

A G E N D A CITY OF WAUPUN PLAN COMMISSION MEETING Waupun City Hall – 201 E. Main Street, Waupun WI Wednesday, August 16, 2023 at 4:30 PM

The Waupun Plan Commission will meet on Wednesday, August 16, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting will be held in person, virtual, and teleconference.

To Join Zoom Meeting:

https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

CALL TO ORDER

ROLL CALL

<u>PERSONS WISHING TO ADDRESS THE PLAN COMMISSION</u>--State name, address, and subject of comments. (2 Minutes)

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

- 1. Approve minutes of the July 19, 2023 meeting.
- 2. Frens Automotive LLC, at 501 E. Main St. to operate a car dealership per Municipal Code Section 16.04(2)(d)(vi).
- 3. Certified Survey Map Review FVSBank, 101 S. Madison St.
- 4. Site Plan Review FVSBank, 101 S. Madison St.
- 5. Site Plan Approval for driveway easement through City property on Shaler Dr.
- 6. Site Plan Review Eric Mulder Construction 1827 Shaler Drive (Lot 9)

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



M I N U T E S CITY OF WAUPUN PLAN COMMISSION MEETING Waupun City Hall – 201 E. Main Street, Waupun WI Wednesday, July 19, 2023 at 4:30 PM

The Waupun Plan Commission met on Wednesday, July 19, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting was held in person, virtual, and teleconference.

CALL TO ORDER

Chairman Bishop called the meeting to order at 4:30 pm.

ROLL CALL

Members Present: Elton TerBeest, Rohn Bishop, Jill Vanderkin, Mike Matoushek, Jason Whitford (Zoom),

Members Excused: Jeff Daane and Gerald Medema

Staff Present: Kathy Schlieve, Susan Leahy

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION—

None

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

- Approve minutes of the June 21, 2023 meeting.
 Motion by Matoushek 2nd by Vanderkin to approve the minutes of the June 21, 2023 meeting. Motion carried, unanimously.
- 2. Public Hearing Conditional Use Permit application of Denise Munro at 435 E Jefferson St. to extend the driveway 9' into the front yard plane of the house to the front property line per Municipal Code Section 16.03(4)(b)(iv) of the Waupun Municipal Code.

Motion by Matoushek 2nd by TerBeest to open the Public Hearing. Motion carried, unanimously.

Denise Munro appeared to discuss their plans. They want to extend their driveway over into the front plain of the house because they only have a 1 car driveway and parking is restricted in front of their house. O further questions were asked.

Motion by TerBeest 2nd by Vanderkin to close the Public Hearing. Motion carried, unanimously.

Motion by Vanderkin 2nd by Whitford to approve Conditional Use Permit as presented. Motion carried, unanimously.

3. Public Hearing - Conditional Use Permit application of James Hepp at 431 E. Jefferson St. to extend the driveway 5' into the front yard plane of the house to the front property line per Municipal Code Section 16.03(4)(b)(iv).

Motion by Matoushek 2nd by TerBeest to open the Public Hearing. Motion carried, unanimously.

James appeared and discussed their plans. They will extend driveway 5' x 7' into the front plane of the house. There is currently Two hour parking along street so this will help so he doesn't have to park in the street and avoid tickets. Parking limitations on Jefferson St. were discussed as well and will be discussed at a future Board of Public Works meeting.

Motion by Matoushek 2nd by Vanderkin to close the Public Hearing. Motion carried, unanimously.

Motion by Whitford 2nd by TerBeest to approve the Conditional Use Permit as presented. Motion carried, unanimously.

4. Site Plan Review - TJ's Autobody - 701 S Watertown St.

There was an apartment by the Laundry mat and they want to move the laundry mat to where the apartment was and the addition. They plan on making the existing laundry mat storage. It will be bigger than the existing laundry mat. It's open 24/7. Jeff and Sue looked at site for stormwater, there were no issues.

Motion by Whitford 2nd Matoushek by to approve the site plan. Motion carried, unanimously.

5. Extraterritorial Zoning Review for property owned by Richard and Penny Hull on Savage Rd. Parcel #'s T21-14-15-19-16-011-00 & T21-14-15-19-16-012-00

We received the extraterritorial review. They are dividing out the farm land from the house. There is no change of use, and it meets the City's code for setback requirements. This has been there for a number of years. The property is almost out by Longview Rd. and does not with future land use maps. Motion by Vanderkin, 2nd by TerBeest to recommend approval of the Extraterritorial Certified Survey Map to the Common Council. Motion carried, unanimously.

6. Certified Survey Map Review - 810 N Madison St. They are proposing to divide property to sell to neighbors. The property is in the City but Catherine Ct. is in the Township. It's a 3 lot CSM. One will stay with them and the other two lots will be sold to the neighbors. Motion by Vanderkin 2nd by Whitford to approve proposed Certified Survey Map. The final Certified Survey Map can go directly to the Common Council when we receive it. Motion carried, unanimously.

ADJOURNMENT

Motion by Whitford, 2nd by Vanderkin to adjourn the meeting. Motion carried, unanimously. Meeting adjourned at 4:49 pm



CITY OF WAUPUN BUILDING INSPECTOR Waupun City Hall – 201 E. Main Street, Waupun WI P: 920-324-7917 * F: 920-324-7939 www.cityofwaupun.org

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be on Wednesday the 16th day of August, 2023 at 4:30 pm, where there will be considered an application for a Conditional Use Permit of:

1. Frens Automotive LLC, at 501 E. Main St. to operate a car dealership per Municipal Code Section 16.04(2)(d)(vi)

The meeting will be held in person and via Zoom. Instructions to join the zoom meeting are below:

Join Zoom Meeting

https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 2nd day of August 2023

Susan Leahy Zoning Administrator City of Waupun

(PUBLISH August 8, 2023)

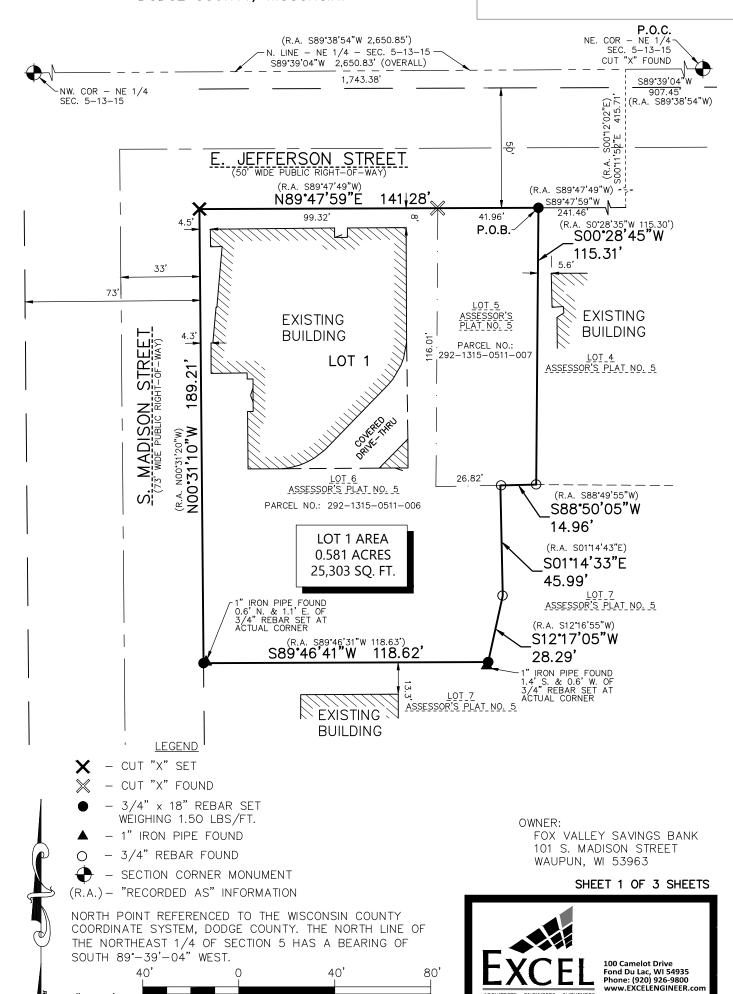
CERTIFIED SURVEY MAP NO.

1"= 40'

SCALE

FOX VALLEY SAVINGS BANK

LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.



JOB NO. 230191500

Always a **Better Plan**

FEET

CERTIFIED SURVEY MAP NO.

LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Fox Valley Savings Bank bounded and described as follows:

Lots 5 and 6 of Assessor's Plat No. 5 recorded in the Dodge County Register of Deeds office on May 21, 2003 in Cabinet B of Plats on Page 58 as Document No. 990634, being part of the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 13 North, Range 15 East, City of Waupun, Dodge County, Wisconsin being more particularly described as follows:

Commencing at the Northeast corner of the Northeast 1/4 of said Section 5; thence South 89°-39′-04″ West along the North line of said Northeast 1/4, a distance of 907.45 feet; thence South 00°-11′-52″ East, a distance of 415.71 feet to the South right-of way line of E. Jefferson Street; thence South 89°-47′-59″ West along said South line, a distance of 241.46 feet to the Northeast corner of said Lot 5, said point also being the point of beginning; thence South 00°-28′-45″ West along the East line of said Lot 5, a distance of 115.31 feet to the Southeast corner of said Lot 5; thence South 88°-50′-05″ West along the South line of said Lot 5, a distance of 14.96 feet to an East corner of said Lot 6; thence South 01°-14′-33″ East along an East line of said Lot 6, a distance of 45.99 feet to an East corner of said Lot 6; thence South 12°-17′-05″ West along an East line of said Lot 6, a distance of 28.29 feet to the Southeast corner of said Lot 6; thence South 89°-46′-41″ West along the South line of said Lot 6, a distance of 118.62 feet to the East right-of-way line of S. Madison Street; thence North 00°-31′-10″ West along said East line, a distance of 189.21 feet to the South right-of-way line of E. Jefferson Street; thence North 89°-47′-59″ East along said South line, a distance of 141.28 feet the point of beginning and containing 0.581 acres (25,303 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Waupun in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647 ryan.w@excelengineer.com Excel Engineering, Inc. Fond du Lac, Wisconsin 54935

