

# CITY OF WESTLAKE



## AGENDA

### City Council Regular Meeting

Tuesday, February 11, 2025, at 6:00 PM

The Lodge at Westlake Adventure Park  
5490 Kingfisher Blvd.  
Westlake, Florida 33470

Live Broadcasting:

<https://cityofwestlake.my.webex.com>

Meeting ID: 2632 153 9765 | Password: hello

or

United States Toll: +1-650-479-3208

### CITY COUNCIL:

JohnPaul O'Connor, Mayor

Greg Langowski, Vice Mayor

Gary Werner, Council Member – Seat 1

Julian Martinez, Council Member – Seat 2

Charlotte Leonard, Council Member – Seat 3

### CITY STAFF:

Ken Cassel, City Manager

Zoie P. Burgess, CMC, City Clerk

Donald J. Doody, Esq., City Attorney

Nilsa Zacarias, AICP, Planning and Zoning Director

Suzanne Dombrowski, P.E., ENV SP, City Engineer

[TENTATIVE: SUBJECT TO REVISION]

**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**ADDITIONS, DELETIONS OR MODIFICATIONS, AND APPROVAL OF AGENDA**

**PUBLIC COMMENTS**

*This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.*

**PRESENTATIONS/PROCLAMATIONS**

- A. None

**CONSENT AGENDA**

*This section of the agenda consists of routine or administrative items that require final approval by the City Council and may be approved in its entirety by a single motion. There will be no discussion of these items unless a Council Member requests such, in which event, the item will be removed from the Consent Agenda and considered on a future agenda.*

- [A.](#) Monthly Financial Report - December
- [B.](#) Minutes\_City Council Regular Meeting - 01.07.2025 DRAFT

**PUBLIC HEARING - QUASI JUDICIAL**

- [A.](#) **SPM-2024-02:** Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.

**Submitted By:** Planning and Zoning

**PUBLIC HEARING**

- [A.](#) **SECOND READING:** ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN

ORDINANCES NOT INCLUDED "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA"

**Submitted By:** City Clerk's Office

**ORDINANCE 2025-01**

**AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.**

**NEW BUSINESS**

- A. None

**CITY COUNCIL COMMENTS**

- A. Councilwoman Charlotte Leonard
- B. Councilman Julian Martinez
- C. Councilman Gary Werner
- D. Vice Mayor Greg Langowski
- E. Mayor JohnPaul O'Connor

**REPORT - STAFF**

**REPORT - CITY ATTORNEY**

**REPORT - CITY MANAGER**

**PUBLIC COMMENTS**

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**ADJOURNMENT**

Next Meeting (Subject to Change or be Cancelled): **March 4, 2025**

**NOTICE:** If a person, firm or corporation decides to appeal any decision made by the City Council with respect to any matter considered at this meeting, you will need a record of the proceedings, and you may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (The above notice is required by State Law. Anyone desiring a verbatim transcript shall have the responsibility, at his own cost, to arrange for the transcript). The City of Westlake does not prepare or provide such verbatim record.

In accordance with the Americans with Disabilities Act, persons who need an accommodation in order to attend or participate in this meeting should contact the City Clerk at (561) 530-5880 at least three (3) business days prior to the meeting in order to request such assistance.

**AGENDA POSTED:** Tuesday, January 28, 2025

**File Attachments for Item:**

A. Monthly Financial Report - December



## MEMORANDUM

**TO: Members of the City Council, City of Westlake**  
**FROM: Steven Fowler, Accountant; Lucus McDonald, Accounting Supervisor**  
**CC: Ken Cassel, City Manager**  
**DATE: January 14, 2025**  
**SUBJECT: December Financial Report**

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Please find attached the December 2024 financial report. During your review, please keep in mind that the goal is for revenue to meet or exceed the year-to-date budget and for expenditures to be at or below the year-to-date budget. An overview of the City's funds is provided below. Should you have any questions or require additional information, please contact me at [Steven.Fowler@inframark.com](mailto:Steven.Fowler@inframark.com).

### **General Fund**

- Total Revenues through December were approximately 76% of the annual budget. Collections of the FY2025 Ad Valorem Tax and Special Assessments were approximately 92% and 92%, respectively.
- Total Expenditures and Contingency through December were approximately 19% of the annual budget.

### **Special Revenue Fund – Housing Assistance Program**

- Total Revenues through December were approximately 97% of the annual budget, which was a result of a higher than anticipated rate of construction and donations on commercial permits. A donation of \$1,500 per Single Family Residence building permit is paid into the Housing Assistance Program.

### **Special Revenue Fund – Comprehensive Planning Services**

- Total Revenues through December were approximately 13% of the annual budget.
- Total Expenditures through December were approximately 23% of the annual budget.

# City of Westlake

## Financial Report

*December 31, 2024*



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**City of Westlake**

**Financial Statements**

**December 31, 2024**

**Balance Sheet**  
December 31, 2024

ACCOUNT DESCRIPTION	GENERAL FUND	SPECIAL REVENUE FUND - HOUSING ASSISTANCE PROGRAM	SPECIAL REVENUE FUND - COMPREHENSIVE PLANNING SVCS	TOTAL
<b><u>ASSETS</u></b>				
<b>Current Assets</b>				
Cash - Checking Account	\$ 2,976,566	\$ -	\$ -	\$ 2,976,566
Cash Restricted for Donated Funds	82,755	-	-	82,755
Taxes Receivable	11,863	-	-	11,863
Assessments Receivable	39,948	-	-	39,948
Due From Other Funds	484,575	-	-	484,575
Investments:				
Money Market Account	8,762,738	5,150,845	-	13,913,583
Deposits	666	-	-	666
<b>Total Current Assets</b>	<b>12,359,111</b>	<b>5,150,845</b>	<b>-</b>	<b>17,509,956</b>
<b>Noncurrent Assets</b>				
Mortgages Receivable	-	523,339	-	523,339
<b>Total Noncurrent Assets</b>	<b>-</b>	<b>523,339</b>	<b>-</b>	<b>523,339</b>
<b>TOTAL ASSETS</b>	<b>\$ 12,359,111</b>	<b>\$ 5,674,184</b>	<b>\$ -</b>	<b>\$ 18,033,295</b>
<b><u>LIABILITIES</u></b>				
<b>Current Liabilities</b>				
Accounts Payable	\$ 35,029	\$ -	\$ 7,556	\$ 42,585
Accrued Expenses	170,700	-	219,138	389,838
DBPR surcharge	5,533	-	-	5,533
DCA surcharge	8,130	-	-	8,130
Impact Fees	547,871	-	-	547,871
Unearned Revenue	281,930	-	-	281,930
Due To Other Districts	8,112	-	-	8,112
Due To Other Gov'tl Units	16,928	-	-	16,928
Deferred Revenue-Developer Submittals (Minto)	-	-	59,133	59,133
Donations-Art in Public Places	82,755	-	-	82,755
Due To Other Funds	-	-	484,575	484,575
<b>Total Current Liabilities</b>	<b>1,156,988</b>	<b>-</b>	<b>770,402</b>	<b>1,927,390</b>
<b>Long-Term Liabilities</b>				
Deferred Inflow of Resources	39,948	-	-	39,948
<b>Total Long-Term Liabilities</b>	<b>39,948</b>	<b>-</b>	<b>-</b>	<b>39,948</b>
<b>TOTAL LIABILITIES</b>	<b>1,196,936</b>	<b>-</b>	<b>770,402</b>	<b>1,967,338</b>

**Balance Sheet**  
December 31, 2024

ACCOUNT DESCRIPTION	GENERAL FUND	SPECIAL REVENUE FUND - HOUSING ASSISTANCE PROGRAM	SPECIAL REVENUE FUND - COMPREHENSIVE PLANNING SVCS	TOTAL
<b><u>FUND BALANCES</u></b>				
<b>Nonspendable:</b>				
Deposits	666	-	-	666
<b>Restricted for:</b>				
Special Revenue	-	5,674,184	-	5,674,184
<b>Unassigned:</b>	11,161,509	-	(770,402)	10,391,107
<b>TOTAL FUND BALANCES</b>	<b>\$ 11,162,175</b>	<b>\$ 5,674,184</b>	<b>\$ (770,402)</b>	<b>\$ 16,065,957</b>
<b>TOTAL LIABILITIES &amp; FUND BALANCES</b>	<b>\$ 12,359,111</b>	<b>\$ 5,674,184</b>	<b>\$ -</b>	<b>\$ 18,033,295</b>

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b>REVENUES</b>				
Interest - Investments	\$ -	\$ -	\$ 58,988	\$ 58,988
Ad Valorem Taxes	6,058,611	5,708,588	5,559,721	(148,867)
Ad Valorem Taxes - Discounts	(242,300)	(228,302)	(222,505)	5,797
FPL Franchise	456,400	114,103	133,157	19,054
Gas	68,200	17,053	-	(17,053)
Solid Waste	32,000	7,997	4,040	(3,957)
Electricity	559,000	139,753	100,768	(38,985)
Water	187,400	46,847	-	(46,847)
Gas	126,200	31,547	23,824	(7,723)
Communication Services Taxes	159,800	39,947	33,602	(6,345)
Occupational Licenses	27,300	6,825	14,916	8,091
Building Permits - Admin Fee	85,600	21,403	25,966	4,563
State Revenue Sharing Proceeds	70,100	17,522	25,681	8,159
Alcoholic Beverage License	1,100	275	-	(275)
Other Public Safety Chrgs/Fees	6,500	1,622	2,513	891
Garbage/Solid Waste Revenue	233,400	58,350	59,570	1,220
Penalties	-	-	82	82
Other Operating Revenues	12,800	3,200	2,357	(843)
Special Events	-	-	5,100	5,100
Event Sponsors	-	-	9,250	9,250
Judgements and Fines	-	-	2,054	2,054
Special Assmnts- Tax Collector	802,900	760,258	740,780	(19,478)
Special Assmnts- Discounts	(32,100)	(30,395)	(29,664)	731
Lien Search Fee	10,000	2,503	3,373	870
<b>TOTAL REVENUES</b>	<b>8,622,911</b>	<b>6,719,096</b>	<b>6,553,573</b>	<b>(165,523)</b>

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b>EXPENDITURES</b>				
<b><u>Legislative</u></b>				
Mayor/Council Stipend	60,000	15,000	15,000	-
FICA Taxes	4,600	1,150	1,148	2
ProfServ-Legislative Expense	75,000	18,750	-	18,750
Telephone, Cable & Internet Service	5,300	1,325	1,183	142
Lease - Building	9,100	2,275	2,500	(225)
Public Officials Insurance	5,500	5,500	4,557	943
Misc-Event Expense	274,400	50,000	12,539	37,461
Council Expenses	78,400	19,600	14,460	5,140
Dues, Licenses, Subscriptions	3,800	2,138	4,259	(2,121)
<b>Total Legislative</b>	<b>516,100</b>	<b>115,738</b>	<b>55,646</b>	<b>60,092</b>
<b><u>City Manager</u></b>				
Contracts-City Manager	249,800	62,450	62,450	-
Misc-Public Relations	50,000	12,500	13,848	(1,348)
Office Supplies	12,700	3,175	1,303	1,872
Dues, Licenses, Subscriptions	2,700	1,317	1,217	100
<b>Total City Manager</b>	<b>315,200</b>	<b>79,442</b>	<b>78,818</b>	<b>624</b>
<b><u>City Clerk</u></b>				
ProfServ-Web Site Maintenance	8,300	2,075	1,525	550
Contracts-City Clerk	233,300	58,325	56,658	1,667
Postage and Freight	-	-	116	(116)
Printing	15,500	3,875	-	3,875
Legal Advertising	17,500	4,375	5,366	(991)
Miscellaneous Expenses	6,000	1,500	216	1,284
Office Supplies	2,900	725	-	725
Dues, Licenses, Subscriptions	26,100	12,303	3,491	8,812
<b>Total City Clerk</b>	<b>309,600</b>	<b>83,178</b>	<b>67,372</b>	<b>15,806</b>
<b><u>Finance</u></b>				
Auditing Services	7,800	-	-	-
Contracts-Finance	104,400	26,100	26,100	-
Miscellaneous Expenses	-	-	1,100	(1,100)
<b>Total Finance</b>	<b>112,200</b>	<b>26,100</b>	<b>27,200</b>	<b>(1,100)</b>

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

<b>ACCOUNT DESCRIPTION</b>	<b>ANNUAL ADOPTED BUDGET</b>	<b>YEAR TO DATE BUDGET</b>	<b>YEAR TO DATE ACTUAL</b>	<b>VARIANCE (\$) FAV(UNFAV)</b>
<b><u>Legal Counsel</u></b>				
ProfServ-Legal Services	120,000	30,000	14,445	15,555
<b>Total Legal Counsel</b>	<b>120,000</b>	<b>30,000</b>	<b>14,445</b>	<b>15,555</b>
<b><u>Other Administrative Services</u></b>				
ProfServ-Info Technology	76,600	19,150	20,953	(1,803)
Contracts-Admin. Service	441,100	110,275	110,275	-
Misc-Assessment Collection Cost	8,000	7,400	7,111	289
General Government	150,000	37,500	-	37,500
<b>Total Other Administrative Services</b>	<b>675,700</b>	<b>174,325</b>	<b>138,339</b>	<b>35,986</b>
<b><u>Facility Services</u></b>				
Telephone, Cable & Internet Service	9,200	2,300	2,400	(100)
Lease - Copier	12,900	3,225	3,250	(25)
Lease - Building	25,000	6,250	-	6,250
Insurance (Liab,Auto,Property)	13,200	13,200	9,048	4,152
Miscellaneous Services	1,700	425	532	(107)
Cleaning Services	13,300	3,325	3,570	(245)
Principal-Capital Lease	19,100	4,775	5,677	(902)
Interest-Capital Lease	2,100	525	945	(420)
<b>Total Facility Services</b>	<b>96,500</b>	<b>34,025</b>	<b>25,422</b>	<b>8,603</b>
<b><u>Community Services</u></b>				
Contracts-Solid Waste	1,212,000	303,000	242,795	60,205
Contracts-Sheriff	1,066,600	266,650	266,651	(1)
Electricity	132,300	33,075	36,363	(3,288)
R&M-Community Maintenance	30,100	7,525	7,525	-
Operating Supplies	57,300	14,325	-	14,325
Roadway Services	6,800	1,700	622	1,078
<b>Total Community Services</b>	<b>2,505,100</b>	<b>626,275</b>	<b>553,956</b>	<b>72,319</b>
<b><u>Capital Expenditures &amp; Projects</u></b>				
Capital Improvements	50,000	30,000	-	30,000
<b>Total Capital Expenditures &amp; Projects</b>	<b>50,000</b>	<b>30,000</b>	<b>-</b>	<b>30,000</b>

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>Reserves</u></b>				
Misc-Contingency	232,500	58,125	505	57,620
1st Quarter Operating Reserves	1,220,700	305,175	-	305,175
Reserve - Capital Projects	1,500,000	375,000	-	375,000
<b>Total Reserves</b>	<b>2,953,200</b>	<b>738,300</b>	<b>505</b>	<b>737,795</b>
<b>TOTAL EXPENDITURES &amp; RESERVES</b>				
	<b>7,653,600</b>	<b>1,937,383</b>	<b>961,703</b>	<b>975,680</b>
Excess (deficiency) of revenues				
Over (under) expenditures	969,311	4,781,713	5,591,870	810,157
<b><u>OTHER FINANCING SOURCES (USES)</u></b>				
Nonoperating Grant Expense	-	-	(724,735)	(724,735)
Contribution to (Use of) Fund Balance	969,311	-	-	-
<b>TOTAL FINANCING SOURCES (USES)</b>	<b>969,311</b>	<b>-</b>	<b>(724,735)</b>	<b>(724,735)</b>
Net change in fund balance	\$ 969,311	\$ 4,781,713	\$ 4,867,135	\$ 85,422
<b>FUND BALANCE, BEGINNING (OCT 1, 2024)</b>	<b>6,295,040</b>	<b>6,295,040</b>	<b>6,295,040</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ 7,264,351</b>	<b>\$ 11,076,753</b>	<b>\$ 11,162,175</b>	

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
Interest - Investments	\$ -	\$ -	\$ 20,408	\$ 20,408
Dividends	-	-	35,716	35,716
Donations	300,000	75,000	235,088	160,088
<b>TOTAL REVENUES</b>	<b>300,000</b>	<b>75,000</b>	<b>291,212</b>	<b>216,212</b>
<b><u>EXPENDITURES</u></b>				
<b><u>Public Assistance</u></b>				
Misc-Admin Fee (%)	21,000	5,250	-	5,250
Assistance Program	279,000	69,750	-	69,750
<b>Total Public Assistance</b>	<b>300,000</b>	<b>75,000</b>	<b>-</b>	<b>75,000</b>
<b>TOTAL EXPENDITURES</b>	<b>300,000</b>	<b>75,000</b>	<b>-</b>	<b>75,000</b>
Excess (deficiency) of revenues Over (under) expenditures	-	-	291,212	291,212
Net change in fund balance	\$ -	\$ -	\$ 291,212	\$ 291,212
<b>FUND BALANCE, BEGINNING (OCT 1, 2024)</b>	<b>5,382,972</b>	<b>5,382,972</b>	<b>5,382,972</b>	
<b>FUND BALANCE, ENDING</b>	<b>\$ 5,382,972</b>	<b>\$ 5,382,972</b>	<b>\$ 5,674,184</b>	



**Statement of Revenues, Expenditures and Changes in Fund Balances**  
For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
<b><u>REVENUES</u></b>				
Building Permits	\$ 1,966,300	\$ 491,578	\$ 273,518	\$ (218,060)
Reinspection Fees	-	-	550	550
Building Permits - Surcharge	7,600	1,903	1,452	(451)
Other Building Permit Fees	30,000	7,500	23,100	15,600
Building Permits - Admin Fee	129,700	32,428	36,909	4,481
Engineering Permits	300,600	75,150	7,316	(67,834)
Planning & Zoning Permits	307,700	76,922	10,367	(66,555)
<b>TOTAL REVENUES</b>	<b>2,741,900</b>	<b>685,481</b>	<b>353,212</b>	<b>(332,269)</b>
<b><u>EXPENDITURES</u></b>				
<b><u>Comprehensive Planning</u></b>				
ProfServ-Engineering	300,600	75,150	78,730	(3,580)
ProfServ-Info Technology	290,200	72,550	61,287	11,263
ProfServ-Legal Services	62,700	15,675	10,950	4,725
ProfServ-Planning/Zoning Board	307,700	76,925	80,354	(3,429)
ProfServ-Compliance Service	186,500	46,625	43,920	2,705
ProfServ-Building Permits	1,431,900	357,975	332,580	25,395
Special Magistrate	30,000	7,500	-	7,500
Telephone, Cable & Internet Service	7,000	1,750	1,718	32
Lease - Copier	3,100	775	797	(22)
Lease - Building	24,000	6,000	-	6,000
Printing	1,000	250	-	250
Miscellaneous Services	1,300	325	133	192
Misc-Admin Fee (%)	32,700	8,175	8,175	-
Billing Service Fees	42,800	10,700	9,997	703
Office Supplies	2,100	525	115	410
Cleaning Services	13,000	3,250	3,380	(130)
Principal-Capital Lease	4,800	1,200	-	1,200
Interest-Capital Lease	500	150	-	150
<b>Total Comprehensive Planning</b>	<b>2,741,900</b>	<b>685,500</b>	<b>632,136</b>	<b>53,364</b>
<b>TOTAL EXPENDITURES</b>	<b>2,741,900</b>	<b>685,500</b>	<b>632,136</b>	<b>53,364</b>

**Statement of Revenues, Expenditures and Changes in Fund Balances**  
 For the Period Ending December 31, 2024

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
Excess (deficiency) of revenues				
Over (under) expenditures	-	(19)	(278,924)	(278,905)
Net change in fund balance	\$ -	\$ (19)	\$ (278,924)	\$ (278,905)
<b>FUND BALANCE, BEGINNING (OCT 1, 2024)</b>	<b>(491,478)</b>	<b>(491,479)</b>	<b>(491,478)</b>	
<b>FUND BALANCE, ENDING</b>	<b><u>\$ (491,478)</u></b>	<b><u>\$ (491,498)</u></b>	<b><u>\$ (770,402)</u></b>	

# **City of Westlake**

## **Supporting Schedules**

**December 31, 2024**

Cash and Investment Report

December 31, 2024

**GENERAL FUND**

<u>Account Name</u>	<u>Bank Name</u>	<u>Investment Type</u>	<u>Yield</u>	<u>Balance</u>
Checking Account - Operating	BankUnited	Checking Account	n/a	\$2,976,566
Money Market	BankUnited	MMA	3.99%	\$8,845,493
		<b>Subtotal</b>		<b>\$11,822,059</b>

**SPECIAL REVENUE FUND**

Money Market	BankUnited	MMA	3.99%	\$1,919,347
Government Checking	Valley Bank	Checking Account	4.25%	\$68,369
Brokerage Account	Valley Bank	Government Fund Class A	4.30%	\$3,163,128
		<b>Subtotal</b>		<b>\$5,150,844</b>
		<b>Total</b>		<b>\$16,972,904</b>

**File Attachments for Item:**

B. Minutes\_City Council Regular Meeting - 01.07.2025 DRAFT

# CITY OF WESTLAKE



## MINUTES

### **City Council Regular Meeting**

Tuesday, January 07, 2025, at 6:00 PM

The Lodge at Westlake Adventure Park  
5490 Kingfisher Blvd.  
Westlake, Florida 33470

### **CITY COUNCIL:**

JohnPaul O'Connor, Mayor  
Greg Langowski, Vice Mayor  
Gary Werner, Council Member – Seat 1  
Julian Martinez, Council Member – Seat 2  
Charlotte Leonard, Council Member – Seat 3

### **CITY STAFF:**

Ken Cassel, City Manager  
Zoie P. Burgess, CMC, City Clerk  
Donald J. Doody, Esq., City Attorney  
Nilsa Zacarias, AICP, Planning and Zoning Director  
Suzanne Dombrowski, P.E., ENV SP, City Engineer

A regular meeting of the City Council of the City of Westlake was held on Tuesday, January 7, 2025, at 6:00 PM., at The Lodge at Westlake Adventure Park, 5490 Kingfisher Blvd. Members of the public also attended the meeting through electronic means and accessed as follows:

1. Webex meeting from a computer, tablet or smartphone at the following link:  
<https://cityofwestlake.my.webex.com/>  
Meeting ID: 2632 8883 9851  
Password: hello
2. Participants also dialed in using phone with the following number:  
United States Toll: +1-650-479-3208  
Meeting ID: 2632 8883 9851

**CALL TO ORDER**

Mayor O'Connor called the City of Westlake regular meeting of Tuesday, January 7, 2025, to order at 6:00 PM.

**ROLL CALL**

Present and constituting a quorum:

Councilman Gary Werner  
Councilman Julian Martinez  
Councilwoman Charlotte Leonard  
Vice Mayor Greg Langowski  
Mayor JohnPaul O'Connor

Also present:

Kenneth Cassel, City Manager  
Donald J. Doody, Esq., City Attorney  
Zoie Burgess, City Clerk

**PLEDGE OF ALLEGIANCE**

Mayor O'Connor led the Pledge of Allegiance.

**ADDITIONS, DELETIONS OR MODIFICATIONS, AND APPROVAL OF AGENDA**

Mayor O'Connor called for any additions, deletions, or modifications to the agenda.

The City Manager stated that the presentation from Tara Duhy will need to be rescheduled for a later date. Mayor O'Connor called for a motion to amend the agenda.

Motion by Councilman Werner to amend the agenda with the deletion of the presentation, seconded by Vice Mayor Langowski.

**UPON ROLL CALL:**

Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O'Connor	YES

With all in favor, motion carried without dissent (5-0).

Mayor O'Connor called for a motion to approve the agenda as amended.

Motion by Councilman Martinez to approve the agenda as amended, seconded by Councilwoman Leonard.

**UPON ROLL CALL:**

Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O'Connor	YES
Councilman Werner	YES

With all in favor, motion carried without dissent (5-0).

**PUBLIC COMMENTS**

*This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.*

Public Comment – Mr. Kevin Summey – 15763 Goldfinch Circle – Mr. Summey asked if there was a PBSO representative to address the roundabout as vehicles are going the wrong way and the vehicles not stopping.

Public Comment – Mr. Theodore Sarandis – 15780 Cresswind Place – Mr. Sarandis stated he submitted a written statement to be placed on record. Mr. Sarandis read the statement into record.

Public Comment – Mr. Bobby Farber - 4829 Saint Armands Way – Mr. Farber stated the colors on the marques looked great, but the roundabout has new landscape and inquired if the lights would be fixed. He mentioned there are several lights out.

Public Comment – Ms. Alicia Torres – 5847 Whippoorwill Circle – Ms. Torres inquired about the hours in the city charter for mixed use retail and for big box stores. She also inquired about the upcoming park.

Public Comment – Mr. Chad Isaacson – 15398 Goldfinch Circle – Mr. Isaacson expressed the control council has to make changes, such as in the comp plan and the development plan. Mr. Isaacson continued and asked for the Mayor, Vice Mayor and Councilmen to individually raise their hand if they are for Walmart and Lowes.

Mr. Doody explained that doing such could put the City at risk.

Mr. Isaacson continued to explain that the Council can release a statement or reach out to Minto and have conversations with them.

Public Comment – Ms. Ani Tapiero – 5591 Whippoorwill Circle – Explained her concerns about the control council has on development and the concern of the residents not wanting a Walmart.

Public Comment – Ms. Olga Torrens – 16015 Whippoorwill Circle – Expressed her concerns over having a Walmart in the City.

**Due to technical difficulties, a recess was taken at 6:29 PM**

**Meeting resumed at 6:46 PM**



Public Comment – Ms. Doreen Winkler– 4776 Estates Circle – Ms. Winkler inquired about the stop sign needed at Persimmon and The Estates.

**PRESENTATIONS/PROCLAMATIONS**

A. Presentation: History of Westlake

**Presented By:** Tara Duhy, Esq. - Lewis Longman & Walker, PA

**Item removed from Agenda**

**CONSENT AGENDA**

*This section of the agenda consists of routine or administrative items that require final approval by the City Council and may be approved in its entirety by a single motion. There will be no discussion of these items unless a Council Member requests such, in which event, the item will be removed from the Consent Agenda and considered on a future agenda.*

- A. Minutes\_City Council Regular Meeting - 12.10.2024 DRAFT
- B. Financial Report - October
- C. Financial Report – November

Mayor O’Connor identified the consent agenda items and called for a motion to approve.

Motion by Councilman Werner to approve the consent agenda consisting of items A, B, & C, seconded by Councilwoman Leonard.

**UPON ROLL CALL:**

Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O’Connor	YES
Councilman Werner	YES
Councilman Martinez	YES

With all in favor, motion carried without dissent (5-0).

**PUBLIC HEARING**

- A. FIRST READING:** ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED “CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA”

**Submitted By:** City Clerk's Office

**ORDINANCE 2025-01**

**AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.**

Mayor O’Connor introduced the item.

Mr. Doody read the Ordinance by title only, into the record.

Mayor O’Connor asked staff to explain this item.

The City Manager explained the item.

The City Attorney further explained the purpose of Ordinance.

Mayor O'Connor opened for Council comments, there being none, Mayor O'Connor opened for public comments.

Public Comment – Ms. Alicia Torres – 5847 Whipoorwill Circle – Ms. Torres asked if anything in the code was changed. It was confirmed nothing in the Code has changed.

Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Ordinance 2025-01, seconded by Councilman Werner.

**UPON ROLL CALL:**

Vice Mayor Langowski	YES
Mayor O'Connor	YES
Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES

With all in favor, motion carried without dissent (5-0).

**NEW BUSINESS**

- A. **RESOLUTION 2025-01** – Approving and authorizing the strategic planning proposal.

**Submitted By:** Administration

**RESOLUTION 2025-01**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, APPROVING AND AUTHORIZING THE APPROPRIATE CITY OFFICIALS TO EXECUTE THE STRATEGIC PLANNING PROPOSAL FROM THE INTERNATIONAL INSTITUTE FOR LEADERSHIP DEVELOPMENT AND TRAINING FOR THE PURPOSE OF DEFINING THE CITY'S STRATEGIC PLAN; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.**

Mayor O'Connor introduced the item.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated this item was a follow-up to a previous meeting. The City Manager stated he has received a proposal from Mr. Sugerman for the Strategic Planning session.

Mayor O'Connor called for Council discussions.

Mayor O'Connor, Council, and the City Manager discussed the item in detail.

The City Manager asked Dr. Dale Sugerman to speak on the proposal.

Public Comment – Dr. Dale Sugerman – 4343 Star Ruby Blvd – Mr. Sugerman gave an overview of the Strategic Plan.

Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Resolution 2025-01, seconded by Vice Mayor Langowski.

**UPON ROLL CALL:**

Mayor O'Connor	YES
Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES

With all in favor, motion carried without dissent (5-0).

- B. RESOLUTION 2025-02** – Supporting the Procurement and Oversight of Consultants for the development of a Countywide Transportation Plan

**Submitted By:** Administration

**RESOLUTION NO. 2025-02**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, SUPPORTING THE PROCUREMENT AND OVERSIGHT OF CONSULTANTS FOR THE DEVELOPMENT OF A COUNTYWIDE TRANSPORTATION PLAN; SUPPORTING THE FORMATION OF A TECHNICAL ADVISORY COMMITTEE FOR THE SAME; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.**

Mayor O'Connor introduced the item.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated this item is a request from the county and other municipalities to support the efforts of the countywide transportation plan.

Mayor O'Connor opened for Council discussions, there being none, Mayor O'Connor called for a motion.

Motion by Councilman Werner to approve Resolution 2025-02, seconded by Councilman Martinez.

**UPON ROLL CALL:**

Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O'Connor	YES

With all in favor, motion carried without dissent (5-0).

- C. RESOLUTION 2025-03** - Authorizing the City Manager to Execute a Sponsorship Agreement with AT&T Mobility LLC

**Submitted By:** Administration

**RESOLUTION NO. 2025-03**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, APPROVING AND AUTHORIZING THE CITY MANAGER TO EXECUTE A SPONSORSHIP AGREEMENT WITH**

**AT&T MOBILITY LLC; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.**

Mayor O'Connor introduced the item.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated there were changes to the original document and requested that the Council approve subject to final review and approval of the attorney.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor opened for Council discussions, there being none, Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Resolution 2025-03 subject to approval from attorney, seconded by Vice Mayor Langowski.

**UPON ROLL CALL:**

Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O'Connor	YES
Councilman Werner	YES

With all in favor, motion carried without dissent (5-0).

**CITY COUNCIL COMMENTS**

- A. Councilwoman Charlotte Leonard – no comments.
- B. Councilman Julian Martinez – Looked forward to the Strategic Planning session and reminded everyone about the 5K Race.
- C. Councilman Gary Werner – Looked forward to the Strategic Planning session.
- D. Vice Mayor Greg Langowski – Announced the Education Advisory Board will be meeting on January 16<sup>th</sup> at City Hall at 6pm.
- E. Mayor JohnPaul O'Connor – Thanked everyone for their attendance and asked to reschedule the February City Council meeting and scheduling the SpringFest.

The Mayor and Council discussed the move of the scheduled February Council meeting in detail.

Mr. Doody stated a motion was needed.

Mayor O'Connor called for a motion to change the February Council meeting from February 4<sup>th</sup> to February 11<sup>th</sup>.

Motion by Vice Mayor Langowski, seconded by Councilwoman Leonard.

**UPON ROLL CALL:**

Vice Mayor Langowski	YES
Mayor O'Connor	YES
Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES

With all in favor, motion carried without dissent (5-0).

Mr. Cassel explained the various conflicts of holding SpringFest on the anticipated date of April 19 and the alternate date of April 12<sup>th</sup> as it is Passover and suggested April 5<sup>th</sup>.

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## **REPORT – STAFF**

District Chief Vomero provided the Palm Beach County Fire Rescue monthly report.

Lieutenant Sowers of the Palm Beach County Sheriff's Office provided the monthly report and entertained various audience comments.

## **REPORT - CITY ATTORNEY**

No Comments.

## **REPORT - CITY MANAGER**

The City Manager revisited a previous topic of the proper spacing and number of big box stores. The City Manager stated he will be executing a proposal to do a study and report back.

## **PUBLIC COMMENTS**

*This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.*

Public Comment – Ms. Ana Tapiero – 5991 Whippoorwill Circle – Ms. Tapiero expressed her gratitude to the City Manager but felt the Council does not represent the community. Ms. Tapiero expressed the conflict of interest in adding a lobbyist who is a part of Minto's legal team. Mr. Doody clarified that to be incorrect and the issue has been addressed.

Ms. Tapiero continued, inquiring about reviewing the comprehensive plan. Ms. Tapiero further discussed the conflict of interest of what the City Manager does for the City and Seminole Improvement District. Ms. Tapiero further expressed her concern for adding an agreement of services for the Lobbyist the same day of the Council meeting.

Public Comment – Mr. Bobby Farber - 4829 Saint Armands Way – Mr. Farber asked for clarification of Resolution 2025-02.

Public Comment – Mr. Eric Rehwoldt - 5326 Liberty Lane – Mr. Rehwoldt inquired about a Westlake post office.

Public Comment – Ms. Rebekah Taylor – 13566 Spruce Pine Drive – Ms. Taylor stated her concerns with Resolution 2025-01 and services being contracted without having an RFP or any other quotes for the consultant.

Public Comment – Mr. Chad Isaacson – 15398 Goldfinch Circle – Mr. Isaacson asked for a way to get the Resolutions on the website with common language to better help the community. Mr. Isaacson inquired if there was a way to put a cap on SID's increases and the rates they charge.

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Public Comment – Ms. Maribel Garcia – 16095 Whippoorwill Circle – Ms. Garcia stated she hopes that Council is keeping their city beautiful and a safe place.

Public Comment – Mr. Kevin Brown – 13566 Spruce Pine Drive – Mr. Brown asked if there were any updates to alleviate the traffic on Persimmon East to 60<sup>th</sup> Street.

Public Comment – Mr. Theodore Sarandis – 15780 Cresswind Place – Mr. Sarandis expressed the need for a request for a proposal and more details when anyone is doing business with the City.

Public Comment – Unidentified Resident – Resident inquired about land that was set aside for a school and the timeline for building the school.

Public Comment – Ms. Jackie Campbell- 15938 Key Biscayne Lane – Ms. Campbell addressed the concern of being told she couldn't speak more than one time, but Council was allowing individuals to speak more than once.

Public Comment – Mr. Kevin Summey- 15763 Goldfinch Circle – Mr. Summey addressed the fines with SID and the contracts that the City uses with no proposals given for a cheaper price.

Public Comment – Mr. Dale Sugerman – 4343 Star Ruby Blvd – Mr. Sugerman stated that he would be happy to withdraw his proposal, and the Council is welcome to obtain other quotes.

Further Council discussion on proposals and seeking approval from Council.

### **ADJOURNMENT**

There being no further business, Mayor O'Connor adjourned the meeting at 7:58 PM.

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Zoie P. Burgess, City Clerk

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JohnPaul O'Connor, Mayor

**File Attachments for Item:**

**A. SPM-2024-02:** Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.

**Submitted By:** Planning and Zoning



# Meeting Agenda Item Coversheet

<b>MEETING DATE:</b>		2/11/2025	<b>Submitted By:</b> Planning and Zoning		
<b>SUBJECT:</b> <i>This will be the name of the Item as it will appear on the Agenda</i>		<p><b>SPM-2024-02:</b> Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.</p>			
<b>STAFF RECOMMENDATION:</b> (MOTION READY)		<p>Motion to Approve with Conditions SPM-2024-02 – Master Site Plan Modification for the Grove Market Plaza (Bank with Drive-Through facility)</p> <ol style="list-style-type: none"> <li><u>1. Applicant shall contribute one percent (1%) of the building's construction cost to the City of Westlake Art Acquisition Fund prior to building permit issuance.</u></li> <li><u>2. Applicant shall execute and record the Declaration of Unity of Control for Parking prior to building permit issuance.</u></li> </ol>			
<b>SUMMARY and/or JUSTIFICATION:</b>		<p>The applicant is seeking approval for a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The proposal involves the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through use. To make space for the new bank, 48 standard parking spaces will be removed, leaving a total of 374 parking spaces and relocating six (6) Low-Speed Electric Vehicle (LSEV) spaces for the overall development. This application complies with the City Code Chapter 8. Parking regulations. Section 2: Reduction of Minimum Parking Spaces. The applicant has provided a shared parking study, and a Declaration of Unity of Control for Parking in a form acceptable to the City Attorney, as detailed in the enclosed documents.</p>			
<b>SELECT, if applicable</b>		<b>AGREEMENT:</b>		<b>BUDGET:</b>	
		<b>STAFF REPORT:</b>	X	<b>PROCLAMATION:</b>	
		<b>EXHIBIT(S):</b>	X	<b>OTHER:</b>	
<b>IDENTIFY EACH ATTACHMENT.</b> <i>For example, an agreement may have 2 exhibits, identify the agreement and Exhibit A and Exhibit B</i>		<p>Agenda Item Sheet Staff Report Application Justification Statement Shared Parking Study Survey Master Site Plan Photometrics Plan Landscape Plan Elevation Plans</p>			



	Engineering Plans Drainage Statement Traffic Statement		
<b>SELECT, if applicable</b>	<b>RESOLUTION:</b>		<b>ORDINANCE:</b>
<b>IDENTIFY FULL RESOLUTION OR ORDINANCE TITLE</b> <i>(if Item is <b>not</b> a Resolution or Ordinance, please erase all default text from this field's textbox and leave blank)</i> <b><u>Please keep text indented.</u></b>			
<b>FISCAL IMPACT (if any):</b>			\$



## City of Westlake

### Planning and Zoning Department – Staff Report

City Council Meeting 02/11/2025

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#### PETITION DESCRIPTION

**PETITION NUMBER:** SPM-2024-02 Master Site Plan Modification – Grove Market (Bank with Drive-Through)

**OWNER:** Grove Market Courtland LLC, Grove Market Anderson LLC, JBL Humblewood Center LLC, Grove Market SG2020 LLC

**AGENT:** Kimley-Horn

**PCN:** 77-40-43-01-01-001-0010

**ADDRESS:** 5060 Seminole Pratt Whitney Rd. Westlake, FL.

**REQUEST:** Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. *Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.*

#### SUMMARY

The applicant is seeking approval for a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The proposal involves the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through use. To make space for the new bank, 48 standard parking spaces will be removed, leaving a total of 374 parking spaces and relocating six (6) Low-Speed Electric Vehicle (LSEV) spaces for the overall development. This application complies with the City Code Chapter 8. Parking regulations. Section 2: Reduction of Minimum Parking Spaces. The applicant has provided a shared parking study, and a Declaration of Unity of Control for Parking in a form acceptable to the City Attorney, as detailed in the enclosed documents.

