



A G E N D A
CITY OF WAUPUN PLAN COMMISSION MEETING
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, September 20, 2023 at 4:30 PM

The Waupun Plan Commission will meet on Wednesday, September 20, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting will be held in person, virtual, and teleconference.

To Join Zoom Meeting:

<https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09>

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

CALL TO ORDER

ROLL CALL

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

- 1.** Approve minutes of the August 16, 2023 meeting.
- 2.** Public Hearing - Conditional Use Permit Application of Felisa Griesbach at 730 Park St. to operate a home occupation that will include dressmaking, alterations, sewing, tailoring, and millinery per Municipal Code Section 16.13(2)(a).
- 3.** Public Hearing - Ordinance Amendment to create a Fee Schedule and remove all fees noted in Chapter 16 of the Waupun Municipal Code.
- 4.** Site Plan Review - 114 Washington Ave - Edward Jones Investments
- 5.** Certified Survey Map Review - 800 W. Main St.
- 6.** Extraterritorial Zoning Review - Luz & Mariano Rosales - T21-14-15-21-10-001-00

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



MINUTES
CITY OF WAUPUN PLAN COMMISSION MEETING
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, August 16, 2023 at 4:30 PM

The Waupun Plan Commission met on Wednesday, August 16, 2023 at 4:30 pm in the Waupun City Hall Council Chambers. The meeting was held in person, virtual, and teleconference.

Chairman Bishop called the meeting to order at 4:30 pm.

Roll Call taken. Members Present: Elton TerBeest, Rohn Bishop, Jill Vanderkin, Mike Matoushek, Jason Whitford, Jeff Daane and Gerald Medema. Staff Present: Kathy Schlieve, Susan Leahy (online). Also present, Eric Mulder, Roger Schregardus (online arrived at 4:45 pm) and Jenna and Levi Frens, Excel Engineering and Derek Drews.

No public present to address the Plan Commission.

Chairman Bishop indicates the next meeting is planned for September 20, 2023 at 4:30 p.m.

Matoushek motion, Vanderkin second to approve minutes of July 19, 2023. Carried unanimously.

Motion TerBeest, second Whitford to open a public hearing, Jenna Frens is seeking a conditional use to move their car dealership business from current location on corner of Main and Drummond to 501 E Main St, which is a business owned by her father. No public questions or comments are given. Motion Matoushek, second Whitford to close the public hearing. Motion Matoushek, second Whitford to approve the conditional use application as presented. Carried unanimously.

Excel Engineering presents specifics of proposed certified survey map for FVSBank, located at 101 S Madison St in Waupun. Survey map combines lot the bank acquired previously to the east of the main building. Motion Vanderkin, second Whitford to approve the certified survey map as presented. Carried unanimously.

Excel Engineering presents site plan for improving the parking lot at 101 S Madison Street. Jeff Daane notes that storm water requirements have been met. Motion Whitford, second Matoushek to approve the site plan as presented. Carried unanimously.

Jeff Daane explains the site plan for a drive easement through City owned property on Shaler Drive and that WisDOT is requiring movement of the driveway to gain access to STH 26 and Shaler Drive. Motion Matoushek, second Whitford to approve the site plan as presented. Carried unanimously.

Roger Schregardus provides an overview of the site plan for Eric Mulder Construction project in Heritage Ridge Business Park. Motion Matoushek, second Whitford to approve the site plan as presented. Carried unanimously.

Motion Vanderkin, second Matoushek to adjourn meeting. Carried unanimously. Meeting adjourned at 4:54 p.m.

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be on Wednesday the 20th day of September, 2023 at 4:30 pm, where there will be considered an application for a Conditional Use Permit of:

1. Felisa Griesbach at 730 Park St to operate a home occupation that will include dressmaking, alterations, sewing, tailoring, and millinery per Municipal Code Section 16.13(2)(a).

The meeting will be held in person and via Zoom. Instructions to join the zoom meeting are below:

Join Zoom Meeting

<https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09>

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: 1(312) 626 6799 US (Chicago)

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 28th day of August 2023

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH September 12, 2023)

Fee: \$150.00 Paid: ~~\$150.00~~ Date: 8/23/2023

CK# 1535



CITY OF WAUPUN
201 E. Main Street
WAUPUN, WISCONSIN 53963

Conditional Use Permit Application

Applicant Name: Felisa Griesbach Phone # 920-583-6256

Address: 730 Park Street E-mail: audrey2019@yahoo.com

City, State, Zip Waupun, WI 53963

Property Description and address:

730 Park Street, Zoned R-4 Central Residential District

Conditional Use Requested:

Home Occupation - Dressmaking, Alterations, sewing, tailoring, and millinery

Zoning Ordinance Section Involved:

16.13 (2)(a)

Date Presented to Plan Commission: September 30, 2023

CONDITIONAL USE: Granted Denied

Comments:

Signature of Applicant (s) Felisa Griesbach

Property Owners within 100 Feet of 730 Park Street

DUANE K VANDEZANDE
728 PARK ST
WAUPUN, WI 53963

MATTHEW J KWAKKEL
KATHLEEN J KWAKKEL
720 PARK ST
WAUPUN, WI 53963

AUBREY ROSE WEIDEMANN
16 CHAPMAN PL
WAUPUN, WI 53963

CHEYANNE STEINLE
18 CHAPMAN PL
WAUPUN, WI 53963

STEVEN M DAANE
MATTHEW L MCDOWELL ETAL
N7857 TUTTLE LAKE ROAD
NESHKORO, WI 54960
(20 CHAPMAN PL)

IAN S ASHBY
MELISSA L ASHBY
22 CHAPMAN PL
WAUPUN, WI 53963

DONNA J JOHNSON
24 CHAPMAN PL
WAUPUN, WI 53963

STEVEN M CRUBAUGH
RUTH M CRUBAUGH
26 CHAPMAN PL
WAUPUN, WI 53963

NATHAN J BARTLETT
COURTNEY M BARTLETT
423 NEEVEL AVE
WAUPUN, WI 53963

HARVEY L SCHMITZ
734 PARK ST
WAUPUN, WI 53963

THOMAS L MOUL
W6056 TOWN RD
BURNETT, WI 53922
(735 PARK ST)

THOMAS R BRUINS
LINDSEY M BRUINS
733 PARK ST
WAUPUN, WI 53963

STEPHEN P HARR
RANDINE H HARR
731 PARK ST
WAUPUN, WI 53963

MICHAEL A PASCHKE
729 PARK ST
WAUPUN, WI 53963

JACOB L POSTHUMA
727 PARK ST
WAUPUN, WI 53963

GREGORY MONARCH
JANET MONARCH
725 PARK ST
WAUPUN, WI 53963

**City of Waupun
Home Occupation Application**

Date: Aug. 29, 2023

Applicant: Felisa P Griesbach

Phone: 920-5836256

Address: 300 Grace St.

City: Waupun State: WI Zip: 53963

Address of proposed Home Occupation: 730 Park St - Waupun WI - 53963

Name of proposed business: Andrey's Sew far Sew Good Alterations

Location of proposed Home Occupation in residence (living room, bedroom, basement, etc):

Living Room

Total square footage of residence devoted to home occupation: 800 sq. ft.

Type of equipment to be used in the home occupation: Sewing Machines

Size and type of signs advertising the home occupation 2 sq

Number of resident employees 1 Number of nonresident employees N/A

Description of proposed Home Occupation and services to be provided:

Clothes Alterations, Dress making,

Signature of applicant(s) Felisa Griesbach

Receipt No: 1.019286

Aug 28, 2023

GRIESBACH, DAVID & FELISA

Previous Balance:	.00
LICENSES & PERMITS	
CONDITIONAL USE PERMIT	150.00
230-44-4431-0-00	
PERMITS-BUILDING	

Total:	150.00
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CHECKS	
Check No: 1535	150.00
Total Applied:	150.00

Change Tendered:	.00
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Duplicate Copy
08/28/2023 10:22 AM

CITY OF WAUPUN
201 E. MAIN STREET
WAUPUN WI 53963

920-324-7900

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, will be held on Wednesday the 20th day of September, at 4:30 o'clock in the P.M. there will be considered an ordinance to amend Chapter 16 of the Municipal Code of the City of Waupun.

The meeting will be held in-person and via Zoom. Instructions to join the zoom meeting are below:

To Join Zoom Meeting

<https://us02web.zoom.us/j/81152900995?pwd=bit3MWtVNFNEczRhc1U0aFBvK2dGUT09>

Meeting ID: 811 5290 0995

Passcode: 854038

By Phone: (312) 626-6799 US (Chicago)

ORDINANCE # 23 - ____

AN ORDINANCE TO AMEND CHAPTER SIXTEEN OF THE MUNICIPAL CODE OF THE CITY OF WAUPUN ENTITLED "ZONING CODE." TO REMOVE FEES AND CREATE TO CREATE A FEE SCHEDULE

THE COMMON COUNCIL OF THE CITY OF WAUPUN ORDAINS:

SECTION 1: Chapter 16 of the Municipal Code of the City of Waupun entitled ZONING CODE is amended as follows.

16.01 GENERAL

16.01(11)(b)(ix) Fees. A fee as established annually by the Common Council on the Fee Schedule shall be paid to the Zoning Administrator upon the filing of all petitions for amendment(s) of the Zoning Ordinance. (Am. #06-04)

16.03 RESIDENTIAL DISTRICT REQUIREMENTS.

16.03(6)(e)(ii)(b) Fees and Expiration Date (per §66.058, Wis. Stats.) are as follows:

- Annual mobile home court license shall be established annually by the Common Council on the Fee Schedule;
- Mobile home court license transfer fee shall be established annually by the Common Council on the Fee Schedule;
- Surety bond shall be an amount established annually by the Common Council on the Fee Schedule, this bond shall guarantee the collection by the licensee of the monthly parking permit provided for in this Ordinance and the payment of such fees to the City Treasurer, the payment by the licensee of any fine or forfeiture including legal costs imposed or levied against said licensee for a violation of this section, and shall also be for the use and recovery had thereon by any person who may be injured or damaged by reason of the licensee violating the provisions of this section; and
- Expiration: All such licenses are to expire on the 30th day of June of each year and shall be renewed annually, there shall be no proration of fees.

16.07 PCD PLANNED COMMUNITY DEVELOPMENT REQUIREMENTS

16.07(6)(g) Fee(s). (Cr. #06-04)

- (i) Department review: has a fee that is established annually by the Common Council on the Fee Schedule.
- (ii) Engineering, improvement review, inspections, review: has a fee that is established annually by the Common Council on the Fee Schedule.
- (iii) Administration, Clerk Treasurer, legal: has a fee that is established annually by the Common Council on the Fee Schedule.

16.12 CONDITIONAL USES

16.12(2) Application for conditional use permits shall be submitted to the Zoning Administrator. A fee as established annually by the Common Council on the Fee Schedule shall be paid at the time of submittal. Such forms shall be provided by the Zoning Administrator and shall be accompanied by a plan showing the location, size and shape of the land involved and of any proposed structures, and the existing and proposed use of each structure and lot. (Am. #06-04)

16.13 HOME OCCUPATIONS

16.13(4) An application for a home occupation license must be submitted to the Zoning Administrator. There shall be a fee as established annually by the Common Council on the Fee Schedule for all such applications. If after review, it is the opinion of the Zoning Administrator that the requested home occupation is permitted then a license may be issued. If however, in the opinion of the Zoning Administrator the requested home occupation is neither permitted nor strictly prohibited, then a conditional use permit approved by the Plan Commission will be required.

(5) An application fee as established annually by the Common Council on the Fee Schedule will be required for any home occupation requiring a conditional use permit. After the holding of a public hearing and review by the Plan Commission, the permit will be approved or denied based on the conditions listed in subsection (1). (Am. #07-11)

(6) All permitted home occupations shall be licensed annually for a fee as established annually by the Common Council on the Fee Schedule and will automatically expire when the premises is sold, leased or otherwise transferred to a different owner or owners.

16.16 BOARD OF APPEALS.

16.16(1) A Board of Appeals shall be appointed as specified in §62.23(7)(e), Wis. Stats. The members shall serve without compensation. The Board of Appeals shall make its own rules of procedure consistent with the statutes. It shall have the following powers:

- (a) To hear and decide appeals where it is alleged that the Zoning Administrator has made an erroneous finding or order. A filing fee as established annually by the Common Council on the Fee Schedule shall be required when publication of a notice of hearing is necessary; and
- (b) To grant specific variances from the terms of this Ordinance where it is shown that unique physical circumstances applying to a lot cause hardship to the owner under the Ordinance, and that the variance still will be in fundamental harmony with surrounding uses. Applications for variances are subject to a filing fee as established annually by the Common Council on the Fee Schedule. (Am. #06-04)

16.17 SITE PLAN REVIEW

16.17(7) SITE PLAN REVIEW/APPLICATION FEE. (Cr. #06-04)

- (a) Consultant/engineering: a fee established annually by the Common Council on the Fee Schedule.
- (b) Department review: a fee established annually by the Common Council on the Fee Schedule.

SECTION 2: All ordinances or portions of ordinances inconsistent with the provisions of this ordinance are repealed.