Project Number: 230191500

CERTIFIED SURVEY MAP NO. _____

LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

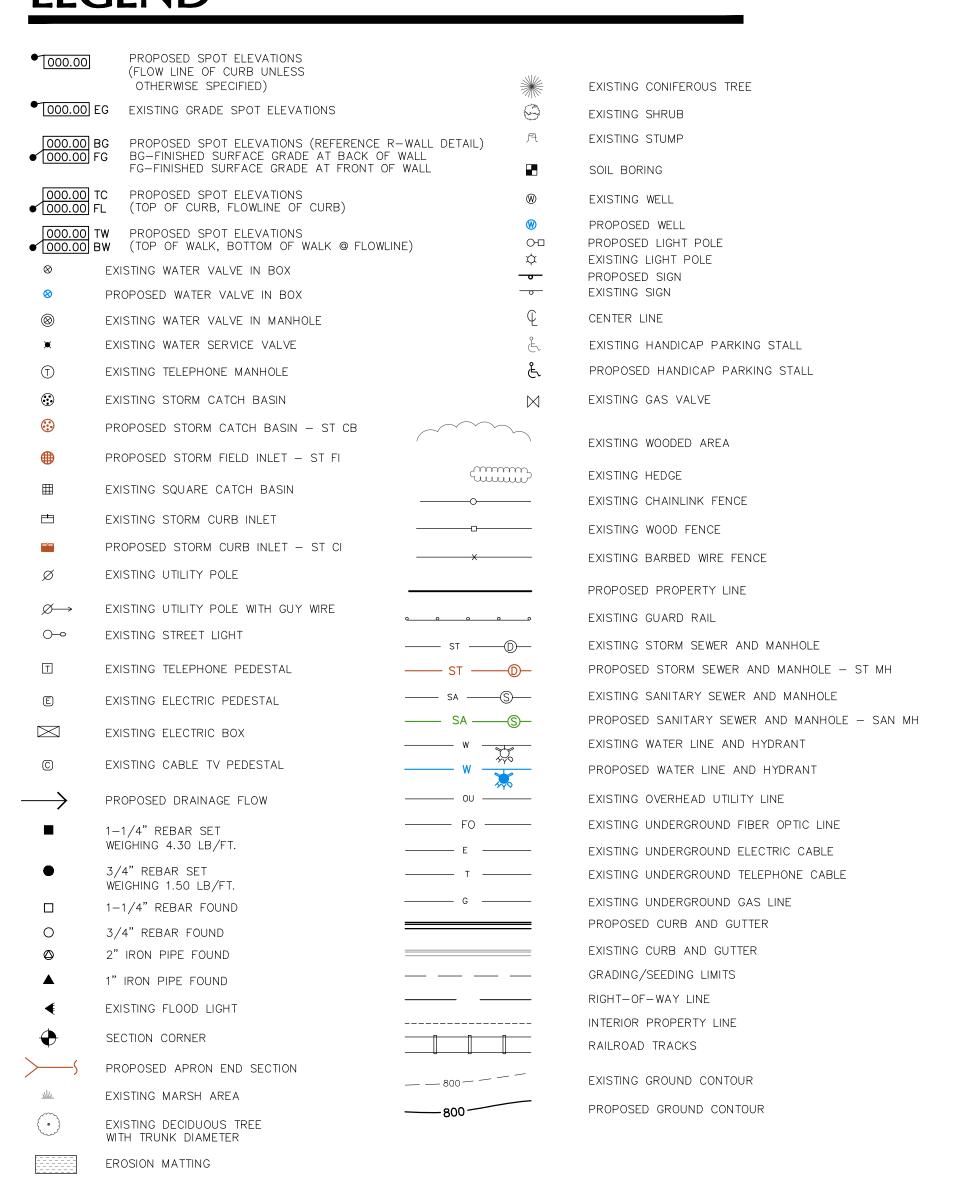
Fox Valley Savings Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Fox Valley Savings Bank does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

1. City of Wa	ıpun		
WITNESS the	hand and seal of said ow	ner this day of _	, 2023.
Fox Valley Savings Ba	ank		
(Print)	(Title)		
STATE OF)		
	COUNTY)SS		
	to me known to b	_ day of e the person who execute	, 2023, the above named of the foregoing instrument and
		Notary Public,	County,
		My Commission Exp	ires:
	CERTIFICATE	OF THE CITY OF WAUP	<u>PUN</u>
This certified survey m	nap in the City of Waupur	n, is hereby approved by the	he City of Waupun Plan
Commission this	day of	, 2023.	

PROPOSED SITE IMPROVEMENTS FOR: FVSBANK

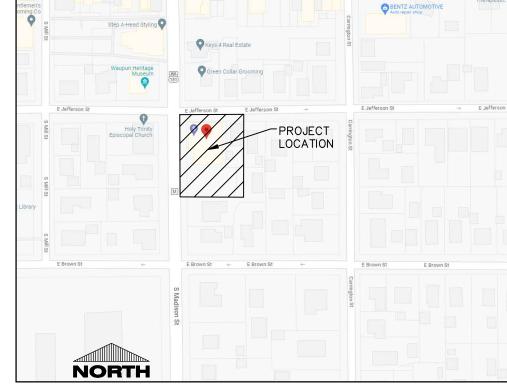
WAUPUN, WISCONSIN LEGEND



CIVIL SHEET INDEX

PROPOSED INLET PROTECTION

SHEET	SHEET TITLE
C0.1	CIVIL COVER AND SPECIFICATION SHEET
C1.0	EXISTING SITE AND DEMOLITION PLAN
C1.1	SITE PLAN
C1.2	GRADING AND EROSION CONTROL PLAN
C1.3	UTILITY PLAN
C1.4	LANDSCAPE AND RESTORATION PLAN
C2.0	DETAILS
C3.1	SITE PHOTOMETRIC PLAN & DETAILS



PROJECT LOCATION MAP

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO FIELD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION.

 TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY
- AFTER COMPLETION OF FIELD TELEVISING.

 C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEFDED DURING CONSTRUCTION
- D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.

 E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
 C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE
- REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.

 D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY
- SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.

 E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY
- HAND-OPERATED TAMPERS.

 F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING
- BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.

 1. UNDER FOUNDATIONS SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98

 DEDCENT
- PERCENT.

 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A
 DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS
 INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE
 COURSE TO NOT LESS THAN 95 PERCENT.
 UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS COMPACT THE SUBGRADE AND EACH LAYER OF
- BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.

 5. UNDER WALKWAYS COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN
- 95 PERCENT.

 6. UNDER LAWN OR UNPAVED AREAS COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD OUALITY CONTROL TESTS.
- H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.
- I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AFRATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS.

 TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
- SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
 DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION).
- 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD
- 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH
 BASINS AND CURB INLETS. TYPE B PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH
- WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).

 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD
- 6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
- INTO WATERS OF THE STATE.

 7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE.

 CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND

 NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM.

 WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

PLAN SPECIFICATIONS

- 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING
- AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.

 9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
- DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.

 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE
- FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED.

 C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
- EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
 E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 20 00 AGGREGATE BASE & ASPHALT PAVEMENT

A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW:

STANDARD ASPHALT PAVING SECTION
1-1/2" SURFACE COURSE (5 LT 58-28S)
WISDOT 455.2.5 TACK COAT (STAGED PAVING)
2" BINDER COURSE (4 LT 58-28S)

10" OF 1-1/4" CRUSHED AGGREGATE

- ASPHALT REPLACEMENT SECTION 1-1/2" SURFACE COURSE (5 LT 58-28S) 2" BINDER COURSE (4 LT 58-28S)
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.5% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 30 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
 B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
 C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI
- 330R-08 & ACI 318-08.

 D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
- 1. PUBLIC SIDEWALK CONCRETE 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.

 2. HEAVY DUTY CONCRETE 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 12.5' ON CENTER
- 1). TIE BARS AT OUTERMOST CONTRACTION JOINT (FIRST JOINT FROM EDGE OR AT CURB JOINT) AROUND PERIMETER OF CONCRETE. TIE BARS SHALL BE #4 REBAR 24" LONG PLACED AT 30" O.C.
- 2). TYPICAL POUR CONTROL JOINT POUR CONTROL JOINT SHALL BE PROVIDED WITH 1/4" X 4-1/2" X 4-1/4" DIAMOND SHAPED TAPERED PLATE DOWELS MANUFACTURED PER ASTM A36. INSTALL PER MANUFACTURERS SPECIFICATIONS.

E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94

a. CONCRETE SHALL BE STEEL REINFORCED AS FOLLOWS:

- STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
- MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
 SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK
- SLUMP SHALL NOT EXCEED 4 FOR EXTERIOR CONCRETE FLAT WORK

 SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER
- SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
 ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURE.
- SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED.

 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.

 F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 IRS/CIJ VD. OR 6.X 6-W1.4.X W1.4 WEI DED WIRE MESH WITH MINIMUM 1 INCH COVER.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH CONTRACTOR REQUIRING PAD. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 5.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAY'S AND TWO SPECIMENS AT 28 DAY'S. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.

- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND
- TROWELLING.
 L. LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.
- N. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

32 40 00 LANDSCAPING AND SITE STABILIZATION

A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN A LANDSCAPE ISLANDS SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.

- 1. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.

 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW
- PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.

 C. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

D. <u>EROSION MATTING:</u> 1. CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH

- ALL SLOPES THAT ARE 4:1 AND GREATER, LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.

 2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE
- BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.

 E. TREES AND SHRUBS: FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE TYPE, SIZE,
- F. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED.
- G. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. CONTRACTOR TO FIELD TELEVISE ALL EXISTING STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISING
- C. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED PLANSET. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS.

 D. STORM LITHIUTY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT FLEVATIONS ASSUMING.
- PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.

 E. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER
- F. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL STORM SEWER.

 G. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.