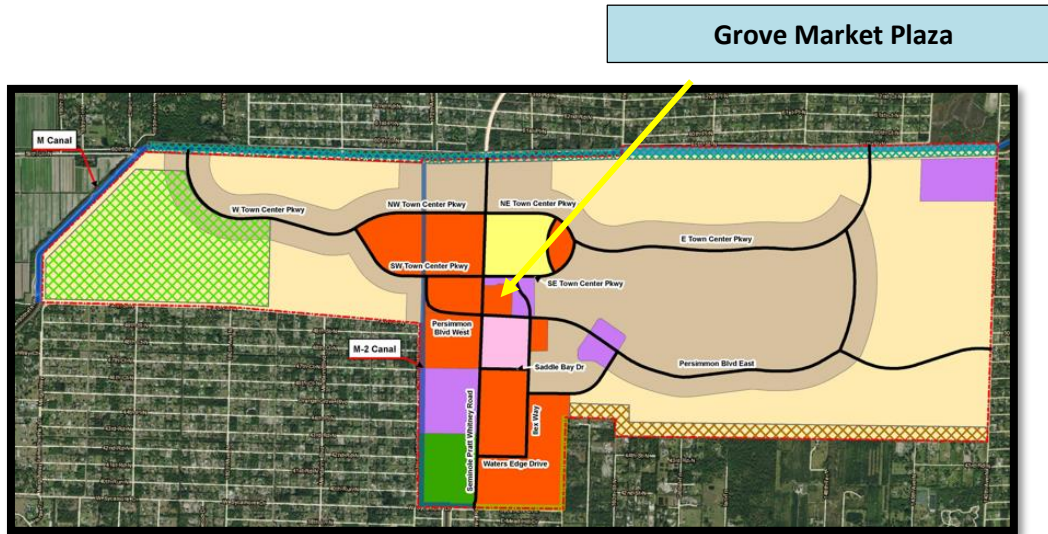
#### STAFF RECOMMENDATION

Based upon the facts and findings contained herein, the **Planning and Zoning and Engineering Departments** have no objections to the above referenced application with the following conditions:

1. Applicant shall contribute one percent (1%) of the building's construction cost to the City of Westlake Art Acquisition Fund prior to building permit issuance.
2. Applicant shall execute and record the Declaration of Unity of Control for Parking prior to building permit issuance.

**PETITION FACTS**

- a. Total Gross Site Area: 9.98 acres (0.73 Bank Outparcel)
- b. Land Use and Zoning  
Existing Land Use: Commercial  
Future Land Use: Downtown Mixed Use  
Zoning: Mixed Use



**BACKGROUND**

The Grove Market Shopping Center was built by Stiles Corp in 1999, with the anchor space built to suit for former Winn-Dixie store (currently approved for Aldi). 5060 Loxahatchee Retail, LLC acquired the center in September 2016 and owned it until 2022. In 2022, Grove Market LLC acquired the center and has owned the property since.

- On June 14,2021 the City Council approved a Site Plan Modification (SPM-2021-02) to allow an upgrade to entire architectural façade of the Grove Market Shopping Center.
- On June 14,2021 the City Council approved a Site Plan Modification (SPM-2021-01) to allow an upgrade to the 49,610 square foot Winn-Dixie grocery store, and 2,536 square foot liquor store (total 52,145 sq.ft.) at the Grove Market Shopping Center. The improvements include increasing 1,238 sq.ft. to grocery store floor plan, upgrading the façade and interior modifications to the current vacant grocery store space.
- On August 9,2021, the City Council approved a Master Sign Plan (MSP-2021-05) to allow an upgrading to all wall signs, monument signs and tenant signs of the Grove Market Shopping Center.
- On October 11,2021, the City Council approved Application SPR-2021-08 to upgrade the Grove Market at Westlake site Plan. The applicant included a landscaping plan, improvements to the parking area, the dumpster enclosures, and the covered walking area.
- On September 5, 2023, the City Council approved application SPM-2023-05 to modify the existing Grove Market Outparcel D, to increase the previously approve square footage for Building D from 3,675 square foot to an 8,317 square foot one story building for retail and medical office use.

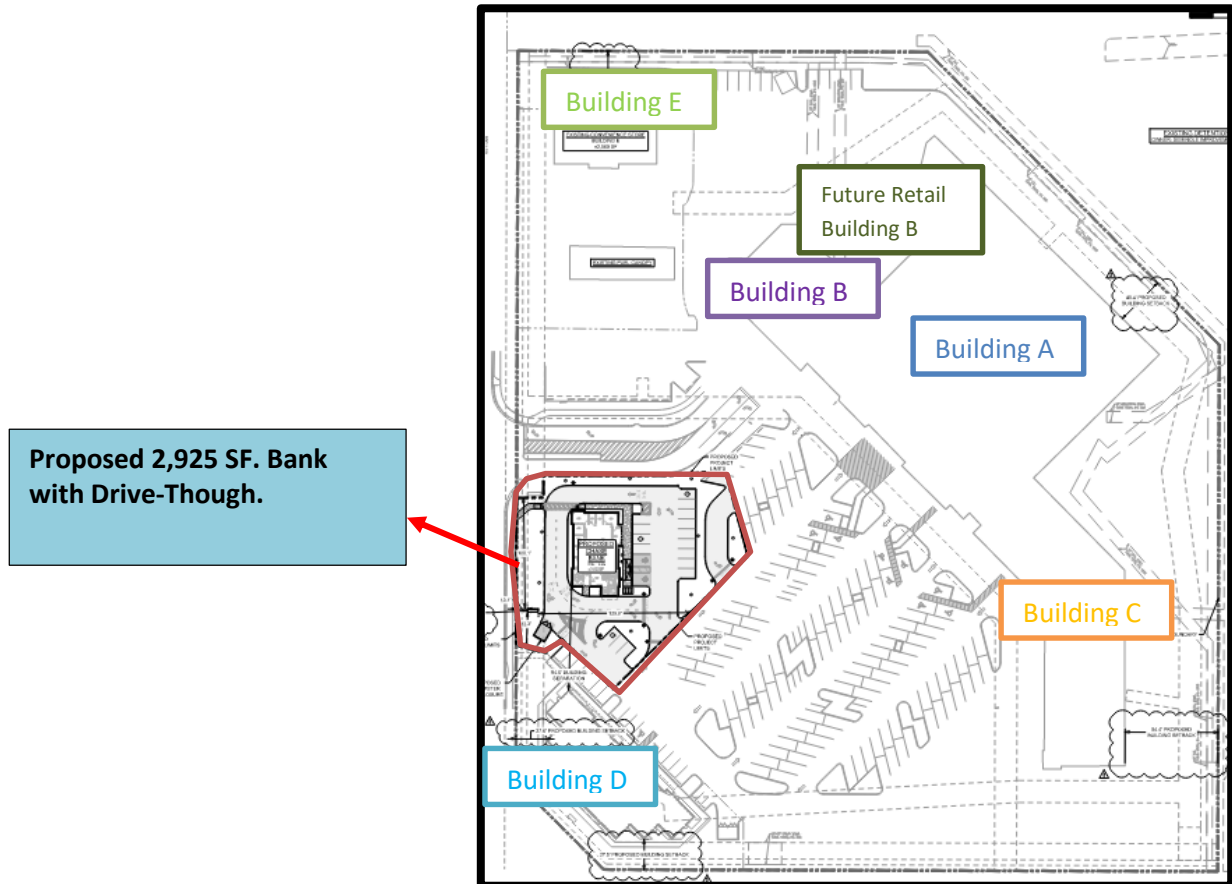
- On December 10, 2024, the City Council approved application SPM-2024-04 to modify the Grove Market shopping plaza building façade to accommodate a new 28,594 square foot grocery store (Aldi) and two (2) unspecified future retail tenants occupying 16,905 square feet and 6,646 square feet.
- On December 10, 2024, the City Council approved application MSP-2024-02 to amendment to the Master Sign Plan of the Grove Market shopping plaza to replace the Win Dixie wall sign with the new Aldi wall sign on the front building elevation.

**STAFF ANALYSIS**

The applicant proposes a new outparcel by redeveloping a 0.73-acre section of the existing parking lot to accommodate an approximately 2,925-square-foot Bank with Drive-Through use. To accommodate the proposed new Bank with Drive-Through, 48 standard parking spaces will be removed and relocating six (6) LSEV spaces, leaving a total of 374 parking spaces for the Grove Market Shopping Plaza. The proposed redevelopment will include the following structures and site improvements:

1. A one (1) story 2,925 square foot Bank with Drive-Through.
2. Drive-Through with nine (9) queuing spaces.
3. Bicycle Racks (27).
4. Providing a total of 374 vehicle parking spaces for the Grove Market Shopping Plaza.

**Site location at Grove Market Plaza**



**PARKING ANALYSIS**

The total number of required parking spaces for the Grove Market Shopping Plaza is 395, while the applicant is providing 374 spaces. Per code requirement, the applicant submitted a parking study that was reviewed by city staff. The subject study determined that the peak parking demand will be 353 spaces at 5:00 PM on a weekday and 374 spaces at 12:00 PM on a weekend. Based on these findings, the 374 parking spaces provided are sufficient to meet the shared parking needs of the shopping plaza. The applicant has also submitted a Declaration of Unity of Control for Parking, which is attached for reference.

The analysis is based on the City Code *Chapter 8. Parking Regulations. Section 2: Reduction of Minimum Space Requirements (A) Shared Parking:*

A) **Shared Parking**

(1) *The City Council shall as part of an approval of a new or expanded use, new construction, substantial renovation, or alteration or expansion of an existing site, approve the use of shared parking to reduce overall parking requirements. The basis for approval of an application to establish shared parking includes the factors listed below.*

(a) *Two or more uses located in the same structure, on the same site, or within 1000 feet (measured property line to property line) of each other that possess complementary peak hours of parking usage.*

(b) *The proposed shared parking areas must be reasonably accessible to all participating uses and shared parking spaces may not be reserved for a particular use or otherwise restricted.*

(c) **Shared parking study.** *Preparation, in a professionally accepted manner, of a shared parking study by a qualified professional engineer, architect, or planner. The shared parking study shall be the most recent version based on the Urban Land institute’s (ULI) methodology for determining shared parking, or other professionally accepted methodology.*

(d) **Legal documentation.** *The property owner(s) shall submit an appropriate restrictive covenant or access easement in recordable form acceptable to the City Attorney.*

(e) **Development order.** *Any development order approved by the city council which includes the use of shared parking shall:*

(i) *Provide the city a means to readdress the shared parking in the event future parking problems or changes in use occur;*

(i) *Provide a legal description of the land and structures affected;*

(ii) *Provide for a term of at least five years;*

(iii) *Provide a site plan to indicate uses, hours of operation, parking, etc.; and*

(iv) *Assure the availability of all parking spaces affected by the agreement.*

(2) *The amount of parking provided pursuant to a shared parking agreement shall not be more than 20% of the required parking.*

The following table presents compliance with applicable zoning code:

Zoning District: Mixed Use	REQUIRED BY CODE	PROPOSED	COMMENTS
Front Yard	20ft	27 ft	<i>In compliance</i>
Rear Yard	10ft	45	<i>In compliance</i>
Side Yard	20ft	27 South / 53 North	<i>In compliance</i>
Lot Coverage	50% maximum	21.7%	<i>In compliance</i>
Building Height	Max. Three stories or 35ft	One Story building / 21.6 feet	<i>In compliance</i>
Parking	Shopping Center 1/240 SF (Buildings A, B, C) Bank with Drive-Through 1/300 SF Convenience Store 1/240 SF + 1/pump (Building E) Retail (Building D) (1/240)  <b>Total Required: 395</b>	<b>Total Provided: 374</b> <b>(5.3% of required parking)</b>  LSEV: 25	<b><i>Application is in compliance with the Shared Parking Code. See below analysis.</i></b>
Sidewalks	Pedestrian walkways must be a minimum of 5ft wide	5' sidewalk	<i>In compliance</i>
Open Space	25% minimum	25%	<i>In compliance</i>

Chapter 8. Parking Regulations. Section 2: Reduction of Minimum Space Requirements (A) provides for Shared Parking provisions. See the following analysis:

No. of Requested Parking Spaces= 395 spaces  
 Provided by application = 374 spaces

The City Code allows a maximum of 20% of the total required parking spaces to use shared parking. In this case, a maximum of 79 spaces qualified to be used as shared parking (20% of 395 spaces)

395 required spaces minus (-) 374 provided spaces= 21 Spaces or 5.3 percent. The subject application is in compliance with the City Code since the amount of shared parking is only 5.3% or 21 spaces.

**ARCHITECTURE**

Design and aesthetics play a crucial role in aligning with the vision and goals of the City of Westlake. The proposed building incorporates architectural features such as stone materials, ensuring a harmonious blend with the surrounding development’s color schemes and overall aesthetic. Additionally, the drive-through is strategically positioned on the side of the building, away from Seminole-Pratt Whitney Road, minimizing visual impact and maintaining the area’s cohesive appearance.

**Proposed Architectural Elevations:**

**North Elevation**



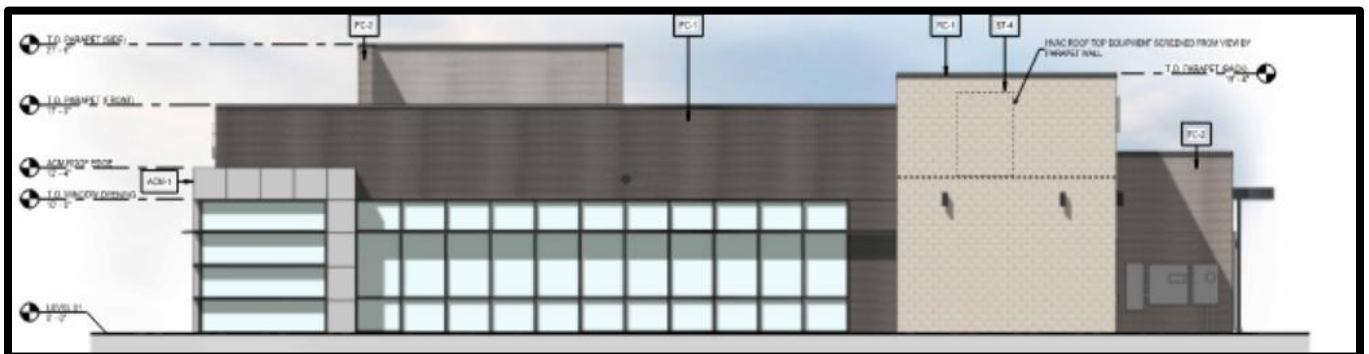
**South Elevation**



**East Elevation**



**West Elevation**



**ACCESSWAYS AND CONNECTING SIDEWALKS**

The subject application includes an internal pedestrian entrance from Seminole Pratt Whitney Road. Additionally, the site offers two points of vehicular access from the Grove Market Shopping Plaza parking lot.



**FIRE SAFETY**

The subject application was reviewed by the Palm Beach County Fire Department and provided no objections as shown below.

Review	assigned to	date required	outcome	date completed
Fire Department Review	Wesley Jolin	05/28/2024	No Comments	05/30/2024

**LANDSCAPE**

The preliminary landscape plan has been reviewed and is in compliance with the City Code. Additional comments and actions might be forthcoming at time of full landscape permit review.

**DRAINAGE**

The proposed onsite impervious area for the bank is not increasing impervious area in the original permitted design and therefore no improvements are required to the existing stormwater facility.

**TRAFFIC**

All material traffic comments were addressed. The total trips projected for this application do not exceed the approved trips for Westlake per the Development Order.



**FINAL REMARKS**

SPM-2024-02 will be heard by the City Council on February 10, 2025. The public hearing was advertised in compliance with the City’s code. The subject application was reviewed by the City of Westlake staff (Planning and Zoning, Engineering), Seminole Improvement District (SID) and Palm Beach County Fire Rescue.

**EXISTING CONDITIONS**





**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROJECT LIMITS
- BUILDING SETBACK
- (X) PARKING COUNT
- PROPOSED SIGN

**General Information**

Property Tax ID #(s): 77-40-43-01-01-001-0010

Site Control Name: Bank at Grove Market Westlake

Description: Site Plan Modification

Petition Number: SPM-2024-02

Jurisdiction: City of Westlake

Future Land Use: Downtown Mixed Use

Zoning: Mixed Use

Building Setback:

North:	Required: 10	FT
	Provided: 53.1	FT
South:	Required: 10	FT
	Provided: 27.5	FT
East:	Required: 10	FT
	Provided: 45.4	FT
West:	Required: 20	FT
	Provided: 27.0	FT

Proposed Building Height: 21.5 FT

Traffic Analysis Zone: 864

Proposed Queuing Spaces: 8

Existing Use(s):

- Proposed Bank w/ Drive Thru: Parking Lot
- Grocery Store - Building A: Retail Sales or Service
- Retail - Building B: Retail Sales or Service
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**Area Data**

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Conv. Store w/ Gas Sales - Building E (GSF):	2,500 SF	
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Pervious Area:	109,590 SF	25.2 %
Impervious Area:	325,139 SF	74.8 %
Existing Project Limits Area:	<b>29,784 SF</b>	
Pervious Area:	9,559 SF	32.1 %
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Proposed Overall Site Area:	<b>434,729 SF</b>	
Pervious Area:	108,509 SF	25.0 %
Impervious Area:	326,220 SF	75.0 %
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Pervious Area:	8,478 SF	28.5 %
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**Parking Data**

	Required	Proposed
<b>Total Parking Spaces</b>	<b>395</b>	<b>374</b>
Existing Retail/Grocery (1/240 SF)	319	293
Bank w/ Drive-Thru (1/300 SF)	10	18
Future Shopping Center Parking (1/240 SF)	17	19
Convenience Store w/ Pumps (1/240 SF+ 1/pump)	9	9
Future Outparcel (1/240 SF)	35	35
ADA Accessible	9	15
Low Speed Electric Vehicle	-	25
Motorcycle/Compact Car	-	13
Loading Spaces	9	9
Bicycle Parking	19	27
<b>Parking Spaces within Project Boundary</b>	<b>Removed</b>	<b>Proposed</b>
Standard Spaces	48	18
Low Speed Electric Vehicle	6	0
ADA Accessible	0	2

**NOTES**

1. THE MASTER SITE REQUIRED PARKING WILL BE REDUCED FROM 395 SPACES TO 374 SPACES, PER THE REQUIREMENTS OUTLINED IN THE CITY OF WEST LAKE ORDINANCE 2019-10, UNDER ARTICLE 8.9 SECTION 2A, SHARED PARKING.

**The Grove Market at Westlake Non-Conformities Chart**

Westlake Code	Required	Provided
Ordinance No. 2019-10 Off-Street Parking Table 8-1 Mn. Dimensions	60° Parking - Retail Width: 9.5' Depth: 19.0' Module Width: 53'	60° Parking - Retail Width: 9' Depth: 16'-8" Module Width: 50.8'
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**Kimley Horn**

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REGISTRY NO. 35106

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**OVERALL AERIAL SITE PLAN**

**CHASE BANK AT GROVE MARKET WESTLAKE**

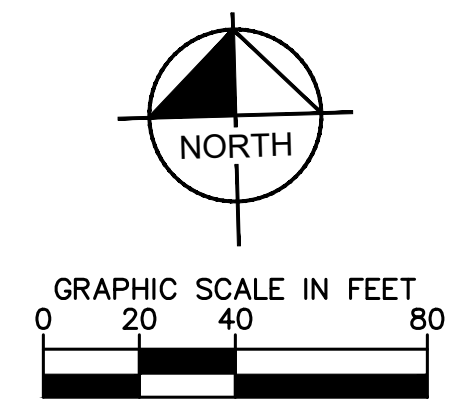
CITY OF WESTLAKE FLORIDA

DATE: NOVEMBER 2024  
PROJECT NO.: 145538000  
SHEET NUMBER: C-300

SCALE: AS SHOWN  
DESIGNED BY: SRF  
DRAWN BY: SRF  
CHECKED BY: NEB

Plotted By: Berlin, Nicole Sheet Set: GROVE MARKETPLACE CHASE Layout: Overall Aerial Site Plan January 09, 2025 12:35:23pm K:\NTP-Civil\145538 - Premier Developers\000 - Grove Marketplace\CADD\PlanSheets\C-Site Plan.dwg  
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**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROJECT LIMITS
- BUILDING SETBACK
- PARKING COUNT
- PROPOSED SIGN
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- CONCRETE SIDEWALK
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- PROPOSED LIGHT POLE

**SITE DATA TABLES**

**General Information**

Property Tax ID #(s): 77-40-43-01-01-001-0010

Site Control Name: Bank at Grove Market Westlake

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Petition Number: SFM-2024-02

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Future Land Use: Downtown Mixed Use

Zoning: Mixed Use

Building Setback:

North:	Required: 10	FT
	Provided: 53.1	FT
South:	Required: 10	FT
	Provided: 27.5	FT
East:	Required: 10	FT
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Traffic Analysis Zone: 864

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**Parking Data**

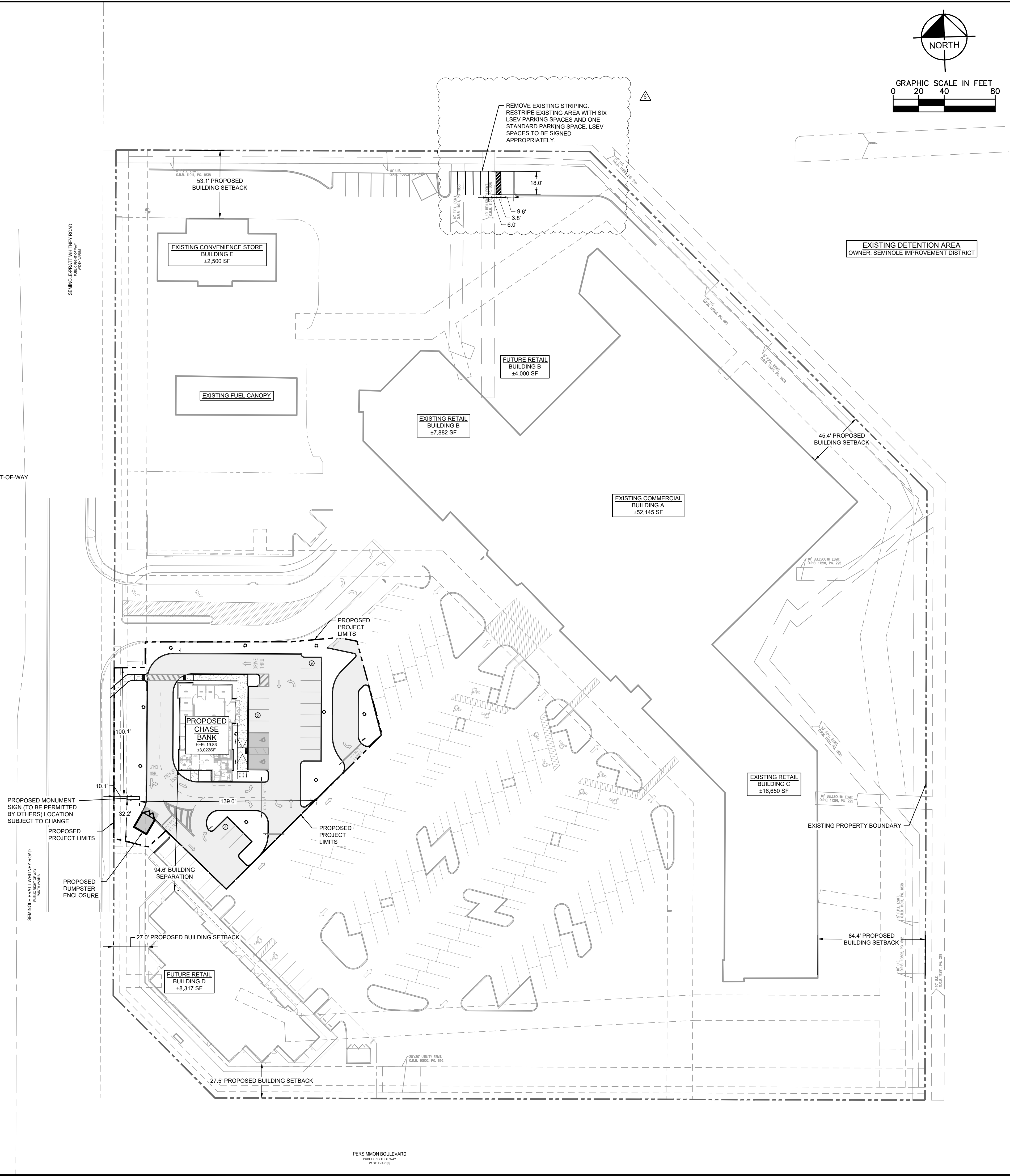
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Future Outparcel (1/240 SF)	35	35
ADA Accessible	9	15
Low Speed Electric Vehicle	-	25
Motorcycle/Compact Car	-	15
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**Kimley & Horn**  
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 REGISTRY NO. 35108

LICENSED PROFESSIONAL  
 NICOLE E. BERLIN, P.E.  
 FLORIDA LICENSE NUMBER 92165  
 DATE:

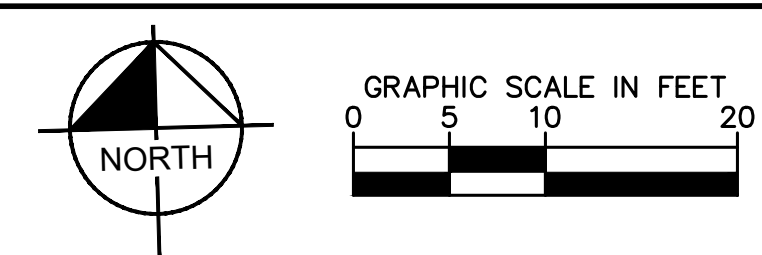
SCALE AS SHOWN  
 DESIGNED BY SRF  
 DRAWN BY SRF  
 CHECKED BY NEB

**OVERALL SITE PLAN**

**CHASE BANK AT GROVE MARKET WESTLAKE**  
 CITY OF WESTLAKE  
 FLORIDA

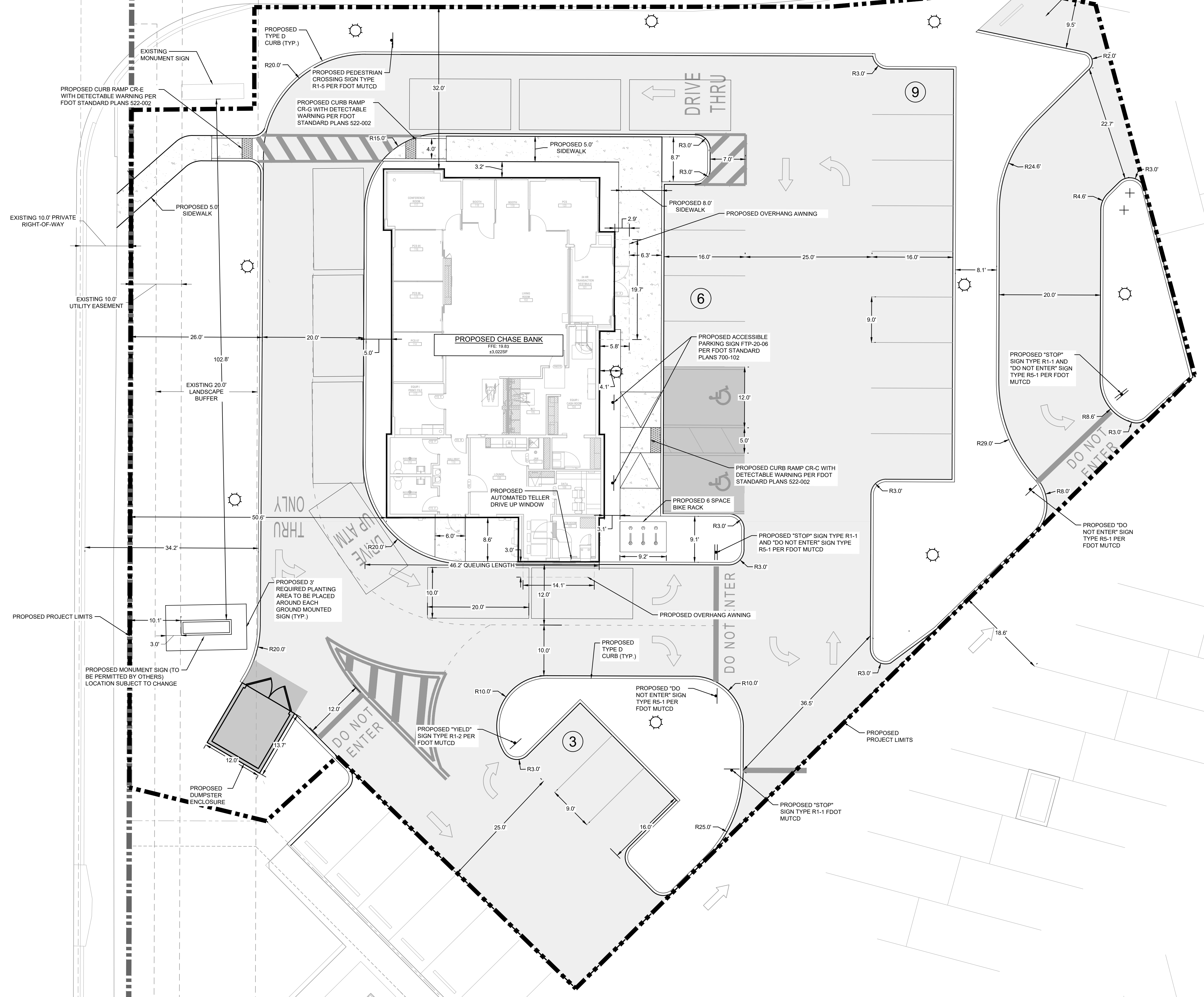
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- (X) PARKING COUNT
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West:	Required: 20 FT Provided: 27.0 FT
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Proposed Queuing Spaces:	8
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01/10/2025 SRF  
12/27/2024 SRF  
12/16/2024 SRF  
11/20/2024 SRF  
10/16/2024 SRF

CITY OF WESTLAKE REV 5  
CITY OF WESTLAKE REV 4  
CITY OF WESTLAKE REV 3  
CITY OF WESTLAKE REV 2  
CITY OF WESTLAKE REV 1

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ST. PETERSBURG, FL 33707  
PHONE: 727-547-5898 WWW.KIMLEY-HORN.COM  
REGISTRY NO. 35108

SCALE AS SHOWN

DESIGNED BY SRF

DRAWN BY SRF

CHECKED BY SRF

NEB DATE: 9/21/25

LICENSED PROFESSIONAL

NICOLE E. BERLIN, P.E.

