



CITY OF WESTWOOD, KANSAS

PLANNING COMMISSION MEETING

4700 RAINBOW BLVD. WESTWOOD, KS 66205

Monday, July 10, 2023 at 7:00 PM

AGENDA

Welcome to your Westwood City Council meeting. This meeting may be attended remotely via Zoom:

Access Online: <https://us02web.zoom.us/j/89009964959>

Access by Phone: (312) 626-6799 / **Webinar ID:** 890 0996 4959

[Note: This agenda is subject to changes, additions, or deletions at the discretion of the Governing Body]

REGULAR MEETING AGENDA

I. CALL TO ORDER

II. APPROVAL OF THE AGENDA AND MEETING MINUTES

A. Consider approval of July 10, 2023 Planning Commission meeting agenda

B. Consider approval of May 1, 2023 Planning Commission meeting minutes

III. PUBLIC HEARINGS

A. Consider application of Dan Quigley on behalf of property owners Vaughn Ericson and Erika Brown, for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow the primary structure to have less than 60% of its front façade on the front build-to line for a proposed new single-family residence on property located at 2917 W. 47th Ter., Westwood, KS 66205

IV. PRESENTATIONS

A. Receive initial presentation on forthcoming applications for 50th & Rainbow Development from Karbank Holdings, LLC

V. OLD BUSINESS

VI. NEW BUSINESS

A. Conduct annual review of Planning Commission Bylaws

VII. ANNOUNCEMENTS/PLANNING COMMISSIONER COMMENTS

VIII. STAFF REPORTS

A. City Administrator Report (Leslie Herring)

- B. Public Works Director Report (John Sullivan)
- C. Codes Administrator/Building Official Report (Eddie McNeil)

IX. UPCOMING ITEMS

- A. FP-2023-01 - Consider application of Karbank Holdings, LLC on behalf of owner City of Westwood to replat property at 5000 and 5050 Rainbow Blvd.
- B. FP-2023-02 - Consider application of Karbank Holdings, LLC on behalf of owner Shawnee Mission School District to replat property at 2511 W. 50th St., et. al.
- C. RZ-2023-01 - Consider application of Karbank Holdings, LLC on behalf of owner City of Westwood, KS to rezone property at 5000 and 5050 Rainbow Blvd. from R-1 (Single-Family Residential) to PD (Planned Development)
- D. RZ-2023-02 - Consider application of Karbank Holdings, LLC on behalf of owner Shawnee Mission School District to rezone property at 2511 W. 50th St., et al. from R-1 (Single-Family Residential) to PD (Planned Development)
- E. PDP-2023-01 - Consider application of Karbank Holdings, LLC on behalf of owners Shawnee Mission School District and City of Westwood, KS, jointly, for approval of a preliminary development plan at 2511 W. 50th St., 5000 Rainbow. Blvd., and 5050 Rainbow Blvd.
- F. FDP-2023-01 - Consider application of Karbank Holdings, LLC on behalf of owners Shawnee Mission School District and City of Westwood, KS, jointly, for approval of a final development plan at 2511 W. 50th St., 5000 Rainbow. Blvd., and 5050 Rainbow Blvd.

X. ADJOURNMENT

UPCOMING MEETINGS

Regular meetings of the Westwood Planning Commission are held at 7:00 PM on the first Monday of each month. The next regular meeting of the Westwood Planning Commission will be held August 7, 2023, at 7:00 PM at Westwood City Hall or virtually, depending on current public health protocols in place. The City Calendar may be accessed at www.westwoodks.org. To receive further updates and communications, please see or sign up for the following:

Westwood Buzz Email: <https://bit.ly/3wA4DWx>

Facebook: [City of Westwood Kansas-Government](#)
[Westwood, KS Police Department](#)

**City of Westwood, Kansas
Planning Commission Meeting
4700 Rainbow Boulevard
May 1, 2023 – 7:00 PM**

Commissioners Present: Kevin Breer, Vice Chair – joined remotely via Zoom
Clay Fulghum
Ann Holliday
Samantha Kaiser
David Kelman
Mark Neibling
Sarah Page, Chair
Matt Prout
M. Scott Weaver

Commissioners Absent: None

Staff Present: Leslie Herring, City Administrator
Spencer Low, Planning Commission Attorney
John Sullivan, Public Works Director
Eddie McNeil, Codes Administrator/Building Official

Call to Order

Chair Page called the meeting to order at 7:00 PM on May 1, 2023.

Approval of Agenda and Meeting Minutes

Chair Page called for modifications or discussion of the April 3, 2023 meeting minutes. Commissioner Neibling moved to approve the minutes as presented. Commissioner Weaver seconded. Motion passed unanimously.

Public Hearings

WE-2023-01 – Application of Thomas Creal for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(J)(4) for a second story side yard setback on a proposed accessory structure on property located at 3006 W. 51st Terrace

Chair Page asked that City Administrator Herring provide the staff report. City Administrator Herring presented the report included in the meeting packet.

Chair Page invited the applicant to address the Planning Commission. Property owners Tom and Lesley Creal and architect Laura Bowers addressed the Planning Commission and provided context to support their application. They shared that their neighbors on either side have been informed about the project and are supportive of it.

Chair Page called for questions from the Planning Commission of the applicant. Chair Page asked for clarification about the existing driveway and whether it will be removed. Lesley Creal confirmed that the easternmost section of driveway running up to the house will be removed and returned to grass and the curb cut will remain at the acceptable width. Commissioner Kelman asked for clarification as to the Zoning Ordinance as it pertains to whether the second story needs to be stepped back two feet or

whether the entire structure being situated with the same side yard setback for both the first and second story meets the Zoning Ordinance. City Administrator Herring confirmed that the Zoning Ordinance no longer has the “step back” language with regard to the façade on the side, which language was removed with the February 2022 text amendment.

Commissioner Prout asked about the alignment of the driveway. Laura Bowers shared that the driveway is designed to minimize damage to existing trees and that an arborist had been called to assess the site and identify any possible disruptions. They feel confident that no trees will die and they will take steps during construction to protect the mature tree at the foot of the driveway.

Chair Page called for public comment on the application.

Mary Ann Moidl, 2904 W. 51st Ter. asked for clarification on the question at hand. Commissioner Kelman confirmed the question before the Planning Commission is whether a 5 foot side yard setback should be allowed when a 7 foot side yard setback is required.

No other public comment was heard. Chair Page closed the public comment portion of the meeting.

Chair Page called for discussion amongst the Planning Commission. Commissioners shared that they feel the proposed project furthers the objectives of the Planning Commission in neighborhood and home design.

Chair Page called for additional comments or a motion to be made.

Motion to approve a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(J)(4) for a second story side yard setback on a proposed accessory structure on property located at 3006 W. 51st Terrace made by Commissioner Kelman. Second by Commissioner Neibling. Motion passed unanimously.

WE-2023-02 – Application of Scott McCracken for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(C) to exceed total allowed lot coverage for the addition of a proposed accessory structure on property located at 2902 W. 51st Terrace

Chair Page asked that City Administrator Herring provide the staff report. City Administrator Herring presented the report included in the meeting packet. City Administrator Herring also noted that the incorrect notice area map was pasted into the staff report but assured the Planning Commission that the correct area was noticed by displaying the correct map on the screen.

Chair Page called for questions from the Planning Commission of staff. Commissioner Neibling asked for confirmation of the proposed ADU height. City Administrator Herring confirmed that height is shown on the plan at 18’.

Chair Page invited the applicant to address the Planning Commission. Property owner Scott McCracken addressed the Planning Commission and provided context to support his application.

Chair Page called for questions from the Planning Commission of the applicant. Commissioners asked clarifying questions about the elevations and materials. Chair Page asked for additional detail about the intended use of the ADU.

Chair Page called for public comment on the application.

Becky Beilharz, 2903 W. 51st Ter. shared via Zoom that she is concerned about parking during construction. She stated she has no issues with the proposed projects but is concerned about how City staff will ensure on-street parking availability for both construction crew members and residents and how traffic flow disruptions will be minimized when crews are working. Codes Administrator/Building Official Eddie McNeil stated that he will work with the contractors on that issue.

No other public comment was heard. Chair Page closed the public comment portion of the meeting.

Chair Page called for discussion amongst the Planning Commission. Chair Page disclosed that she lives directly behind the subject property and project.

There was some discussion about the footprint of the existing and proposed structures and whether or not the proposed foot print of the combined accessory structures would exceed the existing footprint of the primary structure. Scott McCracken stated that the primary structure is 2,000 sq ft. and that the existing accessory structure is 18' x 18' (324 sq ft) (plus 500' of which is the storage area/third garage planned for demolition, for a total of approximately 824 sq ft. of existing accessory structure. The applicant clarified that there is an additional approximately 200 sq ft along the rear of the structure) and that the proposed additional accessory structure is 500 sq ft. City Administrator Herring clarified that the [unchanging] footprint of the primary structure is 1,270 sq ft. and the proposed project – partial demolition of existing accessory structure and construction of additional, connected accessory structure – would result in 1,024 sq ft. of accessory structure(s) (which total accounts for the deduction for the breezeway based on the definition of lot coverage in the Zoning Ordinance). As such, the proposal if approved would result in a total accessory structure footprint of 200' – 300' less than the primary structure footprint.

Commissioner Neibling raised the issue that 4.3.5(G) provides that “no [accessory] structure may be more than sixteen feet, and one story, in height, except as provided in 4.3.6 Garages” but noted that the garage height of 18' is compliant and since the ADU is connected (and behind) the proposed garage, perhaps this provision could be argued not to apply to this particular case. City Attorney Spencer Low asked whether the Planning Commission is considering this one or two structures, to which Commissioner Neibling responded he considers it one structure.

Commissioner Kaiser stated that she is supportive of the proposal because this is a double lot; she noted it's almost like having one structure per lot if it were to be divided, that this is no denser than two separate houses on two separate lots.

Chair Page called for additional comments or a motion to be made. Commissioner Neibling stated (and Scott McCracken confirmed) that the site drains west. Commissioner Neibling stated that the proposed project – with pea gravel and stepping stones – should be designed to minimize/improve drainage from the accessory structures onto the neighboring property to the west.

Motion to approve a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.4(A) to reduce the required minimum rear yard setback of five feet to three feet for a proposed accessory structure on property located at 2902 W. 51st Terrace, Westwood, KS 66205 made by Commissioner Weaver. Second by Commissioner Fulghum. Motion passed unanimously.

Motion to approve a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.4(C) to exceed the maximum allowable footprint of all accessory structures on property located at 2902 W. 51st Terrace, Westwood, KS 66205. made by Commissioner Weaver. Second by Commissioner Neibling. Motion passed unanimously.

Presentations

Westwood Communities for All Ages Presentation

City Council President Jeff Harris presented the presentation he prepared and which was included in the meeting packet. He provided a summary of the task force composition, work, and findings and shared with the Planning Commission the plan for the Gold level – action phase – of the Communities for All Ages program.

Old Business

None.

New Business

Election of Planning Commission Officers (Chair, Vice-Chair, and Secretary)

Chair Page asked that City Administrator Herring provide the staff report. City Administrator Herring presented the report included in the meeting packet.

Motion made by Commissioner Breer to elect Commissioner Page as Chair. Commissioner Weaver seconded. Motion passed unanimously.

Motion made by Commissioner Kelman to elect Commissioner Breer as Vice-Chair. Commissioner Prout seconded. Motion passed unanimously.

Motion made by Commissioner Neibling to elect City Administrator Herring Secretary. Commissioner Breer seconded. Motion passed unanimously.

Announcements/Planning Commissioner Comments

Staff Reports

City Administrator Herring provided an update on the following items:

- 2024 Budget Process Timeline
- Karbank Development Proposal for 50th & Rainbow Blvd.
- Rainbow Blvd. Planning Sustainable Places Planning Status
- Mission Rd. Planning Status

Upcoming Items

None.

Adjournment

Motion by Commissioner Neibling to adjourn the meeting. Second by Commissioner Weaver. Motion passed unanimously. The meeting adjourned at 8:24 PM.

APPROVED: _____
Sarah Page, Chair

ATTEST: _____
Leslie Herring, Secretary

DRAFT

WESTWOOD PLANNING COMMISSION

Staff Report

Meeting Date: July 10, 2023

Staff Contact: Leslie Herring, City Administrator

WE-2023-03 – Application of builder Dan Quigley on behalf of property owners Vaughn Ericson and Erika Brown, for a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow the primary structure to have less than 60% of its front façade on the front build-to line for a proposed new single-family residence on property located at 2917 W. 47th Ter., Westwood, KS 66205

OWNER OF RECORD: Vaughn Ericson and Erika Brown

APPLICANT: Dan Quigley, Quigley Custom Homes, LLC

LOCATION: The property is deeded as MISSION CIRCLE LOT 14 WWC-0392

ZONING: The property is zoned R-1(B)

PROPOSED PROJECT: Construct a new single-family dwelling

REQUESTED ACTION: A waiver/exception from Article No. 4.3.2(D) of the Westwood Zoning Ordinance requiring primary structures to have at least 60% of the front façade on the front build-to line.

ZONING ORDINANCE PROVISIONS: The following zoning ordinance provisions are applicable to this variance request:

4.3.2 Single-Family Primary Structure Requirements

D. Primary structures shall have at least 60% of their front facade on the front yard build-to line.

ZONING ORDINANCE WAIVER & EXCEPTION: Pursuant to Ordinance No. 1000 passed by the Westwood Governing Body on March 14, 2019, the Westwood Zoning Code was amended to create a new Section 4.5 - Waivers & Exceptions to establish a new review and approval process as an alternative to consideration of a variance request by the Board of Zoning Appeals.

As provided for by Ordinance No. 1000, and in conformance with the Planning Commission's and Governing Body's intent to provide a process to consider waivers and exceptions from certain sections of Chapter 4 of the Westwood Zoning Ordinance, a waiver from Section 4.3.2(I) would need to be granted to allow the property owner to construct the home as proposed.

APPROVAL CRITERIA: Pursuant to Ordinance No. 1000, a waiver or exception shall not be approved if it is contrary to the public interest or unnecessarily burdens the City. The Approving Authority may approve the waiver or exception if the applicant demonstrates one (1) or more of the following:

1. An alternative higher quality development design is being proposed with no negative impacts to either near-by residential or nonresidential properties.
2. Relief of the development restrictions imposed on the property will ensure low impact land uses, and quality building and site design arrangements in which adjoining residential properties will not be negatively impacted by any deviations from the applicable regulations.
3. The granting of the wavier or exception will not be opposed to the general spirit and intent of the adopted Comprehensive Plan.