Table A: Allowable Pipe Material Schedule									
tility Material Pipe Code Fitting Code Joint Code									
RRCP-Class III	ASTM C14, ASTM C76, AASHTO M170		ASTM C443 Rubber Gasket						
SDR 35 PVC	ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	ASTM F1336	Push On: ASTM D3212 for Tightness Elastomeric Seal: ASTM F477						
Single Wall HDPE-Socked	ASTM F667	ASTM F667	ASTM D1056 Grade 2A2 Gasketed						
	Material RRCP-Class III SDR 35 PVC	Material Pipe Code RRCP-Class III ASTM C14, ASTM C76, AASHTO M170 SDR 35 PVC ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891	Material Pipe Code Fitting Code RRCP-Class III ASTM C14, ASTM C76, AASHTO M170 SDR 35 PVC ASTM D1785, ASTM D2665, ASTM D3034, ASTM F891 ASTM F1336						

TO OBTAIN LOCATION OF

PARTICIPANTS' UNDERGROUND

FACILITIES BEFORE YOU

WISCONSIN STATUTE 182.0175 (1974)

REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

- 1. ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

CONTACTS

OWNER FVSBANK 51 FAST 1ST S

<u>CIVIL</u>

EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WISCONSIN 54935
CONTACT: ERIC DRAZKOWSKI, P.E.
P: (920) 322-1678
F: (920) 926-9801
eric.d@excelengineer.com

CIVIL COVER AND SPECIFICATION SHEET



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100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

VSBANK

FREET • WAUPUN, WI 53963

JUN. 22, 2023
AUG. 2, 2023

JOB NUMBER 230191500

CO.1



Always a Better Plan

100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

FOR:

53963 TE IMPROVEMENTS F WAUPI STREET SITE ADISON

101

PROFESSIONAL SEAL

ROP

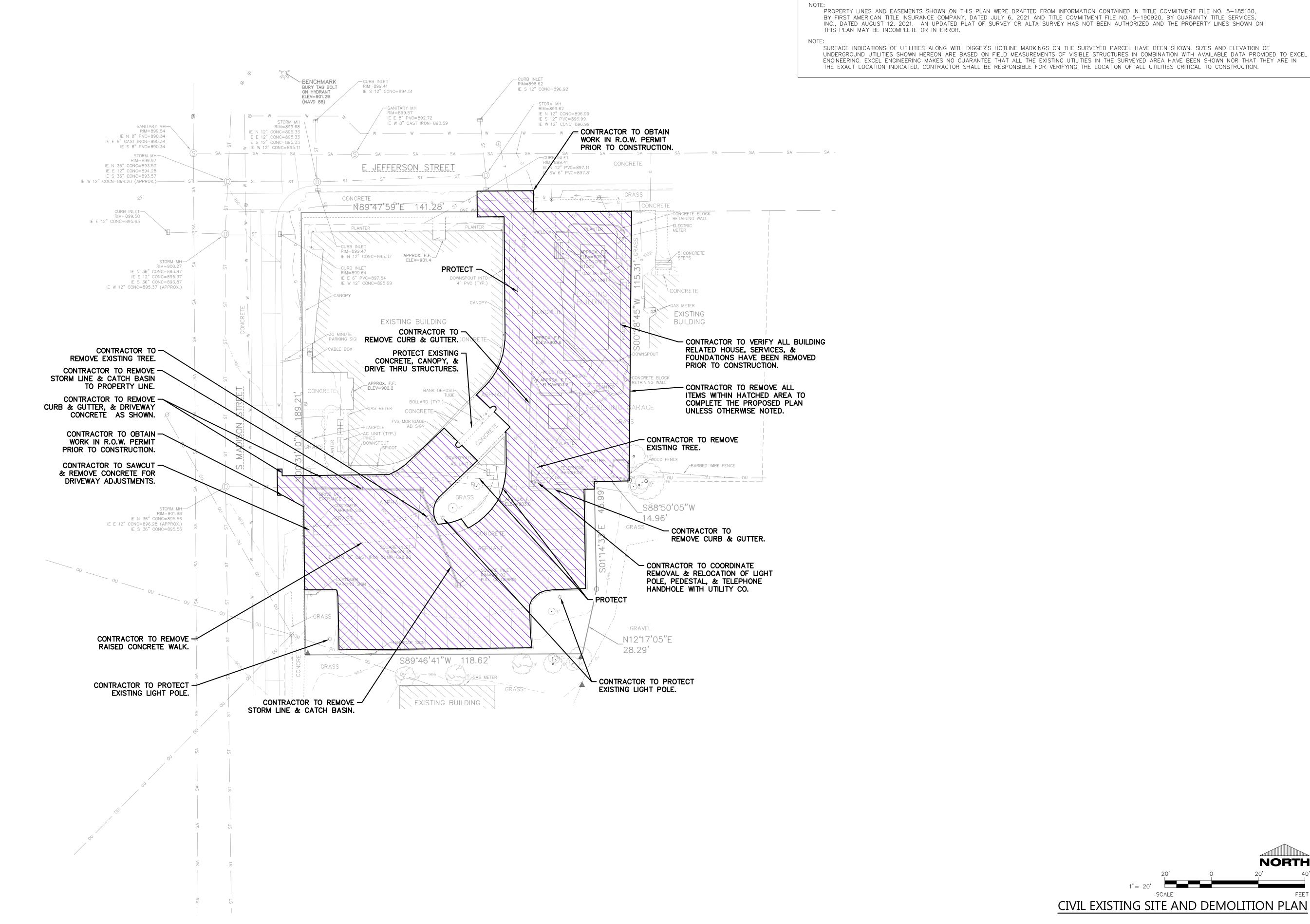
PRELIMINARY DATES JUN. 22, 2023 AUG. 2, 2023

JOB NUMBER 230191500

NORTH

CIVIL EXISTING SITE AND DEMOLITION PLAN

SHEET NUMBER



CONCRETE E JEFFERSON STREET N89°47'59"E 141.28' CONCRETE EXISTING BUILDING EXISTING BUILDING CONCRETE-\ 22.86 BARBED WIRE FENCE _S88°50'05"W 14.96 GRASS <u>3</u>" GRAVEL _N12°17'05"E 28.29 S89°46'41"W_118.62' gas meter

EXISTING BUILDING

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

PROPERTY AREA: AREA = 25,303 S.F. (0.58 ACRES) EXISTING ZONING: B-2 (CENTRAL BUSINESS DISTRICT) PROPOSED ZONING: B-2 (CENTRAL BUSINESS DISTRICT)

PROPOSED USE: BANK WITH PARKING AND REVISED DRIVE-THROUGH LANE

AREA OF SITE DISTURBANCE: 14,518 S.F. (0.33 ACRES)

SETBACKS: BUILDING: F

BUILDING: FRONT = 0'
SIDE = 0'
REAR = 0'

PAVEMENT: FRONT = 0'

SIDE = 0'
REAR = 0'

PARKING REQUIRED: 1 SPACE PER 300 S.F. (22 SPACES REQ.)

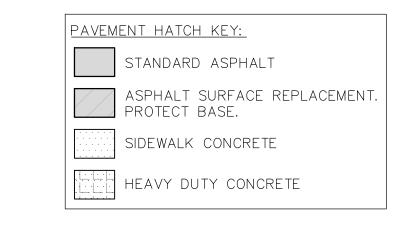
PARKING PROVIDED: 21 SPACES

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

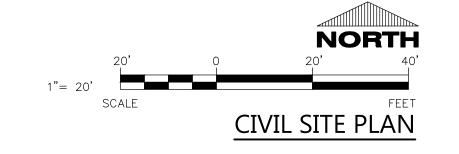
LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 0%

	AREA (AC)	AREA (SF)	R.A
PROJECT SITE	0.58	25,303	
BUILDING FLOOR AREA	0.19	8,256	32
PAVEMENT (ASP. & CONC.)	0.28	12,304	48
TOTAL IMPERVIOUS	0.47	20,560	8
LANDSCAPE/ OPEN SPACE	0.11	4,743	18
PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	R
PROJECT SITE	0.58	25,303	
BUILDING FLOOR AREA	0.15	6,568	26
PAVEMENT (ASP. & CONC.)	0.31	13,505	53
TOTAL IMPERVIOUS	0.46	20,073	79

SITE PI	LAN KEYNOTES
$\langle 1 \rangle$	STANDARD ASPHALT SECTION (TYP.)
2	ASPHALT REPLACEMENT SECTION (TYP.) PROTECT BASE. PROVIDE ALTERNATE FOR FULL PAVED SECTION REPLACEMENT AS NECESSARY BASED ON FIELD CONDITIONS.
3	PUBLIC CONCRETE SIDEWALK (TYP.)
4	HEAVY DUTY CONCRETE (TYP.)
9	RAISED WALK (TYP.)
(14)	6" CURB (TYP.)
(15)	30" CURB & GUTTER (TYP.)
(16)	CURB TAPER (TYP.)
20	HANDICAP STALL & STRIPING PER STATE CODE
21	PRECAST CONCRETE WHEEL STOP (TYP.)
29	TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING
30	PAINT STRIPING (TYP). COLOR TO MATCH PARKING STALL STRIPING.
31	DO NOT ENTER SIGN (TYP.)
32	DRIVE THRU ENTRANCE SIGN (TYP.)



IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1





Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800

excelengineer.com

PROJECT INFORMATION

'S FOR: WI 53963

PROPOSED SITE IMPROVEMENTS F

FVSBANK

101 MADISON STREET • WAUPUN, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

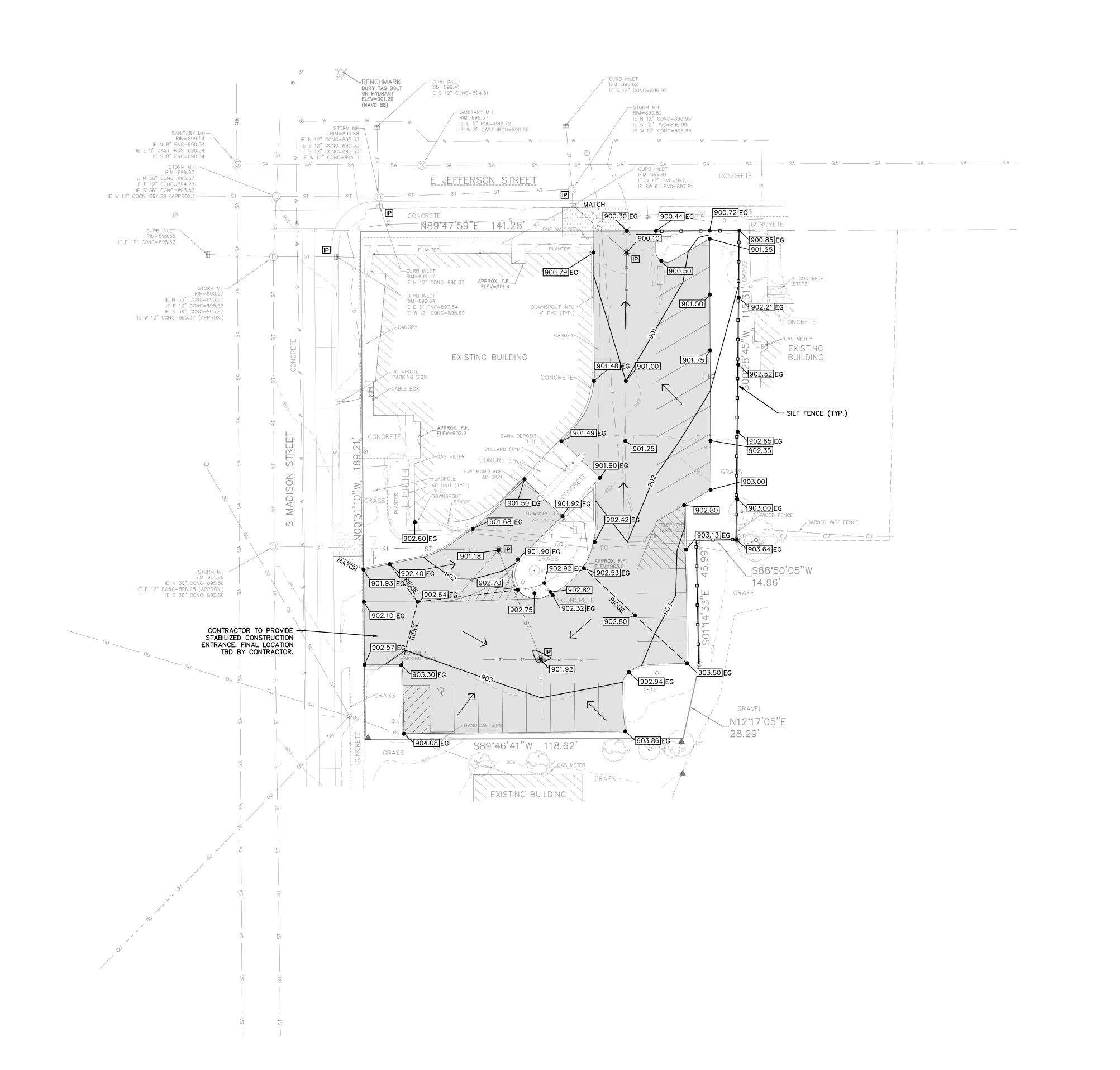
JUN. 22, 2023 JULY 21, 2023 AUG. 2, 2023

FOR CONSTRUCT

JOB NUMBER 230191500

SHEET NUMBER

C1.1



SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTES:

- 1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
- 2. ÀLL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.