FLORIDA LICENSE NUMBER 92165

CHASE BANK AT GROVE MARKET WESTLAKE

CITY OF WESTLAKE

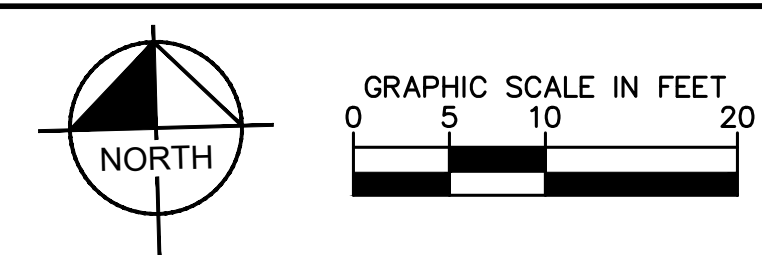
FLORIDA

DATE NOVEMBER 2024

PROJECT NO. 145538000

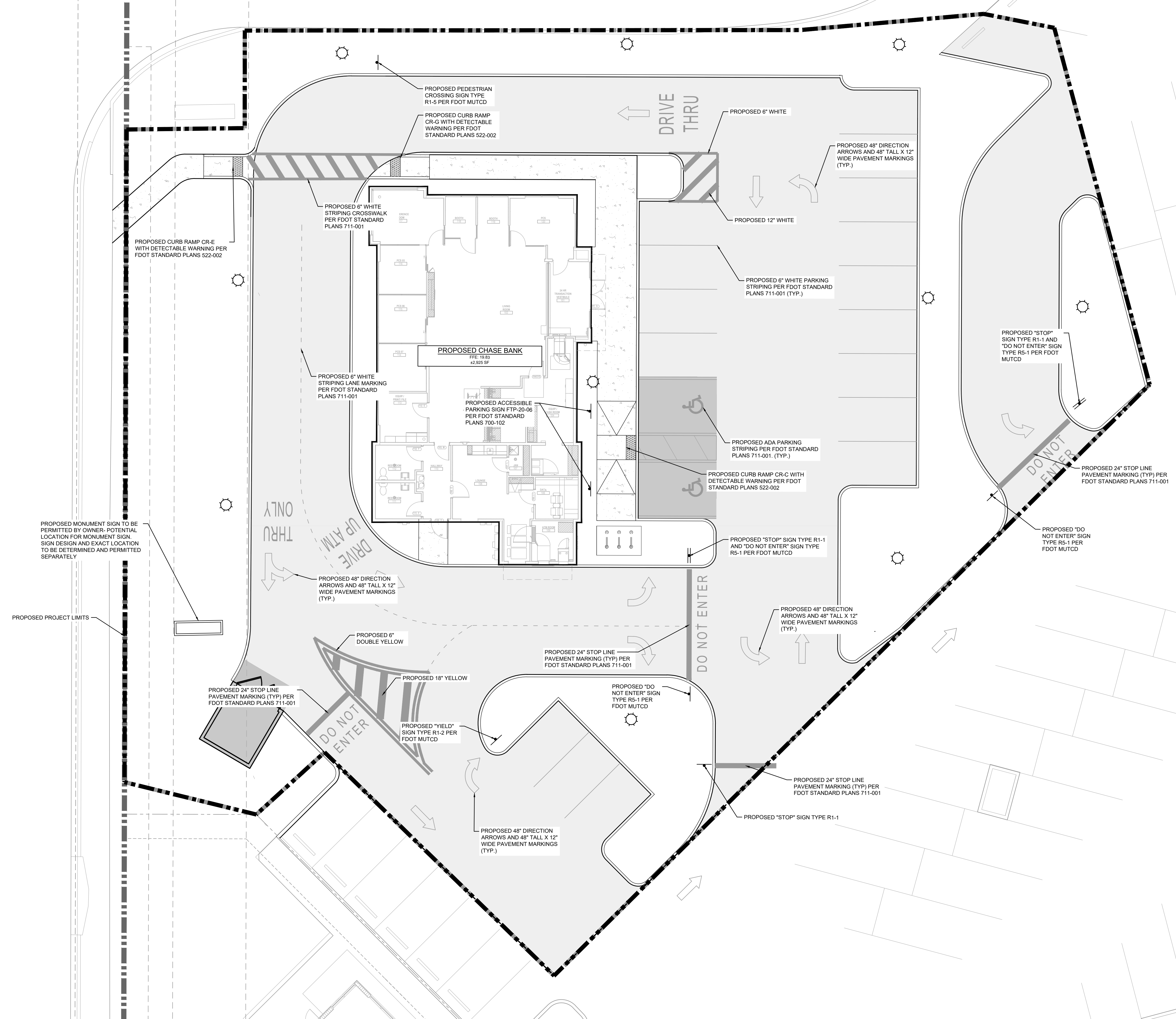
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SRF	01/10/2025	CITY OF WESTLAKE REV 5
SRF	12/27/2024	CITY OF WESTLAKE REV 4
SRF	12/16/2024	CITY OF WESTLAKE REV 3
SRF	11/26/2024	CITY OF WESTLAKE REV 2
SRF	10/16/2024	CITY OF WESTLAKE REV 1

**Kimley»Horn**  
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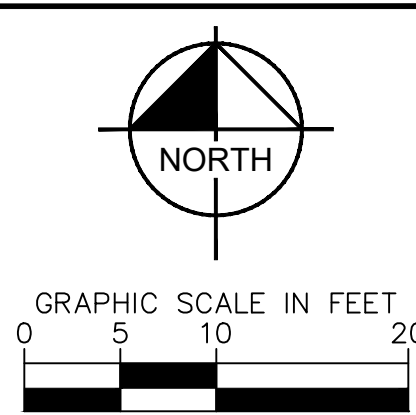
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SCALE AS SHOWN	NEB
DESIGNED BY	SRF
DRAWN BY	SRF
CHECKED BY	SRF
DATE	9/21/25

**SIGNAGE, STRIPING, AND MARKING PLAN**

**CHASE BANK AT GROVE MARKET WESTLAKE**  
 CITY OF WESTLAKE FLORIDA

DATE	NOVEMBER 2024
PROJECT NO.	145538000
SHEET NUMBER	C-303

Plotted By: Berlin, Nicole Sheet Set: GROVE MARKETPLACE CHASE Layout: C-400 GRADING AND DRAINAGE PLAN January 09, 2025 12:35:33pm K:\STP-CIV\145538 - Premier Developers\000 - Grove Marketplace\CADD\PlanSheets\C-400\_Grad\_Plan.dwg  
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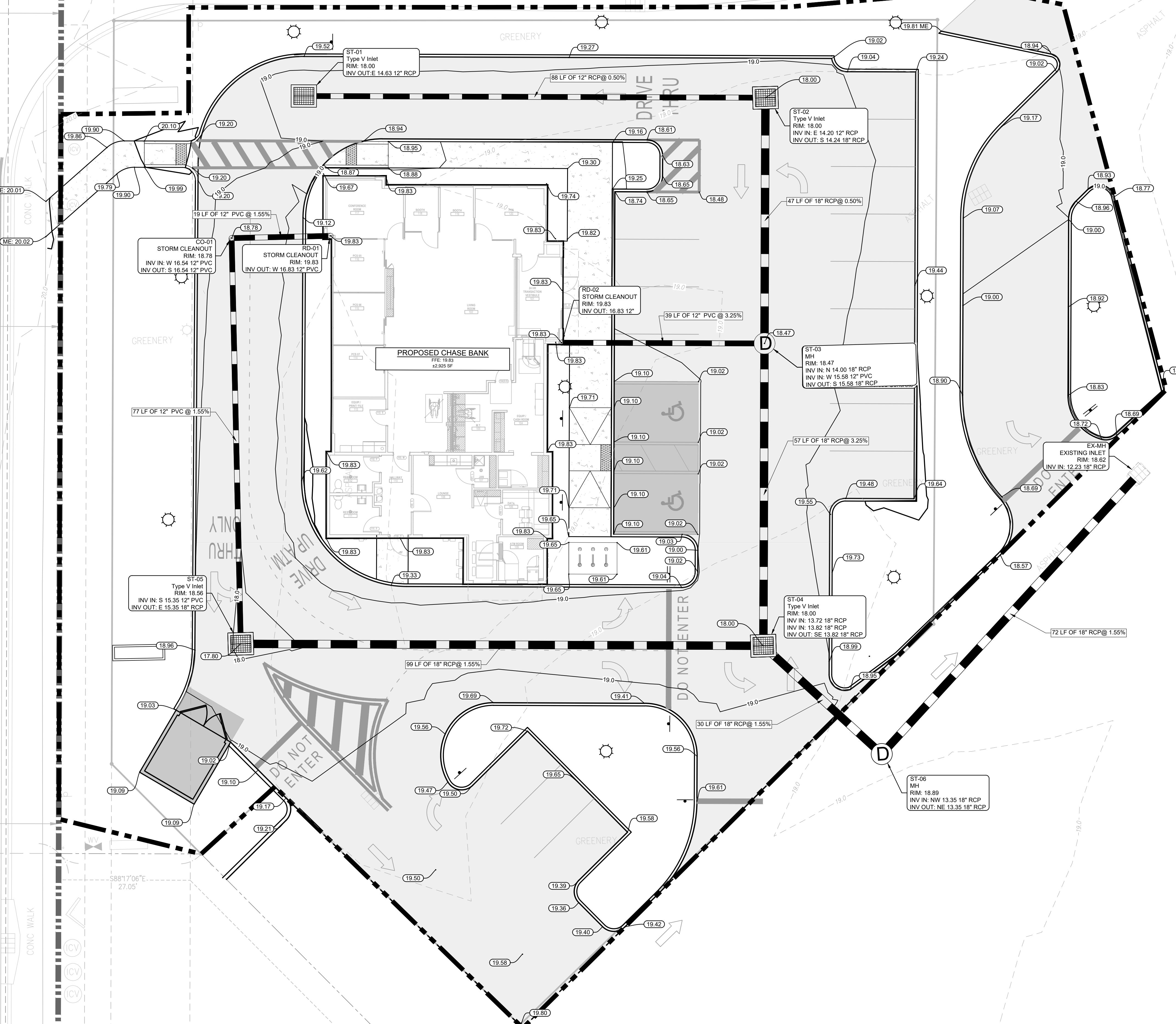


LEGEND	
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	PROPOSED STORM STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED STORM PIPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SLOPE
	PROPOSED SPOT GRADE
	PROPOSED MATCH EXISTING SPOT GRADE

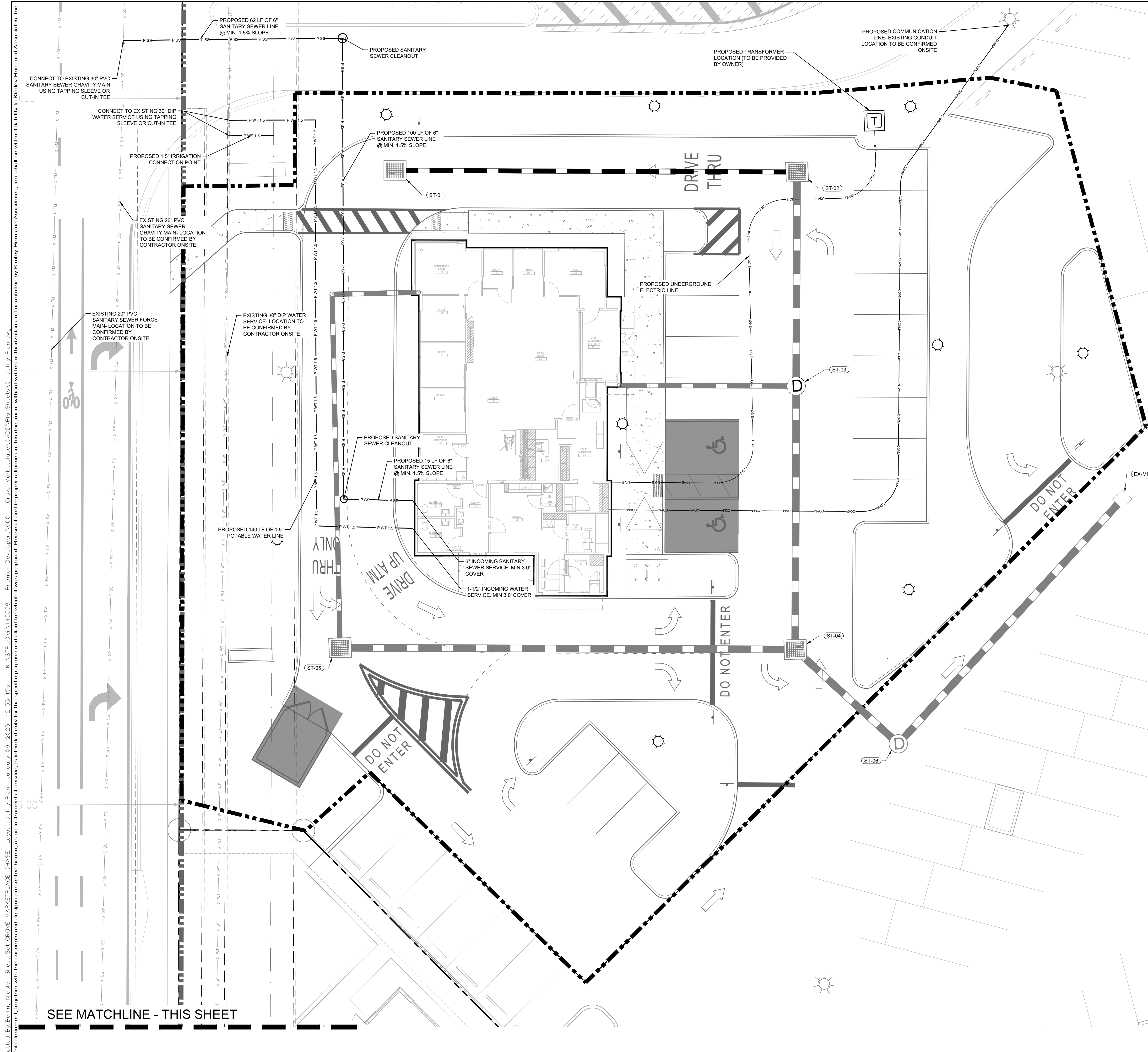
**GRADING NOTES**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING SITE LAYOUT, UTILITY INVERTS, AND GRADE ELEVATIONS AS SHOWN ON THESE PLANS IS TAKEN FROM CAD LINEWORK AND PLANS PREPARED BY Q. GRADY MINOR AND ASSOCIATES, P.A. DATED 02/26/2024. THE INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING INFORMATION SHOWN PRIOR TO CONSTRUCTION.
2. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
3. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
5. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
6. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL STORM PIPE RETURNING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
10. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
11. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
14. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
15. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
16. PIPE LENGTHS LISTED ARE BASED ON HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND USED FOR DESIGN. CONTRACTOR TO FIELD VERIFY ACTUAL PIPE LENGTHS NEEDED FOR CONSTRUCTION.
17. THE DATUM SHOWN ON THE GRADING PLAN IS NAVD 88.
18. SIDEWALKS ARE DESIGNED TO MEET ADA REQUIREMENTS WITH A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM GROSS SLOPE OF 2%. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
19. SIDEWALKS ARE NOT TO EXCEED 5% ALONG THE PATH UNLESS SPECIFICALLY DESIGNED OTHERWISE. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
20. ADA PARKING SPACES ARE NOT TO EXCEED 2% IN ANY DIRECTION. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
21. ALL EXTERIOR SLOPES, NEW CONSTRUCTION, SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS AND SHALL BE MEASURED WITH A 24" SMART LEVEL. CROSS SLOPES IN ALL CONDITIONS SHALL BE 2% MAXIMUM.
22. SPOT ELEVATIONS ALONG CURBLINE ARE SHOWN AT THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
23. SPOT SHOTS LABELED 'ME' ARE TO MATCH EXISTING GRADES.
24. SPOT SHOTS LABELED 'TC' ARE TOP OF CURB.
25. ALL ONSITE STORMWATER INFRASTRUCTURE MAINTENANCE IS TO BE MAINTAINED BY THE LAND OWNER.

- NOTES**
1. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. CONTRACTOR TO VERIFY A D.A. COMPLIANCE. FOR ANY QUESTIONS CONTACT CIVIL ENGINEER IMMEDIATELY.
  3. GRADIES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSINGS, SHALL CONFORM TO ALL APPLICABLE A.D.A. STANDARDS; NOT TO EXCEED 5.0% ALONG TRAVEL PATH WITH NOT MORE THAN 2.0% CROSS SLOPE AND NOT TO EXCEED 2.0% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS.
  4. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, STORM MANHOLES ETC. TO MATCH PROPOSED FINISHED GRADES, IF NECESSARY.
  5. MAXIMUM SLOPE IN TURF AREAS SHALL BE 4:1.
  6. REFER TO LANDSCAPE PLANS FOR GRADING DETAILS IN LANDSCAPE AREAS.



		LICENSED PROFESSIONAL NICOLE E. BERLIN, P.E. 2024 KIMLEY-HORN AND ASSOCIATES, INC. 2000 W. UNIVERSITY BLVD., SUITE 100 ST. PETERSBURG, FL 33707 PHONE: 727-547-8999 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106	SCALE AS SHOWN DESIGNED BY SRP DRAWN BY SRP CHECKED BY NEB DATE:	<b>GRADING AND DRAINAGE PLAN</b> <b>CHASE BANK AT GROVE MARKET WESTLAKE</b> CITY OF WESTLAKE FLORIDA	DATE NOVEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER <b>C-400</b>
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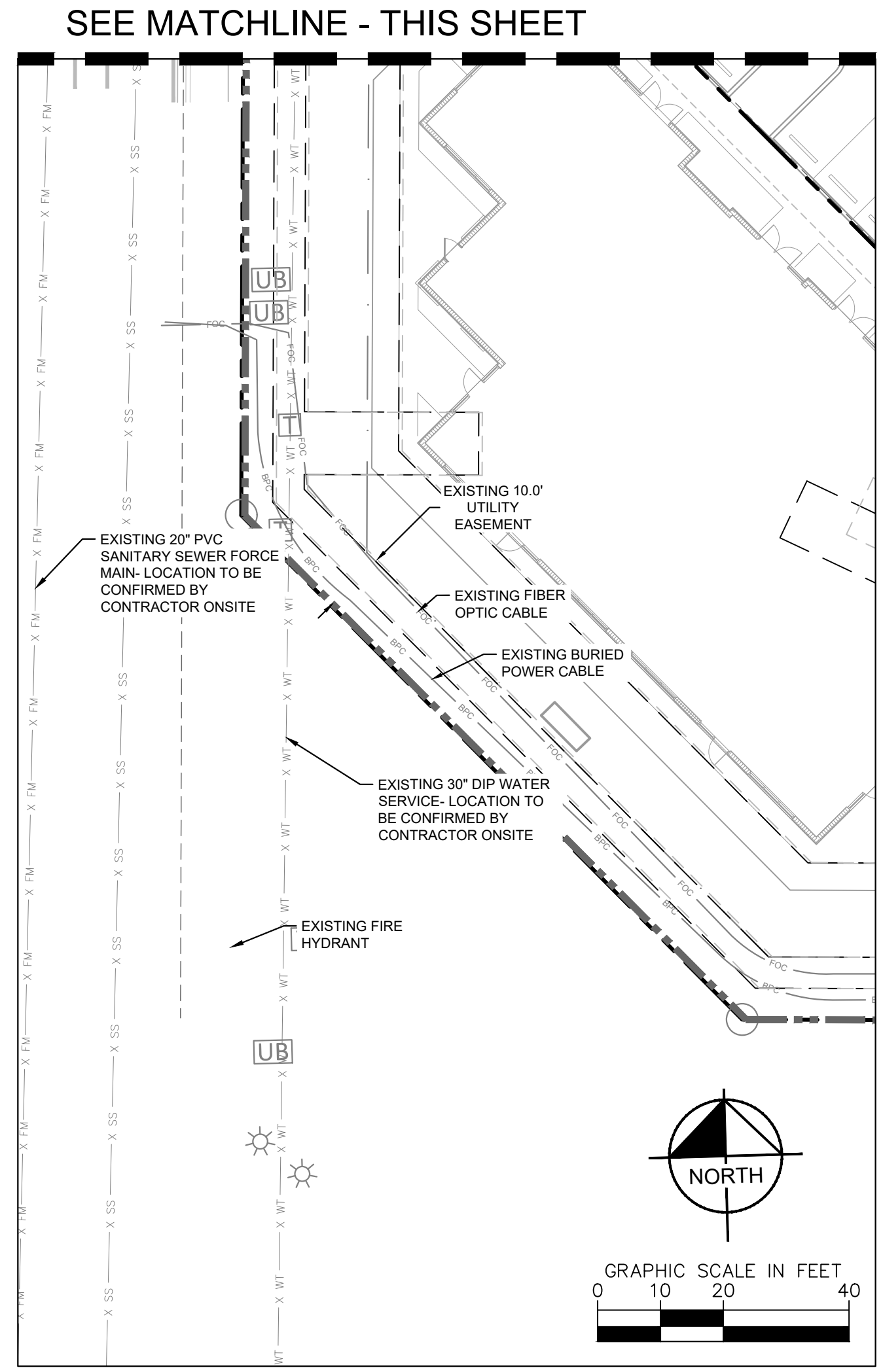


**LEGEND**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROJECT LIMITS
- BUILDING SETBACK
- PROPOSED SIGN
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED 1.5" POTABLE WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED FORCE MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED TRANSFORMER LOCATION
- PROPOSED STORM STRUCTURE
- PROPOSED STORM PIPE
- EXISTING WATER LINE (SEE PLAN FOR SIZE)
- EXISTING STORM LINE
- SANITARY SEWER FORCE MAIN

GRAPHIC SCALE IN FEET: 0, 5, 10, 20

NORTH



Plotted By: Berlin, Nicole - Sheet Set: GROVE MARKETPLACE CHASE - Layout: Utility Plan - January 09, 2025 12:35:45pm - S:\STP-Civil\145538 - Premier Developers\000 - Grove Marketplace\CADD\PlanSheets\C-Utility Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

DATE	NOVEMBER 2024
PROJECT NO.	145538000
SHEET NUMBER	C400

**811**  
Know what's below.  
Call before you dig.

**UTILITY PLAN**

CHASE BANK AT GROVE MARKET WESTLAKE  
CITY OF WESTLAKE FLORIDA

DESIGNED BY: SRF  
DRAWN BY: SRF  
CHECKED BY: NEB

SCALE: AS SHOWN

LICENSED PROFESSIONAL: NICOLE E. BERLIN, P.E.  
FLORIDA LICENSE NUMBER: 92165  
REGISTRY NO. 35108

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2801 W. STATE ROAD, SUITE 100  
ST. PETERSBURG, FL 33707  
PHONE: 727-547-5898 WWW.KIMLEY-HORN.COM

**Site Plan Review Narrative  
for  
Bank at Grove Market Westlake**

December 2024

The proposed project includes the redevelopment of part of a mixed-use parcel into a bank with an associated automatic teller drive thru. The total acreage of the subject property is 9.98 acres, and the proposed project area is 0.73 acres for the proposed bank. The property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470 (Palm Beach County Parcel ID: 77-40-43-01-01-001-0010). The site is an existing parking lot for an Aldi anchored commercial shopping center. To the north and east of the site is the commercial shopping center and to the south and west of the site is the right of way. Directly north of the site within the shopping center is an existing gas station.

The site is currently zoned Mixed Use with a future zoning distinction of Mixed Use. Commercial uses include activities within land areas that are predominantly connected with the sale, rental, and distribution of products or the performance of services, including offices and medical facilities. Access to the proposed bank is via two existing driveways. One right in/right out driveway on Seminole Pratt Whitney Road and one full-access driveway along Persimmon Blvd.

The City of Westlake zoning code requires parking spaces to be a minimum of 9 feet x 16 feet, and one space per 300 sq. ft. gross floor area for a total of 10 required parking spaces for the 2,925 SF proposed bank. The master site has been analyzed to qualify for a shared parking study to reduce the amount of required parking spaces from 395 spaces to 374 spaces. The property is located within Flood Zone AE as determined from the Federal Emergency Management Agency (FEMA) panel #12099C0345F. There is an existing stormwater management facility (SWMF) located on site which was previously permitted as part of South Florida Water Management District Permit No. 50-106510-P. The project will be permitted under the master stormwater plan.





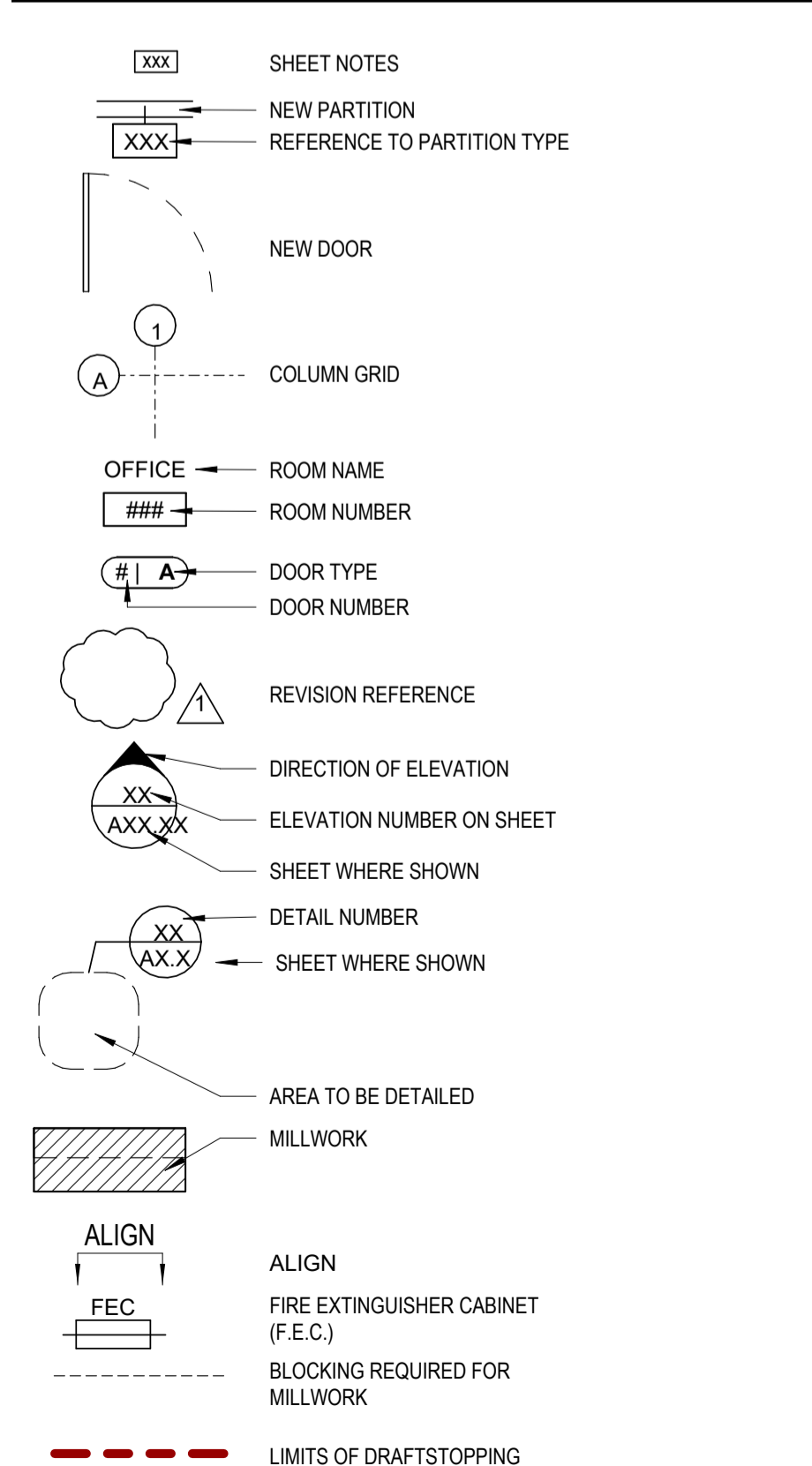
**SHEET NOTES**

- A-01 STRUCTURAL COLUMN: COORDINATE WITH STRUCTURAL ENGINEERING DRAWINGS
- A-02 ELECTRICAL PANELS: LOCKING ENCLOSURES FOR ELECTRICAL MAIN SERVICE AND DISTRIBUTION
- A-03 ROOF ACCESS LADDER & SCUTTLE: REFER TO ROOF PLAN AND DETAIL AS NOTED
- A-04 SOFFIT / BULKHEAD ABOVE: REFER TO REFLECTED CEILING PLANS, SECTIONS, DETAILS AND INTERIOR ELEVATIONS. PROVIDE DEFLECTION TRACK AT UNDERSIDE OF ROOF / FLOOR STRUCTURE ABOVE TO ALLOW BULKHEAD TO REST ON DEMOUNTABLE PARTITION SYSTEM BELOW.
- A-05 FURNITURE: REFER TO FURNITURE SCHEDULE: COORD. ELEC., DATA AND SECURITY CONNECTIONS AND TERMINATIONS
- A-06 FLOOR MATERIAL TRANSITION: REFER TO FLOOR TRANSITION SHEET
- A-07 ENTRANCE CANOPY: SHOP FABRICATED PRE-FINISHED CUSTOM ALUMINUM CANOPY UNIT WITH INTEGRAL ELECTRICAL AND DRAINAGE SYSTEMS FASTENED TO BUILDING STRUCTURE- REFER TO ELEVATIONS AND WALL SECTIONS.
- A-08 CUSTOM SHOP-FABRICATED BUILT-IN MILLWORK: REFER TO INTERIOR ELEVATIONS: SUBMIT SHOP DRAWINGS AND FINISH SAMPLES TO ARCHITECT FOR APPROVAL
- A-09 ADJUSTABLE SHELVES: REFER TO INTERIOR ELEVATIONS- PROVIDE BLOCKING IN WALL AS REQUIRED
- A-11 EQUIPMENT / APPLIANCE: REFER TO EQUIPMENT INSTALLATION MANUAL- COORDINATE WITH EQUIPMENT INSTALLER- PROVIDE ELECTRICAL, DATA AND SECURITY ROUGH-IN WORK AS REQUIRED- FRAME WALL OPENING AND PREPARE FLOOR SUBSTRATE AS REQUIRED. PROVIDE BLOCKING IN WALL AS REQUIRED
- A-12 FIRE EXTINGUISHER AND CABINET: PROVIDE THE MINIMUM NUMBER AS REQUIRED AND COORDINATE LOCATIONS WITH CODE REQUIREMENTS AND ADJACENT ACCESSIBILITY CLEARANCES
- A-13 WALL-MOUNT FIRE EXTINGUISHER: CARBON DIOXIDE ONLY / WATER OR DRY CHEMICAL TYPES NOT PERMITTED, CLASS C OR B-C, 5 LB. OR SMALLER, SET WALL BRACKET TO KEEP HANDLE <48 AFF.
- A-15 EXTEND 24-HOUR VESTIBULE PARTITION AND BULKHEAD FRAME AND FINISH TO UNDERSIDE OF ROOF DECK
- A-17 DEMOUNTABLE PARTITION SYSTEM WITH INTEGRAL DOORS AND POWER, DATA AND SECURITY CONDUIT SYSTEMS, ANCHORED TO BUILDING WALLS AND FLOOR. SOFFIT AND BULKHEAD FRAMING MUST FOLLOW THE FURNITURE VENDOR'S DEMOUNTABLE PARTITION SHOP DRAWINGS TO ENSURE ALIGNMENT. THE AQR'S DIMENSIONED PLAN DRAWING IS SUPERSEDED BY THE PARTITION SHOP DRAWINGS. REFER TO FURNITURE VENDOR'S RETAIL BRANCH - PRIVACY WALL ARCHITECTURAL WALL STANDARDS FOR PLANNING AND COORDINATION DETAILS.
- A-19 UTILITY EQUIPMENT: REFER TO EXTERIOR ELEVATIONS, SITE PLAN, AND ELECTRICAL AND PLUMBING DRAWINGS
- A-20 AUDIO/VIDEO EQUIPMENT: REFER TO INTERIOR ELEVATIONS
- A-21 REGULATORY SIGNAGE: ADHESIVE PLACARD PROVIDED AND INSTALLED BY OWNER'S MERCHANDISING OR SIGNAGE VENDOR (N.I.C.)
- A-22 FIRE ALARM EQUIPMENT LOCATION: FIRE ALARM CONTROL PANEL, COMMUNICATOR, DOCUMENTATION ENCLOSURE, AND ASSOCIATED EQUIPMENT DEVICES; NOT PERMITTED IN DATA ROOM OR AREAS VISIBLE TO CUSTOMERS.
- A-23 REFUSE BIN- REFER TO MISCELLANEOUS EQUIPMENT SCHEDULE
- A-25 SUN SHADES ABOVE.

**GENERAL NOTES**

- 01 SEE A-608 FOR INTERIOR FINISH MATERIALS SCHEDULE.
- 02 WRAP AND FINISH END OF WALLS WITH GYP. BD., CORNER BEADS, TAPE.
- 03 SECURITY CAMERA LOCATIONS TO BE COORDINATED WITH OWNER'S SECURITY VENDOR.
- 04 SEE SHEET A-102 FOR CEILING LAYOUT.
- 05 ALL GYP. BD. TO BE 5/8 INCH THICK UNLESS NOTED OR SPECIFIED OTHERWISE; FURNISH TYPE X FOR FIRE RATED PARTITIONS AND FINISHED TO A LEVEL 4 UNLESS OTHERWISE NOTED ON INTERIOR FINISH SCHEDULE.

**LEGEND**



**Client Information**  
CHASE #48100R010158  
JPM CHASE RETAIL BANKING CENTER



**235 ALCAZAR AVENUE**  
**CORAL GABLES, FL 33134**  
**OFFICE: (305) 442-1188**  
**FAX: (305) 445-1509**  
**WWW.ADCINTERNATIONAL.NET**

**QUALIFIER'S LICENSE NUMBER**  
LOURDES F. ECHEMENDIA, R.A. AR0010536  
AR0014424

**CONSULTANT**

**REVISIONS:**

No	DATE	ISSUE DATE AND DESCRIPTION	BY
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**REVISIONS**

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**PROJECT NAME:**  
**LOXAHATCHEE WESTLAKE**

**SHEET NUMBER:** SK-01 **REV #:**

**SHEET NAME:**  
**CONSTRUCTION PLAN**

**PROJECT NUMBER:** 23175 **DATE:** 08/27/2024

**CHECKED BY:** LE **DRAWN BY:** MF

**SCALE:** 1/4" = 1'-0"

**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

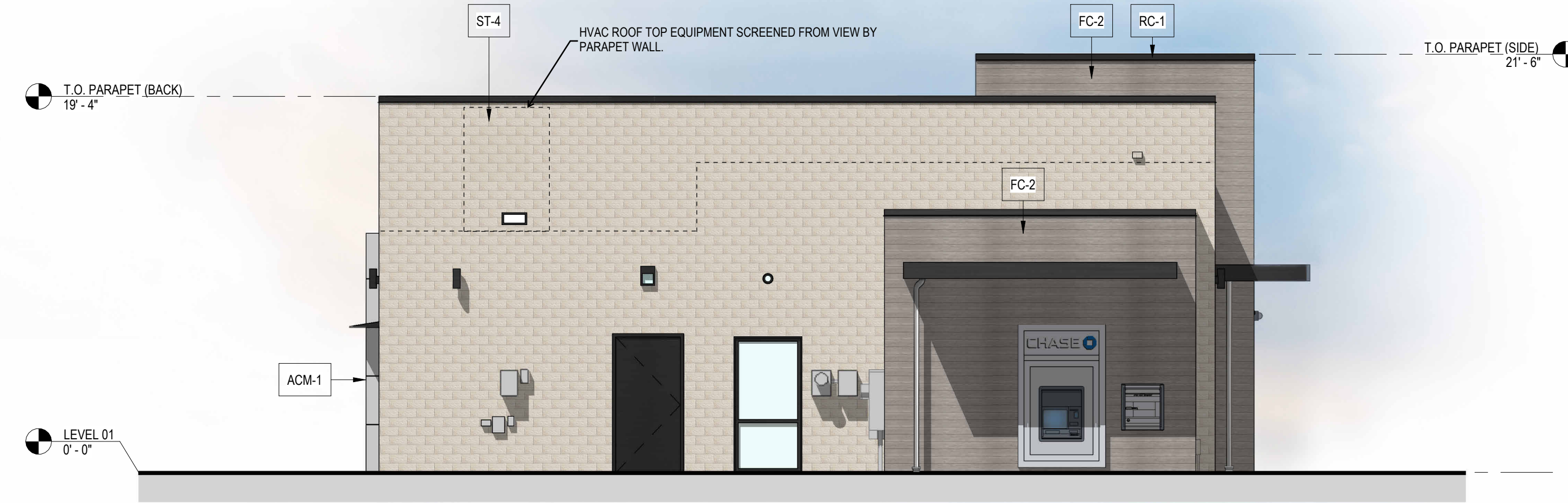
01



**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

02



**EAST ELEVATION**

SCALE: 3/16" = 1'-0"

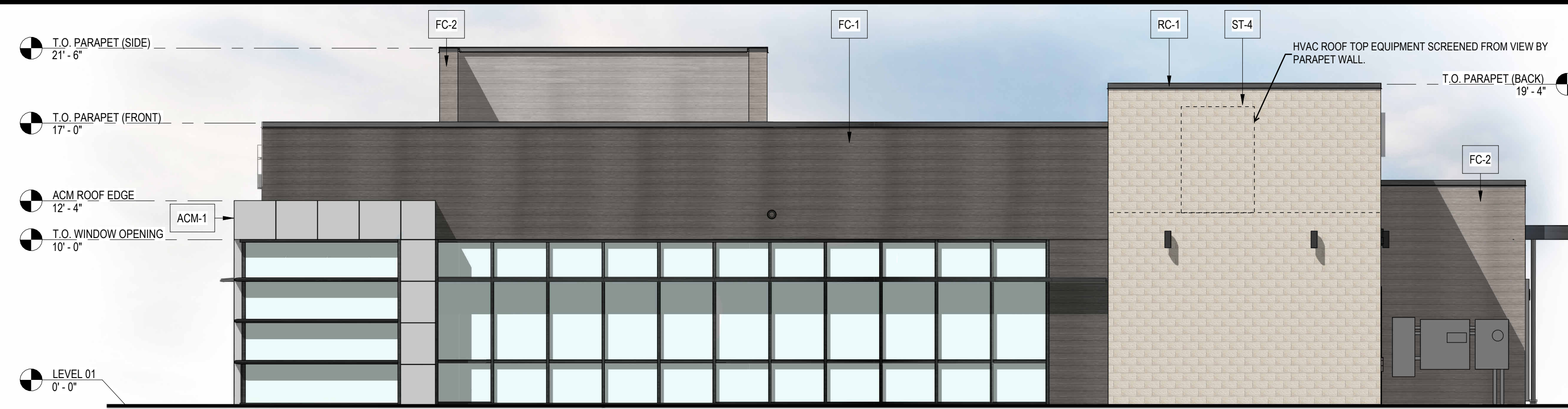
03



**WEST ELEVATION**

SCALE: 3/16" = 1'-0"

04



- ST-4**  
MANUFACTURED THIN STONE VENEER, WESTLAKE ROYAL STONE L.L.C. CULTURED STONE HEWN STONE
- AMC-1**  
ALUMINUM COMPOSITE MATERIAL, ARCONIC ARCHITECTURAL PRODUCTS, REYNOBOND, DURAGLOSS 5000 DG SILVER COLOR.
- FC-2**  
FIBER CEMENT PANEL - LIGHT, NICHHA FIBER CEMENT, ASH COLOR.
- FC-1**  
FIBER CEMENT PANEL - DARK, NICHHA FIBER CEMENT, BARK COLOR.
- RC-1**  
ROOF COPING, PETERSEN ALUMINUM / PAC-CLAD, PAC-CONTINUOUS, MATTER BLACK STEEL / BLACK ALUMINUM COLOR.

**LEGEND**

SCALE: 3" = 1'-0"

05



Client Information  
CHASE #48100R010158  
JPM CHASE RETAIL BANKING CENTER



235 ALCAZAR AVENUE  
CORAL GABLES, FL 33134  
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WWW.ADCINTERNATIONAL.NET

QUALIFIER'S LICENSE NUMBER  
LOURDES F. ECHEMENDIA, R.A. AR0010536 AR0014424

CONSULTANT

REVISIONS:

No	DATE	ISSUE DATE AND DESCRIPTION	BY
		SDP	MFLE

REVISIONS

No	DATE	DESCRIPTION	BY

PROJECT NAME:  
**LOXAHATCHEE WESTLAKE**

SHEET NUMBER: **SK-06** REV #:

SHEET NAME:  
**EXTERIOR COLORED ELEVATIONS\_SDP**

PROJECT NUMBER: 23175 DATE: 08/27/2024

CHECKED BY: LE DRAWN BY: MF

SCALE: As indicated

08/28/2024 10:40:33 AM



PREPARED BY AND RETURN TO:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### DECLARATION OF UNITY OF CONTROL FOR PARKING

THIS DECLARATION of Unity of Control ("Declaration") is made this \_\_\_\_ day January, 2025 by \_\_\_\_\_ and \_\_\_\_\_ (the "Declarants").

#### RECITALS:

A. The Declarants are the owners of separate properties in Palm Beach County, Florida, more particularly described by the legal description as contained on Exhibit A, attached hereto (collectively the "Property"), which Property is intended to be developed for non-residential uses in accordance with the following zoning approval: Application No. SPM-2024-02 and Resolution No. \_\_\_\_ with a site plan approved by The City of Westlake ("Westlake"), Palm Beach County, Florida, a copy of which is attached hereto as Exhibit B.

B. The Declarants have agreed with Westlake that, for the proper development of the Property, the Declarant shall provide for mutual and reciprocal right-of-way for the purpose of ingress and egress, and parking within the Property, the enjoyment of which cross easements shall be shared by the respective parties owning any portion of the Property and their respective heirs, successors, assigns and successors in title to all or part of the Property and to the tenants, lessees, agents, employees, guests and invitees of any owner of the Property or any portion thereof and guests and invitees of tenants and lessees legally occupying the Property.