SECTION 3: This Ordinance shall be in full force and effect on its passage and publication as provided by law.

Enacted this ___ day of _____, 2023.

Rohn W. Bishop

Mayor

ATTEST:

Angela Hull

City Clerk

PLEASE TAKE FURTHER NOTICE that the ordinance is on file in the office of the Zoning Administrator in the City Hall of the City of Waupun, Wisconsin and may be inspected during regular business hours.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed ordinance in support thereof or in opposition thereto, must appear at the said meeting of the Plan Commission of the City of Waupun.

Susan Leahy
Zoning Administrator
City of Waupun
(PUBLISH September 5, and September 12, 2023)



**City of Waupun Fee Schedule
2024**

Some items require the collection of sales tax. This will be calculated during the transaction.

	DESCRIPTION	ADDITIONAL INFORMATION	2023 RATE	2024 RATE	MUNICIPAL CODE CHAPTER
1					
2	GENERAL GOVERNMENT				
3	Annexations		\$150.00	\$250.00	1.24(3)
4	Materials and Supplies	shall not exceed	\$500.00	\$500.00	3.03(5)(a)(4)
5	Repair of Equipment	shall not exceed	\$500.00	\$250.00	3.03(5)(a)(5)
6	Room Tax		7.50%	8.00%	3.11(1)
7	LICENSES/PERMITS				
8	Dogs/Cats - Neutered or Spayed	Annually April 1 - March 31	\$2.00	\$5.00	11.09(1)
9	Dogs/Cats - Non - Neutered or Spayed	Annually April 1 - March 32	\$5.00	\$10.00	11.09(1)
10	Late Fee for Dog Licenses		\$5.00	\$7.00	11.09(3)
11	LIQUOR LICENSES	State Fee Law			
12	Class "A" Beer	no max / no min	\$75.00	\$100.00	11.01(3)(a)
13	"Class A" Liquor	\$500 max / \$50 min	\$150.00	\$200.00	11.01(3)(f)
14	Class "B" Beer	\$100 max/ no min	\$100.00	\$100.00	11.01(3)(b)(1)
15	"Class B" Liquor	\$500 max / \$50 min	\$250.00	\$300.00	11.01(3)(g)
16	"Class C" Wine	\$100 max / no min	\$100.00	\$100.00	11.01(3)(k)
17	Picnic License		\$10.00	\$10.00	11.01(3)(b)(2)
18	Wholesalers Fermented Malt Beverage		\$25.00	\$25.00	11.01(3)(c)
19	Special Wholesaler's License		\$25.00	\$25.00	11.01(3)(d)
20	Club License		\$25.00	\$25.00	11.01(3)(h)
21	Operators License		\$20.00	\$35.00	11.01(3)(e)(1)
22	Operators Provisional		\$10.00	\$15.00	11.01(3)(e)(2)(c)
23	SODA				
24	Soda Water		\$5.00	eliminate	11.01(3)(j)
25	CIGARETTE				
26	Cigarette		\$50.00	\$200.00	11.13
27	MILK				
28	Milk - Sale and Distribution		\$25.00	eliminate	10.03(3)(e)
29	Milk Vendor's License		\$10.00	eliminate	10.03(5)(e)
30	PARKING				
31	Parking Permit	month	\$15.00	\$15	6.05(6)(f)
32	Parking Permit	annual	\$150.00	\$150.00	6.05(6)(f)

33	Time-Restricted Parking Violation		\$10.00	\$15.00	6.15(83)(a)
34	Other Parking Violations		\$20.00	\$25.00	6.15(3)(b)
35	School Zone Violations		\$30.00	\$35.00	6.15(3)(c)
36	Second Violations	same offense within same year	\$5.00	\$10.00	6.15(3)(d)
37	Third and Subsequent Violations	same offense within same year	\$5.00	\$10.00	6.15(3)(d)
38	Additional Forfeitures for Parking Violations	not paid within 48 hours	\$5.00	\$10.00	6.15(3)(e)
39	Additional Forfeitures for Parking Violations	not paid within 10 days	\$10.00	\$15.00	6.15(3)(e)
40	PUBLIC WORKS				
41	Sidewalks Noncompliance	per parcel plus replacement cost	\$25.00	\$25.00	7.03(7)
42	Street and Sidewalk Excavation Permit Application		\$15.00	\$15.00	7.05(1)(b)
43	Excavation or Street/Public Way Opening Bond		\$10,000.00	\$10,000.00	7.05(2)(a)
44	Excavation Work Insurance	Public Liability	\$100,000 per occasion	\$100,000 per occasion	7.05(3)
45	Excavation Work Insurance	Public Liability	\$300,000 one accident	\$300,000 one accident	7.05(3)
46	Excavation Work Insurance	Public Liability	\$50,000 property damage	\$50,000 property damage	7.05(3)
47	Waste Container	annual	\$0.00		
48	Recycling Container	annual	\$0.00		
49	Weed Cutting Charges	per occasion	\$100 + actual cost	\$100 + actual cost	10.11(5)(b)
50	Snow Removal Charges	per occasion	\$100 + actual cost	\$100 + actual cost	7.07(3)(c)
51	Sump Pump Discharge	fine	\$100.00	\$100.00	7.12(7)
52	Moving Buildings		\$1,000.00		13.06
53	PROTECTIVE SERVICES				
54	BIKE				
55	Bike License	per bike owner	\$3.00		6.10(2)
56	Lost Bike License		\$0.25	0.50	6.10(15)
57	PEDDLER				
58	Peddler/Solicitors/Transient Merchant Initial Investigation		\$50.00	\$50.00	11.02(5)(a)
59	Peddler/Solicitors/Transient Merchant	if received 1st license within 12 month	\$30.00	\$40.00	11.02(5)(b)
60	Peddler/Solicitors/Transient Merchant longer than 2 days	per day over 2 days	\$20.00	\$20.00	11.02(7)(a)
61	Peddler/Direct Seller Solicitors/Transient Merchant Bond	per day/max \$1,000	\$100.00	\$100.00	11.02(7)(b)
62	Peddler/Solicitors/Transient Merchant Annual	12 months	\$200.00	\$200.00	11.02(8)(a)
63	Peddler/Solicitors/Transient Merchant 6 month	6 months	\$100.00	\$100.00	11.02(8)(a)

64	Surety Bond		\$1,000.00	\$1,000.00	11.02(8)(b)
65	AUCTION				11.03
66	Auction Sales	annual	\$10.00		11.03(4)
67	Auction Sales Bond		\$500.00	\$500.00	11.03(4)
68	Auction Fees on Sales	of sales	20%		11.03(5)
69	PUBLIC AMUSEMENTS				11.04
70	Circus, street carnival, menagerie or sideshow	day	\$25.00	\$25.00	11.04(5)
71	Dance hall, skating rink, play or theatrical performance, motion picture show	annual or fractional part	\$75.00	\$75.00	11.04(5)
72	Play or Theatrical performance	day	\$10.00	\$10.00	11.04(5)
73	Billiard or Pool Room	per table annual or fractional part	\$15.00	eliminate	11.04(5)
74	Bowling Alley – one alley	annual or fractional part	\$15.00	eliminate	11.04(5)
75	Bowling Alley – each additional alley	annual or fractional part	\$5.00	eliminate	11.04(5)
76	All other amusements, amusement devices, juke boxes and music boxes	per unit annual or fractional part	\$15.00	eliminate	11.04(5)
77	PARADE				
78	Parade Permit		\$10.00	\$10.00	11.10(3)(c)
79	TAXI				11.06
80	Taxi Cab License - 1st vehicle	annual or fractional part	\$20.00	\$20.00	11.06(4)
81	Taxi Cab License - each additional vehicle	annual or fractional part	\$20.00	\$20.00	11.06(4)
82	JUNK DEALER				
83	Junk Dealer Application		\$15.00		11.08(2)
84	Junk Dealer License	annual	\$50.00		11.08(5)
85	Junk Dealer License	daily	\$10.00		11.08(5)
86	PARK & RECREATION		resident/non-resident	resident/non-resident	
87	Dodge Park Shelter		\$65/\$90	\$65/\$90	
88	Harris Mill Park Shelter		\$65/\$90	\$65/\$90	
89	McCune Park Concession Stand	requires \$50 security deposit	\$100/\$115	\$100/\$115	
90	McCune Park Shelter		\$65/\$90	\$65/\$90	
91	West End Park Shelter		\$65/\$90	\$65/\$90	
92	Wilcox Park Shelter		\$50/\$75	\$50/\$75	
93	ZONING				
94	Zoning Code Amendment		\$150.00	\$250.00	16.01(11)(b)(ix)
95	Annual Mobile Home Court	50 spaces	\$100.00	\$100.00	16.03(6)(e)(ii)(b)
96	Mobile Home Court License Transfer		\$10.00	\$20.00	16.03(6)(e)(ii)(b)
97	Mobile Home Surety Bond		\$2,000.00	\$2,000.00	16.03(6)(e)(ii)(b)
98	Planned Community Development	Department Review	\$250 + \$15 per lot	\$2,000.00	16.07(6)(g)(i)

99	Planned Community Development	Engineering	Actual Cost	Actual Cost	16.07(6)(g)(ii)
100	Planned Community Development	Administration	1% City Loan	1% City Loan	16.07(6)(g)(iii)
101	Conditional Use		\$150.00	\$250.00	16.12(2)
102	Home Occupation License Application		\$25.00	\$50.00	16.13(4)
103	Home Occupation License/Conditional Use Permit		\$150.00	\$150.00	16.13(5)
104	Home Occupation License Annual License		\$25.00	\$25.00	16.13(6)
105	Board of Appeals	Violation Filing Fee	\$50.00	\$50.00	16.16(1)(a)
106	Variance		\$150.00	\$200.00	16.16(1)(b)
107	Site Plan Review - Consult/Engineering		Actual Cost	Actual Cost	16.17(7)(a)
108	Site Plan Review - Department Review		\$100.00	\$100.00	16.17(7)(b)
109	Dedication and Reservation of Lands	Single Lot	5% of total plan area or \$200.00	5% of total plan area or \$200.01	17.01(9)(d)
110	Dedication and Reservation of Lands	Multi-Family	\$200.00 per unit	\$200.00 per unit	17.01(9)(d)
111	Public Sites and Open Spaces	Per Residential Lot	\$100.00 per lot	\$100.00 per lot	17.07(8)
112	Public Sites and Open Spaces	Multiple Residential Units	\$100.00 unit	\$100.00 unit	17.07(8)
113	Preliminary Plat Review	Department Review	\$250.00 + \$15.00 per lot	\$250.00 + \$15.00 per lot	17.10(1)
114	Preliminary Plat Review	Engineering	Actual Cost	Actual Cost	17.10(1)
115	Preliminary Plat Review	Administration	1% City Loan	1% City Loan	17.10(1)
116	Final Plat Review	Department Review	\$150.00 + \$5.00 per lot	\$150.00 + \$5.00 per lot	17.10(2)
117	Final Plat Review	Engineering	Actual Cost	Actual Cost	17.10(2)
118	Final Plat Review	Administration	1% City Loan	1% City Loan	17.10(2)
119	Letter of Intent Review		\$100.00	\$100.00	17.10(3)
120	Certified Survey Map		\$100.00 + \$15.00 per lot	\$100.00 + \$15.00 per lot	17.10(4)
121	Condominium Plat		\$250.00 + \$15.00 per lot	\$250.00 + \$15.00 per lot	17.10(5)
122	Replat Review	Department Review	\$250.00 + \$15.00 per lot	\$250.00 + \$15.00 per lot	17.10(6)
123	Replat Review	Engineering	Actual Cost	Actual Cost	17.10(6)
124	Replat Review	Administration	1% City Loan	1% City Loan	17.10(6)
125	Improvement Review		1% of total cost of any required public improvements to defray the costs of review	1% of total cost of any required public improvements to defray the costs of review	17.10(7)
126	Inspection		Actual Cost	Actual Cost	17.10(8)
127	PENALTIES				
128	Penalty for Chapter 6 violation	First Offense	\$3.00	\$3.00	6.10(4)(a)(3)(a-c)
129	Penalty for Chapter 6 violation	Second Offense	\$5.00	\$5.00	6.10(4)(a)(3)(a-c)
130	Penalty for Chapter 6 violation	Third Offense	\$10.00	\$10.00	6.10(4)(a)(3)(a-c)
131	Penalty for Chapter 6 violation	Third Offense	\$10.00	\$10.00	6.10(4)(a)(3)(a-c)
132	Penalty for Chapter 8 violation - Chickens	First Violation	\$250.00	\$250.00	8.025(9)(c)

133	Penalty for Chapter 8 violation - Chickens	Subsequent Violation	\$500.00	\$500.00	8.025(9)(c)
134	Penalty for Chapter 8 violation	First Offense	\$200.00-\$300.00	\$200.00-\$300.00	8.05(3)(a)
135	Penalty for Chapter 8 violation	Second Offense	\$300.00-\$500.00	\$300.00-\$500.01	8.05(3)(a)
136	Penalty for Chapter 8 violation - Controlled Substances	First Offense	not less than \$200 + costs of prosecution	not less than \$200 + costs of prosecution	8.09(5)(a)
137	Penalty for Chapter 8 violation - Controlled Substances	Second Offense	not less than \$300 + costs of prosecution	not less than \$300 + costs of prosecution	8.09(5)(b)
138	Penalty for Chapter 10 violation - Recycling	First Violation	\$50.00	\$50.00	10.15(11)(a)
139	Penalty for Chapter 10 violation - Recycling	Second Violation	\$200.00	\$200.00	10.15(11)(a)
140	Penalty for Chapter 10 violation - Recycling	Third and Subsequent Violations	not more than \$2,000.00	not more than \$2,000.00	10.15(11)(a)
141	Penalty for Chapter 10 violation - Solid Waste	First Violation	\$50.00	\$50.00	10.17(4)(c)
142	Penalty for Chapter 10 violation - Solid Waste	Second Violation	\$200.00	\$200.00	10.17(4)(c)
143	Penalty for Chapter 10 violation - Solid Waste	Third and Subsequent Violations	not more than \$2,000.00	not more than \$2,000.00	10.17(4)(c)
144	Penalty for Chapter 11 violation		\$25.00-\$100.00	\$25.00-\$100.01	11.02(7)(13)
145	Penalty for Chapter 17 violation		\$200.00-\$1,000.00	\$200.00-\$1,000.01	17.01(13)(b)
146	Penalty for Chapter 18 violation		\$100 + cost of prosecution	\$100 + cost of prosecution	18.04(1)
147	Penalty for Chapter 18 violation	Cash Deposits- Adults	\$100.00	\$100.00	18.08(3)(a)(2)
148	Penalty for Chapter 18 violation	Cash Deposits - minor	\$50.00	\$50.00	18.08(3)(a)(3)

REVISIONS	BY

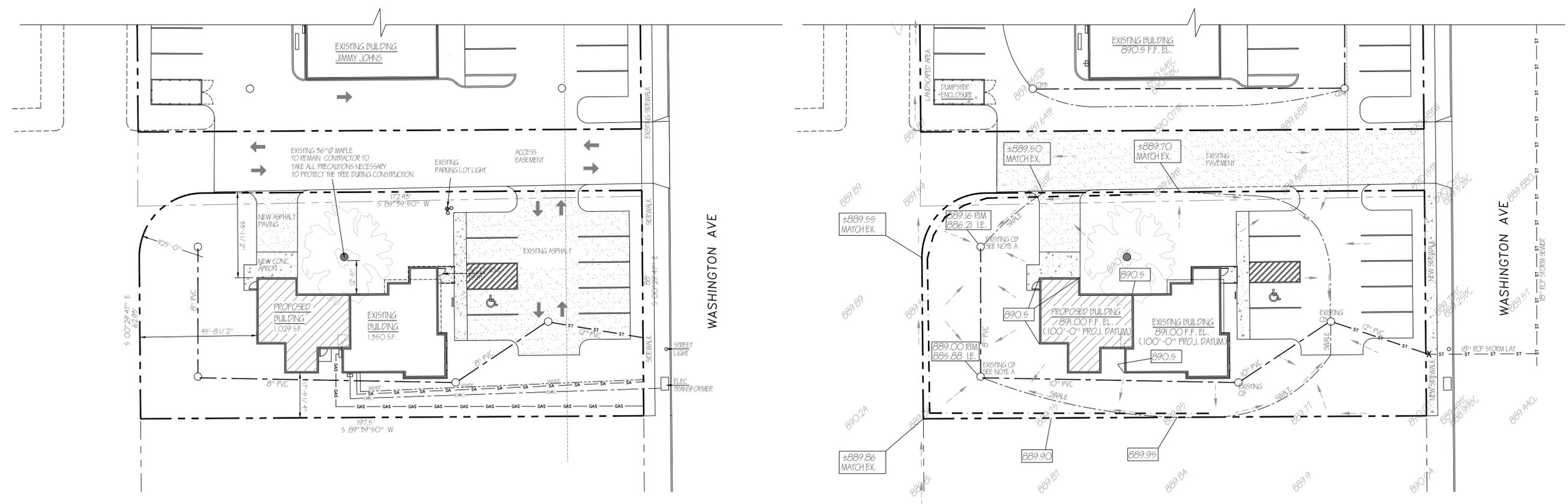
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NEW OFFICE BUILDING ADDITION
 EDWARD JONES INVESTMENTS
 WAUPUN, WISCONSIN
 SITE PLAN, GRADING PLAN AND SPECS

DRAWN	SCOTT
CHECKED	SCOTT
DATE	MAY 2022
SCALE	1" = 20'-0"
JOB NO	2209
FILE NAME	Vande Sluit Addition
SHEET	SI
OF SI, A1-A7	SHEETS



SITE PLAN
 SCALE 1" = 20'-0"

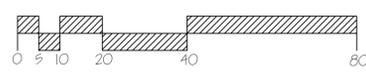
GRADING PLAN
 SCALE 1" = 20'-0"

LOT AREA = 17,244 s.f.
 IMPERVIOUS AREA = 6,787 s.f.
 LANDSCAPED AREA = 12,026 s.f.
 LOT AREA RATIO = 6,787 / 17,244 = 39.4%

NOTE A
 PLACE SILT FENCE CLOTH UNDER THE CATCH BASIN GRATE AS AN EROSION CONTROL MEASURE. DO NOT REMOVE THE SILT FENCE CLOTH UNTIL AFTER THE NEW LAWN IS ESTABLISHED

- SILT FENCING INSTALLED PER MANUFACTURERS RECOMMENDATION

B.O.C. = BOTTOM OF CURB
 T.O.C. = TOP OF CURB
 T.O.W. = TOP OF WALK
 T.O.P. = TOP OF PAVEMENT



♿ = ACCESSIBLE PARKING SPACE WITH SIGN PER TRANS 200.7

DESIGN DATA

SNOW.....	30 p.s.f.
WIND.....	20 p.s.f. (HORIZONTAL)
SNOW DRIFT.....	SEE CALCS
FLOORS.....	100 p.s.f.

ASSUMED UNIT STRESSES

CONCRETE (28 DAY).....	3,000 p.s.i.
REBAR (GRADE 60).....	60,000 p.s.i.
SOIL BEARING (ASSUMED).....	2,000 p.s.f.

GENERAL

CONSTRUCTION CLASS.....	11/19" WOOD FRAMED
OCCUPANCY CLASS IS.....	19" BUSINESS GROUP
EXISTING FLOOR AREA.....	1,350 s.f.
PROPOSED OFFICE FLOOR AREA.....	646 s.f.
PROPOSED GARAGE FLOOR AREA.....	983 s.f.
TOTAL PROPOSED FLOOR AREA.....	1,029 s.f.
TOTAL FLOOR AREA.....	2,379 s.f.

FLOOD PLAIN
 NO PART OF THIS PROPERTY IS WITHIN THE 100 YEAR FLOOD PLAIN

PARKING NOTES

PARKING PROVIDED.....	9
H.C. STALLS PROVIDED.....	1
GARAGE STALLS PROVIDED.....	1

OWNERS REPRESENTATIVE
 MR. ADAM VANDE SLUIT
 SECOND CENTURY LLC
 W 11963 WHOLLY ROAD
 WAUPUN, WISCONSIN, 53963
 (920) 382-5466

NOTES
 ASPHALT PAVING TO BE 2" TOP COAT OVER 2" BASE COAT OVER MIN 10" COMPACTED GRAVEL OVER COMPACTED CLAY FILL
 CONCRETE APRON TO BE MIN 4" ROLLED CONC SLAB WITH ONE LAYER 6 X 6 W2.9 X W2.9 OVER 6 MIL VAPOR BARRIER AND MIN 10" COMPACTED GRAVEL

ONE COPY OF THIS PLAN BEARING THE STATES STAMP OF CONDITIONAL APPROVAL SHALL BE KEPT AT THE JOBSITE AT ALL TIMES FOR THE INSPECTORS PURPOSES

THE LOCATIONS SHOWN OF EXISTING UNDERGROUND UTILITIES ARE ESTIMATES FOR PLAN APPROVAL PURPOSES ONLY. NOTIFY THE OWNER AND ALL UTILITY COMPANIES PRIOR TO DOING ANY EXCAVATION. CALL DIGGERS HOTLINE!!!!

PROPERTY LINE DATA TAKEN FROM A DRAWING PROVIDED BY A SURVEY SUPPLIED BY ADAM VANDE SLUIT
 PREPARED BY MSA PROFESSIONAL SERVICES

SPECIFICATIONS

GENERAL CONDITIONS
 The plans and specifications are intended to give a description of the work. However, all Contractors shall visit the site to verify existing conditions and the accessibility to their work areas. There shall be no deviations from these plans and specifications without the written consent of the Designer. The Contractors are to clarify any discrepancies with the Designer prior to commencing work.
 Contractors shall furnish all labor, materials (including taxes) and equipment necessary for satisfactory completion of work. All applicable Federal, State and Local Codes and Ordinances are hereby made a part of these specifications and shall be complied with as they apply to work under their contract.
 The Contractor shall notify the Designer prior to pouring concrete footings and before the structural system has been enclosed. A final inspection will be made by the Designer upon completion of the project. The Contractor shall be governed by the standard general conditions of the construction contract as published by the E.J.C.P.C.. All contractors shall be responsible for complying to provisions of the Federal Occupational Safety and Health Act (OSHA).

SITEWORK
 Provide all labor, materials and equipment for excavating, grading, fill and backfill work as required to complete the general construction work. All excavation and backfill for mechanicals are the responsibilities of the respective mechanical contractors.
 NOTE: Placer's Hot Line must be notified and all utilities shall be located before starting excavation work.
 Foundations shall not be placed prior to approval by the Designer.
 The presumed soil bearing capacity is 2,000 P.S.F.
 All organic topsoil inside the building area, under paved areas and at site fill areas shall be stripped.
 All subgrade fill under paved and building areas shall be borrow or site fill, as approved by the Designer, placed in 8" maximum lifts and compacted to at least 95% of standard proctor maximum dry density. Fill must not be placed on any frozen ground and frozen materials must not be used for back fill.
 The building site shall be graded to provide drainage away from the building at a minimum of 1% slope or as indicated on the plan.

CONCRETE
 Design and construction of all cast-in-place concrete work shall conform to ACI 318 and CRSI Standards.
 Design mixes shall be in accordance with ASTM C94.
 1) Strength to be minimum 3,000 PSI at 28 days for footings and walls.
 2) Strength to be minimum 3,500 PSI at 28 days for slabs on grade.
 3) Strength to be minimum 4,000 PSI at 28 days for columns, beams and structural steel.
 4) Slump shall not exceed 4 inches.
 5) All concrete exposed to weather shall be air-entrained with 4-7% air content. No other admixtures shall be used without approval of Designer.
 6) Maximum aggregate size for footing to be 1-1/2" and maximum aggregate size for all other work to be 3/4".
 Place floor slabs with construction joints or saw joints not exceeding a grid spacing of 15' x 15' or as indicated on the plans. Saw cuts must be made as soon as possible, but no later than 24 hours after concrete is placed. All interior slabs to have a troweled finish and all exterior slabs are to receive a light broom finish unless noted otherwise. Maintain level floors at all walls and pitch surfaces uniformly down toward drains.

All concrete is to be wet cured for 7 days, or sealed with a membrane curing compound.
 All exterior slabs shall be separated from the building with continuous bond breaker material.
 All reinforcing bars shall be ASTM A-615 grade 60. Thickness of concrete cover over reinforcement shall not be less than 3" where concrete is deposited against the ground without use of forms and not less than 1-1/2" in other locations. All reinforcing marked continuous to be lapped 24 diameters or 1'-0" minimum at splices and extended around corners with corner bars. All other bar splices to be lapped 36 bar diameters or as noted on drawings. Placing and detailing of steel reinforcing and reinforcing supports shall be in accordance with CRSI and ACI Manuals and Standard Practices. The reinforcement shall not be painted and must be free of grease, oil, dirt or deep rust when placed. All welded wire fabric shall meet the requirements of ASTM A-185.

SEALANTS
 Caulk around all windows, doors, vent openings, where different materials meet, roof openings, eaves, soffits, joints, around plumbing fixtures, countertops, etc. and as required for watertight connections.
DOORS, FRAMES, AND WINDOWS
 Furnish and install all doors and window assemblies as indicated on plans along with all required hardware and accessories as may be required for a complete job. All doors and windows shall operate smoothly without binding and shall be installed plumb and true. All hardware shall fit properly and be adjusted as required.

PAINTING & FINISHING
 All shop primed steel & hollow metal to receive (1) additional primer [tinted close to finish color] & (1) finish coat. Wood trim, doors, & windows to receive seal, & 2 coats varnish. (Gypsum board to receive primer and finish coat (eggshell finish, UNO).
TOILET ROOMS
 Accessible Toilet facilities are in place as shown on plans.

PLUMBING WORK
 All work shall be done in strict accordance with State and Local Codes. Separate Plans and calculations shall be submitted for approval by others. Fixture locations are shown; engineering to be by the design/build plumbing contractor. Provide service and waste lines stubbed to space for future tenants.
HEATING AND VENTILATION WORK
 All work shall be done in strict accordance with State and Local Codes. Separate Plans and calculations shall be submitted for approval by others. Equipment to be located in basement. Engineering is to be by the design/build HVAC contractor.

ELECTRICAL WORK
 All work shall be done in strict accordance with State and Local Codes. Provide service which is adequate for future tenants in unfinished space. The electrical design is to be by the design/build electrical contractor.

FLOORING
 All finished flooring selected and installed by owner. Contractor to coordinate installation as required.

LUMBER
 Rough lumber shall be graded and stamped as indicated on the drawings. All other lumber shall be SPF Construction grade or better. All wood plates in contact with concrete, masonry, earth, or exposed to the weather shall be PPT lumber. All headers and other structural lumber shall be #2 doug fir or better.

NAILING SCHEDULE

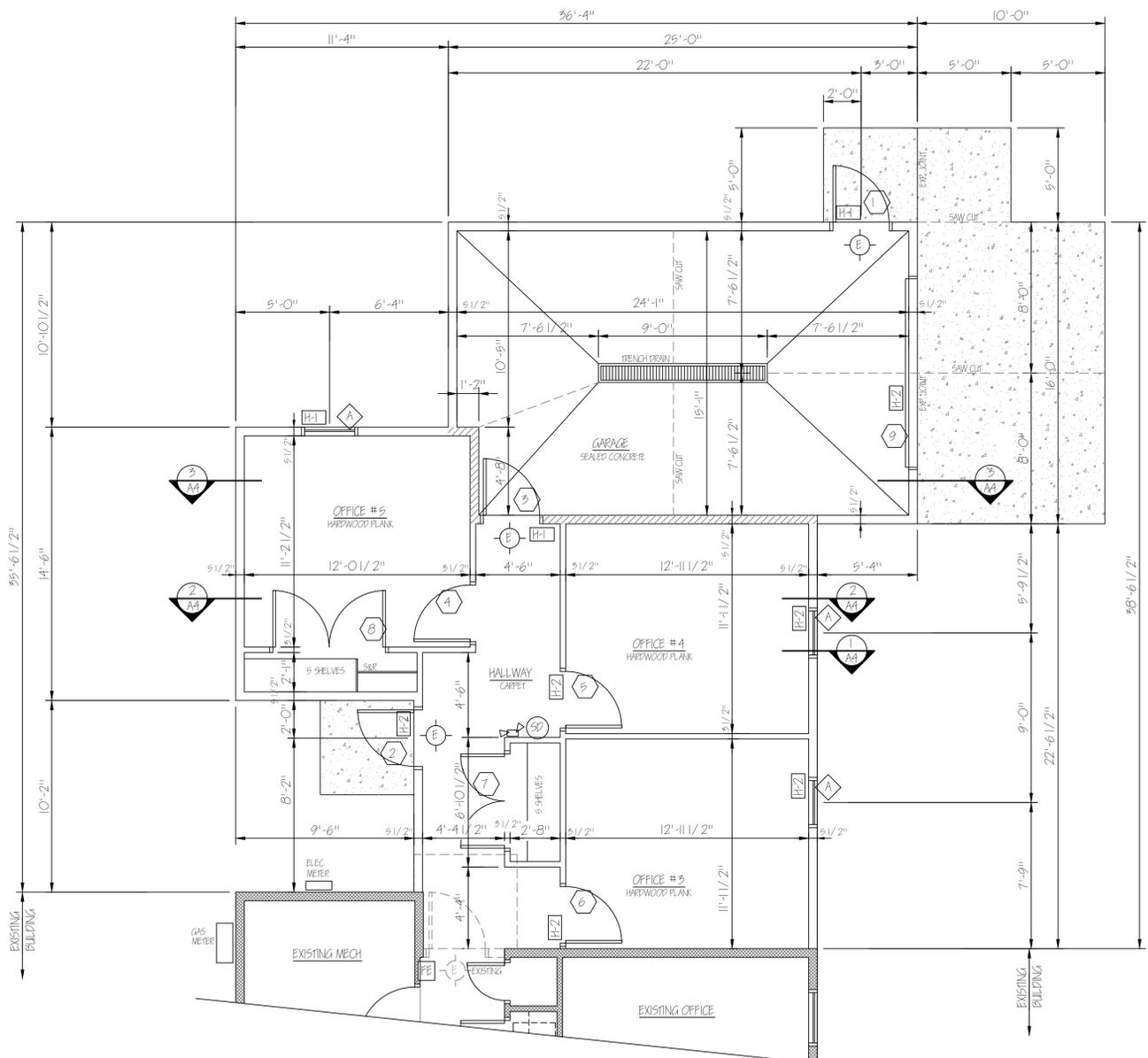
CONNECTION	FASTENER
Truss to top plate	Simpson 14-5"
Truss bracing	2-3d
Top plates to stud	2-16d
Studs to sole plates	4-3d (top) or 2-16d (end)
Double studs, face nail	16d @ 24" o.c.
Double top plates, face nail	16d @ 16" o.c.
Top plates, laps & intersections	2-16d
Continuous header, two pieces	16d @ 16" o.c. along ea. edge
Cont. header to stud, top nail	4-3d
Build-up corner studs	16d @ 24" o.c.
8" / 32" or 3/4" roof sheathing	10d @ 6" o.c. for supp. edges
	10d @ 12" o.c. interior members
1/2" wall sheathing (All Exterior walls)	8d @ 6" o.c. for supp. edges
	8d @ 12" o.c. interior members
1/2" unblocked gypsum wallboard (All Interior walls)	Druswall screws @ 8" o.c. at edges and @ 12" o.c. interior members

PLAN INDEX

SH #	SHEET DESCRIPTION
SI	SITE PLAN, SPECS AND GRADING PLAN
A1	FIRST FLOOR PLAN AND INT. ELEVATIONS
A2	FOOTING AND FOUNDATION, AND REFLECTED CEILING PLANS
A3	ROOF FRAMING PLAN AND ROOF PLAN
A4	DETAILS AND SECTIONS
A5	DOOR AND WINDOW SCHEDULES
A6	STRUCTURAL NOTES
A7	LATERAL BRACING PLAN



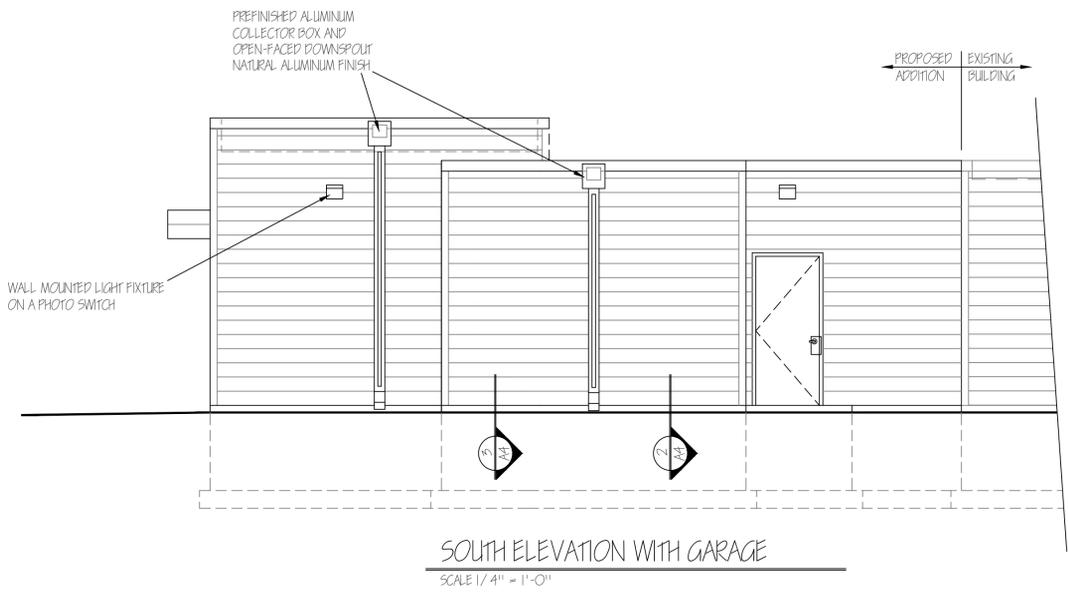
5-3-22



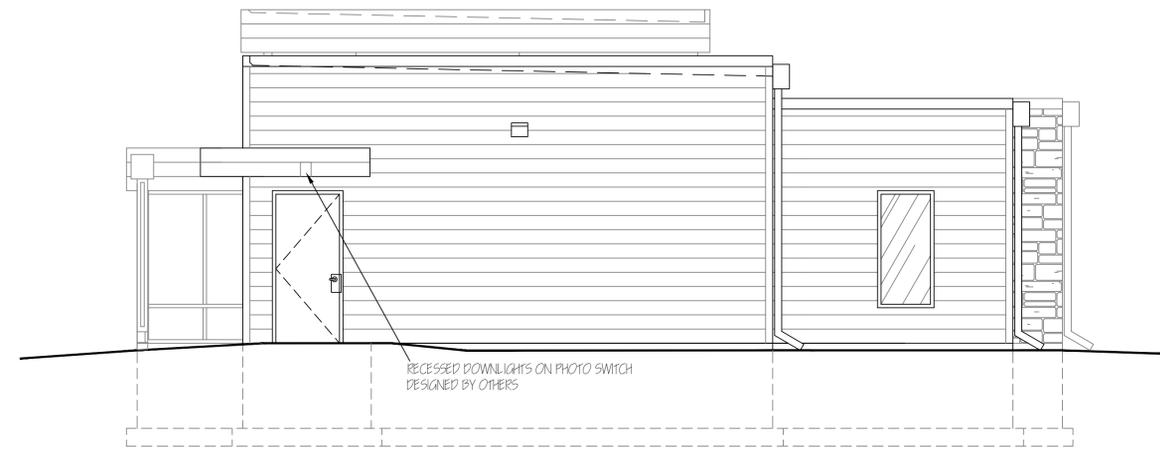
FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- SD = SMOKE DETECTOR, HARD WIRED AND INTERCONNECTED
- E = EXIT LIGHT
- NEW EMERGENCY LIGHTING WITH BATTERY BACKUP
- PE = WALL MOUNTED, ADA APPROVED, 2-A RATED FIRE EXTINGUISHER
- 1-HOUR RATED WALL, SWRI 01-4511-619, 2 X 6 STUDS AT 16" O.C. WITH 5/8" TYPE "X" GYPSUM WALLBOARD EACH SIDE FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING
- TYPICAL NEW EXTERIOR WALL TO BE 2 X 6 STUDS AT 16" O.C. WITH 1/2" OSB SHEATHING ON THE OUTSIDE AND 1/2" GWB INSIDE. SEE SHEET A-7
- TYPICAL NEW INTERIOR WALL TO BE 2 X 4 OR 2 X 6 STUDS AT 16" O.C. WITH 1/2" GYPSUM WALLBOARD EACH SIDE. FILL ALL VOIDS WITH SOUND BATTIS.

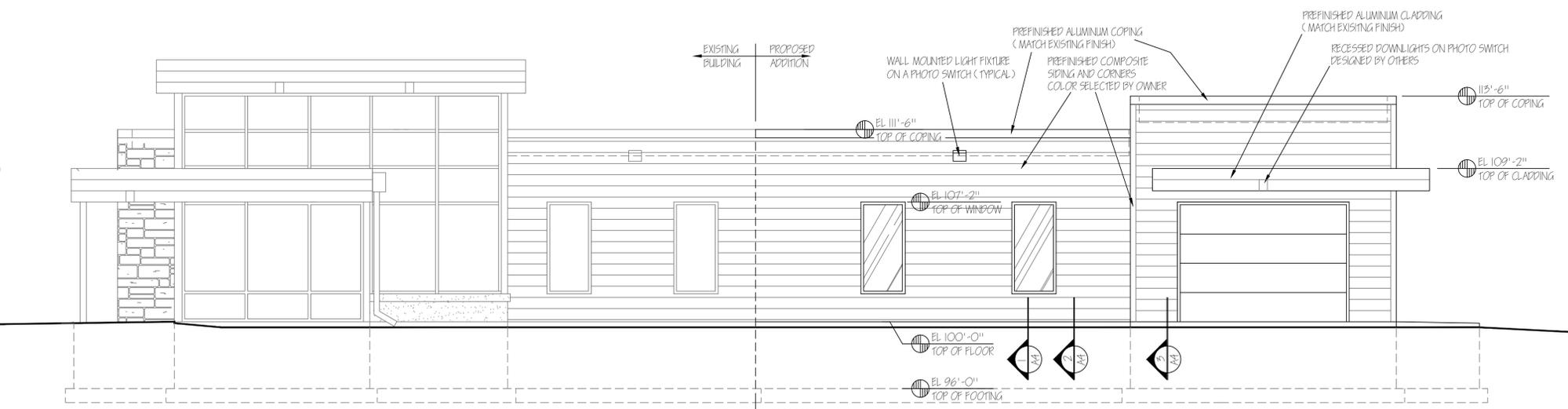
BEAM AND HEADER SCHEDULE		
#	SIZE	NOTES
H-1	(2) 2 X 8	(1) KING AND (2) BRG STUDS EACH END
H-2	(2) 2 X 10	(1) BRG STUD EACH END
H-3	(2) 1.75" X 9.25" LVL	(1) KING AND (2) BRG STUDS EACH END