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INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

CONCRETE WASHOUT NOTE:

FOR: TE IMPROVEMENTS F

WAUPUN, STREET MADISON

101

53963

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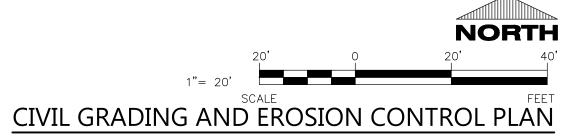
PROFESSIONAL SEAL

PROPOSEI

PRELIMINARY DATES AUG. 2, 2023

JOB NUMBER

230191500 **SHEET NUMBER**



SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



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PROJECT INFORMATION

SITE IMPROVEMENTS FOR: **FVSBANK**I STREET • WAUPUN, WI 53963

MADISON

101

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AUG. 2, 2023

AUG. 2, 2023

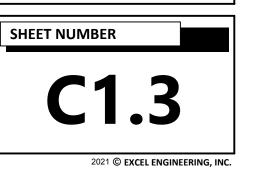
AUG. 2, 2023

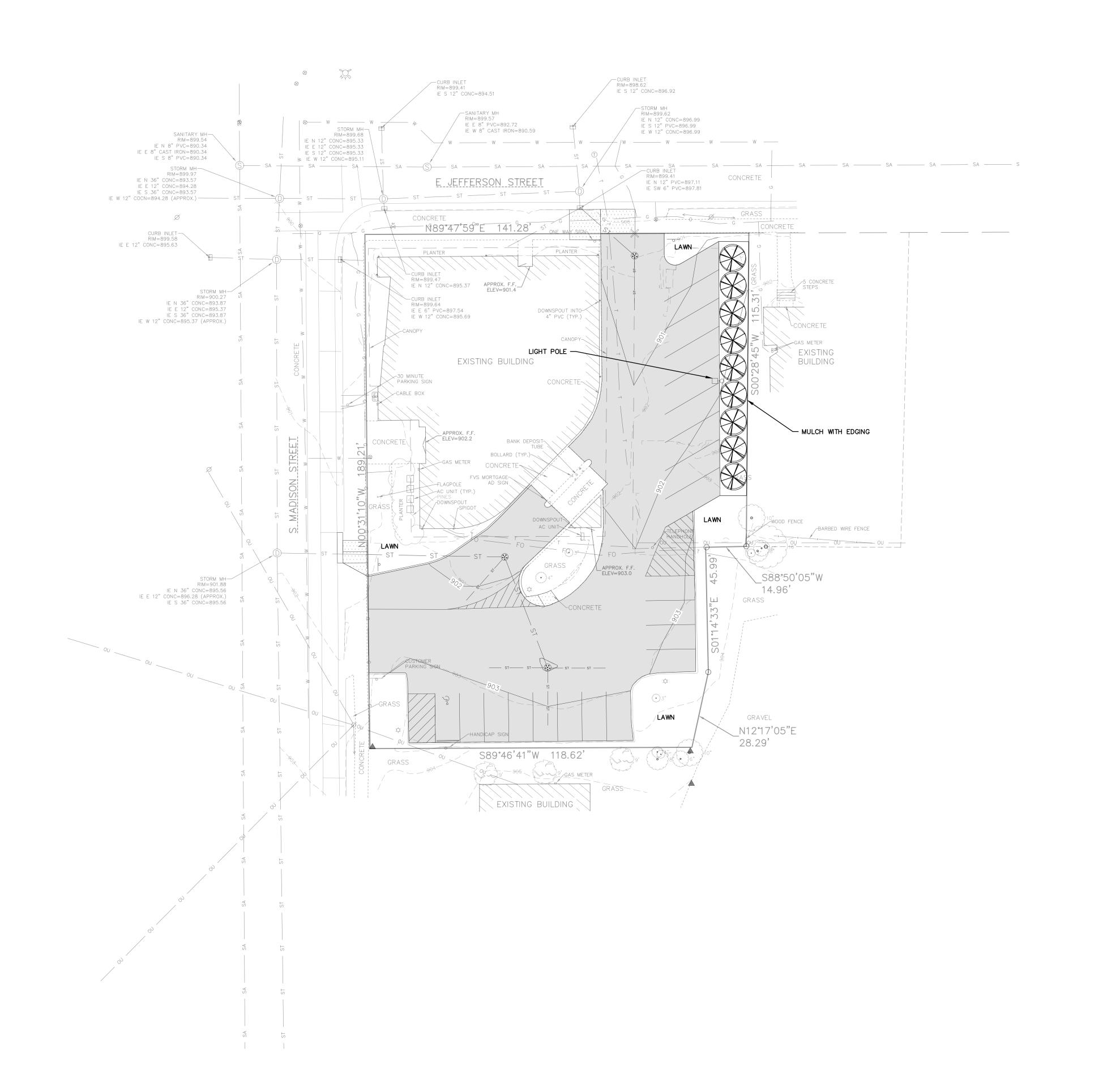
JOB NUMBER 230191500

NORTH

CIVIL UTILITY PLAN

SCALE

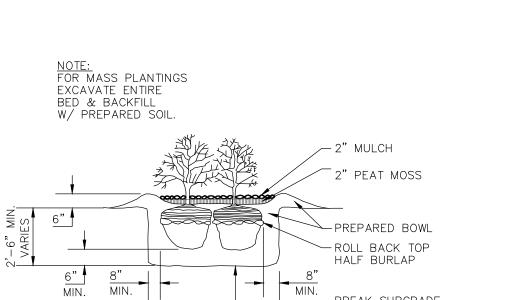




SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



	LANDSCAPING	PLANTING SCHEDULE		
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
	<u>EVERGREE</u>	N SHRUBS		
⊗	Techny Arborvitae	Thuja occidentalis	3'	9



MIN.