NOW, THEREFORE, in consideration of the grants and agreements herein made and in consideration of \$ 10.00 in hand paid, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Declarants hereby subject the Property to the following restrictions:

1. Recitals. The foregoing recitals are incorporated herein by reference as though set forth in detail in this place.
2. Unified Control. All parking areas on the Property are and will be part of a single unified planned development, regardless of ownership. In furtherance of the foregoing, the Property may be developed in accordance with the Site Plan attached to this Declaration as Exhibit B and may meet the land development requirements as to parking as if they are one lot.

3. Easements. The Declarants hereby dedicate, grant and establish for the benefit of the Property, and the owners of any portion thereof (as well as their employees, agents, guests, invitees, mortgages, tenants, lessees, subtenants, licensees, heirs, successors and assigns) the following easements:
  - a. A non-exclusive easement for the right-of-way of pedestrians and vehicular ingress and egress over on and across the areas within the Property constituting driveways and roadways, as shown on the Site Plan.
  - b. A non-exclusive easement for the parking of vehicles over, on and across areas within the Property constituting parking areas.
  - e. The owners of the Property shall provide for the perpetual operation and maintenance of all parking facilities, which are not provided, operated or maintained at public expense.
4. Covenants Run with the Land. All of the covenants, easements and restrictions herein will be perpetual and will constitute covenants running with the land, will be binding upon any and all persons and entities, their respective successors in interest, assigns, heirs and personal representatives having or hereafter acquiring any right, title or interest in and to all or any portion of the Property, and all benefits deriving therefrom will accrue to the benefit of all persons and entities, their respective successors in interest, tenants, licensees, assigns, heirs and personal representatives having or hereafter acquiring any right, title or interest in all or any portion of the Property.
5. Modification and Termination. This Declaration may not be terminated or modified in any way except by means of an instrument executed by the owners of the Property after the prior approval of the Westlake City Council.
6. Owners' Restrictions. No owner of any portion of the Property shall take or fail to take any action or do or fail to do anything which would, or have the effect of, impeding, obstructing or preventing any other person or entity having rights under this Declaration from their full and complete use and enjoyment of the easements herein granted. Without limiting the generality of the foregoing, free and full access to, from and across all portions of the Property which constitute parking areas, driveways and roadways on the Site Plan shall not be blocked, obstructed or impeded.
7. Miscellaneous.
  - a. Each covenant in this Declaration is an independent and separate covenant. If any term or provision of the Declaration or the application thereof to any person or circumstance should to any extent be invalid or unenforceable, the Remainder of

the Declaration and application of such term or provision to persons or circumstances other than those to which it is held invalid or unenforceable will not be affected thereby, and each term and provision of this Declaration will be valid enforceable to the fullest extent permitted by law.

- b. This covenant shall be recorded in the Public Records of Palm Beach County Florida.
- c. Failure of any party to insist upon or enforce its rights under this Declaration will not constitute a waiver of such rights.
- d. This Declaration and the rights created hereby, including, but not limited to, the cross easements shall be paramount and superior to all leases, conveyances, transfers, assignments, contracts, mortgages, deeds of trust and other encumbrances affecting the Property, from and after the date of recording of this Declaration. Any person acquiring possession to, title of, or interest in the Property or any portion thereof shall do so subject to this Declaration. Any transferee of any interest in any portion of the Property by any means whatsoever shall be deemed, by acceptance of such interest, to have agreed to be bound by all of the provisions of this Declaration. Nothing contained in this Declaration shall preclude the Declarants or their successors in interest to the Property from imposing further covenants not inconsistent with the terms and conditions of this Declaration.
- e. Venue for any legal proceeding regarding this Declaration shall be in Palm Beach County, Florida.

*[Signature page follows]*

IN WITNESS WHEREOF, this instrument is executed on the day and year first above written.

Signed, sealed, executed and acknowledged on this \_\_\_\_ day of \_\_\_\_\_, 2025.

Witnesseth:

Owner:

\_\_\_\_\_  
Printed Name: \_\_\_\_\_

\_\_\_\_\_  
By: \_\_\_\_\_

\_\_\_\_\_  
Printed Name: \_\_\_\_\_

## EXHIBIT A

### Legal Description

A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE N01°42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE N01°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25; THENCE N01°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.







**TRAFFIC PERFORMANCE  
STANDARDS ANALYSIS**

**GROVE MARKETPLACE  
WESTLAKE, FL**



January 9, 2025  
Kimley-Horn Project #145538000

# TRAFFIC PERFORMANCE STANDARDS ANALYSIS

## GROVE MARKETPLACE

### WESTLAKE, FL

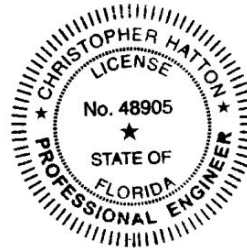
Prepared by:

**Kimley»»Horn**

477 S Rosemary Avenue, Suite 215  
West Palm Beach, Florida 33401

(561) 840-0848 TEL

January 9, 2025  
Kimley-Horn Project # 145538000



This item has been digitally signed and sealed by Christopher C. Hatton, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.  
2025.01.09 12:03:12 - 05'00'

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Christopher Hatton, P.E.  
Florida Registration Number 48905

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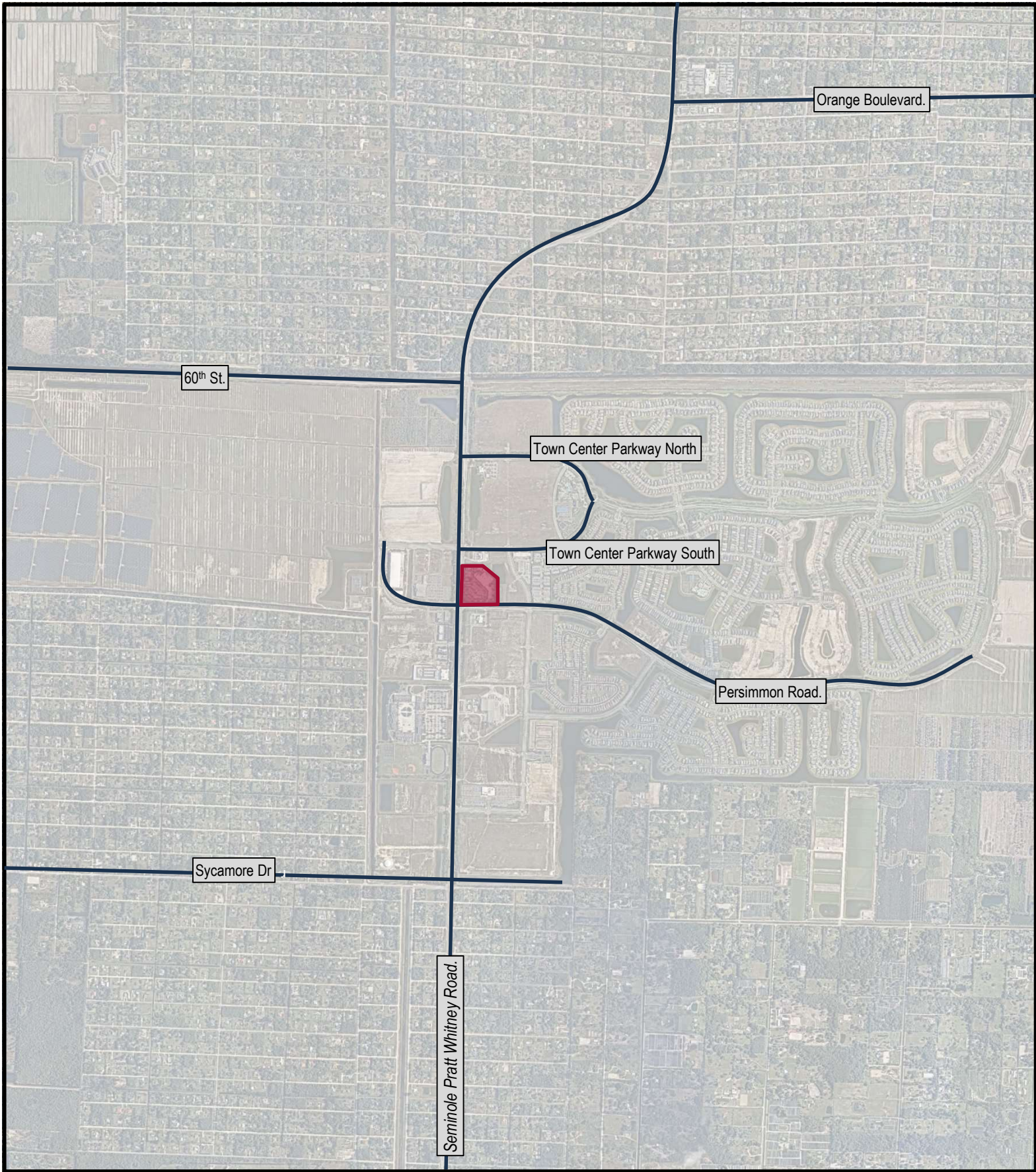
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## INTRODUCTION

Kimley-Horn and Associates, Inc. has updated the following Traffic Performance Standards (TPS) analysis based upon comments received on December 20, 2024 and January 6, 2025, from the City of Westlake to evaluate future traffic conditions following the proposed additional development at 5060 Seminole Pratt Whitney Road in Palm Beach County, Florida. Figure 1 illustrates the location of the project site. The Parcel Control Number (PCN) for the project site is 77-40-43-01-01-001-0010. The proposed site plan and PCN summary are included in the Appendix, for reference.

The existing site area consists of 76,677 square feet of retail use and a 2,500 square foot convenience store with 8 fueling positions. This application proposes to add an additional 4,000 square feet of retail to the existing retail building and a 2,925 square foot bank with drive-through. Furthermore, an 8,317 square foot retail building is also planned for future development on a portion of this site under a separate application that is currently under review. The trip generation associated with the proposed 8,317 square foot retail building has been accounted for in this analysis. Other aspects of the previously approved plan, including driveway access locations, are proposed to remain unchanged.

The purpose of this updated TPS analysis is to evaluate the impacts of the proposed development on the surrounding roadway network and determine if adequate capacity is available to accommodate future traffic volumes using the criteria defined in Article 12 of the Palm Beach County Unified Land Development Code (ULDC) for buildout in 2030. This report summarizes project trip generation, project trip distribution, link analyses and driveway criteria.



**LEGEND**

 Site Location

**FIGURE 1**  
 Grove Marketplace  
 KH #145538000  
 Site Location



## PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project and the distribution and assignment of that traffic over the study roadway network.

### Existing and Proposed Land Uses

As noted previously, the existing site currently contains 76,677 square feet of retail space and a 2,500 square foot convenience store with 8 fueling positions. The proposed additional development under this application will add an additional 4,000 square feet of retail space and a 2,925 square foot drive in bank to the existing site. Under a separate application that is currently under review, an additional 8,317 square feet of retail use is proposed. Upon development of the proposed and pending applications, the site will feature a total of 88,994 square feet of retail space, a 2,500 square foot convenience store with 8 fueling positions, and a 2,925 square foot drive in bank with drive-through.

### Trip Generation

The trip generation potential of the site was calculated based upon the trip generation rates and equations published by the Palm Beach County Traffic Division and in ITE's *Trip Generation Manual, 11th Edition*. As shown in Table 1, for significance and analysis purposes, the net change in trips from this proposed application plus the currently pending application, the site is anticipated to generate an increase of 866 net new external daily trips, an increase of 42 net new external AM peak-hour trips (26 in, 16 out), and an increase of 100 net new external PM peak-hour trips (48 in, 52 out) in comparison to the current site development.

Based on the impact analysis guidelines established in Article 12 of the Palm Beach County ULDC, it was determined that the radius of development influence is one mile for Test 1 and Test 2 analyses.

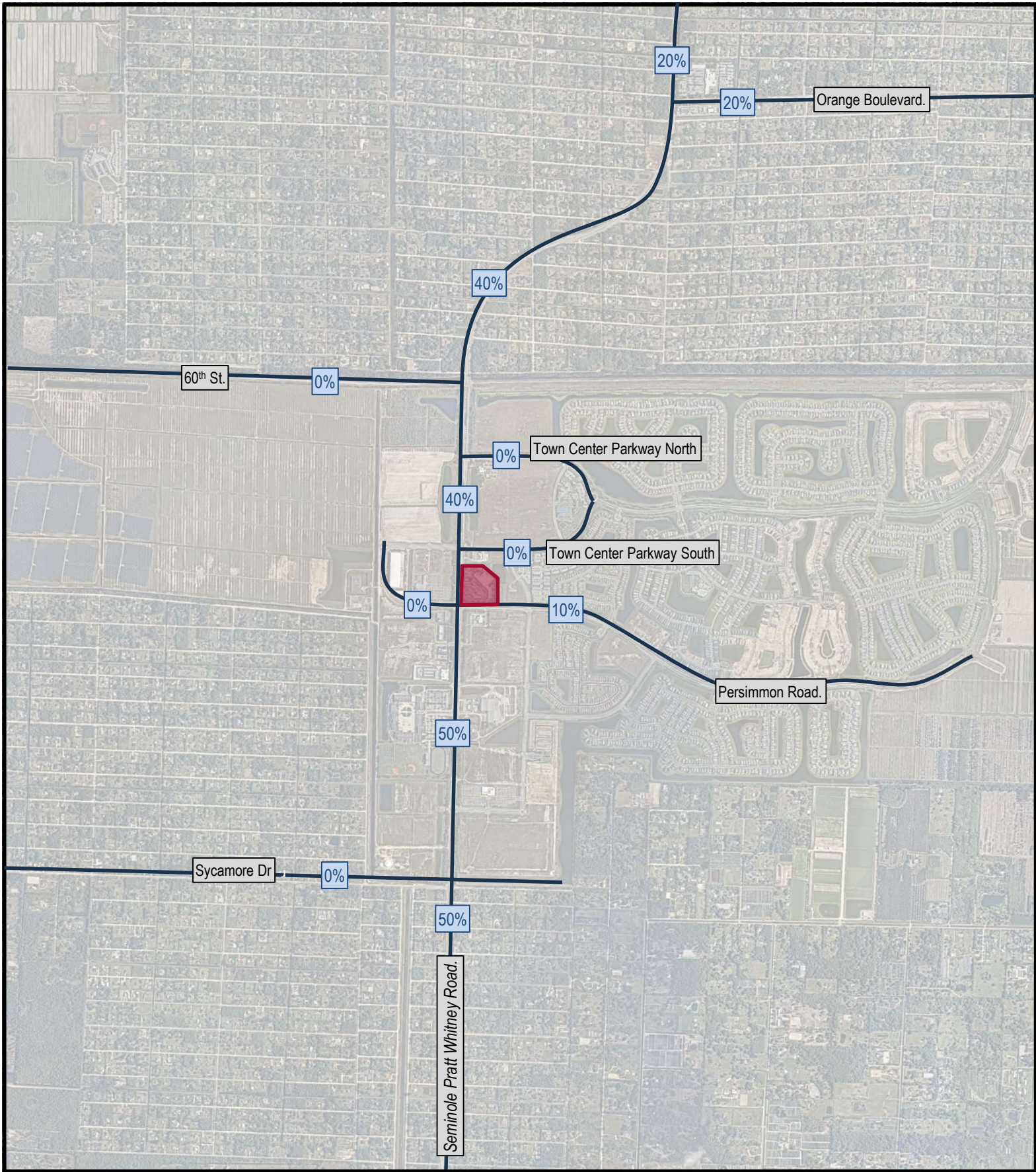
**Table 1: Phase I Trip Generation Calculation**

Source	Land Use	ITE Code	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
					Total	In	Out	Total	In	Out
<b>Existing Scenario</b>										
PBC	Shop Plaza (40-150ksf w/ supermarket)	ITE 821	76.677 ksf	7,245	271	168	103	692	332	360
PBC	Gas Station w/Convenience Store	ITE FDOT	8 FP	1,959	137	69	68	137	69	68
			<i>Subtotal</i>	9,204	408	237	171	829	401	428
<b>Pass-By Capture</b>				<b>Daily</b>						
	Shop Plaza (40-150ksf w/ supermarket)		39.0%	3,280	122	76	46	314	151	163
	Gas Station w/Convenience Store		61.0%	1,195	84	42	42	84	42	42
			<i>Subtotal</i>	4,021	190	108	82	354	171	183
<b>Driveway Volumes</b>				<b>9,204</b>	<b>408</b>	<b>237</b>	<b>171</b>	<b>829</b>	<b>401</b>	<b>428</b>
<b>Net New External Trips</b>				<b>5,183</b>	<b>218</b>	<b>129</b>	<b>89</b>	<b>475</b>	<b>230</b>	<b>245</b>
<b>Proposed Scenario</b>										
PBC	Shop Plaza (40-150ksf w/ supermarket)	ITE 821	88.994 ksf	8,409	314	195	119	804	386	418
PBC	Gas Station w/Convenience Store	ITE FDOT	8 FP	1,959	137	69	68	137	69	68
PBC	Drive-In Bank	ITE 912	2.925 ksf	294	29	17	12	61	31	30
			<i>Subtotal</i>	10,662	480	281	199	1,002	486	516
<b>Pass-By Capture</b>				<b>Daily</b>						
	Shop Plaza (40-150ksf w/ supermarket)		39.0%	3,280	122	76	46	314	151	163
	Gas Station w/Convenience Store		61.0%	1,195	84	42	42	84	42	42
	Drive-In Bank		47.0%	138	14	8	6	29	15	14
			<i>Subtotal</i>	4,613	220	126	94	427	208	219
<b>Driveway Volumes</b>				<b>10,662</b>	<b>480</b>	<b>281</b>	<b>199</b>	<b>1,002</b>	<b>486</b>	<b>516</b>
<b>Net New External Trips</b>				<b>6,049</b>	<b>260</b>	<b>155</b>	<b>105</b>	<b>575</b>	<b>278</b>	<b>297</b>
<b>Proposed Scenario -Existing Net New External Trips</b>				<b>866</b>	<b>42</b>	<b>26</b>	<b>16</b>	<b>100</b>	<b>48</b>	<b>52</b>
<b>Radius of Development Influence:</b>					<b>1 mile(s)</b>					
	<b>Land Use</b>		<b>Daily</b>	<b>AM Peak Hour</b>			<b>PM Peak Hour</b>		<b>Pass By</b>	
	Shop Plaza (40-150ksf w/ supermarket)		94.49 trips/ksf	3.53 trips/ksf (62% in, 38% out)			9.03 trips/ksf (48% in, 52% out)		39.0%	
	Gas Station w/Convenience Store		trips/FP	T trips = 12.3(X) +38.75 (50% in, 50% out)			T trips = 12.3(X) +12.3 (50% in, 50% out)		61.0%	
	Drive-In Bank		100.35 trips/ksf	9.95 trips/ksf (58% in, 42% out)			21.01 trips/ksf (50% in, 50% out)		47.0%	



## TRAFFIC DISTRIBUTION

The site traffic was assigned to the surrounding roadway network based upon travel patterns for this area and proximity to complimentary land uses.

Figure 2 illustrates the project traffic assignment to nearby roadway links and intersections in the vicinity of the site. The AM and PM peak hour trips for the project were then assigned to the surrounding transportation system based on these percentages.



**LEGEND**

-  Site Location
-  Project Traffic %

**FIGURE 2**  
 Grove Marketplace  
 KH #145538000  
 Project Distribution

## SIGNIFICANCE ANALYSIS

Based on the net new traffic anticipated to be generated by this development, it was determined that the radius of developmental influence (RDI) is one mile. The project traffic was distributed across the links within the RDI based on the distribution illustrated in Figure 2, to determine if the addition of project traffic will significantly impact the roadway links, based on Palm Beach County TPS methodology. Table 2 and Table 3 summarize the AM peak hour and PM peak hour significance analyses, respectively. As illustrated in these tables, the significantly (>1.0% impact) impacted roadway segments require further analysis.

**Table 2: Test 1 AM Peak Hour Significance Analysis**

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							AM PEAK HOUR					
							TRIPS		% IMPACT			
NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?							
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	1,960	50%	i	13	8	0.66%	No	0.41%	No
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	1,960	40%	o	6	10	0.31%	No	0.51%	No
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	1,960	40%	o	6	10	0.31%	No	0.51%	No
60th St	Mandarin Blvd	Seminole Pratt Whitney Rd	2L	1,140	0%	o	0	0	0.00%	No	0.00%	No
Persimmon Road.	Seminole Pratt Whitney Rd	Ilex Wy	4LD	1,770	10%	o	2	3	0.11%	No	0.17%	No

**Table 3: Test 1 PM Peak Hour Significance Analysis**

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							PM PEAK HOUR					
							TRIPS		% IMPACT			
NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?							
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	1,960	50%	i	24	26	1.22%	Yes	1.33%	Yes
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	1,960	40%	o	21	19	1.07%	Yes	0.97%	No
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	1,960	40%	o	21	19	1.07%	Yes	0.97%	No
60th St	Mandarin Blvd	Seminole Pratt Whitney Rd	2L	1,140	0%	o	0	0	0.00%	No	0.00%	No
Persimmon Road.	Seminole Pratt Whitney Rd	Ilex Wy	4LD	1,770	10%	o	5	5	0.28%	No	0.28%	No

## BACKGROUND TRAFFIC

Background traffic is calculated from historical annual growth rates and/or traffic from the unbuilt portions of committed developments. For this study, a 1% growth rate was applied to links and intersections (to which committed project traffic was already added) to account for background growth not related to the approved projects. The total background traffic for each significantly impacted link and intersection was then determined as the greater of the following:

- Existing traffic volumes plus growth due to committed projects or a 1.0% background growth rate

## TEST 1 PART 1 INTERSECTION ANALYSIS

As determined in the previous section, some of the roadway segments within the radius of development influence are significantly (>1.0% impact) impacted during the PM peak hour conditions and require further analysis. Intersection analyses are also required at the first significantly impacted major intersection in either direction from the site access point.

An analysis was undertaken for intersections nearest to each link directly accessed and significantly impacted by the project. The intersections were analyzed using the Critical Sum planning methodology as outlined in the *1985 Highway Capacity Manual (HCM)*. The following intersections are the nearest major significantly impacted intersections:

- Sycamore Drive & Seminole Pratt Whitney Road
- Persimmon Boulevard & Seminole Pratt Whitney Road
- Town Center Parkway South & Seminole Pratt Whitney Road
- Town Center Parkway North & Seminole Pratt Whitney Road
- 60<sup>th</sup> Street North & Seminole Pratt Whitney Road

As indicated in Table 2 and Table 3, the links approaching and departing the intersections are significantly impacted; therefore, the analysis of the intersections are required for the Test 1 analysis procedures defined in Article 12 of the Palm Beach County ULDC. The critical movement analysis (CMA) uses the existing roadway geometry as a baseline in the analysis.

### Sycamore Drive & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Sycamore Drive & Seminole Pratt Whitney Road will be 1,154 vehicles per hour during the AM peak hour and 1,295 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

### Persimmon Boulevard & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Persimmon Boulevard & Seminole Pratt Whitney Road will be 1,130 vehicles per hour during the AM peak hour and 1,138 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

### Town Center Parkway South & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Town Center Parkway South & Seminole Pratt Whitney Road will be 1,114 vehicles per hour during the AM peak hour and 1,132 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

**Town Center Parkway North & Seminole Pratt Whitney Road**

The critical movement analysis shows that the critical sum for the intersection of Town Center Parkway North & Seminole Pratt Whitney Road will be 1,027 vehicles per hour during the AM peak hour and 1,134 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

**60<sup>th</sup> Street North & Seminole Pratt Whitney Road**

The critical movement analysis shows that the critical sum for the intersection of 60<sup>th</sup> Street North & Seminole Pratt Whitney Road will be 1,237 vehicles per hour during the AM peak hour and 1,252 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

The critical movement analysis summary for the three intersections is shown in Table 4. The critical movement analysis worksheets for the three intersections are included in the Appendix for reference.

**Table 4: CMA Summary**

Intersection	Geometry	Critical Sum	
		AM Peak Hour	PM Peak Hour
Sycamore Drive & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,154	1,295
Persimmon Boulevard & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,130	1,138
Town Center Parkway South & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,114	1,132
Town Center Parkway North & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,027	1,134
60 <sup>th</sup> Street North & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,237	1,252



## TEST 1 PART 2 ROADWAY LINK ANALYSIS

The future traffic volume on each significantly impacted roadway segment was analyzed in comparison to its LOS D service volume. Table 5 summarizes these calculations for the PM peak hour. No roadway segments were significantly impacted in the AM peak hour, so an analysis was not needed. As shown in Table 5, two roadway links (during the PM peak hour) are not expected to operate acceptably due to a background deficiency. Because the deficiency is a background deficiency and the same improvement required to resolve the deficiency will resolve the total future traffic volume deficiency, no further analysis is required.

**Table 5: Test 1 PM Peak Hour Capacity Analysis**

Roadway From To			Committed			Direction	Significantly Impacted?	Count Year	Count Year Traffic Volume	Committed Traffic - Option #1			Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2030 Total Traffic	Meets Standard ??	Back-ground Def. ??
			Lanes	Facility Type	LOS D Service Volume					Committed Traffic (from TPS)	1.0% Traffic Growth	Committed plus 1.0%	Historic Growth Rate (from TPS)	Max Historic Growth or 1%	Max Historic Growth					
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	Class I	1,960	NB/EB	Yes	2023	1,320	742	95	837	1.00%	1.00%	95	837	24	2,181	No	Yes
			4LD	Class I	1,960	SB/WB	Yes	2023	1,260	700	91	791	1.00%	1.00%	91	791	26	2,077	No	Yes
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	Class I	1,960	NB/EB	Yes	2023	1,320	848	95	943	1.00%	1.00%	95	943	21	2,284	No	Yes
			4LD	Class I	1,960	SB/WB	No	-	-	-	-	-	-	-	-	-	-	-	-	-
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	Class I	1,960	NB/EB	Yes	2023	861	514	62	576	1.00%	1.00%	62	576	21	1,458	Yes	-
			4LD	Class I	1,960	SB/WB	No	-	-	-	-	-	-	-	-	-	-	-	-	-

## TEST 2 SIGNIFICANCE ANALYSIS

A Test 2 significance analysis was not required as the criteria for the Test 1 significance analysis were met.

## DRIVEWAY ACCESS

Future total driveway volumes were determined by applying the distribution referenced in Figure 2 to the proposed future trip generation potential of the site. The resulting driveway volumes are illustrated in Figure 3.

### Driveway Classification

Access to the site is proposed to be maintained via the three existing driveway connections, which have the following access configurations:

- Driveway 1: Right-in/right-out driveway on Seminole Pratt Whitney Road (North)
- Driveway 2: Right-in/right-out driveway on Seminole Pratt Whitney Road (South)
- Driveway 3: Full access driveway on Persimmon Road

According to the Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards,” it is necessary to classify project driveways as minor, intermediate, or major according to the following criteria:

- Minor – services a maximum daily volume of 500 vehicles.
- Intermediate – services a daily volume ranging from 501 to 2000 vehicles.
- Major – services a daily volume of more than 2000 vehicles.

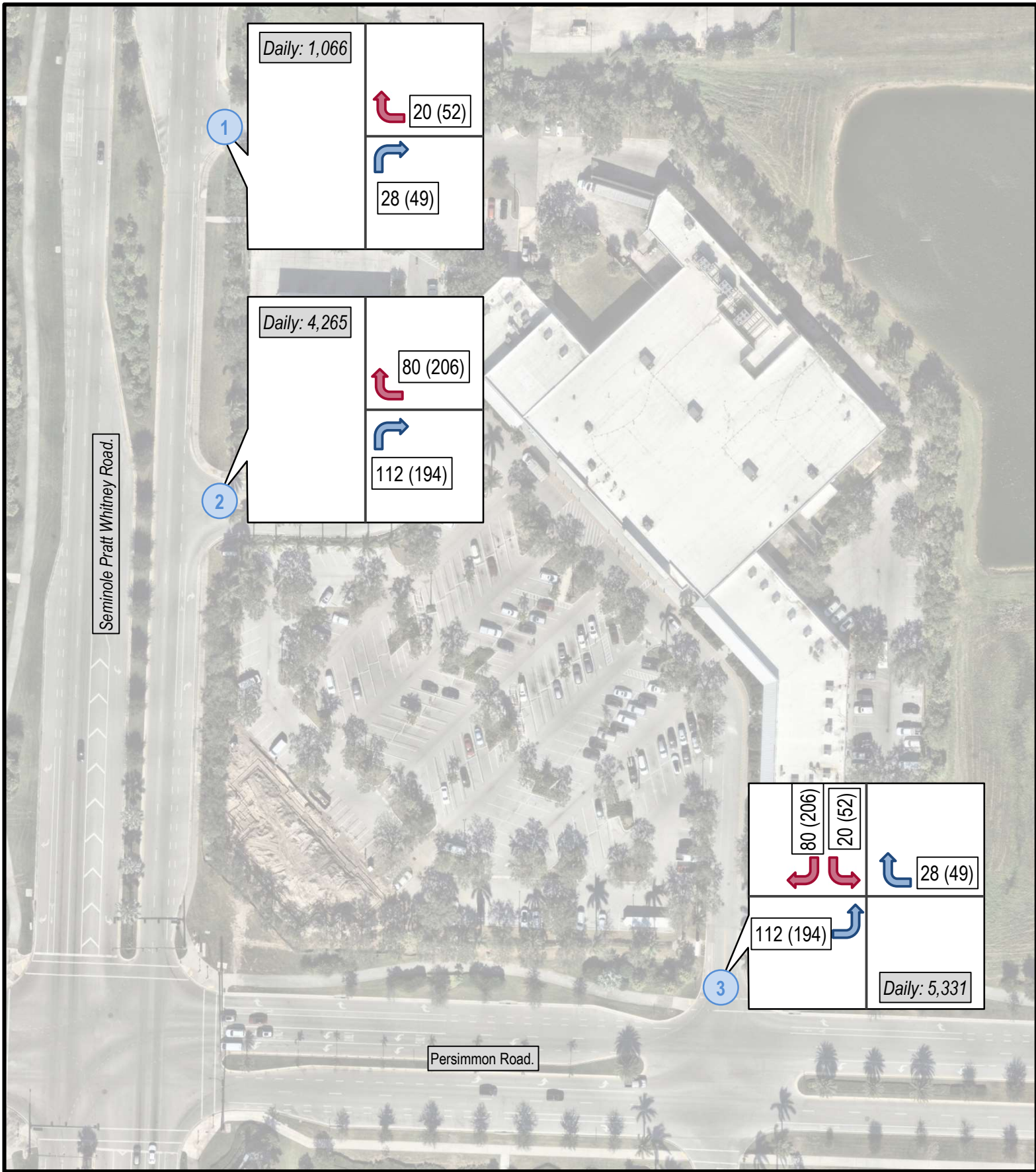
Project traffic volumes were calculated using the distribution illustrated in Figure 2. Using the criteria listed above, the driveways are classified, as follows:

1. Driveway 1: Intermediate
2. Driveway 2: Major
3. Driveway 3: Major

Additionally, the following exclusive turn lanes currently exist at the driveway connections:

- Driveway 2: Exclusive northbound right-turn lane.
- Driveway 3: Exclusive westbound right-turn lane, exclusive eastbound left-turn lane.

No additional turn lanes are required based on the turn lane requirements of the Palm Beach County Unified Land Development Code.



Daily: 1,066	20 (52)
	28 (49)

Daily: 4,265	80 (206)
	112 (194)

80 (206)	20 (52)	28 (49)
112 (194)	Daily: 5,331	

Seminole Pratt Whitney Road.

Persimmon Road.



**LEGEND**

XX (XX) AM (PM) Peak Hour Volumes

Project Driveway

**FIGURE 3**  
Grove Marketplace  
KH #145538000  
Driveway Volumes

## CONCLUSION

This updated Traffic Performance Standards Analysis study evaluates overall traffic impacts of the proposed development at 5060 Seminole Pratt Whitney Road in Palm Beach County, Florida. The development is proposed to add an additional 4,000 square feet of retail to the existing retail building and a 2,925 square-foot bank with drive-through. Furthermore, an additional 8,317 square foot retail building is also planned for future development on a portion of this site under a separate application that is currently under review.

Buildout of the site is anticipated to occur by 2030. Based on the evaluation conducted, a future background (non-project) capacity deficiency was identified at the following location:

- Seminole Pratt Whitney Road from Sycamore Drive to 60<sup>th</sup> Street North (PM peak hour)

In this case, the same mitigation measure that would be required to resolve the future background (non-project) deficiency would also resolve the future total traffic deficiency with project traffic included. Therefore, no further mitigation is required, and the project meets the requirements of Article 12 of the Palm Beach County Unified Land Development Code (ULDC) through a buildout year of 2030.

The evaluation was conducted in accordance with the traffic analysis requirements of the Palm Beach County Traffic Performance Standards Ordinance (TPSO). The proposed buildout date for the project was assumed to be 2030. The analysis indicates that the Test 1 and Test 2 criteria are met, and no additional exclusive turn lanes are warranted at the site driveways beyond those that currently exist.

## APPENDIX

**Property Detail**

**Location Address :** 5060 SEMINOLE PRATT WHITNEY RD  
**Municipality :** WESTLAKE  
**Parcel Control Number :** 77-40-43-01-01-001-0010  
**Subdivision :** GROVE MARKET PL  
**Official Records Book/Page :** 33845 / 1108  
**Sale Date :** AUG-2022  
**Legal Description :** GROVE MARKET PL TR A (LESS SLY 199.60 FT OF NLY 252.24 FT OF WLY 153.01 FT & SLY 116.75 FT OF WLY 153.01 FT AS IN OR12685P908)

**Owner Information**

<b>Owner(s)</b> GROVE MARKET ANDERSON LLC & GROVE MARKET COURTLAND LLC & GROVE MARKET SG2020 LLC & JBL HUMBLEWOOD CENTER LLC	<b>Mailing Address</b> 120 SYLVAN AVE STE 301 ENGLEWOOD CLIFFS NJ 07632 2505
--	--

**Sales Information**

Sales Date	Price	OR Book/Page	Sale Type	Owner
AUG-2022	\$19,500,000	33845 / 01108	WARRANTY DEED	GROVE MARKET SG2020 LLC &
SEP-2016	\$3,400,000	28568 / 00979	WARRANTY DEED	5060 LOXAHATCHEE RETAIL LLC
OCT-2012	\$900,100	25528 / 01805	CERT OF TITLE	FUCMT 2001 C4 SEMINOLE ROAD LLC
JUL-2003	\$8,700,000	15610 / 00177	WARRANTY DEED	FWI 20 LLC

**Exemption Information**

No Exemption Information Available.

