



**A G E N D A**  
**CITY OF WAUPUN ZONING BOARD OF APPEALS**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, June 19, 2019 at 4:00 PM**

**CALL TO ORDER**

**RECOGNITION OF MAYORAL APPOINTMENTS OF COUNCIL MEMBERS AND CITIZENS TO THE ZONING BOARD OF APPEALS**

Zoning Board of Appeal – 3 Yr. Terms

(The Board of Zoning Appeals shall consist of 5 members and an alternate. The alternate shall act with full power when a member of the Board is absent or refuses to vote because of interest. Simultaneous membership on the Board of Zoning Appeals and Plan Commission is permissible.) The Mayor appoints the Chairperson.

Citizen	4-30-22	Mark Nickel
Citizen	4-30-20	Dick Walters
Citizen	4-30-21	Frank Mesa, Chairman ( <i>Mayor appoints Chairman</i> )
Citizen Alternate	4-30-21	Dylan Weber
Citizen	4-30-20	Jon Dobbratz
Council Member		Pete Kaczmariski
Public Works Dir., Ex Officio		
Utility Manager, Ex Officio		

**SELECTION OF THE DAY AND MONTH AND TIME OF ZONING BOARD MEETINGS**

**ROLL CALL**

**PERSONS WISHING TO ADDRESS THE ZONING BOARD OF APPEAL**--State name, address, and subject of comments. (2 Minutes)

**CONSIDERATION - ACTION**

1. Approve minutes of the April 3, 2019 meeting.
2. Variance request of Brain Schouten at 728 W. Main St. to vary the side yard setback from 3' to 20". Section 16.03(4)(c)(iv) requires a side yard setback of 3 feet from the overhang to the property line.
3. Variance Request of Scott Roffers and Jodi Mallas at 910 Taft Ln to install an auto safety cover in lieu of a fence around a pool. Section 16.01(11)(g) requires that all swimming pools with more than 12 inches or water and sides of more than 18 inches must have a barrier side or fence surrounding the pool.
4. Variance Request of Insight FS, 1208 W Brown St. to request variances for the following structures over 65 feet tall. Municipal Code Section 16.05(2)(c)(iii) states "Not exceed a maximum building height of 65 feet"
  - (a) Bucket elevator #1 - 163' height above grade
  - (b) Bucket elevator #2 - 161' height above grade
  - (c) Grain dryer - 88' height above grade
  - (d) 36 ft diameter storage tank - 68' height above grade
  - (e) Leg support tower - 151' height above grade

**ADJOURNMENT**

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*

**City of Waupun Zoning Board of Appeals**  
**Minutes of Meeting April 3, 2019**  
**"DRAFT"**

1. Chairman Mesa called The Zoning Board of Appeals meeting at 3:55 p.m.
2. Members present on roll call are Chairman Frank Mesa, Nancy Vanderkin, Dylan Weber, Dick Walters, and Jon Dobbratz

Member absent: Mark Nickel

Also in attendance were Zoning Administrator, Susan Leahy, Property Owners Jason & Kelly Hraban

3. Motion by Weber, second by Dobbratz, to approve the September 12, 2018 meeting minutes of the Zoning Board of Appeals. Motion carried, unanimously.
4. Public Hearing –Mesa read request to Discuss/Approve Variance request of Jason Hraban at 306 Brandon Street to install a 12x14 prefab shed, 3 feet from front yard setback. Municipal Code Section 16.03(1)(c)(ii) states properties must have a front yard setback of 30 feet.

Mesa questioned if the shed will be tight against the sidewalk and driveway and will it be a hardship if denied.

Jason Hraban stated there is a shed there already and he has moved the wood pile behind it.

Weber stated that they clearly meet the 30 foot setback on Brandon Street, and they have a Brandon Street address, why we are here.

Leahy stated that they are a corner lot which has 2 front yards. Each street must have a 30 foot setback.

It was asked if the shed could be moved closer to the house.

Leahy stated that if the shed was moved between the house and side yard property line they would not meet setbacks.

Walters asked if the shed was bigger than the previous. Owner stated yes.

Walters also stated that if moved closer to the intersection it would cause a problem.

No further facts were presented for or against the case, so Chairman Mesa closed the hearing and called for a motion.

Motion by Weber, seconded by Vanderkin to approve the variance as requested.

Vote: Vanderkin, Walters, Dobratz and Weber – “AYE”

Mesa “SUSTAINED”

Motion carried, Variance Approved.

5. Motion by Dobbratz, seconded by Walters to adjourn the meeting. Motion carried, meeting adjourned at 4:06 p.m.

Minutes submitted by:

Susan K. Leahy, Zoning Administrator



## NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Zoning Board of Appeals of the City of Waupun, to be held in the Council Chambers in the City Hall of the City of Waupun on Wednesday, the 19<sup>th</sup>, day of June, 2019 at 4:00 o'clock in the P.M., there will be considered the application for a Variance of:

1. Brian Schouten at 728 W. Main St. construct a detached garage with a side yard setback of 20". Section 16.03(4)(c)(iv) requires a side yard setback of 3' from the overhang to the property line.
2. Scott Roffers and Jodi Mallas at 910 Taft Ln to install an auto safety cover in lieu of a fence around a pool. Section 16.01(11)(g) requires that all swimming pools with more than 12 inches of water and sides of more than 18 inches must have a barrier side or fence surrounding the pool.
3. Insight FS, 1208 W Brown St. to request variances for the following structures over 65 feet tall. Municipal Code Section 16.05(2)(c)(iii) states "Not exceed a maximum building height of 65 feet"
  - a. Bucket elevator #1 – 163' height above grade
  - b. Bucket elevator #2 – 161' height above grade
  - c. Grain dryer – 88' height above grade
  - d. 36ft. diameter storage tank – 68' height above grade
  - e. Leg support tower – 151' height above grade.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Variance in support thereof or in opposition thereto, must appear at the said meeting of the Zoning Board of Appeals of the City of Waupun.

Dated this June 7, 2019

Susan Leahy  
Zoning Administrator  
City of Waupun

(PUBLISH, June 12, 2019)

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Fee: \$150.00 Paid: ✓ # 3545 Date: 5-29-19



## CITY OF WAUPUN

201 E. Main Street  
WAUPUN, WISCONSIN 53963

# VARIANCE APPLICATION

From: Brian A. Schouten / Carrie A. Schouten  
(business name or individual) 920-382-4154

Property Description and address:

728 W. Main St. Waupun W.I.  
S31 T14N R15E North Ward Outlots Corn At SE cor  
O.L. 107TH W 4 RDS N 10RDS E 4RDS S 10RDS To Beg. (V972-823)

Variance Requested:

Side Property Line Variance  
Bring eve in to 20 inches of property line  
new detached garage

Zoning Ordinance Section Involved:

700 block of W. Main St.

16.03 (4)(c)(iv)

SIDE YARD SETBACK OF 3 FEET (FROM OVERHANG)

Date presented to Zoning Board of Appeals: \_\_\_\_\_

VARIANCE:

☐

Granted

☐

Denied

Comments:

Zoned: R-4

Signature of Applicant (s):

Brian A. Schouten  
Carrie A. Schouten



Fond du Lac County, WI



*Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.*

Map Scale  
**1 inch = 20 feet**  
6/3/2019

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2. Scott Roffers and Jodi Mallas at 910 Taft Ln to install an auto safety cover in lieu of a fence around a pool. Section 16.01(11)(g) requires that all swimming pools with more than 12 inches of water and sides of more than 18 inches must have a barrier side or fence surrounding the pool.
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Dated this June 7, 2019

Susan Leahy  
Zoning Administrator  
City of Waupun

(PUBLISH, June 12, 2019)

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Fee: \$150.00 Paid: \$150.00 ck # 8203 Date: 6-5-19



**CITY OF WAUPUN**  
201 E. Main Street  
WAUPUN, WISCONSIN 53963

## VARIANCE APPLICATION

From: Scott Roffers and Jodi Mallas

(business name or individual)

**Property Description and address:**

910 Taft Lane Waupun, WI 53963

Residential In Ground swimming pool with auto safety cover.

**Variance Requested:**

To install the auto safety cover in lieu of a fence.

**Zoning Ordinance Section Involved:**

Chapter 16.01(11)(g) Zoning Code

Swimming Pools: Swimming pools shall be considered an accessory use and shall observe all side yard and rear yard setbacks as required by this Ordinance. All swimming pools with more than 12 inches of water and sides of more than 18 inches must have a barrier side or fence surrounding the pool with a minimum height of 48 inches above ground level. Anyone wishing to install a swimming pool must submit a plan or sketch of the installation to the Building Inspector and obtain the appropriate permit(s).

Date presented to Zoning Board of Appeals:

VARIANCE:

☐

Granted

☐

Denied

Comments:

Signature of Applicant (s):

Jodi Mallas  
Scott Roffers





Like 774 people like this. Be the first of your friends.

Fun in the sun starts with a safe  
**858-776-71**

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[REFERRAL PROGRAM](#)

## Wisconsin Pool Fence Laws

### Residential Swimming Pools

All drain covers replaced in all pools, public and private, after December 19, 2008 must be listed to comply with the ASME/ANSI A112.19.2007. You can find the requirements in the [Comm 90, Design and Construction of Public Swimming Pools and Water Attractions](#). The residential swimming pools in Wisconsin are subjected to the [BOCA POOL BARRIER CODE](#)

### Public Swimming Pools

The Public swimming pools in Delaware be subjected to the [Virginia Graeme Baker Federal Pool and Spa Safety Act](#)

Signed by the U.S. President Bush on December 2007, the VGB Pool and Spa Safety Act (P&SS Act) is effective since the December 19, 2007. This code is designed to foreclose swimming pools hazards. The perils of pools like body entrapments or eviscerations are more often our sight and deadly.

The Virginia Graeme Baker Act determined U.S. CPSC touchstones for pool and spa safety. Under the law, each drain covers must meet ASME/ANSI A112.19.8-2007 in all public pools and Spas. The water facilities which have a single main drain different than an unblockable must establish a second equipment to fight out entrapments.

The manufacturing, the trade or distribution of drain covers which are not in compliancy with the safety criteria required by the CPSC is prohibited in USA to ensure that all drain covers purchasable in the marketplace are compliant with safety specifications.

Each public pools must install anti-entrapment drain covers and implement other strata of protection such as safety vacuum release system enclosure.

**A swimming pool contractor should control that the pool and / or spa are compliant with the federal VGB Pool & Spa Safety Act.**

Please note that legislators are constantly updating the pool safety codes and that this information can change without notice. Please contact your local state or federal agencies for the most up to date information. To receive a free estimate for swimming pool fence in your area, please contact Aquaguard Pool Fences.

[CLICK HERE FOR YOUR FREE ESTIMATE](#)

**Barriers and Fencing for Swimming Pools**  
**Section 421.10.1 BOCA National Building Code**  
**May 1, 1999**

421.10.1 Outdoor Private Swimming Pool: An outdoor private swimming pool, including an in-ground, above ground or on ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following

1. The top of the barrier shall be **at least 48 inches** above finished ground level measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between finished ground level and the barrier shall be **2 inches** measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above finished ground level, such as an above ground pool, the barrier shall be at finished ground level, such as the pool structure, or shall be mounted on top of the pool structure. Where the barrier is mounted on the pool structure, the opening between the top surface of the pool frame and the bottom of the barrier shall not allow passage of a **4 inch** diameter sphere.
2. Openings in the barrier shall not allow the passage of a **4 inch** diameter sphere.
3. Solid barriers shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than **45 inches** the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed **1-3/4 inches** in width. Decorative cutouts shall not exceed **1-3/4 inches** in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is **45 inches** or more, spacing between the vertical members shall not exceed **4 inches**. Decorative cutouts shall not exceed **1-3/4 inches** in width.
6. Maximum mesh size for chain link fences shall be a **1-1/4 inch** square unless the fence is provided with slats fastened at the top or bottom which reduce the openings to not more than **1-3/4 inches**.
7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall be not more than **1-3/4 inches**.
8. Access gates shall comply with the requirements of items 1 through 7 of section 421.10.1, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outwards away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self latching device is less than **54 inches** from the bottom of the gate: ( a ) the release mechanism shall be located on the pool side of the gate at least **3 inches** below the top of the gate; and (b) the gate and barrier shall not have an opening greater than **1/2 inch within 18 inches** of the release mechanism.

9. Where a wall of a dwelling unit serves as part of part of the barrier and contains a door that provides direct access to the pool, one of the following shall apply:

9.1 All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The audible warning shall commence not more than **7 seconds** after the door and door screen, if present, are opened and shall sound continuously for a minimum of **30 seconds**. The alarm shall have a minimum sound pressure rating of **85 DbA at 10 feet** and the sound of the alarm shall be distinctive from other household sounds such as smoke alarms, telephones, and doorbells. The alarm shall automatically reset under all conditions. The alarm shall be equipped with manual means, such as touchpads or switches, to deactivate temporarily the alarm for a single opening from either direction. Such deactivation shall last for not more than **15 seconds**. The deactivation touchpads or switches shall be located at least **54 inches** above the threshold of the door

9.2 All doors with direct access to the pool through that wall shall be equipped with a self-closing and self latching device with the release mechanism located a minimum of **54 inches** above the floor. Swinging doors shall open away from the pool area.

9.3 The pool shall be equipped with a power safety cover. Where in a closed position, the cover shall be capable of holding a weight of 485 pounds, shall not have any openings that allow passage of a 4-1/2 inch sphere and shall incorporate a system to drain standing water that collects on the cover. The cover control switch shall be permanently installed in accordance with NFPA 70 listed in chapter 35, and be key operated and of a spring loaded or momentary contact type. Where the switch is released, the operation of the cover shall stop instantly and be capable of reversing direction immediately. The switch shall be in the line of sight of the complete pool cover

10. Where an above ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a fixed or removable ladder or steps, the ladder or steps shall be surrounded by a barrier which meets the requirements of items 1 through 9 of section 421.10.1. A removable ladder shall not constitute an acceptable alternative to enclosure requirements.

421.10.2 Indoor private swimming pool: All walls surrounding an indoor private swimming pool shall comply with section 421.10.1, item 9.

421.10.3 Prohibited locations: Barriers shall be located so as to prohibit permanent structures, equipment or similar objects from being used to climb the barriers.

421.10.5 Temporary enclosures : A temporary enclosure shall be installed in accordance section 3304.2 prior to the commencement of the installation of any in-ground swimming pool.

Exception: Where a permanent enclosure is provided prior to excavation  
Tjp/5/18/99



## PRIVATE SWIMMING POOL REGULATIONS

TOWN OF  
HOWARD

**(1) SCOPE AND APPLICATION** No person shall construct, install, enlarge or alter any private swimming pool in the Village of Howard except in accordance with the following regulations.

**(2) DEFINITION** The term "Swimming Pool," shall be defined as *"any permanent depression in the ground or any permanent above or below ground container in which water more than eighteen (18) inches deep is contained and which is used primarily for the purpose of bathing or swimming."* For the purposes of this section the term "permanent" shall mean a device which remains in place year-round and is not dismantled, stored, moved or removed on a seasonal basis. This definition does not include such temporary devices as children's wading pools, inflatable pools or similar devices, regardless of water depth.

**(3) PERMITS** A permit shall be obtained from the Building Inspector prior to the construction, installation, enlargement or alteration of any private swimming pool in the Village of Howard.

**(4) REQUIRED PLANS** Every application for a swimming pool permit shall be accompanied by plans showing; the proposed location of the swimming pool on the lot or parcel, including the distance to lot lines and existing buildings and structures; the location of any septic tank, drain field, sewer line or water line; pool dimensions and proposed water depth; type, height and location of proposed fences; and location of overhead and/or underground wiring and power lines relative to the proposed swimming pool.

**(5) PERMIT FEES** Permit fees for private swimming pools shall be as set forth in Section 40-162 of the Howard Municipal Code (Building Code).

**(6) SETBACK REGULATIONS** No private swimming pool shall be located in front of or closer to a street right-of-way than the principal building or use and the water line of such private swimming pool shall not be located closer than ten (10) feet to a side or rear property line or to any other building. No private swimming pool shall be located closer than five (5) feet to any septic system. The minimum setback regulations set forth in this section shall not apply to hot tubs, spas, whirlpools, children's portable wading pools, and similar recreational equipment.

**(7) FENCING REGULATIONS** Private swimming pools shall be protected by fencing complying with the following regulations.

**(a) Fence Design** Except as provided in subsection (b) below, all private swimming pools not enclosed within a permanent building shall be completely enclosed by a fence which is of sufficient strength to prevent access to the pool. Such fence shall not be less than four (4) feet in height, shall be located no closer than three (3) feet to the pool, and shall be so constructed as not to have voids, holes or openings larger than four inches in one dimension. Gates or doors in fences shall be so constructed as to be capable of being locked, and shall be closed and locked so as to prevent unlatching by persons outside the pool area at all times when the pool is not in actual use. The wall of a building facing a swimming pool may be incorporated as a portion of a required fence. For the purposes of this section, a swimming pool cover providing a degree of protection equivalent to that of the fencing described in this section may be used in lieu of fencing, as long as such cover is kept in place at all times when the pool is not in actual use.

**(b) Above-ground Swimming Pools** Above-ground swimming pools with self-provided fencing to prevent unguarded entry shall be permitted without additional fencing if such self-provided fencing complies with the minimum design parameters specified in subsection (a) above, and temporary ladders are removed and access is prevented at all times when the pool is not in actual use. Access from grade to above-ground swimming pools having permanent or stationary ladders, stairs, ramps or decks shall be protected by safeguard fencing and gates equivalent to those required herein.

**(c) Portable Pools, Spas and Hot Tubs** Portable pools over one (1) foot in depth, spas, hot tubs, whirlpools and similar equipment shall be fenced as specified in subsection (7)(a) above or shall be drained or covered after each day's use in such a manner as to provide for the safety of the public.

**(8) LIGHTING REGULATIONS** If overhead flood or other artificial lighting is provided to illuminate a private swimming pool at night, such lighting shall be shielded to direct all such illumination on the immediate pool area only.

DEPARTMENT OF CODE ADMINISTRATION  
2456 Glendale Avenue, Green Bay, WI 54313  
(Office) 920-434-4640 (Fax) 920-434-4643

gklinka@villageofhoward.com



# PERMIT APPLICATION

PLEASE COMPLETE ALL APPLICABLE SECTIONS

INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED

<b>LOCATION</b>	JOB SITE ADDRESS (Street Number and Name)	LOT #	SUBDIVISION												
<b>PROPERTY OWNER</b>	PROPERTY OWNER'S FULL NAME		DAYTIME PHONE #												
	PROPERTY OWNER'S MAILING ADDRESS (Include Zip Code)														
<b>PERMIT APPLICANT</b>	PERMIT APPLICANT'S COMPANY NAME		PERMIT APPLICANT'S FULL NAME (First, Middle Initial, Last)												
	PERMIT APPLICANT'S MAILING ADDRESS (Include Zip Code)		FAX #												
			DAYTIME PHONE #												
<b>BUILDING CONTRACTOR</b>	BUILDING CONTRACTOR'S COMPANY NAME		BUILDING CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	BUILDING CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI DWELLING CONTRACTOR QUALIFIER #												
			DAYTIME PHONE #												
<b>ELECTRICAL CONTRACTOR</b>	ELECTRICAL CONTRACTOR'S COMPANY NAME		ELECTRICAL CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	ELECTRICAL CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI ELECTRICAL CREDENTIAL #												
			DAYTIME PHONE #												
<b>PLUMBING CONTRACTOR</b>	PLUMBING CONTRACTOR'S COMPANY NAME		PLUMBING CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	PLUMBING CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI PLUMBING CREDENTIAL #												
			DAYTIME PHONE #												
<b>HVAC CONTRACTOR</b>	HVAC CONTRACTOR'S COMPANY NAME		HVAC CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	HVAC CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI HVAC CREDENTIAL #												
			DAYTIME PHONE #												
<b>SEWER CONTRACTOR</b>	SEWER CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		DAYTIME PHONE #												
<b>OTHER CONTRACTOR</b>	OTHER CONTRACTOR'S COMPANY NAME		OTHER CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	OTHER CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI CREDENTIAL #												
			DAYTIME PHONE #												
<b>PROJECT (CHECK ONE)</b>	<input type="checkbox"/> NEW BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION/REMODELING <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVING <input type="checkbox"/> DEMOLITION <input type="checkbox"/> OTHER <u>Swimming Pool</u>														
<b>BLDG TYPE (CHECK ONE)</b>	<input type="checkbox"/> SINGLE FAMILY <input type="checkbox"/> DUPLEX <input type="checkbox"/> MULTI-FAMILY <input type="checkbox"/> COMMERCIAL/INDUSTRIAL <input type="checkbox"/> GARAGE/STORAGE <input type="checkbox"/> AGRICULTURAL <input type="checkbox"/> OTHER														
<b>WORK TYPE (CHECK ALL PROPOSED WORK)</b>	<input type="checkbox"/> BUILDING CONSTRUCTION <input checked="" type="checkbox"/> ELECTRICAL <input type="checkbox"/> PLUMBING <input type="checkbox"/> HEATING/VENTILATING/AIR CONDITIONING <input type="checkbox"/> OTHER														
<b>EST COST (LABOR AND MATERIALS)</b>	BUILDING CONSTRUCTION (\$)	ELECTRICAL (\$)	PLUMBING (\$) HVAC (\$) OTHER (\$) TOTAL ESTIMATED COST (\$)												
<b>JOB DESCRIPTION (DESCRIBE ALL PROPOSED WORK)</b>	Your e-mail: _____														
<b>BUILDING FEATURES (COMPLETE THIS SECTION FOR NEW BUILDINGS AND ADDITIONS ONLY)</b>	<table border="1"><tr><td><input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)</td><td><input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)</td><td><input checked="" type="checkbox"/> RISK-POSS USE (Permanent or Seasonal)</td></tr><tr><td><input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)</td><td><input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)</td><td><input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)</td></tr><tr><td><input checked="" type="checkbox"/> Forced Air</td><td><input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)</td><td><input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)</td></tr><tr><td><input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)</td><td></td><td><input checked="" type="checkbox"/> Private Well</td></tr></table>			<input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)	<input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)	<input checked="" type="checkbox"/> RISK-POSS USE (Permanent or Seasonal)	<input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)	<input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)	<input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)	<input checked="" type="checkbox"/> Forced Air	<input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)	<input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)	<input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)		<input checked="" type="checkbox"/> Private Well
<input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)	<input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)	<input checked="" type="checkbox"/> RISK-POSS USE (Permanent or Seasonal)													
<input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)	<input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)	<input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)													
<input checked="" type="checkbox"/> Forced Air	<input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)	<input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)													
<input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)		<input checked="" type="checkbox"/> Private Well													
<b>SIGNATURE</b>	ENTER YOUR INITIALS IN THIS BOX TO VERIFY THAT YOU HAVE READ AND AGREE TO THE TERMS AND CONDITIONS DETAILED BELOW (REQUIRED FOR APPLICATION TO BE PROCESSED)		APPLICATION DATE												
CONSTRUCTION START DATE															
BY INITIATING THE BOX ABOVE, THE PERMIT APPLICANT DOES HEREBY CERTIFY THAT: (1) ALL INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT; (2) THE PERMIT APPLICANT UNDERSTANDS THAT THE ISSUANCE OF A PERMIT CREATES NO LEGAL LIABILITY, EXPRESSED OR IMPLIED, ON THE VILLAGE OF HOWARD OR ON ANY OF ITS EMPLOYEES; (3) IN THE PERFORMANCE OF ALL WORK COVERED, THE PERMIT APPLICANT WILL BE BOUND BY AND SUBMIT TO ALL STATUTES OF THE STATE OF WISCONSIN, CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HOWARD, AND ABIDE BY ALL RULES AND REGULATIONS PRESCRIBED BY THE DEPARTMENT OF CODE ADMINISTRATION.															

**VILLAGE OF HOWARD**  
Department of Code Administration  
**PERMIT FEE SCHEDULE**

**BUILDING GROUPS - NEW CONSTRUCTION AND ADDITIONS**

**Group I** - Residential buildings in which families or households live, rooming houses and residential accessory buildings (this group does not include hotels, motels or institutional buildings).

**Group II** - Non-residential warehouses, storage buildings and similar type occupancies (this group includes buildings used exclusively for warehousing, storage or similar purposes).

**Group III** - All other buildings not classified as Group I or Group II.

**PERMIT FEES FOR NEW CONSTRUCTION AND ADDITIONS**

**Building Permits**

- Group I - \$.10/sq. ft. (except unfin. basements)
- Group I - \$.05/sq. ft. (unfinished basements)
- Group II - \$.05/sq. ft.
- Group III - \$.12/sq. ft. (first 10,000 sq. ft.)
  - \$.10/sq. ft. (next 10,000 sq. ft.)
  - \$.08/sq. ft. (next 10,000 sq. ft.)
  - \$.06/sq. ft. (over 30,000 sq. ft.)

**Electrical Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**Plumbing Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**Heating (HVAC) Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**PERMIT FEES - ALTERATIONS, REPAIRS AND REMODELING OF EXISTING BUILDINGS**

**Building Permits**

1.0% of Building Construction Cost

**Plumbing Permits**

2.0% of Plumbing Construction Cost

**Electrical Permits**

2.0% of Electrical Construction Cost

**HVAC Permits**

2.0% of HVAC Construction Cost

**MISCELLANEOUS FEES**

Swimming Pools - \$50

Signs - \$5.00/sq. ft. of Sign Area

Driveway/Culvert - \$20

Demolition - \$50

Permit to Start Construction - \$50

Park Impact Fee - \$1225/Single-Family Dwelling Unit

Park Impact Fee - \$871/Multi-Family Dwelling Unit

Transportation Impact Fee - \$667/Single-Family Dwelling Unit

Transportation Impact Fee - \$474/Multi-Family Dwelling Unit

State UDC Permit Seal - \$35

Municipal Sanitary Sewer Connection - \$10

Municipal Storm Sewer Connection - \$10

Municipal Water Connection - \$10

Water Supply Capacity Charge - Per HMC 36-55

Well Operation Permit - \$35

Erosion Control, New Single Family & Duplex - \$100

Erosion Control, All Other - \$350 + \$30/Acre Disturbed

Delinquent Permits - Double Fee

Other Fees as Set Forth in the Howard Municipal Code

**GENERAL NOTES**

- Areas included for fee calculation purposes include all floor levels, basements, garages, and enclosed spaces under roof.
- Construction costs include labor and materials.
- The minimum Building Permit fee is \$50. The minimum fee for all other permits is \$25.
- All fees are rounded to the nearest dollar.

**CHAPTER 14**  
**BUILDING, CONSTRUCTION SITE AND HOUSING CODES**

**SUBCHAPTER I: BUILDING CODE**

- 14.01 Title
- 14.02 Purpose
- 14.03 Scope
- 14.04 Organization and Enforcement
- 14.05 Application of State Codes
- 14.06 Definitions of Terms
- 14.07 Workmanship Regulated
- 14.08 Building Permits and Inspection
- 14.09 Certificates of Occupancy
- 14.10 Structural Requirements Not Covered by State Codes
- 14.11 Garages
- 14.12 Building in Business District
- 14.13 Private Swimming Pools
- 14.14 Canopies and Marquees
- 14.15 Radiant Heating Units
- 14.16 New Methods and Materials
- 14.17 [Reserved]
- 14.18 Fences
- 14.19 Unsafe Buildings
- 14.20 Moving Buildings
- 14.21 Disclaimer on Inspections
- 14.22 Violations and Penalties

**SUBCHAPTER II: CONSTRUCTION SITE EROSION CONTROL CODE**

- 14.23 Authority
- 14.23.1 Findings of Fact
- 14.23.2 Purpose
- 14.23.3 Applicability and Jurisdiction
- 14.24 Definitions
- 14.25 Applicability of Maximum Extent Practicable
- 14.26 Technical Standards
- 14.27 Performance Standards for Construction Sites Under One Acre
- 14.27.1 Performance Standards for Construction Sites of One Acre or More
- 14.28 Permitting Requirements, Procedures, and Fees
- 14.28.1 Erosion and Sediment Control Plan, Statement, and Amendments
- 14.28.2 Fees
- 14.29 Inspection
- 14.30 Enforcement
- 14.31 Appeals
- 14.32 Severability
- 14.33 Effective Date

**SUBCHAPTER III: HOUSING CODE**

- 14.34 Purpose and Intent
- 14.35 Definitions
- 14.36 Inspection of Dwellings, Dwelling Units, Nursing Units, Hotel Units, and Premises
- 14.37 Enforcement; Service of Notice and Orders; Hearing
- 14.38 Minimum Standards for Basic Equipment and Facilities
- 14.39 Minimum Standards for Light, Ventilation, and Heating
- 14.40 Responsibilities of Owners Relating to the Maintenance of Dwellings and Dwelling Units
- 14.41 Minimum Space, Use and Location Requirements
- 14.42 Responsibilities of Occupants Relating to the Maintenance of Dwelling and Dwelling Units

or rebuilt nor shall such building, when damages are less than 50% of its fair market value, be so repaired as to be raised higher than the highest part left standing after such damage shall have occurred or so as to occupy a greater space than before the damage thereto.

**14.13 PRIVATE SWIMMING POOLS.** No person shall construct, install or enlarge a residential swimming pool not enclosed in a permanent building in the City except in accordance with the following regulations:

(1) **DEFINITION.** "Swimming pool" means any depression in the ground, either temporary or permanent, or a container of water, either temporary or permanent and either above or below the ground, in which water more than 18 inches deep is contained and which is used primarily for the purpose of bathing or swimming.

(2) **PERMIT.**

(a) **Required.** No person shall construct, install, enlarge or alter any private swimming pool unless a permit therefore has first been obtained from the Building Inspector.

(b) **Application.** Application shall be on forms provided by the Building Inspector and shall be accompanied by plans drawn to scale showing the following:

1. Location of pool on lot, distance from lot lines and distance from structure.
2. Location of any septic tank, filter bed and sewer and water lines.
3. Pool dimensions and volume of water in gallons.
4. Location of proposed fence, and type, size gate location.
5. Existing overhead wiring relative to proposed pool.

(c) **Fees.** See §14.08(10) of this chapter.

(3) **CONSTRUCTION REQUIREMENTS.**

(a) No pool shall be located, erected, constructed or maintained closer to any side or rear lot line than allowed by Ch. 17 of this Code for permitted accessory building uses, and the waterline of any pool shall not be less than 10 feet from any lot line or building.

- (b) No connection shall be made to the sanitary sewer or septic system.
- (c) Where topography requires, a permanent wall of concrete, masonry or material approved by the Building Inspector shall be constructed to prevent ground and fill from spilling onto adjoining property.
- (d) Gaseous chlorination systems shall not be used for disinfecting pool waters.
- (e) No above-ground pool shall be less than 5 feet from any septic system.

(4) **FENCES AND COVERS.** (2502 10/09/18)

(a) All swimming pools not enclosed within a permanent building shall comply with one or both of the following:

(i) Be completely enclosed by a fence of sufficient strength to prevent access to the pool, not less than 5 feet in height and so constructed as not to have voids, holes or openings larger than 4 inches in one dimension. Gates or doors shall be constructed so as to be capable of being locked, and shall be closed and secured so as to prevent unlatching by persons outside the pool at all times when the pool is not in actual use. Above-ground pools with self-provided fencing to prevent unguarded entry shall be permitted without separate additional fencing, provided the self-provided fence is of the minimum height and design as herein specified. Permanent access from grade to above-ground pools having stationary ladders, stairs or ramps shall have safeguard fencing and gates equivalent to those required herein, subject to all other applicable ordinances and subject to the following:

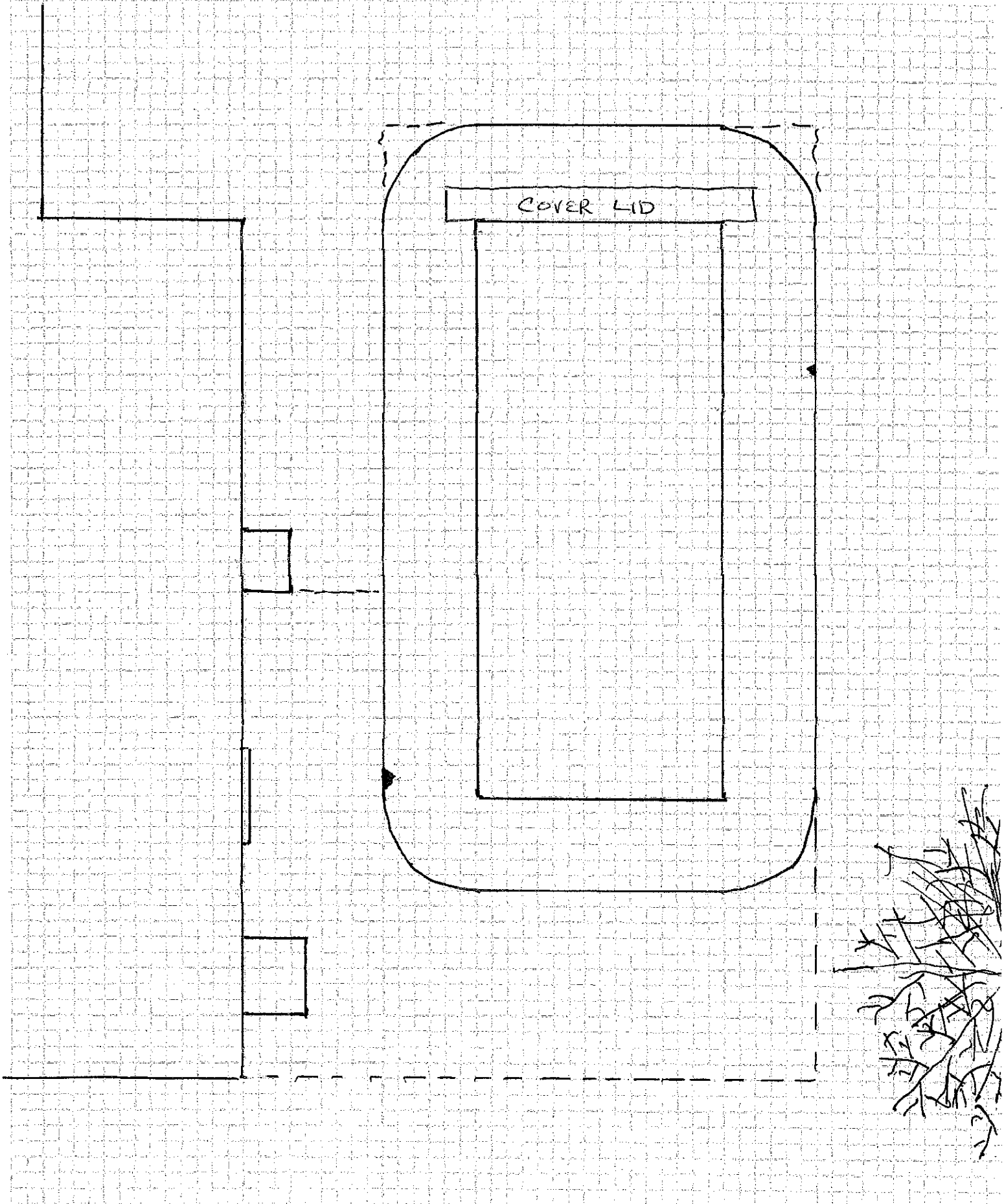
1. No fence shall be located, erected, constructed or maintained closer than 3 feet to a pool.
2. The wall of the house or building facing a pool may be incorporated as a portion of such fence.

(ii) While not in immediate use, be covered and remain covered by a pool safety cover that meets the standards of ASTM F1346-91(2018), Standard Performance Specification for Safety Covers and Labeling



CONCRETE & MASONRY RESTORATION, INC.

7233 North 51st Blvd. • P.O. Box 23249 • Milwaukee, WI 53223-024  
Phone: (414) 365-9160 • Fax: (414) 365-915



PROJECT: \_\_\_\_\_ Scale: 1 Square = \_\_\_\_\_

24/7





# Hydramatic

The Standard  
in Automatic Pool Covers



World Leaders in Automatic Pool Covers





Only the best will do when  
designing your Backyard Oasis.  
Choose Aquamatic Cover Systems.

At Aquamatic we have dedicated years of  
investment to give you the ultimate system  
at an affordable price.

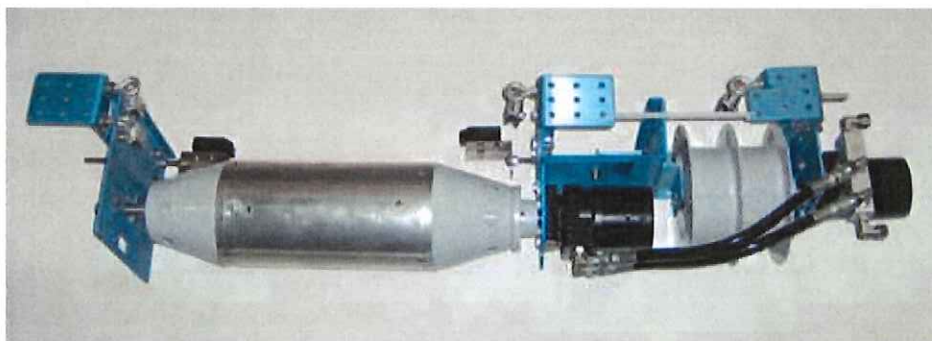


...but the most important part of any pool cover is the mechanism.

The Patented mechanism of the **HYDRAMATIC** represents **the best value for your durable investment**. Designed to last the lifetime of your pool, the Hydramatic is maintenance free, and the most reliable cover on the market with the **most extensive warranty** in the industry today...

**20 Years**  
Drive Warranty

**7 Years**  
Fabric Warranty





A photograph of a swimming pool with a Hydramatic hydraulic cover. The pool is in the foreground, with a concrete deck. In the background, there are several palm trees, a grassy area, and a beach leading to the ocean under a cloudy sky. The text is overlaid on the image.

**See why pool professionals, architects,  
and designers have made the Hydramatic  
the top selling hydraulic pool cover  
worldwide.**

- Unique all-fluid dual drive is waterproof
- No electrics near the pool, the powerpack (pump) can be placed up to 150 ft away
- Quick and easy to open - travels about one foot per second on average
- Patented trouble free Leading Edge slider system and cable compensating device
- Rainwater Removal feature built-in on most covers
- Installation on most pool types and shapes
- Leaves and debris are collected when the cover is opened to remove rainwater
- Saves money on chemicals, energy, and water loss from evaporation
- Pressure relief valves gently stop the cover at end of travel
- 20 year limited warranty on the mechanism
- 7 year limited warranty on the cover fabric

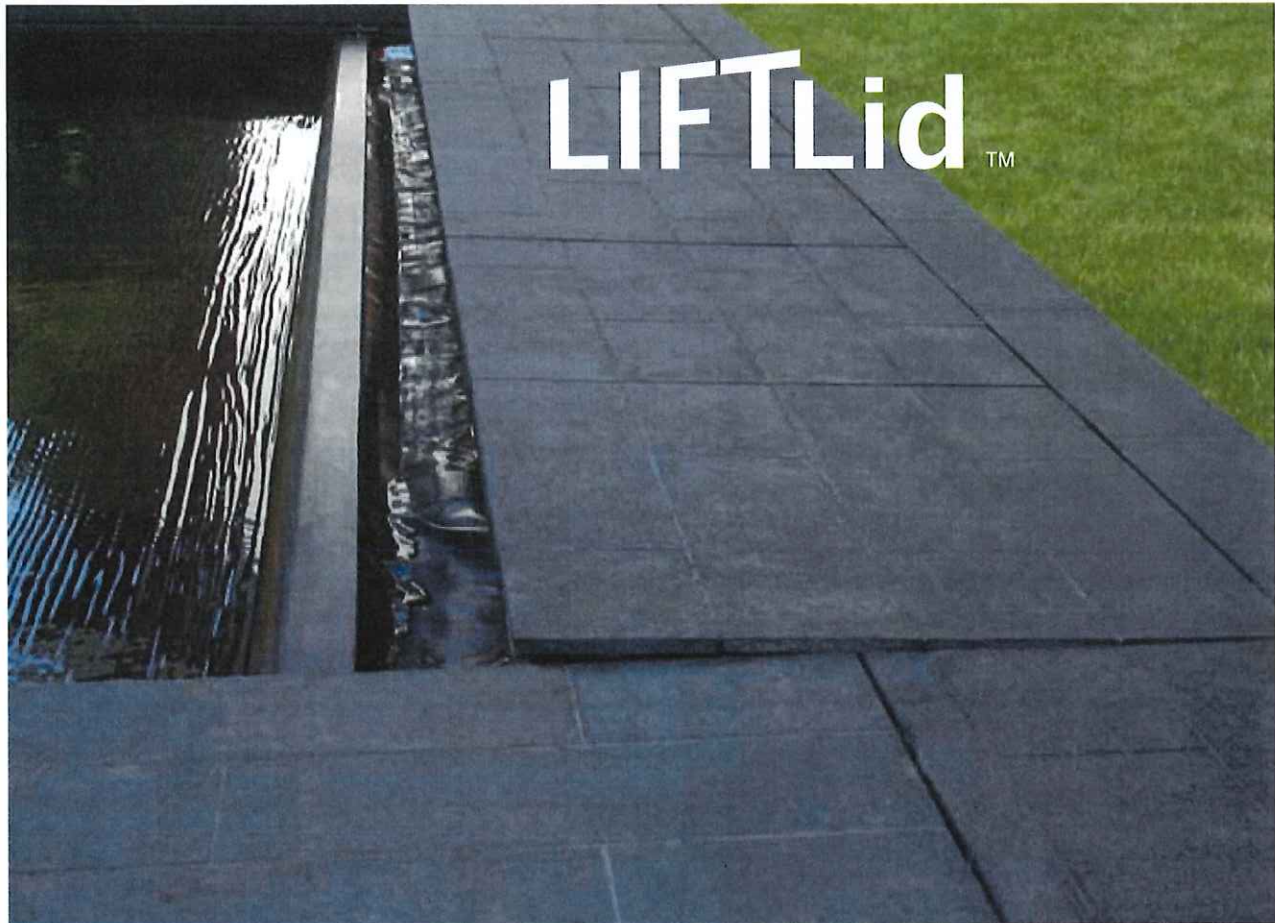


**When only the best will do  
invest in the best pool cover...**



***Enhance your pool experience***  
with the safety and convenience of a  
Hydramatic Swimming Pool Cover.

## Another Aquamatic Exclusive ...



**The Lift Lid is a uniquely engineered lid system** that hides the lowered bond beam; as well as, the leading edge bar of the cover. It rests solidly on the lowered bond beam providing a completely stable, zero deflection walking surface that incorporates your pool coping or decking surround. The cover vinyl is sandwiched between two nylon rails which also acts as a water stop and blocks virtually all pool water from splashing into the cover recess. The Lift Lid is hydraulically actuated, and with a turn of a key, once it is raised, the cover will open or close seamlessly. When the cover reaches its maximum endpoints, or any time the key is released, the Lift Lid will slowly drop to its fixed position, once again, providing a solid and safe walking surface.

- Ideal for any pool application, especially when the cover is located at the entry point of the pool.
- Modular in design, the lid sections can be removed individually for access to the cover recess.

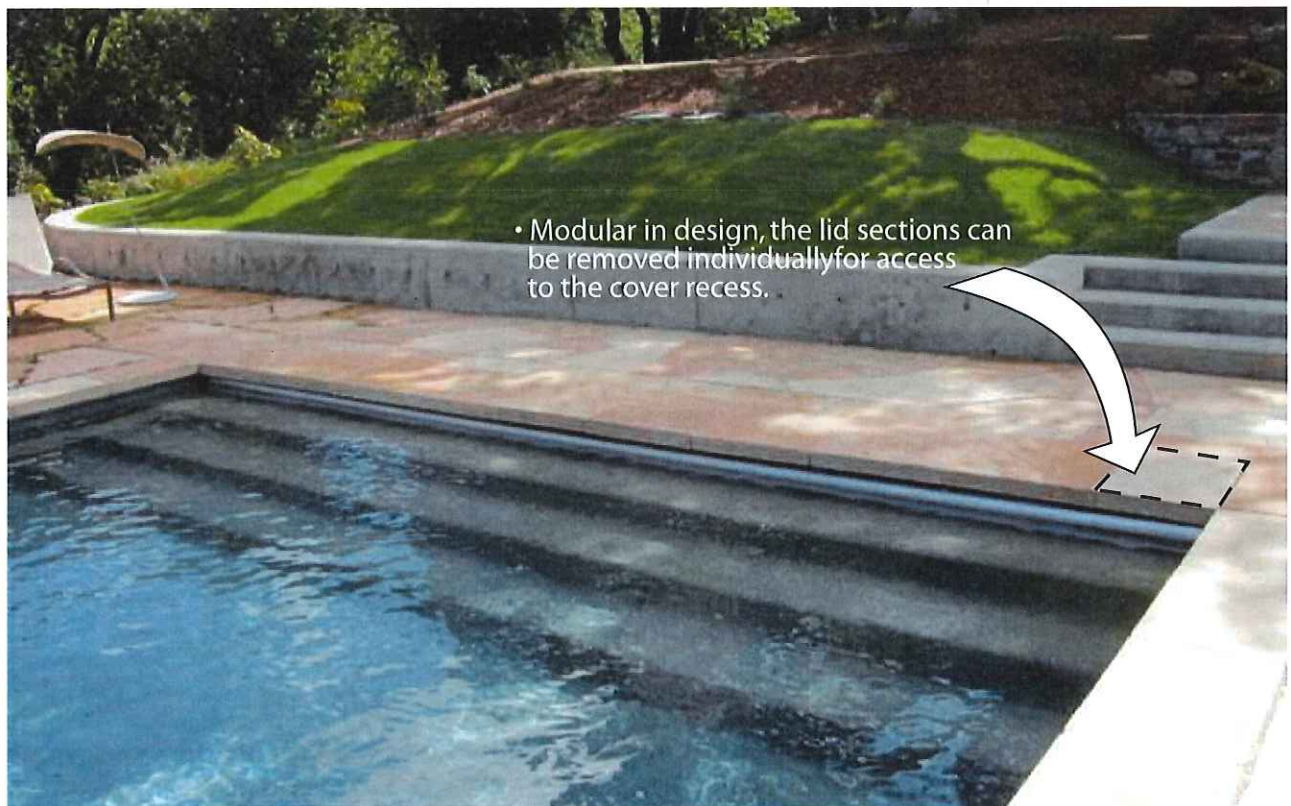
*For more information, or design specifications, contact your local representative or Aquamatic Cover Systems.*







• **Lift Lid** is ideal for any pool application, especially when the cover is located at the entry point of the pool.





## Under Track with Masonry Lid



***With our Walk on Lid Components, you Can **blend with the hardscape** to achieve a completely hidden lid detail.***

We have specially designed heavy duty stainless steel trays and brackets, or stainless steel brackets and retaining clips to provide you with the hardware for your specialized hidden lid detail.

Aquamatic uses only 300 series stainless steel on all pan, bracket or clip applications. Beyond the standard size components, Aquamatic can fabricate custom sizes for your special application requirements.



## Under Track with Masonry Lid



*Under track with Light Blue Cover and Walk on Lid*

The pans are specifically designed to carry and support masonry material including non-standard or undulating thickness like flagstone, brick or pavers.

As an alternative, the stainless steel bracket and retaining clip can be used with any precast or poured in place component.

**\*\*Note:** Stone Lid component must not be thicker than the coping on the track side of the pool.\*

*Inwall undertrack with matching Walk on Lid*



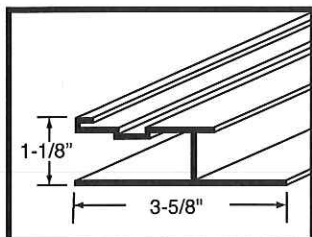


## Under Track with In-Wall



Encapsulated "Inwall" track receptors offer the builder/designer the freedom to use any coping detail without having to maintain a minimum thickness and cantilever requirement. These components are preferred with raised bond beams or where the coping is undulating or is a non-standard thickness. Another ideal application is on spa / swim spa installation.

By eliminating the cantilever on a traditional undertrack, it will make for a more comfortable bathing experience without having a protruding coping against your seating area.



Inwall #1





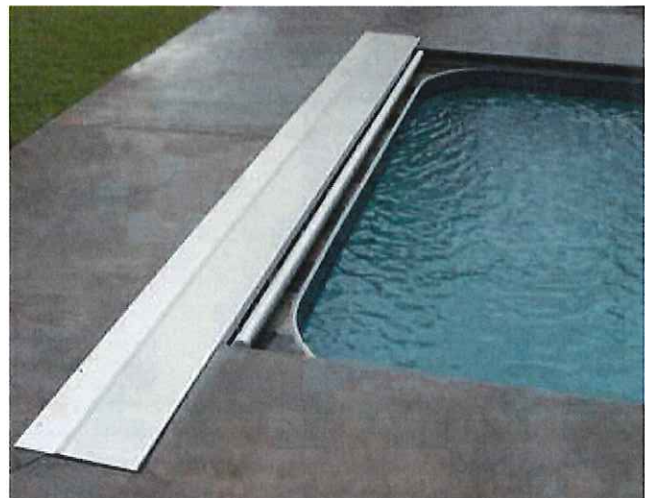
# Composite Lid and Aluminum Lid



Under Track with a Light Blue Cover and  
White Composite Lid



Under Track with a Terra Cotta Composite Lid



Inwall Track with Aluminum Lid

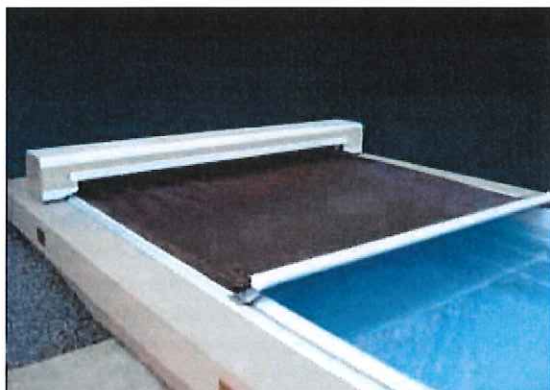
# Compact Drive and Swim Spas



**Another industry first**, our Compact Drive is designed for both recessed and retrofit applications.



Compact drive on Swim Spa with Gray cover and Low Profile Leading Edge.



On the deck mounted Compact Drive, the offset only requires 9" of clearance on both ends from outside of tracks.



# Compact Drive and Swim Spas

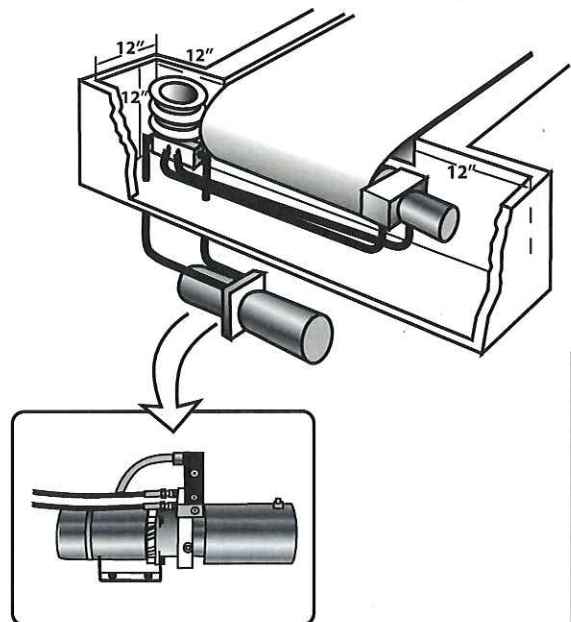


**Initially designed for the swim spa** application where the goal was to make the cover system proportional to the reduced size of the vessel. It is now ready for all types of pool/spa construction.

The mechanism now requires only a 12" (past water-line) offset on both ends of the mechanism housing. This addresses the aesthetics by equaling the offsets, and allows for better coping layout to accentuate symmetry around the pool/spa edge. Additionally, if you have minimal clearance, this unit addresses this challenge.

The Compact Drive is ideal for small to medium sized pools. For larger pools we can offer our standard Hydramatic in a split drive with an equal offset of 20" per side beyond waterline.

This Compact Drive utilizes Aquamatic proven dual motor hydraulic technology assuring you of the reliability and durability typical of our Hydramatic hydraulic drive system. It is also supported by the same 20 year limited mechanism warranty. Limited to a maximum pool size of 14' x 28'.





# Special Application Vanishing Edge



Vanishing Edge with Navy Blue



Vanishing Edges, Freeform  
Under Track, Multiple cover  
applications.

Submitting your ideas to us  
early in the design process as-  
sures the most aesthetically  
pleasing application available  
to you.



Vanishing Edge with Designer Washed Navy



Vanishing Edge with Standard Green





## Special Application Covers



As shown above, the deck follows the contour of the pool. This is referred to as an "Extreme Cantilever".

Stepped decks are ideal for deck mounted tracks and provide a clean cover recess while allowing the lead bar to rest against or tuck under the lid detail.





## Special Application Covers



Flushtracks, ideal on gutter, zero edge or perimeter overflow pools. The track is placed just outside the gutter or edge.

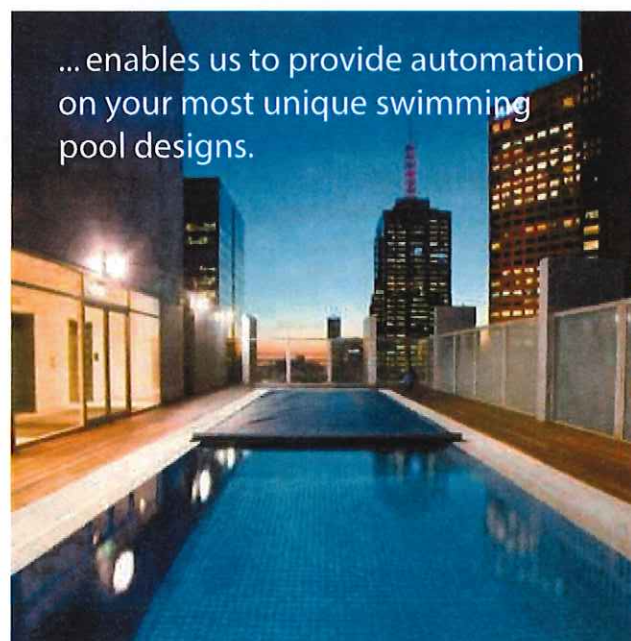




## Special Application Covers

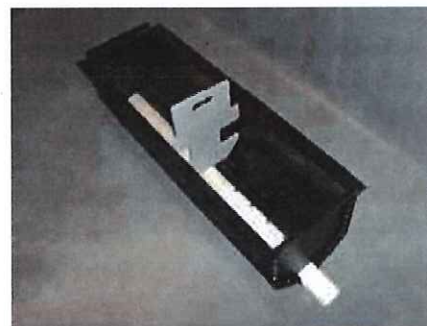


Our engineering partnered with your imagination...





# Fiberglass and Vinyl Liner Pools



Sectional recess with integrated drain

At Aquamatic we have developed a number of track extrusions to accommodate the installation of the cover on both liner and fiberglass pool kits. For liner pools we have an easy-to-assemble sectional recess for the mechanism. For fiberglass pools we also have a prefab one piece fiberglass recess available.



## Top Track with Composite Bench



**Another Aquamatic first**, our Patented Composite Polymer Bench is available in 6 decorator colors and the structural design is sturdy enough to double as seating area. The unique molded process injects color and UV inhibitors throughout the entire panel to sure the panels never fade. The bench enclosure is maintenance free and all Polymer panels carry a 10 year limited warranty.





# Standard Color Gallery



Navy Blue



Royal Blue



Light Blue



Turquoise



Green

**NOTE:** It is impossible for the fabric material that covers the pool to be crease free. The cover material is manufactured to the width of the track to track measurement plus an excess amount of material. The excess material is to allow the cover to lay correctly on the water surface. If it did not lay correctly, there would be a bind condition. Also the excess material is necessary to allow for changing water levels. Therefore, when applying a cover to the roller drum, a number of folds need to be made, which results in creases forming in the cover at the vault / surface housing end. The amount and length of creases differ on every Aquamatic installation which is dependant on size, shape etc.



# Standard Color Gallery



Tan



Brown



Black



Charcoal Gray



Light Gray



Sage Green



# Designer Color Gallery



WASHED NAVY



BRUSHWOOD



SLATE GRAY



HUNTER GREEN



DUSKY BLUE



BUFF

## ARTpoolcover, an Aquamatic exclusive



## Bench and Composite Lid Colors



White



Tan



Terracotta



Brown



Gray



Charcoal

Colors depicted on both the pool cover fabric as well as the composite polymer panels are as close as printing process allows, samples available upon request.

Standard Powder Coating Colors

These match the lid colors above

Ral-9010

Ral-1019

Ral-8004

Ral-8012

Ral-7040

Ral-7012

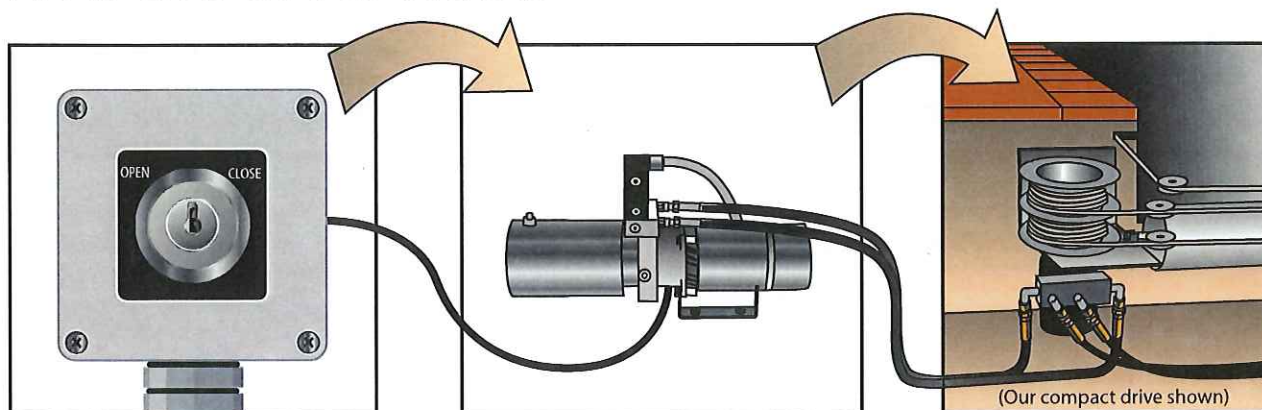
\* Powder Coating is a non-warranted item\*

### Photo credits

All Island Gunite Pools, Alka Pools, Bradford Products, Drummond Pools, Emerald Pools, Endless Pools, Gib-San Pools, Haven Pools, Hawaiian Island Covers, Monument Pools, Royal Pools, San Juan Pools, Skyline Pools, Swan Pools



## How the Cover Works



The Hydramatic operates via two hydraulic torque motors, one directly connected to the cover drum to open the cover, the other torque motor drives the rope reel which closes the cover.

The direction is controlled by turning the key to the desired position (open or close) which actuates a proprietary solenoid valve to send the hydraulic fluid to the corresponding motor, either the cover drum to open, or the rope reel to close.

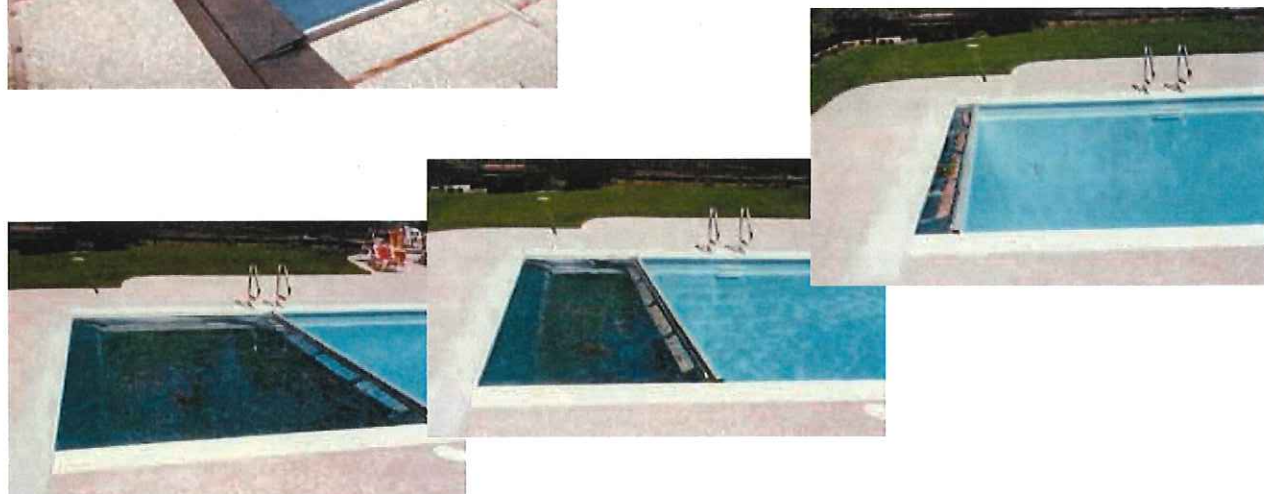
This design is elegant in its simplicity, yet very robust. The all-fluid drive eliminates the clutch (typical on every other automatic cover), and is self adjusting with no need for lubrication.

An inherent part of the Hydramatic, is the pressure relief to prevent over travel without the use of any electronic sensor or switches.

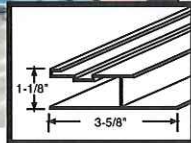
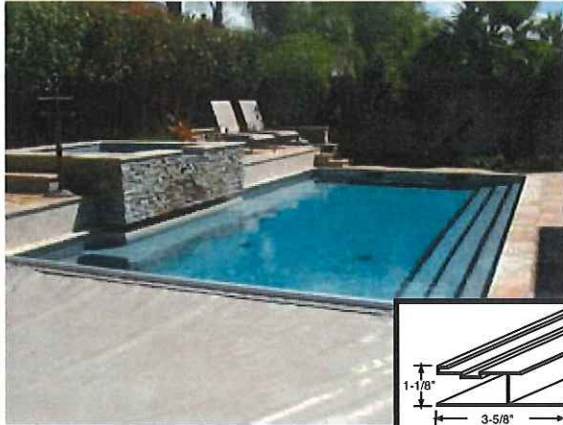


## Rainwater Removal Feature

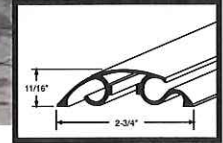
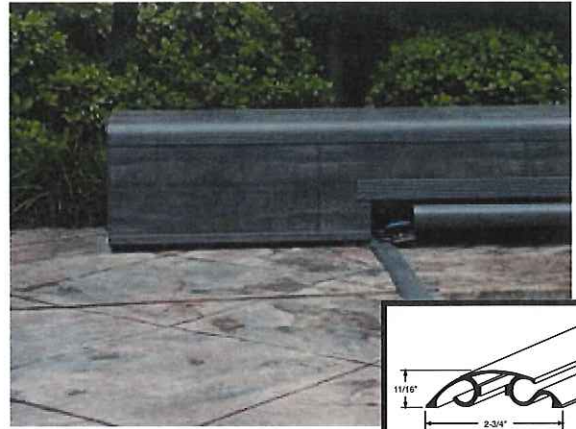
A zipper /screen rainwater removal feature is standard on most Hydramatic cover systems



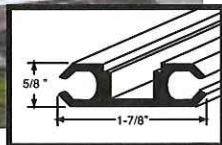
# Technical Specifications



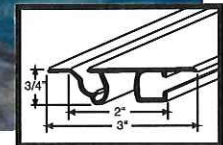
Inwall #1



Top Track

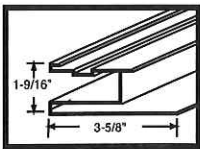


Under Track

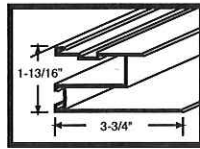


Flush Track

## Encapsulated "In-wall" Receptors for Concrete Gunite and Fiberglass Pools



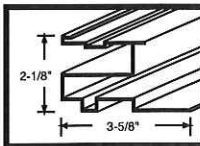
In-wall #4



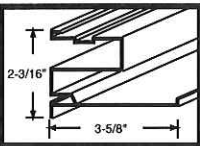
In-wall #5 w/Fiberoptic Receiver

In-wall tracking is ideal for any indoor or outdoor installation. The track receptor is installed on top of the bond beam during the pool construction prior to the coping installation. Coping or other masonry materials are placed directly on top of the track receptor.

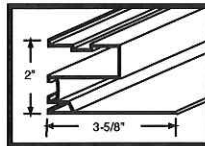
## Encapsulated "In-wall" Receptors for Vinyl Liner Pools



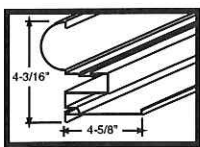
In-wall #2



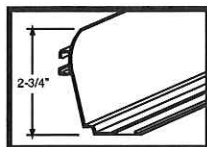
In-wall #3



In-wall #6 w/Fiberoptic Receiver and Liner Bead



In-wall 3DF  
Incorporates track, liner bead and permanent deck form



Reusable deck form  
can be used with any Aquamatic inwall track receptor

## Technical Specifications

Exceeds ASTM F1346-91 safety standards

### Mechanism

Drive unit	2 hydraulic torque motors
Open and close switch	Key-lock switch
Powerpack (pump)	
Electrics	110/220-240v-60/50 Hz,

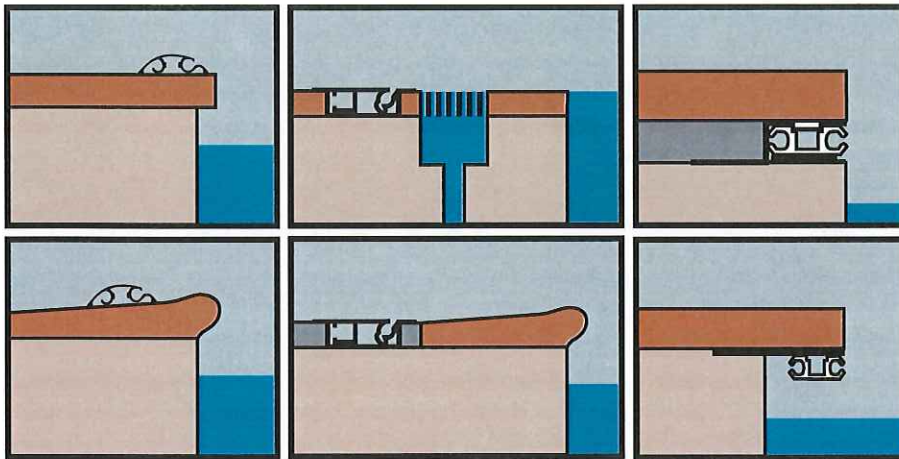
Hydraulic oil	1PH 75-1.5 HP
Normal working pressure	UL, CSA, CE approved
Limit switches	ATF Dexron III
	800 psi (40-56 bar)
	pressure relief valves

### Cover Fabric

Material	PVC on re-inforced polyester scrim
Fabric weight	16/18 oz per sq. yd.



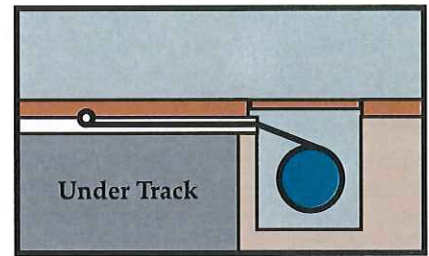
# Specifications and Installation Possibilities



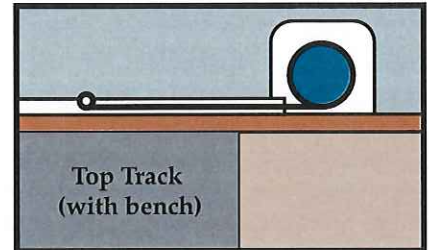
Top Tracks

Flush Tracks

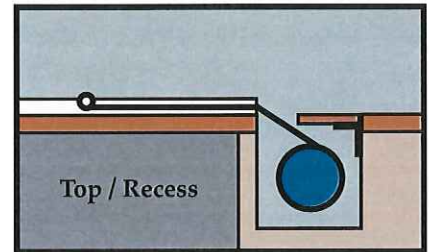
Under Tracks



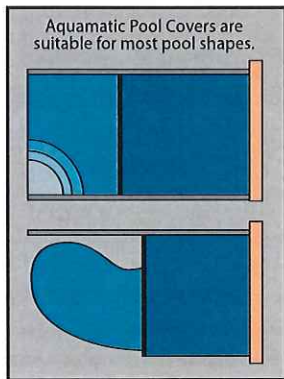
Under Track



Top Track  
(with bench)

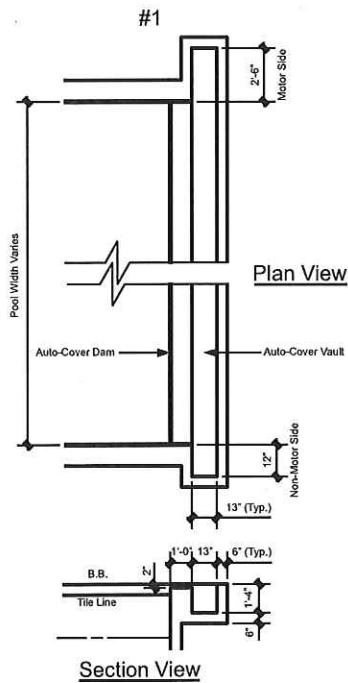


Top / Recess

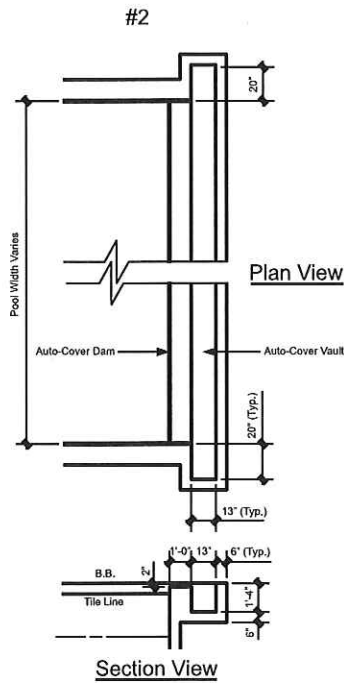


Aquamatic reserves the right to change components or specifications without prior notice.

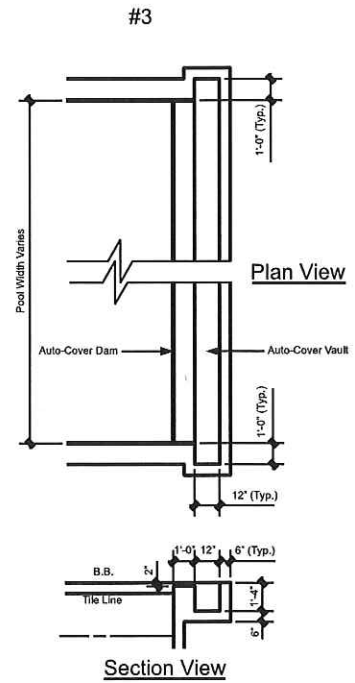
\*Dimensions shown are for pools up to 45' long. For longer pools, or pools over 25' wide call for specifications.\*



Auto-cover Vault Detail  
Standard Drive  
For Pools up to 45' long



Auto-cover Vault Detail  
Split Drive  
For Pools up to 45' long



Auto-cover Vault Detail  
Compact Drive  
Limited to 28' max. Pool Length

## Other benefits

### Saves Lives

An Aquamatic cover acts as a horizontal fence, and it is **"safety you can see"**. The primary function of the automatic cover has always been to safeguard your children and pets from the pool and minimize the risks inherent with pool ownership. The ICC has recently recognized automatic covers as stand alone barriers. Additionally both the Hydramatic and the EZ-Cover exceed ASTM F1346-91 standards for safety and closure. As durable as these are, they are not intended as a toy and should only be walked on in an emergency. Of course there no substitute for adult supervision.



### Saves Energy

The U.S. Department of Energy states that **75 % of heat loss is from evaporation**, along with the evaporation, you will have water and chemical loss while incurring the cost of increased pump and filtration time of an uncovered pool. By utilizing an automatic pool cover you will eliminate your evaporative loss.



### Saves Money

An automatic cover will reduce your pool operating costs by as much as 70 % through reduction of water, chemical and energy consumption. Additionally your other pool equipment will work less and last longer. You will also realize a full return on your cover investment in a relatively short time. \* On indoor pools, the automatic cover will act as a vapor barrier, which allows you to reduce both the size and operating time of your dehumidification equipment saving you additional money.\*

### Saves Time

Spend less time skimming and more time swimming. A pool with a cover is always clean, warm and debris free. Which in turn, will allow you to have more time to enjoy your backyard oasis with your friends and family.



### Saves Resources

The pool cover will act as a solar collector and will **passively heat your pool through radiant transfer**. Our customers have found on average their pool temperature has increased by as much as 10 to 15 degrees while also extending their swimming season.





# Features of our patented Dual-Motor, all fluid Hydraulic Cover Drive System

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## *Advantages and Benefits*

### **WATERPROOF**

The Hydramatic drive is a closed loop system, and although a drain is required in the cover recess, inadvertent flooding does not mean expensive electric motor replacement.

### **SAFETY**

No electrics near the pool for greater safety. All electric power and switches are remote at the equipment pad which also means fewer problems with inspections.

### **POWER**

Hydraulic drives are compact yet powerful, and can be easily controlled to provide only as much as is needed to operate the cover. Hydraulics are durable, and the most popular drive unit for wet and hostile environments and are the preferred choice of builders, designers and architects.

### **DURABILITY**

Hydraulics are widely used in heavy equipment for their durability and reliability. The unique patented Dual-Motor Hydramatic system eliminates mechanical linkage and clutches to start and then change direction of the cover. It has the least number of parts of any other automatic pool cover system, yet has a full range of safety and convenience features. **Originally designed for commercial and other high use applications exclusive to Aquamatic.**

### **CONVENIENCE**

The Hydramatic cover system has a patented built-in rainwater removal feature on most applications. When rainwater collects on the cover surface, simply turn the key to open the cover, and the water will be forced through the screens into the pool. The screen mesh will collect the leaves and most debris. A computerized cover pump is also provided with all cover systems exclusive to Aquamatic.

### **COVER TRAVEL LIMITS**

The cover is gently and reliably stopped at each end of travel by our patented pressure relief valves, eliminating the need of electronic sensors or other electrical devices near the pool.

### **RATED**

The Hydramatic cover is UL tested and certified to exceed ASTM F1346-91 standards for pool safety.

### **WARRANTY**

The cover system comes with a limited 20 year warranty on the mechanism, a limited 7 year warranty on the covers and a limited 10 year warranty on the polymer panels. For additional information, contact your Aquamatic representative.





# Aquamatic Cover Systems

200 Mayock Road • Gilroy, CA, USA 95020

Ph: 800.262.4044 / 408.846.9274

Fax: 800.600.7087 / 408.846.1060

[www.aquamatic.com](http://www.aquamatic.com)

Automatic & Manual Covers Since 1980

Distribution and Installation Available Worldwide

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These products are covered by one or more of the  
following patents:

6,3980,680; 6,026,522; 5,950,253; 5,930,848; 5,927,042; 5,845,343; 5,799,342; 5,546,751; 5,349,707; 5,327,590; 5,184,357; 5,067,184; 4,939,798

Other U.S. and foreign patents pending



### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Zoning Board of Appeals of the City of Waupun, to be held in the Council Chambers in the City Hall of the City of Waupun on Wednesday, the 19<sup>th</sup>, day of June, 2019 at 4:00 o'clock in the P.M., there will be considered the application for a Variance of:

1. Brian Schouten at 728 W. Main St. construct a detached garage with a side yard setback of 20". Section 16.03(4)(c)(iv) requires a side yard setback of 3' from the overhang to the property line.
2. Scott Roffers and Jodi Mallas at 910 Taft Ln to install an auto safety cover in lieu of a fence around a pool. Section 16.01(11)(g) requires that all swimming pools with more than 12 inches of water and sides of more than 18 inches must have a barrier side or fence surrounding the pool.
3. Insight FS, 1208 W Brown St. to request variances for the following structures over 65 feet tall. Municipal Code Section 16.05(2)(c)(iii) states "Not exceed a maximum building height of 65 feet"
  - a. Bucket elevator #1 – 163' height above grade
  - b. Bucket elevator #2 – 161' height above grade
  - c. Grain dryer – 88' height above grade
  - d. 36ft. diameter storage tank – 68' height above grade
  - e. Leg support tower – 151' height above grade.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Variance in support thereof or in opposition thereto, must appear at the said meeting of the Zoning Board of Appeals of the City of Waupun.

Dated this June 7, 2019

Susan Leahy  
Zoning Administrator  
City of Waupun

(PUBLISH, June 12, 2019)

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Fee: \$150.00 Paid: ✓ H 214097 Date: 5/30/19



## CITY OF WAUPUN

201 E. Main Street  
WAUPUN, WISCONSIN 53963

# VARIANCE APPLICATION

From: Insight FS, a division of GROWMARK, Inc.

(business name or individual)

### Property Description and address:

W7197 Highway 49 West, Waupun, WI 53963

Parcel Tax ID: 292-1315-06219010

### Variance Requested:

Height variance request for the following structures over 65 ft. tall.

Bucket elevator #1 - 163' height above grade

Bucket elevator #2 - 161' height above grade

Grain dryer - 88' height above grade

36 Ft. diameter storage tank - 68' height above grade

Leg support tower - 151' height above grade

### Zoning Ordinance Section Involved:

16.05 (2) (c) (iii)

BUILDING HEIGHT EXCEEDING 65 FEET

Date presented to Zoning Board of Appeals: \_\_\_\_\_

VARIANCE: ☐ Granted ☐ Denied

Comments:

Signature of Applicant (s):

Toad Tesdal TOAD TESDAL

Waupun site plan review:

Insight FS, a division of GROWMARK, Inc. requests a height variance in order to construct new grain handling equipment in the Southwest portion of our property. Equipment will include an open-air grain receiving pit, a grain dryer, a tower which will house 2 grain legs, and a storage bin. A concrete motor control center is also planned but falls well below maximum height code at 12 feet. Necessary drawings showing height of individual equipment and an overhead view of property showing proposed construction location is included.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Tesdal". The signature is fluid and cursive, with the first name "Todd" and last name "Tesdal" clearly distinguishable.

Todd Tesdal  
Grain Dept. Manager  
Insight FS





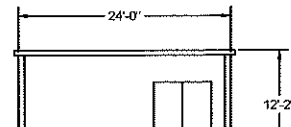
MODEL 36 DRY LEG, 7,000 BPH  
161 FT. HEIGHT ABOVE GRADE  
14' X 14' X 151' HIGH SUPPORT  
TOWER ABOVE GRADE

MODEL 42, 14,000 BPH RECEIVING LEG  
163 FT OVERALL HEIGHT ABOVE GRADE

36 FT X 20' RING WET TANK  
FAR SIDE NOT SHOWN.

ZIMMERMAN MODEL 3531T TOWER DRYER  
88 FT HEIGHT ABOVE GRADE

ELECTRICAL CONTROL ROOM



MODEL 42, 14,000 BPH RECEIVING LEG  
163 FT. OVERALL HEIGHT ABOVE GRADE

MODEL 36 DRY LEG, 7,000 BPH  
161 FT. HEIGHT ABOVE GRADE.

14' X 14' X 151' HIGH SUPPORT TOWER

ZIMMERMAN MODEL 3531T TOWER DRYER  
88 FT. HEIGHT ABOVE GRADE

36' X 20 RING WET TANK  
45,711 BUSHELS MAX CAPACITY  
68' HIGH ABOVE GRADE

EXISTING BROOK  
72' TANK

EXISTING FILL CONVEYOR /  
CATWALK

907.5

NOTES

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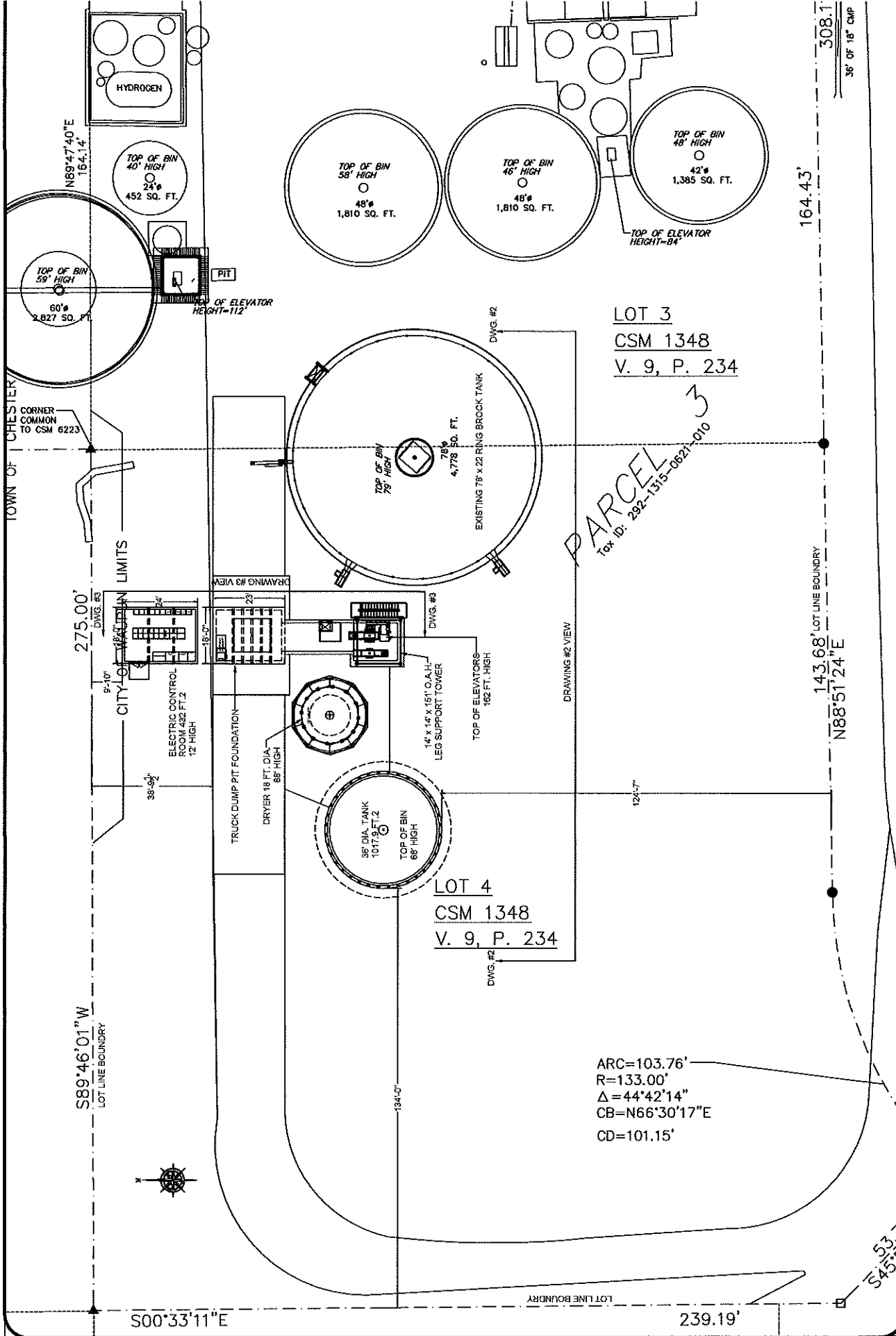
PROJECT:  
**INSIGHT FS, A DIVISION OF GROWMARK,  
GRAIN ELEVATOR EXPANSION PROJECT  
WAUPUN, WI**

SHEET TITLE:  
**ELEVATION VIEW #2 DRYER, LEG, TOWER, TANK WAUP**

DWG. FILE

NO.	REVISION DESCRIPTION	DATE	BY





**PROJECT:**  
INSIGHT FS, A DIVISION OF GROWMARK,  
GRAIN ELEVATOR EXPANSION PROJECT  
WAUPUN, WI

**DWG. FILE:**  
WJW

**SHEET TITLE:**  
OVERALL SITE PLAN

**NOTES:**

NO.	REVISION DESCRIPTION	DATE	BY

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