The waiver/exception is a condition of the underlying application for approval and has the same effect as any approval of that application. In such instances, findings shall be prepared that:

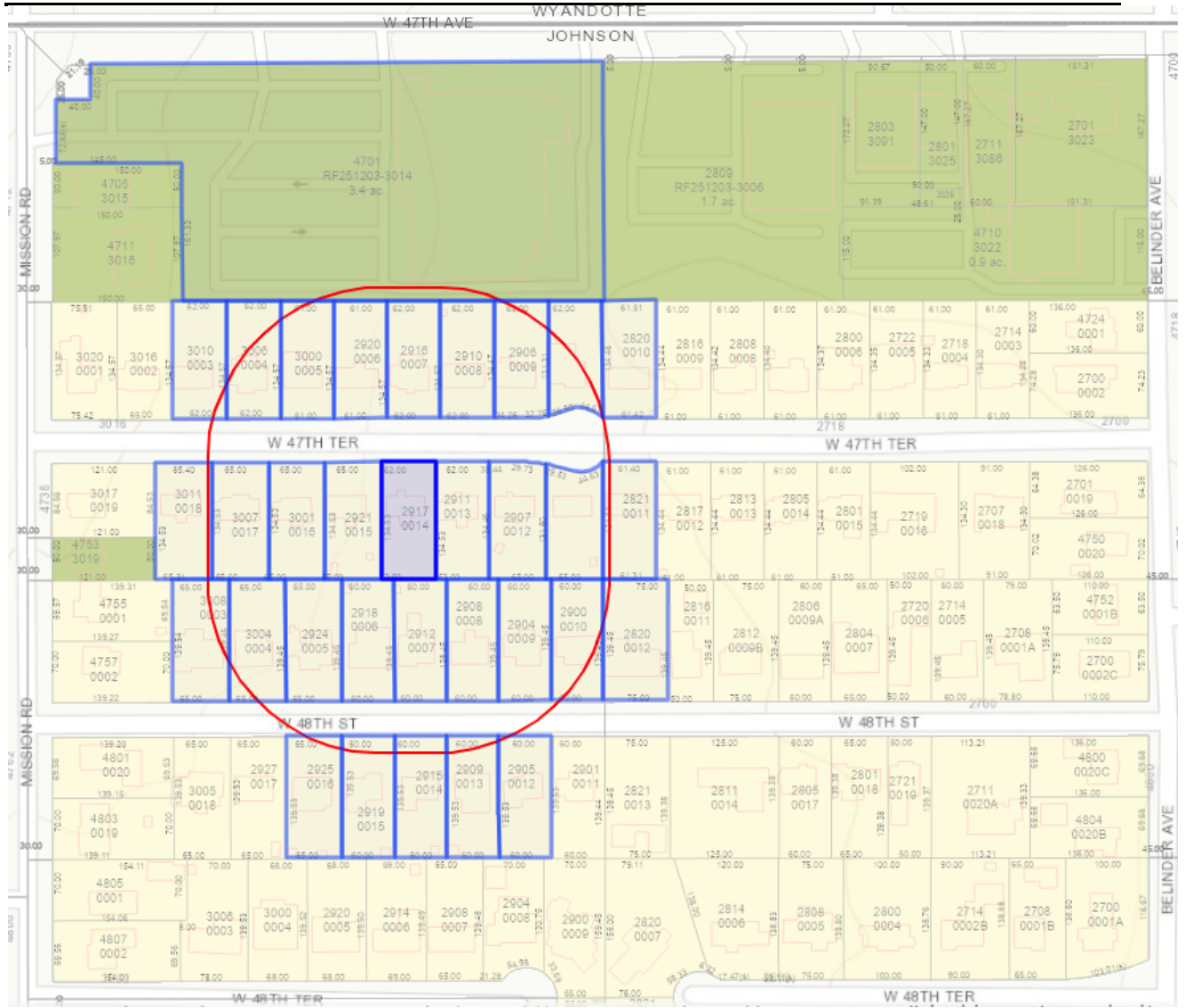
1. No private rights will be injured or endangered by granting of the waiver or exception.
2. The public will suffer no loss or inconvenience thereby and that in justice to the applicant or applicants the application should be granted.

STAFF ANALYSIS: Staff review of the application submittal concludes that all elements of the proposed single-family dwelling conform to the Westwood Zoning Ordinance except for the proposed 43% of the front façade of the primary structure being on the front build-to line.

STAFF RECOMMENDATION: The Planning Commission should review the application materials included in the meeting packet, should consider any public comment received¹, and should consider the applicant's presentation at the meeting to determine whether this application should be approved.

Suggested Motion I move to approve/deny/conditionally approve a waiver/exception from Westwood Zoning Ordinance Article No. 4.3.2(D) to reduce the required minimum 60% of the front facade to be on the front yard build-to line for a single-family residence on a property located at 2917 W 47th Terrace, Westwood, KS 66205.

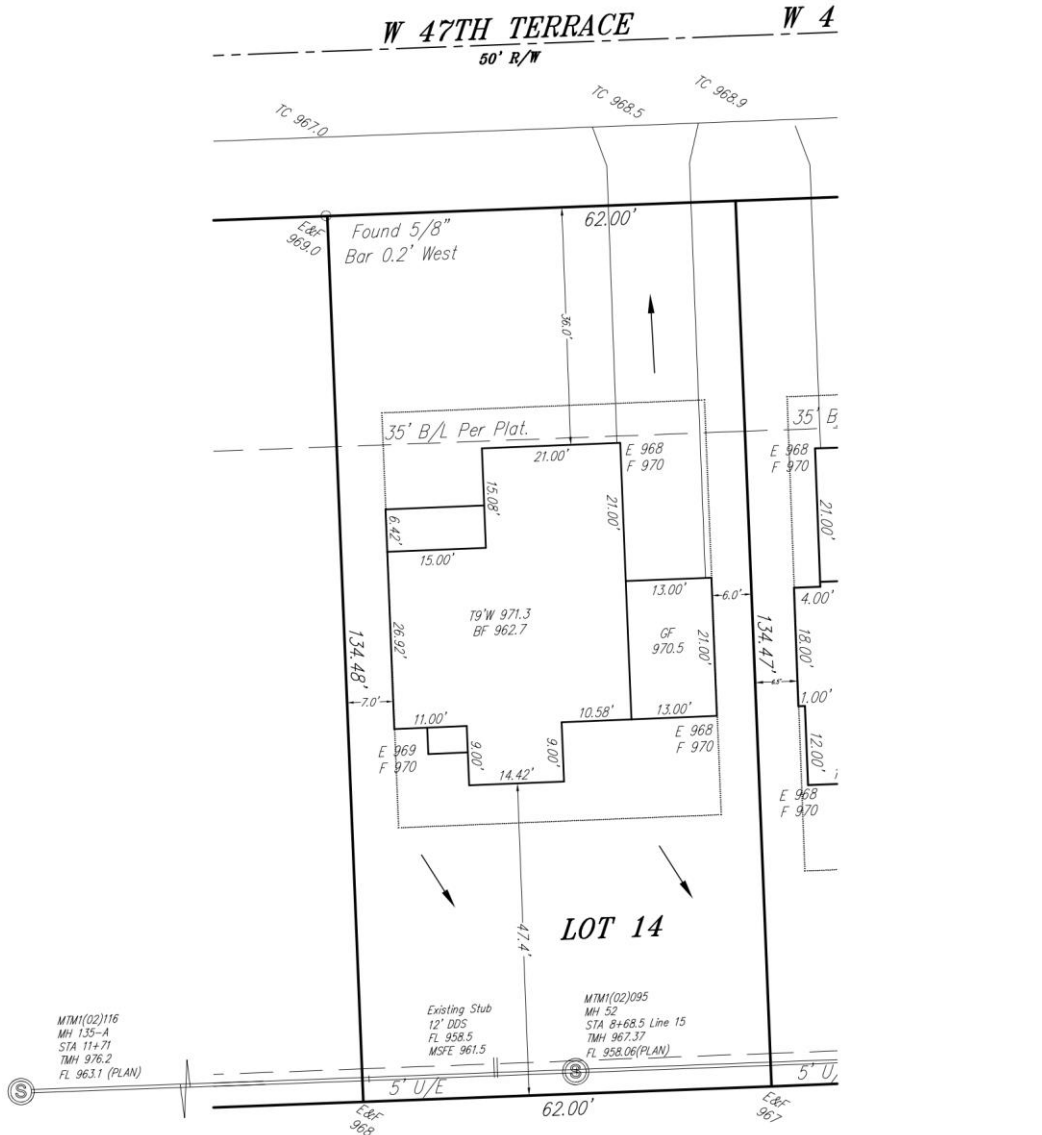
¹ Per Westwood zoning regulations, this public hearing was published at least 20 days prior and notice of the hearing was mailed to all property owners within 200' of the subject property, as shown in the map on the next page.



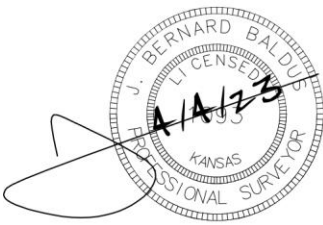
ORDERED BY: Quigley Custom Homes
 PROPERTY ADDRESS: 2917 W 47TH TERRACE
 DESCRIPTION: Lot 14, Mission Circle, a subdivision in
 the City of Westwood, Johnson County, Kansas.

LAND SURVEY COMPANY
 Quality since 1959
 P.O. BOX 528, GRANDVIEW, MISSOURI 64030
 PHONE: (816) 966-0839 FAX: (816) 763-1761
SITE PLAN

Area Calculations:
 Lot = 8,337.7 s.f.
 Proposed Non Permeable = 2,516 s.f. = 30.1%



Attention: This Plot Plan was prepared for use before and during foundation construction ONLY. This house is started as shown on this drawing. The Contractor is to check and verify house dimensions and elevations at the job site. We are not responsible for unknown or unplotted easements of any kind unless we are furnished with the description of said easement prior to our field work being performed. Elevations shown hereon are for a guide only, and final elevations are the responsibility of the on-site Contractor. Unless otherwise noted, THIS IS NOT AN AS-BUILT SURVEY and we can not guarantee the construction of anything shown on this "Plan." Boundary and Improvement Surveys and "As-Built" Grading Certifications serve the purpose of showing "Actual" construction.



NORTH

0 20'
 SCALE IN FEET
 Scale: 1" = 20'
 Date: 3/29/23
 Final:

(Westport Annex SPC)

STANDARD PORCH SLAB

PLAN IS IN COMPLIANCE WITH REQUIREMENTS OF SECTION 310 OF THE IRC FOR EMERGENCY EGRESS WINDOWS
 PLANS PROVIDE COMPLIANCE WITH THE REQUIREMENTS OF SECTION 306 OF THE IRC FOR SAFETY GLAZING WINDOWS HAVE FALL PROTECTION PER IRC 312.2
 PLANS ARE IN COMPLIANCE WITH THE PHYSICAL ORDINANCE IN THE WESTWOOD CODE.
 THIS HOUSE WILL BE PROVIDED WITH A CONCRETE ENCASED ELECTRODE (UFER) GROUND PER IRC SECTION 908.4
 CORNERS AND HEADERS SHALL BE INSULATED PER TABLE N1102.4.1.1
 SMOKE DETECTORS WILL BE PROVIDED PER 9014
 CARBON MONOXIDE DETECTORS WILL BE PROVIDED PER 9015.

ALL WORK SHALL CONFORM WITH THE 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF WESTWOOD, KS.
 FIRST FLOOR: 1965 SQ. FT.
 SECOND FLOOR: 1306 SQ. FT.
 SECOND FLOOR DECK: 254 SQ. FT.
 FRONT PORCH: 191 SQ. FT.

ERICSON RESIDENCE
 2917 W 47th TERRACE
 WESTWOOD, KANSAS

QUIGLEY CUSTOM HOMES

3559
 3-22-23
 PROFESSIONAL SEAL

PAGE 1
 PLAN 2-10-23
 ELEVATIONS SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE
 2917 W 47th TERRACE
 WESTWOOD, KANSAS

QUIGLEY CUSTOM HOMES

3559
 3-22-23
 PROFESSIONAL SEAL

PAGE 2
 PLAN 2-10-23
 ELEVATIONS SCALE: 1/4" = 1'-0"

Waivers & Exceptions Application

	<p>City of Westwood 4700 Rainbow Blvd Westwood, Kansas 66205 913-362-1550 www.westwoodks.org</p>
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Requested Waiver For: Request for Waiver from the 60% of building width at front building set back line.

General Location / Address of Subject Property: 2917 W. 47th Ter.

Legal Description: Mission Circle Lot 14 WWC-0392

Current Land Use: Residential

Zoning District: R-1(B)

Property Owner's Name(s): Vaughn Ericson Phone: 913-575-3495

Mailing Address: 2917 W 47th Ter Westwood KS, 66205

E-mail Address: ericsonv@bv.com

Applicant / Agent's Name: Dan Quigley

Company: Quigley Custom Homes, LLC Phone: 913-707-5789

Mailing Address: 9109 Fontana St. Prairie Village KS 66207

E-mail Address: dj.quigley@yahoo.com

A waiver or exception for the building design or site development standards is allowed from only the following Westwood Zoning Ordinance sections:

- 4.3.2 Single-Family Primary Structure Requirements;
- 4.3.6 Garages;
- 4.3.7 Building Standards;
- 4.3.8 Building Additions – Special Conditions; and
- 4.4 New Infill Houses – Special Considerations.

Fee: \$90.00

RECEIVED

MAY 16 2023

City of Westwood KS

List the specific Zoning Ordinance provisions that a waiver or exception is being requested from:

SECTION 4.3.2.D:

PRIMARY STRUCTURES SHALL HAVE AT LEAST 60% OF THEIR FRONT FACADE ON THE FRONT YARD BUILD-TO LINE.

A waiver or exception shall not be approved if it is contrary to the public interest or unnecessarily burdens the City of Westwood. The following provisions are evaluated before a waiver or exception can be granted.

Respond to each of the criteria as it pertains to the request.

- A. An alternative higher quality development design in being proposed with no negative impacts to either near-by residential or nonresidential properties.

The high quality single family residence design includes a side facing garage (approx 40%) and front entry that is 8' back from garage would meet the requirements.

- B. Relief of the development restrictions imposed on the property will ensure low impact land uses, and quality building and site design arrangements in which adjoining residential properties will not be negatively impacted by any deviations from the applicable regulations.

The adjoining properties will not be negatively impacted by the subject property design with highly desirable lap siding and Architectural highlights like covered front porch and Gable Roof accents.

- C. The granting of the waiver or exception will not be opposed the general spirit and intent of the adopted Comprehensive Plan.

Granting the proposed waiver will not be opposed to the general spirit and intent of the adopted Comprehensive Plan as this Plan meets all other existing design guidelines and required setbacks.

Signature of Owner or Agent: David J. Dingley Date: 5-16-23

Note: Authorization of Agent must accompany any requests made by anyone other than the property owner(s).

Eddie McNeil

From: Ericson, Vaughn <EricsonV@bv.com> on behalf of Ericson, Vaughn
Sent: Tuesday, May 16, 2023 4:40 PM
To: eddie.mcneil@westwoodks.org
Cc: Dan Quigley
Subject: Westwood Waiver - 2917W47TER

Eddie,

I authorize Dan Quigley to apply for this waiver on my behalf, and any future waivers/permits required for the building and construction process. Let me know if you have any additional questions.

Thanks,

Vaughn Ericson
Business Analyst
Energy & Process Industries
Black & Veatch
D +1 913-458-6877 (CST)
E EricsonV@bv.com

Building a World of Difference.®

Please consider the environment before printing my email

Please note that the information and attachments in this email are intended for the exclusive use of the addressee and may contain confidential or privileged information. If you are not the intended recipient, please do not forward, copy or print the message or its attachments. Notify me at the above address, and delete this message and any attachments. Thank you.

City of Westwood

One- and Two-Family Dwelling Plan Review for Zoning Ordinance Compliance

Address: 2917 W 41TH TERRACE Zoning District: R-1(B)

Regulated Aspect of Structure	Code	As Submitted
Height (4.3.2.H)	35'	26'
Lot Coverage (4.3.2.C)	36% MAX.	12.4%
Lot Width Coverage at Front Yard Setback (4.3.2.D&J)	60% MIN.	42.9%
Eave Height Above First Floor (4.3.2.J)	22' MAX.	16'
Architectural Relief on Vertical Surfaces (4.3.2.E)	600 SF / 26 LF	OK
Front Setback Encroachment (4.3.2.G)	4'	0'
Front Yard Setback (4.3.2.J)	35'	36'
Side Yard Setback – 1 st Story (4.3.2.J)	5'	6'
Side Yard Setback - 2 nd Story (4.3.2.J)	7'	7'
Rear Yard Setback (4.3.2.J)	15'	41.4
Garage Front Wall (4.3.6.F)	4.3.6.F	OK

Notes:

ORDERED BY: Quigley Custom Homes

PROPERTY ADDRESS: 2917 W 47TH TERRACE

DESCRIPTION: Lot 14, Mission Circle, a subdivision in the City of Westwood, Johnson County, Kansas.