**Property Information**

**Number of Units :** 0  
**\*Total Square Feet :** 76902  
**Acres :** 8.76  
**Property Use Code :** 1600—SHOPPING CENTER CMMITY  
**Zoning :** MU—MIXED USE (77-WESTLAKE)

**Appraisals**

Tax Year	2024	2023	2022	2021	2020
Improvement Value	\$8,588,405	\$11,661,563	\$8,796,357	\$0	\$0
Land Value	\$4,196,137	\$4,806,484	\$3,242,470	\$0	\$0
Total Market Value	\$12,784,542	\$16,468,047	\$12,038,827	\$6,000,000	\$3,100,000

**Assessed and Taxable Values**

Tax Year	2024	2023	2022	2021	2020
Assessed Value	\$12,784,542	\$16,468,047	\$3,751,000	\$3,410,000	\$3,100,000
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$12,784,542	\$16,468,047	\$3,751,000	\$3,410,000	\$3,100,000

**Taxes**

Tax Year	2024	2023	2022	2021	2020
AD VALOREM	\$268,174	\$352,739	\$136,318	\$94,511	\$70,259
NON AD VALOREM	\$191,351	\$200,764	\$141,384	\$96,101	\$117,060
TOTAL TAX	\$459,525	\$553,503	\$277,702	\$190,611	\$187,319

Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER [www.pbcpap.gov](http://www.pbcpap.gov)



NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 6500 CENTRAL AVE., SUITE 200  
 FT. PETERSBURG, FL 33704  
 PHONE: (781) 388-3633 FAX: (781) 388-3634  
 WEB: WWW.KIMLEY-HORN.COM

**FLORIDA LICENSE NUMBER**  
 KHA 12510  
 DATE: APRIL 2024

**SCALE**  
 AS SHOWN

# OVERALL SITE PLAN

**CITY OF WESTLAKE**  
**GROVE MARKETPLACE**  
 FLORIDA

DATE: APRIL 2024  
 PROJECT NO.: 14558000  
 SHEET NUMBER: C-300

### SITE DATA TABLES

Category	Item	Value	Unit
Site Control Name:	Bank of Grove Market Westlake	17.44-43.61-51.00-003	FT
	Bank of Westlake	17.44-43.61-51.00-003	FT
	City of Westlake	17.44-43.61-51.00-003	FT
	Future Land Use	Commercial	FT
	Future Use	Commercial	FT
	Future Use	Commercial	FT
	Future Use	Commercial	FT
	Future Use	Commercial	FT
	Future Use	Commercial	FT
	Future Use	Commercial	FT
Future Use	Commercial	FT	

### Area Data

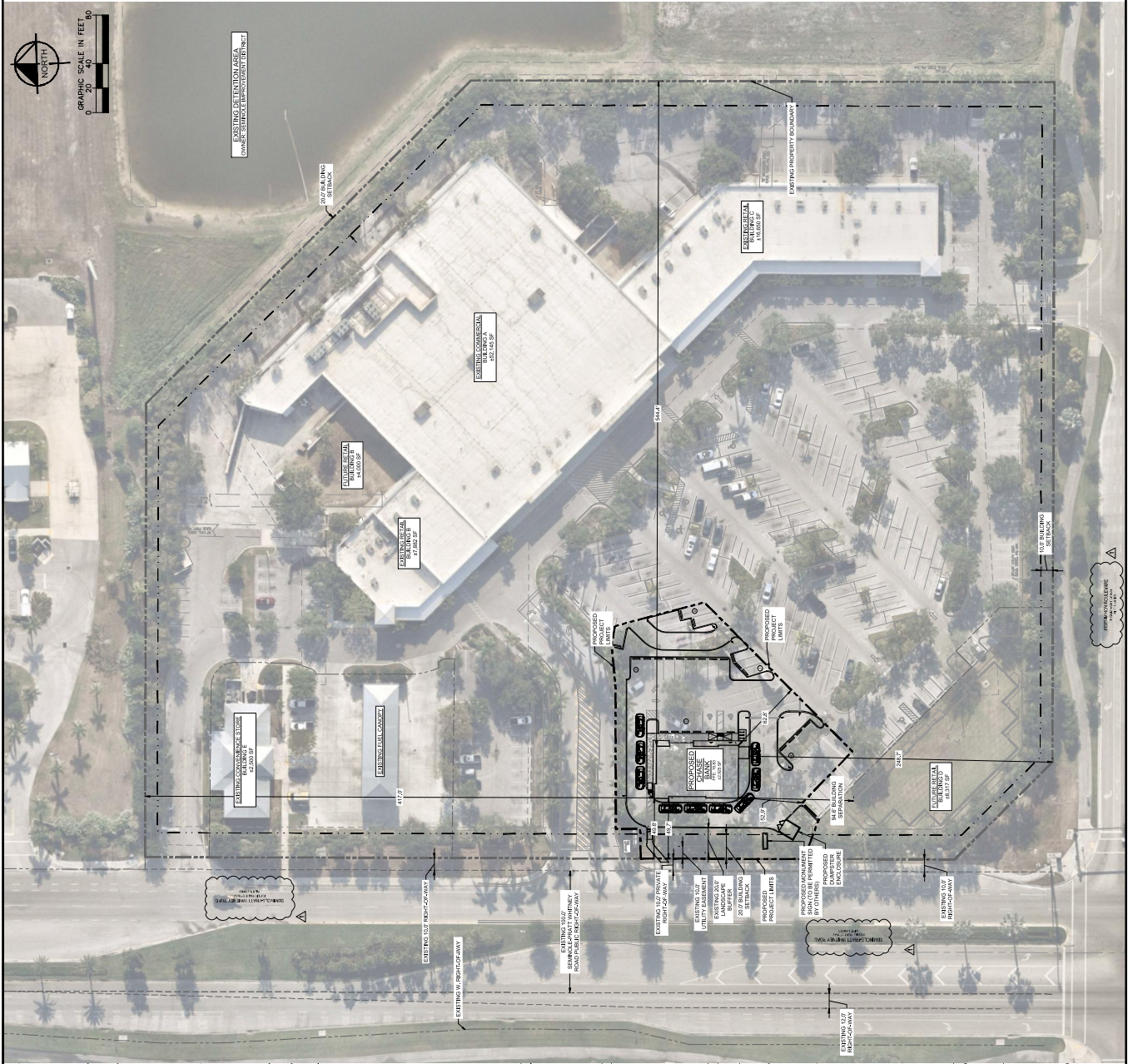
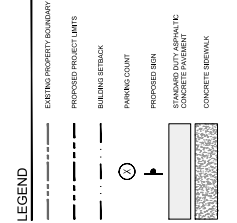
Item	Value	Unit
Total Site Area	454,229 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF
Proposed Base Building Area (GSF)	2,825 SF	SF

### Parking Data

Item	Value	Unit
Total Parking Spaces	395	SPACES
Required	395	SPACES
Provided	395	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES
Bank of Westlake	19	SPACES

### The City of Westlake New Construction Ordinance

Ordinance No.	Code	Required	Provided
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19
2019-10	507 Parking - Retail	19	19



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## Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

Gr	Landuse	ITE Code	Unit	Daily Rate/Equation	Pass-By %	AM Peak Hour		PM Peak Hour	
						In/Out	Rate/Equation	In/Out	Rate/Equation
Industrial	General Light Industrial	110	1000 S.F.	4.87	10%	88/12	0.74	14/86	0.65
	Manufacturing	140	1000 S.F.	4.75	10%	76/24	0.68	31/69	0.74
	Warehouse	150	1000 S.F.	1.71	10%	77/23	0.17	28/72	0.18
	Mini-Warehouse/SS	151	1000 S.F.	1.45	10%	59/41	0.09	47/53	0.15
	HCF Center Warehouse - Non Sort	155	1000 S.F.	1.81	10%	81/19	0.15	39/61	0.16
Residential	Single Family Detached	210	Dwelling Unit	10	0%	26/74	0.7	63/37	0.94
	Multifamily Low-Rise Housing upto 3 story (Apartment/Condo/TH)	220	Dwelling Unit	6.74	0%	24/76	0.4	63/37	0.51
	Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	Dwelling Unit	4.54	0%	23/77	0.37	61/39	0.39
	55+ SF Detached	251	Dwelling Unit	4.31	0%	33/67	0.24	61/39	0.30
	55+ SF Attached	252	Dwelling Unit	3.24	0%	34/66	0.2	56/44	0.25
	Congregate Care Facility	253	Dwelling Unit	2.21	0%	58/42	0.08	49/51	0.18
	Assisted Living Facility	254	Beds	2.6	0%	60/40	0.18	39/61	0.24
Ldg	Hotel	310	Rooms	7.99	10%	56/44	0.46	51/49	0.59
Rec	Golf Course	430	Holes	30.38	5%	79/21	1.76	53/47	2.91
	Health/Fitness Club	492	1000 S.F.	32.93	5%	51/49	1.31	57/43	3.45
Institutional	Elementary School	520	Students	2.27	0%	54/46	0.74	46/54	0.16
	Middle/Junior School	522	Students	2.1	0%	54/46	0.67	48/52	0.15
	High School	525	Students	1.94	0%	68/32	0.52	48/52	0.14
	Private School (K-8)	530	Students	3.17 <sup>a</sup>	0%	56/44	1.01	46/54	0.26
	Private School (K-12)	532	Students	2.48	0%	63/37	0.79	43/57	0.17
	Church/Synagogue <sup>b</sup>	560	1000 S.F.	7.6	5%	62/38	0.32	44/56	0.49
	Day Care	565	Students	4.09	50%	53/47	0.78	47/53	0.79
	Library	590	1000 S.F.	72.05	10%	71/29	1	48/52	8.16
Med	Hospital	610	1000 S.F.	10.77	10%	67/33	0.82	35/65	0.86
	Nursing Home	620	Beds	3.06	10%	72/28	0.14	33/67	0.14
Office	General Office (10k-250k SF GFA) <sup>h</sup>	710	1000 S.F.	10.84	10%	88/12	1.52	17/83	1.44
	General Office (>250k SF GFA) <sup>h</sup>	710	1000 S.F.	$\text{Ln}(T) = 0.87 \text{Ln}(X) + 3.05$	10%	88/12	$\text{Ln}(T) = 0.86 \text{Ln}(X) + 1.16$	17/83	1.44
	Small Office Building (<=10k SF GFA)	712	1000 S.F.	14.39	10%	82/18	1.67	34/66	2.16
	Medical Office (Stand-Alone)	720	1000 S.F.	$T=42.97(X)-108.01$	10%	79/21	3.10	30/70	3.93
	Medical Office (Near Hospital)	720	1000 S.F.	31.86	10%	81/19	2.68	25/75	2.84
	Government Office	730	1000 S.F.	22.59	10%	75/25	3.34	25/75	1.71

## Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

Gr	Landuse	ITE Code	Unit	Daily Rate/Equation	Pass-By %	AM Peak Hour		PM Peak Hour	
						In/Out	Rate/Equation	In/Out	Rate/Equation
Retail	Nursery (Garden Center)	817	Acre	108.1	0%	50/50	2.82	50/50	8.06
	Nursery (Wholesale)	818	Acre	19.50	0%	50/50	0.23	50/50	0.36
	Landscape Services	PBC	Acre <sup>c</sup>	121.70	0%	40/60	34.4	58/42	15.1
	Shop Center (>150ksf)	820	1000 S.F.	37.01	24%	62/38	0.84	48/52	3.4
	Shop Plaza (40-150ksf) w/Sup Market	821	1000 S.F.	94.49	39%	62/38	3.53	48/52	9.03
	Shop Plaza (40-150ksf) w/out Sup Market	821	1000 S.F.	67.52	39%	62/38	1.73	49/51	5.19
	Strip Retail Plaza (<40ksf)	822	1000 S.F.	54.45	63%	60/40	2.36	50/50	6.59
	Automobile Sales (New)	840	1000 S.F.	27.84	15%	73/27	1.86	40/60	2.42
	Automobile Parts Sales	843	1000 S.F.	54.57	28%	55/45	2.51	48/52	4.9
	Tire Store	848	1000 S.F.	27.69	28%	64/36	2.61	43/57	3.75
Services	Supermarket	850	1000 S.F.	93.84	36%	59/41	2.86	50/50	8.95
	Pharmacy + DT	881	1000 S.F.	108.40	50%	52/48	3.74	50/50	10.25
	Drive-In Bank	912	1000 S.F.	100.35	47%	58/42	9.95	50/50	21.01
	Fine Dining Restaurant	931	1000 S.F.	83.84	44%	50/50	0.73	67/33	7.8
	High Turnover Sit-Down Rest.	932	1000 S.F.	107.2	43%	55/45	9.57	61/39	9.05
	Fast Food Restaurant w/o DT	933	1000 S.F.	450.49	45%	58/42	43.18	50/50	33.21
	Fast Food Restaurant + DT	934	1000 S.F.	467.48	49%	51/49	44.61	52/48	33.03
	Coffee/Donut Shop w/o DT	936	1000 S.F.	441.88 <sup>d</sup>	45%	51/49	93.08	50/50	32.29
	Coffee/Donut Shop + DT	937	1000 S.F.	533.57	49%	51/49	85.88	50/50	38.99
	Coffee/Donut Shop + DT w/No Seat	938	DT Lanes	179	49%	50/50	39.81	50/50	15.08
Gas Station w/Convenience Store <sup>e</sup>	FDOT	FP, 1000 S.F.	14.3*PM Trips	61%	50/50	Note f	50/50	12.3*FP+15.5*(X)	
Carwash (Automated) <sup>g</sup>	PBC	Lane	166.00	0%	50/50	11.97	50/50	13.65	

**Footnotes**

a) Based on Daily to AM peak ratio for LUC 532 (Private School (K-12))

b) Weekend peak hour rate = 10.36 per 1,000 s.f. with a 48/52 directional split

c) Landscape Services acreage consists of overnight vehicle and equipment storage as well as areas (covered or uncovered) for chemicals, fertilizers, landscape materials (excluding plants) and other items needed for day-to-day operations. Not included are drive aisles, customer/employee parking, structures shared by nursery and landscape services, facilities that solely serve the onsite landscape activities or any nursery growing areas.

d) Based on Daily to PM ratio for ITE Code 937 (Coffee Donut Shop + DT)

e) FP=Fueling Position. Use both FP and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Article 12, should be applied to estimate the net trips.

f) Use PM rates

g) Daily rate taken from PBC trip gen. study. Peak hour rates derived by applying peak to daily ratios for gas station to daily carwash rate from older ITE TGM. New PBC rate study underway.

h) Based on PBC analysis of ITE TGM data plots

**Modification History**  
**3/2/2020:** Added Landscape Services, modification history, edited formatting  
**7/25/2022:** Updated with ITE TG Manual 11th ed information

2023 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL  
 CATEGORY: 9327 WEST-W OF SR7

WEEK	DATES	SF	MOCF: 0.94 PSCF
1	01/01/2023 - 01/07/2023	1.05	1.12
2	01/08/2023 - 01/14/2023	1.02	1.09
3	01/15/2023 - 01/21/2023	0.98	1.04
4	01/22/2023 - 01/28/2023	0.97	1.03
* 5	01/29/2023 - 02/04/2023	0.96	1.02
* 6	02/05/2023 - 02/11/2023	0.94	1.00
* 7	02/12/2023 - 02/18/2023	0.93	0.99
* 8	02/19/2023 - 02/25/2023	0.92	0.98
* 9	02/26/2023 - 03/04/2023	0.92	0.98
*10	03/05/2023 - 03/11/2023	0.91	0.97
*11	03/12/2023 - 03/18/2023	0.91	0.97
*12	03/19/2023 - 03/25/2023	0.92	0.98
*13	03/26/2023 - 04/01/2023	0.94	1.00
*14	04/02/2023 - 04/08/2023	0.95	1.01
*15	04/09/2023 - 04/15/2023	0.97	1.03
*16	04/16/2023 - 04/22/2023	0.97	1.03
*17	04/23/2023 - 04/29/2023	0.97	1.03
18	04/30/2023 - 05/06/2023	0.97	1.03
19	05/07/2023 - 05/13/2023	0.98	1.04
20	05/14/2023 - 05/20/2023	0.98	1.04
21	05/21/2023 - 05/27/2023	1.00	1.06
22	05/28/2023 - 06/03/2023	1.01	1.07
23	06/04/2023 - 06/10/2023	1.03	1.10
24	06/11/2023 - 06/17/2023	1.04	1.11
25	06/18/2023 - 06/24/2023	1.05	1.12
26	06/25/2023 - 07/01/2023	1.06	1.13
27	07/02/2023 - 07/08/2023	1.07	1.14
28	07/09/2023 - 07/15/2023	1.09	1.16
29	07/16/2023 - 07/22/2023	1.08	1.15
30	07/23/2023 - 07/29/2023	1.07	1.14
31	07/30/2023 - 08/05/2023	1.06	1.13
32	08/06/2023 - 08/12/2023	1.05	1.12
33	08/13/2023 - 08/19/2023	1.05	1.12
34	08/20/2023 - 08/26/2023	1.05	1.12
35	08/27/2023 - 09/02/2023	1.05	1.12
36	09/03/2023 - 09/09/2023	1.05	1.12
37	09/10/2023 - 09/16/2023	1.05	1.12
38	09/17/2023 - 09/23/2023	1.04	1.11
39	09/24/2023 - 09/30/2023	1.04	1.11
40	10/01/2023 - 10/07/2023	1.03	1.10
41	10/08/2023 - 10/14/2023	1.03	1.10
42	10/15/2023 - 10/21/2023	1.02	1.09
43	10/22/2023 - 10/28/2023	1.02	1.09
44	10/29/2023 - 11/04/2023	1.03	1.10
45	11/05/2023 - 11/11/2023	1.03	1.10
46	11/12/2023 - 11/18/2023	1.03	1.10
47	11/19/2023 - 11/25/2023	1.04	1.11
48	11/26/2023 - 12/02/2023	1.04	1.11
49	12/03/2023 - 12/09/2023	1.05	1.12
50	12/10/2023 - 12/16/2023	1.05	1.12
51	12/17/2023 - 12/23/2023	1.03	1.10
52	12/24/2023 - 12/30/2023	1.01	1.07
53	12/31/2023 - 12/31/2023	0.98	1.04

\* PEAK SEASON

09-MAR-2024 18:41:41

830UPD

4\_9327\_PKSEASON.TXT

Input Data

ROAD NAME: Seminole Pratt Whitney Rd  
 CURRENT YEAR: 2023  
 ANALYSIS YEAR: 2030  
 GROWTH RATE: 0%

STATION: 3442  
 FROM: Sycamore Dr  
 TO: Persimmon Blvd  
 COUNT DATE: 2/1/2023  
 PSF: 1

Report Created  
 12/26/2024

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2716	1416	1337	2488	1320	1260
Peak Volume	2716	1416	1337	2488	1320	1260
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2716	1416	1337	2488	1320	1260

Committed Developments							Type	% Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	651	333	318	689	319	370	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	262	77	184	294	183	110	Res	0%
Central Park of Commerce	31	7	25	33	25	8	NR	0%
Silver Lakes	176	44	132	226	143	83	Res	0%
Avenir	201	106	95	245	99	146	Res	3%
Total Committed Developments	1393	616	776	1599	816	781		
Total Committed Residential	689	265	423	825	447	377		
Total Committed Non-Residential	704	351	353	774	369	404		
Double Count Reduction	141	66	71	155	74	81		
Total Discounted Committed Developments	1252	550	705	1444	742	700		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	1252	550	705	1444	742	700		
Growth Volume Used	1252	550	705	1444	742	700		
Total Volume	3968	1966	2042	3932	2062	1960		

Lanes	4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960
Link Meets Test 1?	NO	NO	NO	NO	NO	YES
LOS E Capacity	3400	1960	1960	3400	1960	1960
Link Meets Test 2?	NO	NO	NO	NO	NO	YES

Input Data  
 ROAD NAME: Seminole Pratt Whitney Rd  
 CURRENT YEAR: 2023  
 ANALYSIS YEAR: 2030  
 GROWTH RATE: 0%

STATION: 3442  
 FROM: Persimmon Blvd  
 TO: 60th St N  
 COUNT DATE: 2/1/2023  
 PSF: 1

Report Created  
 12/26/2024

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2716	1416	1337	2488	1320	1260
Peak Volume	2716	1416	1337	2488	1320	1260
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2716	1416	1337	2488	1320	1260

Committed Developments							Type	% Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	651	318	333	689	370	319	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	440	130	310	493	308	185	Res	0%
Central Park of Commerce	31	7	25	33	25	8	NR	0%
Silver Lakes	176	132	44	226	83	143	Res	0%
Avenir	201	106	95	245	99	146	Res	3%
Total Committed Developments	1571	742	829	1798	932	865		
Total Committed Residential	867	406	461	1024	512	512		
Total Committed Non-Residential	704	336	368	774	420	353		
Double Count Reduction	141	67	74	155	84	71		
Total Discounted Committed Developments	1430	675	755	1643	848	794		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	1430	675	755	1643	848	794		
Growth Volume Used	1430	675	755	1643	848	794		
Total Volume	4146	2091	2092	4131	2168	2054		

Lanes	4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960
Link Meets Test 1?	NO	NO	NO	NO	NO	NO
LOS E Capacity	3400	1960	1960	3400	1960	1960
Link Meets Test 2?	NO	NO	NO	NO	NO	NO

Input Data  
ROAD NAME: Seminole Pratt Whitney Rd  
CURRENT YEAR: 2023  
ANALYSIS YEAR: 2030  
GROWTH RATE: 3.83%

STATION: 2408  
FROM: 60th St N  
TO: Orange Blvd  
COUNT DATE: 2/1/2023  
PSF: 1

Report Created  
12/26/2024

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	2041	1037	1071	1749	861	888
Peak Volume	2041	1037	1071	1749	861	888
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	2041	1037	1071	1749	861	888

Committed Developments							Type	% Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	463	226	237	489	263	226	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	115	34	81	129	81	48	Res	0%
Central Park of Commerce	26	5	20	27	21	7	NR	0%
Silver Lakes	123	92	30	158	58	100	Res	0%
Avenir	214	113	101	261	106	155	Res	3%
Total Committed Developments	1013	519	491	1176	576	600		
Total Committed Residential	502	277	224	608	267	341		
Total Committed Non-Residential	511	242	267	568	309	259		
Double Count Reduction	102	48	53	114	62	52		
Total Discounted Committed Developments	911	471	438	1062	514	548		
Historical Growth	614	312	322	526	259	267		
Comm Dev+1% Growth	911	471	438	1062	514	548		
Growth Volume Used	911	471	438	1062	514	548		
Total Volume	2952	1508	1509	2811	1375	1436		

Lanes	4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	3400	1960	1960	3400	1960	1960
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

**VOLUME DEVELOPMENT SHEET**

**The Project  
Persimmon Boulevard & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 17, 2023  
AM PEAK HOUR FACTOR: 1.00

AM Peak Hour																					
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR					
AM Raw Turning Movements	1	33	13	45	0	239	13	99	0	32	918	122	11	47	1,072	51					
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03					
AM Peak Season Volume	1	34	13	46	0	246	13	102	0	33	946	126	11	48	1,104	53					
Vested Projects																					
Comitted Traffic from TPS											549					706					
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0					
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7					
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%					
AM BACKGROUND TRAFFIC GROWTH	0	2	1	3	0	18	1	7	0	2	68	9	1	3	80	4					
Background Traffic Volumes	1	36	14	49	0	264	14	109	0	35	1,563	135	12	51	1,890	57					
AM PROJECT DISTRIBUTION																					
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR					
Entering											40.0%	10.0%		40.0%							
											10	3		10							
Exiting						50.0%															
						8															
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	8	0	0	0	0	10	3	0	10	0	0					
Future Total AM Volumes	1	36	14	49	0	272	14	109	0	35	1,573	138	12	61	1,890	57					
Critical Volume Analysis																					
No. of Lanes		1	1	1		2	1	1		1	2	1		1	2	1					
Approach Volume		99				395				1,746				2,008							
Per Lane Volume		36	14	49		136	14	109		35	787	138		61	945	57					
Overlap Reduction		0	0	(49)		0	0	(35)		0	0	(35)		0	0	(57)					
Net Per Lane Volume		36	14	0		136	14	74		35	787	102		61	945	0					
North-South Critical	NB LT + SB RT =					50				SB LT + NB TH =				150							
East-West Critical	EB LT + WB TH =					980				WB LT + EB TH =				848							
Maximum Critical Sum		150				+				980				=				1,130			
Status?																UNDER					

**VOLUME DEVELOPMENT SHEET**

**The Project  
Persimmon Boulevard & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 17, 2023  
PM PEAK HOUR FACTOR: 1.00

PM Peak Hour																					
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR					
PM Raw Turning Movements	0	20	14	63	0	136	11	43	0	19	997	151	17	109	703	59					
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03					
PM Peak Season Volume	0	21	14	65	0	140	11	44	0	20	1,027	156	18	112	724	61					
Vested Projects																					
Comitted Traffic from TPS											746					702					
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0					
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7					
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%					
PM BACKGROUND TRAFFIC GROWTH	0	2	1	5	0	10	1	3	0	1	74	11	1	8	52	4					
Background Traffic Volumes	0	23	15	70	0	150	12	47	0	21	1,773	167	19	120	1,426	65					
PM PROJECT DISTRIBUTION																					
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR					
Entering											40.0%	10.0%		40.0%							
											19	5		19							
Exiting						50.0%															
						26															
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	26	0	0	0	0	19	5	0	19	0	0					
Future Total PM Volumes	0	23	15	70	0	176	12	47	0	21	1,792	172	19	139	1,426	65					
Critical Volume Analysis																					
No. of Lanes		1	1	1		2	1	1		1	2	1		1	2	1					
Approach Volume		108				235				1,985				1,630							
Per Lane Volume		23	15	70		88	12	47		21	896	172		139	713	65					
Overlap Reduction		0	0	(70)		0	0	(21)		0	0	(23)		0	0	(65)					
Net Per Lane Volume		23	15	0		88	12	26		21	896	149		139	713	0					
North-South Critical	NB LT + SB TH =					35				SB LT + NB TH =				103							
East-West Critical	EB LT + WB TH =					734				WB LT + EB TH =				1,035							
Maximum Critical Sum		103				+				1,035				=				1,138			
Status?																UNDER					



**VOLUME DEVELOPMENT SHEET**

**The Project  
Town Center Parkway & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 13, 2023  
AM PEAK HOUR FACTOR: 1.00

AM Peak Hour																				
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR				
AM Raw Turning Movements	0	1	1	0	0	50	0	14	0	0	1,083	90	1	18	1,265	3				
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03				
AM Peak Season Volume	0	1	1	0	0	52	0	14	0	0	1,115	93	1	19	1,303	3				
Vested Projects																				
Committed Traffic from TPS											549				706					
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0				
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7				
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%				
AM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	4	0	1	0	0	80	7	0	1	94	0				
Background Traffic Volumes	0	1	1	0	0	56	0	15	0	0	1,744	100	1	20	2,103	3				
AM PROJECT DISTRIBUTION																				
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR				
Entering															40.0%					
Exiting											40.0%									
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0				
Future Total AM Volumes	0	1	1	0	0	56	0	15	0	0	1,750	100	1	20	2,113	3				
Critical Volume Analysis																				
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1				
Approach Volume		2				71				1,850				2,136						
Per Lane Volume		1	1	0		56	0	15		875	100			20	1,057	3				
Overlap Reduction		0	0	0		0	0	0		0	(1)			0	0	(3)				
Net Per Lane Volume		1	1	0		56	0	15		875	99			20	1,057	0				
North-South Critical	NB LT + SB RT =				1				SB LT + NB TH =				57							
East-West Critical	EB LT + WB TH =				1,057				WB LT + EB TH =				855							
Maximum Critical Sum	57				+				1,057				=				1,114			
Status?	UNDER																			

**VOLUME DEVELOPMENT SHEET**

**The Project  
Town Center Parkway & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 13, 2023  
PM PEAK HOUR FACTOR: 1.00

PM Peak Hour																				
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR				
PM Raw Turning Movements	0	4	0	3	0	123	0	37	5	0	1,024	136	2	77	794	2				
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03				
PM Peak Season Volume	0	4	0	3	0	127	0	38	5	0	1,055	140	2	79	818	2				
Vested Projects																				
Committed Traffic from TPS											746				702					
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0				
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7				
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%				
PM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	9	0	3	0	0	76	10	0	6	59	0				
Background Traffic Volumes	0	4	0	3	0	136	0	41	5	0	1,801	150	2	85	1,520	2				
PM PROJECT DISTRIBUTION																				
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR				
Entering															40.0%					
Exiting											40.0%									
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0				
Future Total PM Volumes	0	4	0	3	0	136	0	41	5	0	1,822	150	2	85	1,539	2				
Critical Volume Analysis																				
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1				
Approach Volume		7				177				1,972				1,626						
Per Lane Volume		4	0	3		136	0	41		911	150			85	770	2				
Overlap Reduction		0	0	(3)		0	0	0		0	(4)			0	0	(2)				
Net Per Lane Volume		4	0	0		136	0	41		911	146			85	770	0				
North-South Critical	NB LT + SB RT =				4				SB LT + NB TH =				136							
East-West Critical	EB LT + WB TH =				770				WB LT + EB TH =				996							
Maximum Critical Sum	136				+				996				=				1,132			
Status?	UNDER																			

## VOLUME DEVELOPMENT SHEET

### The Project 60th Street North & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 17, 2023  
AM PEAK HOUR FACTOR: 1.00

AM Peak Hour																			
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
AM Raw Turning Movements	0	10	0	313	0	0	0	0	0	199	950	0	1	0	915	9			
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03			
AM Peak Season Volume	0	10	0	322	0	0	0	0	0	205	979	0	1	0	942	9			
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
Committed Traffic from TPS	45			144						82	742				740	103			
TOTAL "VESTED" TRAFFIC	0	45	0	144	0	0	0	0	0	82	742	0	0	0	740	103			
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7			
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%			
AM BACKGROUND TRAFFIC GROWTH	0	1	0	23	0	0	0	0	0	15	71	0	0	0	68	1			
Background Traffic Volumes	0	55	0	489	0	0	0	0	0	302	1,792	0	1	0	1,750	113			
AM PROJECT DISTRIBUTION																			
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
Entering															40.0%				
Exiting											40.0%								
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0			
Future Total AM Volumes	0	55	0	489	0	0	0	0	0	302	1,798	0	1	0	1,760	113			
Critical Volume Analysis																			
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1			
Approach Volume			544				0				2,100				1,873				
Per Lane Volume		55	0	489		0	0	0		302	899	0		0	880	113			
Overlap Reduction		0	0	0		0	0	0		0	0	0		0	0	0			
Net Per Lane Volume		55	0	489		0	0	0		302	899	0		0	880	113			
North-South Critical	NB LT + SB TH =			55				SB LT + NB RT =				0							
East-West Critical	EB LT + WB TH =			1,182				WB LT + EB TH =				899							
Maximum Critical Sum	55			+				1,182				=				1,237			
Status?	NEAR																		

## VOLUME DEVELOPMENT SHEET

### The Project 60th Street North & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 17, 2023  
PM PEAK HOUR FACTOR: 1.00

PM Peak Hour																			
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
PM Raw Turning Movements	1	12	0	164	0	0	0	0	0	235	848	0	1	2	763	16			
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03			
PM Peak Season Volume	1	12	0	169	0	0	0	0	0	242	873	0	1	2	786	16			
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
Committed Traffic from TPS		103		85						75	828				835	61			
TOTAL "VESTED" TRAFFIC	0	103	0	85	0	0	0	0	0	75	828	0	0	0	835	61			
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7			
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%			
PM BACKGROUND TRAFFIC GROWTH	0	1	0	12	0	0	0	0	0	17	63	0	0	0	57	1			
Background Traffic Volumes	1	115	0	254	0	0	0	0	0	317	1,701	0	1	2	1,621	77			
PM PROJECT DISTRIBUTION																			
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR			
Entering															40.0%				
Exiting											40.0%								
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0			
Future Total PM Volumes	1	115	0	254	0	0	0	0	0	317	1,722	0	1	2	1,640	77			
Critical Volume Analysis																			
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1			
Approach Volume			369				0				2,039				1,719				
Per Lane Volume		115	0	254		0	0	0		317	861	0		2	820	77			
Overlap Reduction		0	0	(2)		0	0	0		0	0	0		0	0	0			
Net Per Lane Volume		115	0	252		0	0	0		317	861	0		0	820	77			
North-South Critical	NB LT + SB TH =			115				SB LT + NB RT =				0							
East-West Critical	EB LT + WB TH =			1,137				WB LT + EB TH =				863							
Maximum Critical Sum	115			+				1,137				=				1,252			
Status?	NEAR																		

## VOLUME DEVELOPMENT SHEET

### The Project Sycamore Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023  
AM PEAK HOUR FACTOR: 1.00

AM Peak Hour																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
AM Raw Turning Movements	0	318	2	213	0	1	1	9	0	76	845	2	0	8	1,039	74	
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	
AM Peak Season Volume	0	328	2	219	0	1	1	9	0	78	870	2	0	8	1,070	76	
Vested Projects																	
Comitted Traffic from TPS											488				631		
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	488	0	0	0	631	0	
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	
AM BACKGROUND TRAFFIC GROWTH	0	24	0	16	0	0	0	1	0	6	63	0	0	1	77	5	
Background Traffic Volumes	0	352	2	235	0	1	1	10	0	84	1,421	2	0	9	1,778	81	
AM PROJECT DISTRIBUTION																	
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
Entering											50.0%						
											13						
Exiting															50.0%		
															8		
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	13	0	0	0	8	0	
Future Total AM Volumes	0	352	2	235	0	1	1	10	0	84	1,434	2	0	9	1,786	81	
Critical Volume Analysis																	
No. of Lanes		2	1	1		1	1	1		1	2	1		1	2	1	
Approach Volume		589				12				1,520				1,876			
Per Lane Volume		176	2	235		1	1	10		84	717	2		9	893	81	
Overlap Reduction		0	0	(9)		0	0	(10)		0	0	(2)		0	0	(1)	
Net Per Lane Volume		176	2	226		1	1	0		84	717	0		9	893	80	
North-South Critical	NB LT + SB TH =	177						SB LT + NB RT =						3			
East-West Critical	EB LT + WB TH =	977						WB LT + EB TH =						726			
Maximum Critical Sum		177						977						= 1,154			
Status?	UNDER																

## VOLUME DEVELOPMENT SHEET

### The Project Sycamore Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023  
PM PEAK HOUR FACTOR: 1.00

PM Peak Hour																	
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
PM Raw Turning Movements	0	177	0	133	0	1	2	7	0	291	1,103	3	0	10	985	190	
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	
PM Peak Season Volume	0	182	0	137	0	1	2	7	0	300	1,136	3	0	10	1,015	196	
Vested Projects																	
Comitted Traffic from TPS											666				631		
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	666	0	0	0	631	0	
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	
PM BACKGROUND TRAFFIC GROWTH	0	13	0	10	0	0	0	1	0	22	82	0	0	1	73	14	
Background Traffic Volumes	0	195	0	147	0	1	2	8	0	322	1,884	3	0	11	1,719	210	
PM PROJECT DISTRIBUTION																	
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
Entering											50.0%						
											24						
Exiting															50.0%		
															26		
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	24	0	0	0	26	0	
Future Total PM Volumes	0	195	0	147	0	1	2	8	0	322	1,908	3	0	11	1,745	210	
Critical Volume Analysis																	
No. of Lanes		2	1	1		1	1	1		1	2	1		1	2	1	
Approach Volume		342				11				2,233				1,966			
Per Lane Volume		98	0	147		1	2	8		322	954	3		11	873	210	
Overlap Reduction		0	0	(11)		0	0	(8)		0	0	(3)		0	0	(1)	
Net Per Lane Volume		98	0	136		1	2	0		322	954	0		11	873	209	
North-South Critical	NB LT + SB TH =	100						SB LT + NB RT =						1			
East-West Critical	EB LT + WB TH =	1,195						WB LT + EB TH =						965			
Maximum Critical Sum		100						1,195						= 1,295			
Status?	NEAR																

**VOLUME DEVELOPMENT SHEET**

**The Project  
Town Center Parkway North & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 13, 2023  
AM PEAK HOUR FACTOR: 1.00

AM Peak Hour																
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
AM Raw Turning Movements	0	0	0	0	0	0	29	0	252	0	1,093	26	1	84	1,153	0
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
AM Peak Season Volume	0	0	0	0	0	30	0	260	0	0	1,126	27	1	87	1,188	0
Vested Projects																
Committed Traffic from TPS											549					706
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%
AM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	2	0	19	0	0	81	2	0	6	86	0
Background Traffic Volumes	0	0	0	0	0	32	0	279	0	0	1,756	29	1	93	1,980	0
<b>AM PROJECT DISTRIBUTION</b>																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Entering															40.0%	
Exiting											40.0%					
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0
Future Total AM Volumes	0	0	0	0	0	32	0	279	0	0	1,762	29	1	93	1,990	0
<b>Critical Volume Analysis</b>																
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1
Approach Volume		0				311				1,791				2,083		
Per Lane Volume		0	0	0		32	0	279		0	881	29		93	995	0
Overlap Reduction		0	0	0		0	0	0		0	0	0		0	0	0
Net Per Lane Volume		0	0	0		32	0	279		0	881	29		93	995	0
North-South Critical	NB LT + SB RT =				0				SB LT + NB TH =				32			
East-West Critical	EB LT + WB TH =				995				WB LT + EB TH =				974			
Maximum Critical Sum	32				+				995				= 1,027			
Status?	UNDER															

**VOLUME DEVELOPMENT SHEET**

**The Project  
Town Center Parkway North & Seminole Pratt Whitney Road  
EXISTING GEOMETRY**

COUNT DATE: April 13, 2023  
PM PEAK HOUR FACTOR: 1.00

PM Peak Hour																
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
PM Raw Turning Movements	0	0	0	0	0	52	0	86	1	0	1,001	47	1	127	771	0
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
PM Peak Season Volume	0	0	0	0	0	54	0	89	1	0	1,031	48	1	131	794	0
Vested Projects																
Committed Traffic from TPS											746					702
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%
PM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	4	0	6	0	0	74	3	0	9	57	0
Background Traffic Volumes	0	0	0	0	0	58	0	95	1	0	1,851	51	1	140	1,553	0
<b>PM PROJECT DISTRIBUTION</b>																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Entering															40.0%	
Exiting											40.0%					
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0
Future Total PM Volumes	0	0	0	0	0	58	0	95	1	0	1,872	51	1	140	1,572	0
<b>Critical Volume Analysis</b>																
No. of Lanes		1	1	1		1	1	1		1	2	1		1	2	1
Approach Volume		0				153				1,923				1,712		
Per Lane Volume		0	0	0		58	0	95		0	936	51		140	786	0
Overlap Reduction		0	0	0		0	0	0		0	0	0		0	0	0
Net Per Lane Volume		0	0	0		58	0	95		0	936	51		140	786	0
North-South Critical	NB LT + SB RT =				0				SB LT + NB TH =				58			
East-West Critical	EB LT + WB TH =				786				WB LT + EB TH =				1,076			
Maximum Critical Sum	58				+				1,076				= 1,134			
Status?	UNDER															

