

## A G E N D A CITY OF WAUPUN PLAN COMMISSION Waupun City Hall – 201 E. Main Street, Waupun WI Wednesday, December 08, 2021 at 4:30 PM

### **VIDEO CONFERENCE AND TELECONFERENCE**

The Waupun Plan Commission will meet virtually at 4:30 pm on Wednesday, December 8, 2021 via Zoom. The Public may access the conference meeting online or by phone. Instructions to join the meeting are provided below:

#### To Join Zoom Meeting

https://us02web.zoom.us/j/82212782546?pwd=Wk56ejlhYm0rY0k4aDN4cmsyMnNXZz09

Meeting ID: 822 1278 2546

Passcode: 602095

By Phone: 1-312-626-6799 - Chicago

### **CALL TO ORDER**

### **ROLL CALL**

<u>PERSONS WISHING TO ADDRESS THE PLAN COMMISSION</u>--State name, address, and subject of comments. (2 Minutes)

No Public Participation after this point.

### **FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

### **CONSIDERATION - ACTION**

- 1. Approve Minutes of the September 29, 2021 meeting.
- 2. Public Hearing Ordinance Amendment to Section 16.01(10) of the Waupun Municipal Code.
- 3. Public Hearing Conditional Use Permit Application of Scott Peters at 26 W. Main St. to operate a U-Haul Dealer and construct a 2 stall garage for small engine repair and vehicle service per Section 16.04(2)(d)(ix) and 16.04(2)(d)(vii) of the Waupun Municipal Code.
- 4. Public Hearing Conditional Use Permit Application of Kaylee Morse at 906 W Main St. to operate a Doggie Day Care per section 16.04(3)(d)(v) of the Waupun Municipal Code.
- 5. Site Plan Review Central Wisconsin Christian School 301 Fox Lake Rd.
- 6. Site Plan Review Veterans Memorial Wall Shaler Park
- 7. Site Plan Review Kwik Trip at 800 W Main St.
- 8. Site Plan Review Waupun Public Utilities 501 Fond du Lac St.

### **ADJOURNMENT**

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



## MINUTES CITY OF WAUPUN PLAN COMMISSION MEETING Waupun City Hall – 201 Main Street, Waupun, WI Wednesday, September 29, 2021 at 4:30 p.m.

### Plan Commission Members Present:

Jeff Daane Jon Dobbratz Jerry Medema Julie Nickel Elton TerBeest

#### Plan Commission Members Absent:

Jill Vanderkin, excused Mike Matouschek, excused

### Staff Present:

### Other:

Carla Clover
Patrick Beilfuss, Senior Planner, Cedar Corporation

### **CALL TO ORDER:**

Mayor Nickel called the meeting of the Plan Commission to order at 4:30 p.m.

### **ROLL CALL:**

Roll call and quorum determined.

#### PERSONS WISHING TO ADDRESS THE PLAN COMMISSION:

None present.

### FUTURE MEETINGS AND GATHERINGS INVOLVING THE PLAN COMMISSION

### **CONSIDERATION-ACTION:**

- 1. Approval of minutes of the August 25, 2021 meeting
  - A motion to approve the August 25, 2021 minutes was made by Dobbratz and seconded by TerBeest, passing unanimously.
- 2. Public Hearing Rezoning Petition of Charles Clover to rezone 129 N. Madison St. from the B-6 Neighborhood Commercial District to the R-4 Central Area Single Family Residential District Public Hearing commenced to hear the petition to rezone property located at 129 N Madison St from B-6 Neighborhood Commercial District to R-4 Central Area Single Family Residential District by Charles and Carla Clover. Carla Clover is present to explain that they purchased the property from Dr. Champion and wish to convert to residential property compatible with surrounding land use. No questions from the Board. Noone is present from the public to make comment during comment period.

A motion to close the public hearing was made by Dobbratz and seconded by Nickel, passing unanimously.

A motion to approve the Rezoning Petition of Charles Clover to rezone 129 N. Madison St. from B-6 Neighborhood Commercial District to the R-4 Central Area Single Family Residential District, as presented, was made by Dobbratz and seconded by TerBeest. Roll call: Dobbratz – Aye; Medema – Aye; Nickel – Aye; TerBeest – Aye; Daane – Aye. Motion passes 5-0.

3. Public Hearing - Ordinance to amend Chapter 16 of the Waupun Municipal Code

Public hearing commenced to consider amendments to residential zoning codes. Patrick Beilfuss, Senior Planner from Cedar Corporation, explains proposed changes which are being recommended in accordance with the city's comprehensive plan and housing study to address affordability needs within the community. Changes include a reduction in minimum lot size, zero lot line conditional use requirements, consolidation of R4 and R5 districts and renumbering of remaining districts, and the addition of accessory dwelling unit ordinance. No one is present to make public comment regarding the proposed changes.

Daane motion to close the public hearing; seconded by TerBeest, carried unanimously.

A motion to approve the Ordinance to amend Chapter 16 of the Waupun Municipal Code, as presented, was made by Dobbratz and seconded by Nickel. Discussion was had about the need to amend land use maps which must be updated to reflect proposed changes in the zoning district numbering. This is required before the ordinance can advance to council for approval. Roll Call: Medema – Aye; Nickel – Aye; TerBeest – Aye; Daane – Aye; Dobbratz – Aye. Carried 5-0.

#### 4. CSM Review - 310 E. Main St.

A motion to approve the CSM for 310 E. Main St. was made by Ter Beest and seconded by Dobbratz. Roll Call: Nickel – Aye; TerBeest – Aye; Daane – Aye; Dobbratz – Aye; Medema- Aye. Carried 5-0.

### 5. CSM Review – Lot 25 Park Estates (1025/1027 Tanager St) and Lot 26 Park Estates (1029/1031 Tanager St.)

A motion to approve the CSM for Lot 25 Park Estates (1025/1027 Tanager St) and Lot 26 Park Estates (1029/1031 Tanager St.) was made by Ter Beest and seconded by Nickel. Roll Call: TerBeest – Aye; Daane- Aye; Dobbratz – Aye; Medema – Aye; Nickel – Aye. Carried 5-0.

### 6. CSM Review – Lot 29 Park Estates (1028/1030 Tanager St.)

Lot 29 Park Estates (1028/1030 Tanager St) was made by Dobbratz and seconded by Ter Beest. Roll Call: Daane – Aye; Dobbratz – Aye; Medema – Aye; Nickel – Aye; TerBeest – Aye. Carried 5-0.

### **ADJOURNMENT**

The motion to adjourn was made by Dobbratz and seconded by Medema, passing unanimously. The meeting adjourned at 4:48 p.m.

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, will be held on Wednesday the 8<sup>th</sup> day of December, 2021, at 4:30 o'clock in the P.M. there will be considered an ordinance to amend Chapter 16 of the Municipal Code of the City of Waupun.

The meeting will be held via Zoom. Instructions to join the zoom meeting are below:

To Join Zoom Meeting:

https://us02web.zoom.us/j/82212782546?pwd=Wk56ejlhYm0rY0k4aDN4cmsyMnNXZz09

Meeting ID: 822 1278 2546

Passcode: 602095

By Phone: 1-312-626-6799 – Chicago

### ORDINANCE # 21 -

AN ORDINANCE TO AMEND CHAPTER SIXTEEN OF THE MUNICIPAL CODE OF THE CITY OF WAUPUN ENTITLED "ZONING ORDINANCE."

### THE COMMON COUNCIL OF THE CITY OF WAUPUN ORDAINS:

<u>SECTION 1:</u> Section 16.01 (10) of the Municipal Code of the City of Waupun entitled "Zoning Map" is amended as follows:

All real estate in the City of Waupun Corporate Limits that is zoned R-5 Mixed Residential District is rezoned to the newly created R-4 Mixed Residential Zoning District.

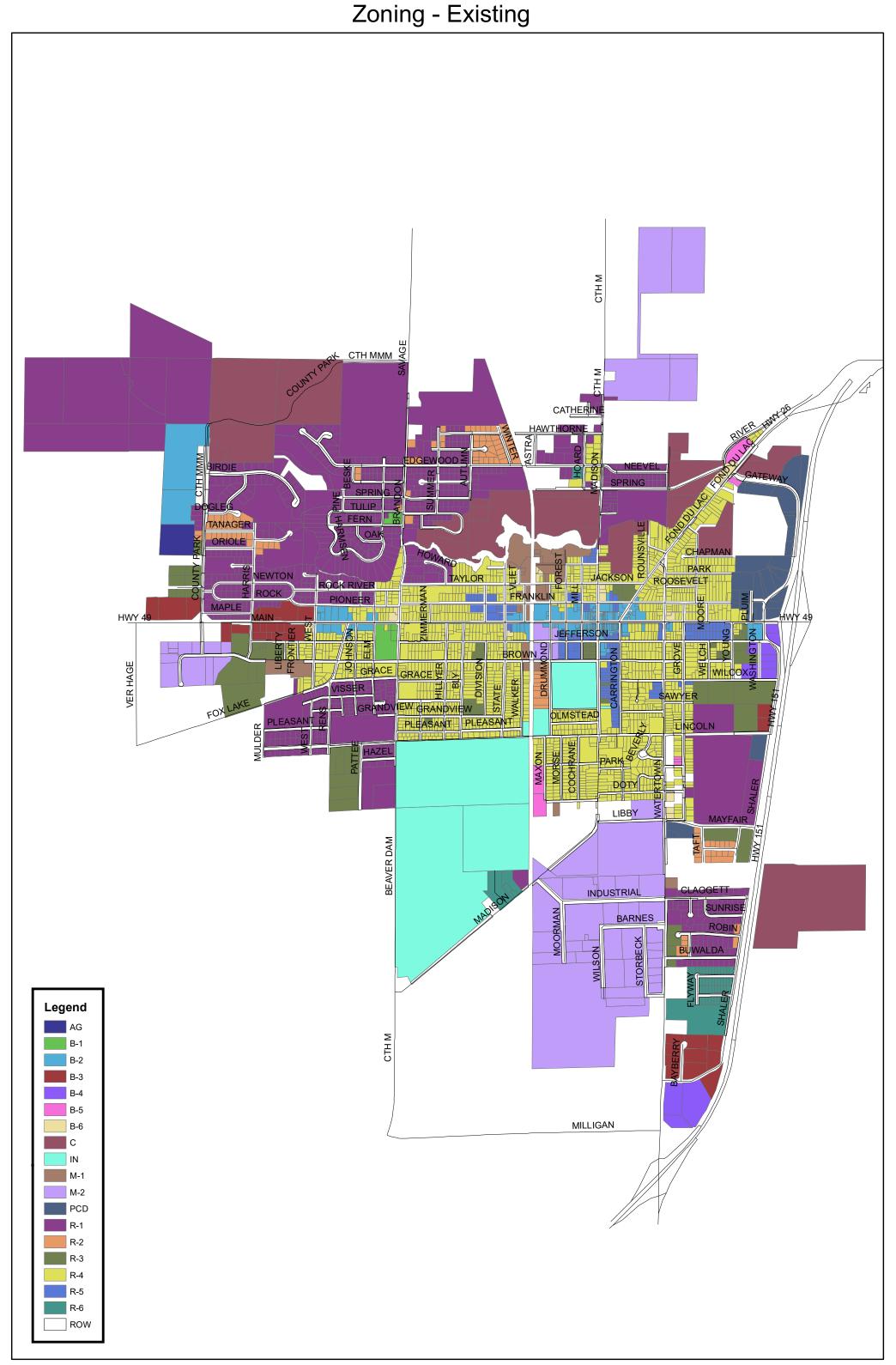
All real estate in the City of Waupun Corporate Limits that is zoned in the R-6 Mobile Home District is rezoned to the R-5 Mobile Home District.

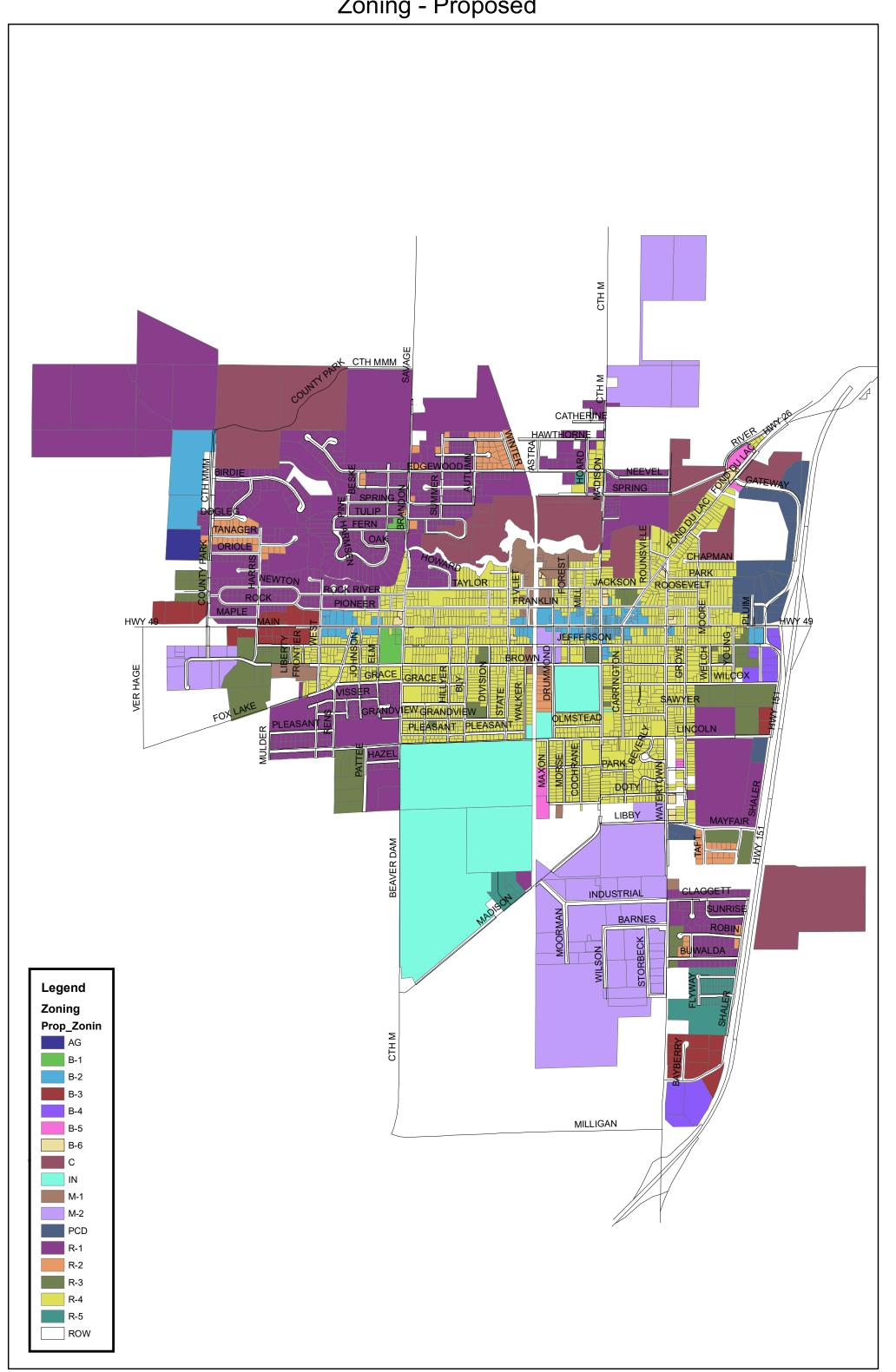
All real estate in the City of Waupun Corporate Limits that is zoned in the R-7 Single Family Manufactured Home District is rezoned to the R-6 Single-Family Manufactured Home District.

<u>SECTION 2:</u> This Ordinance shall be in full force and effect upon its passage and publication as provided by law.

Enacted this day of	2021.
	Julie Nickel Mayor
ATTEST:	
Angela Hull City Clerk	

(Publish November 24 and December 1, 2021)







## CITY OF WAUPUN BUILDING INSPECTOR Waupun City Hall – 201 E. Main Street, Waupun WI P: 920-324-7917 \* F: 920-324-7939 www.cityofwaupun.org

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be held via zoom on Wednesday the 8<sup>th</sup> day of December, 2021 at 4:30 O'clock in the P.M., there will be considered the application for a Conditional Use Permit of:

- 1. Scott Peters at 26 W. Main St. to operate a U-Haul Dealer and construct a 2 stall garage for small engine repair and vehicle service per Section 16.04(2)(d)(ix) and 16.04(2)(d)(vii) of the Waupun Municipal Code.
- 2. Kaylee Morse at 906 W. Main St. to operate a Doggie Day Care per section 16.04(3)(d)(v) of the Waupun Municipal Code.

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Meeting ID: 822 1278 2546

Passcode: 602095

By Phone: 1-312-626-6799

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 12<sup>th</sup> day of November, 2021

Susan Leahy Zoning Administrator City of Waupun

(PUBLISH December 1, 2021)

\$150.00 Paid: 150°

Date: Nov. 192021

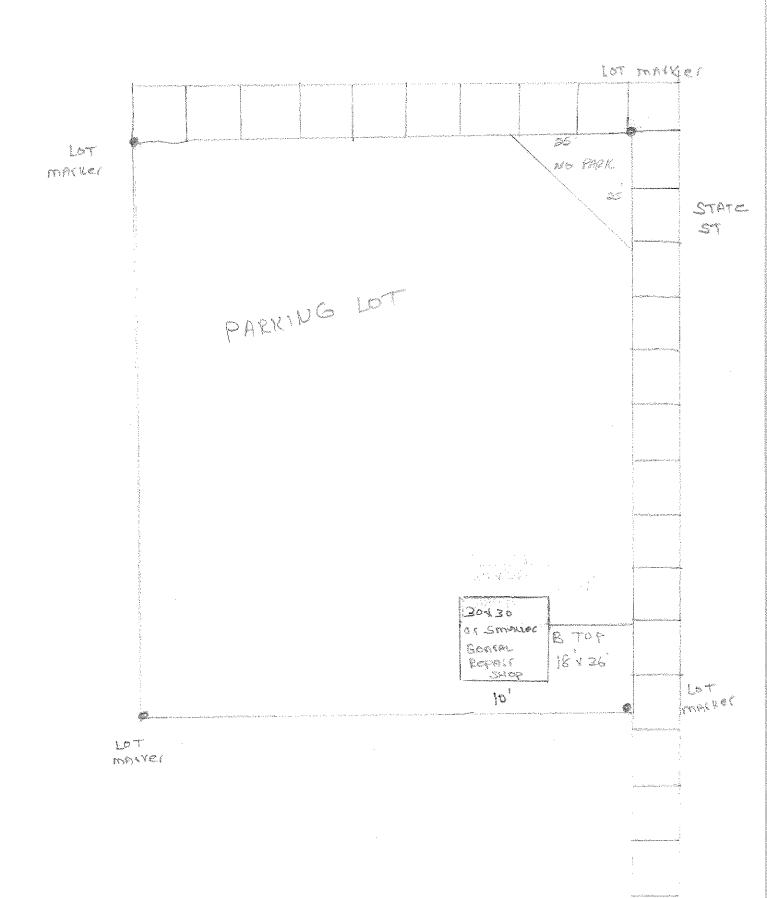


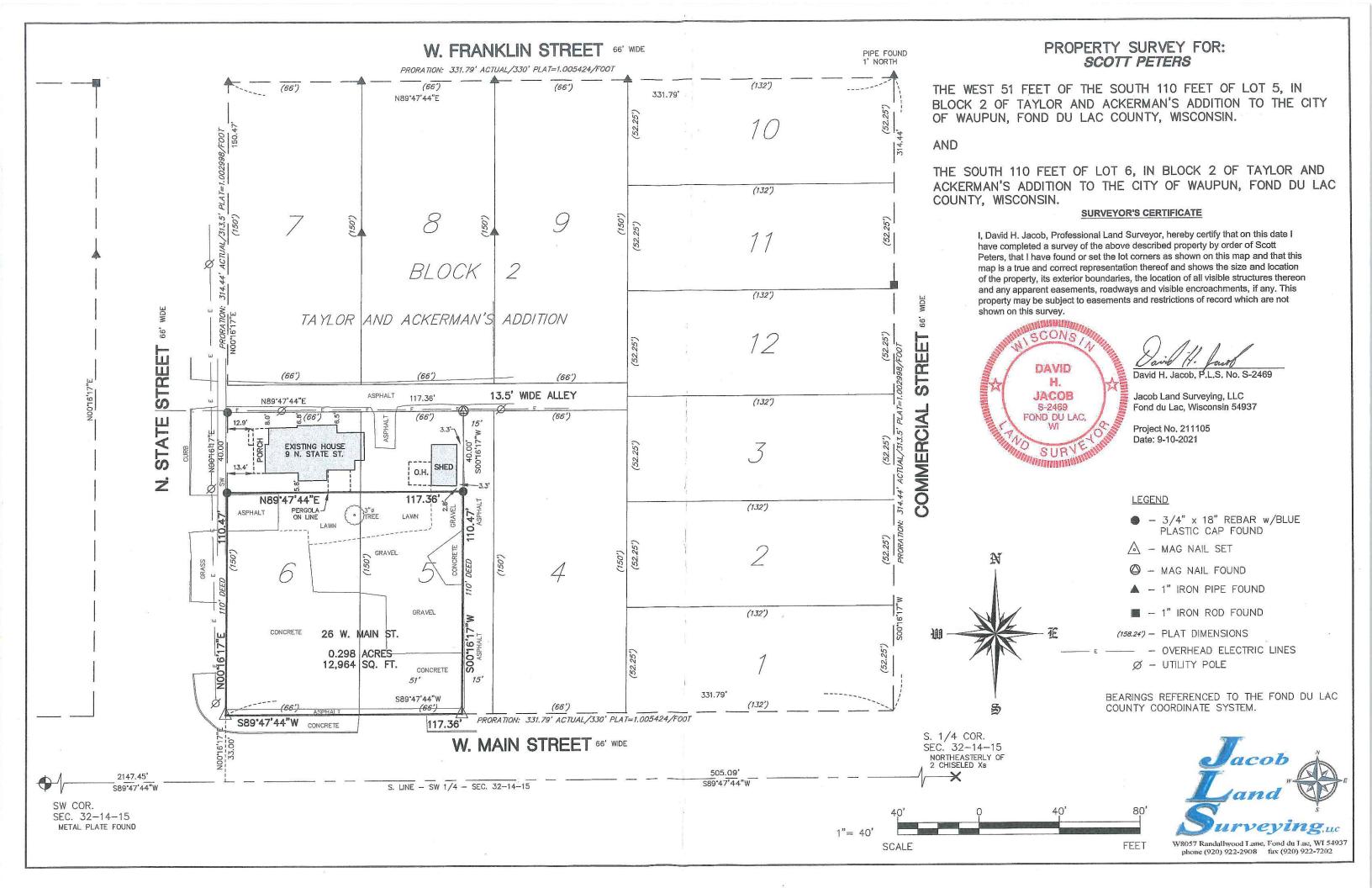
### **CITY OF WAUPUN**

201 E. Main Street WAUPUN, WISCONSIN 53963

### **Conditional Use Permit Application**

Applicant Name: Scott Peters	Phone #920-296-7005
Address: W11726 Whooley Road	E-mail: peters02@sbcglobal.net
City, State, Zip Waupun, WI 53963	
Property Description and address:	
26 West Main Street - Vacant Lot, partially cond	crete
Conditional Use Requested:	en and the first of the second
U-Haul Dealer - Open parking area for the use of Owner also looking to construct 2.56, 2 stall g	of U-haul trailers, Vans, car dolleys, etc. for rent. arage for service installation of hitches, repairs, etc.
SMALL ENG AND LIGH	- AUTO WOIK AND SALES
Zoning Ordinance Section Involved:	
16.04(2)(d)(ix)	
16.04(2)(d)(vii)	· · · · · · · · · · · · · · · · · · ·
Date Presented to Plan Commission:	
CONDITIONAL USE:   Granted	□ Denied
Comments:	
Signature of Applicant (s)	Scott Red







## CITY OF WAUPUN BUILDING INSPECTOR Waupun City Hali – 201 E. Main Street, Waupun WI P: 920-324-7917 \* F: 920-324-7939 www.cityofwaupun.org

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PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must contact the Zoning Administrator prior to said meeting of the Plan Commission of the City of Waupun.

