S REPORT**

The bids were opened for the Stanley Park Phase 1 construction. There were five bidders. The two lowest bidders were Cortis Brothers and Eagle Excavating. Post-bid interviews will be conducted next week. Scott Rolando was appointed to the Parks and Recreation Committee. The Committee was looking at new grant projects. Hess Hathaway Park had to eliminate all their birds due to bird flu.

The ZBA will meet next week. Five cases are on the agenda.

**DIRECTOR'S REPORT**

WHITE LAKE TOWNSHIP  
PLANNING COMMISSION  
JANUARY 16, 2025

The Board met on Monday to pass resolutions to move forward and redo the bond process for the Civic Center. The damaged light on Elizabeth Lake Road will be replaced. The foundations are being poured at the Public Safety site. The work is resuming at the Civic Center site.

**NEXT MEETING DATE: February 20, 2025**

**ADJOURNMENT**

**MOTION by Commissioner Dehart, seconded by Commissioner Sevic, to adjourn at 8:45 P.M. The motion carried with a voice vote (5 yes votes).**

DRAFT

**WHITE LAKE TOWNSHIP**  
***COMMUNITY DEVELOPMENT DEPARTMENT***

**DATE:** February 27, 2025  
**TO:** Merrie Carlock, Chairperson  
Planning Commission  
**FROM:** Sean O'Neil, Community Development Director  
**SUBJECT:** Amendments to Zoning Ordinance No. 58

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Please find attached the recommended amendments to Zoning Ordinance No. 58. The amendments pertain only to Article 5.7 of the ordinance, which pertains to accessory structures. These amendments are being driven by the desire of several landowners to build taller accessory structures. The proposed changes are minor in nature.

In addition to the notice of public hearing, I have included a “red lined” version of the proposed amendments. I look forward to reviewing and discussing these ordinance amendments with you on March 6<sup>th</sup>, prior to holding a public hearing. If you have any questions, or require additional information, please do not hesitate to contact the office.

Thank you.

**CHARTER TOWNSHIP OF WHITE LAKE  
COUNTY OF OAKLAND  
AMENDMENT 58-24A TO ZONING ORDINANCE**

**AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE  
CHARTER TOWNSHIP OF WHITE LAKE BY AMENDING ARTICLE  
5.0 SITE STANDARDS, ONLY AS PROVIDED FOR HEREIN.**

**NOW HEREBY** the Charter Township of White Lake ordains the following amendments to the White Lake Charter Township Zoning Ordinance:

**PART 1: Amend Article 5.0, Site Standards, Section 5.7, Accessory Buildings or Structures in Residential Districts, Subsection 5.7.B, to strike and replace the regulation as shown below:**

~~Accessory buildings or structures shall have a minimum setback of five (5) feet from the rear lot lines and five (5) feet from the side lot lines, except as modified by Section 5.7.A of this Ordinance.~~

Accessory buildings or structures in all R1 residential zoning districts shall have a minimum setback of five (5) feet from the rear lot line and five (5) feet from the side lot lines to any portion of the structure including overhangs or gutters, except as modified by Section 5.7.A of this Ordinance. Accessory buildings or structures in Suburban Farm (SF) and Agricultural (AG) zoning districts with wall heights exceeding fourteen (14) feet and/or building height exceeding eighteen (18) feet shall have a minimum setback of ten (10) feet from the rear lot line and ten (10) feet from the side lot lines.

**PART 2: Amend Article 5.0, Site Standards, Section 5.7, Accessory Buildings or Structures in Residential Districts, Subsection 5.7.C, to strike and replace the regulation as shown below:**

~~Accessory building or structure walls in all shall not exceed fourteen (14) feet in height and the building height shall not exceed eighteen (18) feet. The accessory building or structure may occupy not more than twenty five (25) percent of a required rear yard and/or forty (40) percent of any non required rear yard. With the exception of the Suburban Farm (SF) and Agricultural (AG) zoning districts, in no instance shall the sum total of the ground floor areas of all accessory buildings or structures on a single lot exceed 125% of the ground floor area of the principal building or structure, excluding attached garages. No single accessory building or structure may exceed 4,000 square feet of ground floor area, with the exception of those located in the (SF) or (AG) districts, and where the parcel size is a minimum of five (5) acres.~~

Accessory building or structure walls in all residential districts, with the exception of Suburban Farm (SF) and Agricultural (AG), shall not exceed fourteen (14) feet in height and the building height shall not exceed eighteen (18) feet. Accessory buildings or structures in (SF) and (AG) shall be permitted to have structure walls not to exceed sixteen (16) feet in height, and the building height shall not exceed twenty (20) feet, provided the lot is a minimum of two (2) acres in size. The accessory building or structure may occupy not more than twenty-five (25) percent of a





**NOTICE OF PUBLIC HEARING  
CHARTER TOWNSHIP OF WHITE LAKE**

Notice is hereby given that the Charter Township of White Lake Planning Commission will hold a public hearing on Thursday, March 6, 2025 at 6:30 P.M., or shortly thereafter, at the White Lake Township Annex, 7527 Highland Road, White Lake, MI 48383. The purpose of the hearing is to receive public comments on amendments to several sections of the Charter Township of White Lake Zoning Ordinance 58. The Sections proposed for amendment, and brief summary, are as follows:

**Article 5.0 (Site Standards)** – Amend and/or create the following Section of Article 5.0 and to revise the standards and requirements:

Section 5.7 – Accessory Buildings or Structures in Residential Districts

A complete copy of the proposed amendments may be examined at the White Lake Township Community Development Department, 7525 Highland Road, White Lake, MI, 48383, prior to the public hearing during the Township’s regular business hours; Monday through Friday, 8:00 a.m. through 5:00 p.m. (excluding holidays). The above amendments can also be reviewed on our website at [www.whitelaketwp.com](http://www.whitelaketwp.com). Written comments may be sent to the Planning Commission at the above address prior to the hearing. Oral comments will be taken during the public hearing. Please contact the Community Development Department at (248) 698-3300 ext. 163 with any questions. Persons with disabilities who will need special accommodations the night of the meeting may contact the Clerk’s Office at least 5 days before the hearing.

Sean O’Neil, AICP  
Community Development Director

**Assessing Department**

# Memo

To: White Lake Planning Commission  
From: Dave Hieber, Assessor  
Date: February 26, 2025  
Re: PA 116 Application Parcel 12- 07-400-019

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The owner of the above referenced property has filed the attached application for the Farmland Open Space Preservation Program (PA 116). The township has 45 days to approve or reject the application. The approval process requires The Oakland Conservation District to review and provide their opinion and comments for approval. The application was forwarded to Oakland Conservation and is in process for their review. Once approved by Oakland Conservation, the Township Planning Commission is required to review and make a recommendation to the Township Board.

Due to the 45-day approval process, it is my recommendation that the Planning Commission approves the PA 116 application subject to the approval of the Oakland Conservation District. This will allow the Township Board to make the final decision at the March 18<sup>th</sup> Township Board meeting.



# Farmland Development Rights New Agreement Application Checklist November 2024

Item A.

RECEIVED

FEB 20 2025

WHITE LAKE TOWNSHIP  
ASSESSING OFFICER

All items listed below must be included with the new application packet prior to submitting to your local governing body for review. Applications must be approved by the local governing body on or before November 1 to be effective for the current tax year. Incomplete applications will be returned to the local governing body and landowner for additional information and may be rejected to comply with

- All sections of application complete. Page 3, "Reserved for Local Government Use" must be completed by the local governing body.
- Copy of recorded deed(s) or land contract(s), including signature page(s). Copies must contain all pages of the documents and sufficiently document the chain of title from the previous owner.
  - If providing more than one deed/land contract, current ownership must be in the same name to be combined under one agreement. If ownership is different, separate applications must be completed or obtain a Quit Claim Deed in same ownership.
  - If a current owner named on the deed/land contract is deceased, a copy of the death certificate must be provided.
  - All vendors/sellers listed on a land contract must sign and date bottom of Page 1, acknowledging enrollment.
- Copy of most recent property tax assessment notice or tax bill with complete legal description of property and State Equalized Value (SEV), along with a statement by the applicant certifying the name of the owner of record, the legal description of the property and all liens, covenants, and other encumbrances affecting the title to the land.
- Map of the farm with structures and natural features. See instructions on Page 4 of application.
- Statement from the assessing officer where the property is located specifying the current fair market value of the land and structures. The local assessor must provide the property appraisal value on Page 3, in section "Reserved for Local Government Use".
- Copy of documents supporting minimum income from agricultural products (\$200 per acre for 2 of the last 3 years required for applications of 5 acres or more but less than 40 acres; or \$2,000 gross annual income for specialty farms). A signed affidavit from the landowner attesting to the amount is acceptable.
- Submit complete application and checklist to the clerk of the local governing body. \*(See below.) Maintain a copy of your application until you have received a new agreement.

The clerk will issue a receipt indicating the date the application was received and send copies of the application to the reviewing agencies.

The clerk will present the application to the local governing body at their next scheduled meeting. The local governing body has 45 days from the date the application is presented to approve or reject the application.

- If the application is approved, the applicant is notified by the local governing body. The local governing body will forward the entire application packet to the Michigan Department of Agriculture and Rural Development (MDARD), Farmland and Open Space Preservation Office.
- If the application is rejected by the local governing body, the applicant is notified within 10 days, stating the reason for rejection. The original application and all supporting documentation are returned to the applicant. The applicant has 30 days to appeal to MDARD.

MDARD has 60 days from date of receipt to approve or reject the application.

The applicant will be notified within 15 days of the date of approval or rejection by MDARD.

**\*Local governing body means 1 of the following:**

- i. Farmland located in a city or village, the legislative body of the city or village.
- ii. Farmland not located in a city or village, but in a township having a zoning ordinance in effect as provided by law, the township board of the township.
- iii. Farmland not described in i or ii above, the county board of commissioners.

New applications, eligibility requirements, and instructions for completing a new application can be found online at [www.Michigan.gov/Farmland](http://www.Michigan.gov/Farmland).

The local governing body can send completed applications to:  
Email: [MDARD-PA116@Michigan.gov](mailto:MDARD-PA116@Michigan.gov)  
Fax: 517-335-3131  
Mail: MDARD – Farmland, P.O. Box 30449, Lansing, MI 48909



FARMLAND AND OPEN SPACE PRESERVATION PROGRAM

Application for Farmland Development Rights Agreement

Part 361 of the Natural Resources and Environmental Protection Act, 1994 Act 451 as amended, more commonly known as PA 116. Please print or type. Attach additional sheets as needed. Refer to the Eligibility and Instructions document before filling out this form

OFFICIAL USE ONLY
Local Governing Body:
Date Received:
Application No:
State:
Date Received:
Application No:
Approved: Rejected

Item A.

ALL APPLICATIONS MUST BE APPROVED BY LOCAL GOVERNING BODY ON OR BEFORE NOVEMBER 1 TO BE EFFECTIVE FOR THE CURRENT TAX YEAR

I. Personal Information:

1. Name(s) of Applicant: CHAMBERS BRANDON C
Last First Initial

(If more than two see #15)

2. Mailing Address: 3049 STEEPLE HILL RD WHITE LAKE MI 48383
Street City State Zip Code

3. Phone Number: (Area Code) ( 248 ) 379-2132

4. Alternative Telephone Number (cell, work, etc.): (Area Code) ( )

5. E-mail address: BRANDONCHAMBERS24@YAHOO.COM

II. Property Location (Can be taken from the Deed/Land Contract)

6. County: OAKLAND 7. Township, City or Village: WHITE LAKE

8. Section No. 07 Town No. 03 Range No. 08

Parcel # (Tax ID): Y-12-07-400-019

III. Legal Information:

9. Attach a clear copy of the deed, land contract or memorandum of land contract. (See #14)

10. Attach a clear copy of the most recent tax assessment or tax bill with complete tax description of property.

11. Is there a tax lien against the land described above? [ ] Yes [X] No

If "Yes", please explain circumstances:

12. Does the applicant own the mineral rights? [X] Yes [ ] No

If owned by the applicant, are the mineral rights leased? [ ] Yes [X] No

Indicate who owns or is leasing rights if other than the applicant:

Name the types of mineral(s) involved:

13. Is land cited in the application subject to a lease agreement (other than for mineral rights) permitting a use for something other than agricultural purposes: [ ] Yes [X] No If "Yes", indicate to whom, for what purpose and the number of acres involved:

14. Is land being purchased under land contract [ ] Yes [X] No: If "Yes", indicate vendor(s):

Name:

Address: Street City State Zip Code

14a. Part 361 of the Natural Resources and Environmental Protection Act, 1994 Act 451 as amended, states that the vendor (sellers) must agree to allow the land cited in the application to be enrolled in the program. Please have the land contract sellers sign below. (All sellers must sign).

Land Contract Vendor(s): I, the undersigned, understand and agree to permit the land cited in this application into the Farmland and Open Space Preservation Program.

Date

Signature of Land Contract Vendor(s) (Seller)

15. If the applicant is one of the following, please check the appropriate box and complete the following information (if the applicant is not one of the following – please leave blank):

- 2 or more persons having a joint or common interest in the land
- Corporation
- Estate
- Limited Liability Company
- Trust
- Partnership
- Association

If applicable, list the following: Individual Names if more than 2 Persons; or President, Vice President, Secretary, Treasurer; or Trustee(s); or Members; or Partners; or Estate Representative(s):

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_

(Additional names may be attached on a separate sheet.)

IV. Land Eligibility Qualifications: Check one and fill out correct section(s)

This application is for:

- a. 40 acres or more → complete only Section 16 (a thru g);
- b. 5 acres or more but less than 40 acres → complete only Sections 16 and 17; or
- c. a specialty farm → complete only Sections 16 and 18.

16. a. Type of agricultural enterprise (e.g. livestock, cash crops, fruit, etc):

LIVESTOCK

b. Total number of acres on this farm: 10

c. Total number of acres being applied for (if different than above): 10

d. Acreage in cultivation: \_\_\_\_\_

e. Acreage in cleared, fenced, improved pasture, or harvested grassland: 8

f. All other acres (swamp, woods, etc.) \_\_\_\_\_

g. Indicate any structures on the property: (If more than one building, indicate the number of buildings):

No. of Buildings Residence: 1 Barn: 2 Tool Shed: 3

Silo: \_\_\_\_\_ Grain Storage Facility: \_\_\_\_\_ Grain Drying Facility: \_\_\_\_\_

Poultry House: 1 Milking Parlor: \_\_\_\_\_ Milk House: \_\_\_\_\_

Other: (Indicate) \_\_\_\_\_

17. To qualify as agricultural land of 5 acres or more but less than 40 acres, the land must produce a minimum average gross annual income of \$200.00 per acre from the sale of agricultural products. Supporting documentation is necessary to validate the income stated below.

Please provide the average gross annual income per acre of cleared and tillable land during 2 of the last 3 years immediately preceding this application **from the sale of agricultural products (not from rental income)**:

$$\begin{array}{r}
 \$ 2500 \quad \quad \quad / \quad 8 \quad \quad \quad = \quad \$ 312.50 \quad \quad \quad (\text{per acre}) \\
 \text{total income} \quad \quad \quad \text{total acres of tillable land} \quad \quad \quad (\text{affidavit attesting to amount required})
 \end{array}$$

18. To qualify as a specialty farm, the land must 15 acres or more in size, and produce a gross annual income from an agricultural use of \$2,000.00 or more. If applying as a specialty farm, indicate average gross annual income during 2 of the last 3 years immediately preceding application from the sale of agricultural products: \$ \_\_\_\_\_. Include supporting documentation. Please note: a specialty farm designation by MDARD may require an on-site visit by an MDARD staff person.

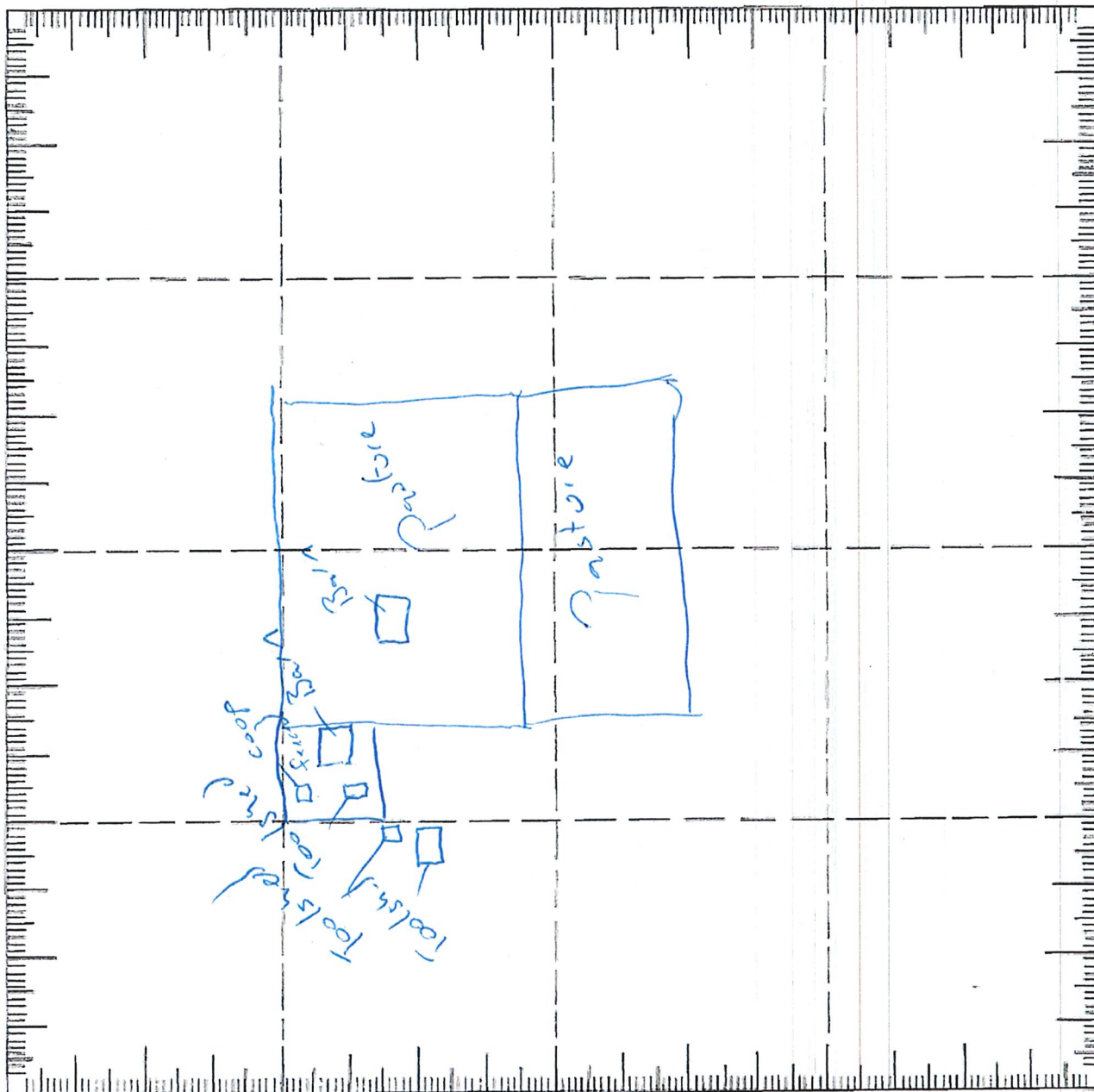
Map of Farm with Structures and Natural Features:

- A. Show boundary of land cited in application. (Grid below is designed to represent a 5280 ft<sup>2</sup> (1 mile<sup>2</sup>) Section)
- B. Show all buildings (house(s), barn(s), etc.); also label roads and other avenues of travel (i.e. utility access, etc.).
- C. Outline and designate the current uses of the property (crops, pasture, forest, swamp, etc.).
- D. Clear copies of map(s) provided by USDA Farm Service Agency are acceptable, but please label any roads visible on map, structures and their use, etc.

**Note:** Any residential structures housing persons not directly associated with the farm operation must be excluded from the application. Please indicate if a building falls in this category and provide the appropriate property description for its exclusion. Unless the appropriate description is included, your application cannot be processed.

County OAKLAND  
 Township WHITE LAKE  
 T 03 R 08 Section 07

↑ North



19. What is the number of years you wish the agreement to run? (Minimum 10 years, maximum 90 years); 90

V. Signature(s):

20. The undersigned certifies the information contained in this application is accurate and true; and identifies the owner of record, legal description of property, and all encumbrances affecting the title to the land.

[Signature]  
(Signature of Applicant)

\_\_\_\_\_  
(Corporate Name, If Applicable)

\_\_\_\_\_  
(Co-owner, If Applicable)

\_\_\_\_\_  
(Signature of Corporate Officer)

2-11-2025  
(Date)

\_\_\_\_\_  
(Title)

**ALL APPLICATIONS MUST BE APPROVED BY LOCAL GOVERNING BODY ON OR BEFORE NOVEMBER 1 IN ORDER TO BE EFFECTIVE FOR THE CURRENT TAX YEAR.**

**RESERVED FOR LOCAL GOVERNMENT USE- COMPLETED BY CLERK**

I. Date Application Received: \_\_\_\_\_ (Note: Local Governing Body has 45 days to take action)

Action by Local Governing Body: Jurisdiction: \_\_\_\_\_  
 County  Township  City  Village

This application is  approved,  rejected Date of approval or rejection: \_\_\_\_\_

(If rejected, please attach statement from Local Governing Body indicating reason(s) for rejection.)

Clerk's Signature: \_\_\_\_\_

Property Appraisal: \$ \_\_\_\_\_ Assessor certifies this is the current fair market value of the property.

Parcel Number (Tax ID): \_\_\_\_\_

II. Please verify the following:

Upon filing an application, clerk issues receipt to the landowner indicating date received.

Clerk notifies reviewing agencies by forwarding a copy of the application and attachments

If rejected, applicant is notified in writing within 10 days stating reason for rejection and the original application, attachments, etc. are returned to the applicant. Applicant then has 30 days to appeal to State Agency.

If approved, applicant is notified. Original application and supporting documentation (owner, size, use, and income documents if applicable), and letters of review/comment from reviewing agencies (if provided) are sent to:

**MDARD-Farmland and Open Space Preservation Program, P.O. Box 30449, Lansing, MI 48909**

**\*Please do not send multiple copies of applications and/or send additional attachments in separate mailings without first contacting the Farmland Preservation office.**

<p>Please verify the following regarding Reviewing Agencies (Sending a copy to reviewing agencies is required):</p> <p><b>COPY SENT TO:</b></p> <p><input type="checkbox"/> County or Regional Planning Commission</p> <p><input type="checkbox"/> Conservation District</p> <p><input type="checkbox"/> Township (if county has zoning authority)</p>	<p><b>Before forwarding to State Agency, FINAL APPLICATION MUST INCLUDE:</b></p> <p><input type="checkbox"/> Copy of Deed or Land Contract (most recent showing current ownership)</p> <p><input type="checkbox"/> Copy of most recent Tax Bill (tax description of property must be included)</p> <p><input type="checkbox"/> Map of Farm</p> <p><input type="checkbox"/> Copy of most recent appraisal record</p> <p><input type="checkbox"/> Copy of letters from review agencies (if available)</p> <p><input type="checkbox"/> Any other applicable documents (such as income)</p>
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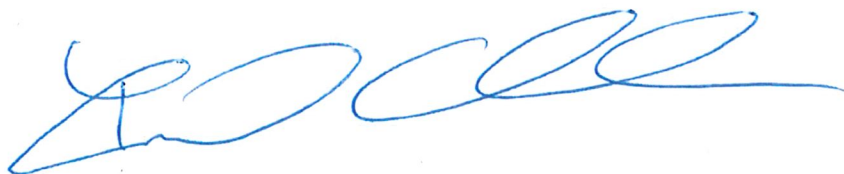
Questions? Please call Farmland Preservation at 517-284-5663



Feb 11, 2025

I, Brandon Chambers, attest to grossing \$2,500 per year at 3049 Steeple Hill Rd, White Lake MI 48383, for the last two years from the sale of agricultural products.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Brandon C. Chambers', with a stylized, cursive script.

Brandon C. Chambers

RCV'D 11/14/2024

OAKLAND COUNTY TREASURERS CERTIFICATE  
This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

11/14/2024

5.00

ROBERT WITTENBERG, County Treasurer  
Sec. 135, Act 206, 1893 as amended NH  
2023 Not Examined

129836 Liber 59806 Page 164 thru 165  
11/18/2024 9:56:06 AM Receipt #000402495  
\$26.00 Misc Recording  
\$4.00 Remonumentation  
\$5.00 Automation  
\$4,291.40 Transfer Tax  
PAID RECORDED - Oakland County, MI e-recorded  
Lisa Brown, Clerk/Register of Deeds

Item A.

STATE OF MICHIGAN  
Oakland  
11/18/2024  
000402495



REAL ESTATE  
TRANSFER TAX  
\$548.90 :00  
\$3,742.50 :8T  
1413423

WARRANTY DEED

The Grantor(s), Annette M. Cheff and Neville R. Whitney, as joint tenants with full rights of survivorship, whose address is 3049 Steeple Hill Rd, White Lake, MI 48383.

Conveys and warrants to, Brandon Chambers, a married man, whose address is 5311 Raywood Ridge, White Lake, MI 48383, the following described premises situated in the Township of White Lake, Oakland County and State of Michigan:

Legal description attached hereto and made a part hereof marked Exhibit "A"

For the full consideration of Four Hundred Ninety-Nine Thousand And No/100 (\$499,000.00) subject to building and use restrictions, easements, and zoning ordinances of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging, or in anywise appertaining thereto.

SUBJECT to easements and restrictions of record, zoning laws and ordinances affecting the premises, and rights of the public and of any governmental entity in any part thereof taken, used or deeded for street, road, right of way, or highway purposes, and subject to taxes and future installments of special assessments payable hereafter.

Dated this 30th day of October, 2024

Signed:

State of Michigan

County of Oakland

Neville R. Whitney  
Neville R. Whitney  
Annette M. Cheff  
Annette M. Cheff

On this 30th day of October, 2024, before me personally appeared Annette M. Cheff and Neville R. Whitney, as joint tenants with full rights of survivorship to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

MELISSA LANDRY-PRESSER  
Notary Public - State of Michigan  
County of Idisco  
My Commission Expires Aug 23, 2028  
Acting in the County of Oakland

[Signature]  
Notary Public County, Michigan  
Acting in: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Drafted by:

Neville R Whitney  
3049 Steeple Hill Rd  
White Lake, MI 48383

When recorded return to:

Brandon Chambers  
5311 Raywood Ridge  
White Lake, MI 48383

**EXHIBIT A****Parcel "A"**

The following is the description of a parcel of land located in the Southeast 1/4 of Section 7, Town 3 North, Range 8 East, White Lake Township, Oakland County, Michigan, and being more particularly described as follows:

Commencing at the East 1/4 corner of said Section 7; thence South 00 degrees 04 minutes 14 seconds West 1767.02 feet, along the East Line of said Section 7; thence North 89 degrees 32 minutes 52 seconds West 216.65 feet, to the point of beginning; thence South 00 degrees 09 minutes 28 seconds West (recorded as: South) 901.12 feet; thence North 89 degrees 32 minutes 52 seconds West (recorded as: North 89 degrees 32 minutes 00 seconds West) 483.40 feet, along the South Line of said Section 7; thence North 00 degrees 09 minutes 28 seconds East (recorded as: North) 901.12 feet; thence South 89 degrees 32 minutes 52 seconds East (recorded as: South 89 degrees 52 minutes 00 seconds East) 483.40 feet to the point of beginning.

The above described parcel of land contains 10.000 acres.

**Parcel "B"**

The following is the description of a parcel of land located in the Southeast 1/4 of Section 7 and the Southwest 1/4 of Section 8, Town 3 North, Range 8 East, White Lake Township, Oakland County, Michigan, and being more particularly described as follows: Commencing at the East 1/4 corner of said Section 7; thence South 00 degrees 04 minutes 14 seconds West 2648.84 feet, along the East Line of said Section 7, to the point of beginning; thence South 60 degrees 53 minutes 45 seconds East 30.33 feet; thence South 89 degrees 33 minutes 36 seconds West 23.56 feet, along the South Line of said Section 8, to the Southwest Corner of said Section 8; thence North 89 degrees 32 minutes 52 seconds West (recorded as: North 89 degrees 32 minutes 00 seconds West) 218.02 feet, along the South Line of said Section 7; thence North 00 degrees 09 minutes 28 seconds East (recorded as: North) 318.98 feet; thence South 35 degrees 46 minutes 26 seconds East 371.47 feet, to the point of beginning.

The above described parcel of land contains 0.852 acres.

More commonly known as: 3049 Steeple Hill Rd, White Lake, MI 48383

Tax Parcel No.: 12-07-400-019

**2024 WINTER TAX STATEMENT \*\*RETURN THIS PORTION WITH YOUR REMITTANCE**

Item A.

**PAYABLE TO: CHARTER TOWNSHIP OF WHITE LAKE**  
 7525 HIGHLAND ROAD  
 WHITE LAKE, MI 48383-2900

OFFICE HOURS M-F 8:00 A.M. to 5:00 P.M.  
 TELEPHONE: 248-698-3300

**Mike Roman, Treasurer**

TOTAL	PENALTY	TOTAL PAID	BALANCE
2,185.62		2,185.62	0.00



**WHITE LAKE TOWNSHIP**

**PAYABLE**

December 1, 2024 thru February 14, 2025 WITHOUT PENALTY

Please include Parcel ID and phone number on your check.

PARCEL ID NUMBER
Y -12-07-400-019

NOTICE: Verify the Parcel ID number prior to remitting payment. You are responsible if you pay on the wrong parcel.

RETURN UPPER PORTION WITH REMITTANCE

**WHITE LAKE TOWNSHIP**

**2024 WINTER TAX STATEMENT**

FISCAL YEARS

Art Institute	- 07/01/2024 to 06/30/2025
O. C. Parks & Recreation	- 10/01/2024 to 09/30/2025
Zoo Authority	- 10/01/2024 to 09/30/2025
Oakland Transit	- 10/01/2024 to 09/30/2025
H.C.M.A.	- 01/01/2025 to 12/31/2025
White Lake Township	- 01/01/2025 to 12/31/2025

**PAYABLE DECEMBER 1, 2024 - FEBRUARY 14, 2025 WITHOUT PENALTY**  
**3% PENALTY AFTER FEBRUARY 14, 2025**

**FAILURE TO RECEIVE BILL DOES NOT WAIVE PENALTY**

CHAMBERS, BRANDON

5311 RAYWOOD RDG  
 WHITE LAKE, MI 48383-2142

**THIS IS NOT A BILL IF THE MORTGAGE COMPANY LISTED ABOVE IS PAYING YOUR TAXES. IF THIS APPLIES, PLEASE RETAIN THIS ENTIRE BILL FOR YOUR RECORDS.**

**Property Address**

3049 STEEPLE HILL RD  
 WHITE LAKE, MI 48383-1866

**Partial Description of Property**

T3N, R8E, SEC 7 & 8 PART OF SE 1/4 OF SEC 7, ALSOPART OF SW 1/4 OF SEC 8 DESC AS BEG AT PT DIST S 00-04-14 W 1767.02 FT & N 89-32-52 W 216.65 FT FROM E 1/4 COR OF SEC 7, TH S 00-09-28 W 582.14 FT, TH S 35-46-26 E 371.47 FT, TH S 50-53-45 E 30.33 FT, TH S 89-33-36 W 23.56 FT (TO SW COR OF SEC 8), TH N 89-32-52 W 701.42 FT, TH N 00-09-28 E 224.42 FT, TH S 89-32-52 W 505.42 FT TO 2025 12 31

BEGINNING MARCH 1, 2025 all unpaid 2024 taxes must be paid to the Oakland County Treasurer, 1200 N Telegraph Rd, Pontiac MI 48341 with additional penalties. During the month of March, a revised statement from the Township Treasurer must accompany your remittance to the County Treasurer.

CODE NO.	*P.R.E. TAX BASE	PARCEL ID NUMBER	SCHOOL DISTRICT
96432	110,820	Y -12-07-400-019	63210
% DECLARED AS P.R.E.	*NON P.R.E. TAX BASE	TAXABLE VALUE	STATE EQUALIZED VALUE
100%	0	110,820	227,530
TAX DESCRIPTION		RATE PER \$1,000	AMOUNT

COUNTY PK & REC	0.65000	72.03
HCMA	0.20620	22.85
TWP OPERATING	0.89640	99.33
POLICE/FIRE	0.99180	109.91
POLICE	4.00390	443.71
FIRE	0.66840	74.07
FIRE 2	1.86370	206.53
LIBRARY 1	0.19040	21.10
LIBRARY 2	0.49590	54.95
LIBRARY 3	0.36300	40.22
LIBRARY DEBT	0.39460	43.72
WLT PARK & REC	0.30000	33.24
ART INSTITUTE	0.19370	21.46
ZOO AUTHORITY	0.09410	10.42
OAKLAND TRANSIT	0.94640	104.88
RUBBISH		215.35
GRASS LAKE IMP		279.00
GRASS LAKE WELL		332.85

Scan to download our new FREE app!

Stay Updated: Get the latest news, meetings, events, reminders, and more-right on your phone with real time notifications. Receive fast and accurate updates as they happen.



**DUE BY FEBRUARY 14, 2025**

RETAIN THIS LOWER PORTION FOR YOUR RECORDS. YOUR CANCELED CHECK IS YOUR RECEIPT.

TOTAL	PENALTY	TOTAL PAID	BALANCE
2,185.62		2,185.62	0.00

\*P.R.E. = Principal Residence Exemption

Checks are accepted only as conditional payment. If not honored by bank, tax is unpaid and subject to penalties.

Y -12-07-400-019

# THIS IS NOT A TAX BILL

## Notice of Assessment, Taxable Valuation, and Property Classification

This form is issued under the authority of P.A. 206 of 1893, Sec. 211.24 (c) and Sec.211.34c, as amended. This is a model assessment notice to be used by the local assessor.

<b>FROM:</b> WHITE LAKE TOWNSHIP DAVID HIEBER, ASSESSOR 7525 HIGHLAND WHITE LAKE, MI 48383-2900	<b>PARCEL IDENTIFICATION</b> PARCEL NUMBER: <b>Y -12-07-400-019</b> PROPERTY ADDRESS: <b>3049 STEEPLE HILL RD</b> <b>WHITE LAKE, MI 48383-1866</b>															
<b>OWNER'S NAME &amp; ADDRESS/PERSON NAMED ON ASSESSMENT ROLL:</b> CHAMBERS, BRANDON 5311 RAYWOOD RDG WHITE LAKE MI 48383-2142	<b>PRINCIPAL RESIDENCE EXEMPTION</b> % Exempt As "Homeowners Principal Residence": <b>100.00%</b> % Exempt As "Qualified Agricultural Property": <b>.00%</b> % Exempt As "MBT Industrial Personal": <b>.00%</b> % Exempt As "MBT Commercial Personal": <b>.00%</b> Exempt As "Qualified Forest Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Exempt As "Development Property": <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No															
<b>LEGAL DESCRIPTION:</b> T3N, R8E, SEC 7 & 8 PART OF SE 1/4 OF SEC 7, ALSO PART OF SW 1/4 OF SEC 8 DESC AS BEG AT PT DIST S 00-04-14 W 1767.02 FT & N 89-32-52 W 216.65 FT FROM E 1/4 COR OF SEC 7, TH S 00-09-28 W 582.14 FT, TH S 35-46-26 E 371.47 FT, TH S 50-53-45 E 30.33 FT, TH S 89-33-36 W 23.56 FT (TO SW COR OF SEC 8), TH N 89-32-52 W 701.42 FT, TH N 00-09-28 E 901.12 FT, TH S 89-32-52 E 483.40 FT TO BEG 10.85 A4-12-94 FR 012 & 1208300022																
<b>ACCORDING TO MCL 211.34c THIS PROPERTY IS CLASSIFIED AS:</b> 401 Residential																
<b>PRIOR YEAR'S CLASSIFICATION:</b> 401 Residential																
The change in taxable value will increase/decrease your tax bill for the 2025 year by approximately: <b>\$4310</b>	<table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="width: 50%;">PRIOR AMOUNT YEAR: 2024</th> <th style="width: 50%;">CURRENT TENTATIVE AMOUNT YEAR: 2025</th> <th style="width: 50%;">CHANGE FROM PRIOR YEAR TO CURRENT YEAR</th> </tr> </thead> <tbody> <tr> <td>1. TAXABLE VALUE:</td> <td>110,820</td> <td>232,730</td> </tr> <tr> <td>2. ASSESSED VALUE:</td> <td>227,530</td> <td>232,730</td> </tr> <tr> <td>3. TENTATIVE EQUALIZATION FACTOR: 1.000</td> <td></td> <td></td> </tr> <tr> <td>4. STATE EQUALIZED VALUE (SEV):</td> <td>227,530</td> <td>232,730</td> </tr> </tbody> </table>	PRIOR AMOUNT YEAR: 2024	CURRENT TENTATIVE AMOUNT YEAR: 2025	CHANGE FROM PRIOR YEAR TO CURRENT YEAR	1. TAXABLE VALUE:	110,820	232,730	2. ASSESSED VALUE:	227,530	232,730	3. TENTATIVE EQUALIZATION FACTOR: 1.000			4. STATE EQUALIZED VALUE (SEV):	227,530	232,730
PRIOR AMOUNT YEAR: 2024	CURRENT TENTATIVE AMOUNT YEAR: 2025	CHANGE FROM PRIOR YEAR TO CURRENT YEAR														
1. TAXABLE VALUE:	110,820	232,730														
2. ASSESSED VALUE:	227,530	232,730														
3. TENTATIVE EQUALIZATION FACTOR: 1.000																
4. STATE EQUALIZED VALUE (SEV):	227,530	232,730														
5. There WAS or WAS NOT a transfer of ownership on this property in 2024 <b>WAS</b>																
<b>6. Assessor Change Reason:</b> Market Adjustment																

**The 2025 Inflation rate Multiplier is: 1.031**

Questions regarding the Notice of Assessment, Taxable Valuation, and Property Classification may be directed to the Following:

Name: David Hieber	Phone: (248) 698-3300	Email Address: assessing@whitelaketwp.com
-----------------------	--------------------------	--

**March Board of Review Appeal Information. The board of review will meet at the following dates and times:**

The Board of Review will meet on: Tuesday, March 4th from 9:00 a.m. to noon for an organizational meeting.  
 Monday, March 10th from 9:00 a.m. to noon and 1:00 p.m. to 4:00 p.m. and  
 Wednesday, March 12th from 1:00 p.m. to 4:00 p.m. and 6:00 p.m. to 9:00 p.m.  
 At the Township Hall, 7525 Highland Road, White Lake, MI, 48383.  
**PLEASE CALL (248) 698-3300 ext. 3, NO LATER THAN MARCH 7th TO SCHEDULE AN APPOINTMENT.**

# Map

Item A.