SIGNAL#	Location EW	Location NS	DATE	PEAK HR	COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
21400	54th St	US-1/Broadway	05-Jun-07	7:15 AM		9	0	669	6	36	0	1190	5	5	7	4	6	4	1	2	20	1964
21400	54th St	US-1/Broadway	05-Jun-07	16:45 PM		27	0	1199	21	21	0	1110	13	3	8	0	9	10	1	4	70	2496
22075	60th St N	Royal Palm Beach Bl	13-Jan-22	7:30 AM		4	0	366	7	581	0	232	2	0	0	28	6	3	0	4	199	1432
22075	60th St N	Royal Palm Beach Bl	13-Jan-22	17:00 PM		2	0	304	8	350	0	365	3	2	0	7	4	4	0	31	549	1629
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	7:00 AM		199	0	950	0	0	1	915	9	10	0	0	313	0	0	0	0	2397
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	14:00 MD		158	1	619	0	0	0	679	9	9	0	0	192	0	0	0	0	1667
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	17:00 PM		235	0	848	0	2	1	763	16	12	1	0	164	0	0	0	0	2042
37875	6th Ave S	A St	11-Oct-23	7:15 AM		197	0	203	35	57	0	144	301	182	1	890	82	17	1	1118	33	3261
37875	6th Ave S	A St	11-Oct-23	14:45 MD		148	0	132	12	84	0	143	215	189	1	705	18	21	4	724	62	2458
37875	6th Ave S	A St	11-Oct-23	16:45 PM		137	0	162	29	73	0	173	202	315	1	1354	40	35	1	888	42	3452
37850	6th Ave S	I 95 East	09-Mar-20	7:15 AM		395	0	0	445	0	0	0	0	715	0	513	0	0	0	1139	440	3647
37850	6th Ave S	I 95 East	09-Mar-20	12:00 MD		429	0	0	433	0	0	0	0	284	0	578	0	0	0	539	268	2531
37850	6th Ave S	I 95 East	09-Mar-20	16:45 PM		917	0	0	667	0	0	0	0	615	3	872	0	0	0	950	364	4388
37850	6th Ave S	I 95 West	09-Mar-20	7:15 AM		0	0	0	0	426	0	0	521	0	0	802	382	588	0	945	0	3664
37850	6th Ave S	I 95 West	09-Mar-20	12:00 MD		0	0	0	0	363	0	1	515	0	0	563	327	569	0	1112	0	3450
37850	6th Ave S	I 95 West	09-Mar-20	16:45 PM		0	0	0	0	493	0	0	572	0	0	919	440	607	0	1260	0	4291
37825	6th Ave S	Palm Beach State College	14-Sep-22	7:15 AM		15	0	0	7	20	0	0	23	22	1	1229	8	6	1	812	214	2358
37825	6th Ave S	Palm Beach State College	14-Sep-22	11:00 MD		8	0	0	3	92	0	0	76	24	4	604	4	5	0	605	57	1482
37825	6th Ave S	Palm Beach State College	14-Sep-22	16:30 PM		33	0	1	13	128	0	0	93	19	3	945	2	1	0	1036	80	2354
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	7:30 AM		35	0	230	2	3	0	242	118	76	0	11	36	4	0	16	4	777
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	7:30 AM		162	0	438	11	45	0	563	111	176	0	225	114	28	0	283	40	2196
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	12:00 MD		30	0	169	4	3	0	146	70	87	0	15	32	1	0	8	3	568
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	12:00 MD		127	0	502	22	34	1	526	101	213	0	166	95	35	1	148	15	1986
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	16:45 PM		54	0	236	9	7	0	276	119	82	0	36	46	3	0	11	4	883
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	17:00 PM		289	0	787	13	58	0	930	251	321	0	438	244	40	0	302	39	3712
36350	7th Ave N	US-1 FEDERREAL HWY	17-Aug-23	7:30 AM		19	0	325	5	10	0	330	24	14	0	9	22	7	0	2	13	780
36350	7th Ave N	US-1 FEDERREAL HWY	17-Aug-23	12:00 MD		18	0	266	8	11	0	249	13	5	0	11	10	2	0	5	14	612
36350	7th Ave N	US-1 FEDERREAL HWY	17-Aug-23	16:45 PM		29	0	384	4	11	0	437	18	6	0	13	17	9	0	5	5	938
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	7:30 AM		26	0	651	29	56	0	615	25	38	0	41	27	25	0	32	32	1597
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	12:00 MD		12	0	573	8	28	0	573	23	19	0	10	24	26	0	8	34	1338
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	16:45 PM		46	0	741	20	54	0	829	42	35	0	27	30	31	0	27	29	1911
26275	7th St	Australian Ave	03-May-22	7:30 AM		24	1	660	102	41	0	610	15	12	0	33	65	104	0	12	16	1695
26275	7th St	Australian Ave	03-May-22	16:45 MD		66	0	835	34	20	2	1606	15	21	0	9	44	418	0	23	50	3143
300044	82nd St	Congress Ave	09-Mar-09	7:45 AM		77	0	229	279	271	0	833	84	13	0	34	62	1170	0	217	100	3369
300044	82nd St	Congress Ave	09-Mar-09	16:45 PM		79	0	927	1037	161	0	406	21	90	0	248	89	279	1	45	178	3561
300046	82nd St	I 95 East	23-Mar-04	7:45 AM		1077	0	0	0	0	0	0	0	179	0	0	0	0	0	0	0	1256
300046	82nd St	I 95 East	23-Mar-04	17:00 PM		698	0	3	0	0	0	0	0	645	0	0	0	0	0	0	0	1346

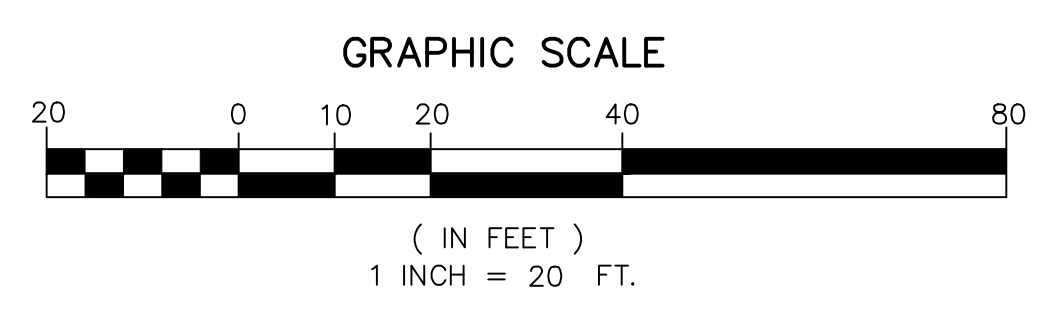
SIGNAL#	Location EW	Location NS	DATE	PEAK HR	COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
27650	Persimmon Bl	Royal Palm Beach Bl	25-Oct-22	7:00 AM		61	0	371	5	55	0	277	20	7	0	296	162	5	0	89	28	1376
27650	Persimmon Bl	Royal Palm Beach Bl	25-Oct-22	17:00 PM		149	0	577	19	28	0	587	11	9	0	171	138	10	0	342	42	2083
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	7:00 AM		32	0	918	122	47	11	1072	51	33	1	13	45	239	0	13	99	2696
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	14:00 MD		22	0	779	100	89	22	743	60	30	0	10	55	124	1	17	42	2094
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	17:00 PM		19	0	997	151	109	17	703	59	20	0	14	63	136	0	11	43	2342
27657	Persimmon Bl	SR 7	06-Oct-22	7:00 AM		98	0	229	0	0	0	713	1	0	0	0	371	0	0	0	0	1412
27657	Persimmon Bl	SR 7	06-Oct-22	17:00 PM		302	0	715	0	0	0	398	3	0	0	1	149	0	0	0	0	1568
14400	PGA Bl	Alt A1A/SR 811	20-Feb-03	7:45 AM		328	0	399	142	164	0	617	522	364	0	2573	305	113	0	905	45	6477
14400	PGA Bl	Alt A1A/SR 811	20-Feb-03	11:30 MD		313	0	376	208	141	0	357	326	396	0	1892	137	196	0	1531	134	6007
14400	PGA Bl	Alt A1A/SR 811	20-Feb-03	17:00 PM		511	0	673	125	109	0	378	448	500	0	1852	172	170	0	2240	114	7292
14280	PGA Bl	Ave of the Champions	30-Jan-19	7:30 AM		15	0	88	36	416	0	85	29	63	2	360	14	322	48	364	338	2180
14280	PGA Bl	Ave of the Champions	30-Jan-19	12:00 MD		8	0	124	70	283	0	116	33	48	1	318	25	277	66	310	227	1906
14280	PGA Bl	Ave of the Champions	30-Jan-19	17:00 PM		18	0	105	91	404	0	122	53	51	1	449	11	273	76	469	377	2500
14305	PGA Bl	Ballensles Dr	07-Feb-23	7:30 AM		19	0	0	50	0	0	0	3	36	7	1964	35	53	2	1557	79	3805
14305	PGA Bl	Ballensles Dr	07-Feb-23	12:00 MD		46	0	3	105	1	0	0	2	25	14	1327	60	84	8	1470	58	3203
14305	PGA Bl	Ballensles Dr	07-Feb-23	16:45 PM		53	0	0	106	26	0	1	21	17	8	1619	40	83	4	2283	37	4298
14100	PGA Bl	Beeline Hwy	02-Dec-20	7:00 AM		0	0	503	30	89	0	467	0	0	0	0	0	16	0	0	100	1205
14100	PGA Bl	Beeline Hwy	02-Dec-20	16:00 PM		0	1	437	26	114	0	652	0	0	0	0	0	94	0	0	95	1419
14403	PGA Bl	Campus Dr/Kew Gardens Ave	12-Dec-22	7:30 AM		71	0	40	39	28	0	35	48	65	0	2076	142	39	7	942	45	3577
14403	PGA Bl	Campus Dr/Kew Gardens Ave	12-Dec-22	12:30 MD		152	0	87	121	166	0	84	90	69	2	1483	141	48	15	1274	206	3938
14403	PGA Bl	Campus Dr/Kew Gardens Ave	12-Dec-22	16:45 PM		130	0	70	75	120	0	80	68	86	5	1325	62	33	12	1612	146	3824
14301	PGA Bl	Central Bl/Ave of the PGA	09-Jan-23	7:30 AM		13	0	17	29	220	0	21	728	754	6	2157	23	46	17	1369	477	5877
14301	PGA Bl	Central Bl/Ave of the PGA	09-Jan-23	12:00 MD		35	0	19	46	155	0	21	321	357	16	1359	34	77	33	1349	166	3988
14301	PGA Bl	Central Bl/Ave of the PGA	09-Jan-23	17:00 PM		72	0	121	58	193	0	34	783	527	9	1745	47	72	15	2474	243	6393
14475	PGA Bl	Ellison Wilson Rd	07-Dec-22	7:45 AM		129	0	61	14	32	0	68	254	496	0	1052	235	5	4	442	46	2838
14475	PGA Bl	Ellison Wilson Rd	07-Dec-22	12:30 MD		213	0	89	15	37	1	30	301	279	22	895	247	11	2	766	27	2935
14475	PGA Bl	Ellison Wilson Rd	07-Dec-22	16:45 PM		326	0	105	18	22	0	40	632	326	16	929	270	5	5	1050	23	3767
14401	PGA Bl	Fairchild Gardens Ave	30-Oct-23	7:30 AM		32	0	19	10	50	1	23	81	198	3	3900	106	22	3	876	57	5381
14401	PGA Bl	Fairchild Gardens Ave	30-Oct-23	12:30 MD		282	0	143	98	126	0	91	198	341	34	2582	155	98	3	1191	58	5400
14401	PGA Bl	Fairchild Gardens Ave	30-Oct-23	16:45 PM		373	1	81	73	110	0	94	320	413	30	3052	106	83	3	1746	50	6535
14300	PGA Bl	Fla Turnpike/Fairway Dr	28-Mar-22	7:30 AM		37	0	42	382	1031	0	102	167	82	1	675	49	470	3	757	273	4071
14300	PGA Bl	Fla Turnpike/Fairway Dr	28-Mar-22	12:00 MD		87	0	53	351	309	1	38	66	72	2	539	59	319	8	782	200	2886
14300	PGA Bl	Fla Turnpike/Fairway Dr	28-Mar-22	17:00 PM		53	0	143	580	505	1	42	80	186	8	814	53	447	5	1198	959	5074
14402	PGA Bl	Gardens Mall Main Ent	22-Mar-22	7:30 AM		2	0	0	2	1	0	0	11	41	2	2243	10	2	0	925	12	3251
14402	PGA Bl	Gardens Mall Main Ent	22-Mar-22	12:30 MD		24	0	3	8	53	0	2	112	108	2	1515	49	23	2	1445	65	3411
14402	PGA Bl	Gardens Mall Main Ent	22-Mar-22	16:45 PM		15	0	2	2	49	0	4	101	113	5	1444	26	6	1	1796	85	3649
14352	PGA Bl	I 95 East	04-Mar-20	7:45 AM		0	0	0	2523	0	0	0	0	0	0	2279	0	0	0	0	0	4802

SIGNAL#	Location EW	Location NS	DATE	PEAK HR	COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
64010	SW 3rd St	SR 7	30-May-17	7:30 AM		5	1	2400	43	62	2	1682	31	22	0	14	20	51	0	2	188	4523
64010	SW 3rd St	SR 7	30-May-17	17:00 PM		14	1	2021	62	194	2	2412	50	39	0	3	11	51	0	4	109	4973
64730	SW 8th St	Lyons Rd	19-Sep-23	7:45 AM		29	0	1210	33	65	27	1063	58	136	0	69	62	72	2	74	111	3011
64730	SW 8th St	Lyons Rd	19-Sep-23	12:45 MD		38	0	658	51	65	17	707	69	54	0	39	38	23	0	30	41	1830
64730	SW 8th St	Lyons Rd	19-Sep-23	17:00 PM		110	1	1080	77	87	12	1326	131	105	1	51	51	73	0	91	96	3292
80520	SW Ave E	10th St	18-May-10	7:00 AM		6	0	23	120	14	0	27	13	18	0	155	7	100	0	140	16	639
80520	SW Ave E	10th St	18-May-10	12:00 MD		7	0	9	73	14	0	11	9	10	0	189	9	65	0	256	23	675
80520	SW Ave E	10th St	18-May-10	16:30 PM		3	0	20	118	29	0	25	25	11	0	279	15	114	0	303	42	984
80540	SW Ave E	5th St	18-May-10	7:45 AM		13	0	6	11	52	0	7	23	36	0	288	48	16	0	296	14	810
80540	SW Ave E	5th St	18-May-10	12:30 MD		10	0	2	10	58	0	6	21	29	1	272	9	16	0	314	28	776
80540	SW Ave E	5th St	18-May-10	17:00 PM		19	0	13	21	82	0	17	57	24	0	425	15	14	0	452	37	1176
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	7:30 AM		103	0	563	102	65	0	560	59	74	0	55	108	98	0	70	42	1899
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	11:45 MD		126	3	557	99	61	9	579	48	69	0	77	123	107	2	88	55	2003
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	16:30 PM		140	5	625	97	73	3	669	68	70	1	71	141	140	0	137	51	2291
47499	SW Congress Bl	Congress Ave	03-May-18	8:00 AM		46	1	798	6	19	6	1081	76	77	0	4	127	4	0	3	25	2273
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	7:45 AM		139	0	525	35	55	0	847	135	118	2	248	163	49	0	243	21	2580
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	11:45 MD		111	0	550	28	51	0	452	71	109	0	265	84	36	1	208	34	2000
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	16:30 PM		218	0	897	24	55	0	712	86	234	0	476	114	58	0	362	28	3264
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	7:00 AM		75	1	845	2	6	2	1039	74	318	0	2	213	1	0	1	9	2588
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	14:00 MD		138	1	859	5	3	1	741	123	121	0	1	124	2	0	2	7	2128
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	17:00 PM		291	0	1103	3	10	0	985	190	177	0	0	133	1	0	2	7	2902
29880	Tallapoosa St	Georgia Ave	20-Oct-04	7:15 AM		7	0	277	0	0	0	185	2	3	0	0	1	0	0	0	0	475
29880	Tallapoosa St	Georgia Ave	20-Oct-04	13:45 MD		5	0	116	0	0	0	157	7	1	0	0	5	0	0	0	0	291
29875	Tallapoosa St	Lake Ave	21-Oct-04	7:15 AM		0	0	195	3	9	0	205	0	0	0	0	0	5	0	0	12	429
29875	Tallapoosa St	Lake Ave	21-Oct-04	13:45 MD		0	0	144	9	11	0	135	0	0	0	0	0	5	0	0	7	311
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	8:00 AM		176	0	252	22	26	1	267	65	98	0	187	263	52	0	161	11	1581
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	12:30 MD		198	1	278	46	40	1	237	95	107	0	180	179	73	1	183	45	1664
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	17:00 PM		208	0	372	55	24	0	242	96	103	0	181	180	69	0	212	33	1775
2400	Tequesta Dr	Riverside Dr	28-Mar-17	8:45 AM		128	0	26	11	19	0	54	12	15	0	218	200	8	0	156	13	860
2400	Tequesta Dr	Riverside Dr	28-Mar-17	17:00 PM		179	0	54	14	18	0	42	17	18	0	200	96	9	0	241	31	919
2500	Tequesta Dr	Seabrook Rd	02-Sep-09	8:00 AM		3	0	59	18	105	0	160	16	24	0	173	9	2	0	172	45	786
2500	Tequesta Dr	Seabrook Rd	02-Sep-09	16:15 PM		5	0	81	21	74	0	65	15	16	0	181	9	14	0	218	109	808
2700	Tequesta Dr	US-1	20-Apr-22	7:45 AM		67	13	733	21	24	1	1456	111	83	2	11	136	50	0	24	12	2744
2700	Tequesta Dr	US-1	20-Apr-22	12:30 MD		129	24	839	43	55	13	928	98	132	9	55	122	127	0	65	36	2675
2700	Tequesta Dr	US-1	20-Apr-22	16:45 PM		141	23	1468	50	54	19	952	76	157	7	48	105	127	0	63	32	3322
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	7:45 AM		204	1	920	0	0	1	1110	294	235	0	0	190	0	0	0	0	2955
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	14:45 MD		287	0	960	0	0	1	913	274	332	1	3	265	0	0	0	0	3036

SIGNAL#	Location EW	Location NS	DATE	PEAK HR	COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	16:45	PM	308	3	1177	0	0	0	1112	303	305	0	0	247	0	0	0	0	3455
4910	Toney Penna Dr	Central Bl	26-Jan-23	7:15	AM	0	0	596	67	210	1	532	0	0	0	0	0	28	0	0	279	1713
4910	Toney Penna Dr	Central Bl	26-Jan-23	13:45	MD	0	0	476	67	171	1	517	0	0	0	0	0	53	0	0	228	1513
4910	Toney Penna Dr	Central Bl	26-Jan-23	17:00	PM	0	0	671	63	250	1	760	0	0	0	0	0	58	4	0	409	2216
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	7:15	AM	84	1	204	84	102	0	211	175	65	0	239	41	31	0	258	101	1596
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	14:30	MD	45	0	182	52	91	5	206	105	62	0	220	59	71	0	324	165	1587
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	16:45	PM	57	0	174	32	118	0	271	179	67	0	228	78	55	0	431	117	1807
5010	Toney Penna Dr	Military Tr	22-Apr-19	7:15	AM	161	3	673	169	84	1	766	76	109	0	177	214	165	0	190	64	2852
5010	Toney Penna Dr	Military Tr	22-Apr-19	14:30	MD	199	10	844	141	62	4	716	76	116	0	153	206	108	0	203	35	2873
5010	Toney Penna Dr	Military Tr	22-Apr-19	16:30	PM	281	14	867	206	38	7	715	89	81	0	135	168	166	0	301	59	3127
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	7:45	AM	0	0	0	116	0	0	0	26	16	0	317	63	204	0	222	42	1006
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	14:45	MD	0	0	0	225	0	0	0	26	4	0	407	46	147	0	342	52	1249
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	16:45	PM	1	0	0	262	0	0	0	37	6	0	300	33	129	0	376	83	1227
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	7:15	AM	25	0	43	39	84	0	15	65	112	0	427	10	29	0	324	97	1270
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	14:30	MD	15	0	28	35	61	0	28	78	87	0	446	10	25	0	501	94	1408
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	16:30	PM	23	0	30	33	59	0	39	91	73	1	366	11	26	0	744	56	1552
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	7:00	AM	0	0	1093	26	84	1	1153	0	0	0	0	0	29	0	0	252	2638
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	14:00	MD	0	1	669	40	103	0	763	0	0	0	0	0	38	0	0	94	1708
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	17:00	PM	0	1	1001	47	127	1	771	0	0	0	0	0	52	0	0	86	2086
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	7:00	AM	0	0	1083	90	18	1	1265	3	1	0	1	0	50	0	0	14	2526
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	14:00	MD	0	7	874	99	38	2	1035	3	4	0	0	0	139	0	0	22	2223
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	17:00	PM	0	5	1024	136	77	2	794	2	4	0	0	3	123	0	0	37	2207
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	8:00	AM	11	0	668	31	122	48	1334	16	1	0	0	4	47	0	0	52	2334
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	12:45	MD	5	2	999	43	105	139	1022	14	13	0	1	11	52	0	2	64	2472
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	16:45	PM	2	2	1507	33	79	88	1021	13	25	0	0	15	52	0	0	76	2913
29850	Turnage Bl	Australian Ave	31-Oct-22	7:45	AM	50	1	2439	1	0	2	1062	30	61	0	0	23	0	0	0	0	3669
29850	Turnage Bl	Australian Ave	31-Oct-22	12:15	MD	51	1	887	1	0	9	772	51	75	1	0	79	0	0	0	0	1927
29850	Turnage Bl	Australian Ave	31-Oct-22	16:30	PM	60	0	1069	0	0	8	2727	39	61	0	0	43	0	0	0	0	4007
29900	Tuscaloosa St	Parker Ave	28-Jun-23	7:45	AM	0	0	206	11	27	0	122	0	0	0	0	0	9	0	0	32	407
29900	Tuscaloosa St	Parker Ave	28-Jun-23	16:45	PM	0	0	193	12	28	0	350	0	0	0	0	0	22	0	0	24	629
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	7:30	AM	5	0	183	531	225	0	240	9	7	0	4	14	60	0	1	26	1305
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	12:00	MD	9	0	149	131	43	0	140	6	5	0	4	11	134	0	9	48	689
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	16:45	PM	6	0	170	52	27	0	144	4	3	0	3	7	526	0	5	217	1164
12543	Universe Bl	US-1	20-Sep-16	7:45	AM	220	0	675	0	0	0	973	142	25	0	0	74	0	0	0	0	2109
12543	Universe Bl	US-1	20-Sep-16	12:00	MD	170	14	680	0	0	0	654	75	37	0	0	71	0	0	0	0	1701
12543	Universe Bl	US-1	20-Sep-16	16:45	PM	70	4	982	0	0	0	651	29	174	3	0	144	0	0	0	0	2057
6600	University Bl	Military Tr	23-Jan-20	7:30	AM	155	55	1202	73	105	2	1476	97	62	6	53	78	181	0	71	142	3758



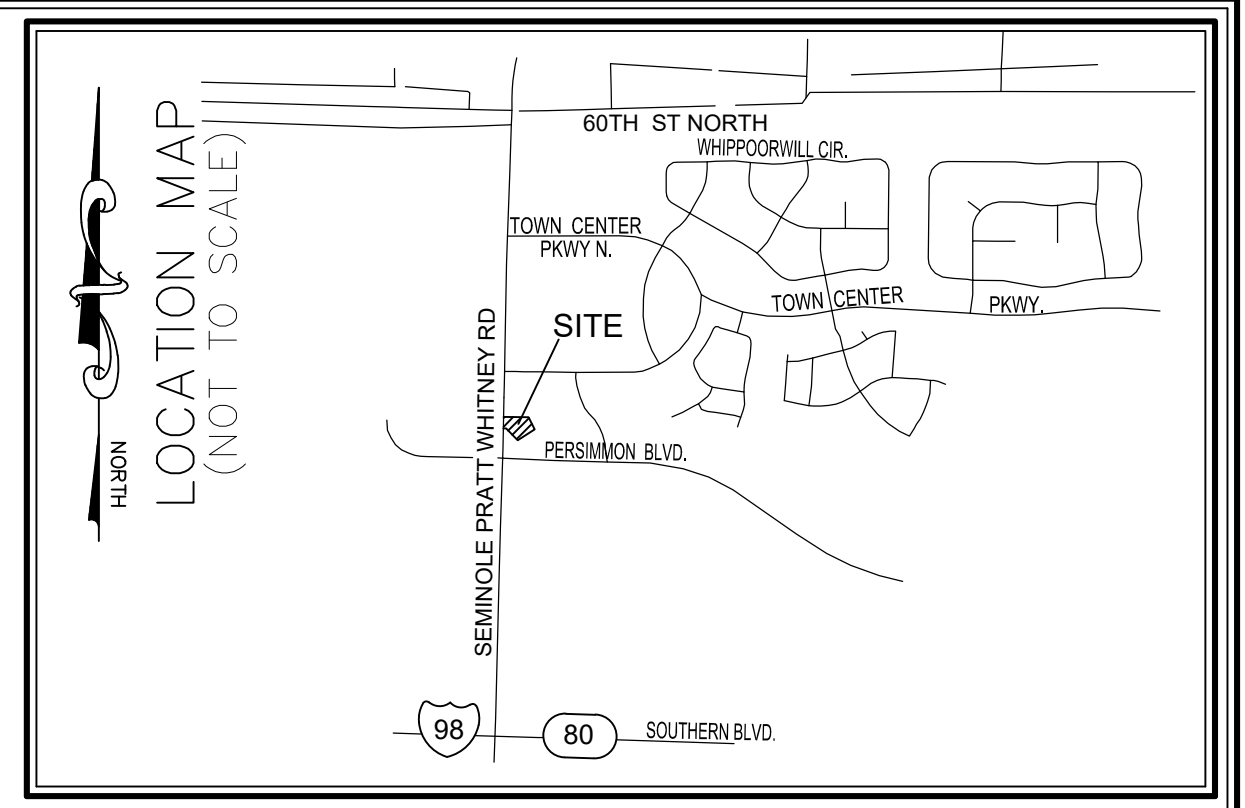
HILSON



N.W. CORNER OF TRACT A GROVE MARKET PLAT (P.B. 82, PG. 67) P.B.C. PUBLISHED POSITION NORTHING: 880745.3649 EASTING: 882239.0507 NOT FOUND

TREE ID	TREE TYPE	TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
500	OAK 10			880206	882277
502	OAK 11			880227	882256
503	OAK 12			880247	882256
504	PALM 14	29		880257	882265
505	OAK 12			880268	882257
506	OAK 11			880288	882258
507	PALM 16	28		880289	882267
508	OAK 18			880304	882268
509	PALM 15	30		880313	882263
510	OAK 9			880322	882288
511	PALM 15	29		880330	882273
512	OAK 7			880343	882276
513	PALM 17	28		880353	882283

TREE ID	TREE TYPE	TRUNK DIAMETER (IN INCHES)	PALM TREE HEIGHT (IN FEET)	NORTHING	EASTING
514	PALM 16	24		880354	882302
515	PALM 15	28		880353	882323
516	PALM 15	28		880352	882343
517	PALM 15	26		880352	882363
518	PALM 16	27		880353	882382
532	OAK 8			880292	882412
537	OAK 11			880191	882347
538	OAK 9			880215	882331
539	OAK 12			880241	882313
540	OAK 14			880259	882334
541	OAK 13			880305	882318
542	OAK 8			880293	882372
543	OAK 12			880308	882385



**SCHEDULE B-II EXCEPTIONS**

- Restrictions, covenants, conditions, easements and other matters as contained on the Plat of GROVE MARKET PLAT, recorded in Plat Book 82, Page 67, of the Public Records of Palm Beach County, Florida. [AFFECTS AS SHOWN]
  - Reservations contained in Deed recorded in Deed Book 941, Page 526, as affected by Deed Book 952, Page 67, and as affected by Official Records Book 312, Page 342. [AFFECTS, NOT PLOTTABLE]
  - Terms, conditions, and provisions of Deed to Seminole Water Control District, a Drainage District located in Palm Beach County, Florida, a public agency, recorded in Official Records Book 1854, Page 1803. [AFFECTS, NOT PLOTTABLE]
  - Terms and provisions of Dedication of Easements by Seminole Water Control District recorded in Official Records Book 1868, Page 307. [DOES NOT AFFECT]
  - Terms, conditions and provisions set forth in that certain Comprehensive Plan Agreement and Covenant recorded in Official Records Book 8422, Page 63. [AFFECTS, NOT PLOTTABLE]
  - Restrictions and other terms, covenants and conditions set forth in that certain Declaration of Covenants recorded in Official Records Book 9484, Page 154. [AFFECTS, NOT PLOTTABLE]
  - Terms, conditions and provisions set forth in that certain Restrictive Covenant Agreement recorded in Official Records Book 9908, Page 1105. [DOES NOT AFFECT]
  - Terms, conditions and provisions of that certain Lease Agreement evidenced by Short Form Lease recorded in Official Records Book 10059, Page 1327, as modified and affected by instruments recorded in Official Records Book 10113, Page 1690; in Official Records Book 11472, Page 156; in Official Records Book 18490, Page 491; in Official Records Book 21124, Page 1181; in Official Records Book 21124, Page 1189, and in Official Records Book 21124, Page 1241. [AFFECTS, NOT PLOTTABLE]
  - Easement recorded in Official Records Book 10602, Page 692. [DOES NOT AFFECT]
  - Matters set forth in that certain Special Warranty Deed recorded in Official Records Book 10923, Page 650. [DOES NOT AFFECT]
  - Terms, provisions, covenants, conditions, restrictions, assessments, easements, liens, and other matters established by Declaration of Easements and Restrictions, and recorded in Official Records Book 10923, Page 653, as affected by instrument recorded in Official Records Book 15010, Page 183. [DOES NOT AFFECT]
  - Easement in favor of Florida Power & Light Company recorded in Official Records Book 11011, Page 1838. [DOES NOT AFFECT]
  - Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 219. [DOES NOT AFFECT]
  - Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 225. [DOES NOT AFFECT]
  - Terms, conditions and provisions of Drainage Agreement recorded in Official Records Book 10407, Page 1715. [AFFECTS, NOT PLOTTABLE]
  - Terms, conditions and provisions of Water and Sewer Agreement recorded in Official Records Book 10407, Page 1727. [AFFECTS, NOT PLOTTABLE]
  - Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 219. [DOES NOT AFFECT]
  - Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 225. [DOES NOT AFFECT]
  - Terms, conditions and provisions of Drainage Agreement recorded in Official Records Book 10407, Page 1715. [AFFECTS, NOT PLOTTABLE]
  - Terms, conditions and provisions of Water and Sewer Agreement recorded in Official Records Book 10407, Page 1727. [AFFECTS, NOT PLOTTABLE]
  - Lease Agreement by and between Grove Shopping Partners, Ltd., a Florida limited liability partnership, Lessor, and Winn-Dixie Stores, Inc., a Florida corporation, Lessee, dated June 21, 2001, as evidenced by that certain Subordination, Nondisturbance, and Attornment Agreement recorded March 8, 2002, in Official Records Book 13490, Page 491. [AFFECTS, NOT PLOTTABLE]
  - Recorded Notice of Environmental Resource Permit recorded in Official Records Book 29976, Page 82. [AFFECTS, NOT PLOTTABLE]
  - Recorded Notice of Environmental Resource Permit recorded in Official Records Book 30441, Page 1713. [AFFECTS, NOT PLOTTABLE]
  - Recorded Notice of Environmental Resource Permit recorded in Official Records Book 30517, Page 681. [AFFECTS, NOT PLOTTABLE]
  - Lease Agreement by and between 5060 Loxahatchee Retail, LLC, a Delaware limited liability company, Lessor, and Winn-Dixie, Lessee, dated December 18, 2020, as evidenced by that certain Memorandum of Lease recorded December 31, 2020, in Official Records Book 32052, Page 727. [AFFECTS, NOT PLOTTABLE]
  - Easement by and between 5060 Loxahatchee Retail, LLC, a Delaware limited liability company, Grantor, and Florida Public Utilities Company, a Florida corporation, Grantee, recorded December 3, 2021, in Official Records Book 33105, Page 1609. [5' GAS EASEMENT, DOES NOT AFFECT PER GRAPHIC, NO DESCRIPTION IN INSTRUMENT, GRAPHIC NOT LEGIBLE ENOUGH FOR PLOTTING]
  - Recorded Notice of Environmental Resource Permit recorded in Official Records Book 33403, Page 15. [AFFECTS, NOT PLOTTABLE]
  - Water Line Easement and Grant of Rights Agreement dated September 8, 2022, by and between California Holdings, LLC, a Florida limited liability company (Grantor) and 5060 Loxahatchee Retail LLC, a Delaware limited liability company (Grantee) recorded September 14, 2022 in Book 33837, Page 167 of the public records of Palm Beach County, Florida. [DOES NOT AFFECT, WATER LINE EASEMENT SHOWN, TEMPORARY STAGING EASEMENT NOT DEPICTED DUE TO EASEMENT EXPIRATION]
  - Terms and Conditions contained in the Tenancy in Common Agreement, dated September 9, 2022, between Grove Market S2020 LLC, a Florida limited liability company, Grove Market Anderson LLC, a Florida limited liability company, Grove Market Courtland LLC, a Florida limited liability company, and JBL Humblewood Center limited liability company, a Florida limited liability company, recorded September 22, 2022 in Official Records Book 33853, page 1478, of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE]
- NOTE: Notice of Landlord recorded December 31, 2020 in Official Records Book 32052, Page 716, Palm Beach County Public Records. [NOT A SURVEY MATTER]

**ABBREVIATION LEGEND**

- ALUM. - ALUMINUM
- C.D. - CLEANOUT
- CONC. - CONCRETE
- D.D.C.V. - DOUBLE DETECTOR CHECK VALVE
- ELEC. - ELECTRICAL
- ELEV. - ELEVATION
- EQUIP. - EQUIPMENT
- ESMT. - EASEMENT
- E. - EASTING
- F.P.L. - FLORIDA POWER & LIGHT
- F.N.D. - FOUNDATION
- I.R./CAP. - IRON ROD & CAP
- INVERT - INVERT
- IRR. - IRRIGATION
- L.A.E. - LIMITED ACCESS EASEMENT
- N. - NORTHING
- O.R.B. - OFFICIAL RECORD BOOK (P.B.C. RECORDS)
- P. - PLAT BOOK (P.B.C. RECORDS)
- P.B.C. - PALM BEACH COUNTY
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- P.C. - PAGE
- P.R.M. - PERMANENT REFERENCE MONUMENT
- U.E. - UTILITY EASEMENT

**SYMBOL LEGEND**

- - LIGHT POLE
- - FIRE HYDRANT
- - CATCH BASIN
- ⊕ - WATER VALVE
- ⊙ - SANITARY MANHOLE
- ⊖ - DRAINAGE MANHOLE
- ⊕ - WOOD POWER POLE (UNLESS NOTED)
- - CENTER LINE
- - EXISTING ELEVATION
- ⊕ - TRAFFIC SIGN
- ⊕ - ELECTRICAL WIRES OVERHEAD
- ⊕ - ANCHOR
- ⊕ - WATER METER
- ⊕ - BACKFLOW PREVENTER
- ⊕ - GROUND LIGHT
- ⊕ - ELECTRIC HAND HOLE
- ⊕ - IRRIGATION CONTROL VALVE
- ⊕ - CONCRETE POWER POLE
- ⊕ - FIRE DEPARTMENT CONNECTION

**PARKING SPACE COUNT**

- 54 - TOTAL SPACES
- 48 - REGULAR SPACES
- 0 - HANDICAP SPACES
- 6 - LOW SPEED ELECTRIC VEHICLE SPACES

**NOTES**

- THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.
- LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NUMBER FL2401640, EFFECTIVE DATE: FEBRUARY 27, 2024 AT 8:00 AM. SCHEDULE B-SECTION II EXCEPTIONS WERE REVIEWED BY THIS OFFICE AND ALL PLOTTABLE EXCEPTIONS ARE SHOWN HEREON.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF N01°42'54"E ALONG WEST LINE OF TRACT A, GROVE MARKET PLAT, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT) AND BASED ON FIELD MEASUREMENTS.
- COORDINATES SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), AS DETERMINED BY THE PALM BEACH COUNTY SURVEY DEPARTMENT.
- THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT.
- UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- FLOOD ZONES: "X (UNSHADED)" AND "AE (18.5)"; COMMUNITY PANEL NO. 120192 0345 F; DATE: OCTOBER 5, 2017.
- BENCHMARK ORIGIN DESCRIPTION: PALM BEACH COUNTY BENCHMARK "GRIFFIN" ELEVATION = 20.032 (NAVD 88).
- THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF CAULFIELD & WHEELER, INC. THIS SURVEY IS NOT TRANSFERABLE BY OWNERS AFFIDAVIT OF SURVEY OR SIMILAR INSTRUMENT.
- THE SURVEY'S SKETCH SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
- RESPONSIBILITY IS ASSUMED BY THIS SURVEYOR FOR THE CONSTRUCTION OF IMPROVEMENTS, FROM BUILDING TIES SHOWN ON THIS SURVEY.
- REVISIONS SHOWN HEREON DO NOT REPRESENT A "SURVEY UPDATE" UNLESS OTHERWISE NOTED.
- ALL DATES SHOWN WITHIN THE REVISIONS BLOCK HEREON ARE FOR INTEROFFICE FILING USE ONLY AND IN NO WAY AFFECT THE DATE OF THE FIELD SURVEY STARTED HEREON.
- IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE OWNERSHIP OF FENCES, PERIMETER WALLS AND/OR HEDGES AND/OR PERIMETER WALLS ARE SHOWN IN THEIR RELATIVE POSITION TO THE BOUNDARY.
- AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
- AT THE TIME OF THIS SURVEY THERE WERE NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
- AT THE TIME OF THIS SURVEY THERE WERE NO DIVISION OR PARTY WALLS ON THE SURVEYED PROPERTY.

**DESCRIPTION**

A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE N01°42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID LINE N01°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25 FEET; THENCE N01°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE IN PALM BEACH COUNTY, FLORIDA AND CONTAINING 28,796 SQUARE FEET OR 0.661 ACRES, MORE OR LESS.

**CERTIFICATE:**

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(c), 8, 9, 10, 11 (OBSERVED), 13, 14 AND 16 OF TABLE A THEREOF.

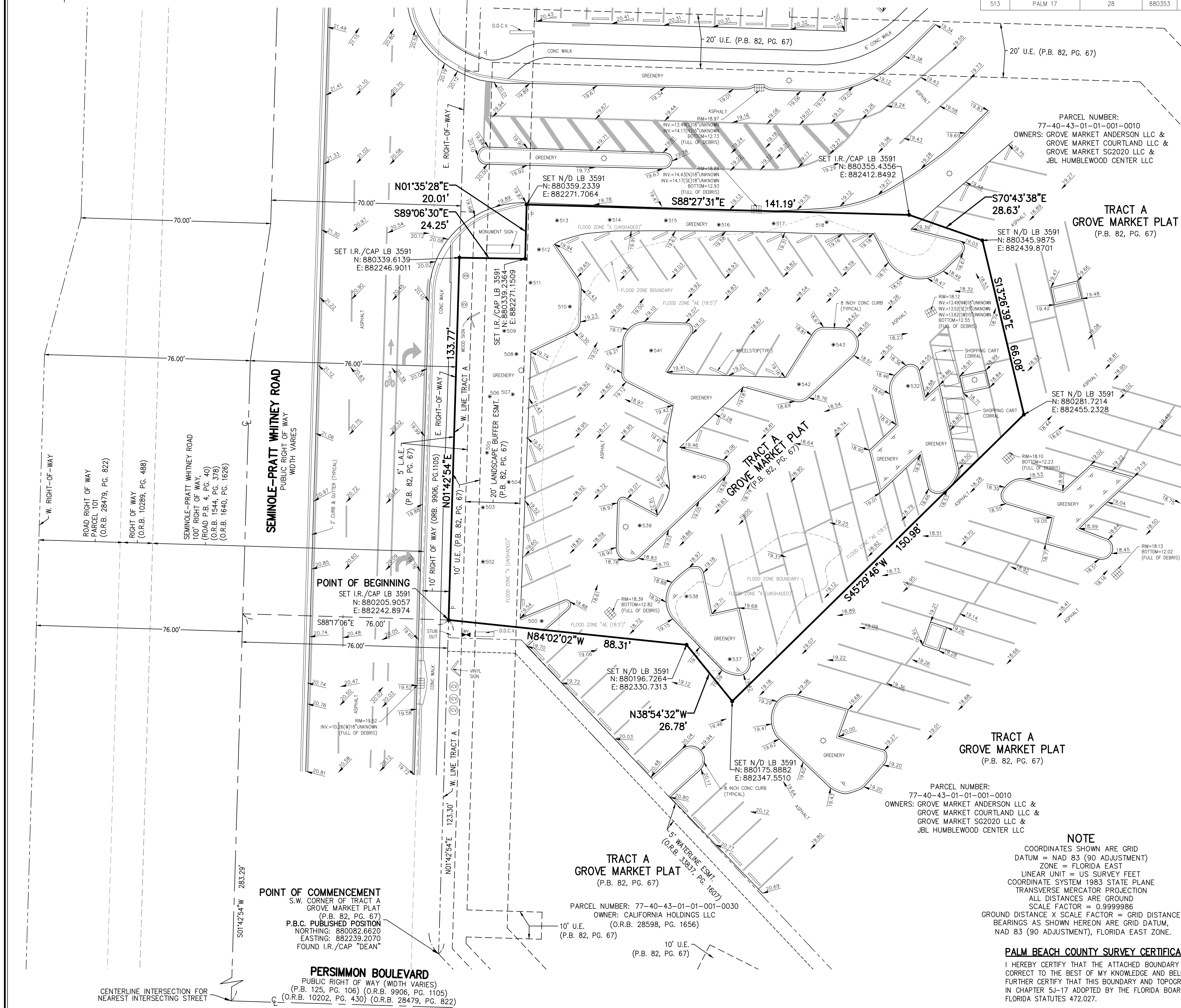
THE FIELDWORK WAS COMPLETED ON APRIL 4, 2024

DATE OF PLAT OR MAP: APRIL 5, 2024

**NOTE**  
COORDINATES SHOWN ARE GRID DATUM = NAD 83 (90 ADJUSTMENT) ZONE = FLORIDA EAST LINEAR UNIT = US SURVEY FEET COORDINATE SYSTEM 1983 STATE PLANE TRANSVERSE MERCATOR PROJECTION ALL DISTANCES ARE GROUND SCALE FACTOR = 0.9999986 GROUND DISTANCE X SCALE FACTOR = GRID DISTANCE BEARINGS AS SHOWN HEREON ARE GRID DATUM, NAD 83 (90 ADJUSTMENT), FLORIDA EAST ZONE.

**PALM BEACH COUNTY SURVEY CERTIFICATION:**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED ON AUGUST 6, 2018. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J-17 ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.



NO.	REVISIONS	DATE	BY

**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561) 392-1991 / FAX (561) 750-1452

**CHASE PARCEL**  
**GROVE MARKET PLAT**  
**ALTA/NSPS LAND TITLE SURVEY**

DATE	3/8/2024
DRAWN BY	RW
F.B./PG.	HDS
SCALE	1"=20'

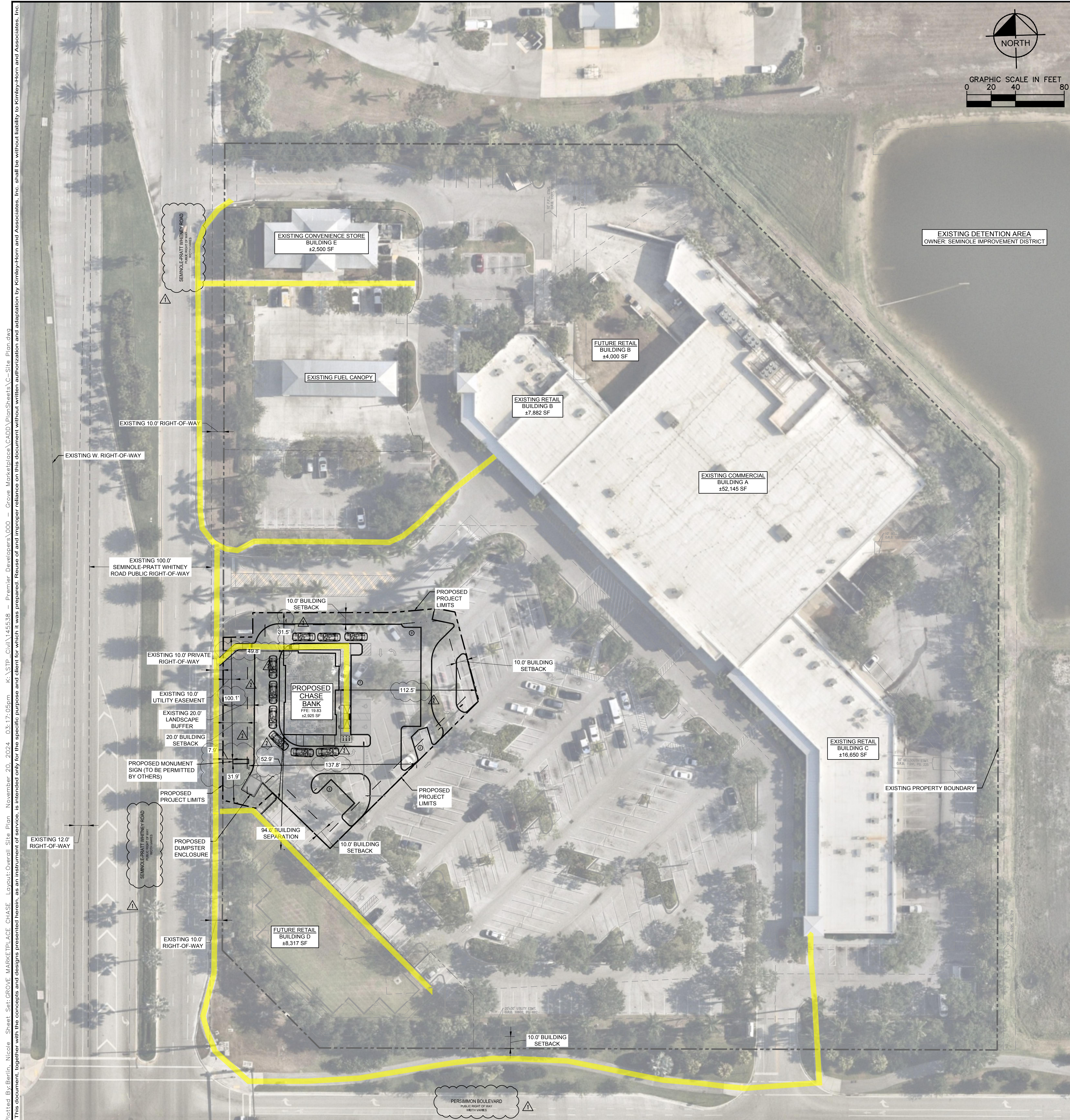
Digitally signed by  
David P. Lindley  
Date: 2024.04.05  
13:00:00 -0500  
Altitude: 100 ft  
Version: 1.0

DAVID P. LINDLEY  
REGISTERED LAND SURVEYOR NO. 5005  
STATE OF FLORIDA  
L.B. 3591

JOB #	10818
SHT. NO.	1
OF 1 SHEETS	

A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE N01°42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE N01°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25; THENCE N01°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.



**LEGEND**

- EXISTING PROPERTY BOUNDARY
- - - - PROPOSED PROJECT LIMITS
- - - - BUILDING SETBACK
- (X) PARKING COUNT
- ▬ PROPOSED SIGN
- ▬ STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- ▬ CONCRETE SIDEWALK
- ▬ HEAVY DUTY ASPHALT PAVEMENT

**General Information**

Property Tax ID # (s): 77-40-43-01-01-0010

Site Control Name: Bank at Grove Market Westlake

Description: Site Plan Modification

Petition Number: SFM-2024-02

Jurisdiction: City of Westlake

Future Land Use: Downtown Mixed Use

Zoning: Mixed Use

Building Setback:

North:	Required: 10	FT
	Provided: 31.5	FT
South:	Required: 10	FT
	Provided: 52.9	FT
East:	Required: 10	FT
	Provided: 112.5	FT
West:	Required: 20	FT
	Provided: 49.8	FT

Proposed Building Height: 21.5 FT

Traffic Analysis Zone: 884

Proposed Queuing Spaces: 8

Existing Use(s): Proposed Bank w/ Drive Thru; Parking Lot; Grocery Store - Building A; Retail Sales or Service; Retail - Building B; Retail Sales or Service; Future Retail - Building B; Retail Sales or Service; Retail - Building C; Retail Sales or Service; Future Outparcel - Building D; Retail Sales or Service; Conv. Store w/ Gas Sales - Building E; Retail Sales or Service, Gasoline Stations

Proposed Use(s): Proposed Bank w/ Drive Thru; Retail Sales or Service; Grocery Store - Building A; Retail Sales or Service; Retail - Building B; Retail Sales or Service; Future Retail - Building B; Retail Sales or Service; Retail - Building C; Retail Sales or Service; Future Outparcel - Building D; Retail Sales or Service; Conv. Store w/ Gas Sales - Building E; Retail Sales or Service, Gasoline Stations

**Area Data**

Total Site Area (AC):	9.98 AC	434,729 SF
Proposed Building Area		
Proposed Bank Building Area (GSF):	2,925 SF	0.67 %
Existing Building Area		
Grocery Storage - Building A (GSF):	52,145 SF	
Retail - Building B (GSF):	7,882 SF	
Future Retail - Building B (GSF):	4,000 SF	
Retail - Building C (GSF):	16,650 SF	
Future Outparcel - Building D (GSF):	8,317 SF	
Conv. Store w/ Gas Sales - Building E (GSF):	2,500 SF	
Fuel Stations:	8 Stations (4 Islands)	
<b>Total Building Area:</b>	<b>94,419 SF</b>	<b>21.7 %</b>
Existing Overall Site Area:	<b>434,729 SF</b>	
Pervious Area	109,590 SF	25.2 %
Impervious Area	325,139 SF	74.8 %
Existing Project Limits Area:	<b>29,784 SF</b>	
Pervious Area	9,559 SF	32.1 %
Impervious Area	20,225 SF	67.9 %
Proposed Overall Site Area:	<b>434,729 SF</b>	
Pervious Area	108,509 SF	25.0 %
Impervious Area	326,220 SF	75.0 %
Proposed Project Limits Area:	<b>29,784 SF</b>	
Pervious Area	8,476 SF	28.5 %
Impervious Area	21,306 SF	71.5 %

**Parking Data**

	Required	Proposed
<b>Total Parking Spaces</b>	<b>395</b>	<b>375</b>
Existing Retail/Grocery (1/240 SF)	319	293
Bank w/ Drive Thru (1/300 SF)	10	21
Future Shopping Center Parking (1/240 SF)	17	17
Convenience Store w/ Pumps (1/240 SF- 1/pump)	14	9
Future Outparcel (1/240 SF)	35	35
ADA Accessible	9	15
Low Speed Electric Vehicle	-	19
Motorcycle/Compact Car	-	13
Loading Spaces	3	3
Bicycle Parking	19	27
<b>Parking Spaces within Project Boundary</b>	<b>Removed</b>	<b>Proposed</b>
Standard Spaces	49	21
Low Speed Electric Vehicle	6	0
ADA Accessible	0	2

**The Grove Market at Westlake Non-Conformities Chart**

Westlake Code	Required	Provided
Ordinance No. 2019-10 Off-Street Parking Table 8-1 Min. Dimensions	60' Parking - Retail Width: 9.5' Depth: 19.0' Module Width: 53'	60' Parking - Retail Width: 9' Depth: 16'-8" Module Width: 50.8'
Ordinance No. 2019-10 Off-Street Parking Table 8-1 Min. Dimensions	90' Parking - Retail Width: 9.5' Depth: 18.5' Aisle Width: 25' Module Width: 62'	90' Parking - Retail Width: 9' + Depth: 18.5'/16' with overhang Aisle Width: 21.5' Module Width: 59.1'
Ordinance No. 2019-7 Article III - Section 4.26 A) Interior Parking Areas	2) Parking in a Row - 10 spaces Alt. parking 0 increased to 15' if divider median 8) terminal island - 8' excluding curb	2) Parking in a Row - increased to (3) 11 spaces, (1) 12 space runs 8) terminal island - 4.8' excluding curb

Plotted By: Berlin, Nicole Sheet Set: GROVE MARKETPLACE CHASE Layout: Overall Site Plan November 20, 2024 03:17:03pm K:\SIP\_CWA\145538 - Premier Developers\000 - Grove Marketplace CAD\PlanSheet\C-300-Overall Site Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**OVERALL SITE PLAN**

**CHASE BANK AT GROVE MARKET WESTLAKE**

FLORIDA  
CITY OF WESTLAKE

DATE: NOVEMBER 2024  
PROJECT NO.: 145538000  
SHEET NUMBER: C-300

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 2801 W. STATE ROAD, SUITE 100  
 ST. PETERSBURG, FL 33707  
 PHONE: 727-547-8999 WWW.KIMLEY-HORN.COM  
 REGISTRY NO. 35108

SCALE: AS SHOWN  
 DESIGNED BY: SRF  
 DRAWN BY: SRF  
 CHECKED BY: SRF  
 LICENSED PROFESSIONAL  
 DATE:

# Owners Affidavit Designating Representation

Property Location Address: 5060 Seminole Pratt Whitney Road, Loxahatchee, FL  
Property Owners Name(s): Premier Developers, LLC 33470

"That this property constitutes the subject of an application for the \_\_\_\_\_"

"That this affidavit has been executed to induce the \_\_\_\_\_, to consider and act on the above described application and that the undersigned has(have) appointed and does(do) appoint the agent(s) stated herein as his/her(their) agent(s) solely to execute any application(s) or other documentation necessary to affect such application(s)" (if applicable).

Agent's Name: Nicole Berlin

[Signature]  
Signature of Owner/Developer

Peter Tiflinsky  
Print Name of Owner/Developer

120 Sylvan Ave Suite 301, Englewood Cliffs NJ 07632  
Address of Owner/Developer

STATE OF FLORIDA

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this.

18<sup>th</sup> day of April, 2024  
(day) (month) (year)

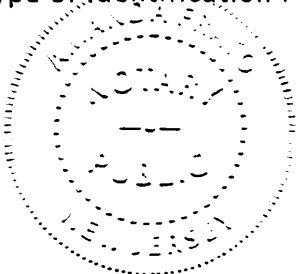
by Peter Tiflinsky  
(name of person acknowledging)

[Signature]  
(Signature of Notary Public - State of Florida)

AMANDA FRATO  
Notary Public, State of New Jersey  
My Commission Expires 02/25/2026

(Print, Type, or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification  
Type of Identification Produced



(Notary Seal)

Owners Affidavit Designating Representation

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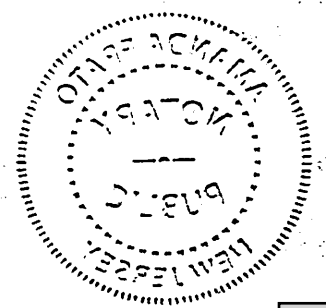
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January 9, 2025

Suzanne Dombrowski, P.E.  
City of Westlake- Planning and Zoning Department  
4001 Seminole Pratt Whitney Road  
Westlake, FL 33470

**RE: *Grove Market***  
***Westlake, Florida***  
***Kimley-Horn #145538000***

Dear Suzanne:

Kimley-Horn and Associates, Inc. has prepared a study to evaluate the overall anticipated future parking requirements for the redevelopment of the Grove Market located on the northeast corner of Seminole Pratt Whitney Road & Persimmon Boulevard, in the City of Westlake, Florida. The Grove Market is a mixed-use shopping center.

Figure 1 illustrates the site location. Following is the mix of uses that have been evaluated in the following analysis:

- Grocery: 52,145 square feet
- Retail: 29,404 square feet
- Restaurant: 7,124 square feet
- Bank with Drive-Through: 2,925 square feet
- Gas Station with Convenience Store: 2,500 square feet / 8 Fueling Positions

Because the mix of uses on site (grocery store, retail/restaurant uses, bank, and gas station) are anticipated to have differing peak demand periods throughout the day, a shared parking analysis was undertaken to determine the actual anticipated parking needs for the site. The City of Westlake Ordinance No. 2019-10 defines the baseline parking supply requirements for different types of land uses. The following analysis utilizes hourly adjustment factors published by the Urban Land Institute (ULI) in *Shared Parking, 3rd Edition* to account for differences in parking demand over the course of the day and to account for differences between weekday and weekend conditions. Following is a summary of the evaluation undertaken.

**Parking Requirements and Hourly Variation**

To calculate the baseline parking needs for each use, parking ratios defined in the City of Westlake Ordinance No. 2019-10 were applied. Following is a summary of the applicable ratios for the uses on this site:

- Grocery Store: 1 space per 240 square feet
- Retail: 1 space per 240 square feet
- Restaurant: 1 space per 225 square feet
- Bank with Drive-Through: 1 space per 300 square feet
- Gas-Station with Convenience Store: 1 space per 240 square feet plus 1 space per gas pump island

Table 1 provides a summary of the baseline parking requirement for the site for weekday and weekend conditions using these baseline City Code-defined ratios.

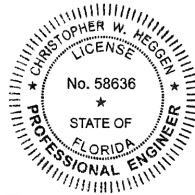
Adding up the total baseline parking requirements assumes that every use within the site experiences its peak demand simultaneously. However, based on characteristics specific to each use on a mixed-use site, some uses will experience peak demands at times when other uses experience reduced activity or are even not even open for operation. It is for this reason that the ULI Shared Parking methodology was developed to calculate the variation in demand throughout the day on a use-by-use basis and to provide a more accurate illustration of what parking demand is expected for the Grove Market site.

The ULI *Shared Parking, Third Edition* manual provides hourly distribution for each of the land uses found on the site. This manual also shows, for each use, the relative proportion of the parking supply for each use that is used by employees and the proportion used by visitors. Table 1 shows how the employee/visitor proportion that is published by ULI is applied to the City Code-required parking ratios to determine how much of the City Code-required parking would be used by visitors and how much would be used by employees when that use is operating at 100% of its parking need.

Table 2A and Table 3A show the percentage of peak parking needed on an hourly basis on weekdays and weekends, respectively, for each of the uses analyzed using data published by ULI. Table 2B and Table 3B includes calculations to apply the hourly variation percentages shown in Tables 2A and 3A to the Code-required parking calculated for each use as shown in Table 1. Tables 2A and 2B show the hour-by-hour parking needs for the overall site by adding the calculated hour-by-hour variation in demand for each use, applying the hourly variation percentages to the Code-required parking. It is important to note that the code parking ratios used in this analysis are already assumed to include a buffer between actual demand and supply needed, as evidenced by the fact that no additional buffer is added whenever the Code is used to calculate site parking requirements; therefore, no additional buffer is added in because it is already build into the base parking calculations. . This analysis determined that the overall peak parking need will be 353 parking spaces at 5:00 PM on a weekday and 374 parking spaces at 12:00 PM on a weekend. The proposed parking supply is 374 parking spaces.

Therefore, based upon this evaluation, the overall parking supply of 374 spaces provided is sufficient to meet the shared parking needs on this site. Please contact me via telephone at (561) 840-0248 or via e-mail at [chris.heggen@kimley-horn.com](mailto:chris.heggen@kimley-horn.com) should you have any comments or need any additional clarification.

Sincerely,



This item has been electronically signed and sealed by Christopher W. Heggen, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

Digitally signed by  
Christopher W  
Heggen  
Date: 2025.01.09  
14:10:11 -05'00'

Christopher W. Heggen, P.E.  
Transportation Engineer

Florida Registration Number 58636

Registry No. 35106

Attachments

*k:\wpb\_tpto\1455\145538000 - westlake - grove market\shared parking\2025-01-09 grove market shared parking.docx*





Property	Unit(s)	Lease	Lease Type	Area
<b>grove - Grove Market</b>				
<b>Current Leases</b>				
grove	5010	Performance Napa, LLC	Retail Net	3,600.00
grove	5014	Botian Inc.	Retail Net	1,200.00
grove	5018	A Smokers Delight LLC	Retail Net	1,200.00
grove	5022	Camden River Hair, Inc.	Retail Net	1,200.00
grove	5026	Gissy Family Chiropractic PLLC	Retail Net	1,200.00
grove	5030	IL Pomodoro LLC	Retail Net	2,119.00
grove	5038	Salon Prive	Retail Net	1,200.00
grove	5042_46	Atlantic Coast Exotics, LLC	Retail Net	2,237.00
grove	5060	Aldi, Inc	Retail Net	52,145.00
grove	5084	Wish Martial Arts LLC	Retail Net	4,050.00
grove	5088_96	Gator Shack	Retail Net	3,805.00
grove	5034	VACANT		2,400.00
grove	TRUCK	VACANT		0.00
<b>Total Current</b>				<b>76,356.00</b>

TABLE 1 - PARKING REQUIREMENT - WESTLAKE SHARED PARKING

Land Use	Quantity		Unit	ULI 3rd Edition Rates						Westlake City Code										
				Use	Weekday	Weekend	Peak Ratio	Unit	Weekday	Weekend	Location Base Ratio (1 Space per)		Westlake Ratio	Parking Spaces	User	Weekday		Weekend		
					Base (# of spaces)	Base (# of spaces)			Parking Spaces	Parking Spaces						Adjusted Ratio by User	Parking Spaces	Ratio By User	Parking Spaces	
Grocery	52.145	ksf	Visitor	4.00	4.00	4.75	/ksf GLA	209	209	0.24	ksf GLA	1 space per 240 sf	217	Visitors	0.84	183	0.84	182		
			Employee	0.75	0.75			39	39						Employees	0.16	34	0.16	35	
Retail	29.404	ksf	Visitor	2.90	3.20	4.00	/ksf GLA	85	94	0.24	ksf GLA	1 space per 240 sf	123	Visitors	0.73	89	0.80	98		
			Employee	0.70	0.80			21	24						Employees	0.18	22	0.20	25	
Restaurant	7.124	ksf	Visitor	13.25	15.25	17.75	/ksf GLA	94	109	0.225	ksf GLA	1 space per 225 sf	32	Visitors	0.75	24	0.86	28		
			Employee	2.25	2.50			16	18						Employees	0.13	4	0.14	4	
Bank with Drive-Through	2.925	ksf	Visitor	3.50	3.00	6.00	/ksf GLA	10	9	0.3	ksf GLA	1 space per 300 sf	10	Visitors	0.58	6	0.50	5		
			Employee	2.50	1.75			7	5						Employees	0.42	4	0.29	3	
Gas-Station with Convenience Store*	2.500	8.000	ksf / F.P.	Visitor	2.90	3.20	4.00	/ksf GLA	15	16	0.24	0.5	ksf GLA / F.P.	1 space per 240 sf plus 1 space per gas pump island	14	Visitors	0.73	10	0.80	11
				Employee	0.70	0.80			10	10							Employees	0.18	2	0.20
<b>TOTAL</b>												395		<b>Adj. Weekday Weighted</b>	378	<b>Adj. Weekend Weighted</b>	394			

TABLE 2A DAILY VARIATION OF PARKING DEMAND (WEEKDAY)																				
Land Use	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	Customer	5%	20%	30%	50%	60%	67%	85%	90%	95%	97%	100%	100%	100%	85%	55%	35%	20%	5%	5%
	Employee	20%	30%	40%	80%	90%	100%	100%	100%	100%	100%	100%	100%	100%	80%	50%	35%	20%	20%	20%
Bank with Drive-Through	Customer	0%	0%	50%	90%	100%	50%	50%	50%	70%	50%	80%	100%	0%	0%	0%	0%	0%	0%	0%
	Employee	0%	0%	60%	100%	100%	100%	100%	100%	100%	100%	100%	100%	0%	0%	0%	0%	0%	0%	0%
Retail	Customer	1%	5%	15%	35%	60%	75%	100%	100%	95%	85%	85%	85%	90%	80%	65%	45%	15%	5%	0%
	Employee	10%	15%	25%	45%	75%	95%	100%	100%	100%	100%	100%	100%	100%	100%	90%	60%	40%	20%	0%
Restaurant	Customer	0%	0%	0%	0%	15%	40%	75%	75%	65%	40%	50%	75%	95%	100%	100%	100%	95%	75%	25%
	Employee	0%	20%	50%	75%	90%	90%	90%	90%	90%	75%	75%	100%	100%	100%	100%	100%	100%	85%	35%
Gas-Station with Convenience Store*	Customer	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%
	Employee	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%

\*\*ITE Time of Day Distribution used.

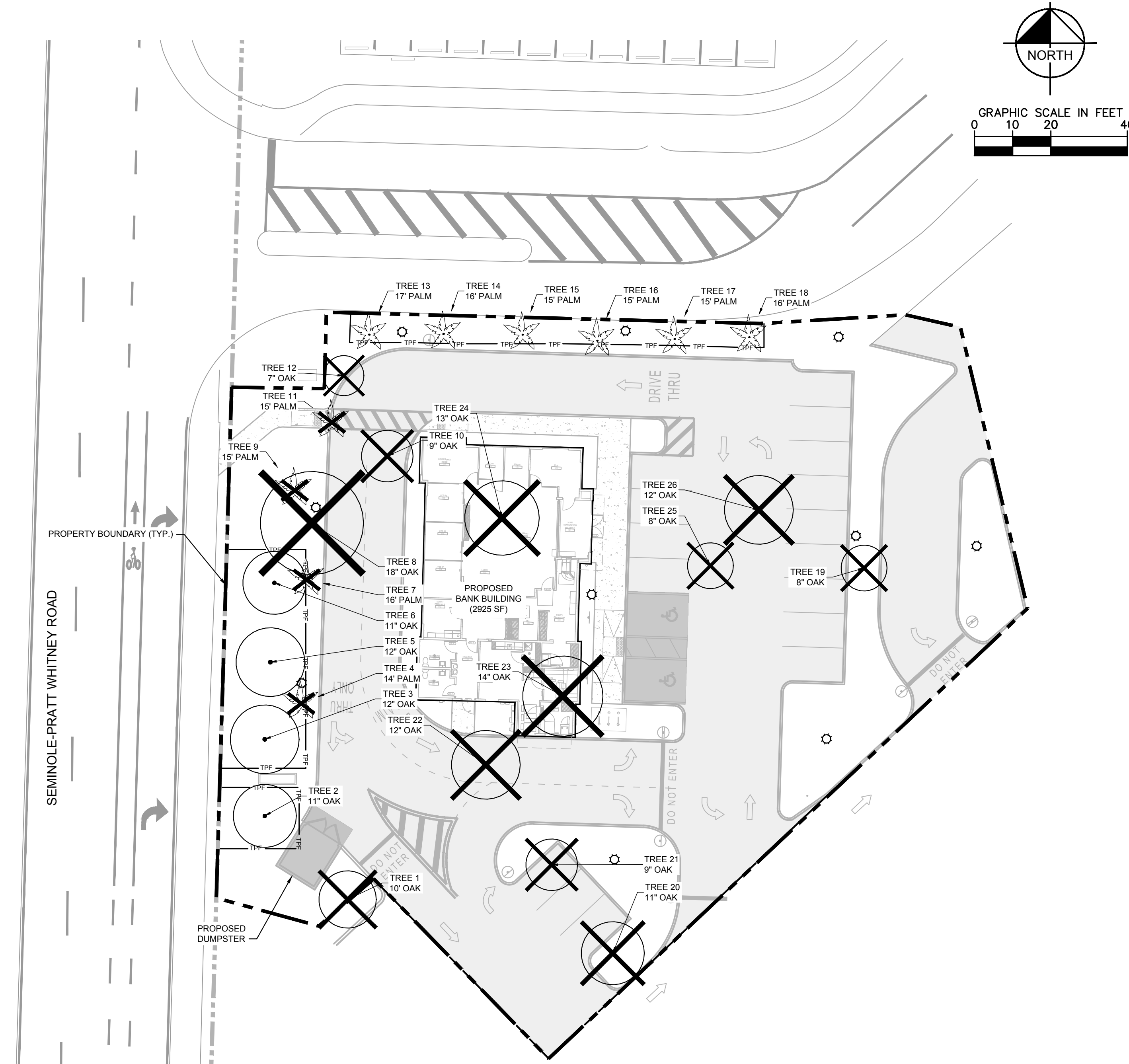
TABLE 2B ULI WEEKDAY - DAILY PARKING VARIATION (WEEKDAY)																					
Land Use	Parking Req.	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	183	Customer	9	37	55	91	110	122	155	164	174	177	183	183	183	155	101	64	37	9	9
	34	Employee	7	10	14	27	31	34	34	34	34	34	34	34	27	17	12	7	7	7	7
Bank with Drive-Through	6	Customer	0	0	3	5	6	3	3	3	4	3	5	6	0	0	0	0	0	0	0
	4	Employee	0	0	3	4	4	4	4	4	4	4	4	4	0	0	0	0	0	0	0
Retail	89	Customer	1	4	13	31	54	67	89	89	85	76	76	76	80	71	58	40	13	4	0
	22	Employee	2	3	5	10	16	20	22	22	22	22	22	22	22	22	19	13	9	4	0
Restaurant	24	Customer	0	0	0	0	4	10	18	18	16	10	12	18	23	24	24	24	23	18	6
	4	Employee	0	1	2	3	4	4	4	4	4	3	3	4	4	4	4	4	4	3	1
Gas-Station with Convenience Store*	10	Customer	0	5	7	7	7	8	10	9	7	6	5	5	5	0	0	0	0	0	0
	2	Employee	0	1	2	2	2	2	2	2	2	2	1	1	1	0	0	0	0	0	0
<b>Adjusted Total</b>			<b>19</b>	<b>62</b>	<b>104</b>	<b>180</b>	<b>236</b>	<b>274</b>	<b>342</b>	<b>349</b>	<b>350</b>	<b>336</b>	<b>345</b>	<b>353</b>	<b>345</b>	<b>293</b>	<b>218</b>	<b>152</b>	<b>92</b>	<b>46</b>	<b>23</b>

TABLE 3A DAILY VARIATION OF PARKING DEMAND (WEEKENDS)																				
Land Use	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	Customer	10%	25%	50%	75%	95%	100%	100%	100%	100%	100%	100%	90%	50%	33%	25%	15%	5%	4%	3%
	Employee	15%	35%	70%	85%	100%	100%	100%	100%	85%	75%	60%	55%	45%	40%	30%	20%	10%	10%	5%
Bank with Drive-Through	Customer	0%	0%	25%	40%	75%	100%	90%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
	Employee	0%	0%	90%	100%	100%	100%	100%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Retail	Customer	1%	5%	30%	50%	70%	90%	95%	100%	100%	95%	90%	80%	75%	70%	65%	50%	30%	10%	0%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	85%	80%	75%	65%	45%	15%	0%
Restaurant	Customer	0%	0%	0%	0%	0%	15%	50%	55%	45%	45%	45%	60%	90%	95%	100%	90%	90%	90%	50%
	Employee	0%	20%	30%	60%	75%	75%	75%	75%	75%	75%	75%	100%	100%	100%	100%	100%	100%	85%	50%
Gas-Station with Convenience Store*	Customer	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%
	Employee	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%

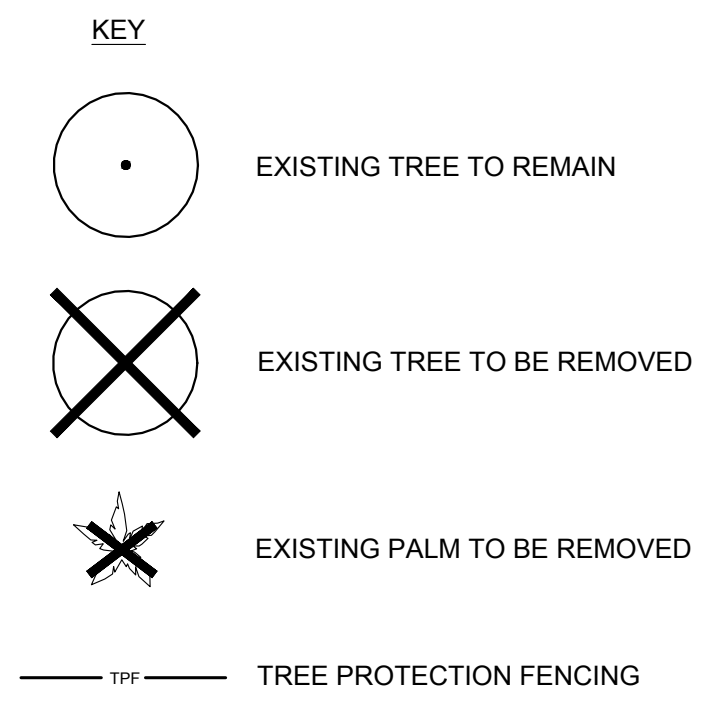
\*ITE Time of Day Distribution used (Weekday TOD Distribution)

TABLE 3B ULI WEEKEND - DAILY PARKING VARIATION (WEEKENDS)																					
Land Use	Parking Req.	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	182	Customer	18	46	91	137	173	182	182	182	182	182	164	91	60	46	27	9	7	5	
	35	Employee	5	12	24	30	35	35	35	35	30	26	21	19	16	14	10	7	3	3	2
Bank with Drive-Through	5	Customer	0	0	1	2	4	5	5	0	0	0	0	0	0	0	0	0	0	0	
	3	Employee	0	0	3	3	3	3	3	0	0	0	0	0	0	0	0	0	0	0	
Retail	98	Customer	1	5	30	49	69	89	93	98	98	93	89	79	74	69	64	49	30	10	
	25	Employee	2	4	10	18	21	23	25	25	25	25	25	23	21	20	18	16	11	4	0
Restaurant	28	Customer	0	0	0	0	4	14	15	12	12	12	17	25	26	28	25	25	25	14	
	4	Employee	0	1	1	3	3	3	3	3	3	3	4	4	4	4	4	4	4	2	
Gas-Station with Convenience Store*	11	Customer	0	6	8	7	8	9	11	10	8	7	6	5	0	0	0	0	0	0	
	3	Employee	0	2	2	2	2	2	3	2	2	2	2	2	1	0	0	0	0	0	
<b>Adjusted Total</b>			<b>27</b>	<b>75</b>	<b>170</b>	<b>251</b>	<b>318</b>	<b>356</b>	<b>374</b>	<b>371</b>	<b>360</b>	<b>351</b>	<b>340</b>	<b>314</b>	<b>238</b>	<b>193</b>	<b>170</b>	<b>129</b>	<b>82</b>	<b>53</b>	<b>23</b>

Plotted By: Gerard, Cameron. Sheet Set: GROVE MARKETPLACE CHASE. Layout: TM PLAN. December 15, 2024. 05:46:54pm. K:\STP\_Civil\145538 - Premier Developers\000 - Grove Marketplace\CADD\PlanSheets\TM-Tree Mitigation.dwg  
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Point #	SPECIES	DBH	STATUS
1	OAK	10	REMOVE
2	OAK	11	PRESERVE
3	OAK	12	PRESERVE
4	PALM	N/A	REMOVE
5	OAK	12	PRESERVE
6	OAK	11	PRESERVE
7	PALM	N/A	REMOVE
8	OAK	18	REMOVE
9	PALM	N/A	REMOVE
10	OAK	9	REMOVE
11	PALM	N/A	REMOVE
12	OAK	7	REMOVE
13	PALM	N/A	PRESERVE
14	PALM	N/A	PRESERVE
15	PALM	N/A	PRESERVE
16	PALM	N/A	PRESERVE
17	PALM	N/A	PRESERVE
18	PALM	N/A	PRESERVE
19	OAK	8	REMOVE
20	OAK	11	REMOVE
21	OAK	9	REMOVE
22	OAK	12	REMOVE
23	OAK	14	REMOVE
24	OAK	13	REMOVE
25	OAK	8	REMOVE
26	OAK	12	REMOVE



<b>GROVE MARKETPLACE</b> CITY OF WESTLAKE FLORIDA	<b>TREE MITIGATION PLAN</b>	DATE DECEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER <b>TM-100</b>
SCALE AS SHOWN DESIGNED BY: KHA DRAWN BY: KHA CHECKED BY: JLD		
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 2800 N. W. 107th Ave., Suite 100 Ft. Lauderdale, FL 33322 PHONE: 754-547-8999 WWW.KIMLEY-HORN.COM REGISTRY NO. 35108		
CITY OF WESTLAKE REV 3 CITY OF WESTLAKE REV 2 CITY OF WESTLAKE REV 1	REVISIONS No. BY DATE	

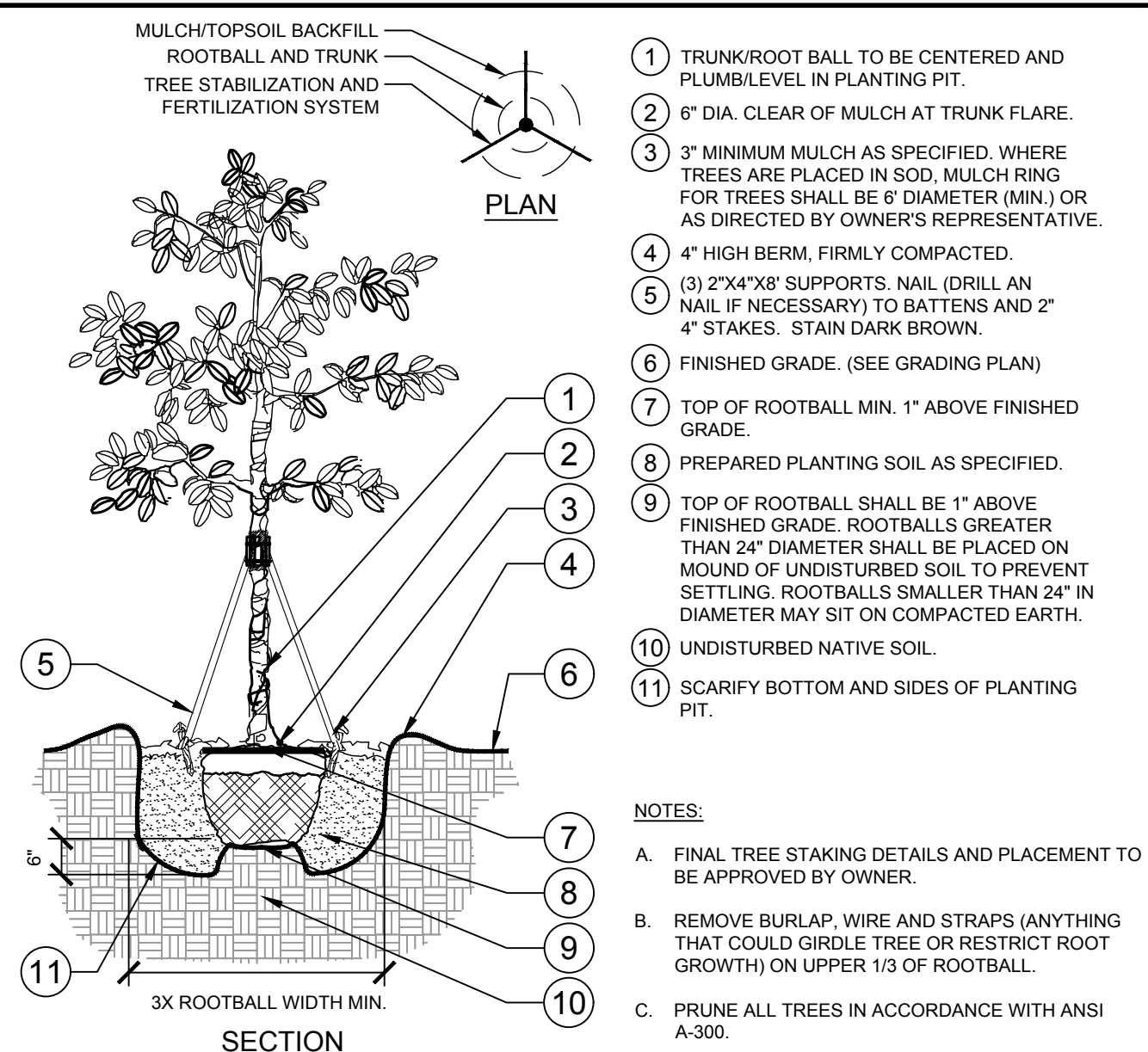




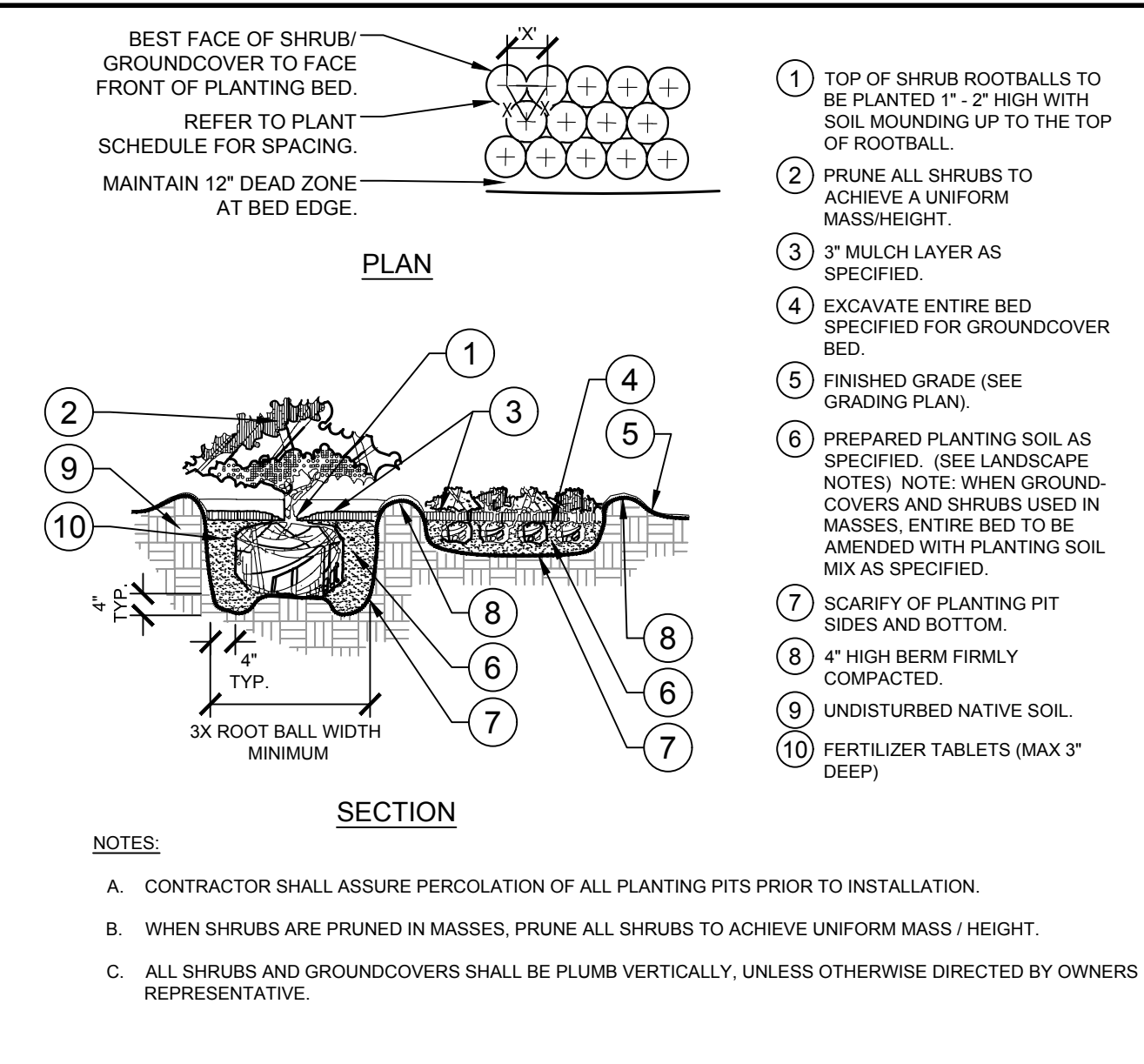




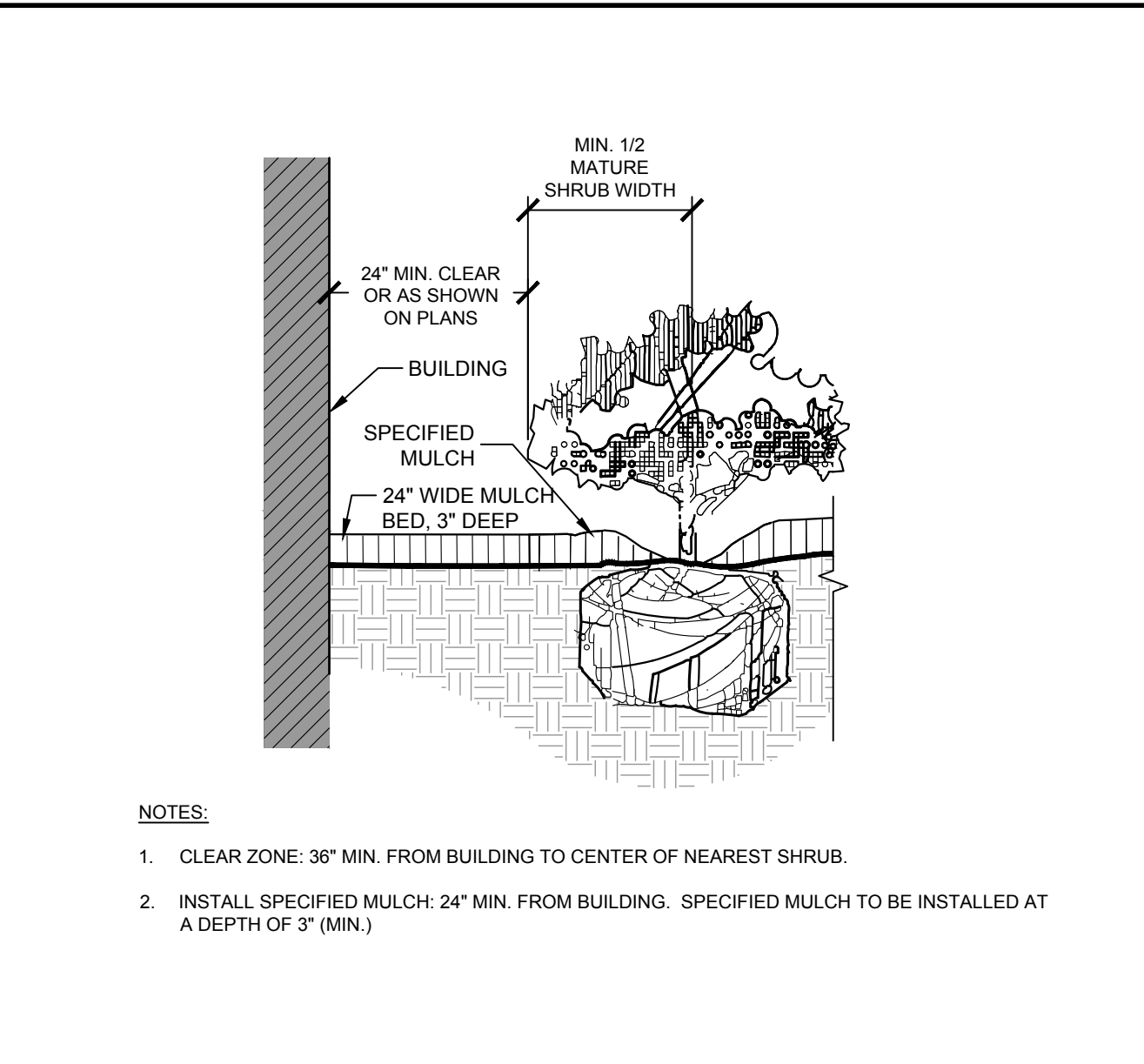
Plotted By: Gerard, Cameron. Street: GROVE MARKETPLACE CHASE. Layout: Landscape Plan. December 16, 2024. 05:47:46pm. K:\STP\_Civil\145538 - Premier Developers\000 - Grove MarketPlace\_CADD\PlanSheets\Landscape Details.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



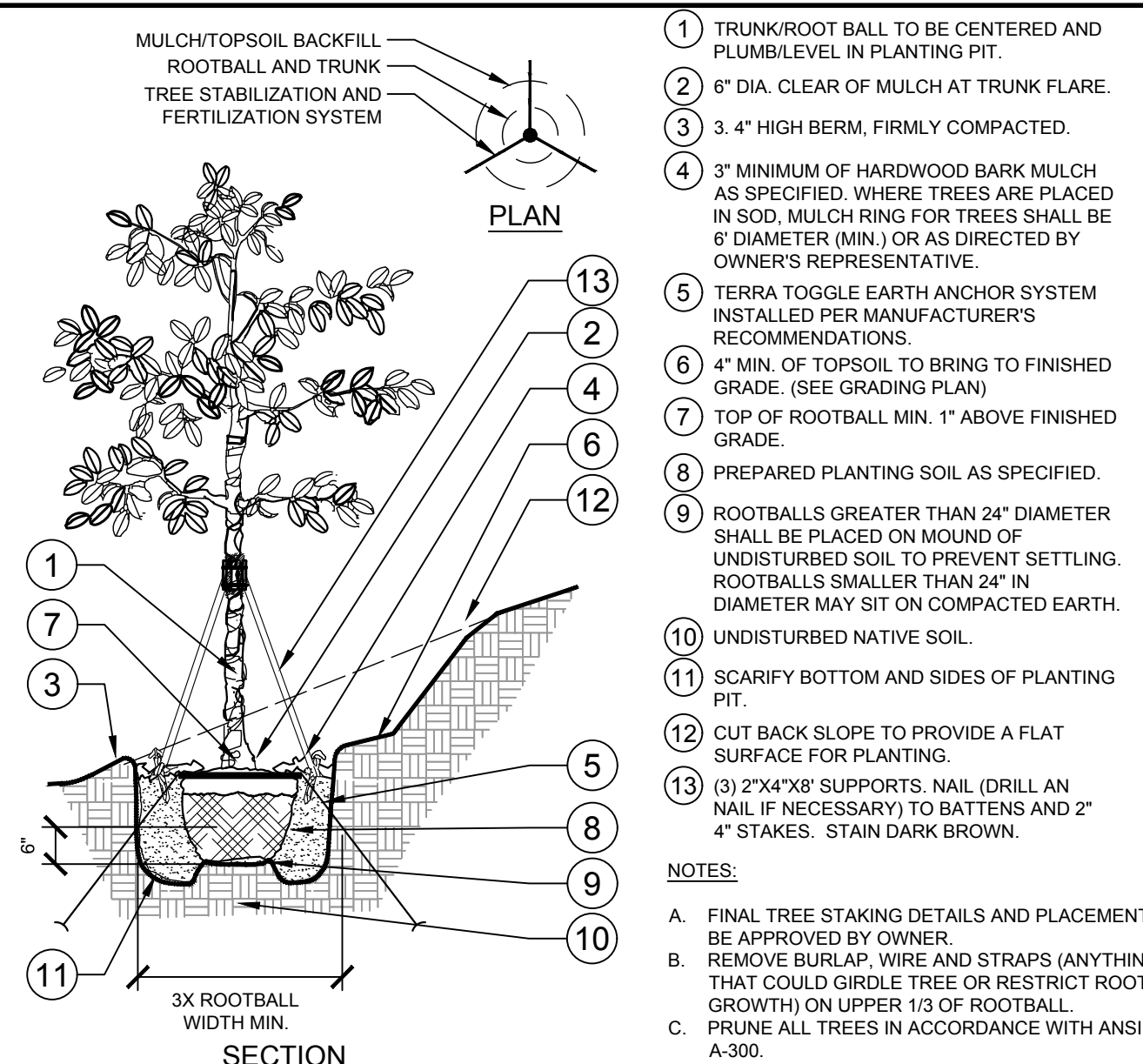
**1 TREE PLANTING WITH STAKING**  
NTS P-PR1-24



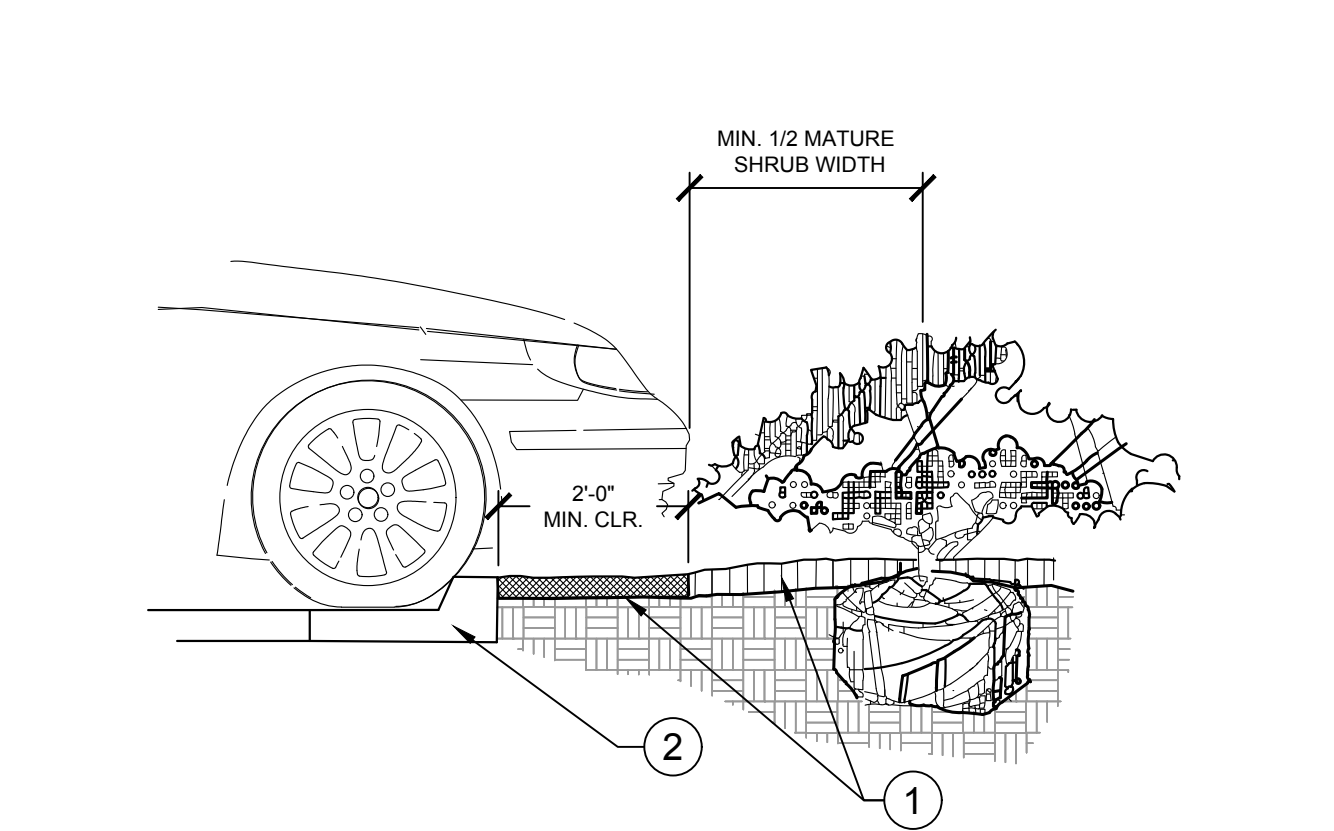
**2 SHRUB/GROUNDCOVER PLANTING**  
NTS P-PR1-25



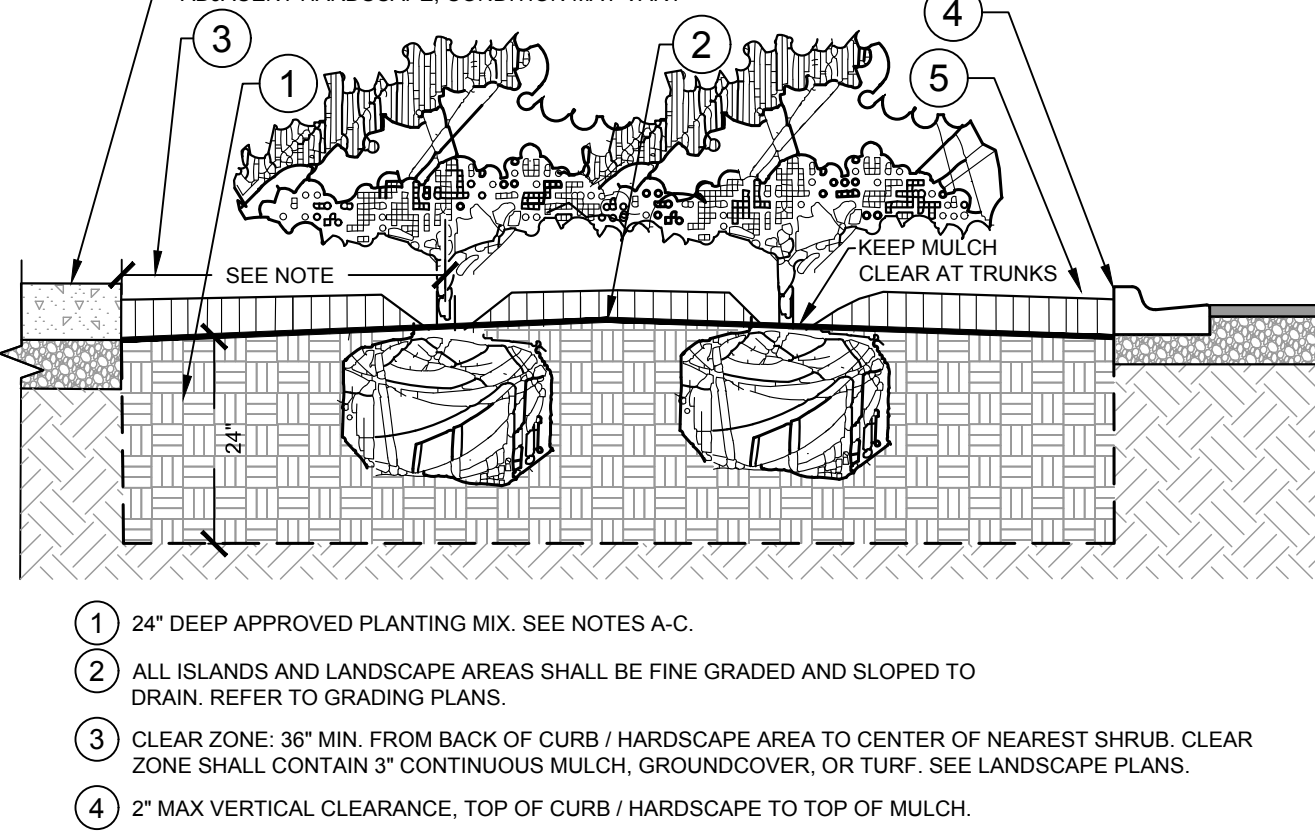
**3 PLANTINGS ADJACENT TO BUILDINGS**  
NTS P-PR1-26



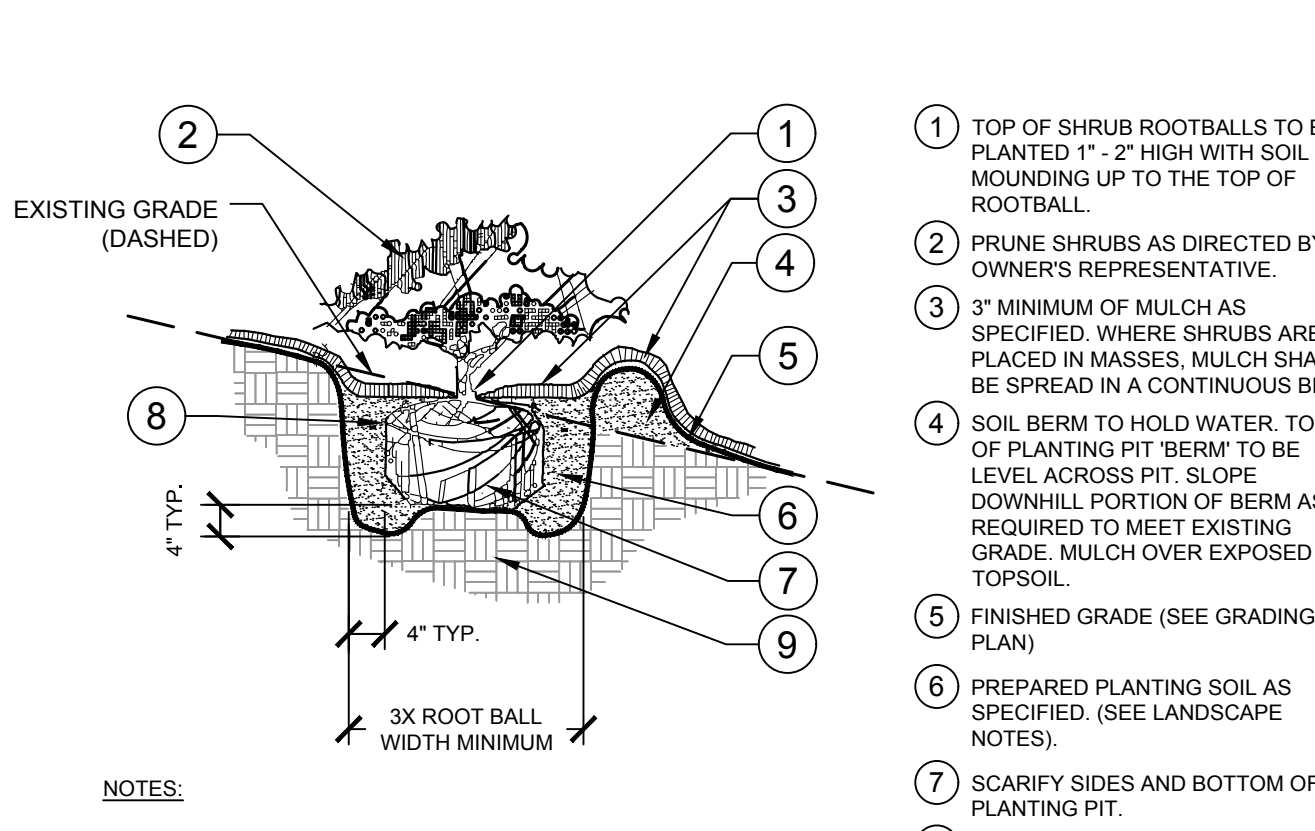
**4 TREE PLANTING ON A SLOPE WITH STAKING**  
NTS P-PR1-27



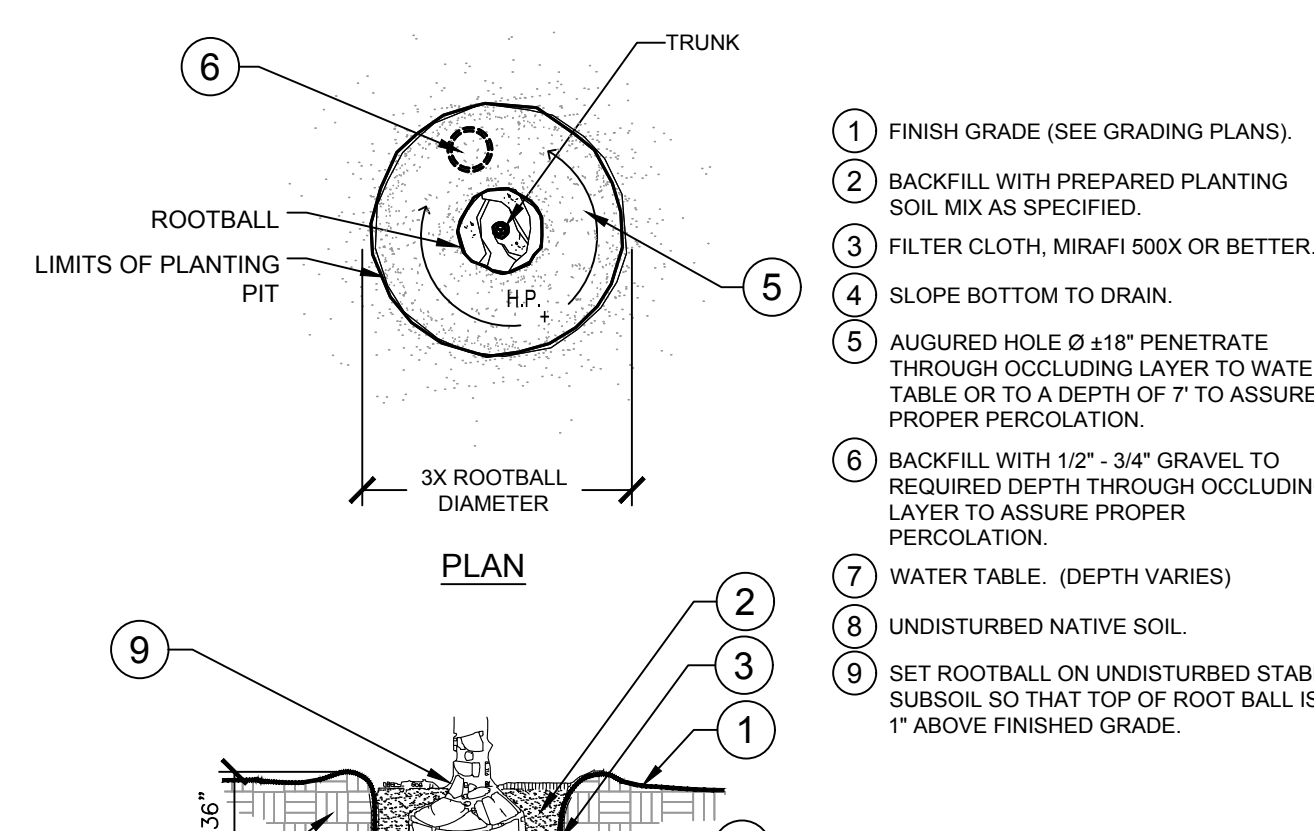
**5 PARKING SPACE/CURB PLANTING**  
NTS P-PR1-28



**6 PLANTED PARKING LOT ISLANDS/MEDIANS**  
NTS P-PR1-29



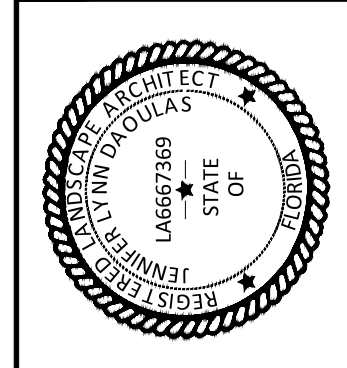
**7 SHRUB/GROUNDCOVER PLANTING ON A SLOPE**  
NTS P-PR1-30



**8 POOR DRAINAGE CONDITIONS**  
NTS P-PR1-31

NO.	REVISIONS	DATE

**Kimley & Horn**  
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200 S. W. 10TH AVENUE, SUITE 100  
ST. PETERSBURG, FL 33707  
PHONE: 727-547-5898 WWW.KIMLEY-HORN.COM  
REGISTRY NO. 35106



SCALE	AS SHOWN
DESIGNED BY	KHA
DRAWN BY	KHA
CHECKED BY	JLD

**LANDSCAPE DETAILS**

**GROVE MARKETPLACE**  
CITY OF WESTLAKE  
FLORIDA

DATE	DECEMBER 2024
PROJECT NO.	145538000
SHEET NUMBER	L-102



**File Attachments for Item:**

**A. SECOND READING:** ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED “CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA”

**Submitted By:** City Clerk’s Office

**ORDINANCE 2025-01**

**AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.**



# Meeting Agenda Item Coversheet

<b>MEETING DATE:</b>		February 11, 2025	<b>Submitted By:</b> City Clerk's Office	
<b>SUBJECT:</b> <i>This will be the name of the Item as it will appear on the Agenda</i>		<b>SECOND READING:</b> ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED “CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA”		
<b>STAFF RECOMMENDATION:</b> (MOTION READY)		Motion to recommend approval of Ordinance 2025-01 - ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA “CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA” on Second and Final Reading		
<b>SUMMARY and/or JUSTIFICATION:</b>		An Ordinance adopting and enacting a new Code of Ordinances of the City of Westlake.		
<b>SELECT, if applicable</b>		<b>AGREEMENT:</b>		<b>BUDGET:</b>
		<b>STAFF REPORT:</b>		<b>PROCLAMATION:</b>
		<b>EXHIBIT(S):</b>		<b>OTHER:</b>
<b>IDENTIFY EACH ATTACHMENT.</b> <i>For example, an agreement may have 2 exhibits, identify the agreement and Exhibit A and Exhibit B</i>				
<b>SELECT, if applicable</b>		<b>RESOLUTION:</b>		<b>ORDINANCE: 2025-01</b>
<b>IDENTIFY FULL RESOLUTION OR ORDINANCE TITLE</b> <i>(if Item is <u>not</u> a Resolution or Ordinance, please erase all default text from this field's textbox and leave blank) <b><u>Please keep text indented.</u></b></i>		<b>ORDINANCE 2025-01</b>  <b>AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.</b>		
<b>FISCAL IMPACT (if any):</b>				\$

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**ORDINANCE 2025-01**

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**AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.**

---

13 BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA:

14 Section 1: The Code entitled "Code of Ordinances of the City of Westlake, Florida," published by CivicPlus, LLC, consisting of chapters 1 through 119, each inclusive, is adopted.

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16 Section 2: All ordinances of a general and permanent nature enacted on or before April 2, 2024, and not included in the Code or recognized and continued in force by reference therein, are repealed.

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19 Section 3: The repeal provided for in section 2 hereof shall not be construed to revive any ordinance or part thereof that has been repealed by a subsequent ordinance that is repealed by this ordinance.

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23 Section 4: Unless another penalty is expressly provided, every person convicted of a violation of any provision of the Code or any ordinance, rule or regulation adopted or issued in pursuance thereof shall be punished by a fine not exceeding \$500.00, a definite term of imprisonment not to exceed 60 days, or any combination thereof. Except as otherwise provided by law or ordinance: (i) With respect to violations of this Code that are continuous with respect to time, each day that the violation continues is a separate offense; and (ii) With respect to violations that are not continuous with respect to time, each act constitutes a separate offense. The penalty provided by this section, unless another penalty is expressly provided, shall apply to the amendment of any Code section, whether or not such penalty is reenacted in the amendatory ordinance. In addition to the penalty prescribed above, the city may pursue other remedies such as abatement of nuisances, injunctive relief and revocation of licenses or permits.

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37 Section 5: Additions or amendments to the Code when passed in such form as to indicate the intention of the city to make the same a part of the Code shall be deemed to be incorporated in the Code, so that reference to the Code includes the additions and amendments.

1 Section 6. Ordinances adopted after April 2, 2024, that amend or refer to ordinances that have  
2 been codified in the Code shall be construed as if they amend or refer to like  
3 provisions of the Code.  
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5 Section 7. **Effective Date:** This ordinance shall be effective upon adoption on second reading.  
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8 **PASSED AND APPROVED** this 7<sup>th</sup> day of January 2025 on first reading.  
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10 **PUBLISHED** on this 10<sup>th</sup> day of January 2025 in the Sun Sentinel.  
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12 **PASSED AND ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_ 2025, on second reading.  
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17 \_\_\_\_\_  
18 City of Westlake  
19 JohnPaul O’Connor, Mayor

20 ATTEST:  
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23

24 \_\_\_\_\_  
25 Zoie P. Burgess, CMC City Clerk  
26  
27

28 Approved as to form and sufficiency  
29  
30

31 \_\_\_\_\_  
32 City Attorney  
33