CITY OF WESTLAKE



AGENDA

City Council Regular Meeting

Tuesday, February 11, 2025, at 6:00 PM

The Lodge at Westlake Adventure Park 5490 Kingfisher Blvd. Westlake, Florida 33470

Live Broadcasting:

https://cityofwestlake.my.webex.com

Meeting ID: 2632 153 9765 | Password: hello

or

United States Toll: +1-650-479-3208

CITY COUNCIL:

JohnPaul O'Connor, Mayor Greg Langowski, Vice Mayor Gary Werner, Council Member – Seat 1 Julian Martinez, Council Member – Seat 2 Charlotte Leonard, Council Member – Seat 3

CITY STAFF:

Ken Cassel, City Manager Zoie P. Burgess, CMC, City Clerk Donald J. Doody, Esq., City Attorney Nilsa Zacarias, AICP, Planning and Zoning Director Suzanne Dombrowski, P.E., ENV SP, City Engineer

[TENTATIVE: SUBJECT TO REVISION]

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

ADDITIONS, DELETIONS OR MODIFICATIONS, AND APPROVAL OF AGENDA

PUBLIC COMMENTS

This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.

PRESENTATIONS/PROCLAMATIONS

A. None

CONSENT AGENDA

This section of the agenda consists of routine or administrative items that require final approval by the City Council and may be approved in its entirety by a single motion. There will be no discussion of these items unless a Council Member requests such, in which event, the item will be removed from the Consent Agenda and considered on a future agenda.

- A. Monthly Financial Report December
- B. Minutes_City Council Regular Meeting 01.07.2025 DRAFT

PUBLIC HEARING - QUASI JUDICIAL

SPM-2024-02: Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.

Submitted By: Planning and Zoning

PUBLIC HEARING

A. SECOND READING: ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA"

Submitted By: City Clerk's Office

ORDINANCE 2025-01

AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.

NEW BUSINESS

A. None

CITY COUNCIL COMMENTS

- A. Councilwoman Charlotte Leonard
- B. Councilman Julian Martinez
- C. Councilman Gary Werner
- D. Vice Mayor Greg Langowski
- E. Mayor JohnPaul O'Connor

REPORT - STAFF

REPORT - CITY ATTORNEY

REPORT - CITY MANAGER

PUBLIC COMMENTS

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<u>ADJOURNMENT</u>

Next Meeting (Subject to Change or be Cancelled): March 4, 2025

NOTICE: If a person, firm or corporation decides to appeal any decision made by the City Council with respect to any matter considered at this meeting, you will need a record of the proceedings, and you may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (The above notice is required by State Law. Anyone desiring a verbatim transcript shall have the responsibility, at his own cost, to arrange for the transcript). The City of Westlake does not prepare or provide such verbatim record.

In accordance with the Americans with Disabilities Act, persons who need an accommodation in order to attend or participate in this meeting should contact the City Clerk at (561) 530-5880 at least three (3) business days prior to the meeting in order to request such assistance.

AGENDA POSTED: Tuesday, January 28, 2025

File Attachments for Item:

A. Monthly Financial Report - December



MEMORANDUM

TO: Members of the City Council, City of Westlake

FROM: Steven Fowler, Accountant; Lucus McDonald, Accounting Supervisor

CC: Ken Cassel, City Manager

DATE: January 14, 2025

SUBJECT: December Financial Report

Please find attached the December 2024 financial report. During your review, please keep in mind that the goal is for revenue to meet or exceed the year-to-date budget and for expenditures to be at or below the year-to-date budget. An overview of the City's funds is provided below. Should you have any questions or require additional information, please contact me at Steven.Fowler@inframark.com.

General Fund

- Total Revenues through December were approximately 76% of the annual budget. Collections of the FY2025 Ad Valorem Tax and Special Assessments were approximately 92% and 92%, respectively.
- Total Expenditures and Contingency through December were approximately 19% of the annual budget.

Special Revenue Fund – Housing Assistance Program

Total Revenues through December were approximately 97% of the annual budget, which was a
result of a higher than anticipated rate of construction and donations on commercial permits. A
donation of \$1,500 per Single Family Residence building permit is paid into the Housing
Assistance Program.

Special Revenue Fund – Comprehensive Planning Services

- Total Revenues through December were approximately 13% of the annual budget.
- Total Expenditures through December were approximately 23% of the annual budget.

City of Westlake

Financial Report

December 31, 2024



Table of Contents

FINANCIAL STATEMENTS	Page #
Balance Sheet	1 - 2
Statement of Revenues, Expenditures and Changes in Fund Balance	
General Fund	3 - 6
Special Revenue Fund (Housing Assistance Program)	7
Special Revenue Fund (Comprehensive Planning Services)	8 - 9
SUPPORTING SCHEDULES	
Cash and Investment Report	10

City of Westlake

Financial Statements
December 31, 2024

Balance Sheet

December 31, 2024

ACCOUNT DESCRIPTION	GEI	GENERAL FUND		SPECIAL REVENUE FUND - HOUSING ASSISTANCE PROGRAM		SPECIAL REVENUE FUND - COMPREHENSIVE PLANNING SVCS		TOTAL	
<u>ASSETS</u>									
Current Assets									
Cash - Checking Account	\$	2,976,566	\$	-	\$	-	\$	2,976,566	
Cash Restricted for Donated Funds		82,755		-		-		82,755	
Taxes Receivable		11,863		-		-		11,863	
Assessments Receivable		39,948		-		-		39,948	
Due From Other Funds		484,575		-		-		484,575	
Investments:									
Money Market Account		8,762,738		5,150,845		-		13,913,583	
Deposits		666		<u>-</u>				666	
Total Current Assets		12,359,111		5,150,845		<u>-</u>		17,509,956	
Noncurrent Assets									
Mortgages Receivable				523,339				523,339	
Total Noncurrent Assets				523,339				523,339	
TOTAL ASSETS	\$	12,359,111	\$	5,674,184	\$	-	\$	18,033,295	
<u>LIABILITIES</u> Current Liabilities									
Accounts Payable	\$	35,029	\$	-	\$	7,556	\$	42,585	
Accrued Expenses		170,700		-		219,138		389,838	
DBPR surcharge		5,533		-		-		5,533	
DCA surcharge		8,130		-		-		8,130	
Impact Fees		547,871		_		_		547,871	
Unearned Revenue		281,930		_		_		281,930	
Due To Other Districts		8,112		_		_		8,112	
Due To Other Gov'tl Units		16,928		_		_		16,928	
Deferred Revenue-Developer Submittals (Minto)		-		_		59,133		59,133	
Donations-Art in Public Places		82,755		_		-		82,755	
Due To Other Funds		02,700		_		484,575		484,575	
Total Current Liabilities		1 156 000							
Total Current Liabilities		1,156,988				770,402		1,927,390	
Long-Term Liabilities									
Deferred Inflow of Resources		39,948						39,948	
Total Long-Term Liabilities		39,948		<u> </u>		<u> </u>		39,948	
TOTAL LIABILITIES		1,196,936		-		770,402		1,967,338	

Balance Sheet

December 31, 2024

TOTAL LIABILITIES & FUND BALANCES	\$	12,359,111	\$	5,674,184	\$	-	\$ 18,033,295
TOTAL FUND BALANCES	\$	11,162,175	\$	5,674,184	\$	(770,402)	\$ 16,065,957
Unassigned:		11,161,509		-		(770,402)	10,391,107
Special Revenue		-	:	5,674,184		-	5,674,184
Restricted for:							
Deposits		666		-		-	666
Nonspendable:							
FUND BALANCES							
ACCOUNT DESCRIPTION	GEI	NERAL FUND	HOU:	E FUND -	REVE	SPECIAL ENUE FUND - PREHENSIVE INING SVCS	 TOTAL

ACCOUNT DESCRIPTION	ANNUAL ADOPTED	YEAR TO DATE	YEAR TO DATE	VARIANCE (\$)	
ACCOUNT DESCRIPTION	BUDGET	BUDGET	ACTUAL	FAV(UNFAV)	
REVENUES					
Interest - Investments	\$ -	\$ -	\$ 58,988	\$ 58,988	
Ad Valorem Taxes	6,058,611	5,708,588	5,559,721	(148,867)	
Ad Valorem Taxes - Discounts	(242,300)	(228,302)	(222,505)	5,797	
FPL Franchise	456,400	114,103	133,157	19,054	
Gas	68,200	17,053	-	(17,053)	
Solid Waste	32,000	7,997	4,040	(3,957)	
Electricity	559,000	139,753	100,768	(38,985)	
Water	187,400	46,847	-	(46,847)	
Gas	126,200	31,547	23,824	(7,723)	
Communication Services Taxes	159,800	39,947	33,602	(6,345)	
Occupational Licenses	27,300	6,825	14,916	8,091	
Building Permits - Admin Fee	85,600	21,403	25,966	4,563	
State Revenue Sharing Proceeds	70,100	17,522	25,681	8,159	
Alcoholic Beverage License	1,100	275	-	(275)	
Other Public Safety Chrgs/Fees	6,500	1,622	2,513	891	
Garbage/Solid Waste Revenue	233,400	58,350	59,570	1,220	
Penalties	-	-	82	82	
Other Operating Revenues	12,800	3,200	2,357	(843)	
Special Events	-	-	5,100	5,100	
Event Sponsors	-	-	9,250	9,250	
Judgements and Fines	-	-	2,054	2,054	
Special Assmnts- Tax Collector	802,900	760,258	740,780	(19,478)	
Special Assmnts- Discounts	(32,100)	(30,395)	(29,664)	731	
Lien Search Fee	10,000	2,503	3,373	870	
TOTAL REVENUES	8,622,911	6,719,096	6,553,573	(165,523)	

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE	VARIANCE (\$) FAV(UNFAV)
<u>EXPENDITURES</u>				
<u>Legislative</u>				
Mayor/Council Stipend	60,000	15,000	15,000	_
FICA Taxes	4,600	1,150	1,148	2
ProfServ-Legislative Expense	75,000	18,750	-	18,750
Telephone, Cable & Internet Service	5,300	1,325	1,183	142
Lease - Building	9,100	2,275	2,500	(225)
Public Officials Insurance	5,500	5,500	4,557	943
Misc-Event Expense	274,400	50,000	12,539	37,461
Council Expenses	78,400	19,600	14,460	5,140
Dues, Licenses, Subscriptions	3,800	2,138	4,259	(2,121)
Total Legislative	516,100	115,738	55,646	60,092
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City Manager				
Contracts-City Manager	249,800	62,450	62,450	-
Misc-Public Relations	50,000	12,500	13,848	(1,348)
Office Supplies	12,700	3,175	1,303	1,872
Dues, Licenses, Subscriptions	2,700	1,317	1,217	100
Total City Manager	315,200	79,442	78,818	624
<u>City Clerk</u>				
ProfServ-Web Site Maintenance	8,300	2,075	1,525	550
Contracts-City Clerk	233,300	58,325	56,658	1,667
Postage and Freight	-	-	116	(116)
Printing	15,500	3,875	_	3,875
Legal Advertising	17,500	4,375	5,366	(991)
Miscellaneous Expenses	6,000	1,500	216	1,284
Office Supplies	2,900	725	_	725
Dues, Licenses, Subscriptions	26,100	12,303	3,491	8,812
Total City Clerk	309,600	83,178	67,372	15,806
Einanaa				
Finance	7.000			
Auditing Services	7,800	-	-	-
Contracts-Finance	104,400	26,100	26,100	- (4.400)
Miscellaneous Expenses Total Finance	112 200	26 100	1,100	(1,100)
i otal Fillatice	112,200	26,100	27,200	(1,100)

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET	YEAR TO DATE BUDGET	YEAR TO DATE ACTUAL	VARIANCE (\$) FAV(UNFAV)
Legal Counsel				
ProfServ-Legal Services	120,000	30,000	14,445	15,555
Total Legal Counsel	120,000	30,000	14,445	15,555
Other Administrative Services				
ProfServ-Info Technology	76,600	19,150	20,953	(1,803)
Contracts-Admin. Service	441,100	110,275	110,275	-
Misc-Assessment Collection Cost	8,000	7,400	7,111	289
General Government	150,000	37,500	-	37,500
Total Other Administrative Services	675,700	174,325	138,339	35,986
Facility Services				
Telephone, Cable & Internet Service	9,200	2,300	2,400	(100)
Lease - Copier	12,900	3,225	3,250	(25)
Lease - Building	25,000	6,250	-	6,250
Insurance (Liab,Auto,Property)	13,200	13,200	9,048	4,152
Miscellaneous Services	1,700	425	532	(107)
Cleaning Services	13,300	3,325	3,570	(245)
Principal-Capital Lease	19,100	4,775	5,677	(902)
Interest-Capital Lease	2,100	525	945	(420)
Total Facility Services	96,500	34,025	25,422	8,603
Community Services				
Contracts-Solid Waste	1,212,000	303,000	242,795	60,205
Contracts-Sheriff	1,066,600	266,650	266,651	(1)
Electricity	132,300	33,075	36,363	(3,288)
R&M-Community Maintenance	30,100	7,525	7,525	(0,200)
Operating Supplies	57,300	14,325	- ,020	14,325
Roadway Services	6,800	1,700	622	1,078
Total Community Services	2,505,100	626,275	553,956	72,319
Capital Expenditures & Projects				
Capital Improvements	50,000	30,000		30,000
Total Capital Expenditures & Projects	50,000	30,000		30,000

ACCOUNT DESCRIPTION	 ANNUAL ADOPTED BUDGET	YE	AR TO DATE BUDGET	YE	EAR TO DATE ACTUAL	RIANCE (\$) V(UNFAV)
Reserves						
Misc-Contingency	232,500		58,125		505	57,620
1st Quarter Operating Reserves	1,220,700		305,175		-	305,175
Reserve - Capital Projects	1,500,000		375,000			375,000
Total Reserves	2,953,200		738,300		505	737,795
TOTAL EXPENDITURES & RESERVES	7,653,600		1,937,383		961,703	975,680
Excess (deficiency) of revenues Over (under) expenditures	969,311		4,781,713		5,591,870	810,157
OTHER FINANCING SOURCES (USES)						
Nonoperating Grant Expense	-		-		(724,735)	(724,735)
Contribution to (Use of) Fund Balance	969,311		-		-	-
TOTAL FINANCING SOURCES (USES)	969,311		-		(724,735)	(724,735)
Net change in fund balance	\$ 969,311	\$	4,781,713	\$	4,867,135	\$ 85,422
FUND BALANCE, BEGINNING (OCT 1, 2024)	6,295,040		6,295,040		6,295,040	
FUND BALANCE, ENDING	\$ 7,264,351	\$	11,076,753	\$	11,162,175	

ACCOUNT DESCRIPTION	ANNUAL ADOPTED BUDGET		ADOPTED YEAR TO DATE		YEAR TO DATE		VARIANCE (\$) FAV(UNFAV)	
DEVENUE								
<u>REVENUES</u>								
Interest - Investments	\$	-	\$	-	\$	20,408	\$	20,408
Dividends		-		-		35,716		35,716
Donations		300,000		75,000		235,088		160,088
TOTAL REVENUES		300,000		75,000		291,212		216,212
<u>EXPENDITURES</u>								
Public Assistance								
Misc-Admin Fee (%)		21,000		5,250		-		5,250
Assistance Program		279,000		69,750		-		69,750
Total Public Assistance		300,000		75,000				75,000
TOTAL EXPENDITURES		300,000		75,000				75,000
-								
Excess (deficiency) of revenues Over (under) expenditures						291,212		291,212
Net change in fund balance	\$		\$		\$	291,212	\$	291,212
FUND BALANCE, BEGINNING (OCT 1, 2024)		5,382,972		5,382,972		5,382,972		
FUND BALANCE, ENDING	\$	5,382,972	\$	5,382,972	\$	5,674,184		

ACCOUNT DESCRIPTION	 ANNUAL ADOPTED BUDGET	R TO DATE	AR TO DATE ACTUAL	RIANCE (\$) AV(UNFAV)
REVENUES				
Building Permits	\$ 1,966,300	\$ 491,578	\$ 273,518	\$ (218,060)
Reinspection Fees	-	-	550	550
Building Permits - Surcharge	7,600	1,903	1,452	(451)
Other Building Permit Fees	30,000	7,500	23,100	15,600
Building Permits - Admin Fee	129,700	32,428	36,909	4,481
Engineering Permits	300,600	75,150	7,316	(67,834)
Planning & Zoning Permits	307,700	76,922	10,367	(66,555)
TOTAL REVENUES	2,741,900	685,481	353,212	(332,269)
<u>EXPENDITURES</u>				
Comprehensive Planning				
ProfServ-Engineering	300,600	75,150	78,730	(3,580)
ProfServ-Info Technology	290,200	72,550	61,287	11,263
ProfServ-Legal Services	62,700	15,675	10,950	4,725
ProfServ-Planning/Zoning Board	307,700	76,925	80,354	(3,429)
ProfServ-Compliance Service	186,500	46,625	43,920	2,705
ProfServ-Building Permits	1,431,900	357,975	332,580	25,395
Special Magistrate	30,000	7,500	-	7,500
Telephone, Cable & Internet Service	7,000	1,750	1,718	32
Lease - Copier	3,100	775	797	(22)
Lease - Building	24,000	6,000	-	6,000
Printing	1,000	250	-	250
Miscellaneous Services	1,300	325	133	192
Misc-Admin Fee (%)	32,700	8,175	8,175	-
Billing Service Fees	42,800	10,700	9,997	703
Office Supplies	2,100	525	115	410
Cleaning Services	13,000	3,250	3,380	(130)
Principal-Capital Lease	4,800	1,200	-	1,200
Interest-Capital Lease	500	 150		150
Total Comprehensive Planning	2,741,900	685,500	632,136	53,364
TOTAL EXPENDITURES	2,741,900	685,500	632,136	53,364

ACCOUNT DESCRIPTION	A	ANNUAL ADOPTED BUDGET	 AR TO DATE BUDGET	YE	AR TO DATE ACTUAL	ARIANCE (\$) AV(UNFAV)
Excess (deficiency) of revenues Over (under) expenditures			(19)		(278,924)	(278,905)
Net change in fund balance	\$	_	\$ (19)	\$	(278,924)	\$ (278,905)
FUND BALANCE, BEGINNING (OCT 1, 2024)		(491,478)	(491,479)		(491,478)	
FUND BALANCE, ENDING	\$	(491,478)	\$ (491,498)	\$	(770,402)	

City of Westlake

Supporting Schedules
December 31, 2024

Cash and Investment Report

December 31, 2024

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Account Name	Bank Name	Investment Type	<u>Yield</u>	<u>Balance</u>
Checking Account - Operating	BankUnited BankUnited	Checking Account	n/a	\$2,976,566
Money Market	Bankonited	IVIIVIA	3.99% Subtotal	\$8,845,493 \$11,822,059
SPECIAL REVENUE FUND				
Money Market	BankUnited	MMA	3.99%	\$1,919,347
Government Checking	Valley Bank	Checking Account	4.25%	\$68,369
Brokerage Account	Valley Bank	Government Fund Class A	4.30%	\$3,163,128
			Subtotal	\$5,150,844
			Total	\$16,972,904

File Attachments for Item:

B. Minutes_City Council Regular Meeting - 01.07.2025 DRAFT

CITY OF WESTLAKE



MINUTES

City Council Regular Meeting

Tuesday, January 07, 2025, at 6:00 PM

The Lodge at Westlake Adventure Park 5490 Kingfisher Blvd. Westlake, Florida 33470

CITY COUNCIL:

JohnPaul O'Connor, Mayor Greg Langowski, Vice Mayor Gary Werner, Council Member – Seat 1 Julian Martinez, Council Member – Seat 2 Charlotte Leonard, Council Member – Seat 3

CITY STAFF:

Ken Cassel, City Manager Zoie P. Burgess, CMC, City Clerk Donald J. Doody, Esq., City Attorney Nilsa Zacarias, AICP, Planning and Zoning Director Suzanne Dombrowski, P.E., ENV SP, City Engineer A regular meeting of the City Council of the City of Westlake was held on Tuesday, January 7, 2025, at 6:00 PM., at The Lodge at Westlake Adventure Park, 5490 Kingfisher Blvd. Members of the public also attended the meeting through electronic means and accessed as follows:

1. Webex meeting from a computer, tablet or smartphone at the following link: https://cityofwestlake.my.webex.com/

Meeting ID: 2632 8883 9851

Password: hello

2. Participants also dialed in using phone with the following number:

United States Toll: +1-650-479-3208 Meeting ID: 2632 8883 9851

CALL TO ORDER

Mayor O'Connor called the City of Westlake regular meeting of Tuesday, January 7, 2025, to order at 6:00 PM.

ROLL CALL

Present and constituting a quorum:

Councilman Gary Werner Councilman Julian Martinez Councilwoman Charlotte Leonard Vice Mayor Greg Langowski Mayor JohnPaul O'Connor

Also present:

Kenneth Cassel, City Manager Donald J. Doody, Esq., City Attorney Zoie Burgess, City Clerk

PLEDGE OF ALLEGIANCE

Mayor O'Connor led the Pledge of Allegiance.

ADDITIONS, DELETIONS OR MODIFICATIONS, AND APPROVAL OF AGENDA

Mayor O'Connor called for any additions, deletions, or modifications to the agenda.

The City Manager stated that the presentation from Tara Duhy will need to be rescheduled for a later date. Mayor O'Connor called for a motion to amend the agenda.

Motion by Councilman Werner to amend the agenda with the deletion of the presentation, seconded by Vice Mayor Langowski.

UPON ROLL CALL:

Councilman Werner	YES
Councilman Martinez	YES
Councilwoman Leonard	YES
Vice Mayor Langowski	YES
Mayor O'Connor	YES

With all in favor, motion carried without dissent (5-0).

Mayor O'Connor called for a motion to approve the agenda as amended.

Motion by Councilman Martinez to approve the agenda as amended, seconded by Councilwoman Leonard.

UPON ROLL CALL:

Councilman Martinez YES
Councilwoman Leonard YES
Vice Mayor Langowski YES
Mayor O'Connor YES
Councilman Werner YES

With all in favor, motion carried without dissent (5-0).

PUBLIC COMMENTS

This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.

<u>Public Comment – Mr. Kevin Summey – 15763 Goldfinch Circle</u> – Mr. Summey asked if there was a PBSO representative to address the roundabout as vehicles are going the wrong way and the vehicles not stopping.

<u>Public Comment – Mr. Theodore Sarandis – 15780 Cresswind Place</u> – Mr. Sarandis stated he submitted a written statement to be placed on record. Mr. Sarandis read the statement into record.

<u>Public Comment – Mr. Bobby Farber - 4829 Saint Armands Way</u> – Mr. Farber stated the colors on the marques looked great, but the roundabout has new landscape and inquired if the lights would be fixed. He mentioned there are several lights out.

<u>Public Comment – Ms. Alicia Torres – 5847 Whippoorwill Circle</u> – Ms. Torres inquired about the hours in the city charter for mixed use retail and for big box stores. She also inquired about the upcoming park.

<u>Public Comment – Mr. Chad Isaacson – 15398 Goldfinch Circle</u> – Mr. Isaacson expressed the control council has to make changes, such as in the comp plan and the development plan. Mr. Issacson continued and asked for the Mayor, Vice Mayor and Councilmen to individually raise their hand if they are for Walmart and Lowes.

Mr. Doody explained that doing such could put the City at risk.

Mr. Issacson continued to explain that the Council can release a statement or reach out to Minto and have conversations with them.

<u>Public Comment – Ms. Ani Tapiero – 5591 Whippoorwill Circle</u> – Explained her concerns about the control council has on development and the concern of the residents not wanting a Walmart.

<u>Public Comment – Ms. Olga Torrens – 16015 Whippoorwill Circle</u> – Expressed her concerns over having a Walmart in the City.

Due to technical difficulties, a recess was taken at 6:29 PM

<u>Public Comment – Ms. Doreen Winkler 4776 Estates Circle</u> – Ms. Winkler inquired about the stop sign needed at Persimmon and The Estates.

PRESENTATIONS/PROCLAMATIONS

A. Presentation: History of Westlake

Presented By: Tara Duhy, Esq. - Lewis Longman & Walker, PA

Item removed from Agenda

CONSENT AGENDA

This section of the agenda consists of routine or administrative items that require final approval by the City Council and may be approved in its entirety by a single motion. There will be no discussion of these items unless a Council Member requests such, in which event, the item will be removed from the Consent Agenda and considered on a future agenda.

- A. Minutes_City Council Regular Meeting 12.10.2024 DRAFT
- B. Financial Report October
- C. Financial Report November

Mayor O'Connor identified the consent agenda items and called for a motion to approve.

Motion by Councilman Werner to approve the consent agenda consisting of items A, B, & C, seconded by Councilwoman Leonard.

UPON ROLL CALL:

Councilwoman Leonard YES
Vice Mayor Langowski YES
Mayor O'Connor YES
Councilman Werner YES
Councilman Martinez YES

With all in favor, motion carried without dissent (5-0).

PUBLIC HEARING

A. FIRST READING: ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA"

Submitted By: City Clerk's Office

ORDINANCE 2025-01

AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.

Mayor O'Connor introduced the item.

Mr. Doody read the Ordinance by title only, into the record.

Mayor O'Connor asked staff to explain this item.

The City Manager explained the item.

The City Attorney further explained the purpose of Ordinance.

Mayor O'Connor opened for Council comments, there being none, Mayor O'Connor opened for public comments.

<u>Public Comment – Ms. Alicia Torres – 5847 Whippoorwill Circle</u> – Ms. Torres asked if anything in the code was changed. It was confirmed nothing in the Code has changed.

Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Ordinance 2025-01, seconded by Councilman Werner.

UPON ROLL CALL:

Vice Mayor Langowski YES
Mayor O'Connor YES
Councilman Werner YES
Councilman Martinez YES
Councilwoman Leonard YES

With all in favor, motion carried without dissent (5-0).

NEW BUSINESS

A. RESOLUTION 2025-01 – Approving and authorizing the strategic planning proposal.

Submitted By: Administration

RESOLUTION 2025-01

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, APPROVING AND AUTHORIZING THE APPROPRIATE CITY OFFICIALS TO EXECUTE THE STRATEGIC PLANNING PROPOSAL FROM THE INTERNATIONAL INSTITUTE FOR LEADERSHIP DEVELOPMENT AND TRAINING FOR THE PURPOSE OF DEFINING THE CITY'S STRATEGIC PLAN; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

Mayor O'Connor introduced the item.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated this item was a follow-up to a previous meeting. The City Manager stated he has received a proposal from Mr. Sugerman for the Strategic Planning session.

Mayor O'Connor called for Council discussions.

Mayor O'Connor, Council, and the City Manager discussed the item in detail.

The City Manager asked Dr. Dale Sugerman to speak on the proposal.

<u>Public Comment – Dr. Dale Sugerman – 4343 Star Ruby Blvd</u> – Mr. Sugerman gave an overview of the Strategic Plan.

Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Resolution 2025-01, seconded by Vice Mayor Langowski.

UPON ROLL CALL:

Mayor O'Connor YES
Councilman Werner YES
Councilman Martinez YES
Councilwoman Leonard YES
Vice Mayor Langowski YES

With all in favor, motion carried without dissent (5-0).

B. RESOLUTION 2025-02 – Supporting the Procurement and Oversight of Consultants for the development of a Countywide Transportation Plan

Submitted By: Administration

RESOLUTION NO. 2025-02

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, SUPPORTING THE PROCUREMENT AND OVERSIGHT OF CONSULTANTS FOR THE DEVELOPMENT OF A COUNTYWIDE TRANSPORTATION PLAN; SUPPORTING THE FORMATION OF A TECHNICAL ADVISORY COMMITTEE FOR THE SAME; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

Mayor O'Connor introduced the item.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated this item is a request from the county and other municipalities to support the efforts of the countywide transportation plan.

Mayor O'Connor opened for Council discussions, there being none, Mayor O'Connor called for a motion.

Motion by Councilman Werner to approve Resolution 2025-02, seconded by Councilman Martinez.

UPON ROLL CALL:

Councilman Werner YES
Councilman Martinez YES
Councilwoman Leonard YES
Vice Mayor Langowski YES
Mayor O'Connor YES

With all in favor, motion carried without dissent (5-0).

C. RESOLUTION 2025-03 - Authorizing the City Manager to Execute a Sponsorship Agreement with AT&T Mobility LLC

Submitted By: Administration

RESOLUTION NO. 2025-03

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA, APPROVING AND AUTHORIZING THE CITY MANAGER TO EXECUTE A SPONSORSHIP AGREEMENT WITH

AT&T MOBILITY LLC; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

Mayor O'Connor introduced the item.

Mayor O'Connor asked the City Manager to comment.

The City Manager stated there were changes to the original document and requested that the Council approve subject to final review and approval of the attorney.

Mr. Doody read the Resolution, by title only, into the record.

Mayor O'Connor opened for Council discussions, there being none, Mayor O'Connor called for a motion.

Motion by Councilman Martinez to approve Resolution 2025-03 subject to approval from attorney, seconded by Vice Mayor Langowski.

UPON ROLL CALL:

Councilman Martinez YES
Councilwoman Leonard YES
Vice Mayor Langowski YES
Mayor O'Connor YES
Councilman Werner YES

With all in favor, motion carried without dissent (5-0).

CITY COUNCIL COMMENTS

- A. Councilwoman Charlotte Leonard no comments.
- B. Councilman Julian Martinez Looked forward to the Strategic Planning session and reminded everyone about the 5K Race.
- C. Councilman Gary Werner -- Looked forward to the Strategic Planning session.
- D. Vice Mayor Greg Langowski Announced the Education Advisory Board will be meeting on January 16th at City Hall at 6pm.
- E. Mayor JohnPaul O'Connor Thanked everyone for their attendance and asked to reschedule the February City Council meeting and scheduling the SpringFest.

The Mayor and Council discussed the move of the scheduled February Council meeting in detail.

Mr. Doody stated a motion was needed.

Mayor O'Connor called for a motion to change the February Council meeting from February 4th to February 11th.

Motion by Vice Mayor Langowski, seconded by Councilwoman Leonard.

UPON ROLL CALL:

Vice Mayor Langowski YES
Mayor O'Connor YES
Councilman Werner YES
Councilman Martinez YES
Councilwoman Leonard YES

With all in favor, motion carried without dissent (5-0).

Mr. Cassel explained the various conflicts of holding SpringFest on the anticipated date of April 19 and the alternate date of April 12th as it is Passover and suggested April 5th.

<u>REPORT – STAFF</u>

District Chief Vomero provided the Palm Beach County Fire Rescue monthly report.

Lieutenant Sowers of the Palm Beach County Sheriff's Office provided the monthly report and entertained various audience comments.

REPORT - CITY ATTORNEY

No Comments.

REPORT - CITY MANAGER

The City Manager revisited a previous topic of the proper spacing and number of big box stores. The City Manager stated he will be executing a proposal to do a study and report back.

PUBLIC COMMENTS

This section of the agenda allows for comments from the public to speak. Each speaker will be given a total of three (3) minutes to comment. A public comment card should be completed and returned to the City Clerk. When you are called to speak, please go to the podium, and prior to addressing Council, state your name and address for the record. All public comments will be noted and may receive a response if necessary. Any follow-up will be handled by staff later.

<u>Public Comment – Ms. Ana Tapiero – 5991 Whippoorwill Circle</u> – Ms. Tapiero expressed her gratitude to the City Manager but felt the Council does not represent the community. Ms. Tapiero expressed the conflict of interest in adding a lobbyist who is a part of Minto's legal team. Mr. Doody clarified that to be incorrect and the issue has been addressed.

Ms. Tapiero continued, inquiring about reviewing the comprehensive plan. Ms. Tapiero further discussed the conflict of interest of what the City Manager does for the City and Seminole Improvement District. Ms. Tapiero further expressed her concern for adding an agreement of services for the Lobbyist the same day of the Council meeting.

<u>Public Comment – Mr. Bobby Farber - 4829 Saint Armands Way</u> – Mr. Farber asked for clarification of Resolution 2025-02.

<u>Public Comment – Mr. Eric Rehwoldt - 5326 Liberty Lane</u> – Mr. Rehwoldt inquired about a Westlake post office.

<u>Public Comment – Ms. Rebekah Taylor – 13566 Spruce Pine Drive</u> – Ms. Taylor stated her concerns with Resolution 2025-01 and services being contracted without having an RFP or any other quotes for the consultant.

<u>Public Comment – Mr. Chad Isaacson – 15398 Goldfinch Circle</u> – Mr. Isaacson asked for a way to get the Resolutions on the website with common language to better help the community. Mr. Isaacson inquired if there was a way to put a cap on SID's increases and the rates they charge.

<u>Public Comment – Ms. Maribel Garcia – 16095 Whippoorwill Circle</u> – Ms. Garcia stated she hopes that Council is keeping their city beautiful and a safe place.

<u>Public Comment – Mr. Kevin Brown – 13566 Spruce Pine Drive</u> – Mr. Brown asked if there were any updates to alleviate the traffic on Persimmon East to 60th Street.

<u>Public Comment – Mr. Theodore Sarandis – 15780 Cresswind Place</u> – Mr. Sarandis expressed the need for a request for a proposal and more details when anyone is doing business with the City.

<u>Public Comment – Unidentified Resident</u> – Resident inquired about land that was set aside for a school and the timeline for building the school.

<u>Public Comment – Ms. Jackie Campbell- 15938 Key Biscayne Lane</u> – Ms. Campbell addressed the concern of being told she couldn't speak more than one time, but Council was allowing individuals to speak more than once.

<u>Public Comment – Mr. Kevin Summey- 15763 Goldfinch Circle</u> – Mr. Summey addressed the fines with SID and the contracts that the City uses with no proposals given for a cheaper price.

<u>Public Comment – Mr. Dale Sugerman – 4343 Star Ruby Blvd</u> – Mr. Sugerman stated that he would be happy to withdraw his proposal, and the Council is welcome to obtain other quotes.

Further Council discussion on proposals and seeking approval from Council.

ADJOURNMENT

There being no further business, Mayor O'Connor adjour	rned the meeting at 7:58 PM.
Zoie P. Burgess, City Clerk	JohnPaul O'Connor, Mayor

File Attachments for Item:

A. SPM-2024-02: Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.

Submitted By: Planning and Zoning



Meeting Agenda Item Coversheet

MEETING DAT	E:	2/11/2025	Submitted	By: P	lanning and Zoning	
SUBJECT: This will be the nai the Item as it will a on the Agenda	ppear	SPM-2024-02: Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject			an es ne e- ct :L, ce of	
Motion to Approve with Conditions SPM-2024- Plan Modification for the Grove Market Plaza (Through facility) 1. Applicant shall contribute one percent (1%) of construction cost to the City of Westlake Art Acquite to building permit issuance. 2. Applicant shall execute and record the Declaration of the Control for Parking prior to building permit issuance.		the Grove Market Plaza (Bank with ribute one percent (1%) of the buine City of Westlake Art Acquisition Fundance.	Drive- Iding's d prior			
SUMMARY and/or JUSTIFICATION:	maste creati accon bank, reloca applic Minin of Un	The applicant is seeking approval for a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The proposal involves the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through use. To make space for the new bank, 48 standard parking spaces will be removed, leaving a total of 374 parking spaces and relocating six (6) Low-Speed Electric Vehicle (LSEV) spaces for the overall development. This application complies with the City Code Chapter 8. Parking regulations. Section 2: Reduction of Minimum Parking Spaces. The applicant has provided a shared parking study, and a Declaration of Unity of Control for Parking in a form acceptable to the City Attorney, as detailed in the enclosed documents.				
		AGREEME	NT:		BUDGET:	
SLLC1, II applicable		STAFF RE	PORT:	Χ	PROCLAMATION:	
		EXHIBIT(S):	Χ	OTHER:	
IDENTIFY EAC ATTACHMEN For example, a agreement may h exhibits, identify agreement and Ex and Exbibit E	T. an ave 2 the chibit A	Agenda Iten Staff Report Application Justification Shared Park Survey Master Site Photometri Landscape Elevation P	Statement king Study Plan cs Plan Plan			3

	Drainage	ring Plans e Statement tatement		
SELECT, if applicable	RESOL	UTION:	RDINANCE:	
IDENTIFY FULL RESOLUTION OR ORDINANCE TITLE (if Item is not a Resolution or Ordinance, please erase all default text from this field's textbox and leave blank) Please keep text indented.				
FISCAL IMPACT (if a	ny):			\$



City of Westlake

Planning and Zoning Department – Staff Report

City Council Meeting 02/11/2025

PETITION DESCRIPTION

PETITION NUMBER: SPM-2024-02 <u>Master Site Plan Modification – Grove Market (Bank with Drive-</u>

Through)

OWNER: Grove Market Courtland LLC, Grove Market Anderson LLC, JBL Humblewood

Center LLC, Grove Market SG2020 LLC

AGENT: Kimley-Horn

PCN: 77-40-43-01-01-0010

ADDRESS: 5060 Seminole Pratt Whitney Rd. Westlake, FL.

REQUEST: Application of Grove Market Anderson, LLC requesting a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The applicant proposes the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through facility within the Grove Market shopping plaza. The subject property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470. Pursuant to Chapter 8, Section 2 (A) Reduction of Minimum Space Requirements. The applicant is requesting to reduce the overall number of parking space requirements from 395 to 374 parking spaces, and provided a Declaration of Unity of Control for Parking and a Shared Parking Study.

SUMMARY

The applicant is seeking approval for a Master Site Plan Modification to the previously approved master site plan for the Grove Market shopping plaza development. The proposal involves the creation of a new outparcel by redeveloping a 0.73-acre portion of the existing parking lot to accommodate a 2,925 square foot Bank with Drive-Through use. To make space for the new bank, 48 standard parking spaces will be removed, leaving a total of 374 parking spaces and relocating six (6) Low-Speed Electric Vehicle (LSEV) spaces for the overall development. This application complies with the City Code Chapter 8. Parking regulations. Section 2: Reduction of Minimum Parking Spaces. The applicant has provided a shared parking study, and a Declaration of Unity of Control for Parking in a form acceptable to the City Attorney, as detailed in the enclosed documents.

STAFF RECOMMENDATION

Based upon the facts and findings contained herein, the **Planning and Zoning and Engineering Departments** have no objections to the above referenced application with the following conditions:

- 1. Applicant shall contribute one percent (1%) of the building's construction cost to the City of Westlake Art Acquisition Fund prior to building permit issuance.
- 2. Applicant shall execute and record the Declaration of Unity of Control for Parking prior to building permit issuance.

PETITION FACTS

a. Total Gross Site Area: 9.98 acres (0.73 Bank Outparcel)

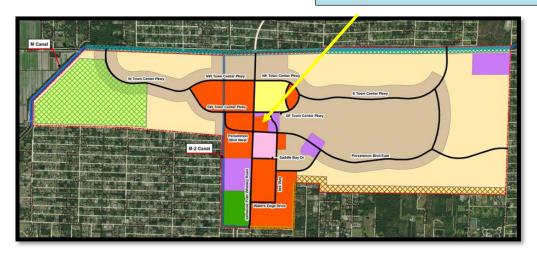
b. Land Use and Zoning

Existing Land Use: Commercial

Future Land Use: Downtown Mixed Use

Zoning: Mixed Use

Grove Market Plaza



BACKGROUND

The Grove Market Shopping Center was built by Stiles Corp in 1999, with the anchor space built to suit for former Winn-Dixie store (currently approved for Aldi). 5060 Loxahatchee Retail, LLC acquired the center in September 2016 and owned it until 2022. In 2022, Grove Market LLC acquired the center and has owned the property since.

- On June 14,2021 the City Council approved a Site Plan Modification (SPM-2021-02) to allow an upgrade to entire architectural façade of the Grove Market Shopping Center.
- On June 14,2021 the City Council approved a Site Plan Modification (SPM-2021-01) to allow an upgrade to the 49,610 square foot Winn-Dixie grocery store, and 2,536 square foot liquor store (total 52,145 sq.ft.) at the Grove Market Shopping Center. The improvements include increasing 1,238 sq.ft. to grocery store floor plan, upgrading the façade and interior modifications to the current vacant grocery store space.
- On August 9,2021, the City Council approved a Master Sign Plan (MSP-2021-05) to allow an
 upgrading to all wall signs, monument signs and tenant signs of the Grove Market Shopping
 Center.
- On October 11,2021, the City Council approved Application SPR-2021-08 to upgrade the Grove Market at Westlake site Plan. The applicant included a landscaping plan, improvements to the parking area, the dumpster enclosures, and the covered walking area.
- On September 5, 2023, the City Council approved application SPM-2023-05 to modify the
 existing Grove Market Outparcel D, to increase the previously approve square footage for
 Building D from 3,675 square foot to an 8,317 square foot one story building for retail and
 medical office use.

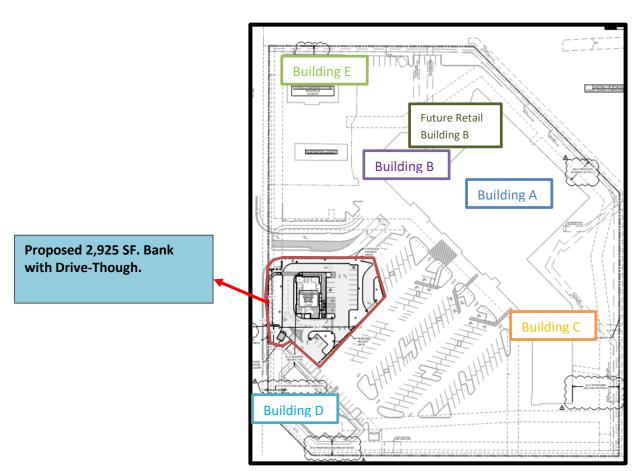
- On December 10, 2024, the City Council approved application SPM-2024-04 to modify the Grove Market shopping plaza building façade to accommodate a new 28,594 square foot grocery store (Aldi) and two (2) unspecified future retail tenants occupying 16,905 square feet and 6,646 square feet.
- On December 10, 2024, the City Council approved application MSP-2024-02 to amendment to the Master Sign Plan of the Grove Market shopping plaza to replace the Win Dixie wall sign with the new Aldi wall sign on the front building elevation.

STAFF ANALYSIS

The applicant proposes a new outparcel by redeveloping a 0.73-acre section of the existing parking lot to accommodate an approximately 2,925-square-foot Bank with Drive-Through use. To accommodate the proposed new Bank with Drive-Through, 48 standard parking spaces will be removed and relocating six (6) LSEV spaces, leaving a total of 374 parking spaces for the Grove Market Shopping Plaza. The proposed redevelopment will include the following structures and site improvements:

- 1. A one (1) story 2,925 square foot Bank with Drive-Through.
- 2. Drive-Through with nine (9) queuing spaces.
- 3. Bicycle Racks (27).
- 4. Providing a total of 374 vehicle parking spaces for the Grove Market Shopping Plaza.

Site location at Grove Market Plaza



PARKING ANALYSIS

The total number of required parking spaces for the Grove Market Shopping Plaza is 395, while the applicant is providing 374 spaces. Per code requirement, the applicant submitted a parking study that was reviewed by city staff. The subject study determined that the peak parking demand will be 353 spaces at 5:00 PM on a weekday and 374 spaces at 12:00 PM on a weekend. Based on these findings, the 374 parking spaces provided are sufficient to meet the shared parking needs of the shopping plaza. The applicant has also submitted a Declaration of Unity of Control for Parking, which is attached for reference.

The analysis is based on the City Code Chapter 8. Parking Regulations. Section 2: Reduction of Minimum Space Requirements (A) Shared Parking:

A) Shared Parking

- (1) The City Council shall as part of an approval of a new or expanded use, new construction, substantial renovation, or alteration or expansion of an existing site, approve the use of shared parking to reduce overall parking requirements. The basis for approval of an application to establish shared parking includes the factors listed below.
 - (a) Two or more uses located in the same structure, on the same site, or within 1000 feet (measured property line to property line) of each other that possess complementary peak hours of parking usage.
 - (b) The proposed shared parking areas must be reasonably accessible to all participating uses and shared parking spaces may not be reserved for a particular use or otherwise

restricted.

- (c) **Shared parking study.** Preparation, in a professionally accepted manner, of a shared parking study by a qualified professional engineer, architect, or planner. The shared parking study shall be the most recent version based on the Urban Land institute's (ULI) methodology for determining shared parking, or other professionally accepted methodology.
- (d) **Legal documentation.** The property owner(s) shall submit an appropriate restrictive covenant or access easement in recordable form acceptable to the City Attorney.
- (e) **Development order.** Any development order approved by the city council which includes the use of shared parking shall:
 - (i) Provide the city a means to readdress the shared parking in the event future parking problems or changes in use occur;
 - (i) Provide a legal description of the land and structures affected;
 - (ii) Provide for a term of at least five years;
 - (iii) Provide a site plan to indicate uses, hours of operation, parking, etc.; and
 - (iv) Assure the availability of all parking spaces affected by the agreement.
- (2) The amount of parking provided pursuant to a shared parking agreement shall not be more than 20% of the required parking.

The following table presents compliance with applicable zoning code:

Zoning District: Mixed Use	REQUIRED BY CODE	PROPOSED	COMMENTS			
Front Yard	20ft	27 ft	In compliance			
Rear Yard	10ft	45	In compliance			
Side Yard	20ft	27 South / 53 North	In compliance			
Lot Coverage	50% maximum	21.7%	In compliance			
Building Height	Max. Three stories or 35ft	One Story building / 21.6 feet	In compliance			
Parking	Shopping Center 1/240 SF (Buildings A, B, C) Bank with Drive-Through 1/300 SF Convenience Store 1/240 SF + 1/pump (Building E) Retail (Building D) (1/240) Total Required: 395	Total Provided: 374 (5.3% of required parking) LSEV: 25	Application is in compliance with the Shared Parking Code. See below analysis.			
Sidewalks	Pedestrian walkways must be a minimum of 5ft wide	5' sidewalk	In compliance			
Open Space	25% minimum	25%	In compliance			

Chapter 8. Parking Regulations. Section 2: Reduction of Minimum Space Requirements (A) provides for Shared Parking provisions. See the following analysis:

No. of Requested Parking Spaces = 395 spaces Provided by application = 374 spaces

The City Code allows a maximum of 20% of the total required parking spaces to use shared parking. In this case, a maximum of 79 spaces qualified to be used as shared parking (20% of 395 spaces)

395 required spaces minus (-) 374 provided spaces = 21 Spaces or 5.3 percent. The subject application is in compliance with the City Code since the amount of shared parking is only 5.3% or 21 spaces.

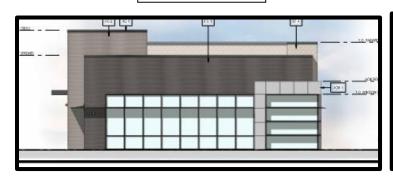
ARCHITECTURE

Design and aesthetics play a crucial role in aligning with the vision and goals of the City of Westlake. The proposed building incorporates architectural features such as stone materials, ensuring a harmonious blend with the surrounding development's color schemes and overall aesthetic. Additionally, the drivethrough is strategically positioned on the side of the building, away from Seminole-Pratt Whitney Road, minimizing visual impact and maintaining the area's cohesive appearance.

Proposed Architectural Elevations:

North Elevation

South Elevation





East Elevation

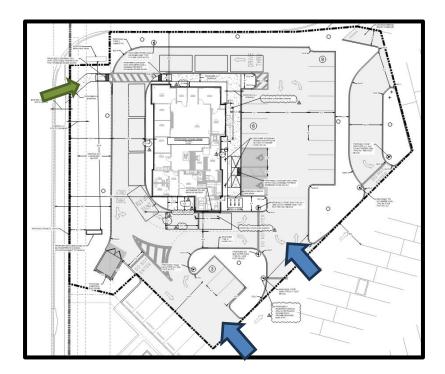


West Elevation



ACCESSWAYS AND CONNECTING SIDEWALKS

The subject application includes an internal pedestrian entrance from Seminole Pratt Whitney Road. Additionally, the site offers two points of vehicular access from the Grove Market Shopping Plaza parking lot.



FIRE SAFETY

The subject application was reviewed by the Palm Beach County Fire Department and provided no objections as shown below.



LANDSCAPE

The preliminary landscape plan has been reviewed and is in compliance with the City Code. Additional comments and actions might be forthcoming at time of full landscape permit review.

DRAINAGE

The proposed onsite impervious area for the bank is not increasing impervious area in the original permitted design and therefore no improvements are required to the existing stormwater facility.

TRAFFFIC

All material traffic comments were addressed. The total trips projected for this application do not exceed the approved trips for Westlake per the Development Order.

FINAL REMARKS

SPM-2024-02 will be heard by the City Council on February 10, 2025. The public hearing was advertised in compliance with the City's code. The subject application was reviewed by the City of Westlake staff (Planning and Zoning, Engineering), Seminole Improvement District (SID) and Palm Beach County Fire Rescue.

EXISTING CONDITIONS















EXISTING PROPERTY BOUNDARY PROPOSED PROJECT LIMITS

PROPOSED SIGN

BUILDING SETBACK PARKING COUNT

77-40-43-01-01-001-0010 Property Tax ID#(s): Site Control Name: Bank at Grove Market Westlake Description Site Plan Modification Petition Number: SPM-2024-02 Jurisdiction: City of Westlake Downtown Mixed Use Future Land Use Zoning: Mixed Use Building Setback: North: Required: 53.1 Provided: South: Required: Provided: 27.5 East: Required: 45.4 Provided: Required: 27.0 Provided: 21.5 Proposed Building Height

Existing Use(s)

Traffic Analysis Zone:

Proposed Queing Spaces

General Information

Proposed Bank w/ Drive Thru: Parking Lot Grocery Store - Building A: Retail Sales or Service Retail - Building B: Retail Sales or Service Future Retail - Building B: Retail Sales or Service Retail - Building C: Retail Sales or Service Future Outparcel - Building D: Retail Sales or Service

Conv. Store w/Gas Sales - Building E: Retail Sales or Service, Gasoline Stations

Proposed Bank w/ Drive Thru: Retail Sales or Service Grocery Store - Building A: Retail Sales or Service Retail - Building B: Retail Sales or Service Future Retail - Building B: Retail Sales or Service Retail - Building C: Retail Sales or Service Future Outparcel - Building D: Retail Sales or Service

Conv. Store w/Gas Sales - Building E: Retail Sales or Service, Gasoline Stations

Total Site Area (AC):	9.98 AC	434,729 S
Proposed Building Area		
Proposed Bank Building Area (GSF):	2,925 SF	0.67 %
Existing Building Area		
Grocery Storage - Building A (GSF):	52,145 SF	
Retail - Building B (GSF):	7,882 SF	
Future Retail - Building B (GSF):	4,000 SF	
Retail - Building C (GSF):	16,650 SF	
Future Outparcel - Building D (GSF):	8,317 SF	
Conv. Store w/Gas Sales - Building E(GSF):	2,500 SF	
Fuel Stations:	8 Statio	ns (4 Islands)
Total Building Area:	94,419 SF	21.7 %
ExistingOverall Site Area:	434,729 SF	
Pervious Area	109,590 SF	25.2 %
Impervious Area	325,139 SF	74.8 %
Existing Project Limits Area:	29,784 SF	
Pervious Area	9,559 SF	32.1 %
Impervious Area	20,225 SF	67.9 %
Proposed Overall Site Area:	434,729 SF	
Pervious Area	108,509 SF	25.0 %
Impervious Area	326,220 SF	75.0 %
Proposed Project Limits Area:	29,784 SF	
Pervious Area	8,478 SF	28.5 %
Impervious Area	21.306 SF	71.5 %

Importiodo / tod		21,000 G
Parking Data		
	Required	Proposed
Total ParkingSpaces	395	(374
Existing Retail/Grocery (1/240 SF)	319	293
Bankw/ Drive-Thru (1/300 SF)	10	18
Future Shopping Center Parking (1/240 SF)	17	19
Convenience Store w/Pumps (1/240 SF+ 1/pump)	14	9
Future Outparcel (1/240 SF)	35	35
ADA Accessible	9	15
Low Speed Electric Vehicle	-	(ž25
Motorcycle/Compact Car	=	13
Loading Spaces	3	3
Bicycle Parking	19	27
Parking Spaces within Project Boundary	Removed	Proposed
Standard Spaces	48	18
Low Speed Electric Vehicle	6	0
ADA Accessible	0	2

NOTES

1. THE MASTER SITE REQUIRED PARKING WILL BE REDUCED FROM 395 SPACES TO 374 SPACES, PER THE REQUIREMENTS OUTLINED IN THE CITY OF WEST LAKE ORDINANCE 2019-10, UNDER ARTICLE 8.9 SECTION 2A, SHARED PARKING.

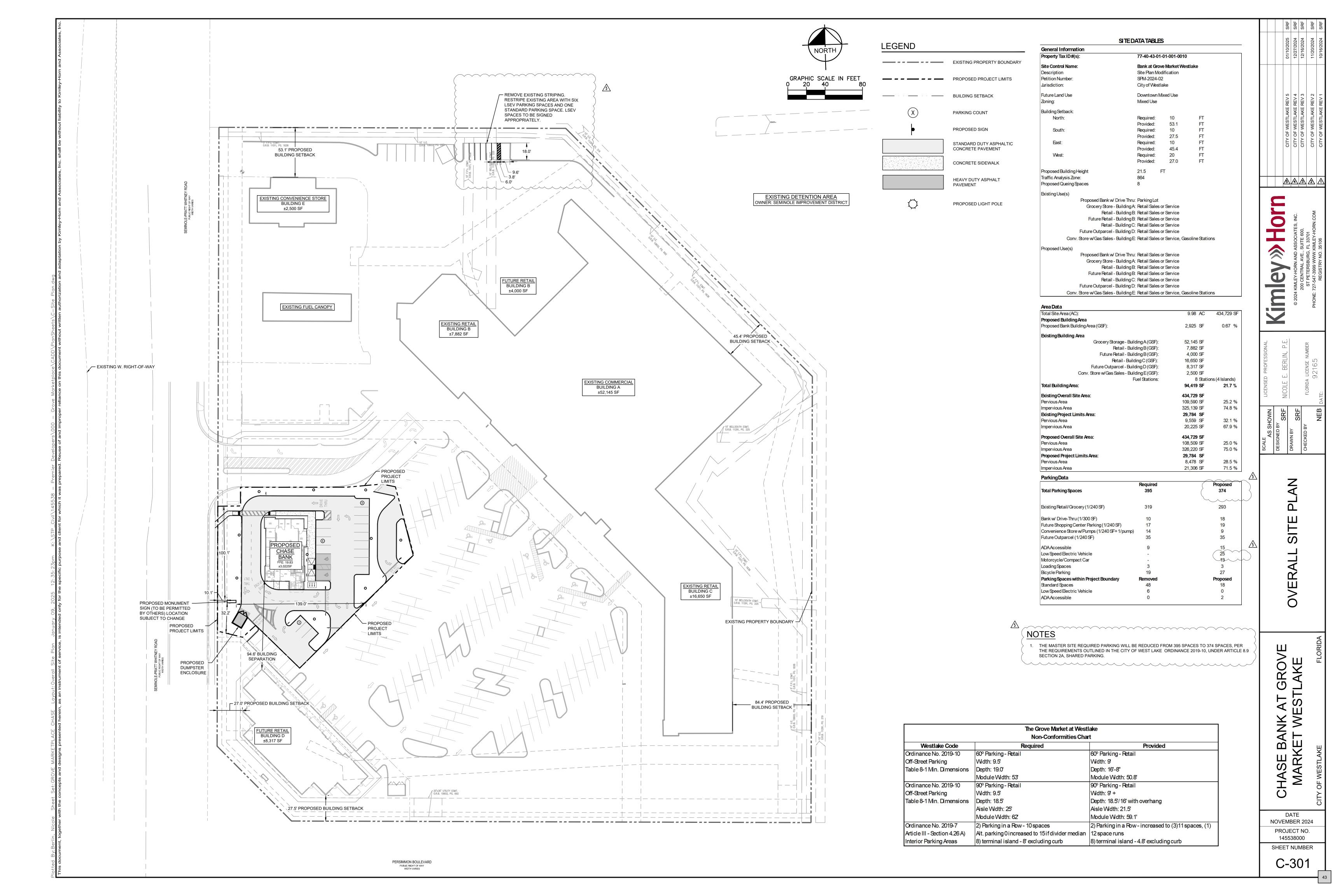
The Grove Market at Westlake											
	Non-Conformities Chart										
Westlake Code	Required	Provided									
Ordinance No. 2019-10	60° Parking - Retail	60° Parking - Retail									
Off-Street Parking	Wdth: 9.5	Width: 9									
Table 8-1 Min. Dimensions	Depth: 19.0'	Depth: 16'-8'									
	Module Width: 53'	Module Width: 50.8'									
Ordinance No. 2019-10	90° Parking - Retail	90° Parking - Retail									
Off-Street Parking	Wdth: 9.5	Width: 9 +									
Table 8-1 Min. Dimensions	Depth: 18.5'	Depth: 18.5'/16' with overhang									
	Aisle Width: 25'	Aisle Width: 21.5'									
	Module Width: 62	Module Width: 59.1'									
Ordinance No. 2019-7	2) Parking in a Row - 10 spaces	2) Parking in a Row - increased to (3)11 spaces, (1)									
Article III - Section 4.26 A)	At. parking 0 increased to 15 if divider median	12 space runs									
Interior Parking Areas	8) terminal island - 8' excluding curb	8) terminal island - 4.8' excluding curb									

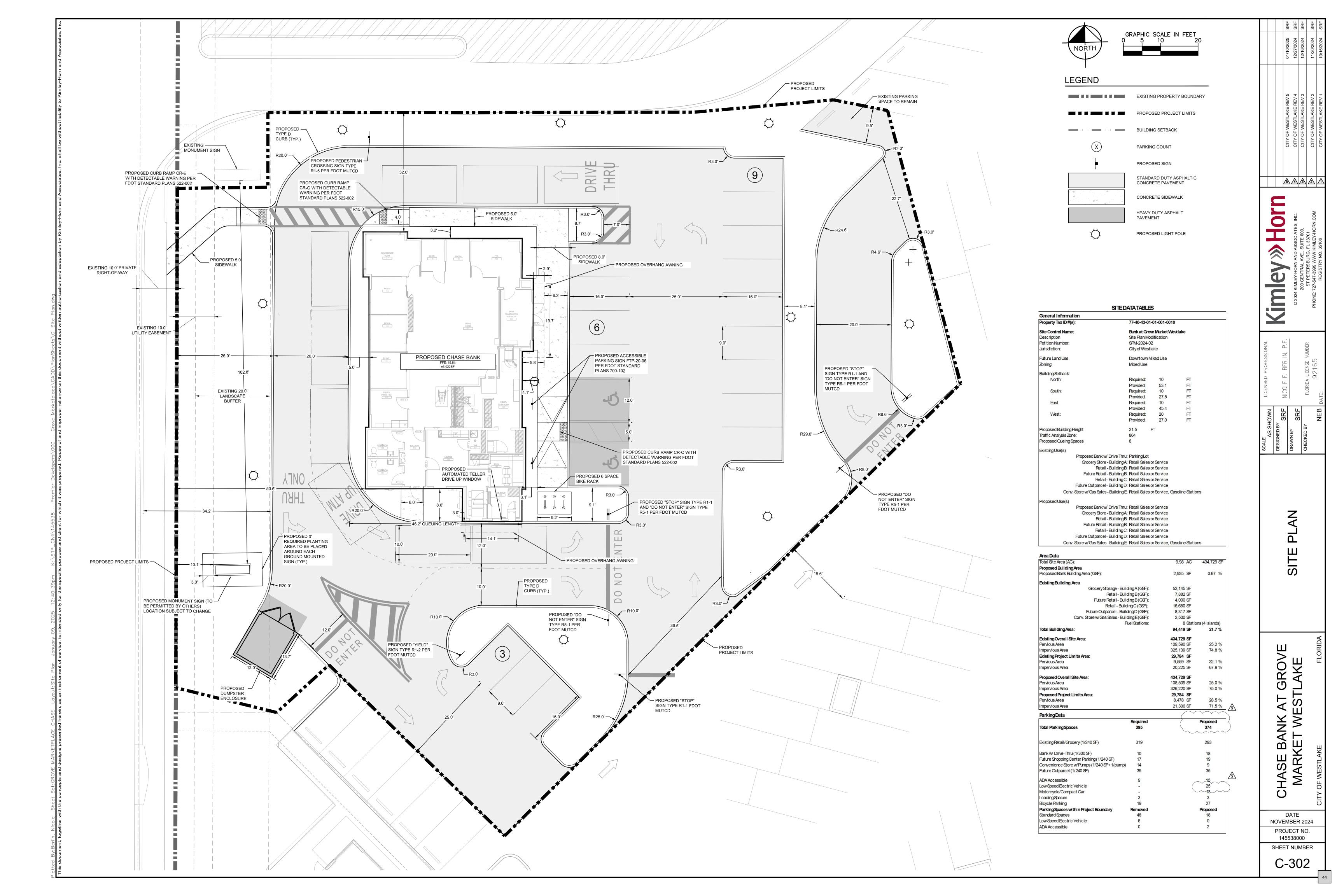
Hor Kimley

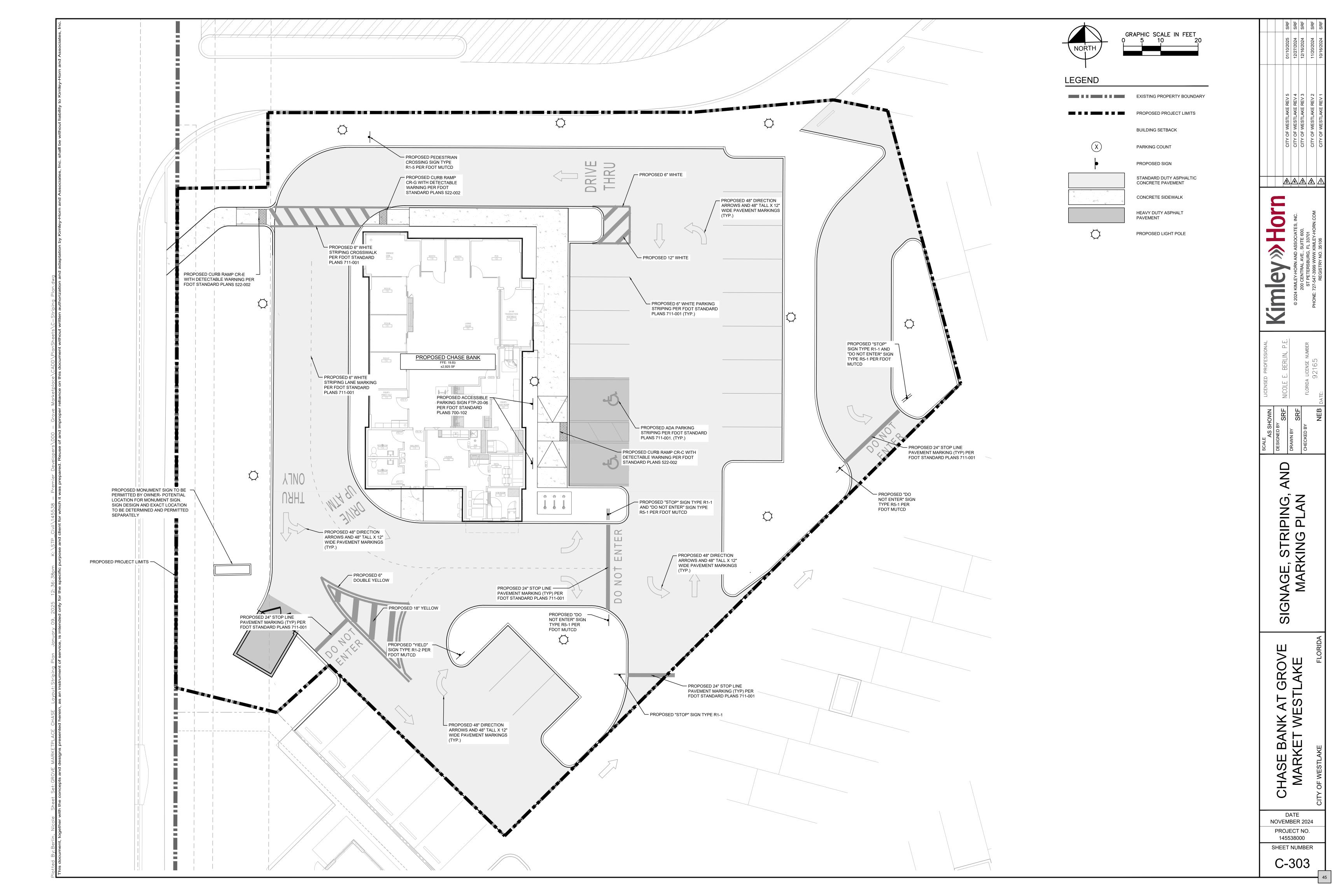
Digitally signed by
Nicole Berlin
Reason: This
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dectronically signed and sealed using a SHA authentication code. Printed copied of this document are ridt considered signed and sealed and the SHA authentication code must be verified on any electronic

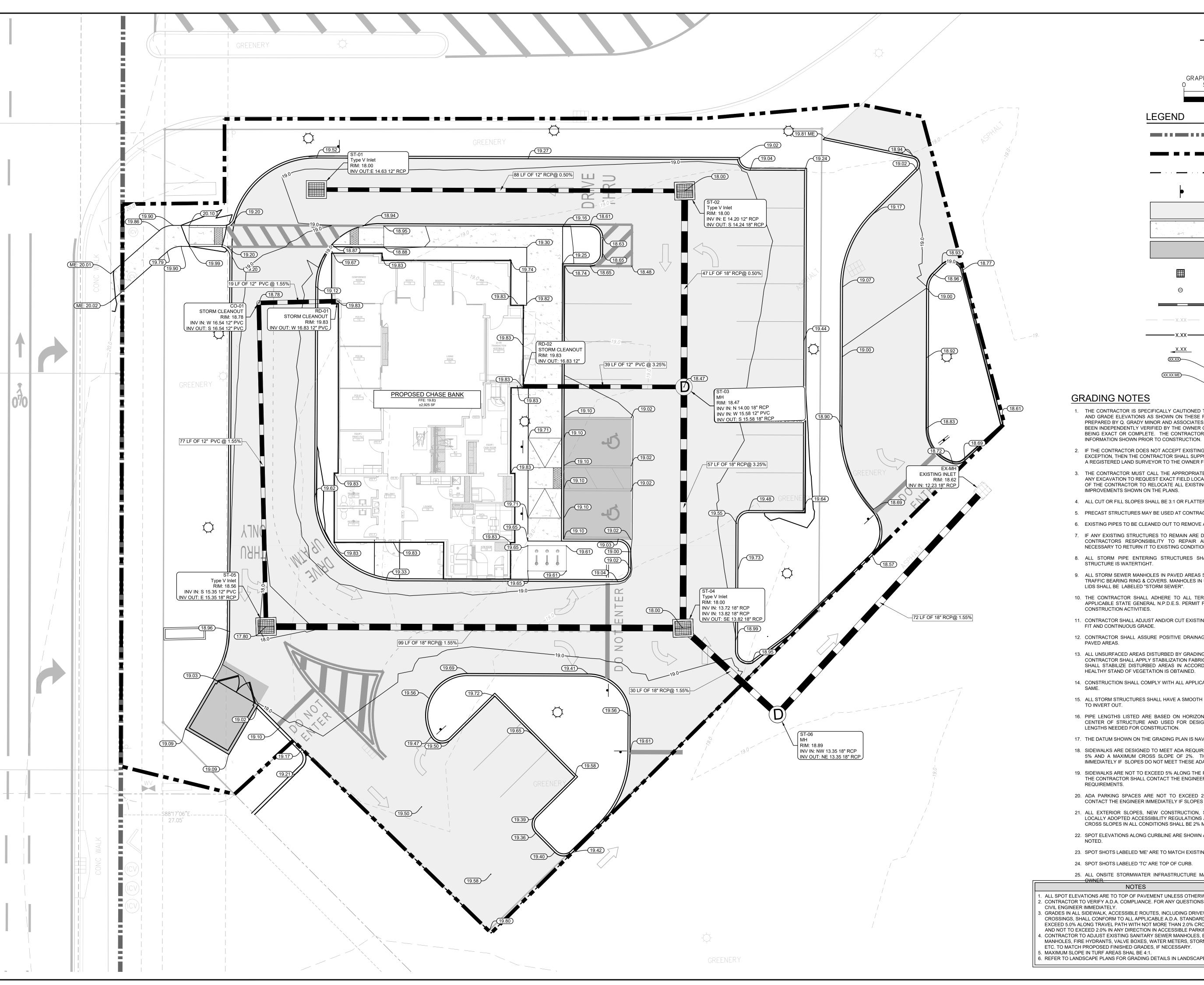
NOVEMBER 2024 PROJECT NO. 145538000

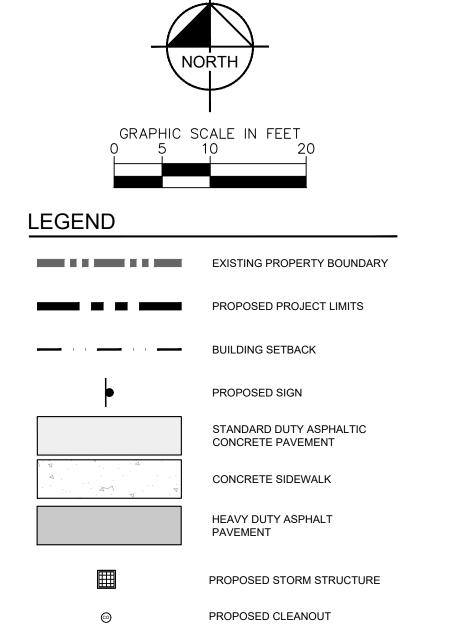
SHEET NUMBER C-300











PROPOSED STORM PIPE

EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED SPOT GRADE

PROPOSED SLOPE

PROPOSED MATCH EXISTING SPOT GRADE P P P P

<u>\$</u> \(\delta \) \(\delta \) \(\delta \)

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE EXISTING SITE LAYOUT, UTILITY INVERTS, AND GRADE ELEVATIONS AS SHOWN ON THESE PLANS IS TAKEN FROM CAD LINEWORK AND PLANS PREPARED BY Q. GRADY MINOR AND ASSOCIATES, P.A. DATED 02/26/2024. THE INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING
- 2. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- 3. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 5. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- 6. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- 7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT
- 9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- 10. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH
- 11. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH
- 12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND
- 13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A
- 14. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO
- 15. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN
- 16. PIPE LENGTHS LISTED ARE BASED ON HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND USED FOR DESIGN. CONTRACTOR TO FIELD VERIFY ACTUAL PIPE LENGTHS NEEDED FOR CONSTRUCTION.
- 17. THE DATUM SHOWN ON THE GRADING PLAN IS NAVD 88.
- 18. SIDEWALKS ARE DESIGNED TO MEET ADA REQUIREMENTS WITH A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
- 19. SIDEWALKS ARE NOT TO EXCEED 5% ALONG THE PATH UNLESS SPECIFICALLY DESIGNED OTHERWISE. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA
- 20. ADA PARKING SPACES ARE NOT TO EXCEED 2% IN ANY DIRECTION. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF SLOPES DO NOT MEET THESE ADA REQUIREMENTS.
- 21. ALL EXTERIOR SLOPES, NEW CONSTRUCTION, SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS AND SHALL BE MEASURED WITH A 24" SMART LEVEL. CROSS SLOPES IN ALL CONDITIONS SHALL BE 2% MAXIMUM.
- 22. SPOT ELEVATIONS ALONG CURBLINE ARE SHOWN AT THE EDGE OF PAVEMENT UNLESS OTHERWISE
- 23. SPOT SHOTS LABELED 'ME' ARE TO MATCH EXISTING GRADES.
- 24. SPOT SHOTS LABELED 'TC' ARE TOP OF CURB.
- 25. ALL ONSITE STORMWATER INFRASTRUCTURE MAINTENANCE IS TO BE MAINTAINED BY THE LAND

. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. 2. CONTRACTOR TO VERIFY A.D.A. COMPLIANCE. FOR ANY QUESTIONS CONTACT

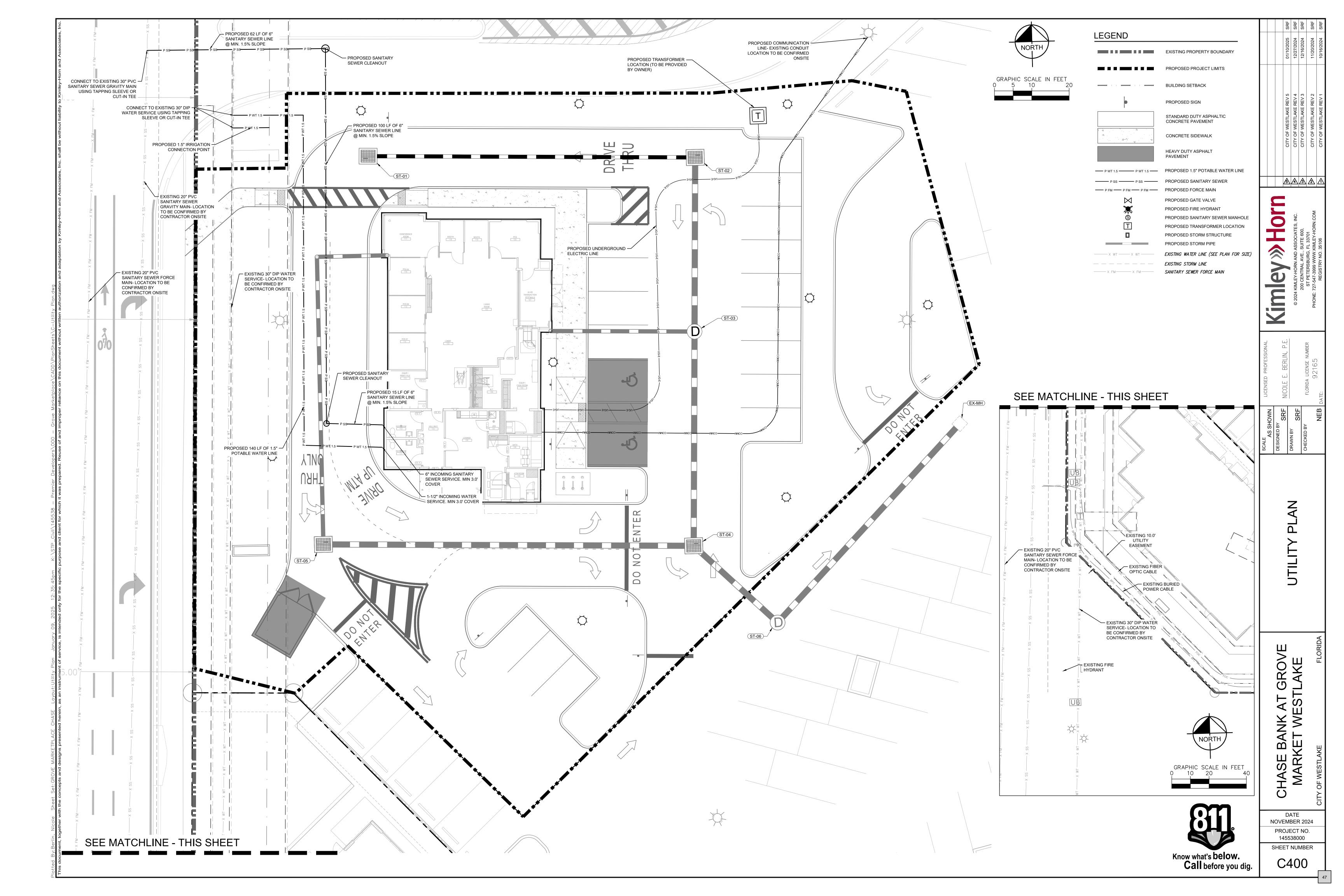
. GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSINGS, SHALL CONFORM TO ALL APPLICABLE A.D.A. STANDARDS: NOT TO EXCEED 5.0% ALONG TRAVEL PATH WITH NOT MORE THAN 2.0% CROSS SLOPE AND NOT TO EXCEED 2.0% IN ANY DIRECTION IN ACCESSIBLE PARKING AREAS CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, STORM MANHOLES

6. REFER TO LANDSCAPE PLANS FOR GRADING DETAILS IN LANDSCAPE AREAS.



NOVEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER

DATE





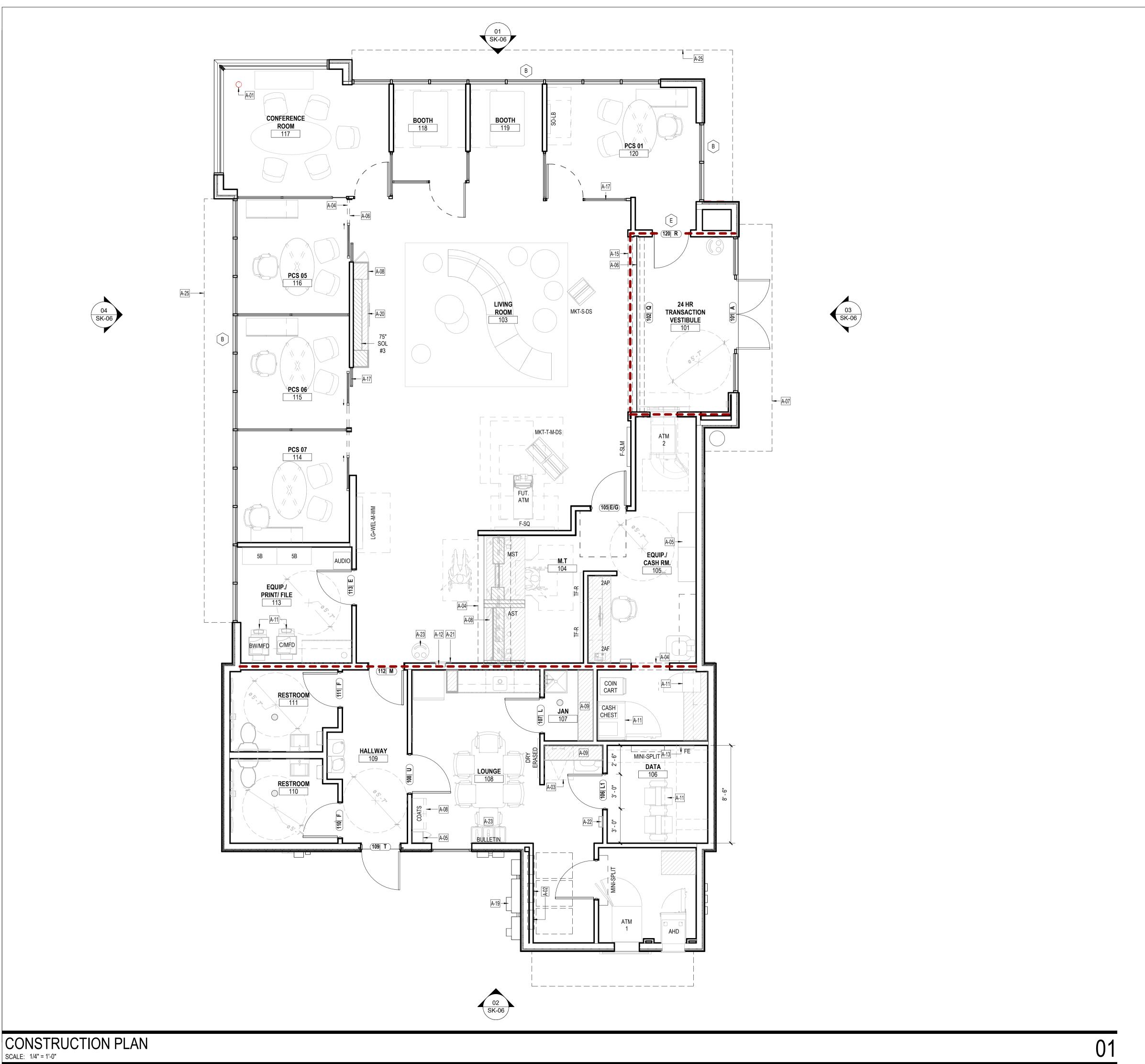
Site Plan Review Narrative for Bank at Grove Market Westlake

December 2024

The proposed project includes the redevelopment of part of a mixed-use parcel into a bank with an associated automatic teller drive thru. The total acreage of the subject property is 9.98 acres, and the proposed project area is 0.73 acres for the proposed bank. The property is located at 5060 Seminole Pratt Whitney Road, Loxahatchee FL, 33470 (Palm Beach County Parcel ID: 77-40-43-01-01-001-0010). The site is an existing parking lot for an Aldi anchored commercial shopping center. To the north and east of the site is the commercial shopping center and to the south and west of the site is the right of way. Directly north of the site within the shopping center is an existing gas station.

The site is currently zoned Mixed Use with a future zoning distinction of Mixed Use. Commercial uses include activities within land areas that are predominantly connected with the sale, rental, and distribution of products or the performance of services, including offices and medical facilities. Access to the proposed bank is via two existing driveways. One right in/right out driveway on Seminole Pratt Whitney Road and one full-access driveway along Persimmon Blvd.

The City of Westlake zoning code requires parking spaces to be a minimum of 9 feet x 16 feet, and one space per 300 sq. ft. gross floor area for a total of 10 required parking spaces for the 2,925 SF proposed bank. The master site has been analyzed to qualify for a shared parking study to reduce the amount of required parking spaces from 395 spaces to 374 spaces. The property is located within Flood Zone AE as determined from the Federal Emergency Management Agency (FEMA) panel #12099C0345F. There is an existing stormwater management facility (SWMF) located on site which was previously permitted as part of South Florida Water Management District Permit No. 50-106510-P. The project will be permitted under the master stormwater plan.



SHEET NOTES

A-02 ELECTRICAL PANELS: LOCKING ENCLOSURES FOR ELECTRICAL MAIN SERVICE AND DISTRIBUTION ROOF ACCESS LADDER & SCUTTLE: REFER TO ROOF PLAN AND DETAIL AS SOFFIT / BULKHEAD ABOVE: REFER TO REFLECTED CEILING PLANS,

A-01 STRUCTURAL COLUMN: COORDINATE WITH STRUCTURAL ENGINEERING

- SECTIONS, DETAILS AND INTERIOR ELEVATIONS. PROVIDE DEFLECTION TRACK AT UNDERSIDE OF ROOF / FLOOR STRUCTURE ABOVE TO ALLOW BULKHEAD TO REST ON DEMOUNTABLE PARTITION SYSTEM BELOW.
- FURNITURE: REFER TO FURNITURE SCHEDULE- COORD. ELEC., DATA AND SECURITY CONNECTIONS AND TERMINATIONS FLOOR MATERIAL TRANSITION: REFER TO FLOOR TRANSITION SHEET
- ENTRANCE CANOPY:SHOP FABRICATED PRE-FINISHED CUSTOM ALUMINUM CANOPY UNIT WITH INTEGRAL ELECTRICAL AND DRAINAGE SYSTEMS FASTENDED TO BUILDING STRUCTURE- REFER TO ELEVATIONS AND WALL CUSTOM SHOP-FABRICATED BUILT-IN MILLWORK: REFER TO INTERIOR
- ELEVATIONS- SUBMIT SHOP DRAWINGS AND FINISH SAMPLES TO ARCHITECT ADJUSTABLE SHELVES: REFER TO INTERIOR ELEVATIONS- PROVIDE
- BLOCKING IN WALL AS REQUIRED EQUIPMENT / APPLIANCE: REFER TO EQUIPMENT INSTALLATION MANUAL-COORDINATE WITH EQUIPMENT INSTALLER- PROVIDE ELECTRICAL, DATA AND SECURITY ROUGH-IN WORK AS REQUIRED- FRAME WALL OPENING AND PREPARE FLOOR SUBSTRATE AS REQUIRED. PROVIDE BLOCKING IN WALL AS
- FIRE EXTINGUISHER AND CABINET: PROVIDE THE MINIMUM NUMBER AS REQUIRED AND COORDINATE LOCATIONS WITH CODE REQUIREMENTS AND ADJACENT ACCESSIBILITY CLEARANCES
- WALL-MOUNT FIRE EXTINGUISHER: CARBON DIOXIDE ONLY / WATER OR DRY CHEMICAL TYPES NOT PERMITTED, CLASS C OR B-C, 5 LB. OR SMALLER, SET WALL BRACKET TO KEEP HANDLE <48 AFF.
- A-15 EXTEND 24-HOUR VESTIBULE PARTITION AND BULKHEAD FRAME AND FINISH TO UNDERSIDE OF ROOF DECK
- DEMOUNTABLE PARTITION SYSTEM WITH INTEGRAL DOORS AND POWER. DATA AND SECURITY CONDUIT SYSTEMS, ANCHORED TO BUILDING WALLS AND FLOOR. SOFFIT AND BULKHEAD FRAMING MUST FOLLOW THE FURNITURE VENDOR'S DEMOUNTABLE PARTITION SHOP DRAWINGS TO ENSURE ALIGNMENT. THE AOR'S DIMENSIONED PLAN DRAWING IS SUPERSEDED BY THE PARTITION SHOP DRAWINGS. REFER TO FURNITURE VENDOR'S RETAIL BRANCH - PRIVACY WALL ARCHITECTURAL WALL STANDARDS FOR PLANNING AND COORDINATION DETAILS.
- A-19 UTILITY EQUIPMENT: REFER TO EXTERIOR ELEVATIONS, SITE PLAN, AND ELECTRICAL AND PLUMBING DRAWINGS A-20 AUDIO/VIDEO EQUIPMENT: REFER TO INTERIOR ELEVATIONS
- REGULATORY SIGNAGE: ADHESIVE PLACCARD PROVIDED AND INSTALLED BY OWNER'S MERCHANDISING OR SIGNAGE VENDOR (N.I.C.). FIRE ALARM EQUIPMENT LOCATION: FIRE ALARM CONTROL PANEL COMMUNICATOR, DOCUMENTATION ENCLOSURE, AND ASSOCIATED

EQUIPMENT/DEVICES; NOT PERMITTED IN DATA ROOM OR AREAS VISIBILE

- A-23 REFUSE BIN- REFER TO MISCELLANEOUS EQUIPMENT SCHEDULE A-25 SUN SHADES ABOVE.
- TO CUSTOMERS.

ARCHITECT:

CHASE

CHASE #48100R010156

JPM CHASE RETAIL BANKING CENTER



235 ALCAZAR AVENUE CORAL GABLES, FL 33134 OFFICE: (305) 442-1188 FAX: (305) 445-1509 WWW. ADCINTERNATIONAL.NET

GENERAL NOTES

LEGEND

XXX

(A)---- COLUMN GRID

OFFICE - ROOM NAME ### + ROOM NUMBER

DOOR TYPE

DOOR NUMBER

REVISION REFERENCE

DIRECTION OF ELEVATION

SHEET WHERE SHOWN

- AREA TO BE DETAILED

FIRE EXTINGUISHER CABINET

BLOCKING REQUIRED FOR

DETAIL NUMBER

AX.X - SHEET WHERE SHOWN

(F.E.C.)

— ELEVATION NUMBER ON SHEET

SEE A-608 FOR INTERIOR FINISH MATERIALS SCHEDULE. WRAP AND FINISH END OF WALLS WITH GYP. BD., CORNER BEADS, TAPE. SECURITY CAMERA LOCATIONS TO BE COORDINATED WITH OWNER'S SECURITY VENDOR.

SEE SHEET A-102 FOR CEILING LAYOUT.

ALL GYP. BD. TO BE 5/8 INCH THICK UNLESS NOTED OR SPECIFIED OTHERWISE; FURNISH TYPE X FOR FIRE RATED PARTITIONS AND FINISHED TO A LEVEL 4 UNLESS OTHERWISE NOTED ON INTERIOR FINISH SCHEDULE.

REFERENCE TO PARTITION TYPE

SHEET NOTES NEW PARTITION **QUALIFIER'S LICENSE NUMBER** LOURDES F. ECHEMENDIA, R.A.

CONSULTANT

ISSUE DATE AND DESCRIPTION No DATE ISSUE DESCRIPTION

AR0014424

No DATE DESCRIPTION

PROJECT NAME: LOXAHATCHEE WESTLAKE

SHEET NUMBER:

SK-01

SHEET NAME:

CHECKED BY:

CONSTRUCTION PLAN

DATE: PROJECT NUMBER: 08/27/2024 23175

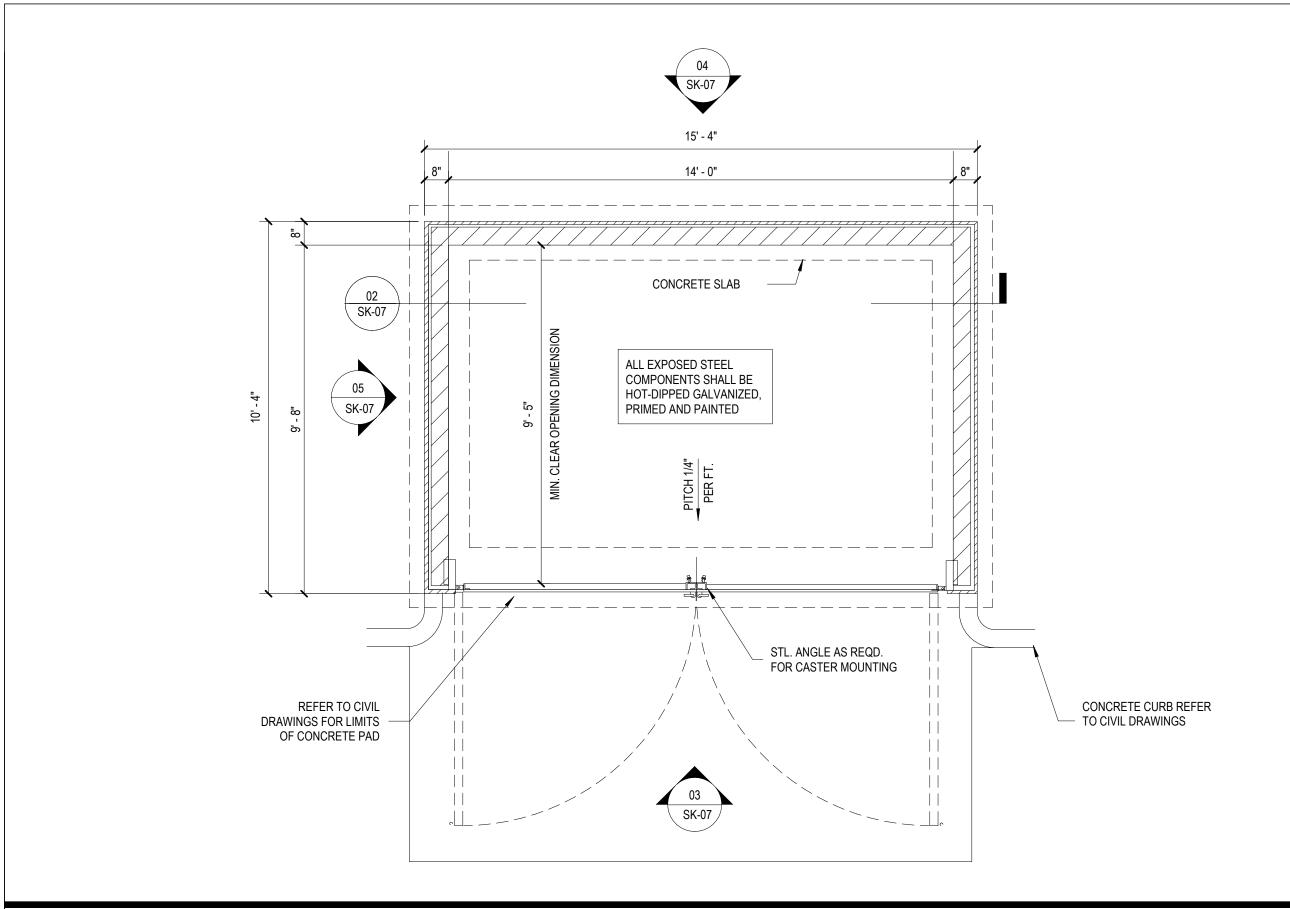
MILLWORK LIMITS OF DRAFTSTOPPING

SCALE: $1/4" = 1'-0" \left| \frac{\alpha}{6} \right|$

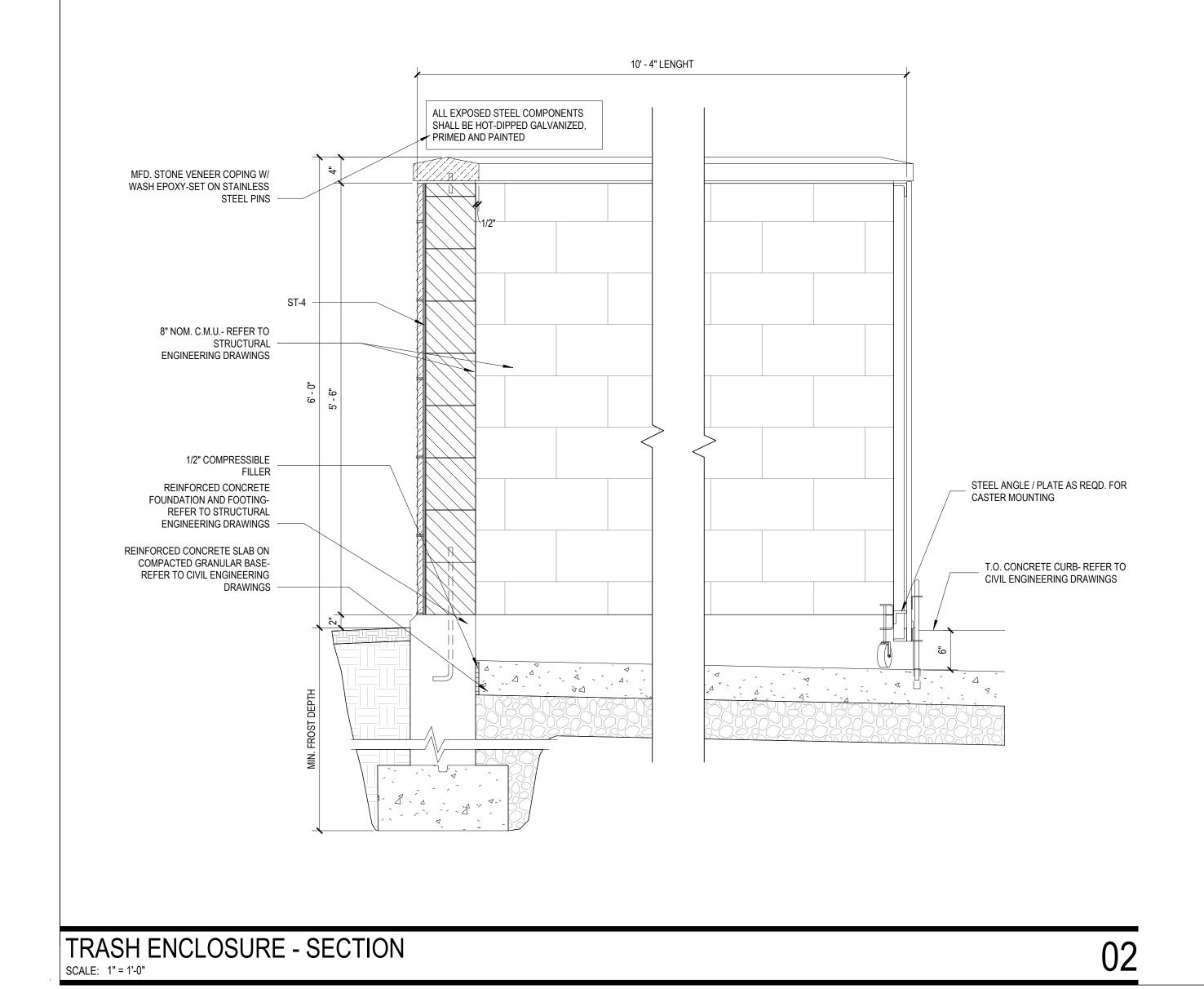


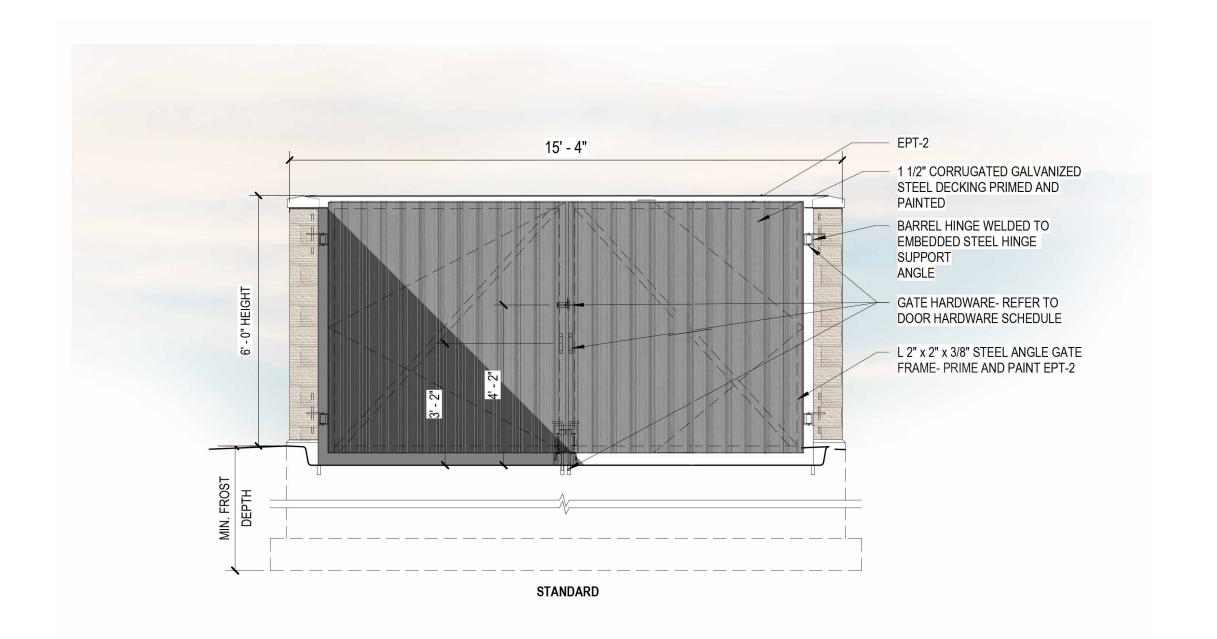
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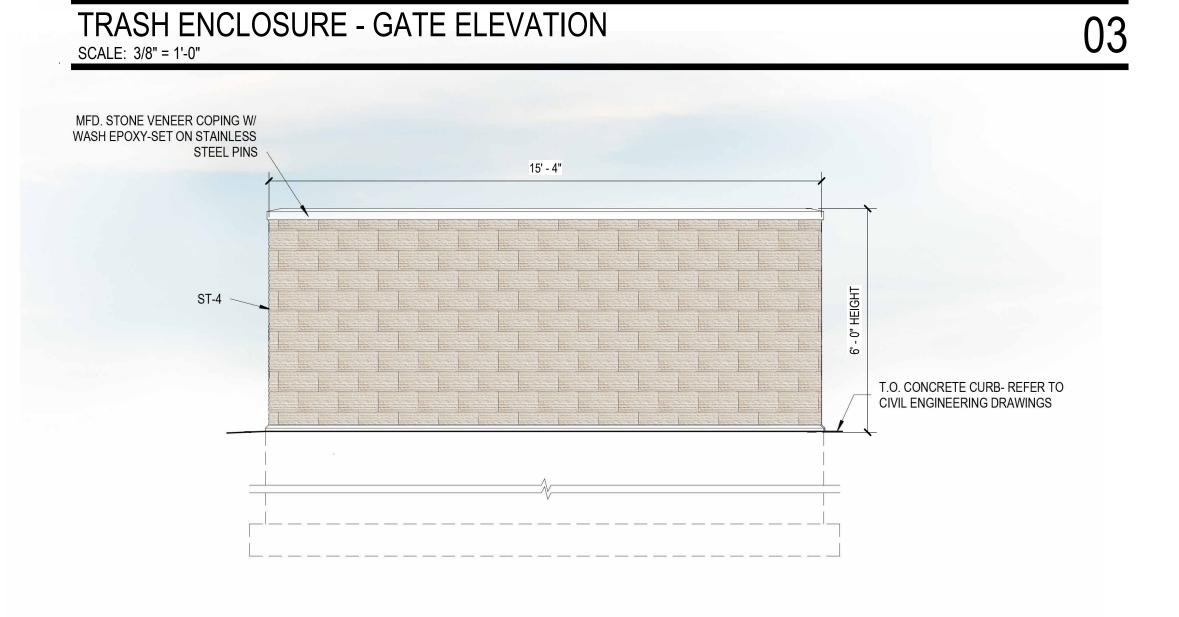
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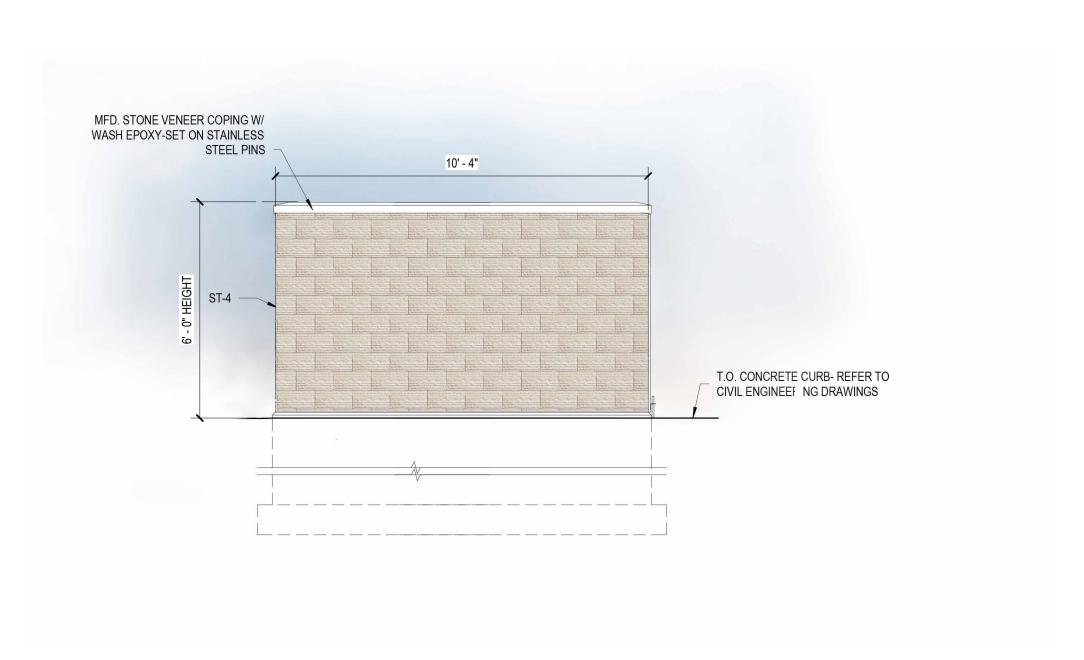




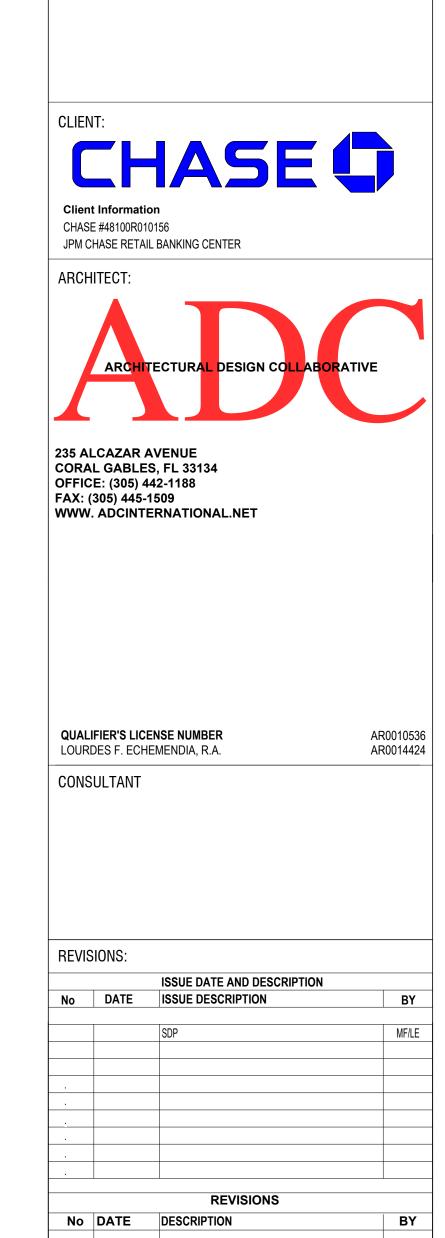




TRASH ENCLOSURE - BACK ELEVATION SCALE: 3/8" = 1'-0"



TRASH ENCLOSURE - SIDE ELEVATION	
OOALE 2/08 41.08	
SCALF: 3/8" = 1'-0"	



SHEET NUMBER:

PROJECT NAME:

SK-07

TRASH ENCLOSURE PLAN AND ELEVATIONS

PROJECT NUMBER:

23175

CHECKED BY:

LE

DRAWN BY:

CL

SCALE:

As indicated

PREPARE	D BY AND RETURN TO:	
	DECLARATION OF UNITY OF CONTROL FOR PARKING	
T 2025 by	HIS DECLARATION of Unity of Control ("Declaration") is made this	_ day January and
	(the "Declarants").	_

RECITALS:

- A. The Declarants are the owners of separate properties in Palm Beach County, Florida, more particularly described by the legal description as contained on Exhibit A, attached hereto (collectively the "Property"), which Property is intended to be developed for non-residential uses in accordance with the following zoning approval: Application No. SPM-2024-02 and Resolution No. with a site plan approved by The City of Westlake ("Westlake"), Palm Beach County, Florida, a copy of which is attached hereto as Exhibit B.
- B. The Declarants have agreed with Westlake that, for the proper development of the Property, the Declarant shall provide for mutual and reciprocal right-of-way for the purpose of ingress and egress, and parking within the Property, the enjoyment of which cross easements shall be shared by the respective parties owning any portion of the Property and their respective heirs, successors, assigns and successors in title to all or part of the Property and to the tenants, lessees, agents, employees, guests and invitees of any owner of the Property or any portion thereof and guests and invitees of tenants and lessees legally occupying the Property.

NOW, THEREFORE, in consideration of the grants and agreements herein made and in consideration of \$10.00 in hand paid, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Declarants hereby subject the Property to the following restrictions:

- 1. Recitals. The foregoing recitals are incorporated herein by reference as though set forth in detail in this place.
- 2. Unified Control. All parking areas on the Property are and will be part of a single unified planned development, regardless of ownership. In furtherance of the foregoing, the Property may be developed in accordance with the Site Plan attached to this Declaration as Exhibit B and may meet the land development requirements as to parking as if they are one lot.

- 3. Easements. The Declarants hereby dedicate, grant and establish for the benefit of the Property, and the owners of any portion thereof (as well as their employees, agents, guests, invitees, mortgages, tenants, lessees, subtenants, licensees, heirs, successors and assigns) the following easements:
 - a. A non-exclusive easement for the right-of-way of pedestrians and vehicular ingress and egress over on and across the areas within the Property constituting driveways and roadways, as shown on the Site Plan.
 - b. A non-exclusive easement for the parking of vehicles over, on and across areas within the Property constituting parking areas.
 - e. The owners of the Property shall provide for the perpetual operation and maintenance of all parking facilities, which are not provided, operated or maintained at public expense.
- 4. Covenants Run with the Land. All of the covenants, easements and restrictions herein will be perpetual and will constitute covenants running with the land, will be binding upon any and all persons and entities, their respective successors in interest, assigns, heirs and personal representatives having or hereafter acquiring any right, title or interest in and to all or any portion of the Property, and all benefits deriving therefrom will accrue to the benefit of all persons and entities, their respective successors in interest, tenants, licensees, assigns, heirs and personal representatives having or hereafter acquiring any right, title or interest in all or any portion of the Property.
- 5. Modification and Termination. This Declaration may not be terminated or modified in any way except by means of an instrument executed by the owners of the Property after the prior approval of the Westlake City Council.
- 6. Owners' Restrictions. No owner of any portion of the Property shall take or fail to take any action or do or fail to do anything which would, or have the effect of, impeding, obstructing or preventing any other person or entity having rights under this Declaration from their full and complete use and enjoyment of the easements herein granted. Without limiting the generality of the foregoing, free and full access to, from and across all portions of the Property which constitute parking areas, driveways and roadways on the Site Plan shall not be blocked, obstructed or impeded.

7. Miscellaneous.

a. Each covenant in this Declaration is an independent and separate covenant. If any term or provision of the Declaration or the application thereof to any person or circumstance should to any extent be invalid or unenforceable, the Remainder of

the Declaration and application of such term or provision to persons or circumstances other than those to which it is held invalid or unenforceable will not be affected thereby, and each term and provision of this Declaration will be valid enforceable to the fullest extent permitted by law.

- b. This covenant shall be recorded in the Public Records of Palm Beach County Florida.
- c. Failure of any party to insist upon or enforce its rights under this Declaration will not constitute a waiver of such rights.
- d. This Declaration and the rights created hereby, including, but not limited to, the cross easements shall be paramount and superior to all leases, conveyances, transfers, assignments, contracts, mortgages, deeds of trust and other encumbrances affecting the Property, from and after the date of recording of this Declaration. Any person acquiring possession to, title of, or interest in the Property or any portion thereof shall do so subject to this Declaration. Any transferee of any interest in any portion of the Property by any means whatsoever shall be deemed, by acceptance of such interest, to have agreed to be bound by all of the provisions of this Declaration. Nothing contained in this Declaration shall preclude the Declarants or their successors in interest to the Property from imposing further covenants not inconsistent with the terms and conditions of this Declaration.
- e. Venue for any legal proceeding regarding this Declaration shall be in Palm Beach County, Florida.

[Signature page follows]

IN WITNESS WHEREOF, this instrumen written.	t is executed on the day and year first above
Signed, sealed, executed and acknowledged on thi	s day of, 202 <u>5</u> .
Witnesseth:	Owner:
Printed Name:	By:
Printed Name:	

EXHIBIT A

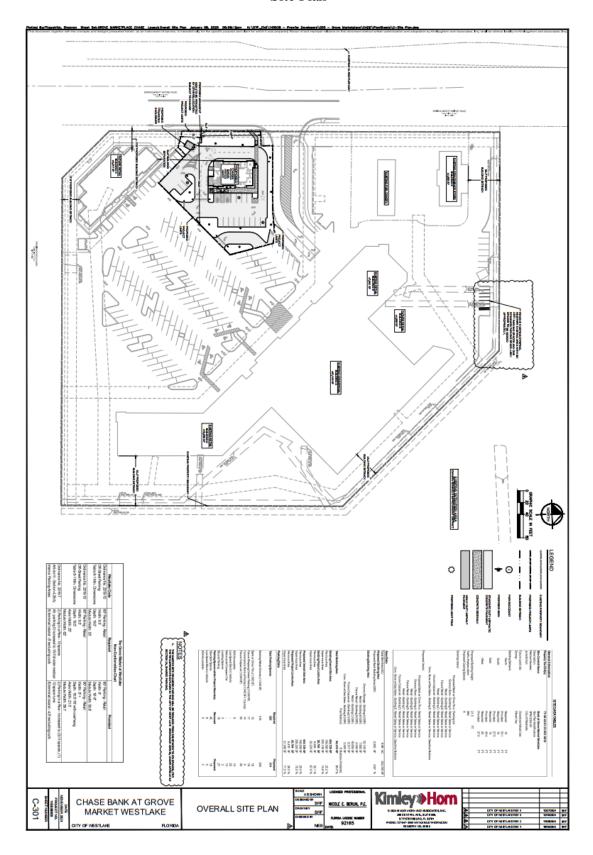
Legal Description

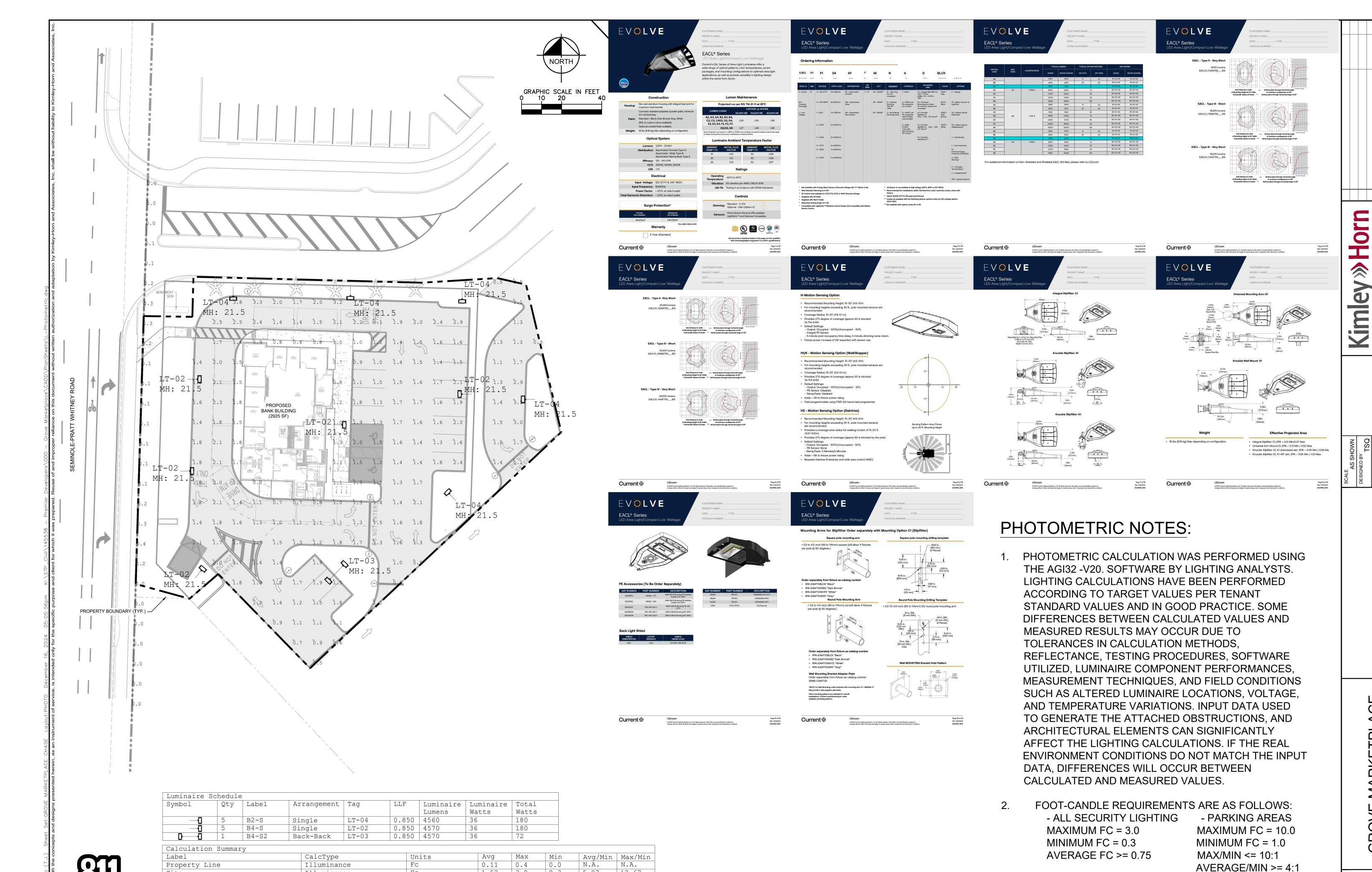
A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE N01°42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE N01°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25; THENCE N01°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.

EXHIBIT B

Site Plan





5.07

1.25

1.78

3.14

0.3

0.8

0.9

0.5

1.60

1.57

2.9

3.8

Illuminance

Illuminance

Illuminance

Illuminance

Fc

Site

Know what's below.

Call before you dig.

Parking

Roadway

Building Entrance

12.67

1.50

3.22

7.60

DATE
12/16/2024

PROJECT NO.
145538000

3. ALL LIGHT POLES TO BE MOUNTED AT 21.5 FEET

ABOVE GRADE

MH = MOUNTING HEIGHT

GROVE

TRIC

PHOTOME

PH-100

TRAFFIC PERFORMANCE STANDARDS ANALYSIS

GROVE MARKETPLACEWESTLAKE, FL



TRAFFIC PERFORMANCE STANDARDS ANALYSIS

GROVE MARKETPLACE

WESTLAKE, FL

Prepared by:



477 S Rosemary Avenue, Suite 215 West Palm Beach, Florida 33401

(561) 840-0848 TEL

January 9, 2025 Kimley-Horn Project # 145538000



This item has been digitally signed and sealed by Christopher C. Hatton, P.E. on the date indicated here. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. 2025.01.09 12:03:12 - 05'00'

Christopher Hatton, P.E. Florida Registration Number 48905



TABLE OF CONTENTS

INTRODUCTION	1
PROJECT TRAFFIC	3
Existing and Proposed Land Uses	3
Trip Generation	3
TRAFFIC DISTRIBUTION	5
SIGNIFICANCE ANALYSIS	7
BACKGROUND TRAFFIC	3
TEST 1 PART 1 INTERSECTION ANALYSIS	9
Sycamore Drive & Seminole Pratt Whitney Road	9
Persimmon Boulevard & Seminole Pratt Whitney Road	9
Town Center Parkway South & Seminole Pratt Whitney Road	9
Town Center Parkway North & Seminole Pratt Whitney Road10)
60 th Street North & Seminole Pratt Whitney Road10)
TEST 1 PART 2 ROADWAY LINK ANALYSIS1	1
TEST 2 SIGNIFICANCE ANALYSIS1	3
DRIVEWAY ACCESS14	4
Driveway Classification14	4
CONCLUSION 10	ล



LIST OF TABLES

Table 1: Phase I Trip Generation Calculation	4
Table 2: Test 1 AM Peak Hour Significance Analysis	7
Table 3: Test 1 PM Peak Hour Significance Analysis	7
Table 4: CMA Summary	10
Table 5: Test 1 PM Peak Hour Capacity Analysis	12
LIST OF FIGURES	
Figure 1: Site Location	2
Figure 2: Project Traffic Assignment	6
Figure 3: Driveway Volumes	15



INTRODUCTION

Kimley-Horn and Associates, Inc. has updated the following Traffic Performance Standards (TPS) analysis based upon comments received on December 20, 2024 and January 6,2025, from the City of Westlake to evaluate future traffic conditions following the proposed additional development at 5060 Seminole Pratt Whitney Road in Palm Beach County, Florida. Figure 1 illustrates the location of the project site. The Parcel Control Number (PCN) for the project site is 77-40-43-01-01-001-0010. The proposed site plan and PCN summary are included in the Appendix, for reference.

The existing site area consists of 76,677 square feet of retail use and a 2,500 square foot convenience store with 8 fueling positions. This application proposes to add an additional 4,000 square feet of retail to the existing retail building and a 2,925 square foot bank with drive-through. Furthermore, an 8,317 square foot retail building is also planned for future development on a portion of this site under a separate application that is currently under review. The trip generation associated with the proposed 8,317 square foot retail building has been accounted for in this analysis. Other aspects of the previously approved plan, including driveway access locations, are proposed to remain unchanged.

The purpose of this updated TPS analysis is to evaluate the impacts of the proposed development on the surrounding roadway network and determine if adequate capacity is available to accommodate future traffic volumes using the criteria defined in Article 12 of the Palm Beach County Unified Land Development Code (ULDC) for buildout in 2030. This report summarizes project trip generation, project trip distribution, link analyses and driveway criteria.

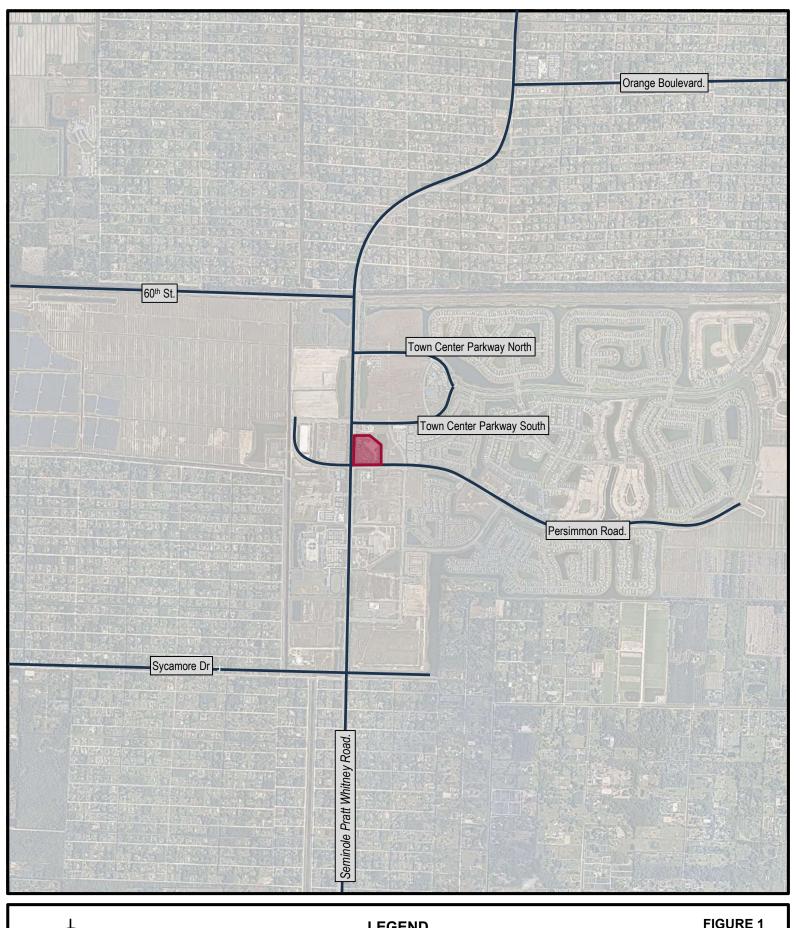






FIGURE 1 Grove Marketplace KH #145538000 Site Location





PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project and the distribution and assignment of that traffic over the study roadway network.

Existing and Proposed Land Uses

As noted previously, the existing site currently contains 76,677 square feet of retail space and a 2,500 square foot convenience store with 8 fueling positions. The proposed additional development under this application will add an additional 4,000 square feet of retail space and a 2,925 square foot drive in bank to the existing site. Under a separate application that is currently under review, an additional 8,317 square feet of retail use is proposed. Upon development of the proposed and pending applications, the site will feature a total of 88,994 square feet of retail space, a 2,500 square foot convenience store with 8 fueling positions, and a 2,925 square foot drive in bank with drive-through.

Trip Generation

The trip generation potential of the site was calculated based upon the trip generation rates and equations published by the Palm Beach County Traffic Division and in ITE's *Trip Generation Manual, 11th Edition.* As shown in Table 1, for significance and analysis purposes, the net change in trips from this proposed application plus the currently pending application, the site is anticipated to generate an increase of 866 net new external daily trips, an increase of 42 net new external AM peak-hour trips (26 in, 16 out), and an increase of 100 net new external PM peak-hour trips (48 in, 52 out) in comparison to the current site development.

Based on the impact analysis guidelines established in Article 12 of the Palm Beach County ULDC, it was determined that the radius of development influence is one mile for Test 1 and Test 2 analyses.



Table 1: Phase I Trip Generation Calculation

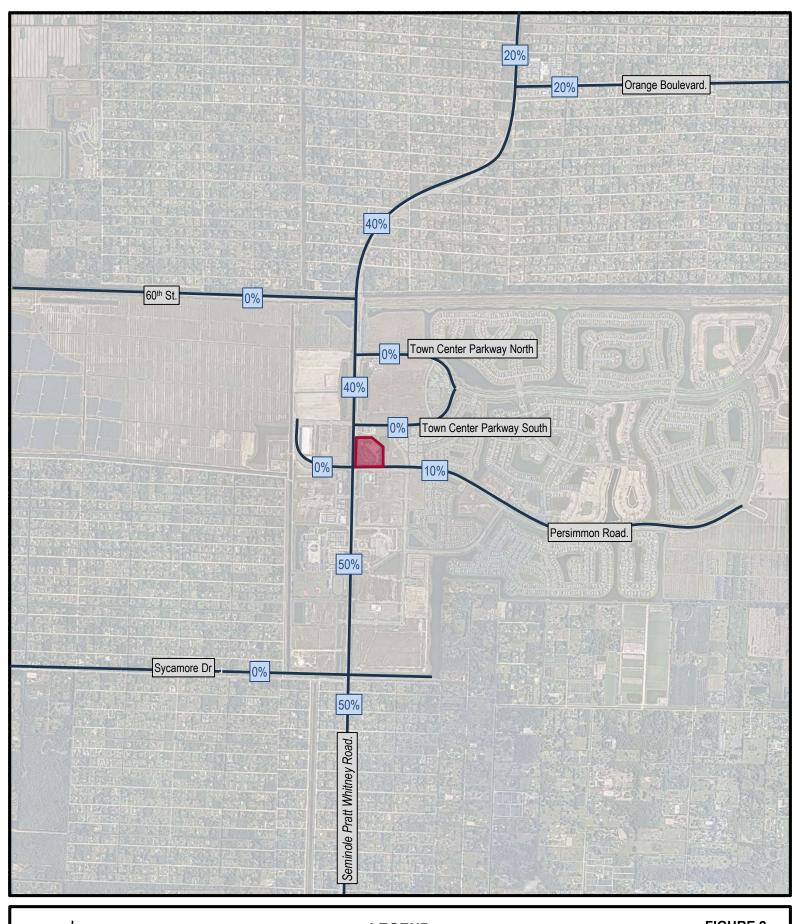
C	Londillon	ITE Code Intensity				Daile Tains	A	M Peak Ho	ur	PM Peak Hour			
Source	Land Use	ITE Code		intensity		Daily Trips	Total	ln	Out	Total	ln	Out	
				Existing Scenario		0							
PBC	Shop Plaza (40-150ksf w/ supermarket)	ITE 821		76.677	ksf	7,245	271	168	103	692	332	360	
PBC	Gas Station w/Convenience Store	ITE FDOT		8	FP	1,959	137	69	68	137	69	68	
					Subtotal	9,204	408	237	171	829	401	428	
Pass-By C	apture		Daily	AM	PM								
	Shop Plaza (40-150ksf w/ supermarket)		39.0%	39.0%	39.0%	2,826	106	66	40	270	129	141	
	Gas Station w/Convenience Store		61.0%	61.0%	61.0%	1,195	84	42	42	84	42	42	
					Subtotal	4,021	190	108	82	354	171	183	
Driveway Volumes						9,204	408	237	171	829	401	428	
	Net New External	Trips				5,183	218	129	89	475	230	245	
				Propos	ed Scenar	io							
PBC	Shop Plaza (40-150ksf w/ supermarket)	ITE 821		88.994	ksf	8,409	314	195	119	804	386	418	
PBC	Gas Station w/Convenience Store	ITE FDOT		8	FP	1,959	137	69	68	137	69	68	
PBC	Drive-In Bank	ITE 912		2.925	ksf	294	29	17	12	61	31	30	
					Subtotal	10,662	480	281	199	1,002	486	516	
Pass-By C	apture		Daily	AM	PM								
	Shop Plaza (40-150ksf w/ supermarket)		39.0%	39.0%	39.0%	3,280	122	76	46	314	151	163	
	Gas Station w/Convenience Store		61.0%	61.0%	61.0%	1,195	84	42	42	84	42	42	
	Drive-In Bank		47.0%	47.0%	47.0%	138	14	8	6	29	15	14	
					Subtotal	4.613	220	126	94	427	208	219	
	Driveway Volun	1000			JUDIOLAI	10,662	480	281	199	1,002	486	516	
	Net New External					6,049	260	155	105	575	278	297	
	Proposed Scenario -Existing Ne		nal Trips			866	42	26	16	100	48	52	
	Radius of Development	Influence:							1 mile(s)				
	Land Use			Daily		AM	Peak Hou		. ,	PM Peak Hour			
	Shop Plaza (40-150ksf w/ supermarket)			94.49 trips/k	sf	3.53 trips/k	sf (62% in, 3	8% out)	9.03 trip	s/ksf (48% in,	52% out)	Pass By 39.0%	
	Gas Station w/Convenience Store			trips/FP		Trips = 12.3(X) +38.75 (50% in, 50% out) Trips = 12.3(X) +12.3 (50% in, 50% out)			in, 50% out)	61.0%			
	Drive-In Bank		1	00.35 trips/	ksf		sf (58% in, 4			os/ksf (50% in,	,	47.0%	



TRAFFIC DISTRIBUTION

The site traffic was assigned to the surrounding roadway network based upon travel patterns for this area and proximity to complimentary land uses.

Figure 2 illustrates the project traffic assignment to nearby roadway links and intersections in the vicinity of the site. The AM and PM peak hour trips for the project were then assigned to the surrounding transportation system based on these percentages.





LEGEND



Site Location



Project Traffic %

FIGURE 2
Grove Marketplace KH #145538000 Project Distribution





SIGNIFICANCE ANALYSIS

Based on the net new traffic anticipated to be generated by this development, it was determined that the radius of developmental influence (RDI) is one mile. The project traffic was distributed across the links within the RDI based on the distribution illustrated in Figure 2, to determine if the addition of project traffic will significantly impact the roadway links, based on Palm Beach County TPS methodology. Table 2 and Table 3 summarize the AM peak hour and PM peak hour significance analyses, respectively. As illustrated in these tables, the significantly (>1.0% impact) impacted roadway segments require further analysis.

Table 2: Test 1 AM Peak Hour Significance Analysis

			EXISTING	LOS D	PROJECT TRIPS								
			NUMBER OF	GENERAL	PROJECT %	NB/EB	AM PEAK HOUR						
			LANES	SVC.	ASSIGNMENT		TRI	PS	%IMPACT				
ROADWAY	FROM	ТО	VOLUME AC	ASSIGNMENT	IN/OUT:	NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?		
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	1,960	50%	i	13	8	0.66%	No	0.41%	No	
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	1,960	40%	0	6	10	0.31%	No	0.51%	No	
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	1,960	40%	0	6	10	0.31%	No	0.51%	No	
60th St	Mandarin Blvd	Seminole Pratt Whitney Rd	2L	1,140	0%	0	0	0	0.00%	No	0.00%	No	
Persimmon Road.	Seminole Pratt Whitney Rd	llex Wy	4LD	1,770	10%	0	2	3	0.11%	No	0.17%	No	

Table 3: Test 1 PM Peak Hour Significance Analysis

			EXISTING	LOS D	PROJECT TRIPS								
			NUMBER OF	GENERAL	PROJECT %	NB/EB	PM PEAK HOUR						
			LANES	SVC.	ASSIGNMENT		TRI	PS	%IMPACT				
ROADWAY	FROM	ТО	VOLUME A	ASSIGNMENT	111/001:	NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?		
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	1,960	50%	i	24	26	1.22%	Yes	1.33%	Yes	
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	1,960	40%	0	21	19	1.07%	Yes	0.97%	No	
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	1,960	40%	0	21	19	1.07%	Yes	0.97%	No	
60th St	Mandarin Blvd	Seminole Pratt Whitney Rd	2L	1,140	0%	0	0	0	0.00%	No	0.00%	No	
Persimmon Road.	Seminole Pratt Whitney Rd	llex Wy	4LD	1,770	10%	0	5	5	0.28%	No	0.28%	No	



BACKGROUND TRAFFIC

Background traffic is calculated from historical annual growth rates and/or traffic from the unbuilt portions of committed developments. For this study, a 1% growth rate was applied to links and intersections (to which committed project traffic was already added) to account for background growth not related to the approved projects. The total background traffic for each significantly impacted link and intersection was then determined as the greater of the following:

• Existing traffic volumes plus growth due to committed projects or a 1.0% background growth rate



TEST 1 PART 1 INTERSECTION ANALYSIS

As determined in the previous section, some of the roadway segments within the radius of development influence are significantly (>1.0% impact) impacted during the PM peak hour conditions and require further analysis. Intersection analyses are also required at the first significantly impacted major intersection in either direction from the site access point.

An analysis was undertaken for intersections nearest to each link directly accessed and significantly impacted by the project. The intersections were analyzed using the Critical Sum planning methodology as outlined in the 1985 Highway Capacity Manual (HCM). The following intersections are the nearest major significantly impacted intersections:

- Sycamore Drive & Seminole Pratt Whitney Road
- Persimmon Boulevard & Seminole Pratt Whitney Road
- Town Center Parkway South & Seminole Pratt Whitney Road
- Town Center Parkway North & Seminole Pratt Whitney Road
- 60th Street North & Seminole Pratt Whitney Road

As indicated in Table 2 and Table 3, the links approaching and departing the intersections are significantly impacted; therefore, the analysis of the intersections are required for the Test 1 analysis procedures defined in Article 12 of the Palm Beach County ULDC. The critical movement analysis (CMA) uses the existing roadway geometry as a baseline in the analysis.

Sycamore Drive & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Sycamore Drive & Seminole Pratt Whitney Road will be 1,154 vehicles per hour during the AM peak hour and 1,295 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

Persimmon Boulevard & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Persimmon Boulevard & Seminole Pratt Whitney Road will be 1,130 vehicles per hour during the AM peak hour and 1,138 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

Town Center Parkway South & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Town Center Parkway South & Seminole Pratt Whitney Road will be 1,114 vehicles per hour during the AM peak hour and 1,132 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.



Town Center Parkway North & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of Town Center Parkway North & Seminole Pratt Whitney Road will be 1,027 vehicles per hour during the AM peak hour and 1,134 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

60th Street North & Seminole Pratt Whitney Road

The critical movement analysis shows that the critical sum for the intersection of 60th Street North & Seminole Pratt Whitney Road will be 1,237 vehicles per hour during the AM peak hour and 1,252 during the PM peak hour which is below the 1,400 vehicles per hour threshold; therefore, the intersection does not require any improvements for operation.

The critical movement analysis summary for the three intersections is shown in Table 4. The critical movement analysis worksheets for the three intersections are included in the Appendix for reference.

Table 4: CMA Summary

Intersection	Geometry	Critical Sum	
		AM Peak Hour	PM Peak Hour
Sycamore Drive & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,154	1,295
Persimmon Boulevard & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,130	1,138
Town Center Parkway South & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,114	1,132
Town Center Parkway North & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,027	1,134
60th Street North & Seminole Pratt Whitney Road	Future Total Volumes - Existing Geometry	1,237	1,252



TEST 1 PART 2 ROADWAY LINK ANALYSIS

The future traffic volume on each significantly impacted roadway segment was analyzed in comparison to its LOS D service volume. Table 5 summarizes these calculations for the PM peak hour. No roadway segments were significantly impacted in the AM peak hour, so an analysis was not needed. As shown in Table 5, two roadway links (during the PM peak hour) are not expected to operate acceptably due to a background deficiency. Because the deficiency is a background deficiency and the same improvement required to resolve the deficiency will resolve the total future traffic volume deficiency, no further analysis is required.



Table 5: Test 1 PM Peak Hour Capacity Analysis

Beadway			Committed					Count	Committee	Committed Traffic - Option #1 Con		Commit	Committed Traffic - Option #2		Utilized				Back-	
Roadway					LOS D	Direction	Significantly	Count	Year	Committed	1.0%	Committed	Historic	Max	Max	(Maximum)	Project	2030	Meets	ground
	From	То	Lanes	Facility Type	Service	Direction	Impacted?	Year	Traffic	Traffic	Traffic	plus	Growth Rate	Historic Growth	Historic	Committed	Traffic	Total	Standard	Def.
	FIOIII	10			Volume				Volume	(from TPS)	Growth	1.0%	(from TPS)	or 1%	Growth	Traffic		Traffic	??	??
Seminole Pratt Whitney Rd.	Sycamore Dr	Persimmon Rd	4LD	Class I	1,960	NB/EB	Yes	2023	1,320	742	95	837	1.00%	1.00%	95	837	24	2,181	No	Yes
			4LD	Class I	1,960	SB/WB	Yes	2023	1,260	700	91	791	1.00%	1.00%	91	791	26	2,077	No	Yes
Seminole Pratt Whitney Rd.	Persimmon Rd	60th St	4LD	Class I	1,960	NB/EB	Yes	2023	1,320	848	95	943	1.00%	1.00%	95	943	21	2,284	No	Yes
			4LD	Class I	1,960	SB/WB	No	-	-	-	-	-	-	-	-	-	-	-	-	-
Seminole Pratt Whitney Rd.	60th St	Orange Blvd	4LD	Class I	1,960	NB/EB	Yes	2023	861	514	62	576	1.00%	1.00%	62	576	21	1,458	Yes	-
			4LD	Class I	1,960	SB/WB	No	-	-	-	-	-	-	-	-	-	-	-	-	-



TEST 2 SIGNIFICANCE ANALYSIS

A Test 2 significance analysis was not required as the criteria for the Test 1 significance analysis were met.



DRIVEWAY ACCESS

Future total driveway volumes were determined by applying the distribution referenced in Figure 2 to the proposed future trip generation potential of the site. The resulting driveway volumes are illustrated in Figure 3.

Driveway Classification

Access to the site is proposed to be maintained via the three existing driveway connections, which have the following access configurations:

- Driveway 1: Right-in/right-out driveway on Seminole Pratt Whitney Road (North)
- Driveway 2: Right-in/right-out driveway on Seminole Pratt Whitney Road (South)
- Driveway 3: Full access driveway on Persimmon Road

According to the Palm Beach County "Guide to Parking Lot and Street Access Design Criteria and Standards," it is necessary to classify project driveways as minor, intermediate, or major according to the following criteria:

- Minor services a maximum daily volume of 500 vehicles.
- Intermediate services a daily volume ranging from 501 to 2000 vehicles.
- Major services a daily volume of more than 2000 vehicles.

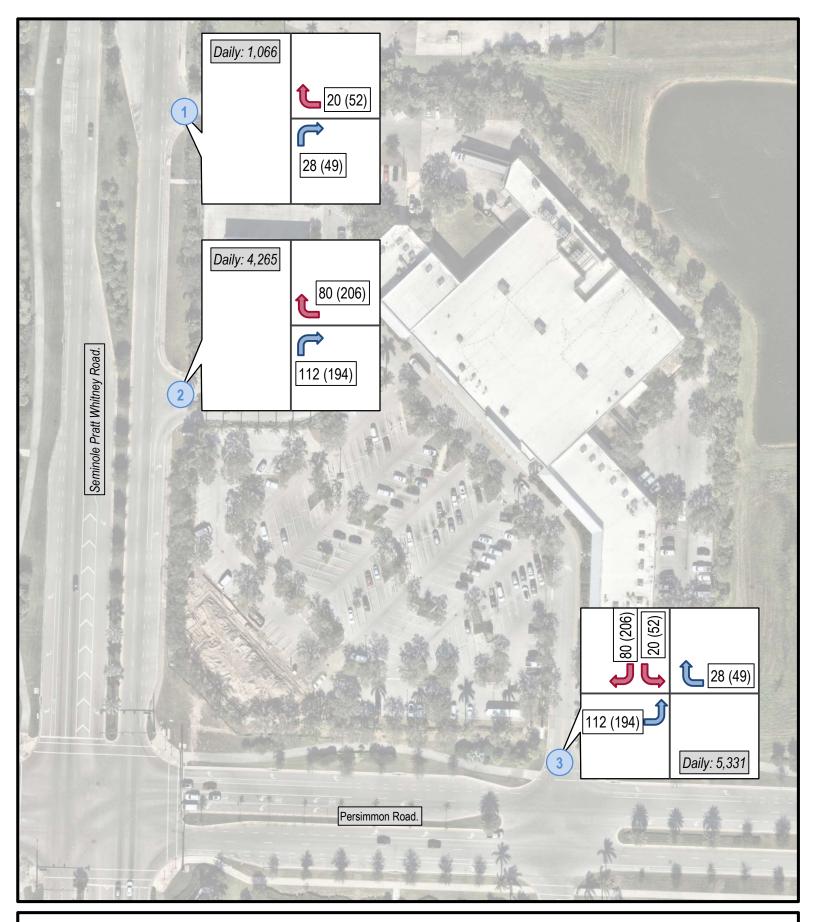
Project traffic volumes were calculated using the distribution illustrated in Figure 2. Using the criteria listed above, the driveways are classified, as follows:

- 1. Driveway 1: Intermediate
- 2. Driveway 2: Major
- 3. Driveway 3: Major

Additionally, the following exclusive turn lanes currently exist at the driveway connections:

- Driveway 2: Exclusive northbound right-turn lane.
- Driveway 3: Exclusive westbound right-turn lane, exclusive eastbound left-turn lane.

No additional turn lanes are required based on the turn lane requirements of the Palm Beach County Unified Land Development Code.





LEGEND

XX (XX) AM (PM) Peak Hour Volumes



Project Driveway

FIGURE 3
Grove Marketplace KH #145538000 Driveway Volumes





CONCLUSION

This updated Traffic Performance Standards Analysis study evaluates overall traffic impacts of the proposed development at 5060 Seminole Pratt Whitney Road in Palm Beach County, Florida. The development is proposed to add an additional 4,000 square feet of retail to the existing retail building and a 2,925 square-foot bank with drive-through. Furthermore, an additional 8,317 square foot retail building is also planned for future development on a portion of this site under a separate application that is currently under review.

Buildout of the site is anticipated to occur by 2030. Based on the evaluation conducted, a future background (non-project) capacity deficiency was identified at the following location:

• Seminole Pratt Whitney Road from Sycamore Drive to 60th Street North (PM peak hour)

In this case, the same mitigation measure that would be required to resolve the future background (non-project) deficiency would also resolve the future total traffic deficiency with project traffic included. Therefore, no further mitigation is required, and the project meets the requirements of Article 12 of the Palm Beach County Unified Land Development Code (ULDC) through a buildout year of 2030.

The evaluation was conducted in accordance with the traffic analysis requirements of the Palm Beach County Traffic Performance Standards Ordinance (TPSO). The proposed buildout date for the project was assumed to be 2030. The analysis indicates that the Test 1 and Test 2 criteria are met, and no additional exclusive turn lanes are warranted at the site driveways beyond those that currently exist.



APPENDIX

Property Detail

Location Address: 5060 SEMINOLE PRATT WHITNEY RD

Municipality: WESTLAKE

Parcel Control Number: 77-40-43-01-01-001-0010

Subdivision: GROVE MARKET PL

Official Records Book/Page: 33845 / 1108

Sale Date: AUG-2022

Legal Description: GROVE MARKET PL TR A (LESS SLY 199.60 FT OF NLY 252.24 FT OF WLY 153.01 FT & SLY 116.75 FT OF WLY 153.01 FT AS IN OR12685P908)

Owner Information

Owner(s) **Mailing Address**

GROVE MARKET ANDERSON LLC & GROVE MARKET COURTLAND LLC & GROVE MARKET SG2020 LLC & JBL HUMBLEWOOD CENTER LLC

120 SYLVAN AVE STE 301

ENGLEWOOD CLIFFS NJ 07632 2505

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
AUG-2022	\$19,500,000	33845 / 01108	WARRANTY DEED	GROVE MARKET SG2020 LLC &
SEP-2016	\$3,400,000	28568 / 00979	WARRANTY DEED	5060 LOXAHATCHEE RETAIL LLC
OCT-2012	\$900,100	25528 / 01805	CERT OF TITLE	FUCMT 2001 C4 SEMINOLE ROAD LLC
JUL-2003	\$8,700,000	15610 / 00177	WARRANTY DEED	FWI 20 LLC

Exemption Information

No Exemption Information Available.

Property Information

Number of Units: 0 *Total Square Feet: 76902

Acres: 8.76

Property Use Code: 1600—SHOPPING CENTER CMMITY

Zoning: MU—MIXED USE (77-WESTLAKE)

Appraisals

Tax Year	2024	2023	2022	2021	2020
Improvement Value	\$8,588,405	\$11,661,563	\$8,796,357	\$0	\$0
Land Value	\$4,196,137	\$4,806,484	\$3,242,470	\$0	\$0
Total Market Value	\$12,784,542	\$16,468,047	\$12,038,827	\$6,000,000	\$3,100,000

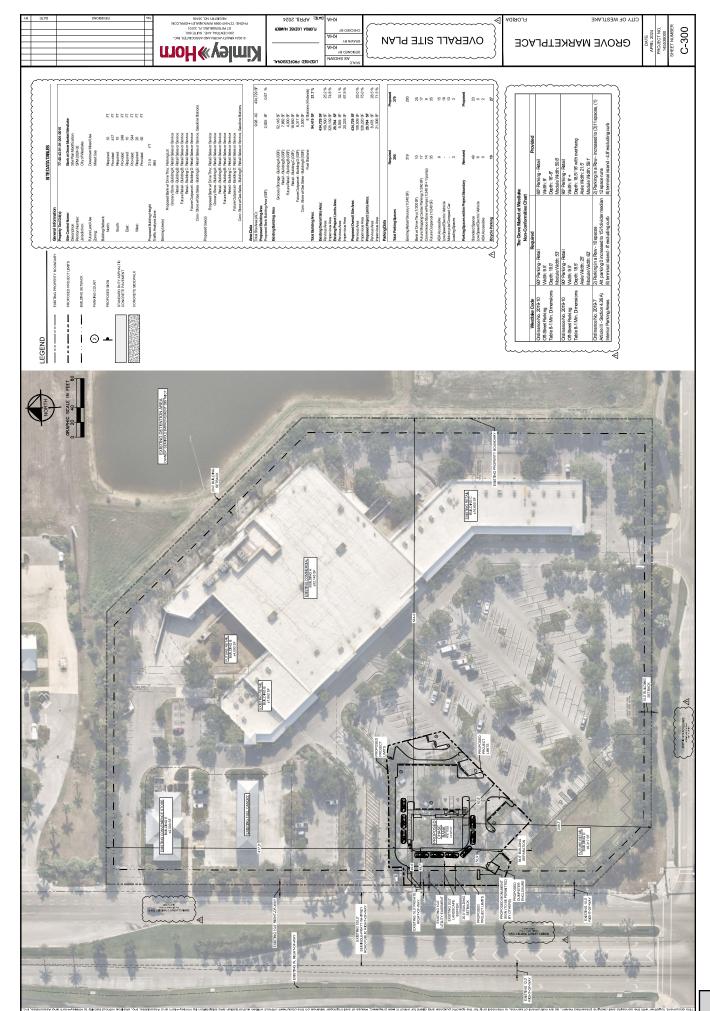
Assessed and Taxable Values

Tax Year	2024	2023	2022	2021	2020
Assessed Value	\$12,784,542	\$16,468,047	\$3,751,000	\$3,410,000	\$3,100,000
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$12,784,542	\$16,468,047	\$3,751,000	\$3,410,000	\$3,100,000

Taxes

Idaes						
	Tax Year	2024	2023	2022	2021	2020
	AD VALOREM	\$268,174	\$352,739	\$136,318	\$94,511	\$70,259
	NON AD VALOREM	\$191,351	\$200,764	\$141,384	\$96,101	\$117,060
	TOTAL TAX	\$459,525	\$553,503	\$277,702	\$190,611	\$187,319

Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER www.pbcpao.gov



Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

		ITE		·			AM Peak Hour		PM Peak Hour
Gr	Landuse	Code	Unit	Daily Rate/Equation	Pass-By %	In/Out	Rate/Equation	In/Out	Rate/Equation
	General Light Industrial	110	1000 S.F.	4.87	10%	88/12	0.74	14/86	0.65
ial	Manufacturing	140	1000 S.F.	4.75	10%	76/24	0.68	31/69	0.74
Industrial	Warehouse	150	1000 S.F.	1.71	10%	77/23	0.17	28/72	0.18
Ind	Mini-Warehouse/SS	151	1000 S.F.	1.45	10%	59/41	0.09	47/53	0.15
	HCF Center Warehouse - Non Sort	155	1000 S.F.	1.81	10%	81/19	0.15	39/61	0.16
	Single Family Detached	210	Dwelling Unit	10	0%	26/74	0.7	63/37	0.94
_	Multifamily Low-Rise Housing upto 3 story (Apartment/Condo/TH)	220	Dwelling Unit	6.74	0%	24/76	0.4	63/37	0.51
Residential	Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	Dwelling Unit	4.54	0%	23/77	0.37	61/39	0.39
esic	55+ SF Detached	251	Dwelling Unit	4.31	0%	33/67	0.24	61/39	0.30
~	55+ SF Attached	252	Dwelling Unit	3.24	0%	34/66	0.2	56/44	0.25
	Congregate Care Facility	253	Dwelling Unit	2.21	0%	58/42	0.08	49/51	0.18
	Assisted Living Facility	254	Beds	2.6	0%	60/40	0.18	39/61	0.24
Ldg	Hotel	310	Rooms	7.99	10%	56/44	0.46	51/49	0.59
Rec	Golf Course	430	Holes	30.38	5%	79/21	1.76	53/47	2.91
Ŗ	Health/Fitness Club	492	1000 S.F.	32.93	5%	51/49	1.31	57/43	3.45
	Elementary School	520	Students	2.27	0%	54/46	0.74	46/54	0.16
	Middle/Junior School	522	Students	2.1	0%	54/46	0.67	48/52	0.15
la	High School	525	Students	1.94	0%	68/32	0.52	48/52	0.14
Institutional	Private School (K-8)	530	Students	3.17 ^a	0%	56/44	1.01	46/54	0.26
stitu	Private School (K-12)	532	Students	2.48	0%	63/37	0.79	43/57	0.17
<u>lu</u>	Church/Synagogue ^b	560	1000 S.F.	7.6	5%	62/38	0.32	44/56	0.49
	Day Care	565	Students	4.09	50%	53/47	0.78	47/53	0.79
	Library	590	1000 S.F.	72.05	10%	71/29	1	48/52	8.16
Med	Hospital	610	1000 S.F.	10.77	10%	67/33	0.82	35/65	0.86
ž	Nursing Home	620	Beds	3.06	10%	72/28	0.14	33/67	0.14
	General Office (10k-250k SF GFA) ^h	710	1000 S.F.	10.84	10%	88/12	1.52	17/83	1.44
	General Office (>250k SF GFA) ^h	710	1000 S.F.	Ln(T) = 0.87 Ln(X) + 3.05	10%	88/12	Ln(T) = 0.86Ln(X) + 1.16	17/83	1.44
Office	Small Office Building (<=10k SF GFA)	712	1000 S.F.	14.39	10%	82/18	1.67	34/66	2.16
O#	Medical Office (Stand-Alone)	720	1000 S.F.	T=42.97(X)-108.01	10%	79/21	3.10	30/70	3.93
	Medical Office (Near Hospital)	720	1000 S.F.	31.86	10%	81/19	2.68	25/75	2.84
	Government Office	730	1000 S.F.	22.59	10%	75/25	3.34	25/75	1.71

Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

		ITE				AM Peak Hour			PM Peak Hour
Gr	Landuse	Code	Unit	Daily Rate/Equation	Pass-By %	In/Out	Rate/Equation	In/Out	Rate/Equation
	Nursery (Garden Center)	817	Acre	108.1	0%	50/50	2.82	50/50	8.06
	Nursery (Wholesale)	818	Acre	19.50	0%	50/50	0.23	50/50	0.36
	Landscape Services	PBC	Acre ^c	121.70	0%	40/60	34.4	58/42	15.1
	Shop Center (>150ksf)	820	1000 S.F.	37.01	24%	62/38	0.84	48/52	3.4
	Shop Plaza (40-150ksf) w/Sup Market	821	1000 S.F.	94.49	39%	62/38	3.53	48/52	9.03
Retail	Shop Plaza (40-150ksf) w/out Sup Market	821	1000 S.F.	67.52	39%	62/38	1.73	49/51	5.19
Re	Strip Retail Plaza (<40ksf)	822	1000 S.F.	54.45	63%	60/40	2.36	50/50	6.59
	Automobile Sales (New)	840	1000 S.F.	27.84	15%	73/27	1.86	40/60	2.42
	Automobile Parts Sales	843	1000 S.F.	54.57	28%	55/45	2.51	48/52	4.9
	Tire Store	848	1000 S.F.	27.69	28%	64/36	2.61	43/57	3.75
	Supermarket	850	1000 S.F.	93.84	36%	59/41	2.86	50/50	8.95
	Pharmacy + DT	881	1000 S.F.	108.40	50%	52/48	3.74	50/50	10.25
	Drive-In Bank	912	1000 S.F.	100.35	47%	58/42	9.95	50/50	21.01
	Fine Dining Restaurant	931	1000 S.F.	83.84	44%	50/50	0.73	67/33	7.8
	High Turnover Sit-Down Rest.	932	1000 S.F.	107.2	43%	55/45	9.57	61/39	9.05
v	Fast Food Restaurant w/o DT	933	1000 S.F.	450.49	45%	58/42	43.18	50/50	33.21
Services	Fast Food Restaurant + DT	934	1000 S.F.	467.48	49%	51/49	44.61	52/48	33.03
Ser.	Coffee/Donut Shop w/o DT	936	1000 S.F.	441.88 ^d	45%	51/49	93.08	50/50	32.29
"	Coffee/Donut Shop + DT	937	1000 S.F.	533.57	49%	51/49	85.88	50/50	38.99
	Coffee/Donut Shop + DT w/No Seat	938	DT Lanes	179	49%	50/50	39.81	50/50	15.08
	Gas Station w/Convenience Store ^e	FDOT	FP, 1000 S.F.	14.3*PM Trips	61%	50/50	Note f	50/50	12.3*FP+15.5*(X)
	Carwash (Automated) ⁹	PBC	Lane	166.00	0%	50/50	11.97	50/50	13.65

- a) Based on Daily to AM peak ratio for LUC 532 (Private School (K-12)
- b) Weekend peak hour rate = 10.36 per 1,000 s.f. with a 48/52 directional split
- c) Landscape Services acreage consists of overnight vehicle and equipment storage as well as areas (covered or uncovered) for chemicals, fertilizers, landscape materials (excluding plants) and other items needed for day-to-day operations. Not included are drive aisles, customer/employee parking structures shared by nursery and landscape services, facilities that solely serve the onsite landscape activities or any nursery growing areas.
- d) Based on Daily to PM ratio for ITE Code 937 (Coffee Donut Shop + DT)
- e) FP=Fueling Position. Use both FP and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Artice 12, should be applied to estimate the net trips.
- f) Use PM rates
- g) Daily rate taken from PBC trip gen. study. Peak hour rates derived by applying peak to daily ratios for gas station to daily carwash rate from older ITE TGM. New PBC rate study underway.
- h) Based on PBC analysis of ITE TGM data plots

Modification History

3/2/2020: Added Landscape Services, modification history, edited formatting

7/25/2022: Updated with ITE TG Manual 11th ed information

2023 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL CATEGORY: 9327 WEST-W OF SR7

^{*} PEAK SEASON

09-MAR-2024 18:41:41

830UPD

4_9327_PKSEASON.TXT

Input Data

ROAD NAME: Seminole Pratt Whitney Rd

CURRENT YEAR: 2023

ANALYSIS YEAR: 2030 GROWTH RATE: 0% STATION: 3442 FROM: Sycamore Dr

TO: Persimmon Blvd

Report Created

12/26/2024

COUNT DATE: 2/1/2023

PSF: 1

k Ar	

Time Period		LITIK ATIATYSIS			D1.4			
Direction	2-way	AM NB/EB	CD /M/D	2 44214	PM	SB/WB		
	2-way 2716	1416	1337	2-way	1320	1260	ı	
Existing Volume								
Peak Volume	2716	1416	1337	2488	1320	1260		
Diversion(%)	0	0	0	0	0	0		
Volume after Diversion	2716	1416	1337	2488	1320	1260		
Committed Developments							Tyne %	Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	651	333	318	689	319	370	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	262	77	184	294	183	110	Res	0%
Central Park of Commerce	31	7	25	33	25	8	NR	0%
Silver Lakes	176	44	132	226	143	83	Res	0%
Avenir	201	106	95	245	99	146	Res	3%
Total Committed Developments	1393	616	776	1599	816	781	1103	370
Total Committed Residential	689	265	423	825	447	377		
Total Committed Non-Residential	704	351	353	774	369	404		
Double Count Reduction	141	66	71	155	74	81		
Boddle Codine Reddollon		00	, -	133	, ,	01		
Total Discounted Committed Developments	1252	550	705	1444	742	700		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	1252	550	705	1444	742	700		
Growth Volume Used	1252	550	705	1444	742	700		
Total Volume	3968	1966	2042	3932	2062	1960		
Lanes			4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960		
Link Meets Test 1?	NO	NO	NO	NO	NO	YES		
LOS E Capacity	3400	1960	1960	3400	1960	1960		
Link Meets Test 2?	NO	NO	NO	NO	NO	YES		

Input Data

ROAD NAME: Seminole Pratt Whitney Rd

CURRENT YEAR: 2023

ANALYSIS YEAR: 2030 GROWTH RATE: 0% STATION: 3442 FROM: Persimmon Blvd Report Created

12/26/2024

TO: 60th St N COUNT DATE: 2/1/2023

PSF: 1

Lin	k	Ana	lvsis
LIII		Al la	ıyəiə

Time Period		AM			PM			
Direction	2-way	NB/EB	SR/WR	2-way		SB/WB		
Existing Volume	2716	1416	1337	2488	1320	1260	l	
Peak Volume	2716	1416	1337	2488	1320	1260		
Diversion(%)	0	0	0	0	0	0		
Volume after Diversion	2716	1416	1337	2488	1320	1260		
volume arter biversion	2710	1410	1337	2400	1320	1200	l	
Committed Developments							Type %	6 Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	651	318	333	689	370	319	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	440	130	310	493	308	185	Res	0%
Central Park of Commerce	31	7	25	33	25	8	NR	0%
Silver Lakes	176	132	44	226	83	143	Res	0%
Avenir	201	106	95	245	99	146	Res	3%
Total Committed Developments	1571	742	829	1798	932	865		
Total Committed Residential	867	406	461	1024	512	512		
Total Committed Non-Residential	704	336	368	774	420	353		
Double Count Reduction	141	67	74	155	84	71		
Total Discounted Committed Developments	1430	675	755	1643	848	794		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	1430	675	755	1643	848	794		
Growth Volume Used	1430	675	755	1643	848	794		
Total Volume	4146	2091	2092	4131	2168	2054		
Lanes			4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960		
Link Meets Test 1?	NO	NO	NO	NO	NO	NO		
LOS E Capacity	3400	1960	1960	3400	1960	1960		
Link Meets Test 2?	NO	NO	NO	NO	NO	NO		

Input Data

ROAD NAME: Seminole Pratt Whitney Rd

CURRENT YEAR: 2023 ANALYSIS YEAR: 2030

LOS E Capacity

Link Meets Test 2?

FROM: 60th St N GROWTH RATE: 3.83% COUNT DATE: 2/1/2023

TO: Orange Blvd

Report Created

12/26/2024

PSF: 1

STATION: 2408

Link Analysis

		LITIK ATTATYSIS						
Time Period		AM			PM			
Direction	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB		
Existing Volume	2041	1037	1071	1749	861	888		
Peak Volume	2041	1037	1071	1749	861	888		
Diversion(%)	0	0	0	0	0	0		
Volume after Diversion	2041	1037	1071	1749	861	888		
		•	•			•	•	
Committed Developments							Type	% Complete
Arden PUD	50	38	12	60	22	38	Res	60%
Seminole Orange Plaza	11	6	5	29	14	15	NR	80%
City of Westlake	463	226	237	489	263	226	NR	37%
Loxahatchee Groves Commons	11	5	5	23	11	11	NR	80%
Indian Trails Grove DRI	115	34	81	129	81	48	Res	0%
Central Park of Commerce	26	5	20	27	21	7	NR	0%
Silver Lakes	123	92	30	158	58	100	Res	0%
Avenir	214	113	101	261	106	155	Res	3%
Total Committed Developments	1013	519	491	1176	576	600		
Total Committed Residential	502	277	224	608	267	341		
Total Committed Non-Residential	511	242	267	568	309	259		
Double Count Reduction	102	48	53	114	62	52		
Total Discounted Committed Developments	911	471	438	1062	514	548		
Historical Growth	614	312	322	526	259	267		
Comm Dev+1% Growth	911	471	438	1062	514	548		
Growth Volume Used	911	471	438	1062	514	548		
Total Volume	2952	1508	1509	2811	1375	1436		
Lanes			4LD					
LOS D Capacity	3220	1960	1960	3220	1960	1960		
Link Meets Test 1?	YES	YES	YES	YES	YES	YES		
100 5 6	2 4 0 0	4000	4000	2400	4000	4000		

1960

YES

1960

YES

3400

YES

1960

YES

1960

YES

3400

YES

The Project

Persimmon Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 17, 2023
AM PEAK HOUR FACTOR: 1.00

				1	AM Pea	ık Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
AM Raw Turning Movements	1	33	13	45	0	239	13	99	0	32	918	122	11	47	1,072	51
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
AM Peak Season Volume	1	34	13	46	0	246	13	102	0	33	946	126	11	48	1,104	53
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
Comitted Traffic from TPS											549				706	
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0
																_
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00
AM BACKGROUND TRAFFIC GROWTH	0	2	1	3	0	18	1	7	0	2	68	9	1	3	80	4
Rackground Traffic Volumes	1	26	14	40	0	264	14	100	0	25	1 562	125	12	51	1 990	57
Background Traffic Volumes 1 36 14 49 0 264 14 109 0 35 1,563 135 12 51 1,890 57																
AM PROJECT DISTRIBUTION																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBI
Entering											40.0%	10.0%		40.0%		
											10	3		10		
Exiting						50.0%										
						8										
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	8	0	0	0	0	10	3	0	10	0	0
Future Total AM Volumes	1	36	14	49	0	272	14	109	0	35	1.573	138	12	61	1.890	57
Tuture rotat Arr votames		1 30	14		_			103		33	1,373	130	12	- 01	1,030	37
				Cri	tical Volu	me Analy	sis									
No. of Lanes	$\overline{}$	1	1	1	N /	2	1	1	$\overline{}$	1	2	1	$\overline{}$	1	2	1
Approach Volume	기\ /		99		1 \		395		X /		1,746		X		2,008	
Per Lane Volume	¬ γ	36	14	49	1 X	136	14	109	1 X I	35	787	138	X	61	945	57
Overlap Reduction	7/\	0	0	(49)	178	0	0	(35)		0	0	(36)		0	0	(57
Net Per Lane Volume	√ /	36	14	0	1/ \	136	14	74	/ \	35	787	102	\vee	61	945	0
		<u> </u>	_			50			SR IT+	NB TH =			1	50		
	NB LT + S	SB RT =				30										
North-South Critical East-West Critical	NB LT + S EB LT + V					180			WB LT +				8	48		
North-South Critical		VB TH =	50		9			9					8		130	

VOLUME DEVELOPMENT SHEET The Project Persimmon Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 17, 2023
PM PEAK HOUR FACTOR: 1.00

PM PEAK HOUR FACTOR	1.00															
				J	PM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
PM Raw Turning Movements	0	20	14	63	0	136	11	43	0	19	997	151	17	109	703	59
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
PM Peak Season Volume	0	21	14	65	0	140	11	44	0	20	1,027	156	18	112	724	61
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Comitted Traffic from TPS											746				702	
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%
PM BACKGROUND TRAFFIC GROWTH	0	2	1	5	0	10	1	3	0	1	74	11	1	8	52	4
THE STOREST CONTROL OF CONTROL			<u> </u>								7.4		· ·		02	-
Background Traffic Volumes	0	23	15	70	0	150	12	47	0	21	1,773	167	19	120	1,426	65
PM PROJECT DISTRIBUTION																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Entering											40.0%	10.0%		40.0%		
	-										19	5		19		
Exiting						50.0%										
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	26 26	0	0	0	0	19	5	0		0	0
PM TOTAL PROJECT TRAFFIC	U			U		26	U		U	U	19	5		19	U	0
Future Total PM Volumes	0	23	15	70	0	176	12	47	0	21	1,792	172	19	139	1,426	65
				Cri	tical Volu	me Analy:	sis									
No. of Lanes	N /	1	1	1	\ /	2	1	1	/	1	2	1	/	1	2	1
Approach Volume	1\		108		18.7		235	-	\setminus		1,985		X / X		1,630	-
Per Lane Volume	∃	23	15	70	1 X	88	12	47	l X	21	896	172	İΧ	139	713	65
Overlap Reduction	1/\	0	0	(70)	17\	0	0	(21)	$ / \rangle$	0	0	(23)	$ / \rangle$	0	0	(65)
Net Per Lane Volume	√ \	23	15	0	1/ \	88	12	26	/ \	21	896	149	// \	139	713	0
North-South Critical	NB LT + S	BTH=				35			SB LT+	NB TH =			1	03		
East-West Critical	EB LT + W	BTH=			7	34			WB LT +	EB TH =			1,	035		
Maximum Critical Sum		1	03			+		1,0	035			-		1,	138	
STATUS?								UNI	DER							

The Project

Town Center Parkway & Seminole Pratt Whitney Road **EXISTING GEOMETRY**

COUNT DATE: April 13, 2023
AM PEAK HOUR FACTOR: 1.00

				į.	AM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
AM Raw Turning Movements	0	1	1	0	0	50	0	14	0	0	1,083	90	1	18	1,265	3
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
AM Peak Season Volume	0	1	1	0	0	52	0	14	0	0	1,115	93	1	19	1,303	3
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Comitted Traffic from TPS											549				706	
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.009
AM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	4	0	1	0	0	80	7	0	1	94	0
Background Traffic Volumes	0	1	1	0	0	56	0	15	0	0	1,744	100	1	20	2,103	3
AM PROJECT DISTRIBUTION															SBR	
Entering															40.0%	
Exiting											40.0%				10	
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0
Future Total AM Volumes	0	1	1	0	0	56	0	15	0	0	1,750	100	1	20	2,113	3
				Crit	ical Volu	me Analy:	sis									
No. of Lanes	$\overline{}$	1	1	1	\ /	1	1	1		1	2	1	7	1	2	1
Approach Volume			2		X		71		X /		1,850		X		2,136	
Per Lane Volume	¬ γ	1	1	0	l X	56	0	15	X	0	875	100	X	20	1,057	3
Overlap Reduction	$\exists \land \land$	0	0	0	X	0	0	0	$ X \rangle$	0	0	(1)	$ / \rangle$	0	0	(3)
Net Per Lane Volume	¬/ \	1	1	0	$V \setminus$	56	0	15	\vee	0	875	99	\vee	20	1,057	0
North-South Critical	NB LT + S	B RT =				1			SB LT+	NB TH =				7		
East-West Critical		1,)57			WB LT +	EB TH =			8	95					
Maximum Critical Sum			+		1,0	57					1,1	114				
Status?			aximum Critical Sum 57 + 1,057 = 1,114													

VOLUME DEVELOPMENT SHEET The Project Town Center Parkway & Seminole Pratt Whitney Road **EXISTING GEOMETRY**

COUNT DATE: April 13, 2023
PM PEAK HOUR FACTOR: 1.00

				1	PM Pea	k Hour											
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	
PM Raw Turning Movements	0	4	0	3	0	123	0	37	5	0	1,024	136	2	77	794	2	
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	
PM Peak Season Volume	0	4	0	3	0	127	0	38	5	0	1.055	140	2	79	818	2	
											,						
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBF	
Comitted Traffic from TPS											746				702		
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0	
					_												
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.009	
PM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	9	0	3	0	0	76	10	0	6	59	0	
Background Traffic Volumes	0	4	0	3	0	136	0	41	5	0	1.801	150	2	85	1.520	2	
Background Traffic Volumes 0 4 0 3 0 136 0 41 5 0 1,801 150 2 85 1,520 2																	
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL		SBR	
Entering															40.0%		
											40.0%				19		
Exiting											21						
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0	
	'																
Future Total PM Volumes	0	4	0	3	0	136	0	41	5	0	1,822	150	2	85	1,539	2	
				Cri	tical Volu	me Analy:	sis										
No. of Lanes	$\overline{}$	1	1	1	N /	1	1	1	\setminus	1	2	1	$\overline{}$	1	2	1	
Approach Volume	$\exists \setminus \angle$		7		187		177		XZ		1,972	•	X		1,626		
Per Lane Volume	¬	4	0	3	1 X	136	0	41	1 X I	0	911	150	ΙX	85	770	2	
Overlap Reduction	$\neg \land \land$	0	0	(3)	178	0	0	0	1/N	0	0	(4)	I / X	0	0	(2)	
Net Per Lane Volume	√ \	4	0	0	V \	136	0	41	$V \setminus$	0	911	146	$V \setminus$	85	770	0	
North-South Critical	NB LT + S	B RT =				4			SB LT+	NB TH =			1	36			
East-West Critical	EB LT + W	/B TH =			7	70			WB LT +	EB TH =			9	96			
Maximum Critical Sum		1	36			+		9:	96			-		1,	132		
STATUS?																	

The Project

60th Street North & Seminole Pratt Whitney Road **EXISTING GEOMETRY**

COUNT DATE: April 17, 2023
AM PEAK HOUR FACTOR: 1.00

				Į.	AM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
AM Raw Turning Movements	0	10	0	313	0	0	0	0	0	199	950	0	1	0	915	9
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
AM Peak Season Volume	0	10	0	322	0	0	0	0	0	205	979	0	1	0	942	9
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
Comitted Traffic from TPS		45		144						82	742				740	10
TOTAL "VESTED" TRAFFIC	0	45	0	144	0	0	0	0	0	82	742	0	0	0	740	10
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00
AM BACKGROUND TRAFFIC GROWTH	0	1	0	23	0	0	0	0	0	15	71	0	0	0	68	1
Background Traffic Volumes	0	55	0	489	0	0	0	0	0	302	1,792	0	1	0	1.750	11
AM PROJECT DISTRIBUTION TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
	LDU	LDL	LD.	LDIX	******	*****	***	WEIN	INDO	INDL	1451	INDIX	000	ODL	40.0%	- 55
Entering															10	
Exiting											40.0%					
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0
			-	_							_	_		_		_
Future Total AM Volumes	0	55	0	489	0	0	0	0	0	302	1,798	0	1	0	1,760	11
				Cri	tical Volu	me Analys	sis									
No. of Lanes	\ /	1	1	1	N 7	1	1	1	\ /	1	2	1	N 7	1	2	1
Approach Volume	$\exists \setminus \angle$		544		1 \ /		0		1\ /		2,100		\		1,873	_
Per Lane Volume	$\dashv V$	55	0	489	1 X	0	0	0	1 X	302	899	0	l X	0	880	11:
Overlap Reduction	$\exists \land \land$	0	0	0	178	0	0	0		0	0	0		0	0	0
Net Per Lane Volume	¬/ \	55	0	489	1 / \	0	0	0	/ \	302	899	0	V \	0	880	11
North-South Critical	NB LT + S	BTH=				i5			SB LT+	NB RT =				0		_
East-West Critical	EB LT + W	B TH =			1,1	182			WB LT +	EB TH =			8	99		
Maximum Critical Sum			55			+		1,1	182			-		1,3	237	
Maximum Critical Sum 55 + 1,182 = 1,237 Status? NEAR																

VOLUME DEVELOPMENT SHEET The Project 60th Street North & Seminole Pratt Whitney Road **EXISTING GEOMETRY**

COUNT DATE: April 17, 2023
PM PEAK HOUR FACTOR: 1.00

				1	PM Pea	ık Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBF
PM Raw Turning Movements	1	12	0	164	0	0	0	0	0	235	848	0	1	2	763	16
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
PM Peak Season Volume	1	12	0	169	0	0	0	0	0	242	873	0	1	2	786	16
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBF
Comitted Traffic from TPS		103		85						75	828				835	61
TOTAL "VESTED" TRAFFIC	0	103	0	85	0	0	0	0	0	75	828	0	0	0	835	61
	-															
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.009
PM BACKGROUND TRAFFIC GROWTH	0	1	0	12	0	0	0	0	0	17	63	0	0	0	57	1
Background Traffic Volumes	1	115	0	254	0	0	0	0	0	317	1,701	0	1	2	1.621	77
PM PROJECT DISTRIBUTION																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBF
Entering															40.0% 19	
											40.0%				19	_
Exiting											21					
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0
Future Total PM Volumes	1	115	0	254	0	0	0	0	0	317	1,722	0	1	2	1,640	77
				Cri	tical Volu	me Analy	sis									
No. of Lanes	$\overline{}$	1	1	1	N /	1	1	1	\setminus	1	2	1	$\overline{}$	1	2	1
Approach Volume	$\exists \setminus \angle$		369		11 /		0		XZ		2,039	•	X		1,719	
Per Lane Volume	¬	115	0	254	1 X	0	0	0	1 X I	317	861	0	X	2	820	77
Overlap Reduction	$\neg \land \land$	0	0	(2)	178	0	0	0	1/N	0	0	0	$ / \rangle$	0	0	0
Net Per Lane Volume	¬/ \	115	0	252	1/ \	0	0	0	V \	317	861	0	$V \setminus$	2	820	77
North-South Critical	NB LT + S	SB TH =		1	1	15			SB LT+	NB RT =				0		
East-West Critical	EBLT + W	/B TH =			1,	137			WB LT +	EB TH =			8	63		
Maximum Critical Sum		1	15			+		1,1	137					1,3	252	

The Project

Sycamore Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023
AM PEAK HOUR FACTOR: 1.00

				Į.	AM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
AM Raw Turning Movements	0	318	2	213	0	1	1	9	0	76	845	2	0	8	1,039	74
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.0
AM Peak Season Volume	0	328	2	219	0	1	1	9	0	78	870	2	0	8	1,070	76
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
Comitted Traffic from TPS											488				631	
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	488	0	0	0	631	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00
AM BACKGROUND TRAFFIC GROWTH	0	24	0	16	0	0	0	1	0	6	63	0	0	1	77	5
Background Traffic Volumes	0	352	2	235	0	1	1	10	0	84	1,421	2	0	9	1,778	81
Background Traffic Volumes 0 352 2 235 0 1 1 10 0 84 1,421 2 0 9 1,778 81																
TYPE	EBU	EBL	EBI	EBK	WBU	WBL	WBI	WBK	NBU	NBL	50.0%	NBK	SBU	SBL	281	28
Entering											13					
Exiting															50.0%	
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	13	0	0	0	8	0
Future Total AM Volumes	0	352	2	235	0	1	1	10	0	84	1.434	2	0	9	1,786	81
Tuture Total Art Volumes		332			tical Volu			10		04	1,404			<u> </u>	1,700	, 0,
No. of Lanes		2	1	1	. /	1	1	1	_	1	2	1		1	2	1
Approach Volume	$\exists \setminus$ /		589		1\ /		12		1\ /	<u> </u>	1.520		\	<u> </u>	1.876	<u>'</u>
Per Lane Volume	\dashv \vee	176	2	235	ł V	1	1	10	l V	84	717	2	l V	9	893	81
Overlap Reduction	$\dashv \land$	0	0	(9)	1 A	-	0	(10)	Λ	0	0	(2)	Λ	0	0	(1
Net Per Lane Volume	⊣/ \	176	2	226	/ ∖	1	1	0	/ \	84	717	0	/ \	9	893	81
North-South Critical	NB LT + S				1	77			SB LT+	NB RT =	- "		,	3	000	
Fast-West Critical	FBIT+W					77				FBTH=				26		
Maximum Critical Sum				+		9	77			-			154			
	1		77											٠,		

VOLUME DEVELOPMENT SHEET The Project Sycamore Boulevard & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023 PM PEAK HOUR FACTOR: 1.00

PM Peak Hour EBU EBL EBT EBR WBU WBL WBT WBR NBU NBL NBT NBR SBU SBL SBT SBR PM Raw Turning Movements **Peak Season Correction Factor** PM Peak Season Volume 0 182 0 137 0 1 2 7 0 300 1,136 3 0 10 1,015 Vested Projects
Comitted Traffic from TPS EBU EBL EBT EBR WBU WBL WBT WBR NBU NBL NBT NBR SBU SBL SBT SBR TOTAL "VESTED" TRAFFIC 0 0 0 666 0 631
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 Years To Buildout PM BACKGROUND TRAFFIC GROWTH 0 13 0 10 0 0 1 0 22 82 0 0 1 73 14 Background Traffic Vol 0 195 0 147 0 1 2 8 0 322 1,884 3 0 11 1,719 210 PM PROJECT DISTRIBUTION EBU EBL EBT EBR WBU WBL WBT WBR NBU NBL NBT NBR SBU SBL SBT SBR 50.0% Entering 24 50.0% Exiting PM TOTAL PROJECT TRAFFIC 0 0 0 0 0 0 24 26 Future Total PM Volumes 0 195 0 147 0 1 2 8 0 322 1,908 3 0 11 1,745 210

				Cri	tical Volu	me Analy	rsis									
No. of Lanes	$\overline{}$	/ 2	1	1	N /	1	1	1		1	2	- 1		1	2	1
Approach Volume	1\/	′ —	342	•	1 N Z		11	•	1 N Z		2,233	•	11//		1,966	
Per Lane Volume	7 X	98	0	147	1 X	1	2	8	1 X	322	954	3	1 X	11	873	210
Overlap Reduction	1/\	. 0	0	(11)	17 N	0	0	(8)	178	0	0	(3)	17 N	0	0	(1)
Net Per Lane Volume	7	98	0	136	1/ \	1	2	0	V	322	954	0	7 \	11	873	209
North-South Critical	NB LT -	SB TH =			1	100	•		SB LT	+ NB RT =				1		
East-West Critical	EB LT +	WB TH =			1,	195			WB LT	+ EB TH =			9	965		
Maximum Critical Sum			100			+		1,	195			=		1,	295	
STATUS?								NE	AR							

The Project

Town Center Parkway North & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023
AM PEAK HOUR FACTOR: 1.00

					AM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBI
AM Raw Turning Movements	0	0	0	0	0	29	0	252	0	0	1,093	26	1	84	1,153	0
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
AM Peak Season Volume	0	0	0	0	0	30	0	260	0	0	1,126	27	1	87	1,188	0
Vested Projects	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SB
Comitted Traffic from TPS											549				706	
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	549	0	0	0	706	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00
AM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	2	0	19	0	0	81	2	0	6	86	0
Background Traffic Volumes	0	0	0	0	0	32	0	279	0	0	1,756	29	1	93	1.980	0
AM PROJECT DISTRIBUTION TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SE
	LBU	LDL	LDI	LDN	WBO	WBL	WDI	WDR	NBO	NDL	INDI	NDN	360	JBL	40.0%	36
Entering															10	
Exiting											40.0%					
AM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	6	0	0	0	10	0
AFTOTALTROJEOTTRAFTIO													U		10	
Future Total AM Volumes	0	0	0	0	0	32	0	279	0	0	1,762	29	1	93	1,990	0
				Cri	tical Volu	me Analy	sis									
No. of Lanes	$\overline{}$	1	1	1	\ /	1	1	1	\ /	1	2	1	7	1	2	1
Approach Volume	$\exists \setminus \angle$		0		11 /		311		1\ /		1,791		\		2,083	_
Per Lane Volume	⊢ γ .	0	0	0	1 X	32	0	279	1 X	0	881	29	X	93	995	0
Overlap Reduction	$\exists \land \land$	0	0	0	17	0	0	0	1 / \	0	0	0	$ / \rangle$	0	0	0
Net Per Lane Volume	٦/ \	0	0	0	/ \	32	0	279	/ /	0	881	29	\vee	93	995	0
North-South Critical	NB LT + S	BRT =			, '	0			SB LT +	NB TH =			3	12		_
East-West Critical	EBLT + W	BTH=			9	95			WB LT +	EBTH=			9	74		
Maximum Critical Sum		- :	32			+		9	95					1,0	027	
Maximum Critical Sum 32 + 995 = 1,027 Status 2 UNDER																

VOLUME DEVELOPMENT SHEET The Project

Town Center Parkway North & Seminole Pratt Whitney Road EXISTING GEOMETRY

COUNT DATE: April 13, 2023
PM PEAK HOUR FACTOR: 1.00

THI EARTICONT ACTOR	. 1.00															
				J	PM Pea	k Hour										
	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
PM Raw Turning Movements	0	0	0	0	0	52	0	86	1	0	1,001	47	1	127	771	0
Peak Season Correction Factor	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03	1.03
PM Peak Season Volume	0	0	0	0	0	54	0	89	1	0	1,031	48	1	131	794	0
W . IB													0011	001		
Vested Projects Comitted Traffic from TPS	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	746	NBR	SBU	SBL	702	SBR
TOTAL "VESTED" TRAFFIC	0	0	0	0	0	0	0	0	0	0	746	0	0	0	702	0
TOTAL VESTED TRAFFIC	1 0	0			1 0	0	0		0	0	746		0	1 0	702	0
Years To Buildout	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7	7
Yearly Growth Rate	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%
PM BACKGROUND TRAFFIC GROWTH	0	0	0	0	0	4	0	6	0	0	74	3	0	9	57	0
Background Traffic Volumes	0	0	0	0	0	58	0	95	1	0	1,851	51	1	140	1,553	0
M PROJECT DISTRIBUTION																
TYPE	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR
Entering															40.0%	
Littering															19	
Exiting											40.0%					
•											21					
PM TOTAL PROJECT TRAFFIC	0	0	0	0	0	0	0	0	0	0	21	0	0	0	19	0
Future Total PM Volumes	0	0	0	0	0	58	0	95	1	0	1,872	51	1	140	1,572	0
				Cri	tical Volu	me Analy	sis									
No. of Lanes		1 1	1	1		-	1	1		1	2	1		1 1	2	1
Approach Volume	- \ /		0	-	1\ /		153	_ '	\ /	<u> </u>	1,923	'	N /	- 1	1.712	'
Per Lane Volume	$\dashv \lor$	-	0	0	ł V	58	0	95	V	0	936	51	l V	140	786	0
Overlap Reduction	$\perp \wedge$	0	0	0	$\perp \Lambda$	0	0	0	Λ	0	0	0	$ \Lambda $	0	0	0
Net Per Lane Volume	 // \	-	0	0	/ ∖	58	0	95	/ \	0	936	51	$V \setminus$	140	786	0
North-South Critical	NB LT+S	· ·	-	U	ν \))		30	SR IT+	NR TH =	530	01	v }	58	700	U
East-West Critical	FBIT+W					86			WBIT+					076		
Maximum Critical Sum													.,,		134	
STATUS?			-						DER					.,		
								- 011	3-11							

SIGNAL#	Location EW	Location NS	DATE	PEAK HR COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
21400	54th St	US-1/Broadway	05-Jun-07	7:15 AM	9	0	669	6	36	0	1190	5	5	7	4	6	4	1	2	20	1964
21400	54th St	US-1/Broadway	05-Jun-07	16:45 PM	27	0	1199	21	21	0	1110	13	3	8	0	9	10	1	4	70	2496
22075	60th St N	Royal Palm Beach Bl	13-Jan-22	7:30 AM	4	0	366	7	581	0	232	2	0	0	28	6	3	0	4	199	1432
22075	60th St N	Royal Palm Beach Bl	13-Jan-22	17:00 PM	2	0	304	8	350	0	365	3	2	0	7	4	4	0	31	549	1629
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	7:00 AM	199	0	950	0	0	1	915	9	10	0	0	313	0	0	0	0	2397
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	14:00 MD	158	1	619	0	0	0	679	9	9	0	0	192	0	0	0	0	1667
22050	60th St N	Seminole Pratt Whitney Rd	17-Apr-23	17:00 PM	235	0	848	0	2	1	763	16	12	1	0	164	0	0	0	0	2042
37875	6th Ave S	A St	11-Oct-23	7:15 AM	197	0	203	35	57	0	144	301	182	1	890	82	17	1	1118	33	3261
37875	6th Ave S	A St	11-Oct-23	14:45 MD	148	0	132	12	84	0	143	215	189	1	705	18	21	4	724	62	2458
37875	6th Ave S	A St	11-Oct-23	16:45 PM	137	0	162	29	73	0	173	202	315	1	1354	40	35	1	888	42	3452
37850	6th Ave S	I 95 East	09-Mar-20	7:15 AM	395	0	0	445	0	0	0	0	715	0	513	0	0	0	1139	440	3647
37850	6th Ave S	I 95 East	09-Mar-20	12:00 MD	429	0	0	433	0	0	0	0	284	0	578	0	0	0	539	268	2531
37850	6th Ave S	I 95 East	09-Mar-20	16:45 PM	917	0	0	667	0	0	0	0	615	3	872	0	0	0	950	364	4388
37850	6th Ave S	I 95 West	09-Mar-20	7:15 AM	0	0	0	0	426	0	0	521	0	0	802	382	588	0	945	0	3664
37850	6th Ave S	I 95 West	09-Mar-20	12:00 MD	0	0	0	0	363	0	1	515	0	0	563	327	569	0	1112	0	3450
37850	6th Ave S	I 95 West	09-Mar-20	16:45 PM	0	0	0	0	493	0	0	572	0	0	919	440	607	0	1260	0	4291
37825	6th Ave S	Palm Beach State College	14-Sep-22	7:15 AM	15	0	0	7	20	0	0	23	22	1	1229	8	6	1	812	214	2358
37825	6th Ave S	Palm Beach State College	14-Sep-22	11:00 MD	8	0	0	3	92	0	0	76	24	4	604	4	5	0	605	57	1482
37825	6th Ave S	Palm Beach State College	14-Sep-22	16:30 PM	33	0	1	13	128	0	0	93	19	3	945	2	1	0	1036	80	2354
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	7:30 AM	35	0	230	2	3	0	242	118	76	0	11	36	4	0	16	4	777
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	7:30 AM	162	0	438	11	45	0	563	111	176	0	225	114	28	0	283	40	2196
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	12:00 MD	30	0	169	4	3	0	146	70	87	0	15	32	1	0	8	3	568
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	12:00 MD	127	0	502	22	34	1	526	101	213	0	166	95	35	1	148	15	1986
37950	6th Ave S	US-1/DIXIE HWY	16-Aug-17	16:45 PM	54	0	236	9	7	0	276	119	82	0	36	46	3	0	11	4	883
37900	6th Ave S	US-1/DIXIE HWY	31-Oct-22	17:00 PM	289	0	787	13	58	0	930	251	321	0	438	244	40	0	302	39	3712
36350	7th Ave N	US-1 FEDEREAL HWY	17-Aug-23	7:30 AM	19	0	325	5	10	0	330	24	14	0	9	22	7	0	2	13	780
36350	7th Ave N	US-1 FEDEREAL HWY	17-Aug-23	12:00 MD	18	0	266	8	11	0	249	13	5	0	11	10	2	0	5	14	612
36350	7th Ave N	US-1 FEDEREAL HWY	17-Aug-23	16:45 PM	29	0	384	4	11	0	437	18	6	0	13	17	9	0	5	5	938
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	7:30 AM	26	0	651	29	56	0	615	25	38	0	41	27	25	0	32	32	1597
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	12:00 MD	12	0	573	8	28	0	573	23	19	0	10	24	26	0	8	34	1338
36300	7th Ave N	US-1/DIXIE HWY	17-Aug-23	16:45 PM	46	0	741	20	54	0	829	42	35	0	27	30	31	0	27	29	1911
26275	7th St	Australian Ave	03-May-22	7:30 AM	24	1	660	102	41	0	610	15	12	0	33	65	104	0	12	16	1695
26275	7th St	Australian Ave	03-May-22	16:45 MD	66	0	835	34	20	2	1606	15	21	0	9	44	418	0	23	50	3143
300044	82nd St	Congress Ave	09-Mar-09	7:45 AM	77	0	229	279	271	0	833	84	13	0	34	62	1170	0	217	100	3369
300044	82nd St	Congress Ave	09-Mar-09	16:45 PM	79	0	927	1037	161	0	406	21	90	0	248	89	279	1	45	178	3561
300046	82nd St	I 95 East	23-Mar-04	7:45 AM	1077	0	0	0	0	0	0	0	179	0	0	0	0	0	0	0	1256
300046	82nd St	I 95 East	23-Mar-04	17:00 PM	698	0	3	0	0	0	0	0	645	0	0	0	0	0	0	0	1346

SIGNAL#	Location EW	Location NS	DATE	PEAK HR COUNT_TYP	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
27650	Persimmon Bl	Royal Palm Beach Bl	25-Oct-22	7:00 AM	61	0	371	5	55	0	277	20	7	0	296	162	5	0	89	28	1376
27650	Persimmon Bl	Royal Palm Beach Bl	25-Oct-22	17:00 PM	149	0	577	19	28	0	587	11	9	0	171	138	10	0	342	42	2083
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	7:00 AM	32	0	918	122	47	11	1072	51	33	1	13	45	239	0	13	99	2696
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	14:00 MD	22	0	779	100	89	22	743	60	30	0	10	55	124	1	17	42	2094
24101	Persimmon Bl	Seminole Pratt Whitney Rd	17-Apr-23	17:00 PM	19	0	997	151	109	17	703	59	20	0	14	63	136	0	11	43	2342
27657	Persimmon Bl	SR 7	06-Oct-22	7:00 AM	98	0	229	0	0	0	713	1	0	0	0	371	0	0	0	0	1412
27657	Persimmon Bl	SR 7	06-Oct-22	17:00 PM	302	0	715	0	0	0	398	3	0	0	1	149	0	0	0	0	1568
14400	PGA BI	Alt A1A/SR 811	20-Feb-03	7:45 AM	328	0	399	142	164	0	617	522	364	0	2573	305	113	0	905	45	6477
14400	PGA BI	Alt A1A/SR 811	20-Feb-03	11:30 MD	313	0	376	208	141	0	357	326	396	0	1892	137	196	0	1531	134	6007
14400	PGA BI	Alt A1A/SR 811	20-Feb-03	17:00 PM	511	0	673	125	109	0	378	448	500	0	1852	172	170	0	2240	114	7292
14280	PGA BI	Ave of the Champions	30-Jan-19	7:30 AM	15	0	88	36	416	0	85	29	63	2	360	14	322	48	364	338	2180
14280	PGA BI	Ave of the Champions	30-Jan-19	12:00 MD	8	0	124	70	283	0	116	33	48	1	318	25	277	66	310	227	1906
14280	PGA BI	Ave of the Champions	30-Jan-19	17:00 PM	18	0	105	91	404	0	122	53	51	1	449	11	273	76	469	377	2500
14305	PGA BI	BallenIsles Dr	07-Feb-23	7:30 AM	19	0	0	50	0	0	0	3	36	7	1964	35	53	2	1557	79	3805
14305	PGA BI	BallenIsles Dr	07-Feb-23	12:00 MD	46	0	3	105	1	0	0	2	25	14	1327	60	84	8	1470	58	3203
14305	PGA BI	BallenIsles Dr	07-Feb-23	16:45 PM	53	0	0	106	26	0	1	21	17	8	1619	40	83	4	2283	37	4298
14100	PGA BI	Beeline Hwy	02-Dec-20	7:00 AM	0	0	503	30	89	0	467	0	0	0	0	0	16	0	0	100	1205
14100	PGA BI	Beeline Hwy	02-Dec-20	16:00 PM	0	1	437	26	114	0	652	0	0	0	0	0	94	0	0	95	1419
14403	PGA BI	Campus Dr/Kew Gardens Ave	12-Dec-22	7:30 AM	71	0	40	39	28	0	35	48	65	0	2076	142	39	7	942	45	3577
14403	PGA BI	Campus Dr/Kew Gardens Ave	12-Dec-22	12:30 MD	152	0	87	121	166	0	84	90	69	2	1483	141	48	15	1274	206	3938
14403	PGA BI	Campus Dr/Kew Gardens Ave	12-Dec-22	16:45 PM	130	0	70	75	120	0	80	68	86	5	1325	62	33	12	1612	146	3824
14301	PGA BI	Central BI/Ave of the PGA	09-Jan-23	7:30 AM	13	0	17	29	220	0	21	728	754	6	2157	23	46	17	1369	477	5877
14301	PGA BI	Central BI/Ave of the PGA	09-Jan-23	12:00 MD	35	0	19	46	155	0	21	321	357	16	1359	34	77	33	1349	166	3988
14301	PGA BI	Central BI/Ave of the PGA	09-Jan-23	17:00 PM	72	0	121	58	193	0	34	783	527	9	1745	47	72	15	2474	243	6393
14475	PGA BI	Ellison Wilson Rd	07-Dec-22	7:45 AM	129	0	61	14	32	0	68	254	496	0	1052	235	5	4	442	46	2838
14475	PGA BI	Ellison Wilson Rd	07-Dec-22	12:30 MD	213	0	89	15	37	1	30	301	279	22	895	247	11	2	766	27	2935
14475	PGA BI	Ellison Wilson Rd	07-Dec-22	16:45 PM	326	0	105	18	22	0	40	632	326	16	929	270	5	5	1050	23	3767
14401	PGA BI	Fairchild Gardens Ave	30-Oct-23	7:30 AM	32	0	19	10	50	1	23	81	198	3	3900	106	22	3	876	57	5381
14401	PGA BI	Fairchild Gardens Ave	30-Oct-23	12:30 MD	282	0	143	98	126	0	91	198	341	34	2582	155	98	3	1191	58	5400
14401	PGA BI	Fairchild Gardens Ave	30-Oct-23	16:45 PM	373	1	81	73	110	0	94	320	413	30	3052	106	83	3	1746	50	6535
14300	PGA BI	Fla Turnpike/Fairway Dr	28-Mar-22	7:30 AM	37	0	42	382	1031	0	102	167	82	1	675	49	470	3	757	273	4071
14300	PGA BI	Fla Turnpike/Fairway Dr	28-Mar-22	12:00 MD	87	0	53	351	309	1	38	66	72	2	539	59	319	8	782	200	2886
14300	PGA BI	Fla Turnpike/Fairway Dr	28-Mar-22	17:00 PM	53	0	143	580	505	1	42	80	186	8	814	53	447	5	1198	959	5074
14402	PGA BI	Gardens Mall Main Ent	22-Mar-22	7:30 AM	2	0	0	2	1	0	0	11	41	2	2243	10	2	0	925	12	3251
14402	PGA BI	Gardens Mall Main Ent	22-Mar-22	12:30 MD	24	0	3	8	53	0	2	112	108	2	1515	49	23	2	1445	65	3411
14402	PGA BI	Gardens Mall Main Ent	22-Mar-22	16:45 PM	15	0	2	2	49	0	4	101	113	5	1444	26	6	1	1796	85	3649
14352	PGA BI	I 95 East	04-Mar-20	7:45 AM	0	0	0	2523	0	0	0	0	0	0	2279	0	0	0	0	0	4802

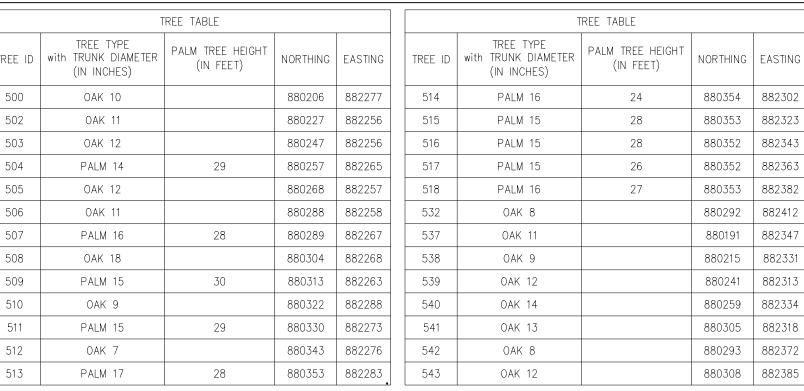
SIGNAL#	Location EW	Location NS	DATE	PEAK HR CO	UNT_TYPI	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
64010	SW 3rd St	SR 7	30-May-17	7:30 AI	М	5	1	2400	43	62	2	1682	31	22	0	14	20	51	0	2	188	4523
64010	SW 3rd St	SR 7	30-May-17	17:00 Pf	М	14	1	2021	62	194	2	2412	50	39	0	3	11	51	0	4	109	4973
64730	SW 8th St	Lyons Rd	19-Sep-23	7:45 AI	М	29	0	1210	33	65	27	1063	58	136	0	69	62	72	2	74	111	3011
64730	SW 8th St	Lyons Rd	19-Sep-23	12:45 M	1D	38	0	658	51	65	17	707	69	54	0	39	38	23	0	30	41	1830
64730	SW 8th St	Lyons Rd	19-Sep-23	17:00 PI	М	110	1	1080	77	87	12	1326	131	105	1	51	51	73	0	91	96	3292
80520	SW Ave E	10th St	18-May-10	7:00 AI	М	6	0	23	120	14	0	27	13	18	0	155	7	100	0	140	16	639
80520	SW Ave E	10th St	18-May-10	12:00 M	1D	7	0	9	73	14	0	11	9	10	0	189	9	65	0	256	23	675
80520	SW Ave E	10th St	18-May-10	16:30 Pf	М	3	0	20	118	29	0	25	25	11	0	279	15	114	0	303	42	984
80540	SW Ave E	5th St	18-May-10	7:45 AI	М	13	0	6	11	52	0	7	23	36	0	288	48	16	0	296	14	810
80540	SW Ave E	5th St	18-May-10	12:30 M	1D	10	0	2	10	58	0	6	21	29	1	272	9	16	0	314	28	776
80540	SW Ave E	5th St	18-May-10	17:00 PI	М	19	0	13	21	82	0	17	57	24	0	425	15	14	0	452	37	1176
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	7:30 AI	М	103	0	563	102	65	0	560	59	74	0	55	108	98	0	70	42	1899
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	11:45 M	1D	126	3	557	99	61	9	579	48	69	0	77	123	107	2	88	55	2003
80550	SW Ave E/ CR 880/ MLK	SR 80/Main St	24-Aug-23	16:30 PI	М	140	5	625	97	73	3	669	68	70	1	71	141	140	0	137	51	2291
47499	SW Congress Bl	Congress Ave	03-May-18	8:00 AI	М	46	1	798	6	19	6	1081	76	77	0	4	127	4	0	3	25	2273
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	7:45 AI	М	139	0	525	35	55	0	847	135	118	2	248	163	49	0	243	21	2580
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	11:45 M	1D	111	0	550	28	51	0	452	71	109	0	265	84	36	1	208	34	2000
48225	SW/SE 23rd Ave	Seacrest Bl	01-Dec-22	16:30 Pf	М	218	0	897	24	55	0	712	86	234	0	476	114	58	0	362	28	3264
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	7:00 AI	М	75	1	845	2	6	2	1039	74	318	0	2	213	1	0	1	9	2588
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	14:00 M	1D	138	1	859	5	3	1	741	123	121	0	1	124	2	0	2	7	2128
27675	Sycamore Dr	Seminole Pratt Whitney Rd	13-Apr-23	17:00 PI	М	291	0	1103	3	10	0	985	190	177	0	0	133	1	0	2	7	2902
29880	Tallapoosa St	Georgia Ave	20-Oct-04	7:15 AI	М	7	0	277	0	0	0	185	2	3	0	0	1	0	0	0	0	475
29880	Tallapoosa St	Georgia Ave	20-Oct-04	13:45 M	1D	5	0	116	0	0	0	157	7	1	0	0	5	0	0	0	0	291
29875	Tallapoosa St	Lake Ave	21-Oct-04	7:15 AI	М	0	0	195	3	9	0	205	0	0	0	0	0	5	0	0	12	429
29875	Tallapoosa St	Lake Ave	21-Oct-04	13:45 M	1D	0	0	144	9	11	0	135	0	0	0	0	0	5	0	0	7	311
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	8:00 AI	М	176	0	252	22	26	1	267	65	98	0	187	263	52	0	161	11	1581
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	12:30 M	1D	198	1	278	46	40	1	237	95	107	0	180	179	73	1	183	45	1664
2600	Tequesta Dr	Old Dixie Hwy	20-Apr-22	17:00 PI	М	208	0	372	55	24	0	242	96	103	0	181	180	69	0	212	33	1775
2400	Tequesta Dr	Riverside Dr	28-Mar-17	8:45 AI	М	128	0	26	11	19	0	54	12	15	0	218	200	8	0	156	13	860
2400	Tequesta Dr	Riverside Dr	28-Mar-17	17:00 PI	М	179	0	54	14	18	0	42	17	18	0	200	96	9	0	241	31	919
2500	Tequesta Dr	Seabrook Rd	02-Sep-09	8:00 AI	М	3	0	59	18	105	0	160	16	24	0	173	9	2	0	172	45	786
2500	Tequesta Dr	Seabrook Rd	02-Sep-09	16:15 PI	М	5	0	81	21	74	0	65	15	16	0	181	9	14	0	218	109	808
2700	Tequesta Dr	US-1	20-Apr-22	7:45 AI	М	67	13	733	21	24	1	1456	111	83	2	11	136	50	0	24	12	2744
2700	Tequesta Dr	US-1	20-Apr-22	12:30 M	1D	129	24	839	43	55	13	928	98	132	9	55	122	127	0	65	36	2675
2700	Tequesta Dr	US-1	20-Apr-22	16:45 PI	М	141	23	1468	50	54	19	952	76	157	7	48	105	127	0	63	32	3322
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	7:45 AI	М	204	1	920	0	0	1	1110	294	235	0	0	190	0	0	0	0	2955
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	14:45 M	1D	287	0	960	0	0	1	913	274	332	1	3	265	0	0	0	0	3036

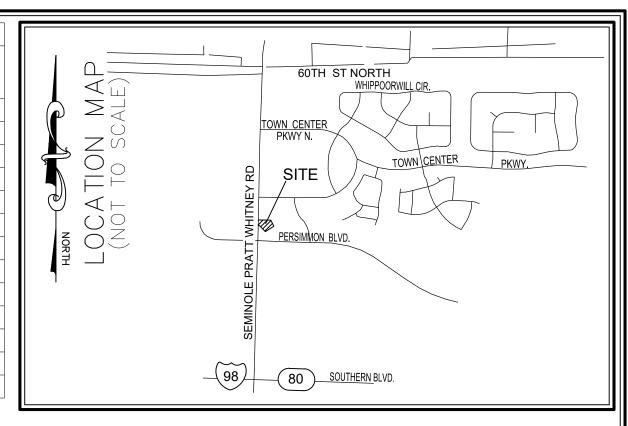
SIGNAL#	Location EW	Location NS	DATE	PEAK HR COUNT_TYPI	NBL	NBU	NBT	NBR	SBL	SBU	SBT	SBR	EBL	EBU	EBT	EBR	WBL	WBU	WBT	WBR	TOTAL
5020	Toney Penna Dr	Alt A1A/SR 811	15-Aug-23	16:45 PM	308	3	1177	0	0	0	1112	303	305	0	0	247	0	0	0	0	3455
4910	Toney Penna Dr	Central Bl	26-Jan-23	7:15 AM	0	0	596	67	210	1	532	0	0	0	0	0	28	0	0	279	1713
4910	Toney Penna Dr	Central Bl	26-Jan-23	13:45 MD	0	0	476	67	171	1	517	0	0	0	0	0	53	0	0	228	1513
4910	Toney Penna Dr	Central Bl	26-Jan-23	17:00 PM	0	0	671	63	250	1	760	0	0	0	0	0	58	4	0	409	2216
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	7:15 AM	84	1	204	84	102	0	211	175	65	0	239	41	31	0	258	101	1596
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	14:30 MD	45	0	182	52	91	5	206	105	62	0	220	59	71	0	324	165	1587
4915	Toney Penna Dr	Maplewood Dr	23-Jan-19	16:45 PM	57	0	174	32	118	0	271	179	67	0	228	78	55	0	431	117	1807
5010	Toney Penna Dr	Military Tr	22-Apr-19	7:15 AM	161	3	673	169	84	1	766	76	109	0	177	214	165	0	190	64	2852
5010	Toney Penna Dr	Military Tr	22-Apr-19	14:30 MD	199	10	844	141	62	4	716	76	116	0	153	206	108	0	203	35	2873
5010	Toney Penna Dr	Military Tr	22-Apr-19	16:30 PM	281	14	867	206	38	7	715	89	81	0	135	168	166	0	301	59	3127
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	7:45 AM	0	0	0	116	0	0	0	26	16	0	317	63	204	0	222	42	1006
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	14:45 MD	0	0	0	225	0	0	0	26	4	0	407	46	147	0	342	52	1249
5020	Toney Penna Dr	Old Dixie Hwy	15-Aug-23	16:45 PM	1	0	0	262	0	0	0	37	6	0	300	33	129	0	376	83	1227
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	7:15 AM	25	0	43	39	84	0	15	65	112	0	427	10	29	0	324	97	1270
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	14:30 MD	15	0	28	35	61	0	28	78	87	0	446	10	25	0	501	94	1408
4950	Toney Penna Dr	Pennock Ln	23-Jan-19	16:30 PM	23	0	30	33	59	0	39	91	73	1	366	11	26	0	744	56	1552
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	7:00 AM	0	0	1093	26	84	1	1153	0	0	0	0	0	29	0	0	252	2638
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	14:00 MD	0	1	669	40	103	0	763	0	0	0	0	0	38	0	0	94	1708
23000	Town Center Pkwy North	Seminole Pratt Whitney Rd	13-Apr-23	17:00 PM	0	1	1001	47	127	1	771	0	0	0	0	0	52	0	0	86	2086
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	7:00 AM	0	0	1083	90	18	1	1265	3	1	0	1	0	50	0	0	14	2526
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	14:00 MD	0	7	874	99	38	2	1035	3	4	0	0	0	139	0	0	22	2223
23001	Town Center Pkwy South	Seminole Pratt Whitney Rd	13-Apr-23	17:00 PM	0	5	1024	136	77	2	794	2	4	0	0	3	123	0	0	37	2207
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	8:00 AM	11	0	668	31	122	48	1334	16	1	0	0	4	47	0	0	52	2334
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	12:45 MD	5	2	999	43	105	139	1022	14	13	0	1	11	52	0	2	64	2472
55167	Tropic Bl	US-1/Federal Hwy	18-Oct-17	16:45 PM	2	2	1507	33	79	88	1021	13	25	0	0	15	52	0	0	76	2913
29850	Turnage Bl	Australian Ave	31-Oct-22	7:45 AM	50	1	2439	1	0	2	1062	30	61	0	0	23	0	0	0	0	3669
29850	Turnage Bl	Australian Ave	31-Oct-22	12:15 MD	51	1	887	1	0	9	772	51	75	1	0	79	0	0	0	0	1927
29850	Turnage Bl	Australian Ave	31-Oct-22	16:30 PM	60	0	1069	0	0	8	2727	39	61	0	0	43	0	0	0	0	4007
29900	Tuscaloosa St	Parker Ave	28-Jun-23	7:45 AM	0	0	206	11	27	0	122	0	0	0	0	0	9	0	0	32	407
29900	Tuscaloosa St	Parker Ave	28-Jun-23	16:45 PM	0	0	193	12	28	0	350	0	0	0	0	0	22	0	0	24	629
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	7:30 AM	5	0	183	531	225	0	240	9	7	0	4	14	60	0	1	26	1305
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	12:00 MD	9	0	149	131	43	0	140	6	5	0	4	11	134	0	9	48	689
12541	Universe Bl	Ellison Wilson Rd	20-Sep-16	16:45 PM	6	0	170	52	27	0	144	4	3	0	3	7	526	0	5	217	1164
12543	Universe Bl	US-1	20-Sep-16	7:45 AM	220	0	675	0	0	0	973	142	25	0	0	74	0	0	0	0	2109
12543	Universe Bl	US-1	20-Sep-16	12:00 MD	170	14	680	0	0	0	654	75	37	0	0	71	0	0	0	0	1701
12543	Universe Bl	US-1	20-Sep-16	16:45 PM	70	4	982	0	0	0	651	29	174	3	0	144	0	0	0	0	2057
6600	University Bl	Military Tr	23-Jan-20	7:30 AM	155	55	1202	73	105	2	1476	97	62	6	53	78	181	0	71	142	3758

(P.B. 125, PG. 106) (O.R.B. 9906, PG. 1105)

(O.R.B. 10202, PG. 430) (O.R.B. 28479, PG. 822)

CENTERLINE INTERSECTION FOR NEAREST INTERSECTING STREET





SCHEDULE B-II EXCEPTIONS

- 9. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of GROVE MARKET PLAT, recorded in Plat Book 82, Page 67, of the Public Records of Palm Beach County, Florida. [AFFECTS AS SHOWN]
- PLOTTABLE] 11. Terms, conditions, and provisions of Deed to Seminole Water Control District, a Drainage District located in Palm Beach County, Florida, a public agency, recorded in Official Records Book 1854,
- Page 1803. [AFFECTS, NOT PLOTTABLE] 12. Terms and provisions of Dedication of Easements by Seminole Water Control District recorded in Official Records Book 1868, Page 307, [DOES NOT AFFECT]
- 13. Terms, conditions and provisions set forth in that certain Comprehensive Plan Agreement and Covenant recorded in Official Records Book 9422, Page 63. [AFFECTS, NOT PLOTTABLE] 14. Restrictions and other terms, covenants and conditions set forth in that certain Declaration of Covenants recorded in Official Records Book 9484, Page 154. [AFFECTS, NOT PLOTTABLE]
- 15. Terms, conditions and provisions set forth in that certain Restrictive Covenant Agreement recorded in Official Records Book 9908, Page 1105. [DOES NOT AFFECT] 16. Terms, conditions and provisions of that certain Lease Agreement evidenced by Short Form Lease recorded in Official Records Book 10059, Page 1327, as modified and affected by instruments recorded in Official Records Book 10113, Page 1690; in Official Records Book 11472, Page 156; in Official Records Book 18490, Page 491; in Official Records Book 21124, Page 1181; in Official
- Records Book 21124, Page 1189, and in Official Records Book 21124, Page 1241. [AFFECTS, NOT PLOTTABLE] 17. Easement recorded in Official Records Book 10602, Page 692. **[DOES NOT AFFECT**
- 18. Matters set forth in that certain Special Warranty Deed recorded in Official Records Book 10923, Page 650. [DOES NOT AFFECT] 19. Terms, provisions, covenants, conditions, restrictions, assessments, easements, options, liens, and other matters established by Declaration of Easements and Restrictions, and recorded in Official
- Records Book 10923, Page 653, as affected by instrument recorded in Official Records Book 15610, Page 183. [DOES NOT AFFECT] 20. Easement in favor of Florida Power & Light Company recorded in Official Records Book 11011, Page 1838. [DOES NOT AFFECT]
- 21. Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 219. [DOES NOT AFFECT
- 22. Easement in favor of BellSouth Telecommunications, Inc., recorded in Official Records Book 11291, Page 225. [DOES NOT AFFECT] 23. Terms, conditions and provisions of Drainage Agreement recorded in Official Records Book 10407, Page 1715. [AFFECTS, NOT PLOTTABLE]
- 24. Terms, conditions and provisions of Water and Sewer Agreement recorded in Official Records Book 10407, Page 1727. [AFFECTS, NOT PLOTTABLE]
- 25. Lease Agreement by and between Grove Shopping Partners, Ltd., a Florida limited liability partnership, Lessor, and Winn—Dixie Stores, Inc., a Florida corporation, Lessee, dated June 21, 2001, as evidenced by that certain Subordination, Nondisturbance, and Attornment Agreement recorded March 8, 2002, in Official Records Book 13490, Page 491. [AFFECTS, NOT PLOTTABLE]
- 26. Recorded Notice of Environmental Resource Permit recorded in Official Records Book 29976, Page 82. [AFFECTS, NOT PLOTTABLE] 27. Recorded Notice of Environmental Resource Permit recorded in Official Records Book 30441, Page 1713. [AFFECTS, NOT PLOTTABLE]
- 28. Recorded Notice of Environmental Resource Permit recorded in Official Records Book 30517, Page 681. [AFFECTS, NOT PLOTTABLE] 29. Lease Agreement by and between 5060 Loxahatchee Retail, LLC, a Delaware limited liability company, Lessor, and Winn—Dixie, Lessee, dated December 18, 2020, as evidenced by that certain
- Memorandum of Lease recorded December 31, 2020, in Official Records Book 32052, Page 727. [AFFECTS, NOT PLOTTABLE]
 30. Easement by and between 5060 Loxahatchee Retail, LLC, a Delaware limited liability company, Grantor, and Florida Public Utilities Company, a Florida corporation, Grantee, recorded December 3, 2021, in Official Records Book 33105, Page 1609. [5' GAS EASEMENT, DOES NOT AFFECT PER GRAPHIC, NO DESCRIPTION IN INSTRUMENT, GRAPHIC NOT LEGIBLE ENOUGH FOR PLOTTING]
- 31. Recorded Notice of Environmental Resource Permit recorded in Official Records Book 33403, Page 15. [AFFECTS, NOT PLOTTABLE] 32. Water Line Easement and Grant of Rights Agreement dated September 8, 2022 by and between California Holdings, LLC, a Florida limited liability company (Grantor) and 5060 Loxahatchee Retail LLC, a Delaware limited liability company (Grantee) recorded September 14, 2022 in Book 33837, Page 1607 of the public records of Palm Beach County, Florida. [DOES NOT AFFECT, WATER LINE
- EASEMENT SHOWN, TEMPORARY STAGING EASEMENT NOT DEPICTED DUE TO EASEMENT EXPIRATION] 33. Terms and Conditions contained in the Tenancy in Common Agreement, dated September 9, 2022, between Grove Market SG2020 LLC, a Florida limited liability company, Grove Market Anderson LLC, a Florida limited liability company, Grove Market Courtland LLC, a Florida limited liability company, and JBL Humblewood Center limited liability company, a Florida limited liability company,
- recorded September 22, 2022 in Official Records Book 33853, page 1478, of Palm Beach County, Florida. [AFFECTS, NOT PLOTTABLE] NOTE: Notice of Landlord recorded December 31, 2020 in Official Records Book 32052, Page 716, Palm Beach County Public Records. [NOT A SURVEY MATTER]

ABBREVIATION LEGEND

CONC. - CONCRETE - DOUBLE DETECTOR CHECK VALVE EQUIPMENT

- EASEMENT FASTING F.P.L.-FLORIDA POWER & LIGHT
- FND. FOUND
- I.R./CAP IRON ROD & CAP INV. - INVERT
- IRR. IRRIGATION
- LIMITED ACCESS EASEMENT - NORTHING
- O.R.B. OFFICIAL RECORD BOOK (P.B.C. RECORDS)
 P.B. PLAT BOOK (P.B.C. RECORDS)
 P.B.C. PALM BEACH COUNTY
- POINT OF COMMENCEMENT
- P.R.M.-PERMANENT REFERENCE MONUMENT U.E. — UTILITY EASEMENT

SYMBOL LEGEND

- → LIGHT POLE
- WV − WATER VALVE
- D DRAINAGE MANHOLE — WOOD POWER POLE (UNLESS NOTED)
- CENTER LINE
- EXISTING ELEVATION
- OHW - ELECTRICAL WIRES OVERHEAD
- □□ - BACKFLOW PREVENTER
- E – ELECTRIC HAND HOLE
- IRRIGATION CONTROL VALVE □ - CONCRETE POWER POLE
- ── − FIRE DEPARTMENT CONNECTION

PARKING SPACE COUNT

- 54 TOTAL SPACES 48 - REGULAR SPACES
- HANDICAP SPACES - LOW SPEED ELECTRIC VEHICLE SPACES

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION ON AUGUST 6, 2018. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER 5J—17 ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

THIS SURVEY OR REPRODUCTIONS THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL, OR THE AUTHENTICATED ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL SEAL OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR LANDS SHOWN HEREON WERE ABSTRACTED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NUMBER: FL2401614C, EFFECTIVE DATE: FEBRUARY 27, 2024 AT 8:00 AM. SCHEDULE B-SECTION II

- EXCEPTIONS WERE REVIEWED BY THIS OFFICE AND ALL PLOTTABLE EXCEPTIONS ARE SHOWN HEREON. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BEARINGS SHOWN HEREON ARE RELATIVE TO A GRID BEARING OF NO1*42'54"E ALONG WEST LINE OF TRACT A, GROVE MARKET PLAT, RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT) AND BASED ON FIELD MEASUREMENTS. COORDINATES SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM. EAST ZONE, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT), AS DETERMINED BY THE PALM BEACH
- COUNTY SURVEY DEPARTMENT. THE "DESCRIPTION" SHOWN HEREON IS IN ACCORD WITH THE DESCRIPTION PROVIDED BY THE CLIENT. UNDERGROUND FOUNDATIONS WERE NOT LOCATED.
- ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. FLOOD ZONES: "X (UNSHADED)" AND "AE (18.5')"; COMMUNITY PANEL NO. 120192 0345 F; DATE:
- BENCHMARK ORIGIN DESCRIPTION: PALM BEACH COUNTY BENCHMARK "GRIFFIN" ELEVATION =20.032 THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF CAULFIELD & WHEELER, INC. THIS SURVEY IS NOT TRANSFERABLE BY OWNERS AFFIDAVIT OF SURVEY OR
- SIMILAR INSTRUMENT 13. THE SURVEY SKETCH SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR 14. NO RESPONSIBILITY IS ASSUMED BY THIS SURVEYOR FOR THE CONSTRUCTION OF IMPROVEMENTS, FROM
- BUILDING TIES SHOWN ON THIS SURVEY. REVISIONS SHOWN HEREON DO NOT REPRESENT A "SURVEY UPDATE" UNLESS OTHERWISE NOTED. ALL DATES SHOWN WITHIN THE REVISIONS BLOCK HEREON ARE FOR INTEROFFICE FILING USE ONLY AND IN NO WAY AFFECT THE DATE OF THE FIELD SURVEY STATED HEREIN. 17. IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY
- WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID. 18. THE OWNERSHIP OF FENCES, PERIMETER WALLS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS. FENCES, HEDGES AND/OR PERIMETER WALLS ARE SHOWN IN
- THEIR RELATIVE POSITION TO THE BOUNDARY. 19. AT THE TIME OF THIS SURVEY THERE WAS NO OBSERVABLE SURFACE EVIDENCE OF EARTH MOVING WORK OR BUILDING CONSTRUCTION.
- AT THE TIME OF THIS SURVEY THERE WERE NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY 21. AT THE TIME OF THIS SURVEY THERE WERE NO DIVISION OR PARTY WALLS ON THE SURVEYED PROPERTY.

DESCRIPTION

A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE NO1*42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE NO1°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25; THENCE NO1°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.

SAID LAND SITUATE IN PALM BEACH COUNTY, FLORIDA AND CONTAINING 28,796 SQUARE FEET OR 0.661 ACRES, MORE OR LESS.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 9. 10, 11 (OBSERVED), 13, 14 AND 16 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON APRIL 4, 2024

DATE OF PLAT OR MAP: APRIL 5, 2024

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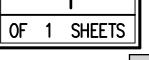
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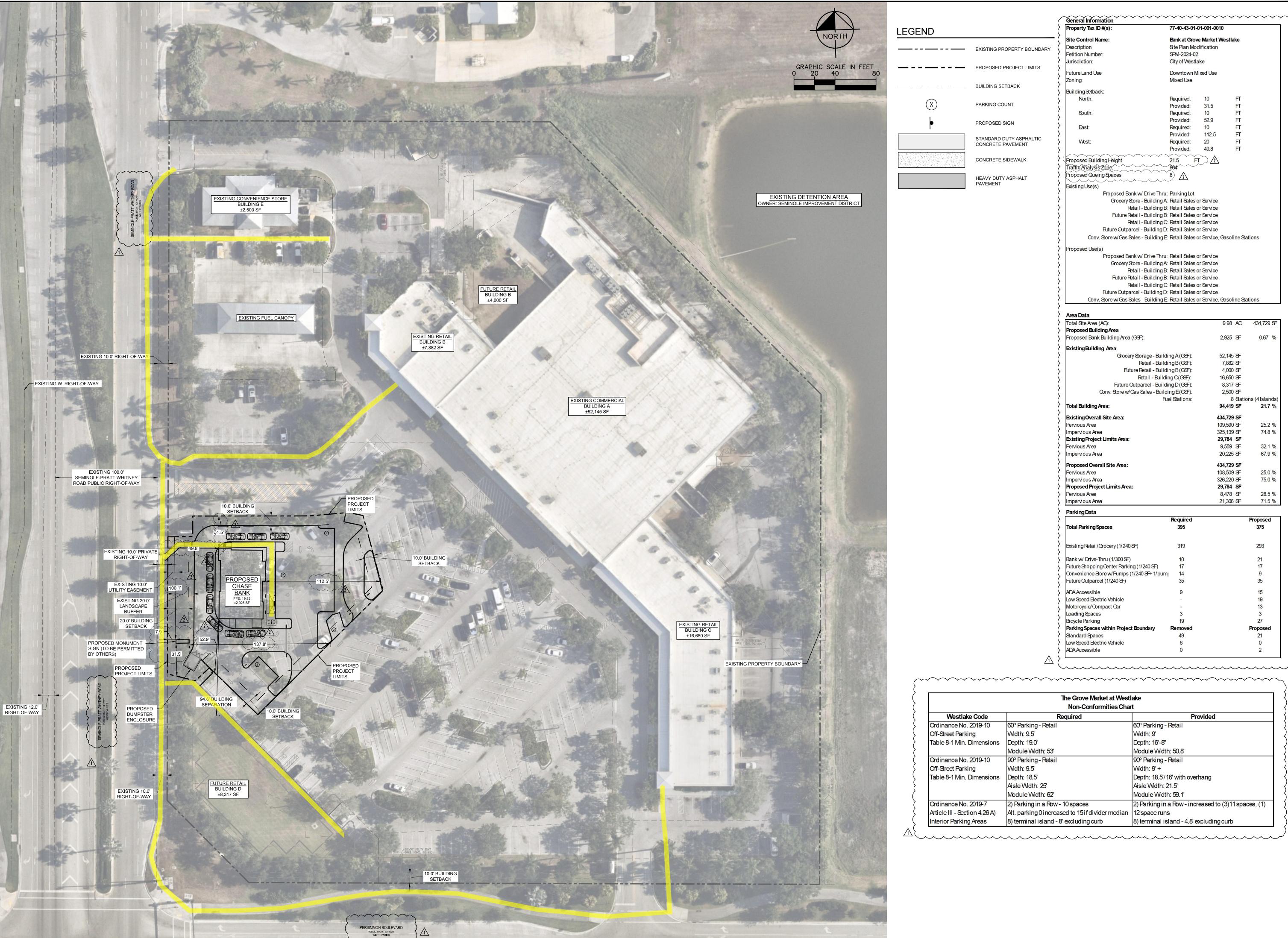
JOB # 10818

L.B. 3591



A PORTION OF TRACT A, GROVE MARKET PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 82, PAGE 67, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT A; THENCE N01°42'54"E ALONG THE WEST LINE OF SAID TRACT A, A DISTANCE OF 123.30 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID LINE N01°42'54"E, A DISTANCE OF 133.77 FEET; THENCE DEPARTING SAID LINE S89°06'30"E, A DISTANCE OF 24.25; THENCE N01°35'28"E, A DISTANCE OF 20.01 FEET; THENCE S88°27'31"E, A DISTANCE OF 141.19 FEET; THENCE S70°43'38"E, A DISTANCE OF 28.63 FEET; THENCE S13°26'39"E, A DISTANCE OF 66.08 FEET; THENCE S45°29'46"W, A DISTANCE OF 150.98 FEET; THENCE N38°54'32"W, A DISTANCE OF 26.78 FEET; THENCE N84°02'02"W, A DISTANCE OF 88.31 FEET TO THE POINT OF BEGINNING.



General Information 77-40-43-01-01-001-0010 Bank at Grove Market Westlake Site Plan Modification SPM-2024-02 City of Westlake Downtown Mixed Use 52.9 112.5 Grocery Store - Building A: Retail Sales or Service Retail - Building B: Retail Sales or Service Future Retail - Building B: Retail Sales or Service Retail - Building C. Retail Sales or Service Future Outparcel - Building D: Retail Sales or Service Conv. Store w/ Gas Sales - Building E Retail Sales or Service, Gasoline Stations Proposed Bank w/ Drive Thru: Retail Sales or Service Grocery Store - Building A: Retail Sales or Service Retail - Building B: Retail Sales or Service Future Retail - Building B: Retail Sales or Service Retail - Building C. Retail Sales or Service Future Outparcel - Building D: Retail Sales or Service Conv. Store w/ Cas Sales - Building E: Retail Sales or Service, Casoline Stations 9.98 AC 434,729 SF 2,925 SF 0.67 % 52,145 SF 7,882 SF 4,000 SF 16,650 SF 8,317 SF 2,500 SF 8 Stations (4 Islands) 94,419 SF 21.7 %

434,729 SF

109,590 SF

325,139 SF

29,784 SF

9,559 SF

20,225 SF

434,729 SF

25.2 %

74.8 %

32.1 %

67.9 %

Pervious Area		108,509 SF	25.0 %
Impervious Area		326,220 SF	75.0 %
Proposed Project Limits Area:		29,784 SF	
Pervious Area		8,478 SF	28.5 %
Impervious Area		21,306 SF	71.5 %
Parking Data			
	Required		Proposed
Total Parking Spaces	395		375
Existing Retail/Grocery (1/240 SF)	319		293
Bank w/ Drive-Thru (1/300 SF)	10		21
Future Shopping Center Parking (1/240 SF)	17		17
Convenience Store w/Pumps (1/240 SF+ 1/pum	14		9
Future Outparcel (1/240 SF)	35		35
ADA Accessible	9		15
Low Speed Electric Vehicle	-		19
Motorcycle/Compact Car	-		13
Loading Spaces	3		3
Bicycle Parking	19		27
Parking Spaces within Project Boundary	Removed		Proposed
Standard Spaces	49		21
Low Speed Electric Vehicle	6		0
ADA Accessible	0		2

	The Grove Market at West	ake
	Non-Conformities Cha	t
Westlake Code	Required	Provided
nance No. 2019-10	60° Parking - Retail	60° Parking - Retail
treet Parking	Width: 9.5	Width: 9
8-1 Min. Dimensions	Depth: 19.0'	Depth: 16'-8"
	Module Width: 53'	Module Width: 50.8'
nance No. 2019-10	90° Parking - Retail	90° Parking - Retail
treet Parking	Width: 9.5	Width: 9 +
8-1 Min. Dimensions	Depth: 18.5'	Depth: 18.5'/16' with overhang
	Aisle Width: 25'	Aisle Width: 21.5'
	Module Width: 62'	Module Width: 59.1'
ance No. 2019-7	2) Parking in a Row - 10 spaces	2) Parking in a Row - increased to (3)11 spaces, (1)
e III - Section 4.26 A)	Alt. parking 0 increased to 15 if divider median	12 space runs
or Parking Areas	8) terminal island - 8' excluding curb	8) terminal island - 4.8' excluding curb

O E

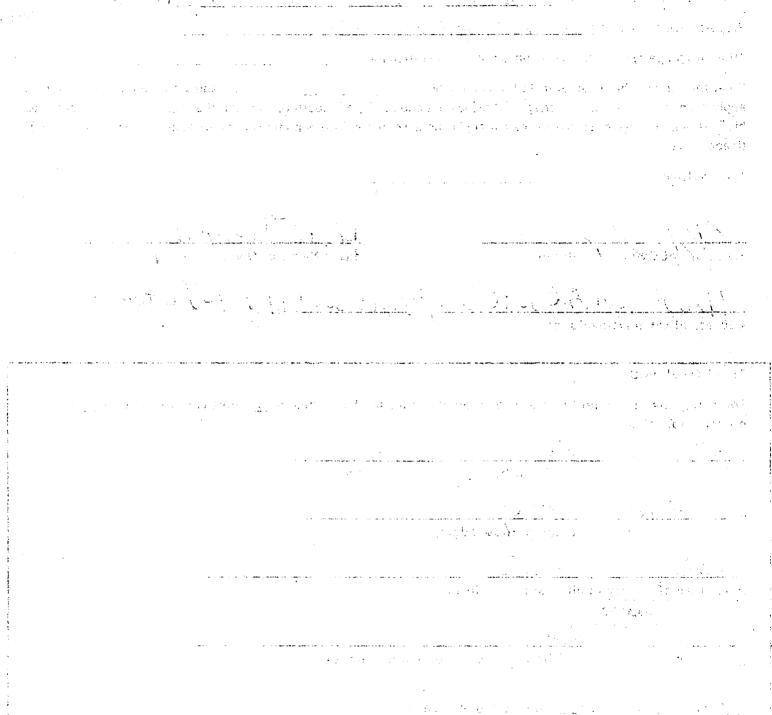
DATE NOVEMBER 2024 PROJECT NO. 145538000

SHEET NUMBER C-300

Owners Affidavit Designating Representation

Property Location Address: 5060 Seminole Pratt Whitney Road, Loxahatchee, FL
Property Owners Name(s): Premier Sevelopers, (C) 33470
"That this property constitutes the subject of an application for the"
"That this affidavit has been executed to induce the, to consider and act on the above described application and that the undersigned has(have) appointed and does(do) appoint the agent(s) stated herein as his/her(their) agent(s) solely to execute any application(s) or other documentation necessary to affect such application(s)" (if applicable). Nicole Berlin Agent's Name:
Signafure of Owner/Developer Print Name of Owner/Developer
1d0 Sylvan Aul Suite 301 Englewar Cliff NJ 07632 Address of Owner/Developer
STATE OF FLORIDA
The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this. S + L
(Notary Seal)

Cwners Affidavit Designating Representation







January 9, 2025

Suzanne Dombrowski, P.E. City of Westlake- Planning and Zoning Department 4001 Seminole Pratt Whitney Road Westlake, FL 33470

RE: Grove Market

Westlake, Florida

Kimley-Horn #145538000

Dear Suzanne:

Kimley-Horn and Associates, Inc. has prepared a study to evaluate the overall anticipated future parking requirements for the redevelopment of the Grove Market located on the northeast corner of Seminole Pratt Whitney Road & Persimmon Boulevard, in the City of Westlake, Florida. The Grove Market is a mixed-use shopping center.

Figure 1 illustrates the site location. Following is the mix of uses that have been evaluated in the following analysis:

Grocery: 52,145 square feet
 Retail: 29,404 square feet
 Restaurant: 7,124 square feet

Bank with Drive-Through: 2,925 square feet

■ Gas Station with Convenience Store: 2,500 square feet / 8 Fueling Positions

Because the mix of uses on site (grocery store, retail/restaurant uses, bank, and gas station) are anticipated to have differing peak demand periods throughout the day, a shared parking analysis was undertaken to determine the actual anticipated parking needs for the site. The City of Westlake Ordinance No. 2019-10 defines the baseline parking supply requirements for different types of land uses. The following analysis utilizes hourly adjustment factors published by the Urban Land Institute (ULI) in *Shared Parking, 3rd Edition* to account for differences in parking demand over the course of the day and to account for differences between weekday and weekend conditions. Following is a summary of the evaluation undertaken.



Parking Requirements and Hourly Variation

To calculate the baseline parking needs for each use, parking ratios defined in the City of Westlake Ordinance No. 2019-10 were applied. Following is a summary of the applicable ratios for the uses on this site:

- Grocery Store: 1 space per 240 square feet
- Retail: 1 space per 240 square feet
- Restaurant: 1 space per 225 square feet
- Bank with Drive-Through: 1 space per 300 square feet
- Gas-Station with Convenience Store: 1 space per 240 square feet plus 1 space per gas pump island

Table 1 provides a summary of the baseline parking requirement for the site for weekday and weekend conditions using these baseline City Code-defined ratios.

Adding up the total baseline parking requirements assumes that every use within the site experiences its peak demand simultaneously. However, based on characteristics specific to each use on a mixed-use site, some uses will experience peak demands at times when other uses experience reduced activity or are even not even open for operation. It is for this reason that the ULI Shared Parking methodology was developed to calculate the variation in demand throughout the day on a use-by-use basis and to provide a more accurate illustration of what parking demand is expected for the Grove Market site.

The ULI Shared Parking, Third Edition manual provides hourly distribution for each of the land uses found on the site. This manual also shows, for each use, the relative proportion of the parking supply for each use that is used by employees and the proportion used by visitors. Table 1 shows how the employee/visitor proportion that is published by ULI is applied to the City Code-required parking ratios to determine how much of the City Code-required parking would be used by visitors and how much would be used by employees when that use is operating at 100% of its parking need.

Table 2A and Table 3A show the percentage of peak parking needed on an hourly basis on weekdays and weekends, respectively, for each of the uses analyzed using data published by ULI. Table 2B and Table 3B includes calculations to apply the hourly variation percentages shown in Tables 2A and 3A to the Code-required parking calculated for each use as shown in Table 1. Tables 2A and 2B show the hour-by-hour parking needs for the overall site by adding the calculated hour-by-hour variation in demand for each use, applying the hourly variation percentages to the Code-required parking. It is important to note that the code parking ratios used in this analysis are already assumed to include a buffer between actual demand and supply needed, as evidenced by the fact that no additional buffer is added whenever the Code is used to calculate site parking requirements; therefore, no additional buffer is added in because it is already build into the base parking calculations. This analysis determined that the overall peak parking need will be 353 parking spaces at 5:00 PM on a weekday and 374 parking spaces at 12:00 PM on a weekend. The proposed parking supply is 374 parking spaces.



Therefore, based upon this evaluation, the overall parking supply of 374 spaces provided is sufficient to meet the shared parking needs on this site. Please contact me via telephone at (561) 840-0248 or via e-mail at chris.heggen@kimley-horn.com should you have any comments or need any additional clarification.

Sincerely,



This item has been electronically signed and sealed by Christopher W. Heggen, P.E. using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on electronic copies.

Digitally signed by Christopher W Heggen Date: 2025.01.09

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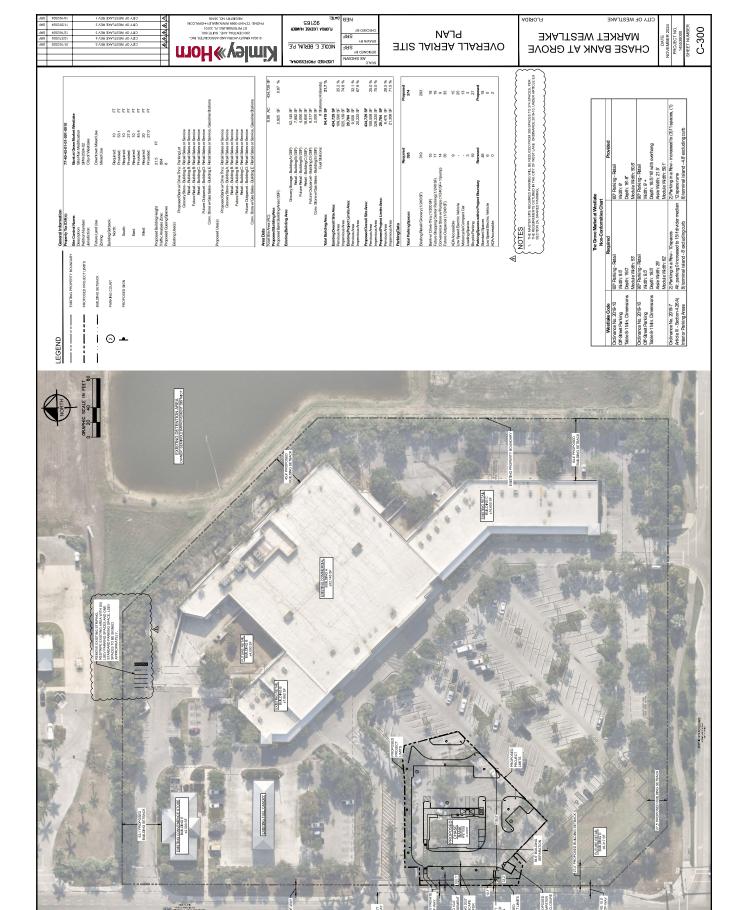
Christopher W. Heggen, P.E. Transportation Engineer

Florida Registration Number 58636

Registry No. 35106

Attachments

k:\wpb_tpto\1455\145538000 - westlake - grove market\shared parking\2025-01-09 grove market shared parking.docx



Property	Unit(s)	Lease	Lease Type	Area
grove - Grove Market				
Current Leases				
grove	5010	Performance Napa, LLC	Retail Net	3,600.00
grove	5014	Botian Inc.	Retail Net	1,200.00
grove	5018	A Smokers Delight LLC	Retail Net	1,200.00
grove	5022	Camden River Hair, Inc.	Retail Net	1,200.00
grove	5026	Gissy Family Chiropractic PLLC	Retail Net	1,200.00
grove	5030	IL Pomodoro LLC	Retail Net	2,119.00
grove	5038	Salon Prive	Retail Net	1,200.00
grove	5042_46	Atlantic Coast Exotics, LLC	Retail Net	2,237.00
grove	5060	Aldi, Inc	Retail Net	52,145.00
grove	5084	Wish Martial Arts LLC	Retail Net	4,050.00
grove	5088_96	Gator Shack	Retail Net	3,805.00
grove	5034	VACANT		2,400.00
grove	TRUCK	VACANT		0.00
Total Current				76,356.00

						TAE	BLE 1 - PAR	(ING REQUIR	EMENT - WE	STLAKE SH	IARED PAR	RKING							
					ULI 3r	d Edition	Rates						Westlake (City Code					
	Quantity			Weekday	Weekend			Weekday	Weekend							Week	day	Weel	kend
Land Use		Unit	Use	Base (# of spaces)	Base (# of spaces)	Peak Ratio	Unit	Parking	Spaces	Location	n Base Ratio	o (1 Space per)	Westlake Ratio	Parking Spaces	User	Adjusted Ratio by User	Parking Spaces	Ratio By User	Parking Spaces
Grocery	52.145	ksf	Visitor Employee	4.00 0.75	4.00 0.75	4.75	/ksf GLA	209 39	209 39	(0.24	ksf GLA	1 space per 240 sf	217	Visitors Employees	0.84 0.16	183 34	0.84 0.16	182 35
Retail	29.404	ksf	Visitor Employee	2.90 0.70	3.20 0.80	4.00	/ksf GLA	85 21	94 24	(0.24	ksf GLA	1 space per 240 sf	123	Visitors Employees	0.73 0.18	89 22	0.80 0.20	98 25
Restaurant	7.124	ksf	Visitor Employee	13.25 2.25	15.25 2.50	17.75	/ksf GLA	94 16	109 18	0	0.225	ksf GLA	1 space per 225 sf	32	Visitors Employees	0.75 0.13	24 4	0.86 0.14	28 4
Bank with Drive-Through	2.925	ksf	Visitor Employee	3.50 2.50	3.00 1.75	6.00	/ksf GLA	10 7	9 5		0.3	ksf GLA	1 space per 300 sf	10	Visitors Employees	0.58 0.42	6 4	0.50 0.29	5 3
Gas-Station with Convenience Store*	2.500 8.000	ksf / F.P	Visitor Employee	2.90 0.70	3.20 0.80	4.00	/ksf GLA	15 10	16 10	0.24	0.5	ksf GLA / F.P.	1 space per 240 sf plus 1 space per gas pump island	14	Visitors Employees	0.73 0.18	10 2	0.80 0.20	11 3
			. , ., .,						-1				TOTAL			Adj. Weekday Weighted	378	Adj. Weekend Weighted	

					DAII	_Y VARIA	T TION OF F	ABLE 2A PARKING I	DEMAND	(WEEKDA	.Y)									
Land Use	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	Customer	5%	20%	30%	50%	60%	67%	85%	90%	95%	97%	100%	100%	100%	85%	55%	35%	20%	5%	5%
	Employee	20%	30%	40%	80%	90%	100%	100%	100%	100%	100%	100%	100%	80%	50%	35%	20%	20%	20%	20%
Bank with Drive-Through	Customer	0%	0%	50%	90%	100%	50%	50%	50%	70%	50%	80%	100%	0%	0%	0%	0%	0%	0%	0%
	Employee	0%	0%	60%	100%	100%	100%	100%	100%	100%	100%	100%	100%	0%	0%	0%	0%	0%	0%	0%
Retail	Customer	1%	5%	15%	35%	60%	75%	100%	100%	95%	85%	85%	85%	90%	80%	65%	45%	15%	5%	0%
	Employee	10%	15%	25%	45%	75%	95%	100%	100%	100%	100%	100%	100%	100%	100%	90%	60%	40%	20%	0%
Restaurant	Customer	0%	0%	0%	0%	15%	40%	75%	75%	65%	40%	50%	75%	95%	100%	100%	100%	95%	75%	25%
	Employee	0%	20%	50%	75%	90%	90%	90%	90%	90%	75%	75%	100%	100%	100%	100%	100%	100%	85%	35%
Gas-Station with Convenience Store*	Customer	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%
	Employee	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%

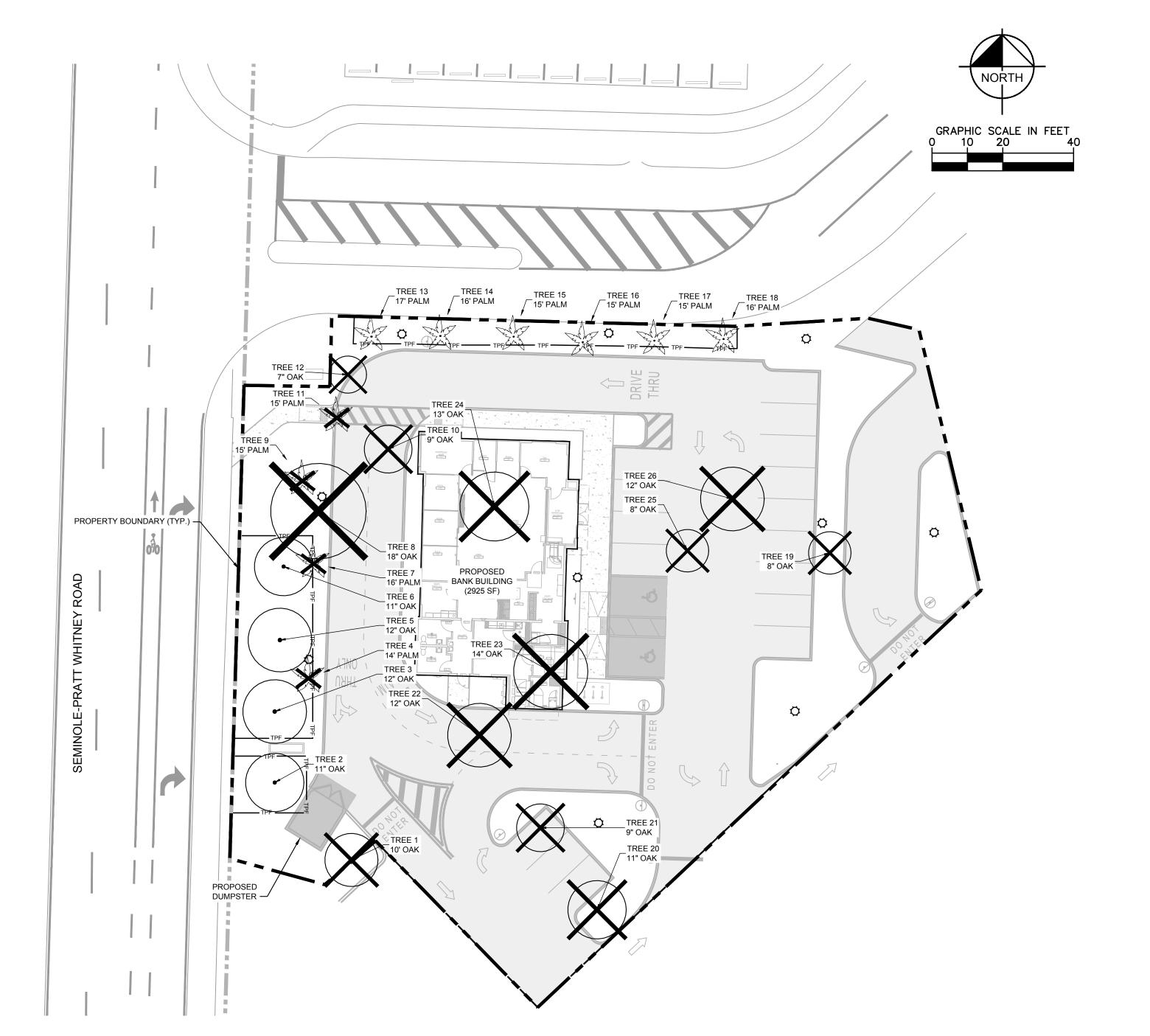
^{**}ITE Time of Day Distribution used.

					1111	WEEKDAY		ABLE 2B		N (WEEKI	1ΑΥ)									
Land Use	Parking Req. User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	183 Customer	9	37	55	91	110	122	155	164	174	177	183	183	183	155	101	64	37	9	9
	34 Employee	7	10	14	27	31	34	34	34	34	34	34	34	27	17	12	7	7	7	7
Bank with Drive-Through	6 Customer	0	0	3	5	6	3	3	3	4	3	5	6	0	0	0	0	0	0	0
	4 Employee	0	0	3	4	4	4	4	4	4	4	4	4	0	0	0	0	0	0	0
Retail	89 Customer	1	4	13	31	54	67	89	89	85	76	76	76	80	71	58	40	13	4	0
	22 Employee	2	3	5	10	16	20	22	22	22	22	22	22	22	22	19	13	9	4	0
Restaurant	24 Customer	0	0	0	0	4	10	18	18	16	10	12	18	23	24	24	24	23	18	6
	4 Employee	0	1	2	3	4	4	4	4	4	3	3	4	4	4	4	4	4	3	1
Gas-Station with Convenience Store*	10 Customer	0	5	7	7	7	8	10	9	7	6	5	5	5	0	0	0	0	0	0
	2 Employee	0	1	2	2	2	2	2	2	2	2	1	1	1	0	0	0	0	0	0
	Adjusted Total	19	62	104	180	236	274	342	349	350	336	345	353	345	293	218	152	92	46	23

							T	ABLE 3A												
					DAIL	Y VARIAT	TON OF P.	ARKING D	EMAND (WEEKEN	OS)									
Land Use	User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	Customer	10%	25%	50%	75%	95%	100%	100%	100%	100%	100%	100%	90%	50%	33%	25%	15%	5%	4%	3%
	Employee	15%	35%	70%	85%	100%	100%	100%	100%	85%	75%	60%	55%	45%	40%	30%	20%	10%	10%	5%
Bank with Drive-Through	Customer	0%	0%	25%	40%	75%	100%	90%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
	Employee	0%	0%	90%	100%	100%	100%	100%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Retail	Customer	1%	5%	30%	50%	70%	90%	95%	100%	100%	95%	90%	80%	75%	70%	65%	50%	30%	10%	0%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	85%	80%	75%	65%	45%	15%	0%
Restaurant	Customer	0%	0%	0%	0%	0%	15%	50%	55%	45%	45%	45%	60%	90%	95%	100%	90%	90%	90%	50%
	Employee	0%	20%	30%	60%	75%	75%	75%	75%	75%	75%	75%	100%	100%	100%	100%	100%	100%	85%	50%
Gas-Station with Convenience Store*	Customer	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%
	Employee	0%	54%	73%	65%	72%	80%	100%	89%	69%	63%	54%	54%	49%	0%	0%	0%	0%	0%	0%

^{*}ITE Time of Day Distribution used (Weekday TOD Distribution)

								ABLE 3B												
					ULI W	EEKEND .	- DAILY PA	ARKING V	ARIATION	N (WEEKE	NDS)									
Land Use	Parking Req. User	6 am	7 am	8 am	9 am	10 am	11 am	Noon	1 pm	2 pm	3 pm	4 pm	5 pm	6 pm	7 pm	8 pm	9 pm	10 pm	11 pm	Midnight
Grocery	182 Customer	18	46	91	137	173	182	182	182	182	182	182	164	91	60	46	27	9	7	5
	35 Employee	5	12	24	30	35	35	35	35	30	26	21	19	16	14	10	7	3	3	2
Bank with Drive-Through	5 Customer	0	0	1	2	4	5	5	0	0	0	0	0	0	0	0	0	0	0	0
	3 Employee	0	0	3	3	3	3	3	0	0	0	0	0	0	0	0	0	0	0	0
Retail	98 Customer	1	5	30	49	69	89	93	98	98	93	89	79	74	69	64	49	30	10	0
	25 Employee	2	4	10	18	21	23	25	25	25	25	25	23	21	20	18	16	11	4	0
Restaurant	28 Customer	0	0	0	0	0	4	14	15	12	12	12	17	25	26	28	25	25	25	14
	4 Employee	0	1	1	3	3	3	3	3	3	3	3	4	4	4	4	4	4	4	2
Gas-Station with Convenience Store*	11 Customer	0	6	8	7	8	9	11	10	8	7	6	6	5	0	0	0	0	0	0
	3 Employee	0	2	2	2	2	2	3	2	2	2	2	2	1	0	0	0	0	0	0
	Adjusted Total	27	<i>7</i> 5	170	251	318	356	374	371	360	351	340	314	238	193	170	129	82	53	23
										_								_		



Point#	<u>SPECIES</u>	<u>DBH</u>	<u>STATUS</u>		
1	OAK	10	REMOVE		
2	OAK	11	PRESERVE		
3	OAK	12	PRESERVE		
4	PALM	N/A	REMOVE		
5	OAK	12	PRESERVE		
6	OAK	11	PRESERVE		
7	PALM	N/A	REMOVE		
8	OAK	18	REMOVE		
9	PALM	N/A	REMOVE		
10	OAK	9	REMOVE		
11	PALM	N/A	REMOVE		
12	OAK	7	REMOVE		
13	PALM	N/A	PRESERVE		
14	PALM	N/A	PRESERVE		
15	PALM	N/A	PRESERVE		
16	PALM	N/A	PRESERVE		
17	PALM	N/A	PRESERVE		
18	PALM	N/A	PRESERVE		
19	OAK	8	REMOVE		
20	OAK	11	REMOVE		
21	OAK	9	REMOVE		
22	OAK	12	REMOVE		
23	OAK	14	REMOVE		
24	OAK	13	REMOVE		
25	OAK	8	REMOVE		
26	OAK	12	REMOVE		

EXISTING TREE TO REMAIN

EXISTING PALM TO BE REMOVED

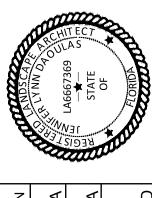
TREE PROTECTION FENCING

Know what's below.

Call before you dig.

€

Kimley » Horn



DATE DECEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER TM-100_

A. GENERAL

- 1. OWNER IS RESPONSIBLE TO SELECT A PROJECT ARBORIST, AS NEEDED, UNLESS ONE IS CURRENTLY PART OF DESIGN TEAM.
- 2. CONTRACTOR SHALL ADHERE TO ALL TREE PROTECTION REQUIREMENTS LISTED IN THESE SPECIFICATIONS AND/OR THOSE LISTED IN THE CITY OR COUNTY ZONING CODE, TREE PROTECTION (LATEST EDITION). WHICHEVER IS MORE STRINGENT SHALL APPLY.
- 3. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATION MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE.
- 4. NO SIGNS, BUILDING PERMITS, WIRES OR OTHER ATTACHMENTS OF ANY KIND SHALL BE ATTACHED TO ANY TREE OR PALM. GUY WIRES DESIGNED TO PROTECT TREES ARE EXCLUDED FROM THIS PROHIBITION.
- 5. EXISTING TREE LOCATIONS AND SIZES ARE ESTIMATES AND ARE BASED ON A SURVEY PROVIDED BY THE OWNER SELECTED
- 6. CONTRACTOR SHALL COORDINATE TREE REMOVAL WITH PERMITTING AGENCY AND PROJECT ARBORIST PRIOR TO CONSTRUCTION.

 NO PERSON MAY REMOVE OR CAUSE TO BE REMOVED ANY PROTECTED TREE OR PALM WITHOUT FIRST HAVING PROCURED A PERMIT
- AS PROVIDED BY THE APPROPRIATE PERMITTING AGENCY.

 7. FOR PROTECTED TREES OR PALMS BEING REMOVED, THE CONTRACTOR MUST GIVE THE PERMITTING AGENCY REASONABLE

OPPORTUNITY TO RELOCATE TREES DESIGNATED FOR REMOVAL TO ANOTHER SITE AT THE PERMITTING AGENCY'S EXPENSE.

- 3. CONTRACTOR IS RESPONSIBLE FOR POSSESSING ALL REQUIRED APPLICATOR LICENSES, BUSINESS REGISTRATIONS AND INSURANCE, PESTICIDE LABELS, AND MATERIAL DATA SAFETY SHEETS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING ALL SPILL CONTAINMENT MATERIALS AND REQUIRED PERSONAL PROTECTIVE EQUIPMENT FOR PESTICIDE APPLICATIONS AND ACCIDENTAL SPILLS ON SITE AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO INSPECT EACH APPLICATOR AND HAVE THESE MATERIALS PRESENTED BEFORE AND DURING ANY PESTICIDE TREATMENT.
- 9. WHERE TRAFFIC AREAS ARE PROPOSED WITHIN THE DRIP LINE OF PROTECTED TREES AND LESS THAN FOUR (4) INCHES OF GRADE CHANGE ARE PROPOSED, PERMEABLE SURFACES THAT ALLOW AIR AND WATER INTO THE SOIL SHOULD BE USED IN LIEU OF ASPHALT OR OTHER SUCH IMPERVIOUS SURFACES.
- 10. TREE WELLS OF AN APPROVED DESIGN SHALL BE CONSTRUCTED AROUND ALL TREES TO BE PRESERVED WHEN MORE THAN FOUR INCHES OF FILL IS TO BE DEPOSITED WITHIN THE DRIP LINE AREA OF THOSE TREES. COORDINATE WITH PROJECT ARBORIST.
- 11. THE SEQUENCE OF TREE MITIGATION AND PRESERVATION MEASURES IS IMPERATIVE TO THE HEALTH AND SURVIVABILITY OF THE SUBJECT TREES AND SHALL BE COORDINATED WITH THE PROJECT ARBORIST. THE DESIRED SEQUENCE IS OUTLINED BELOW:
 - a. TREE PROTECTION FENCING.
 - b. ROOT PRUNING AND ROOT BARRIERS.
- c. CLEARING.
- d. TREE CANOPY PRUNING
- e. FERTILIZATION.
- f. INSECTICIDE.
- g. IRRIGATION.

B. TREE PROTECTION FENCING

- 1. PRIOR TO THE ERECTION OF ANY TREE PROTECTION FENCING, ALL FOREIGN SURFACE MATERIAL, TRASH OR DEBRIS SHALL BE REMOVED FROM THE AREA TO BE ENCLOSED BY THE FENCING. AFTER ERECTION OF THE FENCING NO SUCH MATERIAL OR LITTER SHALL BE PERMITTED TO REMAIN WITHIN THE PROTECTED AREA.
- 2. TREE PROTECTION FENCING SHALL BE PLACED AROUND ALL PROTECTED TREES TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL SITE CLEARING, LAND ALTERATION, AND CONSTRUCTION ACTIVITIES ARE COMPLETE.
- 3. NATIVE GROUND COVER AND UNDERSTORY VEGETATION EXISTING WITHIN THE PROTECTED AREA SHALL REMAIN THROUGHOUT CONSTRUCTION. OTHER DESIGNATED VEGETATION AND INVASIVE PLANT SPECIES SHALL BE REMOVED ONLY BY MANUAL LABOR UTILIZING HAND TOOLS, OR BY OTHER METHODS APPROVED BY THE PROJECT ARBORIST.
- 4. TREE PROTECTION FENCING TYPES AND LOCATIONS SHALL BE ERECTED AS SHOWN ON THE TREE MITIGATION PLANS AND DETAILS, OR AS REQUESTED BY LOCAL AGENCY.
- 5. FINAL LOCATIONS SHALL BE COORDINATED WITH AND APPROVED BY THE PROJECT ARBORIST
- 6. NO MATERIALS, EQUIPMENT, SPOIL, WASTE OR WASHOUT WATER MAY BE DEPOSITED, STORED, OR PARKED WITHIN 20 FEET OF THE TREE PROTECTION ZONE.
- 7. EROSION CONTROL DEVICES SUCH AS SILT FENCING, DEBRIS BASINS, AND WATER DIVERSION STRUCTURES SHALL BE INSTALLED TO PREVENT SILTATION AND/OR EROSION WITHIN THE TREE PROTECTION ZONE.
- 8. CONSTRUCTION ACTIVITY SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- 9. DO NOT INSTALL CONDUIT, DRAIN OR IRRIGATION LINES, OR ANY UTILITY LINE WITHIN THE TREE PROTECTION ZONE WITHOUT THE APPROVAL OF THE PROJECT ARBORIST. IF LINES MUST TRAVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE.
- 10. CONTRACTOR'S ACCESS TO FENCED TREE PROTECTION AREAS WILL BE PERMITTED ONLY WITH APPROVAL OF THE PROJECT
- 11. EXCAVATION OR GRADING REQUIRED WITHIN THE PROTECTED AREA SHALL BE LIMITED TO THREE (3) INCHES OF CUT OR FILL. COORDINATE WITH PROJECT ARBORIST.
- 12. STRUCTURES AND UNDERGROUND FEATURES TO BE REMOVED WITHIN THE TREE PROTECTION ZONE SHALL BE COORDINATED WITH THE PROJECT ARBORIST.
- 13. TREE PROTECTION FENCING AROUND TREES TO BE RELOCATED SHALL BE ERECTED UNTIL THE TREE IS READY TO BE RELOCATED AND NEW FENCING SHALL BE ERECTED AT THE TREES NEW LOCATION AND WILL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETE.
- 14. IF ANY DAMAGE TO TREE PROTECTION FENCING SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE REPAIRS.
- 15. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE PROTECTED AREA OF TREES TO BE PRESERVED, A ROAD BED OF SIX (6) INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROAD BED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A SIX (6) INCH ROAD BED AT ALL TIMES. CONTRACTOR SHALL REMOVE ALL SUCH MATERIALS FROM THE SITE AS SOON AS TEMPORARY ACCESS IS NO LONGER NECESSARY.
- 16. CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO THE REMOVAL OF ALL TREE PROTECTION FENCING.

C. ROOT PRUNING/TRENCHING

- 1. THE STANDARDS FROM AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI): A300 (PART 8)-2013 ROOT MANAGEMENT WITH SPECIAL ATTENTION TO SECTION 84 SHALL APPLY TO THIS WORK. IF REQUESTED, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER ONE COPY OF THIS REFERENCE. PROVISION OF REFERENCE SHALL BE INCIDENTAL TO THIS ITEM.
- 2. AIR EXCAVATION AND ROOT PRUNING WORK SHALL BE PERFORMED BY OR OVERSEEN BY THE PROJECT ARBORIST.
- 3. AIR EXCAVATION OF SOIL AND ROOT PRUNING SHALL OCCUR ANY TIME PRIOR TO EQUIPMENT WORK WITHIN THE ROOT ZONE OF MARKED TREES.
- 4. AIR EXCAVATION SHALL BE DONE ALONG THE LIMIT OF PROPOSED EXCAVATION. TRENCH SHALL BE OF SUFFICIENT WIDTH TO OBSERVE AND CUT ROOTS AND SHALL BE TO THE DEPTH OF PROPOSED EXCAVATION. IMMEDIATELY FOLLOWING AIR EXCAVATION, ROOTS SHALL BE PRUNED. AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS.
- 5. FOLLOWING PRUNING, ROOTS SHALL BACKFILLED WITH PREVIOUSLY EXCAVATED SOIL, COMPACTED IMMEDIATELY AND WATERED IMMEDIATELY. ROOTS SHALL CONTINUE TO BE WATERED AND FERTILIZED AS DIRECTED BY THE PROJECT ARBORIST.
- 6. TRENCHING LOCATIONS SHALL BE APPROVED IN THE FIELD BY THE PROJECT ARBORIST.
- 7. TRENCHING EQUIPMENT THAT WILL TURN AT HIGH RPM'S IS PREFERRED, AND SHALL BE APPROVED BY THE PROJECT ARBORIST. APPROVED EQUIPMENT WILL BE USED TO PERFORM ALL ROOT PRUNING OPERATIONS.
- 8. INSTALL ROOT BARRIER WHERE DESIGNATED. SEE TREE MITIGATION PLAN AND DETAIL SHEETS.
- 9. TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF TWELVE (12) WEEKS PRIOR TO TREE RELOCATION.

D. CLEARING

- ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND-OPERATED FOLIPMENT
- 2. CONTRACTOR SHALL CLEAR ALL TREE PROTECTION AREAS OF VINES, SHRUBS, GROUND COVERS, WEEDS, SAPLINGS, AND INVASIVES LISTED ON THE LATEST EDITION OF THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF INVASIVE SPECIES.
- 3. PROJECT ARBORIST MUST APPROVE METHODS OTHER THAN HAND CLEARING.
- 4. A TWO (2) INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES DURING THE

E. TREE CANOPY PRUNING

- 1. TREE PRUNING SPECIFICATIONS SHALL BE DEFINED BASED ON SPECIFIC RECOMMENDATIONS OF THE PROJECT ARBORIST. INFORMATION PRESENTED BELOW SHOULD BE USED AS A GUIDELINE.
- 1. CONTRACTOR SHALL VISIT THE SITE WITH THE PROJECT ARBORIST TO VERIFY THE EXTENT OF REQUIRED PRUNING.
- 2. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) CERTIFIED ARBORIST OR AN AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA) REGISTERED CONSULTING ARBORIST (RCA)
- 3. AT LEAST ONE MEMBER OF THE PRUNING CREW SHALL BE AN ISA CERTIFIED ARBORIST.
- 4. WHILE IN THE TREE, THE ARBORIST SHALL PERFORM AN AERIAL INSPECTION TO IDENTIFY DEFECTS THAT REQUIRE TREATMENT. ANY ADDITIONAL WORK NEEDED SHALL BE REPORTED TO THE OWNER.
- 5. PRUNING CUTS SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ANSI A300 PRUNING STANDARD (AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS) AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI Z133.1 SAFETY STANDARD. PRUNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ISA'S "BEST MANAGEMENT PRACTICES: TREE PRUNING".
- 6. WHERE TEMPORARY CLEARANCE IS NEEDED FOR ACCESS, BRANCHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE
- 7. NO MORE THAN 20 PERCENT OF LIVE FOLIAGE SHALL BE REMOVED WITHIN ANY TREE.
- 8. ALL TREES WITHIN THE PROJECT AREA SHALL BE PRUNED AS FOLLOWS:
- a. LIVE BRANCH PRUNING SHOULD BE PERFORMED ONLY WHEN THE DANGER OF INSECT OR DISEASE INFESTATION IS NOT
- b. REMOVE STUBS, CUTTING OUTSIDE THE WOUND WOOD TISSUE THAT HAS FORMED AROUND THE BRANCH.
- c. CLEANING, FOR THE SELECTIVE REMOVAL OF DEAD, DISEASED, BROKEN, OR CROSSING BRANCHES DOWN TO ONE INCH IN DIAMETER OR AS DIRECTED BY THE PROJECT ARBORIST.
- d. PRUNING CUTS LARGER THAN 4 INCHES IN DIAMETER, EXCEPT FOR DEAD WOOD, SHALL BE AVOIDED.
- e. PRUNING CUTS THAT EXPOSE HEARTWOOD SHALL BE AVOIDED WHENEVER POSSIBLE.
- f. ALL TREES WITH CROWNS THAT PROJECT INTO PARKING LOT/ROADWAY AREAS SHALL BE RAISED TO 14 FEET ABOVE FINISHED
- GRADE.
 g. ALL TREES WITH CROWNS THAT PROJECT INTO SIDEWALK AREAS SHALL BE RAISED TO A HEIGHT OF 8 FEET ABOVE FINISHED
- GRADE.
- 9. TREES, WHO'S ROOT SYSTEMS WILL BE IMPACTED SHALL RECEIVE THE FOLLOWING PRUNING TO COMPENSATE FOR ROOT LOSS:
- a. THE LOCATION AND SIZE OF BRANCHES FOR REDUCTION SHALL BE DEFINED BY THE PROJECT ARBORIST
- b. REDUCTION, OR THE SELECTIVE PRUNING TO REDUCE TREE HEIGHT OR SPREAD.
- c. REDUCE END WEIGHT ON HEAVY, HORIZONTAL BRANCHES BY SELECTIVELY REMOVING SMALL DIAMETER BRANCHES, NO GREATER THAN 2 TO 3 INCHES, NEAR THE ENDS OF SCAFFOLD BRANCHES.
- d. RAISING SHALL CONSIST OF SELECTIVE PRUNING TO PROVIDE VERTICAL CLEARANCE.

10. PROPOSED/REPLACEMENT TREES

- a. PRUNING SHALL BE LIMITED TO CLEANING
- 11. BRUSH SHALL BE CHIPPED AND SPREAD (ONLY WHEN DISEASE OR INSECT INFESTATION IS NOT PRESENT) UNDERNEATH TREES WITHIN THE TREE PROTECTION ZONE TO A MAXIMUM DEPTH OF THREE (3) INCHES, LEAVING THE TRUNK CLEAR OF MULCH.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DEBRIS ON A DAILY BASIS.

F. FERTILIZATION

- CONTRACTOR SHALL COORDINATE FERTILIZATION PLAN, FOLLOWING BEST MANAGEMENT PRACTICES WITH THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF WORK.
- 2. EVERY EFFORT SHALL BE MADE TO UTILIZE CHEMICALS OF AN ORGANIC OR BIODEGRADABLE NATURE IN ORDER TO OFFER THE LEAST IMPACT TO THE NATURAL ENVIRONMENT. CONTRACTOR IS RESPONSIBLE FOR MIXING, APPLYING, AND DISPOSAL OF ALL CHEMICALS IN ACCORDANCE WITH STRICT ADHERENCE TO MANUFACTURER'S SPECIFICATIONS. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- 3. ONLY TREES AFFECTED BY CONSTRUCTION OR AS SHOWN ON THE TREE MITIGATION PLAN AND TREE INVENTORY SCHEDULE SHALL BE TREATED.
- 4. TREES SPECIFIED TO RECEIVE FERTILIZER SHALL BE TREATED AS FOLLOWS.
- a. MIX FERTILIZER ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO A TANK WITH AGITATION CAPABILITY.
- b. MIX WETTING AGENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS INTO SAME TANK WITH FERTILIZER. AGITATE MIX.
- c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
- d. THE CRITICAL ROOT ZONE AREA PLUS 2' BEYOND THE CRITICAL ROOT ZONE SHALL BE INJECTED, BUT NOT BEYOND ROOT PRUNING LOCATIONS
- e. FERTILIZER SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF ANY AERATION SYSTEMS.
- f. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY THE PROJECT ARBORIST PRIOR TO DISPOSAL.
- a. CONTRACTOR SHALL PROVIDE MYCORRHIZAL TRANSPLANT INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. MIX INOCULANT IN 10" WIDE TOPSOIL RING AROUND THE ROOT BALL.
- b. CONTRACTOR SHALL PROVIDE INJECTABLE MYCORRHIZAL INOCULANT ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND AS RECOMMENDED BY THE PROJECT ARBORIST. AGITATE FOR 10 MINUTES.
- c. INJECT THE MIXTURE WITH A HYDRAULIC INJECTION SYSTEM INTO THE UPPER 6-12 INCHES OF SOIL WITH A SOIL PROBE. INJECT AT THE RATE OF ONE THIRD (1/3) GALLON AT EACH INJECTION SITE.
- d. EMPTY PRODUCT CONTAINERS SHALL BE STOCKPILED FOR INSPECTION BY PROJECT ARBORIST PRIOR TO DISPOSAL.
- 7. TRANSPLANT MAINTENANCE
- a. APPROXIMATELY ONE YEAR AFTER PLANTING, THE CONTRACTOR SHALL RE-FERTILIZE ALL TRANSPLANTS UTILIZING THE SAME

G. INSECTICIDE

NOTIFY PROJECT ARBORIST IF ANY INFESTATION IS NOTICED.

5. TRANSPLANT INOCULANT & BIOSTIMULANT.

- 2. FOLLOW PROJECT ARBORIST'S RECOMMENDED PROCEDURES.
- 3. FOLLOW ALL MANUFACTURERS' RECOMMENDATIONS CONCERNING APPLICATION. READ ALL WARNING LABELS.
- 4. ANY PETS, AS WELL AS, THE PETS FOOD AND WATER BOWLS SHOULD BE REMOVED FROM THE AREA AND ANY SWIMMING POOLS SHOULD BE COVERED. COORDINATE WITH PROJECT ARBORIST FOR FURTHER INSTRUCTION.
- 5. ENSURE COMPLETE COVERAGE AND REAPPLY 2-3 MONTHS AFTER INITIAL APPLICATION UTILIZING SAME PROCEDURE.

H. IRRIGATION

- 1. EVERY EFFORT SHALL BE MADE TO WATER THE PRESERVED TREES AND TRANSPLANTS. CONTRACTOR SHALL IRRIGATE BY HAND OR
- 2. IRRIGATE AS REQUIRED BY PROJECT ARBORIST UNTIL PERMANENT IRRIGATION IS INSTALLED AND OPERATING.
- 3. UNDERGROUND IRRIGATION SHALL NOT BE INSTALLED WITHIN THE DRIP LINES OF EXISTING TREES UNLESS ROOT PROTECTION MEASURES ARE PROVIDED AND APPROVED BY PROJECT ARBORIST.

I TREE REMOVALS

- PRIOR TO AND DURING LAND CLEARING, INCLUDING GRUBBING, ALL TREES TO BE REMOVED SHALL BE CLEARLY MARKED BY PROJECT ARBORIST WITH RED SURVEY RIBBONS AT 36 INCHES MINIMUM ABOVE GRADE.
- 2. CONTRACTOR SHALL REMOVE ALL TREES AS SHOWN ON THE TREE MITIGATION PLANS AFTER THE TREE PROTECTION FENCING IS
- 3. ALL TREES SHOWN TO BE REMOVED SHALL BE FELLED WITH A CHAIN SAW AND STUMP GROUND 6" BELOW SURFACE. ANY TREE SHOWN TO BE REMOVED THAT IS IN AN AREA WHERE COMPACTION IS CRITICAL SHALL BE FELLED WITH A CHAIN SAW AND STUMP
- 4. ALL WOOD AND STUMPS FROM REMOVALS SHALL BE HAULED FROM THE SITE THE SAME DAY, EXCEPT FOR TOPS. ALL TOPS ARE TO BE MULCHED AND STOCKPILED OR HAULED DIRECTLY TO MULCHED AREAS FOR RELOCATED TREES IF SCHEDULING PERMITS. TOPS SHALL BE CHIPPED AND PLACED IN THE TREE PROTECTION ZONE TO A DEPTH OF THREE (3) INCHES. ALL EXCESS WOOD CHIPS SHOULD BE HAULED OFF SITE AFTER TRANSPLANTING IS COMPLETE.
- 5. ALL BURN PITS IF APPLICABLE MUST BE APPROVED BY THE PROJECT ARBORIST AND OWNER.
- 6. TREES TO BE REMOVED THAT HAVE BRANCHES EXTENDING INTO THE CANOPY OF TREES TO REMAIN MUST BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST AND NOT BY DEMOLITION OR CONSTRUCTION CONTRACTORS. THE QUALIFIED ARBORIST SHALL REMOVE THE TREE IN A MANNER THAT CAUSES NO DAMAGE TO THE TREES AND UNDERSTORY VEGETATION TO REMAIN.
- 7. TREES TO BE REMOVED LOCATED WITHIN THE TREE PROTECTION ZONE SHALL BE REMOVED BY A QUALIFIED ISA CERTIFIED ARBORIST. THE TREES SHALL BE CUT NEAR GROUND LEVEL AND THE STUMP GROUND OUT.

J. MACHINE DUG TRANSPLANTING

- DIG TRANSPLANT-RECEIVING HOLE.
- 2. SET SPADE DUG ROOT BALL INTO RECEIVING HOLE 4"-6" ABOVE EXISTING GRADE.
- 3. WASH SAND OR TOPSOIL INTO AIR POCKETS BETWEEN ROOT BALL AND RECEIVING HOLE.
- WASH SAND OR FOI SOIL INTO AIRT OCKETS BETWEEN ROOT BALL AND RECEIVING HOLE.
 INSTALL TOPSOIL RING, 4" HIGH, 10" WIDE, AROUND PERIMETER OF ROOT BALL. MIX MYCORRHIZAL TRANSPLANT INOCULANT INTO
- TOPSOIL RING PER MANUFACTURERS SPECIFICATIONS.
- 5. INSTALL THREE INCHES OF MULCH FROM PERIMETER OF ROOT BALL TO WITHIN 6" OF TREE TRUNK.
- 6. COVER TOPSOIL RING WITH 1" OF MULCH AND EXTEND MULCH 4"-6" DEEP, AWAY FROM PERIMETER OF ROOT BALL.

K. HOLDING AREA FOR TRANSPLANTS

- HOLDING AREAS SHOULD NOT BE NECESSARY. CONSTRUCTION PHASING SHOULD BE IMPLEMENTED SO THAT TREES ARE IMMEDIATELY RELOCATED TO THEIR PERMANENT LOCATION. COORDINATE WITH PROJECT ARBORIST AS NEEDED.
- SHOULD A HOLDING AREA BE NECESSARY, TREE PROTECTION FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE ENTIRE
- 3. CONTRACTOR SHALL COORDINATE LOCATION AND SPECIFICATIONS OF THE HOLDING AREA WITH PROJECT ARBORIST.
- 4. CONTRACTOR SHALL SUPPLY TEMPORARY IRRIGATION TO THE HOLDING AREA CONSISTING OF ABOVE GROUND PVC OR POLYETHYLENE PIPE, SPRAY OR ROTOR HEADS (WITH HEAD TO HEAD COVERAGE) AND A CONTROLLER. COORDINATE WITH PROJECT ARBORIST FOR CONTROLLER SETTINGS AND ALTERNATIVE WATERING METHODS.

L. TOPSO

- 1. CONTRACTOR SHALL COORDINATE ALL EARTHWORK OPERATIONS WITHIN TREE PROTECTION AREAS WITH THE PROJECT ARBORIST
- 2. ALL TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE
- TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH.

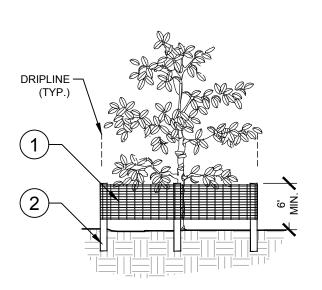
 3. TOPSOIL, PH RANGE OF 5.5 TO 7.0, 3-5 PERCENT ORGANIC MATERIAL MINIMUM, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN ONE (1) INCH IN DIAMETER, STUMPS, ROOTS, TRASH, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH.
- 4. VERIFY AMOUNT STOCKPILED IF ANY, AND SUPPLY ADDITIONAL AS NEEDED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL
- OCCURS AT LEAST FOUR (4) INCHES DEEP. DO NOT OBTAIN TOPSOIL FROM BOGS OR MARSHES.

TO THE OWNER BY THE GOVERNING AGENCY.

5. PROJECT ARBORIST SHALL APPROVE ALL TOPSOIL PRIOR TO PLACEMENT.M. REPAIR OF DAMAGED TREES

- I. IF DAMAGE TO ANY TREE SHOULD OCCUR BY ACCIDENT OR NEGLIGENCE DURING THE CONSTRUCTION PERIOD, THE PROJECT
- ARBORIST SHALL APPRAISE THE DAMAGE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPAIR BY THE CONTRACTOR.

 2. IF ANY TREE DESIGNATED TO BE SAVED IS REMOVED FROM THE SITE WITHOUT PERMISSION OF THE OWNER'S REPRESENTATIVE, THE PROJECT ARBORIST SHALL APPRAISE THE TREE AND MAKE RECOMMENDATIONS TO THE OWNER FOR REPLACEMENT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF THE TREE AND ANY FEES THAT MAY BE ASSESSED



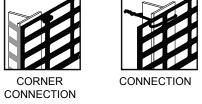
ELEVATION

- 6'H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
- APPROVAL PRIOR TO INSTALLATION.

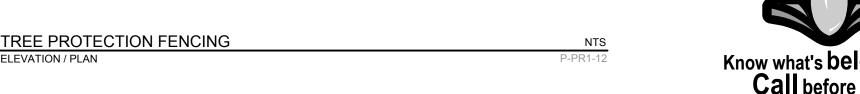
 2 8' TALL METAL "T" POSTS OR 2" x 2" X 8'
 PRESSURE TREATED WOOD POSTS WITH 24"
 BURIAL BELOW GRADE.

INSTALLATION NOTES:

- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
- B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/3 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 6' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
- C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
- D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.



NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.



Know what's below.

Call before you dig.

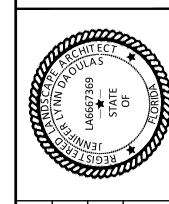
CITY OF WESTLAKE REV 3

CITY OF WESTLAKE REV 2

CITY OF WESTLAKE REV 1

No. REVISIONS

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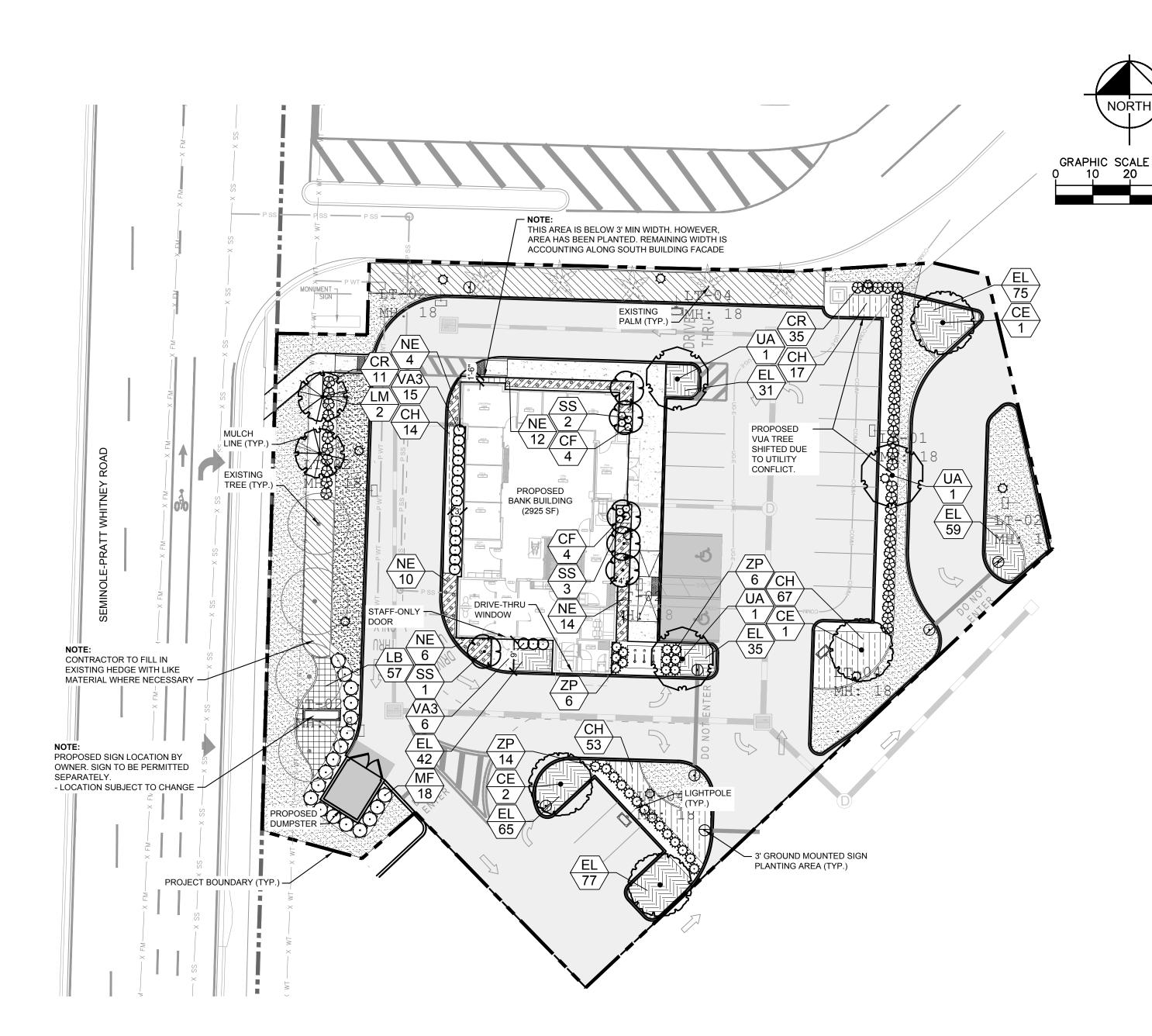
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DATE
DECEMBER 2024
PROJECT NO.
145538000

SHEET NUMBER

TM-101



LANDSCAPE CALCULATIONS

CITY OF WESTLAKE ORDINANCE NO. 2019-7

	REQUIRED	PROVIDED
PERIMETER LANDSCAPE NORTH PERIMETER - 140 LF CONTINUOUS HEDGE 1 CANOPY TREE EVERY 25 LF WEST PERIMETER - 133 LF CONTINUOUS HEDGE 1 CANOPY TREE EVERY 25 LF SECTION 4.13	NORTH CONTINUOUS HEDGE 140 LF / 25 LF = 6 TREES WEST CONTINUOUS HEDGE 133 LF / 25 LF = 6 TREES	CONTINUOUS HEDGE 6 EXISTING TREES CONTINUOUS HEDGE 4 EXISTING + 2 PROPOSED = 6 TREES
UTILITY/ DUMPSTER SCREENING CONTINUOUS EVERGREEN SHRUB, FENCING, WALLS OR BERMS SECTION 4.14	CONTINUOUS EVERGREEN SHRUB, FENCING, WALLS OR BERMS	CONTINUOUS EVERGREEN SHRUB, FENCING, WALLS OR BERMS
FOUNDATION PLANTING 3FT MIN WIDTH + 5FT AVERAGE WIDTH 1 CANOPY TREE (12' MIN HEIGHT) OR PALM FOR EVERY 20 LF OF BUILDING FACADE 1 SHRUB (18" MIN HEIGHT) OR GROUNDCOVER FOR EVERY 10 SF OF PLANTING AREA SECTION 4.15-4.18	219 LF OF FACADE - 42 LF (EXCLUDES ENTRY AREAS, OVERHANG/ SWALES) = 177 LF / 20 = 9 TREES 185 LF X 5 = 885 SF FOUNDATION PLANTING 368 SF / 10 SF = 37 SHRUBS	6 PALM TREES 906 SF FOUNDATION PLANTING (BASED ON 5' WIDTH) 77 SHRUBS
VUA PLANTING 1 CANOPY TREE PER ISLAND (3 PALMS:1 CANOPY) SECTION 4.26	7 ISLANDS = 7 TREES	7 TREES

1. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT

- 2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
- 3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.
- 4. REFER TO SHEETS L-101 AND L-102 FOR LANDSCAPE NOTES AND DETAILS.
- 5. ALL EXISTING TREES SHALL BE REMOVED WITHIN LIMITS OF GRADING.
- 4. CONTRACTOR SHALL SOD TO LIMITS OF DISTURBANCE, INCLUDING ANY DISTURBANCE WITHIN RIGHT-OF-WAY. ALL SOD TO BE NON-IRRIGATED BAHIA. CONFIRM FINAL SPECIES SELECTION WITH OWNER PRIOR TO INSTALLATION.

EXISTING PLANT SCHEDULE

LEGEND

EXISTING PERIMETER HEDGE ROWS CONTRACTOR TO FILL IN EXISTING HEDGE WITH LIKE

3,684 SF / SOD

MATERIALS WHERE NECESSARY. CHRYSOBALANUS ICACO 'RED TIP' / RED TIP COCO PLUM CRINUM ASIATICUM / CRINUM LILY PODOCARPUS MACROPHYLLUS / YEW PODOCARPUS

PROPOSED GROUND MOUNTED SIGN WITH 3' DIAMETER PLANTING AREA

PLANT SCHEDULE

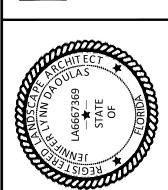
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL (MIN)	CONT (MIN)	HEIGHT (MIN)	SPREAD	SPACING	NATIVE
TREES	CE	4	CONOCARPUS ERECTUS / BUTTONWOOD	4 IN CAL	FG	14 FT MIN	6 FT MIN	AS SHOWN	YES
				STANDARD	FG	10 FT MIN	4 FT MIN	AS SHOWN	NO
				STANDARD	FG	12 FT MIN	4 FT MIN	AS SHOWN	YES
	ULMUS ALATA / W		ULMUS ALATA / WINGED ELM	4 IN CAL	FG	12 FT MIN	3-4 FT MIN	AS SHOWN	YES
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT	<u>HEIGHT</u>	SPREAD	SPACING	NATIVE
SHRUBS	CR	46	CHRYSOBALANUS ICACO 'RED TIP' / RED TIP COCO PLUM	3 GAL	РОТ	24 IN MIN	18 IN MIN	36 IN OC	YES
$\overline{\odot}$	CF	8	CORDYLINE FRUTICOSA 'RED SISTER' / RED SISTER TI PLANT	3 GAL	POT	24 IN MIN	24 IN MIN	24 IN OC	NO
	MF	18	MYRCIANTHES FRAGRANS / SIMPSON'S STOPPER	10 GAL	POT	60 IN MIN	36 IN MIN	48 IN OC	YES
$\overline{\odot}$	VA3	VA3 18 VIBURNUM ODORATISSIMUM AWABUKI / AWABUKI VIBURNUM		3 GAL	POT	14 IN MIN	14 IN MIN	36 IN OC	NO
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	ZP 25 ZAMIA PUMILA / COONTIE CYCAD		3 GAL	POT	12 IN MIN	12 IN MIN	36 IN OC	YES	
SHRUB AF	REAS NE	41	NEPHROLEPIS EXALTATA / BOSTON FERN	3 GAL	POT	18 IN MIN	18 IN MIN	36 IN OC	YES
GROUND COVERS									
	СН	156	CHRYSOBALANUS ICACO 'HORIZONTALIS' / HORIZONTAL COCO PLUM	3 GAL	POT	8 IN MIN	8 IN MIN	24 IN OC	YES
	EL	369	ERNODEA LITTORALIS / GOLDEN CREEPER	1 GAL	POT	6 IN MIN	12 IN MIN	18 IN OC	YES
	LB	62	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	1 GAL	POT	8 IN MIN	8 IN MIN	24 IN OC	NO
SOD	1								

SOD



◎◎

Kimley



CODE REQUIRED LANDSCAPE PLAN

GROVE

DECEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK

- 1.1. THE WORK CONSISTS OF: FURNISHING ALL LABOR. MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THESE PLANS.
- 1.2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF
- 1.3. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS.

2. PROTECTION OF EXISTING AND PROPOSED SITE ELEMENTS

- 2.1. PROTECT ALL EXISTING SITE ITEMS, ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
- 2.2. MAINTAIN ALL NECESSARY BMP DEVICES THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- 2.3. WHERE APPLICABLE, SUBMIT A DETAILED PROJECT SPECIFIC WORK ZONE TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY STANDARDS UNLESS THE WORK REQUIRES NOTHING MORE THAN A DIRECT APPLICATION OF FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION, INDEX 102-600.
- 2.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO CONSTRUCTION ACTIVITIES. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UTILITIES IS APPROXIMATE. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA: LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION: THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING WHEN ANY CONFLICT BETWEEN UTILITIES AND THESE PLANS EXIST PRIOR TO
- 2.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO PLANT MATERIAL EXISTING OR OTHERWISE. THIS SHALL INCLUDE COMPACTION AND SPILLING OF ANY DELETERIOUS MATERIALS WITHIN THE DRIP-LINE OF EXISTING TREES TO REMAIN. PLANT MATERIAL KILLED OR DAMAGED THAT IS MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED WITH LIKE SIZE AND KIND TO THE SATISFACTION OF THE OWNER OR REGULATORY AGENCY AT THE COST TO THE CONTRACTOR.
- 2.6. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

3. SUBMITTALS

3.1. SUBMIT MATERIAL SAMPLES LISTED BELOW FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

> MATERIAL SAMPLE SIZE MULCH ONE (1) GALLON PLASTIC BAG SOIL MIXTURE ONE (1) GALLON PLASTIC BAG

- ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
- 3.2. SUBMIT TESTING RESULTS OF SOIL MIXTURE AS PER SECTION 6 BELOW.

4. PLANT MATERIALS

- 4.1. ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS INDICATED ON THE DRAWINGS AND SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT AND OWNER.
- 4.2. ALL TREE SPECIES INSTALLED SHALL BE MATCHED IN SIZE AND SHAPE UNLESS NOTED OTHERWISE.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY TO THE SITE, DURING PROGRESS OF THE WORK AND/OR AFTER COMPLETION. REJECTED PLANTS SHALL BE REMOVED AND REPLACED

5. DIGGING AND HANDLING

5.1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. NO PLANT MATERIAL SHALL BE HANDLED BY STEMS.

6. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- 6.1. TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- 6.2. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- 6.3. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND HAVE A PH BETWEEN
- 6.4. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- 6.5. PLANT TREES IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE AT WHICH POINT THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO

7. WATER

- 7.1. PROVIDE WATER NECESSARY FOR PLANTING ESTABLISHMENT AND MAINTENANCE. WATER SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS
- 7.2. WATERING/IRRIGATION RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

8. FERTILIZER

- 8.1. PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- 8.2. FERTILIZER RESTRICTIONS MAY APPLY REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

9. MULCH

- MOISTEN MULCH MATERIAL AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. AND APPLIED AT A MINIMUM DEPTH OF THREE (3) INCHES. CONTRACTOR SHALL CLEAR MULCH FROM WITHIN A SIX (6) INCH RADIUS AROUND TRUNK / STEM FLARE. MULCH SHALL BE "FLORIMULCH", EUCALYPTUS MULCH, OR SIMILAR SUSTAINABLY HARVESTED MULCH
- 9.2. PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH PLANTING BED AND TREE RING (SIX (6) FOOT DIAMETER MINIMUM).

10. CONTAINER GROWN STOCK

- 10.1. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN IT'S CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER
- 10.2. INSUFFICIENT OR POORLY STRUCTURED ROOT SYSTEMS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- 10.3. ROOTS PLUS GROWER (RPG) PRODUCTS SHALL BE USED WHERE SPECIFIED.

11. MATERIALS LIST

11.1. ALL QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION.

12. FINE GRADING

- 12.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING WHICH CONSISTS OF FINAL FINISHED GRADING (INCLUDING ADDITIONAL SOIL MIXTURE AS NEEDED) FOR LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. FINISH GRADE SHALL ACCOUNT FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- 12.2. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES. IF APPLICABLE.

13. PLANTING PROCEDURES

- 13.1. CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. REMOVE ALL MORTAR, CEMENT, AND TOXIC MATERIAL FROM THE SURFACE OF ALL PLANT BEDS. DO NOT MIX THESE MATERIALS WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- 13.2. LOCATE, MAINTAIN AND PROTECT ALL UTILITIES ABOVE AND BELOW GROUND. CALL SUNSHINE STATE ONE CALL OF FLORIDA, INC. (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 13.3. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICT(S) EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING OVERHEAD POWER LINES IN ACCORDANCE WITH SETBACK REQUIREMENTS OF FPL'S "RIGHT TREE, RIGHT PLACE" PROGRAM. CONSULT THE UNIVERSITY OF FLORIDA'S "TREES AND POWER LINE" WEBSITE FOR TREE SIZE CATEGORIES.
- 13.4. NOTIFY LANDSCAPE ARCHITECT IN WRITING IMMEDIATELY IF CONFLICT(S) EXIST WITH PROPOSED TREE LOCATIONS AND EXISTING / PROPOSED LIGHT POLES. TREES INSTALLED IN CONFLICT WITH LIGHT POLES ARE SUBJECT TO RELOCATION AT THE EXPENSE OF THE CONTRACTOR.
- 13.5. REMOVE ALL EXISTING AND IMPORTED DELETERIOUS MATERIAL AND SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE AS NEEDED WITH CLEAN SOIL MIXTURE.
- 13.6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS. COMPLY WITH APPLICABLE

FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.

- 13.7. EXCAVATE ALL PLANTING PITS IN ACCORDANCE WITH LANDSCAPE DETAILS PROVIDED. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. IF POOR DRAINAGE EXISTS, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL ENSURE ELIMINATION OF ALL AIR POCKETS AROUND ROOTS.
- 13.8. SET TREES AND SHRUBS STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 13.9. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM UPPER ONE THIRD (1/3) OF ROOT BALLS.
- 13.10. ALL SUCKER GROWTH AND BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT IN
- 13.11. SHRUBS AND GROUND COVER PLANTS SHALL BE SPACED IN ACCORDANCE WITH THE DRAWINGS, LANDSCAPE DETAILS AND AS INDICATED ON THE PLANT LIST.
- 13.12. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN A PLUMB AND UPRIGHT POSITION.
- 13.13. FAILURE TO FOLLOW THE ABOVE PLANTING PROCEDURE SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY

14. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING NECESSARY TO PRODUCE A TURI GRASS LAWN ACCEPTABLE TO THE OWNER.
- 14.2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS. WEEDS, AND DEBRIS TO A MINIMUM DEPTH OF THREE (3) INCHES PROVIDE ONE (1) INCH OF TOPSOIL ACROSS ENTIRE LAWN BED AND MIX THROUGHLY INTO TOP FOUR (4) INCHES OF SOIL TO BRING THE GROUND TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL TOPSOIL AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 14.3. HAND RAKE LAWN BED UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- 14.4. SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 14.5. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- 14.6. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS.
- 14.7. IMMEDIATELY FOLLOWING SOD LAYING, ROLL LAWN AREAS WITH A LAWN ROLLER AND THEN THOROUGHLY IRRIGATED.
- 14.8. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 14.9. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY EXCESSIVE HEAT AND MOISTURE.
- 14.10. WITHIN THE CONTRACT LIMITS, PRODUCE AND MAINTAIN A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).

15. CLEANUP

15.1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

16. PLANT MATERIAL MAINTENANCE

16.1. ALL PLANT MATERIAL SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) AS NECESSARY TO INSURE HEALTHY AND VIGOROUS GROWING CONDITIONS BY THE CONTRACTOR UPON DELIVERING TO THE SITE AND UNTIL FINAL ACCEPTANCE OF WORK.

17. FINAL INSPECTION AND ACCEPTANCE OF WORK

- 17.1. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE PER MANUFACTURER RECOMMENDATIONS. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- 17.2. PROVIDE WATERING/IRRIGATION SCHEDULE FOR ALL PLANT MATERIAL TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- 17.3. UPON COMPLETION OF ALL WORK, A FINAL INSPECTION SHALL BE PERFORMED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE. ALL PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT SHALL BE INSPECTED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY ITEMS FOUND TO NOT BE IN COMPLIANCE SHALL BE CORRECTED AT THE COST OF THE CONTRACTOR.

18. WARRANTY

- 18.1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF
- 18.2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. ANY REPLACED PLANT MATERIAL SHALL BE SUBJECT TO A NEW ONE
- 18.3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION

19. ABBREVIATIONS

- BARE ROOT
- FIELD GROWN
- ROOTS PLUS GROWER

CERTIFICATION AND ACCEPTANCE OF THE WORK BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.

(1) YEAR WARRANTY

MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

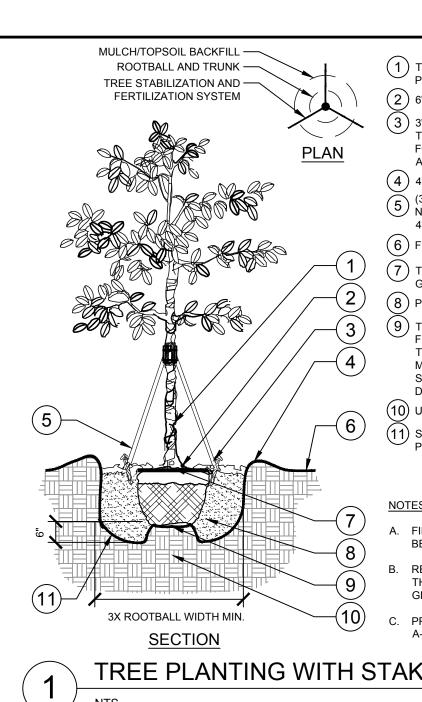


CAL -CALIPER CLEAR TRUNK DIAMETER AT BREAST HEIGHT

FTG -FULL TO GROUND GW -**GREY WOOD** HARDENED OFF OVERALL HEIGHT

DATE

DECEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER



(1) TRUNK/ROOT BALL TO BE CENTERED AND PLUMB/LEVEL IN PLANTING PIT. (2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE.) 3" MINIMUM MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE 6' DIAMETER (MIN.) OR

AS DIRECTED BY OWNER'S REPRESENTATIVE. (4) 4" HIGH BERM, FIRMLY COMPACTED. (3) 2"X4"X8' SUPPORTS. NAIL (DRILL AN NAIL IF NECESSARY) TO BATTENS AND 2" 4" STAKES. STAIN DARK BROWN.

(6) FINISHED GRADE. (SEE GRADING PLAN) 7) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED

(8) PREPARED PLANTING SOIL AS SPECIFIED. 9) TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING, ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.

(10) UNDISTURBED NATIVE SOIL. (11) SCARIFY BOTTOM AND SIDES OF PLANTING

NOTES:

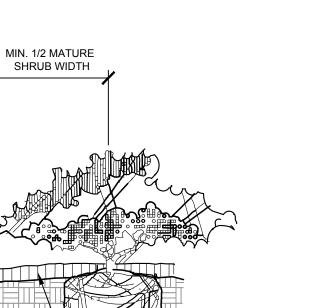
FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.

REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.

PRUNE ALL TREES IN ACCORDANCE WITH ANSI

TREE PLANTING WITH STAKING

P-PR1-24



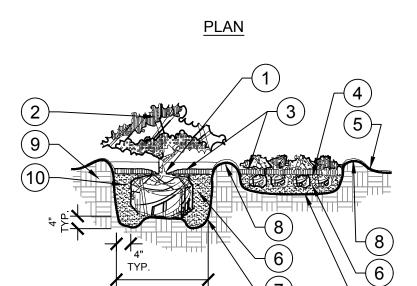
P-PR1-28

(1) INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.

(2) CURB / PARKING LOT EDGE.

PARKING SPACE/CURB PLANTING

BEST FACE OF SHRUB/ GROUNDCOVER TO FACE FRONT OF PLANTING BED REFER TO PLANT SCHEDULE FOR SPACING. MAINTAIN 12" DEAD ZONE AT BED EDGE.



3X ROOT BALL WIDTH

MINIMUM

A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS / HEIGHT.

C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

(1) TOP OF SHRUB ROOTBALLS TO

OF ROOTBALL.

MASS/HEIGHT.

(3) 3" MULCH LAYER AS

(4) EXCAVATE ENTIRE BED

(5) FINISHED GRADE (SEE

MIX AS SPECIFIED.

7) SCARIFY OF PLANTING PIT

(9) UNDISTURBED NATIVE SOIL.

(10) FERTILIZER TABLETS (MAX 3"

P-PR1-25

SIDES AND BOTTOM.

(8) 4" HIGH BERM FIRMLY

COMPACTED.

(6) PREPARED PLANTING SOIL AS

SPECIFIED. (SEE LANDSCAPE

NOTES) NOTE: WHEN GROUND-

COVERS AND SHRUBS USED IN

AMENDED WITH PLANTING SOIL

MASSES, ENTIRE BED TO BE

GRADING PLAN).

SPECIFIED.

PRUNE ALL SHRUBS TO

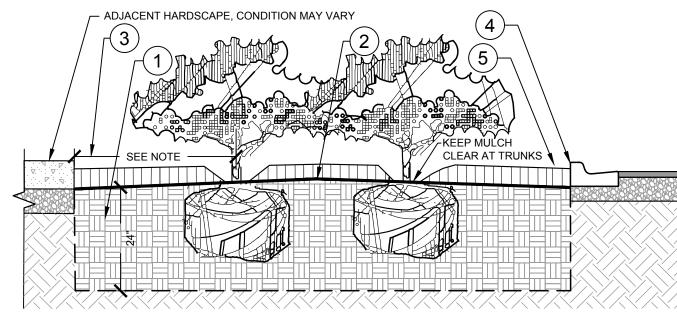
ACHIEVE A UNIFORM

BE PLANTED 1" - 2" HIGH WITH

SOIL MOUNDING UP TO THE TOP

SPECIFIED FOR GROUNDCOVER

SHRUB/GROUNDCOVER PLANTING



(1) 24" DEEP APPROVED PLANTING MIX. SEE NOTES A-C.

(2) ALL ISLANDS AND LANDSCAPE AREAS SHALL BE FINE GRADED AND SLOPED TO DRAIN. REFER TO GRADING PLANS.

(3) CLEAR ZONE: 36" MIN. FROM BACK OF CURB / HARDSCAPE AREA TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH, GROUNDCOVER, OR TURF. SEE LANDSCAPE PLANS.

(4) 2" MAX VERTICAL CLEARANCE, TOP OF CURB / HARDSCAPE TO TOP OF MULCH.

(5) 3" MIN MULCH AS SPECIFIED, REFER TO GENERAL LANDSCAPE NOTES.

A. EXCAVATE A CONTINUOUS 24" DEEP PIT (FROM TOP OF CURB / HARDSCAPE) FOR ENTIRE LENGTH AND WIDTH OF ISLAND / PLANTER AND BACKFILL WITH APPROVED PLANTING MIX. SEE GENERAL

B. PROTECT AND RETAIN ALL BASE MATERIAL, AND COMPACTED SUBGRADE BELOW CURBS AND HARDSCAPE FOR STRUCTURAL SUPPORT OF CURB / HARDSCAPE (TYP).

C. ALL ISLANDS / PLANTERS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION RATES ARE 2" PER HOUR OR LESS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING PLANTING PITS TO ENSURE

PLANTED PARKING LOT ISLANDS/MEDIANS

P-PR1-29

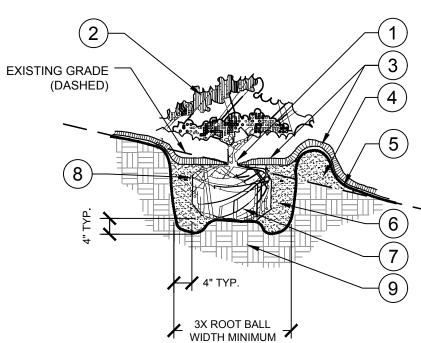
MATURE SHRUB WIDTH 24" MIN. CLEAR OR AS SHOWN ON PLANS BUILDING **SPECIFIED** MULCH - 24" WIDE MULCH BED, 3" DEEP

1. CLEAR ZONE: 36" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.

2. INSTALL SPECIFIED MULCH: 24" MIN. FROM BUILDING. SPECIFIED MULCH TO BE INSTALLED AT A DEPTH OF 3" (MIN.)

PLANTINGS ADJACENT TO BUILDINGS

SHRUB/GROUNDCOVER PLANTING ON A SLOPE



A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

B. WHEN SHRUBS ARE PRUNED IN MASSES, PRUNE ALL SHRUBS TO (9) UNDISTURBED NATIVE SOIL ACHIEVE UNIFORM MASS / HEIGHT.

C. ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.

(1) TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF

P-PR1-26

ROOTBALL. 2) PRUNE SHRUBS AS DIRECTED BY OWNER'S REPRESENTATIVE. (3) 3" MINIMUM OF MULCH AS

SPECIFIED. WHERE SHRUBS ARE PLACED IN MASSES, MULCH SHALL BE SPREAD IN A CONTINUOUS BED. (4) SOIL BERM TO HOLD WATER. TOP OF PLANTING PIT 'BERM' TO BE LEVEL ACROSS PIT. SLOPE DOWNHILL PORTION OF BERM AS REQUIRED TO MEET EXISTING GRADE. MULCH OVER EXPOSED TOPSOIL.

(5) FINISHED GRADE (SEE GRADING

(6) PREPARED PLANTING SOIL AS SPECIFIED. (SEE LANDSCAPE NOTES).

(7) SCARIFY SIDES AND BOTTOM OF (8) FERTILIZER TABLETS (MAX 3"

ROOTBALL

LIMITS OF PLANTING

P-PR1-27

(8) UNDISTURBED NATIVE SOIL. SUBSOIL SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISHED GRADE.

POOR DRAINAGE CONDITIONS

PLAN

(7) TOP OF ROOTBALL MIN. 1" ABOVE FINISHED 3X ROOTBALL WIDTH MIN.

MULCH/TOPSOIL BACKFILL -

ROOTBALL AND TRUNK —

TREE STABILIZATION AND -

FERTILIZATION SYSTEM

PLUMB/LEVEL IN PLANTING PIT. (2) 6" DIA. CLEAR OF MULCH AT TRUNK FLARE. (3) 3. 4" HIGH BERM, FIRMLY COMPACTED. AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES SHALL BE

(4) 3" MINIMUM OF HARDWOOD BARK MULCH 6' DIAMETER (MIN.) OR AS DIRECTED BY

(1) TRUNK/ROOT BALL TO BE CENTERED AND

OWNER'S REPRESENTATIVE. (5) TERRA TOGGLE EARTH ANCHOR SYSTEM INSTALLED PER MANUFACTURER'S

RECOMMENDATIONS. 6) 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE. (SEE GRADING PLAN)

GRADE. (8) PREPARED PLANTING SOIL AS SPECIFIED. 9) ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING. ROOTBALLS SMALLER THAN 24" IN DIAMETER MAY SIT ON COMPACTED EARTH.

(10) UNDISTURBED NATIVE SOIL. (11) SCARIFY BOTTOM AND SIDES OF PLANTING

(12) CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING. (13) (3) 2"X4"X8' SUPPORTS. NAIL (DRILL AN NAIL IF NECESSARY) TO BATTENS AND 2" 4" STAKES. STAIN DARK BROWN.

A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLE TREE OR RESTRICT ROOT

GROWTH) ON UPPER 1/3 OF ROOTBALL. C. PRUNE ALL TREES IN ACCORDANCE WITH ANSI

TREE PLANTING ON A SLOPE WITH STAKING

(1) FINISH GRADE (SEE GRADING PLANS). (2) BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED. (3) FILTER CLOTH, MIRAFI 500X OR BETTER. (4) SLOPE BOTTOM TO DRAIN. (5) AUGURED HOLE Ø ±18" PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER PERCOLATION. (6) BACKFILL WITH 1/2" - 3/4" GRAVEL TO 3X ROOTBALL REQUIRED DEPTH THROUGH OCCLUDING DIAMETER LAYER TO ASSURE PROPER PERCOLATION. (7) WATER TABLE. (DEPTH VARIES) (9) SET ROOTBALL ON UNDISTURBED STABLE

P-PR1-31

GROVE

Know what's below.

Call before you dig.



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DATE DECEMBER 2024 PROJECT NO. 145538000 SHEET NUMBER

File Attachments for Item:

A. SECOND READING: ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA"

Submitted By: City Clerk's Office

ORDINANCE 2025-01

AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.



Meeting Agenda Item Coversheet

MEETING DATE:		February 11, 2025 Submitt		Submitted	ed By: City Clerk's Office		
This will be the name of the Item as it will appear		SECOND READING: ORDINANCE 2025-01 – ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA"					
STAFF RECOMMENDATION: (MOTION READY)			A NEW OF ORD	Motion to recommend approval of Ordinance 2025-01 - ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA "CODE OF ORDINANCES OF THE CITY OF WESTLAKE, FLORIDA" on Second and Final Reading			
SUMMARY and/or JUSTIFICATION:	An Or	Ordinance adopting and enacting a new Code of Ordinances of the City of West					
		AGREEM	ENT:		BUDGET:		
SELECT, if applicable		STAFF REPORT:		PROCLAMATION:			
		EXHIBIT(S):		OTHER:			
IDENTIFY EACH ATTACHMENT. For example, an agreement may have 2 exhibits, identify the agreement and Exhibit A and Exhibit B							
SELECT, if applicable		RESOLU	TION: ORDINANCE: 2025-01		-01		
IDENTIFY FULL RESOLUTION OR ORDINANCE TITLE (if Item is <u>not</u> a Resolution or Ordinance, please erase all default text from this field's textbox and leave blank) <u>Please keep text</u> <u>indented.</u>		CO PH OI A PH	ORDINANCE 2025-01 AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.				
FISCAL IMPACT (if any):		any):				\$	

ORDINANCE 2025-01

AN ORDINANCE ADOPTING AND ENACTING A NEW CODE FOR THE CITY OF WESTLAKE, FLORIDA; PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES NOT INCLUDED THEREIN; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WESTLAKE, FLORIDA:

Section 1: The Code entitled "Code of Ordinances of the City of Westlake, Florida," published by CivicPlus, LLC, consisting of chapters 1 through 119, each inclusive, is adopted.

Section 2: All ordinances of a general and permanent nature enacted on or before April 2, 2024, and not included in the Code or recognized and continued in force by reference therein, are repealed.

Section 3: The repeal provided for in section 2 hereof shall not be construed to revive any ordinance or part thereof that has been repealed by a subsequent ordinance that is repealed by this ordinance.

Unless another penalty is expressly provided, every person convicted of a violation of any provision of the Code or any ordinance, rule or regulation adopted or issued in pursuance thereof shall be punished by a fine not exceeding \$500.00, a definite term of imprisonment not to exceed 60 days, or any combination thereof. Except as otherwise provided by law or ordinance: (i) With respect to violations of this Code that are continuous with respect to time, each day that the violation continues is a separate offense; and (ii) With respect to violations that are not continuous with respect to time, each act constitutes a separate offense. The penalty provided by this section, unless another penalty is expressly provided, shall apply to the amendment of any Code section, whether or not such penalty is reenacted in the amendatory ordinance. In addition to the penalty prescribed above, the city may pursue other remedies such as abatement of nuisances, injunctive relief and revocation of licenses or permits.

Section 5: Additions or amendments to the Code when passed in such form as to indicate the intention of the city to make the same a part of the Code shall be deemed to be incorporated in the Code, so that reference to the Code includes the additions and amendments.

1	Section 6.				or refer to ordinances that have
2		provisions of the Co		onstrued as	if they amend or refer to like
4 5	Section 7	Effective Date: Thi	s ordinance shall be	effective u	oon adoption on second reading.
6	Section 7.	Enecuve Date. 1111	s ordinance shan be	checuve up	oon adoption on second reading.
7 8 9	PASSED A	ND APPROVED this	7 th day of	January	_ 2025 on first reading.
10 11	PUBLISHE	D on this10 th	day of <u>January</u>	2025 in	the Sun Sentinel.
12	PASSED A	ND ADOPTED this _	day of		_ 2025, on second reading.
13 14					
15					
16					
17				ity of Westl	
18 19			JC	onnPaul O'C	Connor, Mayor
20	ATTEST:				
21					
22					
23 24					
25	Zoie P. Burg	gess, CMC City Clerk	•		
26					
27			Δ.		to form and sufficiency
28 29			A	pproved as	to form and sufficiency
30					
31					
32			C	ity Attorney	I
33					