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cores Sediment
- 100 yr - FEMA Floodplain
- 100 yr (detached) - FEMA Floodplain
- 600 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

**Disclaimer:** The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



**OAKLAND COUNTY**  
Economic Development & Community Affairs  
**David Coulter**  
Oakland County Executive

Date Created: 2/28/2025  
  
1 inch = 200 feet

**Director's Report**

Project Name: Elizabeth Trace  
 Description: Amended preliminary and final site plan approval  
 Date on Agenda this packet pertains to: March 6, 2025

- Public Hearing
- Initial Submittal
- Revised Plans
- Preliminary Approval
- Final Approval
- Special Land Use
- Rezoning
- Other:

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Based on comments from staff & consultants
Mike Leuffgen	DLZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 02/20/25
Matteo Passalacqua	Carlisle Wortman Associates, Inc	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 02/20/25
Jason Hanifen	WLT Fire Marshal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 02/19/25



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

February 20, 2025

Sean O' Neil, Director  
Community Development Department  
Charter Township of White Lake  
7525 Highland Road  
White Lake, Michigan 48383

**RE: Elizabeth Trace- Preliminary and Final Site Plan Review – 2<sup>nd</sup> Review**

Ref: DLZ No. 2545-7861-01 Design Professional: Alpine Engineering, Inc.

Dear Mr. O' Neil,

Our office has performed a Preliminary and Final Site Plan review for the above-mentioned revised plan dated January 31, 2025. The plans were reviewed for feasibility and conformance with the Township Engineering Design Standards.

**General Site Information**

This 10.286 acre site is located on the south side of Elizabeth Lake Road and east of Union Lake Road.

**Site Improvement Information:**

- Construction of remaining condominium buildings: Two 5-plex buildings at 5,700 square foot each; Four 4-plex buildings at 4,560 square foot each.
- Each unit shall have a garage and two parking spaces per unit.
- Overflow parking areas and street are existing.
- Water and sanitary sewer service are existing.
- Storm water management facilities are existing.

The following items should be noted with respect to Planning Commission review:

Please note that comments from our January 21, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.



- a) *The plan proposes patios to encroach in areas where there is existing storm sewer and likely storm sewer easements, although the Exhibit B to the Master Deed does not show easements for the storm sewer. We note that the existing Master Deed (Article VI, Section 12) allows for patios at the rear of the units and that patios were constructed with the previously installed units. The previous plan sets do not appear clear regarding the intent for patios, but the patios have been constructed with the existing units consistent with the Master Deed and are likely within the influence of existing storm sewer. Township engineering design standards require 10 feet minimum separation between storm sewers and buildings or a distance that would allow a 1:1 slope to the base of the foundation, whichever is greater. It is not clear that this restricts the proximity to a patio, however the Township may wish to require a license agreement or hold harmless agreement for patios installed within a storm sewer easement. Alternatively, the storm sewers may be able to be relocated to be away from influence of the patios. We defer further comment to Township DPS. **Comment remains. The applicant has indicated the intent to sign a hold harmless agreement with the Township regarding placement of patios within the influence of the existing storm sewer. We continue to defer to the DPS regarding this item.***
- b) *Units 61-63 and 65 propose patios in existing 10' and 12' wide DTE easements; Does the easement allow placement of patios within the DTE easement? A legal opinion should be provided by the applicant's attorney supporting this activity. **Comment partially addressed. The applicant has noted that DTE has no issue with encroachment of patios within the existing DTE easement. Applicant noted an 'attached DTE email;' however, our office did not receive a copy of this email. Please provide for project record.***
- c) *It appears that the proposed sanitary lead and cleanouts for Units 47-49 slightly encroach into the existing DTE easement. Work within the easement will be likely during construction of the leads and cleanouts. In addition, The proximity of sanitary lead and cleanout construction to the existing DTE easements for Units 54-55 and 61-64 will also likely require work within the DTE easements. Permission from DTE will be required for this work. **Comment partially addressed. The applicant has noted that DTE has no issue with encroachment of patios within the existing DTE easement. Applicant noted an 'attached DTE email;' however, our office did not receive a copy of this email. Please provide for project record.***
- d) *The following existing overflow parking spaces do not appear to meet the minimum width requirement of 9' per Township Zoning Ordinance 5.11Q: 1) Two spaces next to Unit 61; 2) Northernmost parking space near Unit 68. In addition, it is not clear the intent regarding paving and (re) striping for all the overflow parking areas on the plan. Some overflow areas are paved and the paving( example: near Unit 73- existing concrete) is in disrepair. Other areas are grassed but have existing sidewalk adjacent to them (example: near Units 61 and 68 respectively). Please clarify the proposed intent. **Comment Addressed. The plan revisions clarify the intent to pave the parking areas that were previously grass.***
- e) *We defer to the Township as to whether any of the existing overflow parking spaces are required to be reserved/paved/striped as ADA spaces. **Comment partially addressed. The overflow space adjacent to Unit 72 is now designated as an ADA space and appears to be dimensionally sufficient.***



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

WLT-Elizabeth Trace- PSP and FSP Review.02

February 20, 2025

Page 3 of 4

**Please provide proposed dimensions and grading to demonstrate ADA compliance at the time of Final Engineering Plan submittal.**

- f) *Note 5 on plan sheet 3 indicates that “Basement Grinder Pumps will be required to service basement plumbing where required”. We assume these will be privately owned and maintained ejector pumps installed within the units due to the basement finished floor (BFF) elevations for all proposed units being lower than the proposed sanitary sewer lead inverts for each unit. Please confirm. **Comment addressed. Applicant has confirmed that grinder pumps shall be privately owned and maintained.***
- g) *Is the existing storm system and detention basin in good condition and does the basin have the capacity specified on the original design plans? For reference, Article IV, Section 3(d) of the Master Deed discusses the requirement for the Association to maintain the storm system. **The applicant states the storm sewer system is functioning properly, will any additional investigation or information be required by the Township?***
- h) *Is there an existing Stormwater Maintenance Agreement? If so, please provide a copy of this. If there is not an existing agreement, we defer to the Township DPS as to whether such agreement shall be required per current ordinance requirements. **Comment remains. The applicant acknowledges that there is not a stormwater maintenance agreement and that they will enter into such agreement.***
- i) *The grading was reviewed for general conformance with Township requirements. A more detailed review shall be conducted on the Final Engineering Plan. **Comment remains.***
- j) *Sheet L-1- Proposed tree planting horizontal separation relative to water service leads shall be maximized. In addition, there are several areas where trees are proposed to be planted directly over water service lines (example Unit 61). Please relocate trees accordingly.*

#### Required Permits and Approvals

The following permits and approvals will be required:

1. SESC permit from OCWRC
2. Permission from White Lake Township for any work within the existing watermain or sanitary sewer easements.
3. Permission from DTE for work within existing easements.
4. Executed Stormwater Maintenance Agreement and exhibit. We defer to the Township DPS regarding this item.

#### Recommendation

There are a few items referenced above that require concurrence from the Township and a few that can be further clarified on the final engineering plan submittal. DLZ recommends approval of the Preliminary and



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

WLT-Elizabeth Trace- PSP and FSP Review.02

February 20, 2025

Page 4 of 4

Final Site Plans subject to Township concurrence of above items, and subject to resolving remaining review comments with future Final Engineering Plan submittal set(s).

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.  
Department Manager

Victoria Loemker, P.E.  
Senior Engineer

cc: Andrew Littman, Community Development, *via email*  
Matteo Passalacqua, Carlisle Wortman, *via email*  
Hannah Kennedy-Galley, Community Development, *via email*  
Aaron Potter, DPS Director, White Lake Township, *via email*  
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

<X:\Projects\2025\2545\786101 White Lake Townshi\Elizabeth Trace-PSP,FSP Review.02\Review.02.docx>



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

February 20, 2025

**Combined Preliminary – Final Site Plan Review  
for  
White Lake Charter Township, Michigan**

<b>Applicant:</b>	PH Homes, Inc.
<b>Project Name:</b>	Elizabeth Trace
<b>Plan Date:</b>	December 20, 2024
<b>First Revision:</b>	January 31, 2025
<b>Location:</b>	South of Elizabeth Lake Road Parcel ID: 12-26-204-038
<b>Action Requested:</b>	Preliminary – Final Site Plan Combined Approval

**PROJECT NARRATIVE**

The applicant is requesting preliminary and final site plan approval to complete an existing multi-family condominium development along Elizabeth Lake Road, east of Union Lake Road. The site currently has nineteen (19) single family attached units within four (4) buildings. Forty-five (45) bedrooms are currently provided. Units provide two (2) and three (3) bedroom layouts. The first phase was approved in 2004.

The application to complete the development proposes an additional six (6) buildings, twenty-six (26) units, and seventy-eight (78) bedrooms. All new units are proposed to be three (3) bedrooms. If approved, the total number of units will be forty-five (45) units and one hundred twenty-four (124) bedrooms.

Attached single-family residential is a permitted use in RM-1.

Phase two of the development is similar to what was proposed and approved in 2004 with the exception of proposed elevations. Final site plan approval is valid for two years. This review notes deficiencies in the second phase that were otherwise permitted or approved during the original review. The likely cause for these deficiencies is amended zoning standards over the past twenty (20) years. These items are noted as required waivers or variances in this report.

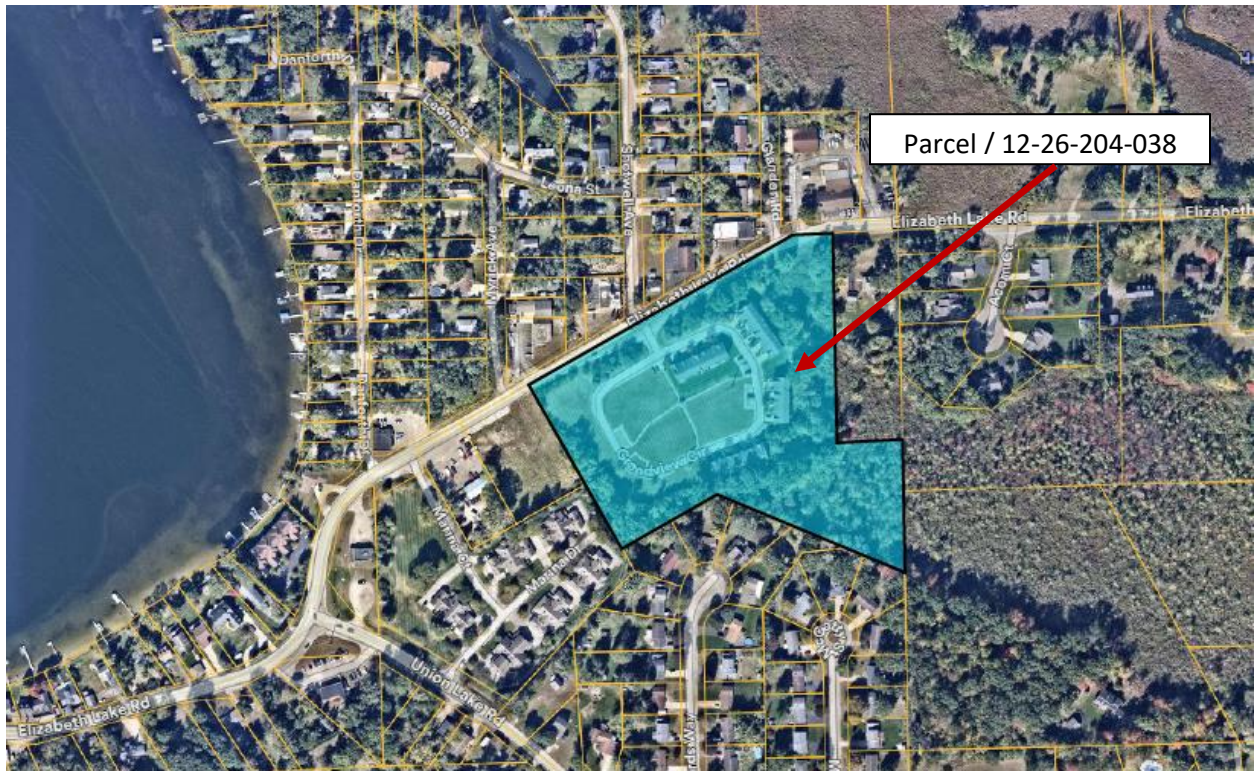
Combined preliminary – final condominium site plans are reviewed by the Planning Commission. Planning Commission shall then make a recommendation to the Township Board of approval, approval with conditions or denial.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*  
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*  
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*  
Richard K. Carlisle, *Past President/Senior Principal*

**SITE DESCRIPTION**

<b>Lot Area:</b>	10.286 gross acres
<b>Frontage:</b>	Approx. 864.94 feet along Elizabeth Lake Road.
<b>Address:</b>	Grandview Circle (individual addresses TBD)
<b>Current Use:</b>	Single Family Attached Residential

*Aerial image of the site*



Source: NearMap October 6, 2024

	North	East	South	West
<b>Surrounding Zoning</b>	<i>GB, General Business</i>	<i>R1-D, Single Family Residential</i>	<i>R1-D, Single Family Residential</i>	<i>R1-D, Single Family Residential / GB, General Business</i>
<b>Surrounding Land Uses</b>	<i>Businesses</i>	<i>Single Family Homes</i>	<i>Single Family Homes</i>	<i>Single Family Attached Housing / Businesses</i>
<b>Future Land-Use Map</b>	<i>Neighborhood Commercial</i>	<i>Neighborhood Residential</i>	<i>Neighborhood Residential</i>	<i>Neighborhood Commercial / Neighborhood Residential</i>

**Current Zoning** **RM-1, Attached Single Family Residential**  
*The Attached Single-Family Residential is designed to permit various attached single-family dwellings including row or townhouse dwellings and two-family or duplex dwellings. These areas should be located near shopping, community services and facilities, and major roads for good accessibility.*

**Current Zoning Map**



**Elizabeth Trace, Multi-Family Residential**

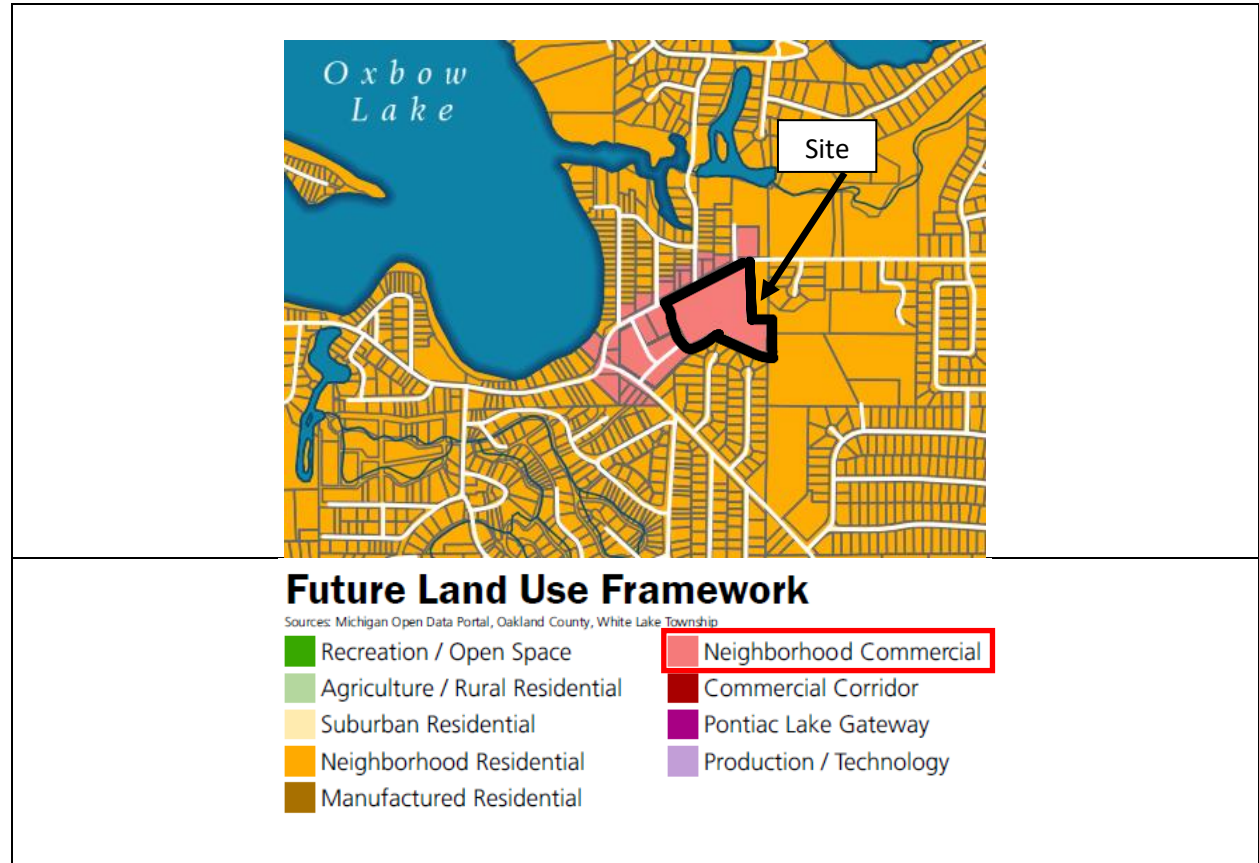
Preliminary and Final Site Plan Review

February 20, 2025

Item B.

<b>Future Land Use</b>	<b>Neighborhood Commercial</b> <i>Neighborhood Commercial: Provides neighborhood scale commercial establishments that have daily goods and services for residents. Creates centers of neighborhood life, encouraging a mix of compatible retail, service, office, and residential uses in a walkable environment.</i>
------------------------	--

**Future Land Use Map**



The proposal does not concur with the 2024 future land use map, however we acknowledge that a precedent has been set by allowing the first phase to be developed and/or past Master Plans may have designated this area for residential.

**Item to be Addressed:** None

**NATURAL RESOURCES**

**Topography:** Sheet 2 shows the existing site topography and the proposed grading plans. The entire site is relatively flat, ranging from nine hundred and forty-five (945) feet in the southeast corner to nine hundred and fifty-six (956) feet in the northeast corner. We note that the proposed grading will move the dirt to the west side and southwest corner of the site, however extensive grading will not be required.

**Elizabeth Trace, Multi-Family Residential**

Preliminary and Final Site Plan Review

February 20, 2025

We defer to Township Engineering for any concerns with the proposed grading plans as well as any issues cited regarding stormwater management and natural environment protection.

**Wetlands:** Sheets 1 – 4 and L-1 provide the overall location of wetlands present on the site. The wetlands are located on the east and southeast corner of the site near where the existing townhomes have been built. There are also wetlands in the west and southwest corner of the property. Grading note (3) on Sheet 2 states that no work shall take place within the wetland areas. The building containing units 47 to 50 shows patios are within the twenty-five (25) foot wetland setback. This is not permitted per Section 3.11.Q. The response letter dated February 6, 2025, states the applicant will seek waivers/modifications to allow the patios as shown. A variance from the Zoning Board of Appeals to allow the patios within the twenty-five (25) foot wetland setback will be required. The Planning Commission does not have the ability to waive this requirement.

**Woodland:** Mature woodlands cover the majority of the site's perimeter. The center of the site has been cleared where three (3) proposed condo buildings will be built.

**Soils:** Sheet 4 states that sandy soils are present on the site.

**Water:** Site does not contain any natural water bodies.

**General Notes:** None

**Items to be Addressed:**

- 1) *Any cited concerns from Township Engineering.*
- 2) *A variance is required from the Zoning Board of Appeals to allow patios to be built within the twenty-five (25) foot setback.*



**AREA, WIDTH, HEIGHT, SETBACKS**

Lot calculations and setbacks are provided on Sheet 1. Standard bulk and lot regulations for the RM-1 zoning district are set forth in Section 3.1.8. and Section 3.11.

**RM-1 Attached Single-family District Developmental Standards**

RM-1 Attached Single-Family	Required:	Proposed:	Complies
<b>Building Setbacks</b>			
Front	40 feet	Not Provided	Unknown
Side	25 feet on one side / 50 foot total of two sides	40 feet (west side)	Yes
Rear	40 feet	40 feet	Yes
Wetland	25 feet	30 feet (building)	Yes
Between Buildings	36 feet (120' building) to 42 feet (150' building) per Section 3.11.G	20'6" to 36'1"	No
Back of Sidewalk / Curb	25 feet	25 feet	Yes
<b>Building Height</b>			
	35 feet or 2 stories (whichever is less)	28' 9" tall	Yes
<b>Lot Standards</b>			
Minimum Lot Area	6.7 acres	6.7 gross acres	Yes
Minimum Lot Width	100 feet	864.94 feet	Yes
Maximum Lot Coverage	20%	11.6%	Yes
Depth to Width	4 to 1	Less than 1 to 1	Yes
<b>Floor Area</b>			
One Bedroom	400 sqft	N/A	N/A
Two Bedroom	700 sqft	N/A	N/A
Three Bedroom	850 sqft	1,867 sqft	Yes
Four Bedroom	1,000 sqft	N/A	N/A
Each additional bedroom	150 sqft	N/A	N/A
Each additional room	300 sqft	N/A	N/A

As stated in the Natural Features portion of this review, Section 3.11.Q states no building or structure shall be located closer than twenty-five (25) feet to any regulated wetland, submerged land, watercourse, pond, stream, lake or like body of water. Per Sheet 1, units 47 through 50 are permitted, but the patios are not.

**Elizabeth Trace, Multi-Family Residential**

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Section 3.11.G requires a distance of thirty-six (36) feet for the one hundred twenty (120) foot long buildings, and forty-two (42) feet for the one hundred fifty (150) foot long buildings. Buildings containing units 47-50 and 51-54 meet the thirty-six (36) feet requirement for one hundred twenty (120) foot long buildings. Buildings 51-54 and 55-59, 60-63 and 64-67, and 72-68 and existing building 42-46 do not meet the spacing requirements. The response letter dated February 6, 2025, states the applicant will seek a waiver/modification for this requirement. A variance will be required from the Zoning Board of Appeals as the Planning Commission cannot waive these requirements.

**Items to be Addressed:**

- 1) *The distance between the side of unit 59 and the front property line should be provided on Sheet*
- 2) *A variance is required from the Zoning Board of Appeals to allow the proposed distance between buildings 51-54 and 55-59, 60-63 and 64-67, and 72-68 and existing building 42-46.*

**ACCESS & CIRCULATION**

**Vehicle Access & Circulation**

The site is accessed exclusively via an existing ingress/egress drive located off Elizabeth Lake Road. A single twenty-four (24) foot drive forms a loop throughout the development. The entrance/exit from the development aligns with Shotwell Street which aids in the reduction of traffic circulation and left-hand turn. Distance from same side and opposite side drive intersections is compliant to current access standards.

The existing site has incorporated deceleration right hand turn lanes. A left hand turn lane runs along Elizabeth Lake Road. We defer to Township Engineering however, given the original site plan was approved over twenty (20) years ago, the applicant should consult Oakland County Road Commission (RCOC) to confirm current safe circulation elements are sufficient to handle new unit traffic. The width of the access drive is twenty-seven (27) feet.

An emergency access drive is shown on Sheet 1 near the northwest corner of the site. The response letter dated February 6, 2025, states the drive is clear and accessible as designed. We defer to Township Engineering and public safety to review the emergency access drive.

**Non-Motorized Access and Circulation**

Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. No sidewalks exist along Elizabeth Lake Road along the development’s frontage. A six (6) foot wide sidewalk is required. In the response letter dated February 6, 2025, the applicant states a variance will be sought to not install a sidewalk.

An internal five (5) foot wide concrete sidewalk is shown to be extended around the interior island of the development.

**Public Transit**

No public transit is accessible near the site.

**Elizabeth Trace, Multi-Family Residential**

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White Lake Township is served by the Western Oakland Transportation Authority which provides scheduled transportation for Township residents with specific needs.

**Items to be Addressed:**

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *A six (6) foot sidewalk should be provided along Elizabeth Lake Road or a variance from the Zoning Board of Appeals will be required.*
- 4) *Applicant should consult RCOC to confirm existing access is sufficient for traffic generated by new units.*

## PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Sheet 1 provides parking locations and calculations for residents, visitors, and overflow spaces. Parking is provided via two (2) garage spaces and two (2) driveway spaces per unit. Notes indicate that an additional twenty-two (22) parking spaces for guests and overflow parking are provided throughout the entire site.

Between the existing and proposed parking, the site will provide a total of two hundred and two (202) spaces. Section 5.11.M requires at least 75% of the maximum allowable number of parking spaces. The maximum number of parking spaces required is two hundred sixteen (216) parking spaces. The total site parking meets these requirements, however the one (1) ADA accessible parking space shown opposite the site's existing entranceway should be moved as it will require users to back into the entrance drive to exit the space.

**Items to be Addressed:**

- 1) *ADA parking space across from existing site entrance should be moved per maneuverability concerns.*

## ESSENTIAL SERVICES & UTILITIES

Sheet 3 provides locations for existing and proposed utilities. Notes show the applicant will utilize existing water and sewer systems, the existing detention pond, and wetlands for stormwater storage. We defer to Township Engineering regarding any concerns of design and capacity.

Five (5) existing Fire hydrant locations are shown on Sheet 3. We defer to Township Public Safety for any utility capacity or locations concerns.

Units 50 and 51's driveways are over the 20' wide easement for sanitary sewer as shown On Sheet 1. Unit nine's driveway also encroaches the easement, however this is an existing unit.

**Items to be Addressed:**

- 1) *Any cited concerns of Township Engineering.*
- 2) *Any cited concerns of Township Public Safety.*

**LANDSCAPING & SCREENING**

The applicant has provided a landscape plan on Sheets L-1 and L-2. The proposed landscaping will line the west and southwest side of the site, and in front of new units. Section 5.19.B outlines general provisions for site landscaping.

Section 5.19.D provides requirements for screening along property lines as it relates to adjacent districts and are reviewed below.

**Greenbelts**

Property Line	Required	Provided	Complaint
<b>North (ROW)</b>	ROW Greenbelt	Not Provided / Waiver Required	TBD
<b>East (R1-D)</b>	N/A due to existing development and vegetation.	N/A	N/A
<b>South (R1-D)</b>	Land Form Buffer or Buffer Strip and Screen Wall or Obscuring Fence as defined in Section 5.19	3 evergreen trees / Waiver Required	TBD
<b>West (GB &amp; RM-1)</b>	Land Form Buffer or Buffer Strip and Screen Wall or Obscuring Fence as defined in Section 5.19	8 evergreen trees / Waiver Required	TBD

**Elizabeth Trace, Multi-Family Residential**

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An aerial of the site is provided below for reference.



Source: NearMap October 7, 2024

**Interior Landscaping**

Interior landscaping areas are required to equal at least fifteen (15) percent of the total lot area. One (1) large deciduous, small ornamental deciduous, or evergreen tree and five (5) shrubs shall be planted for every three hundred (300) square feet of required interior landscaping area.

Standard	Required	Provided	Complaint
Lot Area	43,675 sqft (15%)	27,700 sqft	No
Deciduous Trees	145 trees	13	No
Shrubs	725 shrubs	78	No

The lot area calculation should be 15% of the total lot area as required by Section 5.19 E. It is likely that the existing vegetation aids in the intent of this requirement, but a waiver is required to allow for the interior landscaping as proposed.

**Parking Lot Landscaping**

There are no off-street parking areas containing ten (10) or more spaces.

The proposed plantings meet the requirements of Section 5.19.H.

**Trash Receptacles**

None.

**Recreations Space**

Per Section 3.11.C, nine thousand four hundred (9,400) square feet of recreation space is required. Twenty-five thousand eight hundred forty (25,840) square feet of recreation space is provided.

**Entryway Landscaping**

The entrance drive currently provides two small, landscaped beds backed by brick walls.

**Mechanical Equipment Screening**

There are two (2) transformers on site. Sheet L-2 provides a plan showing the proposed transformer landscaping and eight (8) evergreen shrubs will be planted two (2) feet away from the transformers to provide screening. There is an optional row of four (4) evergreen shrubs planted eight (8) feet away from the transformers.

**Fencing**

No fences are proposed at this time.

***Items to be Addressed:***

- 1) *Notes on Sheet L-1 should be updated to show the correct total lot area requirements.*
- 2) *Planning Commission to consider waiver to allow for proposed greenbelt landscaping.*
- 3) *Planning Commission to consider waiver to allow for proposed interior landscaping.*

**LIGHTING & NOISE**

**Lighting Requirements**

views indicate no site lighting is utilized in the existing portion of the site. A note should be added to Sheet 1 stating no site lighting is proposed for phase 2.

**Noise Requirements**

Noise standards are provided in Section 5.18.A. We do not cite any noise concerns with this proposal.

***Items to be Addressed:***

- 1) *A note should be added to Sheet 1 indicating no site lighting is proposed.*

**SIGNAGE**

An existing monument sign exists at the Elizabeth Lake Road entrance. No modifications to the existing sign or new signage are proposed.

**Items to be Addressed:** None.

**ARCHITECTURE & LAYOUT**

Elevations and proposed materials are provided in the Elizabeth Trace Elevations and Elizabeth Trace Front Facade PDF. The proposed materials for the new condo buildings are Northampton Colored Friendship Brick, Heritage Linen Colored Horizontal American Harold Siding, and Certain Teed Landmark Dimensional Colored Driftwood Shingles. These materials appear to be compatible with the existing buildings on site.

The following recommendations are proposed to improve the aesthetic harmony between the proposed and existing buildings.

1. The amount of brick on the rear, and side elevations should be comparable with the existing buildings.



Existing Condominium Building



Proposed Condominium Buildings



Existing Condominium Building



Proposed Condominium Building





Existing Condominium Building



Proposed Condominium Building

**Items to be Addressed:**

- 1) *Recommendation that the brick coverage on the rear, and side of the proposed elevations should be comparable to the existing buildings.*

## CONDOMINIUM DOCUMENTS

The original condominium master deed is dated May 25<sup>th</sup>, 2004. An amendment was made December 3<sup>rd</sup>, 2018. Other than the deficiencies noted in this review, site design generally conforms to requirements outlined in Section 6.1. We defer to Township Engineering for any site design items needing to be addressed.

### **Items to be Addressed:**

- 1) *Concerns cited by Township Engineering.*
- 2) *Concerns cited by Township Counsel.*

## SUMMARY

The combined preliminary – final site plan is substantially complete. We recommend the application be presented to the Planning Commission for consideration of approval, approval with conditions, or denial.

For reference, we have noted all waivers and variances required for the current site plan.

Recommendations outlined in the summary are meant to foster a conversation between the applicant and the Planning Commission about possible improvements to development. Unless cited as concerns by other agencies, these recommendations are not affiliated with any zoning requirements and therefore cannot be required of the development.

### **Required Variances**

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Below is a list of variances required from the Zoning Board Appeals for the current proposal to be approved:

- 1) *A variance is required to allow proposed patios in the wetland setback per Section 3.11.Q.*
- 2) *A variance is required to allow the proposed distance between buildings 51-54 and 55-59, 60-63 and 64-67, and 72-68 and existing building 42-46 per Section 3.11.G.*
- 3) *A variance is needed to waive the sidewalk requirement along Elizabeth Lake Road.*

### **Waivers / Modifications / Determinations**

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Below is a list of waivers for the Planning Commission to approve or deny.

- 1) *Planning Commission to consider waiver to allow for proposed greenbelt landscaping.*
- 2) *Planning Commission to consider waiver to allow for proposed interior landscaping.*

### **Possible Conditions**

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Below is a list of conditions the Planning Commission can consider if approving the revised preliminary – final site plan:

- 1) *Any cited concerns from Engineering.*

**Elizabeth Trace, Multi-Family Residential**

Preliminary and Final Site Plan Review

February 20, 2025

- 2) *Any cited concerns from Public Safety.*
- 3) *Any cited concerns from Legal Counsel.*
- 4) *The distance between the side of unit 59 and the front property line should be provided on Sheet 1.*
- 5) *Notes on Sheet L-1 should be updated to show the correct lot area requirements.*
- 6) *A note should be added to Sheet 1 indicating no site lighting is proposed.*

**Recommendations**

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- 1) *Recommendation that brick coverage on the rear, and side of the proposed elevations should be comparable to the existing buildings.*
- 2) *ADA parking space across from existing site entrance should be moved per maneuverability concerns.*
- 3) *Applicant should consult RCOC to confirm existing access is sufficient for traffic generated by new units.*

Respectfully,



---

**CARLISLE/WORTMAN ASSOC., INC.**  
Matteo Passalacqua  
Community Planner



**Fire Department**  
Charter Township of White Lake

7420 Highland Road  
White Lake, MI 48383  
Office (248) 698-3993  
[www.whitelaketwp.com/fire](http://www.whitelaketwp.com/fire)

## Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 2-19-2025

Project: Elizabeth Trace

Job #: 03-180.1

Date on Plans: 1-31-2025

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The Fire Department has the following comments with regards to the 2<sup>nd</sup> review of preliminary site plans for the project known as Elizabeth Trace

1. The Fire Department has no comments at this time.

Jason Hanifen  
Fire Marshal  
Charter Township of White Lake  
(248)698-3993  
[jhanifen@whitelaketwp.com](mailto:jhanifen@whitelaketwp.com)

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

**LEGAL DESCRIPTION**

Part of the Northeast 1/4 of Section 26, Town 3 North, Range 8 East, White Lake Township, Oakland County, Michigan. Further described as: Beginning at a point on the North line of Section 26 (Elizabeth Lake Road) distant N89°46'40"W 1334.66 feet and S89°49'00"W 165.00 feet from the Northeast Corner of said Section 26; thence continuing S89°49'00"W 100.15 feet; thence S63°25'09"W 764.79 feet measured (S63°23'00"W 764.75 feet deed), the last two courses being along the centerline of Elizabeth Lake Road; thence S26°37'00"E 289.68 feet measured, (289.60 feet deed); thence S27°07'00"E 183.80 feet to a found monument being on the Northern line of Finley Acres No. 2 Subdivision as recorded in Liber 136 of Plats, Page 7 of the Oakland County Records; thence N63°22'30"E 271.42 feet measured (271.31 recorded) along said Northern line of said Finley Acres No. 2 Subdivision; thence S65°01'23"E 516.47 feet measured, (S65°04'30"E 516.90 feet deed, 516.50 feet platted), along the Northern line of said Finley Acres No. 2 Subdivision and also the Northern line of Finley Acres No. 1 Subdivision as recorded in Liber 130 of Plats, Page 1 of the Oakland County Records; thence N01°38'37"E 334.45 feet measured, (N01°35'20"E 334.56 feet deed); thence S89°49'00"W 165.00 feet; thence N01°38'37"E 528.00 feet measured, (N01°35'20"E 528.00 feet deed) to the point of beginning. Containing 10.286 Acres of land. Subject to the rights of the public in and to that part of the above described property known as Elizabeth Lake Road. Also subject to any and all other easements or records.

**SHEET INDEX**

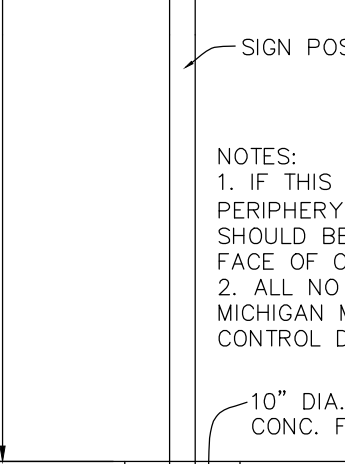
- 1 OVERALL PLAN
- 2 GRADING PLAN
- 3 UTILITY PLAN
- 4 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- 5 WRC SOIL EROSION & SEDIMENTATION CONTROL DETAILS
- L-1 LANDSCAPE PLAN (ALLEN DESIGN)
- L-2 LANDSCAPE DETAILS (ALLEN DESIGN)

**PARKING STRIPING NOTE:**

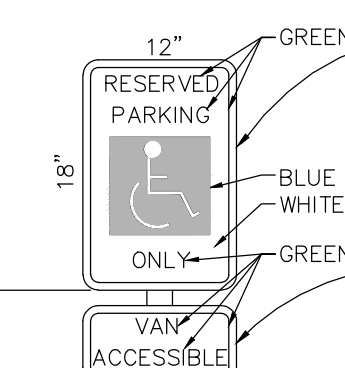
EACH INDIVIDUAL PARKING SPACE SHALL BE DELINEATED BY DUAL STRIPES, TWO FEET APART CENTERED ON THE DIVIDING LINES AND PAINTED WHITE. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.



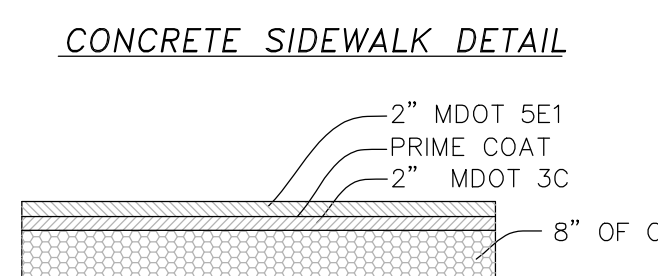
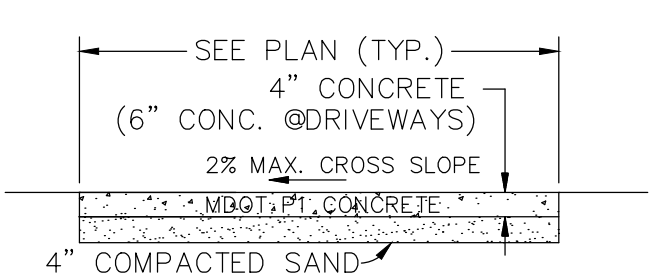
NOTES:  
1. IF THIS INSTALLATION IS TO BE AROUND THE PERIPHERY OF STREET, POST AND/OR SIGN SHOULD BE A MINIMUM OF 4 FEET BEHIND FACE OF CURB OR SIDEWALK.  
2. ALL NO PARKING SIGNS SHALL MEET MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE STANDARDS.