SOUTH ELEVATION WITH GARAGE
SCALE 1/4" = 1'-0"



WEST ELEVATION WITH GARAGE
SCALE 1/4" = 1'-0"



NORTH ELEVATION WITH GARAGE
SCALE 1/4" = 1'-0"

REVISIONS	BY

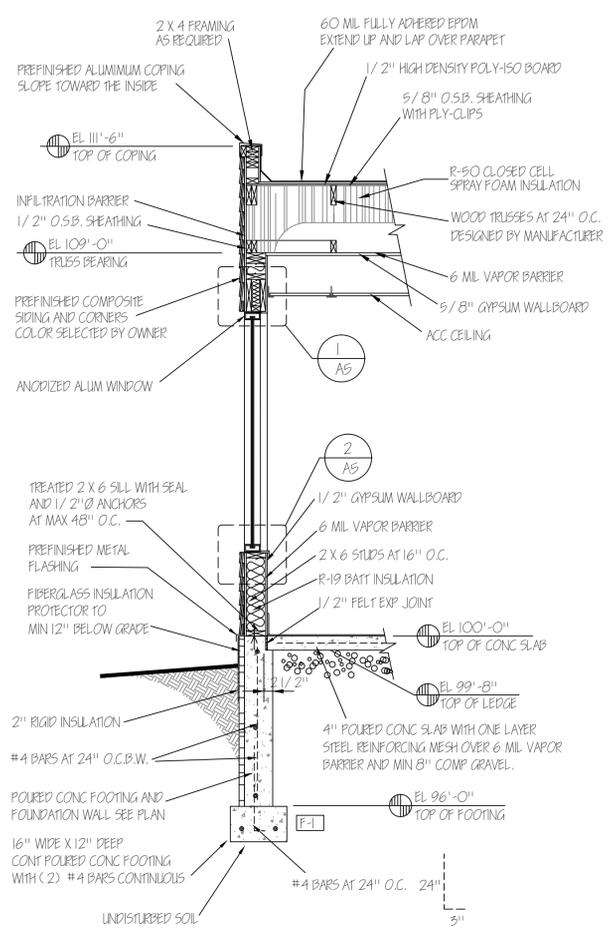
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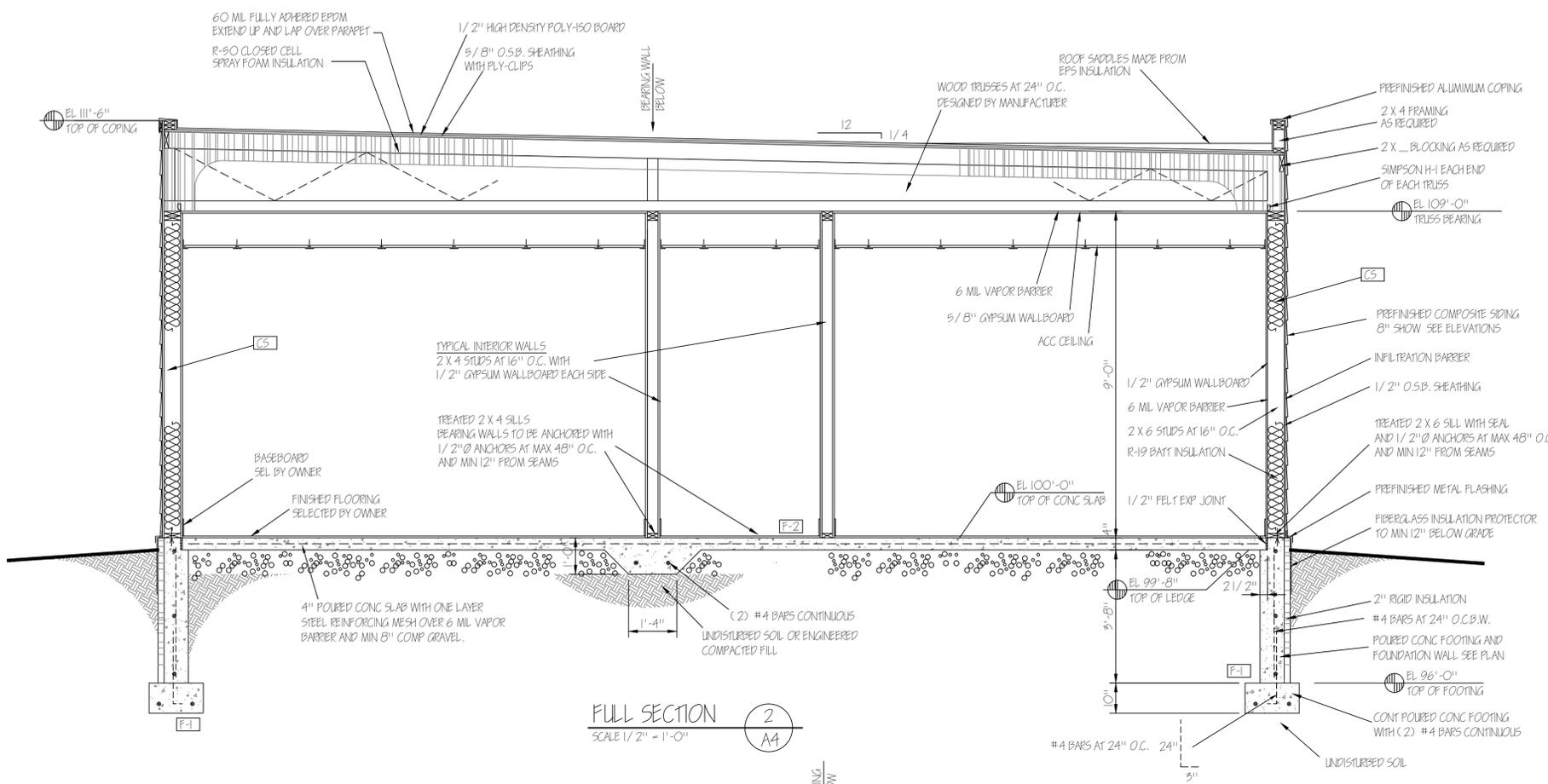
OFFICE BUILDING ADDITION
EDWARD JONES INVESTMENTS
WAUPUN, WISCONSIN
FIRST FLOOR PLAN AND ELEVATIONS

DRAWN	SCOTT
CHECKED	
DATE	MAY 2022
SCALE	1" = 10'-0"
JOB NO	2209
FILE NAME	Vander Stunt Addition
SHEET	
AI	
OF 51, AI-A7	SHEETS

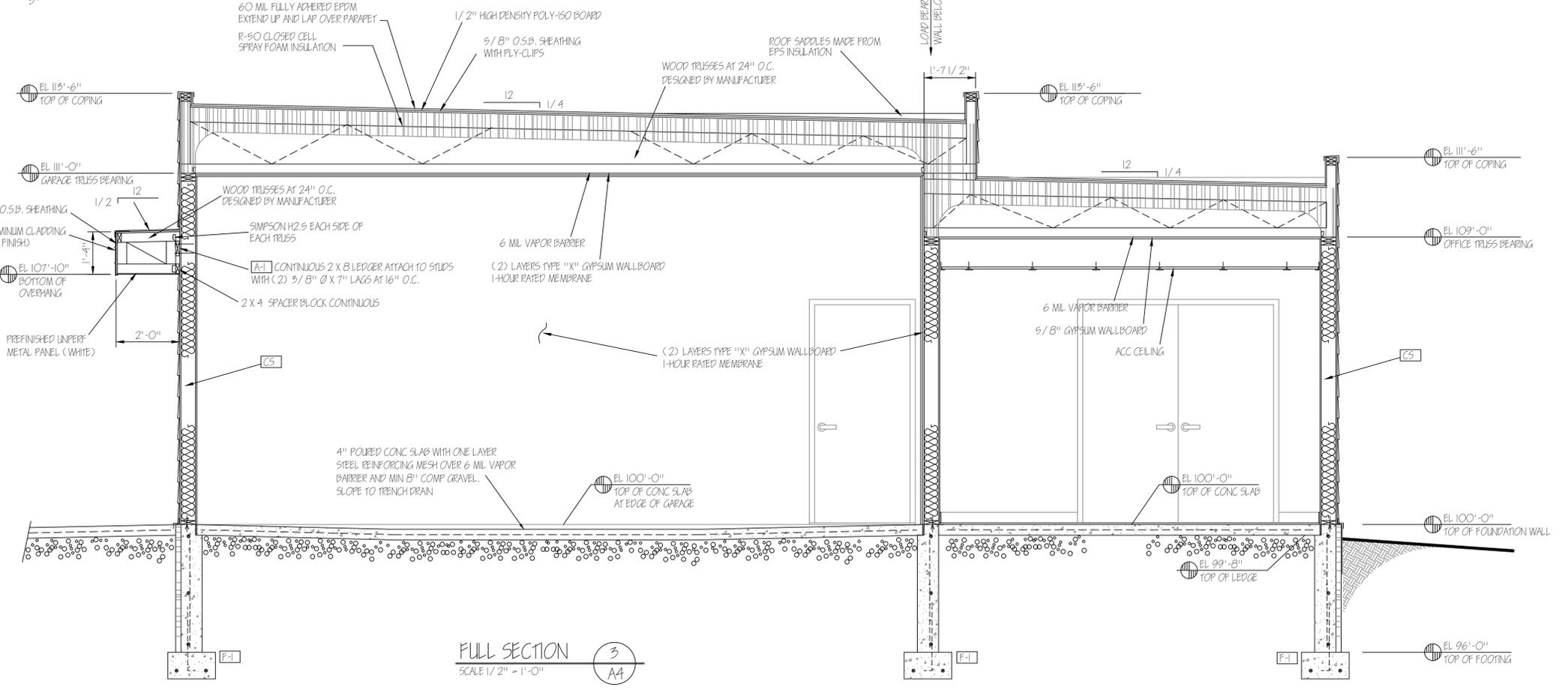


WALL SECTION 1
SCALE 1/2" = 1'-0"

ALL WALLS TO ACT AS SHEAR WALLS
TYPICAL EXTERIOR 1/2" SHEATHING WITH 10d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
TYPICAL INTERIOR 1/2" UNBLOCKED GYPSUM WALLBOARD WITH DRYWALL SCREWS AT 8" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.



FULL SECTION 2
SCALE 1/2" = 1'-0"



FULL SECTION 3
SCALE 1/2" = 1'-0"

REVISIONS	BY

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OFFICE BUILDING ADDITION
EDWARD JONES INVESTMENTS
WAUPUN, WISCONSIN
DETAILS AND SECTIONS

DRAWN	SCOTT
CHECKED	
DATE	MAY 2022
SCALE	1" = 10'-0"
JOB NO	2209
FILE NAME	Vander Stunt Addition
SHEET	A4

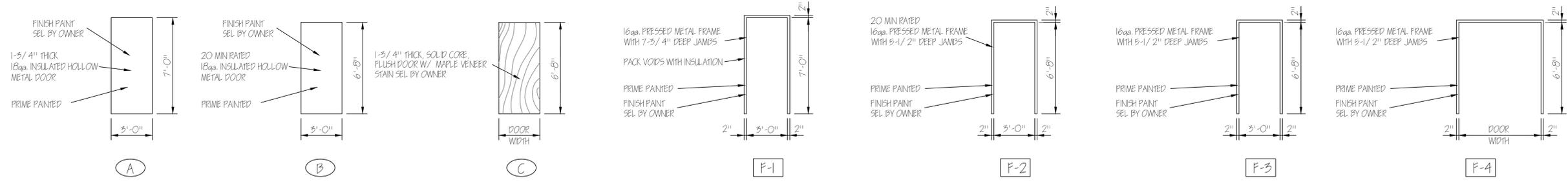
OF 51, A1-A7 SHEETS

DOOR SCHEDULE						
#	DETAIL	SIZE	FRAME	HARDWARE	KEY	REMARKS
1	A	36" X 84" X 1-3/4"	F-1	H-1	1	
2	A	36" X 84" X 1-3/4"	F-1	H-1	1	
3	B	36" X 80" X 1-3/4"	F-2	H-2	NONE	
4	C	36" X 80" X 1-3/4"	F-3	H-3	NONE	
5	C	36" X 80" X 1-3/4"	F-3	H-3	NONE	
6	C	36" X 80" X 1-3/4"	F-3	H-3	NONE	
7	C	(2) 30" X 80" X 1-3/4"	F-4	H-4	NONE	
8	C	(2) 36" X 80" X 1-3/4"	F-4	H-4	NONE	
9	C	10' X 7' X 2" INSULATED O.H. DOOR	NONE	H-5	NONE	

