



A G E N D A
CITY OF WAUPUN PLAN COMMISSION
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, February 23, 2022 at 4:30 PM

The Waupun Plan Commission will meet in-person, virtual and teleconference. Instructions to join the meeting are provided below:

<https://us02web.zoom.us/j/82212782546?pwd=Wk56ejlhYm0rY0k4aDN4cmsyMnNXZz09>

Meeting ID: 822 1278 2546

Passcode: 602095

Dial by your location: 312 626 6799

CALL TO ORDER

ROLL CALL

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

1. Approve minutes of the January 10, 2022 Plan Commission meeting.
2. Public Hearing - Conditional Use Permit application of Central Wisconsin Christian School for a proposed addition to the middle school. Per Municipal Code Section 16.03(1)(d)(i) of the Waupun Municipal Code.
3. Site Plan Review for Central Wisconsin Christian Schools at 301 Fox Lake Rd.
4. Site Plan Review - Waupun Correctional Institution - Off Street Parking
5. Certified Survey Map Review - 523 & 521 Bronson St

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



MINUTES
CITY OF WAUPUN PLAN COMMISSION
Waupun City Hall – 201 E. Main Street, Waupun WI
Monday, January 10, 2022 at 4:30 PM

The Waupun Plan Commission met at **4:30 pm on Monday, January 10, 2022.**

CALL TO ORDER

Chairman Nickel called the meeting to order at 4:30 pm

ROLL CALL

Members Present: Elton TerBeest, Jerry Medema, Jeff Daane, Jon Dobbratz, Julie Nickel, and Mike Matoushek,

Member Excused: Jill Vanderkin

Staff Present: Kathy Schlieve and Sue Leahy

Others Present: Jeff Butzke, Andy Soodsma, and Donald Martinsen

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

None

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

The next scheduled Plan Commission meeting is set for February 23, 2022 at 4:30 pm.

CONSIDERATION - ACTION

1. Approve minutes of the December 8, 2021 Plan Commission Meeting.
Motion by Medema, 2nd by Dobbratz to approve minutes of the December 8, 2021 meeting. Motion carried, unanimously.
2. Certified Survey Map - Soodsma Properties at 1 W Main St / 8 W Jefferson St / 5 W Main St
Jeff Butzke of Compass Survey, and Andy Soodsma (owner) appeared to discuss the CSM.

This lot currently has three building addresses on one lot. The proposal is to separate the northerly lot (1 W. Main St. and 5 W Main St.) and southerly lot (8 W. Jefferson St) into two lots. The buildings are separated by about 2 ½ feet. There are no setbacks in the B-2 Zoning District so that meets the requirements of this district. There is a proposed sale of 5 W. Main St. Mr. Soodsma's plans are to retain the property at 8 W. Jefferson St. Both of the buildings encroach onto the Railroad ROW. Mr. Soodsma stated the buildings were built prior to the railroad right of way being extended and that there is an easement for the buildings. If something were to happen to the buildings such as fire, wind damage, etc. the buildings would have to be rebuilt on the lot and not encroach into the railroad right of way. There is no need for address changes as all buildings currently have addresses assigned to them. No further questions were asked.

Motion by Dobbratz, 2nd by Medema to recommend approval to the Common Council the approval of the CSM for Soodsma properties at 1 W. Main St., 8 W. Jefferson St., and 5 W. Main St.

Roll Call Vote:

TerBeest, Medema, Daane, Nickel, Dobbratz, Matoushek – "AYE"

Motion carried, unanimously.

3. Home Occupation Application of Donald Martinsen at 1108 Rock Ave. to have office space for his business of residential/commercial construction and remodeling as well as insurance mitigation fire/water.

Mr. Martinsen appeared to discuss his proposal. He is getting a loan from the bank and the bank asked for proof of permits from the City. He runs a construction company, Craftsmen of Integrity & Rainbow International of Fond du Lac, and does estimates at his home. He has a small desk space in his bedroom with a computer, printer, modem, router, and phone. The only employees of the business at the home are him and his wife. No customers come to their home, all of the work is done over the phone or computer. Job trailers for the company are located outside of the city and it is only their personal vehicles that are stored at the property. There will be no signage on the property. If this permit is approved, it will need to be renewed annually. No further questions were asked.

Motion by TerBeest, 2nd by Matoushek to approve the home occupation of Donald Martinsen at 1108 Rock Ave. with no conditions.

Roll Call Vote:

TerBeest, Medema, Daane, Nickel, Dobbratz, Matoushek – “AYE”

Motion carried, unanimously.

ADJOURNMENT

Motion TerBeest, 2nd Matoushek to adjourn the meeting. Motion carried, meeting adjourned at 4:42 pm

Minutes prepared by Trista Steinbach, Administrative Assistant

Fee: \$150.00 Paid: _____ Date: _____



CITY OF WAUPUN
201 E. Main Street
WAUPUN, WISCONSIN 53963

Conditional Use Permit Application

From: Central Wisconsin Christian School
(business name or individual)

Property Description and address:

301 Fox Lake Road

Conditional Use Requested:

The property is zoned R1 and a school is a conditional use in a R1 District.

The proposed project is a an addition to the middle school.

Zoning Ordinance Section Involved:

Sec.16.03 (1)(d)(i) of the City of Waupun Code of Ordinances

Date Presented to Plan Commission: _____

CONDITIONAL USE: ☐ Granted ☐ Denied

Comments:

Signature of Applicant (s)

Mark Butz

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be on Wednesday the 23rd day of February, 2022 at 4:30 pm, there will be considered the application for a Conditional Use Permit of:

1. Central Wisconsin Christian School at 301 Fox Lake Rd. for an addition onto the Middle School per Section 16.03(1(d)(i) of the Waupun Municipal Code.

The meeting will be held in person, virtual and teleconference.

To join the Zoom Meeting

<https://us02web.zoom.us/j/82212782546?pwd=Wk56ejlhYm0rY0k4aDN4cmsyMnNXZz09>

Meeting ID: 822 1278 2546

Passcode: 602095

By Phone: +1 312 626 6799 US (Chicago)

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 3rd day of February, 2022

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH February 16, 2022)

PROPOSED MIDDLE SCHOOL BUILDING ADDITIONS FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE DEC. 23, 2021

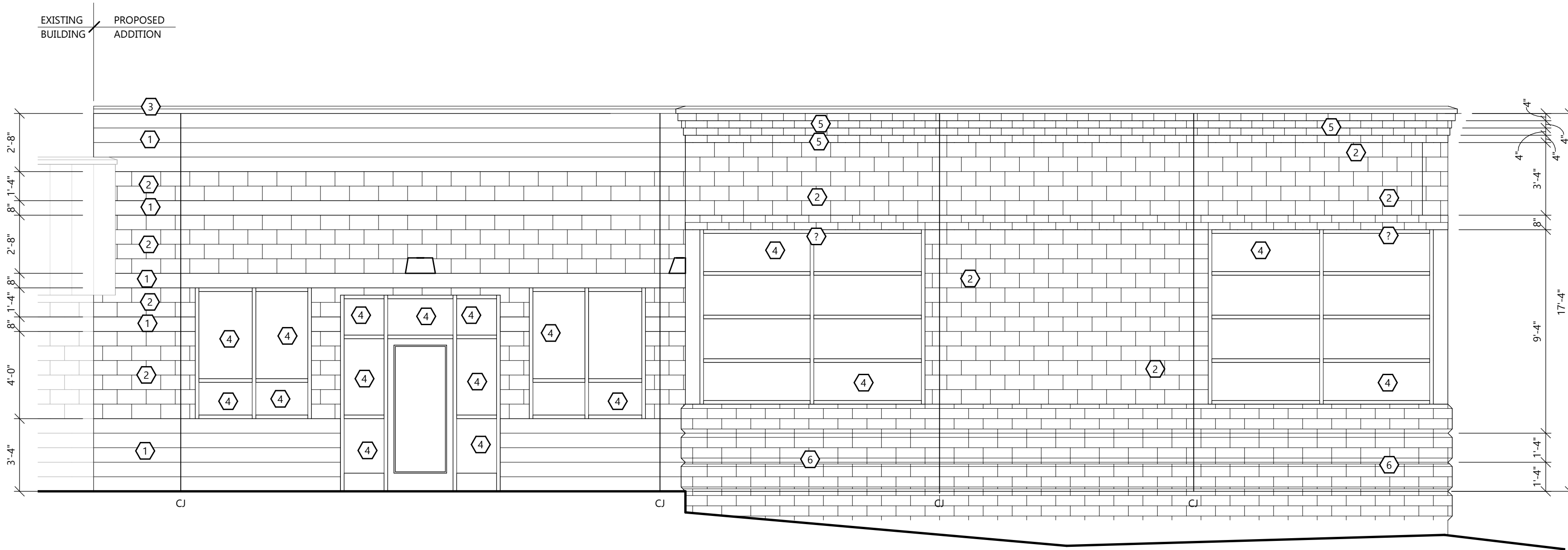
REVISIONS

JOB NUMBER

2132120

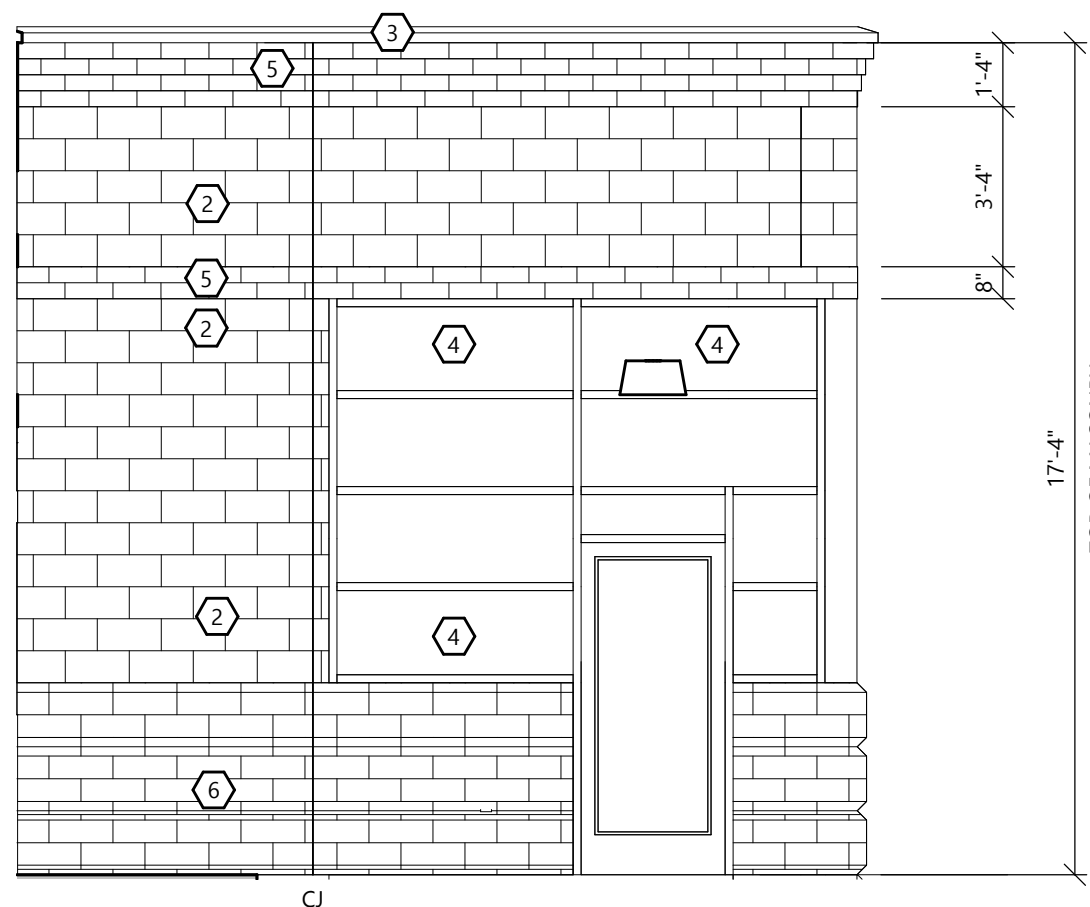
SHEET NUMBER

A2.0



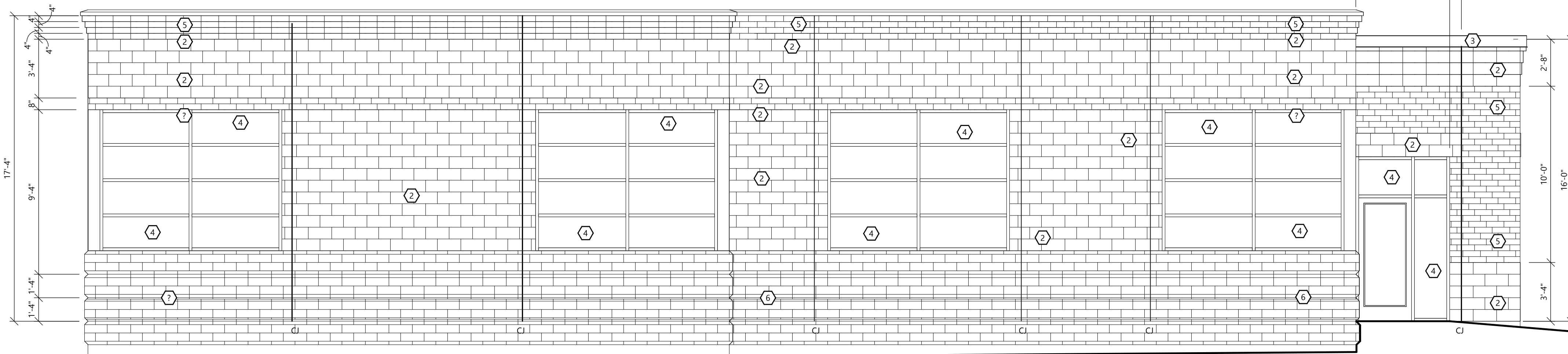
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



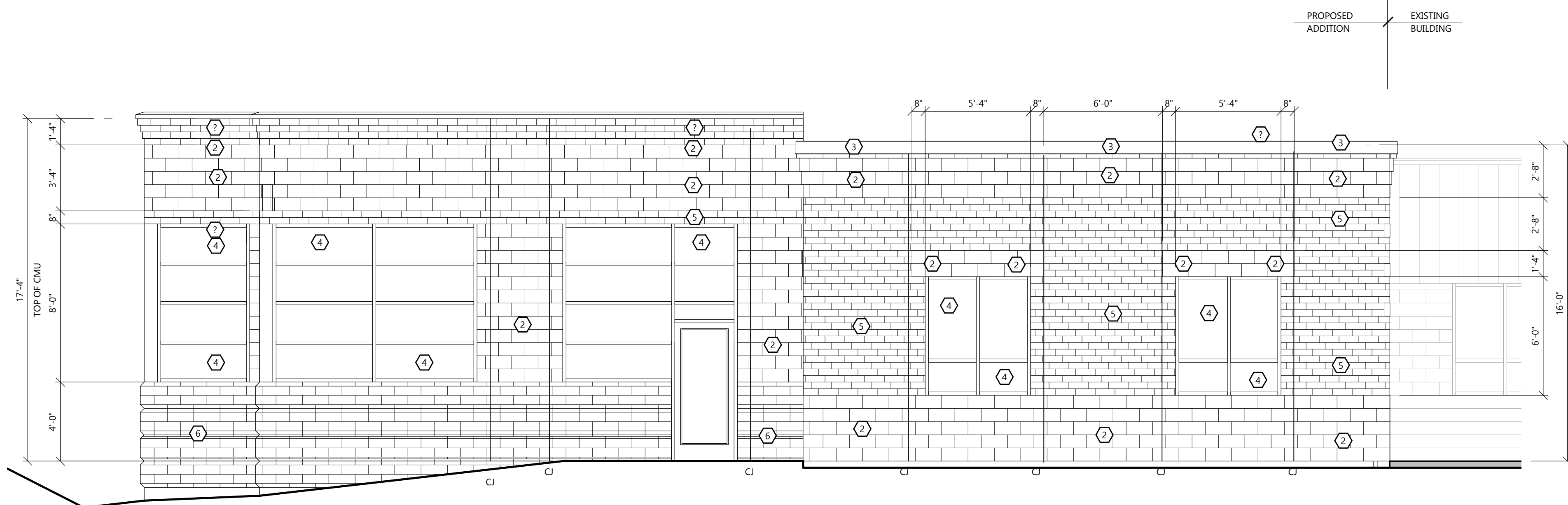
COURTYARD ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH KEY