-- BREAK SUBGRADE

W/ PICK

SHRUB PLANTING DETAIL

NO SCALE

8" MIN. ■

EXCEL

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PROJECT INFORMATION

 WAUPUN, WI 53963 FOR: ED SITE IMPROVEMENTS F

FVSBANK

N STREET • WAUPUN, WI PROPOSED 101 MADISON

PROFESSIONAL SEAL

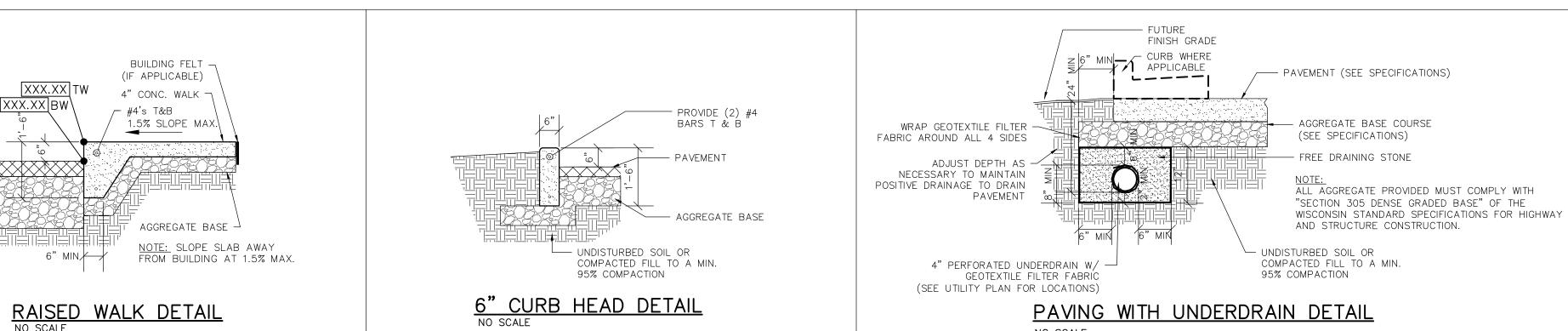
PRELIMINARY DATES AUG. 2, 2023

JOB NUMBER 230191500

NORTH

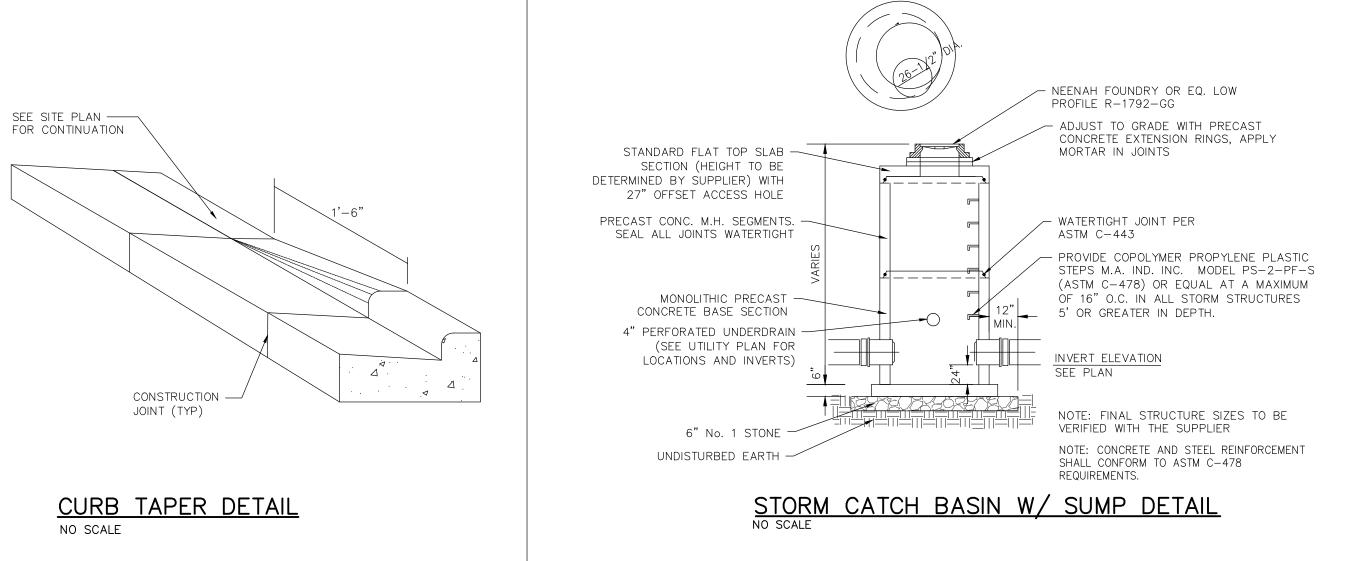
CIVIL LANDSCAPE AND RESTORATION PLAN

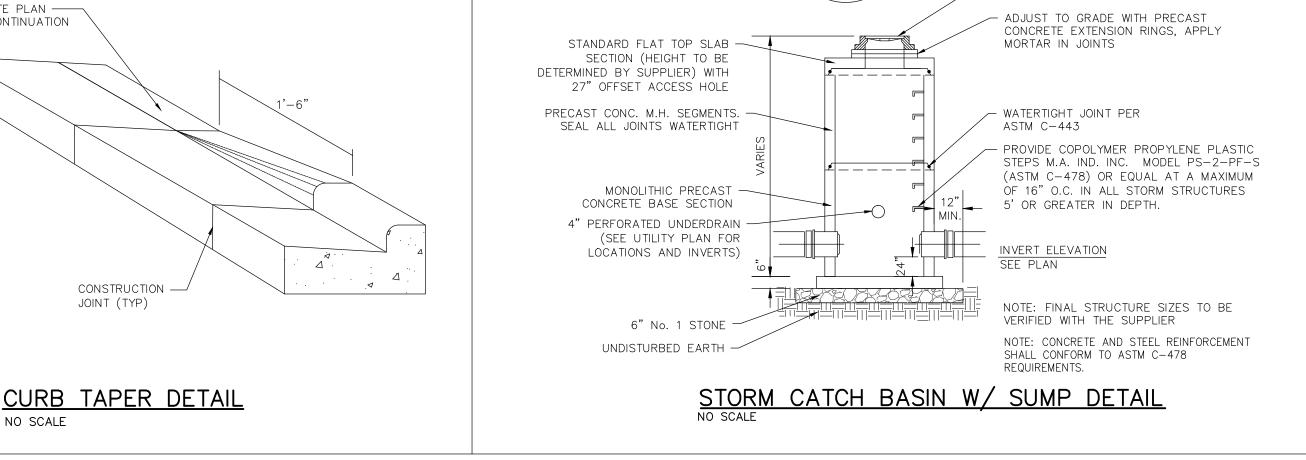


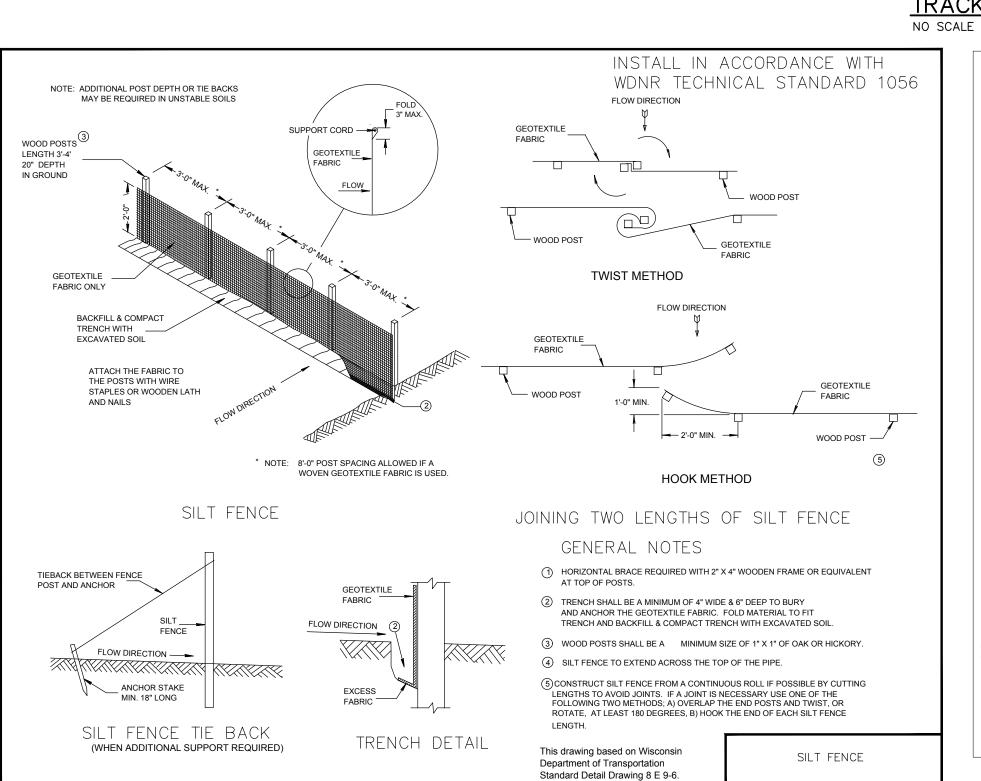


INSTALL IN ACCORDANCE WITH WI DNR TECHNICAL STANDARD 1057 (CURRENT EDITION) 3/8" TO 3" STONE 12" MINIMUM THICKNESS XISTING STABILIZED -GEO-TEXTILE FABRIC SURFACE LINER AS NEEDED TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY SECTION A-A 10' MIN. TRACKING PAD TRACKING PAD SHALL BE FULL WIDTH OF THE EGRESS POINT PLAN TRACKPAD DETAILS