LAND SURVEY

Item A, Section III, Item

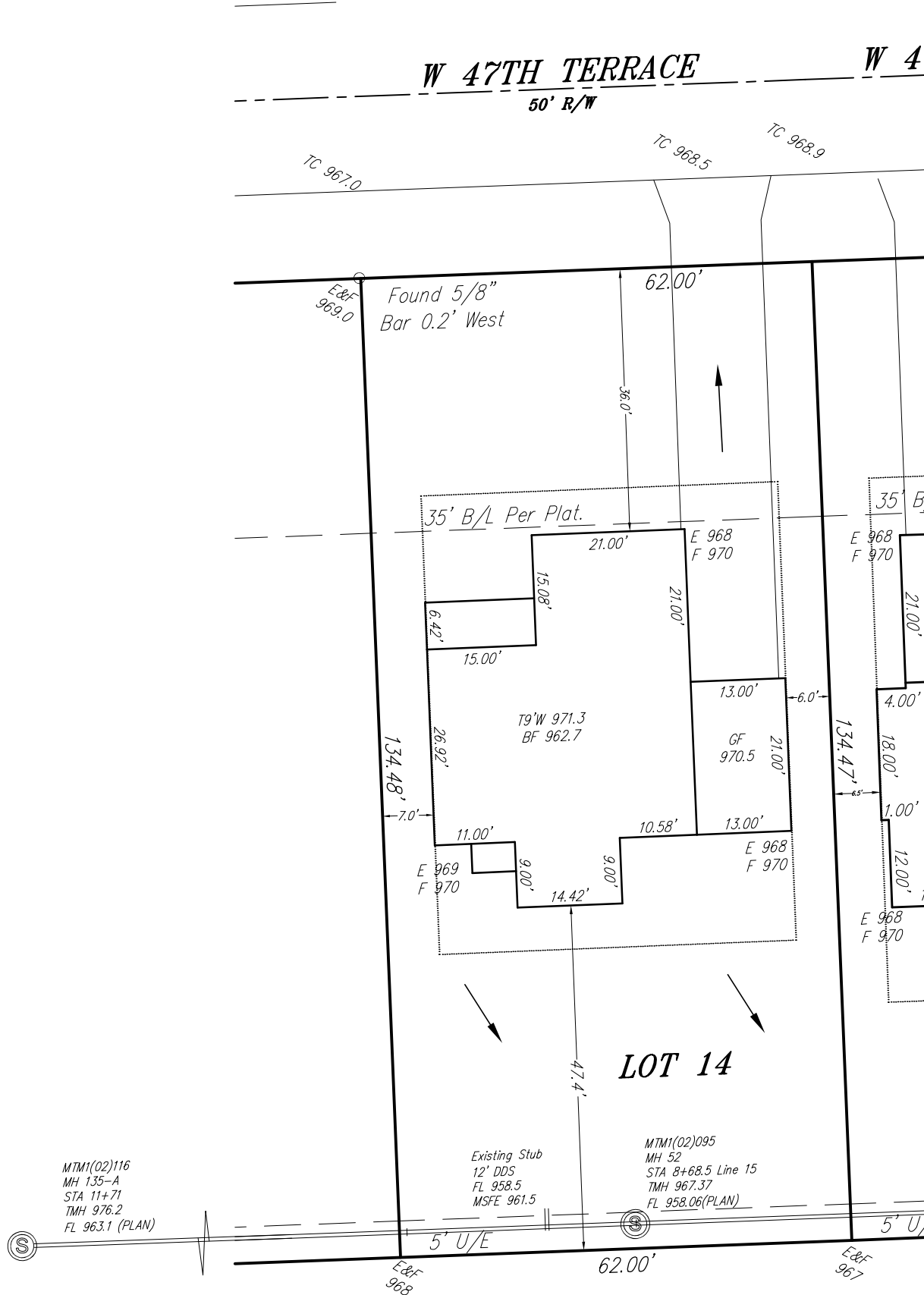
Quality since
P.O. BOX 528, GRANDVIEW, MISSOURI 64030
PHONE: (816) 966-0839 FAX: (816) 763-1761

SITE PLAN

Area Calculations:

Lot = 8,337.7 s.f.

Proposed Non Permeable = 2,516 s.f. = 30.1%

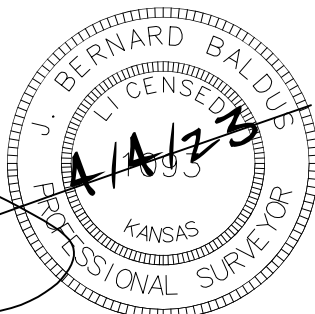


MTM1(02)116
MH 135-A
STA 11+71
TMH 976.2
FL 963.1 (PLAN)

Existing Stub
12' DDS
FL 958.5
MSFE 961.5

MTM1(02)095
MH 52
STA 8+68.5 Line 15
TMH 967.37
FL 958.06(PLAN)

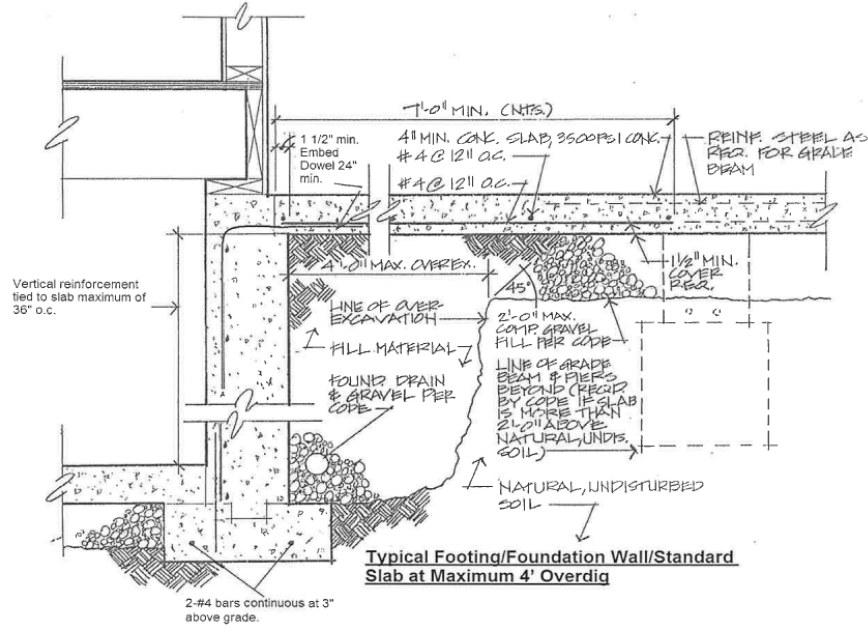
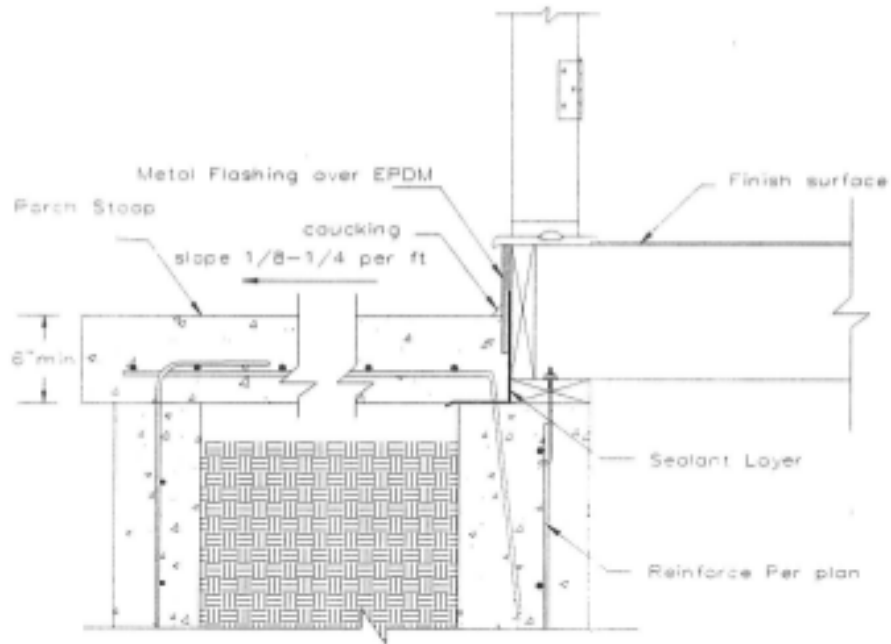
LOT 14



SCALE IN FEET
Scale: 1" = 20'
Date: 3/29/23
Final:

Attention: This Plot Plan was prepared for use before and during foundation construction ONLY. This house is staked as shown on this drawing. The Contractor is to check and verify house dimensions and elevations at the job site. We are not responsible for unknown or unplatted easements of any kind unless we are furnished with the description of said easement prior to our field work being performed. Elevations shown hereon are for a guide only, and final elevations are the responsibility of the on-Site Contractor. Unless otherwise noted, THIS IS NOT AN AS-BUILT SURVEY and we can not guarantee the construction of anything shown on this "Plan." Boundary and Improvement Surveys and "As-Built" Grading Certifications serve the purpose of showing "Actual" construction.

STANDARD PORCH SLAB

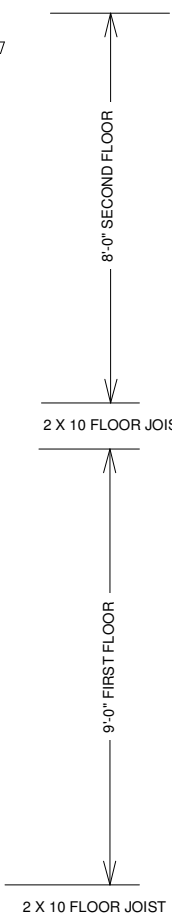


PLAN IS IN COMPLIANCE WITH REQUIREMENTS OF SECTION 310 OF THE IRC FOR EMERGENCY EGRESS WINDOWS
 PLANS PROVIDE COMPLIANCE WITH THE REQUIREMENTS OF SECTION 308 OF THE IRC FOR SAFETY GLAZING WINDOWS HAVE FALL PROTECTION PER IRC 312.2
 PLANS ARE IN COMPLIANCE WITH THE PHYSICAL ORDINANCE IN THE WESTWOOD CODE
 THIS HOUSE WILL BE PROVIDED WITH A CONCRETE ENCASED ELECTRODE (UFER) GROUND PER IRC SECTION 3608.1
 CORNERS AND HEADERS SHALL BE INSULATED PER TABLE N1102.4.1.1
 SMOKE DETECTORS WILL BE PROVIDED PER R314
 CARBON MONOXIDE DETECTORS WILL BE PROVIDED PER R315.



ALL WORK SHALL COMFORM WITH THE 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF WESTWOOD, KS.

FIRST FLOOR:	965 SQ. FT.
SECOND FLOOR:	1265 SQ. FT.
SECOND FLOOR DECK:	254 SQ. FT.
FRONT PORCH:	101 SQ. FT.



Item A, Section III, Item

These plans are drawn to comply with owner's and/or builder's design and specifications. The builder is solely responsible for the content and originality of these plans. Any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. The contractor is not liable for errors and omissions made on these plans. While every effort has been made to guarantee against human error, the contractor of the job shall check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
 ELECTRICAL SYSTEM CODE: SEC.2701
 MECHANICAL SYSTEM CODE: SEC.2801
 PLUMBING SYSTEM CODE: SEC.2901

PAGE

1

PLAN:

2-10-23

ELEVATIONS

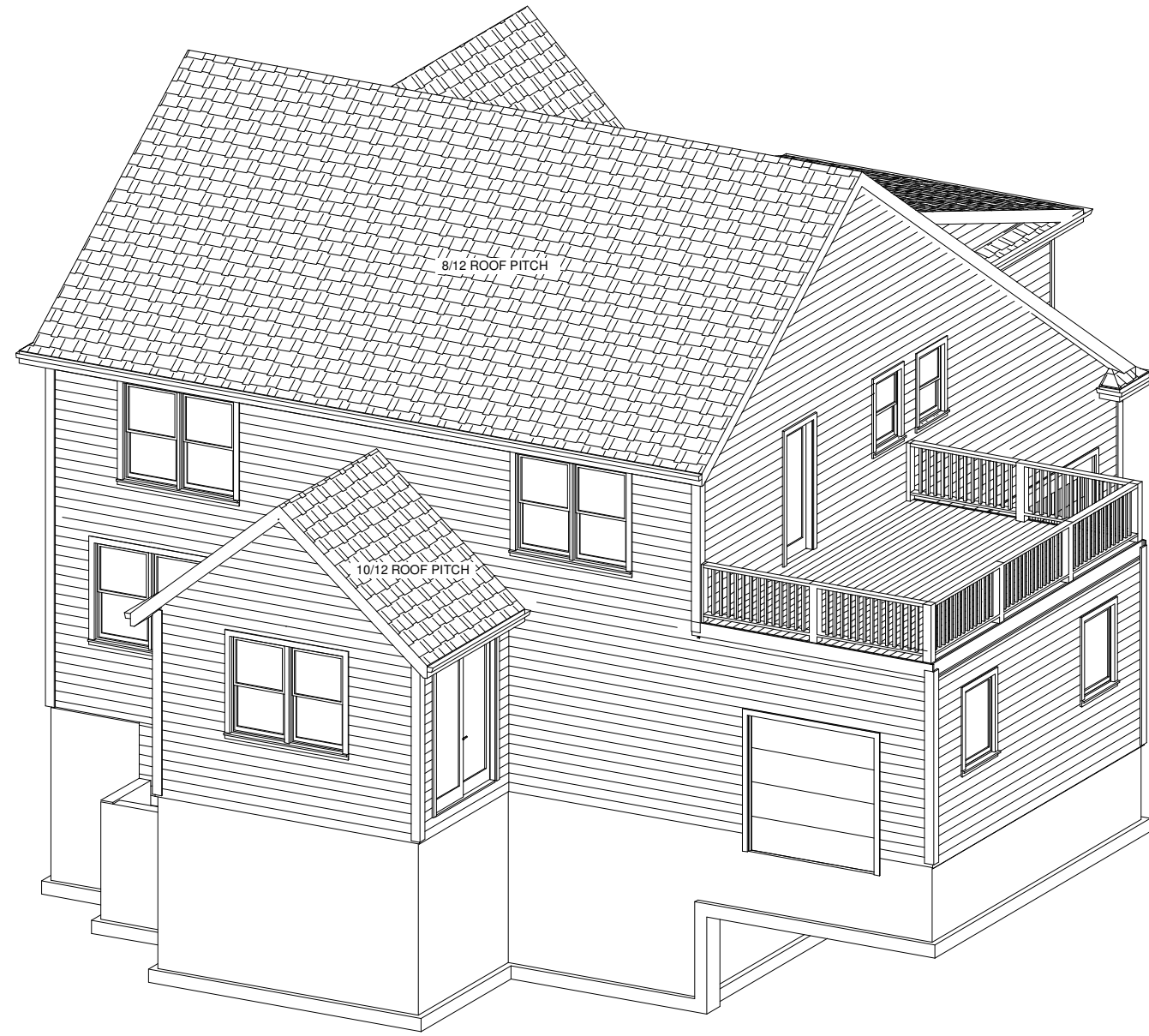
SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE

2917 W 47th TERRACE
WESTWOOD, KANSAS

QUIGLEY
CUSTOM HOMES

Sullivan Palmer
architects



BACK



RIGHT SIDE



LEFT SIDE



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BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS. AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
ELECTRICAL SYSTEM CODE: SEC.2701
MECHANICAL SYSTEM CODE: SEC.2801
PLUMBING SYSTEM CODE: SEC.2901

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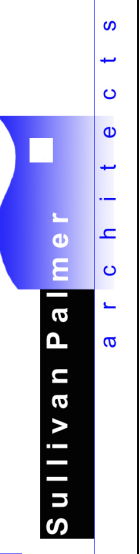
PLAN: 2-10-23

ELEVATIONS

SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE
2917 W 47th TERRACE
WESTWOOD, KANSAS

QUIGLEY
CUSTOM HOMES





Item A, Section III, Item
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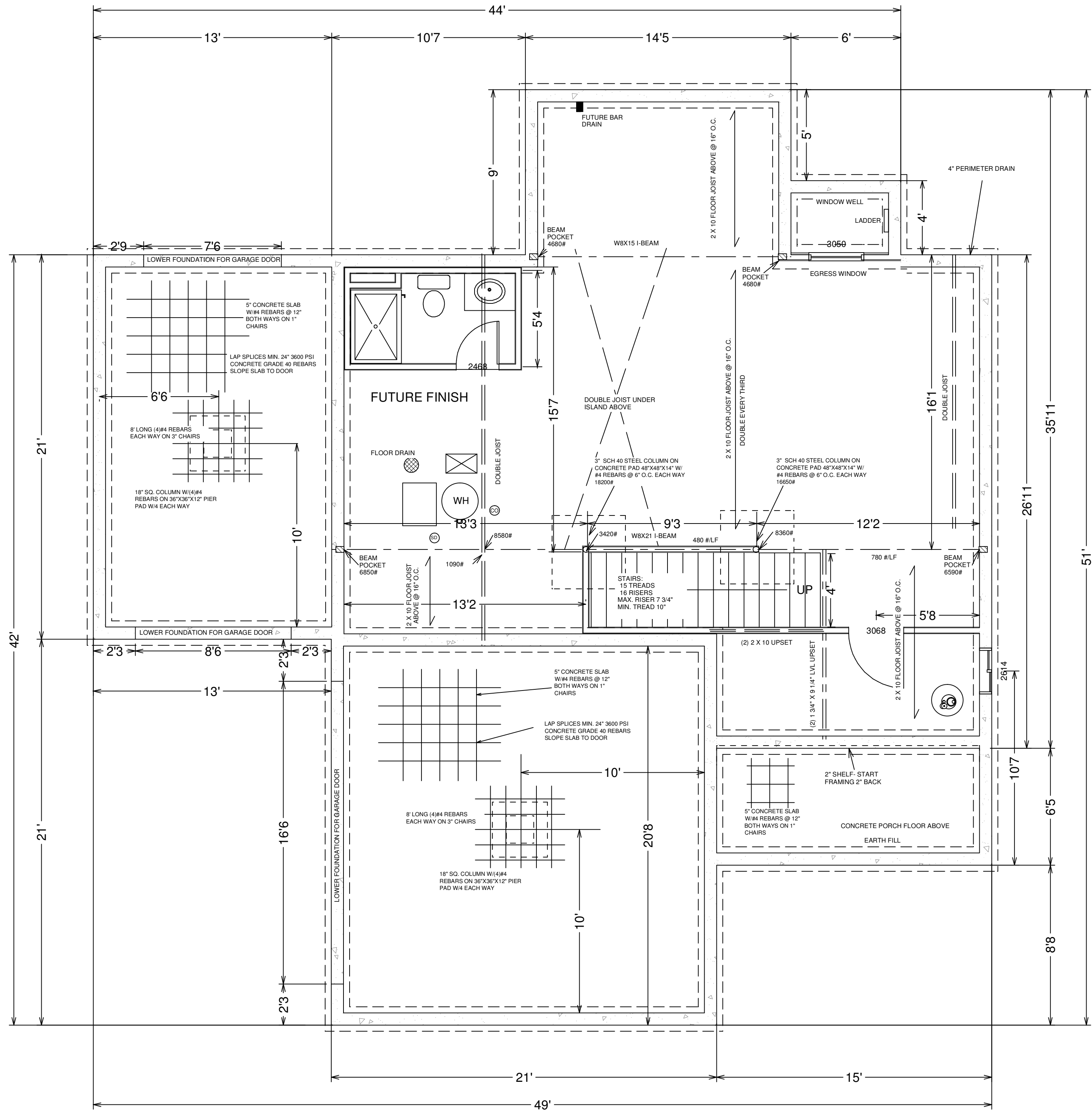
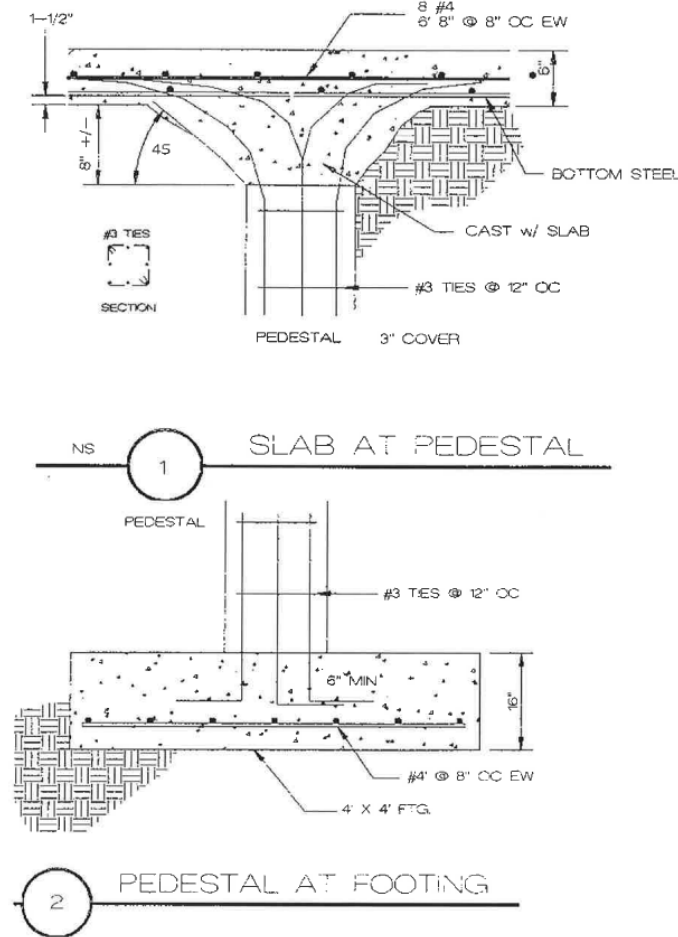
BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
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PAGE 3
 PLAN: 2-10-23

BASEMENT
 SCALE: 1/4" = 1'-0"

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- 8" X 9'-0" CONCRETE WALLS W/5 #4 BARS HORIZONTAL AND #4 BARS VERTICAL @ 12" O.C. ON 16" X 8" CONCRETE FOOTING W/2 #4 BARS CONTINUOUS.
 - DAYLIGHT WALLS- 2X4 STUDS @ 16" O.C. ON 8" X 36" CONCRETE WALL ON 16" X 8" CONCRETE FOOTING.
 - FOUNDATION DESIGNED FOR 1500 PSF BEARING.
 - COLUMN FOOTING 12" THICK W/#4 BARS @ 6" O.C. EACH WAY.
 - BOTTOM OF FOOTING MIN. 36" BELOW FINISHED GRADE.
- FOUNDATION TO COMPLY WITH JOHNSON COUNTY FOUNDATION GUIDELINES.



ALL EXTERIOR WALLS TO BE CONSTRUCTED AS CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANELS CS-WSP.

- 2 X 10 FLOOR JOIST AS PER LAYOUT
- FLOOR LOAD 40 PSF LL = 10 PSF DL
- ALL BEARING POINTS TO HAVE SOLID BLOCKING TO BEARING BELOW.
- INTERIOR AND EXTERIOR WALLS TO BE 2X4 STUD GRADE @ 16" O.C.
- WALLS OVER 10'-0" TO HAVE SOLID BLOCKING @ MIDSPAN OR 9'-0" MAX.
- EXTERIOR WALL INSULATION TO BE R-13.
- MULT. HEADERS AND JOIST TO BE GLUED AND NAILED @ 12" O.C. STAGGERED.
- FLOOR TO BE NAILED AND GLUED PER APA SPEC.
- 9'-0" WALLS FIRST FLOOR UNLESS NOTED. 8'-0" SECOND FLOOR.
- UNDOOR HEADER HEIGHT @ 80" ABOVE SUBFLOOR UNLESS NOTED.
- ALL INTERIOR DOORS AND OPENINGS 6'-8"
- ALL EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL INCORPORATE PHYSICAL SECURITY PROVISIONS OF SECTION 16.110R328 OF OVERLAND PARK MUNICIPAL CODE.

DWELLING TO MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2006 IRC TABLE N1102.1 (1) PER ENERGY REQUIREMENTS.

THE BUILDING THERMAL ENVELOPE WILL BE SEALED.

RECESS LIGHTING SHALL BE SEALED TO PREVENT LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACE.

DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED (2006 IRC SECTION N1103.2)

MINIMUM SEER RATING FOR AIR CONDITIONER IS 13.

MINIMUM EFFICIENCY RATING FOR FORCED AIR FURNACE IS 78%.

ELECTRICAL:

200 AMP ELECTRICAL SERVICE
COPPER WIRING USED THROUGHOUT

BRANCH CIRCUIT FOR HEATING: CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRICAL SPACE HEATERS BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT.

KITCHEN AND DINING RECEPTACLES: A MINIMUM OF TWO 20- AMPERE- RATED BRANCH CIRCUITS SHALL BE PROVIDED TO SERVE RECEPTACLES LOCATED IN KITCHEN, PANTRY, BREAKFAST AREA AND DINING AREA. THE KITCHEN COUNTERTOP RECEPTACLES SHALL BE SERVED BY A MINIMUM OF TWO 20- AMPERE- RATED BRANCH CIRCUITS, EITHER OR BOTH OF WHICH SHALL ALSO BE PERMITTED TO SUPPLY OTHER RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, BREAKFAST AREA AND DINING AREA. EXHAUST FAN BATHROOMS

LAUNDRY CIRCUIT: A MINIMUM OF ONE 20- AMPERE- RATED BRANCH CIRCUIT SHALL BE PROVIDED FOR RECEPTACLE LOCATED IN THE LAUNDRY AREA AND SHALL SERVE ONLY RECEPTACLE OUTLETS LOCATED IN THE LAUNDRY AREA.

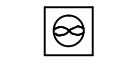
BATHROOM BRANCH CIRCUITS: A MINIMUM OF ONE 20- AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. EXCEPTION: WHERE THE 20- AMPERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH SECTION E3602.

NUMBER OF BRANCH CIRCUITS: THE MINIMUM NUMBER OF BRANCH CIRCUITS SHALL BE DETERMINED FROM THE TOTAL COMPUTED LOAD AND THE SIZE OR RATING OF THE CIRCUITS USED. THE NUMBER OF CIRCUITS SHALL BE SUFFICIENT TO SUPPLY THE LOAD SERVED. IN NO CASE SHALL THE LOAD ON ANY CIRCUIT EXCEED THE MAXIMUM SPECIFIED BY SECTION E3602.

BRANCH CIRCUIT LOAD PROPORTIONING: WHERE THE BRANCH CIRCUIT LOAD IS COMPUTED ON A VOLT- AMPERES- PER- SQUARE- FOOT BASIS, THE WIRING SYSTEM SHALL HAVE THE CAPACITY TO SERVE NOT LESS THAN THE CALCULATED LOAD. THIS LOAD SHALL BE EVENLY PROPORTIONED AMONG MULTIOUTLETS BRANCH CIRCUITS.

CIRCUIT CONDUCTORS: ALL CONDUCTORS OF A CIRCUIT, INCLUDING EQUIPMENT GROUNDING CONDUCTORS, SHALL BE CONTAINED IN THE SAME RACEWAY, TRENCH, CABLE OR CORD.

BATHROOM EXHAUST FAN:

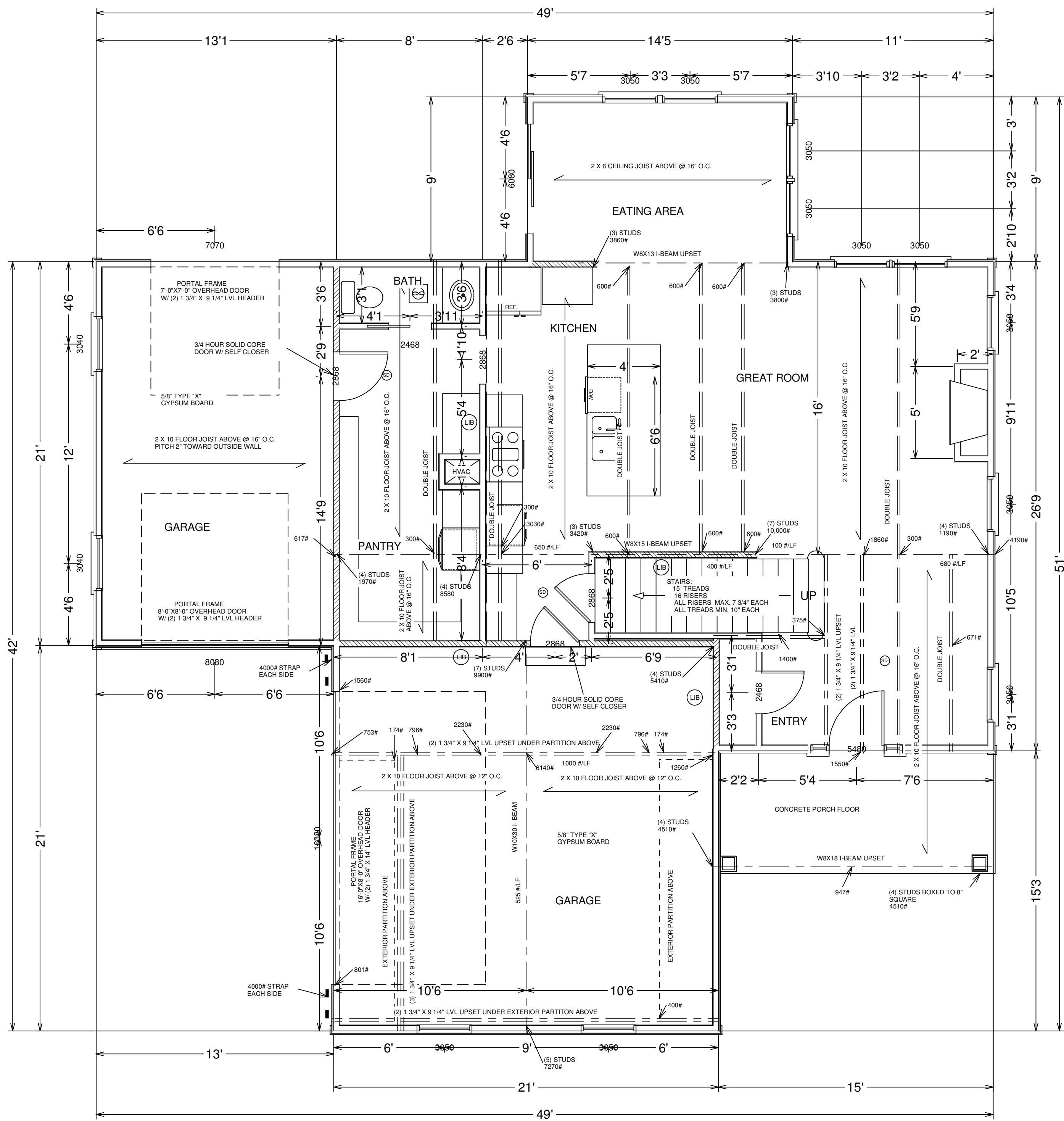
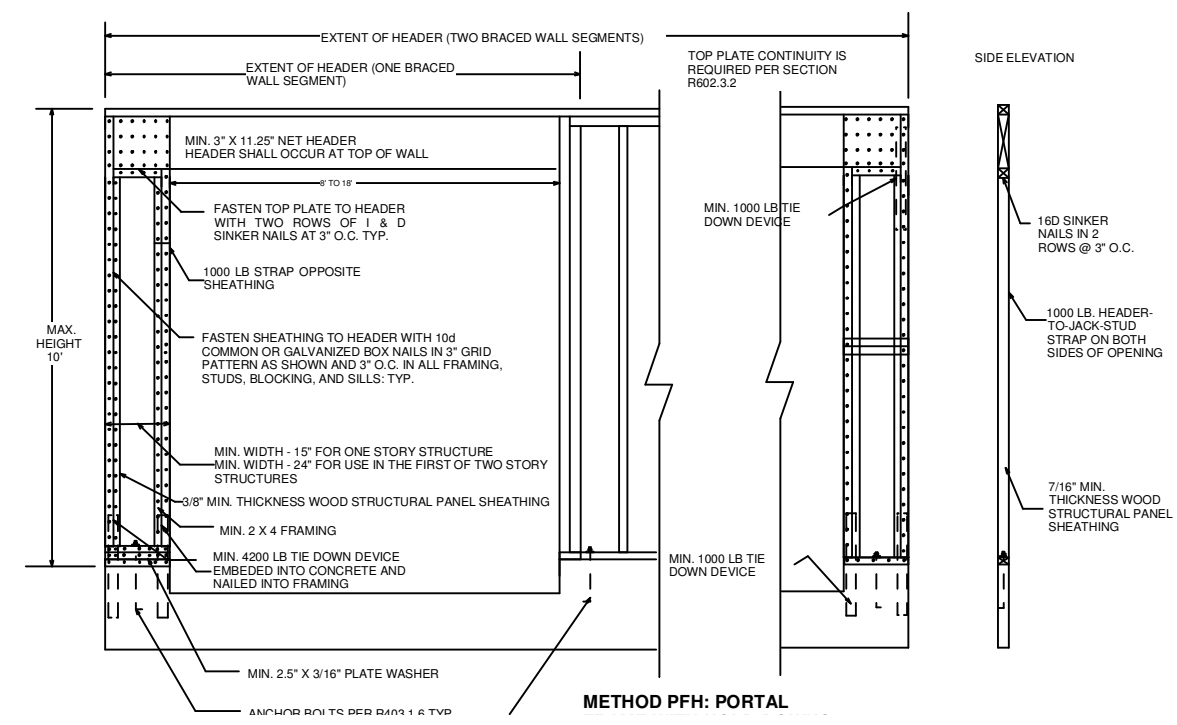


SMOKE DETECTORS SHOWN ON PLAN AND AS REQUIRED BY CODE:



ALL EXTERIOR WALLS TO BE CS-WSP

CEILING R-VALUE	R-49	EXTERIOR WALL	R-13
CATHEDRAL CEILING R-VALUE	R-30	CRAWL SPACE WALL	R-19
FLOOR OVER UNHEATED SPACE	R-19	GLAZING	< 0.40
FLOOR OVER OUTSIDE AIR	R-30	N/A	
DUCTS OUTSIDE OF THE CONDITIONED SPACE	SUPPLY AND RETURN IN FLOOR AND CEILING ASSEMBLY		R-8 R-6
BASEMENT WALL	R-13 INSULATION CONCRETE WALLS ADJACENT TO FINISHED SPACE		
ON GRADE TRENCH FOOTING	R-10, R-15 FOR HEATED SLAB		



Item A, Section III, Item
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PAGE 4
PLAN: 2-10-23

FIRST FLOOR
SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE
2917 W 47th TERRACE
WESTWOOD, KANSAS

QUIGLEY CUSTOM HOMES
Sullivan Palmer architects

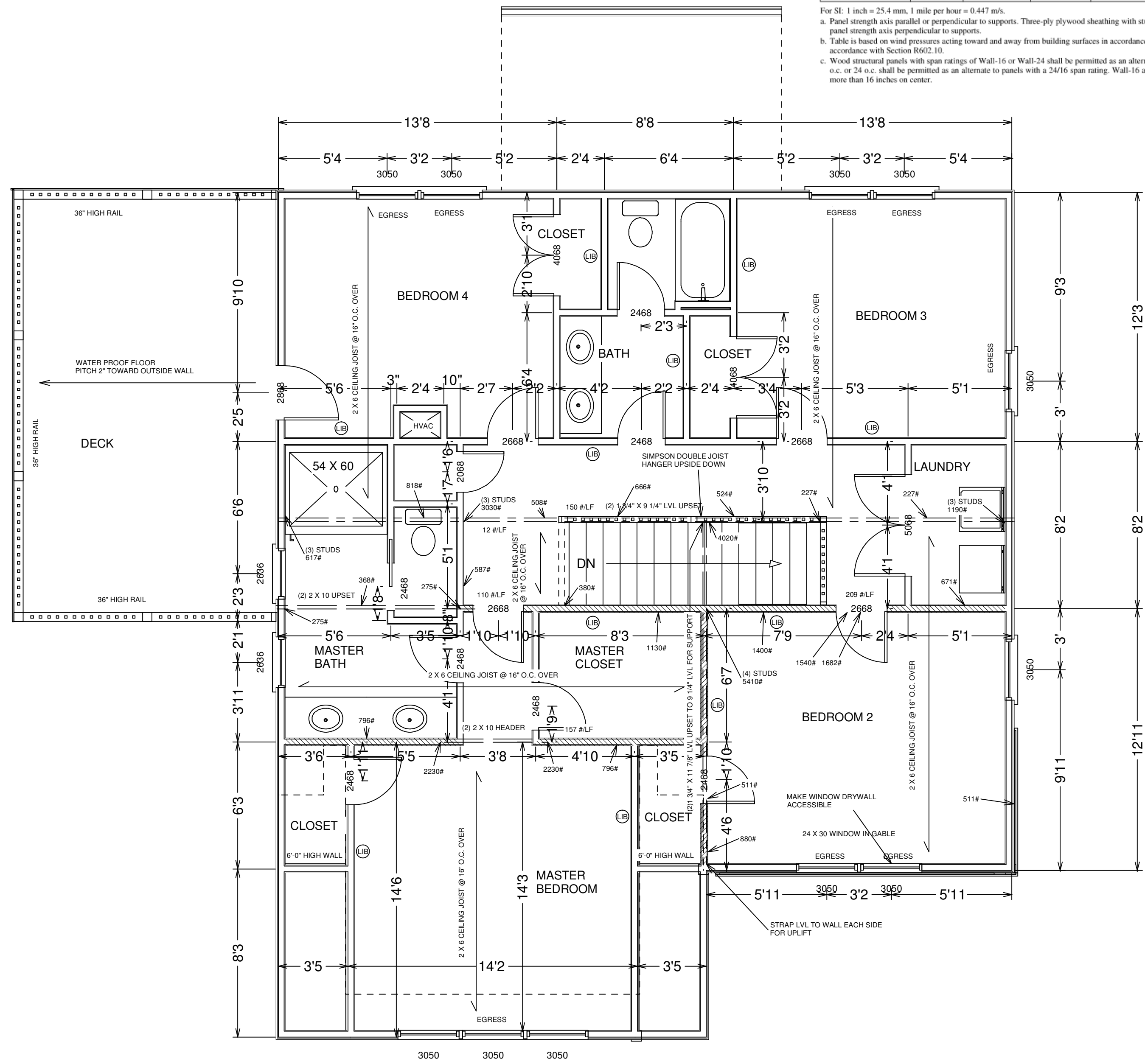
TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a, b, c}

MINIMUM NAIL Size	Penetration (inches)	MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V_{ult} (mph)		
					Edges (inches o.c.)	Field (inches o.c.)	Wind exposure category	B	C
6d Common (2.0" x 0.113")	1.5	24/0	3/8	16	6	12	140	115	110
				24	6	12	140	115	110
8d Common (2.5" x 0.131")	1.75	24/16	7/16	16	6	12	170	140	135
				24	6	12	140	115	110

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
 a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
 b. Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
 c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.



Item A, Section III, Item
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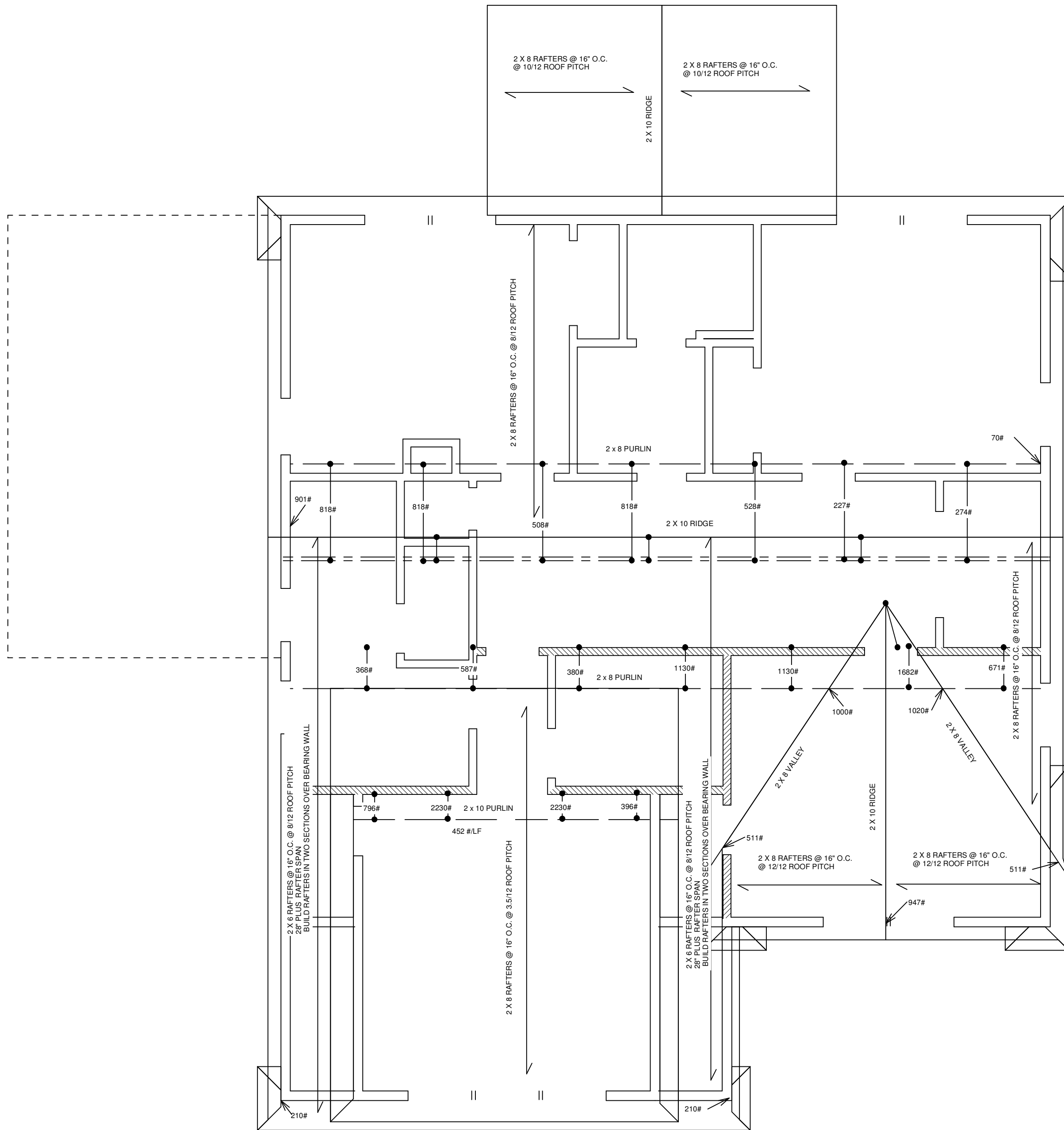
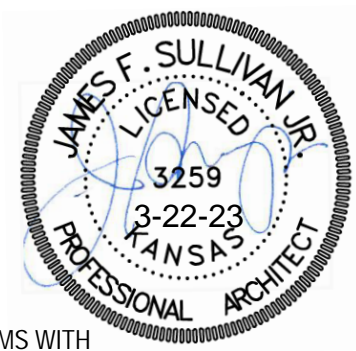
BUILDING CONTRACTOR/HOME OWNER
 TO REVIEW AND VERIFY ALL DIMENSIONS,
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 PLAN:
2-10-23

SECOND FLOOR
 SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE
 2917 W 47th TERRACE
 WESTWOOD, KANSAS

QUIGLEY
 CUSTOM HOMES
 Sullivan Palmer
 architects



ALL HIPS, VALLEYS AND RIDGES ARE DESIGNED TO BE BEAMS WITH NO LATERAL FORCES.
 PROVIDE SIMPSON LSTA RAFTER STRAP AT RIDGE.
 ROOF MATERIAL TO BE COMPOSITION SHINGLE ON ICE & WATER SHIELD

GENERAL NOTES:

ROOF PITCHES VARY, CHECK PLAN
 12" SOFFITS
 8" FASCIA
 6" RAKES

1. RAFTER SPANS MEASURED ON HORIZONTAL PROJECTION.
2. BRACE RAFTERS TO BEARING WALLS, LEGS @ MIN. 45 DEGREE ANGLE FROM HORIZ.
3. PURLINS TO BE PERPENDICULAR TO RAFTERS.
4. ROOF LOADING:
 SNOW LOAD=20 PSF
 DEAD LOAD=7 PSF
5. COMPOSITION SHINGLE ROOFING

MAXIMUM RAFTER SPANS: 16" O.C.
 2 X 6 DF.L. #3 = 10'-10"
 2 X 6 DF.L. #2 = 14'-2"

NOTES:

ALL RAFTERS MIN. #2- 2 X 6 @ 16" OC UNLESS OTHERWISE NOTED

ALL RIDGES, HIPS AND VALLEYS NOT MARKED SHALL BE (1) NOMINAL SIZE LARGER THAN THE INTERSECTING RAFTERS

STRUTS TO BE STUD GRADE 2 X 4 WITH MAXIMUM UNBRACED LENGTH OF 8'-0" AND AT AN 45 DEGREE W/ HORIZONTAL

MAXIMUM UNBRACED LENGTH

0'-4" - 0"	#2- 2X4
4'-1" - 5'-6"	#2- 2X6
5'-7" - 6'-3"	#2- 2X8
>6'-4" - MIN.	#2-2X4

PURLINS MAX. SPAN

#2- 2X6	4'-8"
#2- 2X8	5'-9"
#2- 2X10	7'-0"
#2- 2X12	8'-2"

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PAGE 6

PLAN: 2-10-23

ROOF

SCALE: 1/4" = 1'-0"

ERICSON RESIDENCE
 2917 W 47th TERRACE
 WESTWOOD, KANSAS

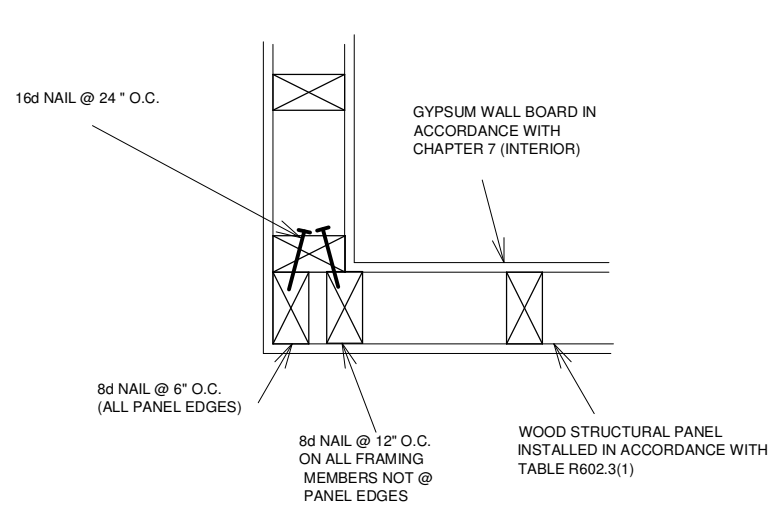
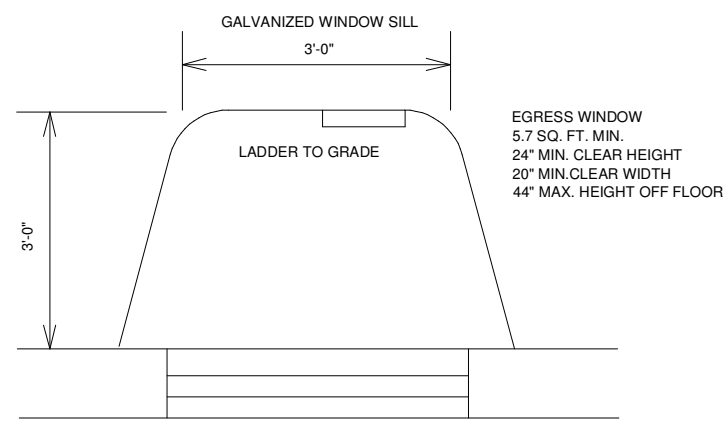
QUIGLEY
 CUSTOM HOMES



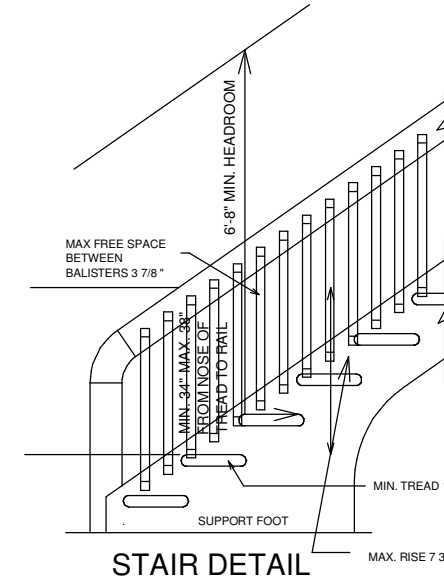
WALL BRACING

Walls shall be braced in accordance with IRC table R602.10.3 Other engineered designs may be approved provided adequate justification is provided and the method is clearly indicated on the plan. Where braced panel sheathing is used, vertical joints will be over studs and horizontal joints that occur over minimum 1 1/2" blocking.

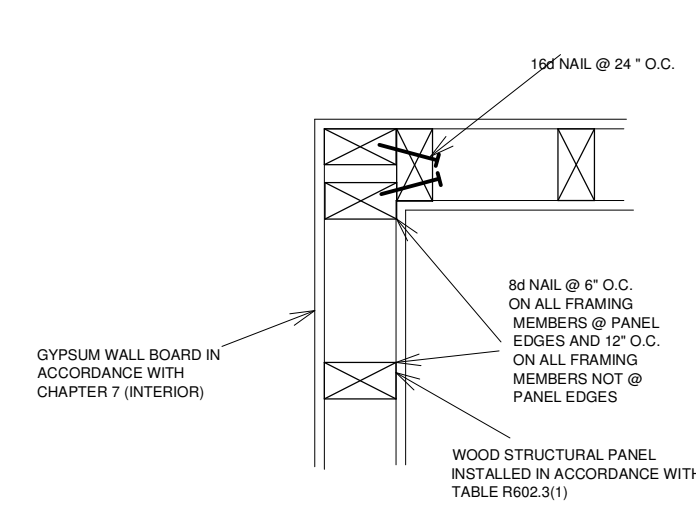
Braced wall lines shall be provided and braced using the methods noted below. Braced wall lines shall be provided on each level of the structure. Braced panels shall begin no more than 10'-0" from each end of a braced wall line. Panels counted in the braced wall line shall be in line except offsets up to 4'-0" are permitted provided that the total offset dimension in any braced wall line does not exceed 8'-0". Braced panel locations less than 4'-0" in length shall use an alternate approved bracing method.



OUTSIDE CORNER BRACING DETAIL



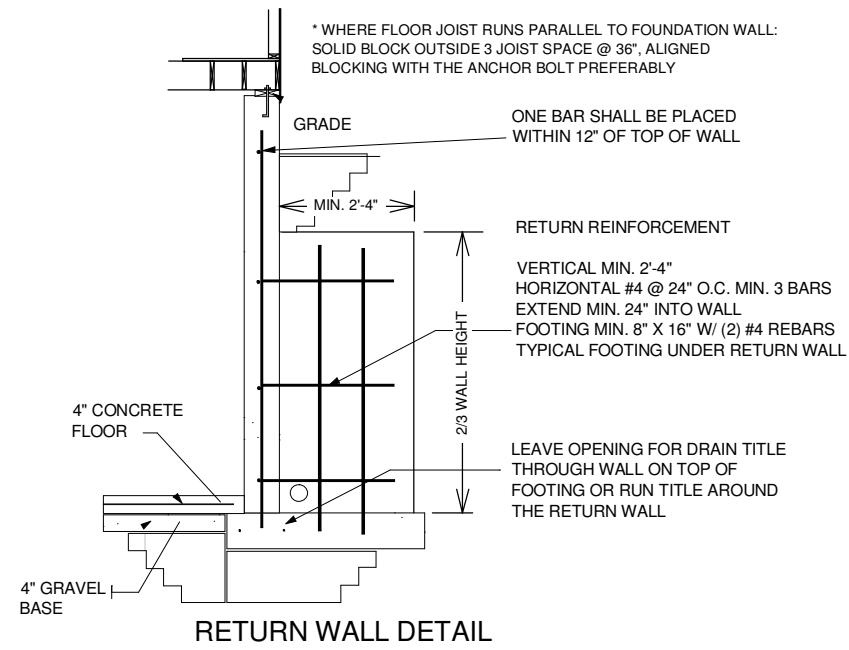
STAIR DETAIL



INSIDE CORNER BRACING DETAIL

TABLE R602.10.4 BRACING METHODS

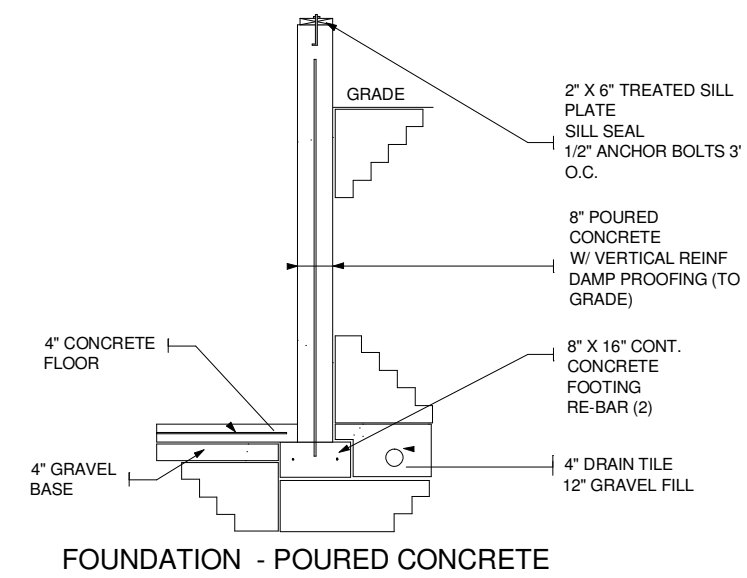
METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
LIB Let-in-bracing	1 x 4 wood or approved metal straps at 45° to 60° angles for maximum 16" stud spacing		Wood: 2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails Metal strap: per manufacturer	Wood: per stud and top and bottom plates Metal: per manufacturer
DWB Diagonal wood boards	1/2" (1" nominal) for maximum 24" stud spacing		2-8d (2 1/2" long x 0.113" dia.) nails or 2 - 1 1/4" long staples	Per stud
WSP Wood structural panel (See Section R604)	3/8"		Exterior sheathing per Table R602.3(3) Interior sheathing per Table R602.3(1) or R602.3(2)	6" edges 12" field Varies by fastener
BV-WSP Wood structural panels with stone or masonry veneer (See Section R602.10.6.5)	7/16"	See Figure R602.10.6.5	8d common (2 1/2" x 0.131") nails	4" at panel edges 12" at intermediate supports 4" at braced wall panel end posts
SFB Structural fiberboard sheathing	1/2" or 5/8" for maximum 16" stud spacing		1 1/2" long x 0.12" dia. (for 1/2" thick sheathing) 1 1/4" long x 0.12" dia. (for 5/8" thick sheathing) galvanized roofing nails	3" edges 6" field
GB Gypsum board	1/2"		Nails or screws per Table R602.3(1) for exterior locations Nails or screws per Table R702.3.5 for interior locations	For all braced wall panel locations; 7" edges (including top and bottom plates) 7" field
PBS Particleboard sheathing (See Section R605)	3/8" or 1/2" for maximum 16" stud spacing		For 1/2" 6d common (2" long x 0.113" dia.) nails For 3/8" 8d common (2 1/2" long x 0.131" dia.) nails	3" edges 6" field
PCP Portland cement plaster	See Section R703.7 for maximum 16" stud spacing		1 1/2" long, 11 gage, 1/16" dia. head nails or 7/8" long, 16 gage staples	6" o.c. on all framing members
HPS Hardboard panel siding	7/16" for maximum 16" stud spacing		0.092" dia., 0.225" dia. head nails with length to accommodate 1 1/2" penetration into studs	4" edges 8" field
ABW Alternate braced wall	3/8"		See Section R602.10.6.1	See Section R602.10.6.1



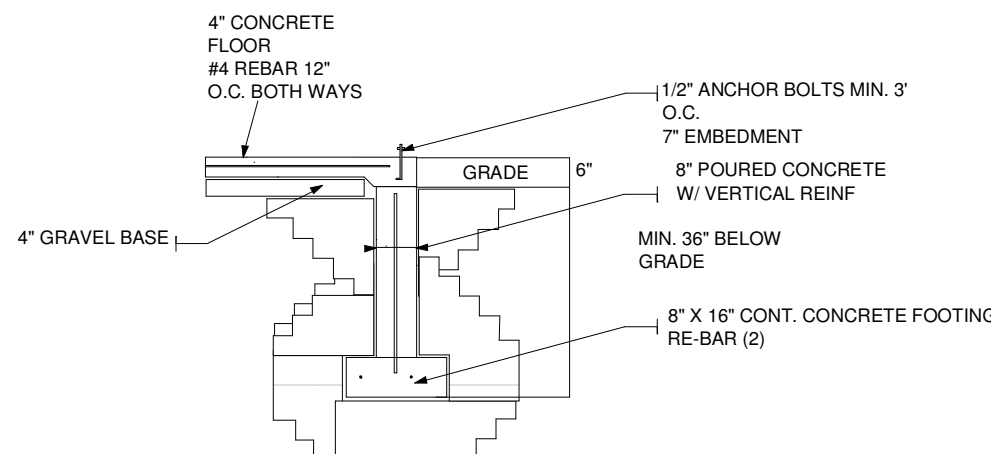
RETURN WALL DETAIL

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per sq. ft.)

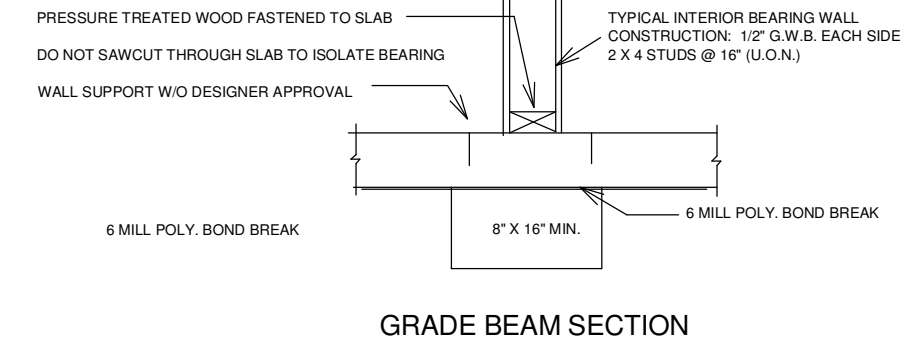
USE	LIVE LOADS
Attics with limited storage	20
Attics without storage	10
Decks	40
Exterior balconies	60
Fire escapes	40
Guardrails and handrails	200
Guardrails in-fill components	50
Passenger vehicle garages	50
Rooms other than sleeping rooms	40
Sleeping rooms	30
Stairs	40



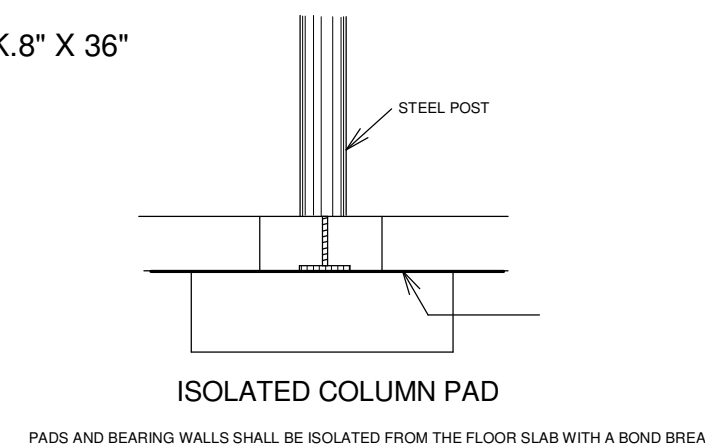
FOUNDATION - POURED CONCRETE



FOUNDATION - FROST (SLAB) - POURED CONC. BLK.8" X 36"



GRADE BEAM SECTION



ISOLATED COLUMN PAD

PADS AND BEARING WALLS SHALL BE ISOLATED FROM THE FLOOR SLAB WITH A BOND BREAK

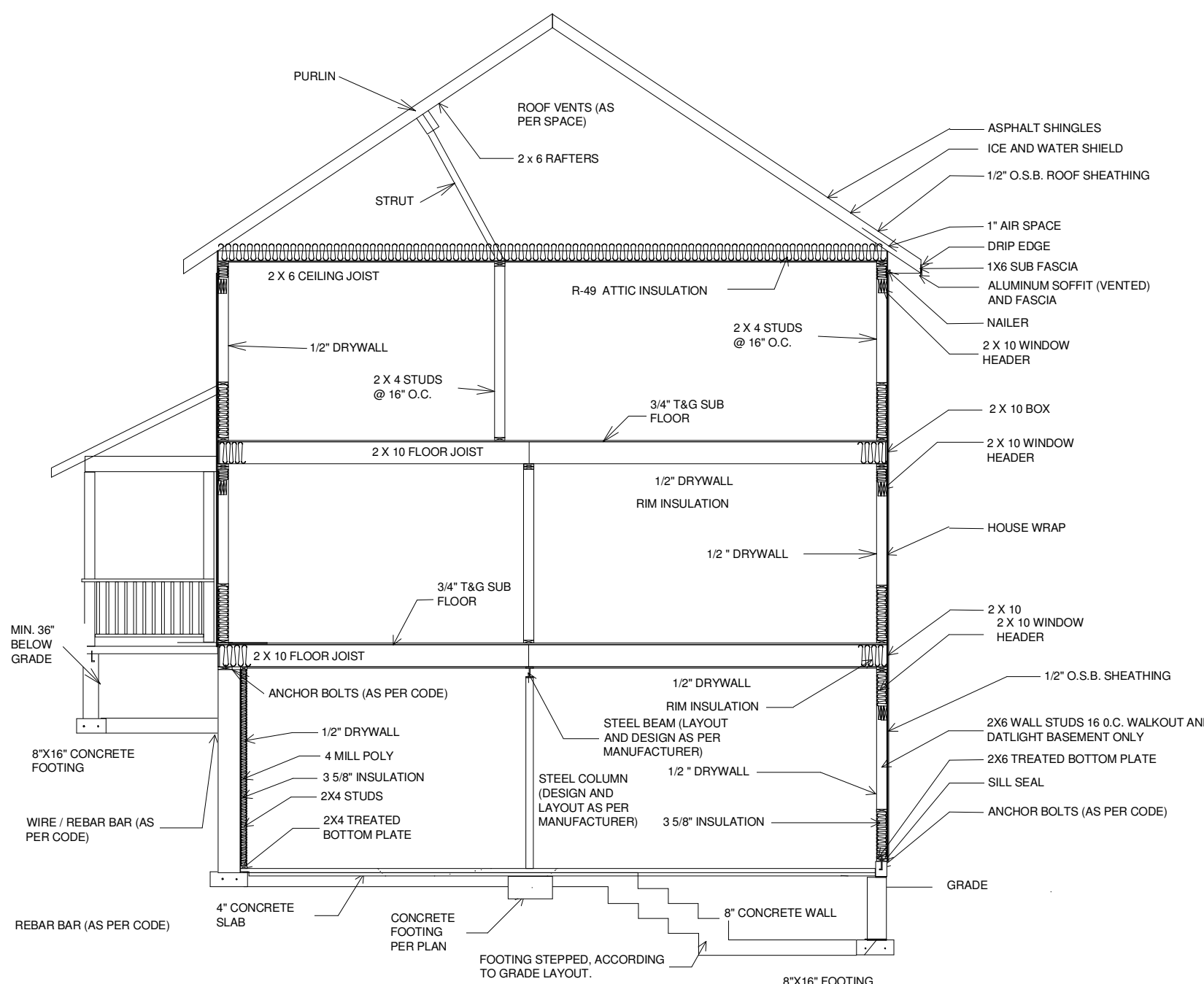
Concrete strength/ Grade	Vertical reinforcement spacing 60 psf soil			8 inch thick wall			10 inch thick wall			
	Reinforcement #4 bar	8'	9'	10'	8'	9'	10'	8'	9'	10'
3,000 psi/ Grade 40	16	12	NP	24	16	12				
3,500 psi/ Grade 40	16	12	NP	24	24	12				
3,000 psi/ Grade 60	24	16	NP	24	20	16				
3,500 psi/ Grade 60	24	16	NP	24	24	16				

Horizontal reinforcement - Minimum Grade 40 steel #4 bar
One bar 12" from top of wall; maximum spacing 24" o.c.

Reinforcement	4'-#4	5'-#4	6'-#4	4'-#4	5'-#4	6'-#4
Horizontal reinforcement						

Footnotes:

- 1) Wall height is measure from the top of the wall to the top of the floor slab
- 2) Vertical reinforcements for concrete walls that are not full height , and for reinforcement spacing 24 inch on center, reinforcements may be placed in the middle of the wall. Other walls shall have vertical reinforcements place as follows:
 - a) 8-inch wall - Minimum 5 inches from the outside face.
 - b) 10-inch wall - Minimum 6.75 inches from outside face.
 - c) Extend bars to within 8" of the top of the wall.
- 3) Reinforcement clearances:
 - a) Concrete exposed to earth - minimum 1 1/2" inches.
 - b) Not exposed to weather (interior side of walls) - minimum 3/4 inches
 - c) Concrete exposed to weather (top clearance in garage and driveway slabs)- 1 1/2 inches
- 4) Horizontal reinforcement:
 - a) One bar shall be placed within 12 inches of the top of the wall.
 - b) Other bars shall be equally spaced with spacing not to exceed 24 inches on center.



Two Story Full Section with Walkout



To the best of my knowledge these plans are drawn to specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall be responsible for obtaining all necessary permits. The maker of these plans is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to conform to the applicable codes, the contractor of the job must check all dimensions and other details prior to construction and be solely responsible therefor.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS. AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
MECHANICAL SYSTEM CODE: SEC.2701
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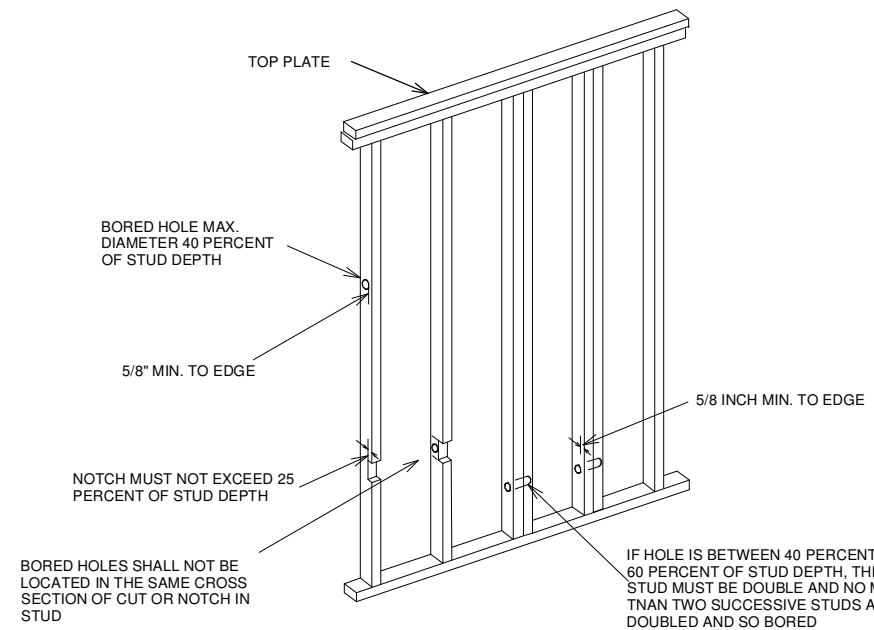
GENERAL NOTES

TABLE R602.3(1)
FASTENING SCHEDULE

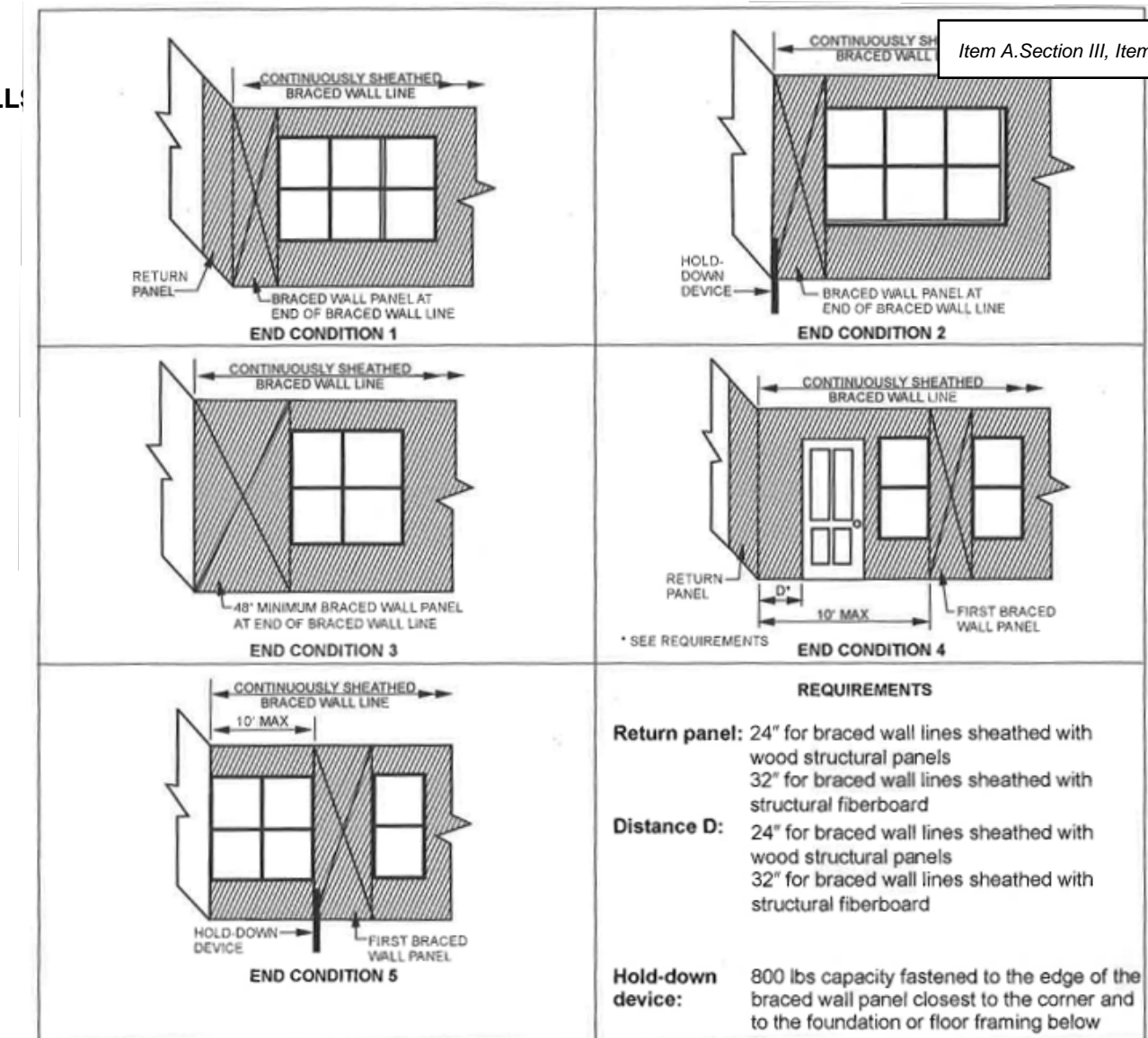
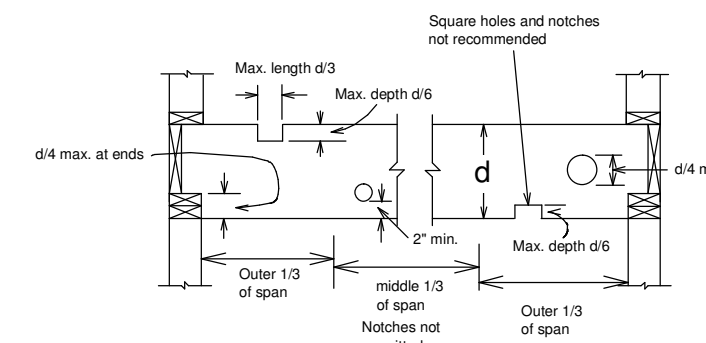
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION
Roof			
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions (see Section R802.5.2 and Table R802.5.2)	4-10d box (3" x 0.128"); or 3-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) (see Section R802.5.2 and Table R802.5.2)	Table R802.5.2	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-10d common (3" x 0.148"); or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3 1/2" x 0.135"); or 3-10d common (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails 3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail End nail
Wall			
8	Stud to stud (not at braced wall panels)	16d common (3 1/2" x 0.162") 10d box (3" x 0.128"); or 3" x 0.131" nails	24" o.c. face nail 16" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 1/2" x 0.135"); or 3" x 0.131" nails 16d common (3 1/2" x 0.162")	12" o.c. face nail 16" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 1/2" x 0.162") 16d box (3 1/2" x 0.135")	16" o.c. each edge face nail 12" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2 1/2" x 0.113"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128")	Toe nail
12	Top plate to top plate	16d common (3 1/2" x 0.162") 10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nail 12" o.c. face nail
13	Double top plate splice	8-16d common (3 1/2" x 0.162"); or 12-16d box (3 1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3 1/2" x 0.162") 16d box (3 1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail 12" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113"); or 3-16d box (3 1/2" x 0.135"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails 3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail End nail
17	Top plates, laps at corners and intersections	3-10d box (3" x 0.128"); or 2-16d common (3 1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail
18	1" brace to each stud and plate	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/4" long	Face nail
19	1" x 6" sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/4" long	Face nail
20	1" x 8" and wider sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3 staples, 1" crown, 16 ga., 1 1/4" long Wider than 1" x 8" 4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 4 staples, 1" crown, 16 ga., 1 1/4" long	Face nail
Floor			
21	Joist to sill, top plate or girder	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d box (2 1/2" x 0.113") 8d common (2 1/2" x 0.131"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	4" o.c. toe nail 6" o.c. toe nail
23	1" x 6" subfloor or less to each joist	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/4" long	Face nail

NOTCHING AND HOLES IN EXTERIOR AND BEARING WALL



CUTTING AND NOTCHING IN FLOOR AND CEILING JOIST



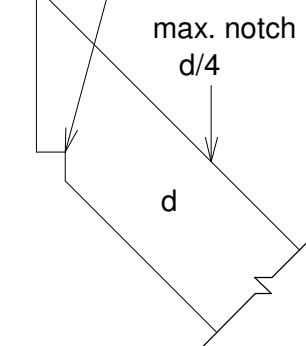
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.45 N.

FIGURE R602.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

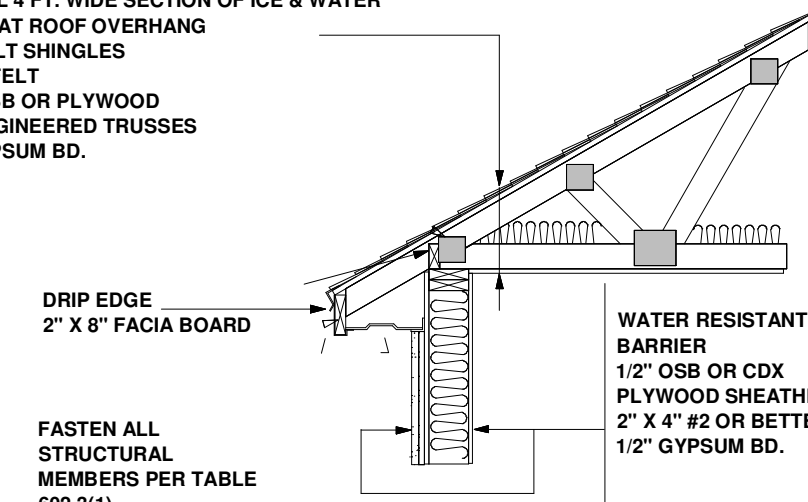


03-22-23

STRUCTURAL RIDGE CONNECTIONS

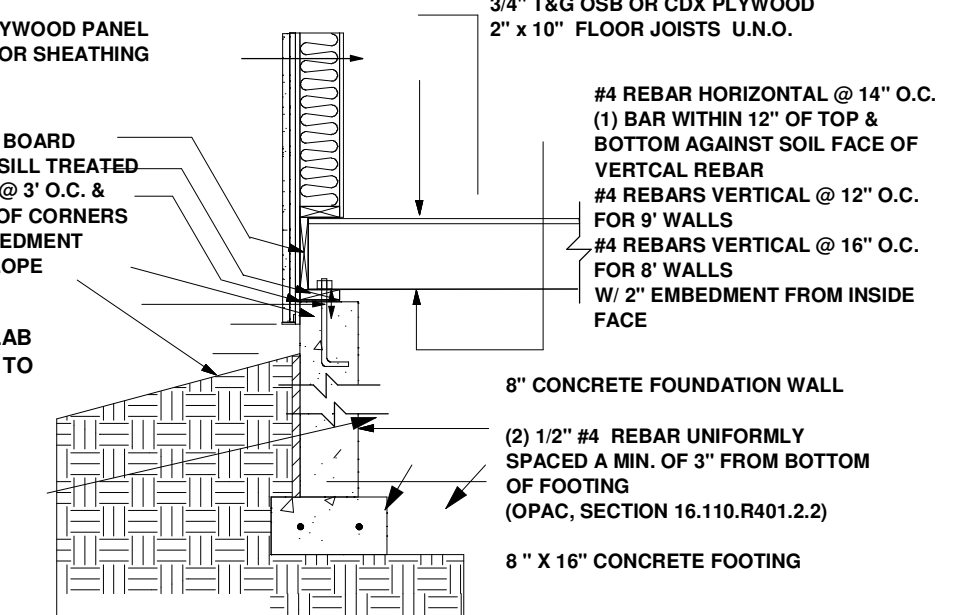


INSTALL 4 FT. WIDE SECTION OF ICE & WATER SHIELD AT ROOF OVERHANG
ASPHALT SHINGLES
30 L.B. FELT
7/16" OSB OR PLYWOOD
PRE-ENGINEERED TRUSSES
1/2" GYPSUM BD.



6" MIN. ABOVE GRADE
2" MIN. ABOVE ABOVE CONCRETE SLAB
EXTEND VERTICAL REINFORCEMENT TO WITHIN 4" OF TOP OF WALL.

R-10
EXTEND MIN. 2" BELOW GRADE



LAP ALL REINFORCEMENTS 24" INSTALL (2) 48" LONG #4 REBARS @ 45 DEGREE ANGLE WITHIN 6" OF INSIDE CORNERS OF WINDOW OPENINGS FOOTING STEPS & THE LIKE

To the best of my knowledge these plans are drawn in accordance with the specifications and any changes made on them after the date of issue are the responsibility of the contractor. The contractor shall be responsible for checking all dimensions and other details prior to construction and be solely responsible therefor.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS. AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.
ELECTRICAL SYSTEM CODE: SEC.2701
MECHANICAL SYSTEM CODE: SEC.2801
PLUMBING SYSTEM CODE: SEC.2901

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GENERAL NOTES



June 16, 2023

Dear neighbor:

As a property owner within 200 feet of the property located at 2917 W. 47th Terrace in Westwood, you are being notified of an application by Dan Quigley of Quigley Custom Homes, LLC, on behalf of property owners Vaughn Ericson and Erika Brown, for a waiver or exception for a proposed new single-family residence on property located at **2917 W. 47th Terrace, Westwood, Kansas 66205**. The waiver or exception requested is from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow the primary structure to have less than 60% of its front façade on the front build-to line.

This letter is to inform you that the Westwood Planning Commission will hold a public hearing for consideration of this application where the general public may provide comments on **Monday, July 10, 2023 at 7:00 PM** at Westwood City Hall, 4700 Rainbow Blvd., Westwood, KS 66205. The meeting will also be accessible virtually on Zoom. In addition to live oral comments, written comments may be submitted ahead of the public hearing to info@westwoodks.org and will be included in the public meeting record.

The meeting may be attended either in person at Westwood City Hall or virtually, by using the following instructions:

Online

<https://us02web.zoom.us/j/89009964959>

or

by Phone

(312) 626-6799

Webinar ID: 890 0996 4959

Additional information on this application is available at Westwood City Hall, 4700 Rainbow Boulevard or by contacting me, City Administrator Leslie Herring by using the contact information below.

Kind regards,

Leslie Herring

City Administrator

913.942.2128

leslie.herring@westwoodks.org

The Legal Record

1701 E. Cedar St., Ste. 111
Olathe, KS 66062-1775
(913) 780-5790

ATTN: LESLIE HERRING
CITY OF WESTWOOD
4700 RAINBOW BLVD
WESTWOOD KS 66205-1831

First published in The Legal Record, Tuesday, June 20, 2023.
CITY OF WESTWOOD, KANSAS
NOTICE OF PUBLIC HEARING

The Planning Commission of the City of Westwood, Kansas will hold a public hearing on Monday, July 10, 2023, at 7:00 PM at Westwood City Hall located at 4700 Rainbow Boulevard. Details for attending the meeting and speaking during the public hearing can be found at www.westwoodks.org or by calling 913-362-1550. Written comments may also be submitted ahead of the public hearing to info@westwoodks.org. The subject of the public hearing is:

WE 2023-03

An application of Dan Quigley on behalf of property owners Vaughn Ericson and Erika Brown, for a waiver or exception for a proposed new single-family residence on property located at 2917 W. 47th Terrace, Westwood, Kansas 66205. The waiver or exception requested is from Westwood Zoning Ordinance Article No. 4.3.2(D) to allow the primary structure to have less than 60% of its front façade on the front build-to line.

/s/ Leslie Herring, City Administrator
6/20

Proof of Publication

STATE OF KANSAS, JOHNSON COUNTY, SS;
Maureen Gillespie, of lawful age, being first duly sworn, deposes and says that she is Legal Notices Clerk for The Legal Record which is a newspaper printed in the State of Kansas, published in and of general paid circulation on a weekly, monthly or yearly basis in Johnson County, Kansas, is not a trade, religious or fraternal publication, is published at least weekly fifty (50) times a year, has been so published continuously and uninterrupted in said County and State for a period of more than one year prior to the first publication of the notice attached, and has been entered at the post office as Periodicals Class mail matter. That a notice was published in all editions of the regular and entire issue for the following subject matter (also identified by the following case number, if any) for 1 consecutive week(s), as follows:

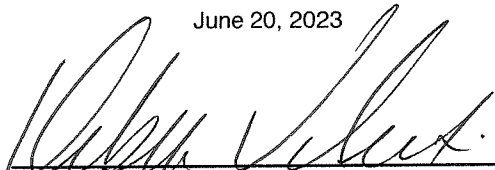
HEARING - WE 2023-03 PLANNING
COMMISSION, JULY 10, 2023
6/20/23



Maureen Gillespie, Legal Notices Billing Clerk

Subscribed and sworn to before me on this date:

June 20, 2023



Notary Public

DEBRA VALENTI
Notary Public-State of Kansas
My Appt. Expires Aug. 21, 2023

L13351
Publication Fees: \$10.80

WESTWOOD PLANNING COMMISSION

Staff Report

Meeting Date: July 10, 2023

Staff Contact: Leslie Herring, City Administrator

Agenda Item: Conduct Annual Review of Planning Commission Bylaws

Background/Description of Item

The Planning Commission bylaws provide for the following:

ARTICLE SIX
Miscellaneous

SECTION THREE: Amendment of Rules. These Bylaws may be amended or repealed for stated reasons by affirmative vote of three-fourths (3/4) of the voting members of the Commission.

SECTION FOUR: Bylaw Review. The Westwood Planning Commission shall review, amend and approve these Bylaws in June of every year.

Staff Comments/Recommendation

In Spring of 2022 the Planning Commission reviewed the Bylaws and, at the June 2022 regular Planning Commission meeting amended the Bylaws following that review.

The Planning Commission members are encouraged to review the Bylaws ahead of the meeting. Any modifications identified by individual members should be raised and discussed amongst the Planning Commission at the meeting. Once the Planning Commission feels comfortable proceeding with an amendment to the Bylaws or approval of the Bylaws without revision, a motion may be made from the floor.

Suggested Motion:

I move to amend/approve the Planning Commission Bylaws following this July 2023 annual review of the Bylaws, in accordance with the provisions of same.

**BYLAWS
OF
THE CITY OF WESTWOOD PLANNING COMMISSION**

Amended June 6, 2022

**ARTICLE ONE
Creation**

SECTION ONE: Name. There is hereby established by the City Code of Westwood, a City Planning Commission to be named WESTWOOD PLANNING COMMISSION (hereinafter sometimes referred to as "Planning Commission" or "Commission").

SECTION TWO: Membership. The Planning Commission shall consist of nine (9) members. The members shall be appointed by the Mayor with the consent of the Governing Body to serve on the Planning Commission without compensation for their services. Members of the Planning Commission shall serve for a three (3)-year term which shall begin on March 1 of the year of the appointment and expire on the final day of February three (3) years later. The appointment of the members shall be staggered so that not more than four (4) Commissioners' membership terms expire at the same time. Vacancies on the Commission shall be filled by appointment for the unexpired term.

**ARTICLE TWO
Purpose**

SECTION ONE: Bylaws. The purpose of these Bylaws is to establish rules for the internal organization and procedures of operation of the Planning Commission.

SECTION TWO: Commission. The function, powers, and duties of the Planning Commission are as authorized by State Law, and by the existing joint Ordinance/Resolutions establishing the Planning Commission. The Planning Commission adopts its own rules and policies for procedure, consistent with its powers.

**ARTICLE THREE
Organization**

SECTION ONE: Officers. The officers of the Commission shall be a Chair, Vice-Chair, and Secretary. The Chair, Vice-Chair, and Secretary shall be elected by the Planning Commission at its regular meeting in May of each year. The term of office shall be one (1) year. The officers may be reelected by a majority vote of the membership of the Planning Commission.

SECTION TWO: Chair. The Chair shall preside at all meetings of the Planning Commission. At their discretion, a Chair may call special meetings and they may also relinquish the Chair to the Vice-Chair or other specific member. The Chair may not make or second motions, but they may vote on any and all motions to come before the Commission. The Chair shall appoint all committees. The Chair shall perform all of the duties assigned to their office by law and by the City Governing Body, and shall have such usual powers of supervision and management as pertain to the office of Chair. If the Chairmanship becomes vacant for any reason, the Vice-Chair shall succeed to the Chairmanship for the remainder of the term.

SECTION THREE: Vice Chair. The Vice-Chair shall act as Chair in the absence of the Chair or disability of the Chair and while so serving shall have all the authority held by the Chair. In the event the office of Chair becomes vacant, the Vice-Chair shall succeed to that office for the unexpired term and the Planning Commission shall elect a new Vice-Chair for the unexpired term.

SECTION FOUR: Secretary. The Commission shall elect a recording secretary, who shall be provided by the City of Westwood and who need not be an appointed member of the Planning Commission.

A. The Secretary shall attend all meetings of the Planning Commission, shall send notices of all regular and special meetings to all members of the Commission. In addition, the Secretary shall have, under the Chair, responsibility for books, papers, and records of the Planning Commission, and attend to all correspondence of the Planning Commission.

B. The Secretary is responsible for keeping an accurate record of all regular and special meetings and transcribing them for Planning Commission approval. The Secretary is responsible for placement of all meeting minutes in the Minute Book of the Planning Commission. All motions shall be recorded and an accurate record made of all reasons for motions or votes by members of the Commission shall be made. The Minute Book shall become a permanent record and part of the official records of the City of Westwood.

SECTION FIVE: Attendance. In the event that the Chair, Vice-Chair, or Secretary of the Commission shall be absent or unable for any reason to attend to the duties of their offices, the members of the Commission may, at any regular meeting or any special meeting called for that purpose, appoint a Chair pro tem or a Secretary pro tem, as the case may be, who shall attend to all the duties of such officer until such officer shall return or be able to attend to their duties. A Commission member may be removed by the Mayor without Council consent as provided by law. Failure to attend three (3) or more consecutive meetings, or five (5) meetings within a calendar year, are grounds for removal from office.

ARTICLE FOUR **Meetings**

SECTION ONE: Regular Meetings. Regular meetings of the Planning Commission, unless otherwise provided, shall be at Westwood Municipal Building at 7:00 p.m. on the first Monday of every month. All meetings shall be open to the public. Meetings shall adjourn no later than 11:00 p.m., unless extended upon motion of a majority of the Planning Commission members present. Items remaining on the agenda at the end of a meeting may be continued by the Planning Commission until the next regular meeting unless otherwise provided by law.

The Chair or Vice-Chair may authorize the Secretary or designee to poll the members of the Commission for the purpose of canceling a meeting.

SECTION TWO: Special Meetings. Special meetings of the Planning Commission shall be called by the Chair, or in their absence, by the Vice-Chair, and held at any time or place fixed in the notice. Only items specified in the notice may be acted upon at the special meeting. Notice may be made by telephone or mail. The Chair, or, in their absence, the Vice-Chair shall call a special meeting of the Commission at the request, in writing, of a majority of the appointed members of the Commission; and if the Chair or, in their absence, the Vice-Chair shall fail to comply with such a request, said member so requesting may call such meeting provided they all sign the notice. The Planning Commission shall provide at least three (3) days' notice to each member prior to any special meeting unless the notice requirement is waived by all members.

SECTION THREE: Quorum. Five (5) members of the Planning Commission, including the Chair, shall be necessary to constitute a quorum for the transaction of business and the taking of official action.

SECTION FOUR: Agenda. Agendas for all regular meetings shall be available at the Westwood Municipal Building on the Friday prior to the meetings. The order of items on the agenda shall be at the discretion of the Chair or their designee, due consideration being given to early consideration of items likely to attract large attendance at the meeting. The Chair may, for reasons stated to all in attendance, vary from the order of the agenda.

An item may be added to the agenda only by affirmative vote of a majority of the members present. An agenda item consisting of a proposed amendment to the zoning ordinance may be removed from the agenda only by a motion to recommend approval or denial of the proposed zoning ordinance amendment. Other items not pertaining to ordinance approval may be removed by a majority of the members present and reasons therefore stated in the record.

ARTICLE FIVE

Conduct of Meetings

SECTION ONE: Parliamentary Procedure. Except as otherwise provided meetings of the Planning Commission shall be conducted in accordance with the procedures proclaimed by Robert's Rules of Order.

SECTION TWO: Order of Business.

A. Order; i.e., Roll Call, Approval of Minutes, Agenda Items, Old Business, New Business, Reports, and Adjournment.

B. The Commission may consider items not on the Agenda if a majority of the Commission members vote approval to do so.

C. The Chair shall call each agenda item and briefly describe, or ask a member of the staff to briefly describe the application before the Commission.

SECTION THREE: Staff Reports. Staff reports on all agenda items shall be prepared and provided to the Commission members at least three (3) days prior to the scheduled meeting. Staff shall present their report prior to an applicant's report to the Commission.

SECTION FOUR: Continuances by Staff, Commission Member, or Applicant. Any item may be continued upon request or recommendation by staff or a Commission member, except as provided by

law. The Commission may continue items requiring a public hearing to a date certain. Other items allowed by law may be tabled and recalled at the request of the staff or Commission. A tabled item which fails to be recalled after six (6) months shall be considered withdrawn.

An applicant may continue their own proposal to a date certain by notifying the Secretary not less than two (2) business days prior to the date of the hearing. Where notification by mail of adjacent property owners has taken place, as required by law, the applicant shall further notify the same property owners, by registered mail, return receipt requested, of the continuance and the new date of the hearing. Their notification of continuance shall be mailed not less than ten (10) days prior to the date of the originally scheduled hearing and at least twenty (20) days prior to the next hearing date.

Any proposal not withdrawn prior to preparation of the agenda may be continued at the applicant's request only by affirmative vote of a majority of the Commission members. In consideration of such a motion to allow continuance, the Commission may question the audience as to the number who have been inconvenienced or incurred expense on the presumption that the item would be heard and the Commission may refuse to continue the proposal, and may proceed with the hearing and take appropriate action thereon. In any case of continuance, it shall be to a date certain, only one continuance shall be permitted, and the applicant shall notify by registered mail all parties initially notified of the new hearing date, such notification to be mailed not less than twenty (20) days prior to the date of the new hearing. In addition, the Commission may direct the applicant to change the posting on the property and direct the staff to publish the new date in the appropriate newspaper at applicant's expense.

SECTION FIVE: Appearance Before the Commission. Applicants or their representatives may appear before the Commission to present their view on an agenda item. If required by law, the Commission will hold a public hearing.

The name and address of the applicant and their agent shall be entered in the record, as well as a summary of their presentation. At the conclusion of the applicant's presentation, members of the Commission and staff shall have the opportunity to question the applicant. Any other supporting testimony will then be called for. Public input may then be heard with the members of the Commission and staff having an opportunity to question any speaker. The applicant will then be given opportunity to present a short summary. All statements shall be directed to the Commission and cross conversation among those in attendance is prohibited. Questions between opposing parties shall be directed first to the Chair, who may then ask the proper person to answer, such answer being directed to the Commission. At such time that the Chair feels testimony has been sufficiently heard, the Chair shall declare the public hearing closed after which the public in attendance may address the Commission only with the permission of the Chair, and only to answer a question by a member of the Commission. All persons who wish to speak shall first give their names and addresses for the record. The Chair may establish limits on time used by all parties making presentations or comments to the Planning Commission; however, the decisions made by the Chair may be overridden by a majority vote of Commission members.

SECTION SIX: Incomplete Submittals. The Commission will not hear items that fail to meet submission requirements.

SECTION SEVEN: Commission Action. the Commission shall, at the conclusion of discussion on the item, take action on each item presented. Voting shall be by individual voice ballot on each item and shall be tallied by the Secretary. All members, including the Chair, shall have a vote and shall vote when

present except that any member shall automatically disqualify himself from voting on any decision in which they may have a conflict of interest. If the item upon which the Planning Commission action is taken is remanded for reconsideration to the Commission by the Governing Body, it shall be considered at the next regular meeting of the Planning Commission after notice of the remand is received. If no action is taken on the remanded item at their meeting, the same recommendation will be deemed made and will be sent back to the Governing Body.

SECTION EIGHT: Motions. Following the closing of the public hearings on testimony, a motion may be made to recommend approval or denial of the application, to continue the application to a later date certain if a public hearing has occurred, or to table the item. A brief statement of reason or reasons for the motion will precede the making of all the motions. Any stipulations relative to plans, development procedures, etc., should be listed following the motion to approve. Upon receiving a second, the motion may be discussed and, upon the call for a question or at the discretion of the Chair, brought to a vote. A motion to amend, if necessary, must be voted on first. Then the main motion would be voted on in its amended state. Motions shall require an affirmative vote of a majority of the members of the Planning Commission for passage, except as otherwise provided by law.

Vote shall be by voice or by the raising of hands or by roll call, at the discretion of the Chair. Any member may call for a roll call vote on any issue. Any motion may be tabled or amended in keeping with Roberts Rules. If the Commission feels that delaying an action would be in the best interests of the parties involved, the hearing may be continued to a date certain unless otherwise provided by law. Such a motion for continuance shall include a reason for the action, and shall require a majority vote of the Planning Commission.

SECTION NINE: Abstentions. If, after considering an item, a Commissioner wishes to abstain from voting, their abstention shall be treated as a vote against the majority. If there is a tie vote, an abstention shall be considered a denial.

SECTION TEN: Failure to Recommend. If there is a tie vote of the Planning Commission on any item on which the Commission sits as a recommending body it will be considered a recommendation of denial of the item, except as may otherwise provided by law. If the tie vote occurs on action on which the Commission sits as a final decision maker, a tie vote defeats the motion. If no subsequent motion is made and approved after the tie vote, the request is deemed denied.

SECTION ELEVEN: Applicant Not in Attendance. In case an applicant or their agent is not in attendance when their item is called, the item shall be set over to the end of the agenda. If at the time the item is called again the applicant is still not present, the Commission may continue the case, or may approve or deny the application as it sees fit.

ARTICLE SIX **Miscellaneous**

SECTION ONE: Conflict of Interest. When a member of the Commission feels they may be in conflict of interest on a particular case before the Commission, they may so state for the record and vacate their chair. A member so vacating their chair shall leave the room and should not participate in the hearing or discussion, and shall not vote on the issue. If the vacation of a member due to conflict of interest will

eliminate a quorum, then the Planning Commission shall continue the hearing to the next regular meeting.

SECTION TWO: Suspension of Rules. Any of these Bylaws may be suspended for stated reasons by affirmative vote of three-fourths (3/4) of the members of the Commission.

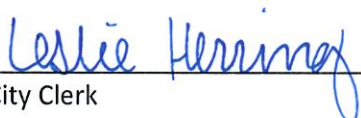
SECTION THREE: Amendment of Rules. These Bylaws may be amended or repealed for stated reasons by affirmative vote of three-fourths (3/4) of the voting members of the Commission.

SECTION FOUR: Bylaw Review. The Westwood Planning Commission shall review, amend and approve these Bylaws in June of every year.

CITY OF WESTWOOD, KANSAS

By: 
Chair, Planning Commission

ATTEST:


City Clerk