



A G E N D A
CITY OF WAUPUN PLAN COMMISSION MEETING
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, August 16, 2023 at 4:30 PM

The Waupun Plan Commission will meet on Wednesday, August 16, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting will be held in person, virtual, and teleconference.

To Join Zoom Meeting:

<https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09>

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

CALL TO ORDER

ROLL CALL

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

- [1.](#) Approve minutes of the July 19, 2023 meeting.
- [2.](#) Frens Automotive LLC, at 501 E. Main St. to operate a car dealership per Municipal Code Section 16.04(2)(d)(vi).
- [3.](#) Certified Survey Map Review - FVSBank, 101 S. Madison St.
- [4.](#) Site Plan Review - FVSBank, 101 S. Madison St.
- [5.](#) Site Plan Approval for driveway easement through City property on Shaler Dr.
- [6.](#) Site Plan Review - Eric Mulder Construction 1827 Shaler Drive (Lot 9)

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



MINUTES
CITY OF WAUPUN PLAN COMMISSION MEETING
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, July 19, 2023 at 4:30 PM

The Waupun Plan Commission met on Wednesday, July 19, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting was held in person, virtual, and teleconference.

CALL TO ORDER

Chairman Bishop called the meeting to order at 4:30 pm.

ROLL CALL

Members Present: Elton TerBeest, Rohn Bishop, Jill Vanderkin, Mike Matoushek, Jason Whitford (Zoom),

Members Excused: Jeff Daane and Gerald Medema

Staff Present: Kathy Schlieve, Susan Leahy

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION—

None

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

1. Approve minutes of the June 21, 2023 meeting.
Motion by Matoushek 2nd by Vanderkin to approve the minutes of the June 21, 2023 meeting. Motion carried, unanimously.

2. Public Hearing - Conditional Use Permit application of Denise Munro at 435 E Jefferson St. to extend the driveway 9' into the front yard plane of the house to the front property line per Municipal Code Section 16.03(4)(b)(iv) of the Waupun Municipal Code.

Motion by Matoushek 2nd by TerBeest to open the Public Hearing. Motion carried, unanimously.

Denise Munro appeared to discuss their plans. They want to extend their driveway over into the front plain of the house because they only have a 1 car driveway and parking is restricted in front of their house. 0 further questions were asked.

Motion by TerBeest 2nd by Vanderkin to close the Public Hearing. Motion carried, unanimously.

Motion by Vanderkin 2nd by Whitford to approve Conditional Use Permit as presented. Motion carried, unanimously.

3. Public Hearing - Conditional Use Permit application of James Hepp at 431 E. Jefferson St. to extend the driveway 5' into the front yard plane of the house to the front property line per Municipal Code Section 16.03(4)(b)(iv).

Motion by Matoushek 2nd by TerBeest to open the Public Hearing. Motion carried, unanimously.

James appeared and discussed their plans. They will extend driveway 5' x 7' into the front plane of the house. There is currently Two hour parking along street so this will help so he doesn't have to park in the street and avoid tickets. Parking limitations on Jefferson St. were discussed as well and will be discussed at a future Board of Public Works meeting.

Motion by Matoushek 2nd by Vanderkin to close the Public Hearing. Motion carried, unanimously.

Motion by Whitford 2nd by TerBeest to approve the Conditional Use Permit as presented. Motion carried, unanimously.

4. Site Plan Review - TJ's Autobody - 701 S Watertown St.
There was an apartment by the Laundry mat and they want to move the laundry mat to where the apartment was and the addition. They plan on making the existing laundry mat storage. It will be bigger than the existing laundry mat. It's open 24/7. Jeff and Sue looked at site for stormwater, there were no issues.

Motion by Whitford 2nd Matoushek by to approve the site plan. Motion carried, unanimously.

5. Extraterritorial Zoning Review for property owned by Richard and Penny Hull on Savage Rd. Parcel #'s T21-14-15-19-16-011-00 & T21-14-15-19-16-012-00

We received the extraterritorial review. They are dividing out the farm land from the house. There is no change of use, and it meets the City's code for setback requirements. This has been there for a number of years. The property is almost out by Longview Rd. and does not with future land use maps.

Motion by Vanderkin, 2nd by TerBeest to recommend approval of the Extraterritorial Certified Survey Map to the Common Council. Motion carried, unanimously.

6. Certified Survey Map Review - 810 N Madison St.
They are proposing to divide property to sell to neighbors. The property is in the City but Catherine Ct. is in the Township. It's a 3 lot CSM. One will stay with them and the other two lots will be sold to the neighbors. Motion by Vanderkin 2nd by Whitford to approve proposed Certified Survey Map. The final Certified Survey Map can go directly to the Common Council when we receive it. Motion carried, unanimously.

ADJOURNMENT

Motion by Whitford, 2nd by Vanderkin to adjourn the meeting. Motion carried, unanimously. Meeting adjourned at 4:49 pm

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be on Wednesday the 16th day of August, 2023 at 4:30 pm, where there will be considered an application for a Conditional Use Permit of:

1. Frens Automotive LLC, at 501 E. Main St. to operate a car dealership per Municipal Code Section 16.04(2)(d)(vi)

The meeting will be held in person and via Zoom. Instructions to join the zoom meeting are below:

Join Zoom Meeting

<https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09>

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

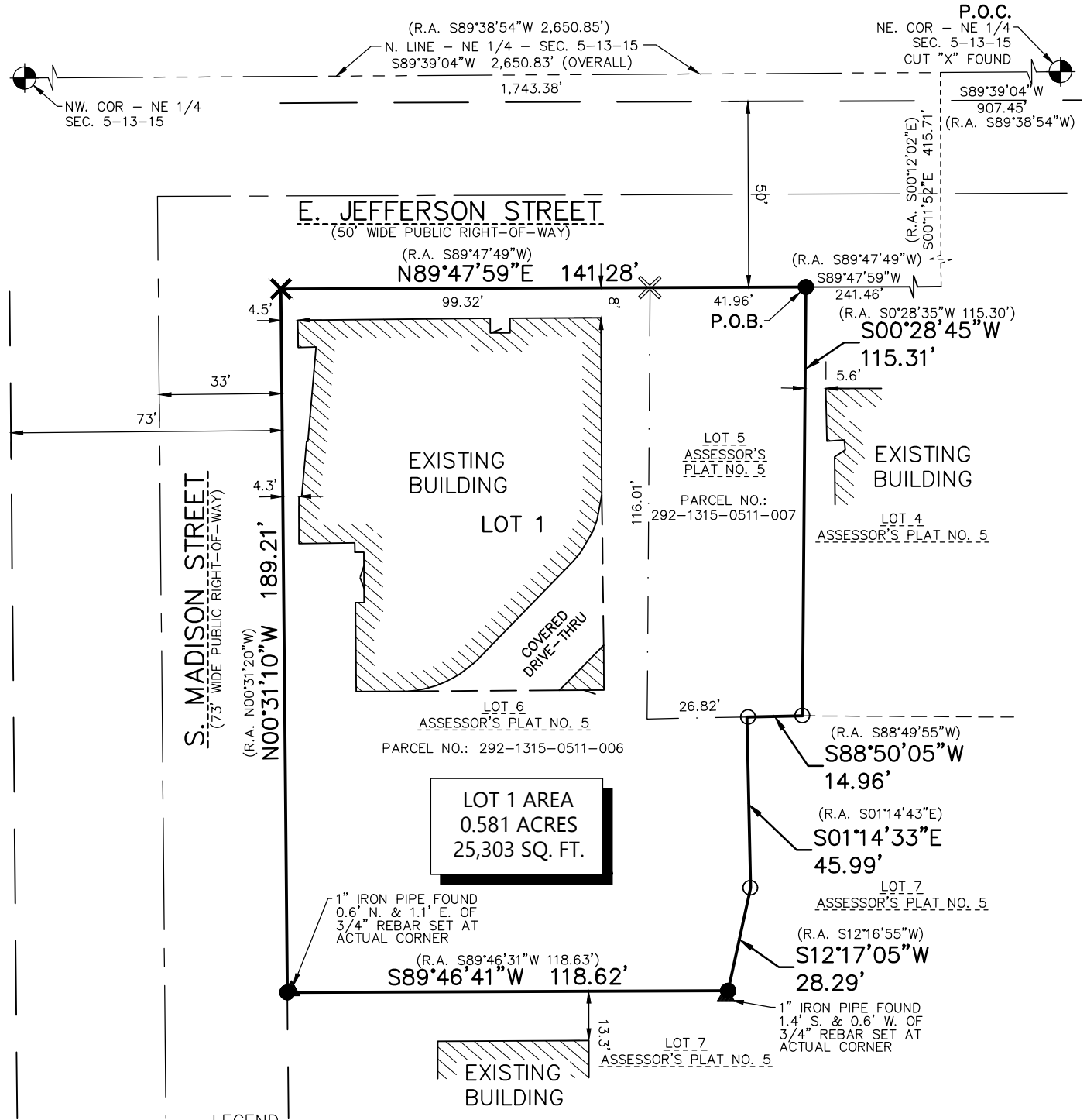
Dated this 2nd day of August 2023

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH August 8, 2023)

CERTIFIED SURVEY MAP NO.

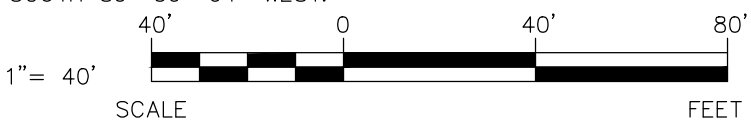
FOR
FOX VALLEY SAVINGS BANK
 LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF
 THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5,
 TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN,
 DODGE COUNTY, WISCONSIN.



OWNER:
 FOX VALLEY SAVINGS BANK
 101 S. MADISON STREET
 WAUPUN, WI 53963

SHEET 1 OF 3 SHEETS

NORTH POINT REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DODGE COUNTY. THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 5 HAS A BEARING OF SOUTH 89°-39'-04" WEST.



EXCEL
 ARCHITECTS • ENGINEERS • SURVEYORS
 Always a Better Plan

100 Camelot Drive
 Fond Du Lac, WI 54935
 Phone: (920) 926-9800
 www.EXCELENGINEER.com
JOB NO. 230191500

CERTIFIED SURVEY MAP NO. _____

LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of Fox Valley Savings Bank bounded and described as follows:

Lots 5 and 6 of Assessor's Plat No. 5 recorded in the Dodge County Register of Deeds office on May 21, 2003 in Cabinet B of Plats on Page 58 as Document No. 990634, being part of the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 13 North, Range 15 East, City of Waupun, Dodge County, Wisconsin being more particularly described as follows:

Commencing at the Northeast corner of the Northeast 1/4 of said Section 5; thence South 89°-39'-04" West along the North line of said Northeast 1/4, a distance of 907.45 feet; thence South 00°-11'-52" East, a distance of 415.71 feet to the South right-of way line of E. Jefferson Street; thence South 89°-47'-59" West along said South line, a distance of 241.46 feet to the Northeast corner of said Lot 5, said point also being the point of beginning; thence South 00°-28'-45" West along the East line of said Lot 5, a distance of 115.31 feet to the Southeast corner of said Lot 5; thence South 88°-50'-05" West along the South line of said Lot 5, a distance of 14.96 feet to an East corner of said Lot 6; thence South 01°-14'-33" East along an East line of said Lot 6, a distance of 45.99 feet to an East corner of said Lot 6; thence South 12°-17'-05" West along an East line of said Lot 6, a distance of 28.29 feet to the Southeast corner of said Lot 6; thence South 89°-46'-41" West along the South line of said Lot 6, a distance of 118.62 feet to the East right-of-way line of S. Madison Street; thence North 00°-31'-10" West along said East line, a distance of 189.21 feet to the South right-of-way line of E. Jefferson Street; thence North 89°-47'-59" East along said South line, a distance of 141.28 feet the point of beginning and containing 0.581 acres (25,303 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Waupun in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 230191500

CERTIFIED SURVEY MAP NO. _____

LOTS 5 & 6 OF ASSESSOR'S PLAT NO. 5, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 5, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

Fox Valley Savings Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this map to be surveyed, divided and mapped as represented on this map.

Fox Valley Savings Bank does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Waupun

WITNESS the hand and seal of said owner this _____ day of _____, 2023.

Fox Valley Savings Bank

_____, _____
(Print) (Title)

STATE OF _____)

_____ COUNTY)SS

Personally came before me this _____ day of _____, 2023, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____

My Commission Expires: _____

CERTIFICATE OF THE CITY OF WAUPUN

This certified survey map in the City of Waupun, is hereby approved by the City of Waupun Plan

Commission this _____ day of _____, 2023.

Chairperson

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

NOTE: PROPERTY LINES AND EASEMENTS SHOWN ON THIS PLAN WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 5-185160, BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED JULY 6, 2021 AND TITLE COMMITMENT FILE NO. 5-190920, BY GUARANTY TITLE SERVICES, INC., DATED AUGUST 12, 2021. AN UPDATED PLAT OF SURVEY OR ALTA SURVEY HAS NOT BEEN AUTHORIZED AND THE PROPERTY LINES SHOWN ON THIS PLAN MAY BE INCOMPLETE OR IN ERROR.

NOTE: SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS ON THE SURVEYED PARCEL HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES CRITICAL TO CONSTRUCTION.



EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FVSBANK
101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES

JUN. 22, 2023
AUG. 2, 2023

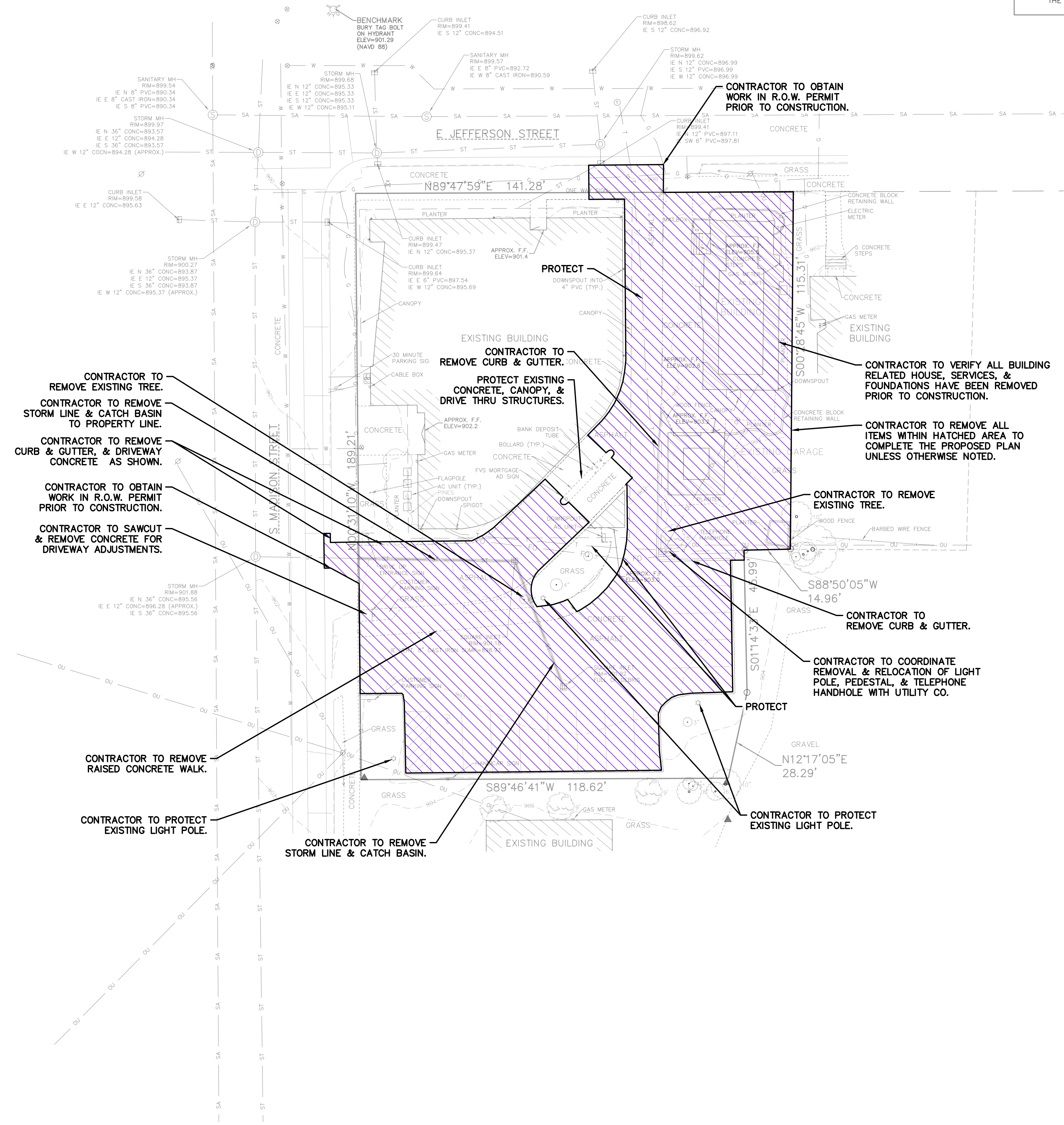
NOT FOR CONSTRUCTION

JOB NUMBER

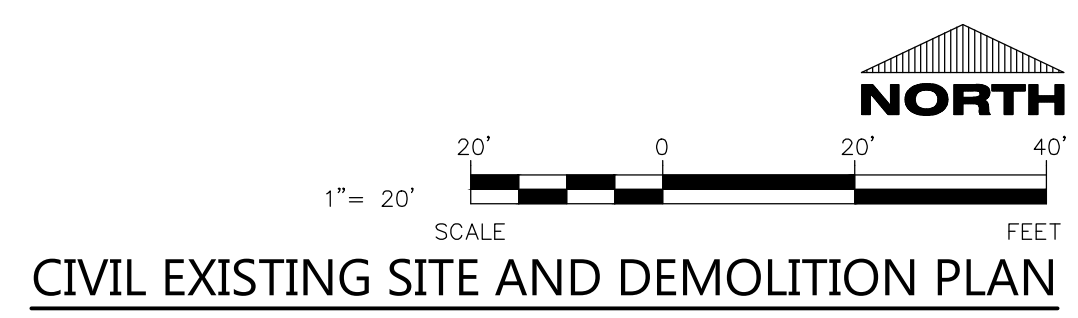
230191500

SHEET NUMBER

C1.0



- CONTRACTOR TO OBTAIN WORK IN R.O.W. PERMIT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING TREE.
- CONTRACTOR TO REMOVE STORM LINE & CATCH BASIN TO PROPERTY LINE.
- CONTRACTOR TO REMOVE CURB & GUTTER, & DRIVEWAY CONCRETE AS SHOWN.
- CONTRACTOR TO OBTAIN WORK IN R.O.W. PERMIT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SAWCUT & REMOVE CONCRETE FOR DRIVEWAY ADJUSTMENTS.
- CONTRACTOR TO REMOVE RAISED CONCRETE WALK.
- CONTRACTOR TO PROTECT EXISTING LIGHT POLE.
- CONTRACTOR TO REMOVE STORM LINE & CATCH BASIN.
- CONTRACTOR TO REMOVE CURB & GUTTER.
- PROTECT EXISTING CONCRETE, CANOPY, & DRIVE THRU STRUCTURES.
- CONTRACTOR TO REMOVE CURB & GUTTER.
- PROTECT
- CONTRACTOR TO REMOVE EXISTING TREE.
- CONTRACTOR TO REMOVE CURB & GUTTER.
- CONTRACTOR TO COORDINATE REMOVAL & RELOCATION OF LIGHT POLE, PEDESTAL, & TELEPHONE HANDHOLE WITH UTILITY CO.
- CONTRACTOR TO REMOVE EXISTING LIGHT POLE.
- CONTRACTOR TO OBTAIN WORK IN R.O.W. PERMIT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL BUILDING RELATED HOUSE, SERVICES, & FOUNDATIONS HAVE BEEN REMOVED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL ITEMS WITHIN HATCHED AREA TO COMPLETE THE PROPOSED PLAN UNLESS OTHERWISE NOTED.



CIVIL EXISTING SITE AND DEMOLITION PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION:

PROPERTY AREA: AREA = 25,303 S.F. (0.58 ACRES)
 EXISTING ZONING: B-2 (CENTRAL BUSINESS DISTRICT)
 PROPOSED ZONING: B-2 (CENTRAL BUSINESS DISTRICT)
 PROPOSED USE: BANK WITH PARKING AND REVISED DRIVE-THROUGH LANE
 AREA OF SITE DISTURBANCE: 14,518 S.F. (0.33 ACRES)

SETBACKS: BUILDING: FRONT = 0'
 SIDE = 0'
 REAR = 0'
 PAVEMENT: FRONT = 0'
 SIDE = 0'
 REAR = 0'

PARKING REQUIRED: 1 SPACE PER 300 S.F. (22 SPACES REQ.)
 PARKING PROVIDED: 21 SPACES
 HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1
 LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 0%

EXISTING SITE DATA

| | AREA (AC) | AREA (SF) | RATIO |
|-------------------------|-----------|-----------|-------|
| PROJECT SITE | 0.58 | 25,303 | |
| BUILDING FLOOR AREA | 0.19 | 8,256 | 32.6% |
| PAVEMENT (ASP. & CONC.) | 0.28 | 12,304 | 48.6% |
| TOTAL IMPERVIOUS | 0.47 | 20,560 | 81.3% |
| LANDSCAPE/ OPEN SPACE | 0.11 | 4,743 | 18.7% |

PROPOSED SITE DATA

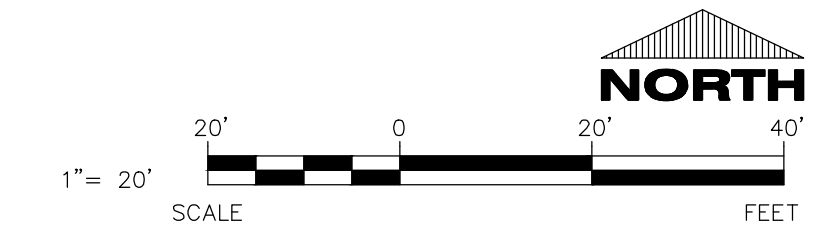
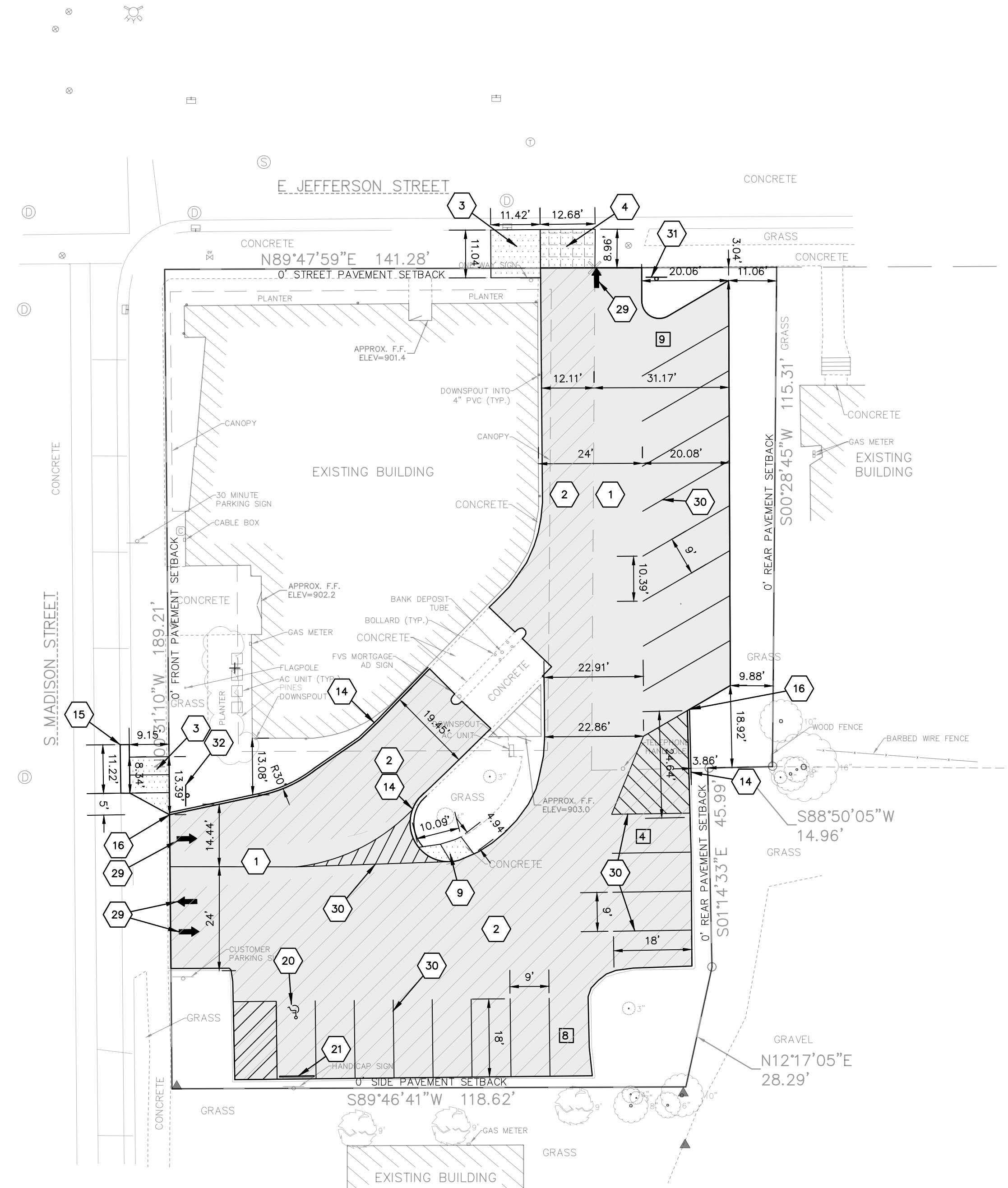
| | AREA (AC) | AREA (SF) | RATIO |
|-------------------------|-----------|-----------|-------|
| PROJECT SITE | 0.58 | 25,303 | |
| BUILDING FLOOR AREA | 0.15 | 6,568 | 26.0% |
| PAVEMENT (ASP. & CONC.) | 0.31 | 13,505 | 53.4% |
| TOTAL IMPERVIOUS | 0.46 | 20,073 | 79.3% |
| LANDSCAPE/ OPEN SPACE | 0.12 | 5,230 | 20.7% |

SITE PLAN KEYNOTES

- 1 STANDARD ASPHALT SECTION (TYP.)
- 2 ASPHALT REPLACEMENT SECTION (TYP.) PROTECT BASE. PROVIDE ALTERNATE FOR FULL PAVED SECTION REPLACEMENT AS NECESSARY BASED ON FIELD CONDITIONS.
- 3 PUBLIC CONCRETE SIDEWALK (TYP.)
- 4 HEAVY DUTY CONCRETE (TYP.)
- 9 RAISED WALK (TYP.)
- 14 6" CURB (TYP.)
- 15 30" CURB & GUTTER (TYP.)
- 16 CURB TAPER (TYP.)
- 20 HANDICAP STALL & STRIPING PER STATE CODE
- 21 PRECAST CONCRETE WHEEL STOP (TYP.)
- 29 TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
- 30 PAINT STRIPING (TYP.) COLOR TO MATCH PARKING STALL STRIPING.
- 31 DO NOT ENTER SIGN (TYP.)
- 32 DRIVE THRU ENTRANCE SIGN (TYP.)
- X(X) IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

PAVEMENT HATCH KEY:

- [Hatch] STANDARD ASPHALT
- [Hatch] ASPHALT SURFACE REPLACEMENT. PROTECT BASE.
- [Hatch] SIDEWALK CONCRETE
- [Hatch] HEAVY DUTY CONCRETE



CIVIL SITE PLAN



Always a Better Plan

100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:

FVSBANK

101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES

JUN. 22, 2023
 JULY 21, 2023
 AUG. 2, 2023

JOB NUMBER

230191500

SHEET NUMBER

C1.1

NOT FOR CONSTRUCTION



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

- NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:

IP CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FVSBANK
101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES

AUG. 2, 2023

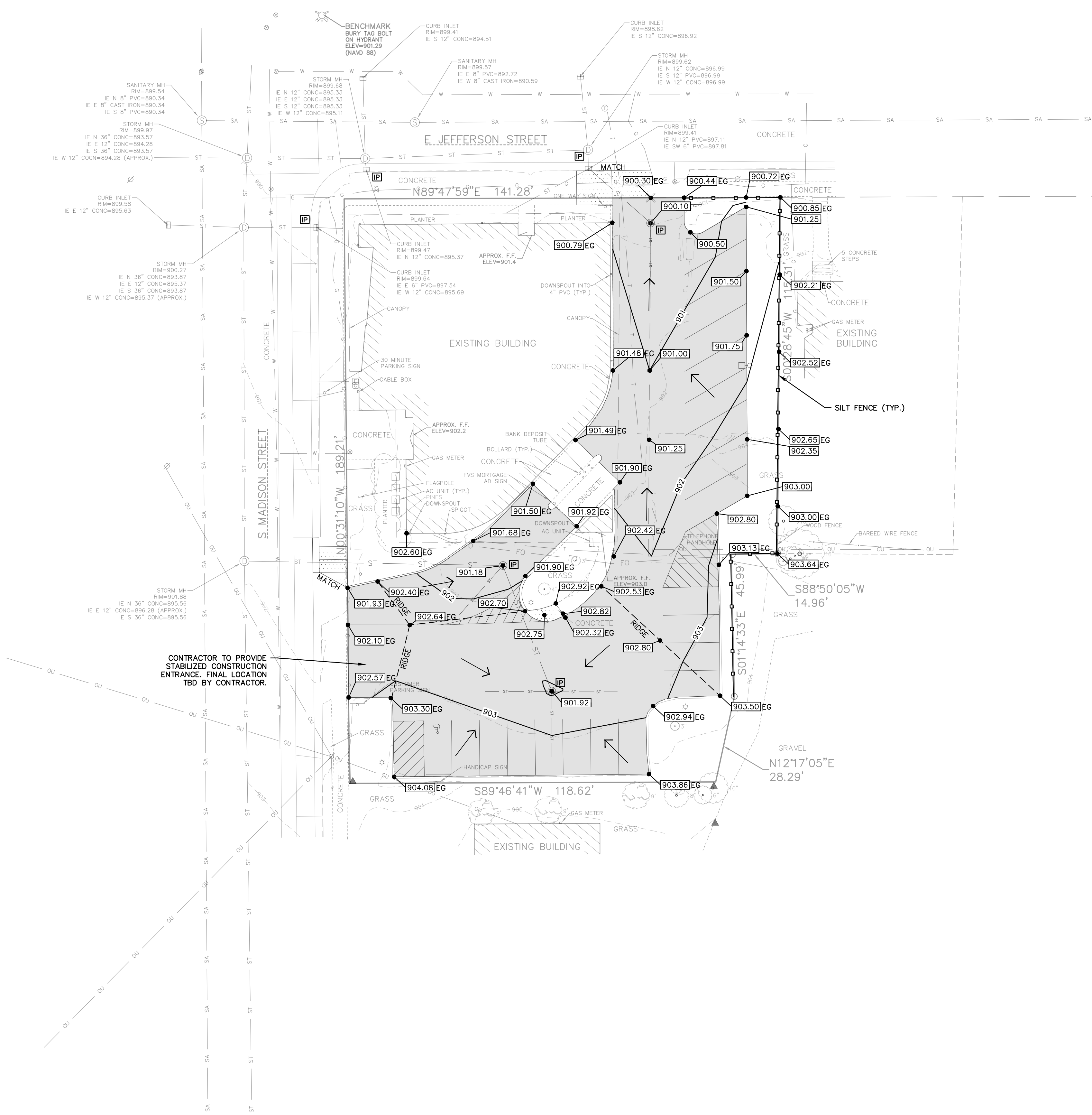
NOT FOR CONSTRUCTION

JOB NUMBER

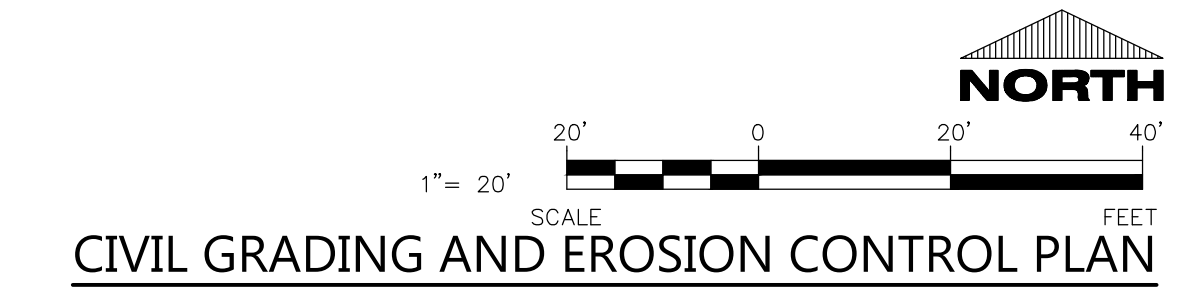
230191500

SHEET NUMBER

C1.2



CONTRACTOR TO PROVIDE STABILIZED CONSTRUCTION ENTRANCE. FINAL LOCATION TBD BY CONTRACTOR.



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FVSBANK
101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES

AUG. 2, 2023

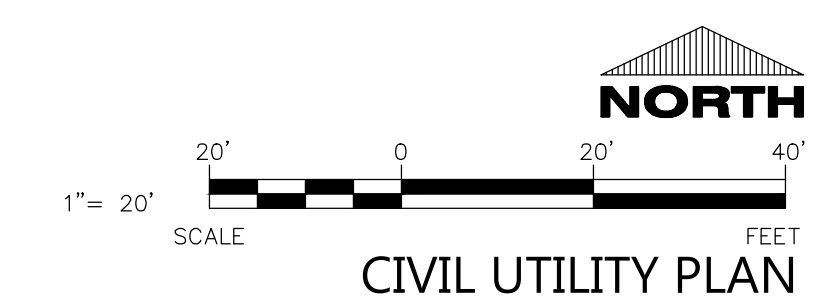
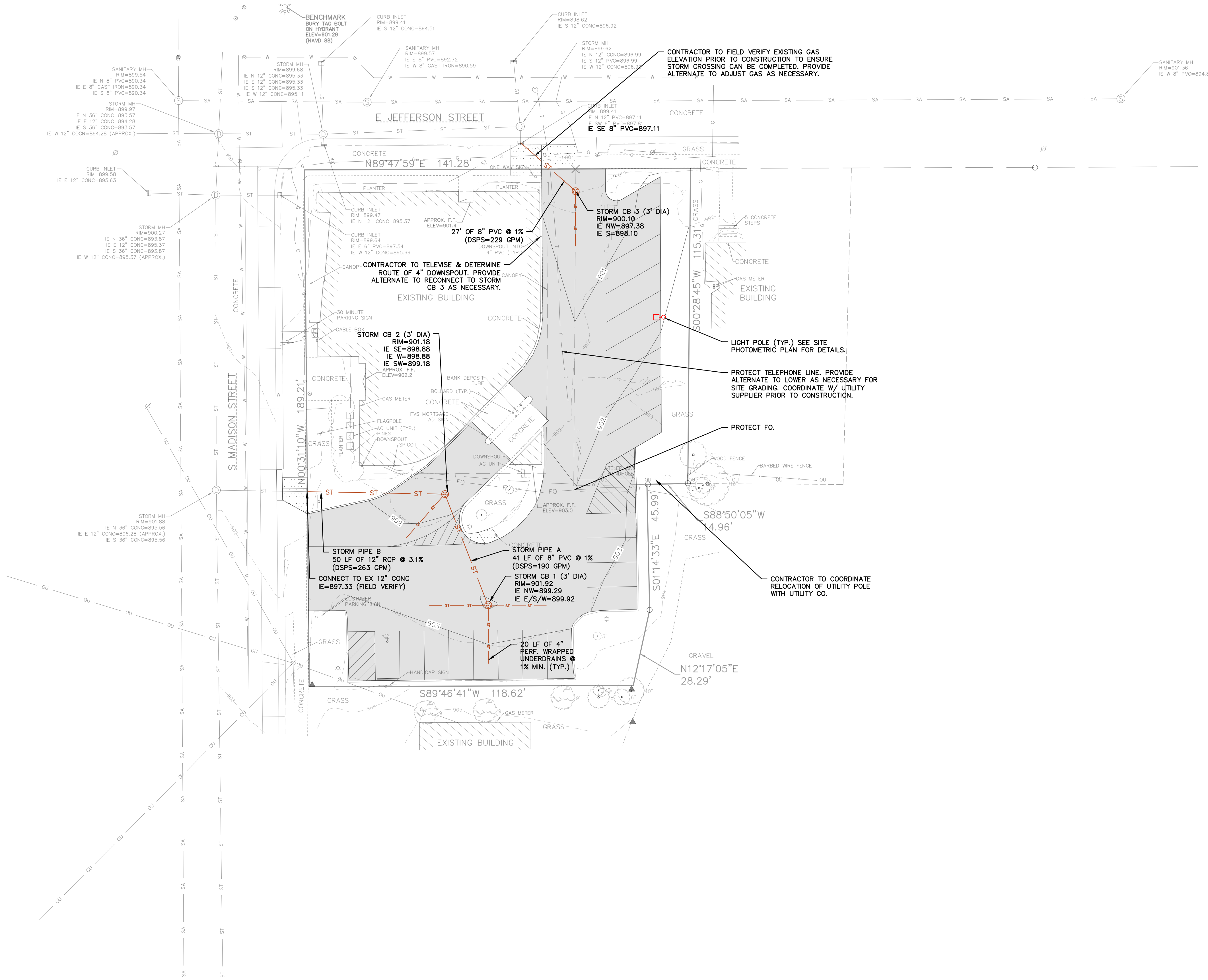
NOT FOR CONSTRUCTION

JOB NUMBER

230191500

SHEET NUMBER

C1.3



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

| LANDSCAPING PLANTING SCHEDULE | | | | |
|-------------------------------|-------------------|--------------------|--------------|----------|
| SYMBOL | COMMON NAME | BOTANICAL NAME | PLANTED SIZE | QUANTITY |
| EVERGREEN SHRUBS | | | | |
| ⊗ | Techny Arborvitae | Thuja occidentalis | 3' | 9 |

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FVSBANK
 101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES

AUG. 2, 2023

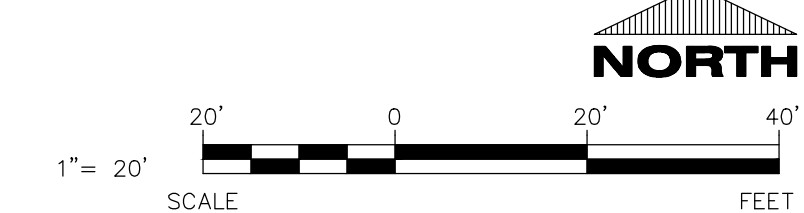
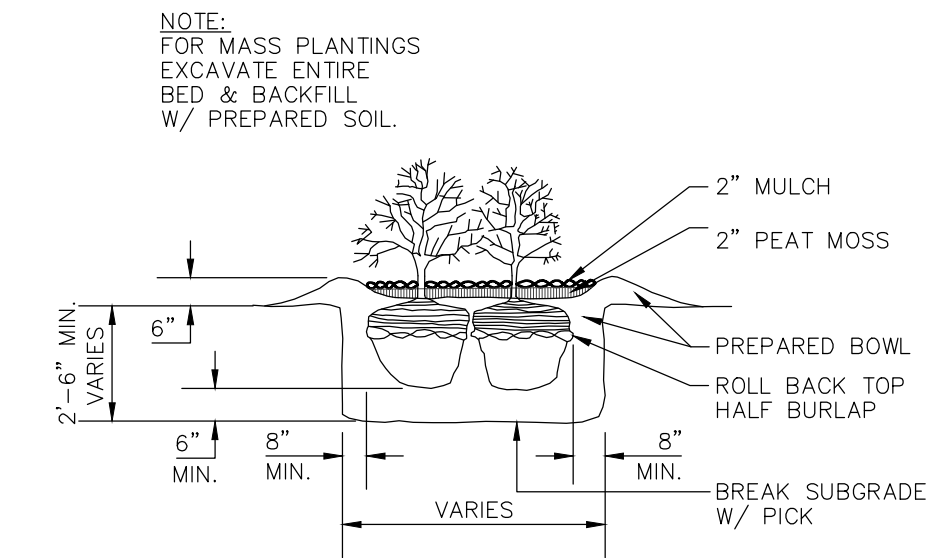
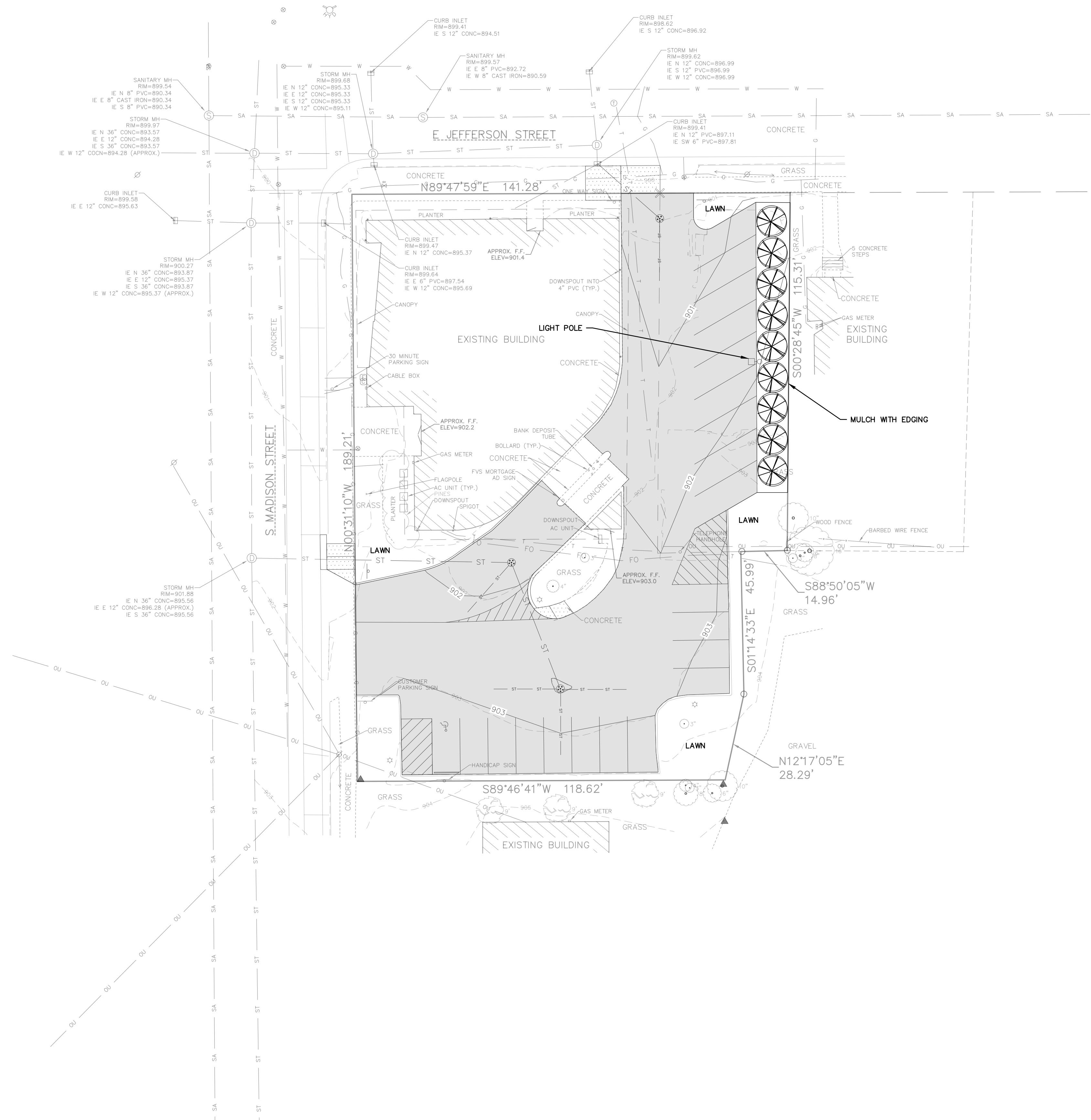
NOT FOR CONSTRUCTION