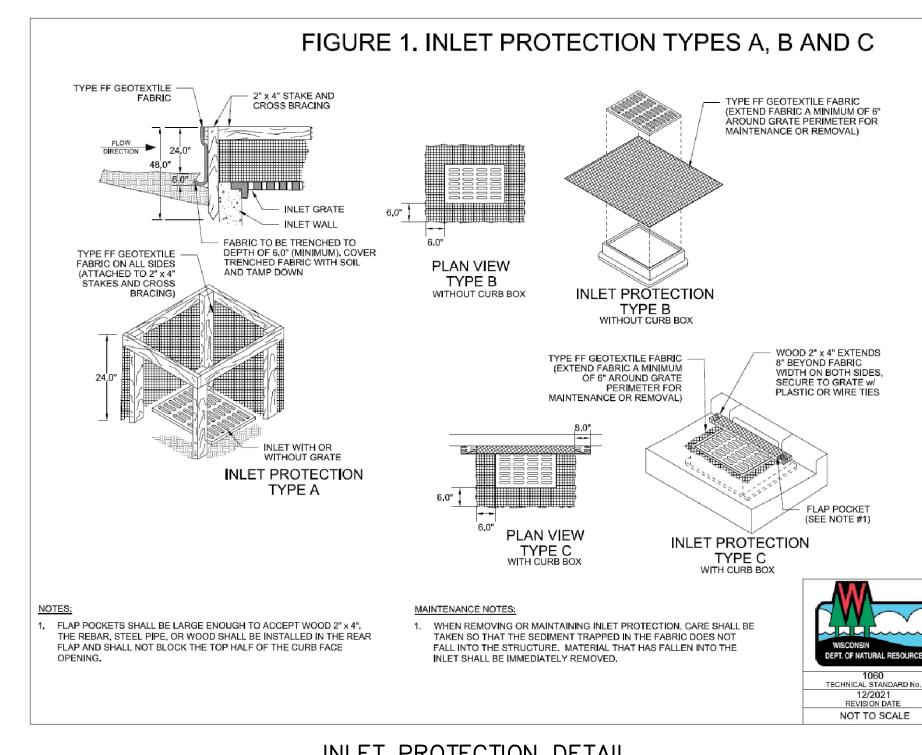
PAVEMENT -

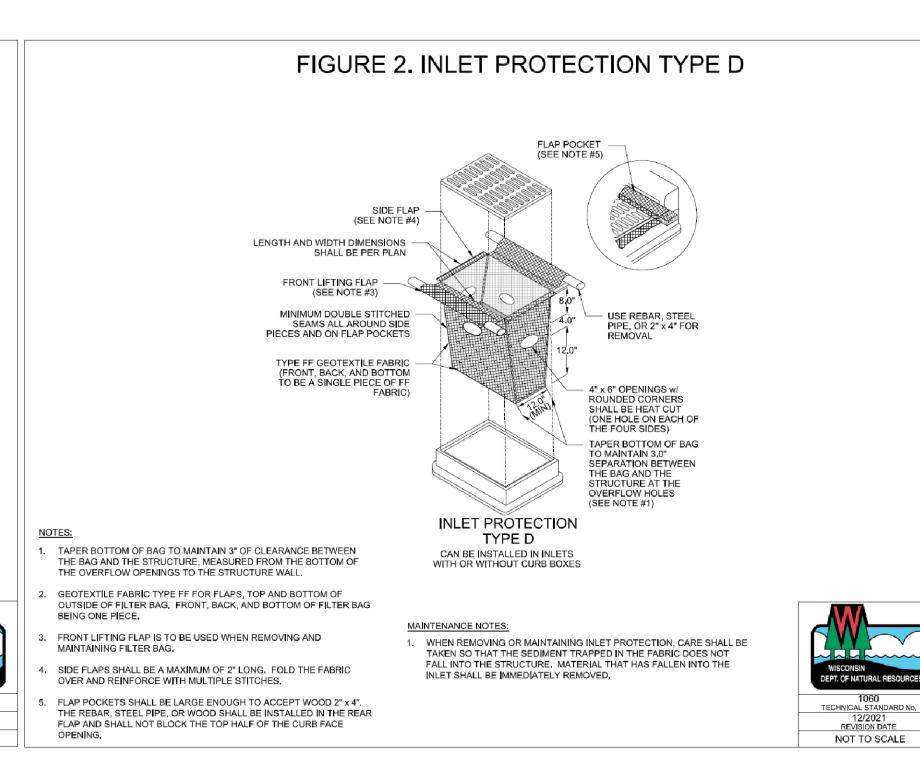






SILT FENCE - INSTALLATION DETAIL





INLET PROTECTION DETAIL
NO SCALE

INLET PROTECTION DETAIL
NO SCALE

CIVIL DETAILS

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PROJECT INFORMATION

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FOR: **IMPROVEMENTS** WAUPUN, SB STREET MADISON 0 PRO 101

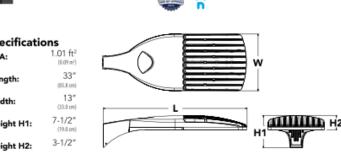
PROFESSIONAL SEAL

PRELIMINARY DATES AUG. 2, 2023 AUG. 8, 2023

JOB NUMBER 230191500

SHEET NUMBER





	Catalog Number
	Number
j	Nates
	Type

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

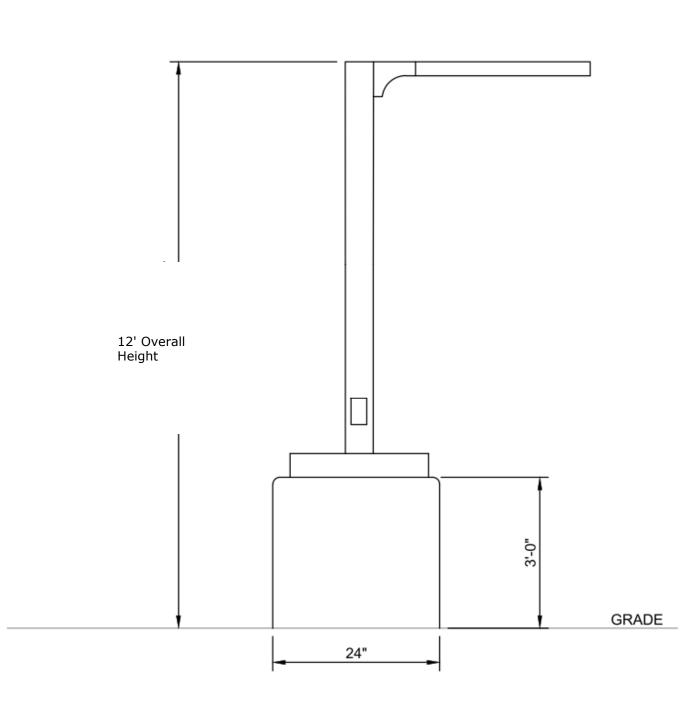
<u></u>	A+ Capable options indicated by this color background.	

Orderin	g Inf	orma	ation				EXAMPL	.E: DS	X1 LED P7 4	OK T3M M	VOLT SPA	NLTAIR2 PIRHN DDBX
DSX1 LED												
Series	LEDs			Color te	mperature	Distrib				Voltage	Mounting	
DSX1 LED	P1 P2 P3	P4 P5 P6 P6 ed optics P12 ¹ P13 ¹	P7 P8 P9	30K 40K 50K	3000 K 4000 K 5000 K	T1S T2S T2M T3S T3M T4M TFTM	Type I short Type II short Type II short Type II medium Type III short Type III medium Type IV medium Forward throw medium	T5VS T5S T5M T5W BLC LCCO RCCO	Type V very short Type V short Type V short Type V medium Type V wide Backlight control ² Left corner cutoff ² Right corner cutoff ³	MVOLT ³ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ⁴ 480 ⁴	Shipped includ SPA RPA WBA SPUMBA RPUMBA Shipped separa KMA8 DDBXD U	Square pole mounting Round pole mounting Wall bracket Square pole universal mounting adaptor ⁵ Round pole universal mounting adaptor ⁵

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ontrol opt				Othe	options	Finish (requ	
Shipped in	nstalled	PIR	High/low, motion/ambient sensor, 8-15' mounting height,	Ship	ped installed	DDBXD	Dark bronze
NLTAIR2	nLight AIR generation 2 enabled 7		ambient sensor enabled at 5fc 15.76	HS	House-side shield ™	DBLXD	Black
PIRHN	Network, high/low motion/ambient sensor 8	PIRH	High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc 15/16	SF	Single fuse (120, 277, 347V) 4	DNAXD	Natural aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) 9	PIR1FC3V	High/low, motion/ambient sensor, 8-15'mounting height,	DF	Double fuse (208, 240, 480V) 4	DWHXD	White
PER5	Five-pin receptacle only (controls ordered separate) 9,10	FIRITGY	ambient sensor enabled at 1fc 15/16	L90	Left rotated optics 1	DDBTXD	Textured dark bronze
PER7	Seven-pin receptacle only (controls ordered separate) 5,10	PIRH1FC3V	Bi-level, motion/ambient sensor, 15-30' mounting height,	R90	Right rotated optics 1	DBLBXD	Textured black
DMG	0-10v dimming wires pulled outside fixture (for use with an		ambient sensor enabled at 1fc 15/16	Ship	ped separately	DNATXD	Textured natural
	external control, ordered separately) 11	FA0	Field adjustable output 14	BS	Bird spikes 18		aluminum
DS	Dual switching 12.13.14			EGS	External glare shield 18	DWHGXD	Textured white

LITHONIA LIGHTING. COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com © 2011-2019 Acuity Brands Lighting, Inc. All rights reserved.

Rev. 09/17/19 Page 1 of 8



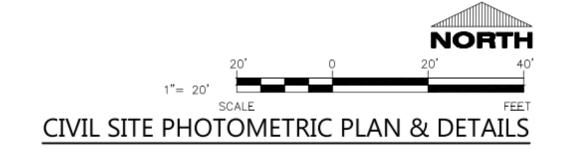
LIGHT POLE DETAIL

NO SCALE



Schedu	le						
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp
	L14H	1	Lithonia Lighting	DSX1 LED P5 40K T4M MVOLT HS	DSX1 LED P5 40K T4M MVOLT with houseside shield	1	12025

Statistics						
Description	Symbol	Avg	Min	Max/Min	Avg/Min	Max
Calc Zone #2	+	0.5 fc	0.0 fc	N/A	N/A	12.9 fc





920-926-9800 excelengineer.com

PROJECT INFORMATION



PRELIMINARY DATES	
AUG. 2, 2023	NOT FOR CONSTRUCTION

JOB NUMBER 230191500



Document No.

PERMANENT ACCESS **EASEMENT**

THIS EASEMENT, made by

THE CITY OF WAUPUN (Grantor) and

VANDE HOLSTEINS LLC (Grantee)

In consideration of the sum of One and 00/100 dollar (\$1.00) and other good and valuable consideration, the undersigned Grantor grants and conveys for themselves, their heirs, successors and assigns, unto the Grantee its heirs, successors and assigns, a 25 foot wide permanent access easement for the purpose of accessing, constructing, repairing, maintaining a driveway and other associated facilities, all necessary and usual in the conduct of its or their business on and beneath land owned by the Grantor in the City of Waupun, Dodge County, Wisconsin, and described as follows:

This Space Reserved for Recording Data

RETURN TO:

MSA Professional Services Ben Buchda 201 Corporate Drive Beaver Dam, WI 53916 Tax Parcel No. 292-1315-0844-001

DESCRIPTION OF LANDS

A 25 foot wide permanent access easement being located within Lot 3 of CSM #7688 in Volume 53 on Page 314-318 as Document No. 1326504 in the Dodge County Register of Deeds Office and being a part of the SE 1/4 of the SE 1/4 of Section 8, T.13N., R.15E., City of Waupun, Dodge County, Wisconsin. (SEE EXHIBIT A on sheet 2 for Full legal description and map)

This grant likewise includes to Grantee the right of ingress and egress on the lands described, and the right of Grantee to conduct its business as may be necessary and usual in the exercise of the rights herein granted.

This grant shall run with the lands described herein and is binding upon the heirs, successors and assigns of the parties hereto. Grantee shall have the right to assign the easements granted hereunder, without the consent of the Grantor.

Grantor agrees that they will not construct or install upon the permanent easement, any buildings, trees, or similar structures that would interfere with the rights granted to the Grantee herein.

Grantee agrees that they will not construct or install upon the permanent easement, any buildings, trees, or similar structures and this access easement is for the sole purpose of using, constructing, repairing & maintaining and driveway to access the Lot 1 of CSM #7085 from Shaler Drive as shown on the attached Exhibit A.

SIGNATURE OF GRANTOR:	
ROHN BISHOP, MAYOR OF THE CITY OF WAUPUN	N
STATE OF] COUNTY OF]SS	
Personally came before me this day of known to be the person(s) who executed the foregoing instrume	, 20, the above named Rohn Bishop to me ent and acknowledged the same.
	Notary Public, State of Wisconsin My Commission Expires



ENGINEERING | ARCHITECTURE | SURVEYING FUNDING | PLANNING | ENVIRONMENTAL 201 Corporate Drive, Beaver Dam WI 53916 (920) 887-4242 www.msa-ps.com

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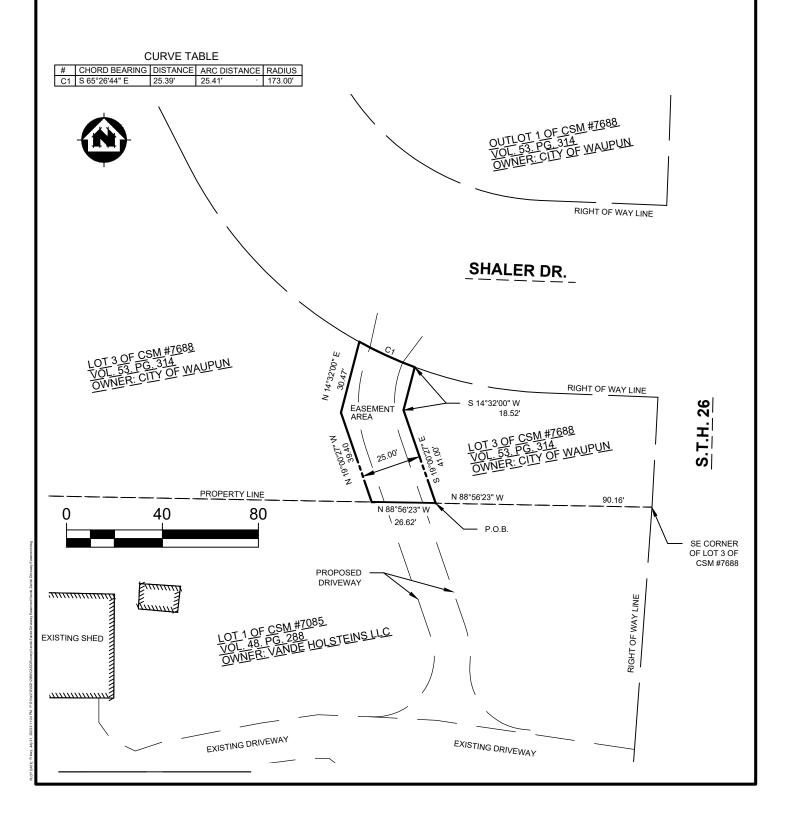
PROJECT NO.	212056	Γ
DRAWN BY:	B. BUCHDA	
SURVEYOR:	B. BUCHDA	
FILE NO.	VANDE ZANDE DRIVEWAY EASEMENT.DWG	
SHEET NO.	2 OF 2	