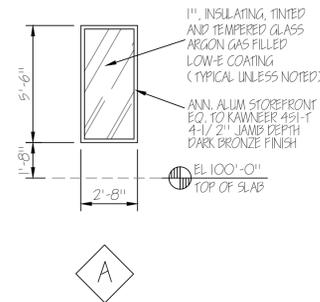
H-1 - SCHLAGE D53PD, ATHENS, LATCHGUARD, 3 PR. 4-1/2" X 4-1/2" N.R.P. HINGES, LCN #4111 CLOSURE, MAX. 1/2" THRESHOLD, SWEEP AND W/5 KIT
H-2 - SCHLAGE DIOS, ATHENS, 1-1/2 PR. 4-1/2" X 4-1/2" B.B. HINGES LCN #4111 CLOSURE, MAX. 1/2" THRESHOLD, SWEEP AND W/5 KIT
H-3 - SCHLAGE DIOS, ATHENS, 1-1/2 PR. 4-1/2" X 4-1/2" B.B. HINGES LCN #4111 CLOSURE, MAX. 1/2" THRESHOLD, SWEEP AND W/5 KIT
H-4 - (2) SCHLAGE D170, ATHENS, 3 PR. 4-1/2" X 4-1/2" B.B. HINGES TOP AND BOTTOM BALL STRIKES.
H-5 - WALL MOUNTED GARAGE DOOR OPENER WITH REMOTE

HARDWARE NOTES

- ALL EXTERIOR DOORS TO HAVE A SWEEP, W/5 KIT, AND MAX. 1/2" HIGH THRESHOLD
- ALL HARDWARE TO HAVE 626 SATIN CHROME FINISH UNLESS OTHERWISE NOTED
- ALL DOORS TO HAVE FLOOR OR WALL BUMPERS AS REQUIRED. BUMPERS TO BE CLYNN JOHNSON TP-13 OR 60W, #626, SATIN CHROME FINISH
- INCLUDE STRIKES AS REQUIRED



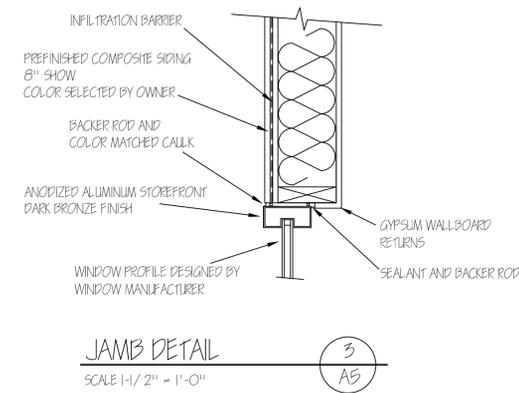
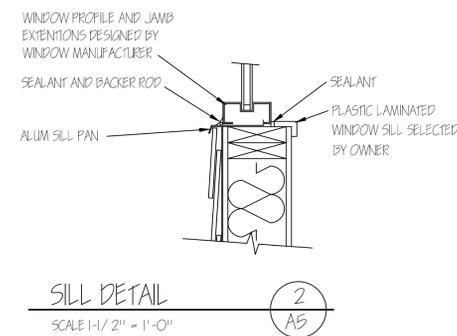
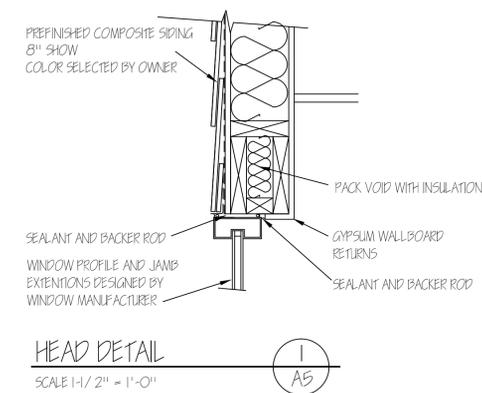
WINDOW SCHEDULE		
MARK & DETAIL	APPROX UNIT SIZE	NOTES
A	2'-8" X 5'-6"	ANN ALUMINIUM, DARK BRONZE



NOTES

PROVIDE NO JAMB EXTENSIONS. JAMBS AND HEAD TO BE GYPSUM WALLBOARD. SILL TO BE PLASTIC LAMINATED WITH 2" RETURN FOR JAMB, SILL, AND HEAD INFORMATION SEE DETAILS ON SHEET #7

NOTE
MANUFACTURER TO FIELD MEASURE R.O. AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION



REVISIONS	BY

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OFFICE BUILDING ADDITION
EDWARD JONES INVESTMENTS
WAUPUN, WISCONSIN
DETAILS AND SECTIONS

DRAWN
SCOTT
CHECKED

DATE
MAY 2022
SCALE
1" = 10'-0"
JOB NO
2209
FILE NAME
Vande Stunt Addition
SHEET
A5
OF 51, A1-A7 SHEETS

GENERAL

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES.
- ALL MATERIAL, WORKMANSHIP, AND DETAILS SHALL BE IN ACCORDANCE WITH BEST CONSTRUCTION PRACTICES, CURRENT MANUFACTURERS RECOMMENDATIONS, AND ALL APPLICABLE CODES AND GOVERNMENT REGULATIONS.
- CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS TO COORDINATE AND VERIFY THE LOCATION AND DIMENSIONS OF OPENINGS, CHASES, SLEEVES, PENETRATIONS, AND ANY PROJECT REQUIREMENTS NOT SPECIFICALLY SHOWN OR DETAILED ON THE STRUCTURAL DRAWINGS.
- THE CONTRACTOR SHALL SUPPLY ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION.
- JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PRACTICES.

DESIGN LOADS

ROOF DEAD LOAD: 20 PSF

SNOW LOADS:

$P_g = 30$ PSF
 $C_e = 1.0$
 $C_t = 1.1$ (VENTED ATTIC)
 $I_s = 1.0$
 $C_s = 1.0$
 $P_s = 23.1$ PSF (DESIGN FOR A MIN. OF 30 PSF)
 UNBALANCED SNOW - NA

WIND LOADS:

DESIGN SPEED: 90 MPH (3 SEC. GUST)
 OCCUPANCY CATEGORY II
 EXPOSURE CATEGORY: C
 IMPORTANCE FACTOR I = 1.0
 MEAN ROOF HEIGHT 13'
 INTERNAL PRESSURE COEFFICIENT $G_{Cpi} = +- 0.18$
 TOPOGRAPHY = NONE
 SEE STRUCTURAL CALCULATIONS FOR DESIGN WIND PRESSURES

SEISMIC LOADS:

OCCUPANCY CATEGORY: II
 SITE CLASS: D
 DESIGN CATEGORY: A

SITE WORK

- CAUTION; EXISTING UNDERGROUND UTILITIES MAY EXIST ANYWHERE ON THE SITE. NOTIFY DIGGERS HOTLINE PRIOR TO DISTURBING ANY GRADE OR EXCAVATING.
- THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OR CONTENT OF THE SUBSURFACE SOIL CONDITIONS DESCRIBED IN THE SPECIFICATIONS, TEST BORINGS, OR GEOTECHNICAL REPORT. THE CONTRACTOR OR OWNER SHALL EMPLOY A CERTIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO TEST, INSPECT AND VERIFY ALL ASSUMED SOIL CONDITIONS.
- PLACE FOUNDATION CONCRETE ON CLEAN, FIRM BEARING MATERIAL. ALL FOUNDATION WORK SHALL BE PLACED ON SUBSTRATE APPROVED AND TESTED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- DO NOT PLACE ANY FOUNDATION WORK ON FROZEN SUBGRADE.
- FOUNDATION AND BASEMENT WALLS SHALL BE ADEQUATELY BRACED DURING BACKFILLING AND COMPACTION TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE. BRACING SHALL REMAIN IN PLACE UNTIL PERMANENT BRACING IS IN PLACE AND UNTIL CONCRETE ACHIEVES SUFFICIENT STRENGTH TO RESIST IMPOSED LOADS.
- WHEN PLACING COMPACTED FILL ADJACENT TO FOUNDATION WALLS AND PIERS, PLACE BACKFILL AT EQUAL RATES ON BOTH SIDES TO PREVENT OVERTURNING OR STRUCTURAL DAMAGE.
- PROVIDE A MINIMUM OF 6" OF COMPACTED GRANULAR FILL UNDER ALL SLABS ON GRADE. COMPACTION SHOULD BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- ASSUMED SAFE ALLOWABLE SOIL BEARING VALUE IS 2000 PSF.

CONCRETE

- CONCRETE AND ITS PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING:
 - ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
 - ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE
 - ACI 318.1 BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE
 - ACI MCP MANUAL OF CONCRETE PRACTICE.
- AN INDEPENDENT TESTING AGENCY SHALL CAST 4 TEST CYLINDERS FOR EACH 50 CUBIC YARDS OF CONCRETE POURED OR FOR EACH DAY'S OPERATION, WHICH EVER IS THE LESSOR AMOUNT. THE TESTING AGENCY SHALL CAST, CURE, AND TEST THE SPECIMENS IN ACCORDANCE AND CONFORMANCE WITH ASTM C31 AND ASTM C39.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF FORM WORK TO COMPLY WITH DIMENSIONS INDICATED ON THE PLANS AND FOR MAINTAINING PROPER ALIGNMENT DURING CONCRETE POURING OPERATIONS.
- CEMENT SHALL BE PORTLAND CEMENT TYPE 1 CONFORMING TO ASTM C150. AGGREGATE SHALL BE FOR NORMAL WEIGHT CONCRETE CONFORMING TO ASTM C33. WATER SHALL BE CLEAN AND POTABLE.
- MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES.
- MINIMUM 28 DAY COMPRESSIVE STRENGTH AND MAXIMUM WATER CEMENT RATIO IN CONCRETE SHALL BE AS FOLLOWS.

CONCRETE PLACEMENT	F'c	W/C
• FOOTINGS	3000 PSI	0.50
• WALLS	4000 PSI	0.50
• SLAB ON GRADE	4000 PSI	0.45
• EXPOSED TO FREEZE THAW	4000 PSI	0.45
- PROTECT CONCRETE IN ACCORDANCE WITH ACI 305 AND ACI 306 FOR HOT WEATHER CONCRETING AND COLD WEATHER CONCRETING RESPECTIVELY.
- CEMENTITIOUS GROUT SHALL BE NON-SHRINK AND NON-METALLIC GROUT.
- COORDINATE WITH OTHER TRADES FOR SLEEVES, CONDUIT, ELECTRICAL GROUNDING WIRES, INSERTS, UNDERGROUND UTILITIES, AND OTHER ITEMS TO BE EMBEDDED INTO CONCRETE AND VERIFY THAT THEY ARE PROPERLY INSTALLED AND SUPPORTED BEFORE CASTING CONCRETE.
- ALL CONCRETE EXPOSED TO FREEZE THAW CYCLES SHALL BE 6% +/- 1.5% AIR-ENTRAINED AND CONFORM TO THE "STANDARD SPECIFICATION FOR AIR-ENTRAINING ADMIXTURES FOR CONCRETE" ASTM C260.

CONCRETE REINFORCEMENT

- ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED, AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CODES.
 - ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCING"
 - ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
 - MSP2 "CRSI MANUAL OF STANDARD PRACTICE"
 - AWS D1.4 "STRUCTURAL WELDING CODE - REINFORCING STEEL"
 - WRI "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE"
- REINFORCING BARS SHALL BE ASTM A 615, GRADE 60, DEFORMED STEEL BARS, $F_y = 60,000$ PSI.
- WELDED WIRE FABRIC SHALL BE ASTM A 185, WELDED STEEL WIRE FABRIC, WIRE SPACING AND GAGE AS SPECIFIED ON PLANS.
- CONCRETE CLEAR COVER FOR REINFORCING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE.

• FOOTINGS:	3" BOTTOM AND SIDES, 2" TOP
• SLAB ON GRADE:	CENTER IN SLAB
• WALLS AND PIERS:	2" EACH FACE
• BEAMS AND COLUMNS:	2" EACH FACE
- ALL FOOTING DOWELS SHALL BE ACCURATELY POSITIONED AND TIED IN PLACE BEFORE CASTING FOOTING CONCRETE. PROVIDE AND INSTALL DOWELS OF SAME SIZE AND SPACING AS VERTICAL REINFORCEMENT IN ALL COLUMNS AND WALLS. POSITION ALL ANCHOR BOLTS WITH TEMPLATES.
- UNLESS OTHERWISE DETAILED, ALL LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318 REQUIREMENTS FOR CLASS B LAPS.
- WELDED WIRE FABRIC SHALL LAP A MINIMUM OF 6" AND BE TIED TOGETHER.
- PROVIDE AND INSTALL (2) #5 BARS AT EACH SIDE OF EACH OPENING IN CONCRETE AND (2) #4 BARS AT 45 DEGREES AT EACH REENTRANT CORNER UNLESS OTHERWISE DETAILED.