JOB NUMBER

230191500

SHEET NUMBER

C1.4

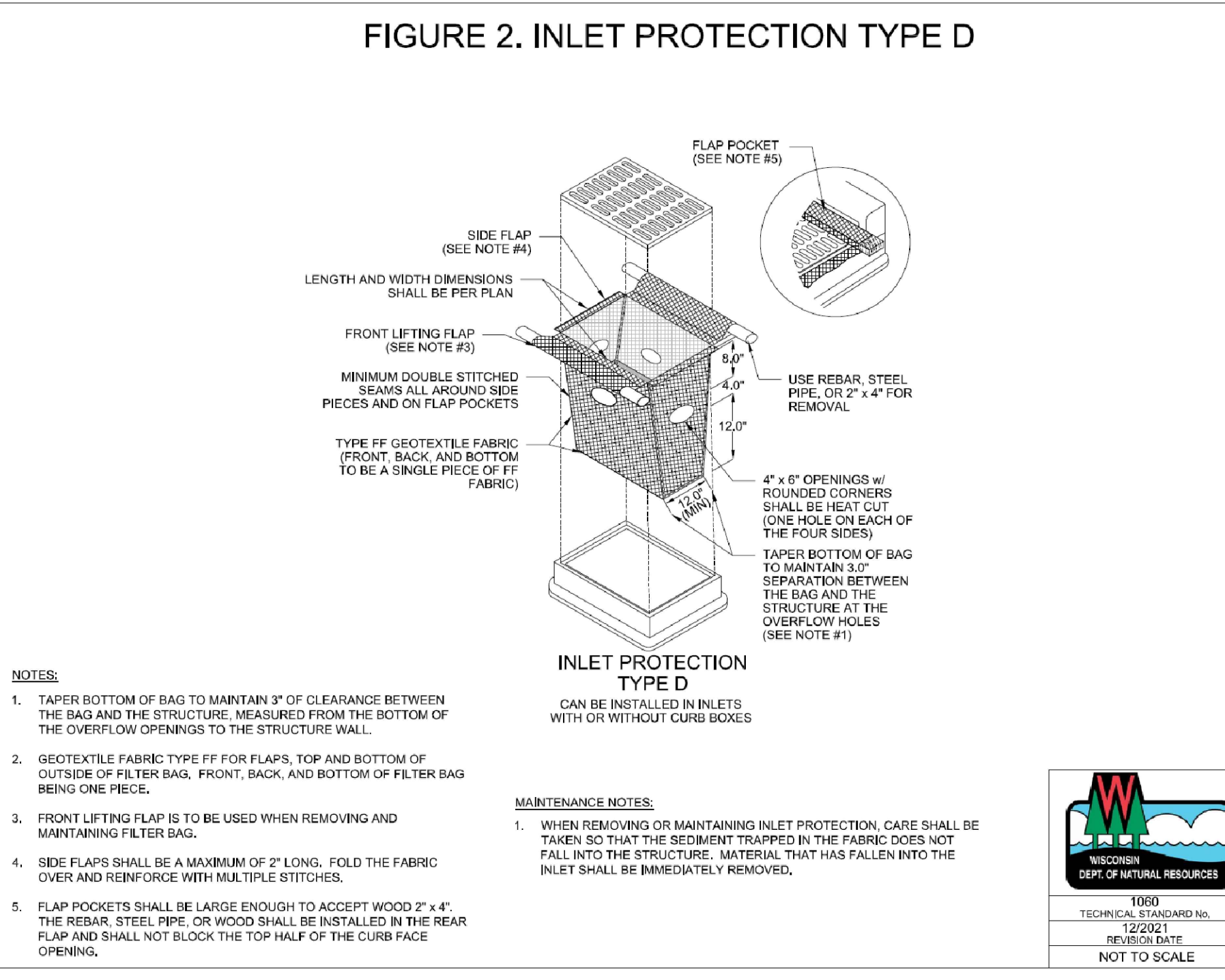
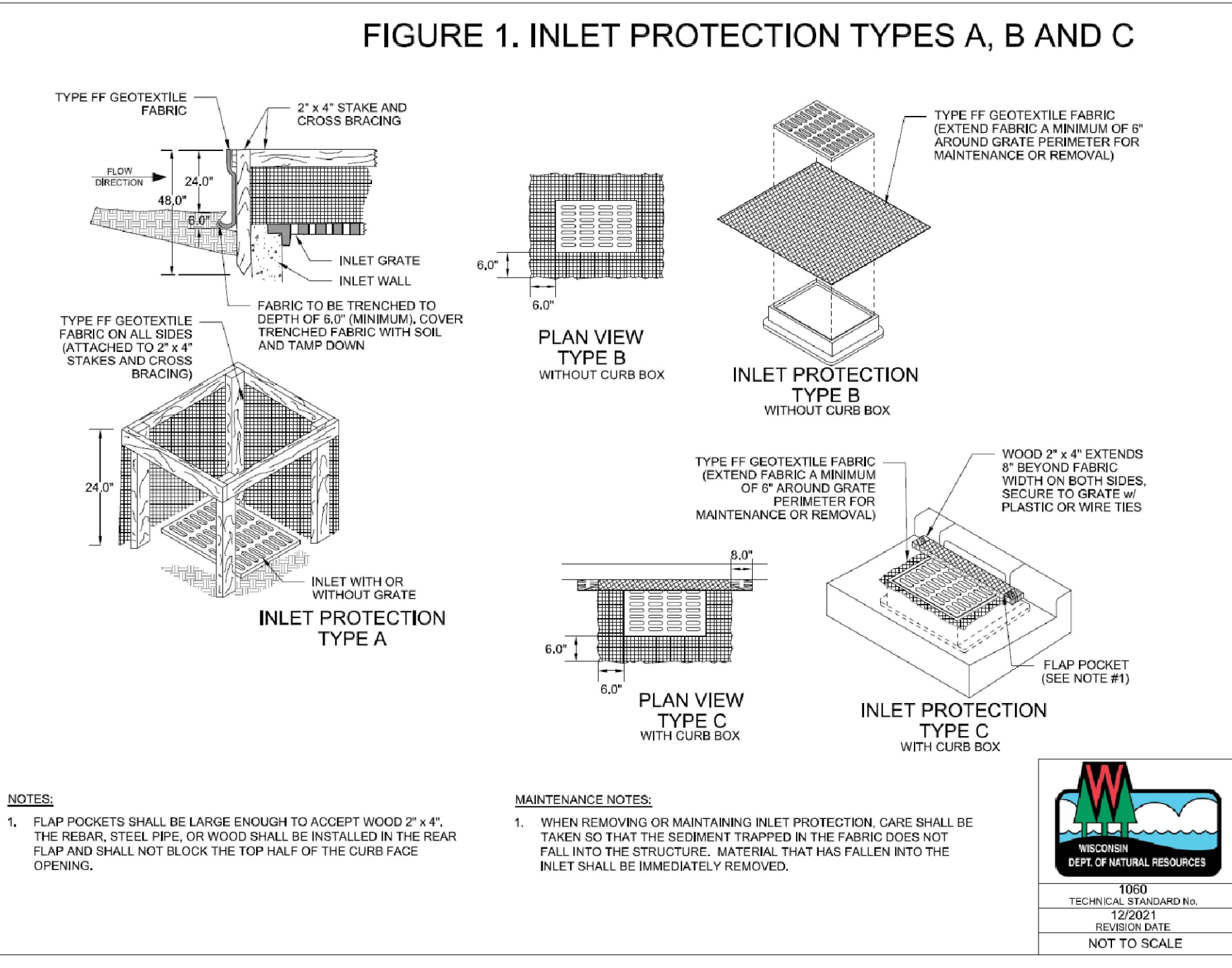
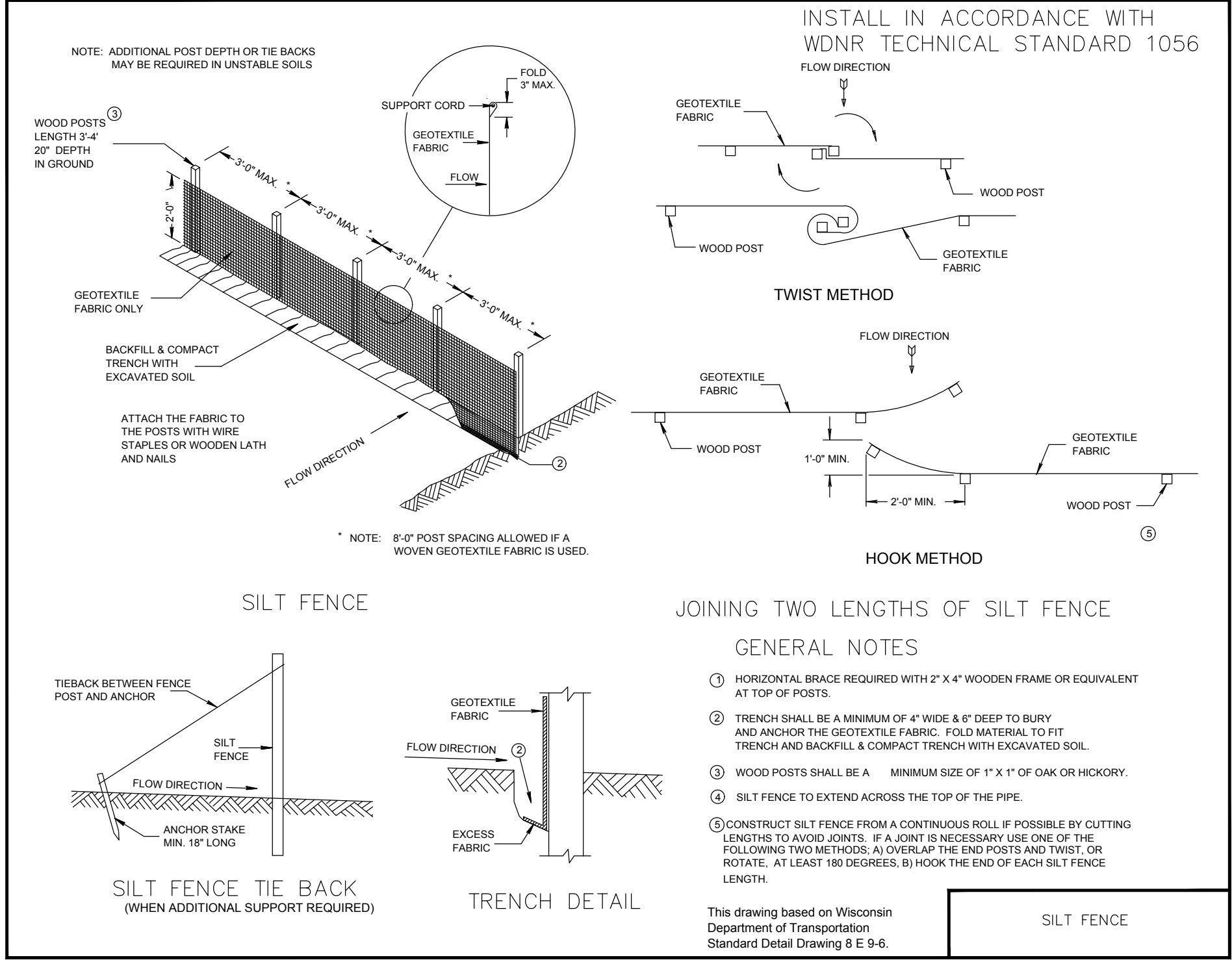
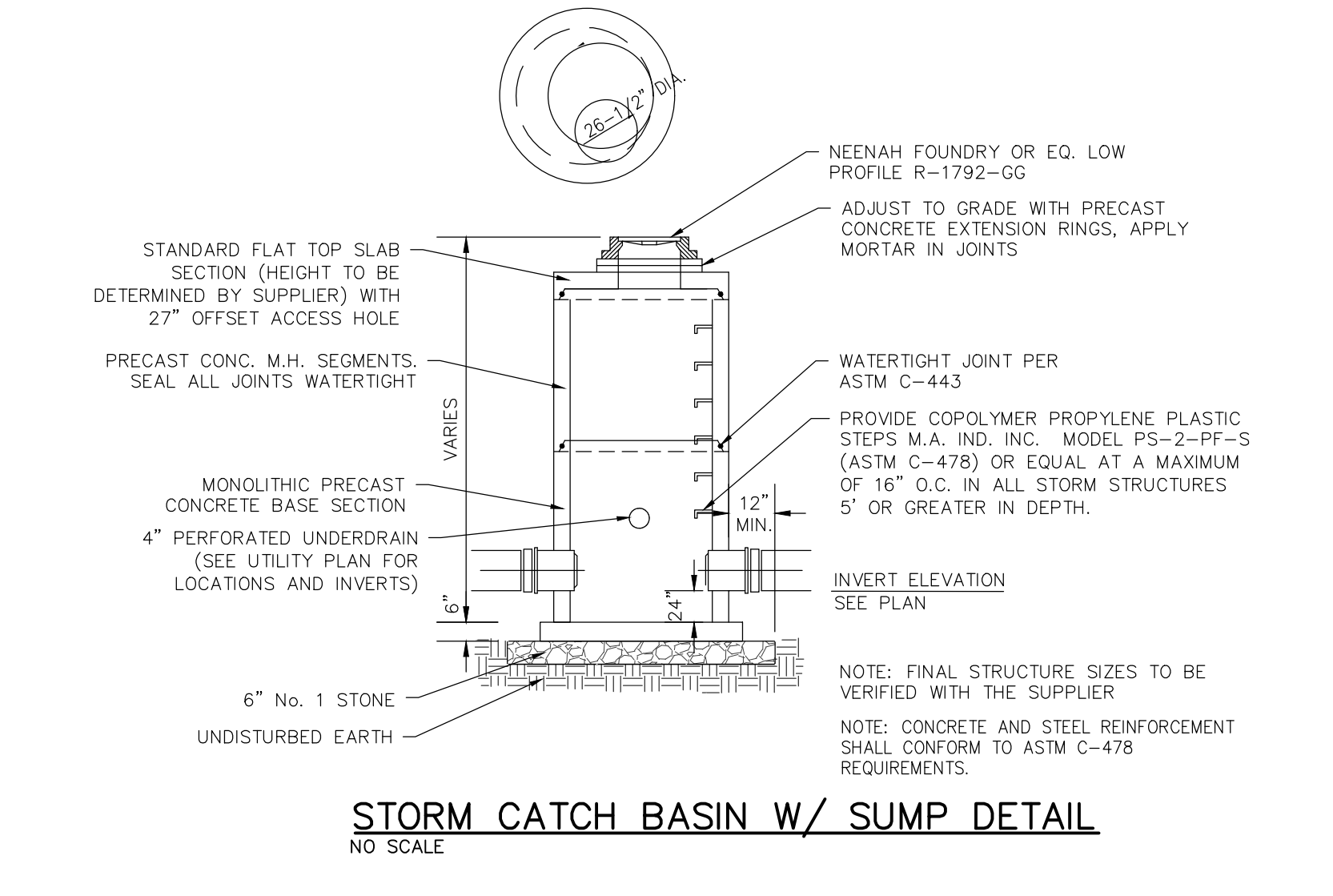
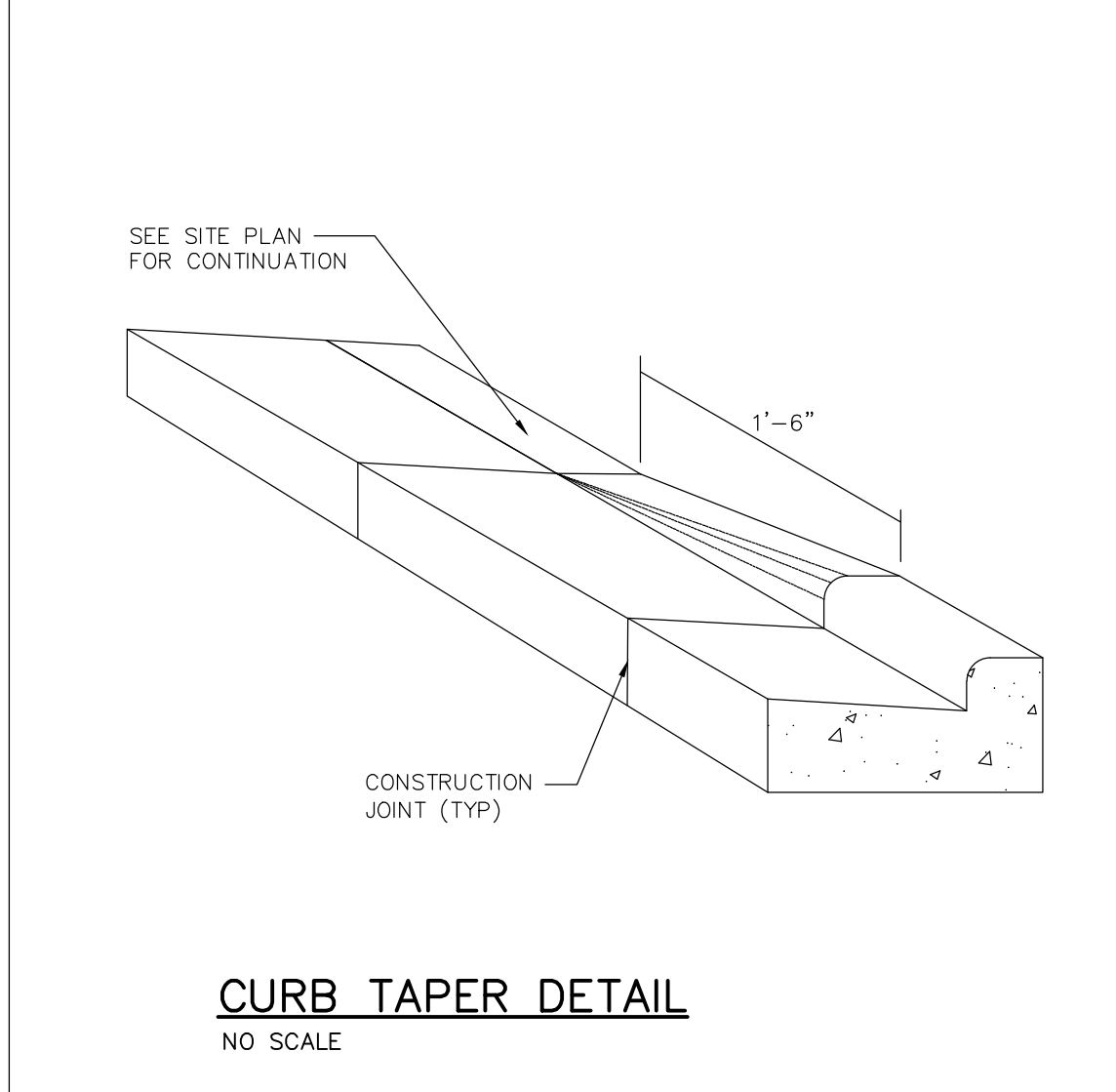
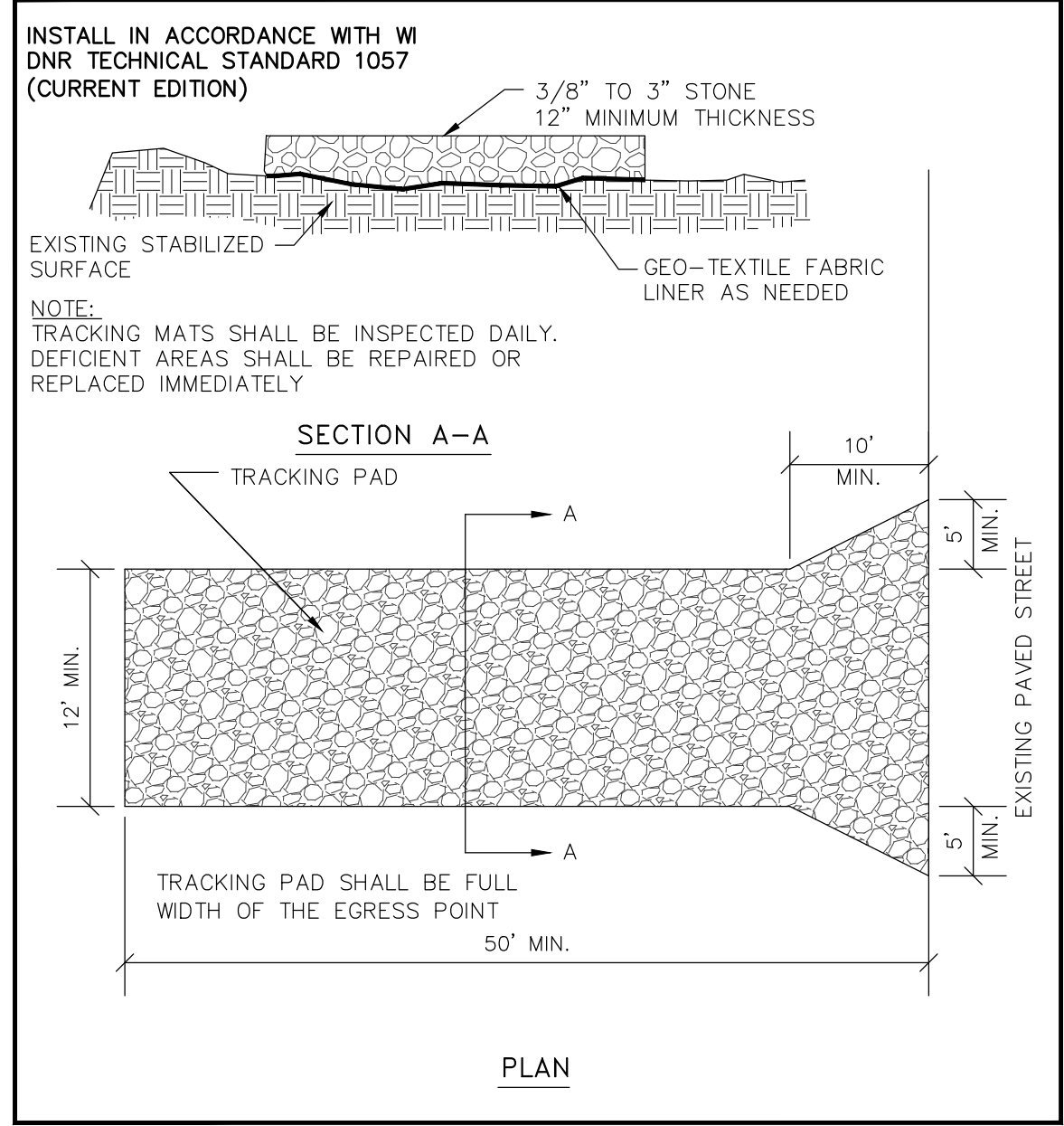
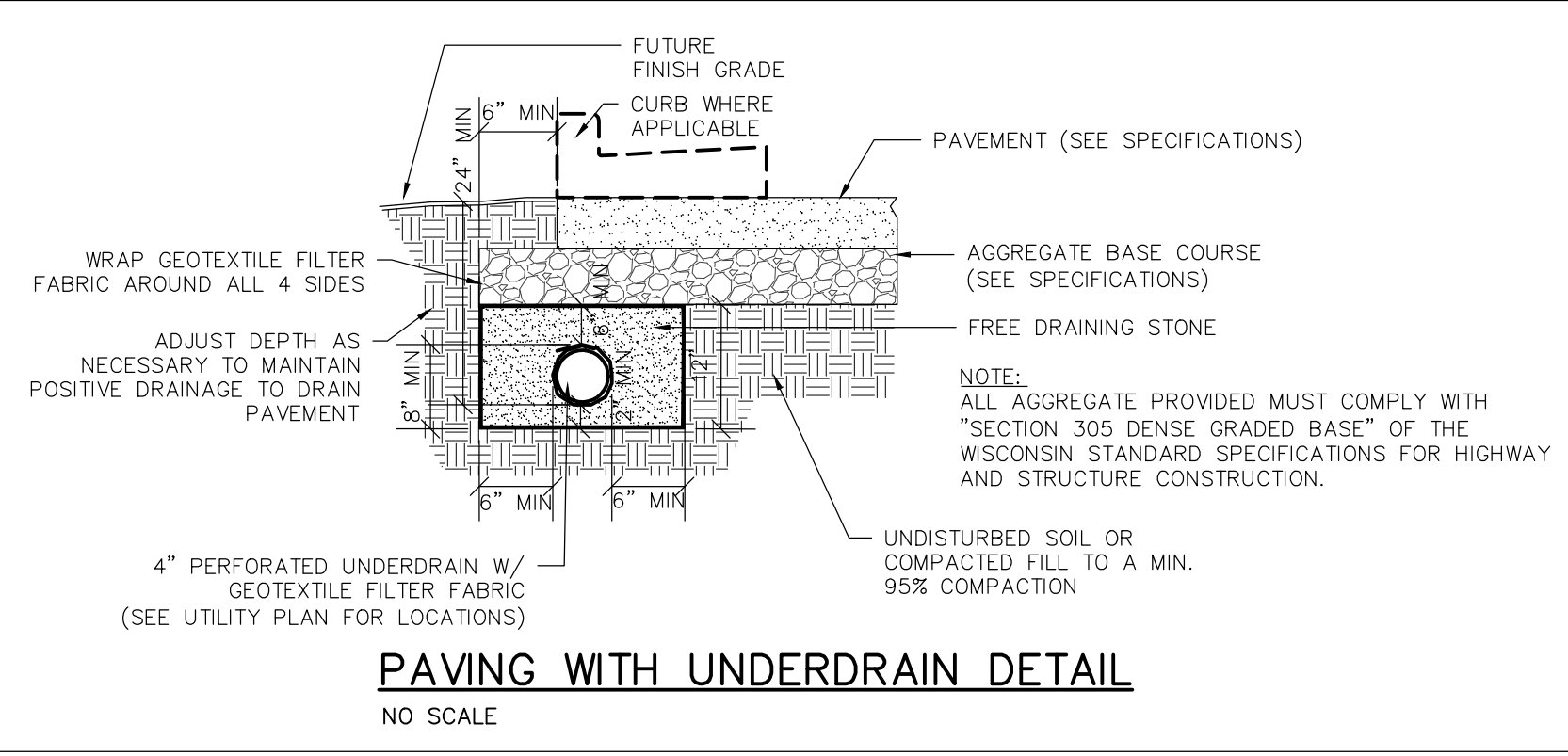
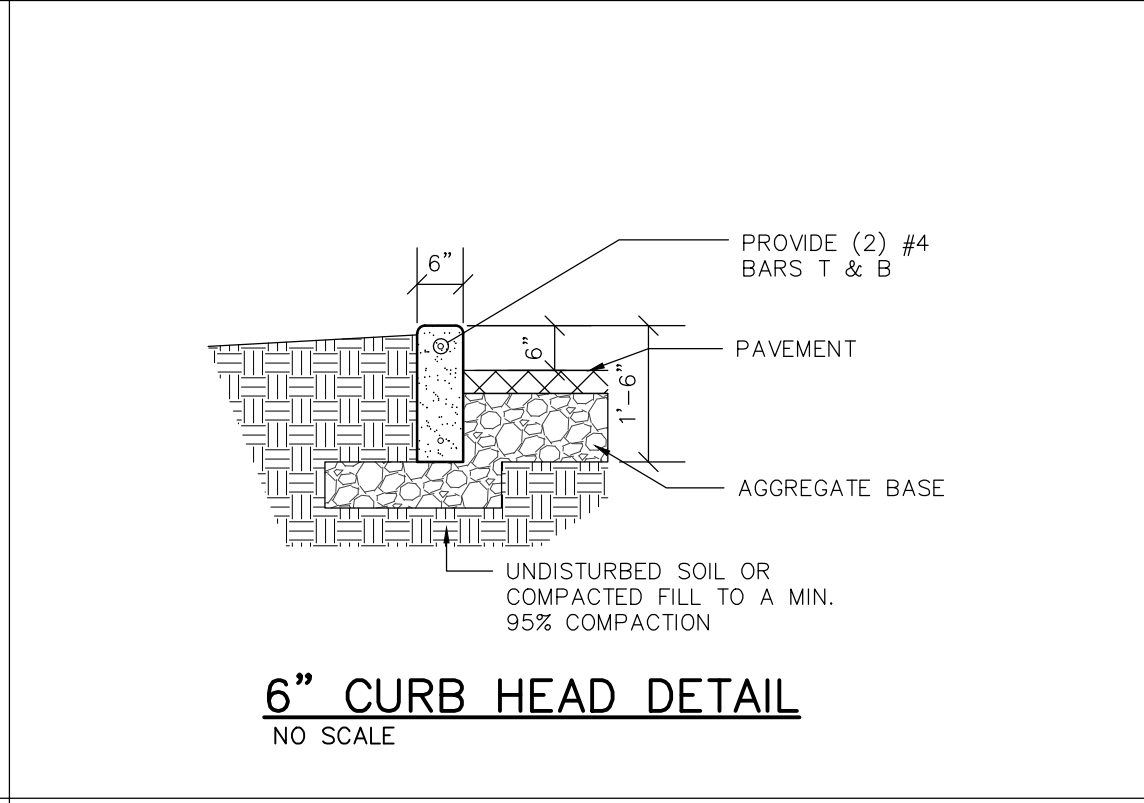
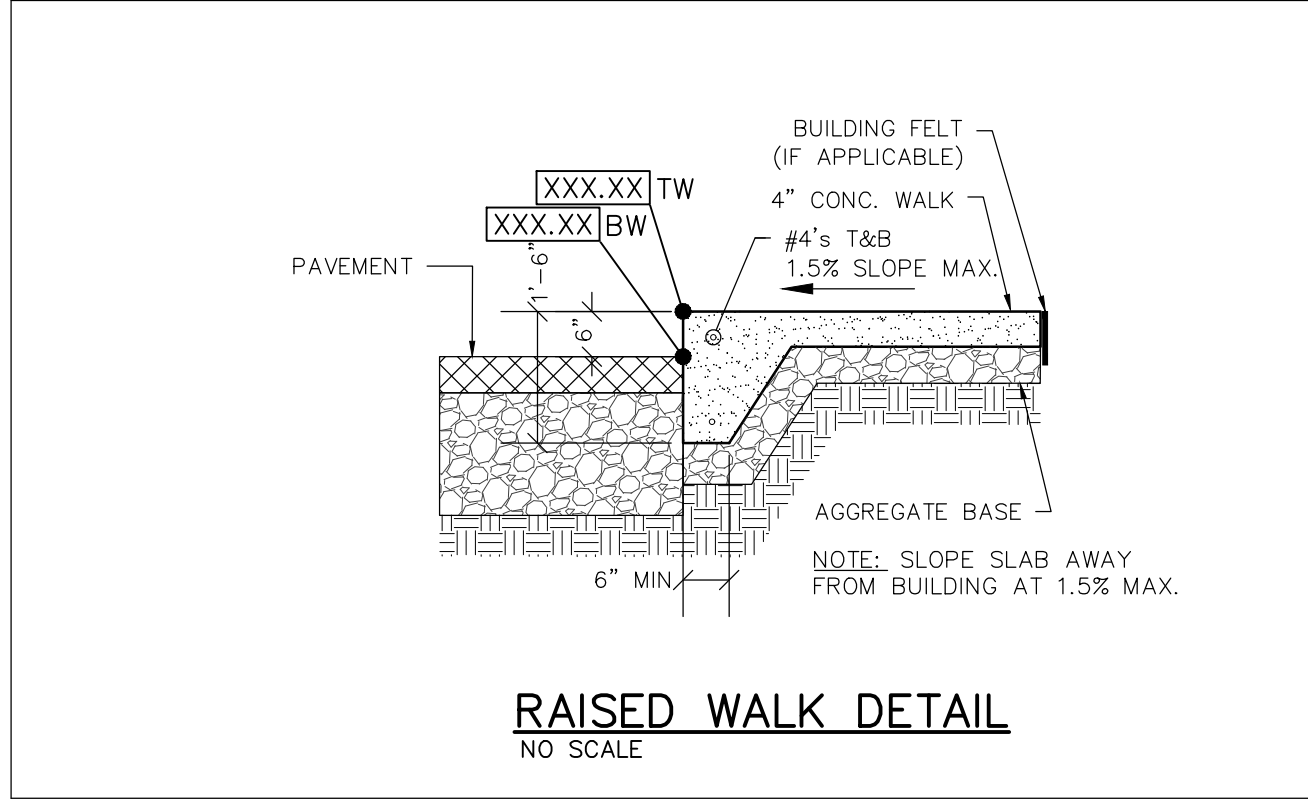