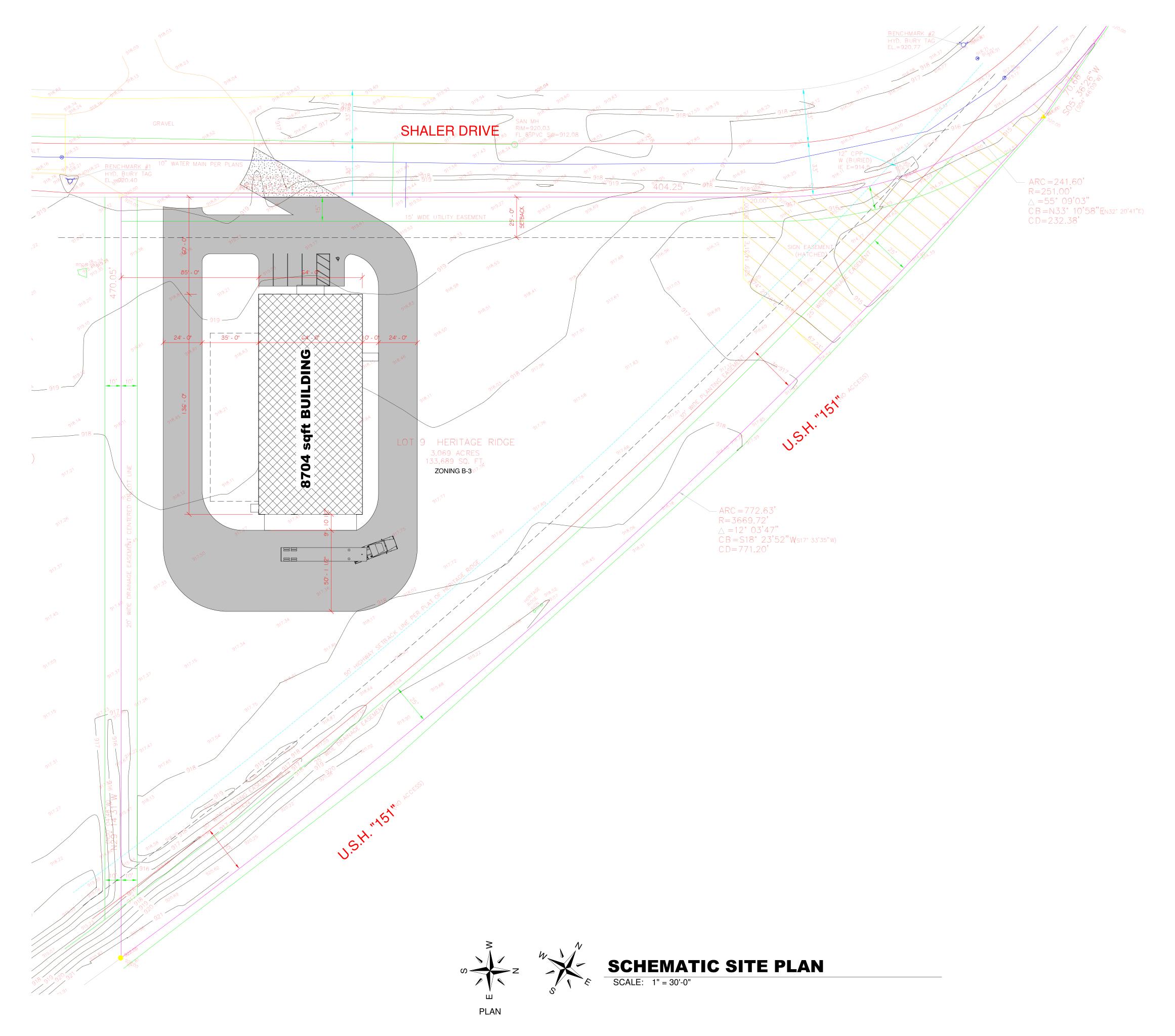
GRANTOR: CITY OF WAUPUN
GRANTEE: VANDE HOLSTEINS LLC

EXHIBIT A

LEGAL DESCRIPTION

COMMENCING at the SE Corner of Lot 3 of CSM #7688 thence N 88°56'23" W, 90.16 feet along the south line of Lot 3 of CSM #7688 to the **POINT OF BEGINNING**; thence continuing N 88°56'23" W, 26.62 feet along the south line of said Lot 3; thence N 19°00'27" W, 39.40 feet; thence N 14°32'00" E, 30.47 feet to the northerly line of said Lot 3, the southerly right of way of Shaler Drive and the beginning of a curve; thence southeasterly along the northerly line of said Lot 3 and the southerly right of way of Shaler Drive 25.41 feet along the arc of a curve to the left, having a radius of 173.00 feet, with a chord which bears S 65°26'44" E, 25.39 feet; thence S 14°32'00" W, 18.52 feet; S 19°00'27" E, 41.00 feet to the **POINT OF BEGINNING**.





MORPH DESIGNS, LLC

Commercial & Residential Building & Structural Design Services Phone: 920-948-7975

morphdesigns@sbcglobal.net

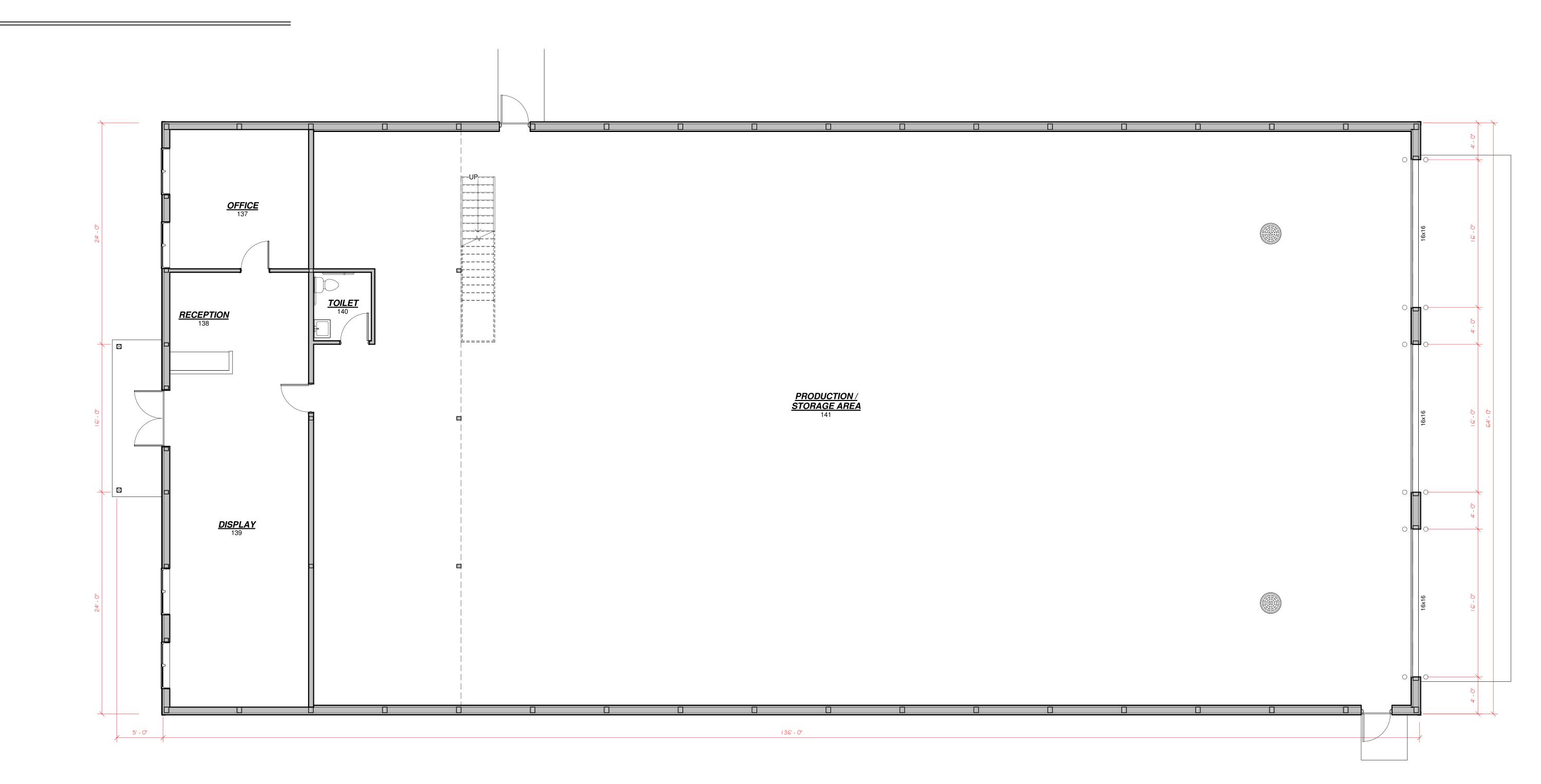
PRELIMINARY

SHEET TITLE

SCHEMATIC SITE PLAN

PROJECT DATA

JOB NUMBER:



MORPH DESIGNS, LLC

Commercial & Residential Building & Structural Design Services Phone: 920-948-7975

email: morphdesigns@sbcglobal.net

PRELIMINARY

08/13/2023

ERIC MULDER CONSTRUCTION
NEW FABRICATION FACILITY
SHALER DRIVE

SHEET TITLE

OVERALL FLOOR PLAN

PROJECT DATA

DATE:

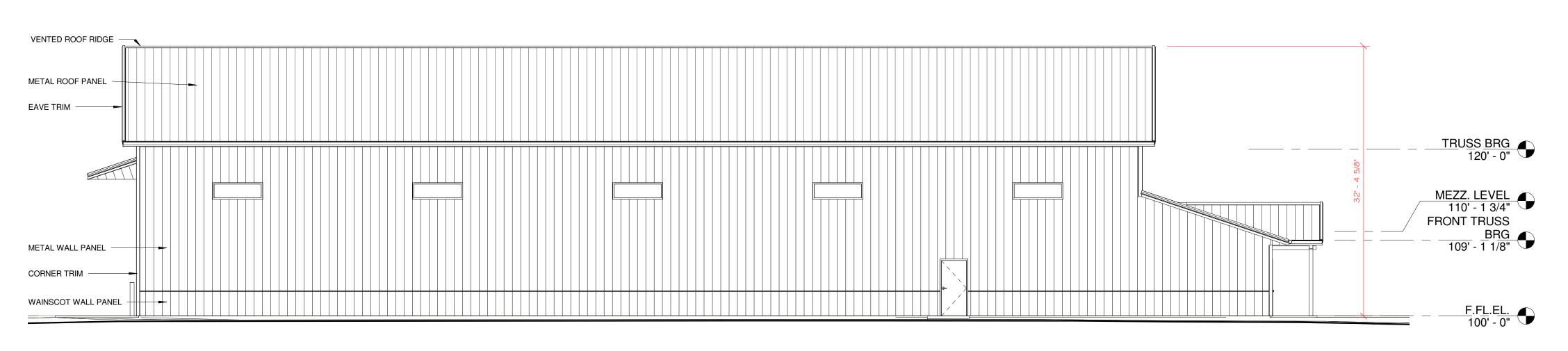
JOB NUMBER:

SHEET NUMBER:

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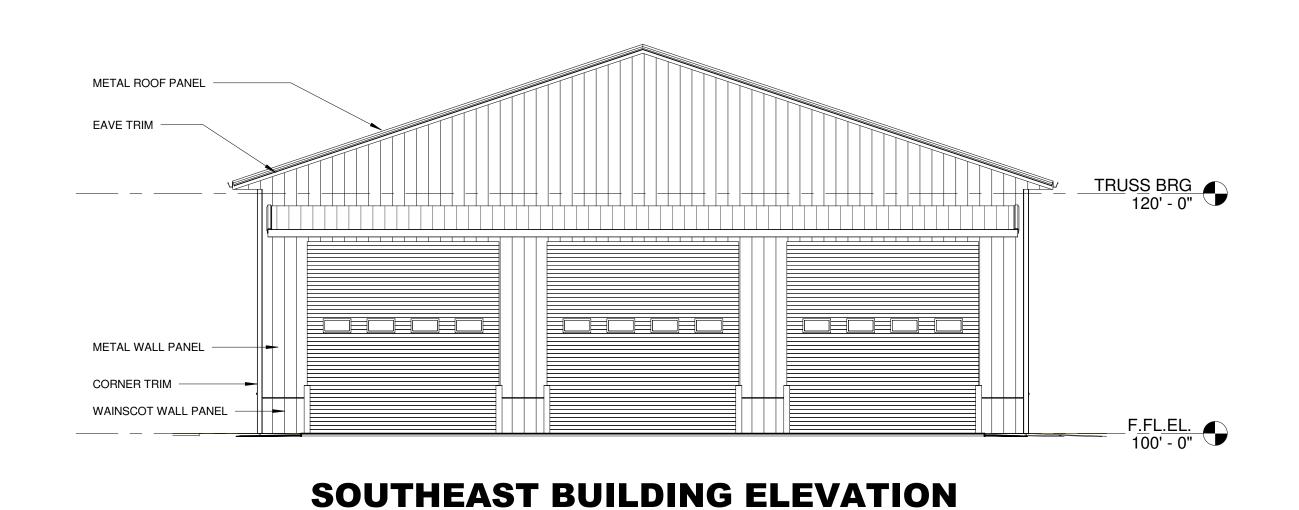
WRITTEN PERMISSION OF MORPH DESIGNS, LLC.

NOT FOR CONSTRUCTION A-100

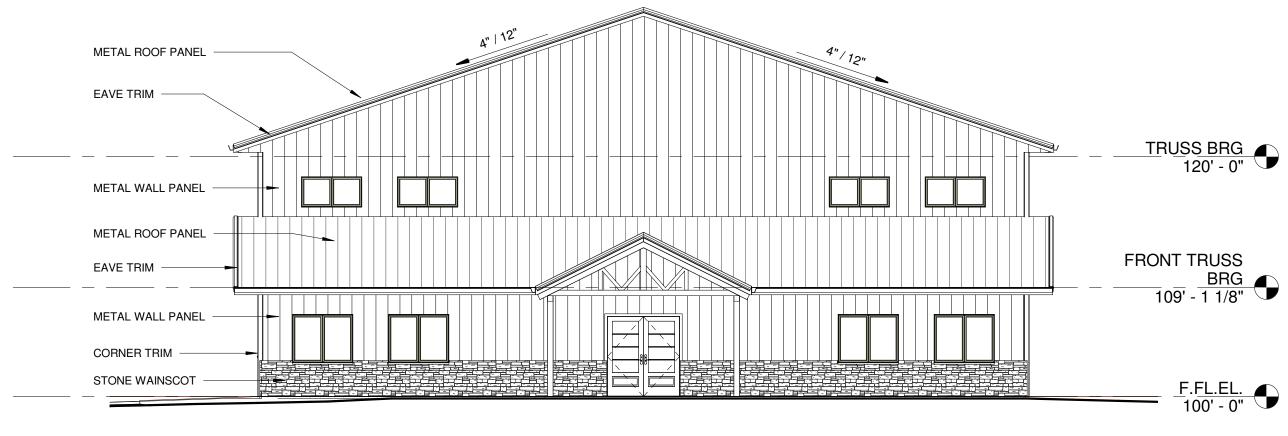


NORTHEAST BUILDING ELEVATION

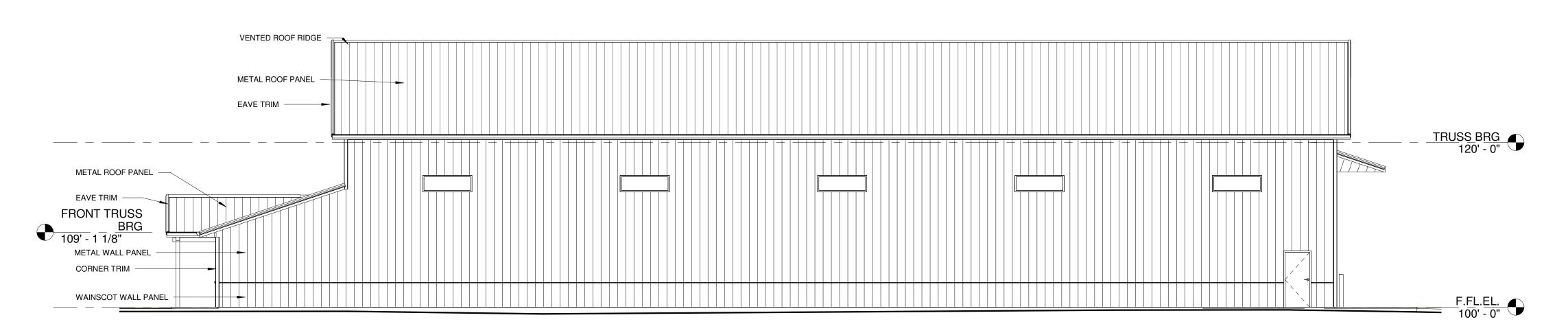
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



NORTHWEST BUILDING ELEVATION SCALE: 1/8" = 1'-0"



SOUTHWEST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION A-200

MORPH DESIGNS, LLC

Commercial & Residential
Building & Structural
Design Services
Phone: 920-948-7975

email: morphdesigns@sbcglobal.ne

PRELIMINARY

08/13/2023

ERIC MULDER CONSTRUCTION NEW FABRICATION FACILITY SHALER DRIVE

SHEET TITLE

EXTERIOR BUILDING ELEVATIONS

PROJECT DATA

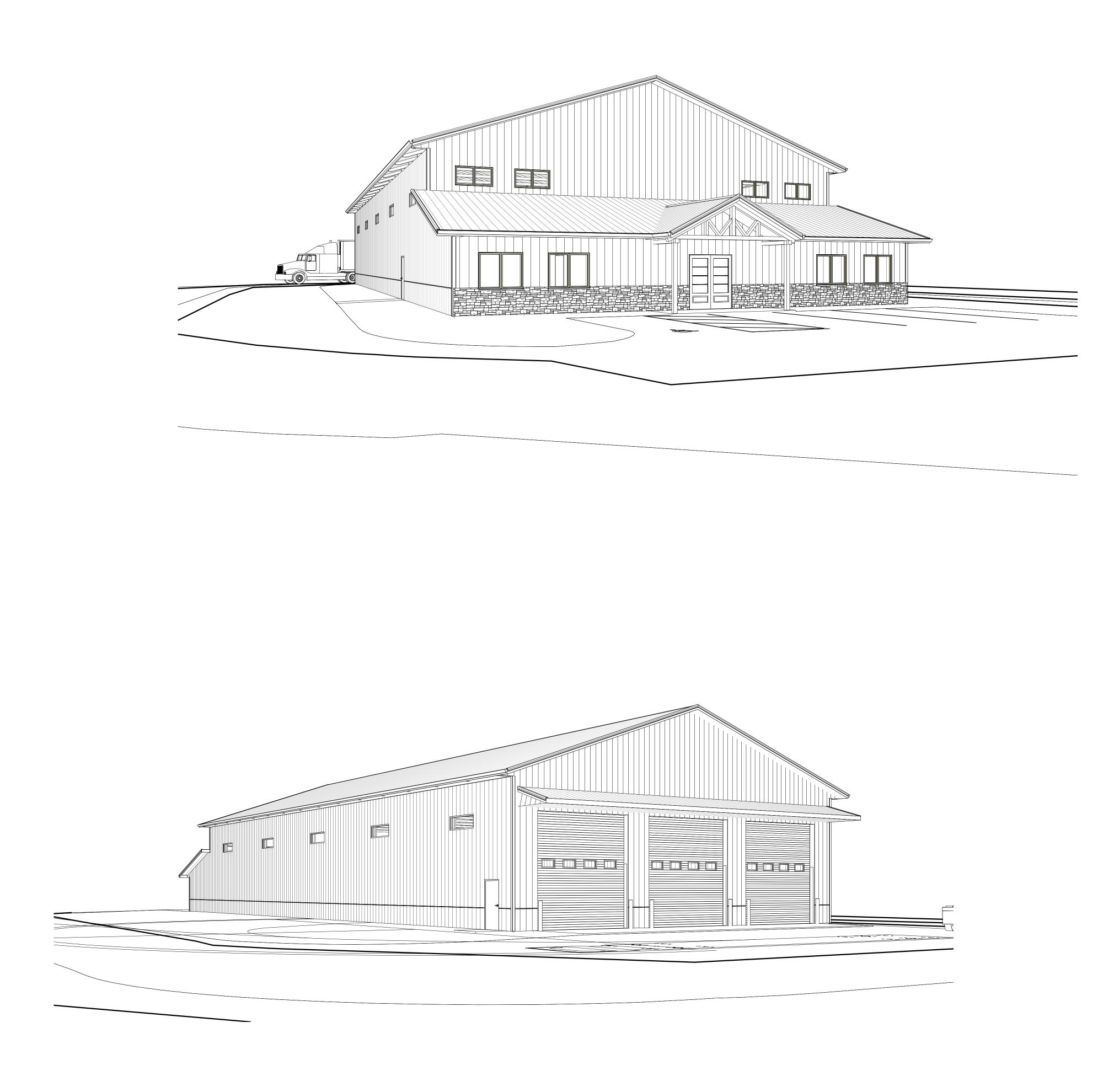
JOB NUMBER:

SHEET NUMBER:

A-200

DATE:

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PRELIMINARY

08/13/2023

SHEET TITLE

EXTERIOR PERSPECTIVES

PROJECT DATA

DATE:

JOB NUMBER:

SHEET NUMBER: