



**A G E N D A**  
**CITY OF WAUPUN PLAN COMMISSION**  
Waupun City Hall – 201 E. Main Street, Waupun WI  
Wednesday, May 15, 2024 at 4:30 PM

The Waupun Plan Commission will meet on Wednesday, May 15, 2024 at 4:30 pm in the Waupun City Hall Council Chambers.

The meeting will be held in person and via Zoom. Instructions to join the zoom meeting are below:

To Join Zoom Meeting:

<https://us02web.zoom.us/j/82624763823?pwd=QS9XZUpK0pWeEdTdDNTTDlwQjRaZz09>

Meeting ID: 826 2476 3823

Passcode: 023373

By Phone: (312) 626-6799 US (Chicago)

**CALL TO ORDER**

**ROLL CALL**

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION**--*State name, address, and subject of comments. (2 Minutes)*

***No Public Participation after this point.***

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

**CONSIDERATION - ACTION**

1. Recognition of Mayoral Appointments of Board Members.
2. Nominations and Appointment of Secretary.
3. Establish Day and Month and Time of Board Meeting.
4. Approve minutes of the March 20, 2024 meeting.
5. Public Hearing - Conditional Use Permit Application - Kenneth Brown at 13 S. Watertown St. to operate a Plumbing business per Municipal Code Section 16.04(2)(d)(v).
6. Site Plan Review - 18 Wheeler Truck Wash - 1815 Shaler Dr. **(Plan will be distributed later this week)**

**ADJOURNMENT**

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*

**PLAN COMMISSION** (3 Year Term)

Plan Commission shall regularly meet on the 3rd Wednesday of each month at 4:30pm

The Plan Commission shall consist of the Mayor, who shall be its presiding officer, the Director of Public Works, CDA member, an Alderperson appointed by the Council annually and 3 citizen members.

Simultaneous membership on the Board of Zoning Appeals and Plan Commission is permissible. **The Commissioners shall choose from among their number, a Secretary.**

MAYOR	<i>Serve as Chairman</i>		
ALDERMAN			Michael Matoushek
PUBLIC WORKS DIRECTOR			
CDA MEMBER		4/30/2027	Gary DeJager
CITIZEN		4/30/2026	Elton TerBeest
CITIZEN		4/30/2027	Jerry Medema
CITIZEN		4/30/2027	Jason Whitford

UTILITY GENERAL MANAGER	Ex Officio
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**MINUTES**  
**CITY OF WAUPUN PLAN COMMISSION**  
Waupun City Hall – 201 E. Main Street, Waupun WI  
Wednesday, March 20, 2024 at 4:30 PM

**CALL TO ORDER**

Chairman Bishop called the meeting to order at 4:32 pm.

**ROLL CALL**

Members Present: Jerry Medema, Elton TerBeest

Members Present (via zoom): Mike Matoushek, Jason Whitford

Member Present by Phone: Rohn Bishop

Members Excused: Jeff Daane, Jill Vanderkin

Staff Present: Sue Leahy, Kathy Schlieve, and Dan VandeZande.

Others Present: Christina Kartechner, Cal Hermann, Brian Retzlaf

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--**

None

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

Next meeting will be Wednesday, April 17, 2024.

**CONSIDERATION - ACTION**

1. Approve minutes of the February 21, 2024 meeting.  
Motion by Whitford, 2<sup>nd</sup> by Matoushek to approve the minutes of the February 21, 2024 meeting. Motion carried, unanimously.
2. Public Hearing - Conditional Use Permit Application of Christina Kartechner at 18 S Madison St. to install a projecting sign above the front entrance per Municipal Code Section 16.11(2)(a) and 16.11(5)(e).

Motion by Whitford, 2<sup>nd</sup> by Medema to open the public hearing. Motion carried, unanimously.

Christina is here requesting the sign. Kathy Schlieve stated that this would be very similar to previous requests. The design is consistent with other signs in the downtown area. An ordinance amendment to allow projecting signs as a permitted use will be presented to the Board later in the meeting.

Motion by Whitford, 2<sup>nd</sup> by Matoushek to close the public hearing. Motion carried, unanimously.

Motion by Whitford, 2<sup>nd</sup> by TerBeest to approve the Conditional Use Permit Application of Christina Kartechner at 18 S. Madison St. to install a projecting sign above the front entrance of the building as presented. Motion carried, unanimously.

3. Public Hearing - Conditional Use Permit Application of 18 Wheeler Truck Wash LLC at 1815 Shaler Dr. (Parcel # 292-1315-0933-005) to construct a 2-bay automated truck wash per Municipal Code Section 16.04(4)(d)(i) and (ii).

Motion by Whitford, 2<sup>nd</sup> by TerBeest to open the public hearing. Motion carried, unanimously.

Kathy Schlieve stated that the City has had land reserved in this area for this type of use since 2017. An agreement was reached with Brian Retzlaf to build the truck wash. The patrons served by truck wash, would be some of same patrons that the Travel Plaza serves. There should be a condition if this is approved that truck staging cannot occur on street, that it be contained to the lot. This was originally platted in 2004 but

nothing developed until 2017. There are no water or sewer issues. Dan VandeZande stated that in the developers agreement for this plan there is a provision for not allowing a hot wash on the property and would like to see that as a condition of approval as well.

Motion by Whitford, 2<sup>nd</sup> by TerBeest to close the public hearing. Motion carried, unanimously.

Motion by Matoushek, 2<sup>nd</sup> by TerBeest to approve the Conditional Use Permit applicaiton of 18 Wheeler Truck Wash LLC at 1815 Shaler Dr. to construct a 2-bay automated truck wash with the following conditions: (1) truck staging cannot occur on the street, it must be contained on the lot. (2) Hot wash is not allowed. Motion carried, unanimously.

4. Public Hearing - Ordinance amendment to rezone Lots 1, 2, 3, 4, 5, 7, and 8 of Heritage Ridge Subdivision, and Outlot 1 of Heritage Ridge Subdivision presently zoned in the B-3 Shopping Center Business District to the PCD - Planned Community Development District.

Motion by Whitford, 2<sup>nd</sup> by Medema to open the public hearing. Motion carried, unanimously.

Kathy Schlieve gave a brief explanation for the proposed rezoning. The property is currently zoned B-3 Shopping Business District. The proposed PCD zoning gives us a little more flexibility in developing the rest of the lots. Things have continued to change economically since the subdivision was created in 2004. This could allow for multi-family housing on the north side of the property. Cal with the Travel Plaza addressed the board. He stated that 60-70 trucks a day through the truck stop and their customer counts average 6000 per week. It is a fairly busy corner now and with more businesses it will increase over time. He is all for bringing business into that particular area of town and supports the development. His main concern is the speed limit on STH 26. The City has continually asked the DOT to lower it, but according to their traffic studies, it doesn't warrant the change yet. The City will continue to push the issue.

Motion by Whitford, 2<sup>nd</sup> by TerBeest to close the public hearing. Motion carried, unanimously.

Motion by Whitford, 2<sup>nd</sup> by Matoushek to recommend approval of the ordinance to rezone Lots 1, 2, 3, 4, 5, 7 and 8 of Heritage Ridge Subdivision, and Outlot 1 of Heritage Ridge Subdivision presently zoned in the B-3 Shopping Center Business District to the PCD - Planned Community Development District. Motion carried, unanimously.

5. Public Hearing - Ordinance Amendment to include projecting signs as a permitted use.

Motion by Matoushek, 2<sup>nd</sup> by Medema to open the public hearing. Motion carried, unanimously.

Kathy Schlieve stated that the BID board has requested this change to the ordinance. It is in their 2024 work plan to amend the plan. This ordinance would eliminate the Conditional Use Permit required for projecting signs. Chapter 25 of the Municipal Code will also have to be updated by the CDA Committee at a separate meeting. Sue Leahy said that on the Ordinance as it is written, it states "One projecting may be permitted for each parcel provided no ground sign is located on the property" She would like this changed to "One projecting sign may be permitted for each business address provided no ground sign is located on the property".

We do have some buildings that have multiple businesses in them and not all of them have their own address. If they would wish to have a projecting sign, they would have to seek a Variance from the Zoning Board of Appeals, but would have to prove a hardship for approval of that.

The recommendation from staff is to change the language from one per parcel to one per business address.

Motion by Whitford, 2<sup>nd</sup> by TerBeest to close the public hearing. Motion carried, unanimously.

Motion by Whitford, 2<sup>nd</sup> by Medema to recommend approval of the Ordinance amendment to include projecting signs as a permitted use to Chapter 16.11 of the Municipal Code. With changing the language from “One projecting may be permitted for each parcel...” to “One projecting sign may be permitted for each business address....” Motion carried, unanimously.

6. Discuss Zoning for parcels that will be annexed to the City of Waupun. Parcel #'s 010-1315-0543-015 and 010-1315-0543-014.

Kathy discussed this item. There are two parcels that the City acquired that are immediately across from the Utilities on S. Madison St. As we go through the annexation process, a Zoning classification needs to be included with the Annexation ordinance. Our intent was to possibly extend public safety facilities to this site. Kathy presented maps of current zoning and future land use maps for that area. One idea is PCD because it gives us flexibility. Sue likes the PCD because it has 6 different districts that fall underneath. Dan VandeZande addressed Spot Zoning and said that it's not necessarily illegal, but the Plan Commission and Council need to look at the ideas to make sure the plan is a good fit for that area. The M-1 Light Manufacturing district is included in the PCD District so a light manufacturing building could go there. Heavy Manufacturing would not be allowed. Some of the members did not think this area would be good for residential.

Motion by TerBeest, 2<sup>nd</sup> by Whitford to place this property in the PCD district when it is annexed. Motion carried, unanimously.

#### **ADJOURNMENT**

Motion by TerBeest, 2<sup>nd</sup> by Medema to adjourn the meeting. Motion carried, meeting adjourned at 5:08 pm

Minutes prepared by Trista Steinbach

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be on Wednesday the 15<sup>th</sup> day of May, 2024 at 4:30 pm, where there will be considered an application for a Conditional Use Permit of:

1. Kenneth Brown at 13 S. Watertown St. to operate a Plumbing business per Municipal Code Section 16.04(2)(d)(v).

The meeting will be held in person and via Zoom. Instructions to join the zoom meeting are below:

To Join Zoom Meeting

<https://us02web.zoom.us/j/82624763823?pwd=QS9XZUpwK0pWeEdTdDNTTDlwQjRaZz09>

Meeting ID: 826 2476 3823

Passcode: 023373

By Phone: (312) 626-6799 US (Chicago)

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 30<sup>th</sup> day of April, 2024

Susan Leahy  
Zoning Administrator  
City of Waupun

(PUBLISH May 7, 2024)

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Fee: \$150.00 Paid: 4029-04 Date: 4-29-29 *ck# 2833*



**CITY OF WAUPUN**  
201 E. Main Street  
WAUPUN, WISCONSIN 53963

# Conditional Use Permit Application

Applicant Name: Kenneth Brown Phone # 920-960-6037

Address: N3840 Savage Rd, E-mail: kbrownplumbingllc@gmail.com

City, State, Zip Brandon, WI 53919

Property Description and address:  
13 S Watertown St, Waupun WI. Parcel # 292-1315-0422-066

Conditional Use Requested:  
Plumbing shop

Zoning Ordinance Section Involved:  
16.04(2)(d)(v)  
Plumbing + HEATING SALES SERVICES PERMITTED w/CUP

Date Presented to Plan Commission: \_\_\_\_\_

CONDITIONAL USE:  Granted  Denied

Comments:  
\_\_\_\_\_  
\_\_\_\_\_

Signature of Applicant (s) Jennifer Brown

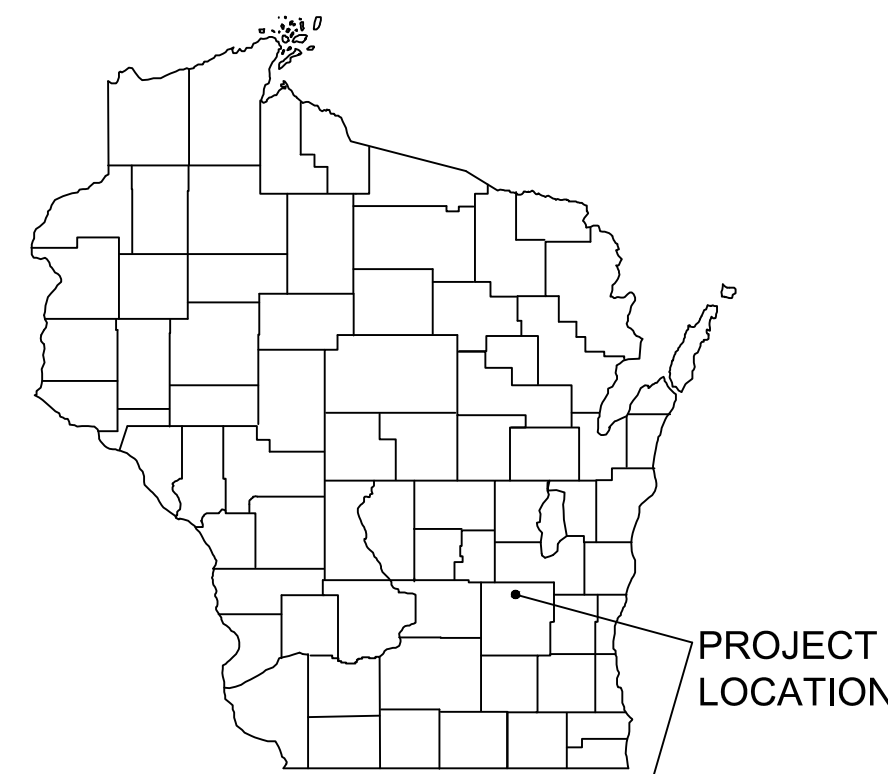
# WAUPUN TRUCK WASH PROJECT

## CITY OF WAUPUN DODGE COUNTY, WI

### SHEET INDEX

**G - GENERAL SHEETS**  
 G 1 TITLE SHEET  
 G 2 - 4 DETAILS

**ST - SITE SHEETS**  
 ST 1 EXISTING SITE & DEMOLITION PLAN  
 ST 2 SITE PLAN  
 ST 3 GRADING & EROSION CONTROL PLAN  
 ST 4 UTILITY PLAN  
 ST 5 TRUCK MOVEMENT EXHIBIT