- 10" CHAMFERED SPLIT-FACED CMU
MFR: COUNTY MATERIALS
COLOR: MATCH TYPE 1 ARCH CMU
- 8" CONCRETE BRICK
COUNTY MATERIALS
COLOR: DOVE GRAY
- ALUMINUM STOREFRONT
SEE SHEET A6.1
- PREFINISHED ALUMINUM
MFR: PAC-CLAD
COLOR: DARK BRONZE
- TYPE 2 ARCH CMU
SPLIT-FACED BLOCK
COLOR: MATCH EXISTING
- TYPE 1 ARCH CMU
5 SCORE WIRE CUT
COLOR: MATCH EXISTING

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

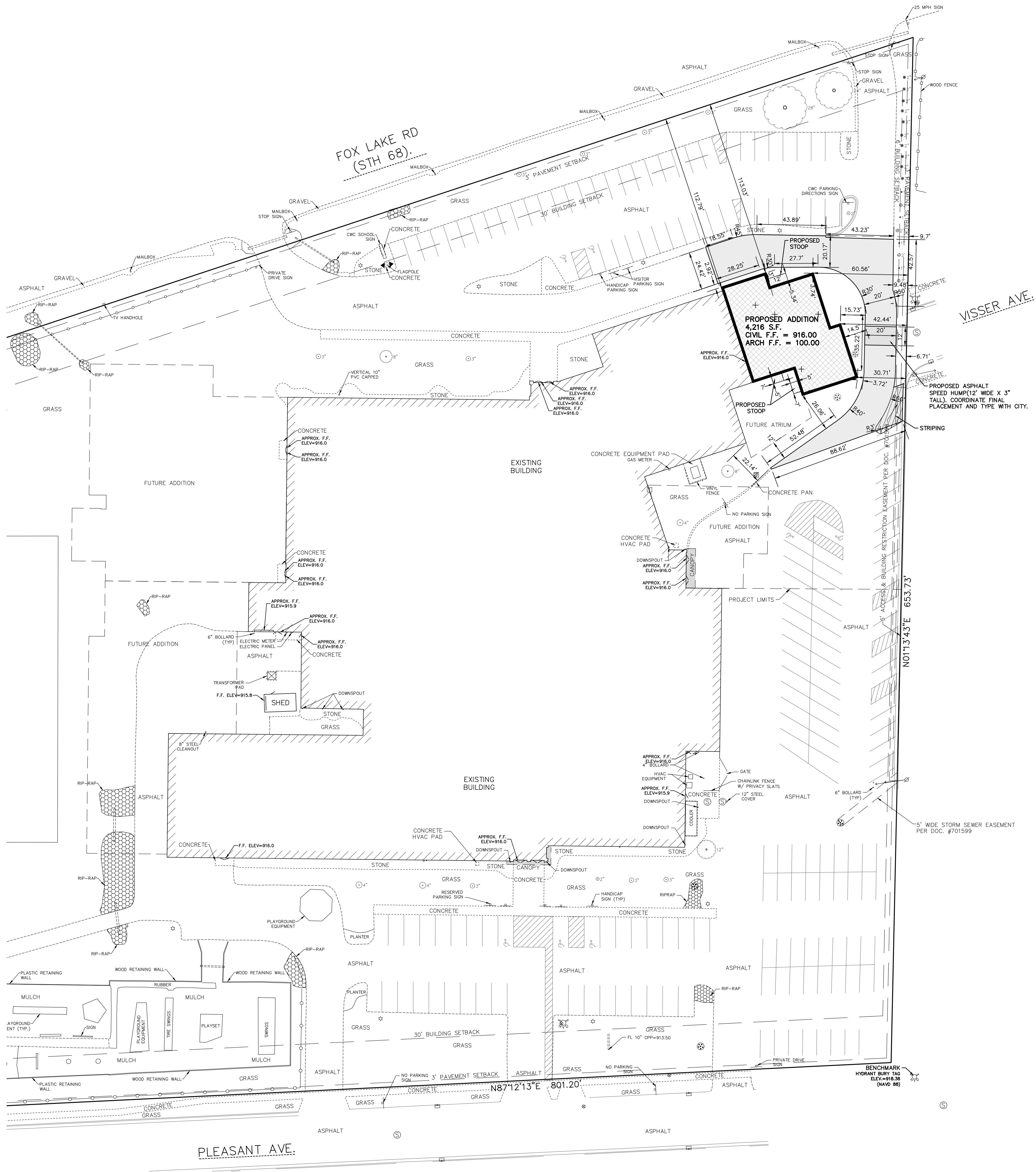
LEGAL DESCRIPTION: Section 6 of document T13N-R15E
PROPERTY AREA: AREA = 1,008,180 S.F. (23.1 ACRES).
EXISTING ZONING: R-1
PROPOSED ZONING: R-1
PROPOSED USE: SCHOOL ADDITION
AREA OF SITE DISTURBANCE: 13,496 S.F.
SETBACKS: BUILDING: FRONT (NORTH) = 30'
SIDE (WEST/EAST) = 6'
REAR (SOUTH) = 30'
PAVEMENT: FRONT (NORTH) = 3'
SIDE (WEST/EAST) = 3'
REAR (SOUTH) = 3'
PROPOSED BUILDING HEIGHT: 18.67' (MAX. HEIGHT ALLOWED: 35')
PARKING REQUIRED: 1 STALL PER 2 EMPLOYEES +
1 STALL PER 10 STUDENTS ≥ 16 YRS OLD (20 REQUIRED)
PARKING PROVIDED: 174 SPACES (7 H.C. ACCESSIBLE)
HANDICAP STALLS REQUIRED: 6, HANDICAP STALLS PROVIDED: 7

EXISTING SITE DATA (PROJECT LIMITS)

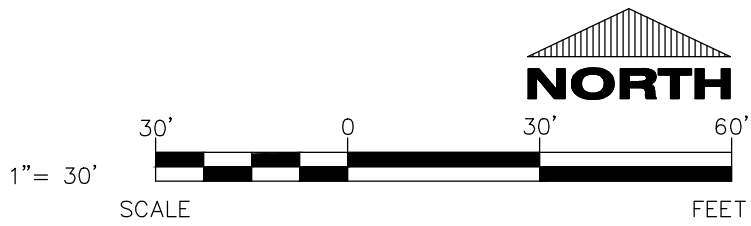
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.65	28,300	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.43	18,915	66.8%
TOTAL IMPERVIOUS	0.43	18,915	66.8%
LANDSCAPE/ OPEN SPACE	0.22	9,385	33.2%

PROPOSED SITE DATA (PROJECT LIMITS- INCLUDES ATRIUM
AND FUTURE ADDITION)

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.65	28,300	
BUILDING FLOOR AREA	0.18	7,977	28.2%
PAVEMENT (ASP. & CONC.)	0.32	14,001	49.5%
TOTAL IMPERVIOUS	0.50	21,978	77.7%
LANDSCAPE/ OPEN SPACE	0.15	6,322	22.3%



PAVEMENT HATCH KEY:
HEAVY DUTY ASPHALT



CIVIL SITE PLAN

PROJECT INFORMATION

PROPOSED ADDITION FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE DEC. 23, 2021

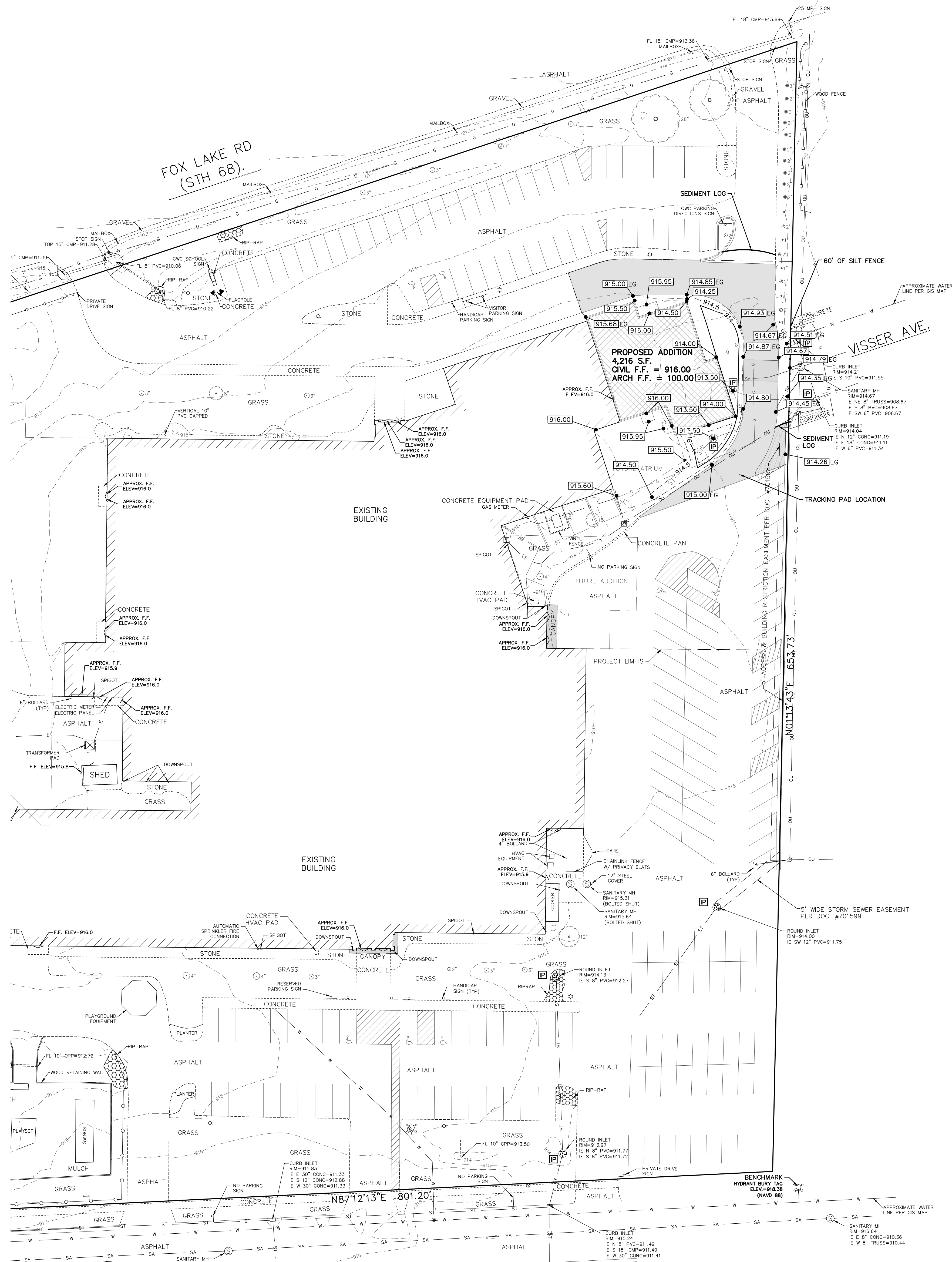
REVISIONS

JOB NUMBER

2132120

SHEET NUMBER

AC1.1



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

- NOTES:
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

PROPOSED ADDITION FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE DEC. 23, 2021

REVISIONS

NO.	DESCRIPTION

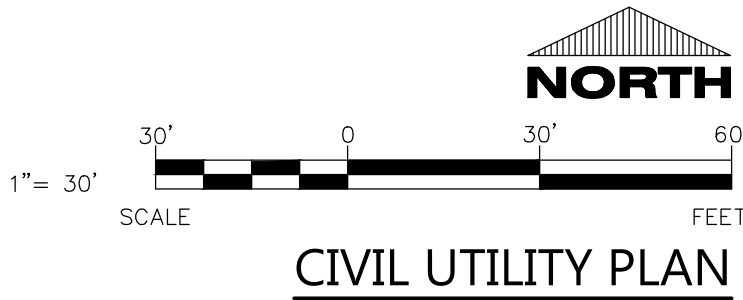
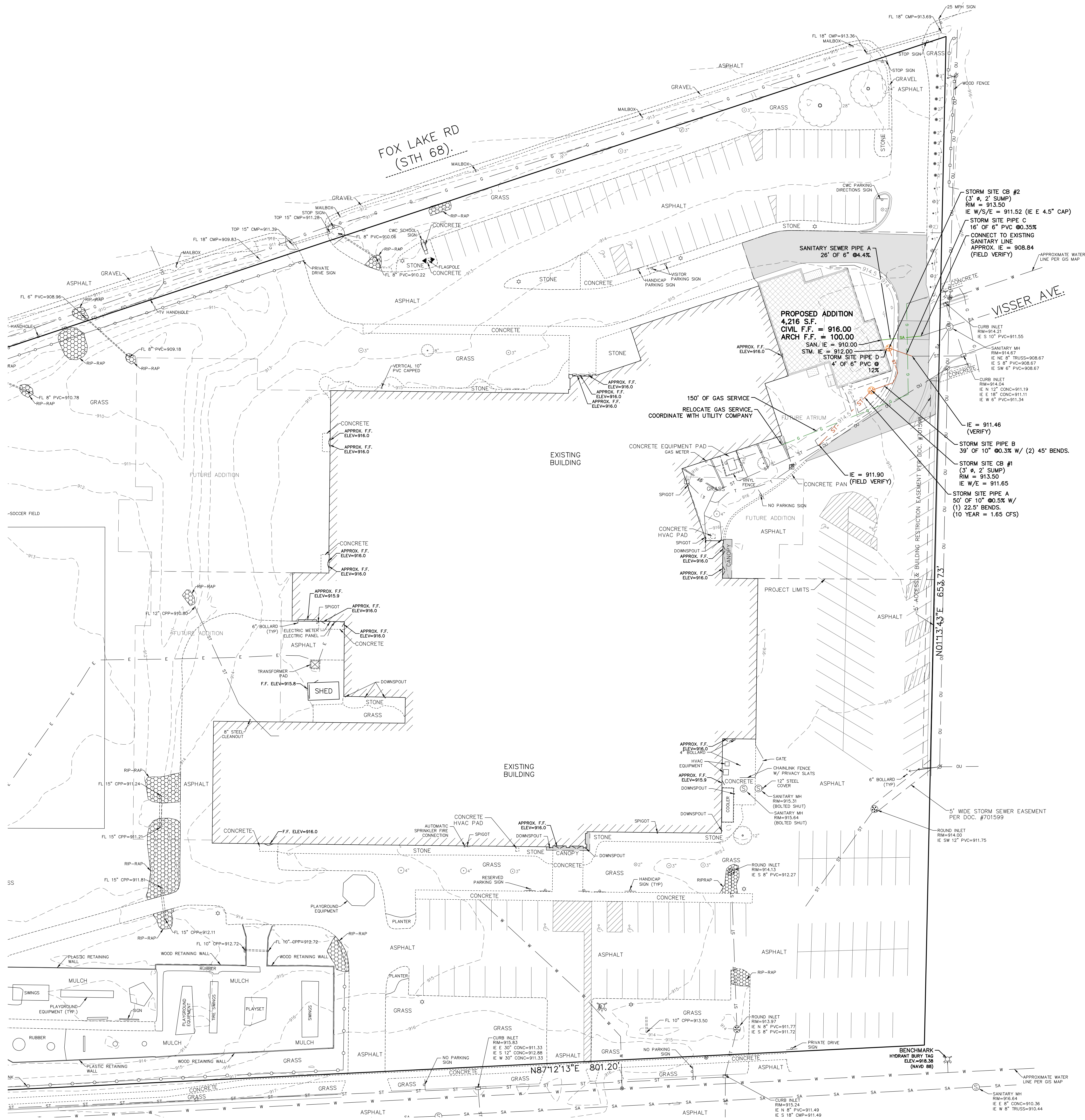
JOB NUMBER

2132120

SHEET NUMBER

AC1.2

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



PROJECT INFORMATION

PROPOSED ADDITION FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE DEC. 23, 2021

REVISIONS

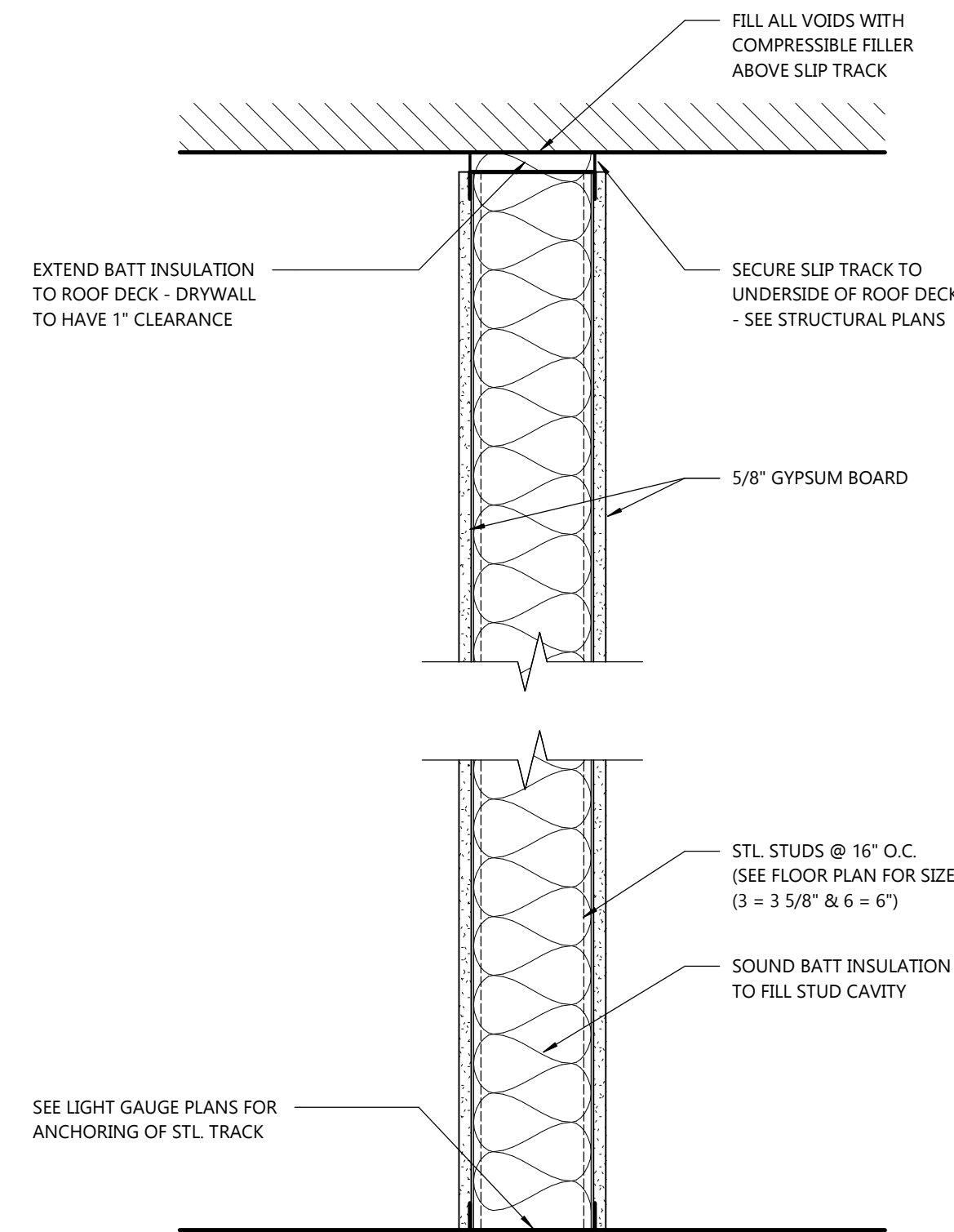
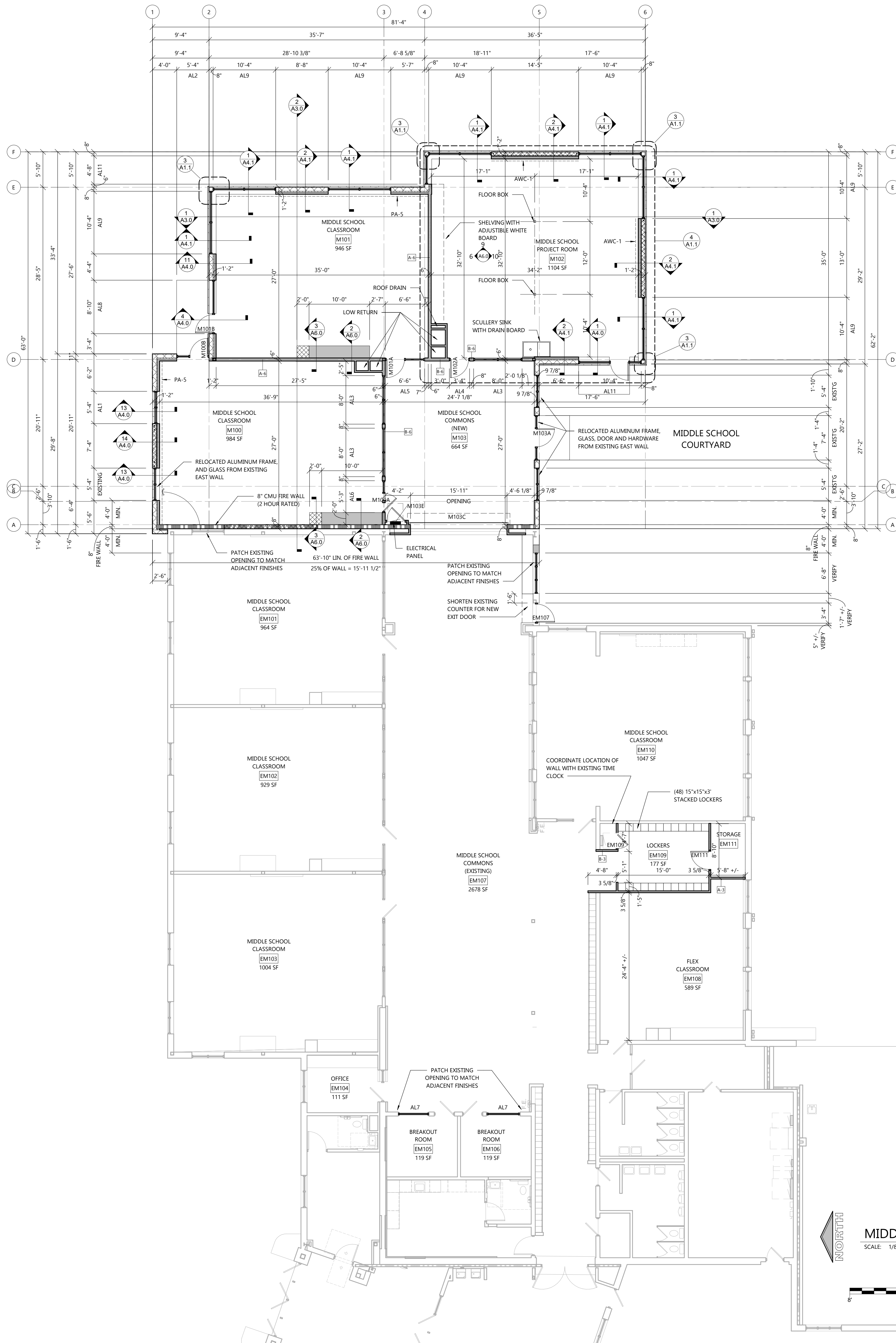
NO.	DESCRIPTION

JOB NUMBER

2132120

SHEET NUMBER

AC1.3

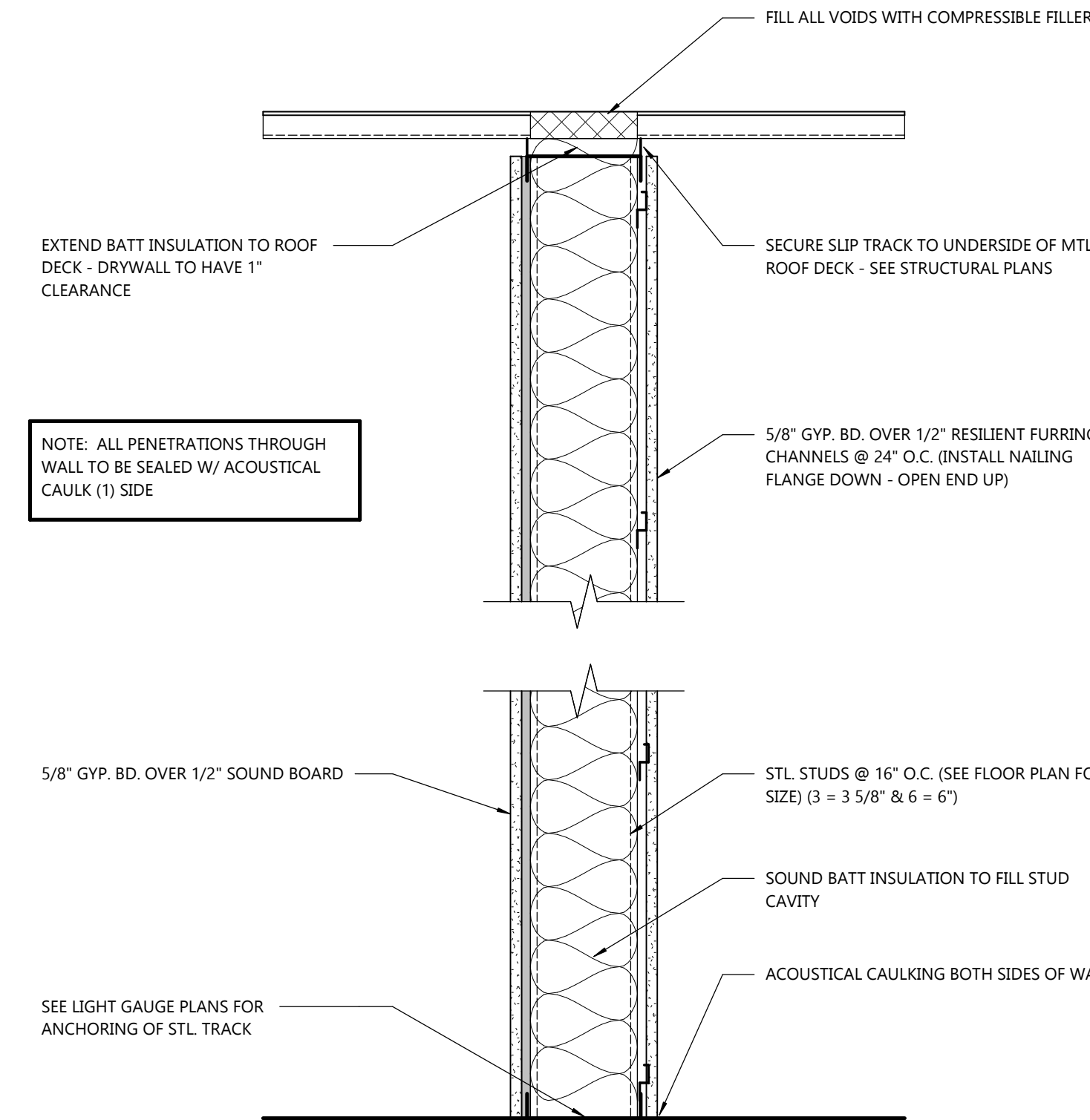


WALL TYPE 'B'

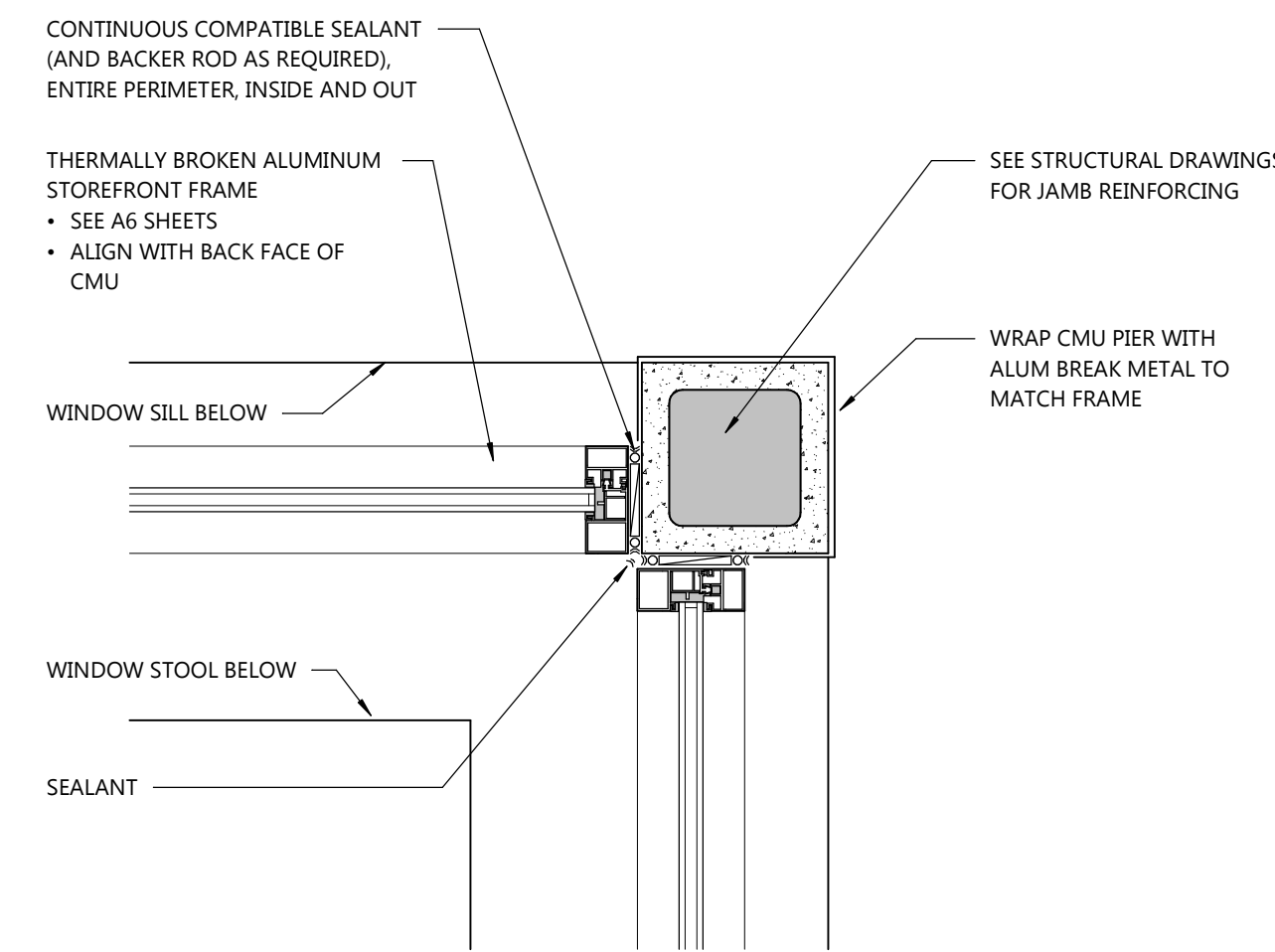
2 INTERIOR WALL TYPES
A1.1 SCALE: 1 1/2" = 1'-0"

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 3 5/8" OR 6" METAL STUDS @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO STRUCTURE ABOVE.
- PROVIDE SOUND BATT INSULATION AT ALL INTERIOR WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND PLASTIC LAMINATE COVERED WOOD SILL.