NO PARKING SIGN



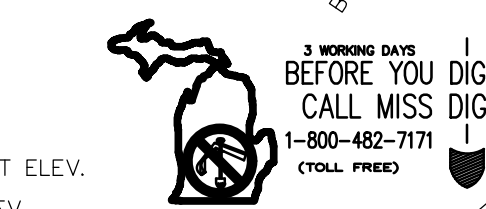
HANDICAP SIGN



**NOTE:** THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**LEGEND**

- EXISTING STORM
- EXISTING WATER MAIN
- EXISTING SANITARY
- EXISTING GAS
- EX. CATCH BASIN
- EX. MANHOLE
- EX. END SECTION
- EX. HYDRANT
- EX. WATER VALVE
- SET IRON
- EX. GUY WIRE
- FD. IRON
- TRANSFORMER
- EX. POWER POLE
- PROP. SANITARY SEWER
- PROP. WATER MAIN
- FINISH GRADE
- PROP. DRAINAGE ARROW
- PROP. TOP OF PAVEMENT ELEV.
- PROP. TOP OF CURB ELEV.
- PROP. TOP OF WALK ELEV.
- PROP. SPOT ELEV.
- PROP. CONTOUR
- PROP. SILT FENCE
- PROP. CONCRETE WALK



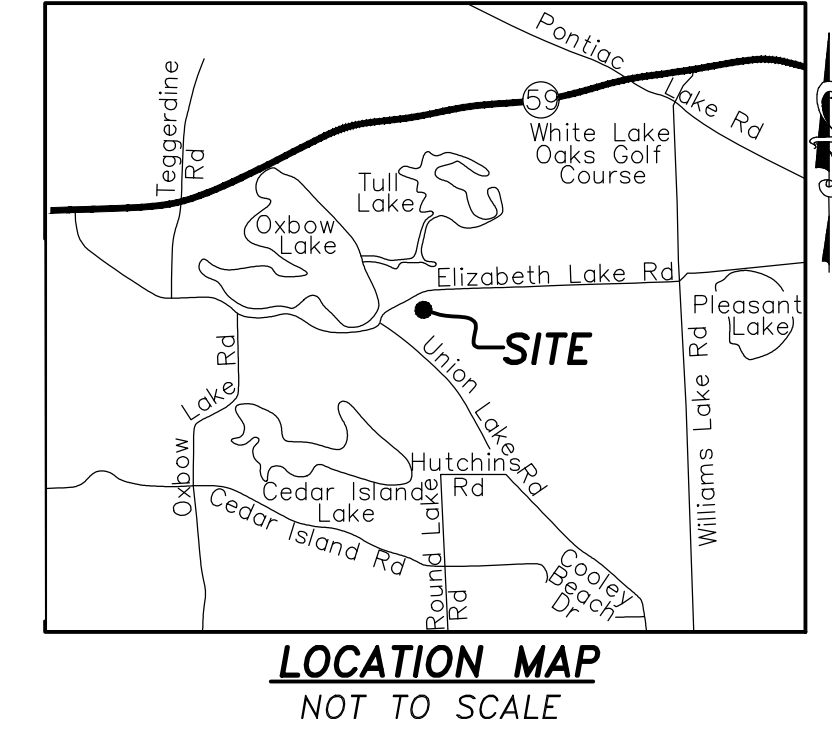
**NOTE:** CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

# ELIZABETH TRACE

## SITE PLAN AMENDMENT

### MULTI-FAMILY RESIDENTIAL CONDOMINIUMS

#### WHITE LAKE TOWNSHIP, OAKLAND COUNTY



**SITE DATA:**

CURRENT ZONING= RM-1 ATTACHED SINGLE FAMILY

**SITE AREA DATA:**  
 TOTAL SITE AREA= 448,058 SF (10.286 ACRES)  
 EXISTING RIGHTS-OF-WAY= 28,270 SF  
 EXISTING WETLAND AREA= 128,077 SF  
 SITE AREA LESS WETLAND/RIGHTS-OF-WAY= 291,711 SF

**MINIMUM LOT AREA CALCULATION:**  
 EXISTING UNITS: 19  
 PROPOSED UNITS: 26  
 TOTAL NUMBER OF UNITS= 45

EXISTING UNITS NUMBER OF BEDROOMS=  
 (8) 3 BEDROOM UNITS & (11) 2 BEDROOM UNITS  
 15T - 3 BEDROOM UNITS = 45,500 SF  
 7 - 3 BEDROOM UNITS @ 6,500 SF PER UNIT = 45,500 SF  
 11 - 2 BEDROOM UNITS @ 6,000 SF PER UNIT = 66,000 SF  
 TOTAL = 121,500 SF

LOT AREA REMAINING= 291,711 SF - 121,500 SF = 170,211 SF

PROPOSED UNITS NUMBER OF BEDROOMS=  
 (26) 3 BEDROOM UNITS  
 LOT AREA REQUIRED= 26 UNITS \* 6,500 SF PER UNIT = 169,000 SF

**OPEN SPACE:**

OPEN SPACE AREA PROVIDED= 27,700 SF (0.64 ACRES)

**REQUIRED SETBACKS:**  
 40' - FRONT  
 25' - SIDE  
 40' - REAR  
 36' - MINIMUM DISTANCE BETWEEN 120' BUILDINGS  
 42' - MINIMUM DISTANCE BETWEEN 150' BUILDINGS

**LOT COVERAGE:**

20% MAXIMUM  
 11.6% PROVIDED

**RECREATION SPACE:**

5,000 SF FOR FIRST UNIT PLUS 100 SF FOR EACH ADDITIONAL UNIT= 9,400 SF REQUIRED  
 25,840 SF PROVIDED

**PARKING CALCULATIONS:**

PARKING REQUIRED= 45 UNITS @ 2 SPACES PER UNIT = 124 BEDROOMS @ 1/4 OF A SPACE PER BEDROOM  
 TOTAL PARKING REQUIRED= 121 SPACES

PARKING PROVIDED= 45 GARAGES @ 2 SPACES PER GARAGE = 13 VISITOR SPACES = 9 OVERFLOW SPACES  
 TOTAL PARKING PROVIDED= 202 SPACES

**BUILDING SIZES:**

4-PLEX = 4,560 SF EACH  
 5-PLEX = 5,700 SF EACH

**WAIVERS/MODIFICATIONS TO STANDARD ZONING REQUIREMENTS:**  
 - TO NOT INSTALL SIX (6) FOOT SIDEWALK ALONG ELIZABETH LAKE ROAD.  
 - TO ALLOW PORTION OF REAR PATIO'S WITHIN THE 25' WETLAND SETBACK AS FOLLOWS:  
 UNIT 47: 4.0' WITHIN THE WETLAND SETBACK  
 UNIT 48: 4.9' WITHIN THE WETLAND SETBACK  
 UNIT 49: 5.6' WITHIN THE WETLAND SETBACK  
 UNIT 50: 2.3' WITHIN THE WETLAND SETBACK  
 - TO ALLOW REDUCED DISTANCE BETWEEN BUILDINGS AS FOLLOWS:  
 UNITS 10-14 & UNITS 47-50: 30.2'  
 UNITS 51-54 & UNITS 55-59: 36.1'  
 UNITS 60-63 & UNITS 64-67: 20.6'  
 UNITS 42-46 & UNITS 68-72: 35.4'

**NOTES:**

- FRANCHISE UTILITIES TO BE UNDERGROUND.
- STORM WATER DETENTION ACCOMMODATED WITHIN EXISTING DETENTION BASIN.
- SANITARY SEWER SERVICE IS PROVIDED VIA EXISTING SEWER.
- WATER MAIN SERVICE IS PROVIDED VIA EXISTING WATER MAIN.
- TRASH COLLECTION TO BE CURBSIDE.
- OUTDOOR LIGHTING TO BE PROVIDED VIA ONE LIGHT ON EACH SIDE OF THE GARAGE AND ONE LIGHT IN THE CENTER OF THE PORCH CEILING.
- STREETS SHALL BE POSTED WITH "NO PARKING" SIGNAGE. ALL NO PARKING SIGNS SHALL MEET MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICE STANDARDS. RELOCATE EXISTING SIGNS, AS NECESSARY, FOR SIDEWALK CONSTRUCTION.

**WHITE LAKE TOWNSHIP STANDARD SITE CONSTRUCTION NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE CHARTER TOWNSHIP.
- THE DEVELOPER SHALL CONTACT THE TOWNSHIP PLANNING DEPARTMENT AT (248) 698-3300 TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE DEVELOPER'S PRIME SITE CONTRACTOR SHALL ATTEND. A COPY OF ALL PERMITS MUST BE SUBMITTED TO THE PLANNING DEPARTMENT PRIOR TO SCHEDULING THE MEETING.
- THE CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER AT (248) 334-9901 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL KEEP THE INSPECTOR APPRAISED OF THE NEED FOR INSPECTION ON A DAY BY DAY BASIS. LACKING SPECIFIC SCHEDULING WITH THE INSPECTOR, THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE TO THE TOWNSHIP ENGINEER PRIOR TO RE-COMMENCING WORK REQUIRING INSPECTION. FAILURE TO INFORM THE INSPECTOR OR THE TOWNSHIP ENGINEER OF A WORK CANCELLATION MAY RESULT IN A ONE HALF DAY INSPECTION CHARGE TO THE DEVELOPER. THE CONTRACTOR SHALL CALL (248) 844-5400 TO SCHEDULE SANITARY SEWER MAIN LINE INSPECTION.
- ALL WATERMAIN OR SANITARY WORK WILL REQUIRE FULL TIME INSPECTION. FULL TIME INSPECTION WILL GENERALLY BE REQUIRED FOR UNDERGROUND STORM SEWER CONSTRUCTION, CONCRETE CURBING AND PAVING OPERATIONS. SITE GRADING AND DETENTION BASIN CONSTRUCTION WILL GENERALLY BE INSPECTED ON AN INTERMITTENT BASIS.
- THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 72 HOURS IN ADVANCE OF CONSTRUCTION TO HAVE EXISTING UNDERGROUND FACILITIES LOCATED. CONTRACTOR SHALL CONTACT THE WHITE LAKE TOWNSHIP WATER DEPARTMENT AT (248) 698-3300 EXT. 165 SEPARATELY 72 HOURS IN ADVANCE OF CONSTRUCTION TO HAVE WATER UTILITIES LOCATED.

**R.C.O.C. NOTES:**

1. A PERMIT MUST OBTAINED FROM THE R.C.O.C. PERMIT DIVISION PRIOR TO ANY WORK BEING DONE ALONG EXISTING COUNTY ROADS.



**BENCHMARKS U.S.G.S. DATUM**

- BM # 30 PK WITH TAG IN NORTH FACE UTILITY POLE AT SOUTH SIDE OF ELIZABETH LAKE ROAD AND OPPOSITE MYRICK DRIVE ELEVATION - 952.96
- BM # 31 PK WITH TAG IN SSE FACE UTILITY POLE AT NORTHWEST CORNER OF SHOTWELL AND ELIZABETH LAKE ROAD ELEVATION - 959.576
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 (248) 926-3701 (CELL)  
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 SITE ENGINEERING  
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 LAND SURVEYING  
 CONSTRUCTION LAYOUT

**SURVEYING**  
 ALTA SURVEYS  
 BOUNDARY SURVEYS  
 TOPOGRAPHIC SURVEYS  
 PARCEL SPLITS  
 CONSTRUCTION LAYOUT

**RESIDENTIAL**  
 SUBDIVISIONS  
 SITE CONDOMINIUM  
 MULTI-FAMILY  
 PLOT PLANS  
 CONSTRUCTION LAYOUT

**PH HOMES**

**OVERALL PLAN**

ELIZABETH TRACE SITE PLAN AMENDMENT  
 TOWNSHIP: 3  
 RANGE: 8 E  
 SECTION: 26  
 WHITE LAKE TOWNSHIP  
 OAKLAND COUNTY  
 MICHIGAN

CLIENT: PH HOMES

REVISED

2024-11-01 PER CLIENT

2024-12-05 PER CLIENT

2024-12-20 PER CLIENT

2025-01-31 PER TWP/CLIENT

DATE: 2024-10-23

DRAWN BY: TG

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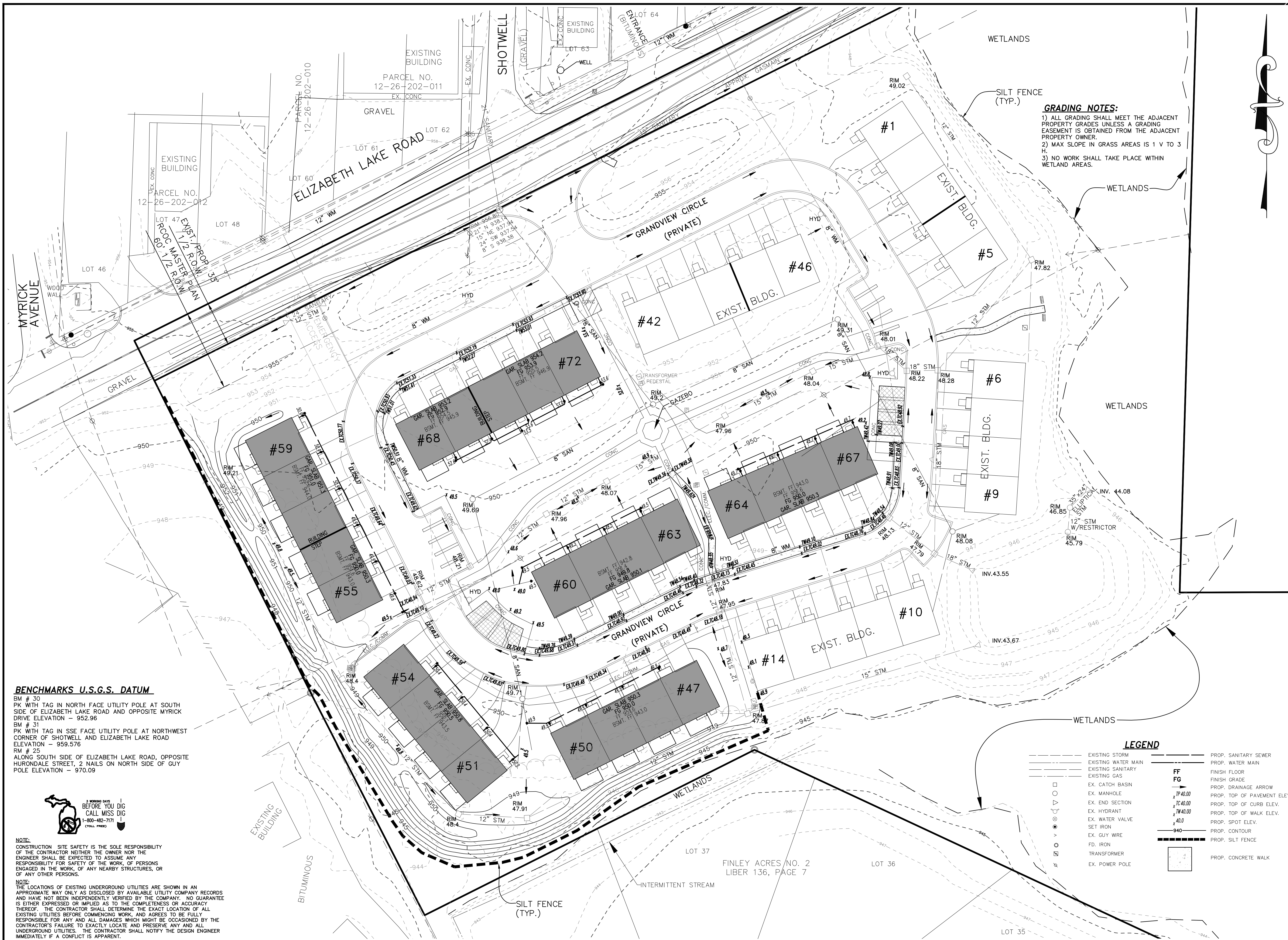
FBK: 113

CHF: BAJ

SCALE: HOR 1"=50 FT.  
 VER 1"= 1 FT.

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**GRADING NOTES:**  
 1) ALL GRADING SHALL MEET THE ADJACENT PROPERTY GRADES UNLESS A GRADING EASEMENT IS OBTAINED FROM THE ADJACENT PROPERTY OWNER.  
 2) MAX SLOPE IN GRASS AREAS IS 1 V TO 3 H.  
 3) NO WORK SHALL TAKE PLACE WITHIN WETLAND AREAS.

**LEGEND**

---	EXISTING STORM	---	PROP. SANITARY SEWER
---	EXISTING WATER MAIN	---	PROP. WATER MAIN
---	EXISTING SANITARY	---	PROP. FINISH FLOOR
---	EXISTING GAS	---	PROP. FINISH GRADE
□	EX. CATCH BASIN	---	PROP. DRAINAGE ARROW
○	EX. MANHOLE	---	PROP. TOP OF PAVEMENT ELEV.
○	EX. END SECTION	---	PROP. TOP OF CURB ELEV.
○	EX. HYDRANT	---	PROP. TOP OF WALK ELEV.
○	EX. WATER VALVE	---	PROP. SPOT ELEV.
○	SET IRON	---	PROP. CONTOUR
○	EX. GUY WIRE	---	PROP. SILT FENCE
○	FD. IRON	---	PROP. CONCRETE WALK
○	TRANSFORMER		
○	EX. POWER POLE		

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**PH HOMES**  
**GRADING PLAN**

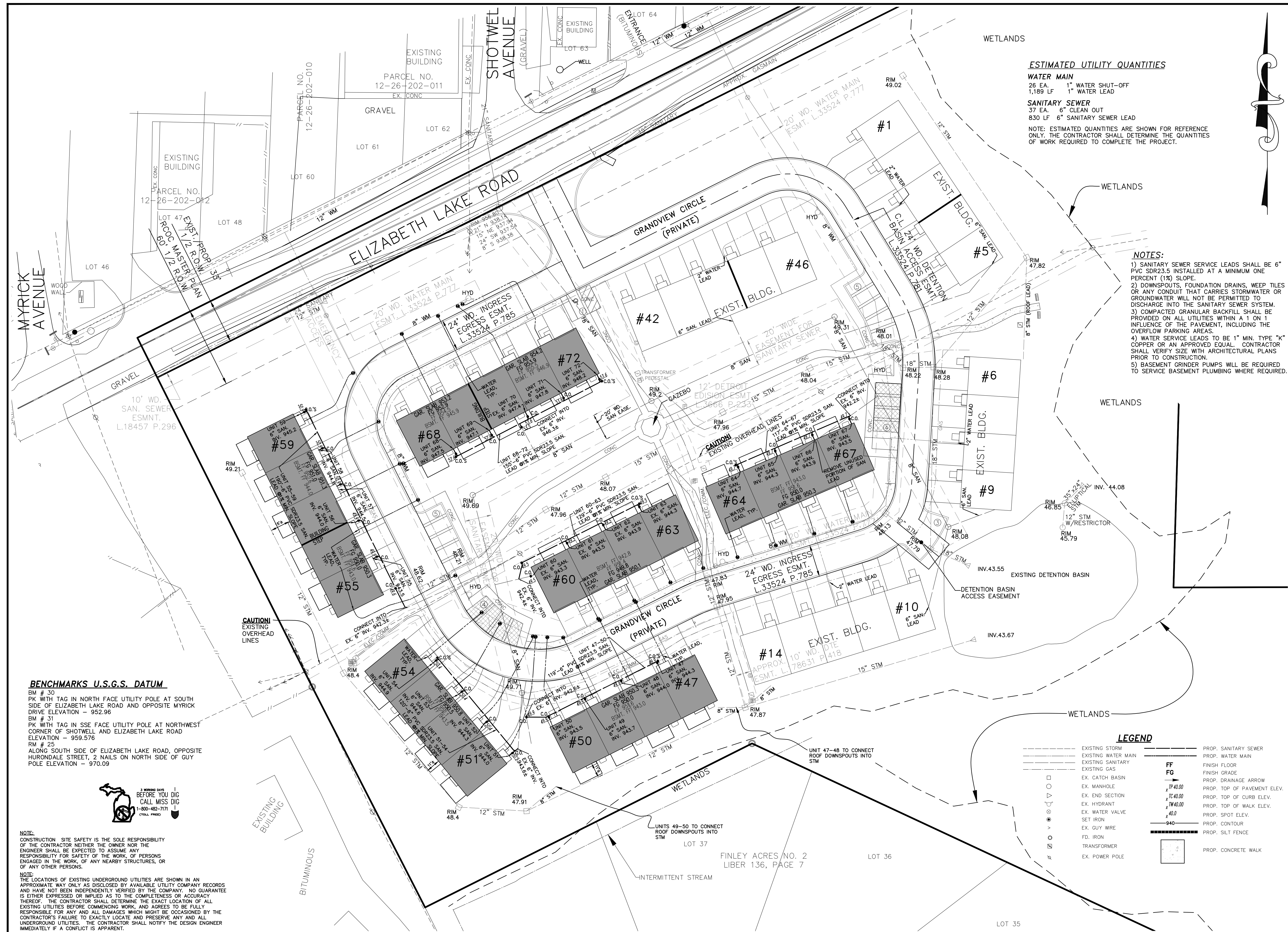
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 RANGE: 8 E  
 TOWNSHIP: 3 N  
 WHITE LAKE TOWNSHIP  
 OAKLAND COUNTY  
 MICHIGAN  
 SECTION: 26

REVISED  
 2024-11-01 PER CLIENT  
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2



**ESTIMATED UTILITY QUANTITIES**

**WATER MAIN**  
26 EA. 1" WATER SHUT-OFF  
1,189 LF 1" WATER LEAD

**SANITARY SEWER**  
37 EA. 6" CLEAN OUT  
830 LF 6" SANITARY SEWER LEAD

NOTE: ESTIMATED QUANTITIES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL DETERMINE THE QUANTITIES OF WORK REQUIRED TO COMPLETE THE PROJECT.

**NOTES:**

- 1) SANITARY SEWER SERVICE LEADS SHALL BE 6" PVC SDR23.5 INSTALLED AT A MINIMUM ONE PERCENT (1%) SLOPE.
- 2) DOWNSPOUTS, FOUNDATION DRAINS, WEEP TILES OR ANY CONDUIT THAT CARRIES STORMWATER OR GROUNDWATER WILL NOT BE PERMITTED TO DISCHARGE INTO THE SANITARY SEWER SYSTEM.
- 3) COMPACTED GRANULAR BACKFILL SHALL BE PROVIDED ON ALL UTILITIES WITHIN A 1 ON 1 INFLUENCE OF THE PAVEMENT, INCLUDING THE OVERFLOW PARKING AREAS.
- 4) WATER SERVICE LEADS TO BE 1" MIN. TYPE "K" COPPER OR AN APPROVED EQUAL. CONTRACTOR SHALL VERIFY SIZE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- 5) BASEMENT GRINDER PUMPS WILL BE REQUIRED TO SERVICE BASEMENT PLUMBING WHERE REQUIRED.

**LEGEND**

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---	EXISTING WATER MAIN	---	PROP. WATER MAIN
---	EXISTING SANITARY	---	FINISH FLOOR
---	EXISTING GAS	---	FINISH GRADE
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**UTILITY PLAN**

PH HOMES  
ELIZABETH TRACE SITE PLAN AMENDMENT  
TOWNSHIP: 3 N  
WHITE LAKE TOWNSHIP  
OAKLAND COUNTY  
MICHIGAN  
SECTION: 26  
RANGE: 8 E

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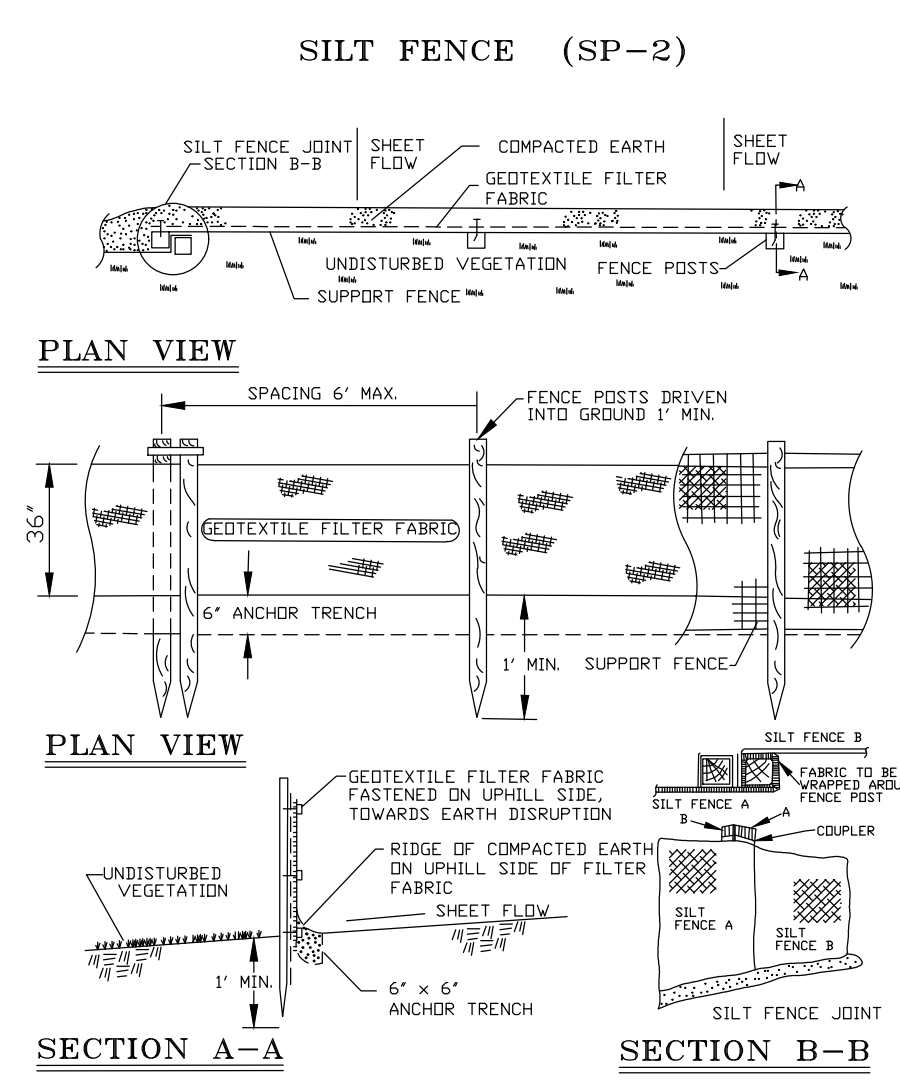
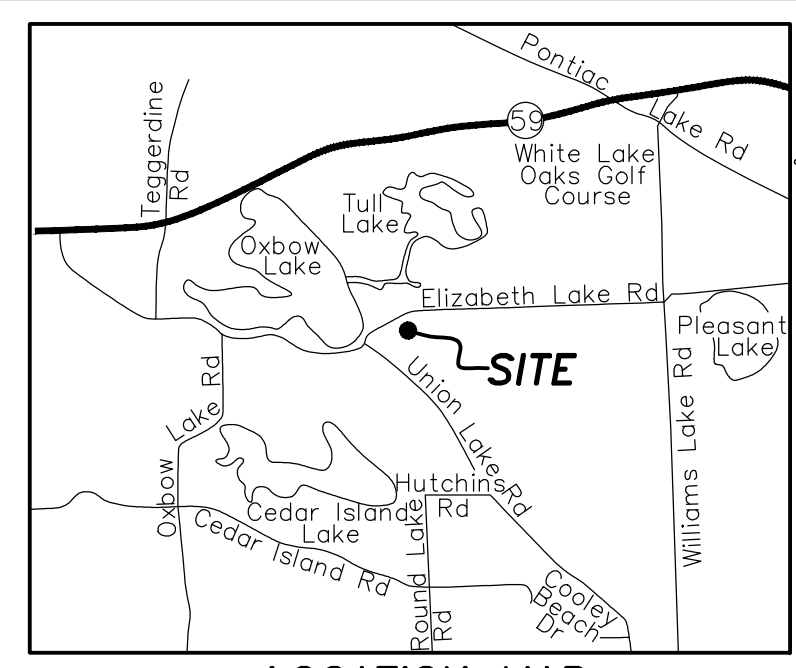
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3

**LEGAL DESCRIPTION**

DESCRIPTION PER DETROIT EDISON PROPERTY SURVEY, DATED 12-14-89  
 Part of the Northeast 1/4 of Section 26, Town 3 North, Range 8 East, White Lake Township, Oakland County, Michigan.  
 Further described as:  
 Beginning at a point on the North line of Section 26 (Elizabeth Lake Road) distant N89°46'40" W 1334.66 feet and S89°49'00" W 165.00 feet from the Northeast Corner of said Section 26; thence continuing S89°49'00" W 100.15 feet; thence S63°25'09" W 764.79 feet measured (S63°23'00" W 784.75 feet deed), the last two courses being along the centerline of Elizabeth Lake Road; thence S26°37'00" E 289.68 feet measured, (289.60 feet deed); thence S27°07'00" E 183.80 feet to a found monument being on the Northerly line of Finley Acres No. 2 Subdivision as recorded in Liber 136 of plats, page 7 of the Oakland County Records; thence N63°22'30" E 271.42 feet measured (271.31 record) along said northerly line of said Finley Acres No. 2 Subdivision; thence S65°01'23" E 516.47 feet measured, (S85°04'30" E 515.90 feet deed, 516.50 feet platted), along the northerly line of said Finley Acres No. 2 Subdivision and also the northerly line of Finley Acres No. 1 Subdivision as recorded in Liber 130 of plats, page 1 of the Oakland County Records; thence N01°38'37" E 334.45 feet calculated, (N01°35'20" E 334.56 feet deed); thence S89°49'00" W 165.00 feet; thence N01°38'37" E 528.00 feet measured, (N01°35'20" E 528.00 feet deed) to the point of beginning. Containing 10.286 Acres of land. Subject to the rights of the public in and to that part of the above described property known as Elizabeth Lake Road. Also subject to any and all other easements of record.

**PARCEL NO. 12-26-204-007**



**EROSION CONTROL STANDARD NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER (OCWRC) AND WHITE LAKE TOWNSHIP.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS.
- THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHERE OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE WORK AREA.
- THE CONTRACTOR SHALL PRESERVE ON-SITE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
- STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED USING THE APPROPRIATE VEGETATION WITHIN FIVE DAYS OF COMPLETION OF FINAL GRADING.
- THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE AS NEEDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL PROVIDE ALL EQUIPMENT AND MATERIAL TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS.

**MAINTENANCE REQUIREMENTS:**

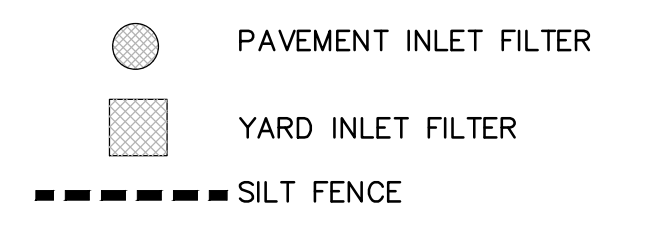
- INSPECTION & MAINTENANCE OF SOIL EROSION CONTROL MEASURES TO BE CONDUCTED ON A WEEKLY BASIS OR AS INDICATED BELOW, WHICHEVER IS SOONER. RECORDS OF MAINTENANCE INSPECTIONS TO BE RECORDED IN A LOGBOOK. THE LOG BOOK SHALL BE KEPT ON SITE AT ALL TIMES.
- SILT FENCE**  
 SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED AND DISPOSED OF IN A STABLE UPLAND SITE. THE SOIL CAN BE ADDED TO THE SPOIL PILE. IF THE FABRIC IS BEING UNDERCUT (I.E. IF THE WATER IS SEEPING UNDER THE FENCE), THE FENCE SHOULD BE REMOVED AND REINSTALLED FOLLOWING THE GIVEN PROCEDURES. FABRIC WHICH DECOMPOSES OR OTHERWISE BECOMES INEFFECTIVE SHOULD BE REMOVED AND REPLACED WITH NEW FILTER FABRIC IMMEDIATELY. FILTER FENCES SHOULD BE REMOVED ONCE VEGETATION IS WELL ESTABLISHED AND THE UP-SLOPE IS FULLY STABILIZED OR UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- ACCESS ROADS (HAUL ROADS)**  
 PROPER MAINTENANCE MAY INCLUDE ADDING ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. AFTER EACH STORM EVENT, INSPECT THE ROAD FOR EROSION AND MAKE ANY NECESSARY REPAIRS. IT IS ALSO IMPORTANT TO CHECK AND MAINTAIN ANY BMP'S WHICH ARE USED IN CONJUNCTION WITH THIS BMP, ESPECIALLY THOSE FOR DRAINAGE. ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS SHOULD BE REMOVED IMMEDIATELY BY SWEEPING.
- SEEDING, SODDING & MULCHING**  
 PROPER MAINTENANCE MAY INCLUDE CHECKED FOLLOWING EACH RAIN TO ENSURE SEEDS, SODD OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKLING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE AFOREMENTIONED MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS.

**SEQUENCE OF CONSTRUCTION:**

- INSTALL SILT FENCE AND INLET FILTERS (ON EXISTING STORM STRUCTURES) AS INDICATED ON THE PLANS. (3 DAYS)
- COMMENCE MASS GRADING OPERATIONS. MAINTAIN A MINIMUM 5' BUFFER OF EXISTING VEGETATION AROUND PERIMETER WHENEVER POSSIBLE. STOCKPILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES. (4 WEEKS)
- INSTALL UNDERGROUND UTILITIES. (2 WEEKS)
- BUILDING CONSTRUCTION (52 WEEKS)
- SEED & MULCH OR SOD ALL DISTURBED AREAS. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3"-4" OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED. (1 WEEK)
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED. (3 DAYS)

**SITE CONTAINS SANDY SOILS**  
**DISTURBANCE AREA= 2.3 ACRES**

**SOIL EROSION LEGEND**



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**PH HOMES**  
**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**  
 ELIZABETH TRACE SITE PLAN AMENDMENT RANGE: 8 E TOWNSHIP: 3 N WHITE LAKE TOWNSHIP OAKLAND COUNTY MICHIGAN SECTION: 26

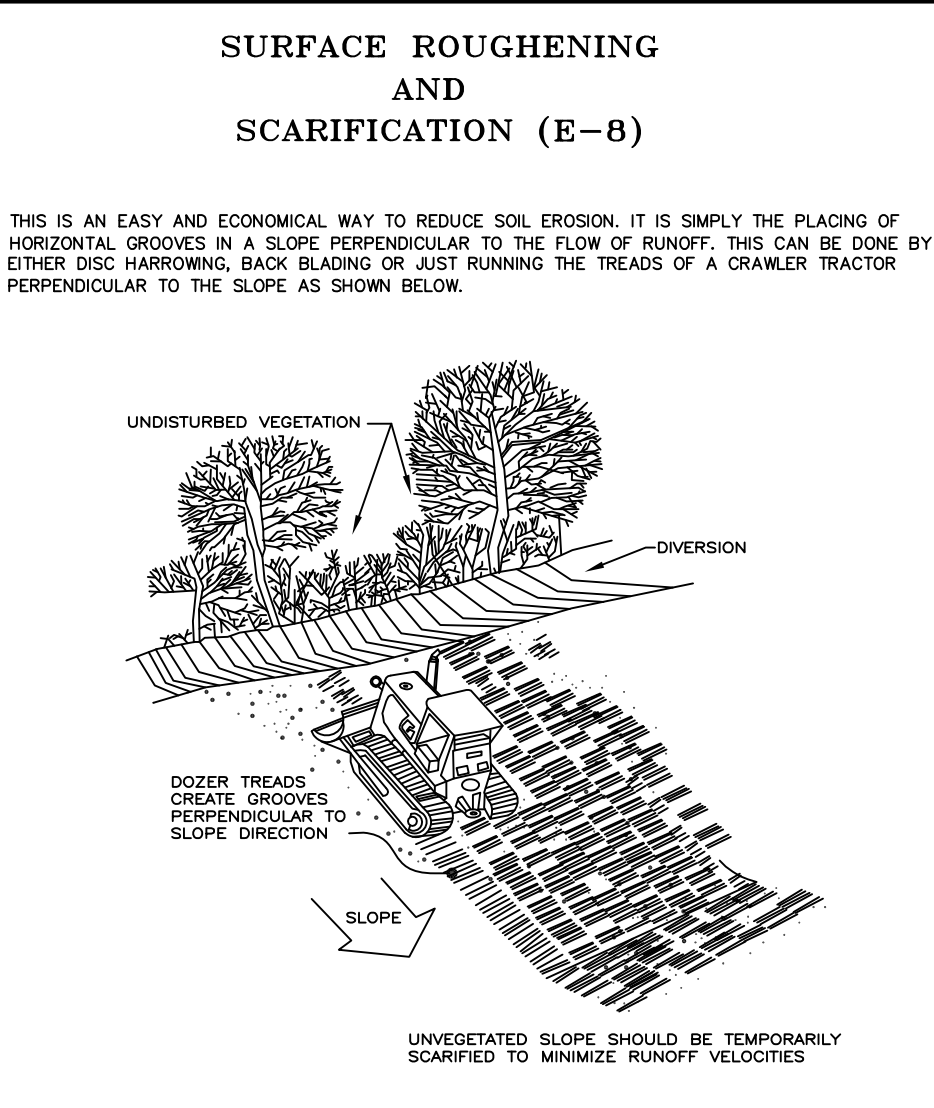
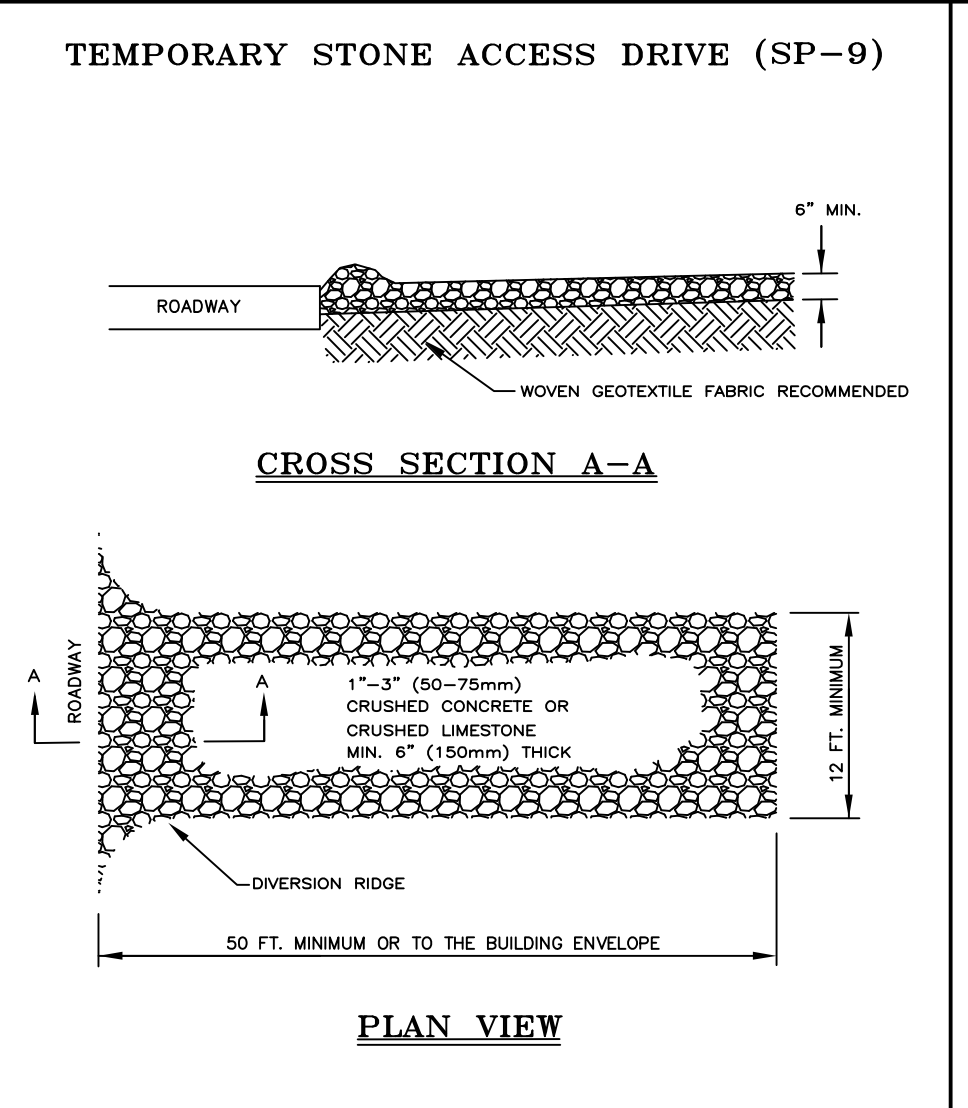
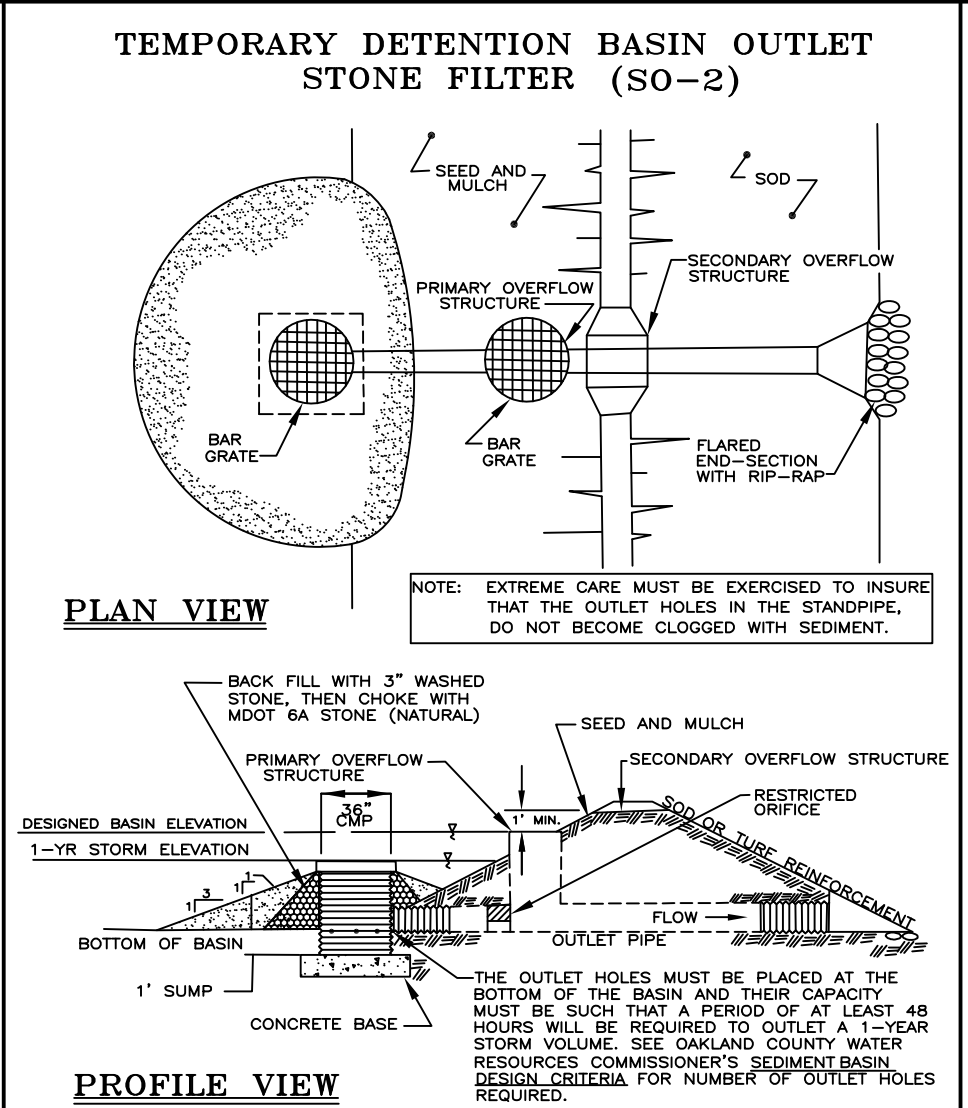
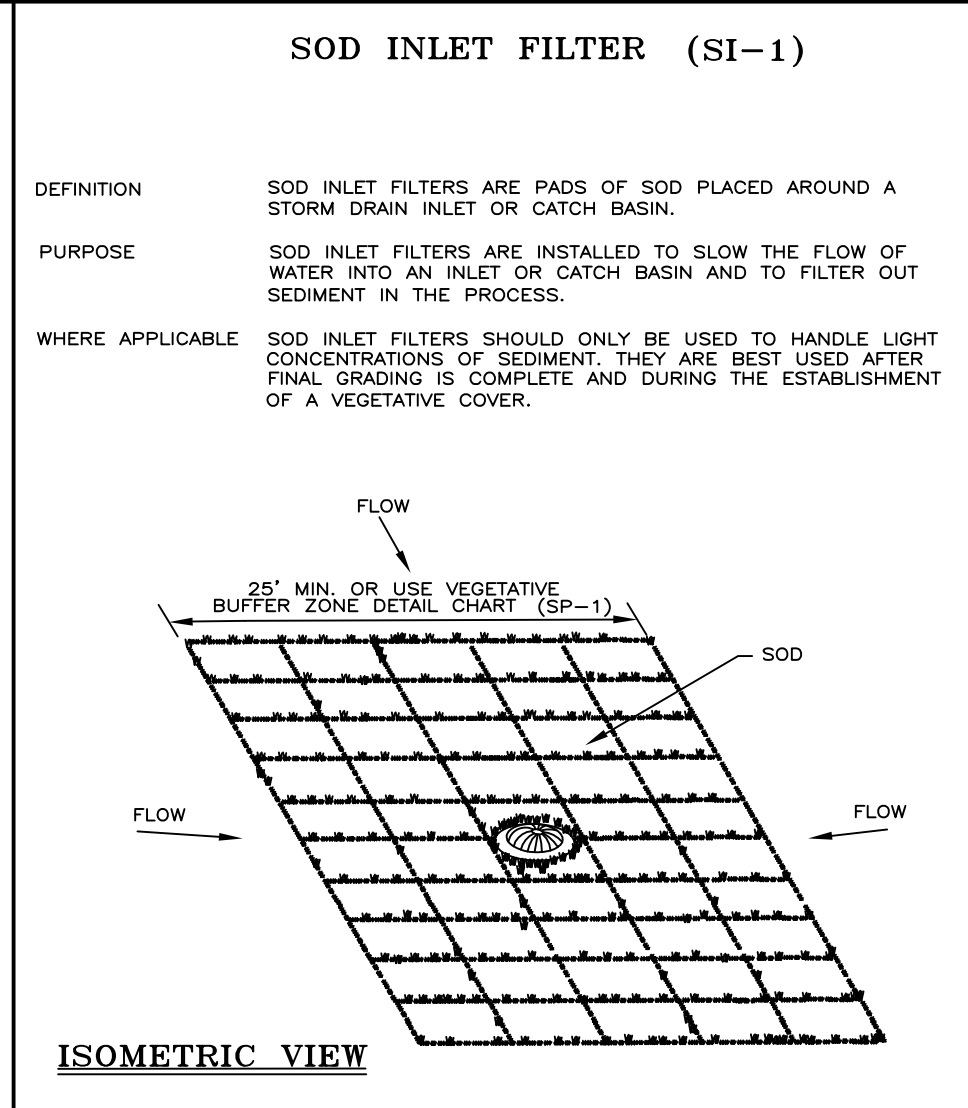
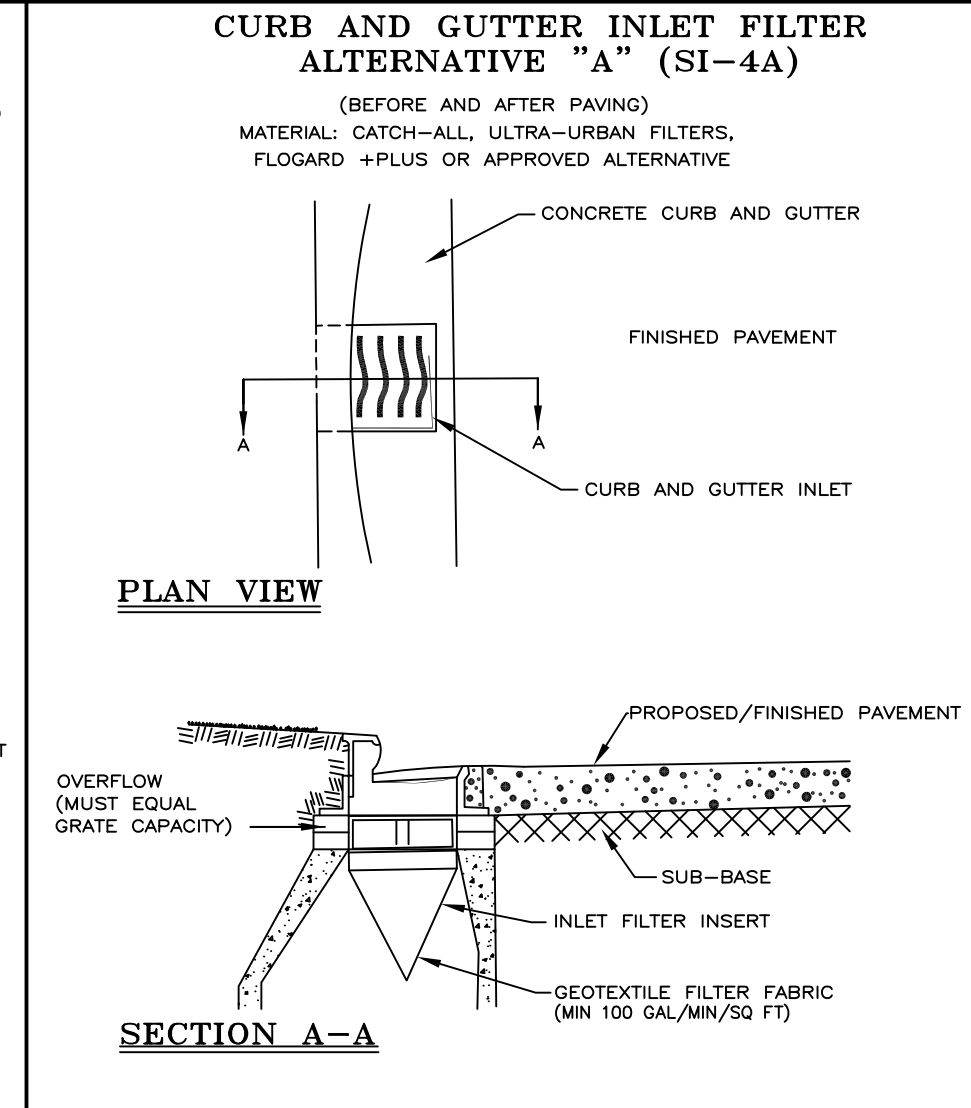
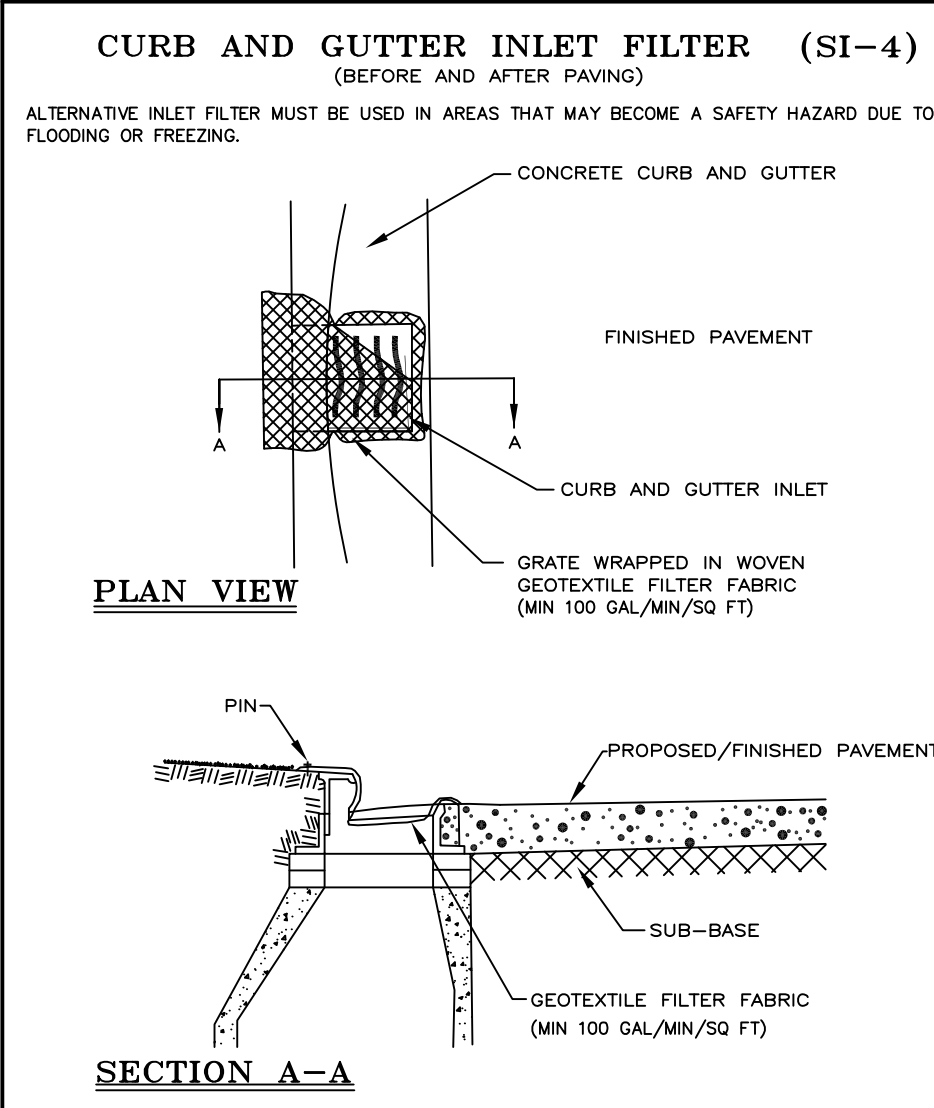
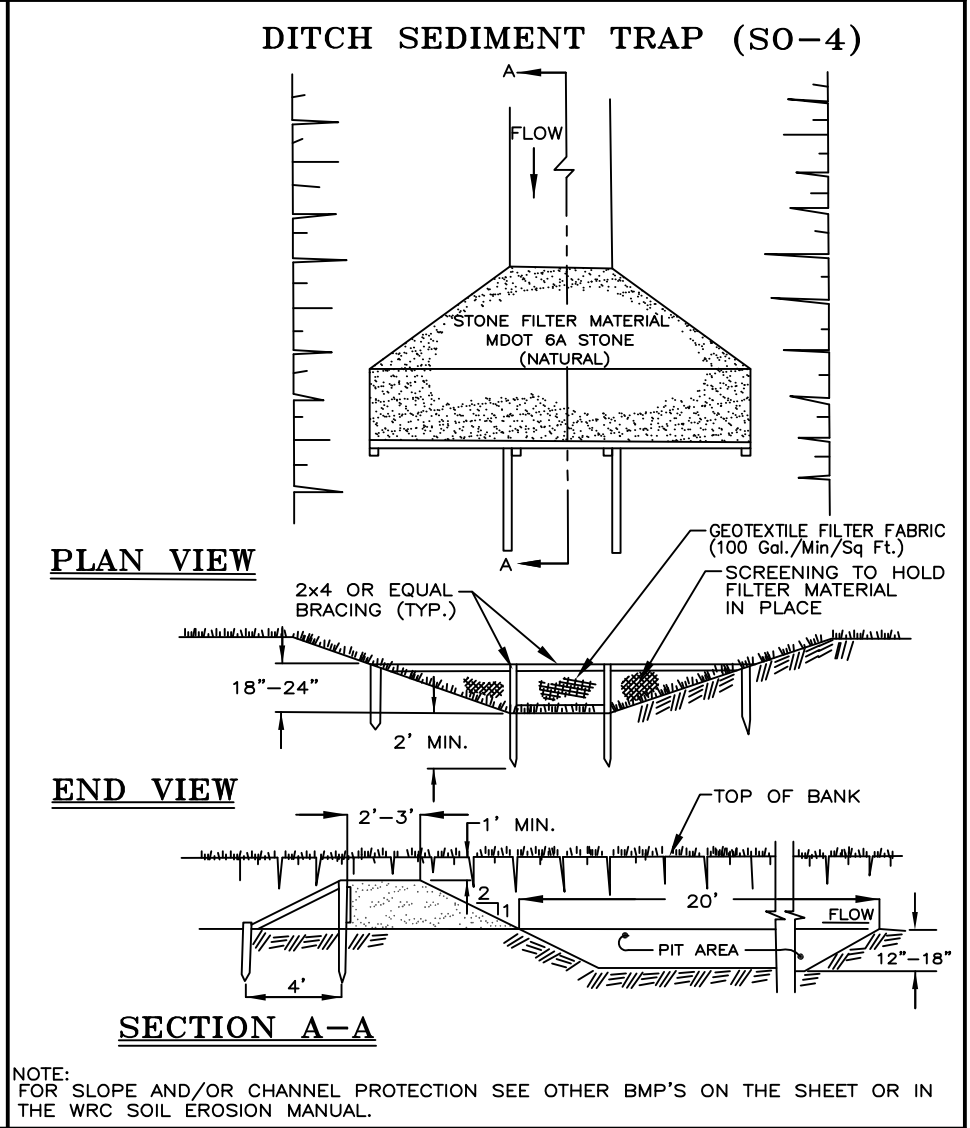
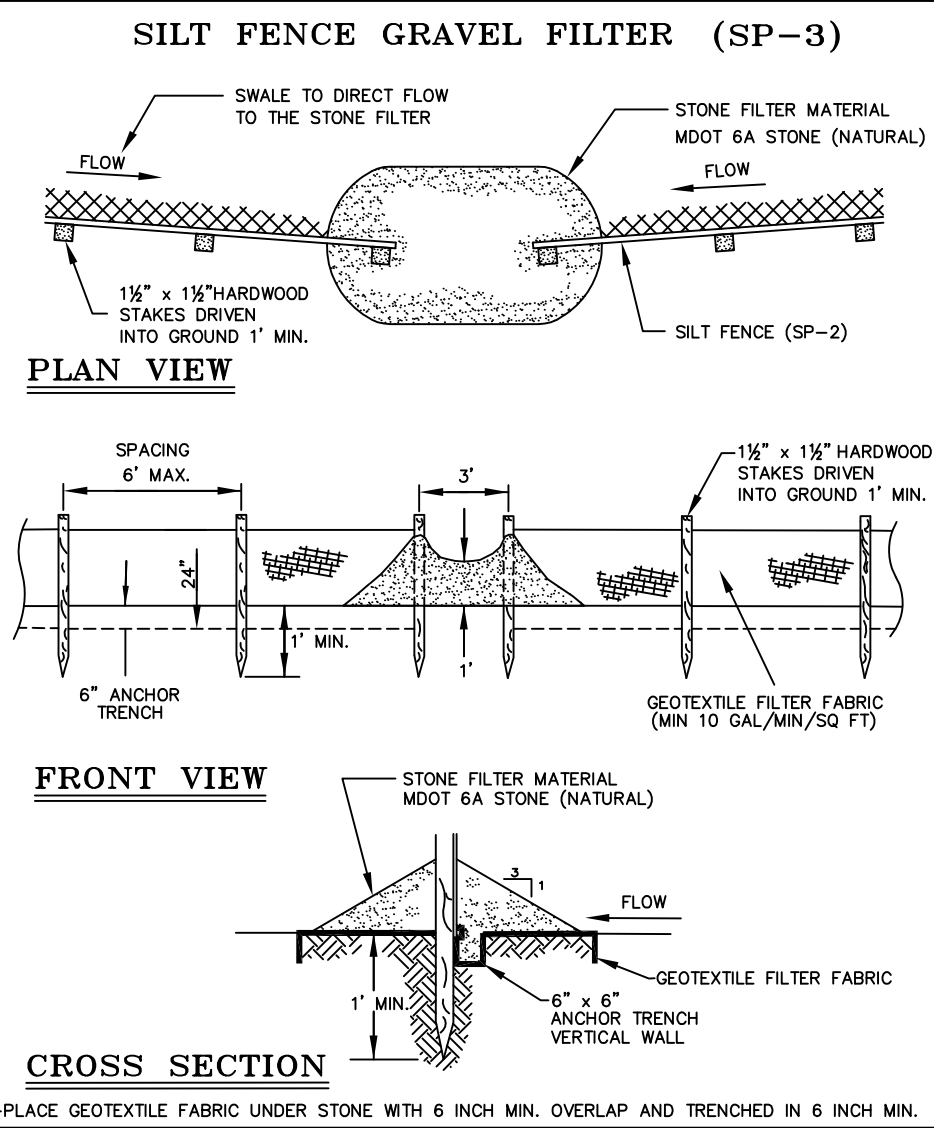
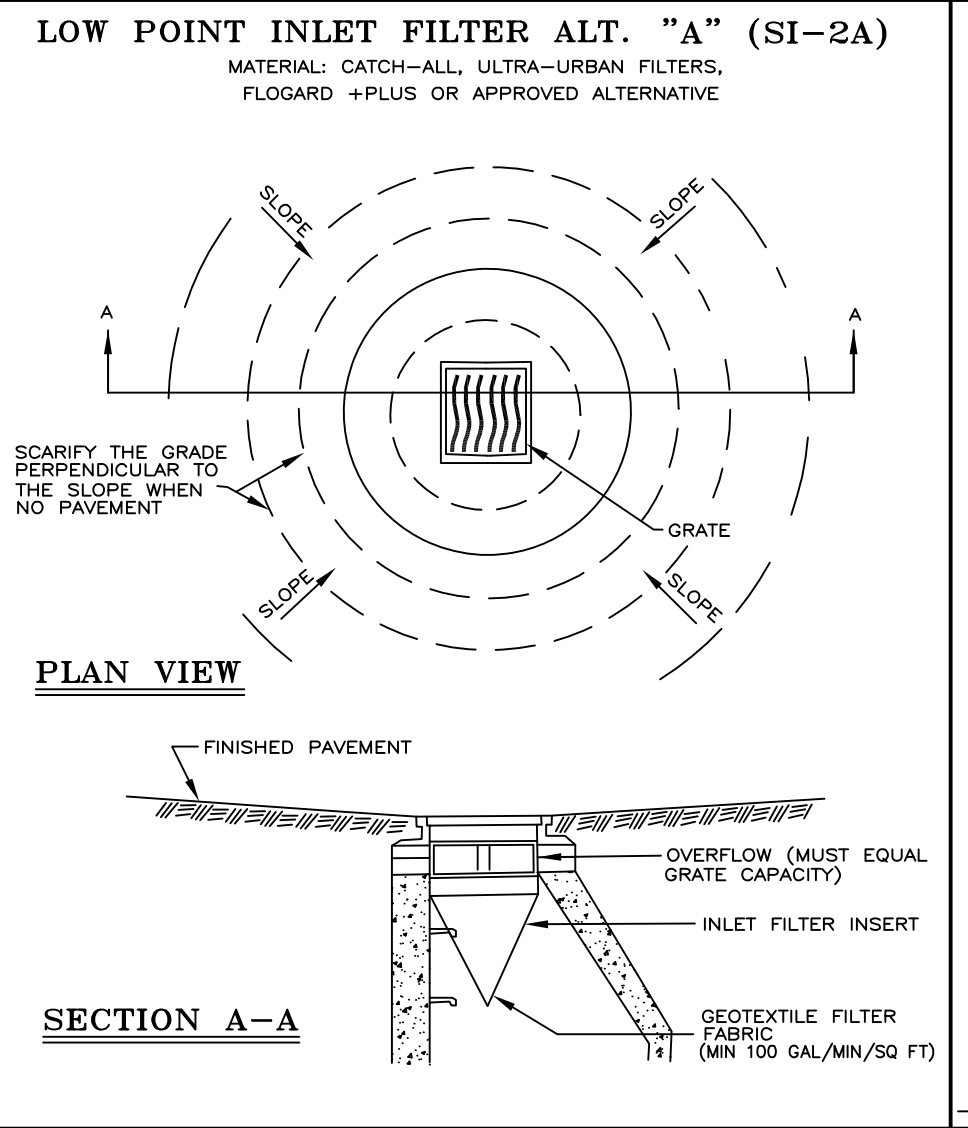
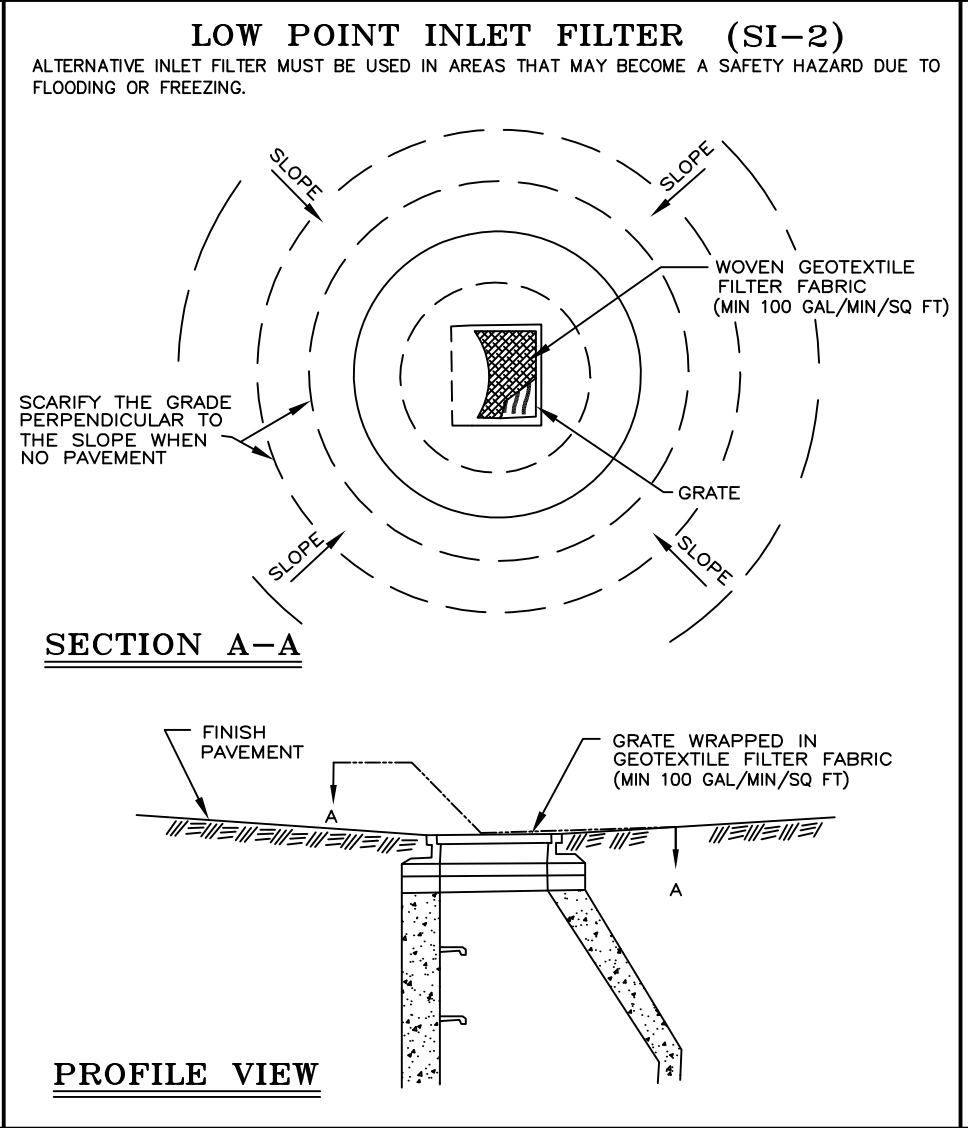
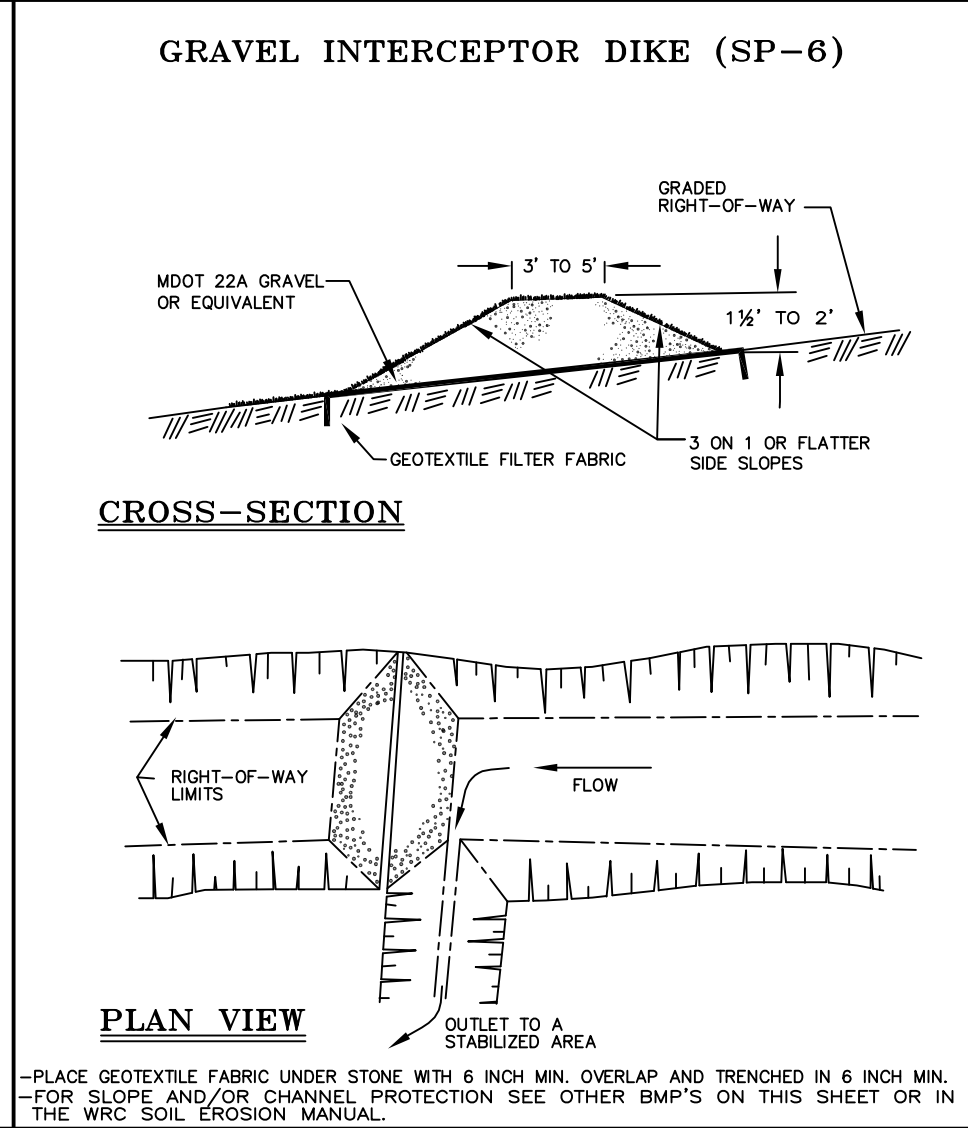
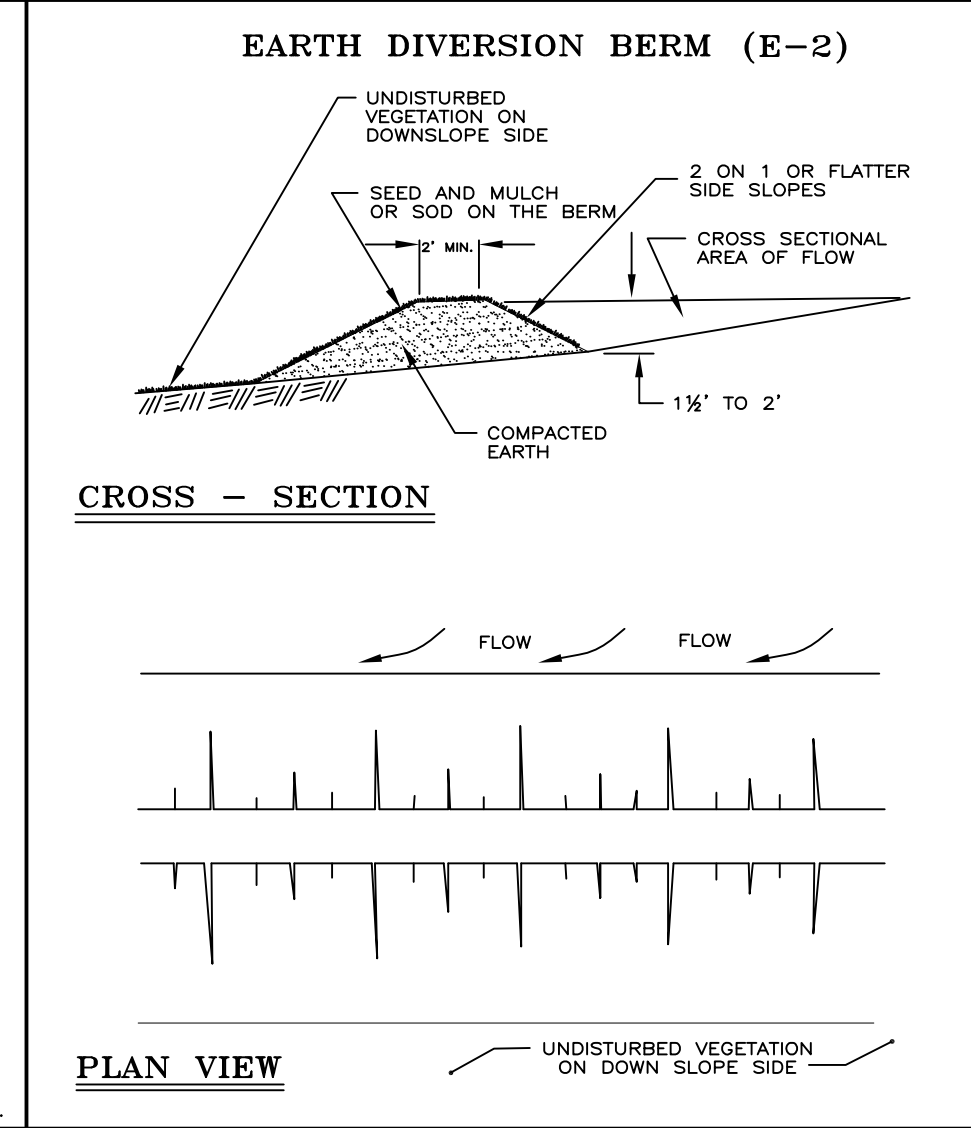
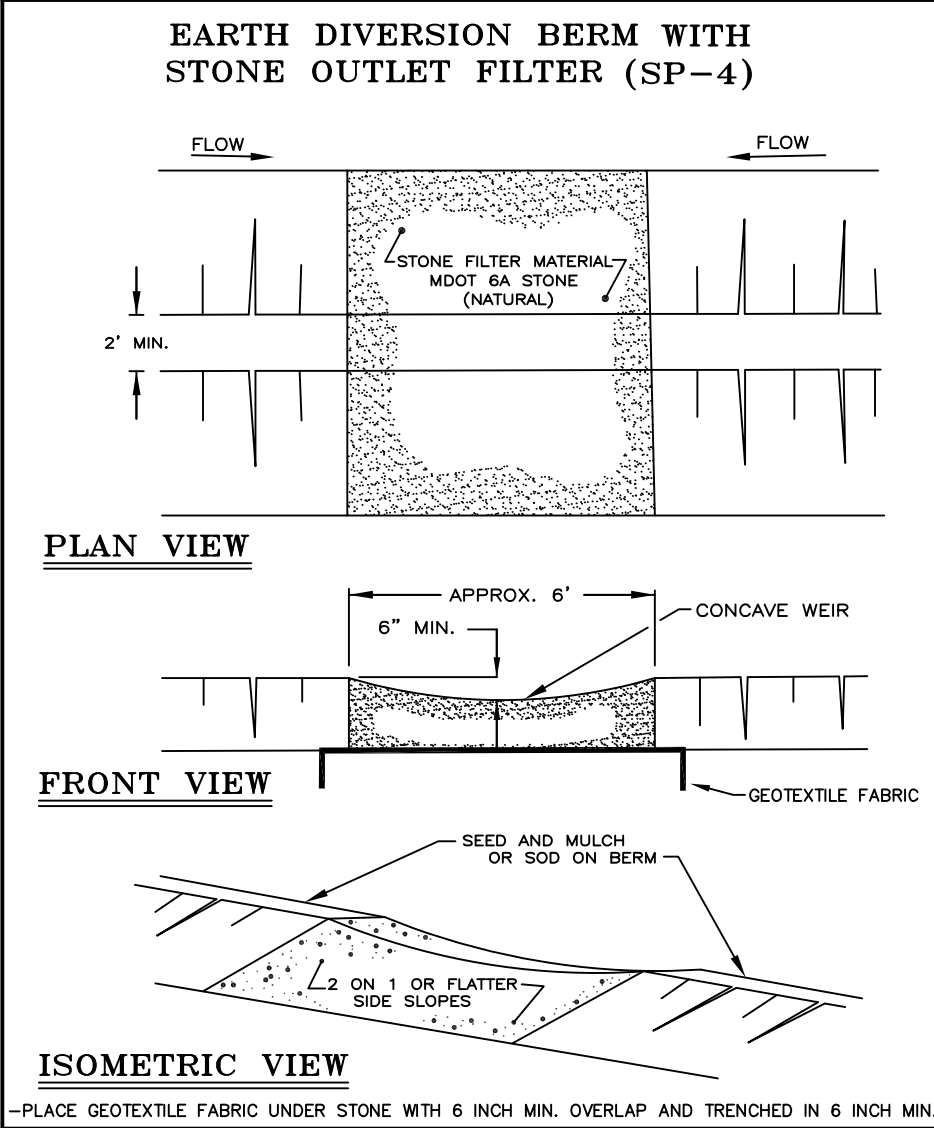
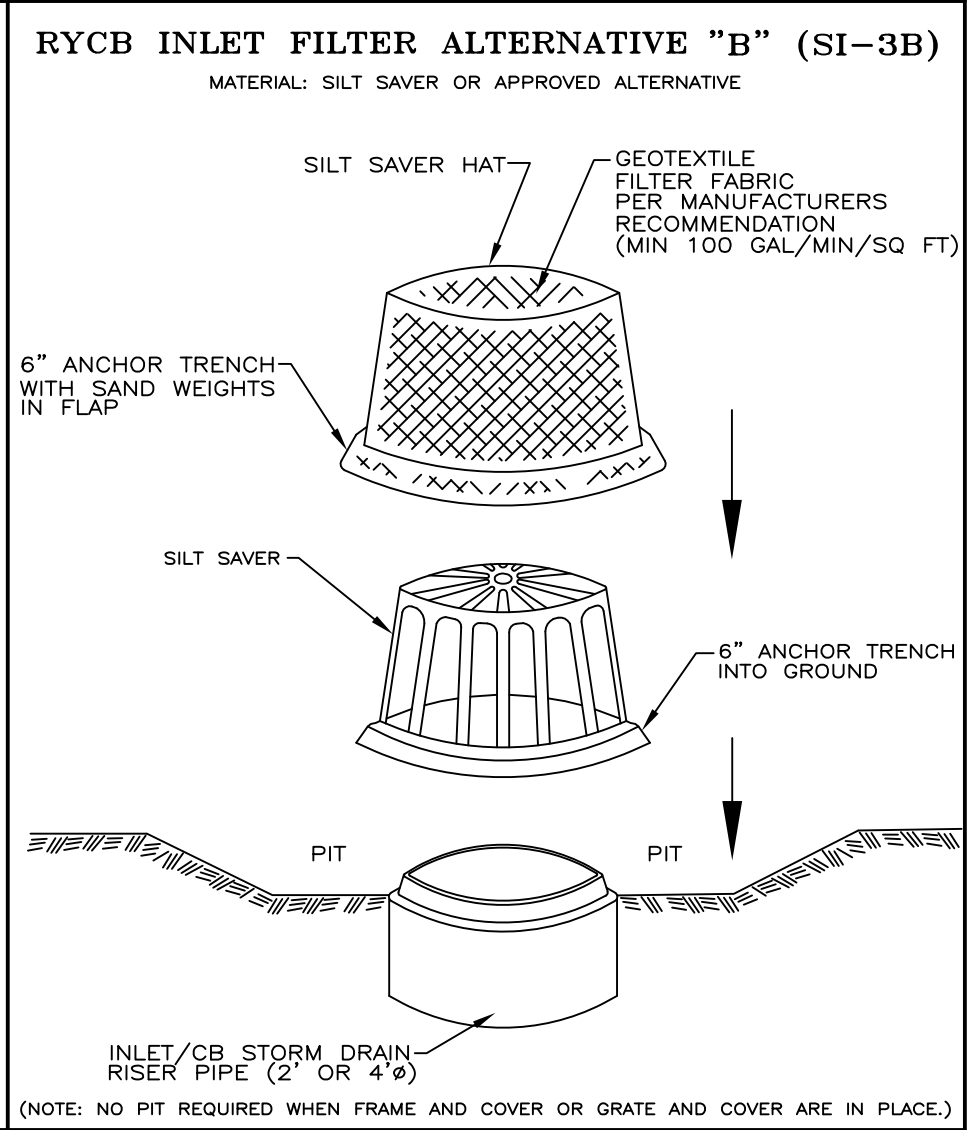