PROJECT LOCATION



**LOCATION MAP**  
NOT TO SCALE

### UTILITIES

**GAS:**  
 ALLIANT ENERGY  
 120 E. MAPLE AVENUE  
 BEAVER DAM, WI 53916  
 PHONE: 920-887-6041  
 CONTACT: JEREMY RENTMEESTER

**ELECTRIC:**  
 WAUPUN UTILITIES  
 817 S. MADISON STREET  
 WAUPUN, WI 53963  
 PHONE: 920-324-7920  
 CONTACT: STEVE BROOKS

**TELEPHONE:**  
 AT&T  
 70 E. DIVISION STREET, FLOOR 1  
 FOND DU LAC, WI 54935  
 PHONE: 920-929-1013  
 CONTACT: CHUCK BARTELT

**SANITARY & WATER:**  
 WAUPUN UTILITIES  
 817 S. MADISON STREET  
 WAUPUN, WI 53963  
 PHONE: 920-324-7920  
 CONTACT: STEVE SCHRAMM

**STORM SEWER & STREET:**  
 CITY OF WAUPUN  
 201 E. MAIN STREET  
 WAUPUN, WI 53963  
 PHONE: 920-210-8200  
 CONTACT: JEFF DAANE

**CATV:**  
 CHARTER COMMUNICATIONS  
 N3760 C.T.H. "DJ"  
 JUNEAU, WI 53039  
 PHONE: 920-349-3201  
 CONTACT: NICK FRASE

### LEGEND

— W —	EXISTING WATER MAIN
— W — X —	EXISTING WATER MAIN, VALVE & HYDRANT
— W — O —	EXISTING WATER SERVICE & CURB STOP
— W — X — O —	PROPOSED WATER MAIN, VALVE, & HYDRANT
— W — O — X —	PROPOSED WATER SERVICE & CURB STOP
— SAN — S —	EXISTING SANITARY SEWER & MANHOLE
— SAN — S — O —	PROPOSED SANITARY SEWER & MANHOLE
— FM —	EXISTING FORCEMAIN
— SS —	EXISTING STORM SEWER & INLET
— SS — O —	PROPOSED STORM SEWER & INLET
— SS — O — X —	PROPOSED STORM SEWER & MANHOLE
— E —	BURIED ELECTRIC
— G —	BURIED GAS & VALVE
— TV —	BURIED CABLE TELEVISION
— T —	BURIED TELEPHONE
— FO —	BURIED FIBER OPTICS
— OH —	OVERHEAD UTILITY
— R —	RAILROAD TRACKS
— C —	EXISTING CURB & GUTTER
— C — X —	PROPOSED CURB & GUTTER
— S —	EXISTING SIDEWALK
— S — X —	PROPOSED SIDEWALK
— CP —	EXISTING CULVERT PIPE
— CP — X —	PROPOSED CULVERT PIPE
— F —	FENCE LINE
— D —	DRAINAGE ARROW
— SF —	SILT FENCE
— ROW —	RIGHT-OF-WAY
— B —	BASELINE
— P —	PROPERTY LINE
— TL —	TREE LINE
●	BENCHMARK
●	IRON PIPE
●	IRON ROD
▲	CONTROL POINT
○	UTILITY POLE & GUY
⊙	SOIL BORING
×	LIGHT POLE
⊞	PEDESTAL
⊞	STREET SIGN
⊞	MAILBOX
⊞	FLAGPOLE
⊞	TREE - DECIDUOUS
⊞	TREE - CONIFEROUS
⊞	TREE TO BE REMOVED

### ABBREVIATIONS

R/W	= RIGHT OF WAY	SG	= SPOT GRADE	P.C.	= POINT OF CURVATURE
MH	= MANHOLE	T/C	= TOP OF CURB	P.T.	= POINT OF TANGENCY
PROP.	= PROPOSED	FOW	= FRONT OF SIDEWALK	P.I.	= POINT OF INTERSECTION
EX.	= EXISTING	INV	= INVERT	B.V.C.	= BEGINNING OF VERTICAL CURVATURE
CONC.	= CONCRETE	W.M.	= WATERMAIN	E.V.C.	= END OF VERTICAL CURVATURE
HYD.	= HYDRANT	SAN.	= SANITARY	P.V.I.	= POINT OF VERTICAL INTERSECTION
NOR.	= NORMAL	FL	= FLOW LINE	E/P	= EDGE OF PAVEMENT
TYP.	= TYPICAL	STM.	= STORM	E/G	= EDGE OF GRAVEL
TAN.	= TANGENT	ELEV.	= ELEVATION	R.C.P.	= REINFORCED CONCRETE PIPE
FF	= FIRST FLOOR	INC.	= INCIDENTAL	H.E.R.C.P.	= CORRUGATED METAL PIPE
YD	= YARD GRADE	STA.	= STATION	D.I.	= DUCTILE IRON PIPE
C/L	= CENTERLINE	SWR.	= SEWER	P.V.C.	= POLYVINYL CHLORIDE PIPE
CONN.	= CONNECTION	BOC	= BACK OF CURB	TW	= TOP GRADE OF INTEGRAL SIDEWALK
CEN.	= CENTER	LF	= LINEAR FEET	BW	= BOTTOM GRADE OF INTEGRAL SIDEWALK

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

NOTE:  
 UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

PROJECT DATE	NO.	DATE	REVISION	BY
DESIGNED BY: Init	-	-	-	-
CHECKED BY: Init	-	-	-	-

**MSA** ENGINEERING | ARCHITECTURE | SURVEYING  
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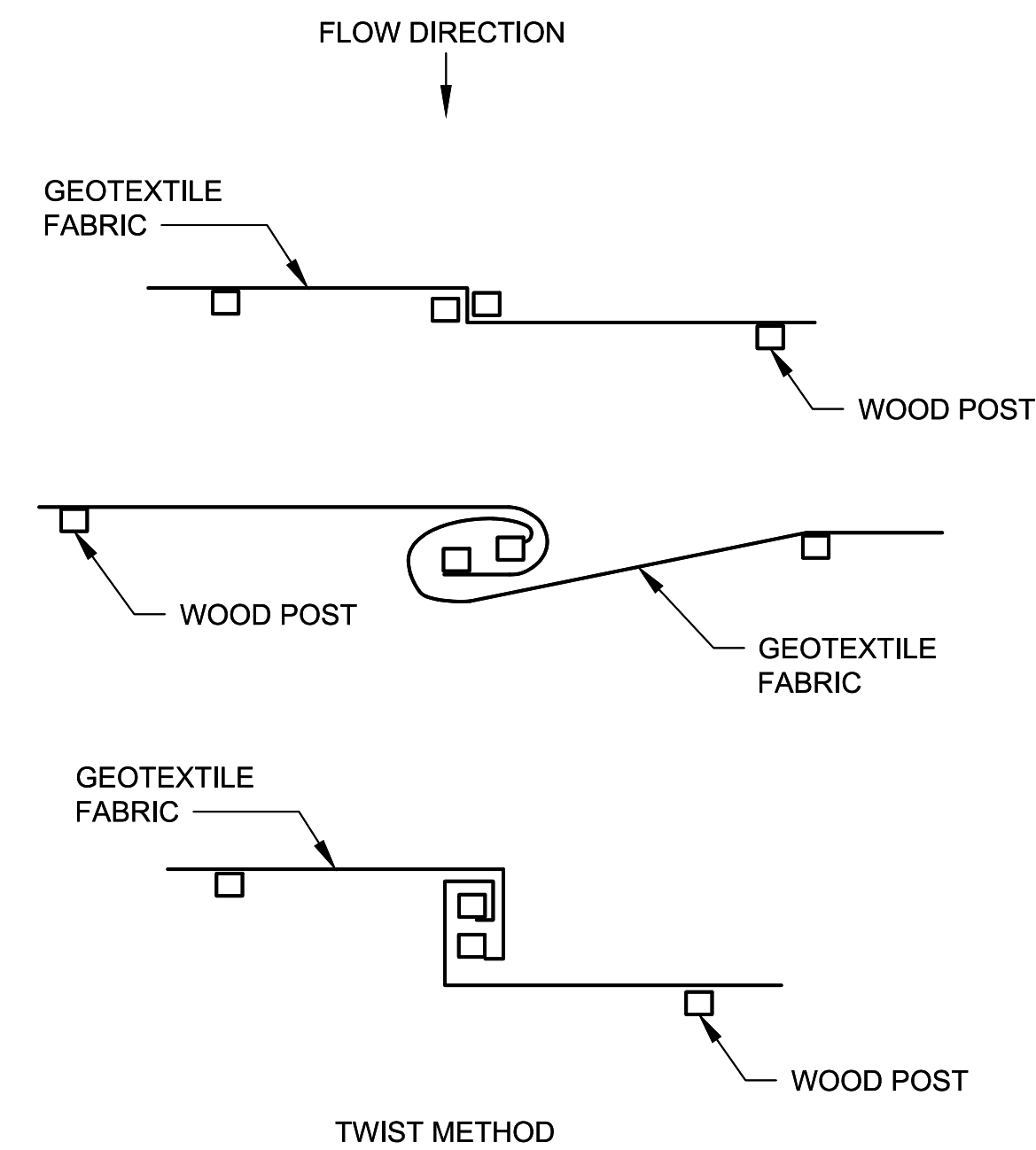
WAUPUN TRUCK WASH PROJECT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

