



CITY OF WESTWOOD, KANSAS

PLANNING COMMISSION MEETING

4700 RAINBOW BLVD. WESTWOOD, KS 66205

Monday, March 03, 2025 at 7:00 PM

AGENDA

Welcome to your Westwood City Council meeting. This meeting may be attended remotely via Zoom:

Access Online: <https://us02web.zoom.us/j/89009964959>

Access by Phone: (312) 626-6799 / **Webinar ID:** 890 0996 4959

[Note: This agenda is subject to changes, additions, or deletions at the discretion of the Governing Body]

REGULAR MEETING AGENDA

I. CALL TO ORDER

- A. Administer the Affirmation of Office to Clay Fulghum and Ann Holliday and Oath of Office to Scott McCracken

II. APPROVAL OF THE AGENDA AND MEETING MINUTES

- A. Consider approving the March 3, 2025 Planning Commission meeting agenda
- B. Consider approving the January 6, 2025 Planning Commission meeting minutes

III. PUBLIC HEARINGS

- A. WE 2025-02 - Consider application of property owner F. Kaan Akyalcin for a waiver from Westwood Zoning Ordinance Article Nos. 4.3.2.B to allow a third story (maximum allowable is 2 ½ stories), 4.3.2.H to allow the height of the primary structure to exceed that allowed, and 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building for a proposed new single-family residence on property located at 2012 W. 47th Ter., Westwood, KS 66205
- B. WE 2025-01 - Consider application of Wulff Building & Additions on behalf of property owner Kei Kamara for a waiver from Westwood Zoning Ordinance Article No. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence on property located at 4810 Belinder Ct., Westwood, KS 66205

IV. PRESENTATIONS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. FP-2025-01 - Consider application of Wulff Building & Additions on behalf of property owner Kei Kamara to plat property at 4810 Belinder Ct., Westwood, KS 66205

VII. ANNOUNCEMENTS/PLANNING COMMISSIONER COMMENTS

VIII. STAFF REPORTS

- A. Administrative Report (City Administrator Leslie Herring)
- B. Public Works Department Report (Public Works Director John Sullivan)

IX. UPCOMING ITEMS

- A. Annual legalities training (April)
- B. Election of officers (Chair, Vice-Chair, and Secretary) (May)

X. ADJOURNMENT

I. CALL TO ORDER - BOARD OF ZONING APPEALS

II. PUBLIC HEARINGS - BOARD OF ZONING APPEALS

- A. BZA 2025-01 - Consider application of Sarah Brown, organizing member of property owner Iris Holding Company, LLC, for a variance from Westwood Zoning Ordinance Article No. 9.2.12 and 9.3.3.C to allow façade signage in excess of that allowable on property located at 4812 Rainbow Blvd., Westwood, KS 66205

III. ADJOURNMENT - BOARD OF ZONING APPEALS

UPCOMING MEETINGS

Regular meetings of the Westwood Planning Commission are held at 7:00 PM on the first Monday of each month. The next regular meeting of the Westwood Planning Commission will be held Monday, April 7, 2025, at 7:00 PM at Westwood City Hall. The City Calendar may be accessed at www.westwoodks.org. To receive further updates and communications, please see or sign up for the following:

Westwood Buzz Email: <https://bit.ly/3wA4DWx>

Facebook: [City of Westwood Kansas-Government](#)
[Westwood, KS Police Department](#)

**City of Westwood, Kansas
Planning Commission Meeting
4700 Rainbow Boulevard
January 6, 2025 – 7:00 PM**

Commissioners Present: Kevin Breer, Vice Chair
Clay Fulghum
Ann Holliday
Samantha Kaiser
Emily Keyser
Mark Neibling
Matt Prout

Commissioners Absent: David Kelman
Sarah Page, Chair

Staff Present: Leslie Herring, City Administrator
Spencer Low, City Attorney for Planning Commission

Call to Order

Vice-Chair Kevin Breer called the meeting to order at 7:02 PM on January 6, 2025. Due to a winter storm resulting in the closure of Westwood City Hall, the meeting was held entirely remotely via Zoom.

Approval of Agenda and Meeting Minutes

Vice-Chair Kevin Breer called for modifications or discussion of the January 6, 2025 meeting agenda or a motion for approval. Herring noted that New Business Item A. should be removed from the agenda as the applicant needed more time to prepare. Commissioner Neibling moved to approve the agenda and meeting minutes. Commissioner Fulghum seconded. Motion passed unanimously. Vice-Chair Kevin Breer called for modifications or discussion of the December 2, 2024 meeting minutes or a motion for approval. Commissioner Neibling moved to approve the agenda and meeting minutes. Commissioner Prout seconded. Motion passed unanimously.

Public Hearings

WE-2024-05 – Application of homeowner Joseph Hirleman for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow a primary structure to have less than 60% of its front façade on the front build-to line for a proposed new single-family residence on property located at 4831 Booth St., Westwood, Kansas 66205.

Vice-Chair Breer invited Herring to present the staff report. Herring presented the staff report included in the meeting packet.

Vice-Chair Breer invited the applicant to address the Planning Commission. Commissioner Fulghum stated for the good of the order and for full disclosure that he lives next door to the subject property and is friends with the property owner/resident. Fulghum stated that he does feel he can be impartial in reviewing and acting on the application and does plan to participate in the discussion and action on the application. Johnny Falk, builder retained for the project, stated that they interpreted the front façade minimum requirement to be calculated on the area of the plane on the front façade and not just the linear length of the foundation wall on the build-to line. Homeowner Joe Hirleman addressed the

Planning Commission and stated that they tried very hard to comply with the Westwood Zoning Ordinance and tried to make the house look like it fits with the character of the neighborhood.

Vice-Chair Breer called for questions from the Planning Commission of the applicant. There were none.

Vice-Chair Breer called for public comment on the application. There were none.

Vice-Chair Breer closed the public comment portion of the hearing.

Vice-Chair Breer called for discussion amongst the Planning Commission. Commissioner Neibling called for staff to note that the definition of front façade for purposes of meeting the requirements of the Zoning Ordinance be revisited and revised to provide clarity to future applicants. Breer added that consistency with other neighboring jurisdictions in defining and interpreting the zoning ordinance should be a goal of revisiting and revising the definition.

Motion made by Commissioner Neibling to approve the application of homeowner Joseph Hirleman for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow a primary structure to have less than 60% of its front façade on the front build-to line for a proposed new single-family residence on property located at 4831 Booth St., Westwood, Kansas 66205. Seconded by Prout. Motion passed unanimously.

Presentations – None.

Old Business – None.

New Business

2025 Issues of General Interest and Training Needs and Requests

Herring referred to the staff report in the meeting packet and invited Vice-Chair Breer to facilitate a conversation about topics and areas to cover this year. Breer noted that he would invite conversation but would also be supportive of holding the conversation until the next meeting when Chair Sarah Page is able to lead the conversation. Herring noted that Planning Commissioners could also reach out between meetings to share ideas or to make requests of topics to cover. Herring also notified Commissioners Fulghum, Holliday, and Prout that their terms are up this year and to please notify Chair Page about their interest in being considered for reappointment.

Staff Reports – None.

Adjournment

Motion by Commissioner Neibling to adjourn the meeting. Second by Commissioner Prout. Motion passed unanimously. The meeting adjourned at 7:34 PM.

Upcoming Items – None.

APPROVED: _____
Sarah Page, Chair

ATTEST: _____
Leslie Herring, Secretary

WESTWOOD PLANNING COMMISSION

Staff Report

Meeting Date: March 3, 2025

Staff Contact: Leslie Herring, City Administrator

WE 2025-02 - Consider application of property owner F. Kaan Akyalcin for a waiver from Westwood Zoning Ordinance Article Nos. 4.3.2.B to allow a third story (maximum allowable is 2 ½ stories), 4.3.2.H to allow the height of the primary structure to exceed that allowed, and 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building for a proposed new single-family residence on property located at 2012 W. 47th Ter., Westwood, KS 66205

OWNER OF RECORD: Fethi Kaan Akyalcin

APPLICANT: Fethi Kaan Akyalcin, property owner

LOCATION: The property is located at 2012 W. 47th Ter. and is deeded as WESTPORT ANNEX LOT 19

ZONING: The property is zoned R-1E

PROPOSED PROJECT: Construct a new single-family dwelling

REQUESTED ACTION: A waiver/exception from Westwood Zoning Ordinance Article Nos.:

- a. 4.3.2.B to allow a third story (maximum allowable is 2 ½ stories), and
- b. 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building.

Based on administrative review and consultation with two members of the Planning Commission during the staff review period (prior to the publication deadline for a public hearing), three articles were identified for possibly requiring a waiver and, as such, all three were included on the notice of public hearing in an abundance of caution and to ensure as efficient a review and approval process as possible. Following submission of the publication of the notice of public hearing, the applicant submitted revised plans that address the height of the primary structure and the structure now appears to be in compliance with that provision of the Westwood Zoning Ordinance (4.3.2.H).

It is possible that during the public hearing the Planning Commission will decide certain of these waivers are not applicable.

ZONING ORDINANCE WAIVER & EXCEPTION: Pursuant to Ordinance No. 1000 passed by the Westwood Governing Body on March 14, 2019, the Westwood Zoning Code was amended to create a new Section 4.5 - Waivers & Exceptions to establish a new review and approval process as an alternative to consideration of a variance request by the Board of Zoning Appeals.

As provided for by Ordinance No. 1000, and in conformance with the Planning Commission's and Governing Body's intent to provide a process to consider waivers and exceptions from certain sections

of Chapter 4 of the Westwood Zoning Ordinance, a waiver from Section 4.3.2(I) would need to be granted to allow the property owner to construct the home as proposed.

APPROVAL CRITERIA: Pursuant to Ordinance No. 1000, a waiver or exception shall not be approved if it is contrary to the public interest or unnecessarily burdens the City. The Approving Authority may approve the waiver or exception if the applicant demonstrates one (1) or more of the following:

1. An alternative higher quality development design is being proposed with no negative impacts to either nearby residential or nonresidential properties.
2. Relief of the development restrictions imposed on the property will ensure low impact land uses, and quality building and site design arrangements in which adjoining residential properties will not be negatively impacted by any deviations from the applicable regulations.
3. The granting of the wavier or exception will not be opposed to the general spirit and intent of the adopted Comprehensive Plan.

The waiver/exception is a condition of the underlying application for approval and has the same effect as any approval of that application. In such instances, findings shall be prepared that:

1. No private rights will be injured or endangered by granting of the waiver or exception.
2. The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

STAFF ANALYSIS: Staff review of the application submittal concludes that all elements of the proposed single-family dwelling conform to the Westwood Zoning Ordinance with the following exceptions:

- a. WZO 4.3.2.B – The enclosed space (kitchen/storage area) on top of the second story of the structure is interpreted by the City to constitute a story. Even though this enclosed area does comply with [WZO 4.3.2.J.5.f](#), it does not meet the City’s definition for a half story in that the structure/enclosed area is not under a sloping roof ([WZO 2.3.660](#)); and
- b. WZO 4.3.6.F – The garage does not comply with [WZO 4.3.6.F](#) in that it is substantially flush with the front façade of the house. The garage does appear to comply with [WZO 4.3.6.C](#).

Illustrations of the rooftop as proposed are provided here:



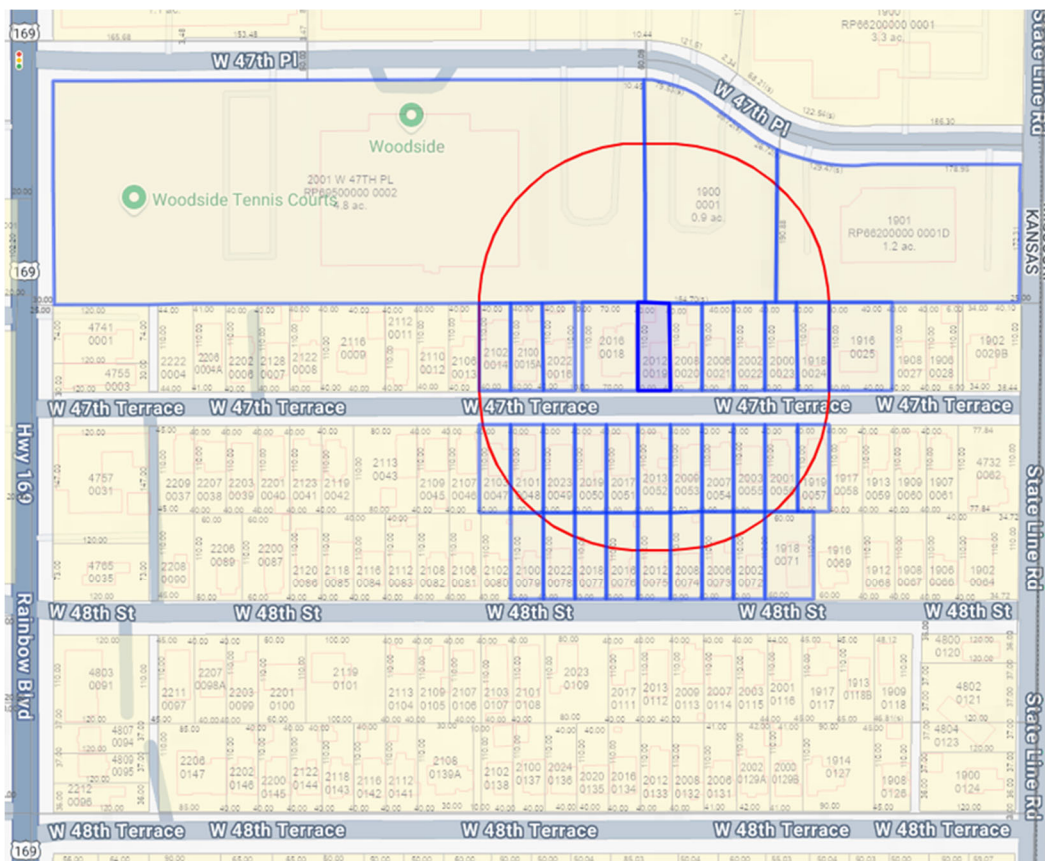
With regard to WZO 4.3.2.H, which was included on the notice of public hearing but which has since been addressed to comply with the City’s zoning ordinance, the structure height as proposed is 34’11.5” and the maximum height allowed is 35”.

STAFF RECOMMENDATION: The Planning Commission should review the application materials included in the meeting packet, should consider any public comment received¹, and should consider the applicant’s presentation at the meeting to determine whether this application should be approved. Staff does not object to approval of the application.

Suggested Motion

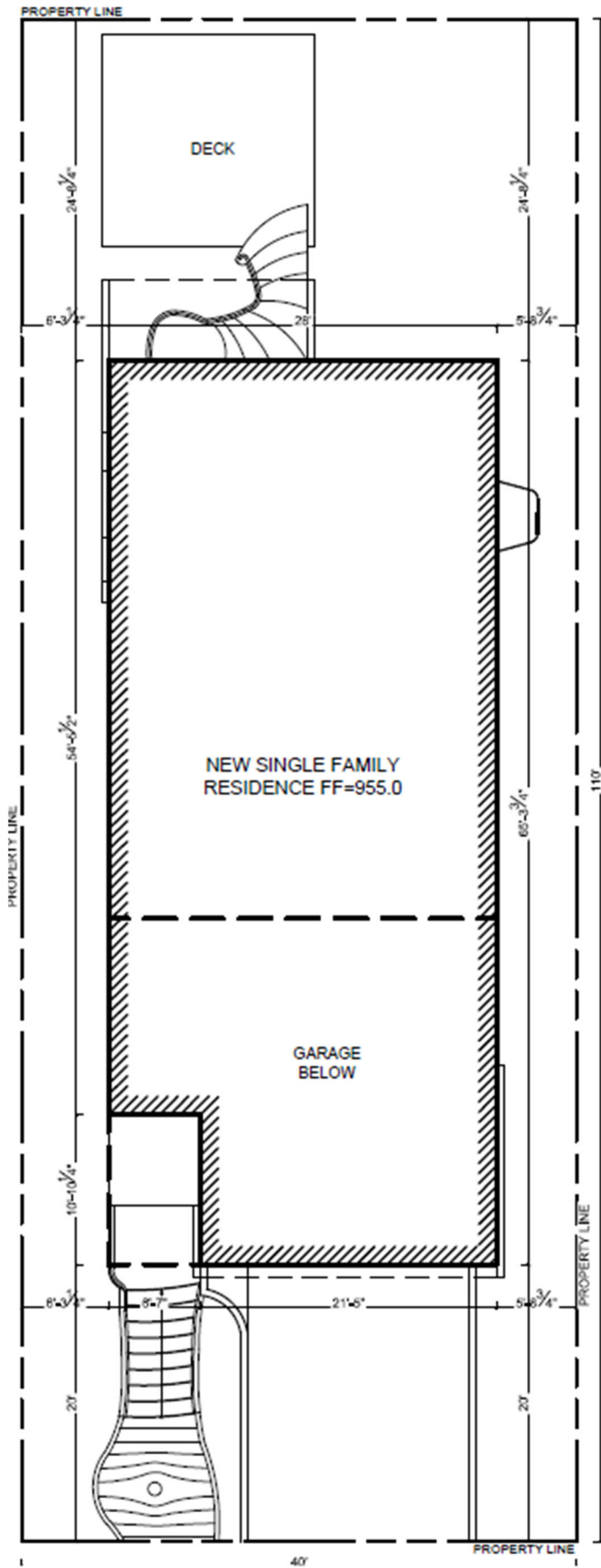
I move to approve/deny/conditionally approve the following waiver(s)/exception(s) for the proposed new single-family residence on property located at 2012 W. 47th Ter., Westwood, KS 66205:

- a. 4.3.2.B to allow a third story (maximum allowable is 2 ½ stories)
- b. 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building



¹ Per Westwood zoning regulations, this public hearing was published at least 20 days prior and notice of the hearing was mailed to all property owners within 200’ of the subject property, as shown in the map on the next page.







Evaluation of Permit Application Conformance with Westwood Zoning Regulations

Review Conducted by: Joe Kmetz
Owner of Record: Akyalcin
Applicant: Akyalcin
Address: 2012 W 47th Terr
Residential Zoning District: R-1(E)
Description of Proposed Project: New Single Family

Address	2012 W 47 th Terr	
Zoning District	R-1(E)	
	<i>Code</i>	<i>Admin Review</i>
Height (4.3.2.B & H) Story Def. (2.3.645 – 660)	maximum of 2 stories; 35'	NO Terrace Level is third level
Lot Coverage (4.3.2.C) Definition (2.3.405)	shall not exceed 35% of the area of the lot	OK 40% for R-1(E)
Maximum lot width coverage at front yard setback (4.3.2.J)	Based on zoning district	OK Less than 80%
Build-to Line (4.3.2.D)	at least 60% of front façade must be situated on build-to line	OK 77%
Maximum eave height above the first floor (4.3.2.J)	Based on zoning district	OK 18' (less than 23')
Architectural relief on vertical surfaces (4.3.2.E)	max. 600 sqft. without incorporating architectural relief	OK Max face 440 sf
Front setback encroachments (4.3.2.G)	no greater than 4'	OK Only open steps
Attached garage setback (4.3.6.F)	entirely behind the front façade of the primary structure	NO Even with first floor
Setback – Front yard (4.3.2.J)	Based on zoning district	OK 20'
Setback – Side yard (1st story) (4.3.2.I)	Based on zoning district	OK 5' (no more than 5')
Setback – Side yard (2nd story) (4.3.2.J)	7'	OK 5'
Setback – Back yard (4.3.2.J)	Based on zoning district	OK 15'



THE WESTWOOD CLASSIC 2012 W. 47th TERR.

KANSAS, USA

2024









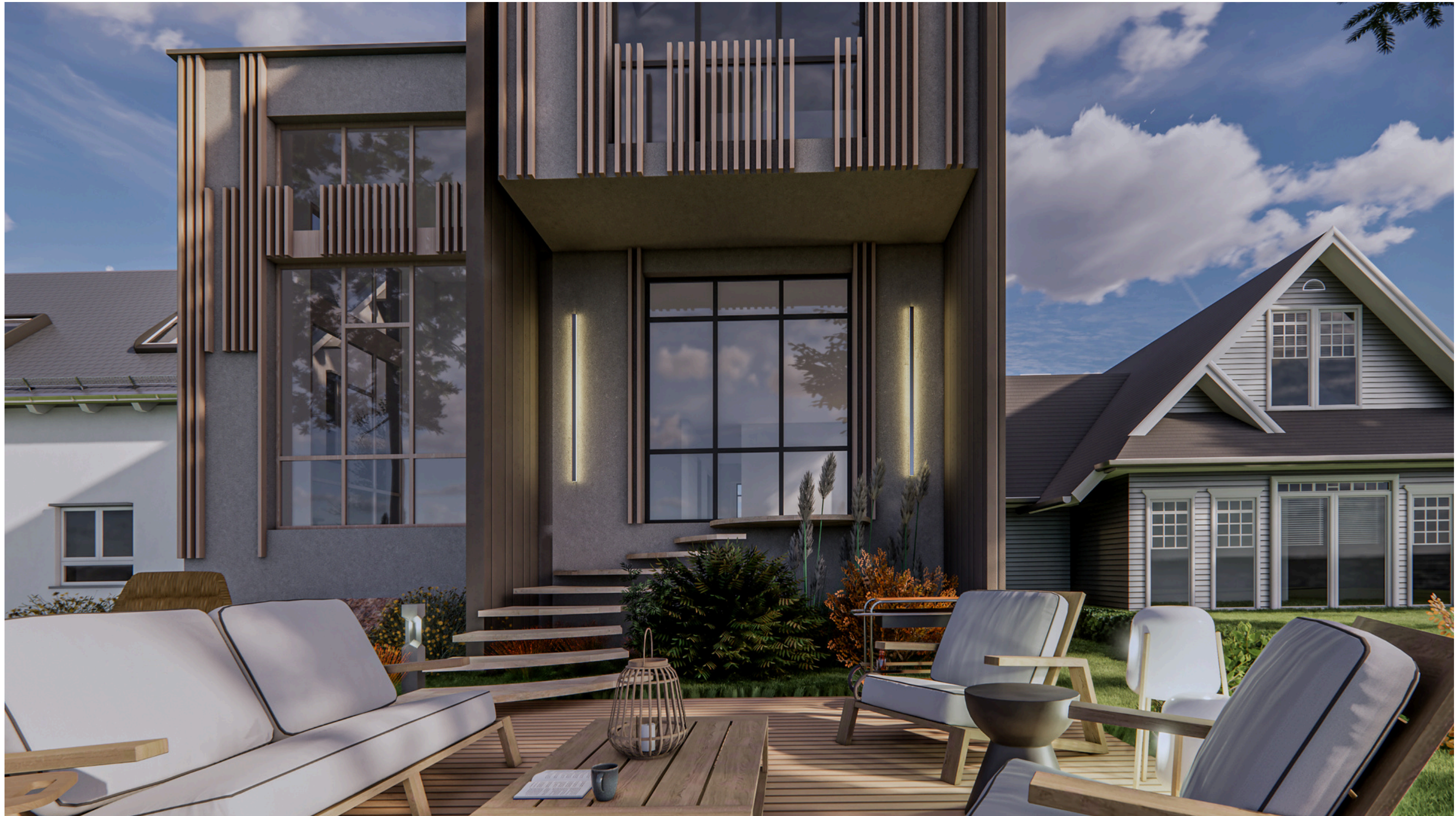


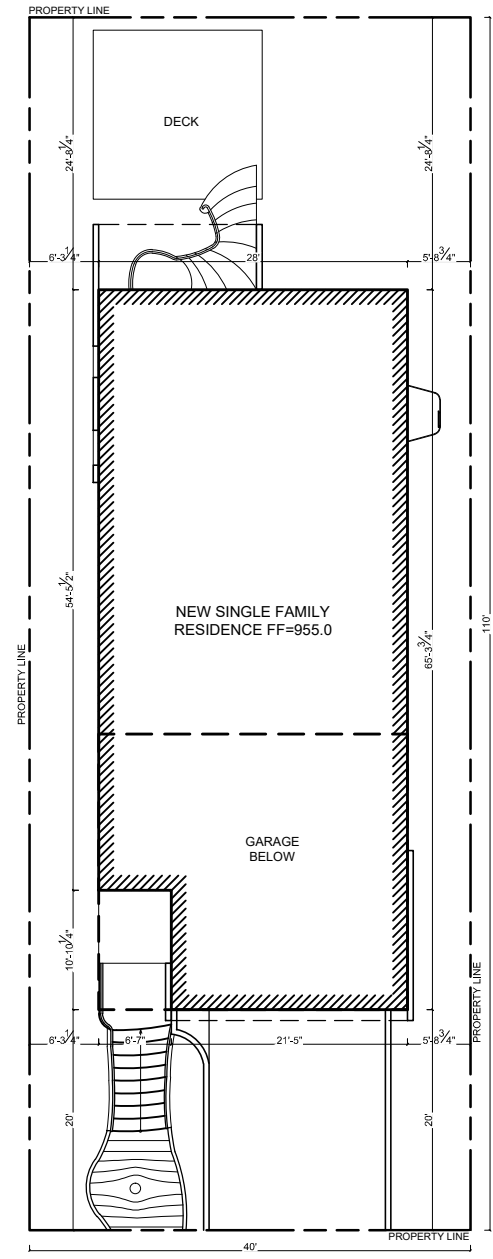












1
A-0 SITE PLAN
SCALE: 1/8" = 1'-0"

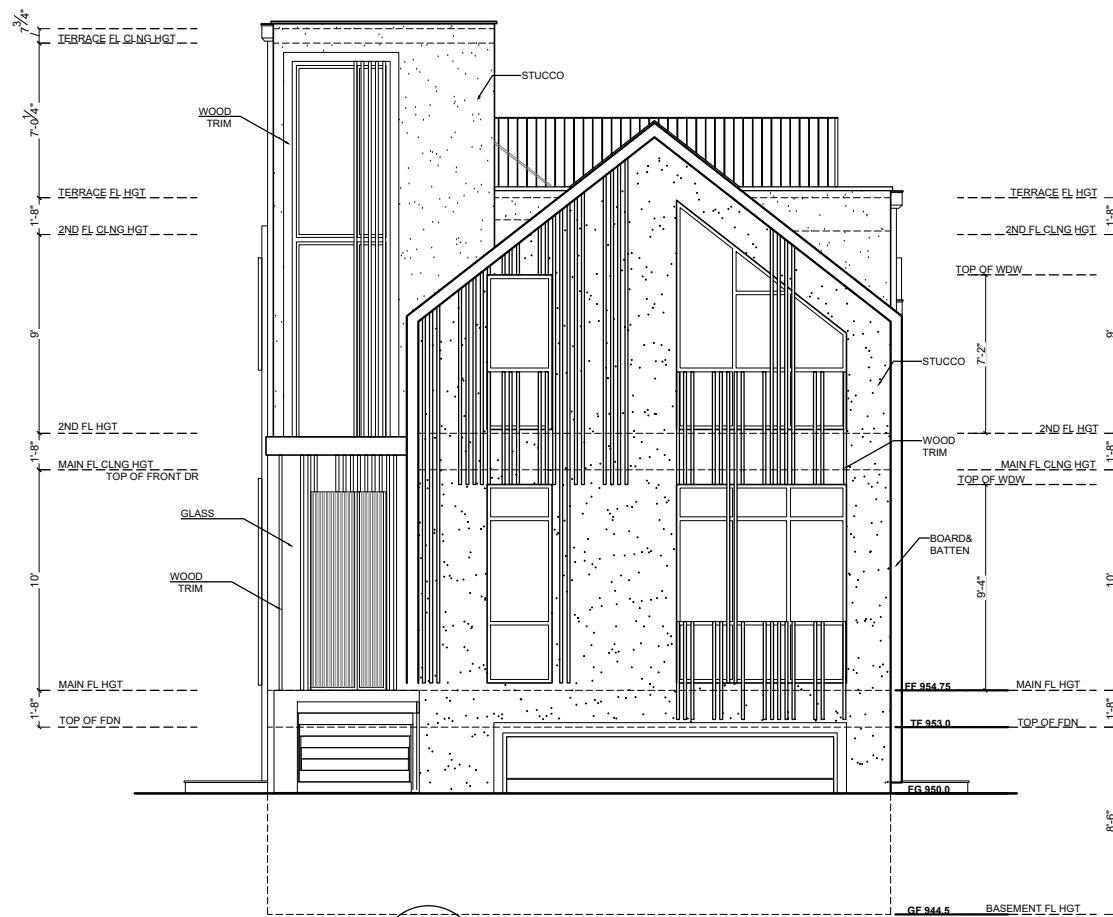
GARAGE	517.8 sqf
UNFIN. BASEMENT	1070.6 sqf
FINISHED BASEMENT	99.2 sqf
FIRST FLOOR	1800 sqf
SECOND FLOOR	1584.7 sqf
ABOVE GRADE LIVING	3384.7 sqf
TOTAL LIVING	3483.9 sqf

YURDAER ARCHITECTURE
2012 W. 47th TERR.

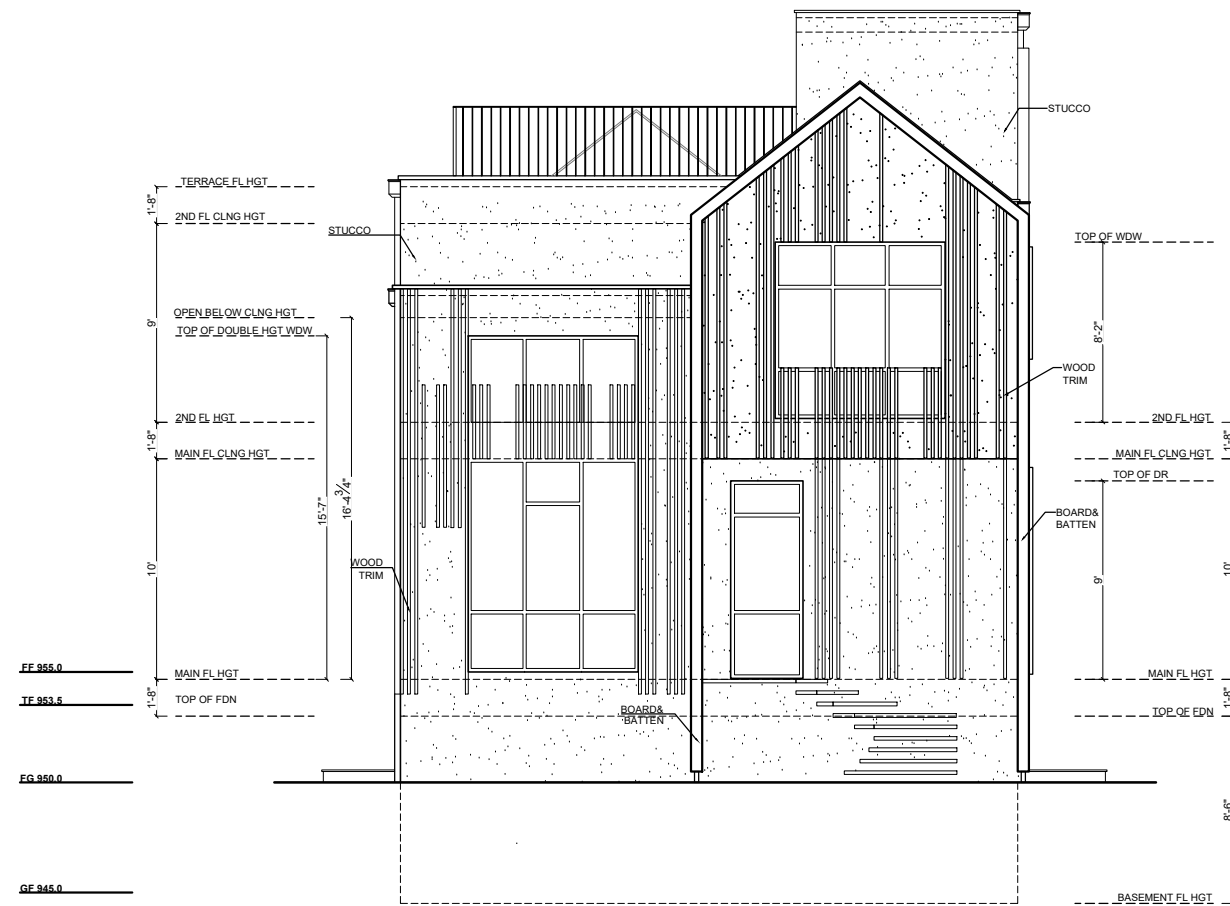
COMPLETE
DRAFTING & DESIGN

Project #:
Date:
Drawn by:
Scale:

Sheet:
SITE PLAN
A-0
21



1 FRONT ELEVATION
A-1 SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
A-1 SCALE: 1/4" = 1'-0"

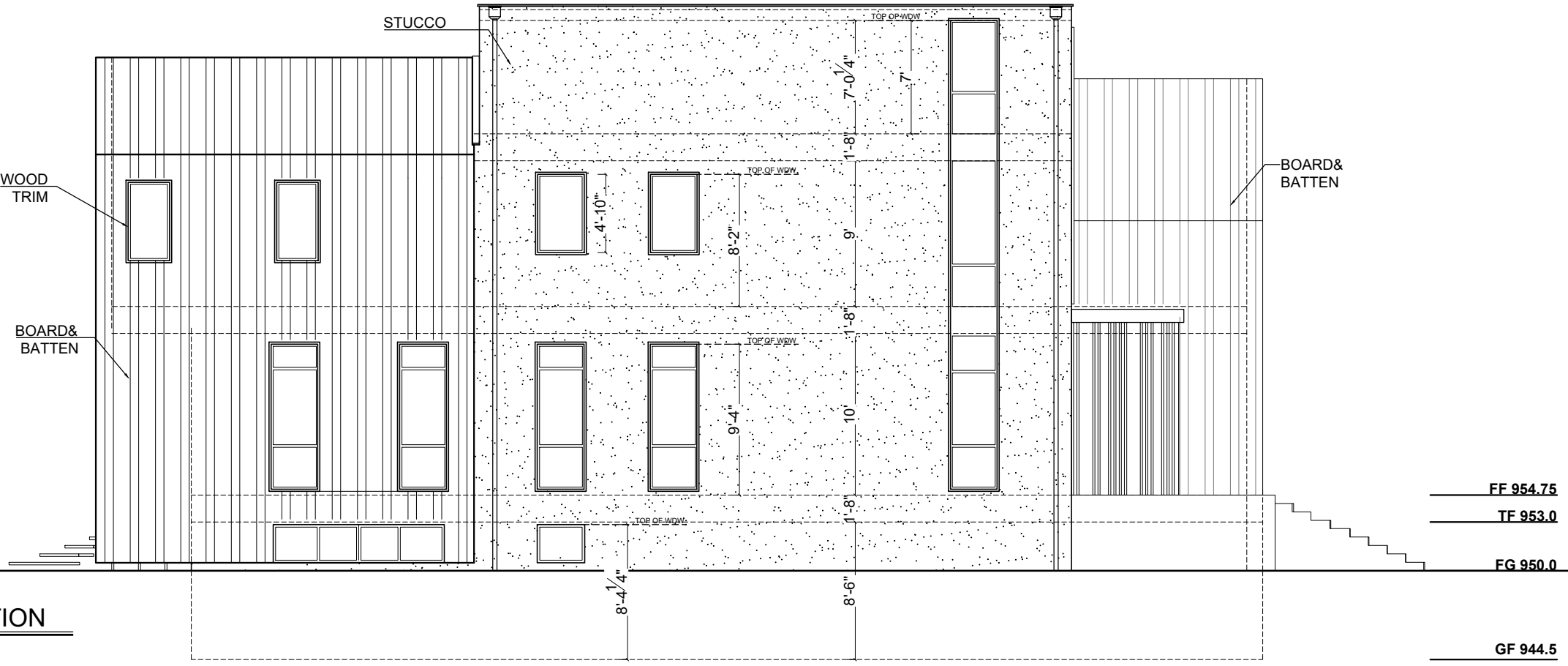
GARAGE	630.7 sqf
BASEMENT	1056.7 sqf
FIRST FLOOR	1800 sqf
SECOND FLOOR	1584.7 sqf
ABOVE GRADE LIVING	3384.7 sqf
TOTAL LIVING	4441.4 sqf

YURDAER ARCHITECTURE
2012 W. 47th TERR.

COMPLETE
DRAFTING & DESIGN

Project #:
Date:
Drawn by:
Scale:
Sheet:

2 RIGHT ELEVATION
A-1 SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
A-1 SCALE: 1/4" = 1'-0"

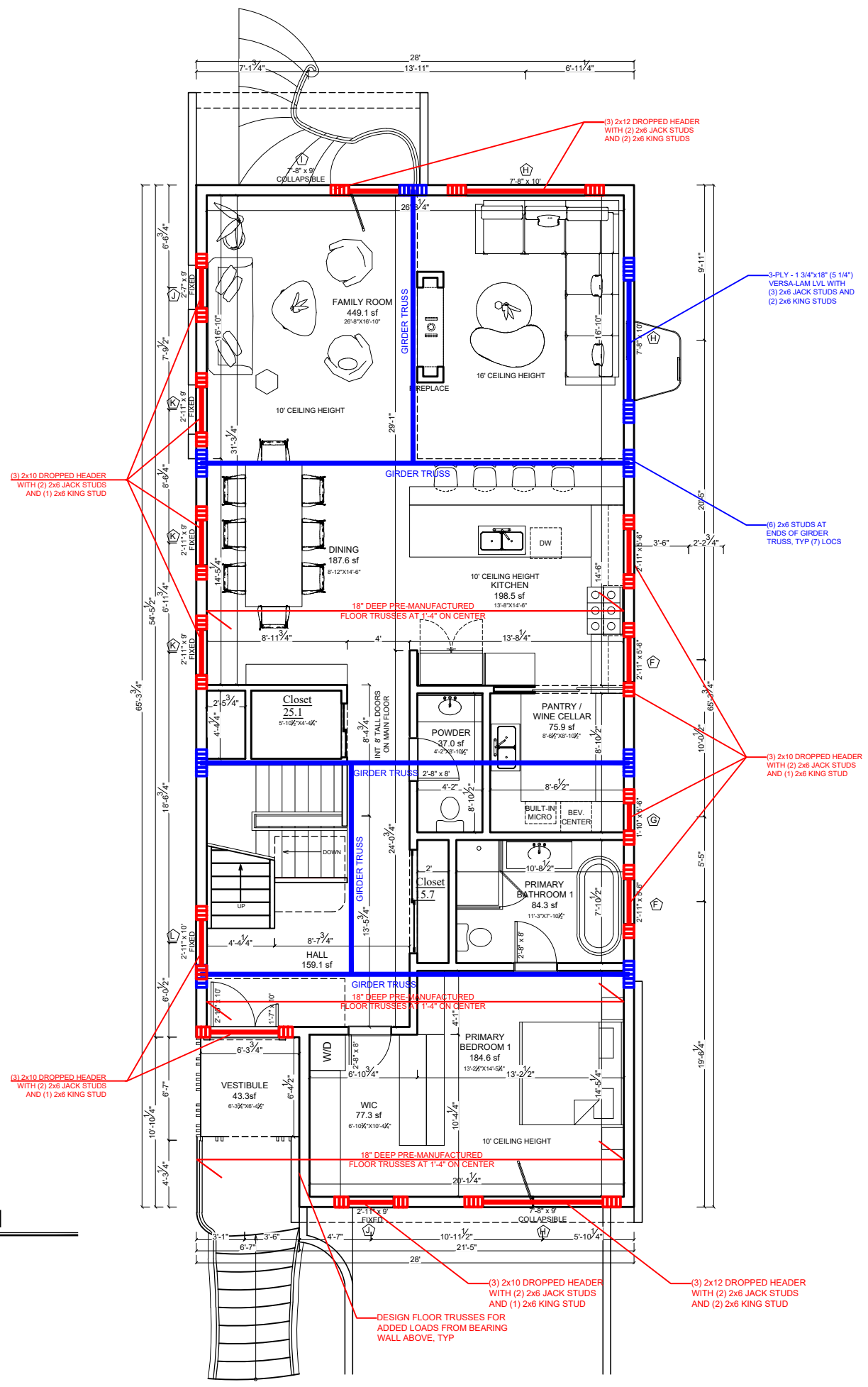
GARAGE	630.7 sqf
BASEMENT	1056.7 sqf
FIRST FLOOR	1800 sqf
SECOND FLOOR	1584.7 sqf
ABOVE GRADE LIVING	3384.7 sqf
TOTAL LIVING	4441.4 sqf

YURDAER ARCHITECTURE
2012 W. 47th TERR.

COMPLETE
DRAFTING & DESIGN

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1 FLOOR PLAN
 A-3 SCALE: 1/4" = 1'-0"
 (1800 sqf)

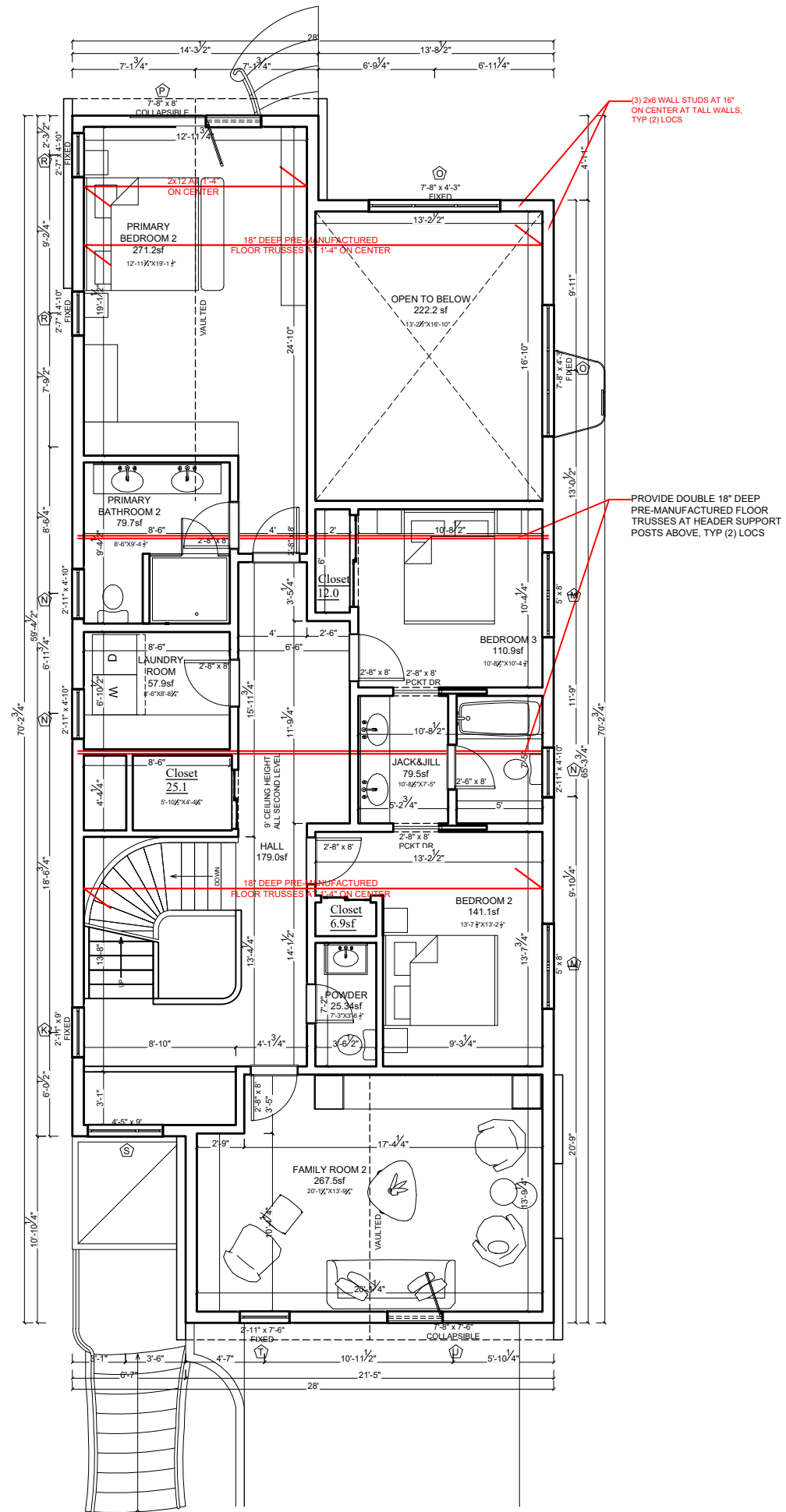


YURDAER ARCHITECTURE
 2012 W. 47th TERR.

COMPLETE DRAFTING & DESIGN

Project #:
 Date:
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 Sheet:

1 UPPER FLOOR PLAN
 A-4 SCALE: 1/4" = 1'-0"
 (1584.7 sqf)
 (222.2 sqf OPEN TO BELOW)



YURDAER ARCHITECTURE
 2012 W. 47th TERR.

COMPLETE DRAFTING & DESIGN

Project #:
 Date:
 Drawn by:
 Scale:
 Sheet:

MINIMUM SHEATHING REQUIREMENTS

BUILDING COMPONENT	MATERIAL
ROOF SHEATHING	5/8" PLYWOOD 1 x 4 #3 FURRING
FLOOR SHEATHING	3/4" T&G YELLOW PINE PLYWOOD
WALL COVERING	1/2" GYPSUM SHEATHING
CEILING COVERING	1/2" GYPSUM SHEATHING
EXTERIOR WALL SHEATHING	15/32" APA RATED SHEATHING RATED PANEL SIDING, RATED 16" O.C. 7/16" THICK

ALL SHEATHING MATERIALS TO BE APPLIED PERPENDICULAR TO JOISTS AND ENDS STAGGERED REFERED TO TABLE R602.3(1) ON S-1.1 FOR FASTENING SCHEDULE

HIP/VALLEY ALLOWABLE SPAN TABLE

TYPE	MAX. UNSUPPORTED SPAN				
	2x8	2x10	2x12	1 3/4"x9 1/2" LVL	3/4"x11 7/8" LVL
HIP RAFTER	11'-3"	13'-3"	15'-2"	15'-8"	18'-2"
VALLEY RAFTER	8'-11"	10'-6"	12'-0"	13'-2"	15'-3"

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:

- IRC 2018, INTERNATIONAL RESIDENTIAL CODE
- ROOF SNOW LOAD = 20 PSF
- WIND SPEED = 90 MPH (110 MPH PER ASCE 7-16 FOR ENGINEERED DESIGN)
- TOPOGRAPHIC EFFECTS = NO
- SEISMIC DESIGN CATEGORY = A
- WEATHERING = SEVERE
- FROST LINE DEPTH = 36 INCHES
- TERMITES = MODERATE TO HEAVY
- DECAY = SLIGHT TO MODERATE
- WINTER DESIGN TEMPERATURE = SIX DEGREES FAHRENHEIT
- ICE BARRIER UNDERLAYMENT REQUIRED = YES
- FLOOR HAZARDS = LATEST ADOPTED FIRMAD BFM DOCUMENTS
- AIR FREEZING INDEX = 1000
- MEAN ANNUAL TEMPERATURE = 54.7 DEGREES FAHRENHEIT
- SHEAR WALLS ARE DESIGNED AND CONSTRUCTED USING ENGINEERED DESIGN PROVISIONS OF IRC 2018 SECTION R301.1.3 AS CONVENTIONAL CONSTRUCTION LIMITS WERE EXCEEDED.

FOUNDATION CRITERIA AND PRESUMPTIVE LOAD BEARING VALUES:

- FOUNDATION DESIGN IS BASED ON REQUIREMENTS OF PRESUMPTIVE LOAD BEARING VALUES OF SOILS AS ALLOWED BY THE BUILDING CODE:
ALLOWABLE BEARING PRESSURE (IBC 2018 TABLE 1806.2 AND IRC 2018 TABLE R401.4.1) = 1,500 PSF
LATERAL BEARING PRESSURE (IBC 2018 TABLE 1806.2) = 150 PSF/FT
COEFFICIENT OF SLIDING FRICTION (IBC 2018 TABLE 1806.2) = 0.25
COHESION (IBC 2018 TABLE 1806.2) = 130 PCF
- FOOTINGS SHALL BEAR ON COMPACTED NATURAL MATERIAL AND/OR COMPACTED ENGINEERED FILL. COMPACTED NATURAL MATERIAL AND/OR COMPACTED ENGINEERED FILL SHALL BE COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-698.
- SITE PREPARATION (INCLUDING TREE CLEARING, GRUBBING, UNDOCUMENTED FILL REMOVAL, SOIL STABILIZATION, PROOFROLLING, UNDERCUTTING, OVEREXCAVATION AND FILL), GRADING (INCLUDING SCARIFICATION, MOISTURE CONDITIONING, COMPACTION AND/OR RECOMPACTION), AND USE OF NONEXPANSIVE ENGINEERED FILL MATERIAL SHALL BE BY THE CONTRACTOR.
- SUPPORTING FLOORS SHALL BE PLACED PRIOR TO BACK FILLING AGAINST BASEMENT WALLS OR CONTRACTOR SHALL PROVIDE ADEQUATE BRACING TO SUPPORT AND STABILIZE WALLS UNTIL THE SUPPORTING MEMBERS ARE INSTALLED.
- DO NOT UNDERMINE EXISTING FOUNDATIONS WHILE INSTALLING NEW FOUNDATIONS ADJACENT TO EXISTING FOUNDATIONS.
- NO FOOTINGS OR SLABS SHALL BE PLACED ONTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACING CONCRETE UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT BUILDING STRUCTURE OR PROPER DEPTH OF BURY.
- FROST MIGHT PENETRATE DEEPER THAN THE BOTTOM OF FOUNDATIONS DURING CONSTRUCTION DUE TO CONSTRUCTION ACTIVITIES, SEQUENCING, SNOW REMOVAL, ETC. IF CONSTRUCTION OCCURS DURING FREEZING TEMPERATURES, CONTRACTOR SHALL TAKE NECESSARY MEASURES SUCH AS BLANKETING, INSULATING, GROUND THAWING, ETC. TO ENSURE THAT FROST DOES NOT PENETRATE BELOW THE BOTTOM OF FOUNDATIONS.

PRE-MANUFACTURED FLOOR TRUSS LOADING CRITERIA (SERVICE LEVEL LOADING):

DEAD LOAD BOTTOM CHORD = 5 PSF
TOP CHORD = 25 PSF
LIVE LOAD ALL AREAS = 40 PSF (PER IRC 2018 TABLE R301.5)
ROOF LIVE LOAD SLOPED = 16 PSF (PER IRC 2018 TABLE R301.6)
FLAT = 20 PSF (PER IRC 2018 TABLE R301.6)
ROOF SNOW LOAD ALL AREAS = 20 PSF (PER CITY OF WESTWOOD)

FRAME FASTENING SCHEDULE

BUILDING COMPONENT	FASTEN TO	FASTEN WITH
RAFTERS	RIDGE/VALLEY/HIP	TOENAIL W/ (4) 16D, FACENAIL W/ (3) 16D
	PLATE	TOENAIL W/ (3) 10D
	LEDGER STRIPS SUPPORTING JOISTS OR RAFTERS	FACENAIL W/ (3) 16D
	COLLAR TIE TO RAFTERS	FACENAIL W/ (3) 10D
CEILING JOISTS	TOP PLATE	TOENAIL W/ (3) 8D @ EACH END
	WHERE CLG. JST RUN PARALLEL TO RAFTERS FACENAIL TO RAFTERS W/ (3) 10D MINIMUM	
	LAPS OVER PARTITIONS	FACENAIL W/ (3) 10D
	BLOCKING BETWEEN JOISTS/RAFTERS TO TOP PLATE	TOENAIL W/ (3) 8D
BEAMS	BUILT-UP BEAMS, 2" LUMBER LAYERS, FACENAIL OPPOSITE SIDES, (2) @ EACH END PLUS	10D @ 32" O.C. STAGGERED, TOP & BOTTOM, OPPOSITE SIDES
	BUILT-UP BEAMS OF ENGINEERED LUMBER, FACENAIL OPPOSITE SIDES	(2) ROWS @ 12" O.C.
	BUILT-UP HEADER, TWO-PIECES W/ A 1/2" SPACER	16D @ 16" O.C. ALONG EDGES
	BUILT-UP HEADER, TWO-PIECES W/ NO 1/2" SPACER	3" x 0.131" NAILS @ 12" O.C. ALONG EDGES
FLOOR JOISTS	BEARING	TOENAIL W/ (2) 18D @ EACH END
	RIM JOIST TO SILL OR TOP PLATE	TOENAIL W/ 8D COMMON OR 10D BOX @ 6" O.C.
	JOIST TO SILL OR GIRDER	TOENAIL W/ (3) 8D
	JOIST TO RIM JOIST	FACENAIL W/ (3) 16D
	BRIDGING TO JOIST	TOENAIL W/ (2) 8D
	I-JOIST TO BEARING PLATE	TOENAIL W/ (2) 8D - ONE INTO EACH SIDE AT LEAST 1 1/2" FROM THE END
	RIM JOIST TO I-JOIST	FACENAIL W/ (2) 10D BOX - ONE INTO EACH FLANGE
	SOLE PLATE TO LSL RIM BOARD	16D BOX @ 12" O.C.
	SINGLE JOIST HANGERS*	10D FACENAILS AND TOENAILS
	DOUBLE JOIST HANGERS*	16D FACENAILS AND TOENAILS
WALLS	TOP AND SOLE PLATE TO STUD	END NAIL W/ (2) 16D
	STUD TO SOLE AND TOP PLATE	TOENAIL W/ (4) 8D
	DOUBLE TOP PLATES	FACENAIL W/ 16D @ 16" O.C.
	DOUBLE TOP PLATE LAP SPLICE	FACENAIL W/ (8) 16D
	TOP PLATE LAPS AND INTERSECTIONS	FACENAIL W/ (2) 16D
	DOUBLE STUDS	FACENAIL W/ 16D @ 24" O.C.
	BUILT-UP CORNER STUDS	FACENAIL W/ 16D - 2 ROWS @ 24" O.C.
	STEEL "X" BRACING	FACENAIL W/ (2) 16D IN EACH TOP AND BOTTOM PLATE AND (1) 8D PER STUD
	SOLE PLATE TO JOIST OR BLOCKING	FACENAIL W/ 16D @ 16" O.C.
	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL LINES, PERPENDICULAR TO FRAMING	FACENAIL W/ (3) 16D @ 16" O.C. ALONG BRACED WALL PANEL
TOP PLATE TO JOIST OR BLOCKING AT BRACED WALL LINES, PERPENDICULAR TO FRAMING	TOENAIL W/ 8D @ 6" O.C. ALONG BRACED WALL PANEL	
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL LINES, PARALLEL TO FRAMING, BLOCKING @ 16" O.C.	FACENAIL W/ (3) 16D @ 16" O.C. ALONG BRACED WALL PANEL AND AT EACH BLOCK	
TOP PLATE TO JOIST OR BLOCKING AT BRACED WALL LINES, PARALLEL TO FRAMING, BLOCKING @ 16" O.C.	TOENAIL W/ 8D @ 6" O.C. ALONG BRACED WALL PANEL AND AT EACH BLOCK	
NON-STRUCT. SIDING OVER STRUCT. SHEATHING	(1) 6D BOX IN EACH STUD	
FIBER - CEMENT PLANK SIDING	(1) 6D GALVANIZED IN EACH STUD	
WINDOW INSTALLATION NAILING	1 3/4" - 2" ROOFING NAILS @ 12" O.C. MAX.	

*JOIST HANGER NOTES:

- NO JOIST HANGER NAILS ALLOWED FOR TOENAILS.
- NO GUN NAILS OR SCREWS ALLOWED IN CONNECTORS.
- TOENAILS SHALL ALWAYS BE A FULL 3" OR 3.5" NAIL.

COLUMN CONNECTION TO STEEL BEAMS SHALL BE WITH A CLIP POST CAP WITH ALL FOUR TAB EARS BENT AROUND THE BOTTOM FLANGE OF THE BEAM. FOR A BEARING PLATE, FOUR HOLES SHALL BE DRILLED IN THE BOTTOM FLANGE OF THE STEEL BEAM TO MATCH THE HOLE PATTERN OF THE PLATE. 1/2" x 2" BOLTS SHOULD THEN BE INSTALLED WITH A FLAT WASHER, LOCK WASHER, AND A NUT IN EACH OF THE HOLES. THE POST CAP MAY BE WELDED TO THE STEEL BEAM IN ACCORDANCE WITH AWS D1.1-92 AS AN ALTERNATIVE, AND WOULD NEED TO BE INSPECTED BY AN AWS-CERTIFIED INSPECTOR.

DUCT SEALING METHOD, PER 2018 IRC W1103.3.2

N1103.2.2 (R403.2.2) SEALING (MANDATORY) DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1601.4.1 OF THIS CODE.

EXCEPTIONS:

- AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
- WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
- CONTINUOUSLY WELDED AND LOCKING-TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIC PRESSURE LESS THAN 2 INCHES OF WATER COLUMN (500 Pa) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING:

- POST CONSTRUCTION TEST: TOTAL LEAKAGE SHALL NOT BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN) PER 100FT² (9.29m²) OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 Pa) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTER BOOTS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
- ROUGH-IN TEST: TOTAL AIR LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN) PER 100FT² (9.29m²) OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1 INCHES W.G. (25 Pa) ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL AIR LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CFM (85 L/MIN) PER 100FT² (9.29m²) OF CONDITIONED FLOOR AREA.

EXCEPTION: THE TOTAL LEAKAGE IS NOT REQUIRED FOR DUCTS AND AIR HANDLERS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.

GENERAL NOTES:

- PLANS SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE, ICC AS ADOPTED BY AHJ, AND ALL AMENDMENTS AS ADOPTED BY THE AHJ. IF ANY CHANGES OR DEVIATIONS ARE MADE FROM THESE PLANS THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITY AND THE ENGINEER TO EVALUATE THE CHANGES AND MAKE ANY APPROPRIATE MODIFICATIONS TO THE PLANS.
- WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FOR THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.

FOUNDATION NOTES:

- THE FOUNDATION DESIGN SHALL COMPLY WITH THE ENFORCING JURISDICTION RESIDENTIAL FOUNDATION STANDARD IN LIEU OF ENGINEERING REPORT REQUIREMENTS BASED ON ACTUAL SITE CONDITIONS.
- FOUNDATION WALLS SHALL BE DAMP-PROOFED PER IRC SECTION R406.
- PROVIDE A MINIMUM 4" PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS PER IRC SECTION 405.1. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6" OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MINIMUM 20 GALLON SUMP PIT.
- FOUNDATION DESIGN SHALL BE BASED ON A MINIMUM SOIL BEARING CAPACITY OF 1500 PSF.
- FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND 8" DEEP WITH (2) #4 BARS CONTINUOUS. LOCATED A MINIMUM OF 3" CLEAR FROM THE BOTTOM. FOOTINGS SHALL BE A MINIMUM OF 36" BELOW GRADE FOR FROST PROTECTION.
- COLUMN PADS SHALL BE A MINIMUM OF 24"x24"x8" WITH (3) #4 BARS EACH WAY.
- FOUNDATION WALLS SHALL BE A MINIMUM OF 8" THICK WITH MINIMUM #4 BARS @ 24" O.C. HORIZONTAL AND VERTICAL WITH THE TOP BAR WITHIN 8" OF THE TOP OF THE WALL UNLESS NOTED OTHERWISE ON PLAN.
- REINFORCEMENT SHALL LAP A MINIMUM OF 24".
- INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
- INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE BY A SEPARATION OF 1/2".
- CONCRETE FLOOR SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK OVER A MINIMUM 4" BASE OF SAND, GRAVEL, OR CRUSHED STONE. BASEMENT SLABS SHALL HAVE A MINIMUM 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" AND SHALL BE PLACED BETWEEN THE FLOOR SLAB AND THE BASE COURSE.
- FLOOR SLABS SUPPORTED BY FILL CONSISTING OF MORE THAN 24" OF GRANULAR FILL OR 8" OF EARTH SHALL BE REINFORCED PER A SEPARATE ENGINEERING DESIGN.
- BASEMENT FOUNDATION SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2" DIAMETER ANCHOR BOLTS EMBEDDED AT LEAST 7" INTO THE CONCRETE AND SPACED NOT MORE THAN 3' ON CENTER AND WITHIN 12" OF EACH END OF THE PLATE SECTION PER IRC SECTION R403.1.6.
- FOUNDATION WINDOW WELLS FOR SECONDARY MEANS OF EGRESS SHALL PROVIDE A MINIMUM 3'x3' HORIZONTAL AREA.
- THE BASE OF ALL FOOTING EXCAVATIONS SHOULD BE FREE OF ALL WATER AND LOOSE MATERIAL PRIOR TO PLACING CONCRETE. CONCRETE SHOULD BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATING SO THAT EXCESSIVE DRYING OR DISTURBANCE OF BEARING MATERIALS DOES NOT OCCUR. SHOULD THE MATERIALS AT BEARING LEVEL BECOME EXCESSIVELY DRY OR SATURATED, WE RECOMMEND THAT THE AFFECTED MATERIAL BE REMOVED PRIOR TO PLACING CONCRETE.
- IT IS RECOMMENDED THAT ALL FOOTING EXCAVATIONS BE EVALUATED AND TESTED BY A GEOTECHNICAL ENGINEER IMMEDIATELY PRIOR TO PLACEMENT OF FOUNDATION CONCRETE. UNSUITABLE AREAS IDENTIFIED AT THIS TIME SHOULD BE CORRECTED. CORRECTIVE PROCEDURES WOULD BE DEPENDENT UPON CONDITIONS ENCOUNTERED AND MAY INCLUDE THE DEEPENING OF FOUNDATION ELEMENTS, OR THE UNDERCUTTING OF UNSUITABLE MATERIALS AND REPLACEMENT WITH ENGINEERED FILL.

STAIRWAY NOTES:

- STAIRWAYS SHALL PROVIDE A MAXIMUM 7 3/4" RISE AND A MINIMUM 10" RUN.
- PROVIDE MINIMUM 36" GUARDRAILS ON THE OPEN SIDES OF RAISED FLOORS, PORCHES, AND BALCONIES. PROVIDE MINIMUM 34" GUARDRAILS ON THE OPEN SIDES OF STAIRWAYS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. GUARDRAIL ENCLOSURES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS THAT DO NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE.
- EACH STAIRWAY OF 3 OR MORE RISERS SHALL PROVIDE A CONTINUOUS HANDRAIL ON AT LEAST ONE SIDE BETWEEN 34" AND 38" ABOVE THE NOSING OF THE TREADS. HANDRAILS SHALL HAVE A CROSS-SECTION OF 1 1/4" MINIMUM TO 2" MAXIMUM OR ANOTHER APPROVED GRASPABLE SHAPE PER IRC SECTION R311.7.8.5.
- PROVIDE A MINIMUM 6'-6" OF HEADROOM CLEARANCE IN STAIRWAYS.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRWAYS SHALL HAVE WALLS AND THE UNDERSIDE OF THE STAIR AND LANDING PROTECTED WITH 1/2" GYPSUM BOARD ON THE ENCLOSURE SIDE.
- WINDERS SHALL PROVIDE A MINIMUM TREAD OF 6" AT ANY POINT WITHIN CLEAR WIDTH OF STAIRS. WINDER TREAD PROPORTION IS TO COMPLY WITH IRC SECTION R311.7.5.2.1.

GLAZING NOTES:

- GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC SECTION R308.4 SHALL BE OF APPROVED SAFETY GLAZING MATERIALS. GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR, WALLS ENCLOSING STAIRWAYS AND LANDINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR, ENCLOSURES FOR SPAS, TUBS, SHOWERS AND WHIRLPOOLS, GLAZING IN FIXED OR OPERABLE PANELS EXCEEDING 9 S.F. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36".
- IN DWELLING UNITS WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR.

FRAMING NOTES:

- ALL LUMBER SIZES ARE FOR DOUGLAS FIR-LARCH UNLESS NOTED OTHERWISE.
- ALL HEADERS ARE TO BE A MINIMUM OF (2) #2 2x10'S UNLESS NOTED OTHERWISE.
- BLOCK CANTILEVERS, DOOR JAMBS, AND OVER BEAMS.
- ALL HEADERS AND SLEEPERS SUPPORTED ON CONCRETE OR MASONRY AND FURRING ATTACHED TO CONCRETE OR MASONRY SHALL BE OF DECAY RESISTANT MATERIALS.
- INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE.
- WHERE JOISTS RUN PARALLEL TO FOUNDATION WALLS, SOLID BLOCKING FOR A MINIMUM OF (2) JOIST SPACES SHALL BE PROVIDED AT A MAXIMUM OF 4' ON CENTER TO TRANSFER LATERAL LOADS ON THE WALL TO THE FLOOR DIAPHRAGM. THE BLOCKING SHALL BE SECURELY NAILED TO THE JOISTS AND FLOORING. NAIL JOISTS AND BLOCKING TO SILL PLATE WITH (4) 10D NAILS.
- IF DUCTS ARE INSTALLED IN THE FIRST JOIST SPACE(S), NAIL 2x4'S FLAT AT 4' ON CENTER WITHIN THE JOIST SPACE(S) AND THEN PROVIDE SOLID BLOCKING, INSTALLED UPRIGHT, IN THE NEXT TWO JOIST SPACES. SECURE THE 2x4'S TO THE SILL PLATE WITH (4) 10D NAILS.
- ALL SILLS AND SLEEPERS SUPPORTED ON CONCRETE OR MASONRY AND FURRING ATTACHED TO CONCRETE OR MASONRY SHALL BE OF DECAY RESISTANT MATERIALS.
- JOISTS UNDER BEARING PARTITIONS SHALL BE SIZED TO CARRY THE DESIGN LOAD IN ACCORDANCE WITH IRC SECTION R502.4.
- JOISTS FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL LAP A MINIMUM OF 3" AND SHALL BE NAILED TOGETHER WITH MINIMUM 10D FACE NAILS.
- JOISTS FRAMING INTO A WOOD GIRDER OR BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON MINIMUM 2"x2" LEDGER STRIPS.
- HEADER AND TRIMMERS SHALL BE OF SUFFICIENT CROSS SECTION TO SUPPORT THE FLOOR FRAMING. TRIMMER JOISTS SHALL BE DOUBLED WHEN THE HEADER IS SUPPORTED MORE THAN 3' FROM THE TRIMMER JOIST BEARING. WHEN THE HEADER SPAN EXCEEDS 4', THE HEADER AND TRIMMER SHALL BE DOUBLED.
- JOISTS AT SUPPORTS SHALL BE SUPPORTED Laterally AT THE ENDS BY FULL-DEPTH SOLID BLOCKING NOT LESS THAN 2" IN NOMINAL THICKNESS OR BY ATTACHMENT TO A HEADER, BAND, OR RIM JOIST OR TO AN ADJOINING STUD OR OTHERWISE PROVIDED WITH LATERAL SUPPORT TO PREVENT ROTATION.
- ALL WALL COVERINGS ARE TO COMPLY WITH IRC SECTIONS 702 AND 703.
- ALL RAFTER / COLLAR TIES ARE TO COMPLY WITH IRC SECTION 802.
- ALL RAFTERS ARE TO HAVE 2x4 COLLAR TIES @ 48" O.C. IN THE UPPER 1/3 OF DISTANCE BETWEEN THE CEILING AND ROOF.
- BLOCKING BETWEEN JOISTS UNDER A PERPENDICULAR LOAD-BEARING WALL IS NOT REQUIRED.
- THE BOTTOM OF ALL FLOOR ASSEMBLIES SHALL BE PROVIDED WITH A 1/2" GYPSUM WALLBOARD MEMBRANE (IF REQUIRED BY LOCAL CODE).
- I-JOIST AND FLOOR TRUSS SYSTEMS SHALL BE FIRE PROTECTED PER IRC AS ADOPTED BY AHJ.
- STUDS SHALL BE CONTINUOUS FROM THE FLOOR TO THE ROOF / CEILING DIAPHRAGM PER IRC SECTION 602.3

CONCRETE NOTES:

- CONCRETE SHALL BE AIR-ENTRAINED (5%-7%) WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 2500 PSI FOR BASEMENT AND INTERIOR FLOOR SLABS, 3000 PSI FOR BASEMENT AND FOUNDATION WALLS, AND 3500 PSI FOR PORCHES, CARPORTS AND GARAGE FLOOR SLABS.
- EMERGENCY EGRESS AND RESCUE NOTES:**
- PROVIDE ONE WINDOW FOR EACH BEDROOM THAT HAS A MINIMUM OPENABLE AREA OF 5.7 S.F. WITH A MINIMUM OPENABLE HEIGHT OF 24" AND WIDTH OF 21". IN ADDITION, THE OPENABLE PORTION OF EGRESS WINDOWS SHALL NOT EXCEED 44" ABOVE THE ADJOINING FLOOR OR PERMANENT STEP.
 - PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA, AND ON EACH FLOOR INCLUDING BASEMENTS. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING.
 - PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED PER IRC. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA. WHERE FUEL-BURNING APPLIANCES ARE LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE BEDROOM.

GARAGE NOTES:

- THE GARAGE FLOOR SHALL SLOPE TOWARDS THE GARAGE DOORWAYS OR SLOPE TO A TRENCH OR UNTRAPPED DRAIN THAT DISCHARGES DIRECTLY TO THE EXTERIOR ABOVE GRADE.
- DOORS BETWEEN THE GARAGE AND DWELLING - MINIMUM 1 3/8" THICK SOLID WOOD, MINIMUM 1 3/8" THICK SOLID OR HONEY-COMB-CORE STEEL DOOR, OR 20-MINUTE FIRE-RATED EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC SECTION R302.5.1.
- GARAGE VEHICLE DOORS AND FRAMES SHALL BE DESIGNED AND INSTALLED TO MEET THE 115-MPH 3-SECOND GUST LOADING PER DASHA 108 AND ASTM E 330-96 PER IRC SECTION R301.2.1.
- THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREAS BY MINIMUM 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE, WHERE HABITABLE SPACE OCCURS ABOVE THE GARAGE. THE FLOOR/CEILING ASSEMBLY SHALL BE PROTECTED WITH MINIMUM 5/8" TYPE X GYPSUM BOARD ON THE GARAGE CEILING. WHERE A FLOOR/CEILING SPACE IS PROVIDED ABOVE THE GARAGE, COLUMNS AND BEAMS SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED WITH 5/8" GYPSUM BOARD OR EQUIVALENT.
- GARAGE DOOR H-FRAME FOR THE ATTACHMENT OF THE TRACK AND COUNTER BALANCE SHALL CONSIST OF THE FOLLOWING: 2x6 VERTICAL JAMBS RUNNING FROM FLOOR TO CEILING ATTACHED WITH 1 3/4"x0.120" NAILS AT 7" ON CENTER STAGGERED WITH (7) 3 1/4"x0.120" NAILS THROUGH THE JAMB INTO THE HEADER, MINIMUM 2x8 HEADER FOR ATTACHMENT OF THE COUNTER BALANCE SYSTEM.
- ANY ATTACHED GARAGE TO THE MAIN HOUSE SHALL BE PROVIDED WITH A SINGLE HEAT DETECTOR. THE HEAT DETECTOR SHALL BE HARDWIRED AND INTERCONNECTED WITH THE HOUSEHOLD SMOKE ALARM SYSTEM. THE HEAT DETECTOR SHALL BE LISTED FOR THE AMBIENT ENVIRONMENT AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

MECHANICAL INSULATION:

- BUILDING ENVELOPE INSULATION SHALL COMPLY WITH IRC TABLE N1102.1.2 OR THE 2018 IECC.

VENTILATION:

- ENCLOSED ATTICS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" TO 1/4" OPENINGS. THE TOTAL FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150th OF THE AREA OF SPACE VENTILATED. WHERE THE VENTILATORS ARE LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED, THE REQUIRED AREA MAY BE REDUCED TO 1/300th.



NO.	ISSUE/REVISION	Revision Date

GENERAL NOTES

TABLE R602.3(1) FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8D BOX (2 1/2" x 0.113"), OR 3-8D COMMON (2 1/2" x 0.131"); OR 3-10D BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS	TOE NAIL
2	CEILING JOISTS TO PLATE		PER JOIST, TOE NAIL
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTION R802.5.2 AND TABLE R802.5.2)	4-10D BOX (3" x 0.128"); OR 3-16D COMMON (3 1/2" x 0.162"); OR 4-3" x 0.131" NAILS	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION R802.5.2 AND TABLE R802.5.2)	TABLE R802.5.2	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" x 20 GA. RIDGE STRAP TO RAFTER	4-10D BOX (3" x 0.128"); OR 3-10D COMMON (3" x 0.148"); OR 4-3" x 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16D BOX NAILS (3 1/2" x 0.135"); OR 3-10D COMMON NAILS (3" x 0.148"); OR 4-10D BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16D (3 1/2" x 0.135"); OR 3-10D COMMON (3" x 0.148"); OR 4-10D BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS	TOE NAIL
		3-16D BOX (3 1/2" x 0.135"); OR 2-16D COMMON (3 1/2" x 0.162"); OR 3-10D BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS	END NAIL
WALL			
8	STUD TO STUD (NOT BRACED WALL PANELS)	16D COMMON (3 1/2" x 0.162")	24" O.C. FACE NAIL
		10D BOX (3" x 0.128"); OR 3" x 0.131" NAILS	16" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16D BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS	12" O.C. FACE NAIL
		16D COMMON (3 1/2" x 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16D COMMON (3 1/2" x 0.162")	16" O.C. EACH EDGE FACE NAIL
		16D BOX (3 1/2" x 0.135")	12" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8D BOX (2 1/2" x 0.113"); OR 4-8D COMMON (2 1/2" x 0.131"); OR 4-10D BOX (3" x 0.128")	TOE NAIL
		16D COMMON (3 1/2" x 0.162")	16" O.C. FACE NAIL
12	TOP PLATE TO TOP PLATE	10D BOX (3" x 0.128"); OR 3" x 0.131" NAILS	12" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE	8-16D COMMON (3 1/2" x 0.162"); OR 12-16D BOX (3 1/2" x 0.135"); OR 12-10D BOX (3" x 0.128"); OR 12-3" x 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16D COMMON (3 1/2" x 0.162")	16" O.C. FACE NAIL
		16D BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS	12" O.C. FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16D BOX (3 1/2" x 0.135"); OR 2-16D COMMON (3 1/2" x 0.162"); OR 4-3" x 0.131" NAILS	3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8D BOX (2 1/2" x 0.113"); OR 3-16D BOX (3 1/2" x 0.135"); OR 4-8D COMMON (2 1/2" x 0.131"); OR 4-10D BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS	TOE NAIL
		3-16D BOX (3 1/2" x 0.135"); OR 2-16D COMMON (3 1/2" x 0.162"); OR 3-10D BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10D BOX (3" x 0.128"); OR 2-16D COMMON (3 1/2" x 0.162"); OR 3-3" x 0.131" NAILS	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8D BOX (2 1/2" x 0.113"); OR 2-8D COMMON (2 1/2" x 0.131"); OR 2-10D BOX (3" x 0.128"); OR 2 STAPLES, 1 3/4"	FACE NAIL
19	1" x 8" SHEATHING TO EACH BEARING	3-8D BOX (2 1/2" x 0.113"); OR 2-8D COMMON (2 1/2" x 0.131"); OR 2-10D BOX (3" x 0.128"); OR 2 STAPLES, 1" CROWN, 16 GA., 1 1/2" LONG	FACE NAIL
20	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8D BOX (2 1/2" x 0.113"); OR 3-8D COMMON (2 1/2" x 0.131"); OR 3-10D BOX (3" x 0.128"); OR 3 STAPLES, 1" CROWN, 16 GA., 1 1/2" LONG	FACE NAIL
		WIDER THAN 1" x 8" 4-8D BOX (2 1/2" x 0.113"); OR 3-8D COMMON (2 1/2" x 0.131"); OR 3-10D BOX (3" x 0.128"); OR 4 STAPLES, 1" CROWN, 16 GA., 1 1/2" LONG	FACE NAIL
FLOOR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8D BOX (2 1/2" x 0.113"); OR 3-8D COMMON (2 1/2" x 0.131"); OR 3-10D BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS	TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8D BOX (2 1/2" x 0.113")	4" O.C. TOE NAIL
		8D COMMON (2 1/2" x 0.131"); OR 10D BOX (3" x 0.128"); OR 3" x 0.131" NAILS	6" O.C. TOE NAIL
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8D BOX (2 1/2" x 0.113"); OR 2-8D COMMON (2 1/2" x 0.131"); OR 3-10D BOX (3" x 0.128"); OR 2 STAPLES, 1" CROWN, 16 GA., 1 1/2" LONG	FACE NAIL
FLOOR			
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16D BOX (3 1/2" x 0.135"); OR 2-16D COMMON (3 1/2" x 0.162")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM-FLOOR AND ROOF)	3-16D BOX (3 1/2" x 0.135"); OR 2-16D COMMON (3 1/2" x 0.162")	AT EACH BEARING, FACE NAIL
26	BAND OR RIM JOIST TO JOIST	3-16D COMMON (3 1/2" x 0.162"); OR 4-10D BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" x 14 GA. STAPLES, 7/16" CROWN	END NAIL
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20D COMMON (4" x 0.192"); OR 10D BOX (3" x 0.128"); OR 3" x 0.131" NAILS	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED; 24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
		AND: 2-20D COMMON (4" x 0.192"); OR 3-10D BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS	FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16D BOX (3 1/2" x 0.135"); OR 3-16D COMMON (3 1/2" x 0.162"); OR 4-10D BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING OR BLOCKING TO JOIST	2-10D BOX (3" x 0.128"); OR 2-8D COMMON (2 1/2" x 0.131") OR 2-3" x 0.131" NAILS	EACH END, TOE NAIL

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mil = 0.0254 mm, 1 ksi = 6.895 MPa.
 a. NAILS ARE SMOOTH COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 3/16 INCH (200 COMMON NAIL) 90 KSI FOR SHANK DIAMETER LARGER THAN 3/16 INCH (BUT NOT LARGER THAN 1/2 INCH), AND 100 KSI FOR SHANK DIAMETERS OF 3/4 INCH OR LESS.
 b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.
 c. NAILS SHALL BE SPACED AT NOT MORE THAN 8 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
 d. FOUR FOOT BY 8 FOOT OR 4 FOOT BY 8 FOOT PANELS SHALL BE APPLIED VERTICALLY.
 e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
 f. FOR WOOD STRUCTURAL PANELS, ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 8 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.
 g. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1208 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIREBOARD SHEATHING SHALL CONFORM TO ASTM C1209.
 h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
 i. WHERE A RAFTER IS FASTENED TO AN ADJACENT PANEL, CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.
 j. RRS-01 IS A ROOF SHEATHING RING SHANK NAIL, MEETING THE SPECIFICATIONS IN ASTM F1967.

CONTINUED TABLE R602.3(1) FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING OF FASTENERS	
			EDGES (INCHES) ^d	INTERMEDIATE SUPPORTS ^{e, f} (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING]				
30		6D COMMON (2" x 0.113") NAIL (SUBFLOOR, WALL) OR 8D COMMON (2 1/2" x 0.131") NAIL (ROOF); OR RRS-01 (2 1/2" x 0.113") NAIL (ROOF)	6	12'
31		8D COMMON NAIL (2 1/2" x 0.131"); OR RRS-01 (2 1/2" x 0.113") NAIL (ROOF)	6	12'
32		10D COMMON (3" x 0.148") NAIL; OR 8D (2 1/2" x 0.131") DEFORMED NAIL	6	12
OTHER WALL SHEATHING ^g				
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1 1/2" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN	3	6
34	2 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1 1/2" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN	3	6
35	1/2" GYPSUM SHEATHING ^d	1 1/2" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG, 1 1/4" SCREWS, TYPE W OR S	7	7
36	3/8" GYPSUM SHEATHING ^d	1 1/2" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG, 1 1/4" SCREWS, TYPE W OR S	7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
37		6D DEFORMED (2" x 0.120") NAIL; OR 8D COMMON (2 1/2" x 0.131") NAIL	6	12
38		8D COMMON (2 1/2" x 0.131") NAIL; OR 8D DEFORMED (2 1/2" x 0.120") NAIL	6	12
39		10D COMMON (3" x 0.148") NAIL; OR 8D DEFORMED (2 1/2" x 0.120") NAIL	6	12

TABLE R602.3(2) ALTERNATE ATTACHMENTS TO TABLE R602.3(1)

NOMINAL MATERIAL THICKNESS (INCHES)	DESCRIPTION ^{a, b} OF FASTENER AND LENGTH (INCHES)	SPACING ^c OF FASTENERS	
		EDGES (INCHES)	INTERMEDIATE SUPPORTS (INCHES)
WOOD STRUCTURAL PANELS SUBFLOOR, ROOF ^d AND WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING ^e			
UP TO 1/2"	STAPLE 15 GA. 1 3/4"	4	8
	0.097 - 0.099 NAIL 2 1/4"	3	6
1/2" AND 5/8"	STAPLE 16 GA. 1 3/4"	3	6
	0.113 NAIL 2"	3	6
19/32 AND 7/8"	STAPLE 15 AND 16 GA. 2"	4	8
	0.097 - 0.099 NAIL 2 1/4"	4	8
21/32 AND 3/4"	STAPLE 14 GA. 2"	4	8
	STAPLE 15 GA. 1 3/4"	3	6
1"	STAPLE 16 GA. 2"	4	8
	0.113 NAIL 2 1/4"	3	6
1"	STAPLE 15 GA. 2 1/4"	4	8
	0.097 - 0.099 NAIL 2 1/2"	4	8
FLOOR UNDERLAYMENT; PLYWOOD-HARDBOARD-PARTICLEBOARD-FIBER-CEMENT ^f			
FIBER-CEMENT			
1/4"	3D, CORROSION-RESISTANT, RING SHANK NAILS (FINISHED FLOORING OTHER THAN TILE)	3	6
	STAPLE 18 GA., 7/8" LONG, 3/8" CROWN (FINISHED FLOORING OTHER THAN TILE)	3	6
	1 1/4" LONG x .121 SHANK x .375 HEAD DIAMETER CORROSION-RESISTANT (GALVANIZED OR STAINLESS STEEL) ROOFING NAILS (FOR TILE FINISH)	8	8
	1 1/4" LONG, NO. 8 x .375 HEAD DIAMETER, RIBBED WAFFER-HEAD SCREWS (FOR TILE FINISH)	8	8
PLYWOOD			
1/4" AND 5/16"	1 1/4" RING OR SCREW SHANK NAIL-MINIMUM 12 1/2 GA. (0.099") SHANK DIAMETER	3	6
	STAPLE 18 GA., 7/8, 9/16 CROWN WIDTH	2	5
11/32, 3/8, 13/32 AND 1/2"	1 1/4" RING OR SCREW SHANK NAIL-MINIMUM 12 1/2 GA. (0.099") SHANK DIAMETER	6	8
	1 1/2" RING OR SCREW SHANK NAIL-MINIMUM 12 1/2 GA. (0.099") SHANK DIAMETER	6	8
19/32, 5/8, 23/32 AND 3/4"	STAPLE 16 GA. 1 1/2"	6	8
		6	8
HARDBOARD ^g			
0.200	1 1/2" LONG RING-GROOVED UNDERLAYMENT NAIL	6	6
	4D CEMENT-COATED SINKER NAIL	6	6
	STAPLE 18 GA., 7/8" LONG (PLASTIC COATED)	3	6
PARTICLEBOARD			
1/4"	4D RING-GROOVED UNDERLAYMENT NAIL	3	6
	STAPLE 18 GA., 7/8" LONG, 3/16" CROWN	3	6
3/8"	6D RING-GROOVED UNDERLAYMENT NAIL	6	10
	STAPLE 16 GA., 1 1/8" LONG, 3/8" CROWN	3	6
1/2, 5/8"	6D RING-GROOVED UNDERLAYMENT NAIL	6	10
	STAPLE 16 GA., 1 3/8" LONG, 3/8" CROWN	3	6

For SI: 1 inch = 25.4 mm.
 a. NAIL IS A GENERAL DESCRIPTION AND SHALL BE PERMITTED TO BE T-H EAD, MODIFIED ROUND HEAD OR ROUND HEAD.
 b. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH ON DIAMETER EXCEPT AS NOTED.
 c. NAILS OR STAPLES SHALL BE SPACED AT NOT MORE THAN 4 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER. NAILS OR STAPLES SHALL BE SPACED AT NOT MORE THAN 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR FLOORS.
 d. FASTENERS SHALL BE PLACED IN A GRID PATTERN THROUGHOUT THE BODY OF THE PANEL.
 e. FOR 5-PLY PANELS, INTERMEDIATE NAILS SHALL BE SPACED NOT MORE THAN 12 INCHES ON CENTER EACH WAY.
 f. HARDBOARD UNDERLAYMENT SHALL CONFORM TO SPACING A1334.
 g. SPECIFIED ALTERNATE ATTACHMENTS FOR ROOF SHEATHING SHALL BE PERMITTED WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH. FASTENERS ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE INSTALLED USING THE SPACING LISTED FOR PANEL EDGES.
 h. FIBER-CEMENT UNDERLAYMENT SHALL CONFORM TO ASTM C1208 OR 859, CATEGORY C.

DESIGN LOADS (PSF)

THE DWELLING SHALL COMPLY WITH THE FOLLOWING LOAD CONDITIONS

AREA	MIN. DEAD LOAD	MIN. LIVE LOAD
EXTERIOR BALCONIES	10	60
DECKS, STAIRS	10	40
CEILING JOISTS / ATTICS NO STORAGE - SCUTTLE ACCESS ONLY ROOF SLOPE 3:12 OR LESS	10	10
CEILING JOISTS / ATTICS NO STORAGE - SCUTTLE ACCESS ONLY ROOF SLOPE OVER 3:12	10	10
CEILING JOISTS / ATTICS WITH STORAGE - DOOR PULL DOWN LADDER ACCESS	10	20
ROOMS: NON-SLEEPING	10	40
ROOMS: SLEEPING	10	30
ROOF: LIGHT ROOF COVERING	10	20
ROOF: HEAVY ROOF COVERING / CONCRETE / TILE / SLATE	20	20
GUARDRAILS, HANDRAILS		200# LL NORMAL

HEAVY ROOF COVERING MATERIAL (TILE, CONCRETE, SLATE, ETC.) SHALL NOT BE USED UNLESS 20 PSF DEAD LOAD AND HEAVY ROOF IS NOTED ON THE ROOF PLAN. IF HEAVY ROOFING IS TO BE USED AND IS NOT NOTED ON THE ROOF PLAN, NOTIFY ENGINEER PRIOR TO ANY CONSTRUCTION, INCLUDING FOUNDATION AND SITE WORK. IF THE PLAN HAS BEEN DESIGNED FOR HEAVY ROOF LOADS IT WILL BE NOTED IN THE ROOF NOTES ON THE ROOF PLAN.

ENGINEERED LUMBER

MIN. DESIGN REQUIREMENTS

	F _x (psi)	E (psi)	F _y (psi)
LVL	2600	1.8x10	285
GLULAM	2400	1.8x10	190
PARALAM	2600	2.0x10	290

BUILDER'S PLANS: THE TERM "BUILDER'S PLANS" REFERS TO A CERTAIN LEVEL OF DEVELOPMENT OF THE DRAWINGS. AS THE NAME IMPLIES, THESE PLANS REQUIRE THAT THE CONTRACTOR POSSESSES COMPETENCE IN RESIDENTIAL CONSTRUCTION AND A THOROUGH UNDERSTANDING OF THE INTERNATIONAL RESIDENTIAL CODE (IRC). THE CONTRACTOR WARRANTS TO THE ENGINEER & DESIGN THAT THEY POSSESS THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND DESIGN SERVICES. AND FOR THAT REASON THE CONTRACTOR OR HOME OWNER HAS RESTRICTED THE SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. ALTHOUGH HD ENGINEERING & DESIGN HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, WE CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO HD ENGINEERING. CONSTRUCTION MAY REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION AND QUANTITY. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF HD ENGINEERING & DESIGN ARE UNAUTHORIZED. IT IS ALSO UNDERSTOOD THAT THE CONTRACTOR WILL BE RESPONSIBLE FOR MEETING ALL APPLICABLE BUILDING CODES INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL AND PLUMBING CODE REQUIREMENTS (WHICH IS EXCLUDED FROM THESE PLANS). IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR HOMEOWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HD ENGINEERING & DESIGN OR A QUALIFIED ENGINEER SHALL IMMEDIATELY BE RETAINED. FAILURE TO NOTIFY US OF THESE NEEDS OR OF CHANGES TO THE PLANS SHALL RELIEVE HD ENGINEERING & DESIGN OF ALL RESPONSIBILITIES OF THE CONSEQUENCES.

YURDAER ARCHITECTURE
2012 W. 47th TERR.

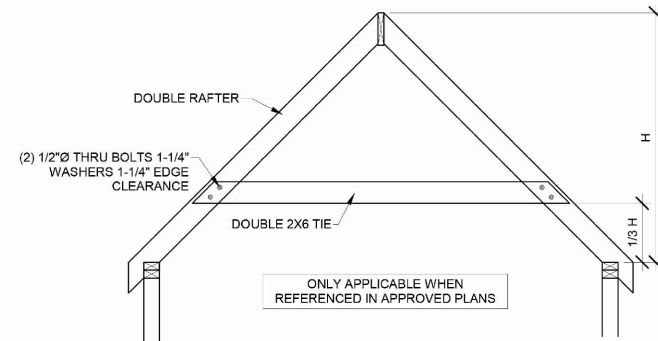


STRUCTURAL DETAILS & NOTES

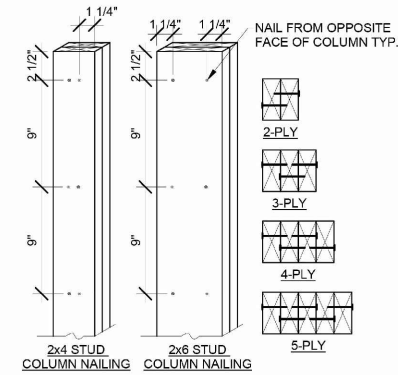
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NO.	ISSUE/REVISION	Revision Date

GENERAL NOTES

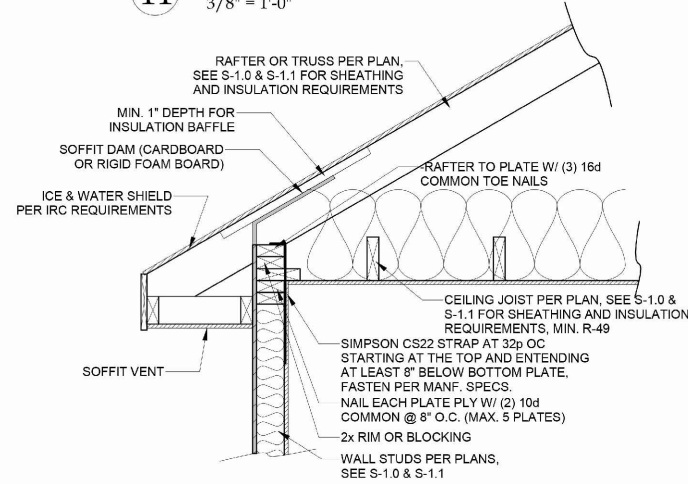


11 HIP SUPPORT FRAME
3/8" = 1'-0"

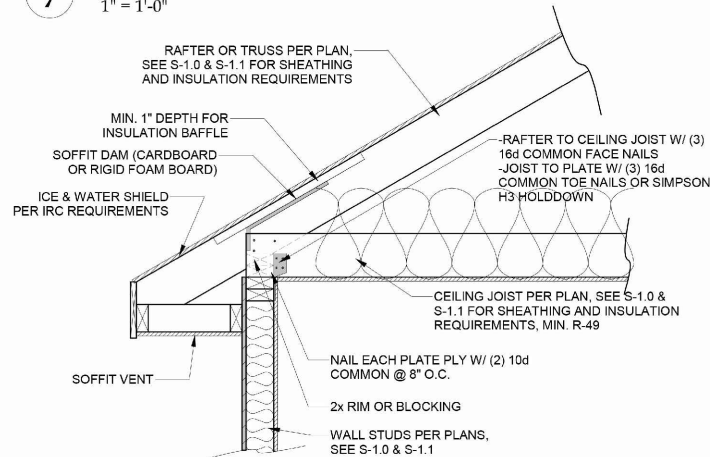


3 BUILT-UP STUD COLUMN
1 1/2" = 1'-0"

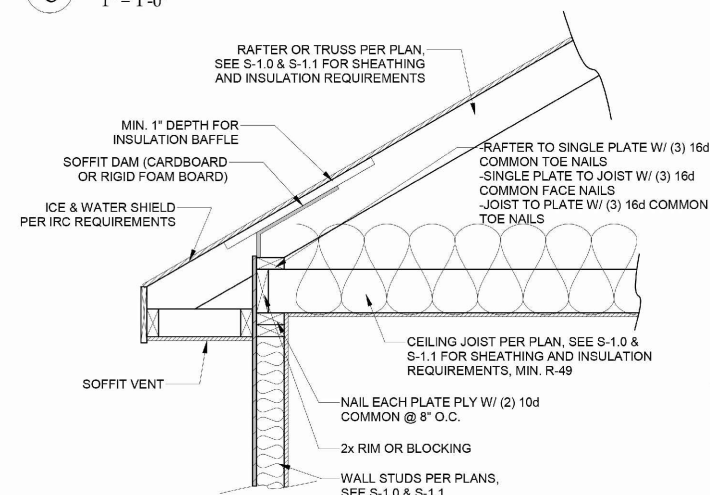
NOTES:
1. EACH 2x PLY SHALL BE FASTENED WITH (1) ROW OF 10d NAILS AT 9" O.C. ALTERNATING SIDE TO SIDE.
2. 1 1/4" MIN. EDGE DISTANCE, AND STARTING 2 1/2" FROM EACH END.
3. EXTEND FULL AREA OF COLUMN AS SOLID BLOCKING THROUGH JOIST BAYS AND WALLS TO LOAD-BEARING BEAM/WALL BELOW.



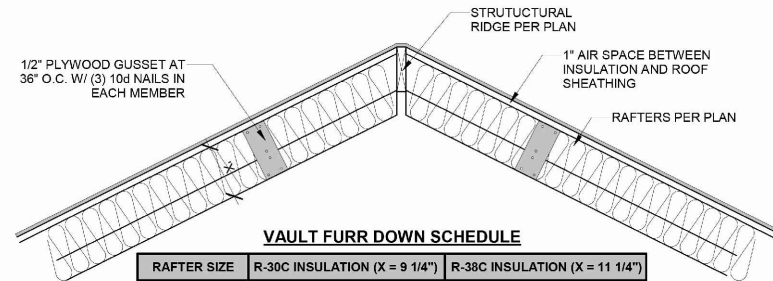
7 OPTION 4 RAFTER BEARING
1" = 1'-0"



6 OPTION 3 RAFTER BEARING
1" = 1'-0"



5 OPTION 2 RAFTER BEARING
1" = 1'-0" THIS OPTION NOT AVAILABLE IN KC, MO

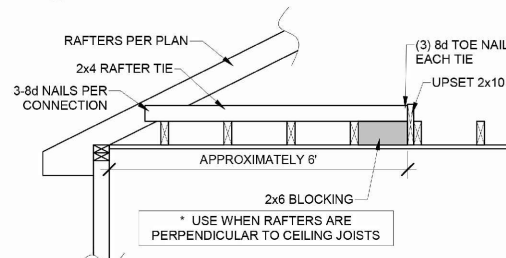


VAULT FURR DOWN SCHEDULE

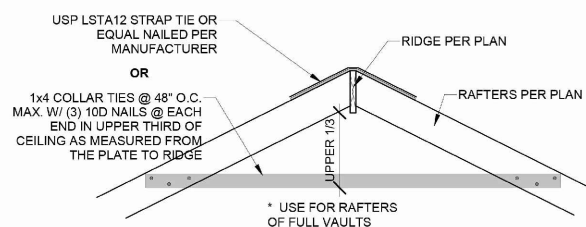
RAFTER SIZE	R-30C INSULATION (X = 9 1/4")	R-38C INSULATION (X = 11 1/4")
2x6	2x6	2x8
2x8	2x4	2x6
2x10	NOT REQUIRED	2x4
2x12	NOT REQUIRED	2x2

NOTES:
1. ALL VAULTS SHALL BE FURRED DOWN WITH 2x FRAMING TO THE REQUIRED DEPTH OF INSULATION, PLUS 1" AIR SPACE.
2. R-38C REQUIRED = 11" WITH AIR SPACE.
3. ALL VAULTED RAFTERS SHALL BE MIN. #2 2x6 DFL @ 16" O.C. OR PER ROOF PLAN.

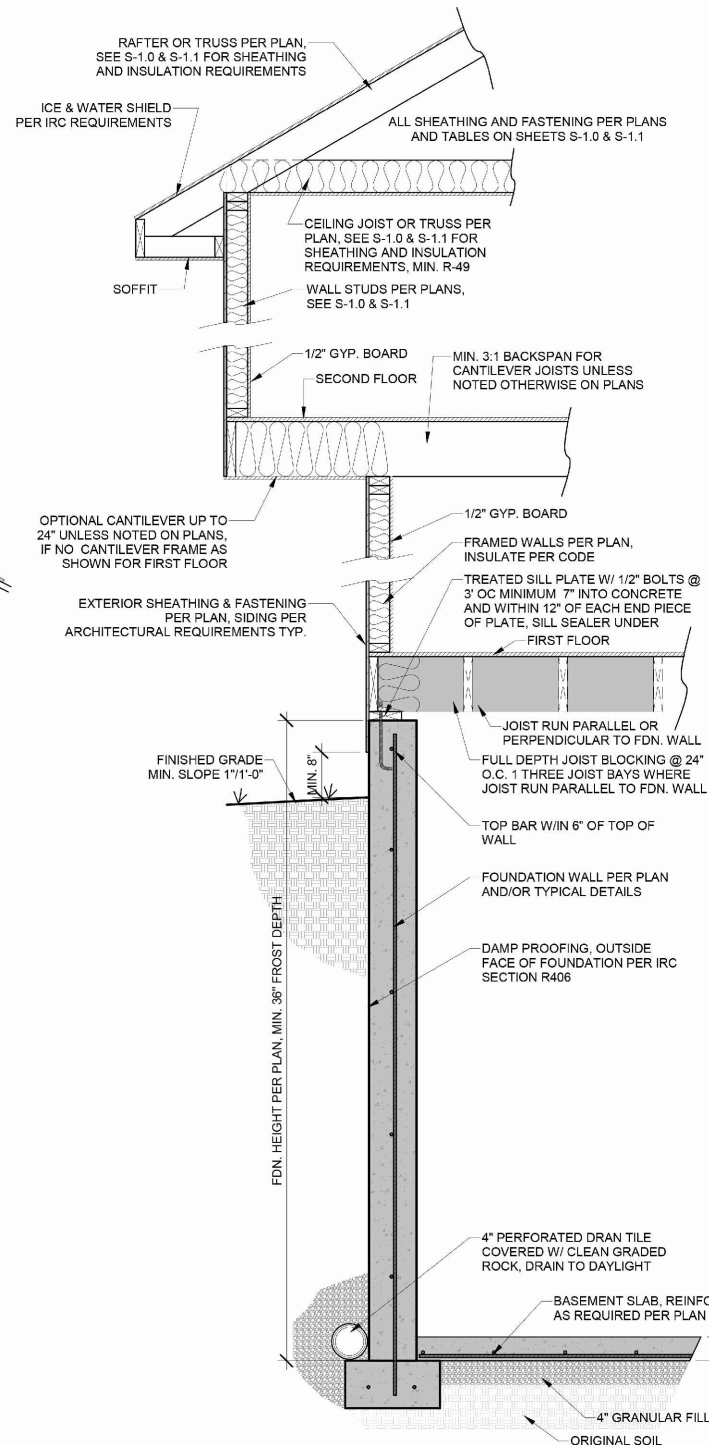
14 VAULTED RAFTER INSULATION
3/4" = 1'-0"



12 RAFTER TIE CONNECTION
1/2" = 1'-0"



13 RIDGE SUPPORT
1/2" = 1'-0"



1 TYPICAL WALL SECTION
3/4" = 1'-0"

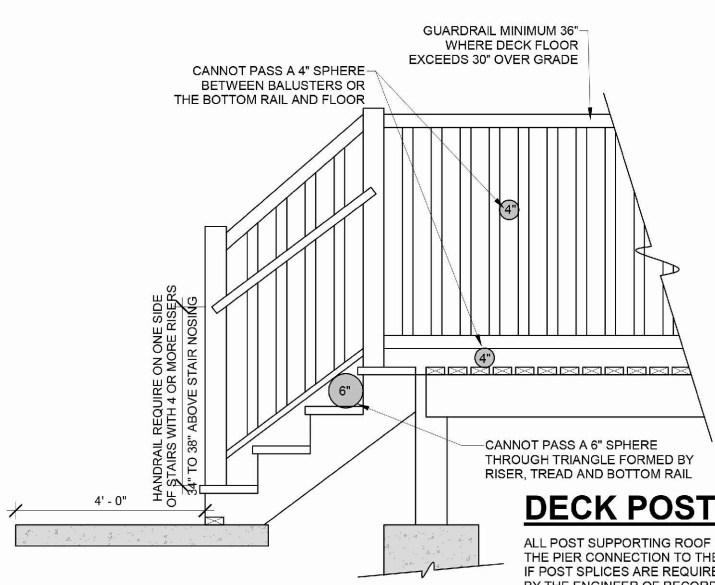
DUE TO THE WIDE VARIETY OF SOIL CONDITIONS IN OUR AREA AND THE WIDE VARIETY OF PLASTICITY INDEX AND SOIL BEARING CAPACITIES OUR FIRM RECOMMENDS ALL SITES BE EVALUATED BY HD ENGINEERING OR AN HD ENGINEERING REFERRED GEOTECHNICAL FIRM PRIOR TO PLACEMENT OF ANY "STANDARD" FOUNDATIONS.

YURDAER ARCHITECTURE
2012 W. 47th TERR.

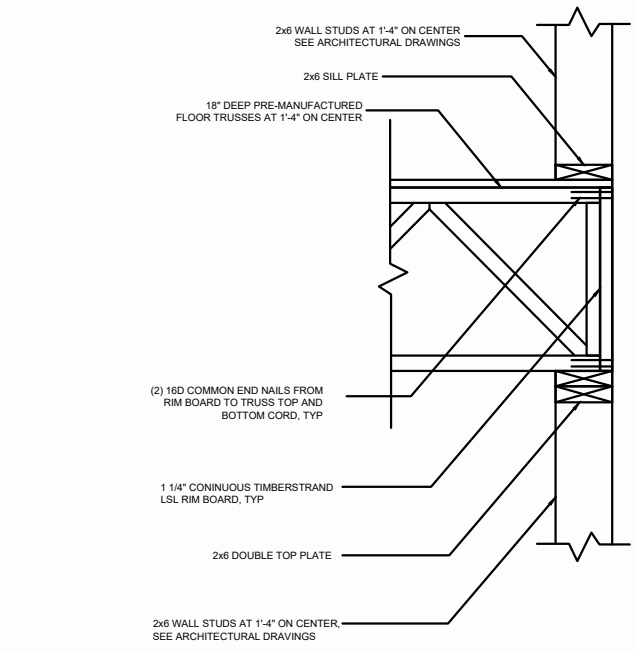
STRUCTURAL DETAILS & NOTES

NO.	ISSUE/REVISION	Revision Date

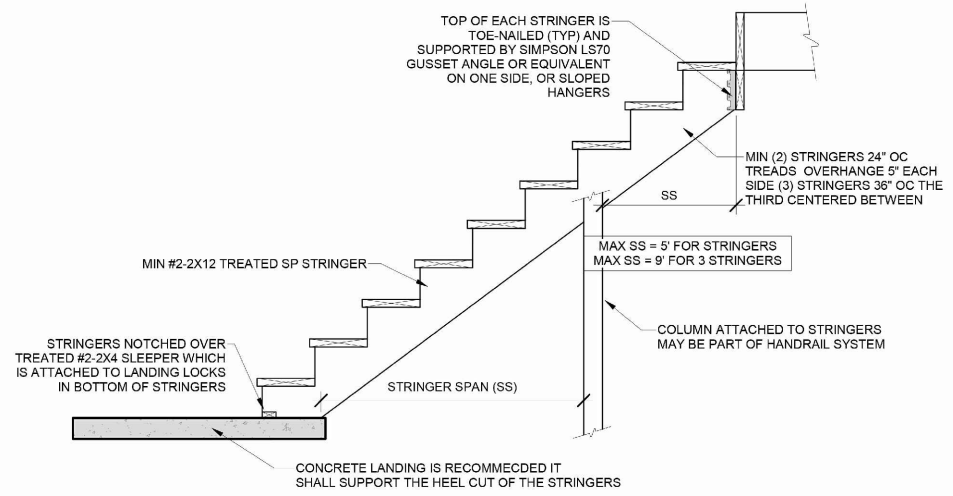
GENERAL NOTES



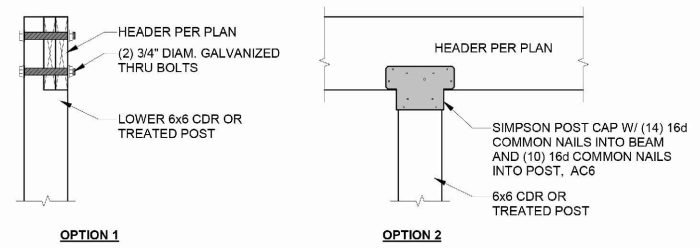
8 GUARD RAIL
1/2" = 1'-0"



1 FLOOR TRUSS PERIMETER DETAIL
1 1/2" = 1'-0"



9 STAIR STRINGER DETAIL
1/2" = 1'-0"



7 ROOF LEVEL INTERIOR BEAM TO COLUMN
1" = 1'-0"

TABLE IRC2018 R507.9.1.3(1)
DECK LEDGER CONNECTION TO BAND JOIST^{a,b}
(DECK LIVE LOAD = 40 PSF, DECK HEAD LOAD = 10 PSF, SNOW LOAD ≤ 40 PSF)

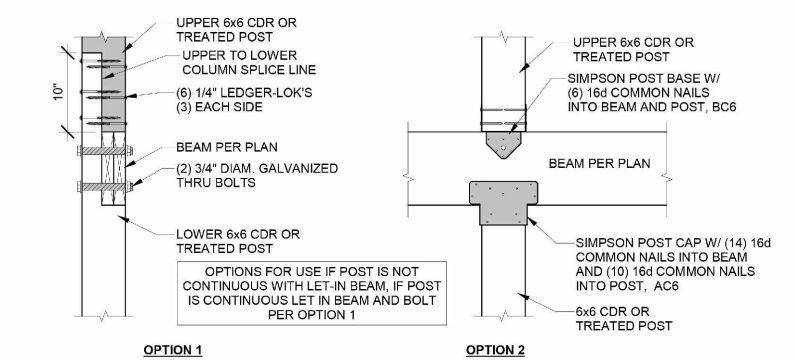
JOIST SPAN	ON-CENTER SPACING OF FASTENERS ^{c,d}						
	6' AND LESS	6'-1" TO 8'	8'-1" TO 10'	10'-1" TO 12'	12'-1" TO 14'	14'-1" TO 16'	16'-1" TO 18'
1/2" LAG SCREW WITH 15/32" MAX. SHEATHING ^{e,d}	30	23	18	15	13	11	10
1/2" DIAM. BOLT WITH 15/32" MAX. SHEATHING ^d	36	36	34	29	24	21	19
1/2" DIAM. BOLT WITH 15/32" MAX. SHEATHING & 1/2" STACKED WASHERS ^e	36	36	29	24	21	18	16

For SI: 1 inch = 25.4mm, 1 foot = 304.8mm, 1 pound per square foot = 0.0479 kPa
 a. Ledges shall be flashed in accordance with Section R703.4 to prevent water from contacting the house band joist.
 b. Snow load shall not be assumed to act concurrently with live load.
 c. The tip of the lag screw shall fully extend beyond the inside face of the band joist.
 d. Sheathing shall be wood structural panel or solid sawn lumber.
 e. Sheathing shall be permitted to be wood structural panel, gypsum board, fiberboard lumber or foam sheathing. Up to 1/2" thickness of stacked washers shall be permitted to substitute for you to 1/2" of allowable sheathing thickness where combined with wood structural panel or lumbers sheathing.

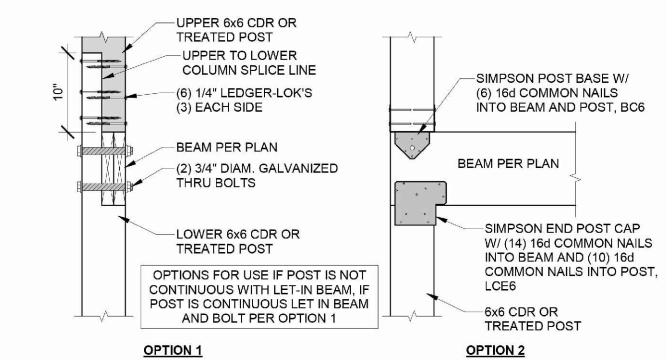
TABLE IRC2018 R507.9.1.3(2)
PLACEMENT OF LAG SCREWS AND BOLT IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS				
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING	
LEDGER ^a	2 inches ^d	3/4 inches	2 inches ^b	1 5/8 inches ^b	
BAND JOIST ^a	3/4 inches	2 inches	2 inches	1 5/8 inches ^b	

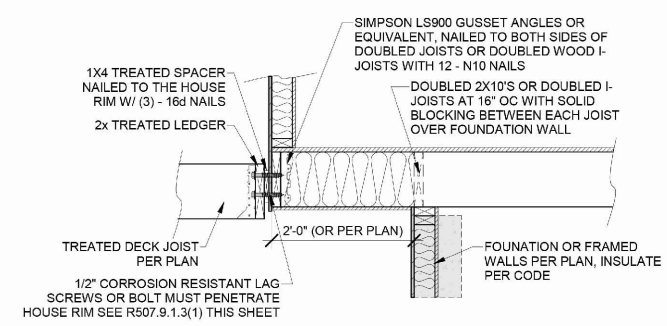
For SI: 1 inch = 25.4mm.
 a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.9.1.3(1)
 b. Maximum 5 inches
 c. For engineered rim joists, the manufacturer's recommendations shall govern.
 d. The minimum distances from bottom row of lag screws or bolts to the top of the ledger shall be in accordance with Figure R507.9.1.3(1)



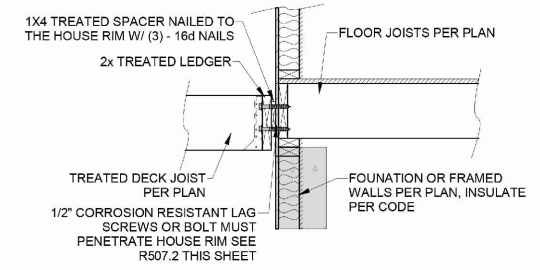
6 DECK LEVEL INTERIOR BEAM TO COLUMN
1" = 1'-0"



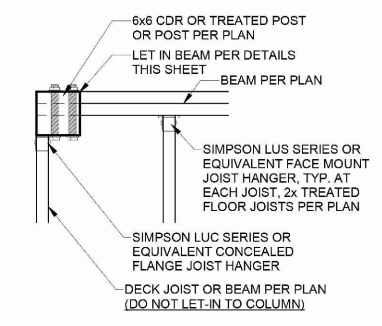
5 DECK LEVEL EXTERIOR BEAM TO COLUMN
1" = 1'-0"



4 DECK LEDGER TO CANTILEVER
3/4" = 1'-0"

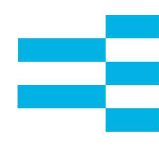


2 DECK LEDGER ATTACHMENT
3/4" = 1'-0"



1 DECK CORNER COLUMN
1" = 1'-0"

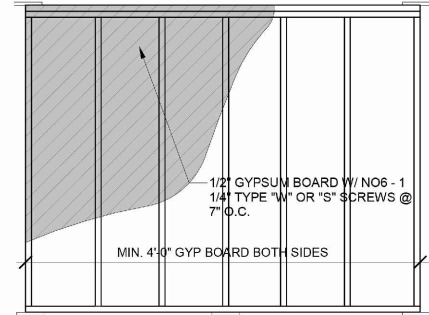
YURDAER ARCHITECTURE
2012 W. 47th TERR.



STRUCTURAL DETAILS & NOTES

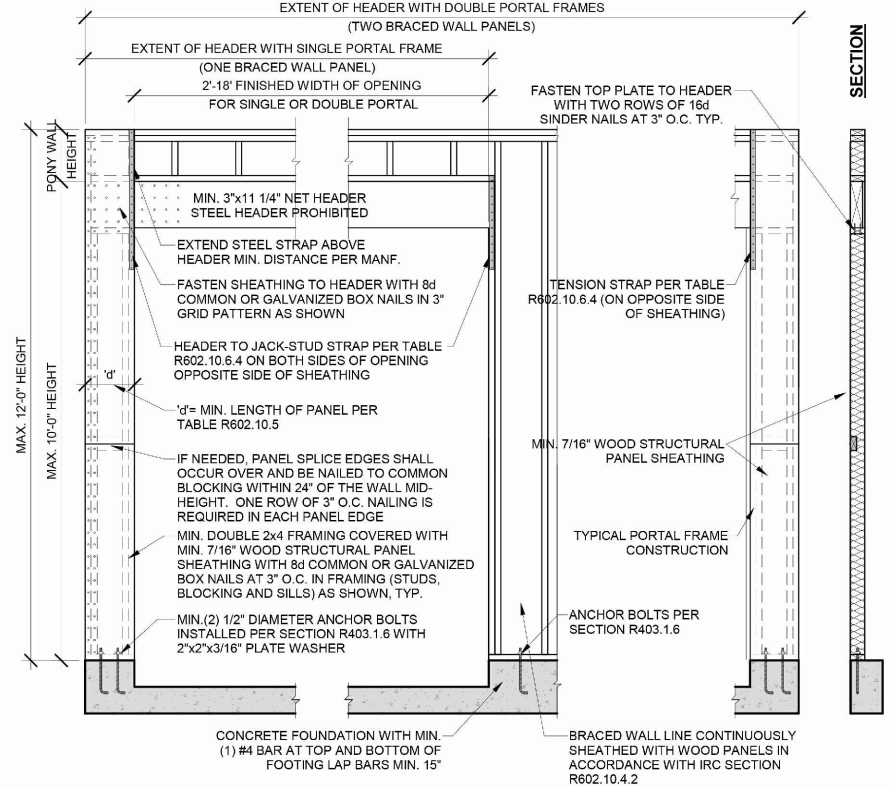
DATE:		
CHECKED BY:		
NO.	ISSUE/REVISION	Revision Date

GENERAL NOTES

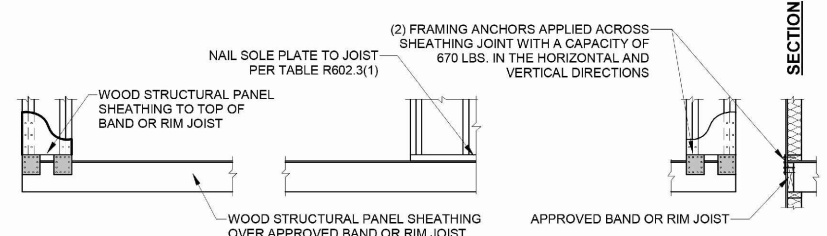


5 GB BRACING
1/2" = 1'-0"

FRONT ELEVATION

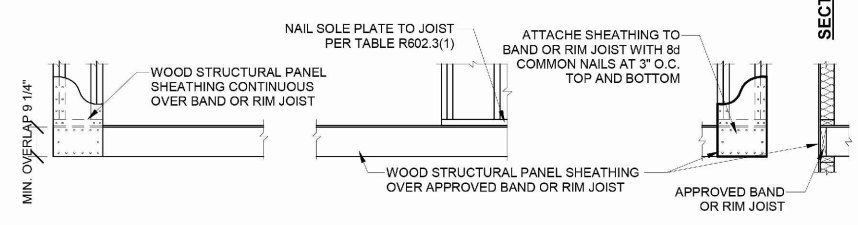


OVER CONCRETE OR MASONRY BLOCK FOUNDATION



OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

(WHEN PORTAL SHEATHING DOES NOT LAP OVER BAND OR RIM JOIST)

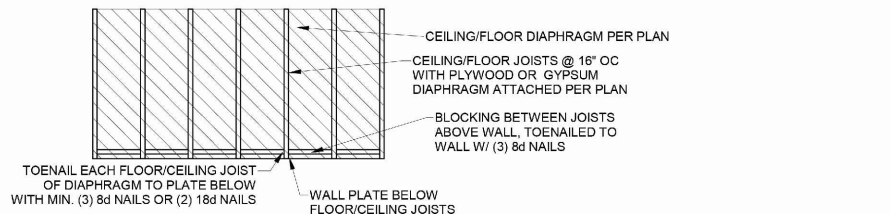
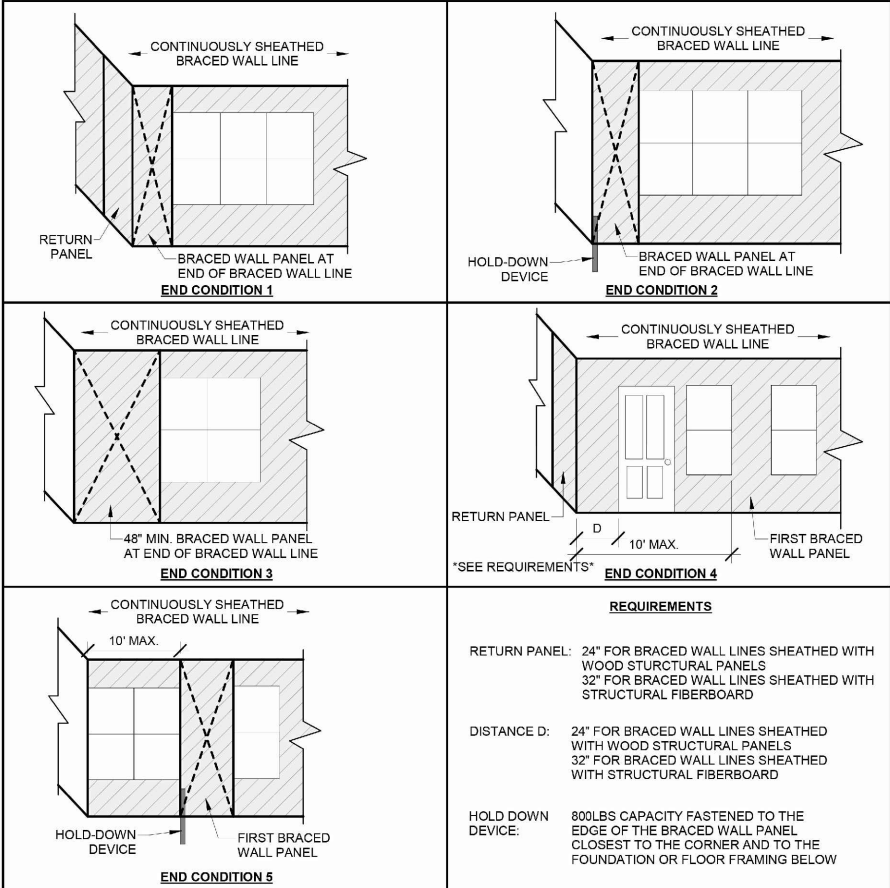


OVER RAISED WOOD FLOOR - OVERLAP OPTION

(WHEN PORTAL SHEATHING LAPS OVER BAND OR RIM JOIST)

END WALL CONDITIONS

FOR CONTINUOUSLY SHEATHED BRACED WALL LINES



1 DIAPHRAGM CONNECTION TO INTERIOR WALL
3/8" = 1'-0"

4 CS-PF
1/2" = 1'-0"

DATE: _____
CHECKED BY: _____

NO.	ISSUE/REVISION	Revision Date

GENERAL NOTES



February 11, 2025

Dear neighbor:

As a property owner within 200 feet of the property located at 2012 W. 47th Ter. in Westwood, you are being notified of an application by homeowner F. Kaan Akyalcin for a waiver from Westwood Zoning Ordinance Article Nos. 4.3.2.B to allow a third story (maximum allowable is 2 ½ stories), 4.3.2.H to allow the height of the primary structure to exceed that allowed, and 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building for a proposed new single-family residence on property located at 2012 W. 47th Ter., Westwood, KS 66205.

This letter is to inform you that the Westwood Planning Commission will hold a public hearing for consideration of this application where the general public may provide comments on **Monday, March 3, 2025 at 7:00 PM** at Westwood City Hall, 4700 Rainbow Blvd., Westwood, KS 66205. The meeting will also be accessible virtually on Zoom. In addition to live oral comments, written comments may be submitted ahead of the public hearing to info@westwoodks.org and will be included in the public meeting record.

The meeting may be attended either in person at Westwood City Hall or virtually, by using the following instructions:

Online

<https://us02web.zoom.us/j/89009964959>

or

by Phone

(312) 626-6799

Webinar ID: 890 0996 4959

Additional information on this application is available at Westwood City Hall, 4700 Rainbow Boulevard or by contacting me, City Administrator, Leslie Herring by using the contact information below.

Kind regards,

Leslie Herring, City Administrator

913.942.2124

leslie.herring@westwoodks.org

The Legal Record

1701 E. Cedar St., Ste. 111
Olathe, KS 66062-1775
(913) 780-5790

ATTN: LESLIE HERRING
CITY OF WESTWOOD
4700 RAINBOW BLVD
WESTWOOD KS 66205-1831

First published in The Legal Record, Tuesday, February 11, 2025.
CITY OF WESTWOOD, KANSAS
NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Westwood, Kansas will hold a public hearing on Monday, March 3, 2025, at 7:00 PM at Westwood City Hall located at 4700 Rainbow Boulevard. Details for attending the meeting and speaking during the public hearing can be found at www.westwoodks.org or by calling 913-362-1550. Written comments may also be submitted ahead of the public hearing to info@westwoodks.org. The subject of the public hearing is:

WE 2025-02

An application of property owner F. Kaan Akyalcin for a waiver from Westwood Zoning Ordinance Article Nos. 4.3.2.B to allow a third story (maximum allowable is 2 1/2 stories), 4.3.2.H to allow the height of the primary structure to exceed that allowed, and 4.3.6.F to allow the front wall of the front-facing garage to not be located entirely behind the front wall of the primary building for a proposed new single-family residence on property located at 2012 W. 47th Ter., Westwood, KS 66205.

/s/ Leslie Herring, City Administrator
2/11

Proof of Publication

STATE OF KANSAS, JOHNSON COUNTY, SS; Maureen Gillespie, of lawful age, being first duly sworn, deposes and says that she is Legal Notices Clerk for The Legal Record which is a newspaper printed in the State of Kansas, published in and of general paid circulation on a weekly, monthly or yearly basis in Johnson County, Kansas, is not a trade, religious or fraternal publication, is published at least weekly fifty (50) times a year, has been so published continuously and uninterrupted in said County and State for a period of more than one year prior to the first publication of the notice attached, and has been entered at the post office as Periodicals Class mail matter. That a notice was published in all editions of the regular and entire issue for the following subject matter (also identified by the following case number, if any) for 1 consecutive week(s), as follows:

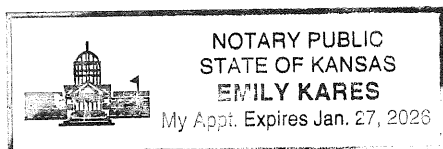
HEARING - WE 2025-02
2/11/25

Maureen Gillespie, Legal Notices Billing Clerk

Subscribed and sworn to before me on this date:

February 11, 2025

Notary Public



L22462
Publication Fees: \$23.14

WESTWOOD PLANNING COMMISSION

Staff Report

Meeting Date: March 3, 2025

Staff Contact: Leslie Herring, City Administrator

WE 2025-01 - Consider application of Wulff Building & Additions on behalf of property owner Kei Kamara for a waiver from Westwood Zoning Ordinance Article No. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence on property located at 4810 Belinder Ct., Westwood, KS 66205

OWNER OF RECORD: Kei Kamara

APPLICANT: Wulff Building & Additions on behalf of property owner Kei Kamara

LOCATION: The property is located at 4810 Belinder Ct. and is deeded as YATES SUBDIVISION LT 6 & BG 1080.57' S & 260' E NW CR OF 3-12-25 NE1/4 NE1/4 N 27.02' X W 30.08' .018 AC M/L

ZONING: The property is zoned R-1D

PROPOSED PROJECT: Construct a new single-family dwelling

REQUESTED ACTION: A waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence.

ZONING ORDINANCE WAIVER & EXCEPTION: Pursuant to Ordinance No. 1000 passed by the Westwood Governing Body on March 14, 2019, the Westwood Zoning Code was amended to create a new Section 4.5 - Waivers & Exceptions to establish a new review and approval process as an alternative to consideration of a variance request by the Board of Zoning Appeals.

As provided for by Ordinance No. 1000, and in conformance with the Planning Commission's and Governing Body's intent to provide a process to consider waivers and exceptions from certain sections of Chapter 4 of the Westwood Zoning Ordinance, a waiver from Section 4.3.2(l) would need to be granted to allow the property owner to construct the home as proposed.

APPROVAL CRITERIA: Pursuant to Ordinance No. 1000, a waiver or exception shall not be approved if it is contrary to the public interest or unnecessarily burdens the City. The Approving Authority may approve the waiver or exception if the applicant demonstrates one (1) or more of the following:

1. An alternative higher quality development design is being proposed with no negative impacts to either nearby residential or nonresidential properties.
2. Relief of the development restrictions imposed on the property will ensure low impact land uses, and quality building and site design arrangements in which adjoining residential properties will not be negatively impacted by any deviations from the applicable regulations.

3. The granting of the waiver or exception will not be opposed to the general spirit and intent of the adopted Comprehensive Plan.

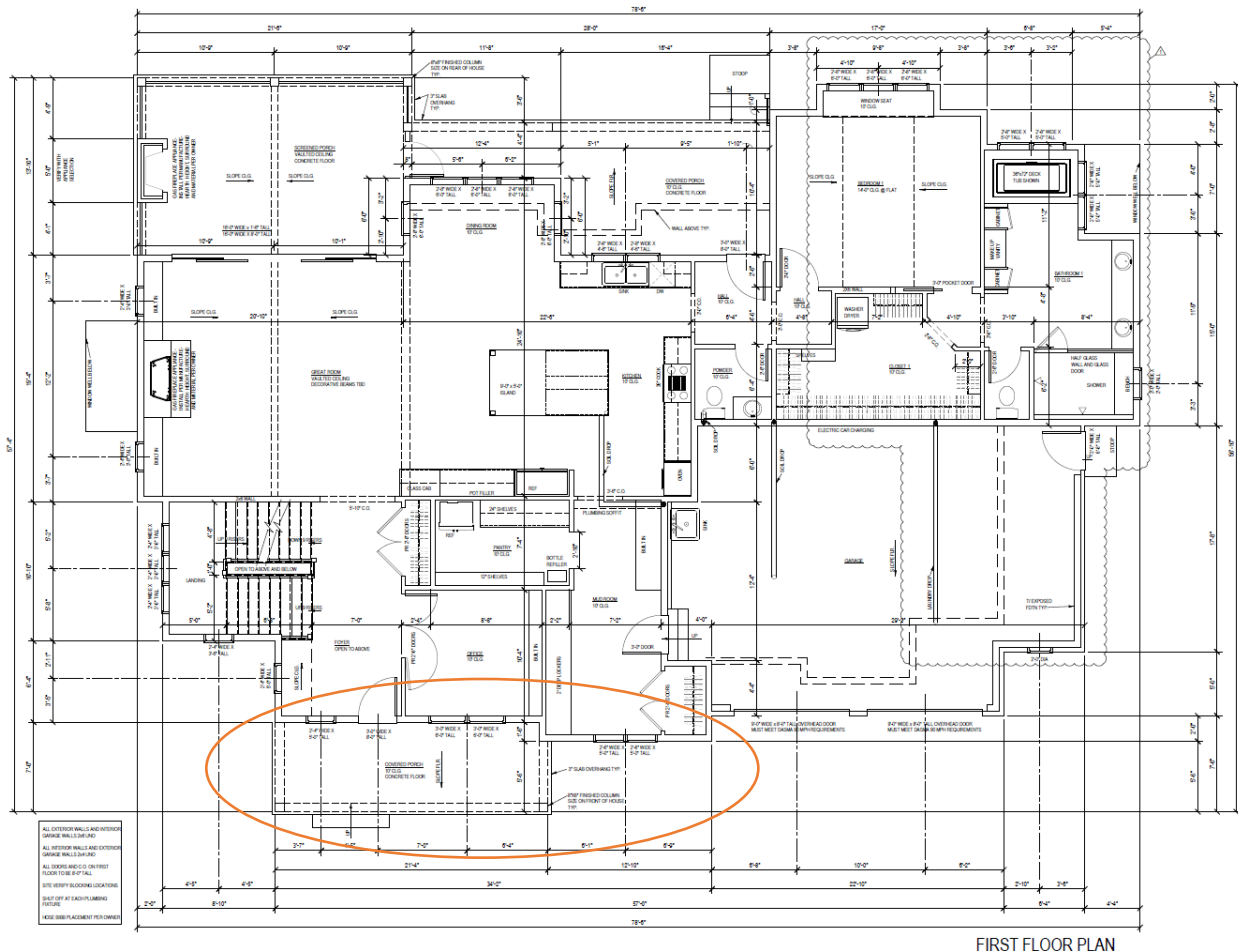
The waiver/exception is a condition of the underlying application for approval and has the same effect as any approval of that application. In such instances, findings shall be prepared that:

1. No private rights will be injured or endangered by granting of the waiver or exception.
2. The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

STAFF ANALYSIS: Staff review of the application submittal concludes that all elements of the proposed single-family dwelling conform to the Westwood Zoning Ordinance with the following exception:

- a. WZO 4.3.2.G – The front porch encroaches 7'2" into the front yard setback and is permitted to encroach a maximum of 4'. The front mudroom encroaches 1'6" into the front yard setback and is not a permitted exception (WZO 4.3.3).

This violation of the zoning ordinance is identified in the image below.

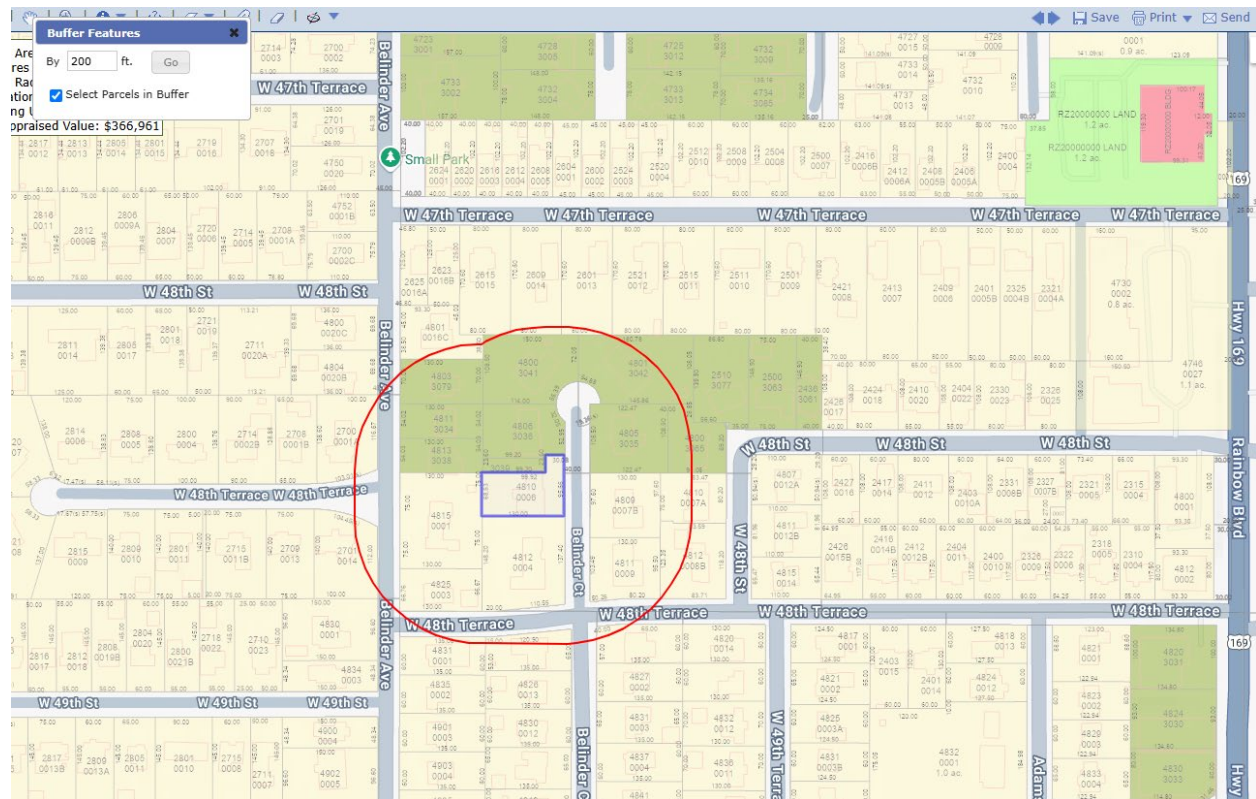


STAFF RECOMMENDATION: The Planning Commission should review the application materials included in the meeting packet, should consider any public comment received¹, and should consider the applicant's presentation at the meeting to determine whether this application should be approved. Staff does not object to approval of the application.

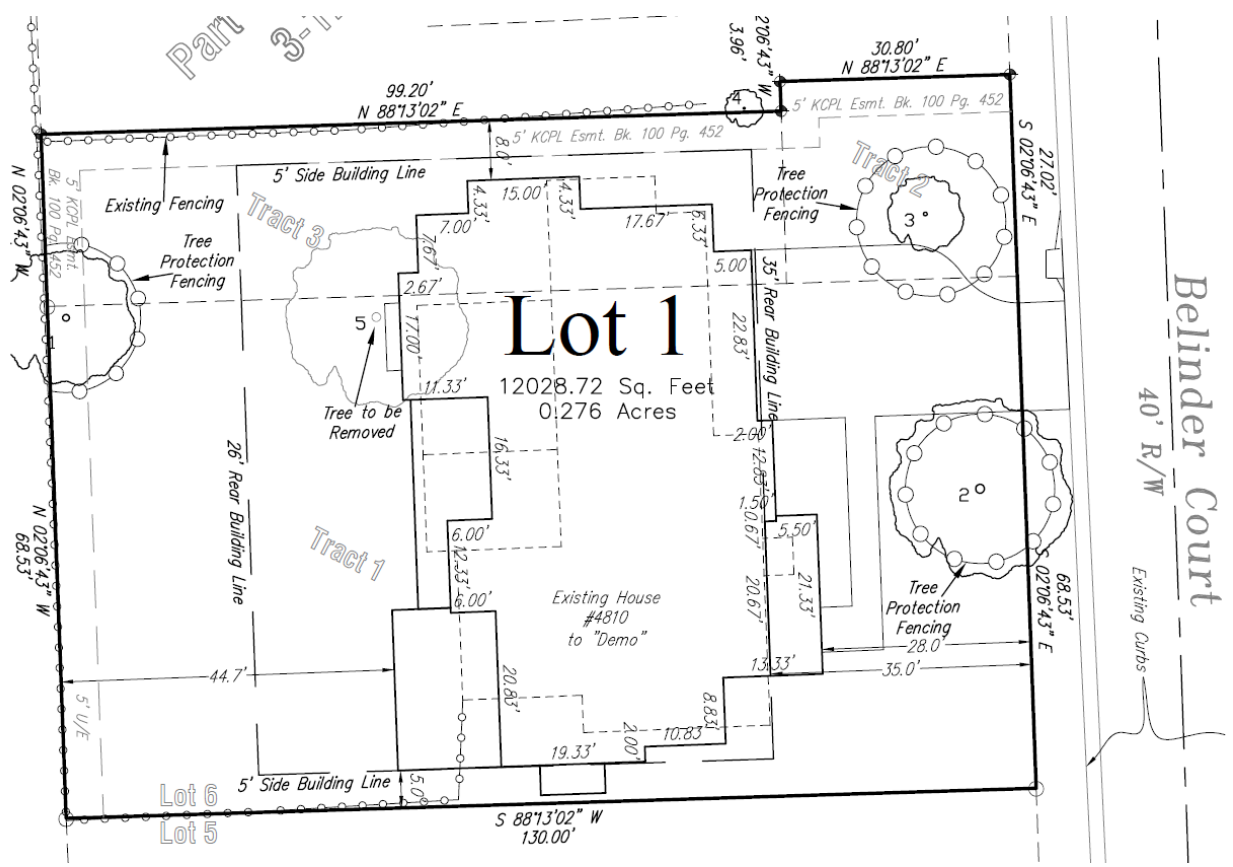
Suggested Motion

I move to approve/deny/conditionally approve the following waiver(s)/exception(s) for the proposed new single-family residence on property located at 4810 Belinder Ct., Westwood, KS 66205:

- a. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence.*



¹ Per Westwood zoning regulations, this public hearing was published at least 20 days prior and notice of the hearing was mailed to all property owners within 200' of the subject property, as shown in the map on the next page.





Evaluation of Permit Application Conformance with Westwood Zoning Regulations

Review Conducted by: Joe Kmetz
Owner of Record: Kamara
Applicant: Wulff
Address: 4810 Belinder Ct
Residential Zoning District: R-1(D)
Description of Proposed Project: New Single Family

Address	4810 Belinder Ct	
Zoning District	R-1(D)	
	<i>Code</i>	<i>Admin Review</i>
Height (4.3.2.B & H) Story Def. (2.3.645 – 660)	maximum of 2 stories; 35'	OK 2 stories
Lot Coverage (4.3.2.C) Definition (2.3.405)	shall not exceed 35% of the area of the lot	OK 3,168/12,029 (26%)
Maximum lot width coverage at front yard setback (4.3.2.J)	Based on zoning district	OK 56/91 (61%)
Build-to Line (4.3.2.D)	at least 60% of front façade must be situated on build-to line	OK 56/77 (73%)
Maximum eave height above the first floor (4.3.2.J)	Based on zoning district	OK 18'8" (Max 23')
Architectural relief on vertical surfaces (4.3.2.E)	max. 600 sqft. without incorporating architectural relief	OK Max 593 sf
Front setback encroachments (4.3.2.G)	no greater than 4'	NO Front porch encroaches 7'2", permitted encroachment but exceeds limit of 4' & Front Mudroom encroaches 1'6", not a permitted encroachment
Attached garage setback (4.3.6.F)	entirely behind the front façade of the primary structure	OK* *Garage is on 35' setback line, but behind entryway bumpout
Setback – Front yard (4.3.2.J)	Based on zoning district	OK 35'
Setback – Side yard (1st story) (4.3.2.I)	Based on zoning district	OK 5'
Setback – Side yard (2nd story) (4.3.2.J)	7'	OK 5'
Setback – Back yard (4.3.2.J)	Based on zoning district	OK 26' (20% of 130)



EAST ELEVATION
1/4"SCALE



SOUTH ELEVATION
1/4"SCALE

Kara Carlson
KaraCarchitect@gmail.com 913-908-8398

WULFF
FINE CUSTOM HOMES

913-226-0595 kirk@wulffbuilding.com

NOTICE DUTY OF COOPERATION
Release of these plans requires further cooperation among the owner, the contractor, and the designer. Design and construction are complex. Although the designer and their consultants have performed their services with due care and diligence, they can not guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the designer. A failure to cooperate by a simple notice to the designer shall relieve the designer from responsibility for all consequences. Changes made from the plan without the consent of the designer are unauthorized, and shall relieve the designer of responsibility for all consequences arising out of such changes. Contractor shall check and verify all dimensions.

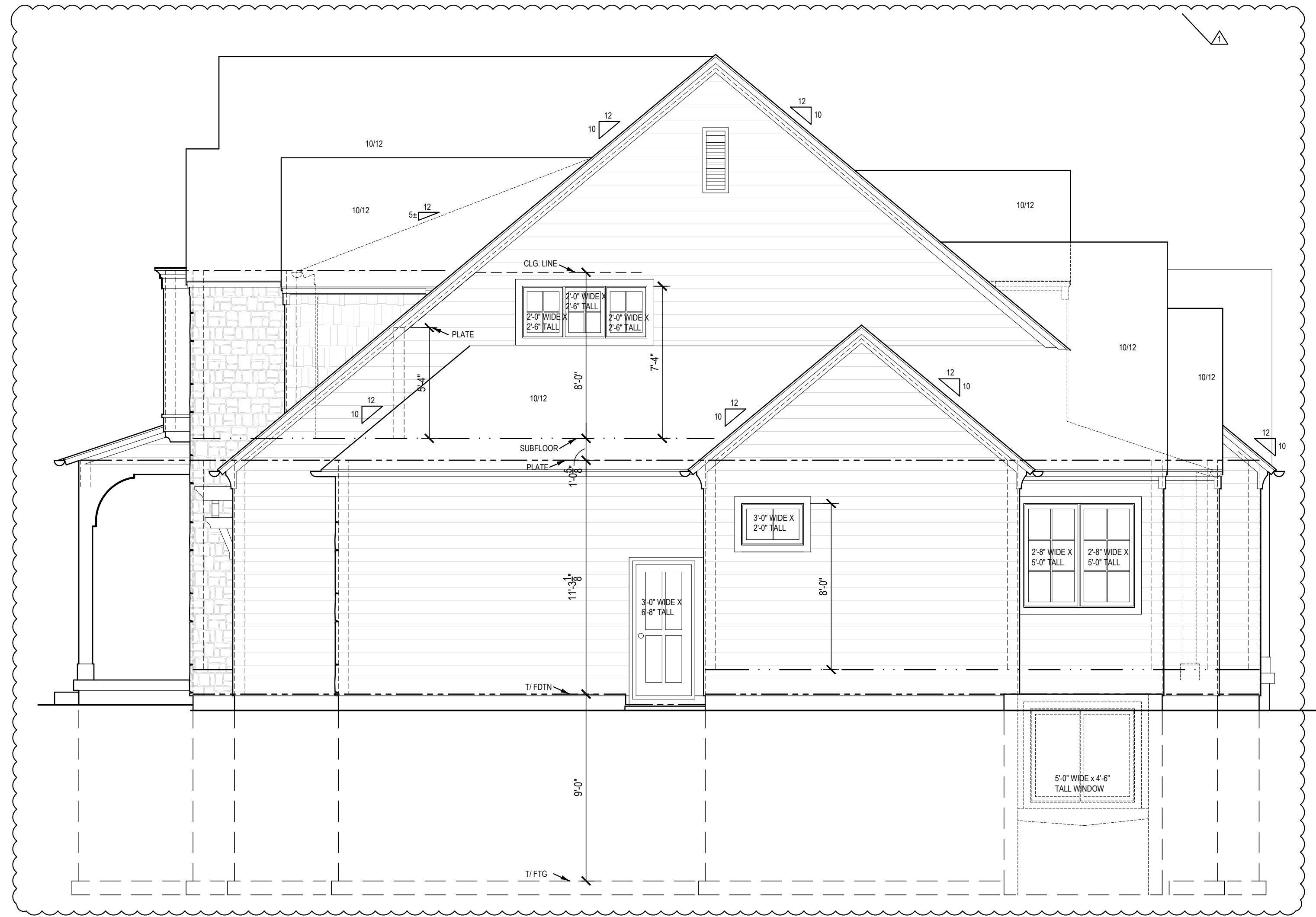
NEW HOME
KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATHS

DATE: December 23, 2024
Elevations



WEST ELEVATION
1/4"SCALE



NORTH ELEVATION
1/4"SCALE

Kara Carlson
KaraCarchitect@gmail.com 913-908-8398

WULFF
FINE CUSTOM HOMES
913-226-0595 kirk@wulffbuilding.com

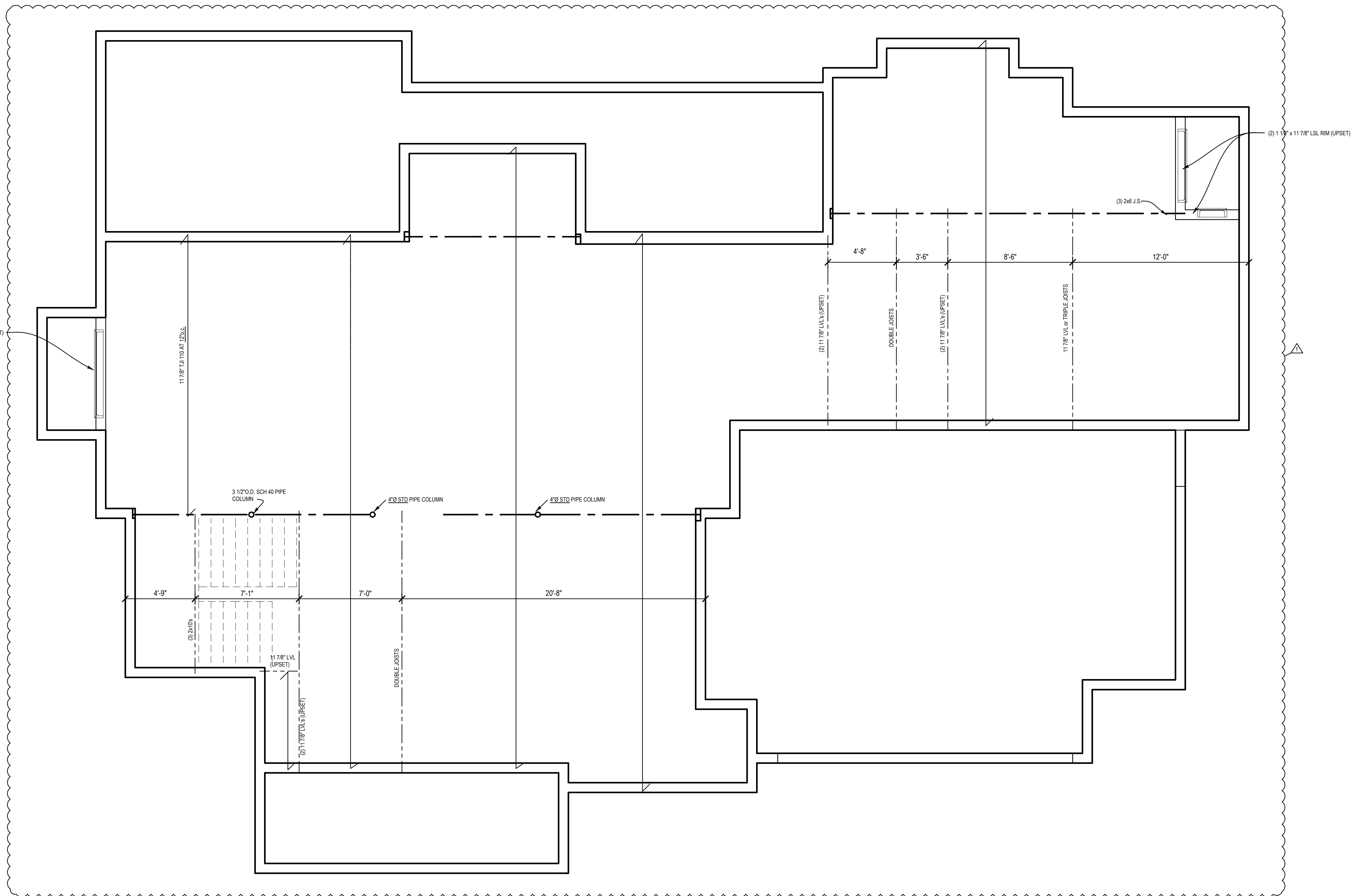
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KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATHS

DATE: December 23, 2024
Elevations

A11



(2) 1 1/8" x 11 7/8" LSL RIM (UPSET)

11 7/8" TJI 110 AT 16" o.c.

3 1/2" O.D. SCH 40 PIPE COLUMN

2 1/8" STD PIPE COLUMN

2 1/8" STD PIPE COLUMN

(2) 11 7/8" LVL (UPSET)

DOUBLE JOISTS

(2) 11 7/8" LVL (UPSET)

DOUBLE JOISTS

11 7/8" LVL (UPSET)

(2) 1 1/8" x 11 7/8" LSL RIM (UPSET)

(3) 2x6 J.S.

NOTE: CONTRACTOR COORDINATE DIMENSIONS FOR FRAMING MEMBERS SHOWN WITH U.S. OR WALLS ABOVE.

11 7/8" TJI 110 AT 16" o.c. FLOOR JOISTS (TYP. UNO)
(2) 2x10s HEADERS (TYP. UNO)

N LOWER LEVEL FRAMING PLAN
1/4" SCALE

Kara Carlson
KaraCarchitect@gmail.com 913-908-8398

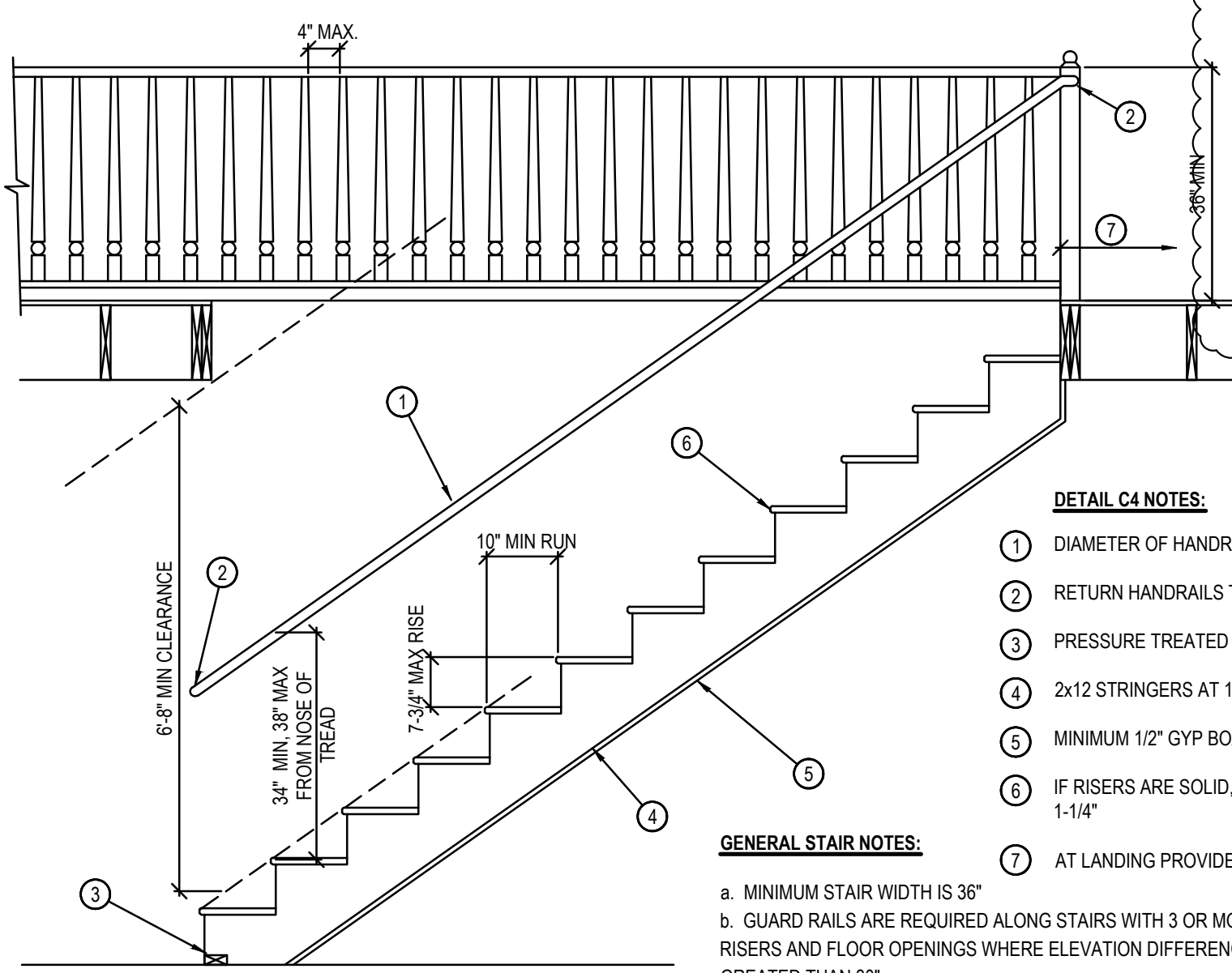
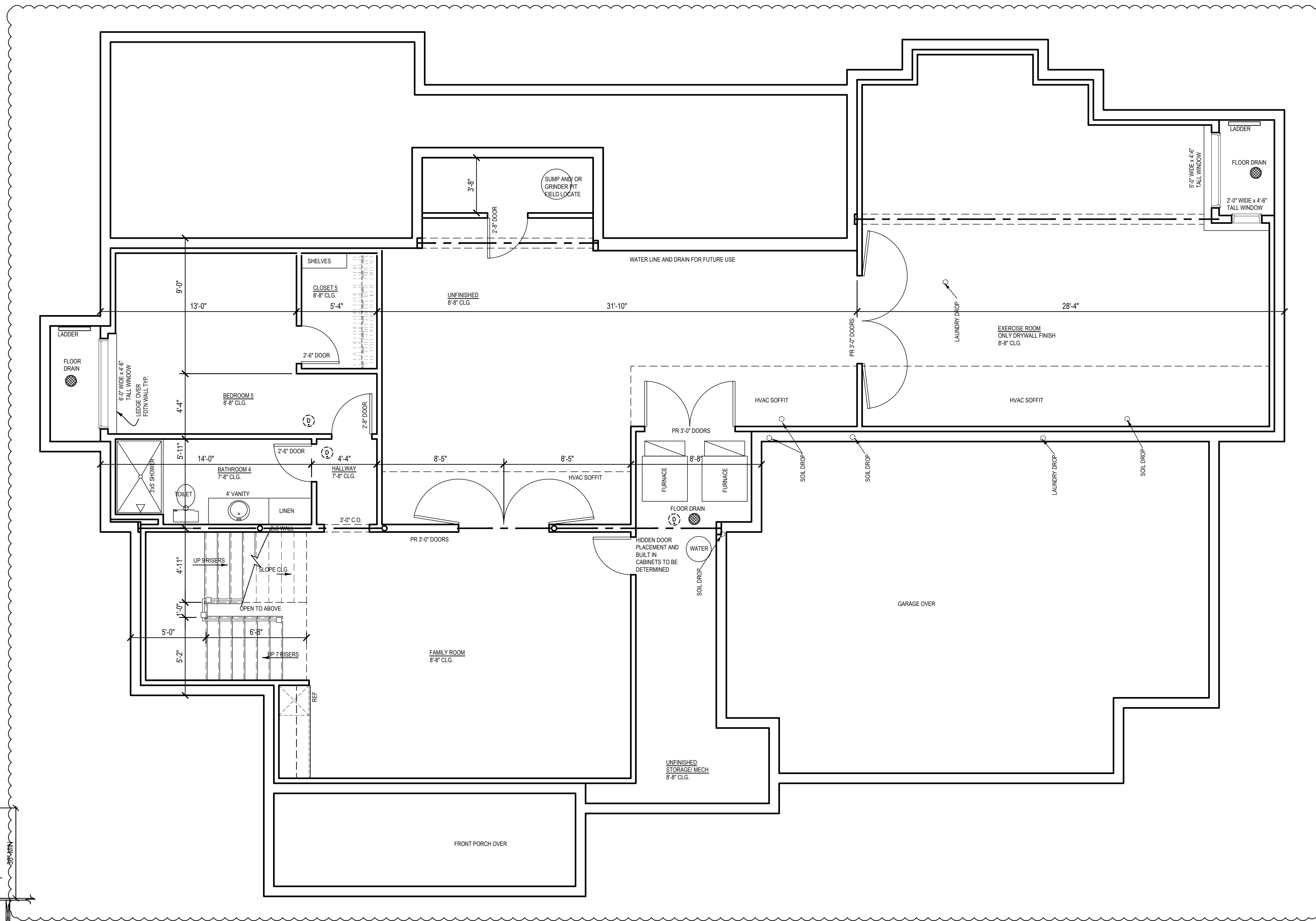


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NEW HOME
KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
Lower Level Framing Plan



- DETAIL C4 NOTES:**
- DIAMETER OF HANDRAIL FROM 1-1/4" TO 2"
 - RETURN HANDRAILS TO POST OR WALL
 - PRESSURE TREATED PLATE
 - 2x12 STRINGERS AT 16" O.C. MAX.
 - MINIMUM 1/2" GYP BOARD UNDER STAIRS
 - IF RISERS ARE SOLID, NOSING IS REQUIRED: 3/4" TO 1-1/4"
 - AT LANDING PROVIDE 36" MINIMUM OF CLEARANCE.

- GENERAL STAIR NOTES:**
- MINIMUM STAIR WIDTH IS 36"
 - GUARD RAILS ARE REQUIRED ALONG STAIRS WITH 3 OR MORE RISERS AND FLOOR OPENINGS WHERE ELEVATION DIFFERENCE IS GREATER THAN 30"
 - ALL STAIR CONSTRUCTION SHALL SATISFY IRC REQUIREMENTS.

STAIR DETAIL
1/2"SCALE



LOWER LEVEL PLAN
1/4"SCALE
706 FINISHED SF

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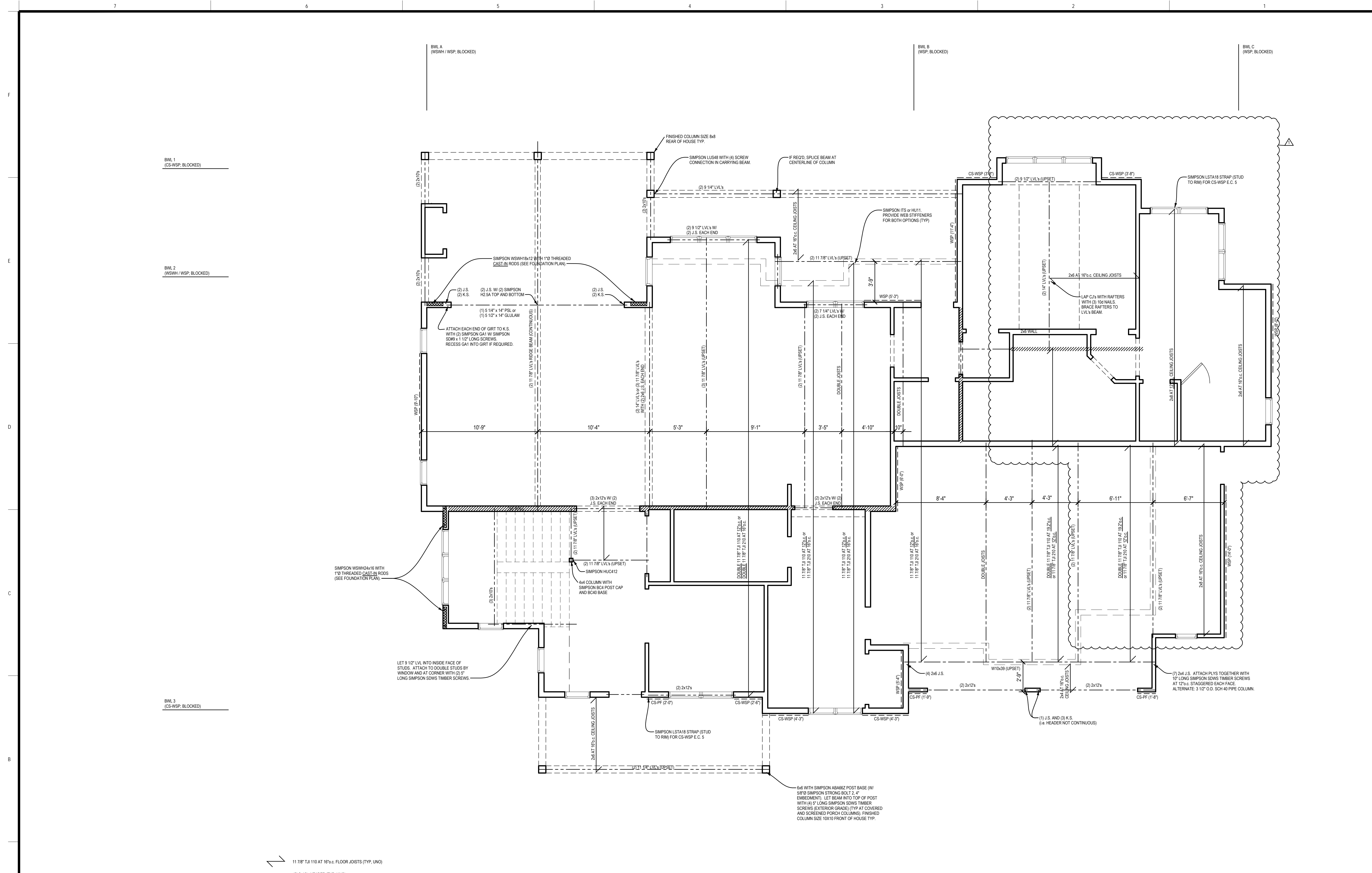
WULFF
FINE CUSTOM HOMES
913-226-0595 kirk@wulffbuilding.com

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NEW HOME
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4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
Lower Level Floor Plan



BWL 1 (CS-WSP, BLOCKED)

BWL 2 (WSWH / WSP, BLOCKED)

BWL 3 (CS-WSP, BLOCKED)

11 7/8" TJI 110 AT 16" c. FLOOR JOISTS (TYP. UNC)

(2) 2x10s HEADER (TYP. UNC)

INTERIOR BEARING WALL

NOTE FOR TYPICAL WALL BRACING. SEE GENERAL WOOD FRAMING NOTE #31 ON S1, UNLESS NOTED OTHERWISE BY THE HATCH OR DASHED LINE.

ATTACH KING STUD PLYS TOGETHER PER DETAIL 9 / S3.

N

FIRST FLOOR FRAMING PLAN

1/4" SCALE

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WULFF
FINE CUSTOM HOMES

913-226-0595 kirk@wulffbuilding.com

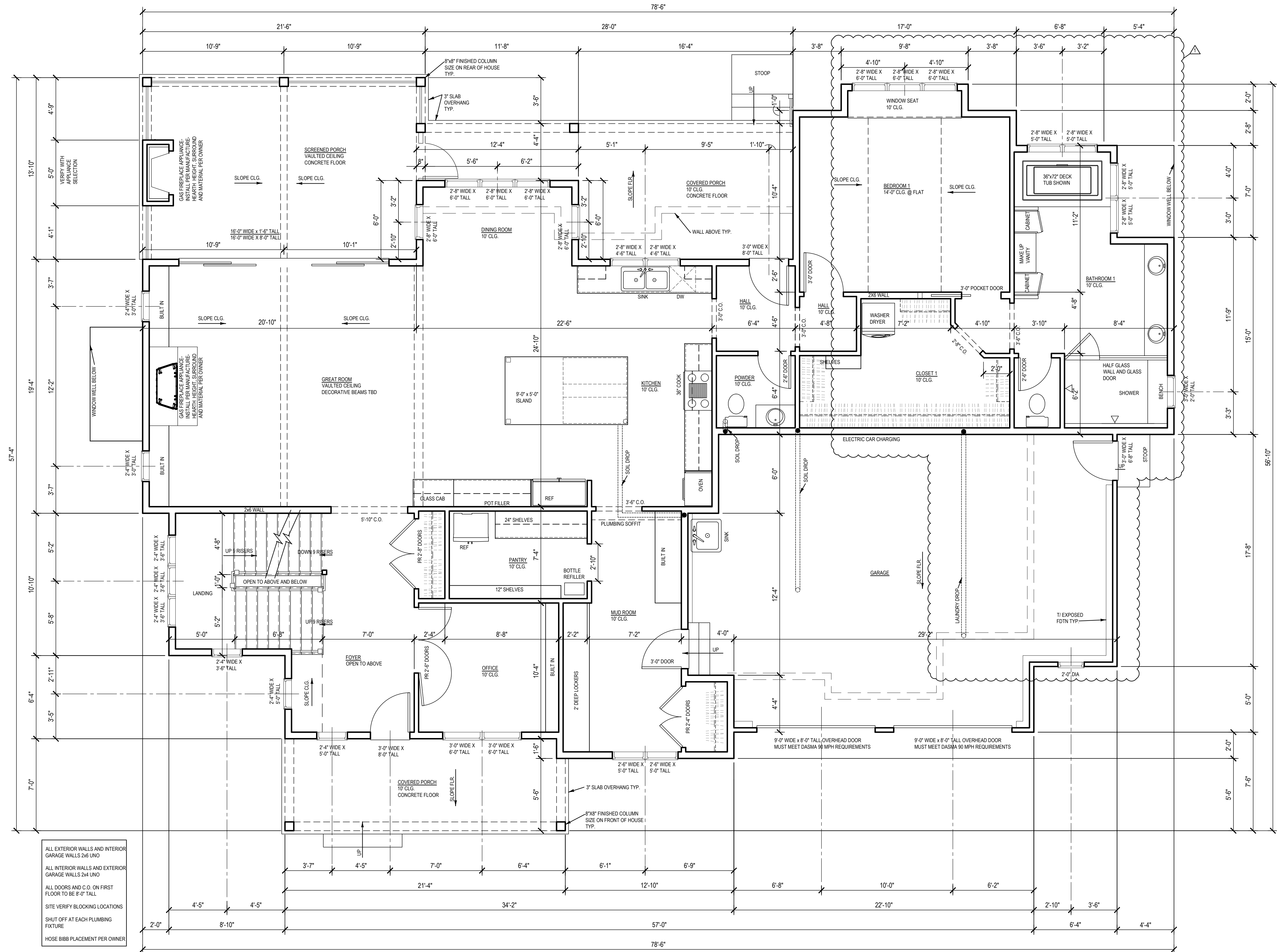
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NEW HOME
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WESTWOOD, KS

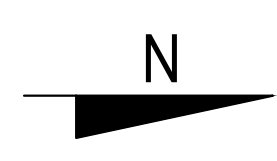
REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024

First Floor Framing Plan



ALL EXTERIOR WALLS AND INTERIOR GARAGE WALLS 2x6 UNID
 ALL INTERIOR WALLS AND EXTERIOR GARAGE WALLS 2x4 UNID
 ALL DOORS AND C.O. ON FIRST FLOOR TO BE 6'-0" TALL
 SITE VERIFY BLOCKING LOCATIONS SHUT OFF AT EACH PLUMBING FIXTURE
 HOSE BIBB PLACEMENT PER OWNER



FIRST FLOOR PLAN
 1/4"SCALE
 2,321 INTERIOR SF
 674 GARAGE SF
 150 FRONT PORCH SF
 294 REAR SCREENED PORCH SF
 224 REAR COVERED PORCH SF

Kara Carlson
 KaraCarchitect@gmail.com 913-908-8398

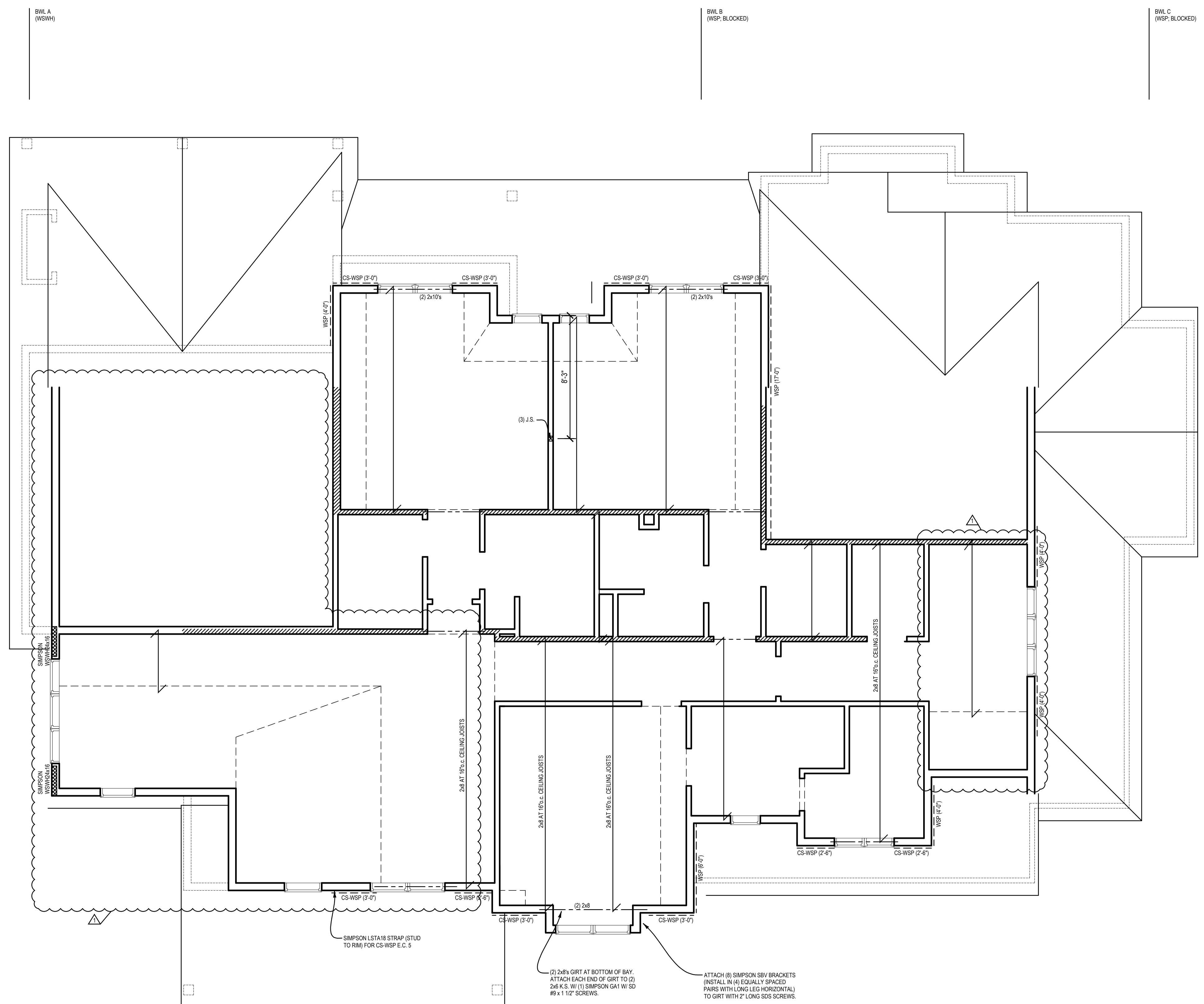
WULFF
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 913-226-0595 kirk@wulffbuilding.com

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NEW HOME
 KEI & KRISTIN KAMARA
 4810 BELINDER CT
 WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
First Floor Plan



BWL Z (CS-WSP, BLOCKED)

BWL 3 (CS-WSP)

2x6 AT 16" o.c. CEILING JOISTS (TYP. UNO)
 (2) 2x6's HEADER (TYP. UNO)
 INTERIOR BEARING WALL
 NOTE: FOR TYPICAL WALL BRACING, SEE GENERAL WOOD FRAMING NOTE #31 ON S1, UNLESS NOTED OTHERWISE BY THE HATCH OR DASHED LINE.
 ATTACH KING STUD PLYS TOGETHER PER DETAIL 9 / S3.

N
SECOND FLOOR FRAMING PLAN
 1/4" SCALE

Kara Carlson
 KaraCarchitect@gmail.com 913-908-8398

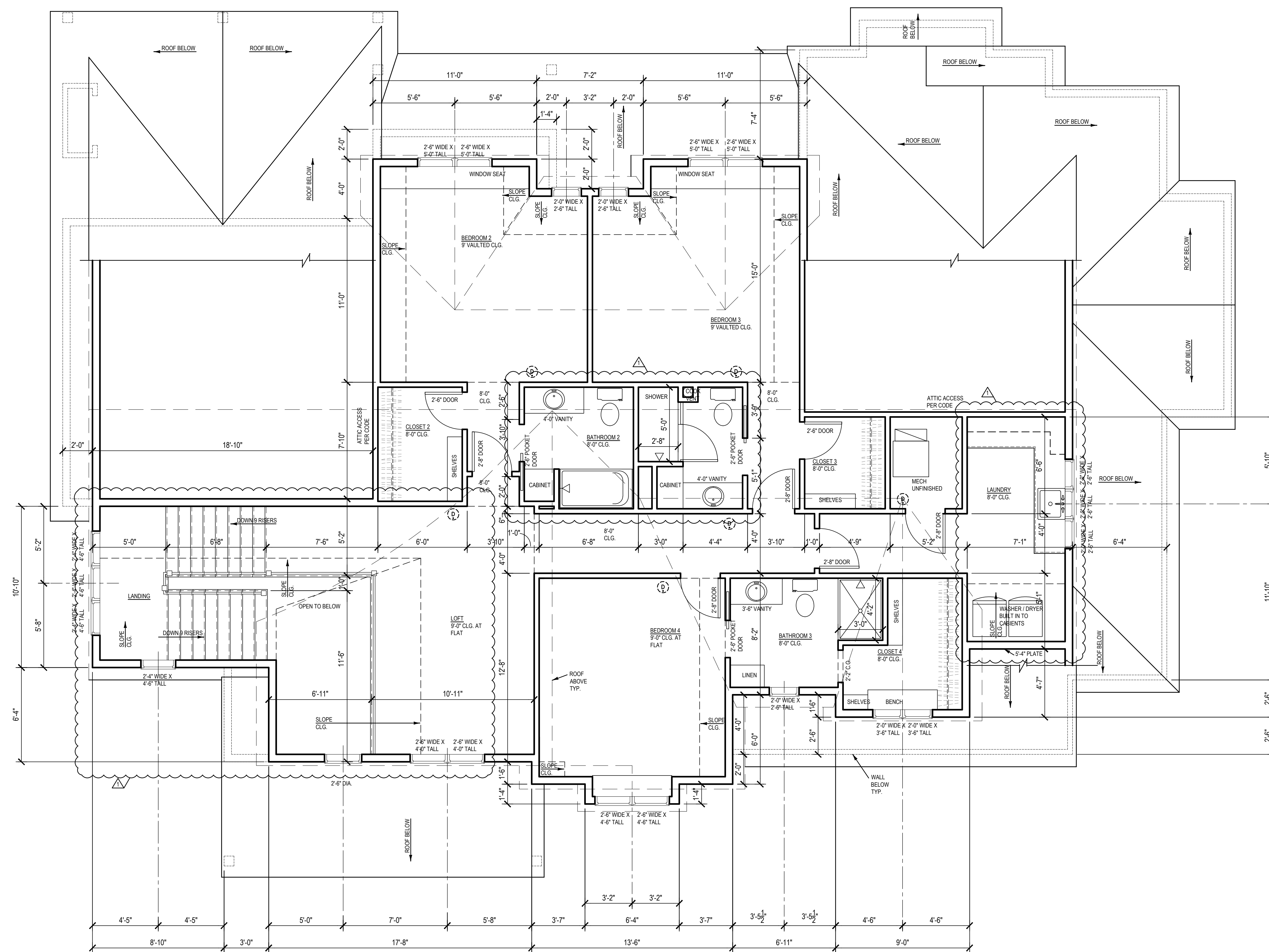
913-226-0595 kirk@wulffbuilding.com


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NEW HOME
KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
Second Floor Framing Plan




SECOND FLOOR PLAN
 1/4"SCALE
 1,483 FINISHED SF

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 KaraCarchitect@gmail.com 913-908-8398

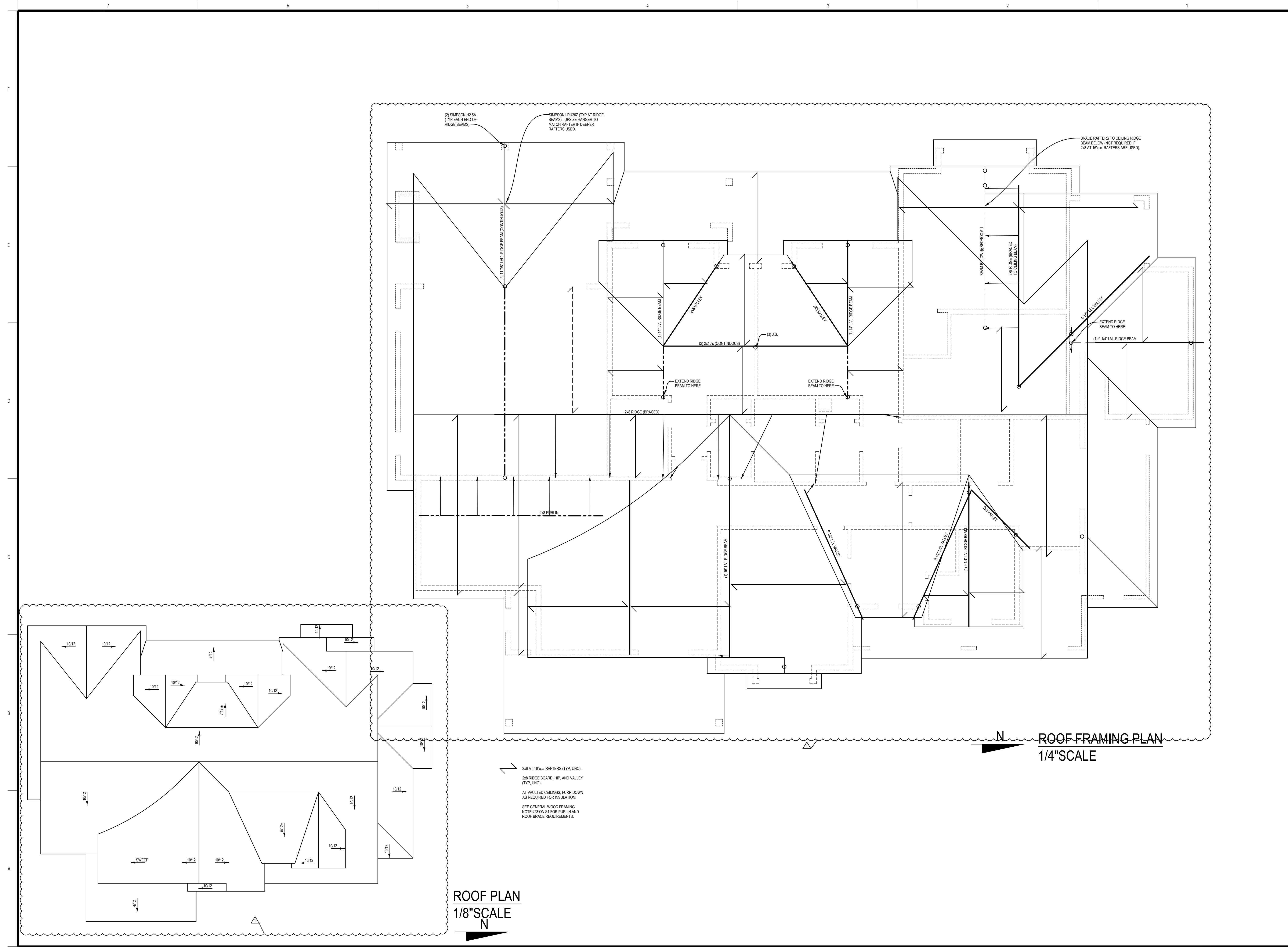


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NEW HOME
KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
Second Floor Plan



ROOF PLAN
1/8" SCALE

ROOF FRAMING PLAN
1/4" SCALE

2x6 AT 16" o.c. RAFTERS (TYP. UNO).
2x6 RIDGE BOARD, HIP, AND VALLEY
(TYP. UNO).
AT VALUED CEILINGS, FURR DOWN
AS REQUIRED FOR INSULATION.
SEE GENERAL WOOD FRAMING
NOTE #23 ON S1 FOR PURLIN AND
ROOF BRACE REQUIREMENTS.

Kara Carlson
KaraCarchitect@gmail.com 913-908-8398

WULFF
FINE CUSTOM HOMES
913-226-0595 kirk@wulffbuilding.com

NOTICE DUTY OF COOPERATION
Release of these plans requires further cooperation among the owner, the contractor, and the designer. Design and construction are complex. Although the designer and their consultants have performed their services with due care and diligence, they can not guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the designer. A failure to cooperate by a simple notice to the designer shall relieve the designer from responsibility for all consequences. Changes made from the plan without the consent of the designer are unauthorized, and shall relieve the designer of responsibility for all consequences arising out of such changes. Contractor shall check and verify all dimensions.

NEW HOME
KEI & KRISTIN KAMARA
4810 BELINDER CT
WESTWOOD, KS

REVISIONS	
DATE	DESCRIPTION
2-10-25	BEDROOM 1, BATHROOM 1, CLOSET 1, LAUNDRY, EAVES, ROOF, SECOND FLOOR BATH.

DATE: December 23, 2024
Roof Framing Plan and Roof Plan

ORDERED BY: WULFF BUILDING

PROPERTY ADDRESS: 4810 BELINDER Court

DESCRIPTION: Lot 1, KAMARA ESTATES, a subdivision of land in the city of Westwood, Johnson County, Kansas

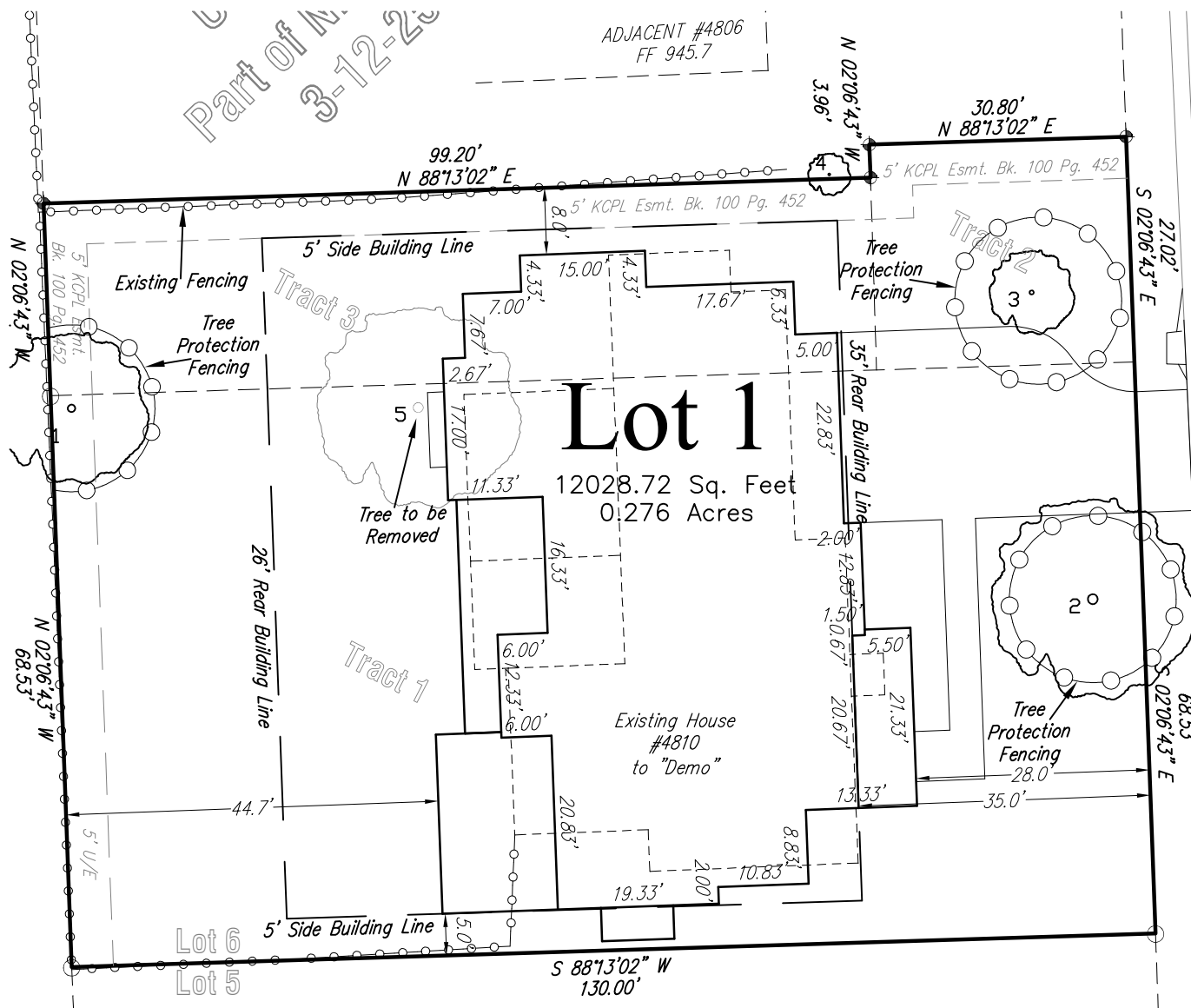
LAND SURVEY Item B, Section III, Item
 A DIVISION OF MCGRAW ENTERPRISES, INC.
 C OF A LICENSE NO. LS-79
 Quality since 1959
 P.O. BOX 528, GRANDVIEW, MISSOURI 64030
 PHONE: (816) 966-0839 FAX: (816) 763-1761

Construction Stake Plot Plan

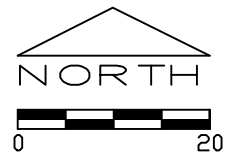
Tag	Trunk	Comment
1	36	HACKBERRY
2	48	DAK
3	20	BIRCH
4	10	HOLLY
5	48	MAPLE

PP = POWER POLE
 = FOUND 1/2" BAR ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
 = FOUND 3/8" BAR ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
 = FENCE

Area Calculations:
 Lot Area = 12,028.7 s.f.
 Existing Non Permeable = 2,639.5 s.f. = 21.9%
 Proposed Non Permeable = 4602.7 = 38.3%
 Front Yard Green space = 72.6%



Belinder Court
40' R/W
Existing Curbs



SCALE IN FEET
 Scale: 1" = 20'
 Date: 11/1/2021
 HS: 2/17/25
 Final:

Attention: This Plot Plan was prepared for use before and during foundation construction ONLY. This house is staked as shown on this drawing. The Contractor is to check and verify house dimensions and elevations at the job site. We are not responsible for unknown or unplatted easements of any kind unless we are furnished with the description of said easement prior to our field work being performed. Elevations shown hereon are for a guide only, and final elevations are the responsibility of the on-Site Contractor. Unless otherwise noted, THIS IS NOT AN AS-BUILT SURVEY and we can not guarantee the construction of anything shown on this "Plan." Boundary and Improvement Surveys and "As-Built" Grading Certifications serve the purpose of showing "Actual" construction.



February 11, 2025

Dear neighbor:

As a property owner within 200 feet of the property located at 4810 Belinder Ct. in Westwood, you are being notified of an application by Wulff Building & Additions on behalf of property owner Kei Kamara for a waiver from Westwood Zoning Ordinance Article No. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence on property located at 4810 Belinder Ct., Westwood, KS 66205.

This letter is to inform you that the Westwood Planning Commission will hold a public hearing for consideration of this application where the general public may provide comments on **Monday, March 3, 2025 at 7:00 PM** at Westwood City Hall, 4700 Rainbow Blvd., Westwood, KS 66205. The meeting will also be accessible virtually on Zoom. In addition to live oral comments, written comments may be submitted ahead of the public hearing to info@westwoodks.org and will be included in the public meeting record.

The meeting may be attended either in person at Westwood City Hall or virtually, by using the following instructions:

Online

<https://us02web.zoom.us/j/89009964959>

or

by Phone

(312) 626-6799

Webinar ID: 890 0996 4959

Additional information on this application is available at Westwood City Hall, 4700 Rainbow Boulevard or by contacting me, City Administrator, Leslie Herring by using the contact information below.

Kind regards,

Leslie Herring, City Administrator

913.942.2124

leslie.herring@westwoodks.org

The Legal Record

1701 E. Cedar St., Ste. 111
Olathe, KS 66062-1775
(913) 780-5790

ATTN: LESLIE HERRING
CITY OF WESTWOOD
4700 RAINBOW BLVD
WESTWOOD KS 66205-1831

First published in The Legal Record, Tuesday, February 11, 2025.
CITY OF WESTWOOD, KANSAS
NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Westwood, Kansas will hold a public hearing on Monday, March 3, 2025, at 7:00 PM at Westwood City Hall located at 4700 Rainbow Boulevard. Details for attending the meeting and speaking during the public hearing can be found at www.westwoodks.org or by calling 913-362-1550. Written comments may also be submitted ahead of the public hearing to info@westwoodks.org. The subject of the public hearing is:

WE 2025-01

An application of Wulff Building & Additions on behalf of property owner Kei Kamara for a waiver from Westwood Zoning Ordinance Article No. 4.3.2.G for a front setback encroachment greater than that allowed for a proposed new single-family residence on property located at 4810 Belinder Ct., Westwood, KS 66205.

/s/ Leslie Herring, City Administrator
2/11

Proof of Publication

STATE OF KANSAS, JOHNSON COUNTY, SS;
Maureen Gillespie, of lawful age, being first duly sworn, deposes and says that she is Legal Notices Clerk for The Legal Record which is a newspaper printed in the State of Kansas, published in and of general paid circulation on a weekly, monthly or yearly basis in Johnson County, Kansas, is not a trade, religious or fraternal publication, is published at least weekly fifty (50) times a year, has been so published continuously and uninterrupted in said County and State for a period of more than one year prior to the first publication of the notice attached, and has been entered at the post office as Periodicals Class mail matter. That a notice was published in all editions of the regular and entire issue for the following subject matter (also identified by the following case number, if any) for 1 consecutive week(s), as follows:

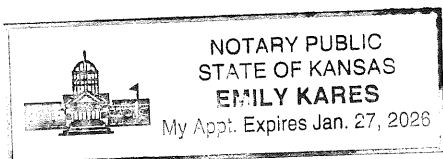
HEARING - WE 2025-01
2/11/25

Maureen Gillespie, Legal Notices Billing Clerk

Subscribed and sworn to before me on this date:

February 11, 2025

Notary Public



L22463
Publication Fees: \$21.46

WESTWOOD PLANNING COMMISSION

Staff Report
Meeting Date: March 3, 2025
Staff Contact: Leslie Herring, City Administrator

FP-2025-01 – Consider application of Wulff Building & Additions on behalf of property owner Kei Kamara to replat property at 4810 Belinder Ct., Westwood, KS 66205

OWNER OF RECORD: Kei Kamara

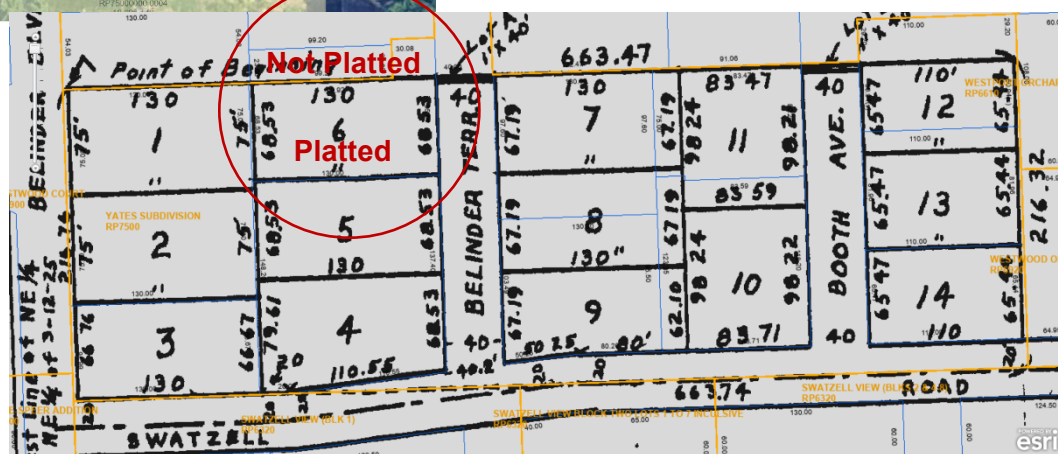
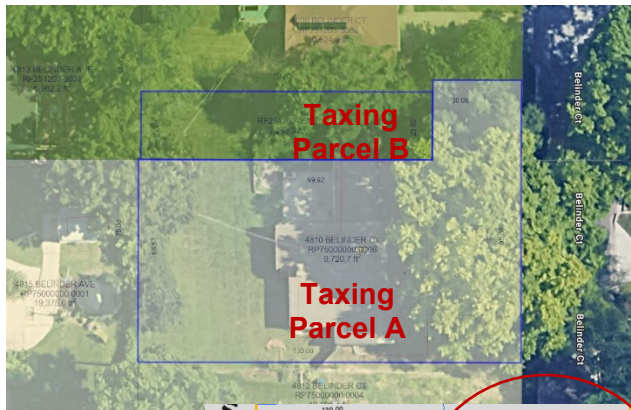
APPLICANT: Wulff Building & Additions on behalf of property owner Kei Kamara

LOCATION: The property is located at 4810 Belinder Ct. and is deeded as YATES SUBDIVISION LT 6 & BG 1080.57' S & 260' E NW CR OF 3-12-25 NE1/4 NE1/4 N 27.02' X W 30.08' .018 AC M/L

ZONING: The property is zoned R-1D

REQUESTED ACTION: Approval of a final plat to consolidate separate portions of the subject site to create one (1) parcel on which to construct a new detached single-family dwelling.

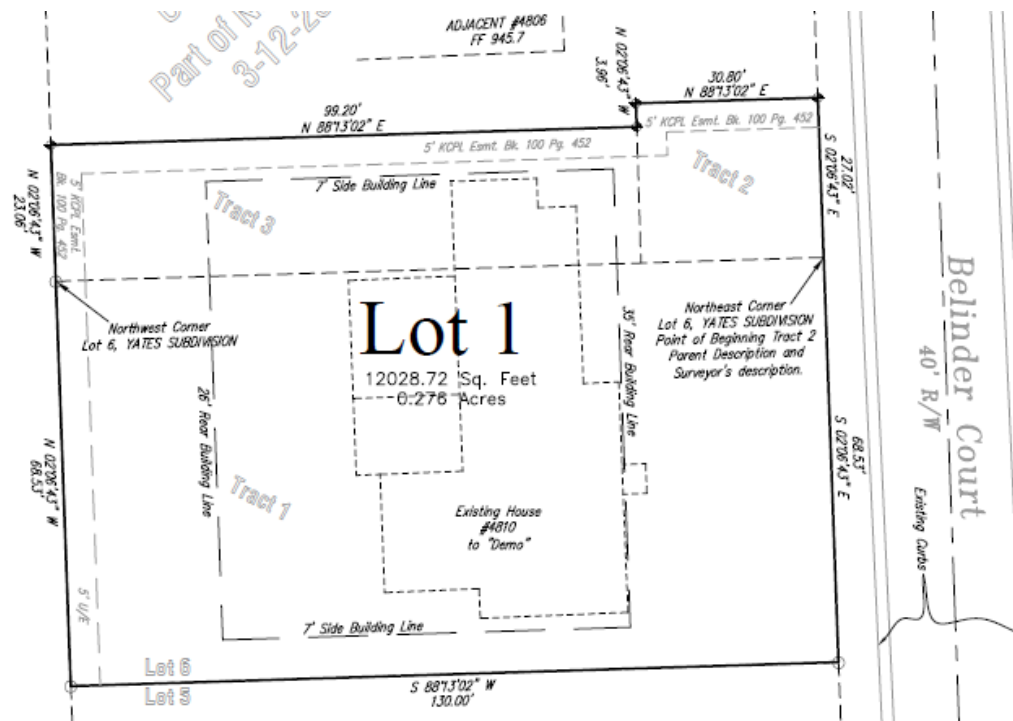
EXISTING CONDITIONS: The subject property is comprised of two parcels and a total of three tracts of land. The two parcels are taxed separately. A majority of the larger, southern parcel is platted, while the northern portion of the site is unplatted.



REVIEW AND APPROVAL PROCESS:

Section 1.5 of the Westwood Zoning Ordinance specifies the procedures and requirements for the consideration of a final plat, which includes submission to the Planning Commission for review and approval and then submission to the Governing Body for acceptance/approval. Following approval by both the Planning Commission and Governing Body, the plat shall be recorded with the County Register of Deeds.

The submitted final plat creates one (1) lot on the subject property. The entirety of that proposed Lot 1 (shown below) is currently owned by Kei Kamara. No additional right-of-way nor public easements are being dedicated on the property.



STAFF ANALYSIS: Staff review of the application submittal concludes that the plat as submitted complies with applicable laws and requirements to be accepted by the City and recorded with Johnson County.

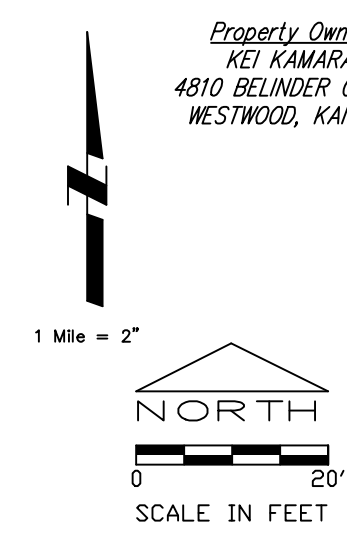
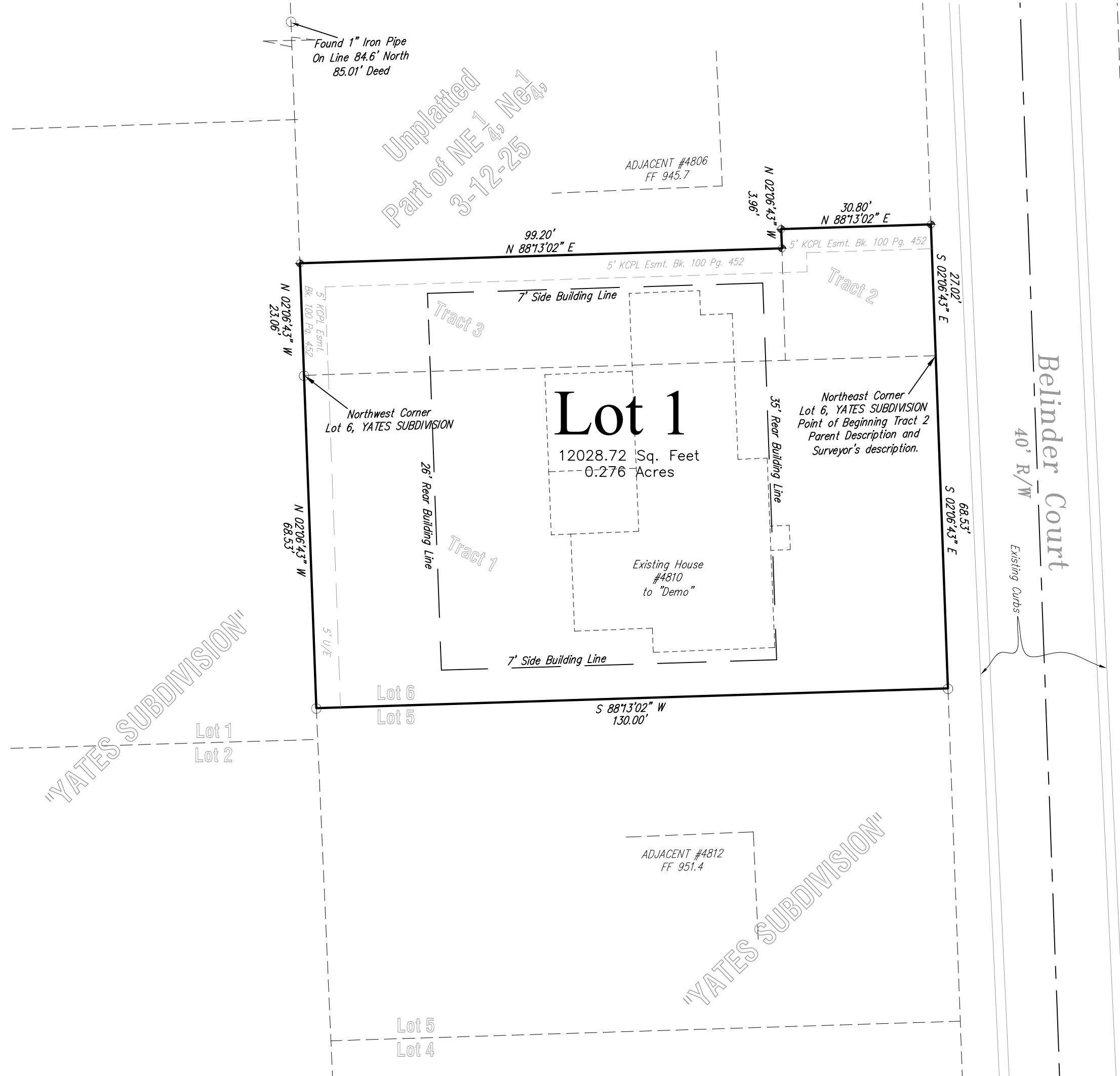
STAFF RECOMMENDATION: Staff recommends that the Planning Commission recommend this plat for approval by the City Council.

Suggested Motion

I move that submitted plat for 4810 Belinder Ct. be recommended for consideration of approval by the Westwood City Council.

Final Plat KAMARA ESTATE Lot 1

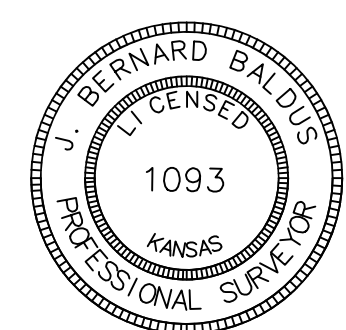
A SUBDIVISION OF LAND IN THE CITY OF WESTWOOD, JOHNSON COUNTY, KANSAS
A MERGER OF Lot 6, YATES SUBDIVISION AND PARTS OF
THE NE 1/4 of Section 3, T12S, R25E



Property Owner:
KEI KAMARA
4810 BELINDER COURT
WESTWOOD, KANSAS

- LEGEND:**
- DENOTES 1/2" REBAR FOUND ORIGIN UNKNOWN (Unless Otherwise Noted)
 - ⊕ DENOTES 1/2" REBAR SET CAP # 1093
 - B.L. DENOTES BUILDING LINE
 - U/E DENOTES UTILITY EASEMENT
 - SS/E DENOTES SANITARY SEWER EASEMENT
 - D/E DENOTES DRAINAGE EASEMENT
 - P PLATTED DISTANCE
 - M MEASURED DISTANCE

Note:
This Property is NOT in the 100 Year
Floodplain Per FEMA Map 20091C0010G
Dated 8/3/2009



Date: 1/15/25

ORDERED BY: Kei Kamara
PROPERTY ADDRESS: 4810 Belinder Court
DESCRIPTION: (Per Fidelity National Title Commitment No.; KC-R31108049)

Tract 1:
Lot 6, YATES SUBDIVISION, a subdivision in the City of Westwood, Johnson County, Kansas, according to the recorded plat thereof.

Tract 2:
Beginning at a point 1080.57 feet South and 260 feet East of the Northwest corner of the Northeast 1/4 of the Northeast 1/4 of Section 3, Township 12, Range 25, said point being the Northeast corner of Lot 6, YATES SUBDIVISION; thence North along the West line of Belinder Court 27.02 feet, thence West 30.8 feet; thence South 27.02 feet to the North line of Lot 6; thence East 30.8 feet to the point of beginning, in the City of Westwood, Johnson County, Kansas, subject to any part thereof in streets, roads or public rights-of-way.

Tract 3:
The South 23.06 feet of the East 99.20 feet of the following described tract: Beginning at a point 1080.57 feet South of the Northwest corner of the Northeast 1/4 of the Northeast 1/4 of Section 3, Township 12, Range 25; thence East 229.20 feet; thence North 54.03 feet; thence West 229.20 feet; thence South 54.03 feet to a point of beginning, in the City of Westwood, Johnson County, Kansas, subject to any part thereof in streets, roads or public rights-of-way. Containing 12,028.7 s.f. or 0.276 Acres.

Surveyors Description:
All of Lot 6, YATES SUBDIVISION and that part of the Northeast Quarter of Section 3, Township 12, Range 25 in The City of Westwood, Johnson County, Kansas, described as follows by J. Bernard Ballius, KSPS # 1093:
Beginning at the Northeast corner of said Lot 6, YATES SUBDIVISION, thence South 02'06"43" East, 68.53 feet, to the Southeast corner of said Lot 6; thence South 88'13"02" West, along the South line of said Lot 6, 130.00 feet, to the Southwest corner thereof; thence North 02'06"43" West, along the West line of said Lot 6, 68.53 feet, to the Northwest corner of said Lot; thence continuing North 02'06"43" West, 23.06 feet; thence North 88'13"02" East, 99.20 feet; thence North 02'06"43" West, 3.96 feet; thence North 88'13"02" East, 30.80 feet; thence South 54.03 feet to the North line of Lot 6; thence South 02'06"43" East, 27.02 feet, to the point of beginning, having an area of 12028.72 square feet, 0.276 acres +/-

Closure Precision 1:2,289,913
Warranty Deed Book 201809 Page 004260

DEDICATION:
The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as "KAMARA ESTATE", a subdivision in the City of WESTWOOD, Johnson County, Kansas.
Any streets shown hereon no heretofore dedicated to public uses as street right of way are hereby so dedicated.
An easement or license to enter upon, construct and maintain or authorize the location, construction or maintenance and use of conduits for providing water, gas, cable, electric, sewers, and other utility services, including related facilities and appurtenances thereto, and drainage facilities, upon, under, over, and across those areas outlined and designated on this plat as "Utility Easement" or "U/E", is hereby granted to the City of Westwood, Kansas.
The undersigned proprietor of the above described land hereby agrees and consents that the Board of County Commissioners of Johnson County, Kansas and the City of Westwood, Johnson County, Kansas shall have the power to release such land proposed to be dedicated for streets and roads, or parts thereof, for public use from the lien and effect of any special assessments, and that the amount of the unpaid special assessments on such land dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated road or street.

EXECUTION:
IN TESTIMONY WHEREOF, the undersigned proprietor of the above described tract of land has caused this instrument to be executed this day of _____ 20____.
BY: KEI KAMARA

KEI KAMARA
STATE OF KANSAS)
COUNTY OF JOHNSON) SS
BE IT REMEMBERED, that on this _____ day of _____ 20____, before me, a Notary Public in and for said County and State, came KEI KAMARA who is personally known to me to be the same person who executed the foregoing instrument of writing and such person duly acknowledged the execution of the same to be the act and deed of same.
IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

Notary Public My Appointment Expires: _____

APPROVALS:
APPROVED BY, the PLANNING COMMISSION of the City of WESTWOOD, Johnson County, Kansas.
on this _____ day of _____ 20____.

CHAIRPERSON: SARAH PAGE
APPROVED BY, the GOVERNING BODY of the City of WESTWOOD, Johnson County, Kansas.
on this _____ day of _____ 20____.

DAVID WATERS, MAYOR ATTEST


ABBY SCHNEWEIS CITY CLERK

LOT AREA:
Lot 1 = 12,028.7 Sq.Ft.
0.276 Acres +/-

Closure Calculations:
Area: 12128.7 S.F., 0.276 Acres
Total Perimeter Distance: 451.1
Closure Error Distance: 0.00
Closure Precision: 1 in 999,999

LAND SURVEY COMPANY
A Division of Mgar Enterprises, Inc.
Certificate of Authority: KS, LS#79 - MO, #000224
Quality since 1959
P.O. BOX 528, GRANDVIEW, MISSOURI 64030
PHONE: (816) 966-0839 FAX: (816) 763-1761

Authorization of Agent / Proof of Ownership

	<p>City of Westwood 4700 Rainbow Blvd Westwood, Kansas 66205 913-362-1550 – Fax 913-362-3308 www.westwoodks.org</p>
---	--

Where an application has been filed by, or on behalf of, a landowner, an affidavit of ownership shall be submitted to the City. Further, where an application has been filed by an agent of a landowner, an affidavit of the landowner establishing the agent's authorization to act on behalf of the landowner shall also be submitted. This form shall be submitted to the City Clerk at the time of filing the application.

Scope of Project/Description of Work: New home rebuild

Project Location/Address: 4810 Belinder Ct, Westwood KS 66205

Agent's Name: Kirk Wulff / Wulff Building

Company: _____ **Fax:** _____

Mailing Address: _____

E-mail Address: Kirk@wulffbuilding.com

Property Owner's Name(s): Kristin & Kei Kamara **Phone:** (785) 760-1394

Company: _____ **Fax:** _____

Mailing Address: 4518 Tomahawk Rd Prairie Village KS 66208 United States

E-mail Address: kristinandkei@gmail.com

I declare under penalty of perjury that I am the owner for the address listed above and I personally completed the above information and certify its accuracy.

Signature of Owner: 

Date: 2-05-2025

Printed Name of Property Owner: KEI KAMARA

City of Westwood, Kansas Ownership Affidavit

State of Kansas)
) ss.
County of Johnson)

Comes now KEI KAMARA (owner) who being duly sworn upon their oath, does state that they are the owner of the property legally described as:

Yates Subdivision Lt 10 & Bq 1000.57's & 200'E NW Cr of NE 1/4 NE 1/4 N 27.02' x 30.00'
Single family home at 4810 Belinder Ct., Westwood, KS 66205

in the application for new house construction
(description of application)

and acknowledges that the submission of said application and agrees to bind the subject property in accordance with the plan submitted as part of the above application.

Dated this 5th day of February, 2025.

[Signature]
Signature of Owner
KEI KAMARA
Printed Name of Owner

Subscribed and sworn to before me this 5th day of February, 2025.

[Signature: Leslie Herring]
Notary Public
8/31/28
My Commission Expires

WESTWOOD BOARD OF ZONING APPEALS

Staff Report

Meeting Date: March 3, 2025

Staff Contact: Leslie Herring, City Administrator

BZA-2025-01 – Consider application of Sarah Brown, organizing member of property owner Iris Holding Company, LLC, for a variance from Westwood Zoning Ordinance Article No. 9.2.12 and 9.3.3.C to allow façade signage in excess of that allowable on property located at 4812 Rainbow Blvd., Westwood, KS 66205

BACKGROUND: Sarah Brown, organizing member of property owner Iris Holding Company, LLC has renovated a former fur retail space into Blair & Blythe, a home goods retailer. Exterior signage changes are part of this renovation.

Pursuant to Westwood Zoning Ordinance Article No. 9.2.1.C, sign permit applications are to be forwarded to the Planning Commission for review prior to permit issuance. As the desired signage package of the applicant does not conform with the Westwood Zoning Ordinance, a variance is required for City staff to issue the permit.

Role and Power of the Board of Zoning Appeals as Provided by State Statute

The granting of variances and exceptions from a city’s zoning regulations are explicitly covered in K.S.A. 12-759(e). That state statute allows the board of zoning appeals to,

authorize in specific cases a variance from the specific terms of the [zoning] regulations which will not be contrary to the public interest and where, due to special conditions, a literal enforcement of the provisions of the regulations, in an individual case, results in unnecessary hardship, and provided that the spirit of the regulations shall be observed, public safety and welfare secured, and substantial justice done.

OWNER OF RECORD: Iris Holding Company, LLC

APPLICANT: Sarah Brown, organizing member of property owner Iris Holding Company, LLC

LOCATION: The property is located at 4812 Rainbow Blvd., Westwood, KS, 66205

ZONING: C-1 Commercial – Mixed Use

PROPOSED PROJECT: Install (3) signs to the front/east facade of the building. These signs will say 'tabletop' (42.5"W x 8.25" H) 'Blair & Blythe' (185.5" W x 20"H) and 'interiors' (45.5" W x 6.5"). These signs will be 1" thick aluminum letters painted black, elevated off the face of the building 1" and backlit in the evening.

The signs will be installed in the middle of the two brick ledges, centered on the building. The brick ledges are 4" each and rest right above the installed awning and below the window ledges. The

installation space is 28" in height. The signage letters will be sitting between 6-8 inches above the installed awning.

The temporary signage that will be taken down when weather/temps allow will be the following: the left South side window decals of 'coming soon' and the large picture in the window. In the right North side window the large picture and the 'coming soon' decals.



EXTERIOR SIGN, BACK LIT / HALO LIT LETTERS
1" Aluminum Letters Painted (Color TBD)
Size: 392.5" x 20"
Quantity: 1
Stud Mount to Building Face

CONTENT DETAILS
Overall content size: 392.5" x 20"
Blair & Blythe: 185.5" x 20"
Tabletop: 42.5" x 8.25"
Interiors: 45.5" x 6.5"

INSTALLATION ADDRESS
4812 rainbow Blvd , Westwood, KS 66205
Product Number: 1
Proof Number: 2
Additional proofs after #2 are \$25 each

APPLICABLE CITY ZONING ORDINANCE PROVISIONS: The following zoning ordinance provisions are applicable to this variance request:

9.2.12 Wall Signs

A. Any wall sign:

1. Shall not project or extend more than twelve inches from the face of the wall surface, or eighteen inches above the awning, provided that the awning is at least a minimum of eighteen inches below the parapet.
2. Shall not exceed twenty square feet in area.
3. Shall not extend above, below or beyond the wall surface on which mounted.
4. Must be placed only on flat wall areas where the sign touches the wall surface continuously on all sides.

9.3.3 Retail and Business Districts; CP-1, C-1, P-1

The following signs shall be permitted in retail and business districts:

- C. In addition to the monument sign(s), each business or commercial establishment shall be permitted one non-illuminated, illuminated channel cut letter, or indirectly illuminated wall, projecting, or awning sign. The total area of each sign shall not exceed 10 percent of the area of the business facade on which it is placed, and the facade must be continuous with the tenant's gross leasable floor area. Business establishments having frontage on more than one dedicated public street may have the aforementioned wall or awning sign on each frontage.

ZONING ORDINANCE VARIANCE REQUEST: A variance from both Section 9.2.12 and 9.3.3.C are required to allow installation of the "Blair & Blythe" channel cut letters, which constitute the one (1) allowed façade sign and exceed the 20 sqf. maximum allowable size by 5'9" as well as the smaller signage outside of the "Blair & Blythe" channel cut letters, which result in more than one (1) façade sign on the east façade of the building.

VARIANCE CRITERIA: Pursuant to K.S.A. 12-759(e), a request for a variance may be granted in such case upon a finding by the board [of zoning appeals] that the following conditions have been met:

- (A) That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant;
- (B) that the granting of the permit for the variance will not adversely affect the rights of adjacent property owners or residents;
- (C) that the strict application of the provisions of the zoning regulations of which variance is requested will constitute unnecessary hardship upon the property owner represented in the application;
- (D) that the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare; and
- (E) that granting the variance desired will not be opposed to the general spirit and intent of the zoning regulations.

STAFF COMMENTS: The Westwood Zoning Ordinance Section provides:

9.2.1.D

If the Building Official determines that the proposed sign is not in compliance with all requirements of this chapter or any other laws or any other ordinances of the City, the Building Official shall not issue the requested permit, and shall notify the applicant of such denial and the reason therefore within fourteen days of the application being completed and filed with the City.

9.2.1.F

Any applicant aggrieved by a decision of the Building Official shall be entitled to an appeal to have said decision reviewed by the Governing Body. Said appeal must be taken within thirty days of the decision from which an appeal is taken. The Governing Body shall hear such appeal at the earlier of its next regularly scheduled meeting or the passage of twenty days from the decision from which an appeal is taken.

The last non-conforming commercial sign considered by the Board of Zoning Appeals was in October 2020 for a façade sign at Midwest Transplant Network (1900 W. 47th Pl.). That sign application was considered by the Board of Zoning Appeals but may have been considered by that Body in error, as the Zoning Ordinance provides for an alternative avenue – administrative denial followed by Governing Body consideration, if appealed – for non-conforming signs, specifically.

To error on the side of consistency and to ensure proper due process is provided to permit applicants, this application has been published for public hearing as a variance before the Board of Zoning Appeals.

Staff analysis concludes that this application does not meet the strict criteria for a variance under Kansas State law, as evaluated below:

- (A) That the variance requested arises from such condition which is unique to the property in question and which is not ordinarily found in the same zone or district; and is not created by an action or actions of the property owner or the applicant;

Administrative review finds this condition is unmet.

- (B) that the granting of the permit for the variance will not adversely affect the rights of adjacent property owners or residents;

Administrative review finds this condition is met.

- (C) that the strict application of the provisions of the zoning regulations of which variance is requested will constitute unnecessary hardship upon the property owner represented in the application;

Administrative review finds this condition is unmet.

- (D) that the variance desired will not adversely affect the public health, safety, morals, order, convenience, prosperity, or general welfare; and

Administrative review finds this condition is met.

- (E) that granting the variance desired will not be opposed to the general spirit and intent of the zoning regulations.

Administrative review finds this condition is met.

STAFF RECOMMENDATION: Staff recommends that the Board of Zoning Appeals consider whether a variance is applicable in this situation and, if determined to be unapplicable, to take no action on the

application and allow City staff to proceed with processing the application through the provisions of Westwood Zoning Ordinance Nos. 9.2.1.D and, possibly, 9.2.1.F, if so desired by the applicant.

From: [Sarah Brown](#)
To: [Leslie Herring](#)
Subject: Exterior Signage Variance Request
Date: Monday, February 17, 2025 2:28:34 PM
Attachments: [Exterior Signage.pdf](#)
[Document_2025-02-17_142737.pdf](#)

Hi Leslie!

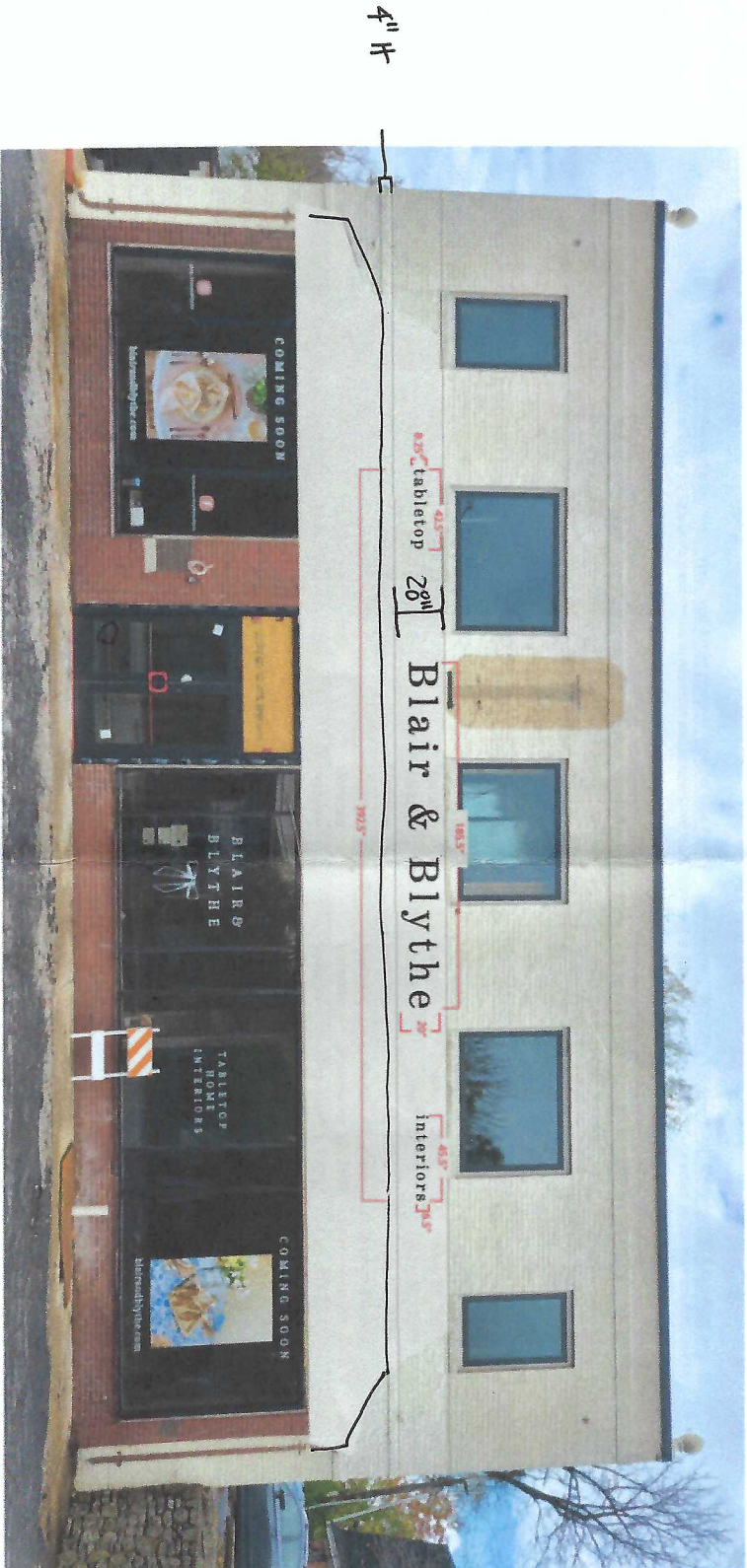
As per our conversation together, I put together in this email my request to the city for review and approval on requesting a variance on number of exterior wall signs.

As per the attached scanned document of signage details, I am request to install (3) signs to the front East wall of the building. These signs will say 'tabletop' (42.5"W x 8.25" H) 'Blair & Blythe' (185.5" W x 20"H) and 'interiors' (45.5" W x 6.5"). These signs will be 1" aluminum letters painted black, elevated off the face of the building 1" and backlit in the evening.

The signs will be installed in the middle of the two brick ledges, centered on the building. The brick ledges are 4" each and rest right above the installed awning and below the window ledges. The installation space is 28" in height. The signage letters will be sitting between 6-8 inches above the installed awning.

The temporary signage that will be taken down when weather/temps allow will be the following: the left South side window decals of 'coming soon' and the large picture in the window. In the right North side window the large picture and the 'coming soon' decals.

Please let me know if you need anything further for consideration. In addition, am I able to place one way signs on the front drive by the wall? I am not sure how prior owners have addressed traffic flow, but I don't want any accidents to happen when people are navigating that front drive in front of the building.



EXTERIOR SIGN, BACK LIT / HALO LIT LETTERS

1" Aluminum Letters Painted (Color TBD)

Size: 392.5" x 20"

Quantity: 1

Stud Mount to Building Face

CONTENT DETAILS

Overall content size: 392.5" x 20"

Blair & Blythe: 185.5" x 20"

Tabletop: 42.5" x 8.25"

Interiors: 45.5" x 6.5"

INSTALLATION ADDRESS

4812 rainbow Blvd , Westwood, KS 66205

Product Number: 1

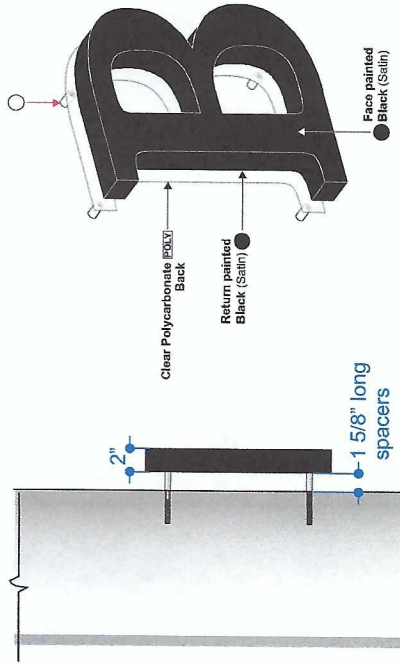
Proof Number: 2

Additional proofs after #2 are \$25 each

All designs shown here are the property of Kansas City Sign Company. Colors shown here, even those of color systems such as Pantone or Sherwin-Williams, are approximate and will differ from final product due to differences in digital appearance and print processes. Customer is responsible for verifying sizes, materials, spelling, color, and general accuracy. We only accept written approvals, so please do so using the customer portal or send us an email confirming your approval. **Once the proof is approved, the customer is financially responsible for any rework due to misspellings, incorrect size, incorrect layout, or color issues.**

MODIFIED - BOLDED FOR HALO LIT SPECIFICATIONS

Blair & Blythe



EXTERIOR SIGN, BACK LIT / HALO LIT LETTERS

2" Depth Halo Lit Letters Painted Satin Black (Blair & Blythe)

Size: 186.4375" x 20"

Quantity: 1

Stud Mount to Building Face

CONTENT DETAILS

Blair & Blythe: 186.4375" x 20"

Building Face Percentage: .16%

INSTALLATION ADDRESS

4812 rainbow Blvd, Westwood, KS 66205

Product Number: 1

Proof Number: F

Additional proofs after #2 are \$25 ea

Item A. Section II, Item

All designs shown here are the property of Kansas City Sign Company. Colors shown here, even those of color systems such as Pantone or Sherwin-Williams, are approximate and will differ from final product due to differences in digital appearance and print processes. Customer is responsible for verifying sizes, material spelling, color, and general accuracy. We only accept written approvals, so please do so using the customer portal or send us an email confirming your approval. **Once the proof is approved, the customer is financially responsible for any rework due to misspellings, incorrect size, incorrect layout, or color issues.**

The Legal Record

1701 E. Cedar St., Ste. 111
Olathe, KS 66062-1775
(913) 780-5790

ATTN: LESLIE HERRING
CITY OF WESTWOOD
4700 RAINBOW BLVD
WESTWOOD KS 66205-1831

First published in The Legal Record, Tuesday, February 11, 2025.
CITY OF WESTWOOD, KANSAS
NOTICE OF PUBLIC HEARING

The Board of Zoning Appeals of the City of Westwood, Kansas will hold a public hearing on Monday, March 3, 2025, at 7:00 PM at Westwood City Hall located at 4700 Rainbow Boulevard. Details for attending the meeting and speaking during the public hearing can be found at www.westwoodks.org or by calling 913-362-1550. Written comments may also be submitted ahead of the public hearing to info@westwoodks.org. The subject of the public hearing is:

BZA 2025-01

An application of Sarah Brown, organizing member of property owner Iris Holding Company, LLC, for a variance from Westwood Zoning Ordinance Article No. 9.2.12 and 9.3.3.C to allow façade signage in excess of that allowable on property located at 4812 Rainbow Blvd., Westwood, KS 66205.

/s/ Leslie Herring, City Administrator
2/11

Proof of Publication

STATE OF KANSAS, JOHNSON COUNTY, SS;
Maureen Gillespie, of lawful age, being first duly sworn, deposes and says that she is Legal Notices Clerk for The Legal Record which is a newspaper printed in the State of Kansas, published in and of general paid circulation on a weekly, monthly or yearly basis in Johnson County, Kansas, is not a trade, religious or fraternal publication, is published at least weekly fifty (50) times a year, has been so published continuously and uninterrupted in said County and State for a period of more than one year prior to the first publication of the notice attached, and has been entered at the post office as Periodicals Class mail matter. That a notice was published in all editions of the regular and entire issue for the following subject matter (also identified by the following case number, if any) for 1 consecutive week(s), as follows:

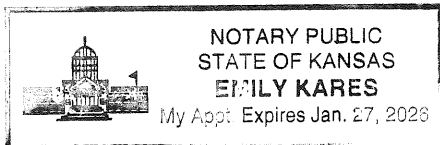
HEARING - BZA 2025-01
2/11/25

Maureen Gillespie, Legal Notices Billing Clerk

Subscribed and sworn to before me on this date:

February 11, 2025

Notary Public



L22461
Publication Fees: \$21.46



February 11, 2025

Dear neighbor:

As a property owner outside the jurisdictional boundaries of Westwood but within 1,000 feet of the property located at 4812 Rainbow Blvd. in Westwood, you are being notified of an application by Sarah Brown, organizing member of property owner Iris Holding Company, LLC, for a variance from Westwood Zoning Ordinance Article No. 9.2.12 and 9.3.3.C to allow façade signage in excess of that allowable on commercially zoned property located at 4812 Rainbow Blvd., Westwood, KS 66205.

This letter is to inform you that the Westwood Board of Zoning Appeals will hold a public hearing for consideration of this application where the general public may provide comments on **Monday, March 3, 2025 at 7:00 PM** at Westwood City Hall, 4700 Rainbow Blvd., Westwood, KS 66205. The meeting will also be accessible virtually on Zoom. In addition to live oral comments, written comments may be submitted ahead of the public hearing to info@westwoodks.org and will be included in the public meeting record.

The meeting may be attended either in person at Westwood City Hall or virtually, by using the following instructions:

Online

<https://us02web.zoom.us/j/89009964959>

or

by Phone

(312) 626-6799

Webinar ID: 890 0996 4959

Additional information on this application is available at Westwood City Hall, 4700 Rainbow Boulevard or by contacting me, City Administrator, Leslie Herring by using the contact information below.

Kind regards,

Leslie Herring, City Administrator

913.942.2124

leslie.herring@westwoodks.org



February 11, 2025

Dear neighbor:

As a Westwood property owner within 200 feet of the property located at 4812 Rainbow Blvd. in Westwood, you are being notified of an application by Sarah Brown, organizing member of property owner Iris Holding Company, LLC, for a variance from Westwood Zoning Ordinance Article No. 9.2.12 and 9.3.3.C to allow façade signage in excess of that allowable on property located at 4812 Rainbow Blvd., Westwood, KS 66205.

This letter is to inform you that the Westwood Board of Zoning Appeals will hold a public hearing for consideration of this application where the general public may provide comments on **Monday, March 3, 2025 at 7:00 PM** at Westwood City Hall, 4700 Rainbow Blvd., Westwood, KS 66205. The meeting will also be accessible virtually on Zoom. In addition to live oral comments, written comments may be submitted ahead of the public hearing to info@westwoodks.org and will be included in the public meeting record.

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Additional information on this application is available at Westwood City Hall, 4700 Rainbow Boulevard or by contacting me, City Administrator, Leslie Herring by using the contact information below.

Kind regards,

Leslie Herring, City Administrator

913.942.2124

leslie.herring@westwoodks.org