CIVIL LANDSCAPE AND RESTORATION PLAN

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FVSBANK
101 MADISON STREET • WAUPUN, WI 53963



INLET PROTECTION DETAIL
NO SCALE

INLET PROTECTION DETAIL
NO SCALE

CIVIL DETAILS

PROFESSIONAL SEAL

PRELIMINARY DATES
AUG. 2, 2023
AUG. 8, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
230191500

SHEET NUMBER

C2.0



With Houseside Shield
D-Series Size 1
 LED Area Luminaire

Specifications
 EPA: 1.01 ft² (0.09 m²)
 Length: 33"
 Width: 13"
 Height H1: 7-1/2"
 Height H2: 3-1/2"
 Weight (max): 27 lbs

Name: _____
 Title: _____
 Date: _____

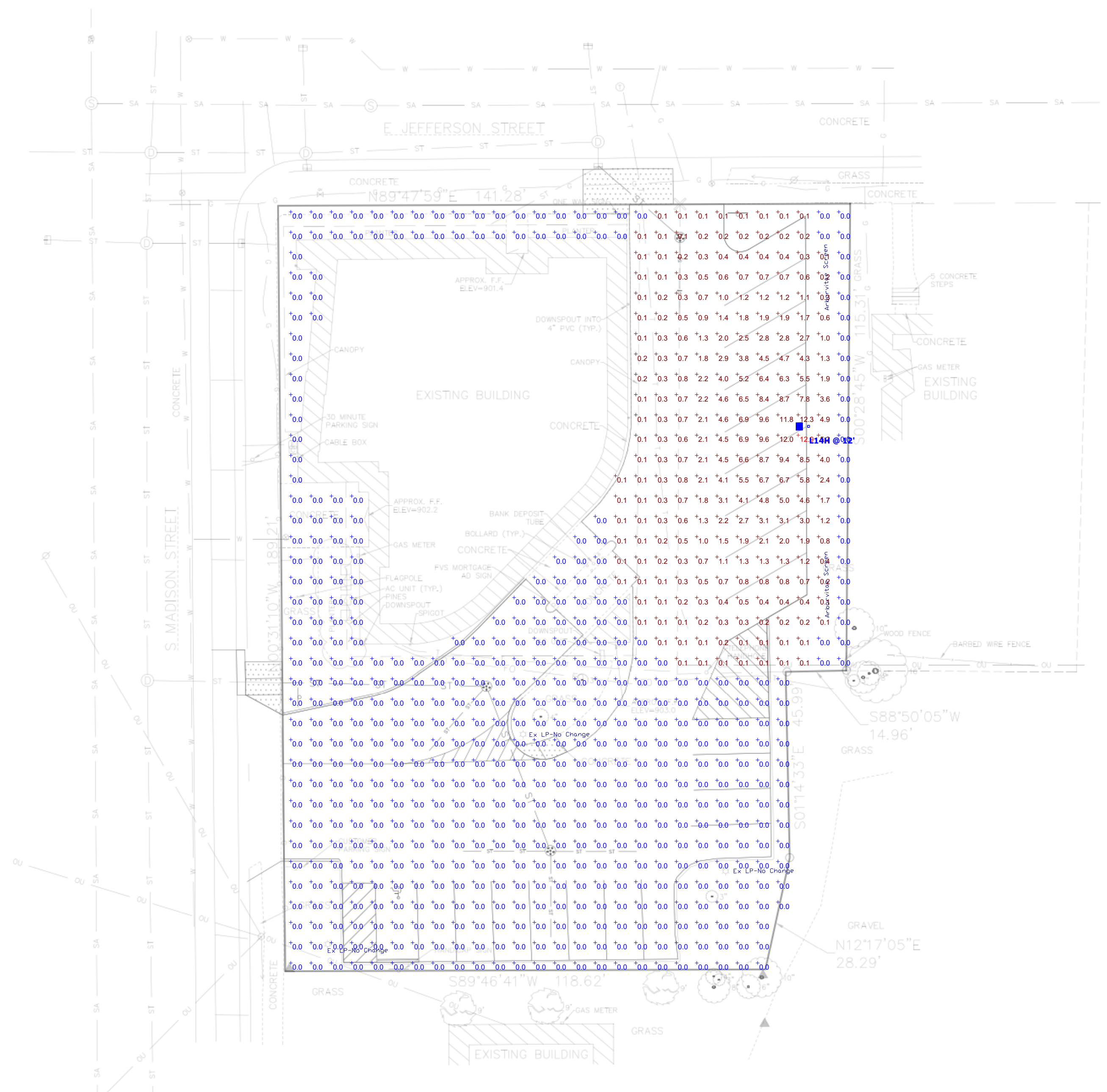
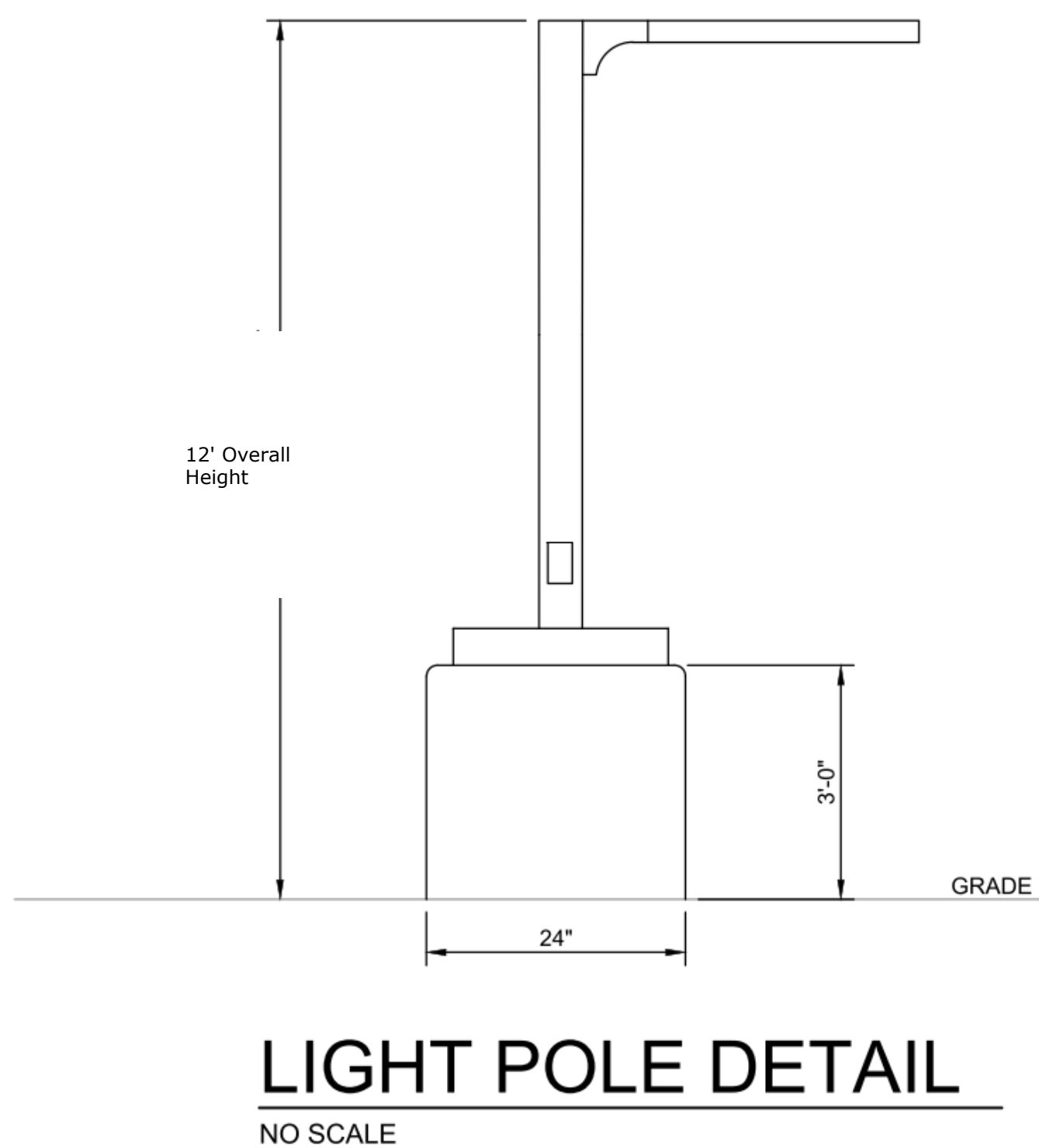
Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

An Capable option indicated by this color background.

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

| Series | LEDs | Color temperature | Distribution | Voltage | Mounting |
|----------|------------------------------------------------------------------|-------------------|--------------|---------|--------------|
| DSX1 LED | Forward optics | | T15 | T5W5 | SPV |
| | P1 | P4 | T25 | T5W | SPA |
| | P2 | P5 | T35 | T5W | WB |
| | P3 | P6 | T45 | T5W | WBA |
| | Rotated optics | | T3M | BLC | SPUMBA |
| | P10 | P12 | T4M | ECO0 | RPUMBA |
| | P11 | P13 | T5M | ECO0 | KXMB DDBXD H |
| | Shipped separately | | | | |
| | KXMB DDBXD H Mount arm mounting/bracket adaptor (specify finish) | | | | |
| | Other options | | | | |

| Control options | Other options | Finish (color) |
|-------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|---------------------------------|
| Shipped installed | PIR High flow, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16' | DDBXD Dark bronze |
| NSMSE Light 88 generation 2 enabled | SR High flow, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16' | DBLSD Black |
| PIRHN Network, high flow motion/ambient sensor | DF Double face (208, 240, 400)' | DNAXD Natural aluminum |
| PER NEMA twist lock receptacle only (orders ordered separately) | L96 Left rotated optics | DWNSD White |
| PER5 Five pin receptacle only (orders ordered separately) | R90 Right rotated optics | DBRFD Incoated dark bronze |
| PER7 Seven pin receptacle only (orders ordered separately) | SHD Shipped separately | DBLBD Incoated black |
| DWG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) | BS Bird spikes | DNATD Incoated natural aluminum |
| DS Dual switching | ES External glare shield | DWNSD Incoated white |

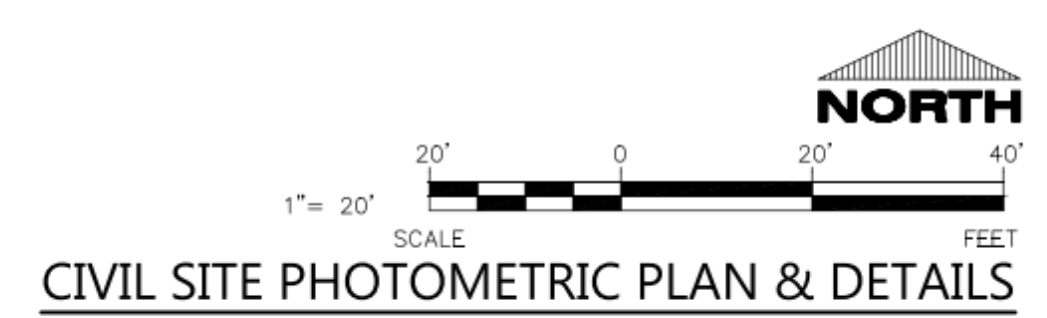


Schedule

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Number Lamps | Lumens Per Lamp |
|--------|-------|----------|-------------------|------------------------------|-------------------------------------------------|--------------|-----------------|
| | L14H | 1 | Lithonia Lighting | DSX1 LED P5 40K T4M MVOLT HS | DSX1 LED P5 40K T4M MVOLT with houseside shield | 1 | 12025 |

Statistics

| Description | Symbol | Avg | Min | Max/Min | Avg/Min | Max |
|--------------|--------|--------|--------|---------|---------|---------|
| Calc Zone #2 | + | 0.5 fc | 0.0 fc | N/A | N/A | 12.9 fc |



Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
 excelengineer.com

PROJECT INFORMATION

PROPOSED SITE IMPROVEMENTS FOR:
FOX VALLEY SAVINGS BANK
 101 MADISON STREET • WAUPUN, WI 53963

PROFESSIONAL SEAL

PRELIMINARY DATES
 AUG. 2, 2023

NOT FOR CONSTRUCTION

JOB NUMBER
 230191500

SHEET NUMBER
C3.1

**PERMANENT ACCESS
EASEMENT**

Document No.

THIS EASEMENT, made by

THE CITY OF WAUPUN (Grantor) and

VANDE HOLSTEINS LLC (Grantee)

In consideration of the sum of One and 00/100 dollar (\$1.00) and other good and valuable consideration, the undersigned Grantor grants and conveys for themselves, their heirs, successors and assigns, unto the Grantee its heirs, successors and assigns, a 25 foot wide permanent access easement for the purpose of accessing, constructing, repairing, maintaining a driveway and other associated facilities, all necessary and usual in the conduct of its or their business on and beneath land owned by the Grantor in the City of Waupun, Dodge County, Wisconsin, and described as follows:

This Space Reserved for Recording Data

RETURN TO: MSA Professional Services
Ben Buchda
201 Corporate Drive
Beaver Dam, WI 53916
Tax Parcel No. 292-1315-0844-001

DESCRIPTION OF LANDS

A 25 foot wide permanent access easement being located within Lot 3 of CSM #7688 in Volume 53 on Page 314-318 as Document No. 1326504 in the Dodge County Register of Deeds Office and being a part of the SE 1/4 of the SE 1/4 of Section 8, T.13N., R.15E., City of Waupun, Dodge County, Wisconsin. **(SEE EXHIBIT A on sheet 2 for Full legal description and map)**

This grant likewise includes to Grantee the right of ingress and egress on the lands described, and the right of Grantee to conduct its business as may be necessary and usual in the exercise of the rights herein granted.

This grant shall run with the lands described herein and is binding upon the heirs, successors and assigns of the parties hereto. Grantee shall have the right to assign the easements granted hereunder, without the consent of the Grantor.

Grantor agrees that they will not construct or install upon the permanent easement, any buildings, trees, or similar structures that would interfere with the rights granted to the Grantee herein.

Grantee agrees that they will not construct or install upon the permanent easement, any buildings, trees, or similar structures and this access easement is for the sole purpose of using, constructing, repairing & maintaining and driveway to access the Lot 1 of CSM #7085 from Shaler Drive as shown on the attached Exhibit A.

SIGNATURE OF GRANTOR:

ROHN BISHOP, MAYOR OF THE CITY OF WAUPUN

STATE OF _____]
COUNTY OF _____]SS

Personally came before me this _____ day of _____, 20____, the above named Rohn Bishop to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My Commission Expires _____



ENGINEERING | ARCHITECTURE | SURVEYING
 FUNDING | PLANNING | ENVIRONMENTAL
 201 Corporate Drive, Beaver Dam WI 53916
 (920) 887-4242 www.msa-ps.com

© MSA Professional Services, Inc.

PROJECT NO. 212056
 DRAWN BY: B. BUCHDA
 SURVEYOR: B. BUCHDA
 FILE NO. VANDE ZANDE DRIVEWAY EASEMENT.DWG
 SHEET NO. 2 OF 2

GRANTOR: CITY OF WAUPUN
 GRANTEE: VANDE HOLSTEINS LLC

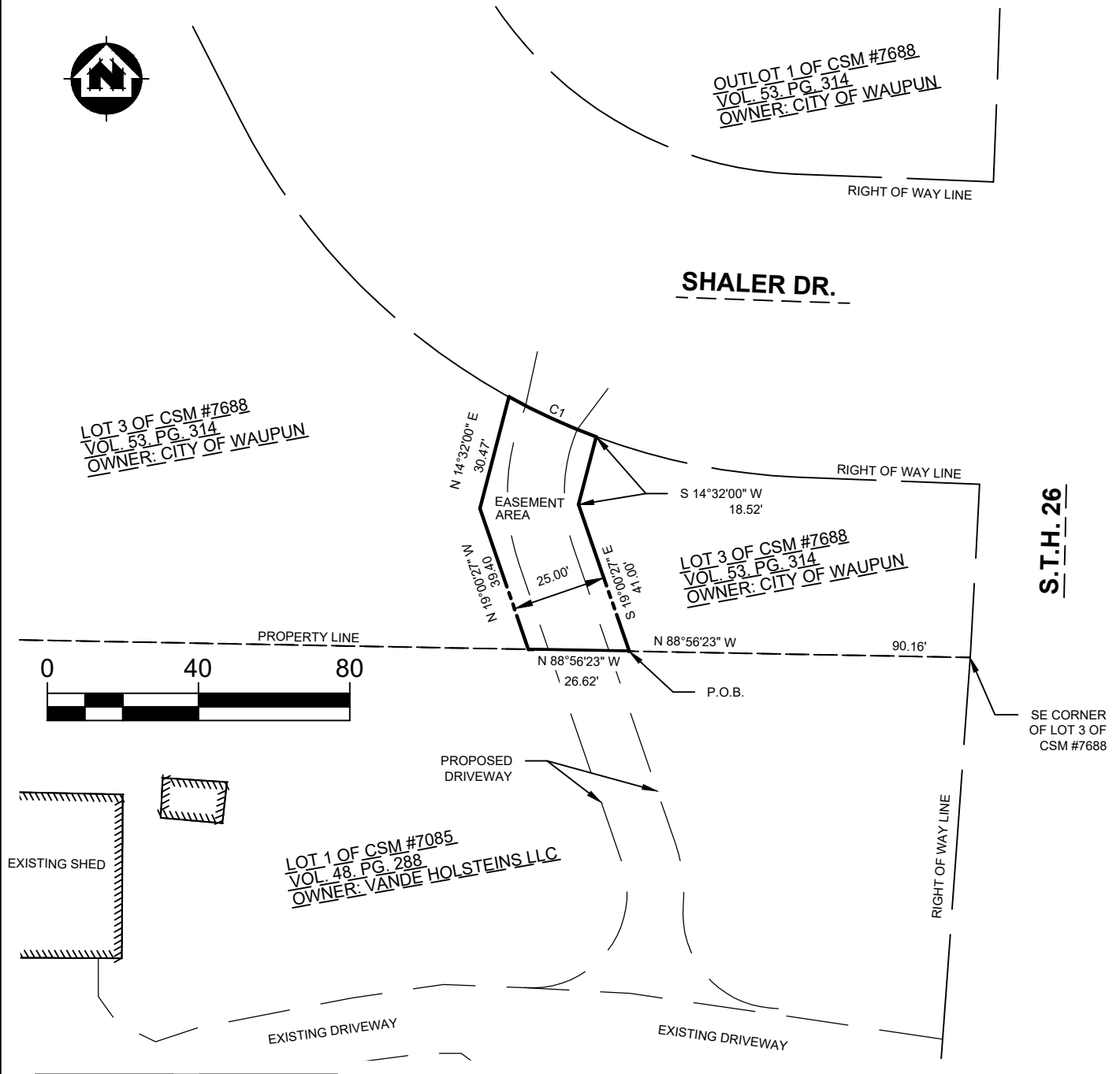
EXHIBIT A

LEGAL DESCRIPTION

COMMENCING at the SE Corner of Lot 3 of CSM #7688 thence N 88°56'23" W, 90.16 feet along the south line of Lot 3 of CSM #7688 to the **POINT OF BEGINNING**; thence continuing N 88°56'23" W, 26.62 feet along the south line of said Lot 3; thence N 19°00'27" W, 39.40 feet; thence N 14°32'00" E, 30.47 feet to the northerly line of said Lot 3, the southerly right of way of Shaler Drive and the beginning of a curve; thence southeasterly along the northerly line of said Lot 3 and the southerly right of way of Shaler Drive 25.41 feet along the arc of a curve to the left, having a radius of 173.00 feet, with a chord which bears S 65°26'44" E, 25.39 feet; thence S 14°32'00" W, 18.52 feet; S 19°00'27" E, 41.00 feet to the **POINT OF BEGINNING**.

CURVE TABLE

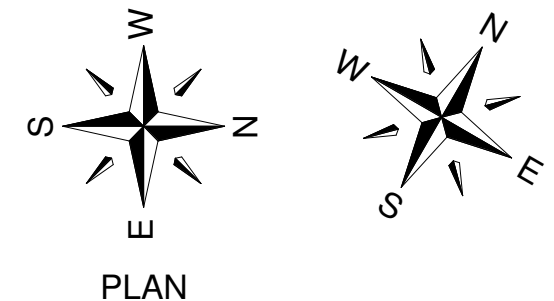
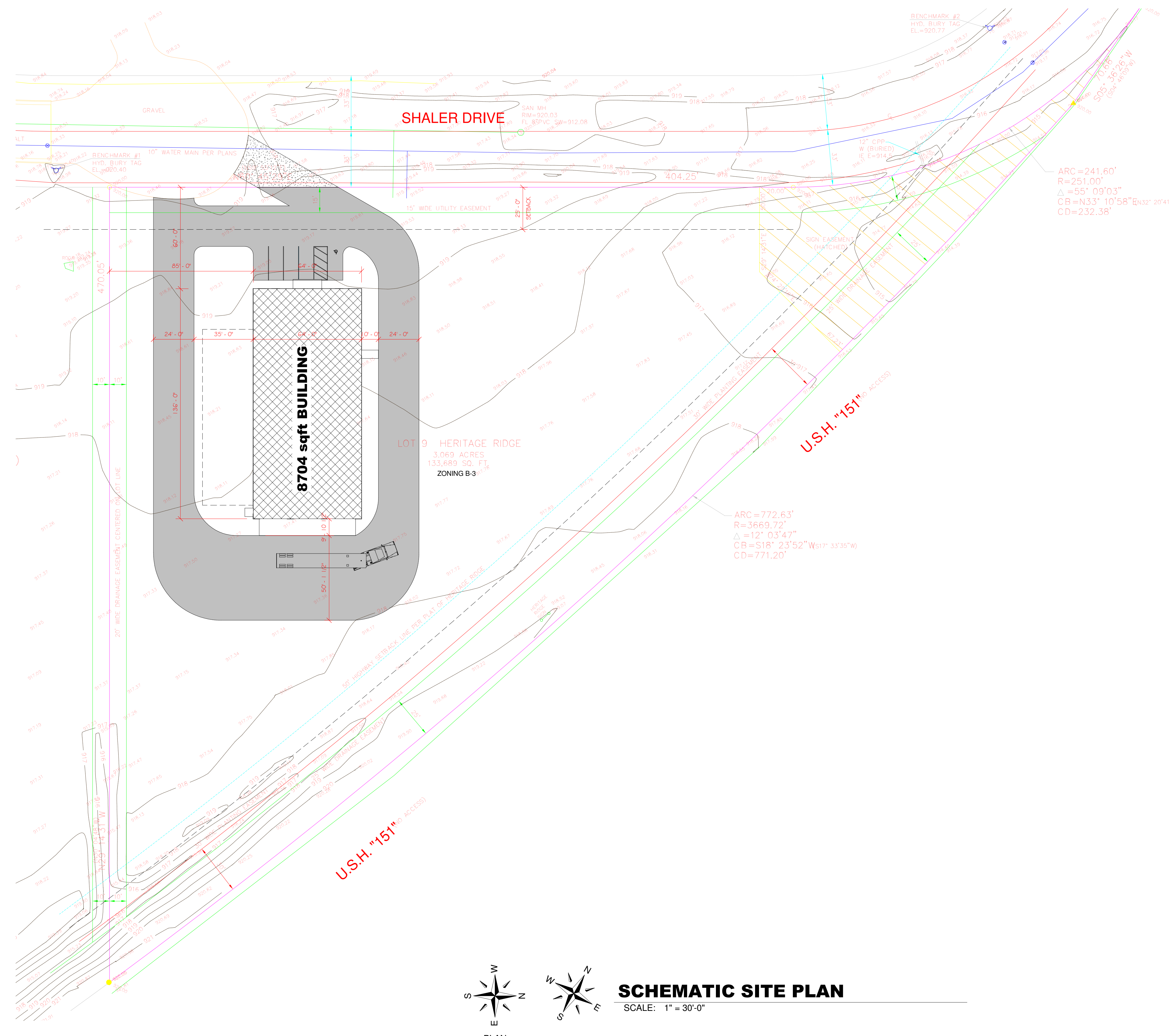
| # | CHORD BEARING | DISTANCE | ARC DISTANCE | RADIUS |
|----|---------------|----------|--------------|---------|
| C1 | S 65°26'44" E | 25.39' | 25.41' | 173.00' |



S.T.H. 26

| |
|--------------------|
| PRELIMINARY |
| |
| |
| |
| |
| |

ERIC MULDER CONSTRUCTION
NEW FABRICATION FACILITY
 SHALER DRIVE
 WAUPUN, WI



SCHEMATIC SITE PLAN
 SCALE: 1" = 30'-0"

-COPYRIGHT NOTICE- ©
 THIS IS A COPYRIGHTED PLAN AND IS THE EXCLUSIVE
 PROPERTY OF MORPH DESIGNS, LLC. IT MAY NOT BE USED,
 BUILT FROM, OR REPRODUCED IN ANY FORM WITHOUT THE
 WRITTEN PERMISSION OF MORPH DESIGNS, LLC.

NOT FOR CONSTRUCTION

| |
|---------------------|
| SHEET TITLE |
| SCHEMATIC SITE PLAN |
| |

| |
|---------------------|
| PROJECT DATA |
| DATE: |
| JOB NUMBER: |
| SHEET NUMBER: |

C-101

PRELIMINARY

08/13/2023

| |
|--|
| |
| |
| |
| |
| |

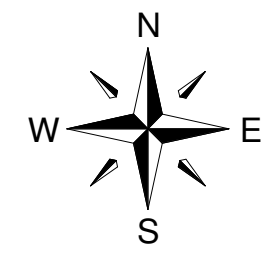
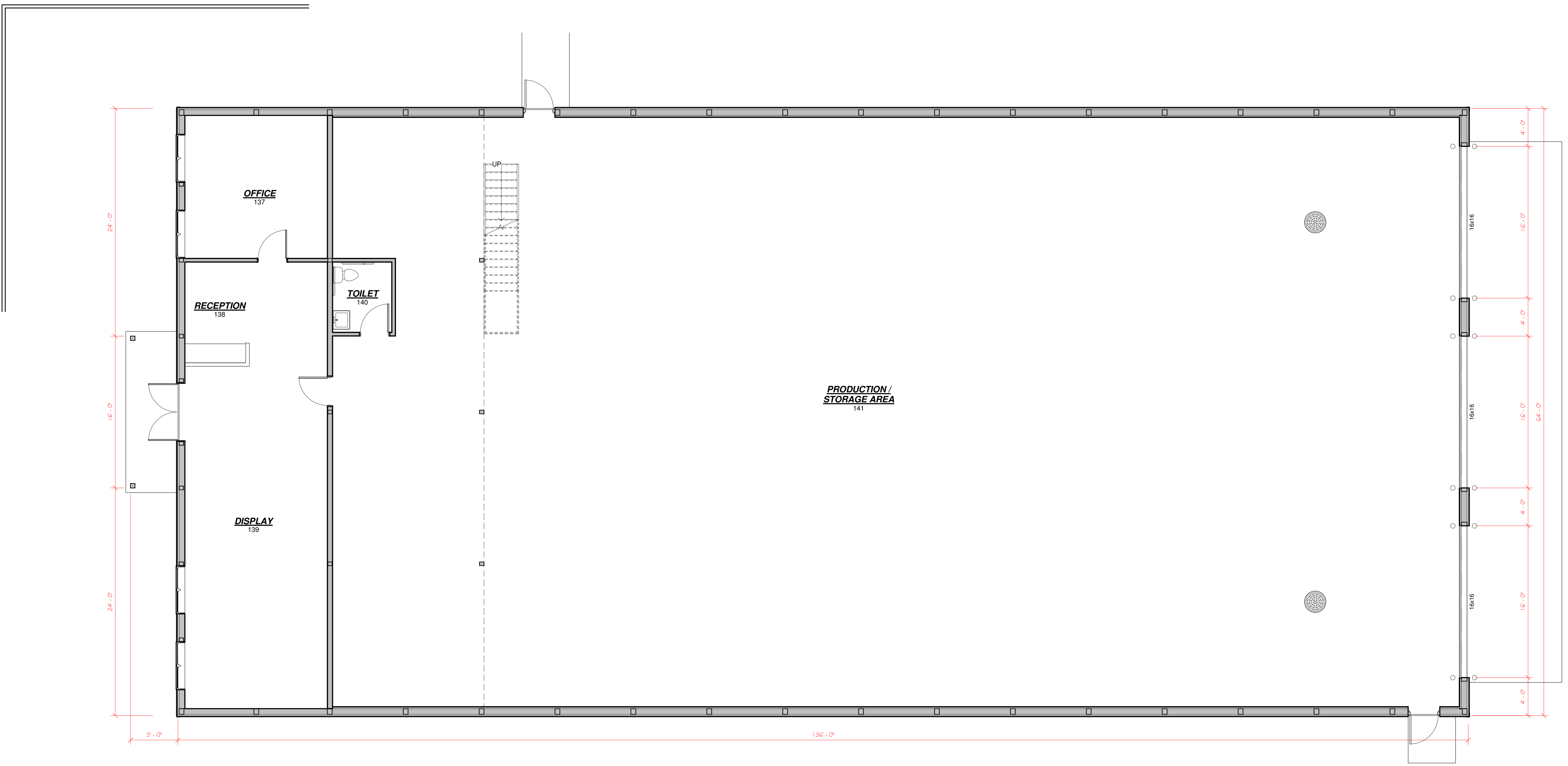
ERIC MULDER CONSTRUCTION
NEW FABRICATION FACILITY
 SHALER DRIVE
 WAUPUN, WI

| |
|--------------------|
| SHEET TITLE |
| OVERALL FLOOR PLAN |
| |

| |
|---------------------|
| PROJECT DATA |
| DATE: |
| JOB NUMBER: |
| SHEET NUMBER: |

A-100

8/13/2023 9:05:33 AM



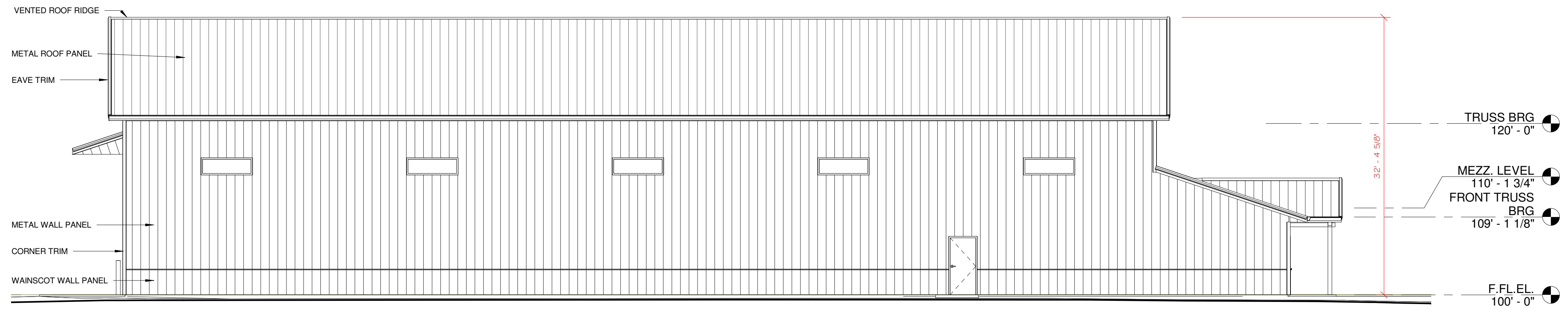
FLOOR PLAN

SCALE: 3/16" = 1'-0"

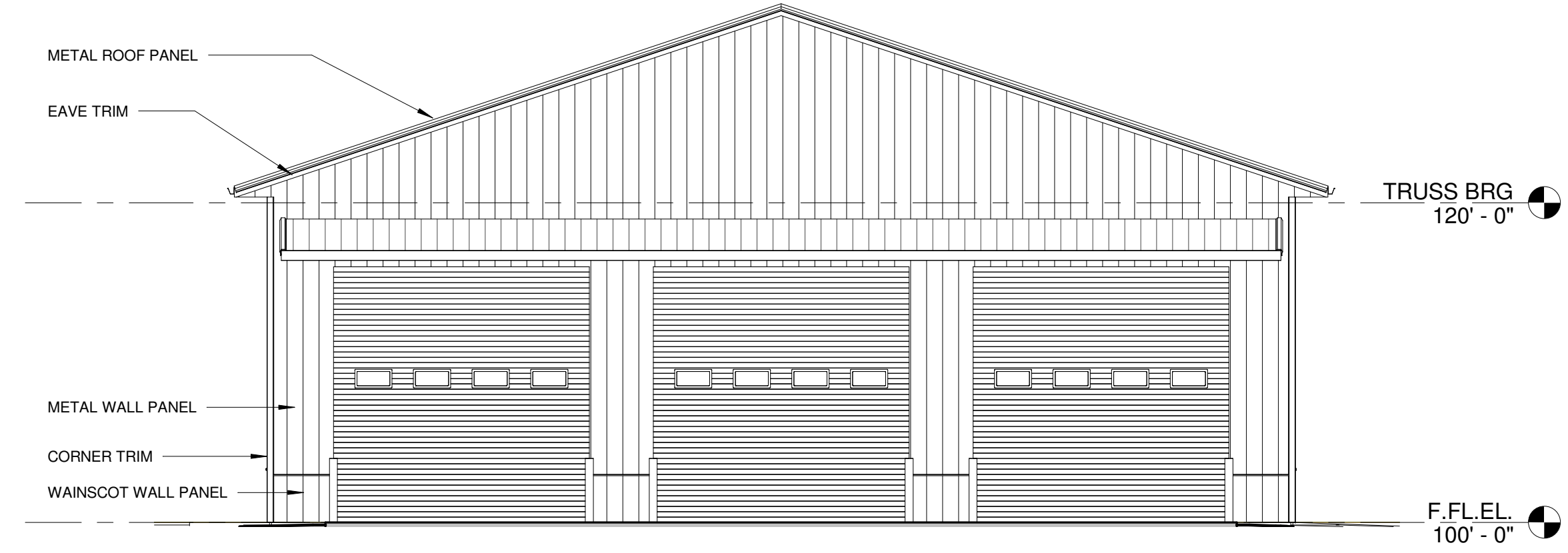
-COPYRIGHT NOTICE- ©
 THIS IS A COPYRIGHTED PLAN AND IS THE EXCLUSIVE
 PROPERTY OF MORPH DESIGNS, LLC. IT MAY NOT BE USED,
 BUILT FROM, OR REPRODUCED IN ANY FORM WITHOUT THE
 WRITTEN PERMISSION OF MORPH DESIGNS, LLC.

NOT FOR CONSTRUCTION

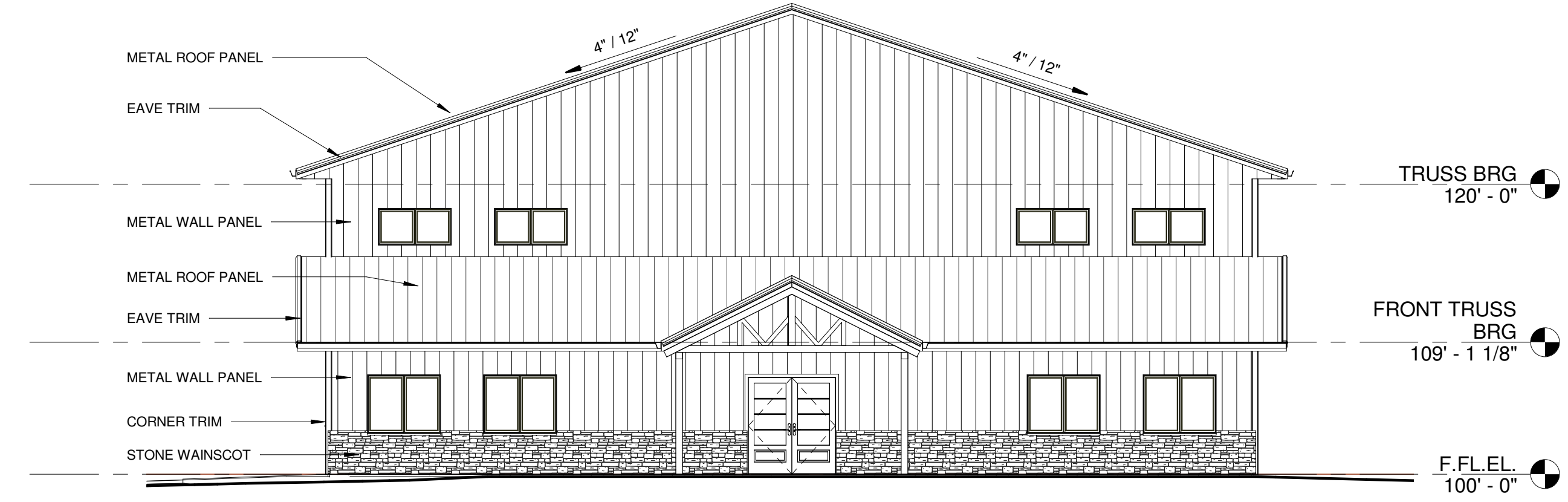
| |
|--------------------|
| PRELIMINARY |
| 08/13/2023 |
| |
| |
| |
| |



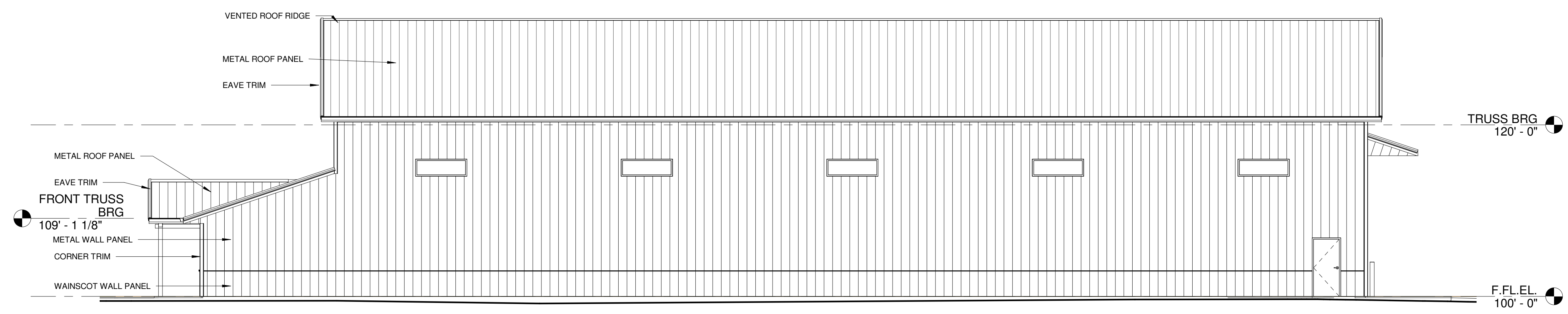
NORTHEAST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTHEAST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



NORTHWEST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTHWEST BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"

ERIC MULDER CONSTRUCTION
 NEW FABRICATION FACILITY
 SHALER DRIVE
 WAUPUN, WI

| |
|------------------------------|
| SHEET TITLE |
| EXTERIOR BUILDING ELEVATIONS |

| |
|---------------------|
| PROJECT DATA |
| DATE: |
| JOB NUMBER: |
| SHEET NUMBER: |

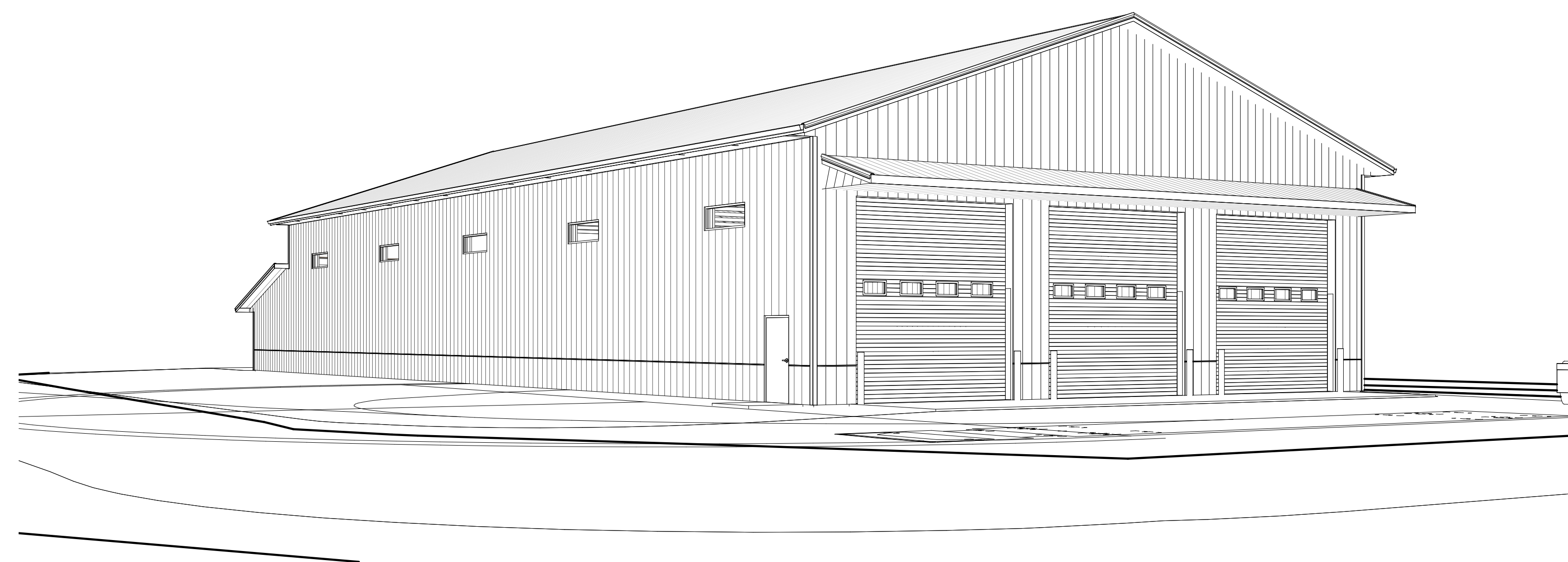
A-200

NOT FOR CONSTRUCTION

-COPYRIGHT NOTICE- ©
 THIS IS A COPYRIGHTED PLAN AND IS THE EXCLUSIVE
 PROPERTY OF MORPH DESIGNS, LLC. IT MAY NOT BE USED,
 BUILT FROM, OR REPRODUCED IN ANY FORM WITHOUT THE
 WRITTEN PERMISSION OF MORPH DESIGNS, LLC.

MORPH DESIGNS, LLC
 Commercial & Residential
 Building & Structural
 Design Services
 Phone: 920-948-7975
 email:
 morphdesigns@sbcglobal.net

| |
|--------------------|
| PRELIMINARY |
| 08/13/2023 |
| |
| |
| |
| |



ERIC MULDER CONSTRUCTION
NEW FABRICATION FACILITY
 SHALER DRIVE
 WAUPUN, WI

| |
|-----------------------|
| SHEET TITLE |
| EXTERIOR PERSPECTIVES |
| |

| |
|---------------------|
| PROJECT DATA |
| DATE: |
| JOB NUMBER: |
| SHEET NUMBER: |

A-201

NOT FOR CONSTRUCTION

-COPYRIGHT NOTICE- ©
 THIS IS A COPYRIGHTED PLAN AND IS THE EXCLUSIVE
 PROPERTY OF MORPH DESIGNS, LLC. IT MAY NOT BE USED,
 BUILT FROM, OR REPRODUCED IN ANY FORM WITHOUT THE
 WRITTEN PERMISSION OF MORPH DESIGNS, LLC.

8/13/2023 9:05:34 AM