TITLE SHEET

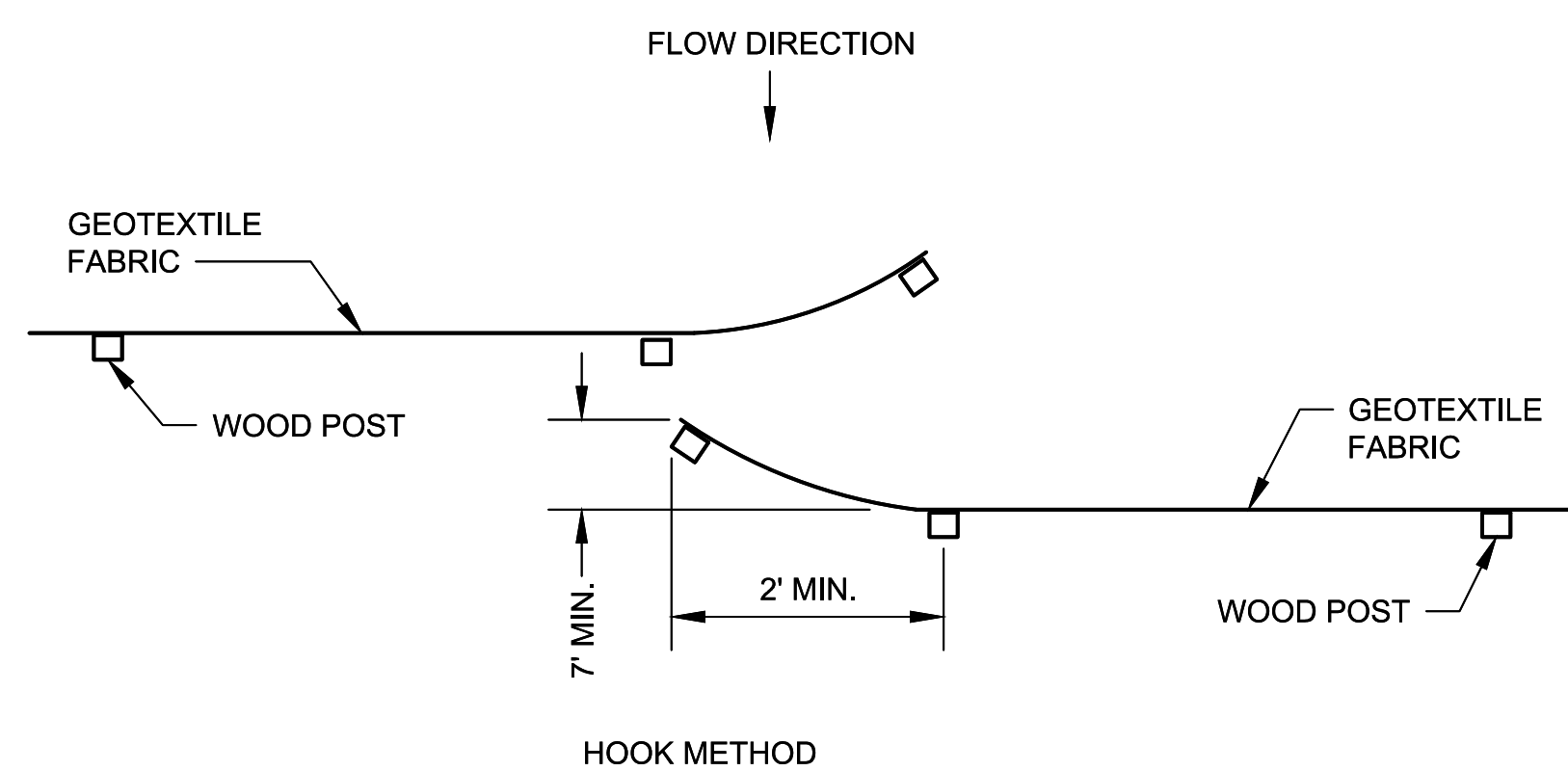
PROJECT NO.  
22489000  
 SHEET  
G1



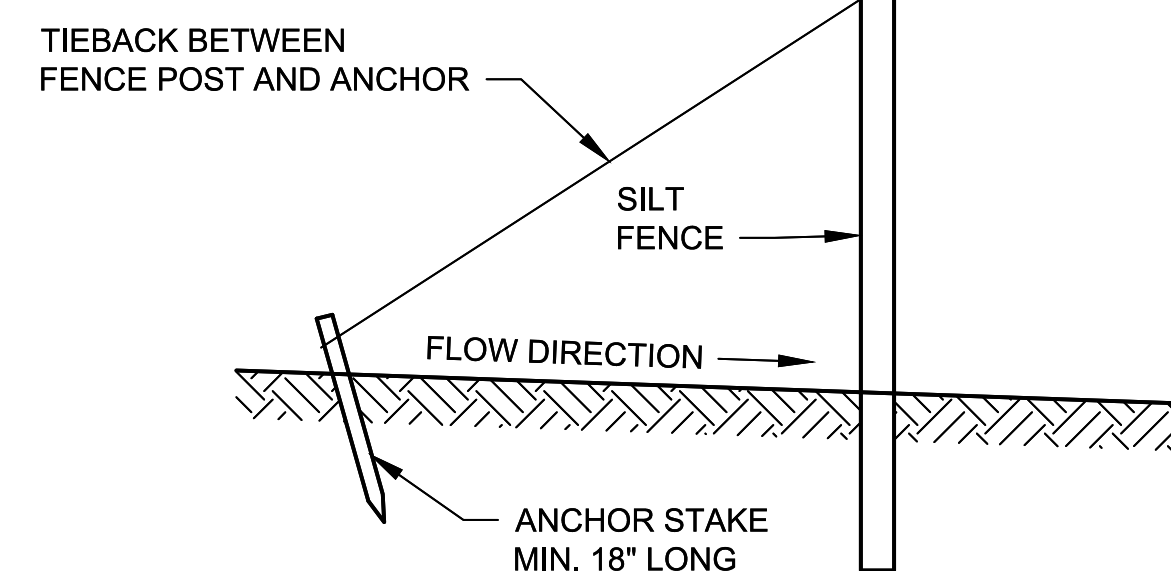
**CONSTRUCTION SITE  
EROSION CONTROL REQUIREMENTS**



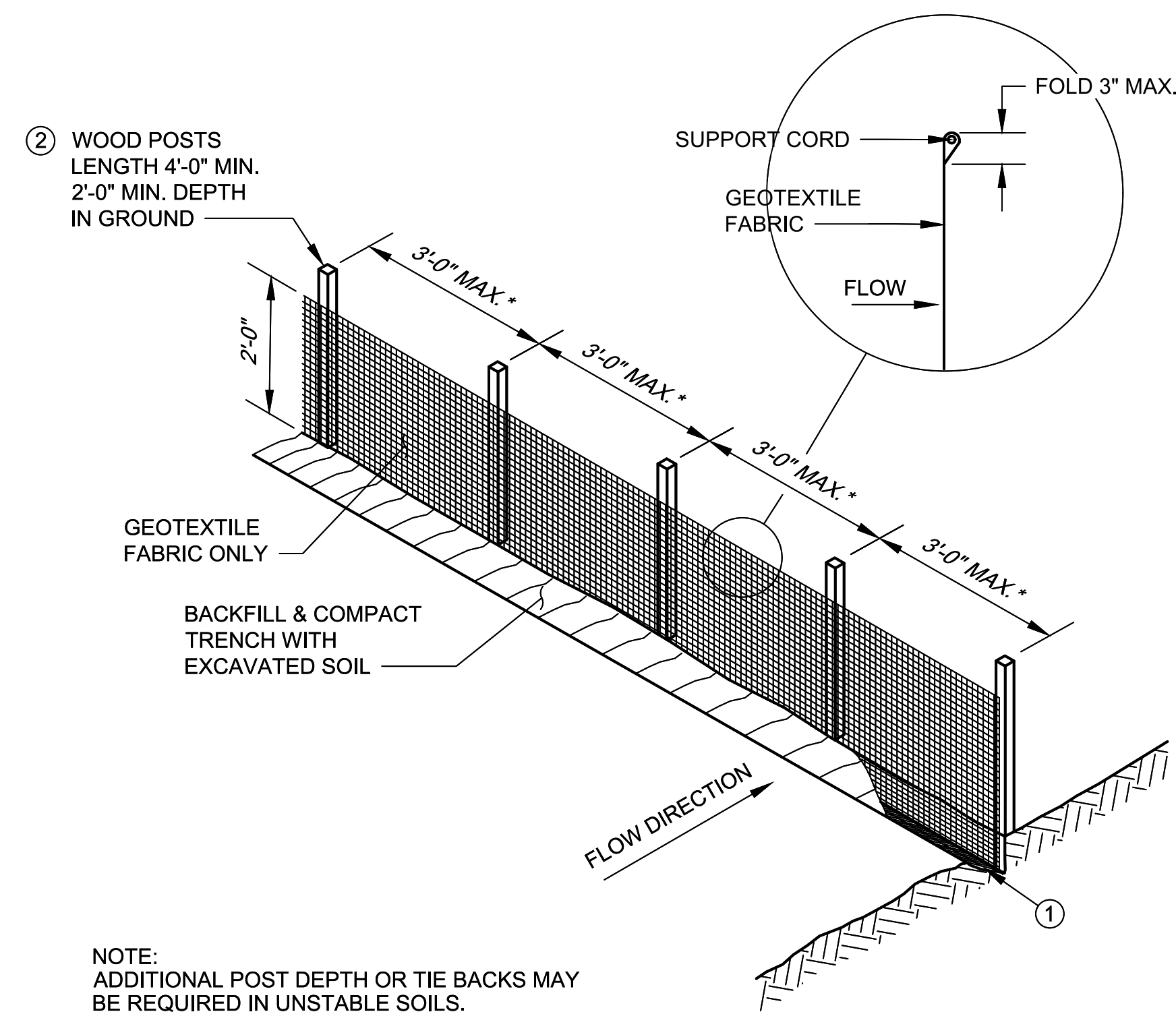
**JOINING TWO LENGTHS OF SILT FENCE** ③



**HOOK METHOD**



**SILT FENCE TIE BACK  
(WHEN REQUIRED BY THE ENGINEER)**



**SILT FENCE**

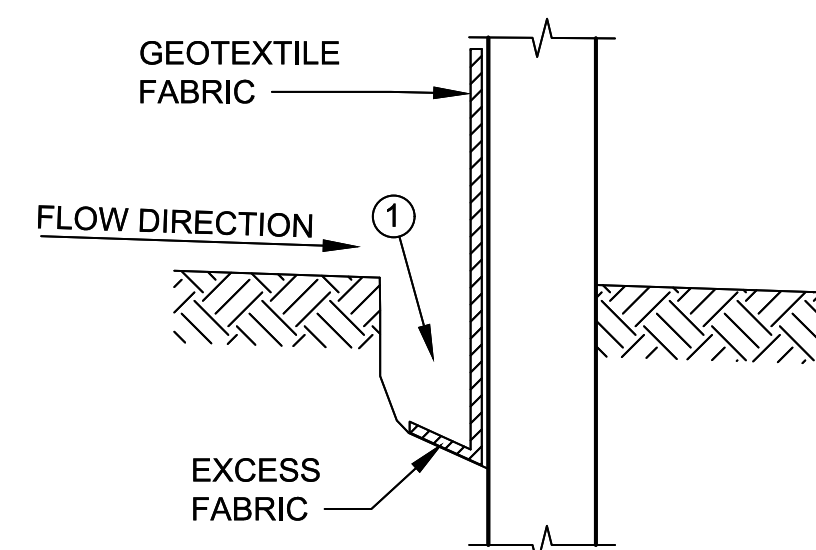
NOTE:  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

\* 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED, OR IF THE SILT FENCE IS FACTORY ASSEMBLED.

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

**GENERAL NOTES**

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



**TRENCH DETAIL**

- SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- THE AREA OF EROSION EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEPED AND/OR SCRAPPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
	Init	-	-	-	-
	DESIGNED BY:	Init	-	-	-
	CHECKED BY:	Init	-	-	-



ENGINEERING | ARCHITECTURE | SURVEYING  
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**WAUPUN TRUCK WASH PROJECT**  
CITY OF WAUPUN  
DODGE COUNTY, WI

**DETAILS**

PROJECT NO.  
**22489000**  
SHEET  
**G2**

**GENERAL TRAFFIC CONTROL NOTES:**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE HIS/HER WORK TO MINIMIZE THE INCONVENIENCE TO THE RESIDENTS AND BUSINESSES LOCATED ADJACENT TO THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWO DAYS PRIOR TO CLOSING ANY SECTION OF STREET.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD). THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL DURING THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL INSPECT ALL TRAFFIC CONTROL MEASURES DAILY AND PERFORM ANY NECESSARY MAINTENANCE OR ADJUSTMENTS BASED ON THE ACTIVITIES PLANNED. ADDITIONAL TRAFFIC CONTROL MEASURES NOT SPECIFIED WITHIN THE CONTRACT DOCUMENTS MAY BE REQUIRED DURING CONSTRUCTION BY THE CITY AND ENGINEER (INCIDENTAL TO CONSTRUCTION). THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND CITY STAFF RELATIVE TO THE PLACEMENT AND MAINTENANCE OF ALL BARRICADES AND OTHER MEASURES USED.
- AFTER ALL CONSTRUCTION RELATED ACTIVITIES ARE COMPLETED, THE CONTRACTOR SHALL REMOVE ALL TRAFFIC CONTROL MEASURES. ANY DISTURBANCE OR DAMAGE RESULTING FROM THE REMOVAL OF THE TRAFFIC CONTROL MEASURES SHALL BE RESTORED OR REPAIRED TO THE SATISFACTION OF THE CITY.

**GENERAL GRADING NOTES:**

- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, AND ANY CONDITIONS OF APPROVAL..
- ALL PROPOSED GRADES SHOWN WITHIN THE PLANS ARE FINISHED GRADES. UNLESS SPECIFIED ON THE PLAN, THE CONTRACTOR SHALL CONSTRUCT/GRADE ALL CONCRETE, ASPHALT, AND GRASS AREAS TO A MINIMUM SLOPE OF 1.0%, 1.0%, AND 1.0%, RESPECTIVELY. THE MAXIMUM SURFACE SLOPE ACROSS HANDICAP PARKING STALLS AND WALKWAYS IN ANY DIRECTION SHALL BE 2.0% AND ACROSS HANDICAP ACCESSIBLE RAMPS SHALL BE 8.0%. THE MAXIMUM SURFACE SLOPE ACROSS THE PROPOSED PAVEMENT SHALL BE 6.0% UNLESS SPECIFIED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, PRIOR TO CONSTRUCTION, OF ANY AREAS WHICH DO NOT SATISFY THE ABOVE MENTIONED SLOPES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE HIS/HER OWN COMPUTATIONS FOR DETERMINATION OF EARTHWORK AND TOPSOIL QUANTITIES PRIOR TO BIDDING. IT IS RECOMMENDED THAT EACH BIDDER VISIT THE SITE TO VERIFY THE EXISTING CONDITIONS. NO CHANGES WILL BE MADE IN THE BID QUANTITY AMOUNT OR UNIT PRICE UNLESS CHANGES ARE MADE TO THE CONTRACT DRAWINGS AFTER BIDDING OF THE CONTRACT.
- NO STOCKPILES (TOPSOIL OR EARTH MATERIAL) SHALL REMAIN AFTER ALL GRADING WORK IS COMPLETED UNLESS DIRECTED OTHERWISE BY THE OWNER. IF AFTER THE COMPLETION OF ALL SITE GRADING AND SUBGRADE PREPARATION WORK THERE IS EXCESS FILL MATERIAL, THE CONTRACTOR SHALL HAUL/STOCKPILE THE MATERIAL AT A LOCATION(S) AS DESIGNATED BY THE OWNER OR DISPOSE OF THE MATERIAL AS DIRECTED BY THE OWNER. IF THERE IS A SHORTAGE OF FILL MATERIAL, THE CONTRACTOR SHALL PURCHASE/IMPORT THE MATERIAL FROM OFFSITE. ALL GRADING AND SUBGRADE PREPARATION WORK AS WELL AS ANY DISPOSAL OF EXCESS MATERIAL AND/OR IMPORTING OF MATERIAL SHALL BE INCIDENTAL TO THE UNCLASSIFIED EXCAVATION BID ITEM.
- FILL PLACED WITHIN 10 FEET OR LESS FROM THE OUTSIDE EDGE OF A BUILDING SHALL BE SUITABLE EXCAVATED SOIL FREE OF ORGANIC DEBRIS, CLAY BALLS, AND AGGREGATE LARGER THAN 1.5-INCHES. THE FILL MATERIAL WITHIN THESE AREAS SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 6-INCH TO 8-INCH MAXIMUM LIFTS TO AT LEAST 95 PERCENT MAXIMUM DRY DENSITY PER MODIFIED PROCTOR (ASTM D1557). ALL OTHER FILL AREAS WITHIN THE PROJECT SITE SHALL BE SPREAD AND COMPACTED IN 12-INCH MAXIMUM LIFTS TO AT LEAST 93 PERCENT DRY DENSITY PER MODIFIED PROCTOR (ASTM D1557).

**GENERAL PAVING NOTES:**

- ALL PROPOSED PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, AND ANY CONDITIONS OF APPROVAL.
- ALL SAWCUTTING OF EXISTING ASPHALT AND CONCRETE SHALL BE INCIDENTAL TO PAVING.

**GENERAL RESTORATION NOTES:**

- ALL PROPOSED RESTORATION SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, AND ANY CONDITIONS OF APPROVAL.
- ALL DISTURBED OPEN SPACE AREAS SHALL BE TOPSOILED (MINIMUM 6" THICK), SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH THE CONSTRUCTION PLANS, THE PROJECT SPECIFICATIONS, THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND STREET CONSTRUCTION, AND THE WISCONSIN DNR CONSERVATION PRACTICE STANDARDS 1058 & 1059.

**WORK OUTSIDE OF PROJECT PROPERTY NOTES:**

- ALL DISTURBANCE WITHIN THE EXISTING CITY RIGHT-OF-WAY SHALL BE KEPT TO A MINIMUM. ALL PAVEMENT, GRASS AREAS, ETC. DISTURBED WITHIN THESE AREAS DURING CONSTRUCTION SHALL BE RESTORED EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITIONS AND TO THE SATISFACTION OF THE CITY. EXISTING GRAVEL BASE AND PAVEMENT DISTURBED WITHIN THE EXISTING STREET SHALL BE RESTORED WITH EQUAL THICKNESS AND WORKMANSHIP TO EXISTING CONDITIONS OR AS DIRECTED BY THE CITY. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STAFF REGARDING BACKFILL AND COMPACTION REQUIREMENTS FOR ANY WORK PERFORMED WITHIN THESE AREAS.

**GENERAL UTILITY NOTES:**

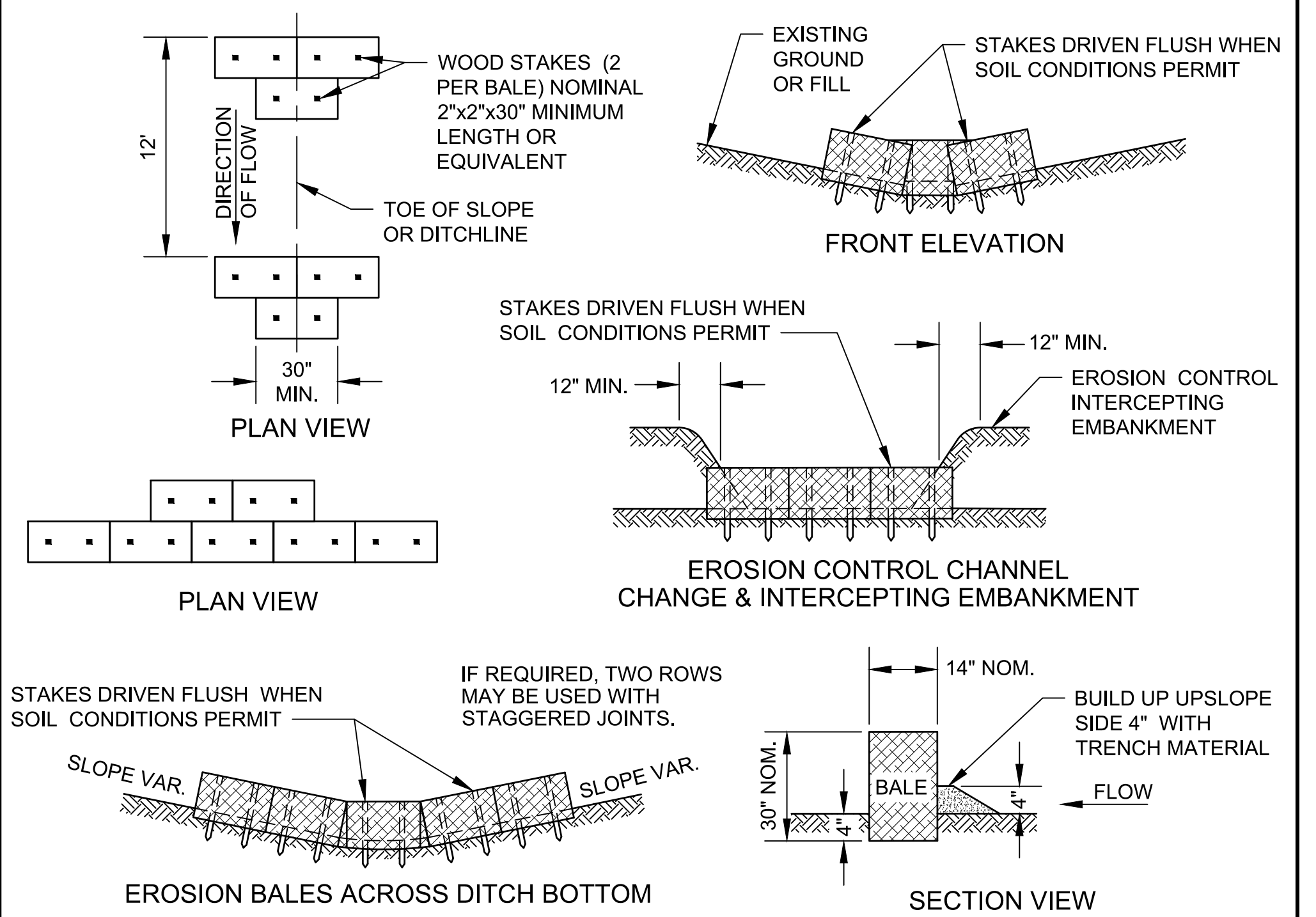
- ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, THE LATEST EDITION OF THE WISCONSIN STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION (FOR SANITARY & WATER), THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (STORM), AND ANY CONDITIONS OF APPROVAL.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION AS MEASURED BY THE FIELD ENGINEER AND THE CONTRACTOR SHALL BE PAID ACCORDING TO THE ACTUAL LENGTH OF PIPING INSTALLED.
- A 7.0 FEET DEPTH OF COVER OVER ALL NEWLY INSTALLED WATER PIPING IS DESIRED AND SHALL BE MAINTAINED UNLESS FIELD CONDITIONS PROHIBIT. THE CONTRACTOR SHALL MAINTAIN A MINIMUM DEPTH OF COVER OF 5.0 FEET UNLESS DIRECTED OTHERWISE BY THE OWNER. ALL NEWLY INSTALLED WATER PIPING WITH COVER LESS THAN 7.0 FEET SHALL BE INSULATED ACCORDING TO THE SPECIFICATIONS AND INSULATION DETAIL. INSULATION SHALL ALSO BE INSTALLED AT ALL LOCATIONS WHERE STORM SEWER CROSSES THE WATER PIPING, WATER SERVICES, AND HYDRANT LEADS. MINIMUM VERTICAL SEPARATION DISTANCE WHERE WATER PIPING CROSSES OVER SEWERS IS 6 INCHES. MINIMUM VERTICAL SEPARATION DISTANCE WHERE WATER PIPING CROSSES UNDER SEWERS IS 18 INCHES.
- THE CONTRACTOR SHALL COORDINATE SANITARY AND WATER LATERAL LOCATIONS WITH THE OWNER AND THE BUILDING PLANS PRIOR TO CONSTRUCTION. UNLESS DIRECTED OTHERWISE BY THE OWNER, THE CONTRACTOR SHALL STUB THE SANITARY AND WATER LATERALS APPROXIMATELY 5 FEET FROM THE PROPOSED BUILDING LOCATION AND MARK ALL STUBS WITH A 2x4' EXTENDING A MINIMUM OF 2 FEET ABOVE THE FINISHED GROUND SURFACE.
- TRACER WIRE SHALL BE INSTALLED ALONG ALL SANITARY LATERALS, WATER SERVICES, AND STORM SEWER (INCIDENTAL TO THE SPECIFIC PIPING). TRACER WIRE SHALL BE SURFACED AT ALL WATER SERVICE VALVES (TO BUILDINGS), SANITARY LATERAL TRACER WIRE TERMINAL BOXES, AND STORM INLETS AND MANHOLES.
- ALL SAWCUTTING, BENDS, FERNGO CONNECTORS, FITTINGS, AND OTHER MATERIALS NOT SPECIFICALLY ITEMIZED ON THE BID BUT NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM AND TO MAKE A WATERTIGHT CONNECTION TO THE EXISTING SANITARY, WATER, OR STORM PIPING SHALL BE INCIDENTAL TO CONSTRUCTION. ALL PROPOSED SANITARY, WATER, AND STORM PIPING CONNECTIONS INTO EXISTING PIPING OR STRUCTURES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL EXISTING SANITARY, WATER, AND STORM PIPE ABANDONMENT AS WELL AS THE REMOVAL OF EX. MANHOLES, HYDRANTS, VALVE MANHOLES, AND VALVE BOXES THAT ARE NO LONGER IN USE SHALL BE INCIDENTAL TO CONSTRUCTION. ALL EXISTING SANITARY, WATER OR STORM PIPING TO BE ABANDONED SHALL BE MADE BY COMPLETELY FILLING EACH END OF THE PIPE WITH POUR-IN-PLACE CONCRETE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (SHORING, BRACING, ETC.) AND SHALL CAREFULLY INSTALL THE NEW SANITARY SEWER, WATER, AND STORM SEWER IMPROVEMENTS SO AS NOT TO DISTURB ANY EXISTING PRIVATE UTILITY STRUCTURES OR PIPING AS WELL AS TO PREVENT ANY DISTURBANCE TO EXISTING SITE FEATURES THAT ARE TO REMAIN UNDISTURBED. ANY DISTURBANCE OR DAMAGE (AS DETERMINED BY THE OWNER) SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

**GENERAL PROJECT NOTES:**

- ALL EXISTING UTILITIES WITHIN THIS PLAN ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER OR OWNER FOR THEIR ACCURACY OR DEGREE OF COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE, LOCATION, AND ELEVATION OF ALL UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGING ANY SUCH UTILITIES. THE CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT (800) 242-8511 PRIOR TO ANY CONSTRUCTION SO THAT THE SITE MAY BE MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE APPARENT, BRING TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR RE-DESIGN MAY OCCUR.
- UNLESS SPECIFIED WITHIN THIS CONSTRUCTION PLAN, NO EXISTING TREES SHALL BE DISTURBED OR DAMAGED. THE OWNER, IN WRITING, MUST APPROVE THE REMOVAL OF ANY EXISTING TREES IF THE CONTRACTOR BELIEVES THAT AN EXISTING TREE IS IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. NO TREES OR TREE STUMPS SHALL BE BURIED ONSITE.
- EXISTING KNOWN SURVEY MONUMENTS (SHOWN ON THE PLANS) ENCOUNTERED DURING CONSTRUCTION ARE TO BE PRESERVED AND LEFT UNDISTURBED. SHOULD THE CONTRACTOR ENCOUNTER UNKNOWN MONUMENTS, PROPERTY STAKES, ETC. (NOT SHOWN ON THE PLANS), THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO ANY DISTURBANCE. FAILURE TO PRESERVE SUCH MONUMENTS SHALL NOT BE ALLOWED AND REPLACEMENT BY A REGISTERED LAND SURVEYOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ELEVATIONS SHOWN WITHIN THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM.
- REFER TO THE PROJECT ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILS PERTAINING TO THE PROPOSED BUILDINGS, ASSOCIATED ARCHITECTURAL FEATURES, AND SITE WORK SURROUNDING THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.) REGARDING THE LOCATION, SIZE, DEPTH, ETC. OF EXISTING AND PROPOSED SERVICE LINES WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY PRIVATE UTILITIES THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAREFULLY WORK AROUND EXISTING UTILITY LINES, UTILITY POLES, UTILITY STRUCTURES, GUY WIRES, ETC. THAT ARE TO REMAIN UNDISTURBED. THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TEMPORARY SHORING OR OTHER MEASURES TO PROTECT THESE FEATURES DURING CONSTRUCTION ACTIVITIES. (ALL INCIDENTAL TO CONSTRUCTION)

**GENERAL EROSION CONTROL NOTES:**

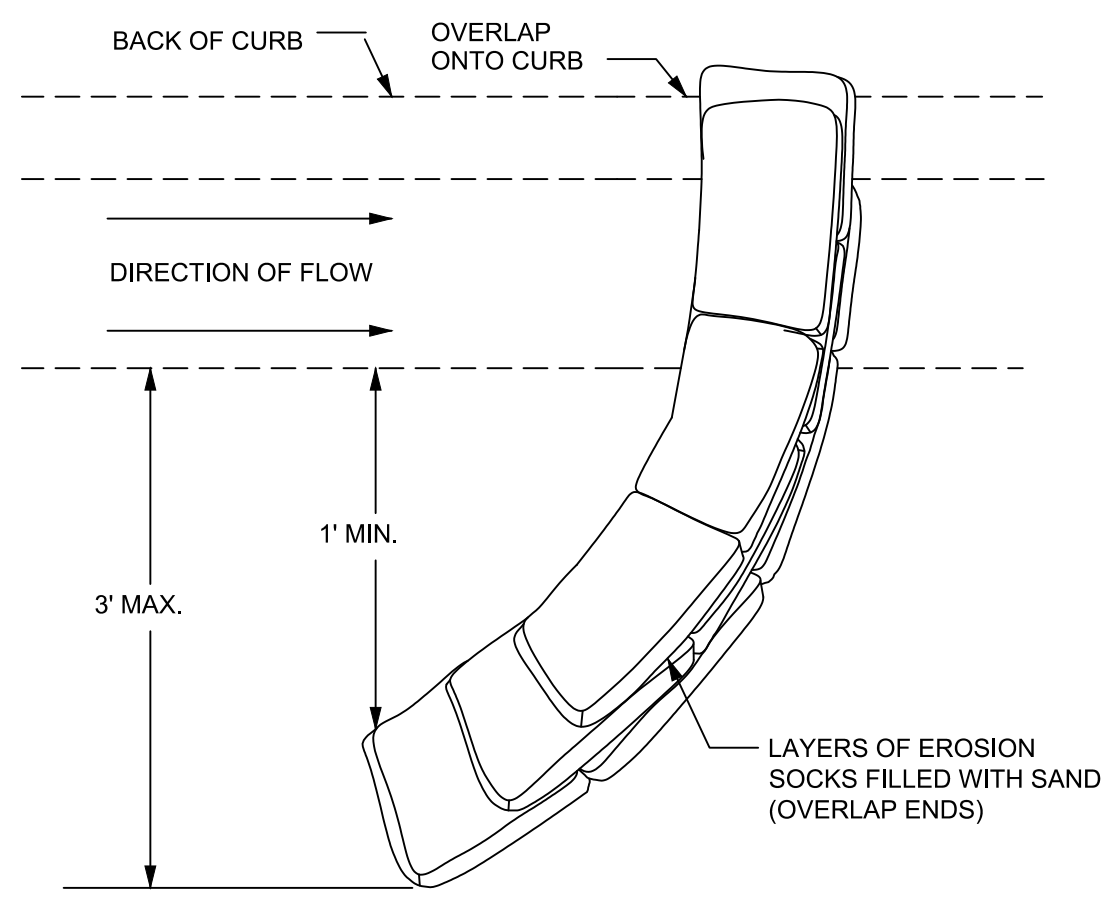
- THE CONTRACTOR SHALL INSTALL ALL NECESSARY EROSION CONTROL MEASURES TO PREVENT EROSION ONTO THE ADJACENT PROPERTIES AND INTO THE ADJACENT EXISTING STREETS. ADDITIONAL EROSION CONTROL, NOT SHOWN ON THIS PLAN, MAY BE REQUIRED BY THE FIELD ENGINEER OR BY THE CITY DURING CONSTRUCTION (INCIDENTAL). EROSION CONTROL AND SITE STABILIZATION MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE LATEST EDITION OF THE WISCONSIN DNR EROSION CONTROL TECHNICAL STANDARDS, ANY LOCAL EROSION CONTROL & STORMWATER ORDINANCES, AND ANY CONDITIONS OF APPROVAL. INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK. SEE THE "CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS" FOR FURTHER EROSION CONTROL REQUIREMENTS AND NOTES.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STREET INLETS, MANHOLES, DRAINAGE SWALES, CULVERTS, ETC. FROM SILTATION DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION OCCURS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED, MAINTAINED, AND DOCUMENTED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME. THESE INSPECTIONS SHALL BE DOCUMENTED BY THE CONTRACTOR AND AVAILABLE TO THE ENGINEER AND/OR OWNER UPON REQUEST. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OR INCLUDED IN THE CORRESPONDING EROSION CONTROL PRICE BID (IF APPLICABLE).



**GENERAL NOTES:**

- DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
- BALES SHALL BE PLACED END TO END OR OVERLAPPING AT RIGHT ANGLES TO THE DIRECTION OF FLOW. BALES SHALL EXTEND FAR ENOUGH UP THE SLOPES TO PREVENT ERODING AROUND ENDS.
- BALES SHALL BE PLACED WITH TWINE OR TIE WIRES PARALLEL TO THE GROUND.
- STAKES TO BE BATTERED IN OPPOSITE DIRECTIONS.
- BALES SHALL BE EMBEDDED 4 INCHES MINIMUM.

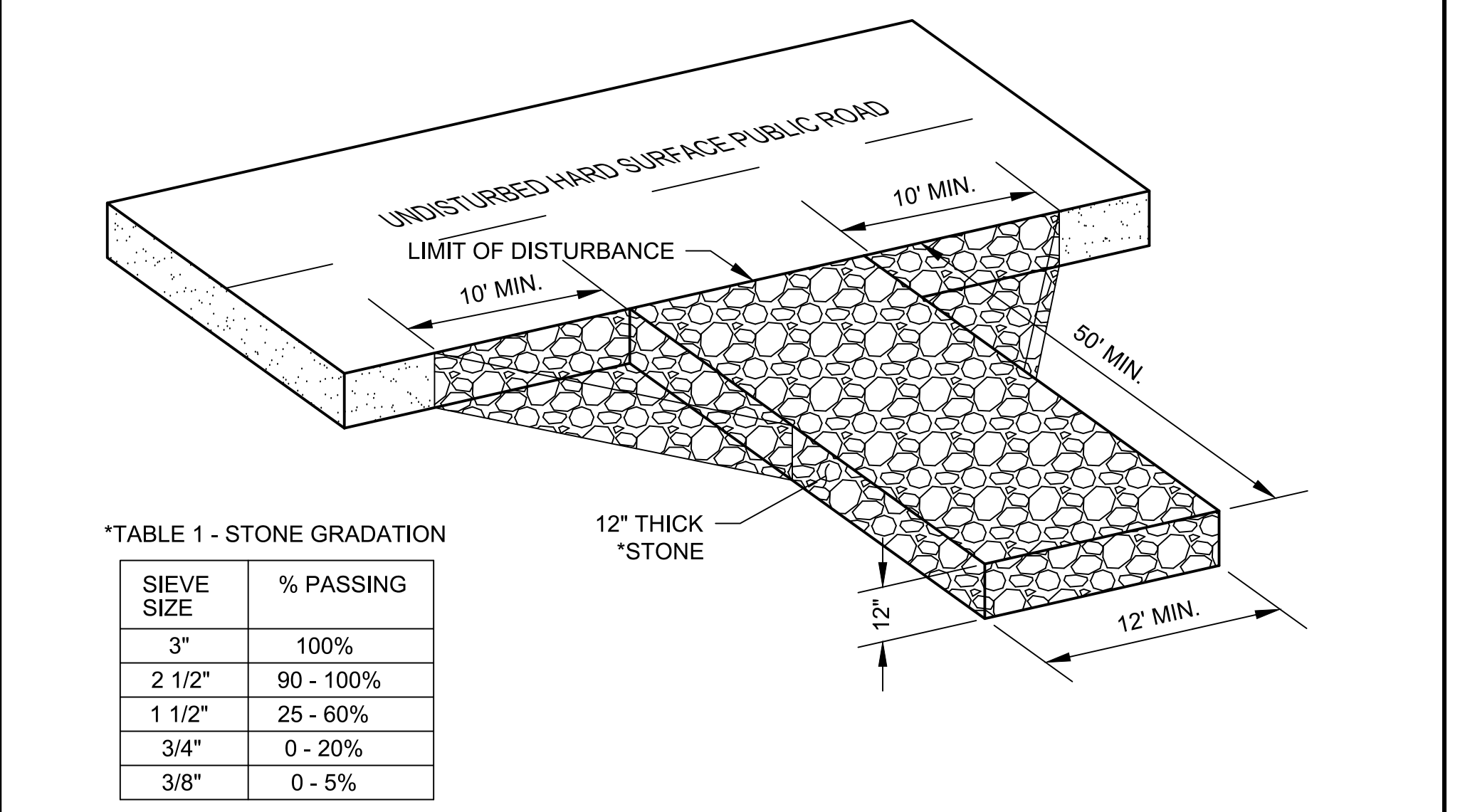
**EROSION BALES IN DRAINAGE WAY DETAIL**  
NO SCALE



**GENERAL NOTES:**

- DETAILS OF CONSTRUCTION SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- ALTERNATIVE MATERIALS PLANNED BY THE CONTRACTOR SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO INSTALLATION.

**TEMPORARY EROSION BARRIER DETAIL**  
NO SCALE



**NOTES:**

- TRACKING PAD WIDTH SHALL BE AT LEAST THE FULL WIDTH OF HTE EGRESS POINT OR 12" WIDE MINIMUM.
- TRACKING PAD LENGTH SHALL BE 50' FOR CONSTRUCTION SITES, 30' FOR SINGLE FAMILY RESIDENTIAL, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF TRACKING PAD MAY NEED TO BE INCREASE OR ADDITIONAL SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BY THE CONTRACTOR IS SEDIMENT TRACK-OUT OCCURS.
- GEOTEXTILE FABRIC TYPE R SHALL BE INSTALLED BETWEEN THE STONE AND SUBGRADE ON SITES WHERE HIGH GROUND WATER IS OBSERVED.
- CONTRACTOR SHALL CLEAN STREET/ROADWAY ADJACENT TO ALL CONSTRUCTION ACCESS POINTS AT THE END OF EACH WORKDAY OR MORE FREQUENTLY IF REQUESTED.

**STONE TRACKING PAD**  
NO SCALE

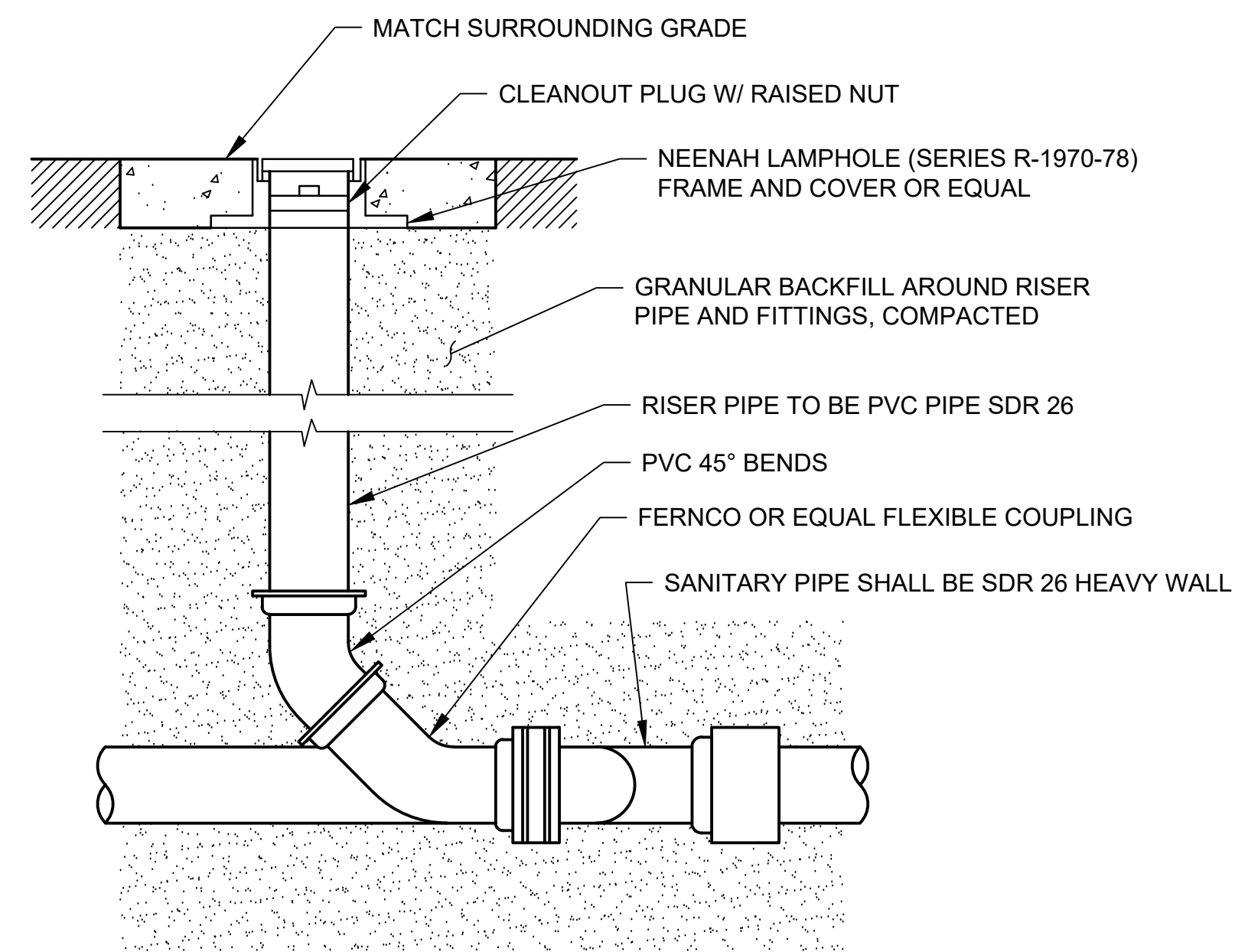
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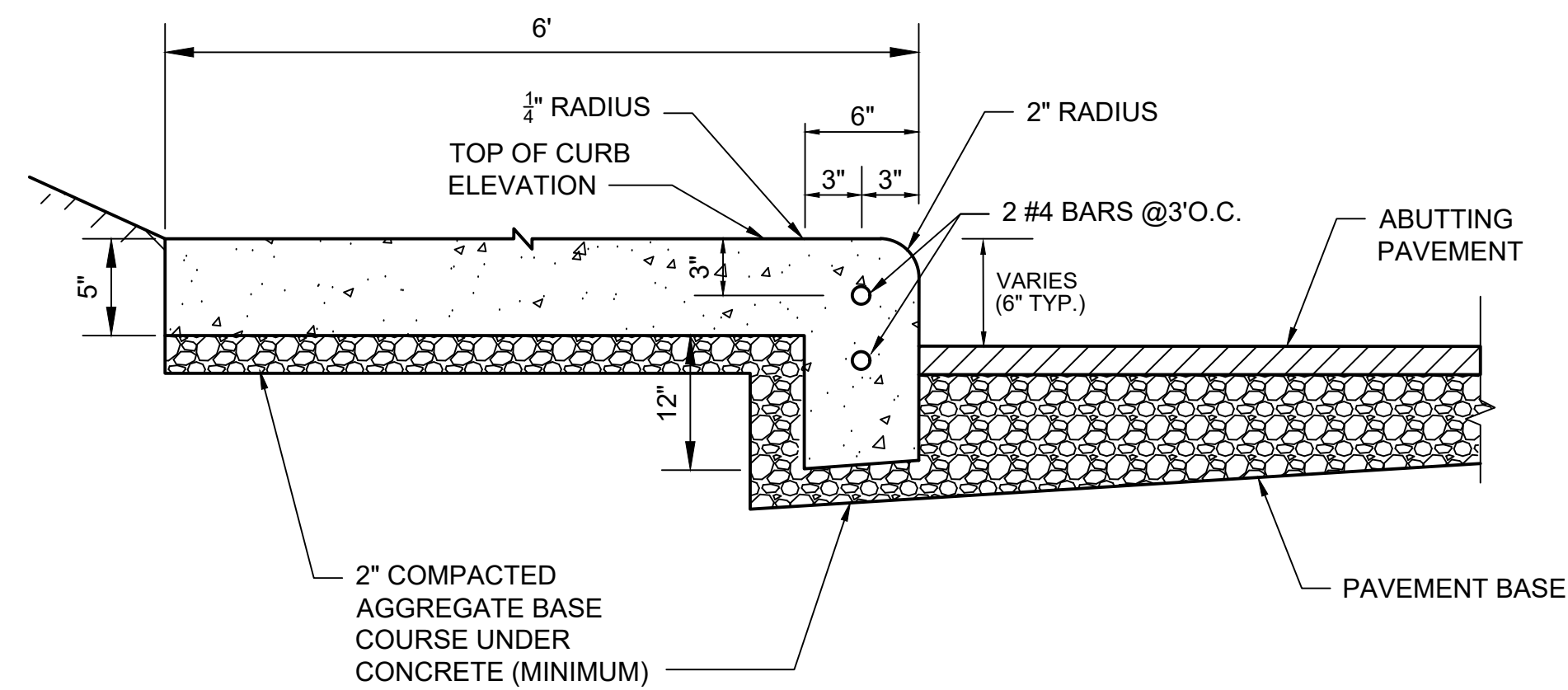
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WAUPUN TRUCK WASH PROJECT  
CITY OF WAUPUN  
DODGE COUNTY, WI

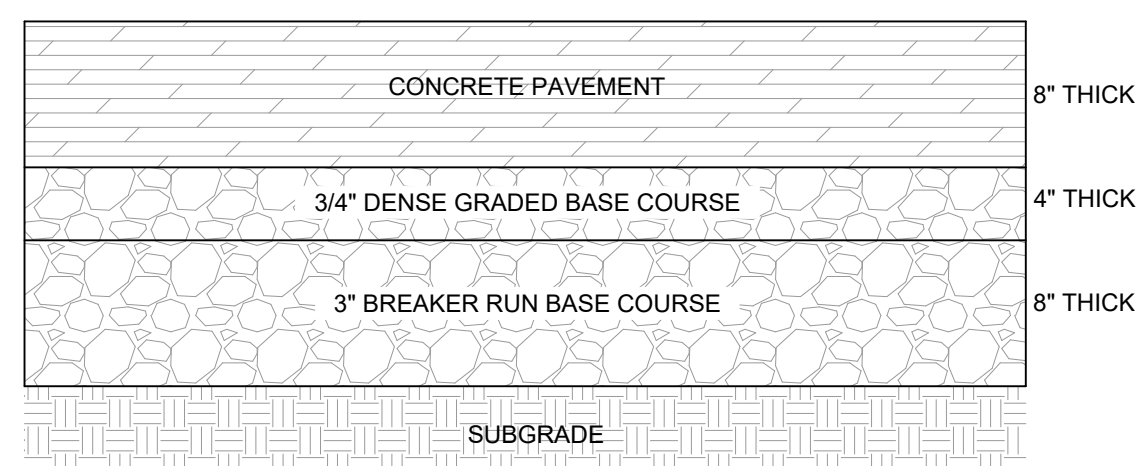
PROJECT NO. 22489000  
SHEET G3  
DETAILS



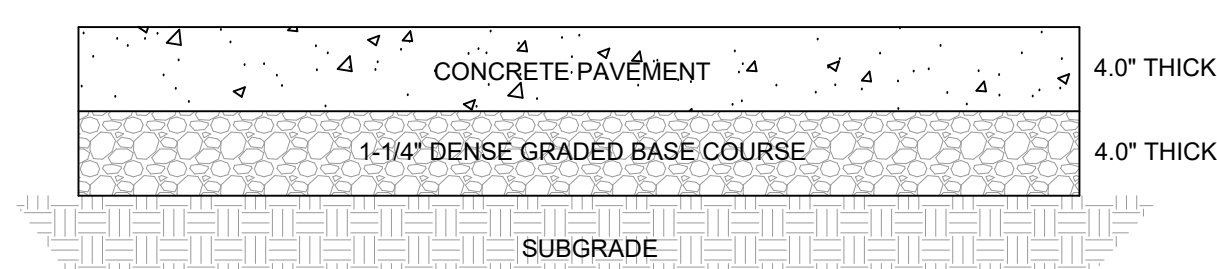
**SANITARY SEWER CLEANOUT**  
NO SCALE



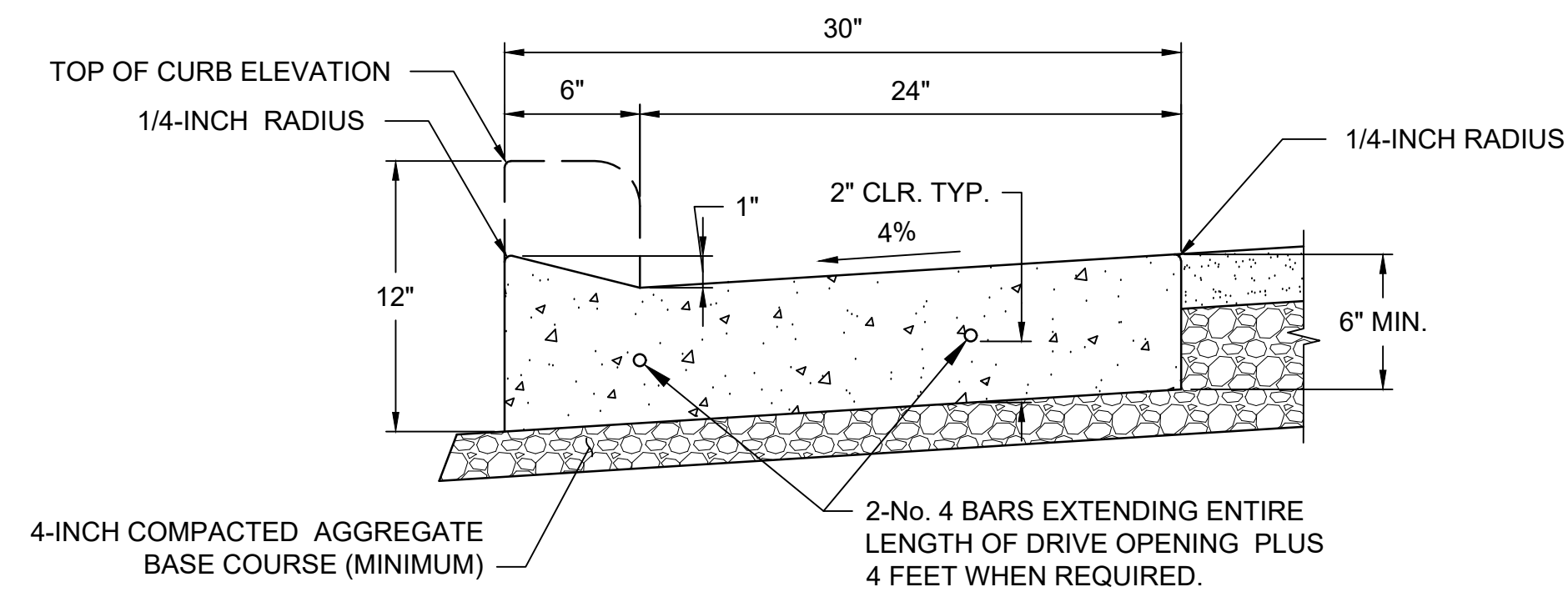
**TYPE INTEGRAL CURB AND WALK DETAIL**  
SCALE: NONE