Dated this 12th day of November, 2021

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH December 1, 2021)

Fee: \$150.00 Paid: \$150<sup>22</sup> Date: Nov. 12, 2021

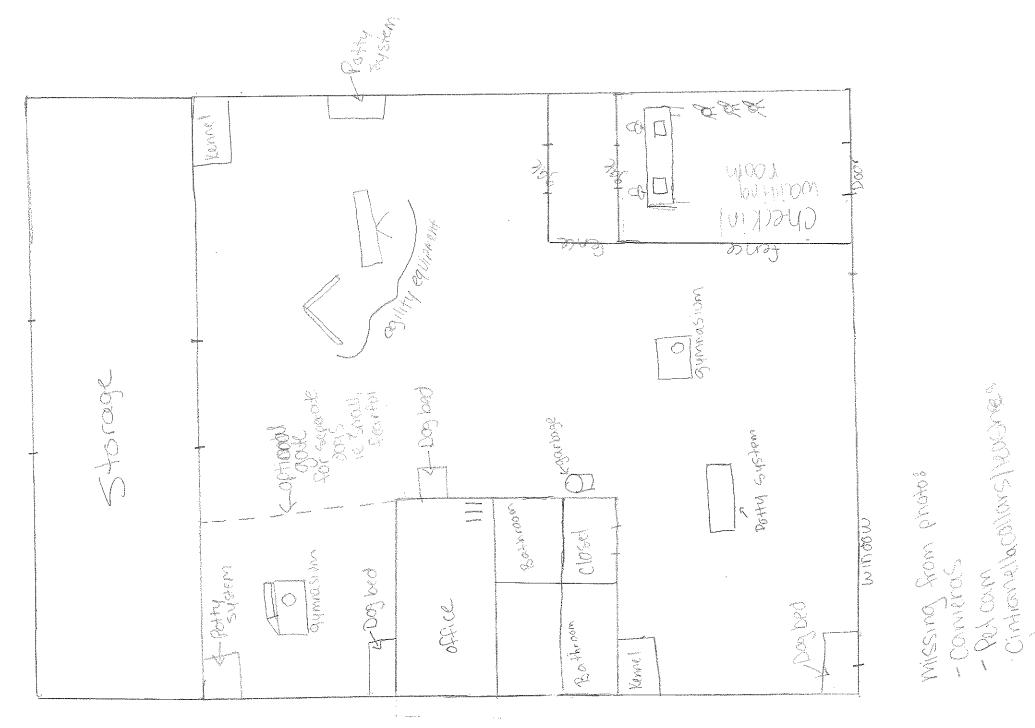


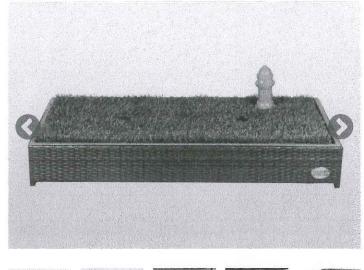
### **CITY OF WAUPUN**

201 E. Main Street WAUPUN, WISCONSIN 53963

### **Conditional Use Permit Application**

Applicant Name: Kaylee Morse		Phone # <u>920-210-9638</u>
Address: N1695 School Street	E-mail:	kakeamorsai @outlook.com Kaylezmorsai
City, State, Zip Manchester, WI 53946		
Property Description and address:		
Parcel No. WPN-14-15-99-HB-053-00	906 West M	ain Street
Conditional Use Requested:  Doggie Day Care		
dogs, safety is first priority. For barking - sp	ray bottles & c	vernight stays Kennels set up for misbaving intranela sprays. Potty stations in place m to run. Will be installing mats for area and
Zoning Ordinance Section Involved: 16.04(3)(d)(v)		
Date Presented to Plan Commission:	:	
CONDITIONAL USE:   Grantee	— d □ De	nied
Comments:		
Signature of Applicant (s)	Kay	Lee Morse
	' '	













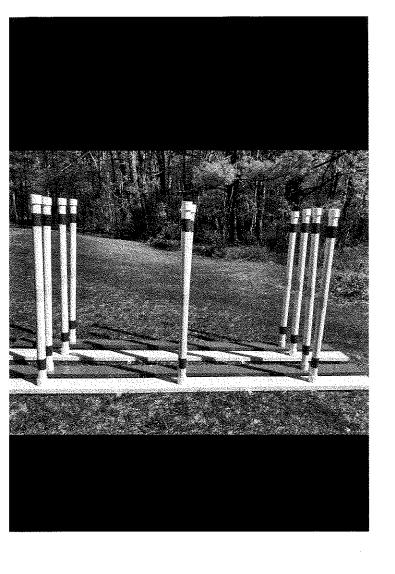


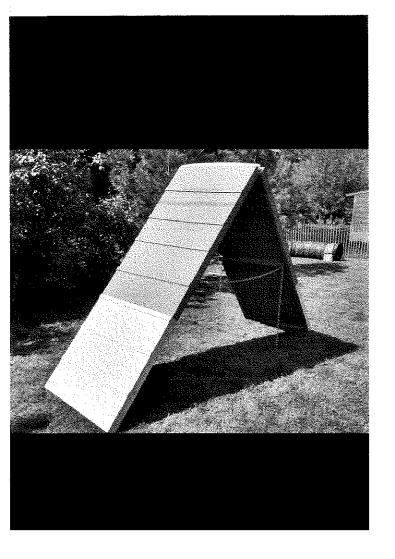


## **Porch Potty Premium**

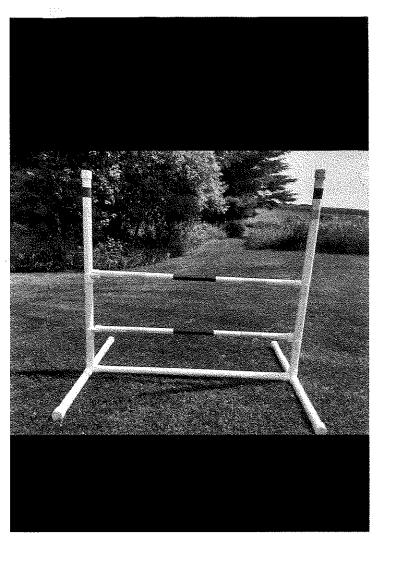
71 reviews

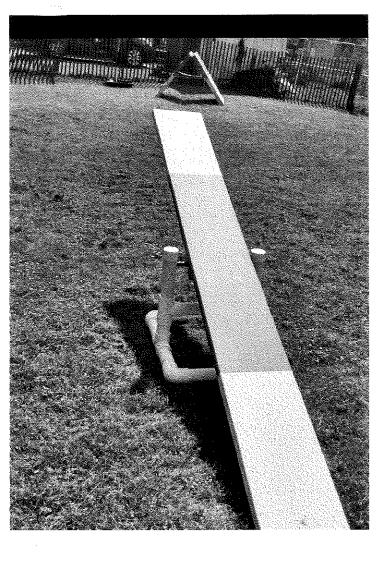
COOO OO











Auto Citronella Bark Collar for Dogs, [1 Can Citronella Spray NO Remote] Spray Dog Training Collar, No Shock Humane Citronella Dog Barking Collars, Safer Rechargeable Anti Barking Control Collar



@ 0 0 0 0 0 p

Color: Black





- [ Adjustable Sensitivity & Sprays Volume ]: Our citronella bark collar has 2-level sensitivity and 2-level spray volume. You can choose the most suitable combination of sensitivity and spray volume according to the environment and the size of the dog. [Please see the picture for the operation method]
- [ Rechargeable & Waterproof ]: The barking collar built-in Li-ion Polymer battery, rapid charge only needs 1.5~2.5 hours for 10 days of regular use.
   Waterproof design allows dogs to play in splash water or rain, but please don't soak it in the water (can't bathing or swimming).
- [ Suit For Most of the Dogs ]: We send 2 Reflective Nylon Collar Strap that can allow you to change your dog's appearance. The adjustable strap(3-21inch) makes the stop barking collar fits all sizes of dogs(8-120lbs). We recommend the use of the bark collar for dogs aged 6 months and weigh over 8 lbs. Fits small, medium & large dogs, except aggressive dogs/long nose dogs/smelling impaired dogs/long neck dogs.



Dog Bark Collar, Citronella Bark Collar

# PROPOSED BUS GARAGE FOR:

## CENTRAL WISCONSIN CHRISTIAN SCHOOL

WAUPUN, WISCONSIN

PROJECT LOCATION MAP

## LEGEND

PROPOSED INLET PROTECTION

**CIVIL SHEET INDEX** 

**SHEET** 

C1.0 C1.1

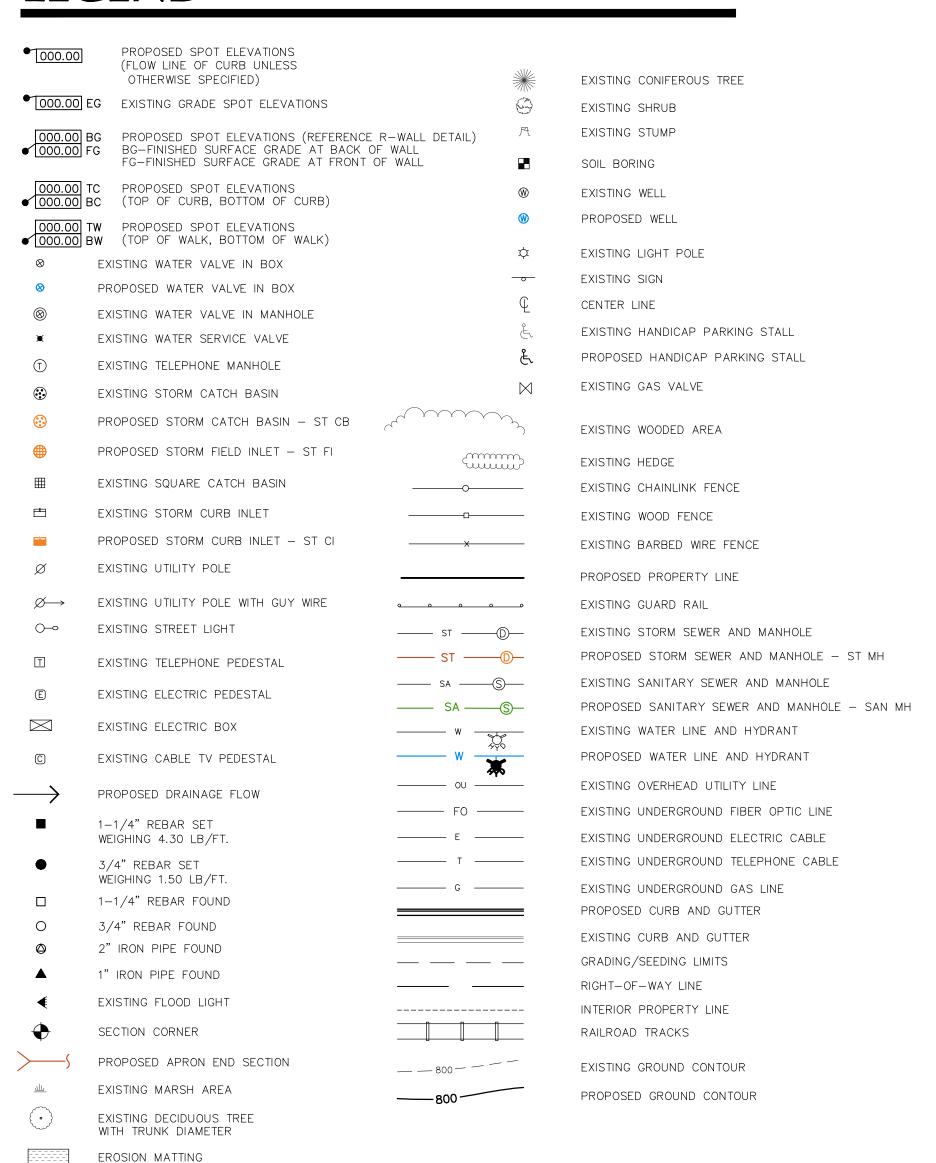
C2.0

SHEET TITLE

GRADING, UTILITY, AND EROSION CONTROL PLAN

CIVIL COVER AND SPECIFICATION SHEET **EXISTING SITE AND DEMOLITION PLAN** 

SITE PLAN



### **DIVISION 31 EARTH WORK**

### 31 10 00 SITE CLEARING (DEMOLITION)

D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.

### 31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA. UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADEL
- OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY
- DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY
- BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT. 1. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT. . UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON
- FOUNDATION PLANS ON PREPARED SUBGRADE, COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT 6. UNDER LAWN OR UNPAYED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL. TO NOT LESS THAN 85 PERCENT
- G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT

J. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE

### 31 30 00 EROSION CONTROL

DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-PERMITTED SITES. B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE
- 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). . DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICA
- STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
- STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION). 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW
- PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). 6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUI INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- 8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL. SEED, AND MULCH SHALL BE IN ENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE. 9. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR
- TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061. 10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT BE ALLOWED. . ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. MAINTENANCE SHALL BE

### E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS. DIVISION 32 EXTERIOR IMPROVEMENTS

D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.

### 32 10 00 GRAVEL AREAS

- A. CONTRACTOR TO PROVIDE COMPACTED GRAVEL WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE
- B. CONTRACTOR TO COMPACT THE AGGREGATE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL GRAVEL AREAS SHALL BE GRADED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL GRAVEL AREAS.

## PLAN SPECIFICATIONS

### 32 20 00 CONCRETE AND AGGREGATE BASE

- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS: SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS. CONCRETE (TRUCK TRAFFIC) - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED IN THE UPPER 1/3 TO ½ OF
- THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER. 3. LIGHT DUTY CONCRETE (PASSENGER CAR TRAFFIC) - 5" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 12.5' ON CENTER a. CONCRETE SHALL BE STEEL REINFORCED AS FOLLOWS:
- 1). TIE BARS AT OUTERMOST CONTRACTION JOINT (FIRST JOINT FROM EDGE OR AT CURB JOINT) AROUND PERIMETER OF CONCRETE. TIE BARS SHALL BE #4 REBAR 24" LONG PLACED AT 30" O.C. TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1/4" X 4-1/2" X 4-1/4" DIAMOND SHAPED TAPERED PLATE DOWELS MANUFACTURED PER ASTM A36. INSTALL PER MANUFACTURERS SPECIFICATIONS. E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
- 3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORL
- 4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTE 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.
- 6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING. INC. CALCIUM CHLORIDE SHALL NOT BE USED.
- 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES. F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT
- PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS
- 1. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ADDITIONAL 50 CU, YD, OR FRACTION THEREOF, PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39, TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS, PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING. THAWING AND DEICING SALTS TO 0.45 M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

### 32 30 00 LANDSCAPING AND SITE STABILIZATION

- A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL, PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED. OPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- 1. PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS /1000 S.F.). 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.
- 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF INSTALLATION. AT THE END OF THE MAINTENANCE PERIOD. A HEALTHY, UNIFORM, CLOSE
- ND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.
- . CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN S150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER 2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS REQUIRED
- E. RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS

### **DIVISION 33 UTILITIES**

### 33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER
- CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS. C. STORM PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- PRIVATE POWTS AND WATER WELL SHALL BE DESIGNED, PERMITTED, AND LOCATED BY PRIVATE POWTS AND WELL INSTALLER. CONTRACTOR SHALL CONFIRM ACCEPTABLE LOCATIONS OF POWTS WITH OWNER & ENGINEER PRIOR TO DESGINING & INSTALLING TO ENSURE LOCATION IS ACCEPTABLE WITHIN MASTER PROJECT LAYOUT. E. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE
- SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. F. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER G. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

ASTM D1785, ASTM D2665, ASTM

Table A: Allowable Pipe Material Schedule				
Jtility	Material	Pipe Code	Fitting Code	Joint Code
Storm Sewer	HDPE	ASTM F2648	ASTM F2306 Saddle Gasket	Joint: ASTM F2648 Bell & Spigot Elastomeric Seal: ASTM F477

### CONSTRUCTION STAKING SERVICES

SDR 35 PVC

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

### GENERAL PROJECT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS & ANY OTHER NECESSARY
- PERMITS FOR CONSTRUCTION. CONTRACTOR TO ENSURE APPROVALS FOR CONSTRUCTION OF IMPROVEMENTS OVER CITY OWNED DRAINAGE EASEMENT AND PIPE IS APPROVED BY CITY.



TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS

NOTICE BEFORE YOU EXCAVATE

CIVIL COVER AND SPECIFICATION SHEET

Push On: ASTM D3212 for Tightness

Elastomeric Seal: ASTM F477



COLLABORATION

PROJECT INFORMATION

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PROFESSIONAL SEA DRAZKOWSK 0026356-006

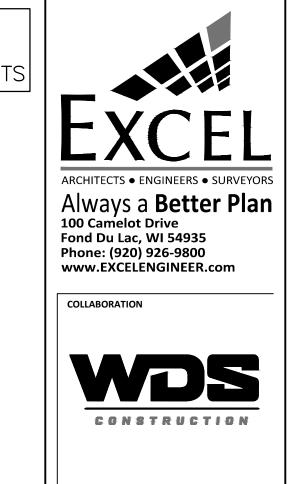
PRELIMINARY DATES OCT. 20, 2021 NOV. 9, 2021

**JOB NUMBER** 2132120

**SHEET NUMBER** 

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SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS



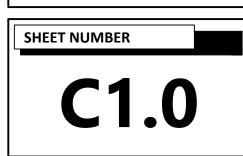
PROPOSED BUS GARAGE FOR:

CENTRAL WISCONSIN CHRISTIAN SCHOOL

301 FOX LAKE ROAD • WAUPUN, WI 53963

PRELIMINARY DATES	
OCT. 20, 2021	NOT FOR CONSTRUCTION

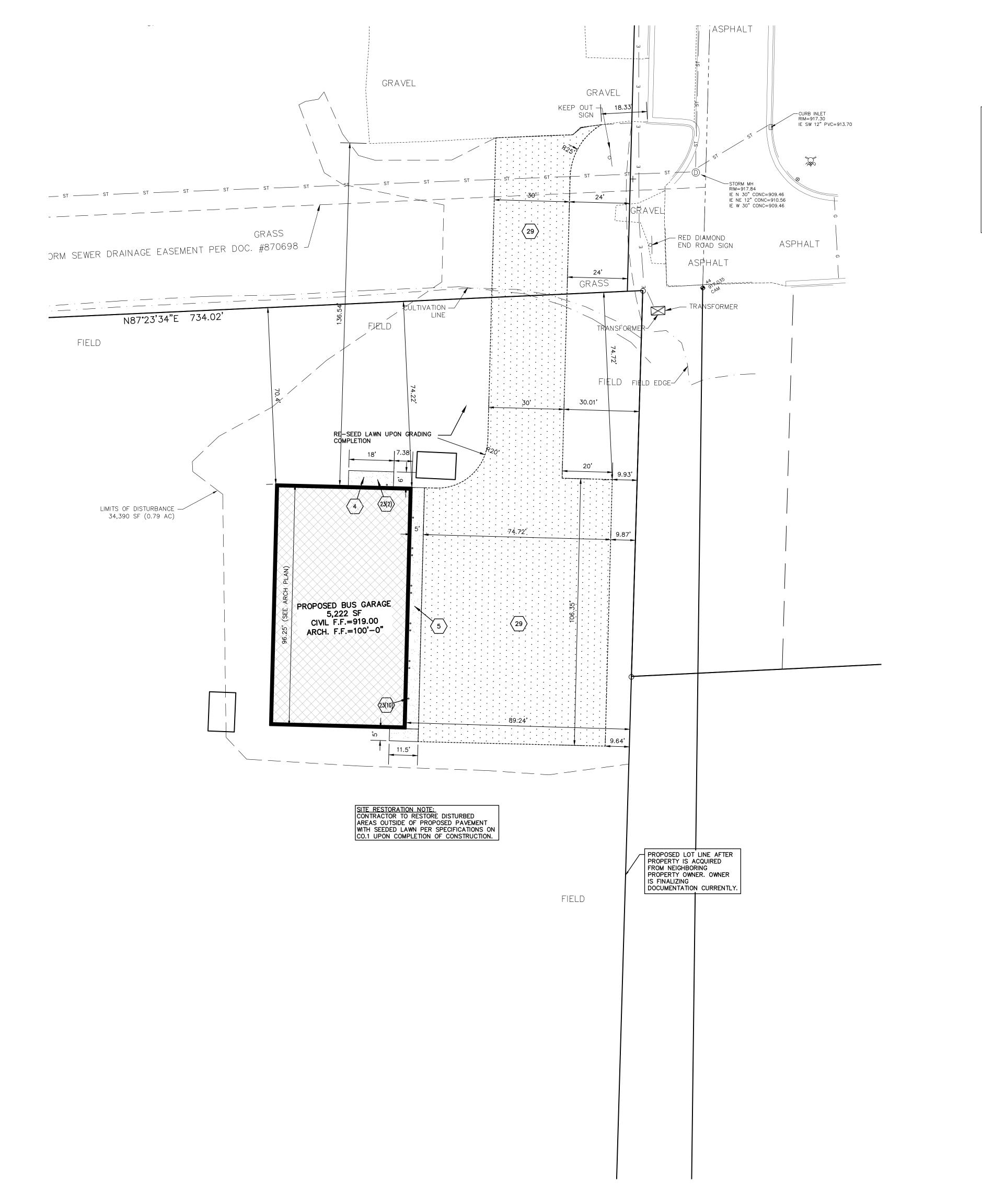
ов NUMBER 2132120



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SCALE FEET

CIVIL EXISTING SITE AND DEMOLITION PLAN



SPECIFICATION NOTE: SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

SITE INFORMATION (BUS GARAGE IMPROVEMENTS):

JURISTICTION: TOWN OF CHESTER

PROPOSED USE: SCHOOL BUS GARAGE

AREA OF SITE DISTURBANCE: 34,390 S.F. (0.79 ACRES)

PROPOSED BUILDING HEIGHT: 21'-3"

LANDSCAPE/ OPEN SPACE

GRAVEL SECTION (TYP)

SETBACKS: TOWN OF CHESTER: 10' TO SIDE YARDS FOR PRINCIPAL STRUCTURE

EXISTING SITE DATA (	LIMITS OF DIS	STURBANCE)	
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.94	40,821	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (GRAVEL)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	0.94	40,821	100.0%
PROPOSED SITE DATA	. (LIMITS OF F	)ISTURBANCF)	
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.94	40,821	NATIC
BUILDING FLOOR AREA PAVEMENT (GRAVEL & CONC	0.12	5,222	12.8%
APRON)	0.38	16,489	40.4%
TOTAL IMPERVIOUS	0.50	21,711	53.2%

SITE P	LAN KEYNOTES
3	CONCRETE SIDEWALK (TYP.)
4	LIGHT DUTY CONCRETE (TYP.)
5	HEAVY DUTY CONCRETE (TYP)
23	6" CONCRETE BOLLARDS (SEE DETAIL ON C2.0 UNLESS SEPARATE DETAIL PROVIDED BY ARCH PLAN)

IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

0.44

19,110

46.8%

ARCHITECTS ◆ ENGINEERS ◆ SURVEYORS Always a **Better Plan**100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

COLLABORATION



PROJECT INFORMATION

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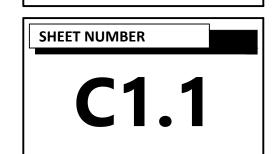
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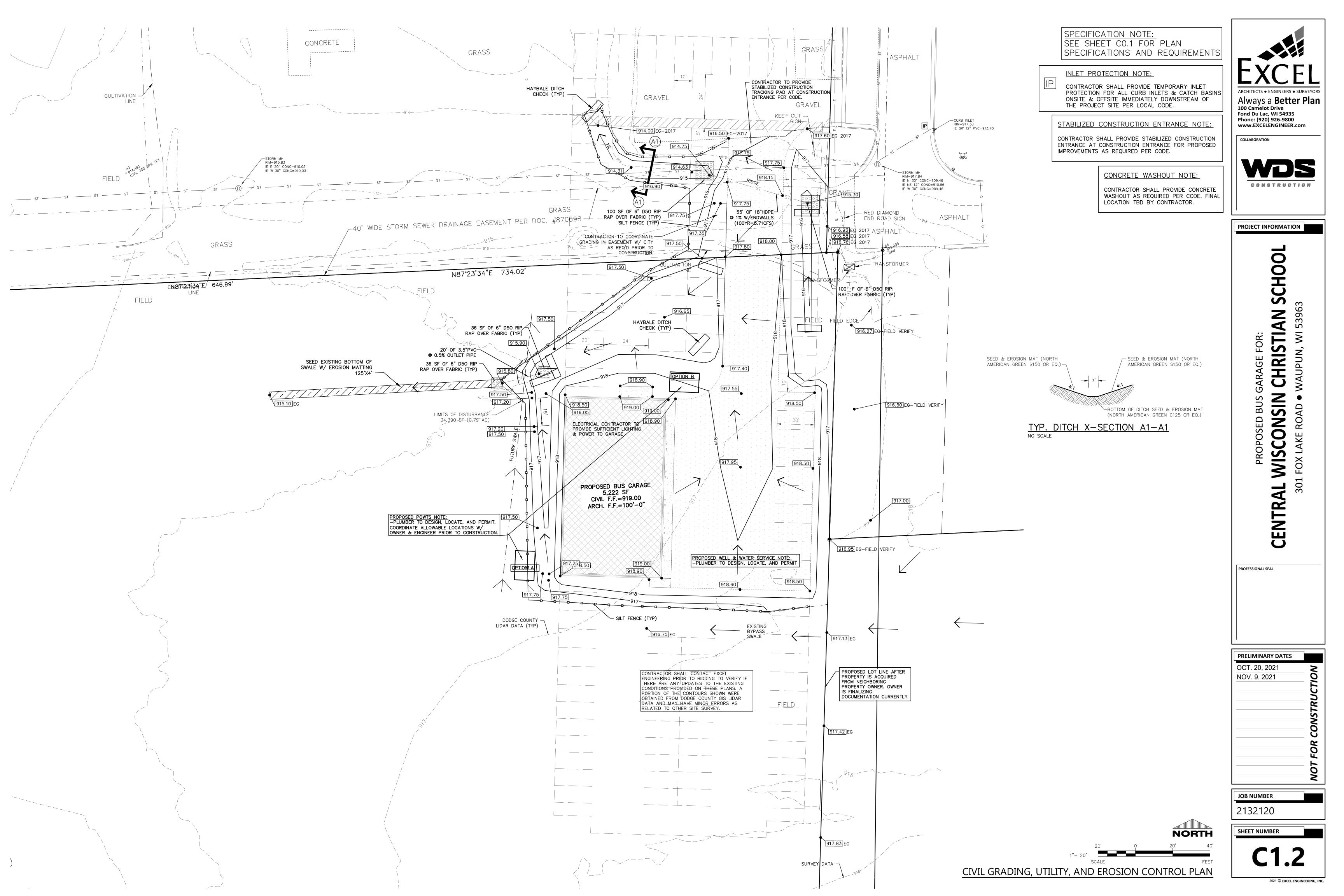
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JOB NUMBER 2132120

CIVIL SITE PLAN



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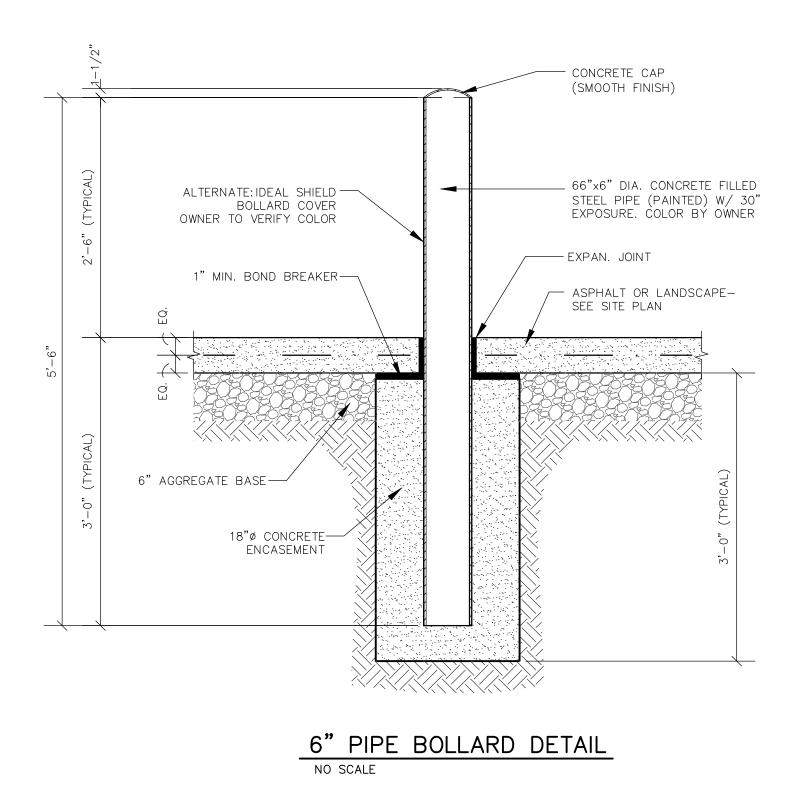
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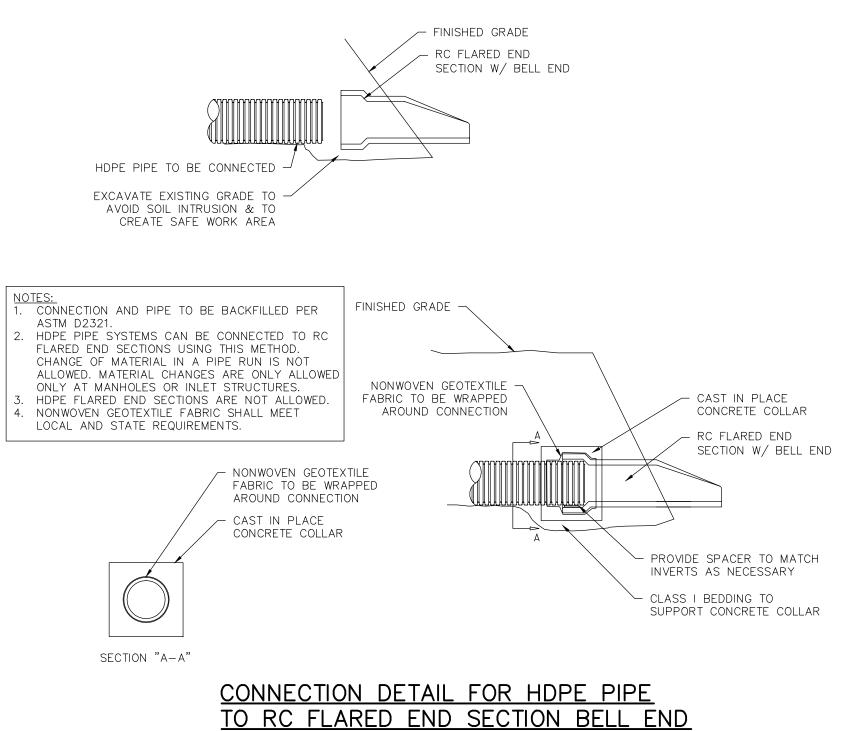
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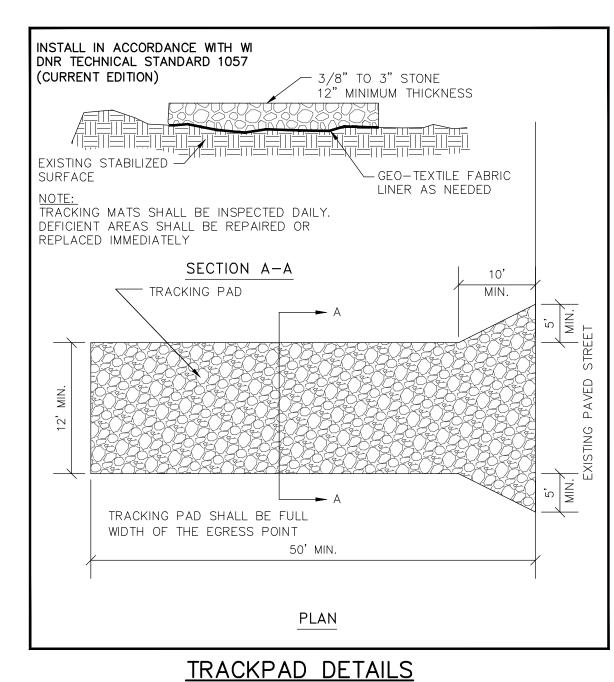
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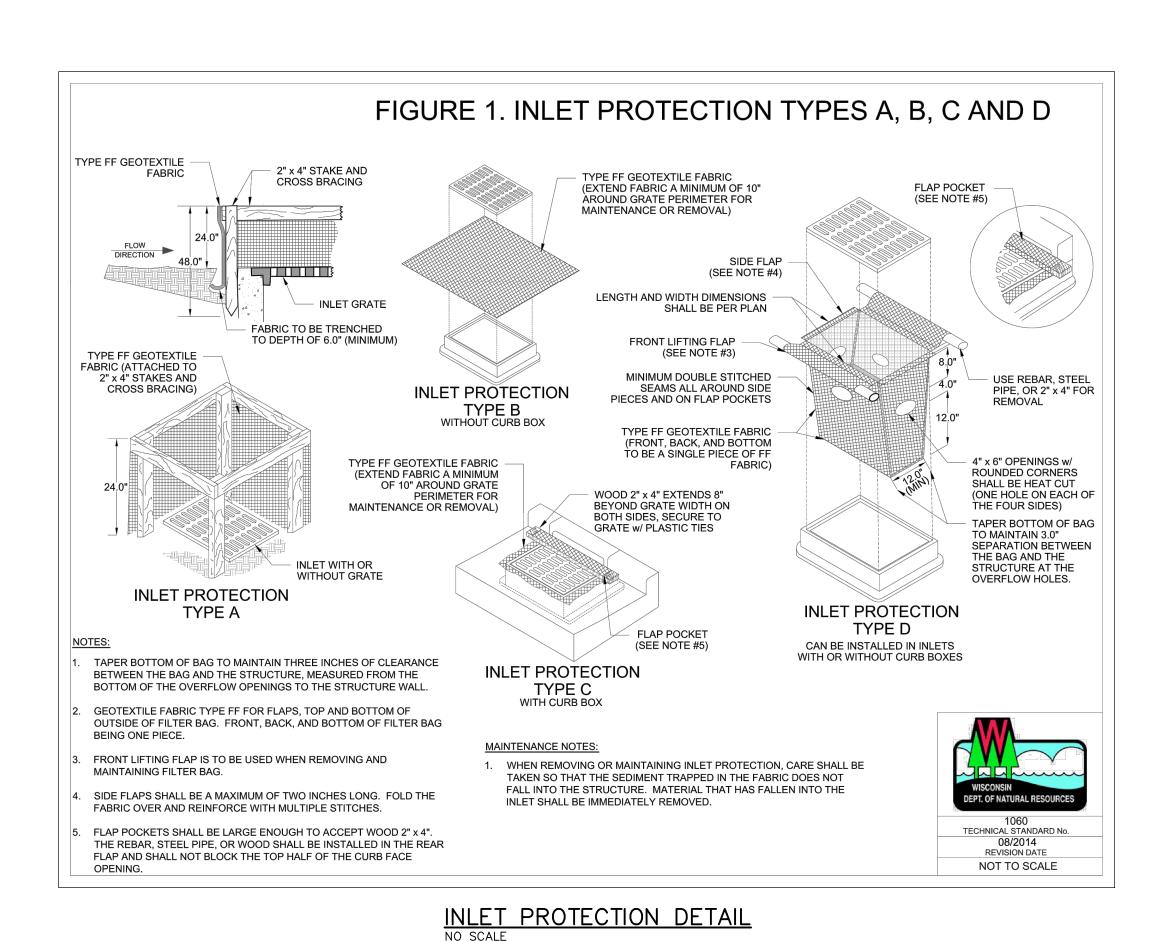
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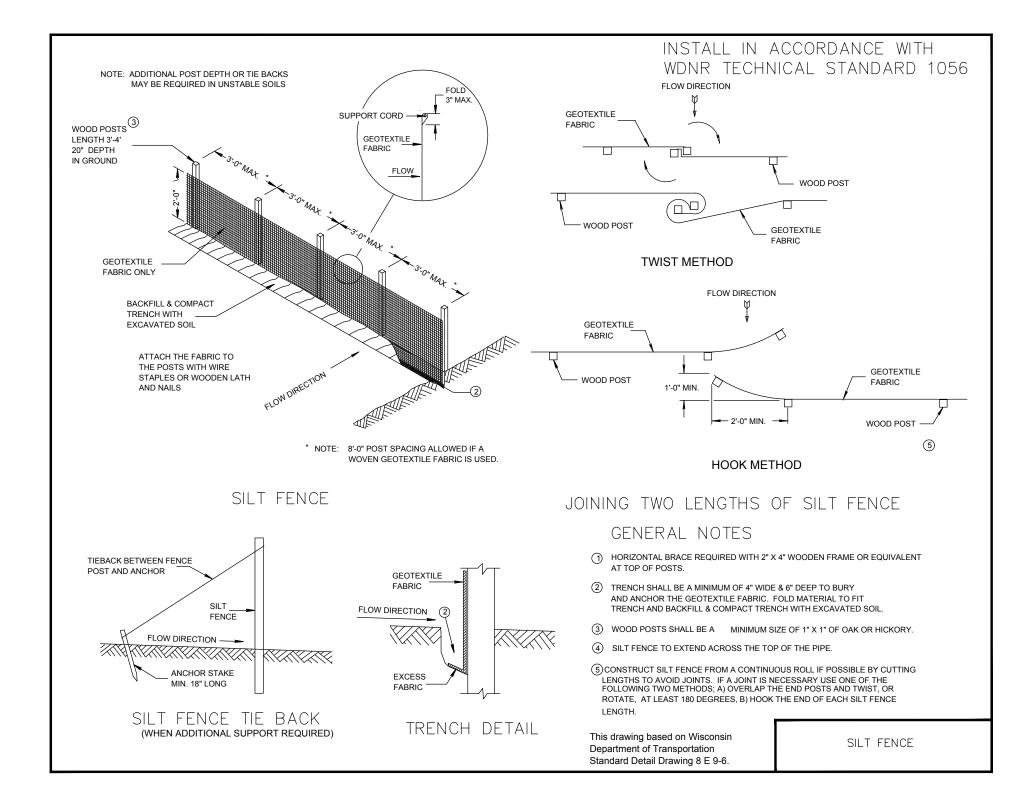






NO SCALE





SILT FENCE — INSTALLATION DETAIL
NO SCALE

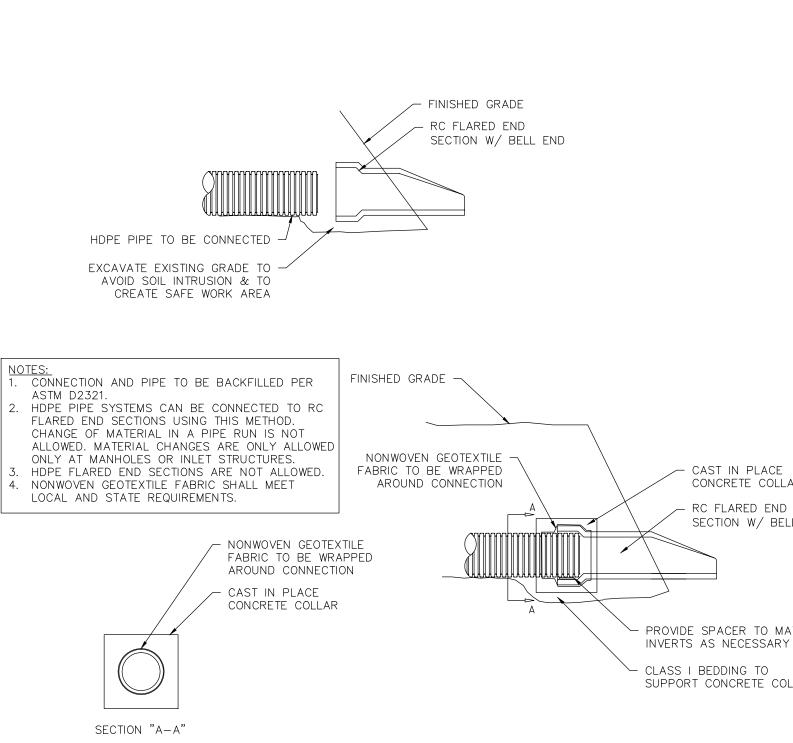
PRELIMINARY DATES OCT. 20, 2021 JOB NUMBER

**SHEET NUMBER** 

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2132120

**CIVIL DETAILS** 



NO SCALE



**To:** Jeff Daane., City of Waupun Director of Public Works

**From:** Eric Thompson, P.E.

**Subject:** Stormwater Management Plan Review – Kwik Trip Carwash Site

Date: November 15, 2021

MSA has completed a review of the stormwater management plan for the proposed CWC Bus Garage site, dated November 9, 2021, received November 10, 2021. The site is located at the west terminus of West Lincoln Street and is adjacent, but outside, the City's current corporate limits. This review has been undertaken at the direction of the City under its extraterritorial plat approval jurisdiction.

Upon review of the current submittal, it is our recommendation that the City approve the stormwater management plan contingent on receipt of a signed/executed long-term maintenance agreement for proposed on-site stormwater management features.

- 1.) **Development Classification**: The site is currently undeveloped and will be developed as a bus garage with a gravel parking lot and driveway. In total, approximately 0.40 acres of new impervious area will be created on a 0.72 acre site. The plan fits the description of a new development.
- 2.) **Peak Discharge Rate Control:** Because the plan is for a new development, there is a requirement to achieve post-development peak discharge rate control for the 1-, 2-, 10-, and 100-yr 24-hr rainfall events. Review of the development plans indicates that the site will achieve rate control standards for the 2-, 10-, and 100-yr events, but will exceed the existing 1-yr peak flow rate by 0.2 cfs (17%). This is a common occurrence on very small sites like this one and, as there are proposed on-site rate control BMPs with outlet structures about as small as is reasonable for the site, this level of rate control is viewed to be the Maximum Extent Practicable (MEP) for the site.
- 3.) Water Quality Treatment: Stormwater quality treatment will be provided for the site via a system of five vegetated drainage swales. No on-site infiltration assessment has been provided to support the design infiltration rates applicable to the swales; however, if it is assumed that the swales perform at least as well as other swales in the City assessed as part of the City's 2017 stormwater quality master plan, then this site will achieve an annual reduction in Total Suspended Solids (TSS) loads of 66% and an annual reduction in Total Phosphorus (TP) loads of 61%. While the TSS reduction is less than the 80% requirement for new development, the treatment levels provided for TSS as well as TP are well above the minimums required for the Rock River TMDL. Given limitations of on-site space and the fact that they are meeting the TMDL requirement, it is felt that the proposed meets the MEP standard.

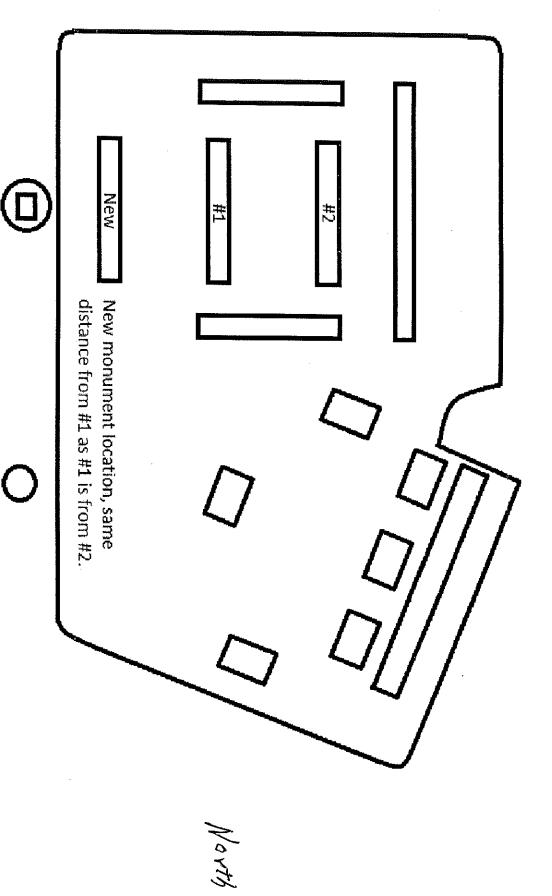
1702 PANKRATZ STREET, MADISON, WI 53704 P (608) 242-7779 • TF (800) 446-0679 • F (608) 242-5664 WWW.MSA-PS.COM

Page 1 of 2

C:\D\Waupun\2021\_CWC\_Bus\_Garage\MSA\_CWC\_Bus\_Garage\_SWMP\_Review\_Comments\_11-15-2021.docx

- 4.) **Infiltration:** The site as currently proposed will have an impervious area density of approximately 56%, qualifying the site as 'moderately impervious'. At this level of imperviousness the standard is to achieve 75% of predevelopment infiltration. Reflective of the assumed infiltration rate described in the previous point, the site will achieve in excess of 90% of predevelopment infiltration.
- 5.) **Drainage System Design.** Review of drainage system designs indicates that the proposed system of culverts has capacity to convey 100-yr peak flows safely through the site and into/out of stormwater management features.
  - It is noted that an 18" pipe is proposed under the driveway culvert at the end of W. Lincoln Street. Review of the capacity of this pipe indicates that it can convey 100-yr peak runoff rates without back-up onto private property, so long as it is maintained in good condition. Any obstruction to the inlet or degradation of the pipe condition may cause back-ups onto the adjacent residential lot on the south side of Lincoln Street.
- 6.) **Long Term Maintenance Agreement.** A long-term maintenance agreement should be prepared requiring the owner to routinely inspect and when indicated, maintain the swales and culverts comprising the on-site stormwater management practices. A recommended example document is attached. This document should be appended to the City's standard legal form.

West



East

bert patrouille 0-729/ 24-2049

### WAUPUN AREA VETERANS MEMORIAL WALL



Our Waupun Area Veterans Memorial Wall is a tribute to all Waupun area Veterans who have served or are now serving their Country since the War of 1812 to the current War on Terrorism.

The Veterans Walls are located next to the existing War Memorial in Shaler Park, Waupun WI.

### CUT HERE AND KEEP TOP PORTION FOR YOUR RECORDS

### FORM FOR BUSINESS, ORGANIZATIONS OR PRIVATE DONATION

### **DONATION REQUEST PROGRAM STATEMENT**

This project was started five (5) years ago as a Community Project and has been well supported in the past and currently by Waupun and Waupun area, Business, Organizations, and by private donations. We now have reached the time when another Wall Phase IV must be in place by early Spring 2010 as the current capacity of 1050 name spaces will be filled by Spring 2010. At this time we must raise \$4700.00 to pay for the next Wall which will be delivered by September 2009.

### WE REQUEST YOUR SUPPORT FOR THIS PROJECT ADDITION BY YOUR GENEROUS DONATIONS.

### THANK YOU!

Make out check or money order to the Waupun Veterans Memorial Wall Fund and send to:

Waupun Veterans Memorial Wall Fund National Bank of Waupun 210 E. Main St. Waupun, WI 53963

For additional information call 324-2641, 324-4641 or 324-3491

Sponsored by the Waupun Community, its business', organizations, American Legion, and Veterans of Foreign Wars.

### WAUPUN AREA VETERANS MEMORIAL WALL PROJECT

### NAME LOCATOR SYSTEM

PHASE I WEST 20' WALL #1 THRU #210 FRONT SIDE #211 THRU #420 BACK SIDE

PHASE II NORTH 10' WALL #1 THRU #105 SOUTH SIDE #211 THRU #315 NORTH SIDE

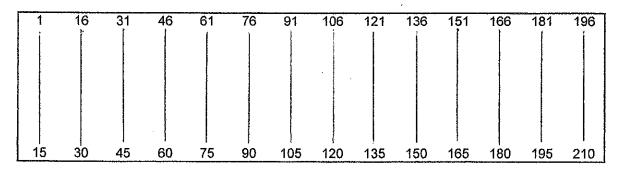
PHASE II
SOUTH 10' WALL
#316 THRU #420 SOUTH SIDE
#106 THRU #210 NORTH SIDE

PHASE III
CENTER 10' WALL
#1 THRU #105 EAST SIDE
#106 THRU #210 WEST SIDE

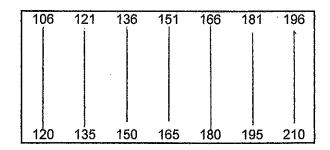
PHASE IV EAST 10' WALL #1 THRU #105 EAST SIDE #106 THRU #210 WEST SIDE

### NOTE: ALL NAMES ON WALLS BEGINNING FROM LEFT END OF WALL

EXAMPLE 1 20' WALL FRONT

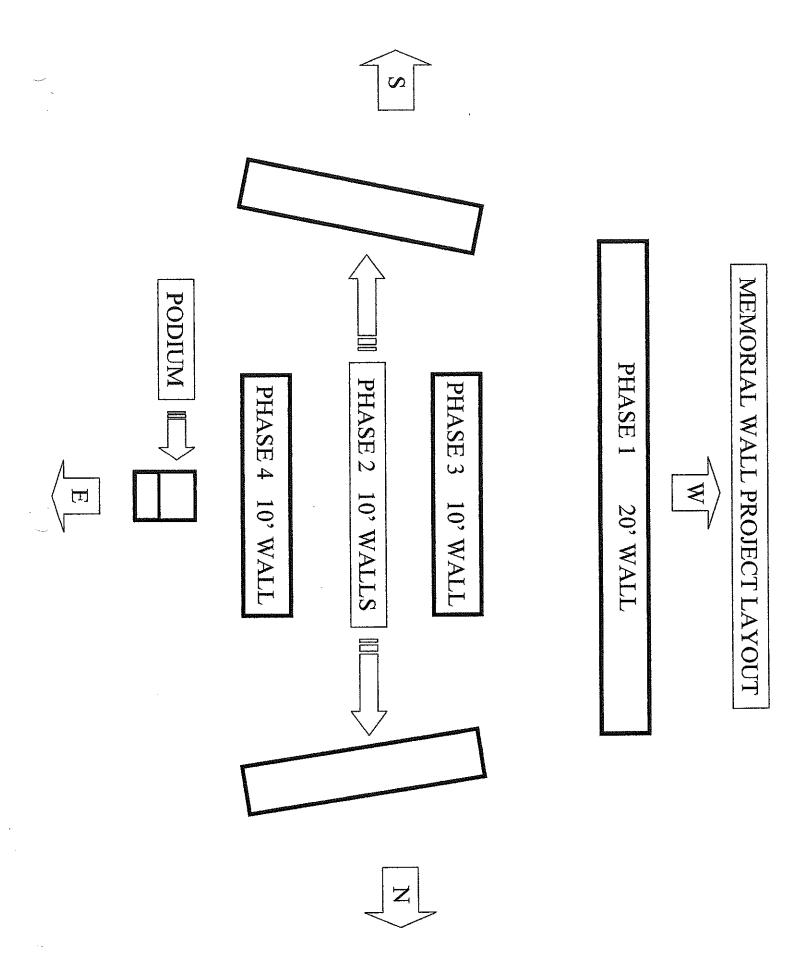


EXAMPLE 2 10' WALL BACK



NOTE: 20' WALL HAS 210 NAMES ON EACH SIDE

10' WALLS HAVE 105 NAMES ON EACH SIDE





### ALTA / NSPS LAND TITLE SURVEY



### Notes Corresponding to Schedule B

Commitment No.: 816020050 [ Exceptions 1 through 10, 18 and 19 are general exceptions established by the Title Company].

- 11. Public Utility Easement and Access Restriction, as delineated on the recorded plat of Ousterling
- 12. Easement granted to Wisconsin Telephone Company by an instrument recorded August 25. 1923, in Volume 208 of Mortgages at Page 374, as Document No. 131015.
- 13. Contract for Easement regarding common driveway by and between Frank Ousterling and Clara Ousterling, his wife parties of the first part, Chris A. Schuchardt and Millie Schuchardt, his wife, parties of the second part and Carl C. Johnson and Helena M. Johnson, his wife, parties of the third part, recorded December 4, 1928, in Volume 231 of Mortgages at Page 640 as Document
- Terms, conditions and restrictions regarding Joint Driveway as contained in Land Contract recorded November 3, 1978, in Volume 785 of Records at Page 302, as Document No. 342595.
- 15. Right of Way Grant granted to Wisconsin Bell, Inc. by an instrument recorded on April 16, 1991, in Volume 1039 of Records at Page 441, as Document No. 490634. [THIS DOCUMENT COVERS THE ENTIRE PROPERTY]
- 16. Easement Agreement For Egress and Ingress by and between Rohn T. Bishop and KT Real Estate Holdings LLC, a Delaware limited liability company, Successor to Convenience Store Investments, recorded November 24, 2014 as Document No.1045714. [NOTHING TO PLOT]
- Easement granted to The City of Waupun, a municipal corporation by an instrument recorded March 27, 2015, as Document No. 1050594.
   [THIS IS A TEMPORARY LIMITED EASEMENT FOR CONSTRUCTION]
  - [] SURVEYOR'S COMMENTS
  - PLOTTABLE EXCEPTIONS

Commitment No.: 816020051 [ Exceptions 1 through 10 and 17 are general exceptions established by the Title Company].

#### ADDITIONAL EXCEPTIONS:

- 11. Easement granted to Wisconsin Telephone Company by an instrument recorded August 25, 1923, in Volume 208 of Mortgages at Page 374, as Document No. 131015.
- 12. Contract for Easement regarding common driveway by and between Frank Ousterling and Clara Ousterling, his wife parties of the first part, Chris A. Schuchardt and Millie Schuchardt, his wife, parties of the second part and Carl C. Johnson and Helena M. Johnson, his wife, parties of the third part, recorded December 4, 1928, in Volume 231 of Mortgages at Page 640 as
- 13. Right of Way Grant granted to Wisconsin Bell, Inc. by an instrument recorded on March 8, 1991, in Volume 1036 of Records at Page 706, as Document No. 489158. [THIS DOCUMENT COVERS THE ENTIRE PROPERTY]
- Easement granted to City of Waupun, a Municipal Corporation by an instrument recorded December 22, 1997, in Volume 1345 of Records at Page 576, as Document No. 628625. [THIS IS A TEMPORARY LIMITED EASEMENT FOR CONSTRUCTION]
- Easement Agreement For Egress and Ingress by and between Rohn T. Bishop and KT Real Estate Holdings LLC, a Delaware limited liability company, Successor to Convenience Store ovestments, recorded November 24, 2014 as Document No.1045714.
- Easement granted to The City of Waupun, a municipal corporation by an instrument recorded March 27, 2015, as Document No. 1050593.
   [THIS IS A TEMPORARY LIMITED EASEMENT FOR CONSTRUCTION]
  - [] SURVEYOR'S COMMENTS

EX. RIM = 901.61 8" (NW&F) = 895.12

- PLOTTABLE EXCEPTIONS

PARKING SPACE TABLE

SPACE

REGULAR

ACCESSIBLE

TOTAL

TOTAL EXISTING

14



1" = 30 FEET

ZONING: B-2 / CENTRAL BUSINESS DISTRICT

FLOOD NOTE:

REVISION: DATE:

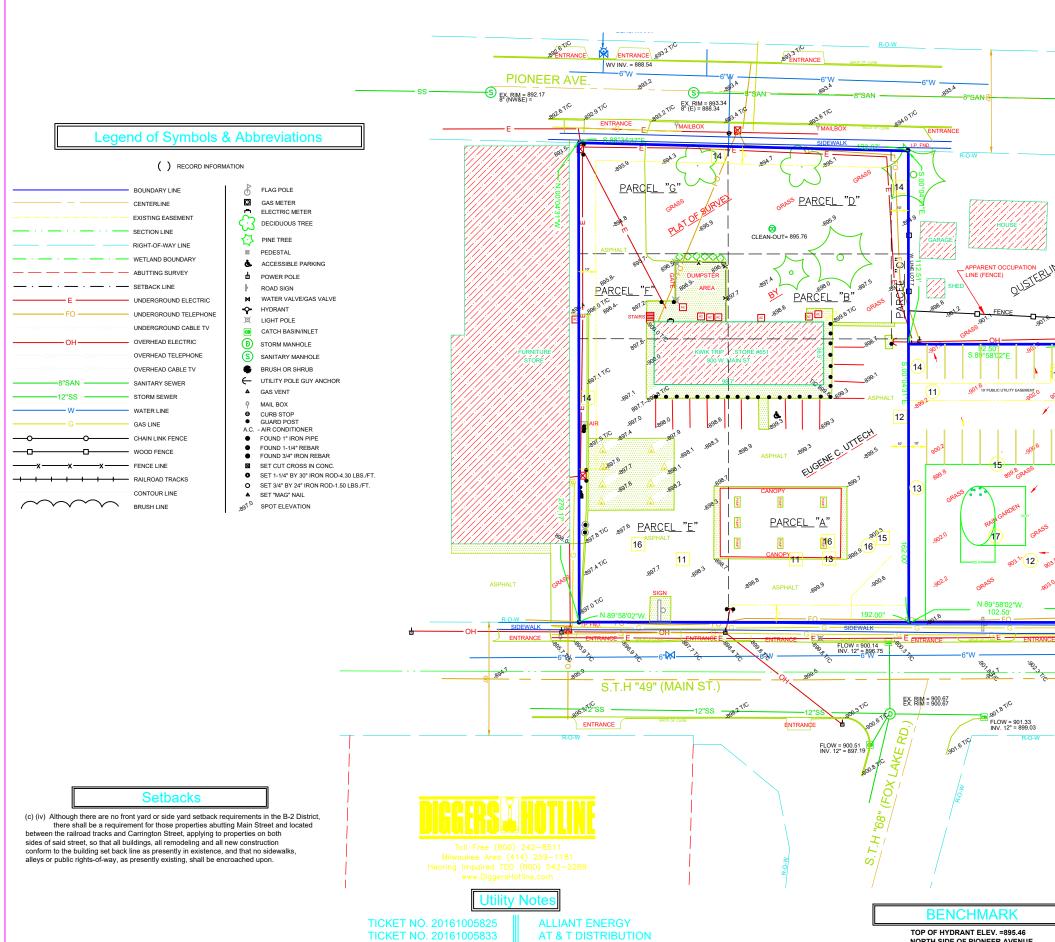
DRAWN BY: D.L.L. CHECKED BY: M.J.L. 1" = 30' 12:07 P.M.

CADD FILE: 0%
PLOT DATE: (

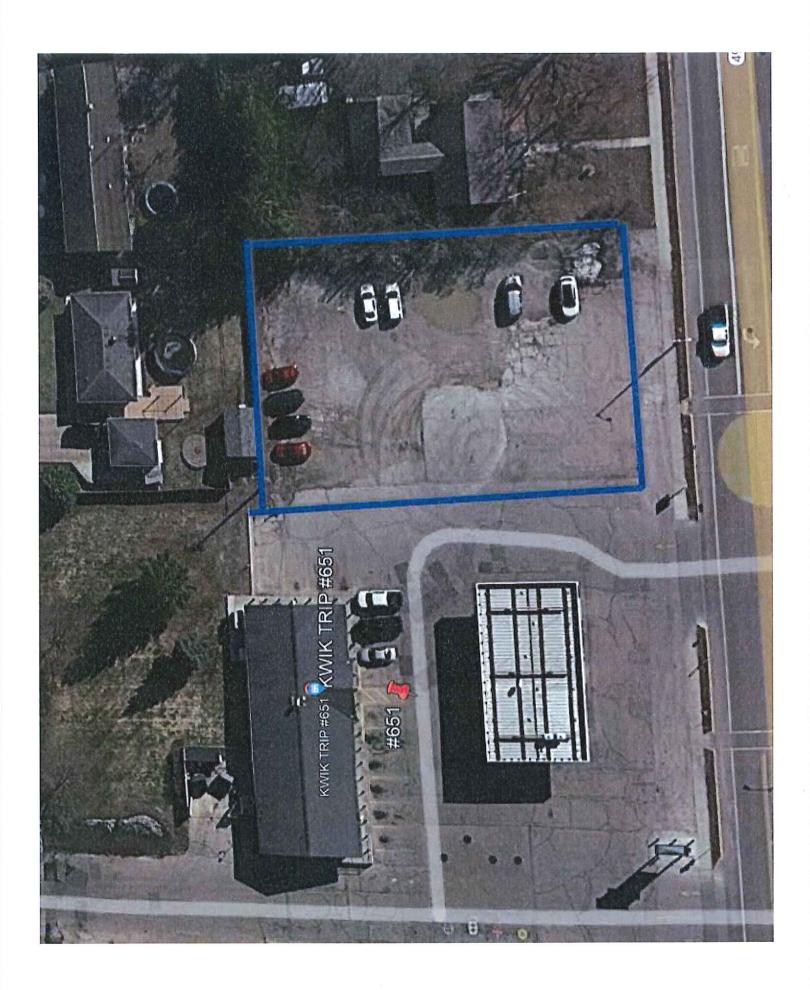
R.02235021.0

1 OF 2

s property is in Zone "X" of the Flood Insurance Rate Map, Community Panel N 039C0413F, which bears an effective date of 11/04/2009.



TICKET NO. 20161005846

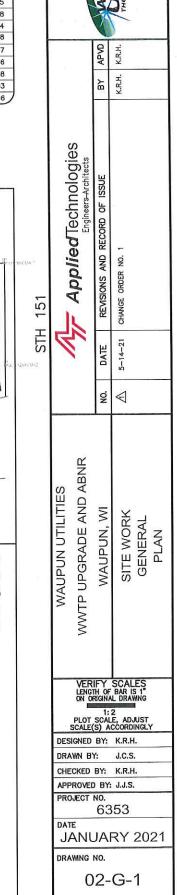


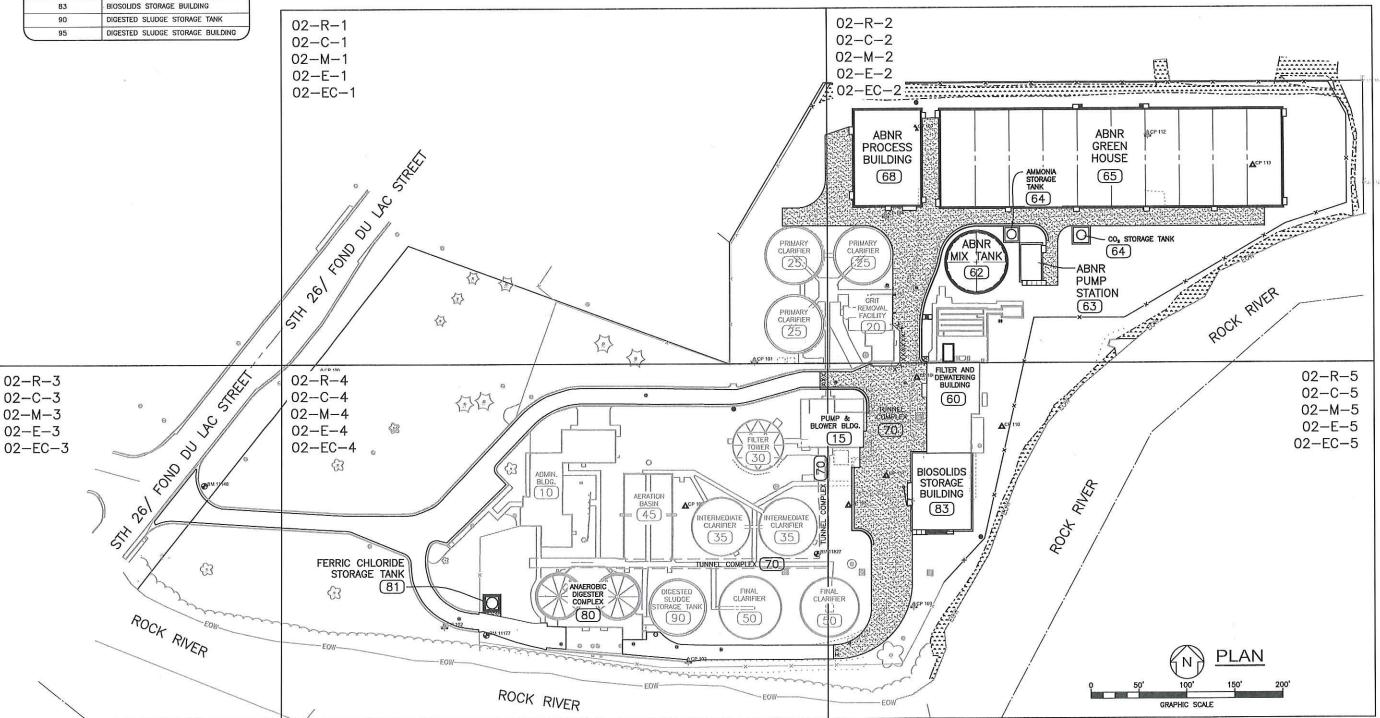
STRU	JCTURE LEGEND
STRUCTURE NO.	STRUCTURE NAME
10	AMINISTRATION BUILDING
15	PUMP & BLOWER BUILDING
20	GRIT REMOVAL FACILITY
25	PRIMARY CLARIFIERS
30	FILTER TOWER
35	INTERMEDIATE CLARIFIERS
40	RAS FLUME STRUCTURE
45	AERATION BASIN
50	FINAL CLARIFIERS
60	FILTER & DEWATERING BUILDING
62	ABNR MIX TANK
63	ABNR PUMP STATION
64	AMMONIA & CO2 STORAGE TANKS
65	ABNR GREEN HOUSE
68	ABNR PROCESS BUILDING
70	TUNNEL COMPLEX
80	DIGESTER COMPLEX
81	FERRIC CHLORIDE STORAGE TANK
83	BIOSOLIDS STORAGE BUILDING
90	DIGESTED SLUDGE STORAGE TANK
95	DIGESTED SLUDGE STORAGE BUILDIN

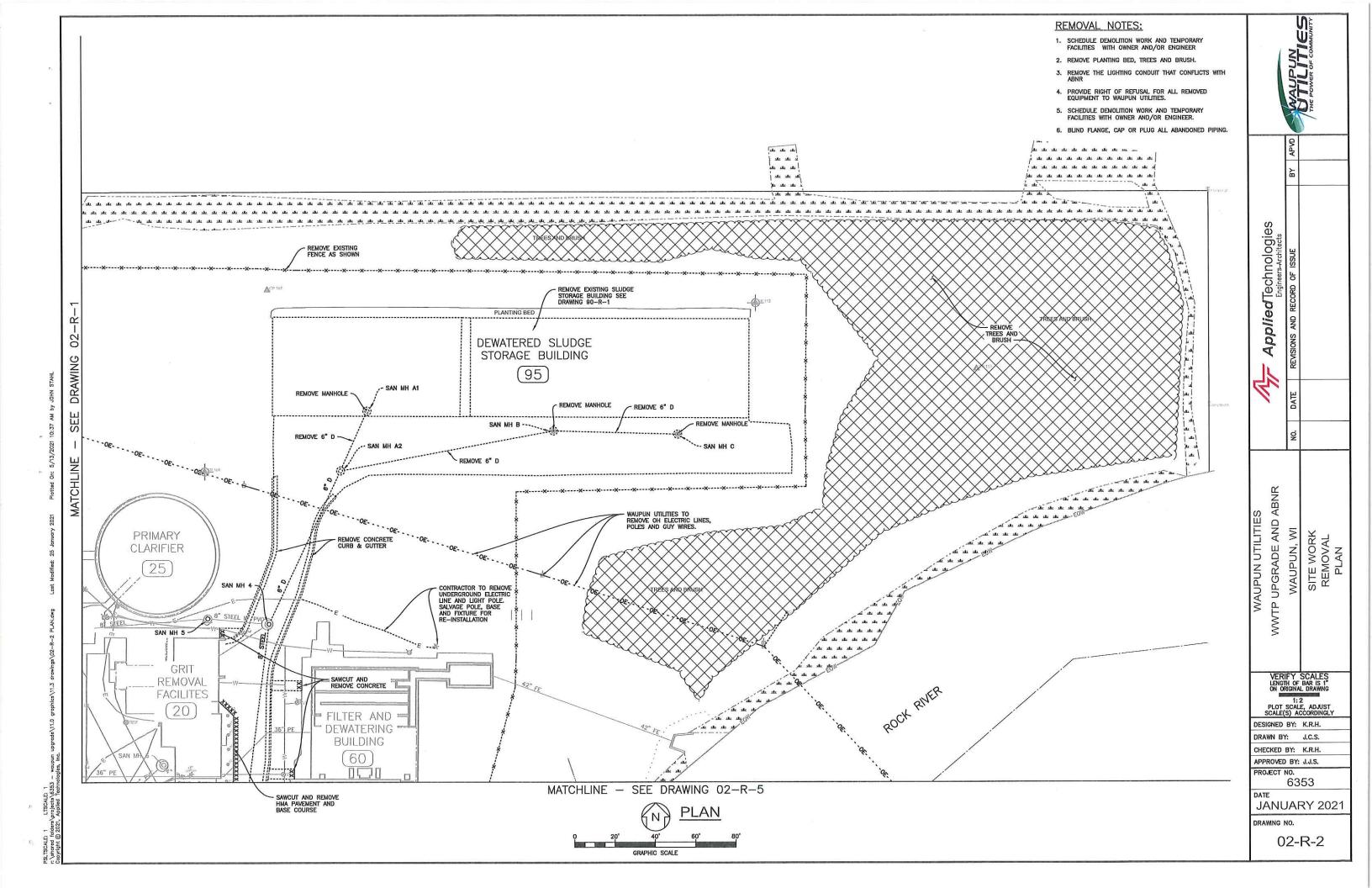
STRUCTURE NO.	LOCATION POINT	NORTHING	EASTING
62	CENTERLINE OF TANK	601208.02	2308355.57
	NORTH QUADRANT	601239.60	2308355.57
63	NW CORNER OF FOUNDATION WALL	601226.35	2308402.15
	SW CORNER OF FOUNDATION WALL	601188.68	2308402.15
64 (NH <sub>3</sub> )	NW CORNER OF CONCRETE SLAB	601243.85	2308385.36
	NE CORNER OF CONCRETE SLAB	601243.85	2308399.36
64 (CO <sub>2</sub> )	NW CORNER OF CONCRETE SLAB	601243.85	2308456.99
	NE CORNER OF CONCRETE SLAB	601243.85	2308472.99
65	SW CORNER OF FOUNDATION WALL.	601265.33	2308318.44
	SE CORNER OF FOUNDATION WALL	601265.34	2308675.10
68	NW CORNER OF FOUNDATION WALL	601367.33	2308228.44
	SW CORNER OF FOUNDATION WALL	601267.33	2308228.44
81	NW CORNER OF CONTAINMENT WALL	600862.94	2307842.13
	SW CORNER OF CONTAINMENT WALL	600847.60	2307842.13
* 83	SW CORNER OF FOUNDATION WALL	600929.74	2308287.90
	SE CORNER OF FOUNDATION WALL	600929.74	2308349.56

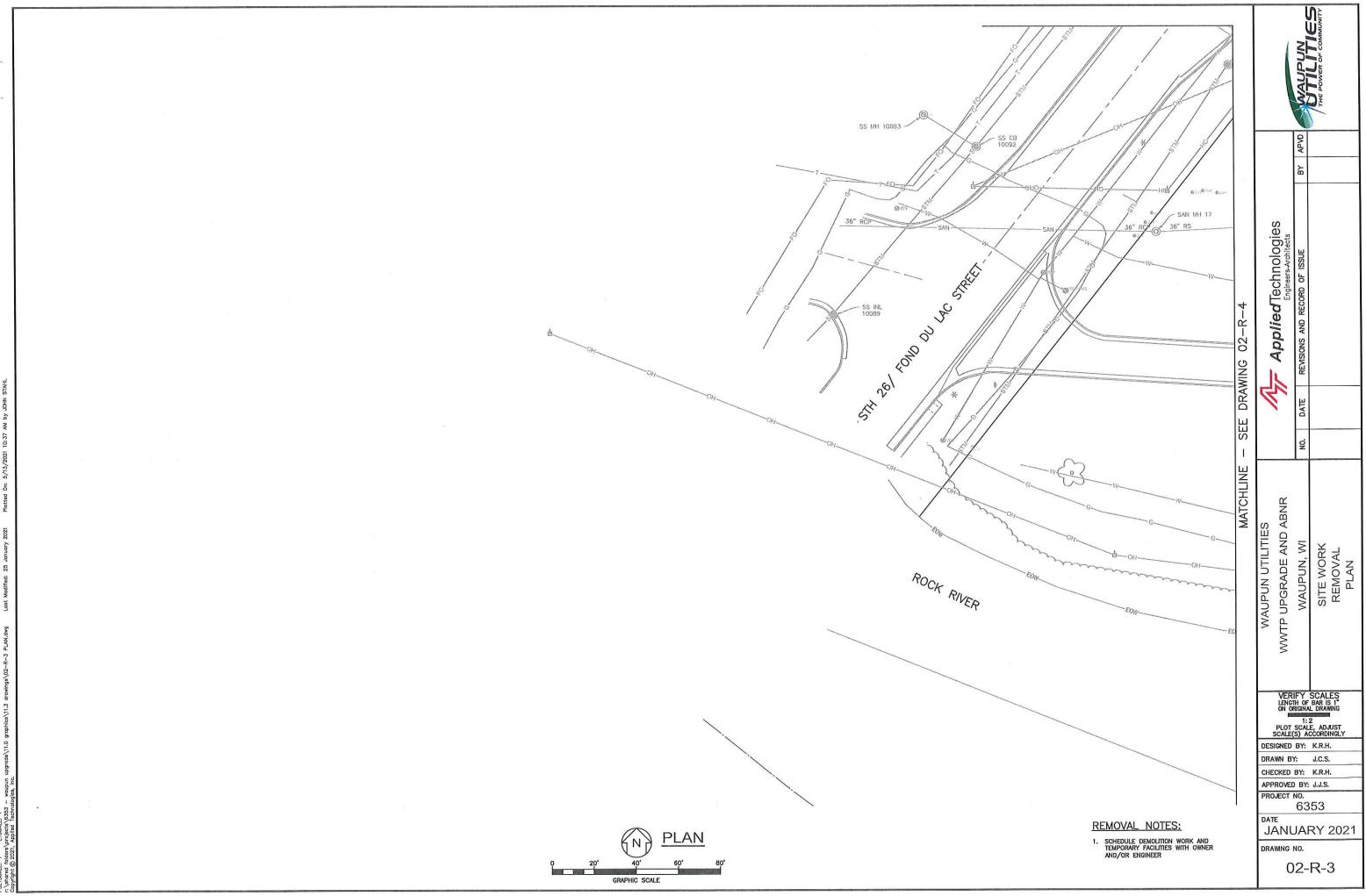
DENOUMADICE.							
◆ BENCHMARKS							
BM NO.	DESCRIPTION/LOCATION	NORTHING	EASTING	ELEV.			
BM 11148	FIRE HYDRANT AT NORTH SIDE OF PLANT ENTRANCE	600977.64	2307549.76	876.64			
BM 11177	FIRE HYDRANT JUST INSIDE OF SOUTH GATE ENTRANCE	600821.61	2307843.78	874.01			
BM 11827	FIRE HYDRANT AT THE SOUTHEAST SIDE THE INTERMEDIATE CLARIFIERS	600905.12	2308188.63	876.07			

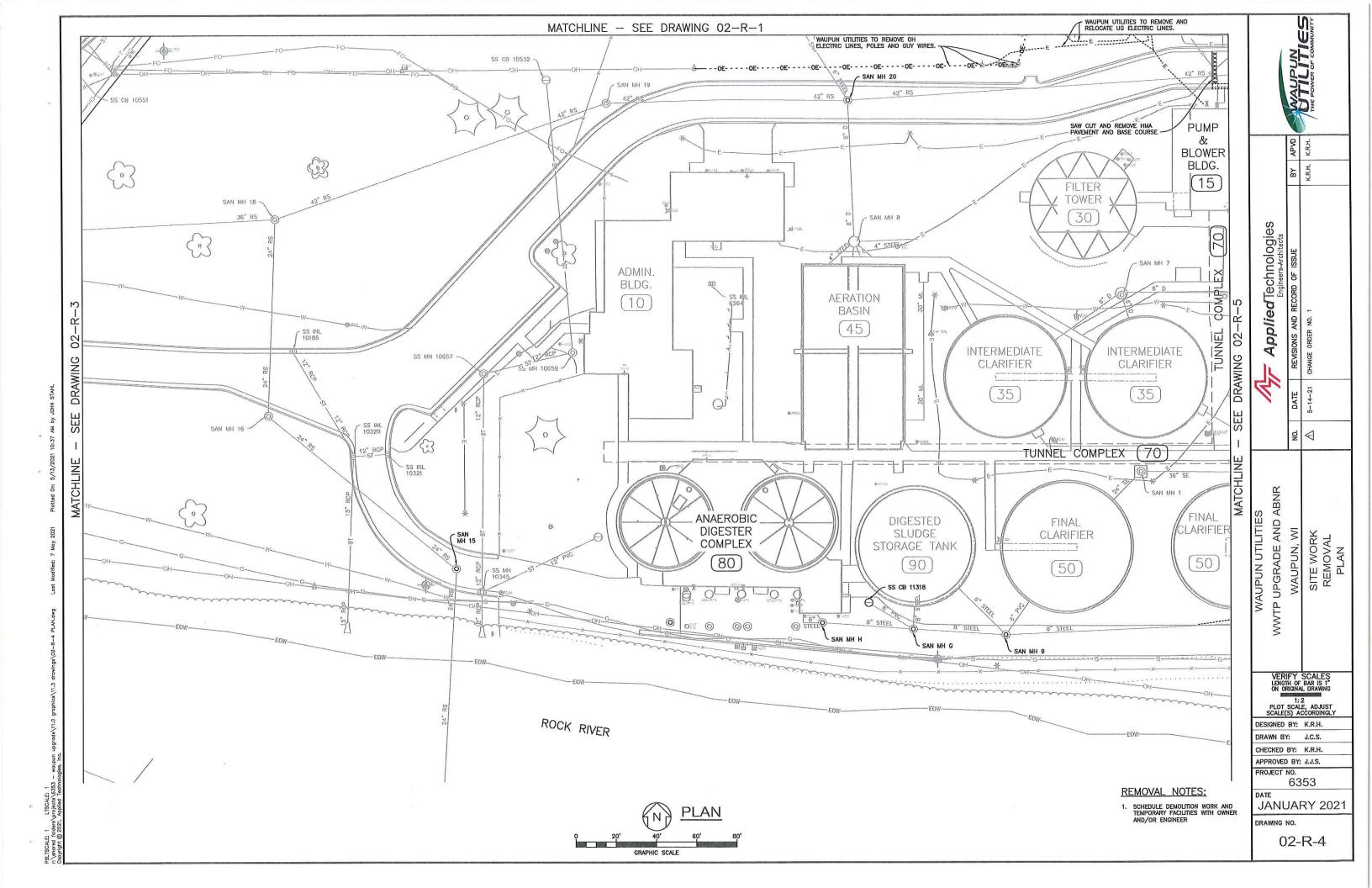
	△ CONTROL/CH	IECK PUI	1112	
NO.	DESCRIPTION/LOCATION	NORTHING	EASTING	ELEV.
CP-100	AYRES PLASTIC CAP	601095.835	2307671.563	873.15
CP-101	AYRES PLASTIC CAP	601106.166	2308123.751	876.08
CP-102	RBR WITH YELLOW CAP	600830.880	2307800.461	872.60
CP-103	CP-103	600793.910	2308054.459	872.50
CP-104	AYRES PLASTIC CAP	601257.302	2308261.136	876.80
CP-105	AYRES PLASTIC CAP	600955.262	2308051.564	873.95
CP-106	8" SPIKE	601088.349	2308292.974	877.08
CP-107	8" SPIKE	601347.429	2308292.299	875.34
CP-108	8" SPIKE	600955.674	2308221.519	875.38
CP-109	SPIKE	600850.591	2308289.403	872.77
CP-110	SPIKE	601036.574	2308381.457	872.36
CP-111	PK NAIL	600986.340	2308261.007	875.28
CP-112	8" SPIKE	601340.673	2308534.915	875.03
CP-113	10" SPIKE	601308.000	2308644.522	896.96

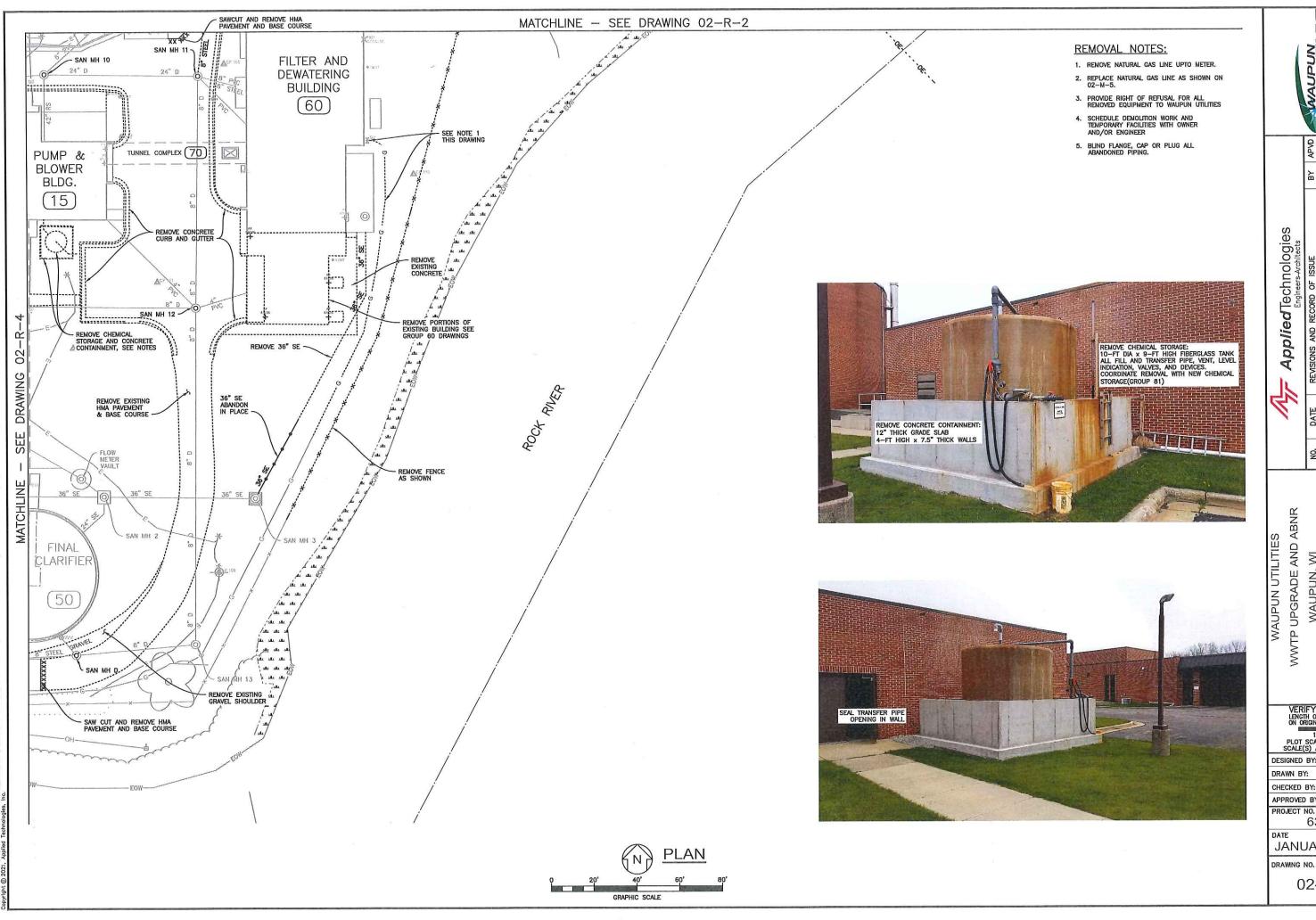












SITE WORK REMOVAL PLAN WAUPUN, WI

VERIFY SCALES LENGTH OF BAR IS 1" ON ORIGINAL DRAWING

1: 2 PLOT SCALE, ADJUST SCALE(S) ACCORDINGLY

DESIGNED BY: K.R.H. DRAWN BY: J.C.S.

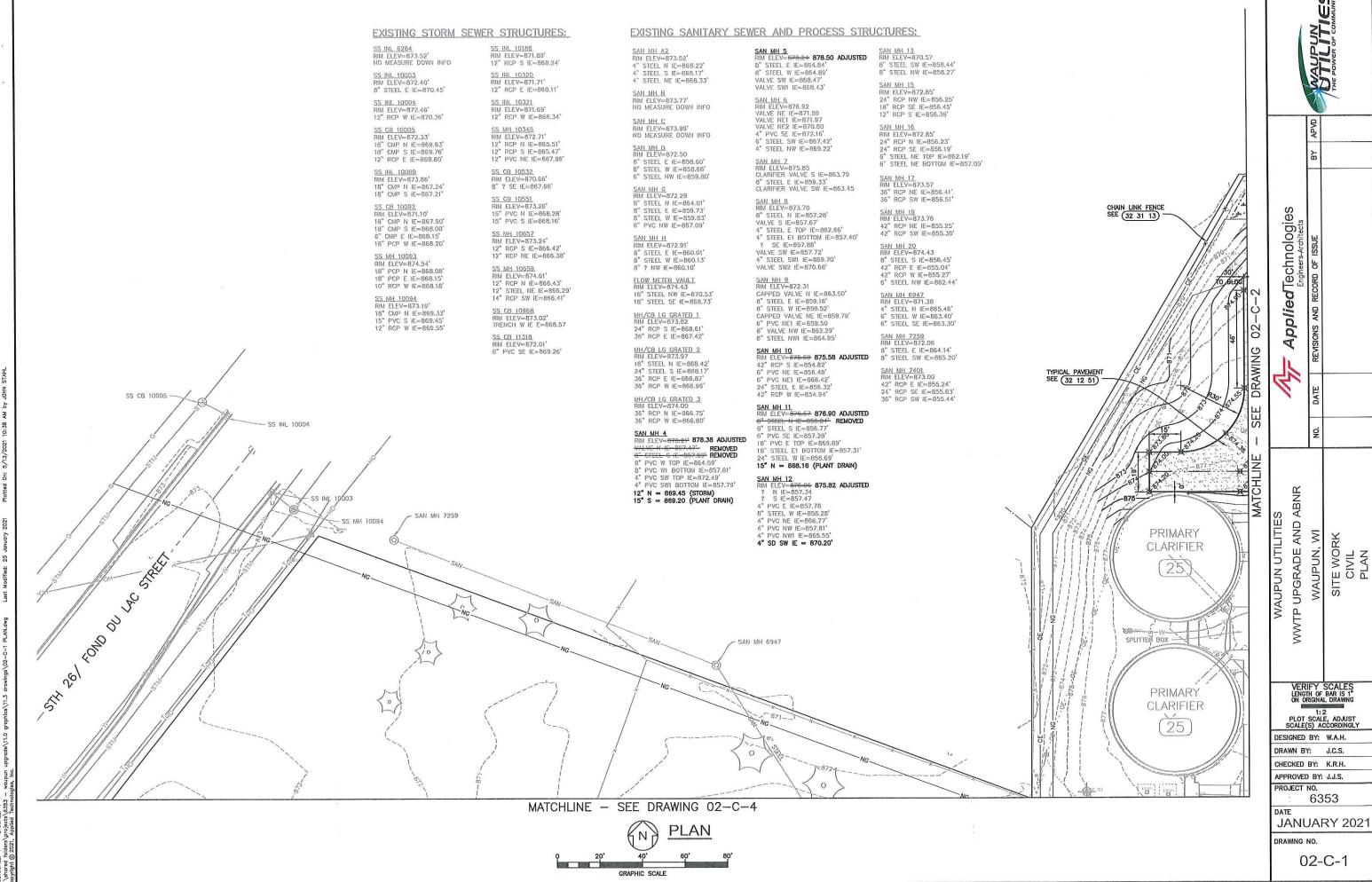
CHECKED BY: K.R.H. APPROVED BY: J.J.S.

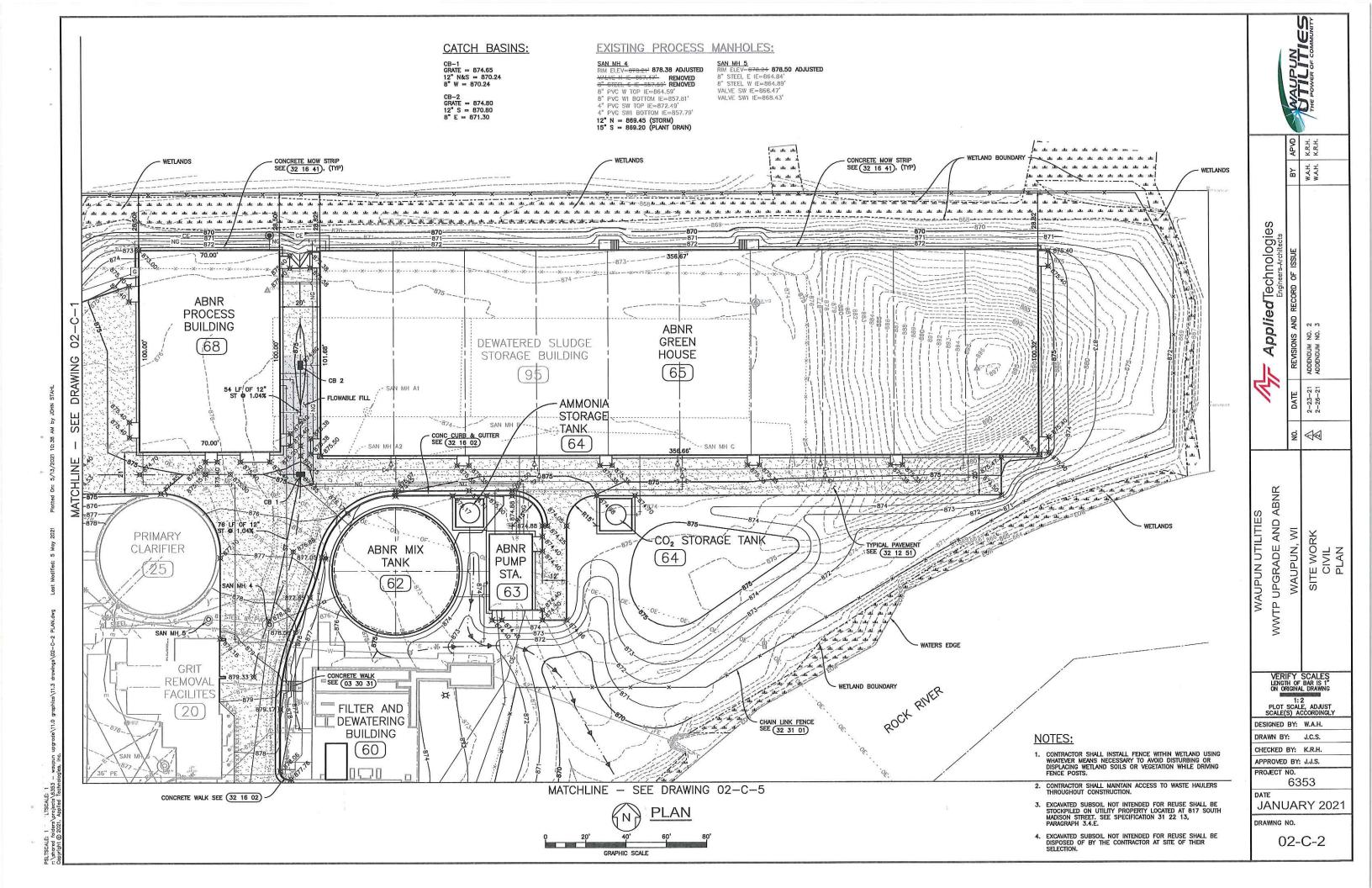
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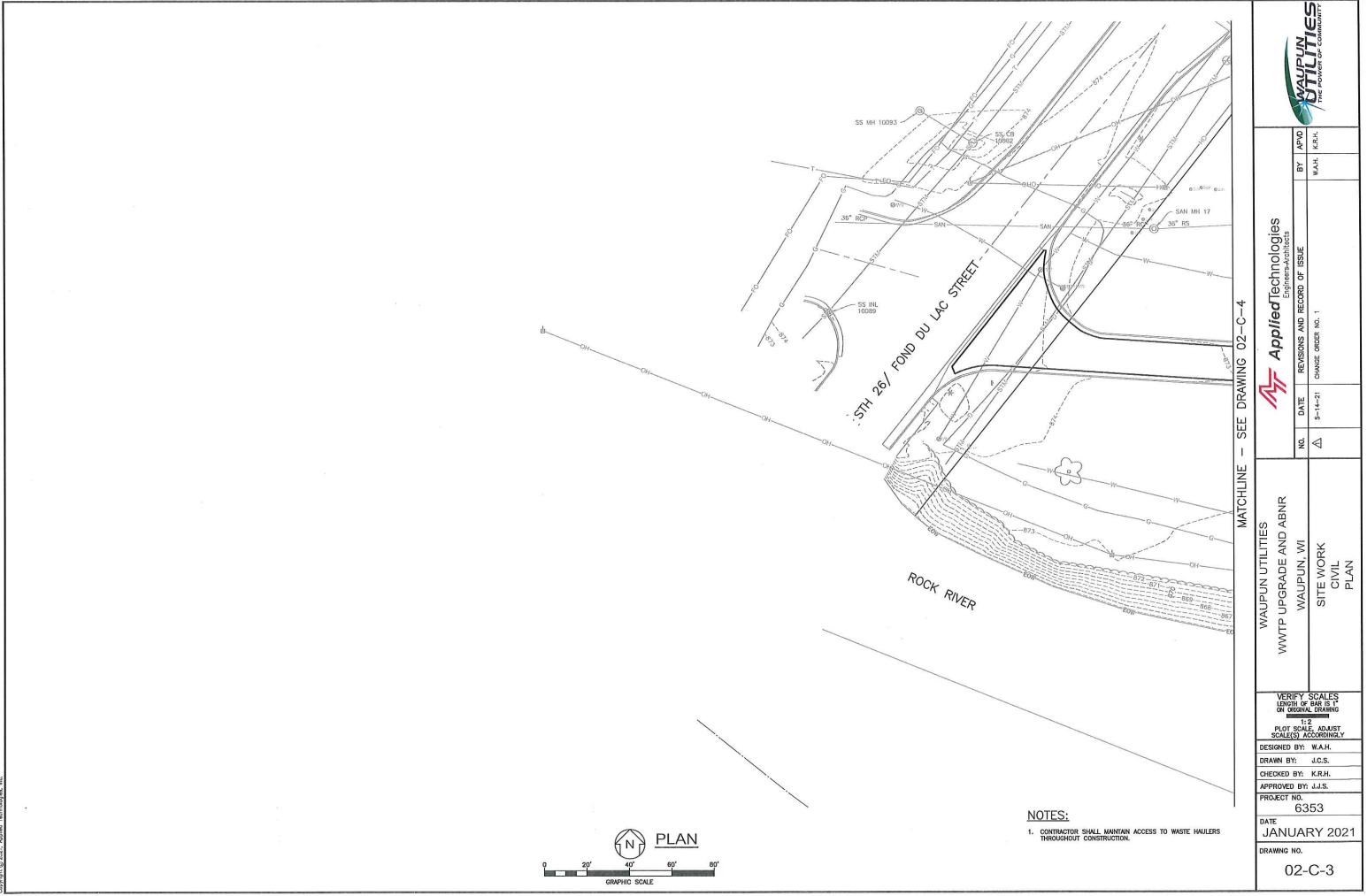
JANUARY 2021

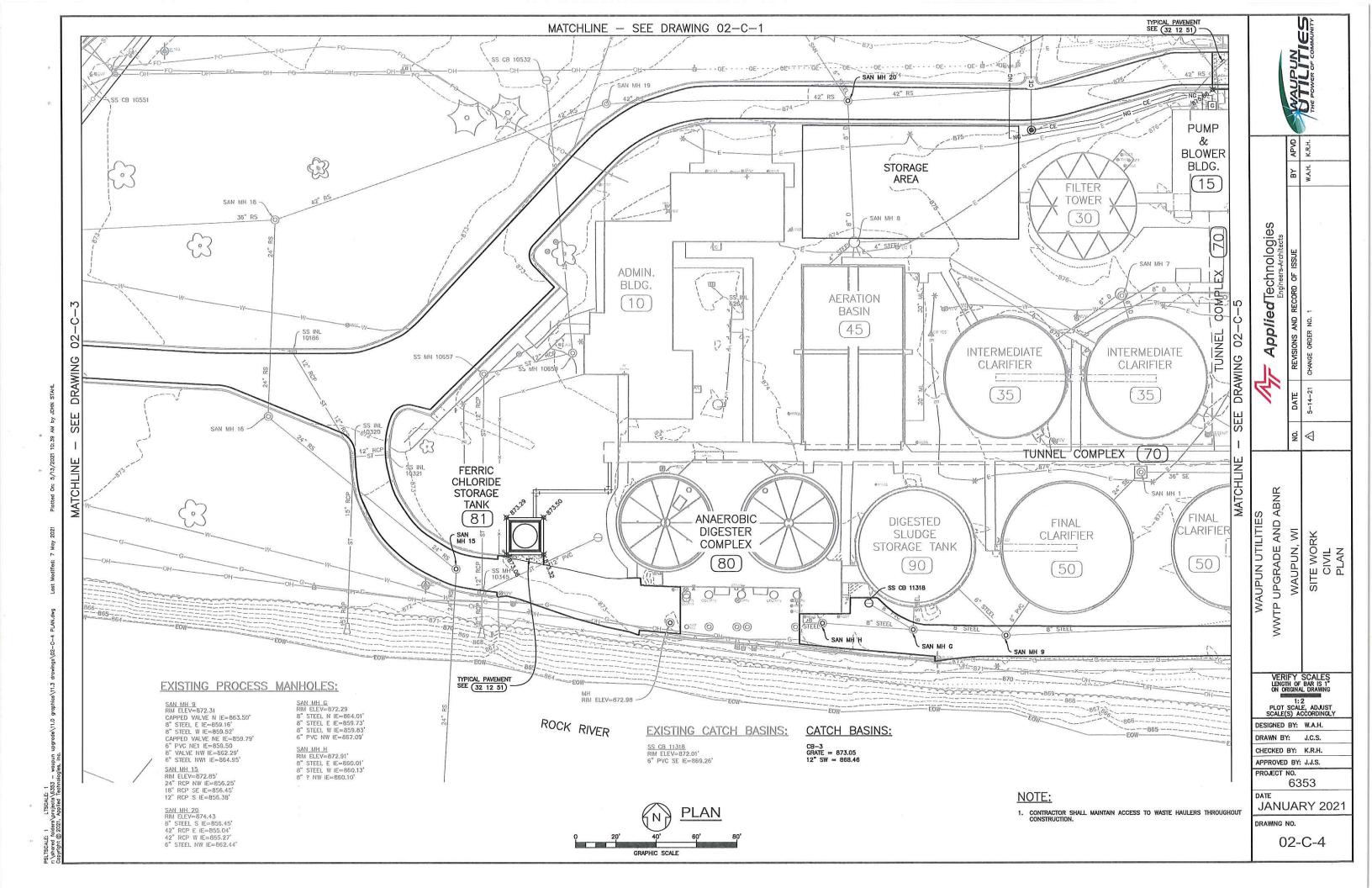
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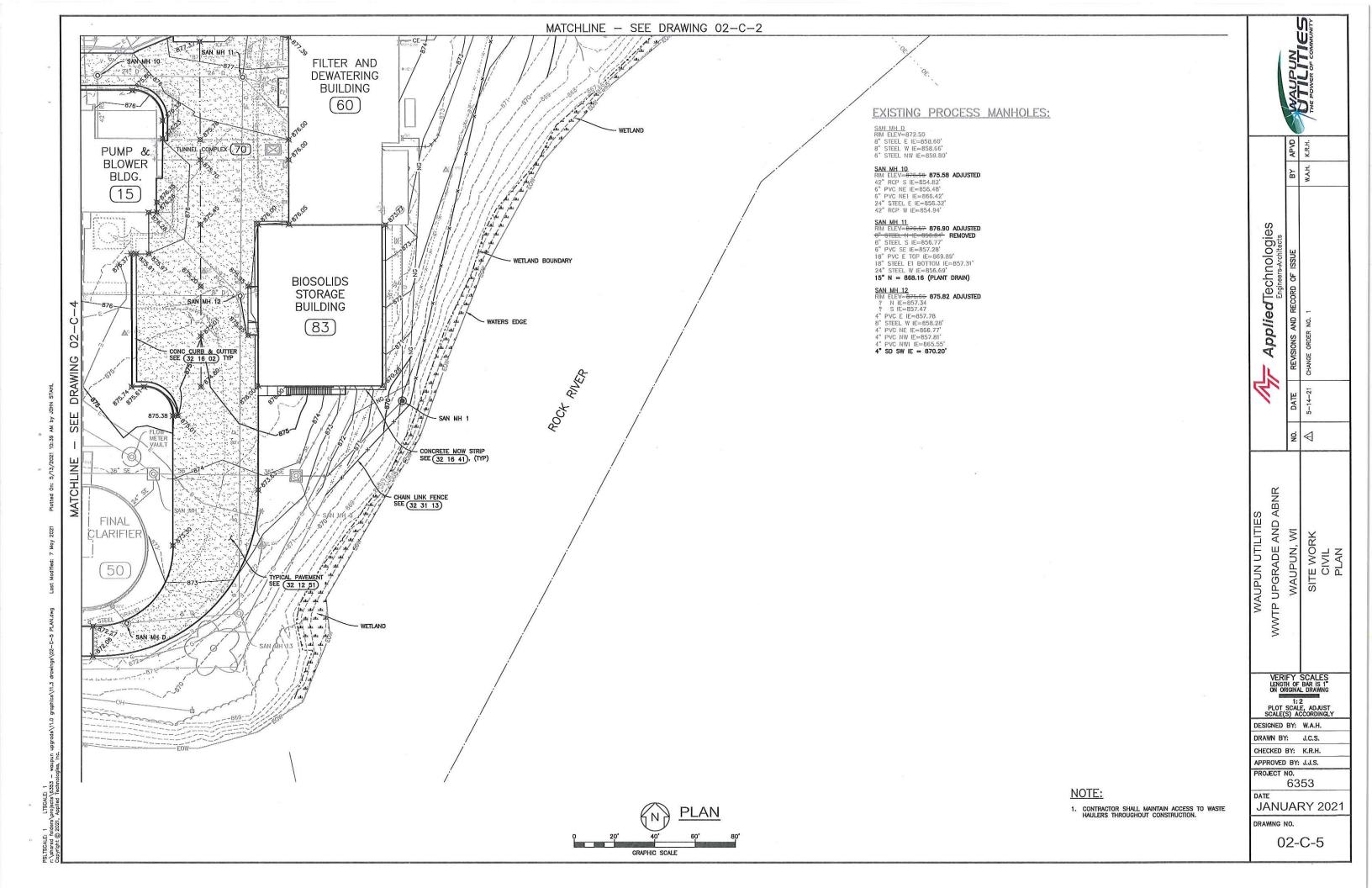
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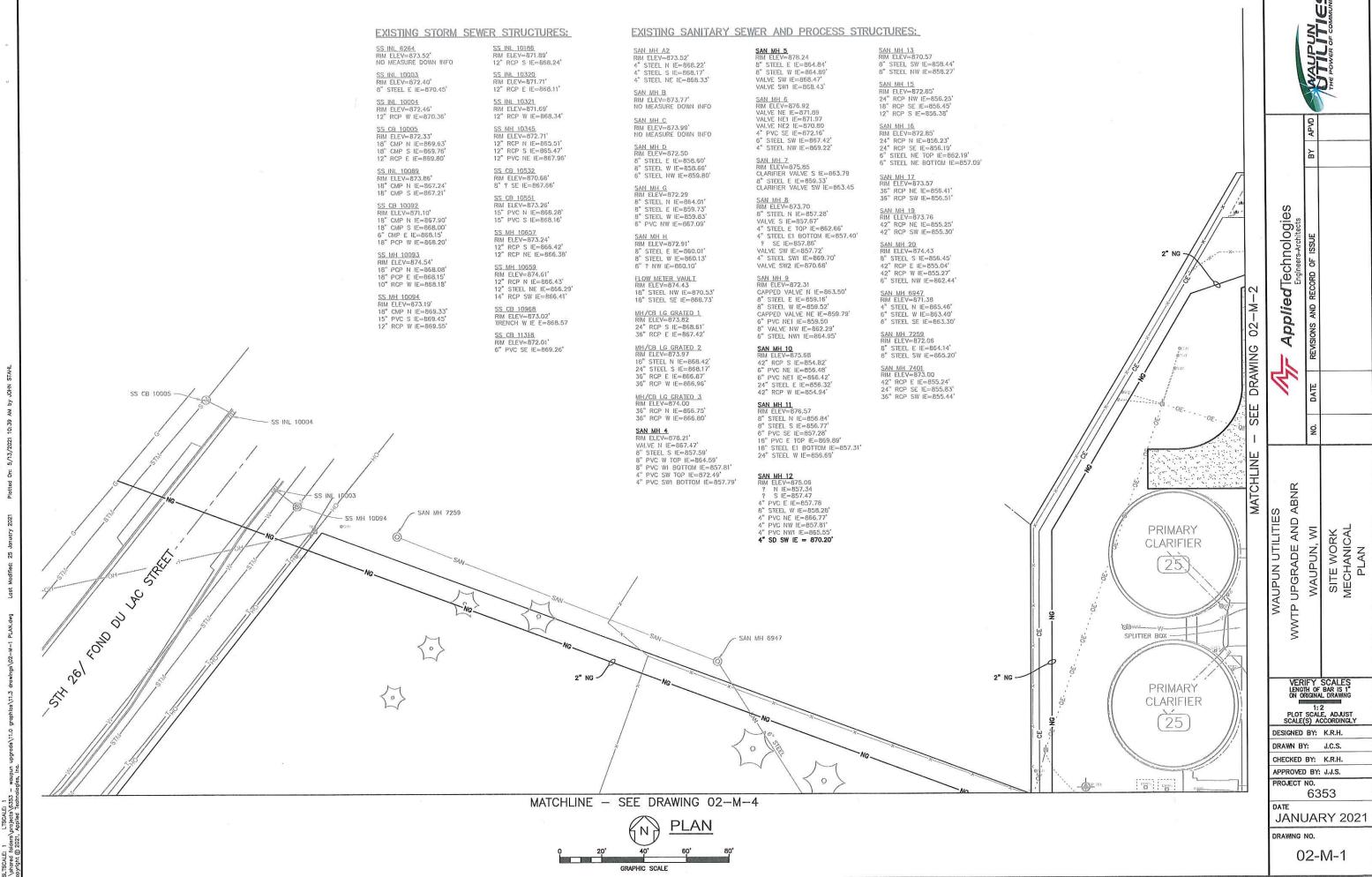