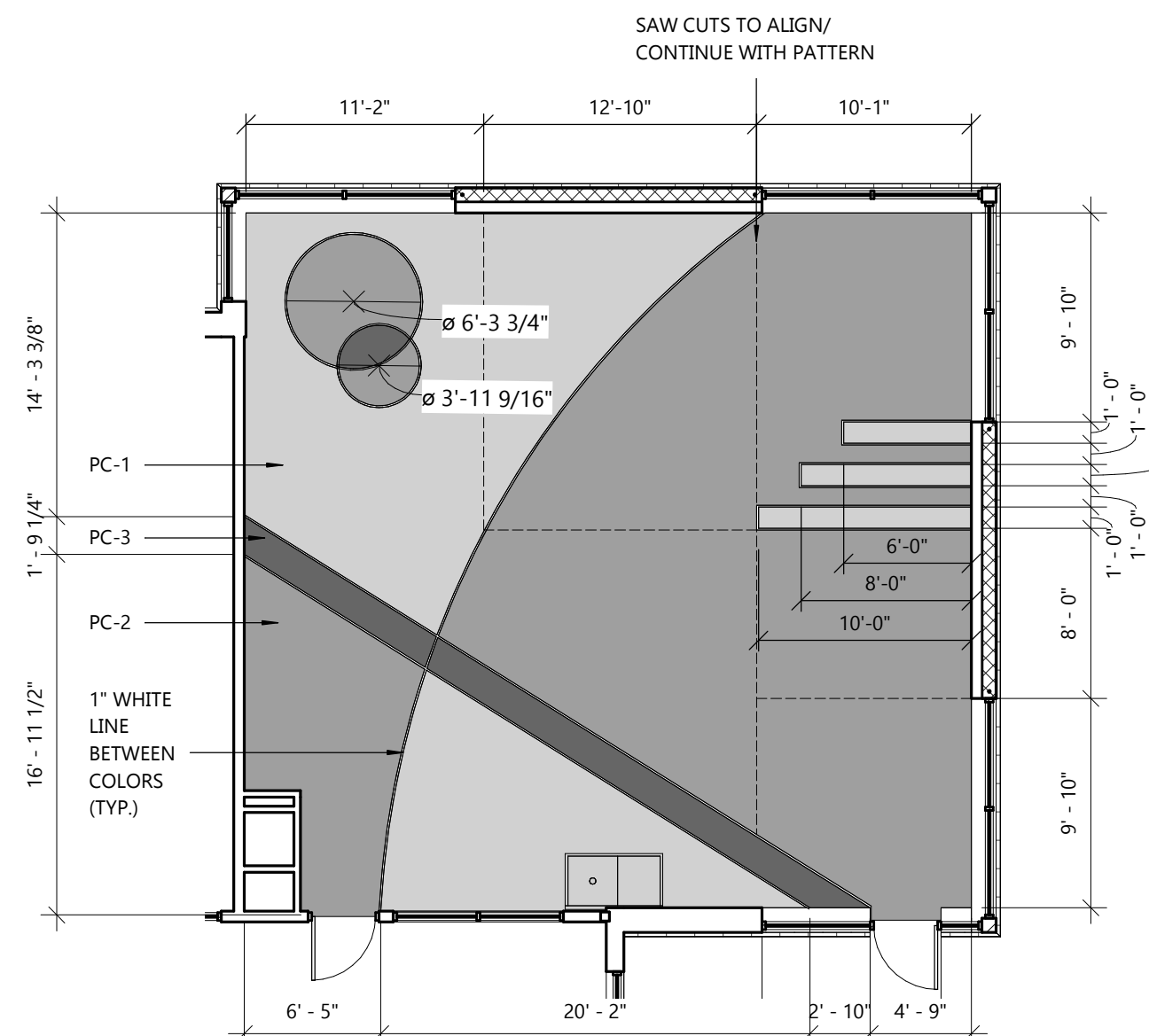
WALL TYPE 'A'



3 JAMB DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"

SYMBOLS LEGEND

	SEE SHEET AX-X FOR WALL TYPES
	SEE SHEET AX-X FOR CURB DETAILS
	EXIT SIGNAGE
	FIRE EXTINGUISHER - SEE AS SHEETS
	FIRE EXTINGUISHER w/ CABINET - SEE AS SHEETS
	GUARD POST/GOAL POST DESIGNATION - SEE SHEET AX-X FOR DETAILS
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	STUD WALL
	CONCRETE WALL
	MASONRY VENEER
	C.M.U. WALL
	(1) HOUR FIRE RATED
	(2) HOUR FIRE RATED
	(3) HOUR FIRE RATED
	(4) HOUR FIRE RATED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED
	NEW DOOR



4 STAINED POLISHED CONCRETE DETAIL
A1.1 SCALE: 1/8" = 1'-0"

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

PROJECT INFORMATION

PROPOSED ADDITION FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

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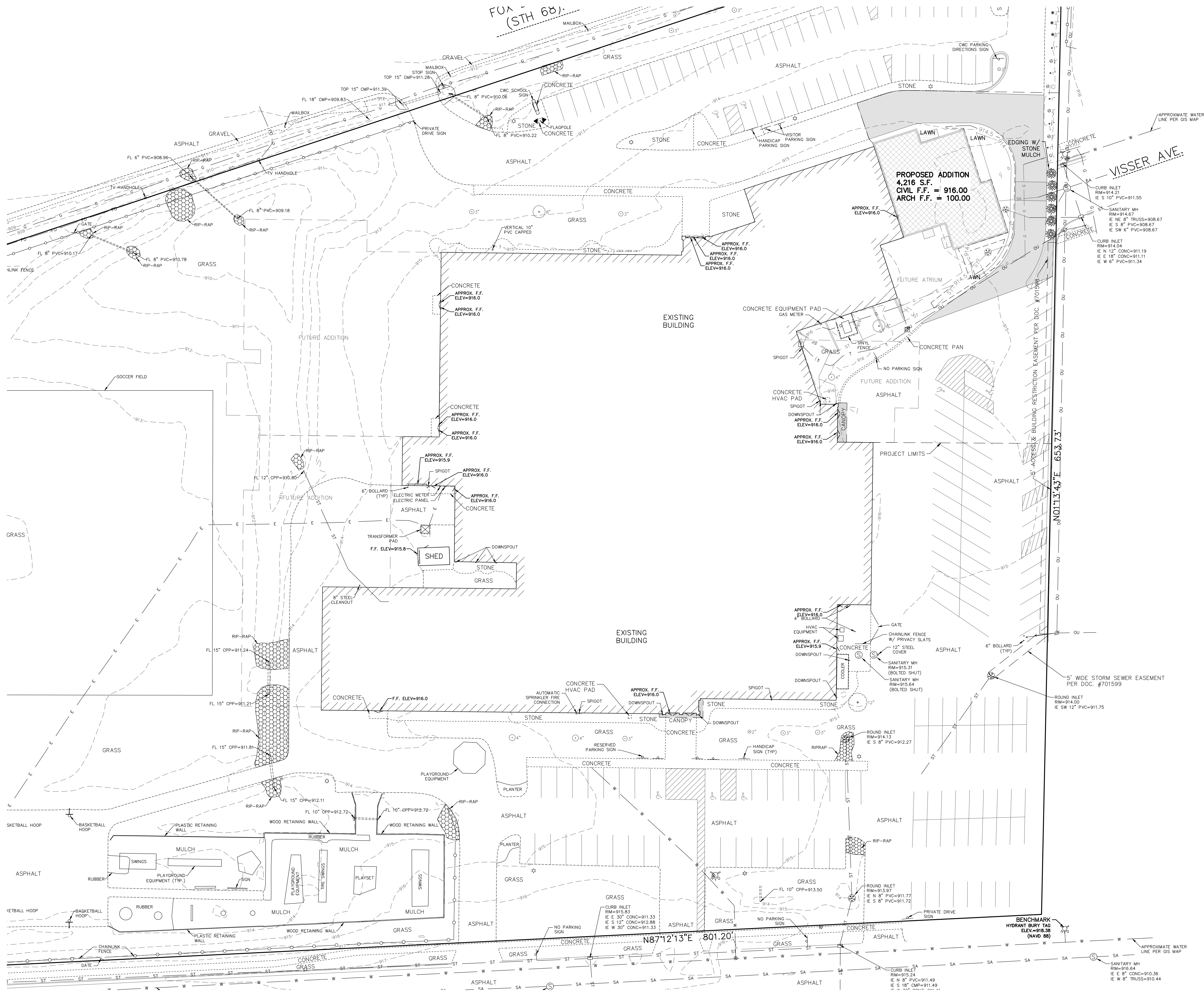
REVISIONS

JOB NUMBER

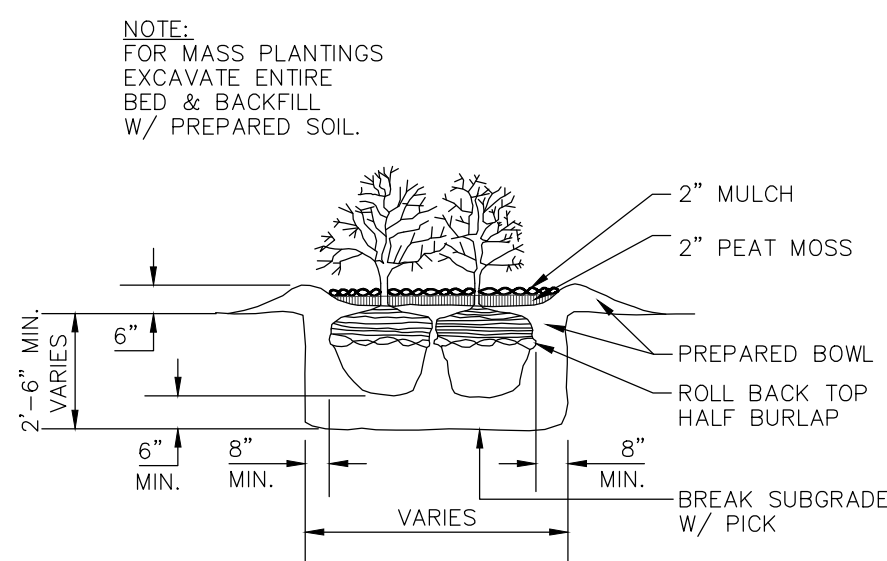
2132120

SHEET NUMBER

AC1.4



LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS SHRUBS				
	Arrowwood Viburnum	Viburnum dentatum	30"-36"	6

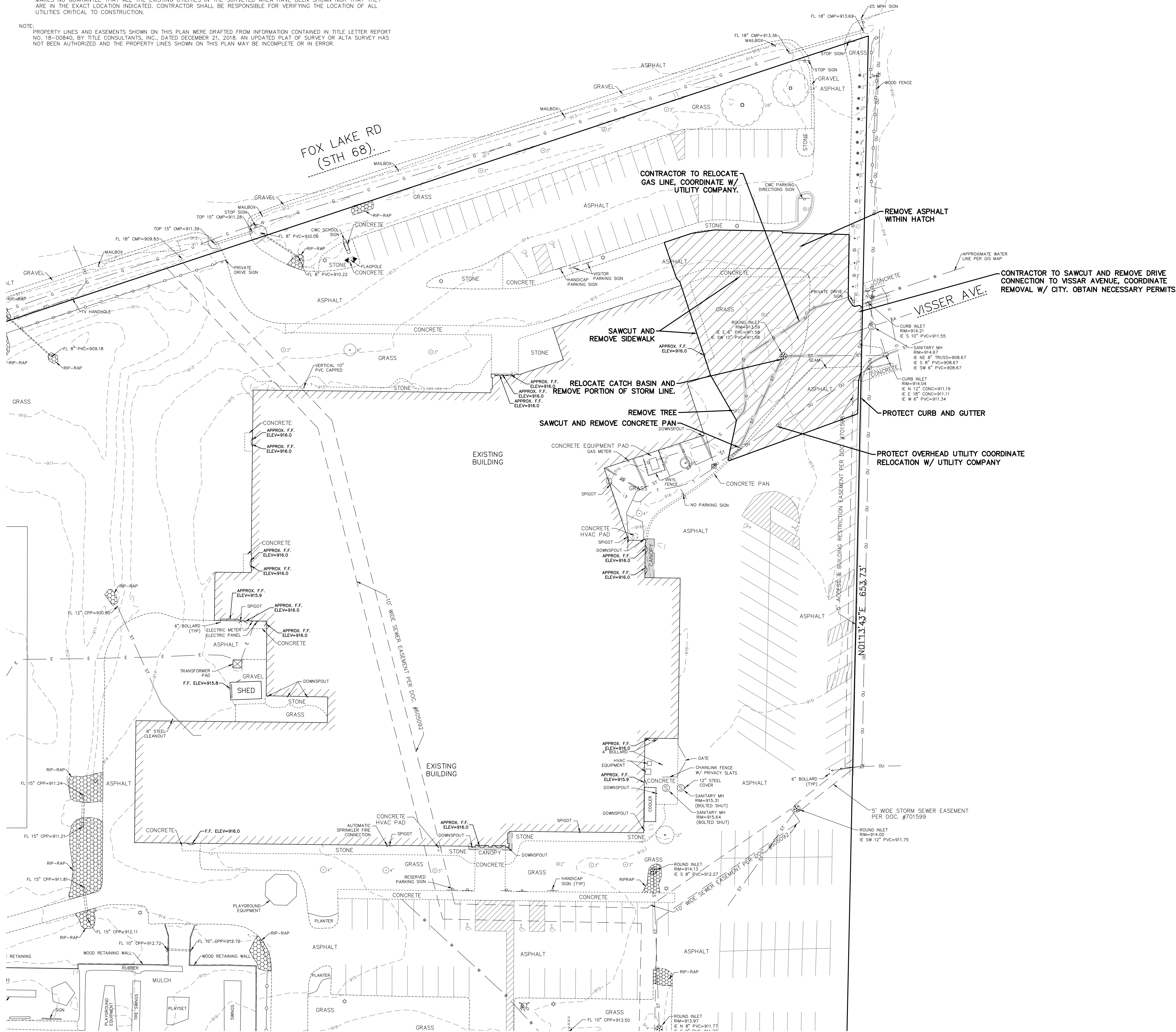


SHRUB PLANTING DETAIL
NO SCALE

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

NOTE:
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.

NOTE:
PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE LETTER REPORT NO. 18-08840, BY TITLE CONSULTANTS, INC., DATED DECEMBER 21, 2018. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.