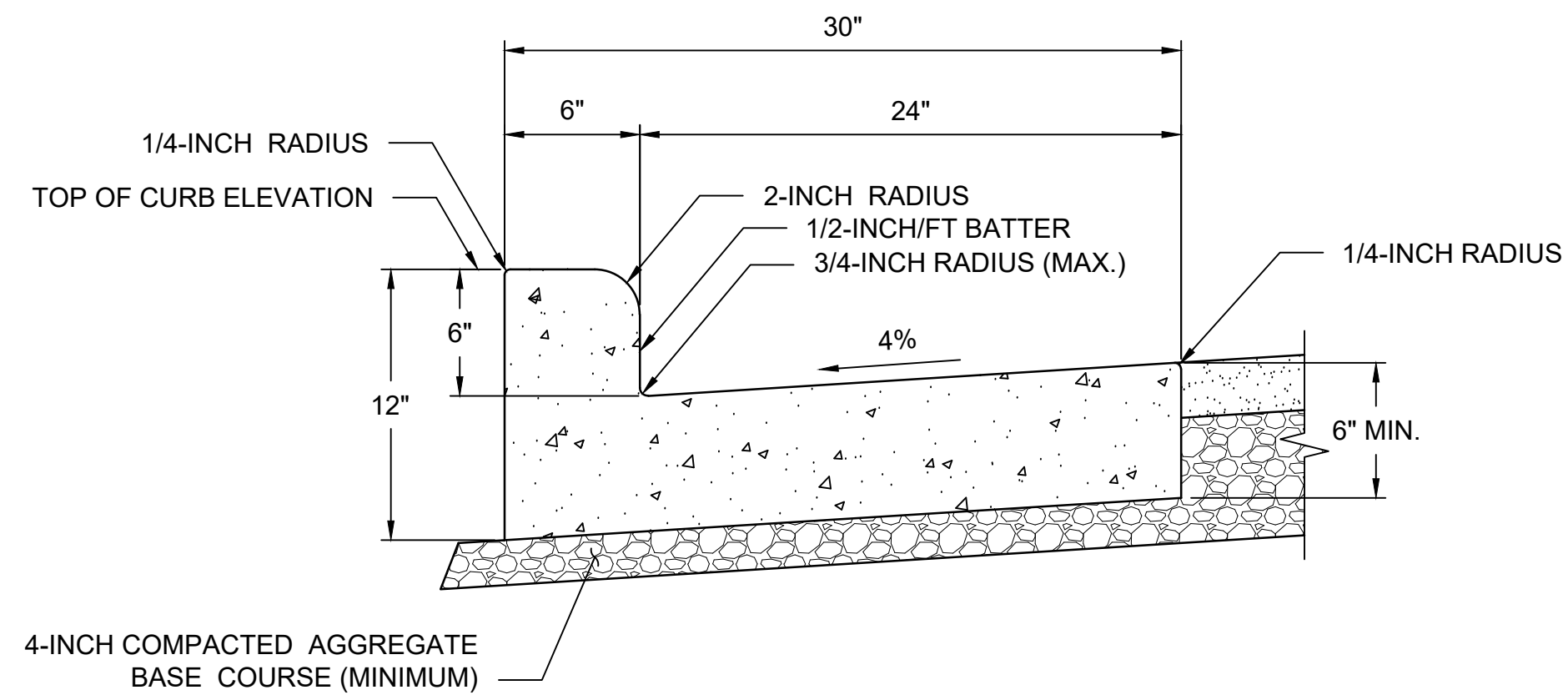
**PAVING DETAIL**  
NO SCALE



**4" CONCRETE SIDEWALK PAVING DETAIL**  
SCALE: NONE

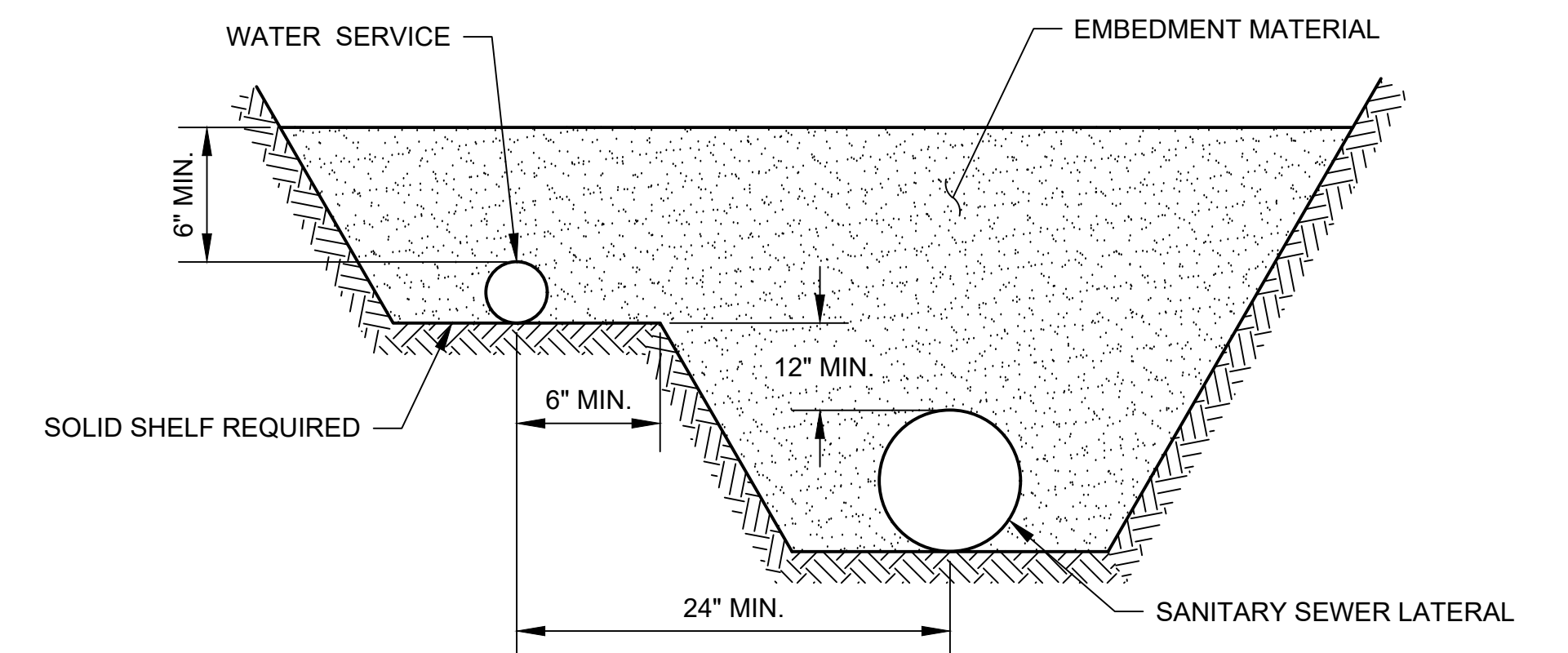


**DRIVEWAY SECTION**



**STANDARD SECTION**

**TYPE D CURB AND GUTTER DETAIL**  
NO SCALE



- GENERAL NOTES:  
1. WATER SERVICES 2 INCHES IN DIAMETER AND LESS SHALL BE LAID WITH A CLEAR HORIZONTAL SEPARATION NOT LESS THAN 2 FEET FROM THE SANITARY LATERAL.

**WATER SERVICE AND SANITARY SEWER LATERAL DETAIL**  
NO SCALE

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	DESIGNED BY:	Init	-	-	-
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PLOT DATE: 5/9/2024 9:35 AM, G:\22\22489\22489000\CADD\Construction Documents\22489000 Details.dwg

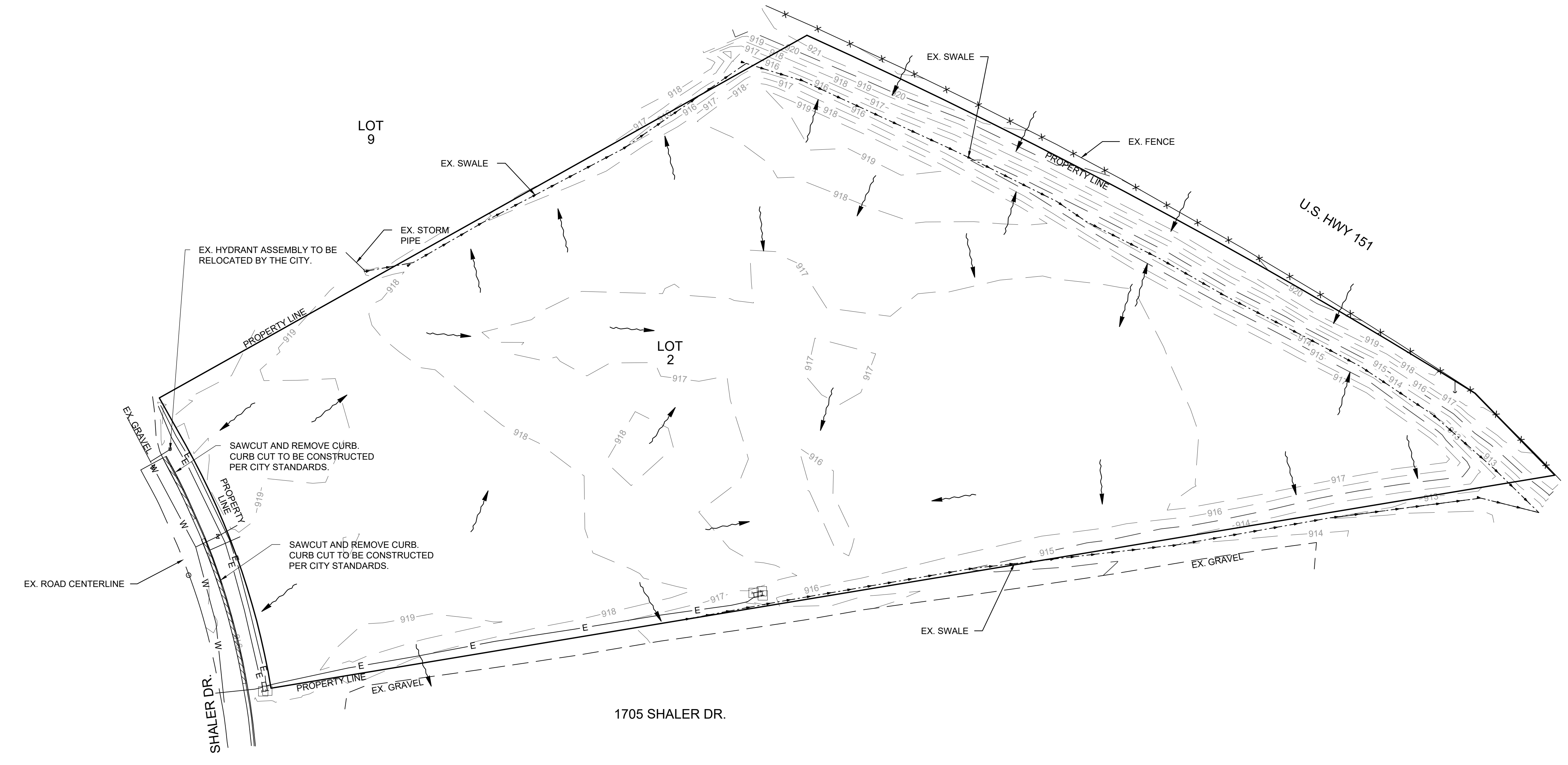
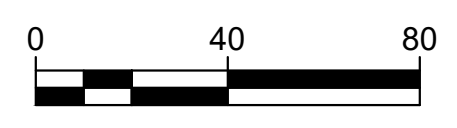
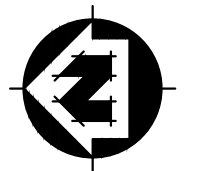


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WAUPUN TRUCK WASH PROJECT  
CITY OF WAUPUN  
DODGE COUNTY, WI

DETAILS

PROJECT NO.  
22489000  
SHEET  
G4



LEGEND	
--- 900 ---	EXISTING 5' CONTOUR
--- 901 ---	EXISTING 1' CONTOUR
←	EXISTING SURFACE DRAINAGE DIRECTION

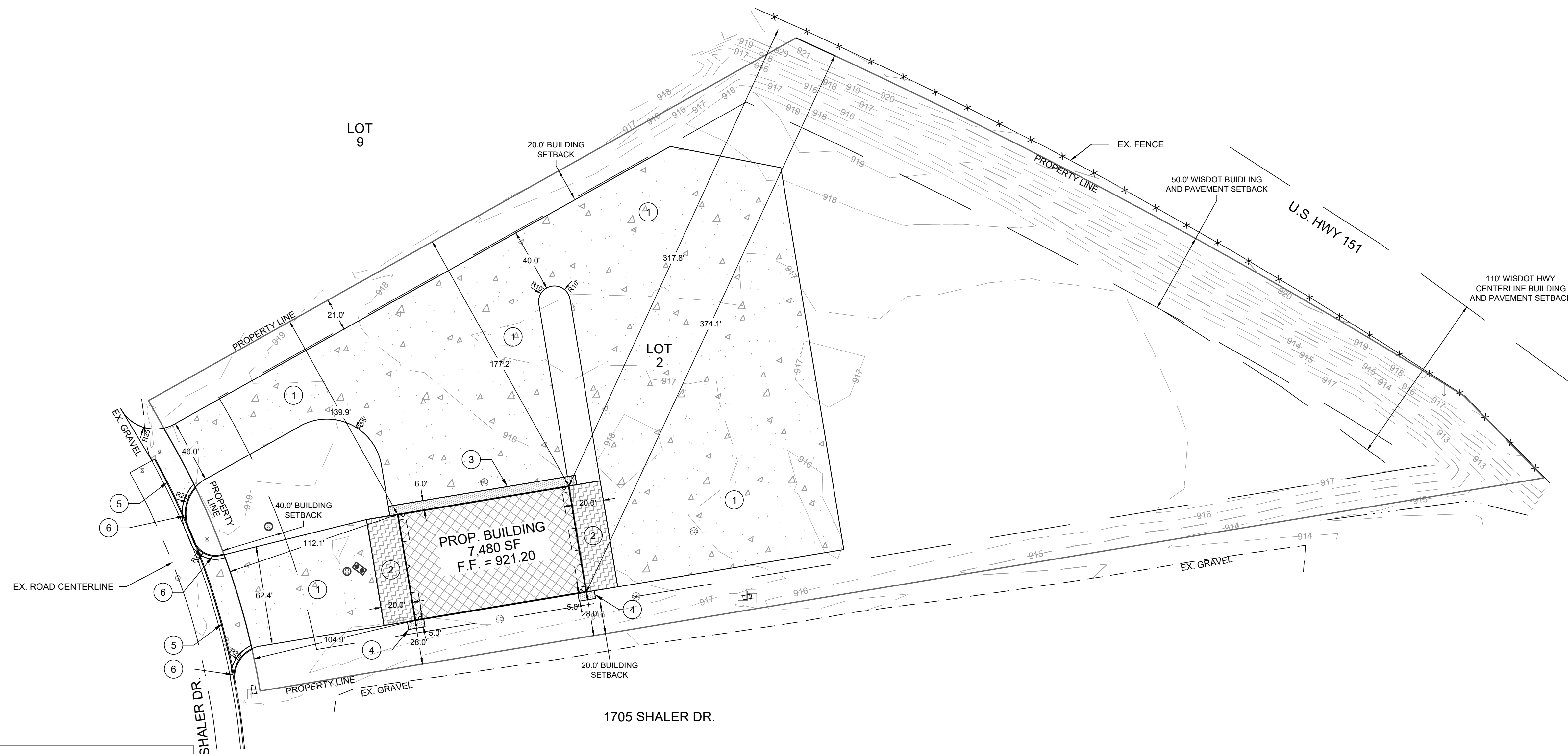
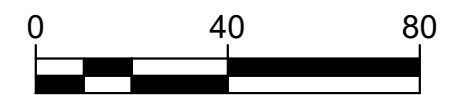
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WAUPUN TRUCK WASH PROJECT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

EXISTING SITE & DEMOLITION PLAN

PROJECT NO.  
22489000  
 SHEET  
ST1



EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO (%)
PROPERTY	4.533	197,469	
BUILDING	0.000	0	0.0
PAVEMENT	0.000	0	0.0
TOTAL IMPERVIOUS	0.000	0	0.0
OPEN SPACE	4.533	197,469	100.0

PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO (%)
PROPERTY	4.533	197,469	
BUILDING	0.172	7,480	3.8
PAVEMENT	1.591	69,293	35.1
TOTAL IMPERVIOUS	1.762	76,773	38.9
OPEN SPACE	2.771	120,696	61.1

**KEYNOTE TABLE**

①	CONCRETE (SEE DETAIL). COORDINATE FINAL DESIGN WITH ARCHITECT AND OWNER.
②	HEATED CONCRETE (COORDINATE FINAL DESIGN WITH ARCHITECT AND OWNER)
③	INTEGRAL CONCRETE SIDEWALK (SEE DETAIL)
④	4" CONCRETE SIDEWALK (SEE DETAIL)
⑤	DRIVEWAY CURB CUT AND CONCRETE APRON. CONSTRUCT PER CITY STANDARDS.
⑥	30" CONCRETE CURB & GUTTER. CONSTRUCT PER CITY STANDARDS.

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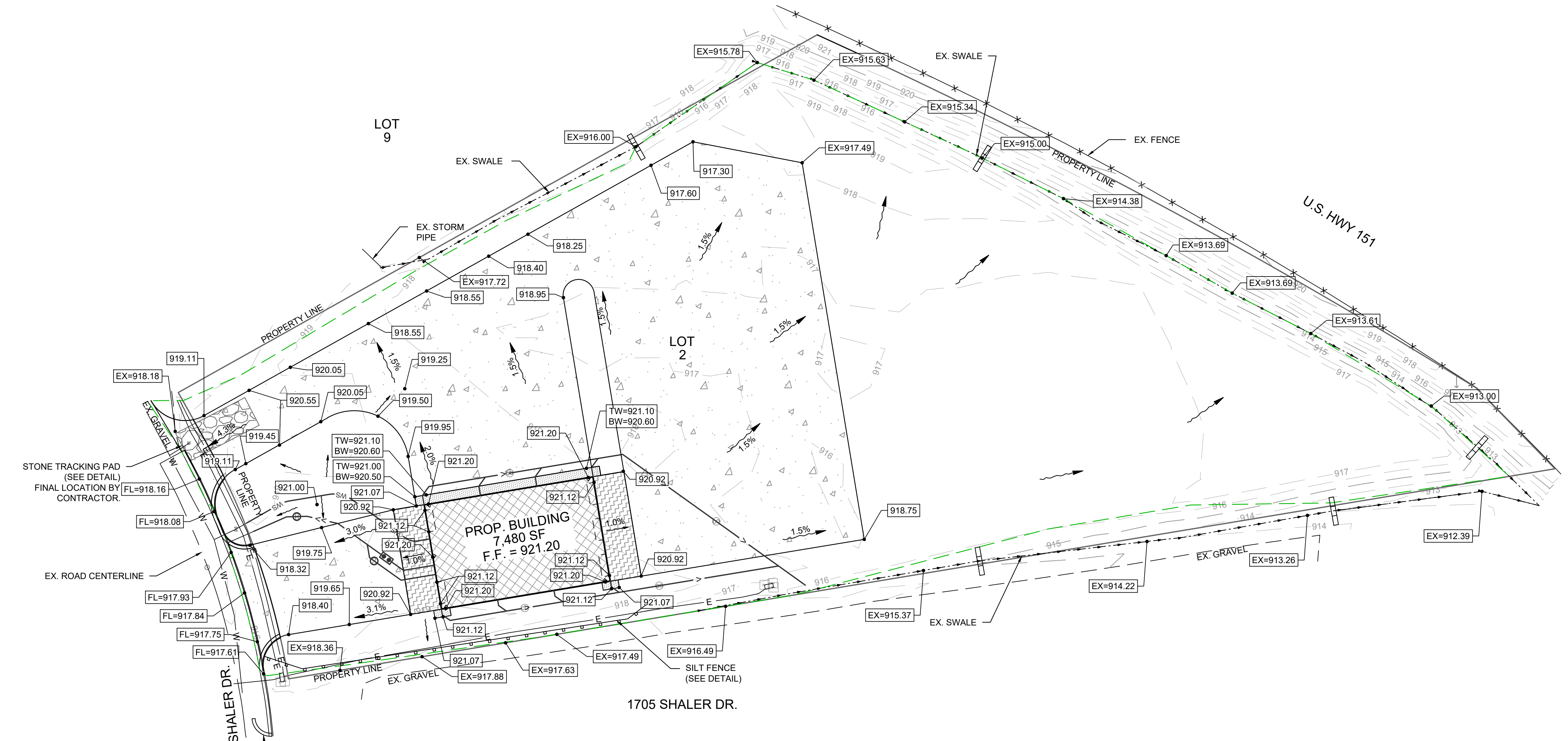
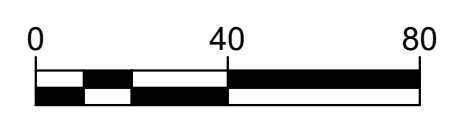


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WAUPUN TRUCK WASH PROJECT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

SITE PLAN

PROJECT NO.  
22489000  
 SHEET  
ST2



**TRACKING PAD NOTE:**  
 CONTRACTOR SHALL INSTALL TRACKING PAD(S) AT ALL ACCESS LOCATIONS TO THE PROJECT SITE.

**SIDEWALK NOTE:**  
 SIDEWALKS SHALL NOT EXCEED A MAX CROSS SLOPE OF 1.5% AND RUNNING SLOPE OF 4.5% UNLESS OTHERWISE SPECIFIED.

**CONCRETE WASHOUT:**  
 THE CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION IS TO BE DETERMINED BY THE CONTRACTOR.

**LEGEND**

--- 900 ---	EXISTING 5' CONTOUR
--- 901 ---	EXISTING 1' CONTOUR
---	APPROX. DISTURBANCE LIMITS
---	PROPOSED SURFACE DRAINAGE DIRECTION
---	EROSION BALE (SEE DETAIL)

PROJECT DATE:	NO.	DATE	REVISION	BY
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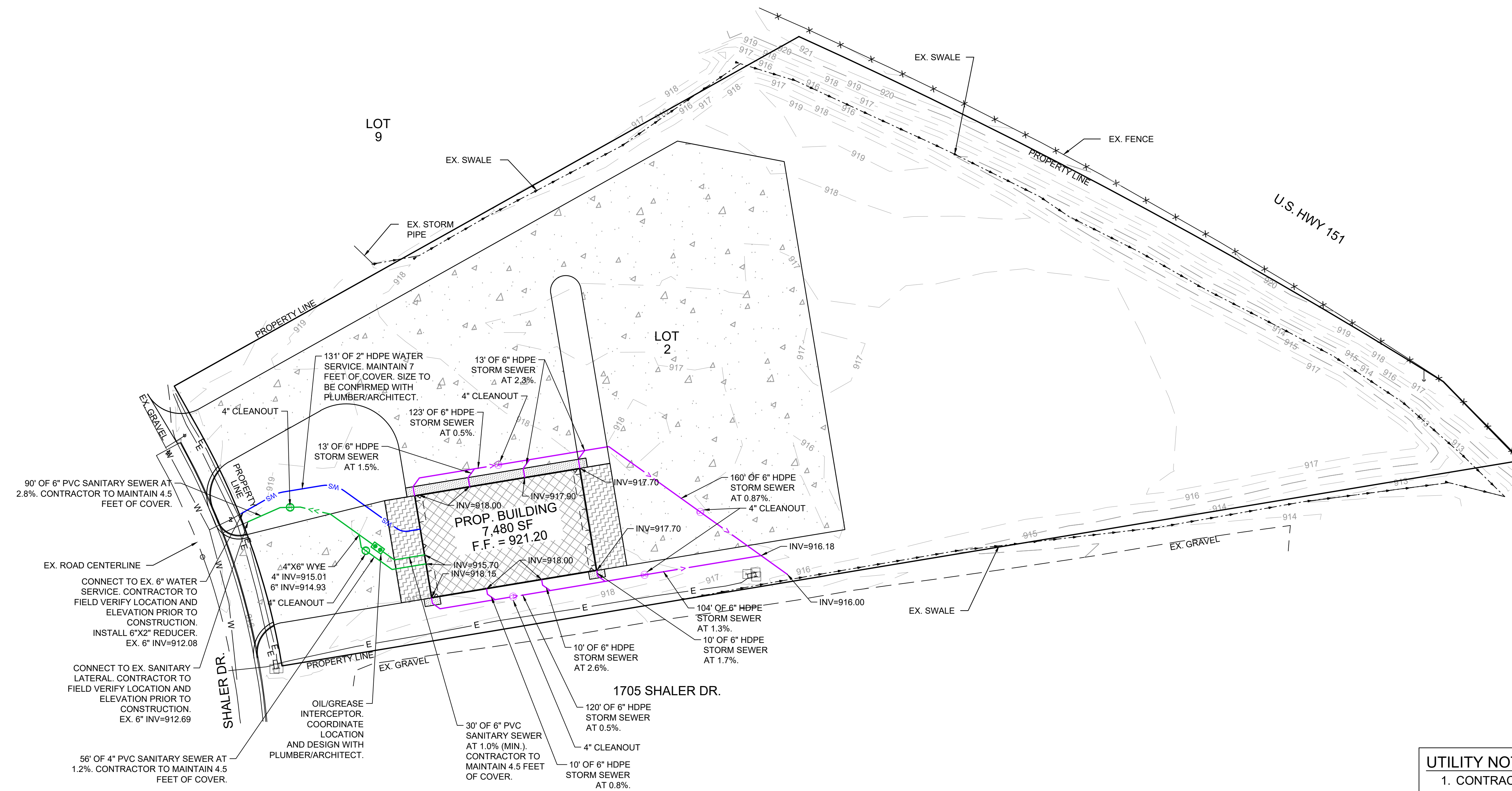
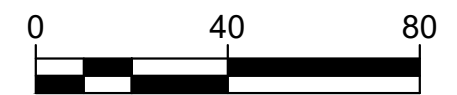
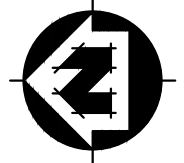
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 201 Corporate Drive, Beaver Dam WI 53916  
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**WAUPUN TRUCK WASH PROJECT**  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

**GRADING & EROSION CONTROL PLAN**

PROJECT NO.  
 22489000  
 SHEET  
 ST3



**UTILITY NOTES:**

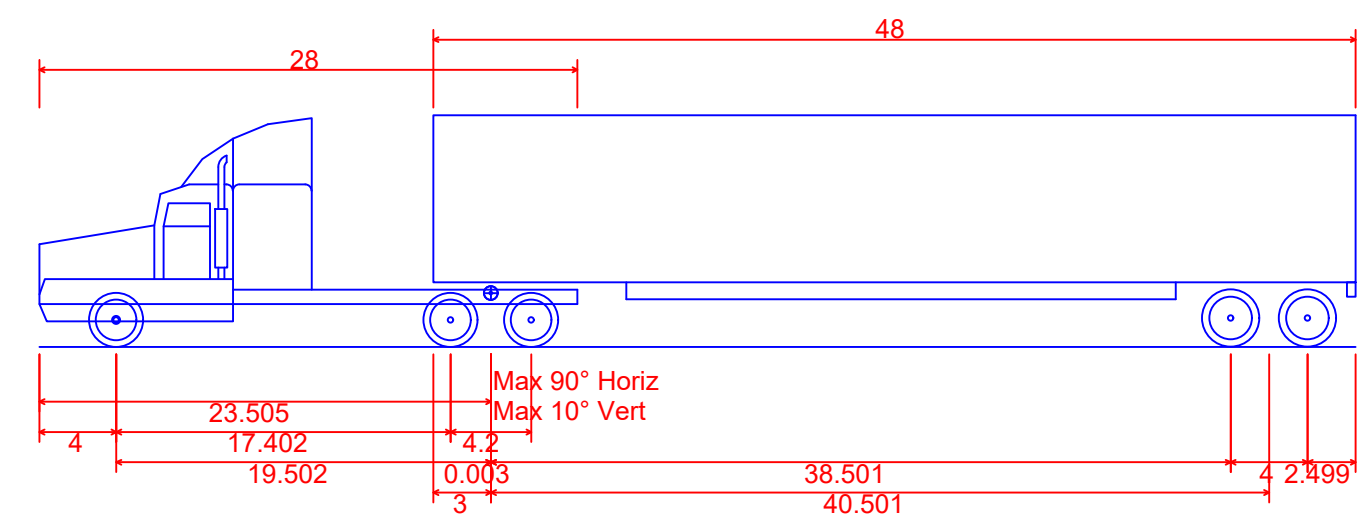
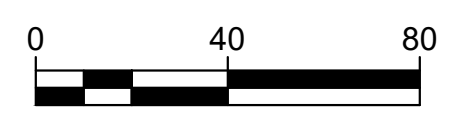
1. CONTRACTOR SHALL VERIFY ALL EXTERIOR BUILDING UTILITY CONNECTION ELEVATIONS AND LOCATIONS WITH THE PLUMBER AND ARCHITECT PRIOR TO CONSTRUCTION.
2. SANITARY CLEANOUTS TO BE PROVIDED INTERNALLY WITHIN 5' OF WHERE BUILDING DRAIN AND BUILDING SEWER CONNECT PER PLUMBING CODE. CONTRACTOR TO COORDINATE WITH PLUMBER AND ARCHITECT.

PROJECT DATE:	NO.	DATE	REVISION	BY
DESIGNED BY: Init	-	-	-	-
CHECKED BY: Init	-	-	-	-

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**WAUPUN TRUCK WASH PROJECT**  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

UTILITY PLAN  
 PROJECT NO. 22489000  
 SHEET ST4



WB-62 - Interstate Semi-Trailer  
 Overall Length 68.505ft  
 Overall Width 8.500ft  
 Overall Body Height 12.052ft  
 Min Body Ground Clearance 1.334ft  
 Max Track Width 8.500ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 45.000ft

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
	Init	-	-		
	DESIGNED BY:	Init	-		
	CHECKED BY:	Init	-		

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WAUPUN TRUCK WASH PROJECT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI

TRUCK MOVEMENT EXHIBIT

PROJECT NO.  
22489000  
 SHEET  
ST5