WOOD

- ALL WOOD CONSTRUCTION PRACTICES AND MATERIALS SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:
 - ANSI/AF&PA NDS - SUPPLEMENTS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" - LATEST EDITION.
 - AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AITC "TIMBER CONSTRUCTION MANUAL" - LATEST EDITION.
 - APA - THE ENGINEERED WOOD ASSOCIATION "PS1 - CONSTRUCTION AND INDUSTRIAL PLYWOOD" - LATEST EDITION
 - ASTM STANDARD D1760 - "PRESSURE TREATMENT OF TIMBER PRODUCTS" - LATEST EDITION.
- WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY A GRADING AGENCY AUTHORIZED BY THE NDS "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION"
- STRUCTURAL WOOD MEMBERS SHALL HAVE ALLOWABLE STRESSES IN ACCORDANCE WITH THE SCHEDULE OF WOOD DESIGN STRESSES INCORPORATED IN THIS PLAN SET.
- THE MAXIMUM MOISTURE CONTENT OF ALL WOOD SHALL BE 15%.
- JOIST, RAFTERS, PURLINS, AND GIRTS SHALL BE SECURELY FASTENED TO SUPPORTING MEMBERS PER THE NAILING SCHEDULE OR JOIST HANGER MANUFACTURERS REQUIREMENTS.
- WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH EXTERIOR CONCRETE, OR IN DIRECT CONTACT WITH THE GROUND SHALL BE PRESSURE TREATED TO A NET RETENTION OF 0.40 P.C.F. AND BEAR THE APPROPRIATE AMERICAN WOOD PRESERVERS BUREAU QUALITY MARK.
- WOOD MEMBERS SHALL NOT BE CUT, NOTCHED, OR DRILLED WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
- PLYWOOD OR OSB SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND ALL JOINTS SHALL BE STAGGERED.
- PLYWOOD OR OSB SHEATHING SHALL BEAR THE APPROPRIATE GRADING STAMP FROM THE AMERICAN PLYWOOD ASSOCIATION AND BE RATED FOR THE DESIGN LOADS AND SPANS DETAILED ON THE PLANS.
- PLYWOOD OR OSB ROOF SHEATHING SHALL BE FASTENED TO SUPPORTS WITH 8d COMMON NAILS SPACED AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS (UNLESS OTHERWISE NOTED).
- PLYWOOD OR OSB WALL SHEATHING SHALL BE FASTENED TO SUPPORTS WITH 8d COMMON NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS (UNLESS OTHERWISE NOTED IN SHEAR WALL SCHEDULE).
- ALL NAILS SHALL BE COMMON WIRE NAILS (UNLESS NOTED OTHERWISE).
- BOLTS AND LAG SCREWS SHALL BE ASTM A307. USE STEEL WASHERS BETWEEN WOOD SURFACES AND HEAD OF BOLTS, HEAD OF LAG SCREWS, AND NUTS.
- HOLDOWN ANCHORS & JOIST HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH AND COMPLY WITH THE SPECIFICATIONS OF THE MANUFACTURER.
- PLYWOOD/OSB ROOF SHEATHING WITH THICKNESSES LESS THAN 5/8" SHALL HAVE PANEL EDGE SUPPORTS CONSISTING OF ONE 18 GAGE H-CLIP PLACED BETWEEN TRUSSES OR RAFTERS SPACED AT 24" O.C. OR TWO 18 GAGE H-CLIPS PLACED BETWEEN TRUSSES OR RAFTERS SPACED 1T 48" O.C.

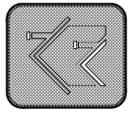
PREFABRICATED WOOD TRUSSES

- PREFABRICATED WOOD TRUSSES SHALL BE IN COMPLIANCE WITH AND DESIGNED IN ACCORDANCE WITH THE FOLLOWING AGENCIES REQUIREMENTS AND RECOMMENDATIONS.
 - ANSI/TPI - "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES" - LATEST EDITION.
 - TPI HIB - "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" - LATEST EDITION.
 - TPI DSB - "RECOMMENDED DESIGN SPECIFICATIONS FOR TEMPORARY BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" - LATEST EDITION.
- PRIOR TO INSTALLATION, THE WOOD TRUSS FABRICATOR SHALL SUBMIT STRUCTURAL CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW. THE STRUCTURAL CALCULATIONS SHALL CONTAIN AN ORIGINAL PROFESSIONAL ENGINEERS SEAL AND SIGNATURE BY THE DESIGN ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED.
- WOOD TRUSSES SHALL BE ERECTED AND BRACED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE RECOMMENDATIONS AND REFERENCES LISTED ABOVE.
- WOOD TRUSSES SHALL BE DESIGNED FOR ALL LISTED LOADS AND A NET WIND UPLIFT LOAD OF 10 PSF.
- DURING THE BIDDING PROCESS THE TRUSS MANUFACTURERS SHALL NOTIFY THE ARCHITECT, STRUCTURAL ENGINEER OF RECORD, AND ALL BIDDING CONTRACTORS OF ANY CHANGES OR DEVIATIONS TO THE PROPOSED TRUSS LAYOUTS SHOWN ON STRUCTURAL PLANS. CHANGES OR DEVIATIONS IN THE PROPOSED TRUSS LAYOUT MAY RESULT IN ADDITIONAL STRUCTURAL PLAN MODIFICATIONS.

REVISIONS	BY

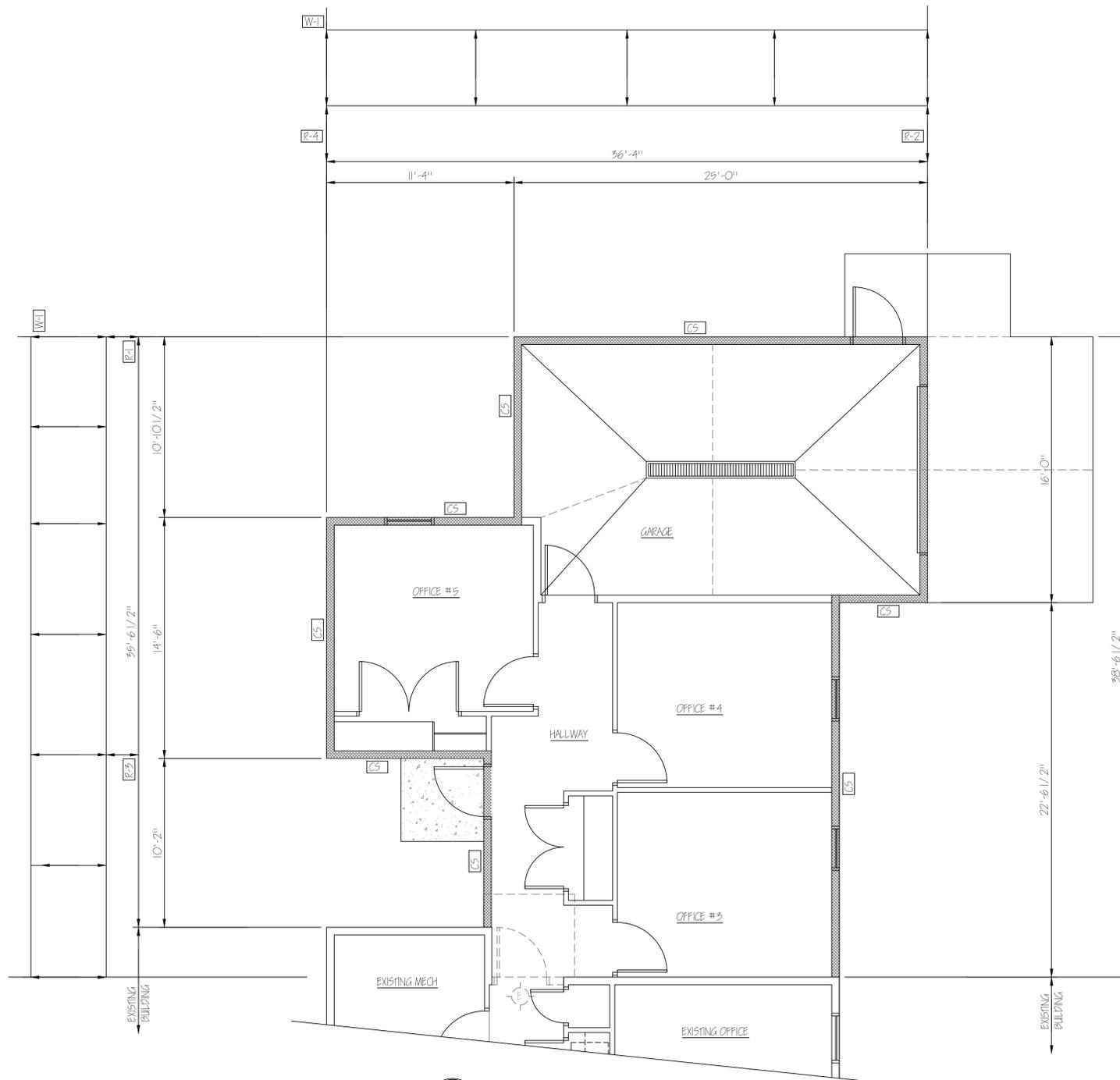
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 Scott Stelmacher, Registered Architect
 16741 Rogersville Road
 Fond du Lac, WI 54437
 FAX: 920.921.1298
 920.921.1298



OFFICE BUILDING ADDITION
 EDWARD JONES INVESTMENTS
 WAUPUN, WISCONSIN
 STRUCTURAL NOTES

DRAWN: SCOTT
 CHECKED: []
 DATE: MAY 2022
 SCALE: 1/4" = 1'-0"
 JOB NO: 2209
 FILE NAME: Vander Start Addition SHEET
A6
 OF 51, A1-A7 SHEETS



LATERAL BRACING PLAN
SCALE 1/4" = 1'-0"

REACTIONS

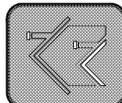
W1 = 15'-6" / 2 X 0.6 X 34.5psf = 140plf
 R1 = R3 = 38'-6.5" / 2 X 140plf = 2,698#
 R2 = R4 = 36'-4" / 2 X 140plf = 2,543#

CS = 7/16" SHEATHING WITH 8d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS AT EXTERIOR SURFACES AND 1/2" BLOCKED GYPSUM WALLBOARD WITH DRYWALL SCREWS AT 8" O.C. AT EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS AT INTERIOR SURFACES

REVISIONS	BY

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 FAX: 920-921-1298
 920-921-1298



OFFICE BUILDING ADDITION
 EDWARD JONES INVESTMENTS
 WAUPUN, WISCONSIN
 LATERAL BRACING PLAN

DRAWN
SCOTT
CHECKED

DATE
MAY 2022
SCALE
1/4" = 1'-0"
JOB NO
2209
FILE NAME
Vande Sturt Addition
SHEET
A7
OF 51, A1-A6 SHEETS



ENGINEERING | ARCHITECTURE | SURVEYING
 FUNDING | PLANNING | ENVIRONMENTAL
 201 Corporate Drive, Beaver Dam WI 53916
 (920) 887-4242 www.msa-ps.com

© MSA Professional Services, Inc.

PROJECT NO.	2235030	OWNER:	
DRAWN BY:	B. BUCHDA	KT REAL ESTATE HOLDINGS LLC	
SURVEYOR:	B. TISDALE	800 & 732 W. MAIN ST.	
FILE NO.	2235030 CSM.dwg	WAUPUN, WI 53963	
SHEET NO.	1 OF 2		

FOND DU LAC COUNTY CERTIFIED SURVEY MAP

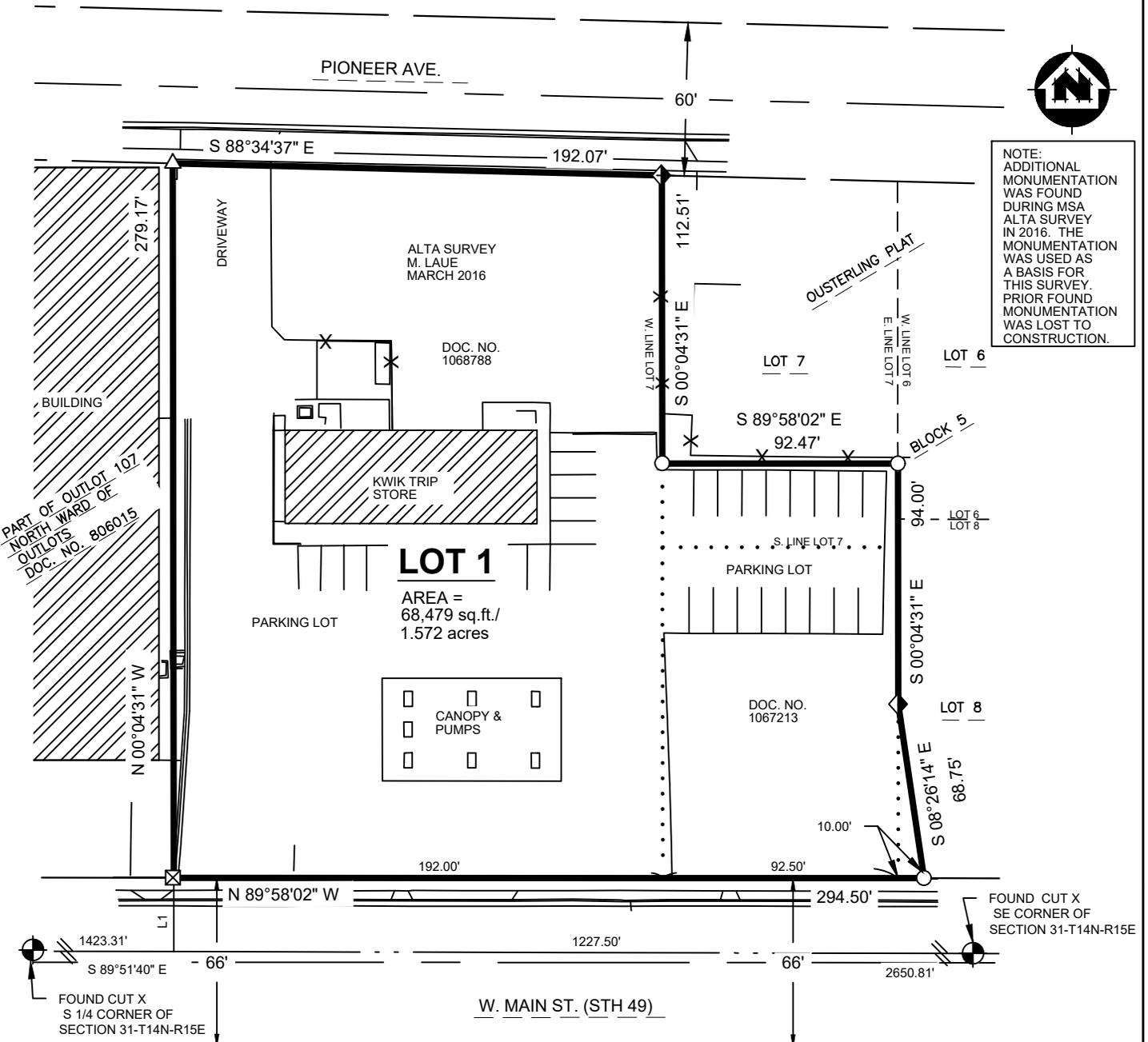
A SURVEY OF LANDS BEING A PART OF LOTS 7 & 8, BLOCK 5 OF OUSTERLING PLAT AND PART OF OUTLOT 107 OF THE NORTH WARD OF OUTLOTS AS DESCRIBED IN DOC. NO. 1067213 AND PART OF OUTLOT 107 OF THE NORTH WARD OF OUTLOTS AS DESCRIBED IN DOC. NO. 1068788 AND BEING LOCATED IN THE SE 1/4 OF THE SE 1/4 OF SECTION 31, T.14.N, R.15.E, IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN.

SAID PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.

BEARINGS ARE REFERENCED TO THE FOND DU LAC COUNTY COORDINATE SYSTEM. THE SOUTH LINE OF THE SE 1/4 OF SECTION 31 BEARS S 89°51'40" E



NOTE: ADDITIONAL MONUMENTATION WAS FOUND DURING MSA ALTA SURVEY IN 2016. THE MONUMENTATION WAS USED AS A BASIS FOR THIS SURVEY. PRIOR FOUND MONUMENTATION WAS LOST TO CONSTRUCTION.

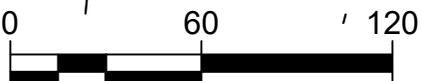
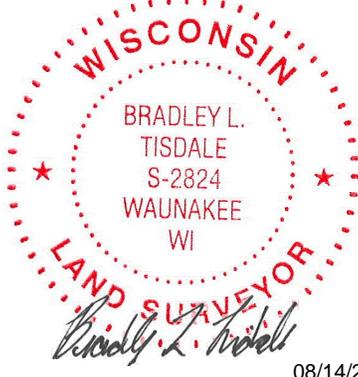


- CANOPY & PUMPS
- RECORDED AS

LINE TABLE

#	BEARING	DISTANCE
L1	N 00°04'31" W	28.84'

- FD. SECTION CORNER
- FD. 1" IRON PIPE
- SET CUT CROSS
- SET. 3/4" BY 18" IRON ROD - 1.50 LBS / FT
- SET MAG NAIL
- (XXX) RECORDED AS



08/14/2023

© 08/22/2023 09:25:00 AM C:\MSA\Survey\223503000_CSM.dwg 21 Jun 2023 12:22pm MAP



Fond du Lac County

LAND INFORMATION DEPARTMENT
 160 S. Macy Street Phone: (920) 929-3027
 Fond du Lac, WI 54935
 Email: land.information@fdlco.wi.gov

LAND DIVISION REVIEW LETTER OF INTENT

A copy of the Letter of Intent must be emailed with digital PDF copies of the proposed land division to:
Plat.Review@fdlco.wi.gov

Check One	Type	Number of Copies	Fee
<input type="radio"/>	Certified Survey Map (CSM)	One digital PDF	\$150
<input type="radio"/>	Preliminary Plat (State)	One digital PDF & one hard copy	\$150
<input type="radio"/>	Preliminary Plat (County)	One digital PDF & one hard copy	\$150
<input type="radio"/>	Final Plat	One digital PDF & one hard copy	\$150

Please remit ONE check, payable to Fond du Lac County

Surveyor ERIC FREIBERG Email efreiberg@charter.net Phone 920-948-4086
 Address 632 LEDGEVIEW BLVD., FOND DU LAC, WI Fax _____
 Property Owner/s LUZ - MARIANO ROSALES

Background Information

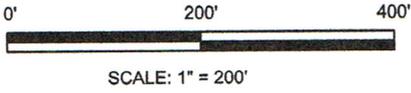
Municipality TOWN OF WAUPUN
 Subdivision Name (if applicable) _____ Location S 21 T 14 N R 15 E
 Parcel Number/s T 21-14-15-21-10-001-00
 Number of Lots 1 Number of Outlots 1 Net Acreage 39.44 - 39.51
 Type of Sewer: ___ Public Private
 Current Land Use RESIDENCE - HUNTING LAND
 Proposed Land Use SAME
 Current Zoning FP Proposed Zoning TO BE DETERMINED BY TOWN
 Additional Notes LUZ IS SPLITTING FOR FUTURE PLANNING PURPOSES. LOT 1 HAS A SINGLE FAMILY RESIDENCE. OUTLOT 1 IS USEFUL FOR AGRICULTURE - RECREATIONAL PURPOSES

For Office Use Only

Date Submitted <u>8/24/2023</u>	Date Needed <u>9/13/2023</u>	Date Emailed <u>8/25/2023</u>	Timeline <u>9/20/2023</u>
Distribution List:			
<input checked="" type="checkbox"/> Town/Village Clerk	<input checked="" type="checkbox"/> FDLCO Land Conservation	<input checked="" type="checkbox"/> FDLCO Planning	
<input checked="" type="checkbox"/> Extraterritorial Village/City	<input checked="" type="checkbox"/> FDLCO Property Listing	<input type="checkbox"/> FDLCO Airport	
<input type="checkbox"/> Addressing Agent	<input checked="" type="checkbox"/> FDLCO Highway	<input checked="" type="checkbox"/> FDLCO Code Enforcement	
<input type="checkbox"/> ECRPC	<input type="checkbox"/> WI DOT	<input checked="" type="checkbox"/> WI DNR	
Special Instructions: Ext: V of Waupun		Other _____	
		FILE #: 2023-55	

CERTIFIED SURVEY MAP

FOR
Luz RosaleS
OF UNPLATTED LAND IN THE
NW 1/4 OF THE SW 1/4 OF SECTION 21
T. 14 N. - R. 15 E. TOWN OF WAUPUN,
FOND DU LAC COUNTY, WISCONSIN

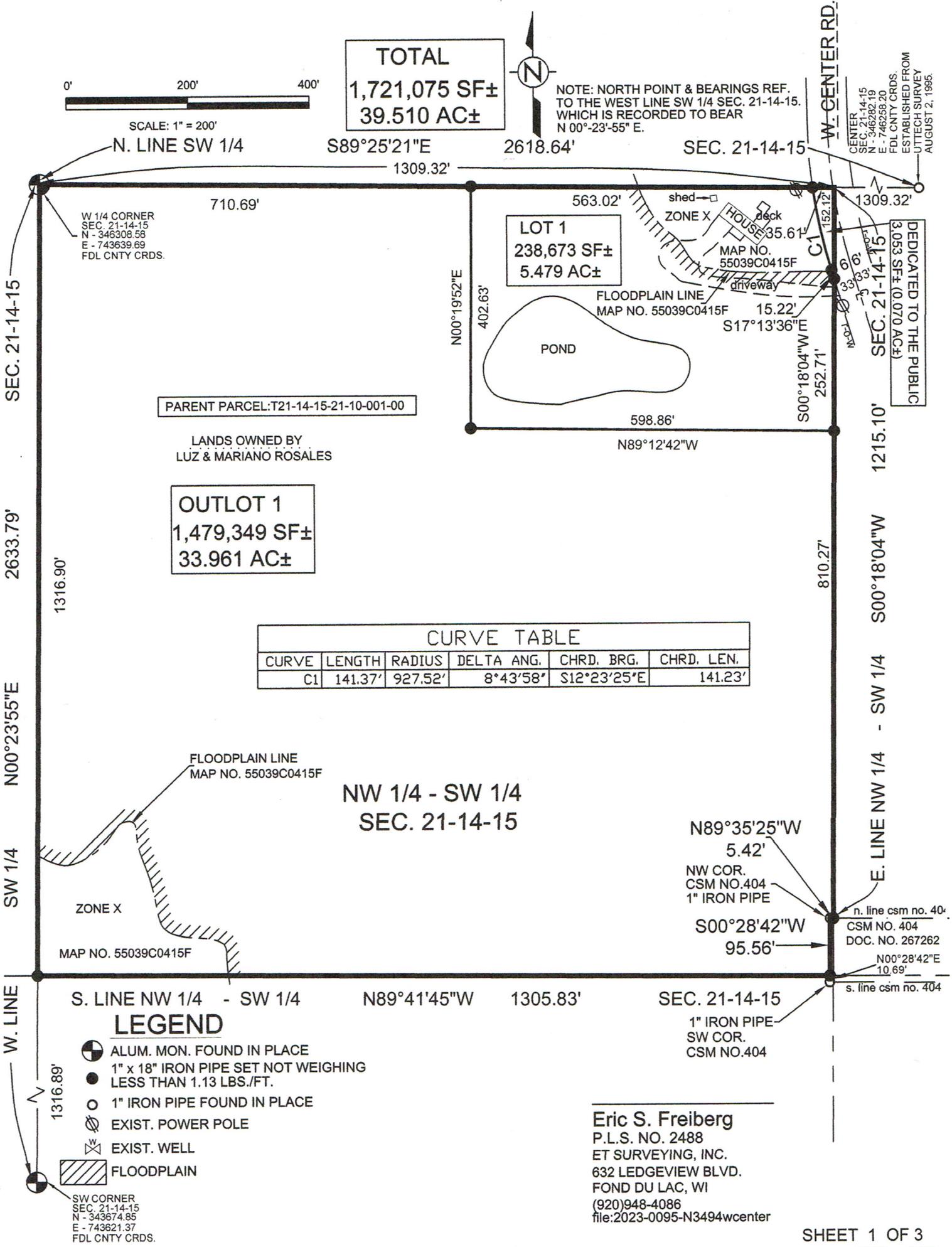


TOTAL
1,721,075 SF±
39.510 AC±



NOTE: NORTH POINT & BEARINGS REF.
TO THE WEST LINE SW 1/4 SEC. 21-14-15.
WHICH IS RECORDED TO BEAR
N 00°-23'-55" E.

CENTER
SEC. 21-14-15
N - 346282.19
E - 746258.20
FDL CNTY CRDS.
ESTABLISHED FROM
UTTECH SURVEY
AUGUST 2, 1985.



PARENT PARCEL: T21-14-15-21-10-001-00

LANDS OWNED BY
LUZ & MARIANO ROSALES

OUTLOT 1
1,479,349 SF±
33.961 AC±

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA ANG.	CHRD. BRG.	CHRD. LEN.
C1	141.37'	927.52'	8°43'58"	S12°23'25"E	141.23'

NW 1/4 - SW 1/4
SEC. 21-14-15

LEGEND

- ALUM. MON. FOUND IN PLACE
- 1" x 18" IRON PIPE SET NOT WEIGHING LESS THAN 1.13 LBS./FT.
- 1" IRON PIPE FOUND IN PLACE
- EXIST. POWER POLE
- EXIST. WELL
- FLOODPLAIN

Eric S. Freiberg
P.L.S. NO. 2488
ET SURVEYING, INC.
632 LEDGEVIEW BLVD.
FOND DU LAC, WI
(920)948-4086
file:2023-0095-N3494wcenter

CERTIFIED SURVEY MAP

A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 21
LOCATED IN TOWNSHIP 14 NORTH - RANGE 15 EAST,
TOWN OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

OWNER'S CERTIFICATE

As owner(s), we hereby certify that we consented to the land described on this plat to be surveyed, mapped, dedicated and divided as represented on the plat. We also certify that this plat is required by S.236.10 or 236.12 to be submitted to the following for approval or objection.

- 1) Town of Waupun
- 2) Fond du Lac County Planning Agency

Luz L. Rosales (Owner)

Mariano L. Rosales (Owner)

STATE OF WISCONSIN)
SS
FOND DU LAC COUNTY)

Personally came before me this _____ day of _____, 20____ the above named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
My commission expires: _____

Eric S. Freiberg
P.L.S. No. 2488
ET Surveying, INC.
632 Ledgeview Blvd.,
Fond du Lac, WI