PROPOSED ADDITION FOR: CENTRAL WISCONSIN CHRISTIAN SCHOOL WAUPUN, WISCONSIN LEGEND

• 000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)	●	EXISTING CONIFEROUS TREE
• 000.00 EG	EXISTING GRADE SPOT ELEVATIONS	●	EXISTING SHRUB
• 000.00 BG	PROPOSED SPOT ELEVATIONS (REFERENCE R-WALL DETAIL)	●	EXISTING STUMP
• 000.00 FG	BG-FINISHED SURFACE GRADE AT BACK OF WALL FG-FINISHED SURFACE GRADE AT FRONT OF WALL	■	SOIL BORING
• 000.00 TC	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURBS)	●	EXISTING WELL
• 000.00 BC	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	●	PROPOSED WELL
• 000.00 BW	PROPOSED SPOT ELEVATIONS (TOP OF WALK, BOTTOM OF WALK)	●	EXISTING LIGHT POLE
●	EXISTING WATER VALVE IN BOX	●	EXISTING SIGN
●	PROPOSED WATER VALVE IN BOX	●	CENTER LINE
●	EXISTING WATER VALVE IN MANHOLE	●	EXISTING HANDICAP PARKING TALL
●	EXISTING WATER SERVICE VALVE	●	PROPOSED HANDICAP PARKING TALL
①	EXISTING TELEPHONE MANHOLE	●	EXISTING GAS VALVE
●	EXISTING STORM CATCH BASIN	●	EXISTING WOODED AREA
●	PROPOSED STORM CATCH BASIN – ST CB	●	EXISTING HEDGE
●	PROPOSED STORM FIELD INLET – ST FI	●	EXISTING CHAINLINK FENCE
●	EXISTING SQUARE CATCH BASIN	●	EXISTING WOOD FENCE
●	EXISTING STORM CURB INLET	●	EXISTING BARBED WIRE FENCE
●	PROPOSED STORM CURB INLET – ST CI	●	PROPOSED PROPERTY LINE
●	EXISTING UTILITY POLE	●	EXISTING GUARD RAIL
●	EXISTING UTILITY POLE WITH GUY WIRE	●	EXISTING STORM SEWER AND MANHOLE
●	EXISTING STREET LIGHT	●	EXISTING SANITARY SEWER AND MANHOLE
●	EXISTING TELEPHONE PEDESTAL	●	PROPOSED SANITARY SEWER AND MANHOLE – SAN MH
●	EXISTING TELEPHONE PEDESTAL	●	EXISTING WATER LINE AND HYDRANT
●	EXISTING ELECTRIC BOX	●	EXISTING OVERHEAD UTILITY LINE
●	EXISTING CABLE TV PEDESTAL	●	EXISTING UNDERGROUND FIBER OPTIC LINE
●	PROPOSED DRAINAGE FLOW	●	EXISTING UNDERGROUND ELECTRIC CABLE
●	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.	●	EXISTING UNDERGROUND TELEPHONE CABLE
●	3/4" REBAR SET WEIGHING 1.50 LB/FT.	●	EXISTING UNDERGROUND GAS LINE
●	1-1/4" REBAR FOUND	●	PROPOSED CURB AND GUTTER
●	3/4" REBAR FOUND	●	EXISTING CURB AND GUTTER
●	2" IRON PIPE FOUND	●	GRADING/SEEDING LIMITS
●	1" IRON PIPE FOUND	●	RIGHT-OF-WAY LINE
●	EXISTING FLOOD LIGHT	●	INTERIOR PROPERTY LINE
●	SECTION CORNER	●	RAILROAD TRACKS
●	PROPOSED APRON END SECTION	●	EXISTING GROUND CONTOUR
●	EXISTING MARSH AREA	●	PROPOSED GROUND CONTOUR
●	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER	●	
●	EROSION MATTING	●	
●	PROPOSED INLET PROTECTION	●	

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL POINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDER AXLE DUMP TRUCK, TO IDENTIFY GOTT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR ABATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARP AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698 STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
 1. UNDER FOUNDATIONS – SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 95 PERCENT.
 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB – PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 1% TO 12% FINE, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE. PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 1% FINE, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS – COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 5. UNDER WALKWAYS – COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
 6. UNDER LAWN OR UNPAVED AREAS – COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD-FOOTING, AND ONE TEST FOR EVERY 10 LINEAR FEET OF WALL STRIP FOOTING.
 1. WHEN THE TESTING AGENCY REQUESTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION, SPECIFIED, SCARPED AND MOISTEN OR ABATE, OR REMOVE AND REPLACE SOIL, TO DENSITY REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- I. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- A. THE DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216.46 AND NR 216.47.
- B. THE CONTRACTOR SHALL KEEP THE APPROVED EROSION CONTROL, STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES UNTIL PERMIT COVERAGE IS TERMINATED.
- C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.
- E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING:
 1. THE DATE, TIME, AND EXACT LOCATION OF THE CONSTRUCTION SITE INSPECTION.
 2. THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.
 3. AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.
 4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED.
 5. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE.
- F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056.
 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062.

PLAN SPECIFICATIONS

3. STONE TRACKING PADS SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE, AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT, AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057.
4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060.
5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1088.
6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
9. IF SITE DETERIORATION IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION SITE STORMWATER PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE, FOLLOW PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. FLUSHING SHALL NOT BE ALLOWED.
11. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- H. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 5 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WRITES GENERAL PERMIT.
- I. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

- A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- B. CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW.

- HEAVY ASPHALT PAVING
1-1/2" BINDER COURSE (5 LT 58-285)
2-1/2" BINDER COURSE (3 LT 58-285)
6" OF 1-1/4" CRUSHED AGGREGATE
6" OF 3" CRUSHED AGGREGATE

- C. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A. MATERIAL CONTROL AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HANDLED TO PLANT GROWTH SHALL ALSO BE REMOVED.
- D. TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT TILLAGE AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDGY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- E. CONTRACTOR TO PROVIDE 4" WIDE YELLOW (VERIFY W/ OWNER) PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM ECAL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HANDLED TO PLANT GROWTH SHALL ALSO BE REMOVED.
- B. SEEDING LAWN:
 1. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL Ryegrass (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS./1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F., FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ON SITE.
 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1,000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL Ryegrass (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED.
 3. ALL TEMPORARY SEEDING SHALL COMPLY WITH THE FOLLOWING MIXTURE: 100% Ryegrass AT 1.0 LBS./1,000 S.F., STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F., FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED.
- C. SEEDING LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE

- OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5%". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- E. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIES, TYPE, SIZE, AND LOCATION.
 - F. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR HITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE IT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF HIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
 - G. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.
 - H. MINERAL MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF 0.75" MINIMUM TO 1.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
 - I. PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

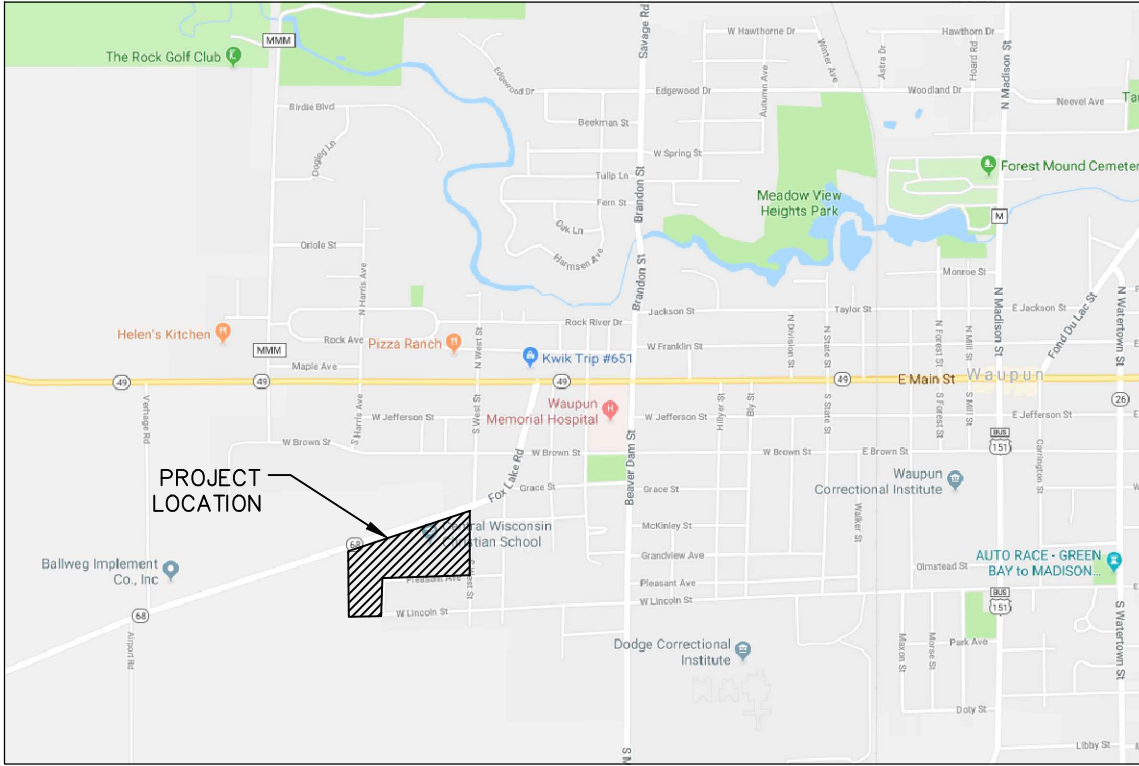
DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- B. CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVIEWING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVIEWING OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVIEWING.
- C. ALL PROPOSED SANITARY PIPE SHALL BE INSTALLED USING TABLE A MATERIALS.
- D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 1/4" OR 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A TURN (2-147-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 4" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURER'S REQUIREMENTS.
- E. UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A. ALLOWABLE PIPE MATERIAL SCHEDULE ON ACO 1 OF THE PROPOSED PLANSET.
- G. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- H. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE W/ 60-MH/UF INSULATION FOR UTILITY [BLUE+H2O, GREEN+SANITARY, PURPLE+IRRIGATION], PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 10 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. CONTRACTOR SHALL INSTALL 2" CAUTION TAPE IN UTILITY TRENCHES AS REQUIRED PER CITY OR FLOORSANT SPECIFICATIONS FOR CONSTRUCTION.
- I. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- J. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

CIVIL SHEET INDEX

SHEET	SHEET TITLE
CO.1	CIVIL COVER AND SPECIFICATION SHEET
AC1.0	EXISTING SITE AND DEMOLITION PLAN
AC1.1	SITE PLAN
AC1.2	GRADING AND EROSION CONTROL PLAN
AC1.3	UTILITY PLAN
AC1.4	LANDSCAPE AND RESTORATION PLAN
AC2.0	DETAILS



PROJECT LOCATION MAP

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN, AT 920-926-3801 OR RYAN.WB@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS SHALL BE MADE TO EXCEL ENGINEERING. EXCEL ENGINEERING SHALL PROVIDE A MINIMUM OF A 3 DAY NOTICE, PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

GENERAL PROJECT NOTES

1. ALL DRIVEWAY REMOVAL TO BE ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS COORDINATE WITH CITY.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

STORMWATER POND ASBUILT NOTE

CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE, PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE "YOU DIG IN WISCONSIN"

CALL DIGGERS HOTLINE
1-800-242-8511

TOLL FREE
TELEFAX (414) 259-0947
TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289

WISCONSIN STATUTE 182.0175 (1974)
REQUIRES MINIMUM OF 3 WORK DAYS
NOTICE BEFORE "YOU EXCAVATE"

CONTACTS

OWNER CWC SCHOOLS 301 FOX LAKE RD WAUPUN, WISCONSIN CONTACT: MARK BUTEN P: (920) 926-4233 mbuten@centralwisconsinchristian.org	CIVIL EXCEL ENGINEERING 100 CAMELOT DRIVE FOND DU LAC, WISCONSIN 54935 FOR: ERIC DRAZKOWSKI, P.E. CONTACT: JOSHUA MCLESTER P: (920) 926-9801 joshua.mclester@excelengineer.com
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Always a Better Plan

100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

COLLABORATION

PROJECT INFORMATION

PROPOSED ADDITION FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

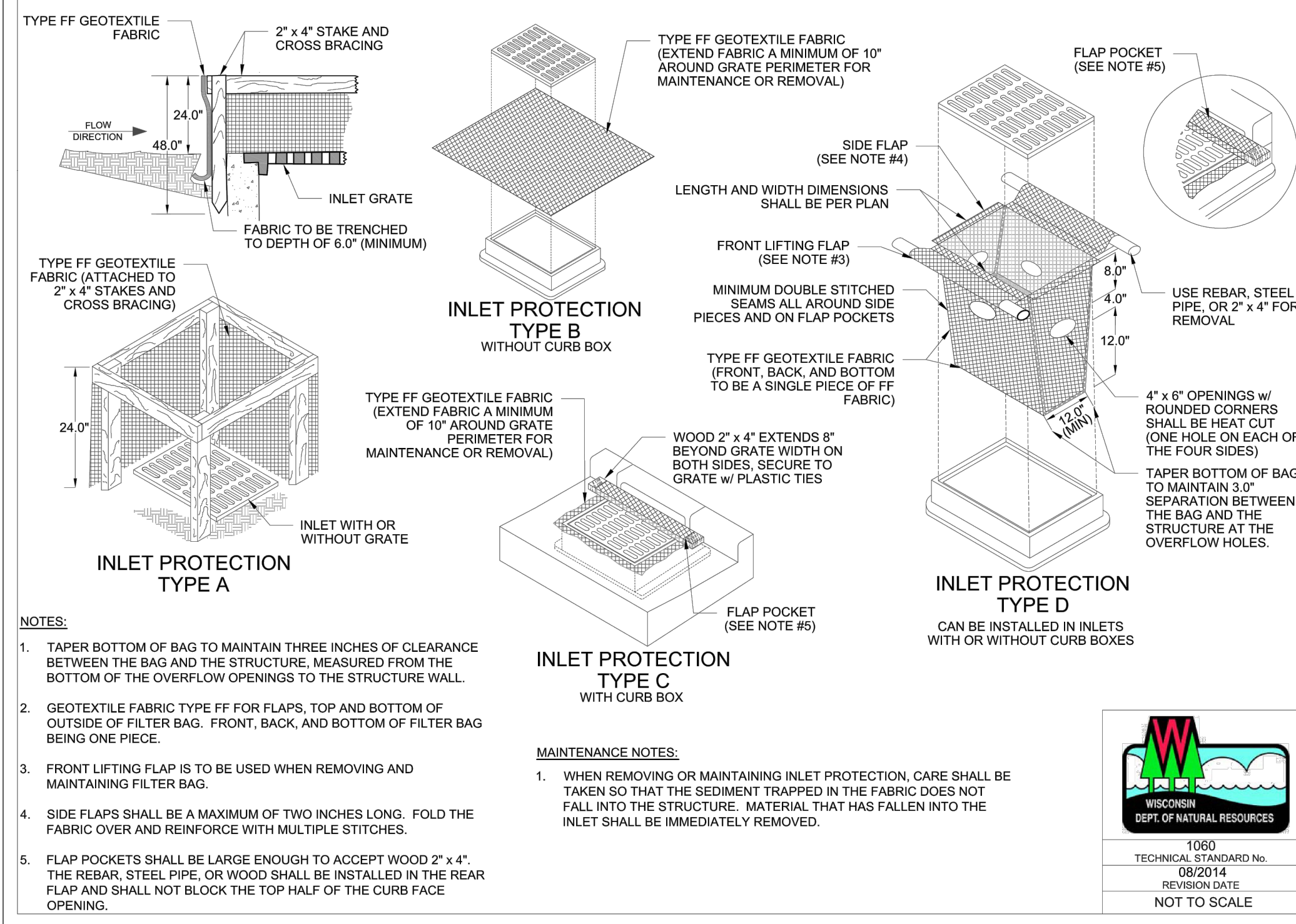
PROFESSIONAL SEAL

SHEET DATAS

SHEET ISSUE DEC. 23, 2021

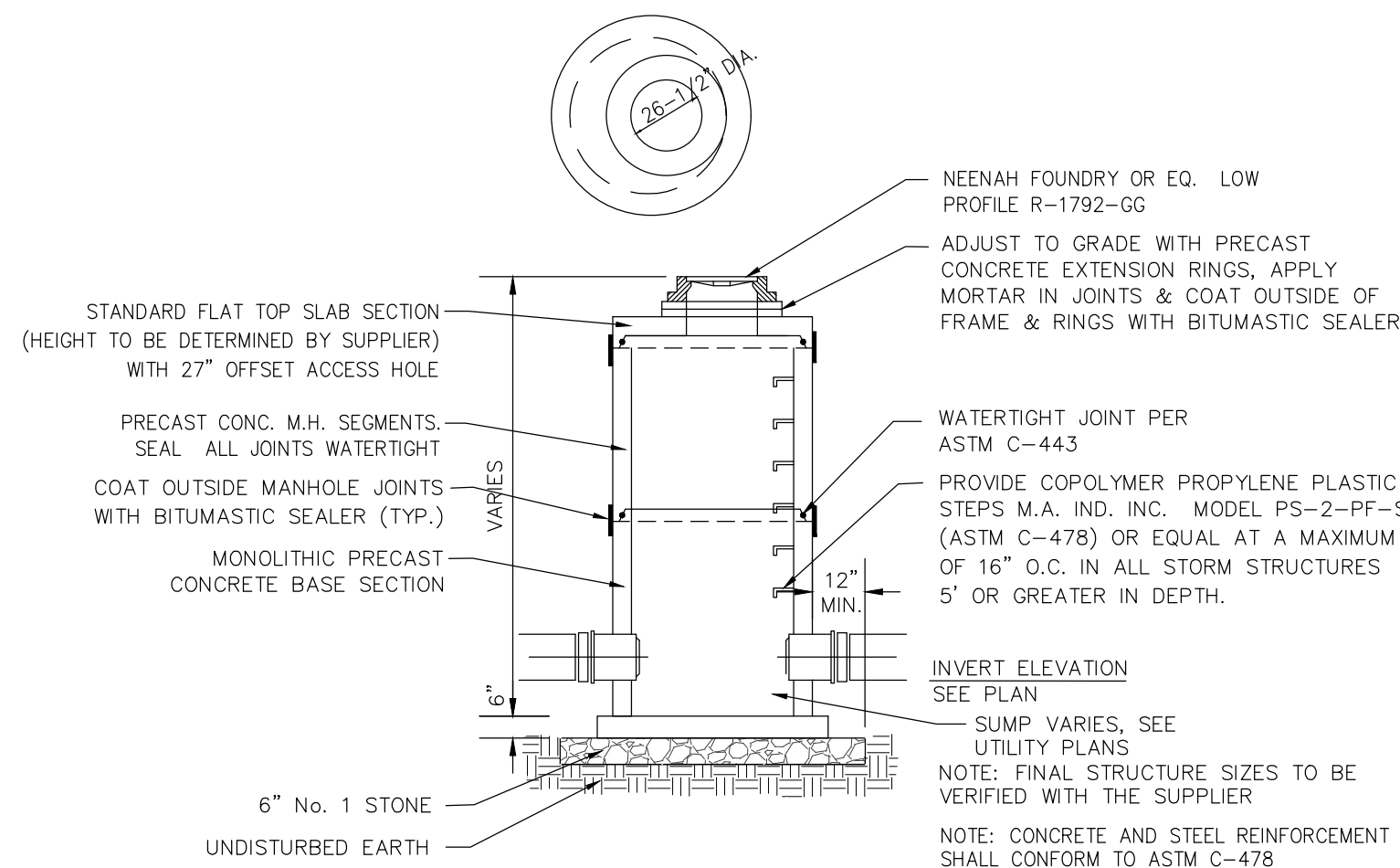
REVISIONS

FIGURE 1. INLET PROTECTION TYPES A, B, C AND D



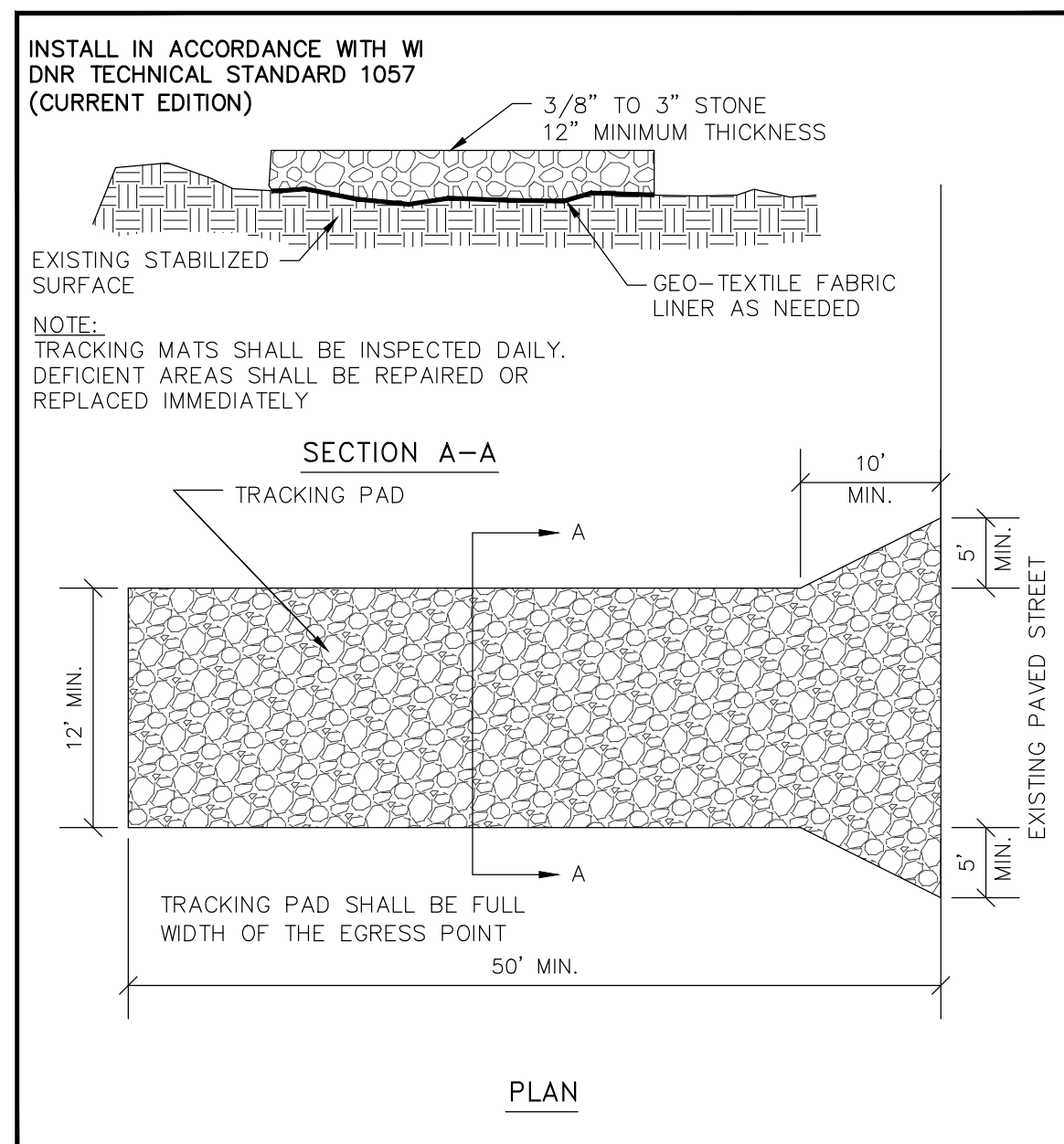
INLET PROTECTION DETAIL

NO SCALE



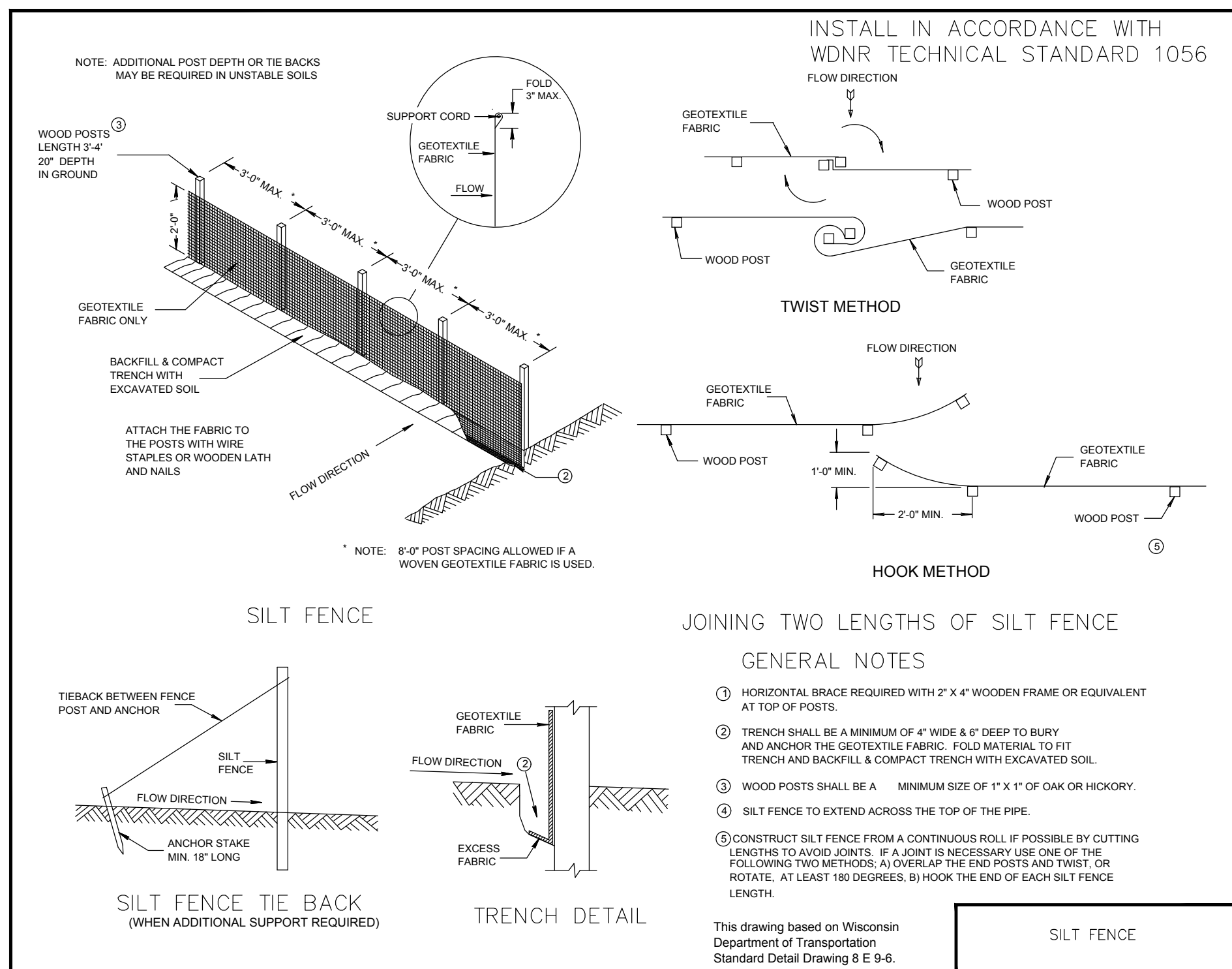
STORM CATCH BASIN W/ SUMP DETAIL

NO SCALE



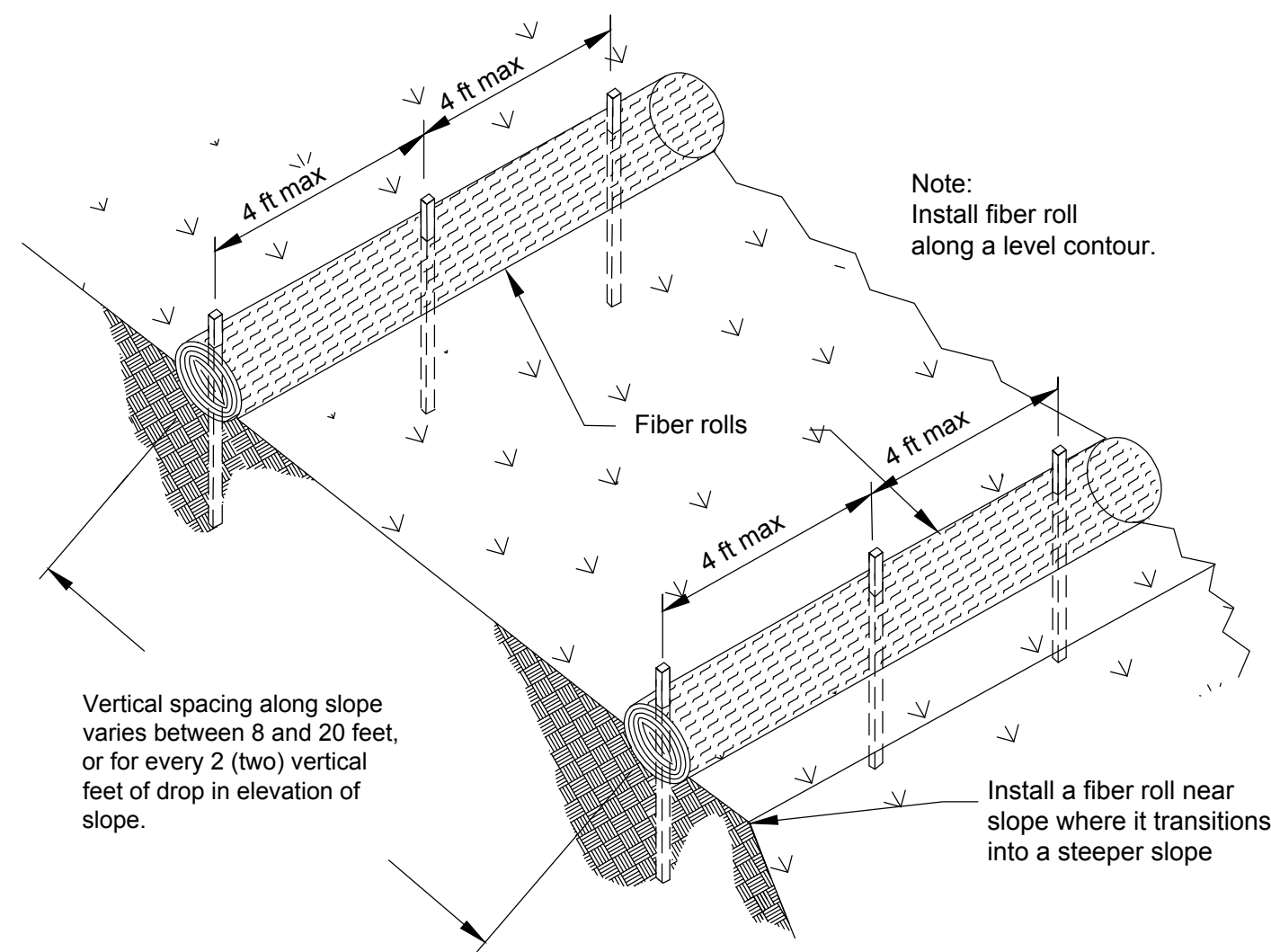
TRACKPAD DETAILS

NO SCALE



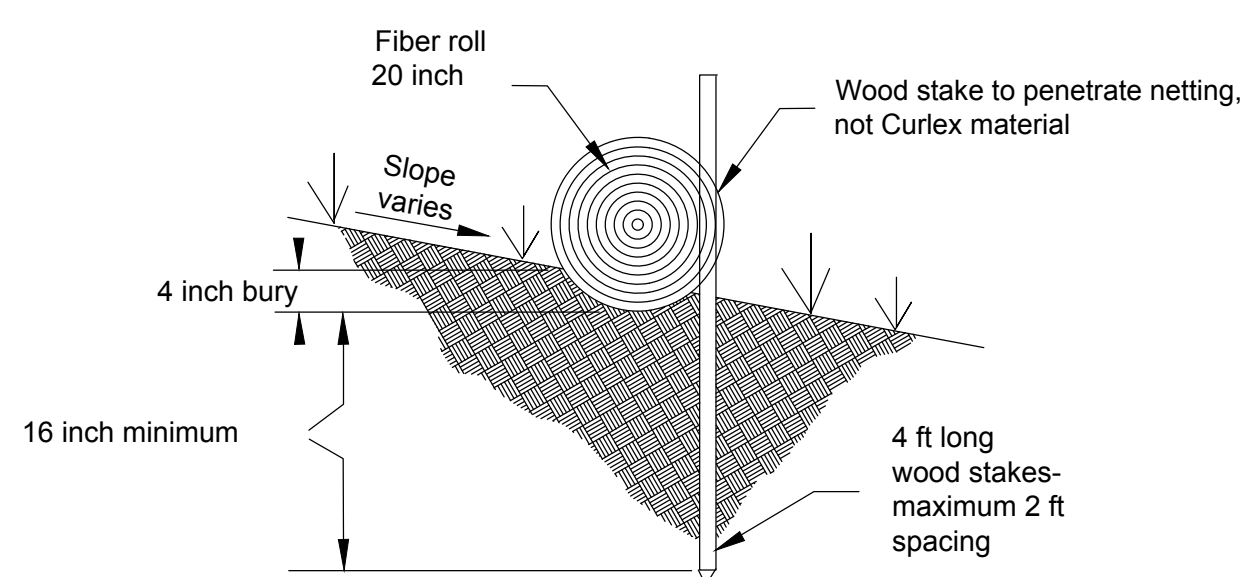
SILT FENCE – INSTALLATION DETAIL

NO SCALE



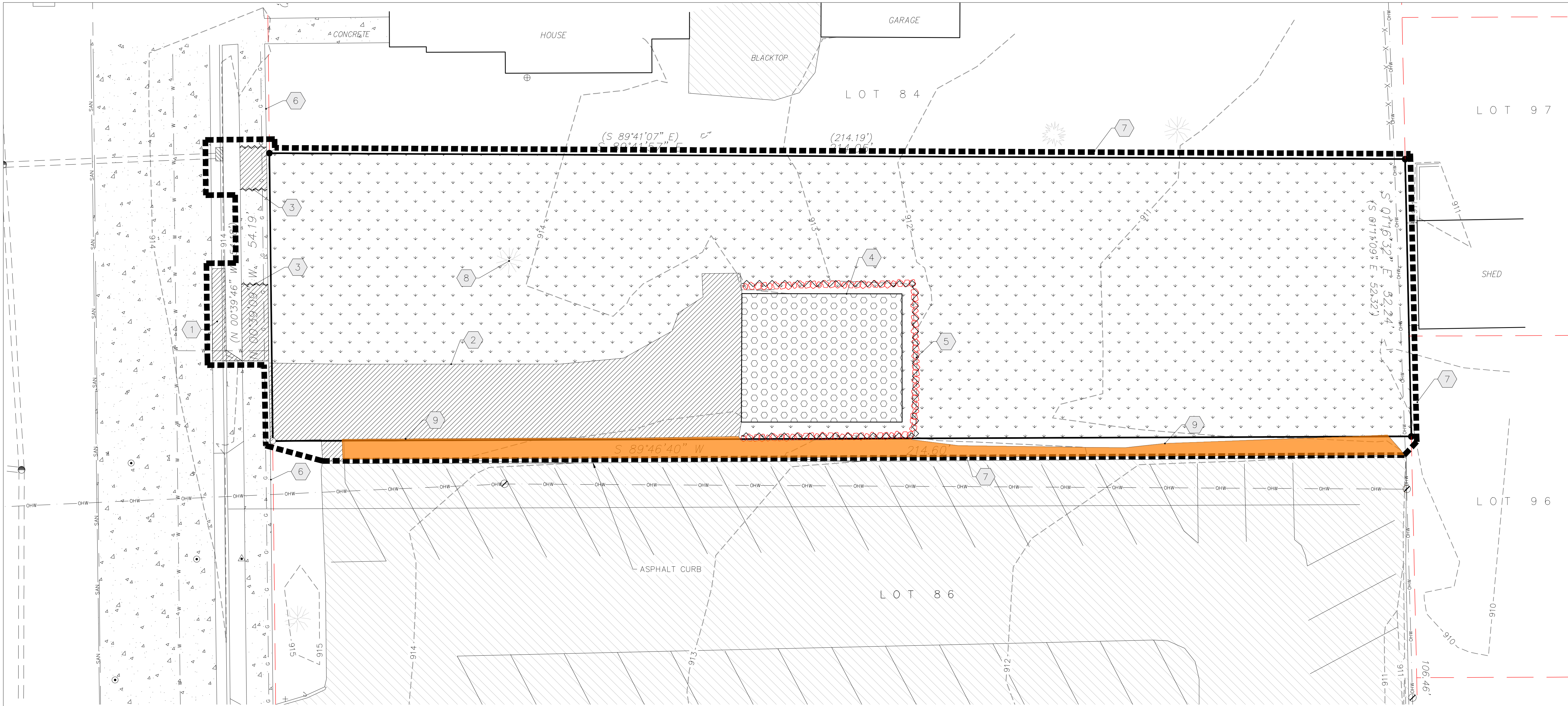
TYPICAL FIBER ROLL INSTALLATION

NTS



SEDIMENT LOG INSTALLATION

NOT TO SCALE



GENERAL NOTES

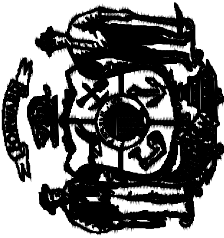
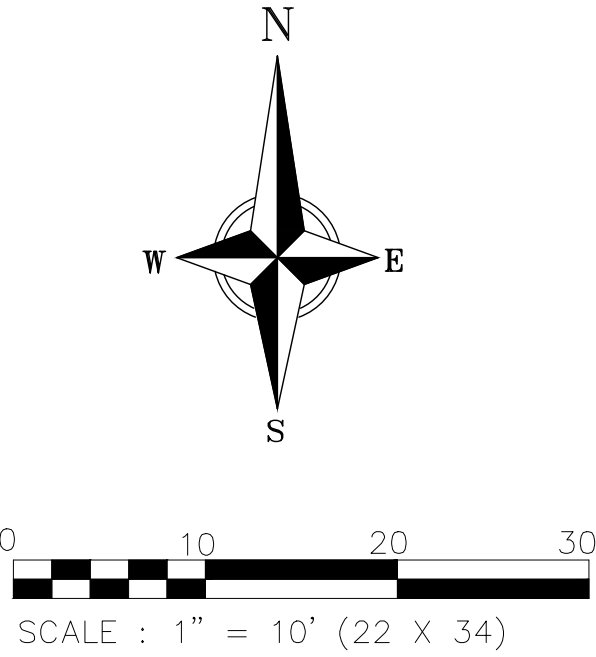
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO START OF DEMOLITION/ CONSTRUCTION. CONTRACTOR TO PAY FOR PRIVATE LOCATES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING VEGETATION, STUMPS, ROOTS, AND OTHER ITEMS THAT ARE NOT NOTED TO REMAIN PER THE CONSTRUCTION DRAWINGS AND WHICH INTERFERE WITH NEW CONSTRUCTION.
- GENERAL CONTRACTOR TO DISPOSE OF ALL DEMOLITION / CONSTRUCTION MATERIALS OFF SITE IN A LEGAL MANNER EXCEPT FOR THOSE ITEMS NOTED TO BE SALVAGED.
- ALL MATERIALS, UTILITIES, AND SIDEWALK DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL EXISTING FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALK, ETC.) THAT ARE TO REMAIN.
- REMOVE CONCRETE TO THE NEAREST JOINT.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES FOR PERIMETER PROTECTION PRIOR TO THE START OF DEMOLITION/ CONSTRUCTION.
- ALL EROSION CONTROL MEASURES INSTALLED SHALL BE MAINTAINED IN ACCORDANCE WITH THE LOCAL AND STATE GOVERNING AUTHORITIES.
- ALL EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.

PLAN KEY

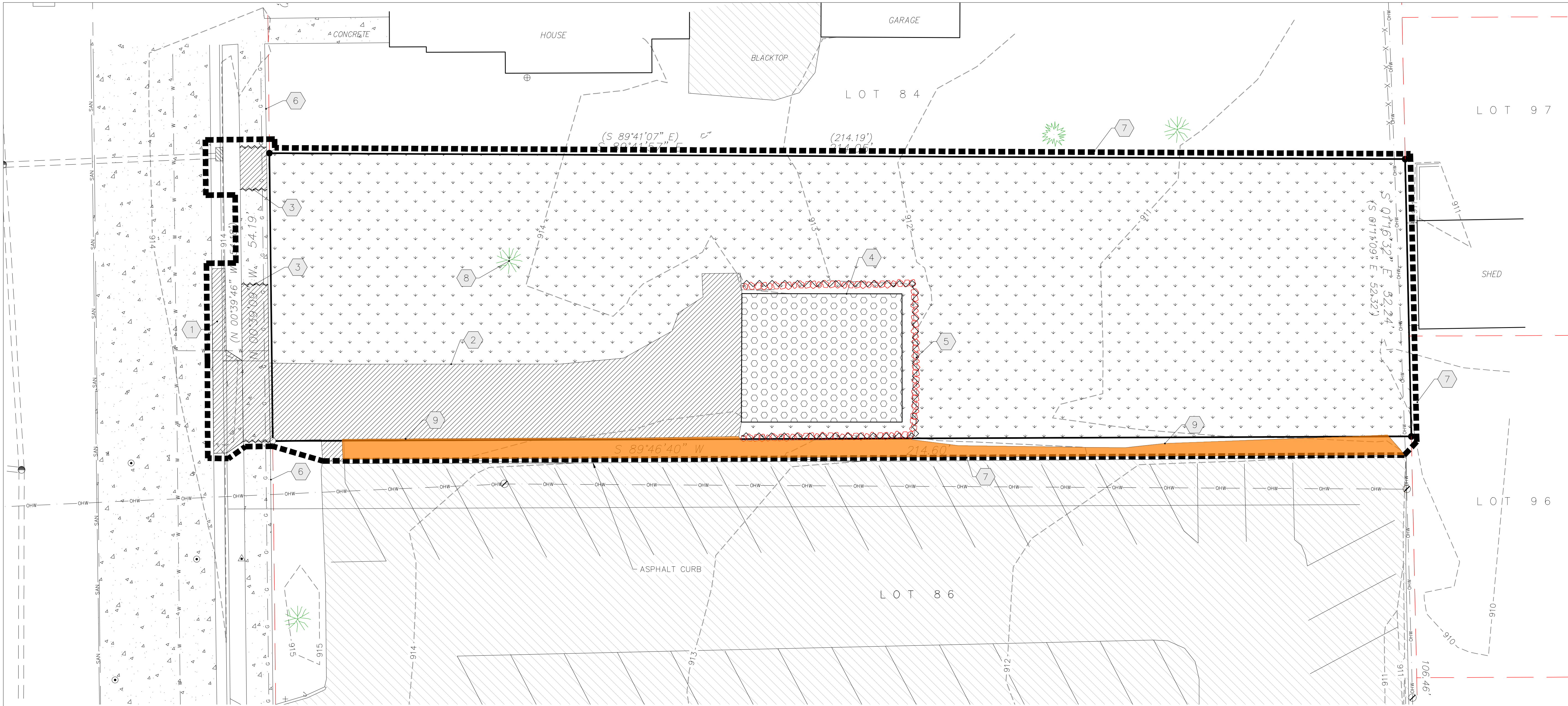
- REMOVE & REPLACE EXISTING 30" CURB AND GUTTER AS NEEDED FOR NEW DRIVEWAY APRON
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING CONCRETE SIDEWALK TO THE NEAREST JOINT SAW CUT AS REQUIRED FOR A CLEAN CONSTRUCTION JOINT
- REMOVE EXISTING BUILDING
- REMOVE ROCK RETAINING WALLS
- CONCRETE TO REMAIN
- CONSTRUCTION LIMITS
- REMOVE AND RELOCATE EXISTING MEMORIAL TREE AND SIGN
- REMOVE EXISTING ASPHALT PAVEMENT

PAVEMENT KEY

- REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK/CURB/GUTTER
- REMOVE EXISTING BUILDING
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING TOPSOIL. STOCKPILE/SALVAGE FOR REUSE AS NEEDED. DISPOSE OF EXCESS MATERIAL.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED



Revisions:		
No.	Date:	Description:
Graphic Scale	SEE DRAWING	
DFD Number	21F1P	
Set Type	PR	
Date Issued	12/15/2021	
Sheet Number	C101	



GENERAL NOTES

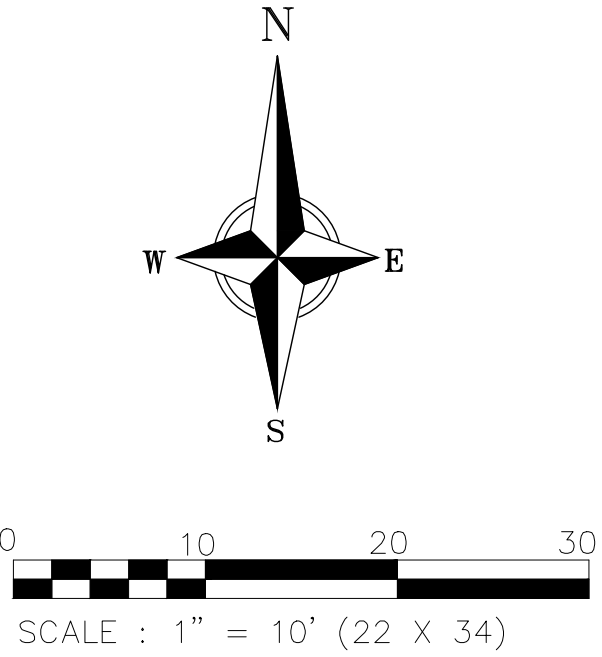
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PLAN KEY

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PAVEMENT KEY

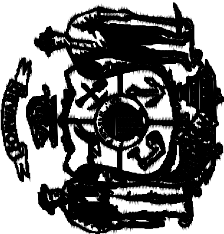
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818 N Meadowbrook Ln
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Department of Administration
Division of Facilities Development

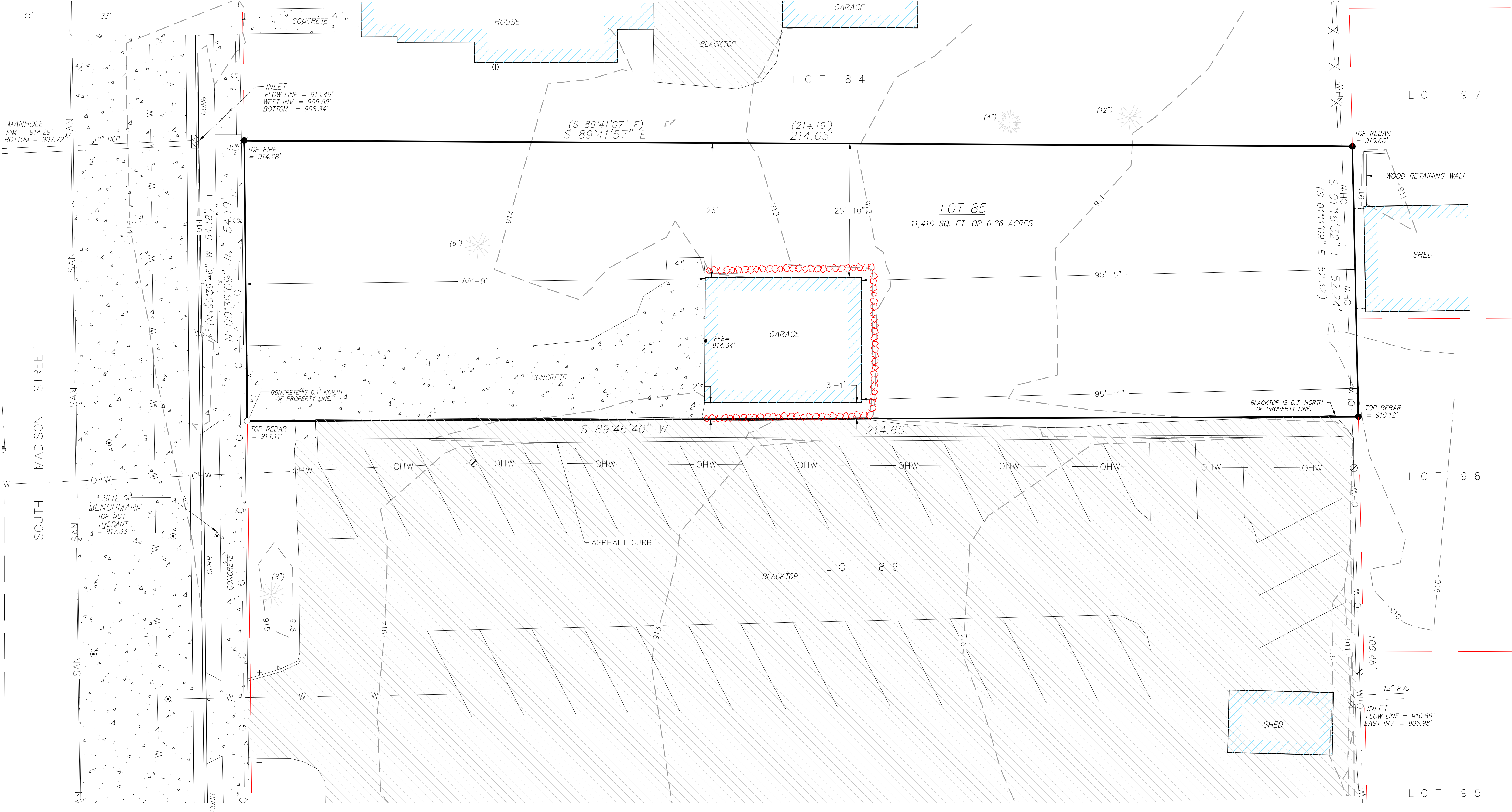


SOUTH MADISON STREET
WAUPUN, WISCONSIN

WCI PARKING LOT CONSTRUCTION
WAUPUN CORRECTIONAL INSTITUTE
DEPARTMENT OF CORRECTIONS
WAUPUN, WISCONSIN

Sheet Title:
DEMOLITION PLAN

Revisions:		
No.	Date:	Description:
Graphic Scale	SEE DRAWING	
DFD Number	21F1P	
Set Type	PR	
Date Issued	12/15/2021	
Sheet Number	C101	



LEGEND

- = SET 3/4"x24" REBAR WT 1.5 LB PER LIN FT
- ▲ = FOUND PKNAIL
- = FOUND 3/4" REBAR WITH CAP
- = FOUND 1" IRON PIPE
- (##) = RECORDED AS
- ✱ = SPOT GRADE
- ⊕ = STREET/PARKING SIGN
- ⊗ = POWERPOLE
- = MANHOLE
- ⊕ = FIRE HYDRANT
- ⊕ = GAS VALVE
- = WATER VALVE
- ▨ = STORM INLET
- ⊗ = ROCK WALL
- (##) = CONIFEROUS TREE (DIAMETER NOTED)
- (##) = DECIDUOUS TREE (DIAMETER NOTED)

LINE LEGEND

- SAN — = SANITARY SEWER
- = STORM SEWER
- W — W — = WATER MAIN
- G — G — = UNDERGROUND GAS MAIN
- OHW — = OVERHEAD ELECTRIC
- X — X — X — X — = WOOD FENCE

KEY

- ▨ EXISTING ASPHALT
- ▨ EXISTING CONCRETE

NOTES:

- 1.) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT FOR THE SUBJECT TRACT OR ADJOINERS AND IS THEREFORE SUBJECT TO ANY EASEMENTS, AGREEMENTS, RESTRICTIONS AND STATEMENT OF FACTS REVEALED BY EXAMINATION OF SUCH DOCUMENTS.
- 2.) WETLANDS AND FLOOD PLAIN, IF PRESENT, HAVE NOT BEEN DELINEATED OR SHOWN.
- 3.) ELEVATION ARE REFERENCED TO NAVD 88 (2012 DATUM). SITE BENCHMARK IS THE TOP OF HYDRANT LOCATED AT THE SOUTHWEST CORNER OF LOT 85. TOP OF HYDRANT = 917.33'.
- 4.) ALL UTILITIES SHOWN ON THIS SURVEY WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENTS OR ESTABLISHED FROM PLANS PROVIDED BY OTHERS, EXCEPT WHERE SNOW OR OTHER OBSTACLES MAY HAVE OBSCURED THE LOCATION OF THE UTILITIES. IT IS THE RESPONSIBILITY OF THE OWNERS/CONTRACTORS TO CALL DIGGER'S HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION OR EXCAVATING IS DONE. DIGGER'S HOTLINE NO. 1-800-242-8511. DIGGER'S HOTLINE TICKET NO. 2021-4316462

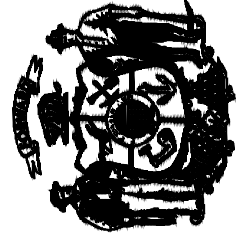
DESCRIPTION:

Lot 85, Assessor's Plat No. 5 in the City of Waupun, recorded in the Dodge County Register of Deeds Office in Cab. B of Plats, Page 58, as Document No. 990634. Located in part of the Northeast 1/4 of Section 5, T13N, R15E, City of Waupun, Dodge County, Wisconsin.



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State of Wisconsin
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Division of Facilities Development



WCI PARKING LOT CONSTRUCTION
WAUPUN CORRECTIONAL INSTITUTE
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WAUPUN, WISCONSIN

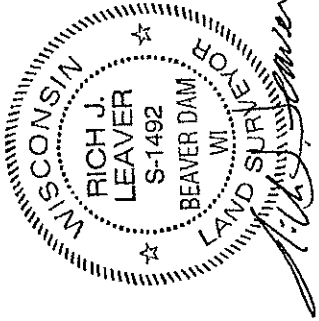
Sheet Title:
EXISTING CONDITIONS

Revisions:		
No.	Date:	Description:
Graphic Scale	SEE DRAWING	
DFD Number	21F1P	
Set Type	PR	
Date Issued	12/15/2021	
Sheet Number	C100	

CERTIFIED SURVEY MAP NO.

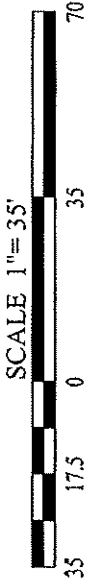
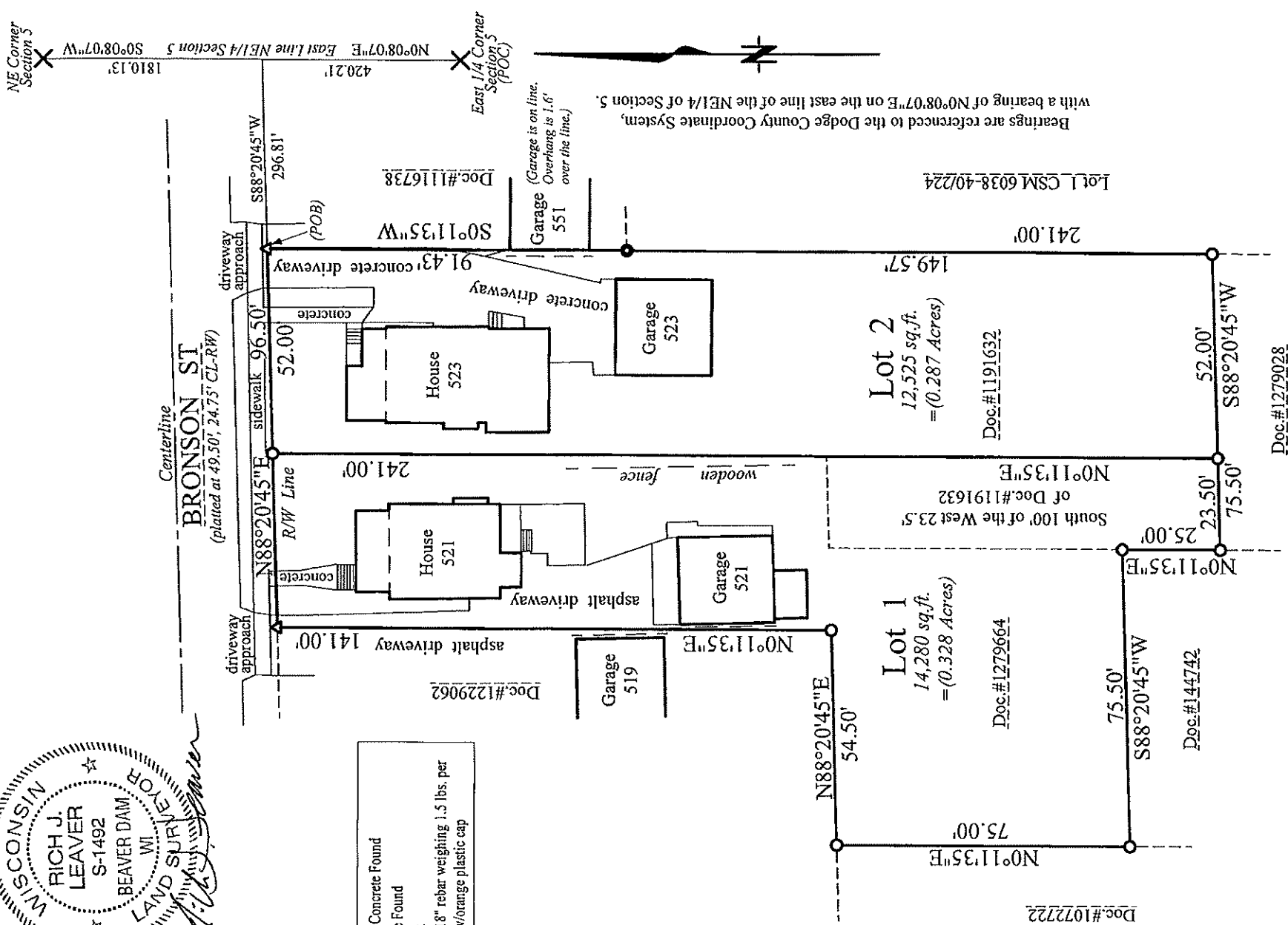
For the William P. Wheeler

Part of Outlot 65, South Ward as Described in Document #1191632
And Document #1279664, Located in the SE1/4-NE1/4 of Section 5,
T13N-R15E, City of Waupun, Dodge County, Wisconsin



LEGEND

- Saw Cut In Concrete Found
- 1" Iron Pipe Found
- PK Nail Set
- Set 0.75"x 18" rebar weighing 1.5 lbs. per lineal foot w/orange plastic cap



CERTIFIED SURVEY MAP NO. _____

For the William P. Wheeler

Part of Outlot 65, South Ward as Described in Document #1191632
And Document #1279664, Located in the SE1/4-NE1/4 of Section 5,
T13N-R15E, City of Waupun, Dodge County, Wisconsin

Reason for the Survey

The owners, William P. Wheeler and Deborah L. Wheeler, are selling the South 100 feet of the West 23.5 feet of their property to the landowner west, Joshua L. Mulder. This becomes a sale of land to the adjacent landowner. The City of Waupun is requiring a 2-lot certified survey map of the resulting 2 properties to comply with their city subdivision ordinances.

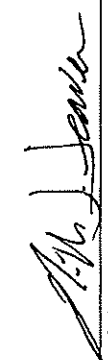
SURVEYOR'S CERTIFICATE

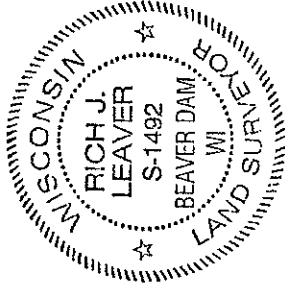
I, Rich J. Leaver, Wisconsin Professional Land Surveyor, hereby certify that I have surveyed and mapped a parcel of land by the direction of William T. Wheeler, representing the owners. This parcel of land is described and located as indicated above, and more particularly described as the following:

Commencing at the East 1/4 Corner of Section 5, T13N-R15E
thence N0°08'07"E, 420.21 feet along the east line of the NE1/4 of Section 5;
thence S88°20'45"W, 296.81 feet to the point of beginning on the south right-of-way line of Bronson Street;
thence S0°11'35"W, 241.00 feet along a line partially bordering Lot 1 of Certified Survey Map No. 6038, Volume 40, page 224 of the Dodge County Register of Deeds to the NE corner of land described in Document #1279028 of said register;
thence S88°20'45"W, 75.50 feet to the NW corner of land described in Document #1279028 of said register;
thence N0°11'35"E, 25.00 feet to the NE corner of land described in Document #144742 of said register;
thence S88°20'45"W, 75.50 feet to the NW corner of land described in Document #144742 of said register;
thence N0°11'35"E, 75.00 feet to the NE corner of land described in Document #1072722 of said register;
thence N88°20'45"E, 54.50 feet to the SE corner of land described in Document #1229062 of said register;
thence N0°11'35"E, 141.00 feet along the east line of land described Document #1229062 to the south right-of-way line of Bronson Street;
thence N88°20'45"E, 96.50 feet along said south right-of-way line to the point of beginning.
Bearings are referenced to the Dodge County coordinate system.

The above-described parcel contains 26,805 square feet (0.615 acres) of land, and this parcel is subject to all easements and restrictions, either recorded or unrecorded, if any.

I further certify that the information contained herein is a correct representation of the boundaries of the land as surveyed and mapped, and that I have fully complied with the provisions of Chapter 236.34 of the revised Wisconsin State Statutes, and the subdivision ordinances of the City of Waupun, to the best of my knowledge and belief.


Rich J. Leaver, WI LS-1492
Leaver Land Surveying LLC
W8871 Gossfeld Ln.
Beaver Dam, WI 53916
920-887-2401



CERTIFIED SURVEY MAP NO. _____

For the William P. Wheeler
Part of Outlot 65, South Ward as Described in Document #1191632
And Document #1279664, Located in the SE1/4-NE1/4 of Section 5,
T13N-R15E, City of Waupun, Dodge County, Wisconsin

Owners of Record
William P. Wheeler
Deborah L. Wheeler
523 Bronson St.
Waupun, WI 53963

Joshua L. Mulder
521 Bronson St.
Waupun, WI 53963

CITY OF WAUPUN CERTIFICATE

Approved by the City of Waupun this _____ day of _____ 2022,

Julie Nickel, Mayor

Angela Hull, City Clerk/Treasurer and
Director of Human Resources