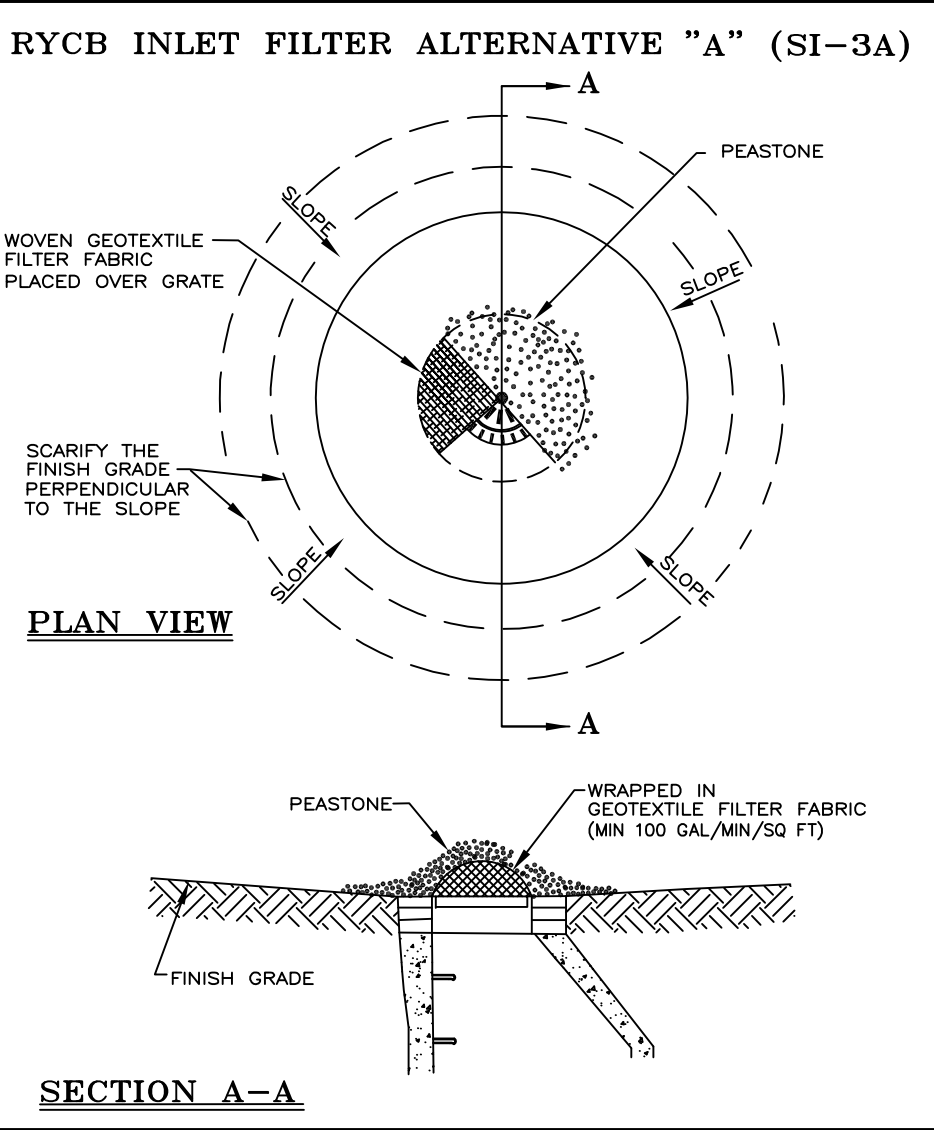
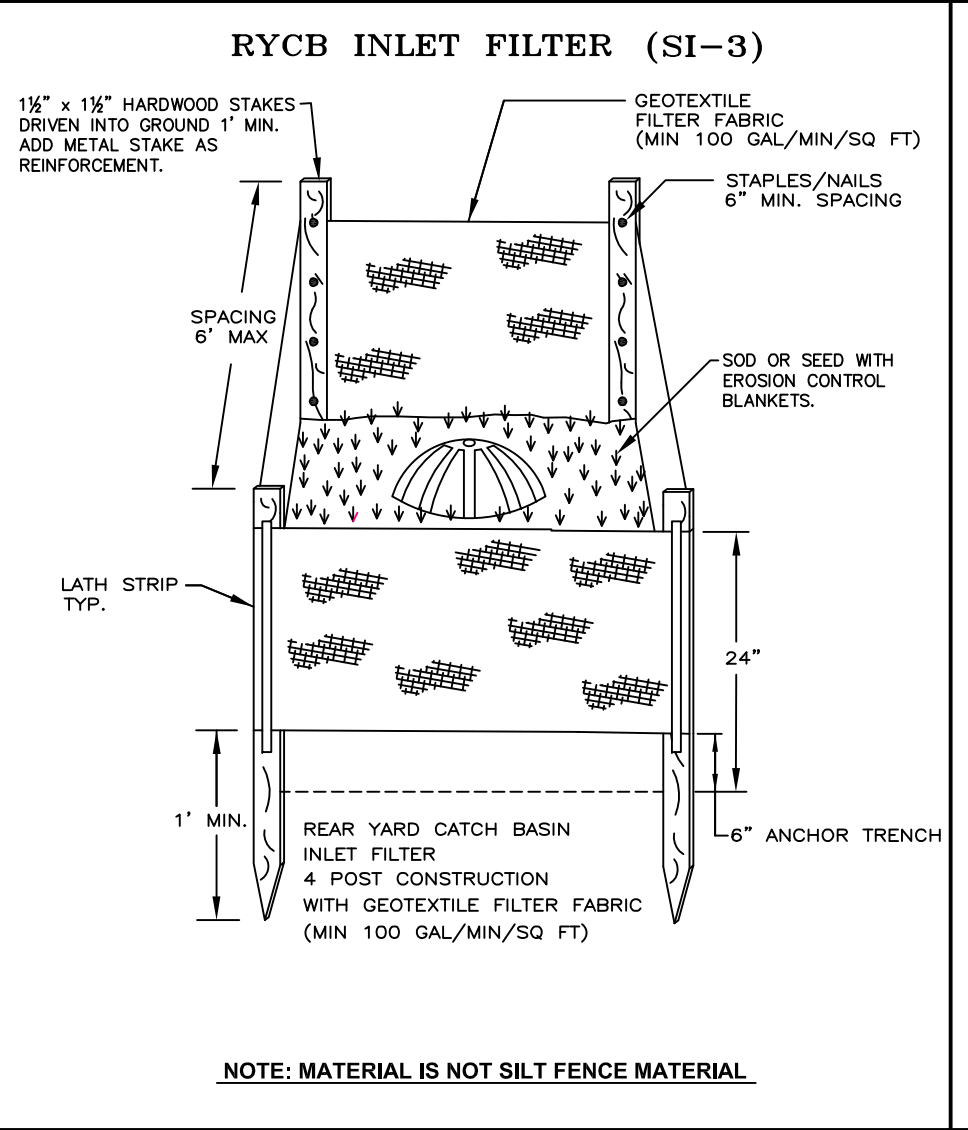
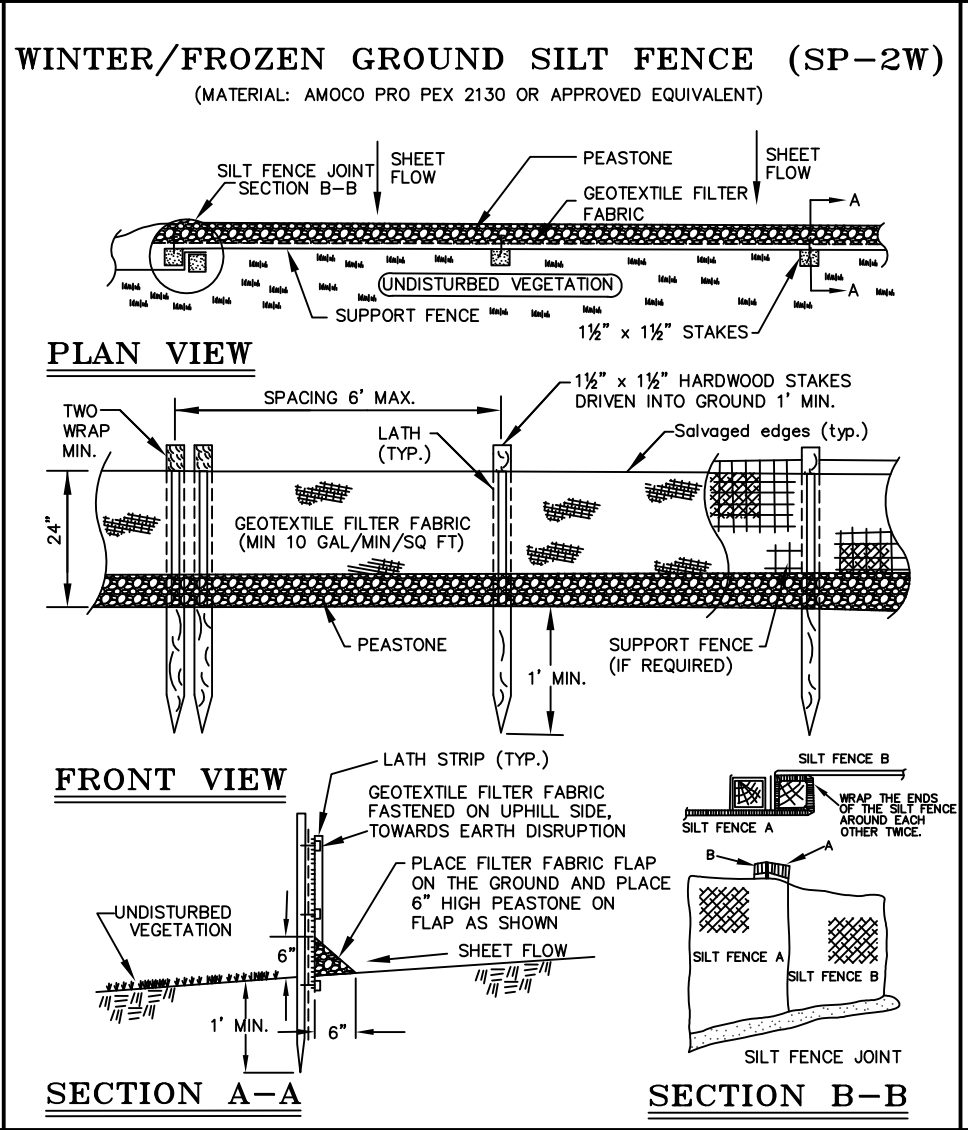
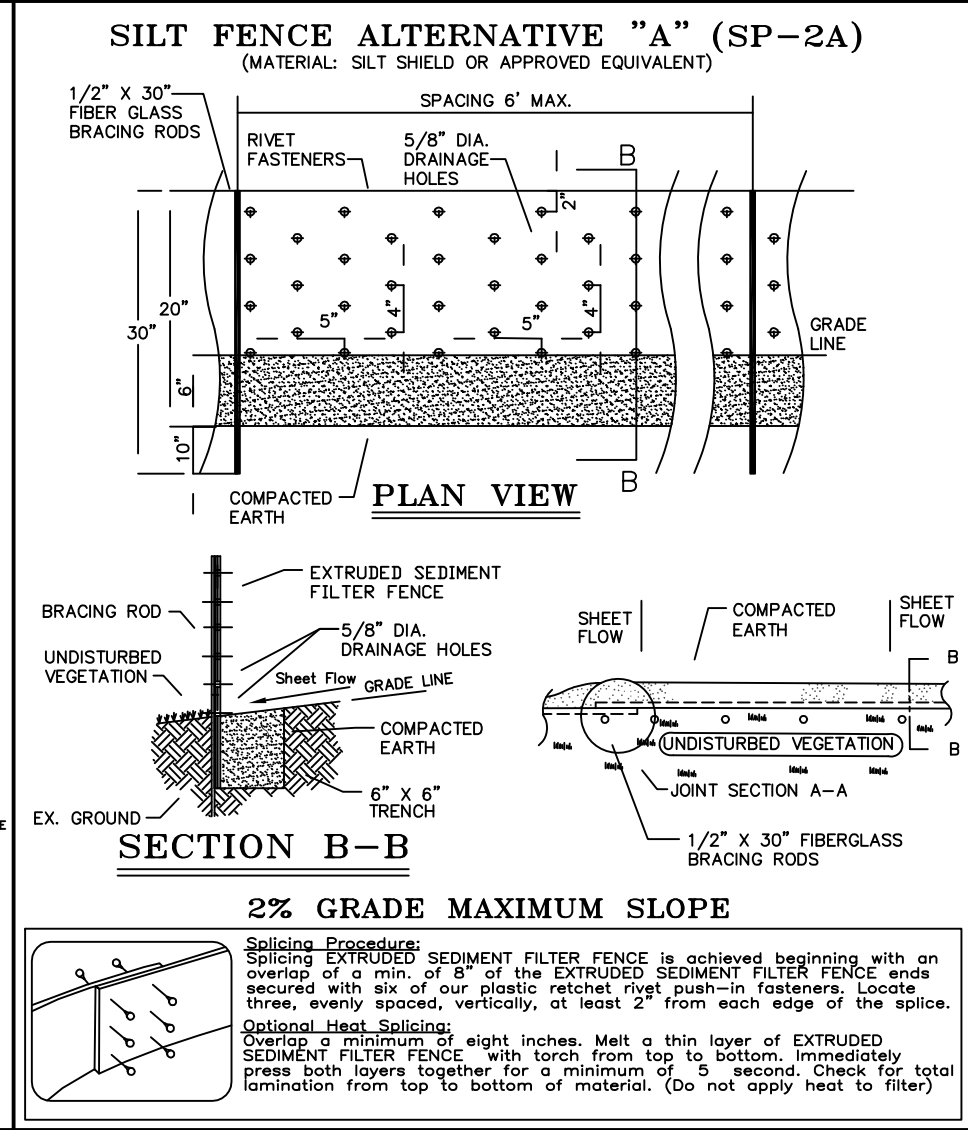
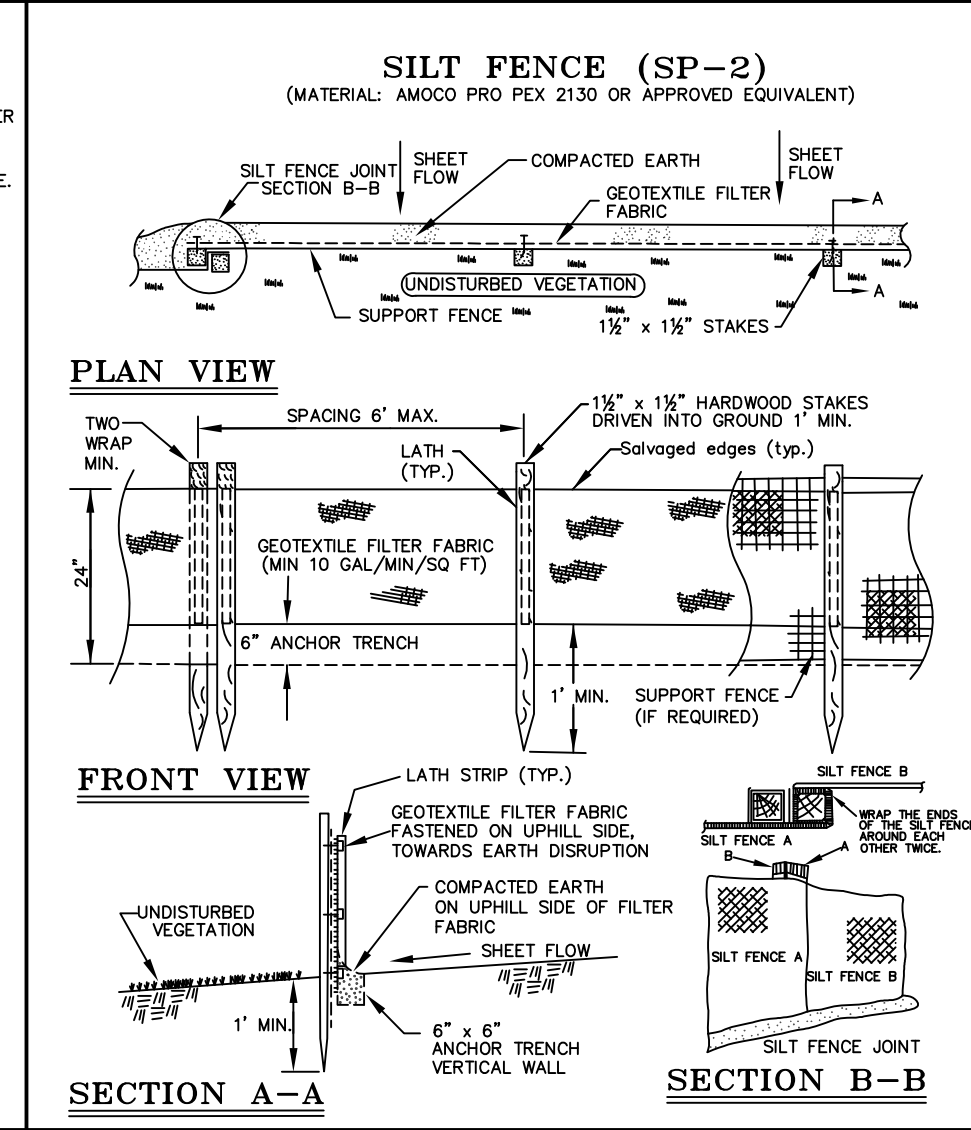
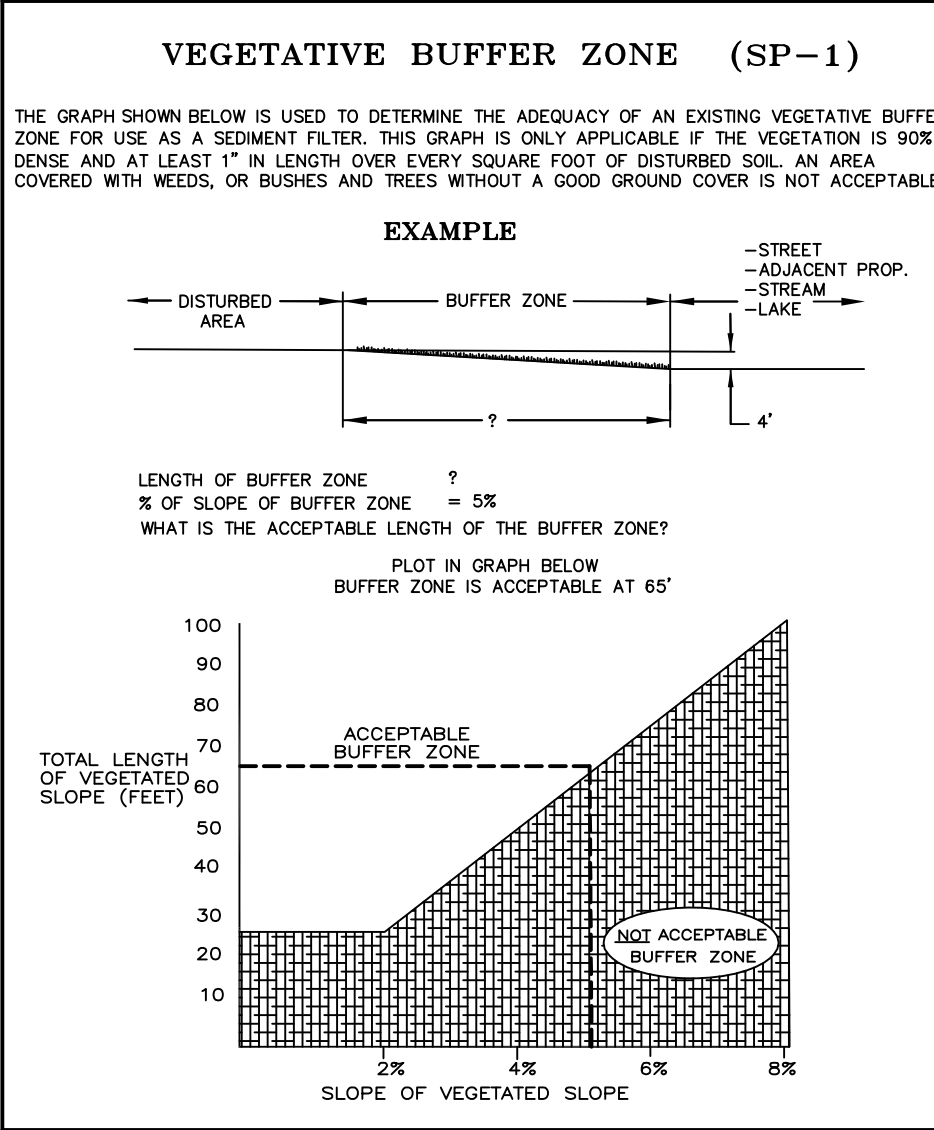
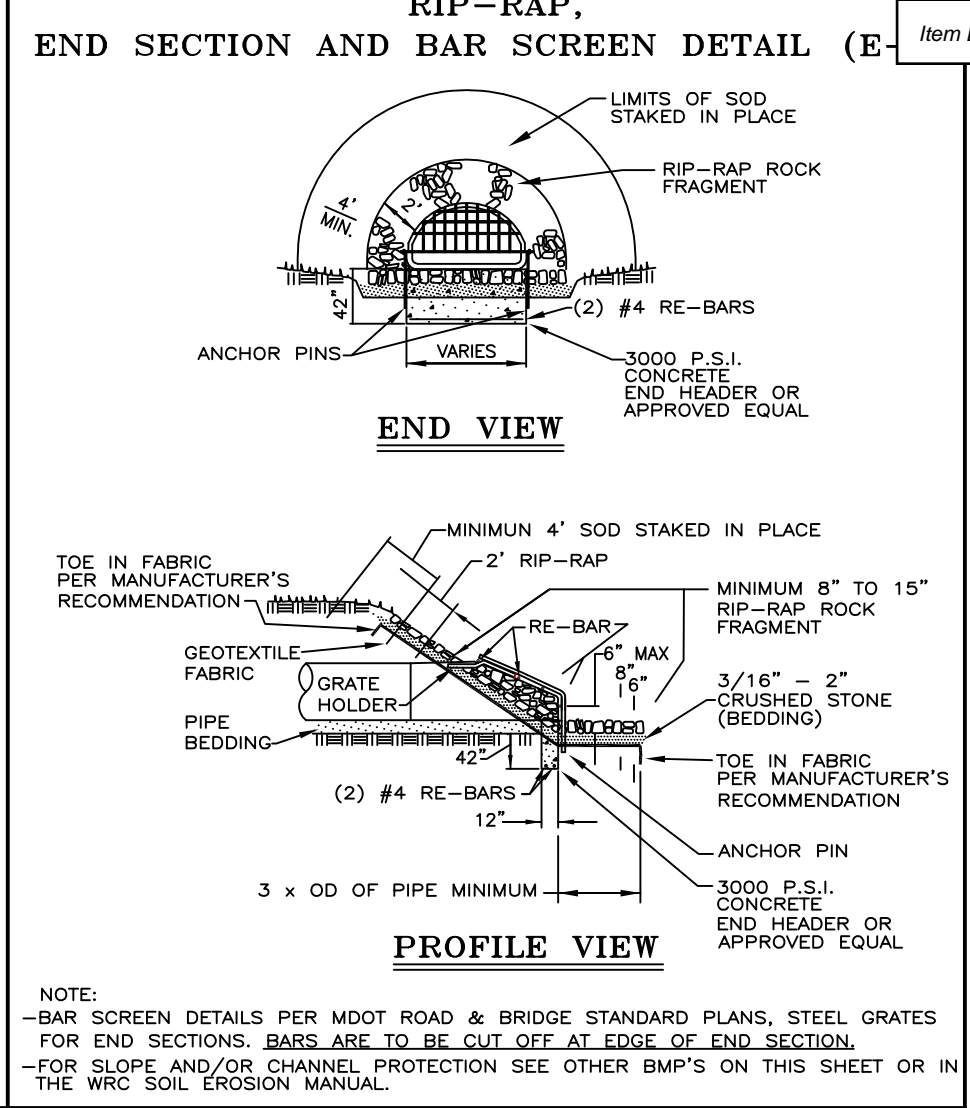
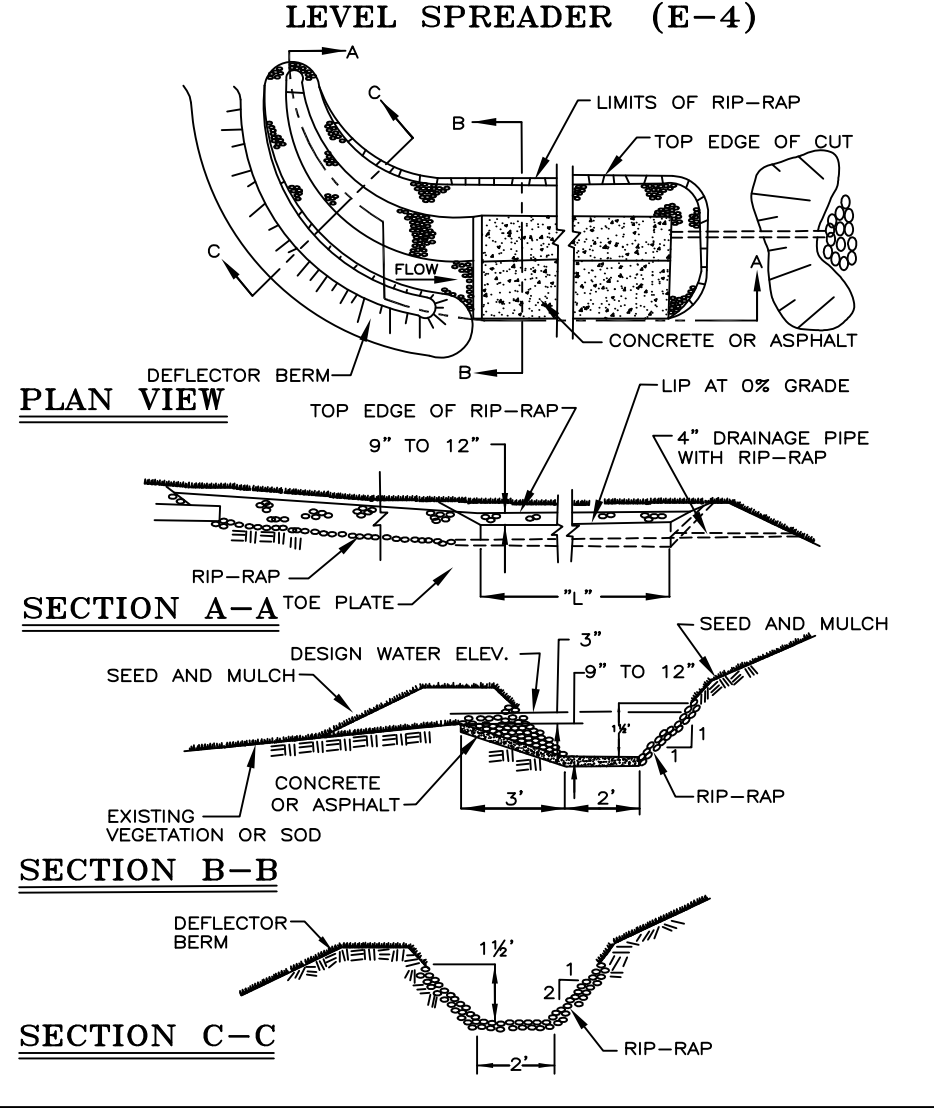
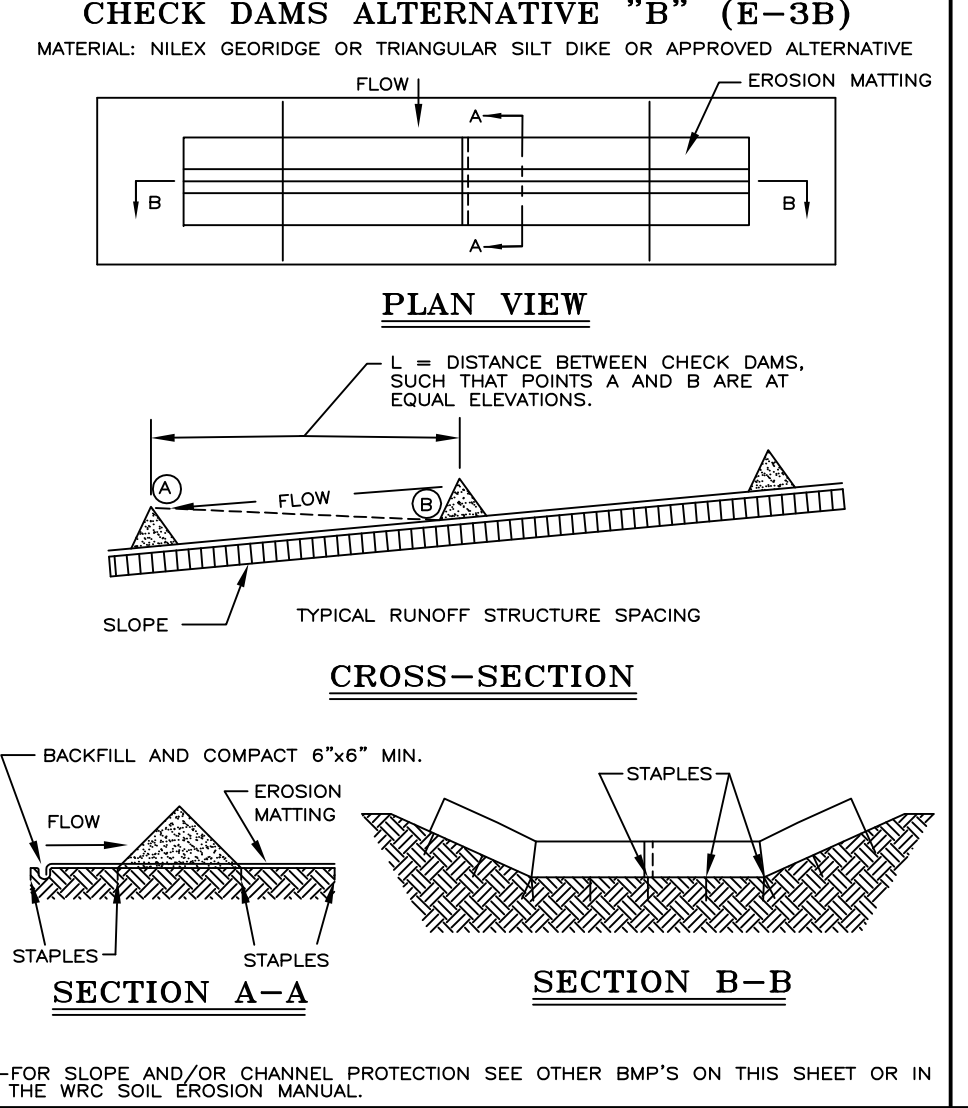
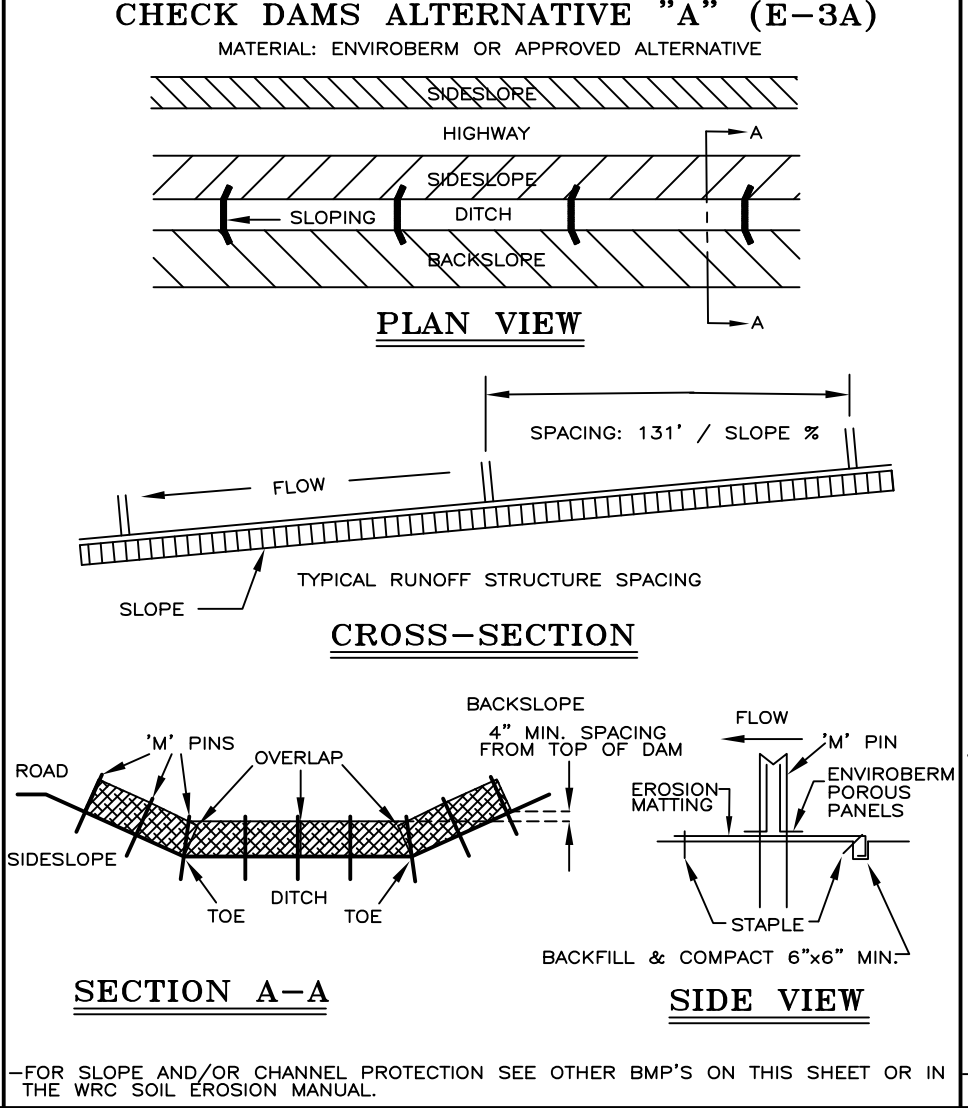
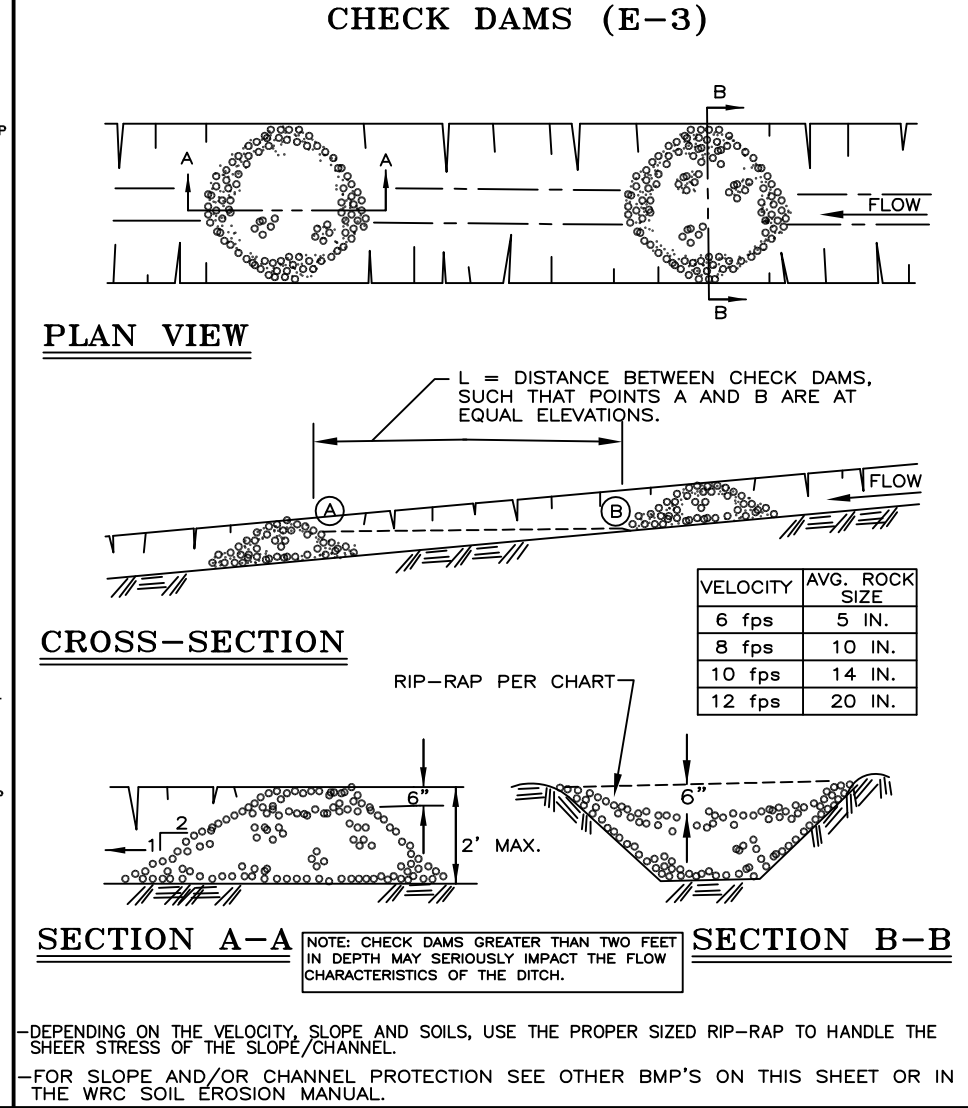
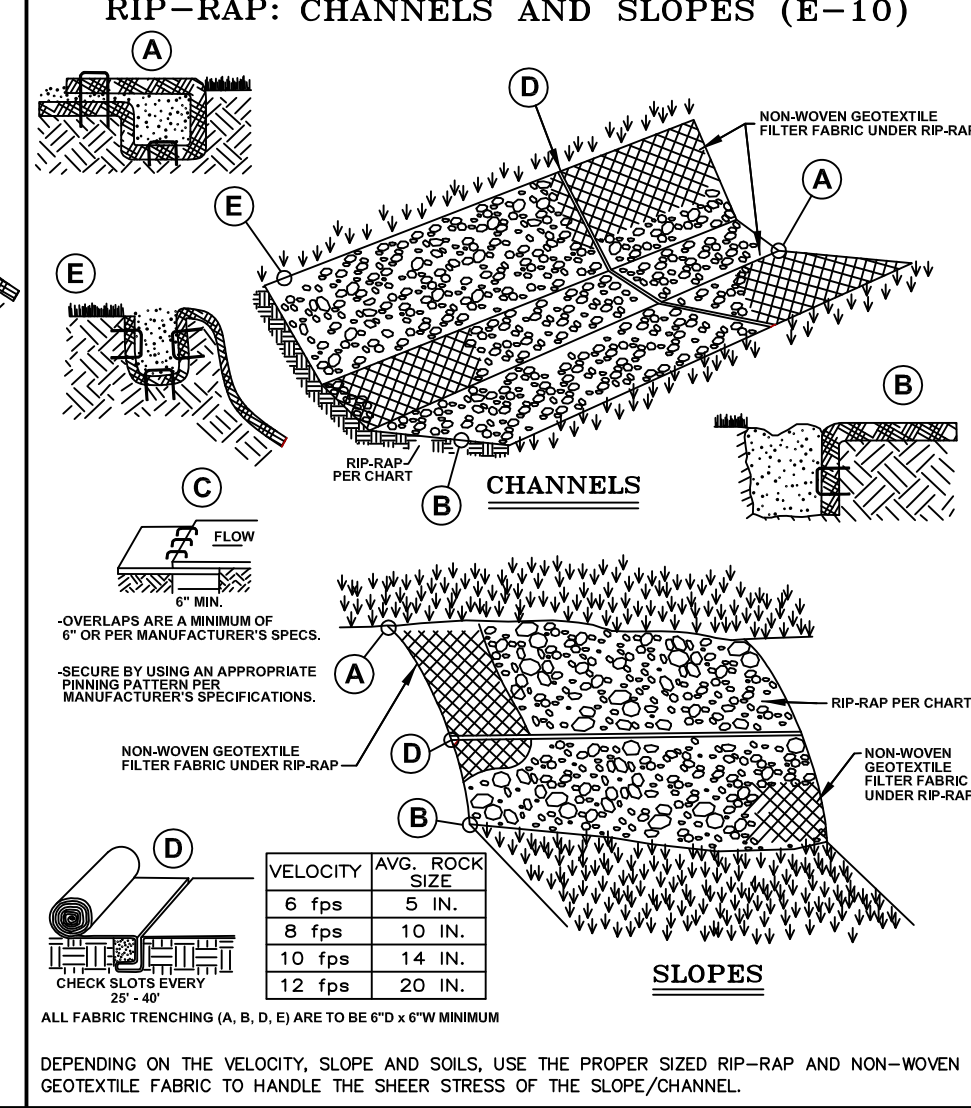
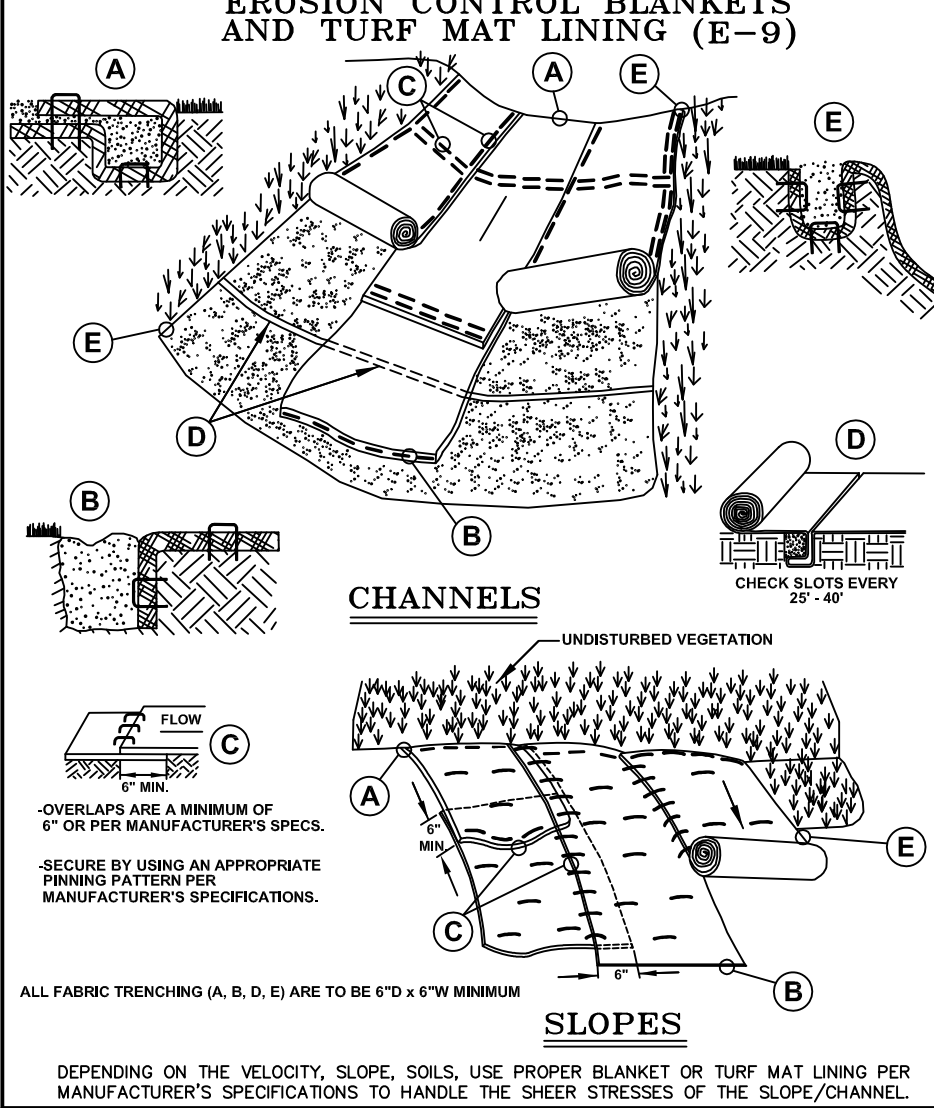
**REVISIONS**

REVISED	DATE	BY
2024-11-01	PER CLIENT	
2024-12-05	PER CLIENT	
2024-12-20	PER CLIENT	
2025-01-31	PER TWP/CLIENT	

DATE: 2024-10-23  
 DRAWN BY: TG  
 CHECKED BY: TG/SD

FBK: 113  
 CHF: BAJ  
 SCALE: HOR 1"=40 FT. VER 1"=4 FT.  
**4**  
 03-180.1





**NOTE:**

WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF ANY INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

### SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REV.	DATE	DESCRIPTION
1	01/01/01	ISSUED FOR PERMITS
2	01/01/01	PROPOSED DETAIL REVISIONS
3	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
4	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES
5	01/01/01	FOR CONSTRUCTION APPROVAL, NAME CHANGES

ORIG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: WRC

DRAWN BY: Mapping

WRC WATER RESOURCES COMMISSIONER

ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907

SHEET NO.: 5

1 of 19





Seal: \_\_\_\_\_

Title: **Landscape Details**

Project: \_\_\_\_\_

Elizabeth Trace  
White Lake Township, Michigan

Prepared for: \_\_\_\_\_

Alpine Engineering, Inc.  
46892 West Road, Suite 109  
Novi, Michigan 48377

Revision: \_\_\_\_\_ Issued: \_\_\_\_\_

Review	October 24, 2024
Revised	November 1, 2024
Revised	November 15, 2024
Revised	December 5, 2024
Revised	December 20, 2024
Revised	January 31, 2025

Job Number: \_\_\_\_\_

24-070

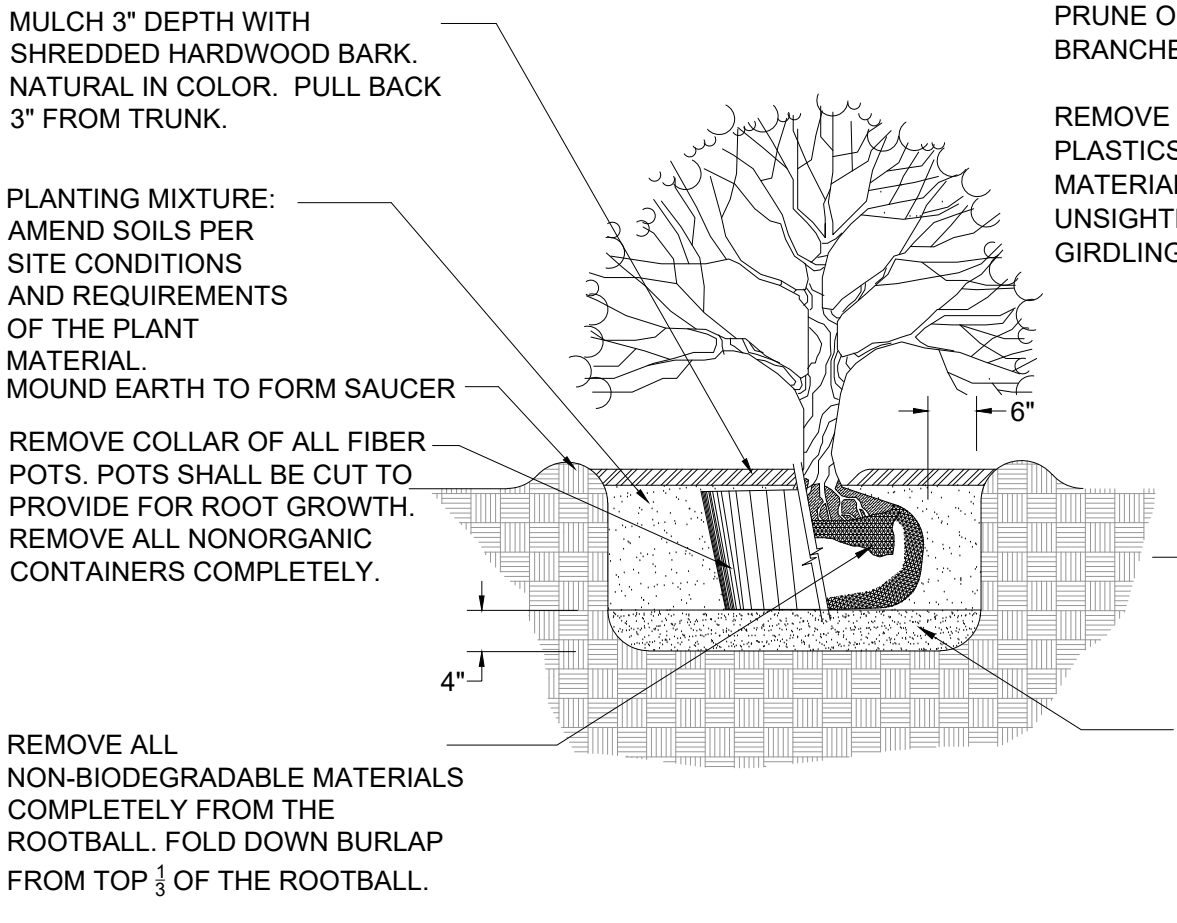
Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

jca jca

Sheet No. \_\_\_\_\_



NOTE:  
TREE SHALL BEAR SAME  
RELATION TO FINISH GRADE AS  
IT BORE ORIGINALLY OR  
SLIGHTLY HIGHER THAN FINISH  
GRADE UP TO 4" ABOVE GRADE.  
IF DIRECTED BY LANDSCAPE  
ARCHITECT FOR HEAVY CLAY  
SOIL AREAS.



PRUNE ONLY DEAD OR BROKEN  
BRANCHES.

REMOVE ALL TAGS, STRING,  
PLASTICS AND OTHER  
MATERIALS THAT ARE  
UNSIGHTLY OR COULD CAUSE  
GIRDLING.

MULCH 3" DEPTH WITH  
SHREDDED HARDWOOD BARK,  
NATURAL IN COLOR. PULL BACK  
3" FROM TRUNK.

PLANTING MIXTURE:  
AMEND SOILS PER  
SITE CONDITIONS  
AND REQUIREMENTS  
OF THE PLANT  
MATERIAL.  
MOUND EARTH TO FORM SAUCER

REMOVE ALL  
NON-BIODEGRADABLE MATERIALS  
COMPLETELY FROM THE  
ROOTBALL. FOLD DOWN BURLAP  
FROM TOP 1/3 OF THE ROOTBALL.

SCARIFY SUBGRADE  
AND PLANTING PIT  
SIDES. RECOMPACT  
BASE OF TO 4"  
DEPTH.

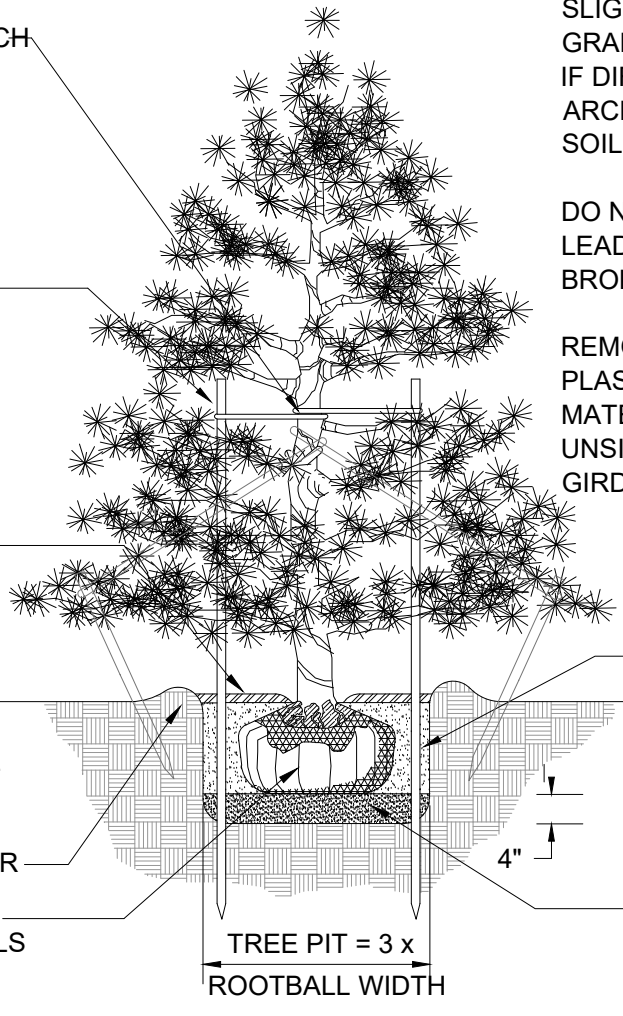
### SHRUB PLANTING DETAIL

NOT TO SCALE

### LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- Sod shall be two year old "Baron/Cherladelph" Kentucky Blue Grass grown in a sod nursery on loam soil.

NOTE:  
TREE SHALL BEAR SAME  
RELATION TO FINISH GRADE AS  
IT BORE ORIGINALLY OR  
SLIGHTLY HIGHER THAN FINISH  
GRADE UP TO 6" ABOVE GRADE,  
IF DIRECTED BY LANDSCAPE  
ARCHITECT FOR HEAVY CLAY  
SOIL AREAS.



DO NOT PRUNE TERMINAL  
LEADER. PRUNE ONLY DEAD OR  
BROKEN BRANCHES.

REMOVE ALL TAGS, STRING,  
PLASTICS AND OTHER  
MATERIALS THAT ARE  
UNSIGHTLY OR COULD CAUSE  
GIRDLING.

NOTE:  
GUY EVERGREEN TREES ABOVE  
12' HEIGHT. STAKE EVERGREEN  
TREE BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH  
USING 2"-3" WIDE BELT-LIKE  
NYLON OR PLASTIC STRAPS.  
ALLOW FOR SOME MINIMAL  
FLEXING OF THE TREE.  
REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES,  
MIN. 36" ABOVE GROUND FOR  
UPRIGHT, 18" IF ANGLED. DRIVE  
STAKES A MIN. 18" INTO  
UNDISTURBED GROUND  
OUTSIDE ROOTBALL. REMOVE  
AFTER ONE YEAR.

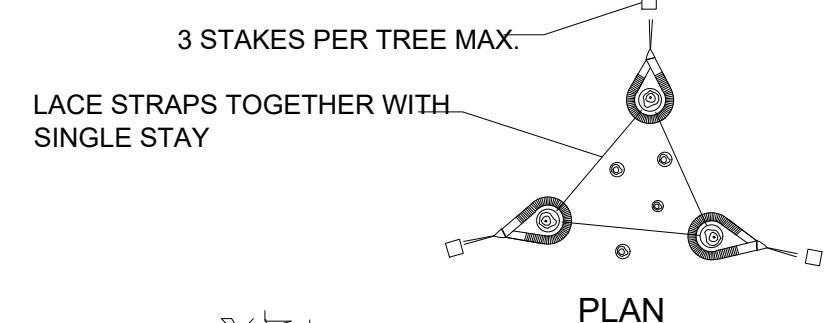
MULCH 4" DEPTH WITH  
SHREDDED HARDWOOD BARK,  
NATURAL IN COLOR. LEAVE 3"  
CIRCLE OF BARE SOIL AT BASE  
OF TREE TRUNK. PULL ANY  
ROOT BALL DIRT EXTENDING  
ABOVE THE ROOT FLARE AWAY  
FROM THE TRUNK SO THE ROOT  
FLARE IS EXPOSED TO AIR.

REMOVE ALL  
NON-BIODEGRADABLE MATERIALS  
COMPLETELY FROM THE  
ROOTBALL. CUT DOWN WIRE  
BASKET AND FOLD DOWN BURLAP  
FROM TOP 1/2 OF THE ROOTBALL.

SCARIFY SUBGRADE  
AND PLANTING PIT  
SIDES. RECOMPACT  
BASE OF TO 4"  
DEPTH.

### EVERGREEN TREE PLANTING DETAIL

NOTES:  
PRUNE AS SPECIFIED  
STAKE 3 LARGEST STEMS, IF  
TREE HAS MORE THAN 3  
LEADERS  
SET TREE STAKES VERTICAL  
AND AT SAME HEIGHT.



SET STAYS ABOVE FIRST  
BRANCHES, APPROX. HALFWAY  
UP TREE (SEE DETAIL)

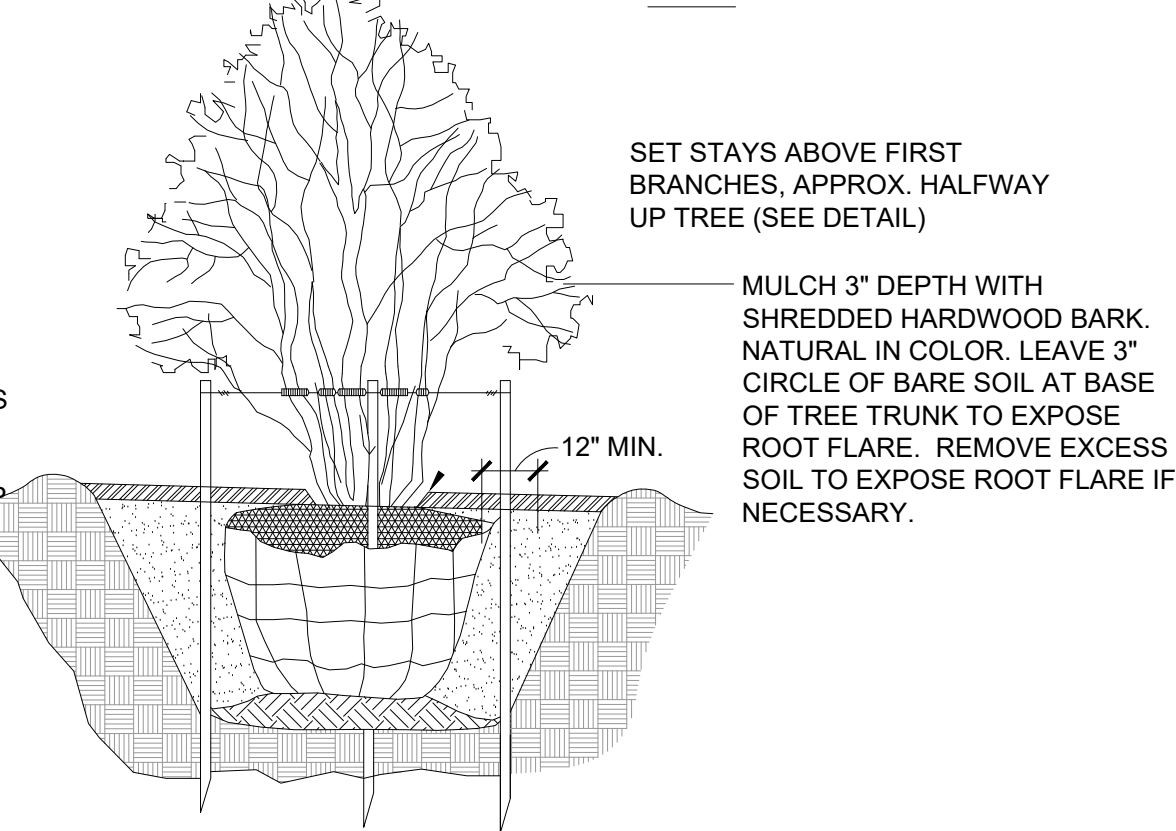
MOUND TO FORM SAUCER

REMOVE ALL  
NON-BIODEGRADABLE MATERIALS  
COMPLETELY FROM THE  
ROOTBALL. CUT DOWN WIRE  
BASKET AND FOLD DOWN BURLAP  
FROM TOP 1/3 OF THE ROOTBALL.

PLANT MIXTURE AS SPECIFIED

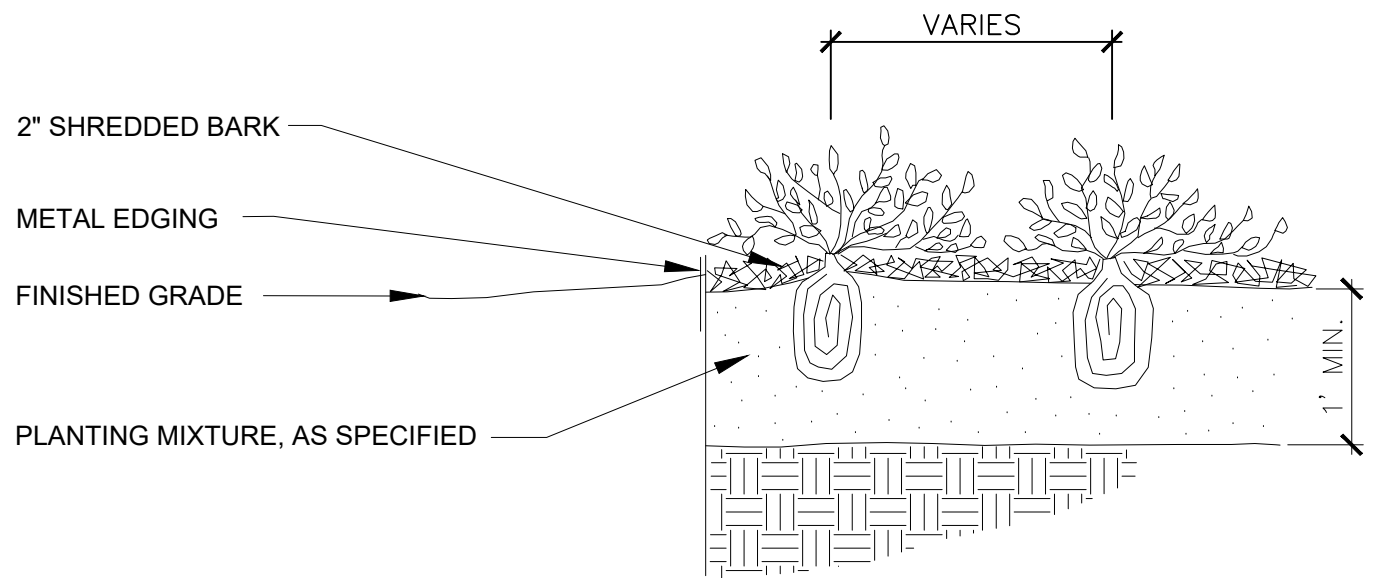
SCARIFY SIDES TO 4"  
DEPTH AND RECOMPACT

STAKES TO EXTEND 12" BELOW  
TREE PIT IN UNDISTURBED  
GROUND



### MULTI-STEM TREE PLANTING DETAIL

Not to scale



### PERENNIAL PLANTING DETAIL

Not to scale

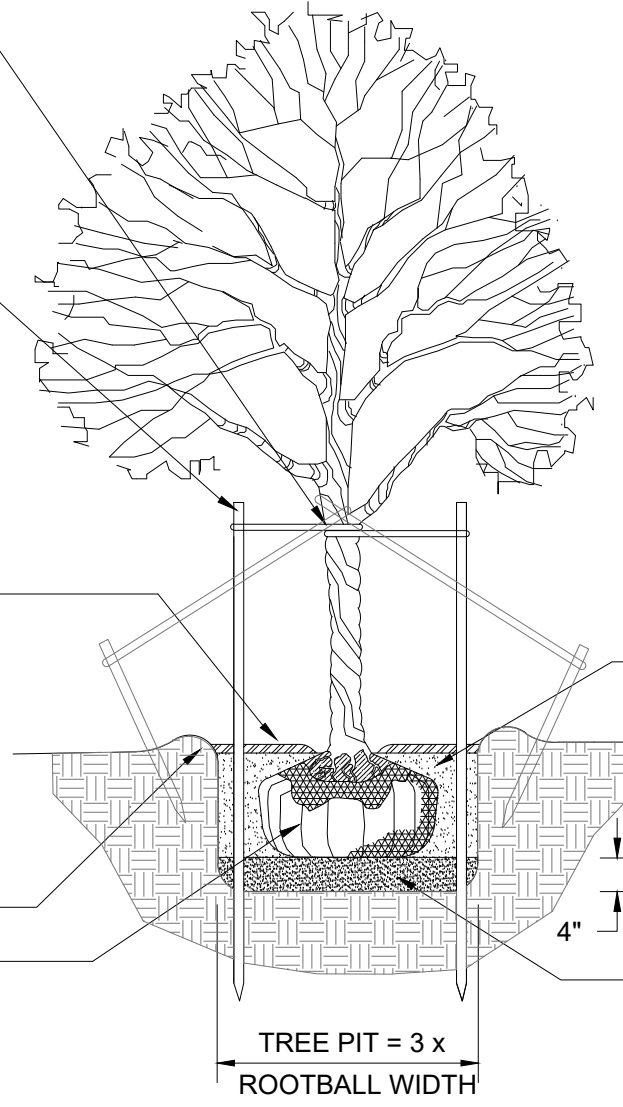
NOTE:  
GUY DECIDUOUS TREES ABOVE  
3" CAL. STAKE DECIDUOUS  
TREES BELOW 3" CAL.

STAKE TREES AT FIRST BRANCH  
USING 2"-3" WIDE BELT-LIKE  
NYLON OR PLASTIC STRAPS.  
ALLOW FOR SOME MINIMAL  
FLEXING OF THE TREE.  
REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES,  
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CIRCLE OF BARE SOIL AT BASE  
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ABOVE THE ROOT FLARE AWAY  
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BASKET AND FOLD DOWN BURLAP  
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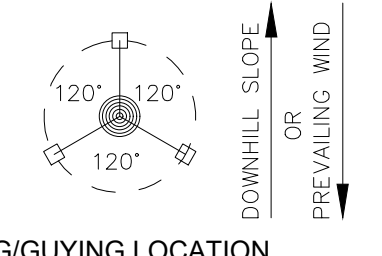
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REMOVE ALL TAGS, STRING,  
PLASTICS AND OTHER  
MATERIALS THAT ARE  
UNSIGHTLY OR COULD CAUSE  
GIRDLING.

PLANTING MIXTURE:  
AMEND SOILS PER SITE  
CONDITIONS AND  
REQUIREMENTS OF THE  
PLANT MATERIAL.  
REMOVE EXCESS DIRT  
FROM ROOT FLARE.

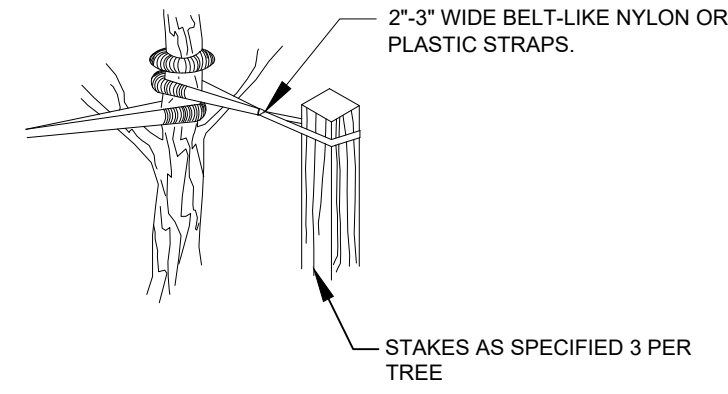
SCARIFY SUBGRADE  
AND PLANTING PIT  
SIDES. RECOMPACT  
BASE OF TO 4"  
DEPTH.

### DECIDUOUS TREE PLANTING DETAIL



NOTE:  
ORIENT STAKING/GUYING TO PREVAILING  
WINDS, EXCEPT ON SLOPES GREATER  
THAN 3:1 ORIENT TO SLOPE.  
USE SAME STAKING/GUYING  
ORIENTATION FOR ALL PLANTS WITHIN  
EACH GROUPING OR AREA

2"-3" WIDE BELT-LIKE NYLON OR  
PLASTIC STRAPS.



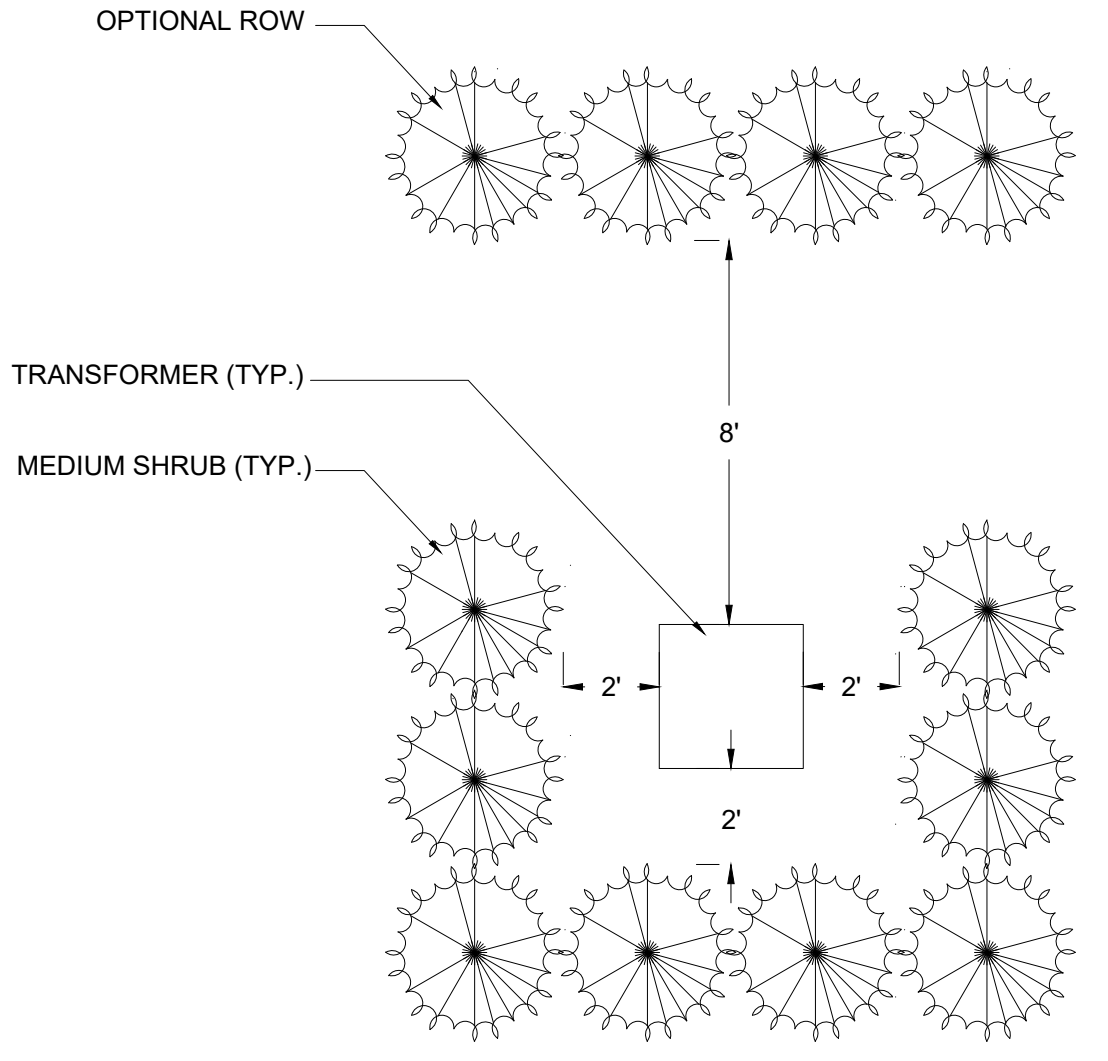
GUYING DETAIL

STAKING DETAIL

### TREE STAKING DETAIL

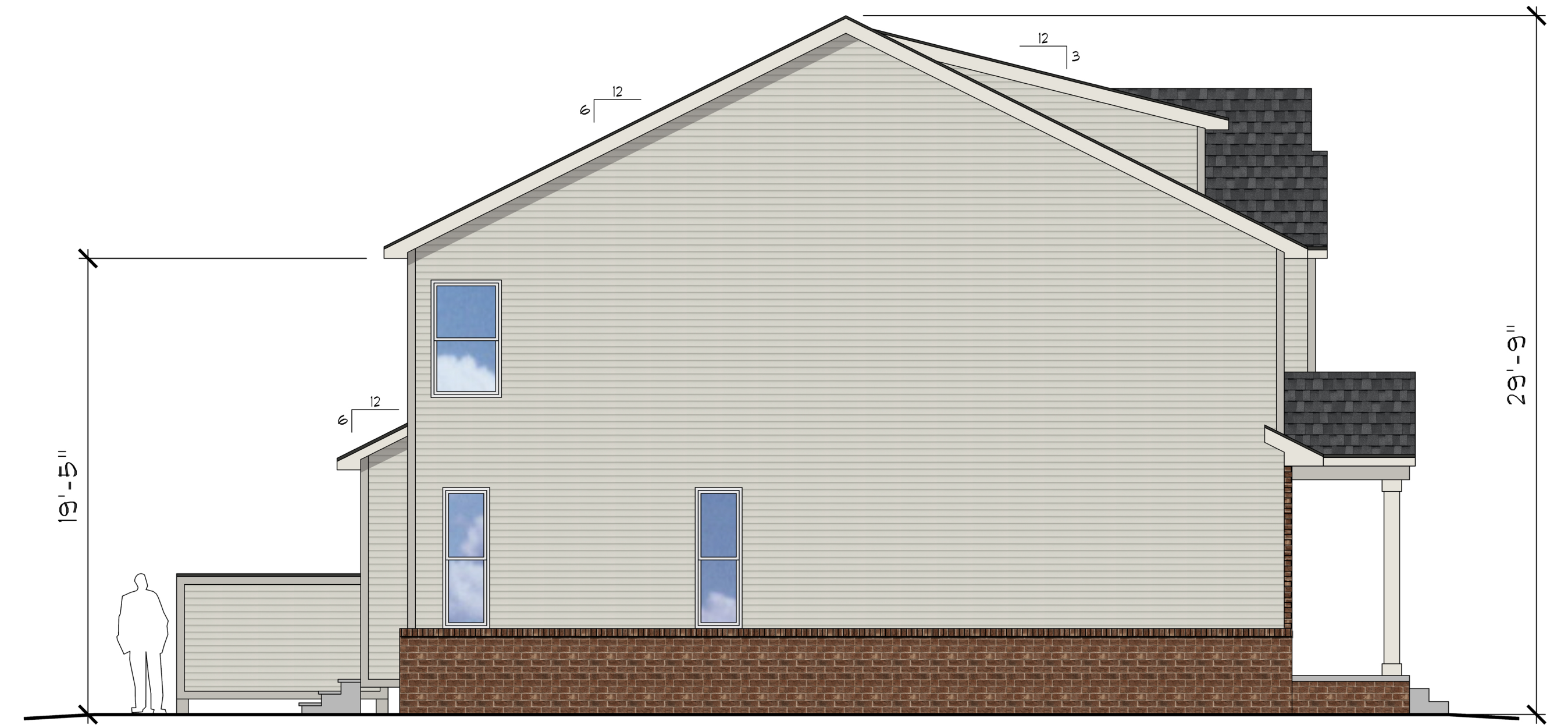
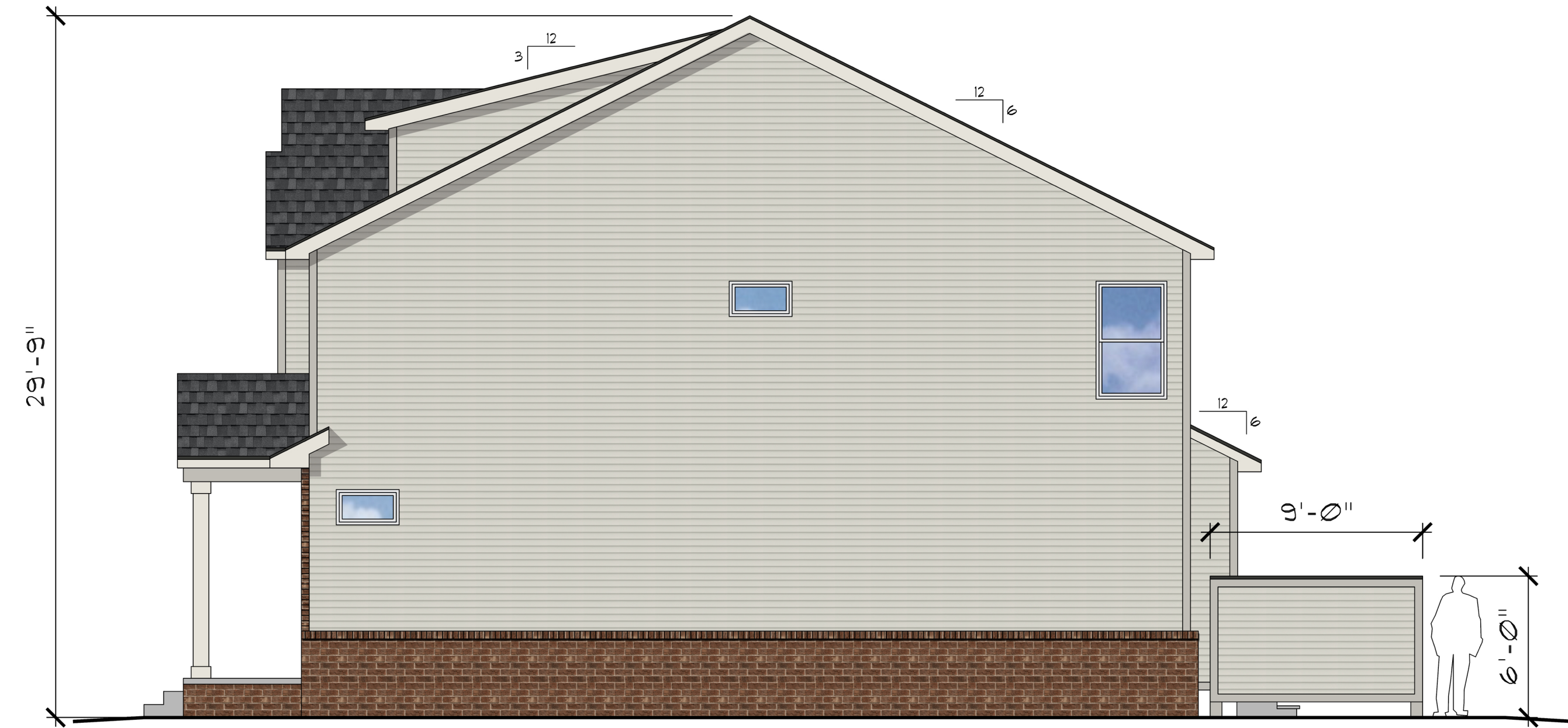
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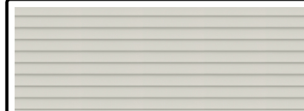
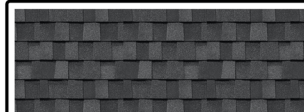
SHRUBS TO BE EVERGREEN AND EQUAL TO THE UTILITY CABINET HEIGHT



### TRANSFORMER SCREENING DETAIL

Not to scale



-  Brick: Friendship Brick - Color Northampton
-  Siding: American Harold - Color Heritage Linen
-  Shingles: CertainTeed Landmark Dimensional Color - Driftwood



**Elizabeth Trace (Right Side, Left Side, and Rear Facades)**

White Lake Township, Michigan

Multi-Family Residential Condominiums - Sketch Rendering


02.04.2025

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**WHITE LAKE TOWNSHIP**  
***COMMUNITY DEVELOPMENT DEPARTMENT***

**DATE:** February 27, 2025

**TO:** Merrie Carlock, Chairperson  
Planning Commission

**FROM:** Sean O'Neil, Community Development Director 

**SUBJECT:** Conceptual Plan Presentation, Bogie Lake Road & Cedar Island Road

We recently received a request from Mr. Craig Piasecki, with PH Homes, for an opportunity to share a conceptual plan with the Planning Commission on the property located at the northwest corner of Bogie Lake Road & Cedar Island Road. This is a vacant parcel that is 47 acres in size, and he is proposing a mixed housing type totaling 180 units. He is seeking Planning Commission feedback on his plan, and no action is being requested currently.

Please find attached a letter, a conceptual plan, and conceptual elevations from the applicant's design team. They look forward to your feedback on March 6<sup>th</sup>. Please contact me if you have any questions.

Thank you.



**J EPPINK  
PARTNERS INC**

Traditional Town Planning  
Landscape Architecture

27 S. Squirrel – Ste 104  
Auburn Hills, MI 48326  
248 922 0789 - t

February 26, 2025

Mr. Sean O'Neil  
White Lake Township  
7525 Highland Road  
White Lake Township, Michigan 48383

**RE: Tullymore Development  
Planned Development &  
Preliminary Site Plan**

Dear Mr. O'Neil:

On behalf of PH Homes, I am happy to submit the attached Preliminary Site Plan package for Tullymore; a Planned Development neighborhood proposed in White Lake Township.

Tullymore is a proposed residential neighborhood that will be located on the 47.47-acres of vacant land at the northwest corner of Bogie Lake Road and Cedar Island Road in Section 29 of the township. The parcel(s) are currently zoned AG Agriculture. This application proposes to rezone the property to PD Planned Development which will enable a mix of housing choices including single family homes, detached ranch condominiums, and attached colonial townhomes to be built within the neighborhood.

**Neighborhood Building:**

Tullymore is located along Bogie Lake Road, just north of Lakeland High School, making in an ideal location for an additional high-quality neighborhood in the Township. We anticipate new homeowners to be comprised of existing White Lake Township residents, young families, professionals, empty-nesters, and folks seeking to move to White Lake Township for its schools, parks, and beautiful community. The proposed housing will include:

- 34 Single Family Homes
- 38 Detached Ranch Condos
- 108 Attached Colonial Townhomes

Each home will be designed and constructed of premium materials and will be arranged so that each home backs up to or is adjacent to open space, trails, and walks. In total, 180 residences are proposed for a density of 3.8 residences per acre.

**Site Layout and Engineering Standards:**

Tullymore is designed to meet all technical standards of White Lake Township and associated county and state standards. Roads will be built to county standards, including sidewalks throughout the neighborhood as well as walks and trails along Bogie Lake Road and Cedar Island Road. Sanitary Sewer will be brought to the site by the extension of a forcemain from its current ending location at the southeast corner of Lakeland High School. Stormwater will be managed on-site through a network of improvements including storm sewer, rain gardens, and a detention basin which will outlet to the existing northern exit point at a controlled rate not to exceed the current outflow.

The homes will be arranged into small neighborhoods within Tullymore with the Single-Family homes located to the east and behind the detention basin. This allows a significant green buffer along Bogie Lake Road, allowing it to remain a picturesque route. Ranch condominiums will be located in the center of the site adjacent to open space and overlooking the preservation of a large tree-row and wooded area. Colonial townhomes will be located in the southern and western portions of Tullymore where they can take advantage of the large internal open space parks and back to the existing utility corridor at the western boundary.

**Community Benefit:**

In addition to the new housing opportunities it will bring, we are excited that Tullymore will provide significant additional benefits to the community. The community benefits include:

- Extension of the sanitary forcemain from the High School to the north, creating opportunities for expanded use of the sanitary system, enabling the connection of existing and future homes
- Preservation of existing wooded areas, tree-rows, and open space within the neighborhood and the creation of internal parks and walking trails
- Addition of sidewalks along Bogie Lake Road and a paved walking trail along Cedar Island frontage, further expanding the pedestrian connections of the Township including strengthening walking and biking opportunities to the High School.

We are proud of the proposed Tullymore neighborhood and believe that it will be a wonderful addition to the White Lake Township community, and we look

forward to working closely with Township officials, residents, and stakeholders in the development, submissions, and reviews of the Planned Development.

Our team will be available to present the details, vision, and goals of the preliminary site plan package at the upcoming Planning Commission meeting. Please let me know if additional information is needed prior to the meeting.

Sincerely,

A handwritten signature in black ink that reads "Jim Eppink". The signature is written in a cursive, slightly slanted style.

Jim Eppink, ASLA, LLA  
J EPPINK PARTNERS, INC



# Tullymore Developments

**Bogie Lake and Cedar Island Road  
(Part of the SE  $\frac{1}{4}$  of Section 29, T3N, R8E)  
White Lake Township, MI**

**Preliminary Planned Development and  
Site Plan Submission**

February 26, 2025

*Applicant:*

**PH Homes  
Mr. Craig Piasecki**

8255 Cascade Ave. Suite 110  
Commerce Twp., MI 48382  
248-242-6838

*Planning & Landscape Architect:*

**J Eppink Partners**

27 S. Squirrel Road - suite 104  
Auburn Hills, MI 48326  
248-922-0789  
Jim Eppink

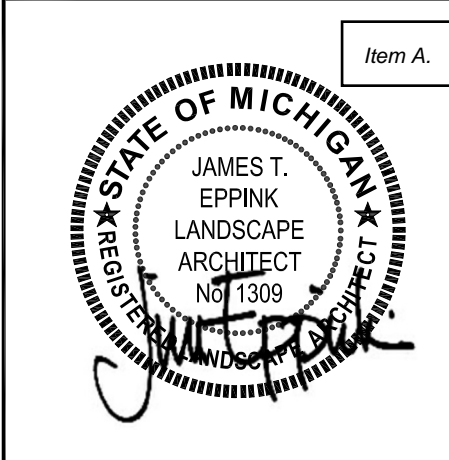
*Civil Engineer:*

**Kieft  
Engineering**

5852 South Main Street, Suite 1  
Clarkston, MI 48346  
248-625-5251  
www.kiefteng.com

*Document Sheet Index:*

- PSP-1 Preliminary Site Plan
- 1 of 4 Overall Residential Development concept Plan
- 2 of 4 Residential Development Concept Plan - North
- 3 of 4 Residential Development Concept Plan - South
- 4 of 4 Off Site Storm Sewer Outlet Plan
- A-1 Architectural Elevations
- L-1 Landscape Plan
- L-2 Landscape Plan-Entrance and Screening Areas
- L-3 Landscape Plan-Detention Area. Notes and Details



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Project:  
**Tullymore Developments**  
Bogie Lake Road  
White Lake Township, MI

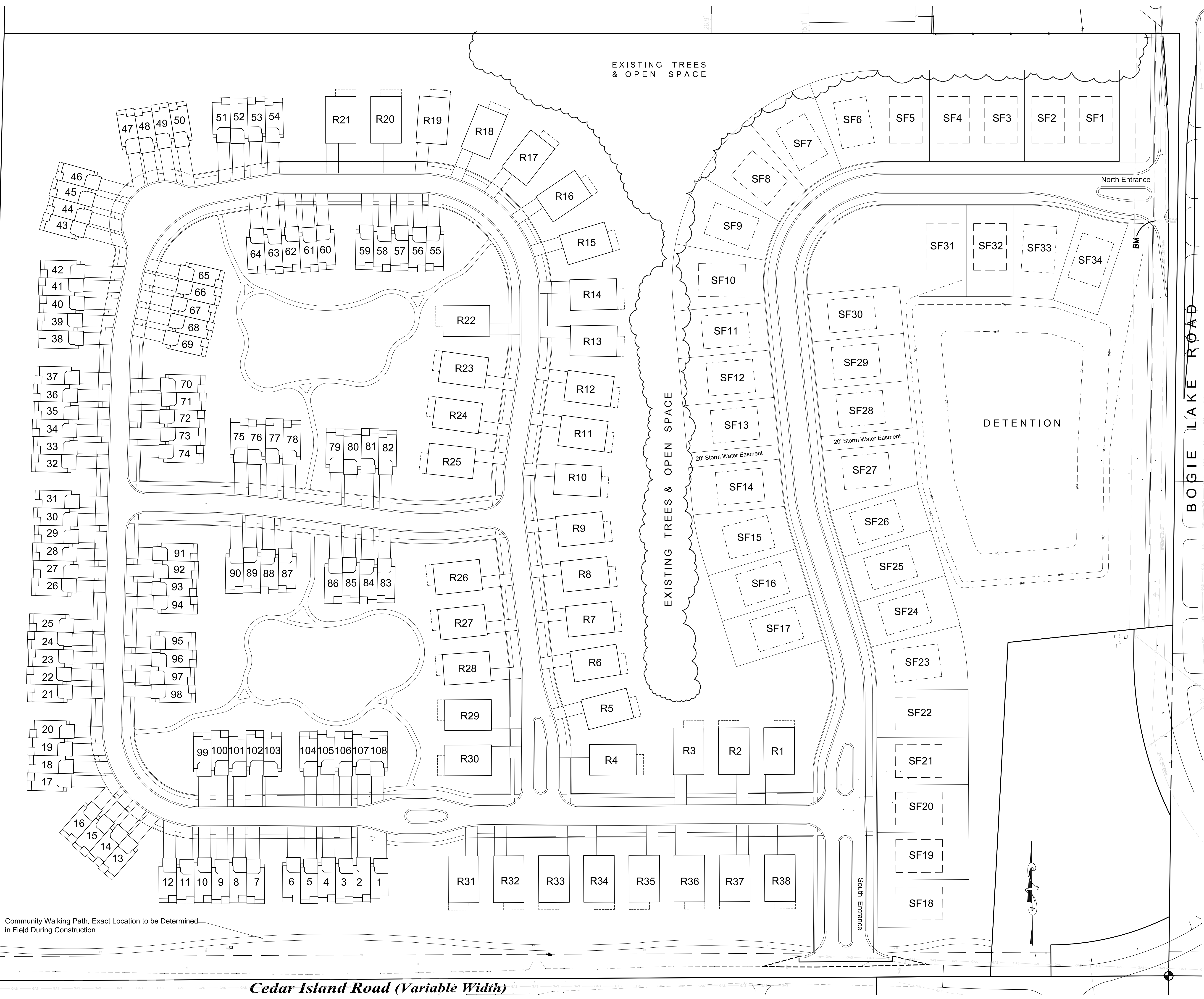
Owner:  
**PH Homes**  
8255 Cascade Ave  
Suite 110  
Commerce Twp, MI 48382  
248-242-6838

Sheet:  
**Preliminary Site Plan**

Issues / Revisions  
Submission 2-26-25

Drawn by:  
Checked by:  
JTE  
Date:  
January 26, 2025  
Scale:  
As Noted

Not for Construction  
Sheet  
**PSP-1**



SITE DATA	
Parcel Size :	47.47 acres
Current Zoning :	AG
Proposed Zoning :	PD (Planned Dev.)
Master Plan Use :	Neighborhood Res. Permits: small lot single-family, duplex, & multi family, (R1C / RM1 / RM2)
Proposed Density :	180 Residences 3.79 DU / AC
<b>Detached Ranch Condos :</b>	38 Residences (21%) Envelope: 42' x 64' + 10' deck
<b>Single-Family Homes :</b>	34 Residences (19%) Typical Lot: 65' x 125' Envelope: 45' x 65'
<b>Attached Colonial Condos :</b>	108 Residences (60%) Typical Unit: 24' x 60'
<b>Roads :</b>	60' ROW (28' back of curb)

Community Walking Path. Exact Location to be Determined in Field During Construction

**Cedar Island Road (Variable Width)**

**BOGIE LAKE ROAD**

EXISTING TREES & OPEN SPACE

EXISTING TREES & OPEN SPACE

DETENTION

South Entrance

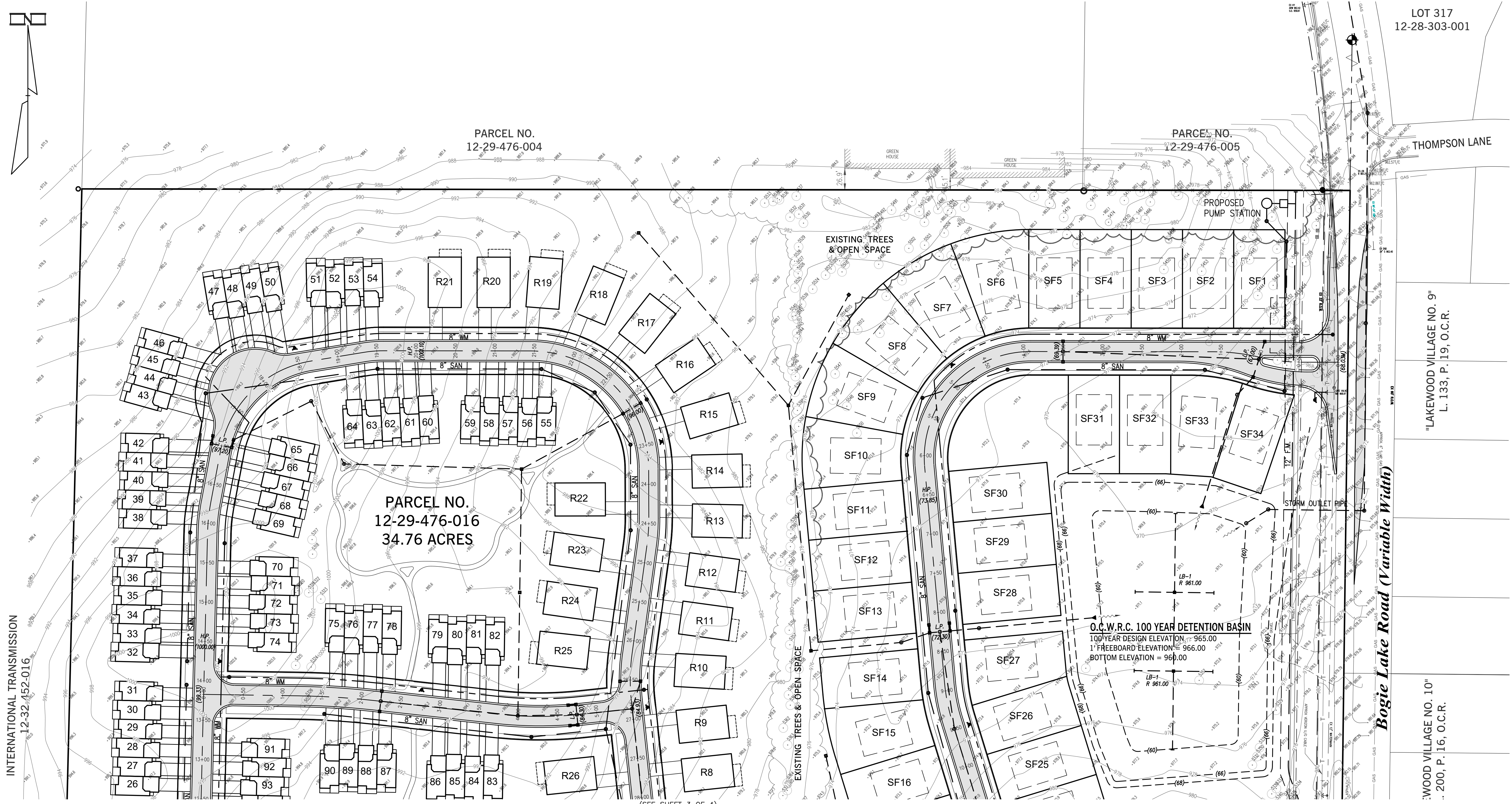
North Entrance

20' Storm Water Easement

20' Storm Water Easement

BM





(SEE SHEET 3 OF 4)

EXISTING	LEGEND	PROPOSED
--- (dashed line)	STORM SEWER	--- (solid line)
--- (dashed line)	SANITARY SEWER	--- (solid line)
--- (dashed line)	WATERMAIN	--- (solid line)
--- (dashed line)	GAS MAIN	--- (solid line)
--- (dashed line)	ELEC. TELE. CABLE	--- (solid line)
○ (circle)	STORM MANHOLE	○ (circle)
□ (square)	CATCH BASIN	□ (square)
▽ (inverted triangle)	INLET	▽ (inverted triangle)
□ (square)	REAR YARD CATCH BASIN	□ (square)
▽ (inverted triangle)	END SECTION	▽ (inverted triangle)
○ (circle)	SANITARY MANHOLE	○ (circle)
○ (circle)	GATE VALVE AND WELL	○ (circle)
○ (circle)	HYDRANT	○ (circle)
--- (dashed line)	CONTOURS	--- (dashed line)
--- (dashed line)	MATCH ELEVATION	--- (dashed line)
--- (dashed line)	TOP OF CURB	--- (dashed line)
--- (dashed line)	TOP OF SIDEWALK	--- (dashed line)
--- (dashed line)	TOP OF PAVEMENT	--- (dashed line)
--- (dashed line)	STANDARD CURB	--- (dashed line)
--- (dashed line)	REVERSE CURB	--- (dashed line)
--- (dashed line)	DRAINAGE AREA	--- (dashed line)

6/2025/10 PH Homes - Bogie & Cedar Island/CAD/PH Homes.dwg, 2/24/2025 3:57:30 PM

DATE	ISSUE

**PROPRIETOR:**  
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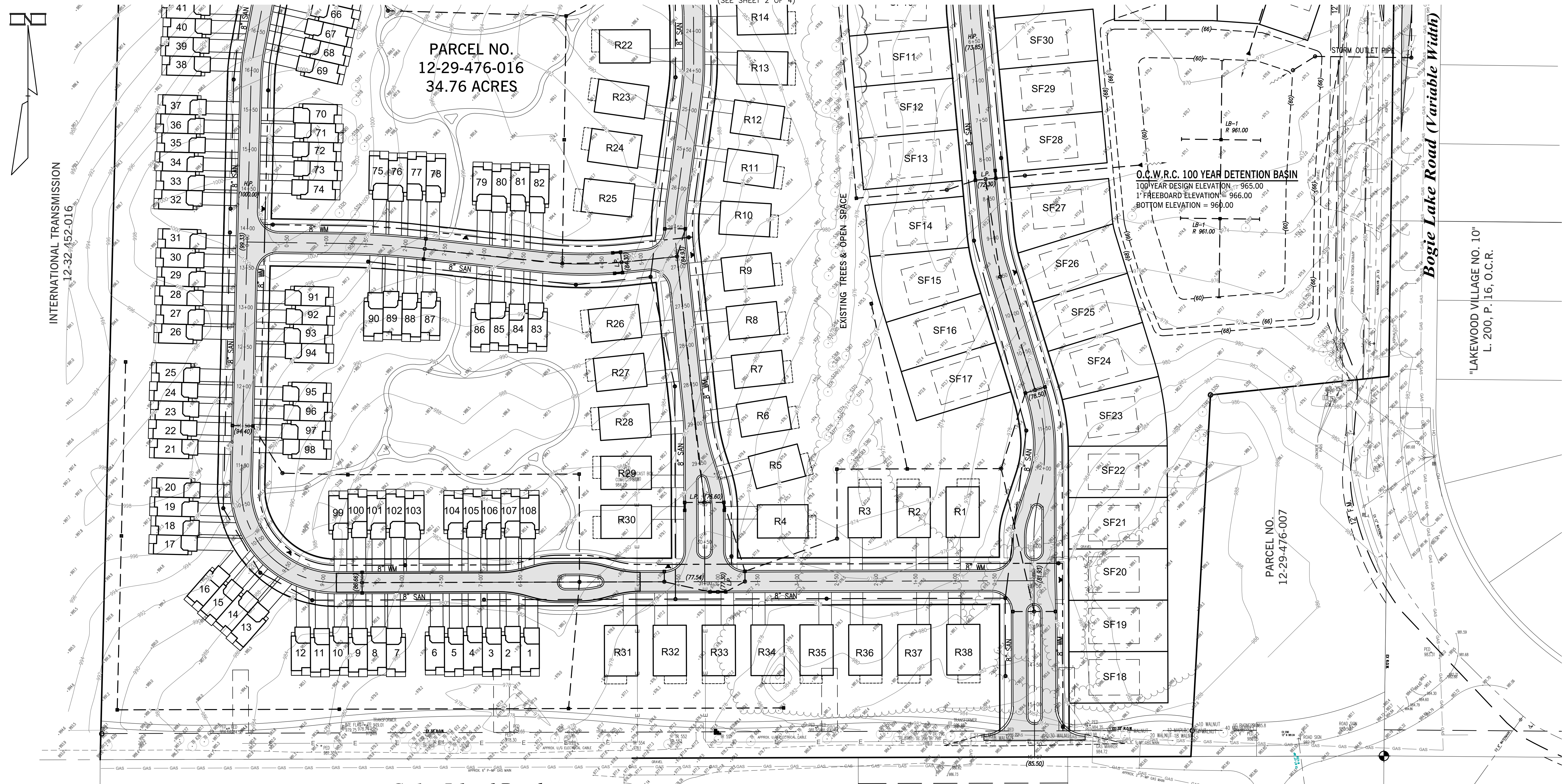
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**Residential Development Concept Plan - North**  
"TULLYMORE DEVELOPMENTS"  
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 60'
SHEET 2 OF 4
KE 2025.010



INTERNATIONAL TRANSMISSION  
12-32-452-016

PARCEL NO.  
12-29-476-016  
34.76 ACRES

O.C.W.R.C. 100 YEAR DETENTION BASIN  
100 YEAR DESIGN ELEVATION = 965.00  
1" FREEBOARD ELEVATION = 966.00  
BOTTOM ELEVATION = 960.00

Bogie Lake Road (Variable Width)

"LAKEWOOD VILLAGE NO. 10"  
L. 200, P. 16, O.C.R.

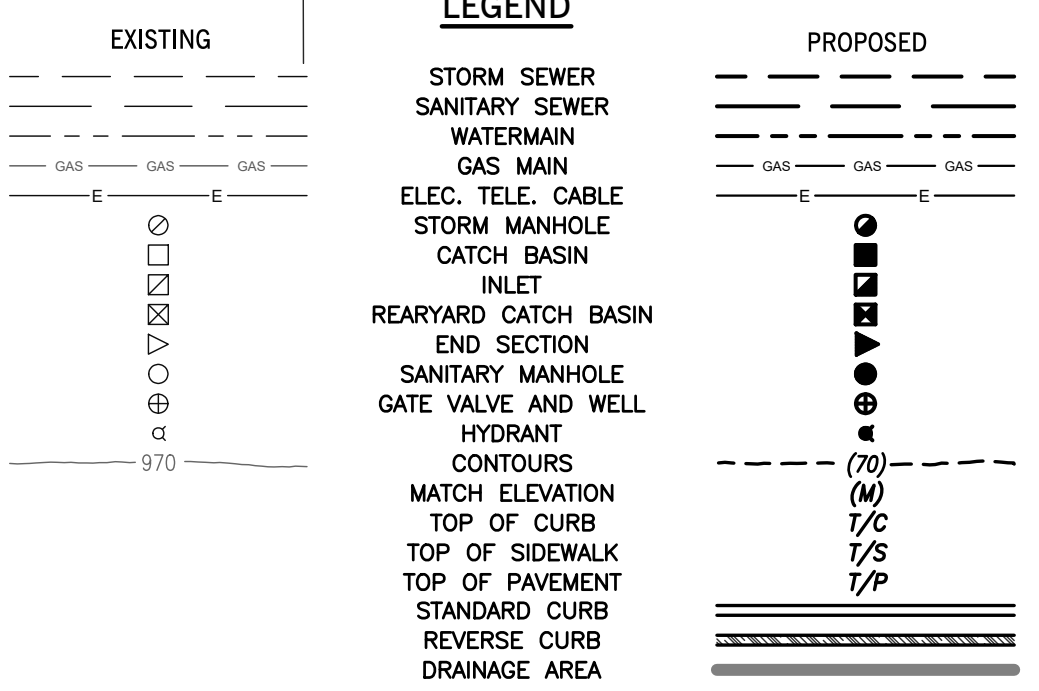
PARCEL NO.  
12-29-476-007

Cedar Island Road (Variable Width)

"CARLA HILLS NORTH NO. 2"  
L. 229, P. 31, O.C.R.

"CARLA HILLS NORTH NO. 1"  
L. 216, P. 37, O.C.R.

HURON V  
12-3



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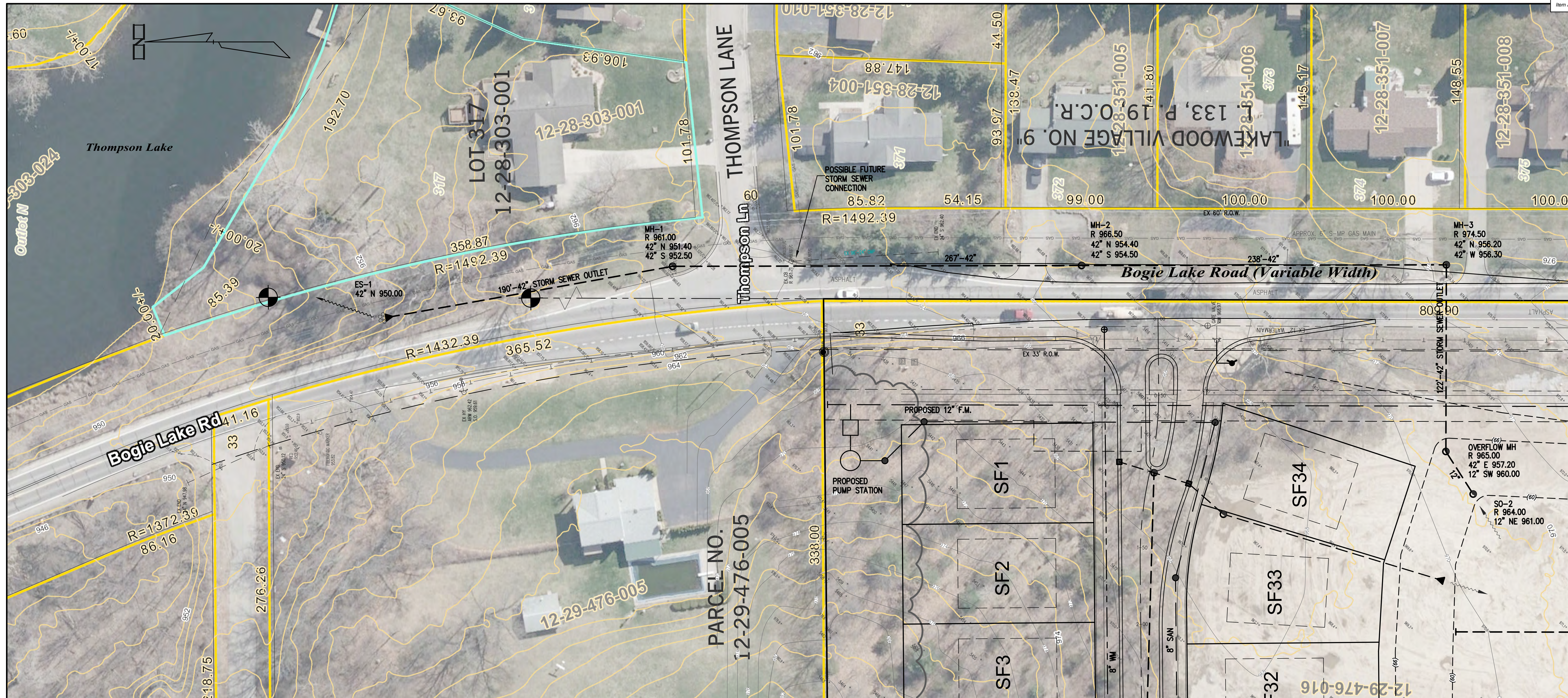
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**Residential Development Concept Plan - South**  
"TULLYMORE DEVELOPMENTS"  
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 60'
SHEET 3 OF 4
KE 2025.010



EXISTING	LEGEND	PROPOSED
	STORM SEWER	
	SANITARY SEWER	
	WATERMAIN	
	GAS MAIN	
	ELEC. TELE. CABLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	REARYARD CATCH BASIN	
	END SECTION	
	SANITARY MANHOLE	
	GATE VALVE AND WELL	
	HYDRANT	
	CONTOURS	
	MATCH ELEVATION	
	TOP OF CURB	
	TOP OF SIDEWALK	
	TOP OF PAVEMENT	
	STANDARD CURB	
	REVERSE CURB	
	DRAINAGE AREA	

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DATE	ISSUE

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**Off-Site Storm Sewer Outlet Plan**  
**"TULLYMORE DEVELOPMENTS"**  
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 30'
SHEET	4 OF 4
KE	2025.010



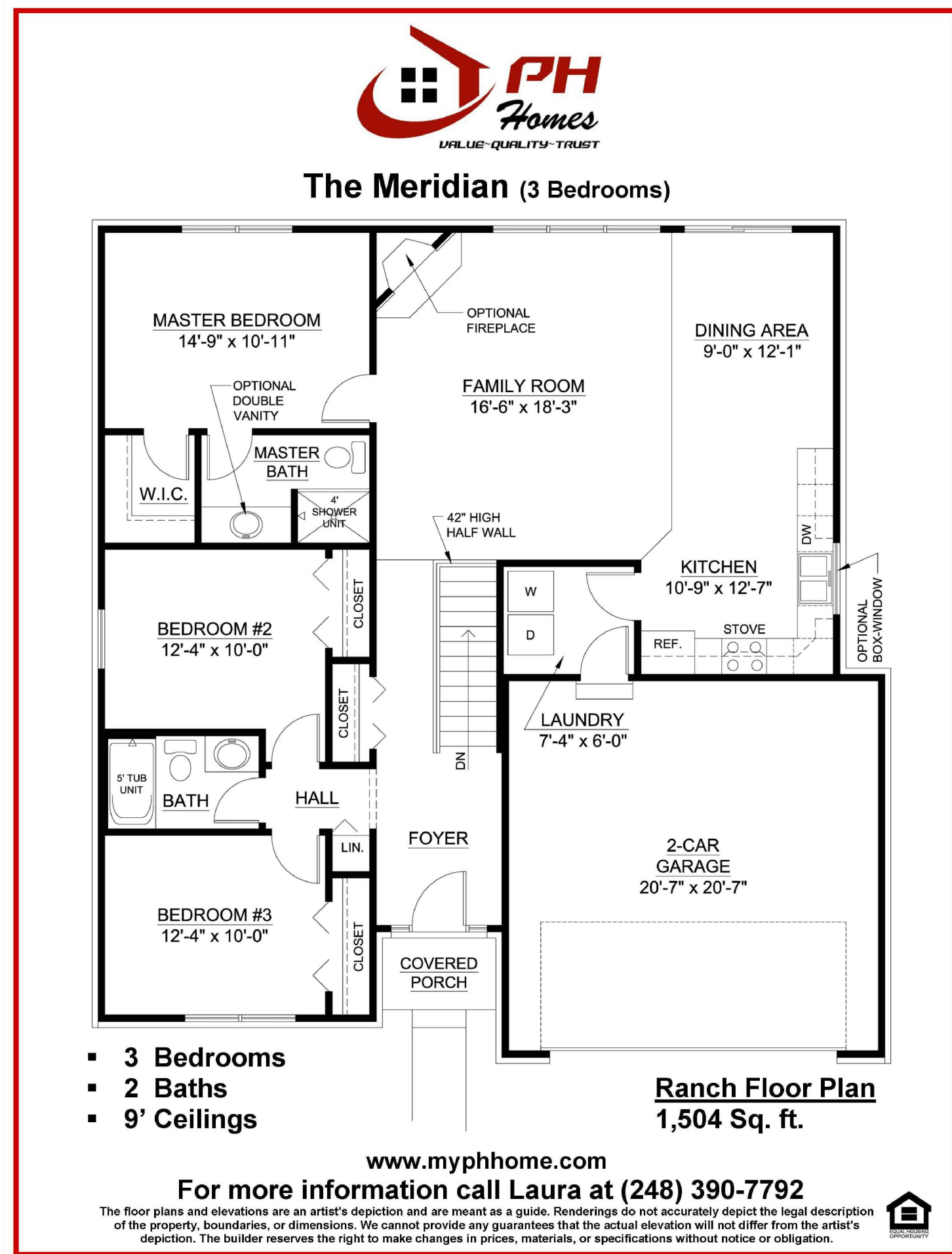
Elevation 'A'



Elevation 'B'



Elevation 'C'



Detached Ranch Condo Home: "The Meridian" Three Bedroom. 1,504 SF. 2 Bathrooms. Three+ elevation options



Elevation 'A'



Elevation 'B'



Elevation 'C'



Single Family Home: "The Manchester" Four Bedroom. 2,556 SF. 2.5 Bathrooms. Three+ elevation options



Detached Ranch Condo Home: "The Meridian" Three Bedroom. 1,867 SF. 2.5 Bathrooms.



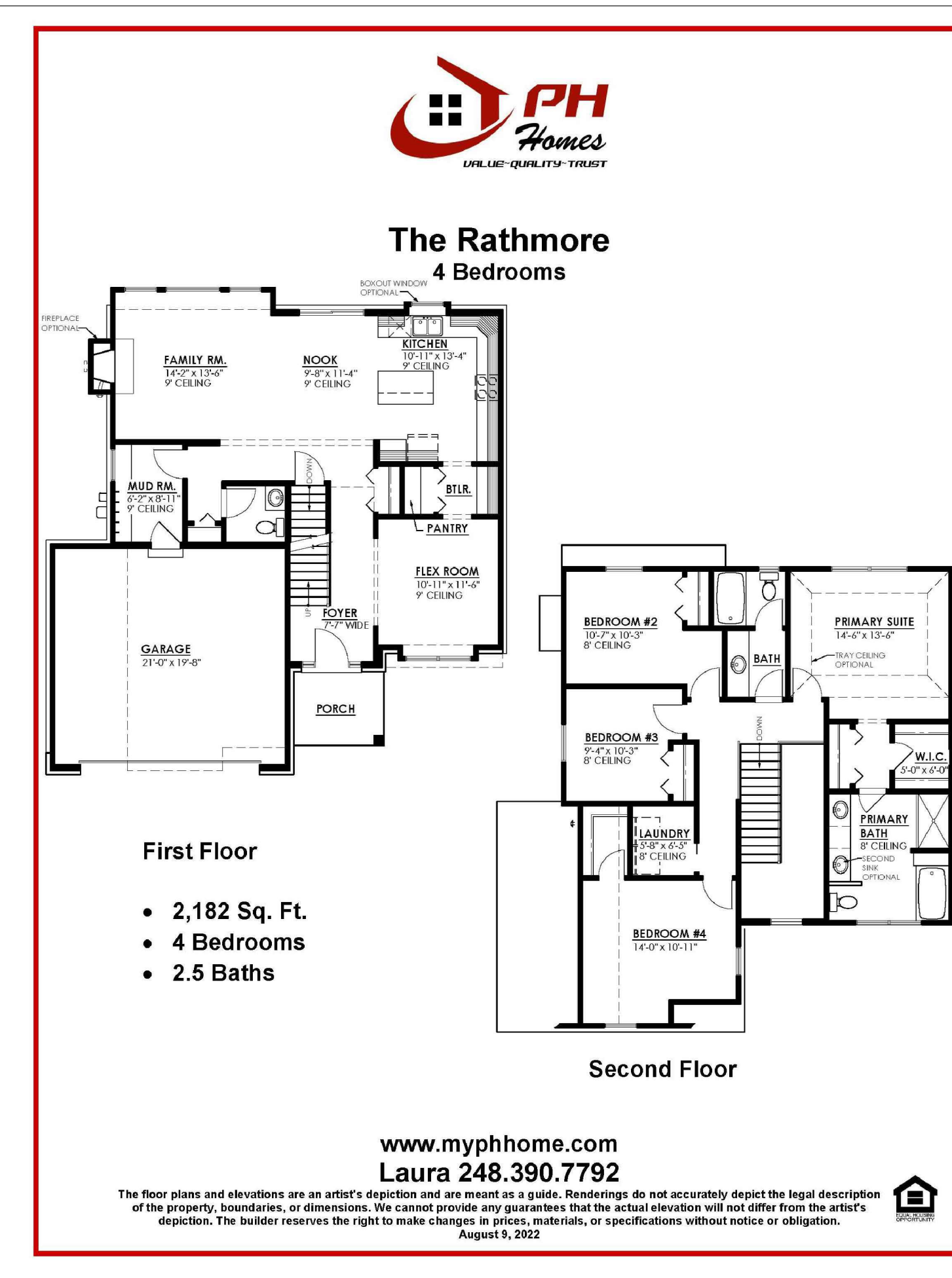
Elevation 'A'



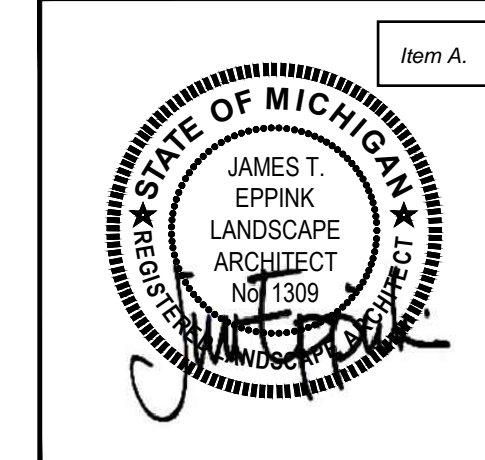
Elevation 'B'



Elevation 'C'



Single Family Home: "The Rathmore" Four Bedroom. 2,182 SF. 2.5 Bathrooms. Three+ elevation options



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Traditional Town Planning

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Project:  
**Tullymore Developments**

Bogie Lake Road  
White Lake Township, MI

Owner:  
**PH Homes**

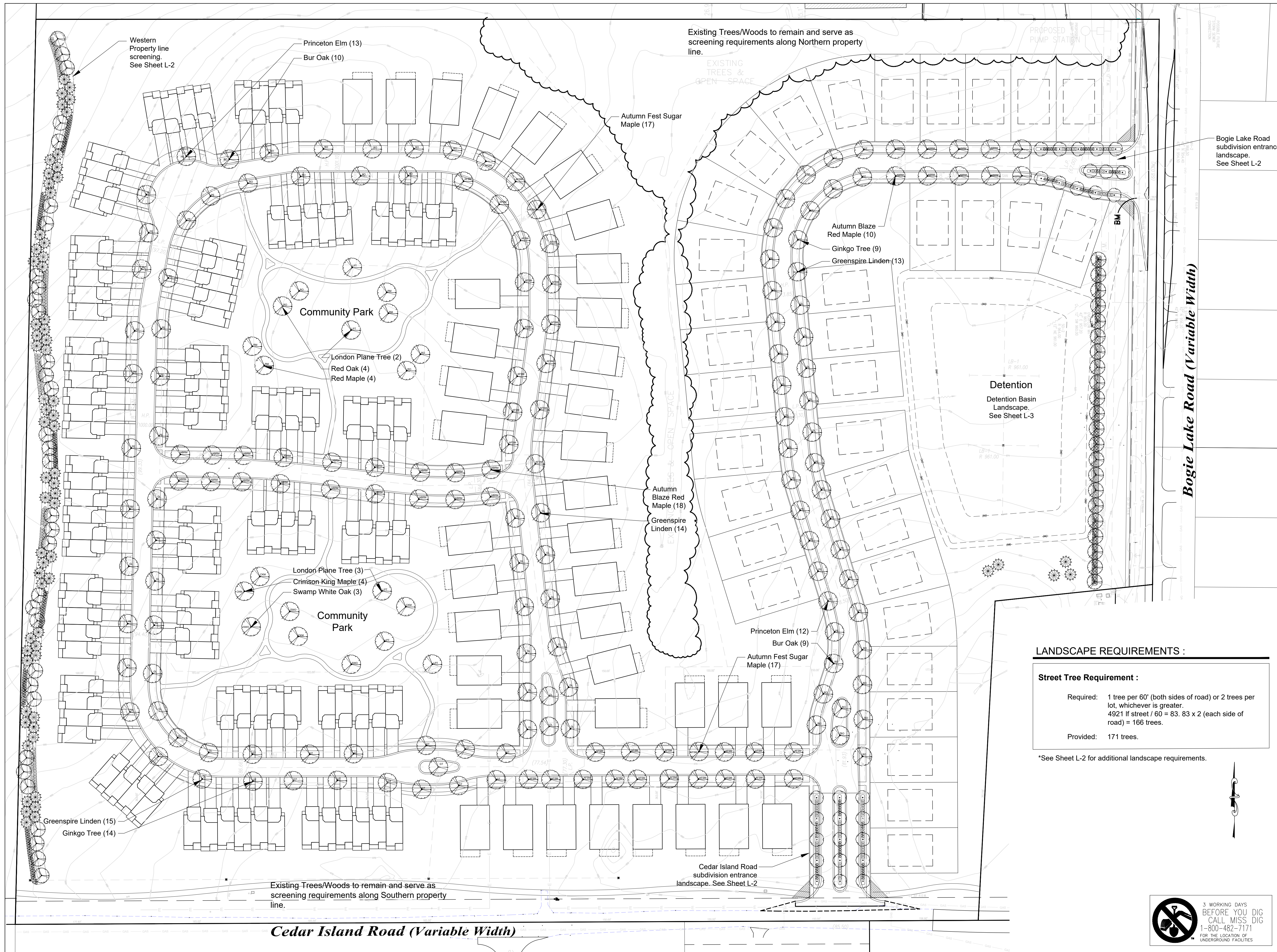
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248-242-6838

Sheet:  
**Preliminary Architecture**

Issues / Revisions  
Submission 2-26-25

Drawn by:  
Checked by: JTE  
Date: January 26, 2025  
Scale: As Noted

Not for Construction  
Sheet: **A-1**



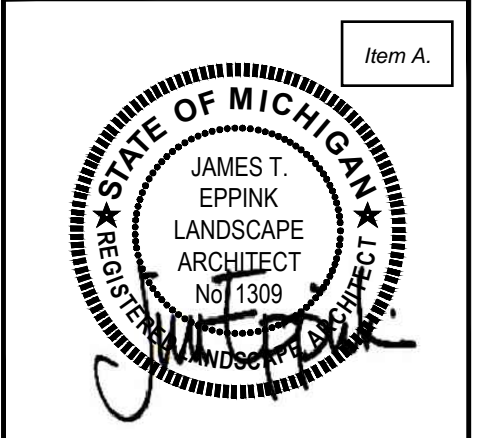
**LANDSCAPE REQUIREMENTS :**

**Street Tree Requirement :**

Required: 1 tree per 60' (both sides of road) or 2 trees per lot, whichever is greater.  
4921 lf street / 60 = 83. 83 x 2 (each side of road) = 166 trees.

Provided: 171 trees.

\*See Sheet L-2 for additional landscape requirements.



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**Tullymore Developments**

Bogie Lake Road  
White Lake Township, MI

Owner:  
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248-242-6838

Sheet:  
**Landscape Plan**

Issues / Revisions  
Submission 2-26-25

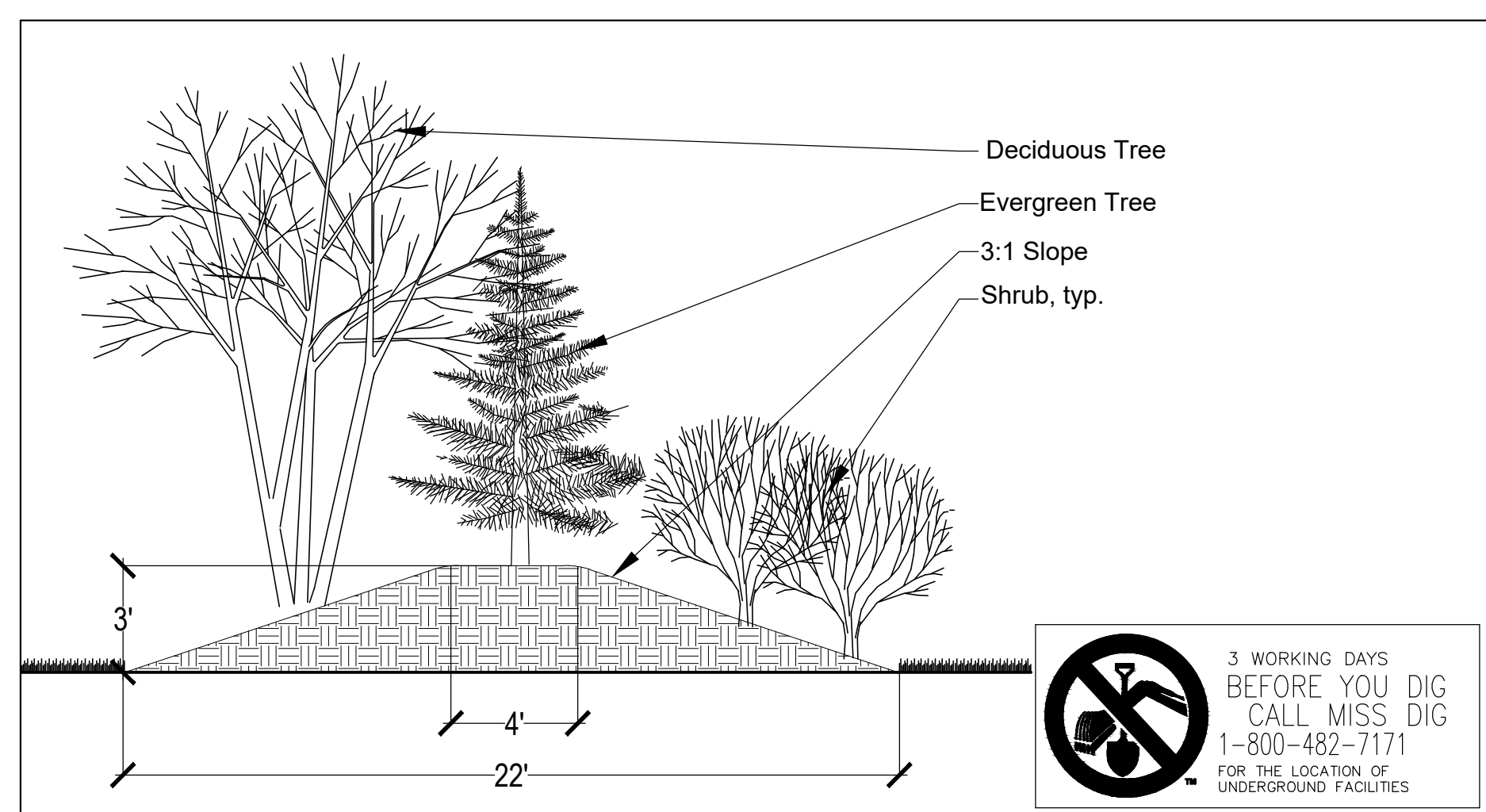
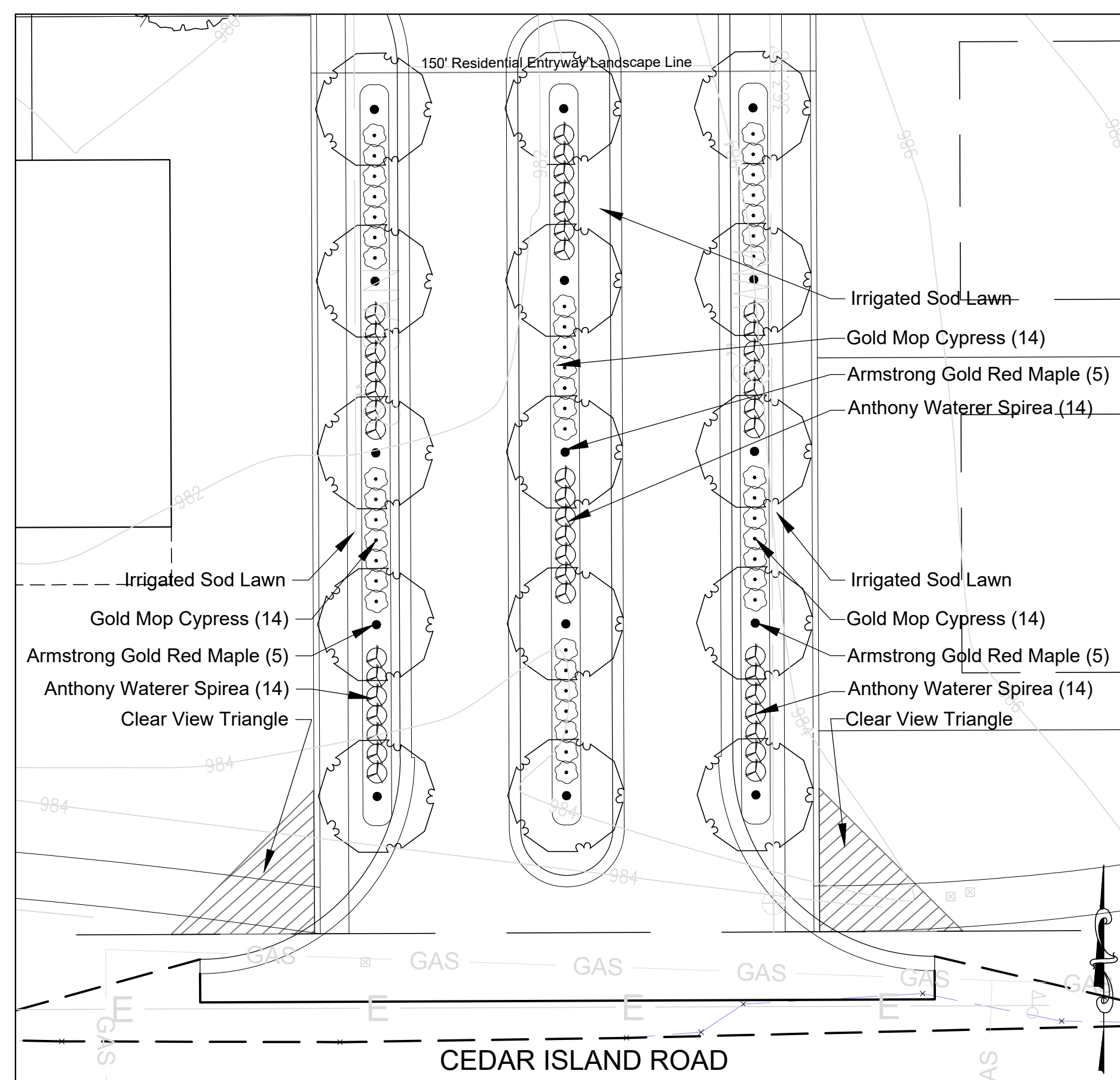
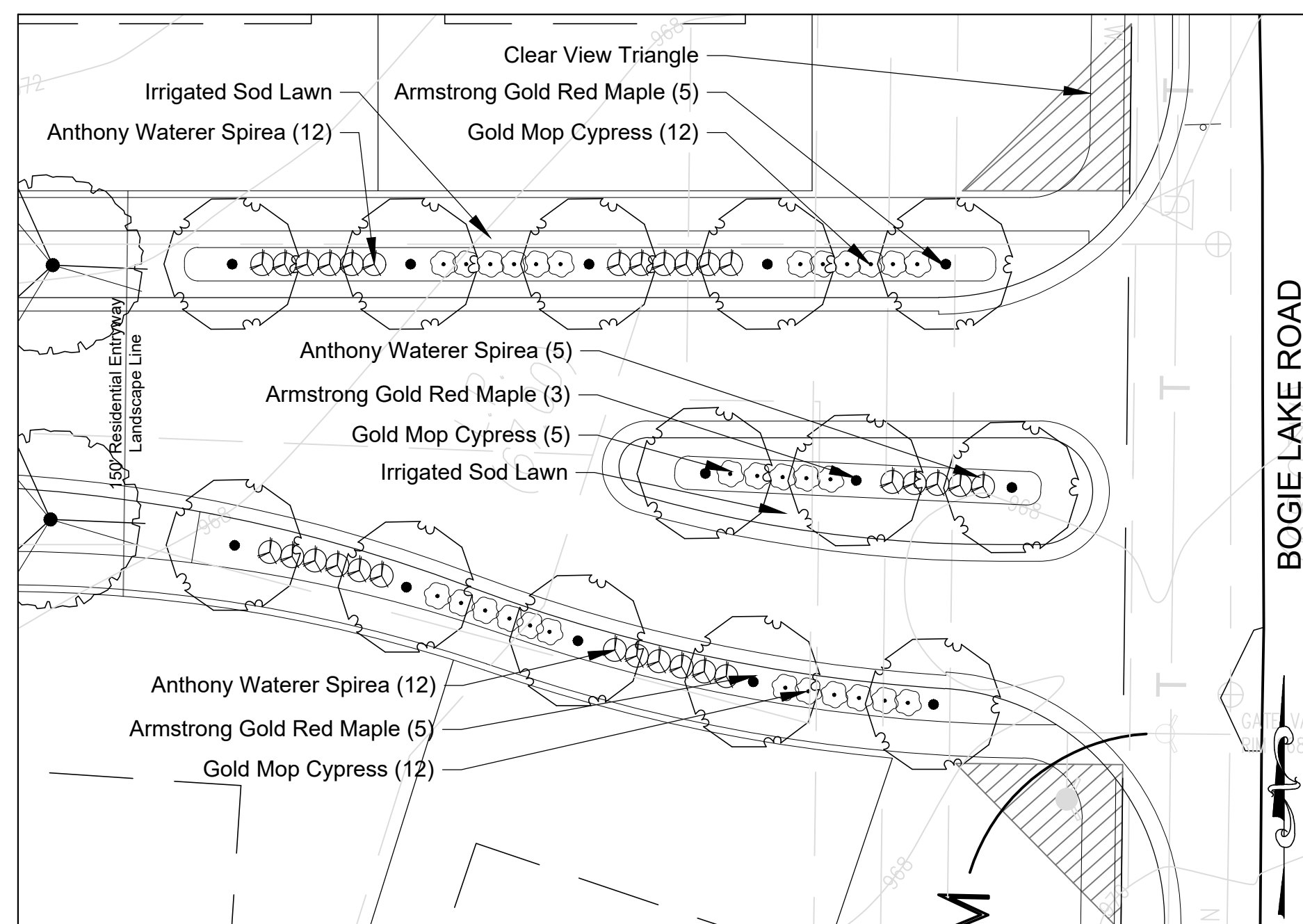
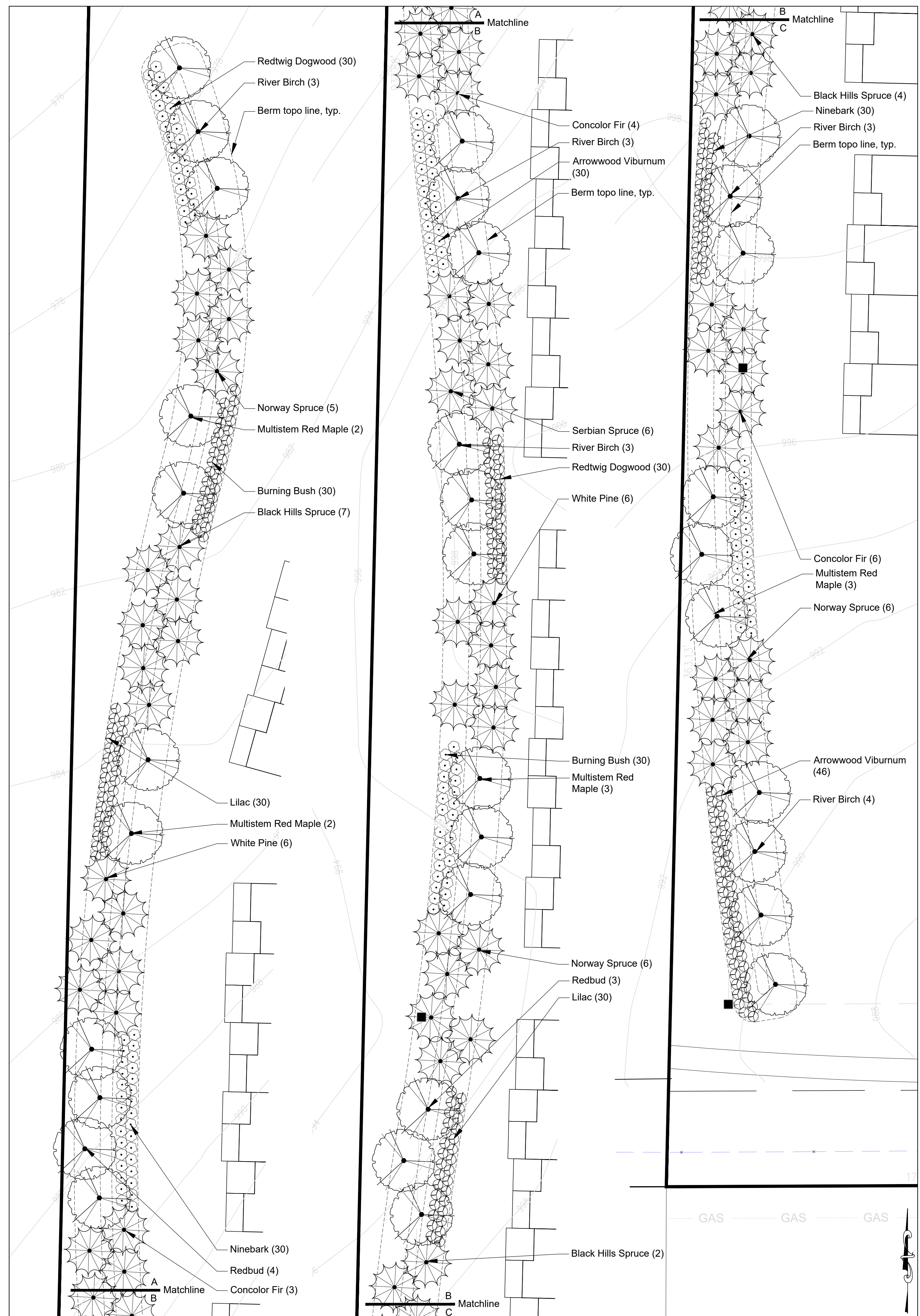
Drawn by:  
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JTE

Date:  
January 26, 2025  
Scale:  
As Noted

Not for Construction

Sheet  
**L-1**





**Residential Entranceway Landscape Requirement :**

Area of Coverage: First 150' of Entrance Drive  
 Requirement: 1 tree and 3 shrubs per each 300sf of area

**Bogie Lake Road Entrance :**

**North Side of Bogie Lake Road :**  
 Area: 1,445sf  
 1,445 / 300 = 4.81  
 Trees: 5 x 1 = 5  
 5 Trees Required  
 5 Trees Provided  
 Shrubs: 5 x 3 = 15  
 15 Shrubs Required  
 24 Shrubs Provided

**South Side of Bogie Lake Road :**  
 Area: 1,466sf  
 1,466 / 300 = 4.88  
 Trees: 5 x 1 = 6  
 5 Trees Required  
 5 Trees Provided  
 Shrubs: 5 x 3 = 15  
 15 Shrubs Required  
 24 Shrubs Provided

**Bogie Lake Road Entrance Island:**  
 Area: 947 sf  
 947 / 300 = 3.15  
 Trees: 4 x 1 = 4  
 4 Trees Required  
 3 Trees Provided  
 Shrubs: 4 x 3 = 12  
 12 Shrubs Required  
 10 Shrubs Provided

**Cedar Island Road Entrance :**

**East Side of Cedar Island Road :**  
 Area: 1,493sf  
 1,493 / 300 = 4.97  
 Trees: 5 x 1 = 5  
 5 Trees Required  
 5 Trees Provided  
 Shrubs: 5 x 3 = 15  
 15 Shrubs Required  
 28 Shrubs Provided

**West Side of Cedar Island Road :**  
 Area: 1,497sf  
 1,497 / 300 = 4.99  
 Trees: 5 x 1 = 5  
 5 Trees Required  
 5 Trees Provided  
 Shrubs: 5 x 3 = 15  
 15 Shrubs Required  
 28 Shrubs Provided

**Cedar Island Road Entrance Island:**  
 Area: 2,815 sf  
 2,815 / 300 = 9.38  
 Trees: 10 x 1 = 10  
 10 Trees Required  
 5 Trees Provided  
 Shrubs: 10 x 3 = 30  
 30 Shrubs Required  
 28 Shrubs Provided

**Screening Requirement between uses :**

**North Property Line :**

Required: Land Form Buffer (A-2): 3' berm with min. 2' wide crown and max. 3:1 slope. 20' wide. 1 large deciduous tree, 1 large evergreen tree and 8 shrubs per 30'.  
 Provided: Existing trees and woods to remain and serve as required screening.

**South Property Line :**

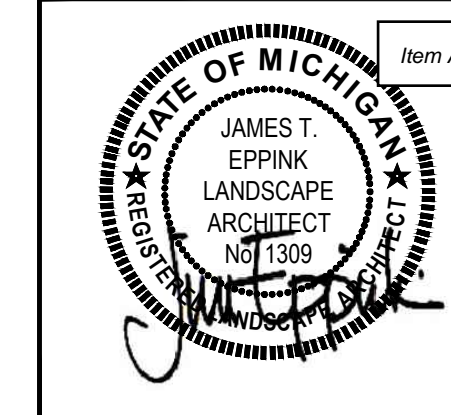
Required: Greenbelt (E): 20' wide. 1 large deciduous or evergreen tree and 8 shrubs per 30'.  
 Provided: Existing trees and woods to remain and serve as required screening.

**West Property Line :**

Required: Land Form Buffer (A-2): 3' berm with min. 2' wide crown and max. 3:1 slope. 20' wide. 1 large deciduous tree, 1 large evergreen tree and 8 shrubs per 30'.  
 1,297 sf / 30 = 43.23  
 44 large evergreen trees, 44 large deciduous trees and 346 shrubs.  
 Provided: 3' berm with 4' crown width. 3:1 slope, 22' wide. 62 large evergreen trees, 33 large deciduous trees, 346 shrubs.

**East Property Line :**

Required: Greenbelt (E): 20' wide. 1 large deciduous or evergreen tree and 8 shrubs per 30'.  
 810 sf / 30 = 27.0  
 27 large evergreen/deciduous trees and 216 shrubs.  
 Provided: 20' wide greenbelt. 27 large evergreen/deciduous trees and 216 shrubs. Due to utility easements along property line, plantings are located around detention basin.



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Project:  
**Tullymore Developments**  
 Bogie Lake Road  
 White Lake Township, MI

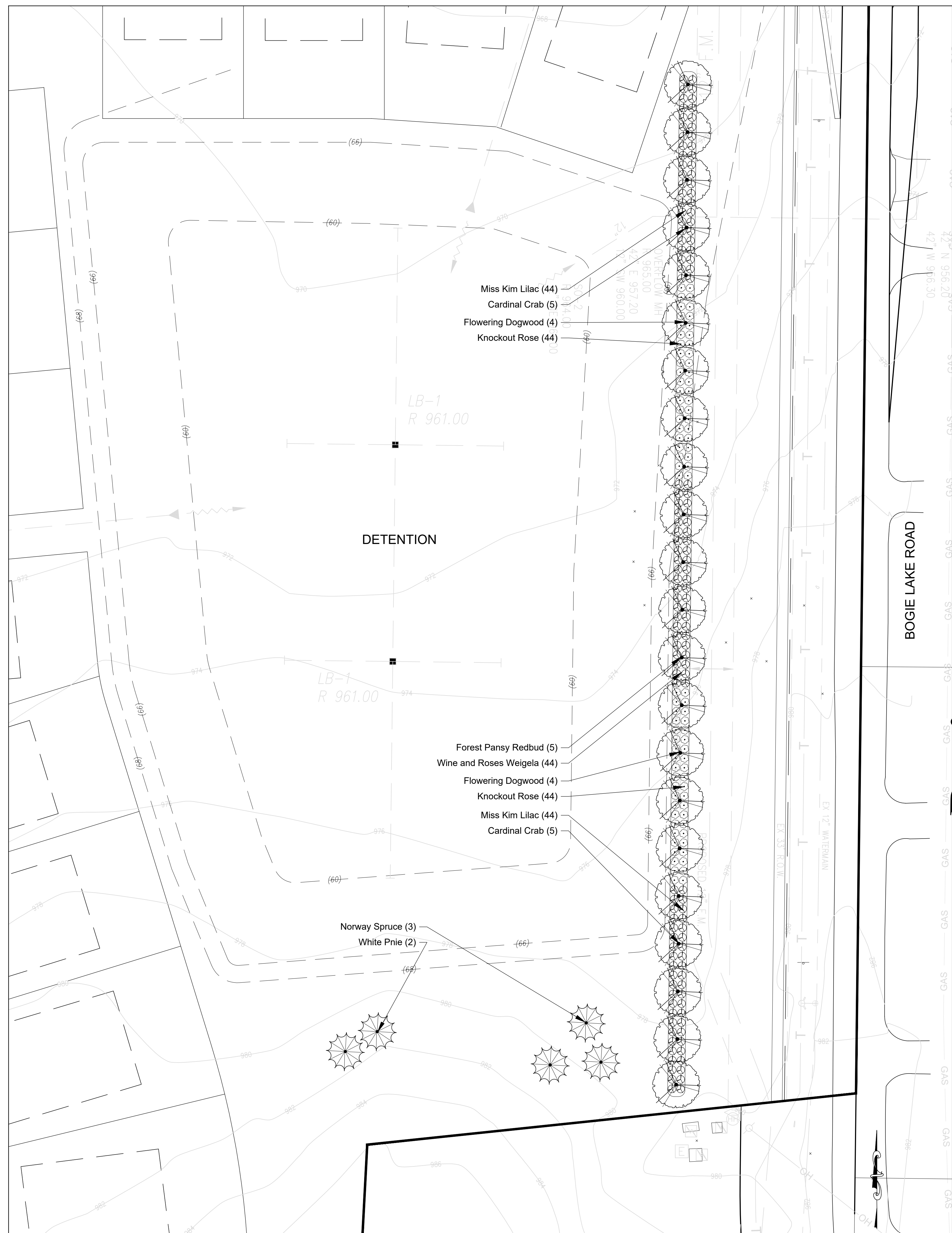
Owner:  
**PH Homes**  
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 248-242-6838

Sheet:  
**Landscape Plan-Entrance and Screening Areas**

Issues / Revisions  
 Submission 2-26-25

Drawn by:  
 Checked By:  
**JTE**  
 Date:  
**January 26, 2025**  
 Scale:  
**As Noted**

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 Sheet  
**L-2**



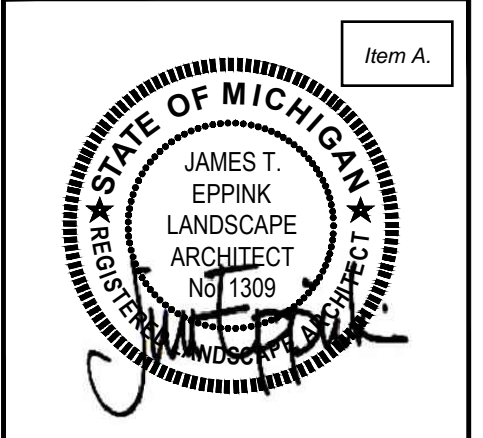
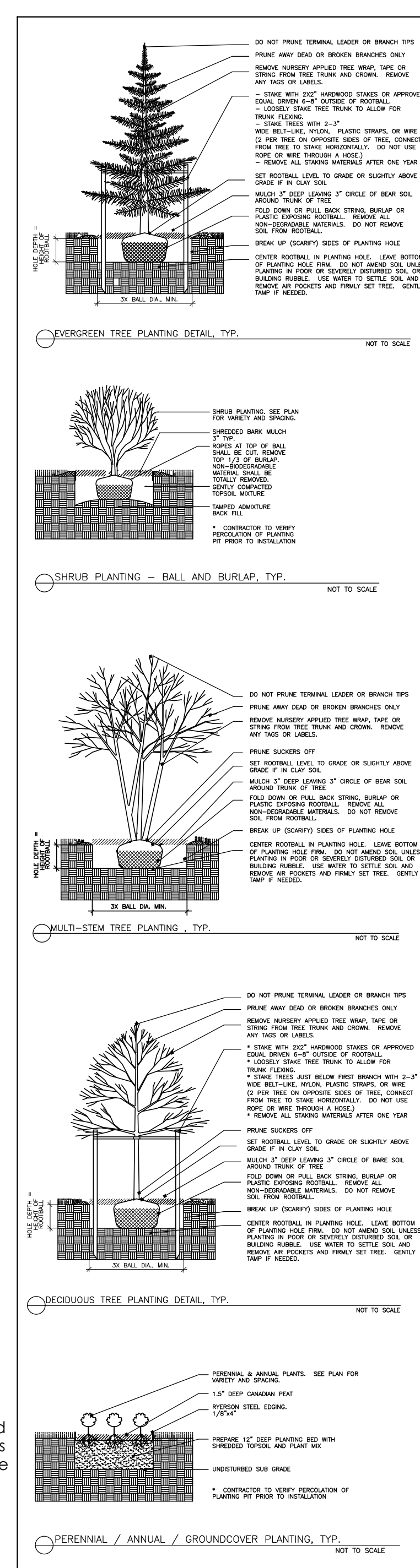
PLANT DATA TABLE :

QTY.	DESCRIPTION	NOTES
13	Abies concolor Concolor Fir, 8'	B&B
28	Acer freemanii Autumn Blaze Red Maple, 3" cal.	B&B
4	Acer platanoides 'Crimson King' Crimson King Maple, 3" cal.	B&B
4	Acer rubrum Red Maple, 3" cal.	B&B
10	Acer rubrum Clump Red Maple, 10-12'	B&B multi-stem
28	Acer rubrum 'Armstrong Gold' Armstrong Gold Red Maple, 3" cal.	B&B
34	Acer saccharum 'Autumn Fiesta' Autumn Fiesta Sugar Maple, 3" cal.	B&B
16	Betula nigra River Birch, 10-12"	B&B multi-stem
7	Cercis canadensis Eastern Redbud, 8'	B&B multi-stem
5	Cercis canadensis 'Forest Pansy' Forest Pansy Redbud, 2.5' cal.	B&B
71	Chamaecyparis 'Gold Mop' Gold Mop Cypress, 5 gal.	Container
8	Cornus florida Flowering Dogwood, 2.5" cal.	B&B
60	Cornus sericea Redtwig Dogwood, 5 gal.	Container
60	Euonymus alatus Burning Bush, 30"	Container
23	Ginkgo biloba Ginkgo Tree, 3" cal.	B&B
10	Malus 'Cardinal' Cardinal Crab, 2.5" cal.	B&B
60	Physocarpus opulifolius Ninebark, 5 gal.	Container
20	Picea abies Norway Spruce, 8'	B&B
13	Picea glauca 'Densata' Black Hills Spruce, 8'	B&B
6	Picea omorika Serbian Spruce, 8'	B&B
14	Pinus strobus White Pine, 8'	B&B
5	Platanus x acerifolia London Plane Tree, 3" cal.	B&B
3	Quercus bicolor Swamp White Oak, 3" cal.	B&B
19	Quercus macrocarpa Bur Oak, 3" cal.	B&B
4	Quercus rubra Red Oak, 3" cal.	B&B
88	Rosa 'Knockout' Knockout Rose, 3 gal.	Container
71	Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea, 3 gal.	Container
88	Syringa patula 'Miss Kim' Miss Kim Lilac, 5 gal.	Container
60	Syringa vulgaris Common Lilac, 5 gal.	Container
42	Tilia cordata 'Greenspire' Greenspire Linden, 3" cal.	B&B
25	Ulmus americana 'Princeton' Princeton Elm, 3" cal.	B&B
76	Viburnum dentatum Arrowwood Viburnum, 5 gal.	Container
44	Weigela florida 'Wine and Roses' Wine and Roses Weigela, 5 gal.	Container

PLANTING NOTES :

- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions, or deviations to the landscape plan must be approved prior to installation. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds. Peat Moss is to be installed in all perennial flower area. Such beds shall have no shredded mulch, typ.
- The contractor shall guarantee and maintain all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- All plant material shall be grade 1 northern nursery grown from a local source. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- Contractor shall adhere to all soil erosion prevention methods as directed by the Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- Contractor shall protect existing irrigation system throughout construction, and shall modify the existing irrigation system as needed to ensure that all lawn and landscape areas within the project area receive irrigation coverage, and that the system operates correctly and efficiently. Contractor shall also install a rain detection and shut-off sensor onto the system.
- Trees shall not be installed closer than 4' from a property line.
- Contractor shall ensure that a 25' clear vision zone is maintained at each intersection as depicted, and must ensure that no limbs or obstructions exist between the grade and 8' above the grade within this zone.

PLANTING DETAILS :



**J EPPINK PARTNERS, INC**  
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Commerce Twp, MI 48382  
248-242-6838

Sheet:  
**Landscape Plan-Detention Area. Notes and Details**

Issues / Revisions	
Submission	2-26-25

Drawn by:  
Checked by:  
**JTE**  
Date:  
**January 26, 2025**  
Scale:  
As Noted  
Not for Construction  
Sheet:  
**L-3**