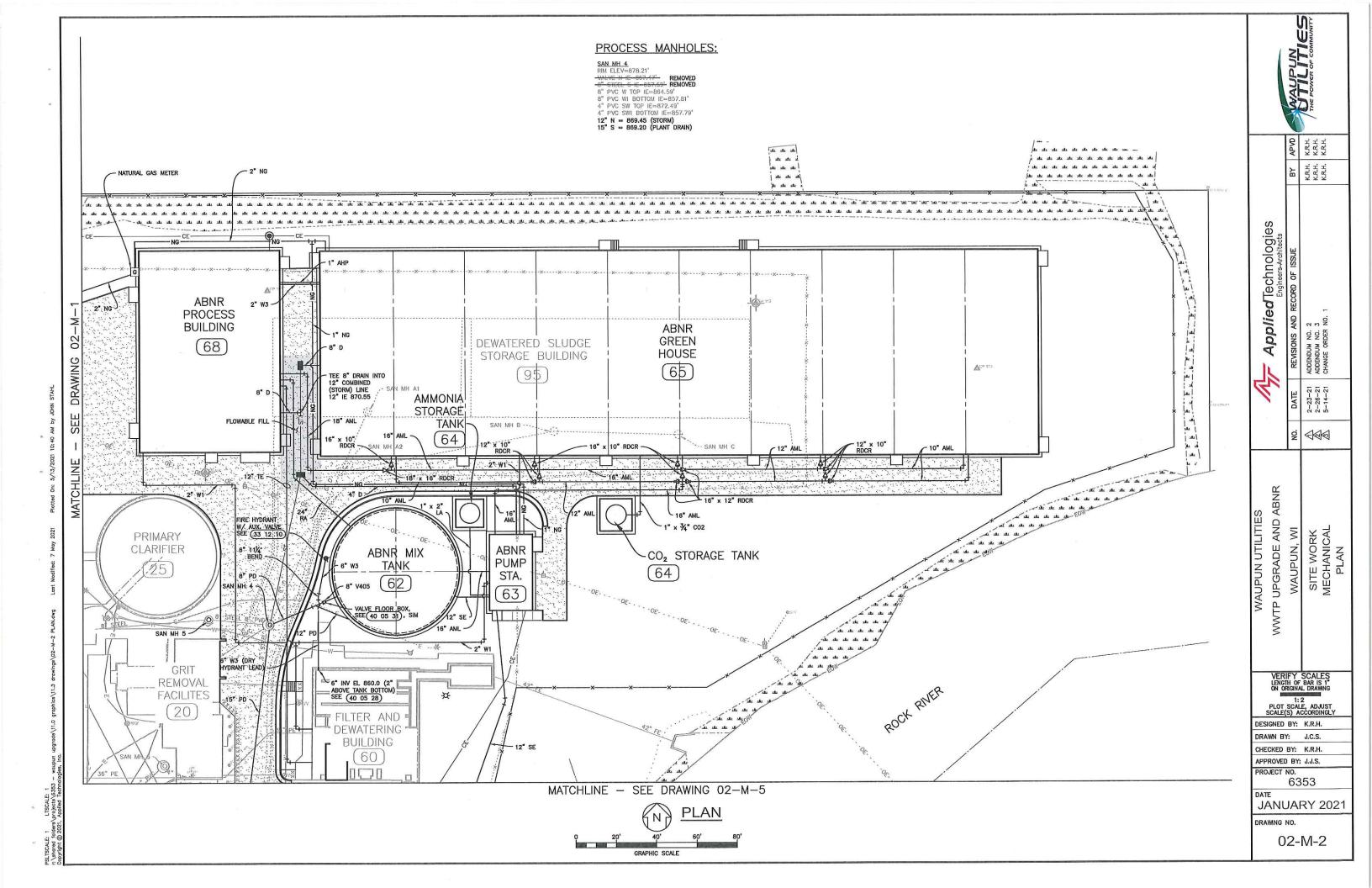


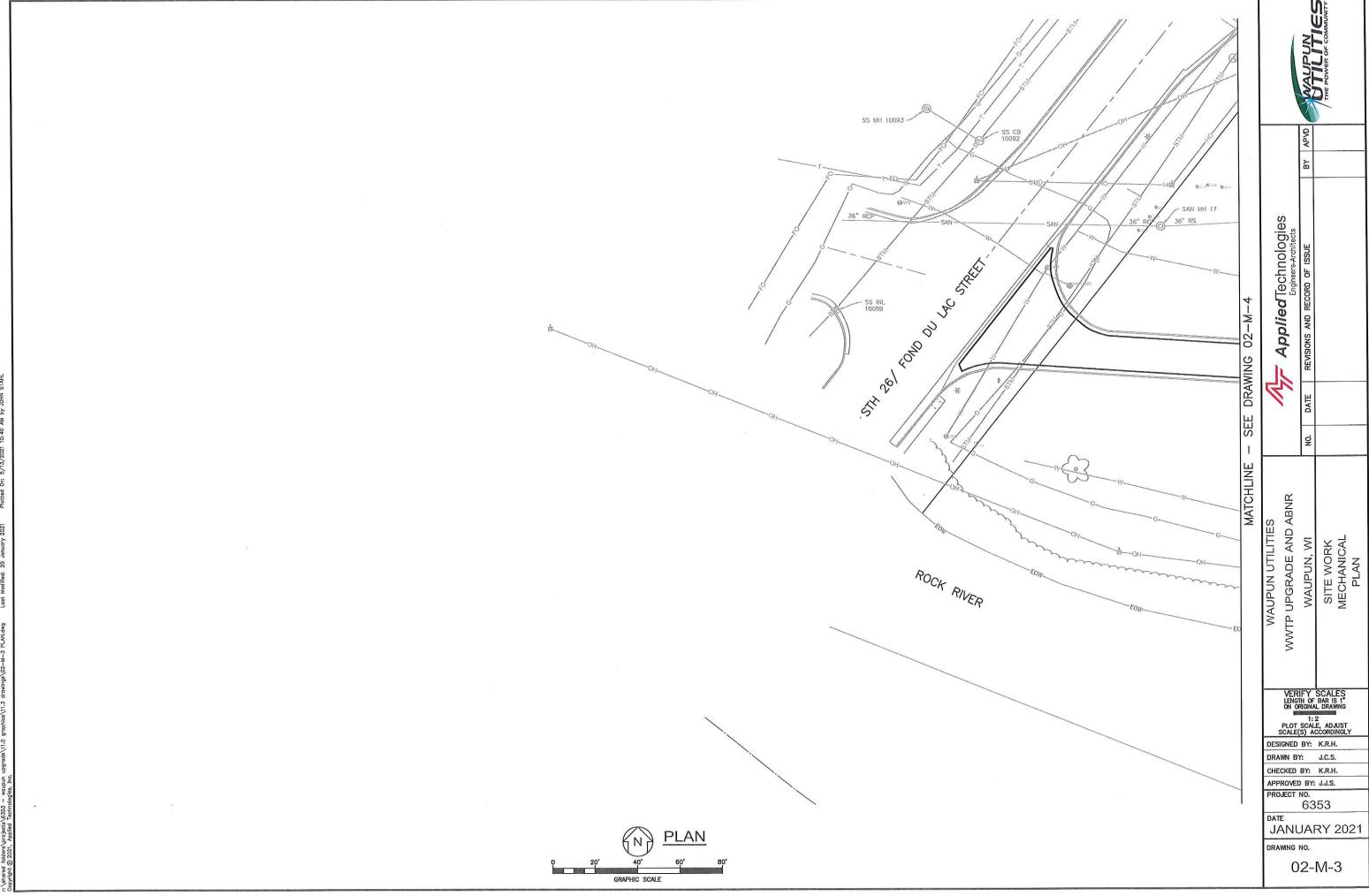


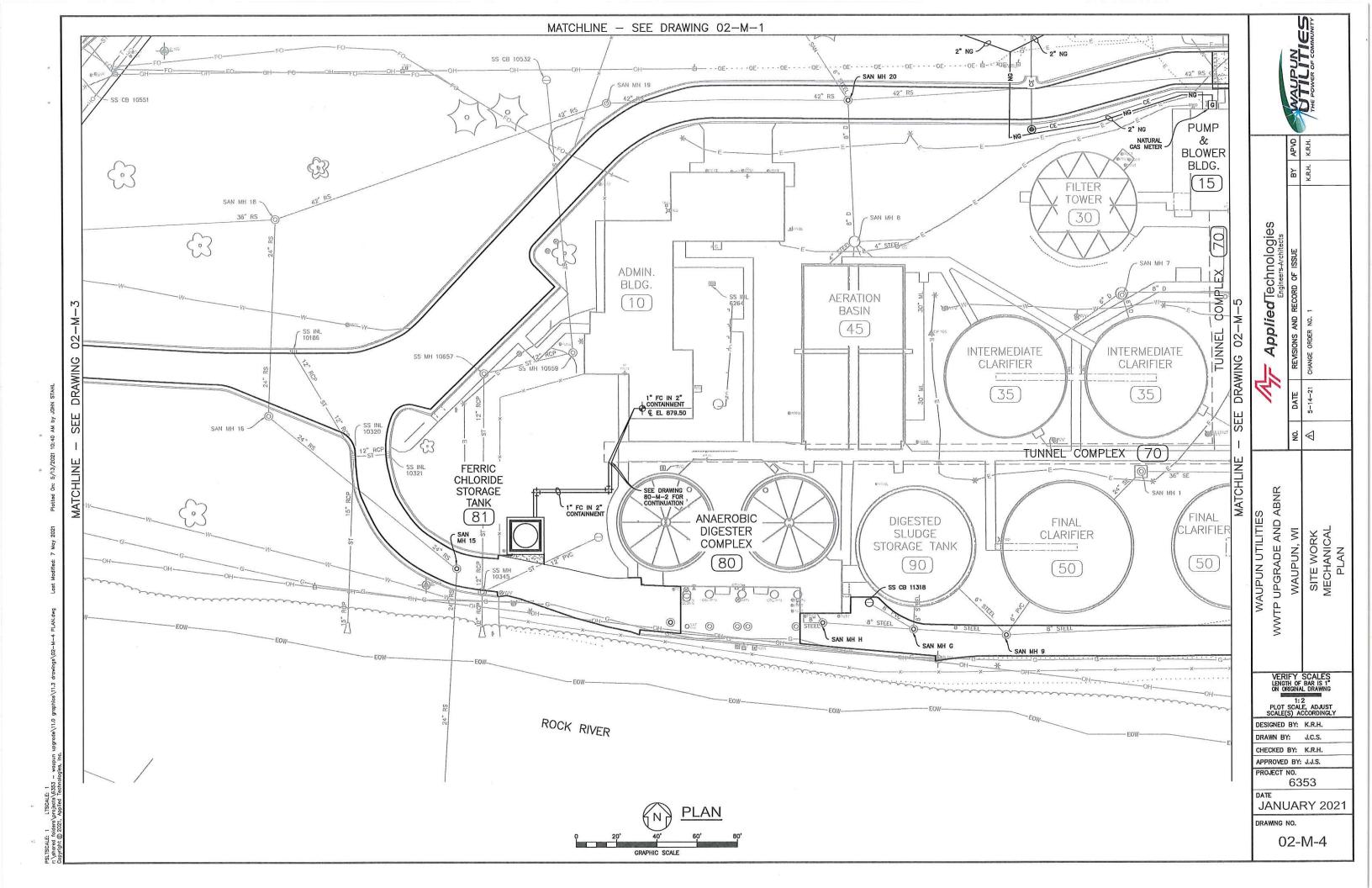


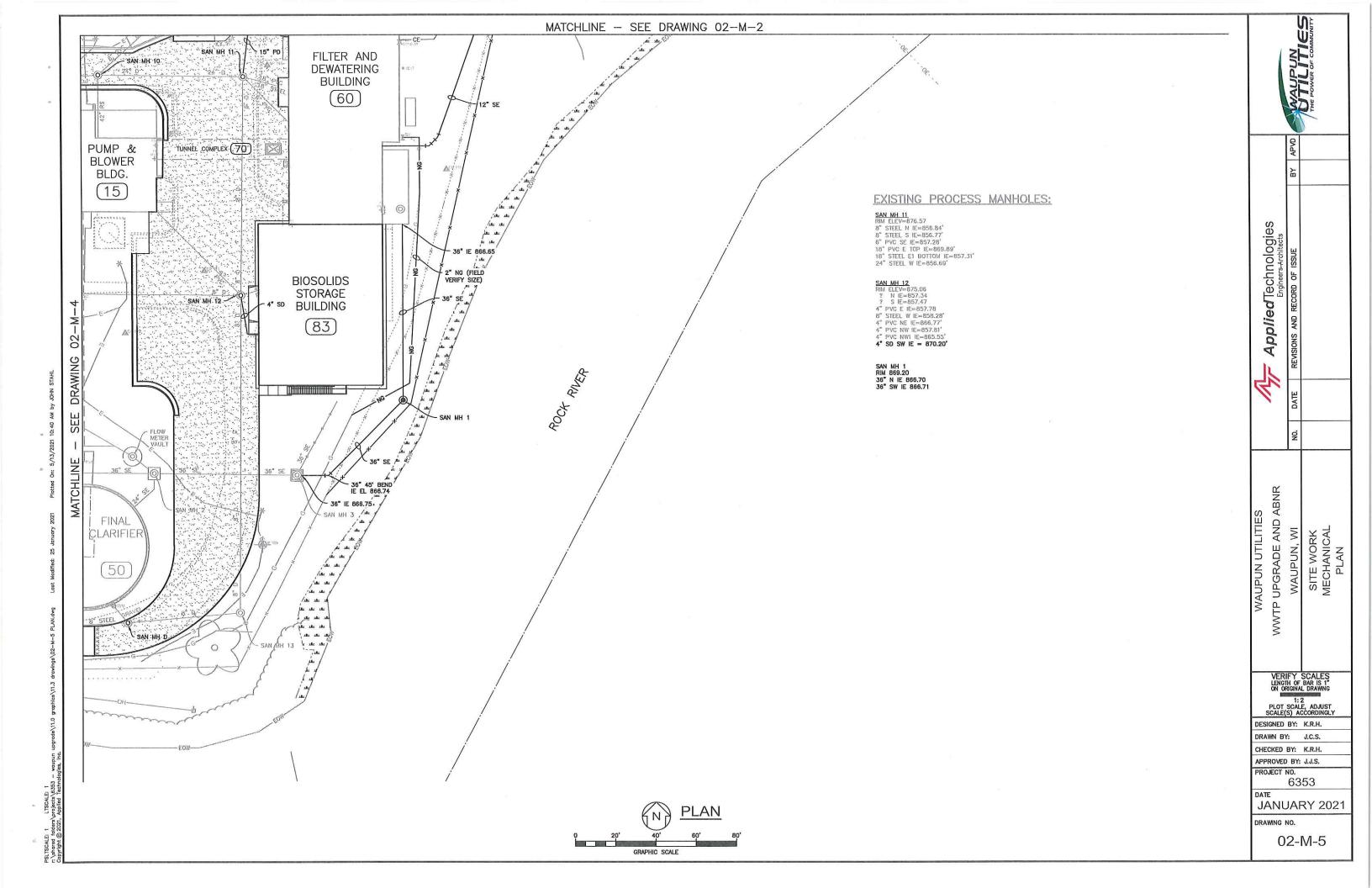


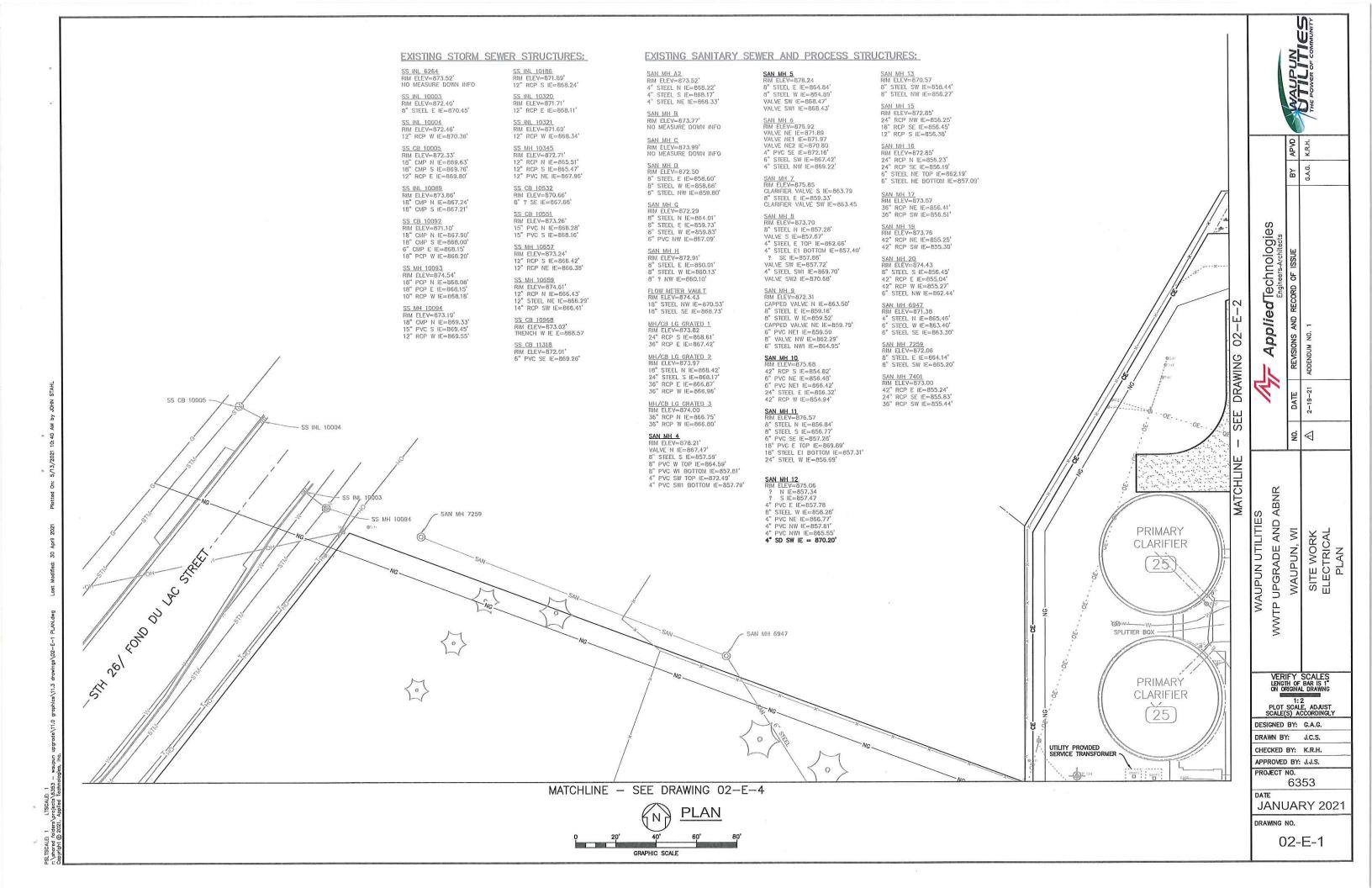


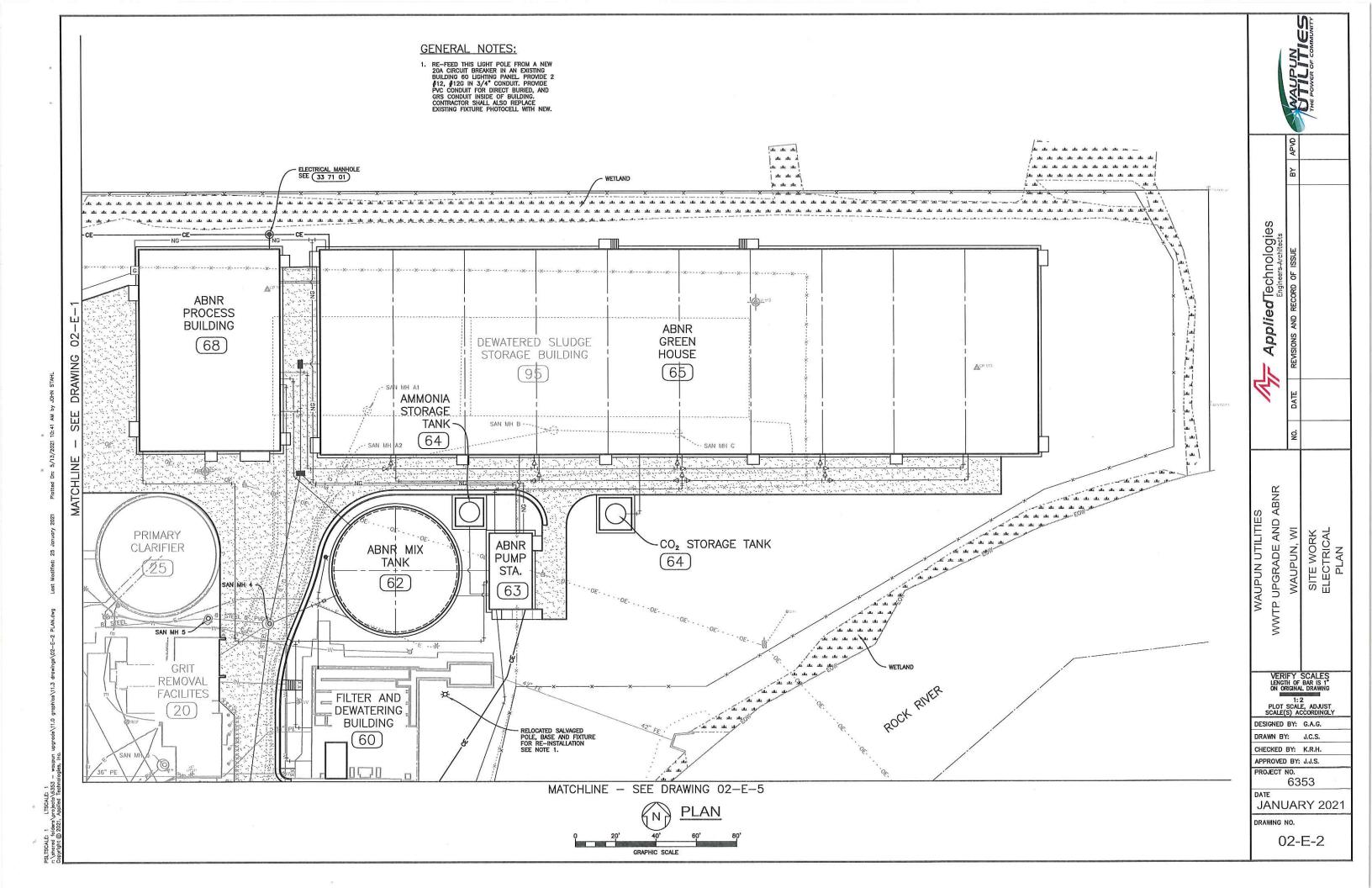


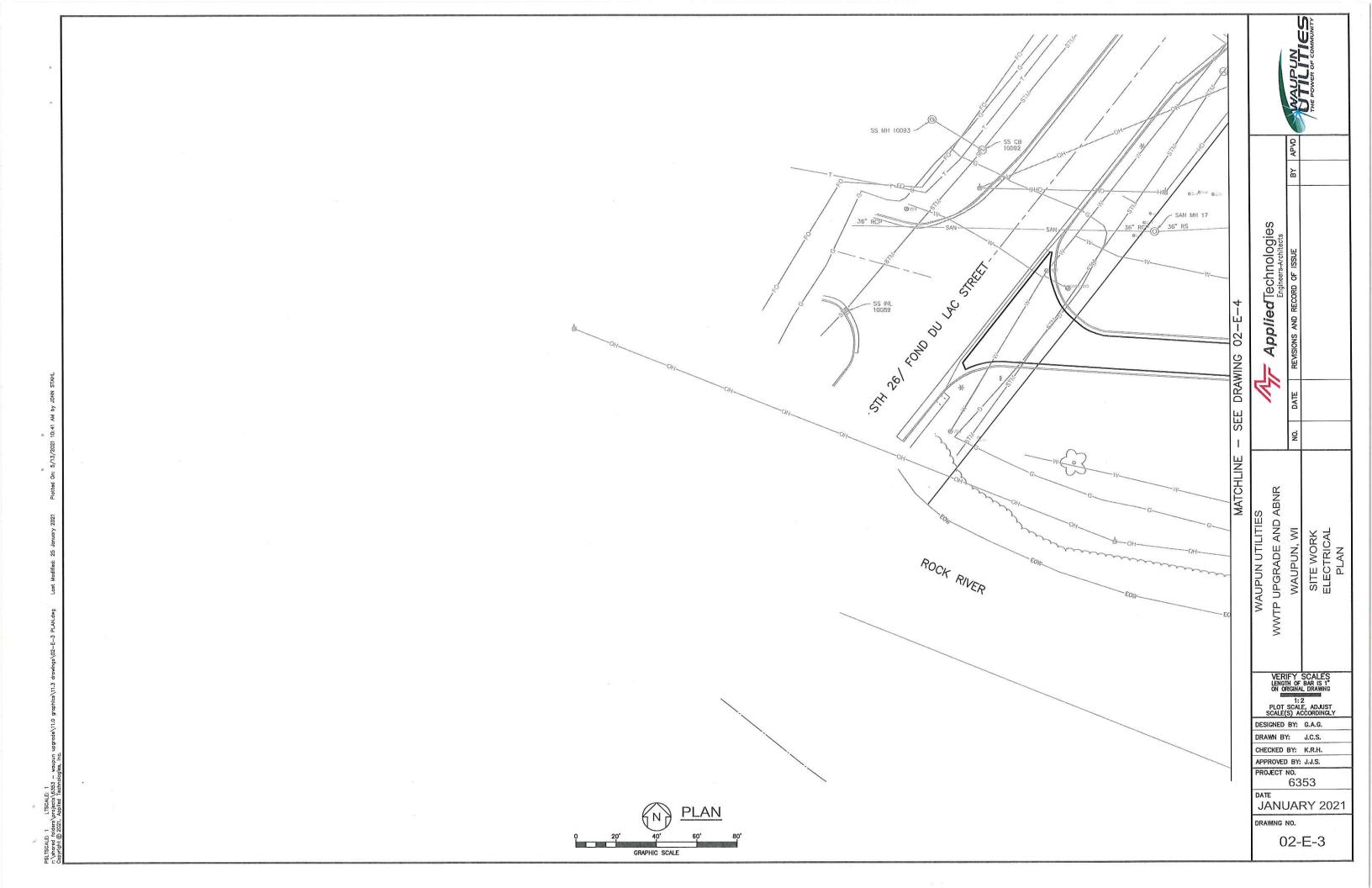


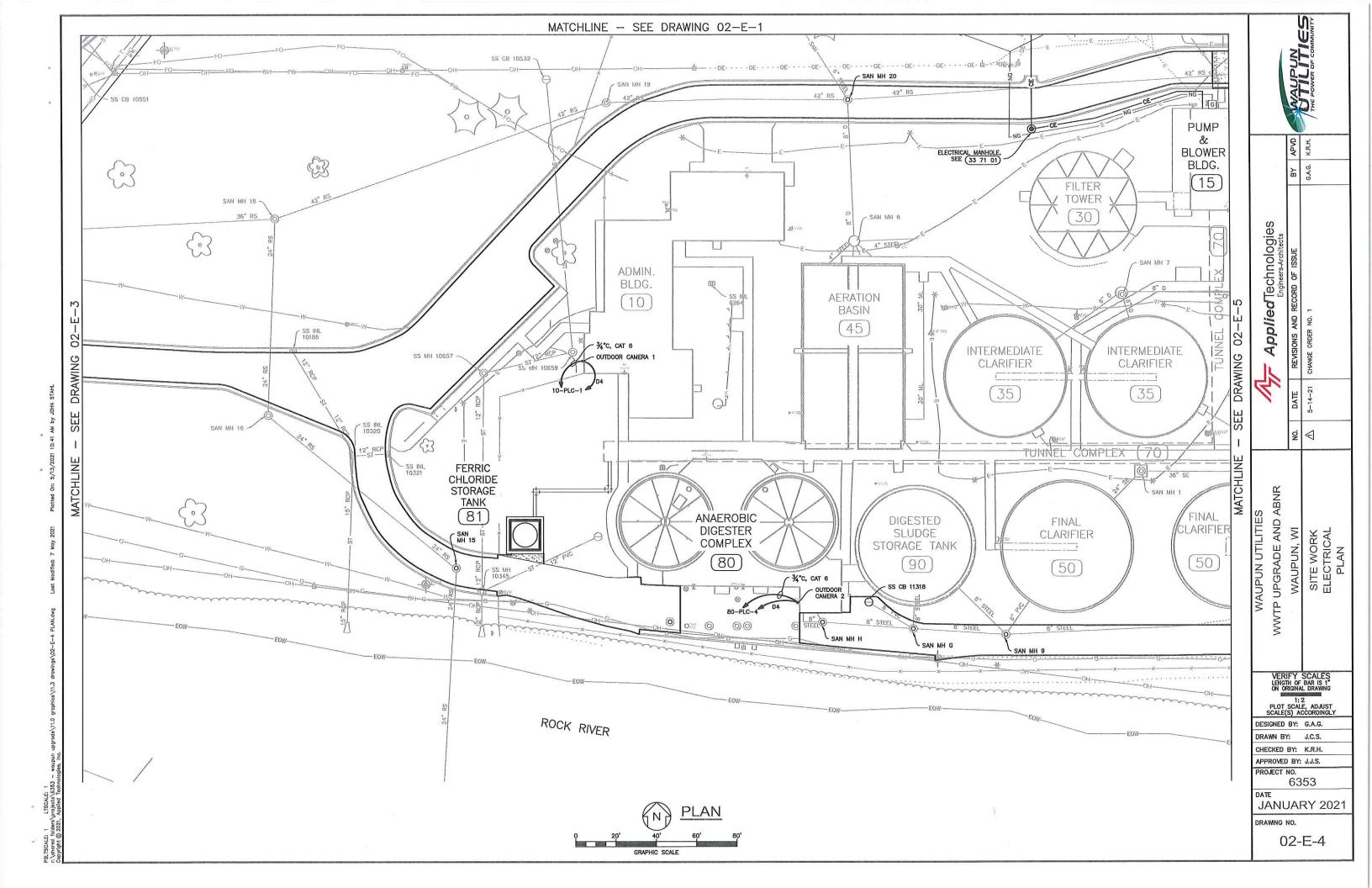


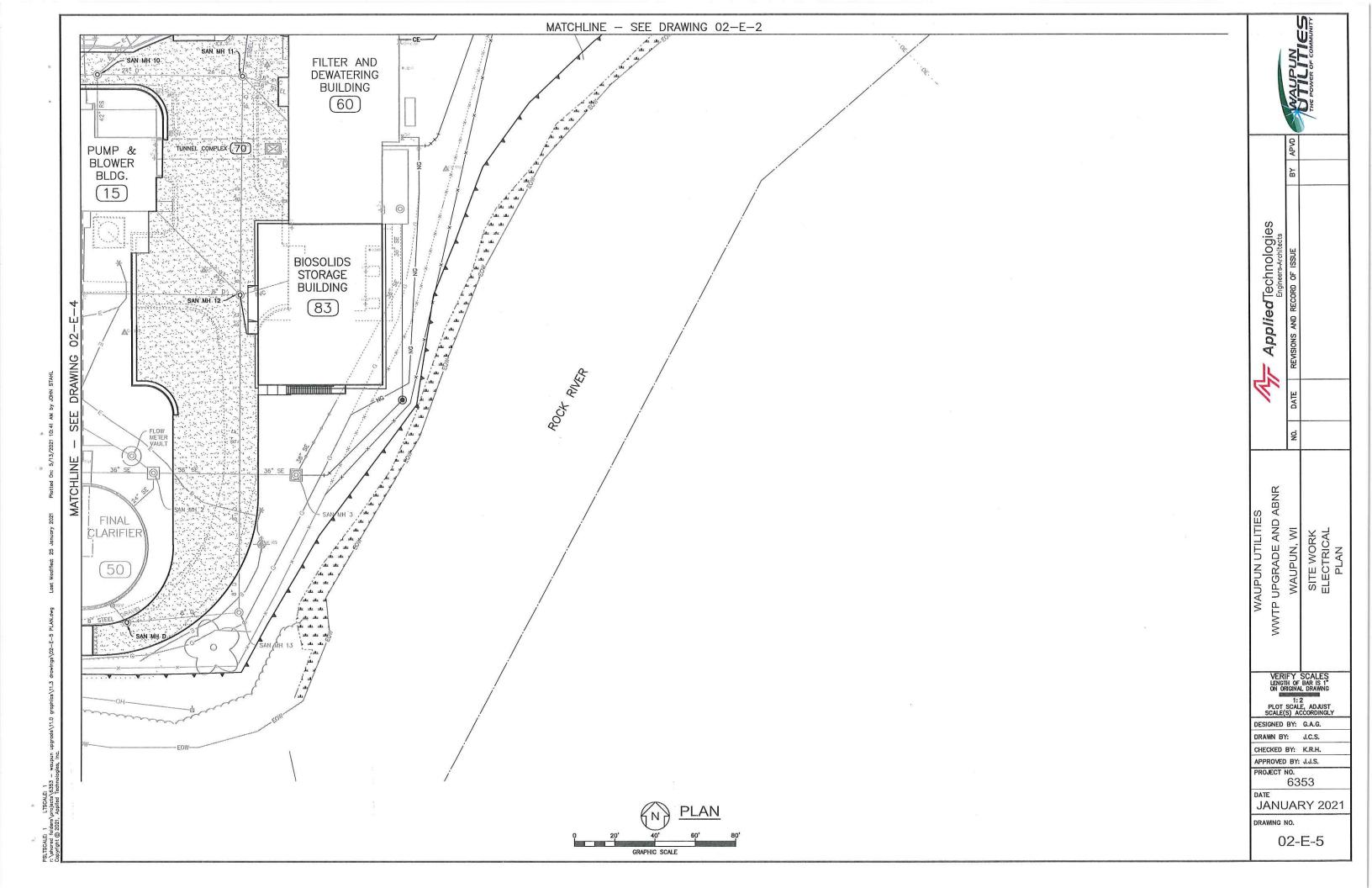












- 1. SILT FENCE TO COMPLY WITH WONR TECHNICAL STANDARD 1056.
- CRUSHED STONE TRACKING PAD SHALL BE INSTALLED IF MATERIAL IS TRACKED OFF THE PROJECT SITE. PAD TO COMPLY WITH WONR TECHNICAL STANDARD 1057.
- SOIL STOCKPILES AND ANY AREAS REMAINING INACTIVE FOR MORE THAN 14 DAYS SHALL BE STABILIZED IN ACCORDANCE WITH WONR TECHNICAL STANDARD 1059.
- ALL SLOPES EXCEEDING 4H:1V SHALL BE EROSION MATTED WITH CLASS I TYPE B, URBAN ECRM IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1052.
- PROVIDE CLASS I TYPE B ECRM FOR THE BOTTOM 8 FEET OF ALL DRAINAGEWAYS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1053.
- 6. DE-WATERING SHALL BE IN ACCORDANCE WITH WONR TECHNICAL STANDARD 1061.
- 7. ANY AREAS NOT PERMANENTLY STABLIZED BY OCTOBER 15TH/ REQUIRE THE APPLICATION OF WATER SOLUBLE ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050 AS A TEMPORARY BINDING AGENT TO REDUCE EROSION FOLLOWING THE PLACEMENT OF THE SEED AND MULCH.
- 8. INLET PROTECTION AS NOTED TO COMPLY WITH WONR TECHNICAL STANDARD 1060
- 9. DITCH CHECKS SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1062.
- 10. EXCEPT AS NOTED ALL DISTURBED AREAS SHALL BE COVERED WITH 4 INCHES OF TOPSOIL, SEEDED USING WDOT MIXTURE NO. 10 APPLIED AT A RATE OF 3 POUNDS PER THOUSAND SQUARE FEET, MULCHED AND COVERED WITH ECRM OR MULCH IMMEDIATELY FOLLOWING SEEDING IN ACCORDANCE WITH WIDNR TECHNICAL STANDARD 1059.

- CONSTRUCTION SEQUENCE
  A. INSTALL SILT FENCE AND TRACKING PAD
  B. CLEAR AND GRUB AS NECESSARY TO BEGIN WORK
  C. STRIP TOPSOIL NECESSARY TO CONSTRUCT THE PROPOSED FACILITIES.
  D. CONSTRUCTION OF BUILDINGS AND UNDERGROUND UILTIES.
  E. MILL PORTION OF PAYEMENT NECESSARY TO COMPLETE THE WORK.

SS CB 10005

F. PAVE ENTIRE SITE
G. FINAL CLEAN UP OF ALL SITE AREAS.

0)

20/2010

EXISTING STORM SEWER STRUCTURES:

RIM ELEV=872.40 8" STEEL E IE=870,45"

SS INL 10004 RIM ELEV=872.46 12" RCP W IE=870.36"

SS CB 10005 RIM ELEV=872.33' 18" CMP N IE=869.63' 18" CMP S IF=869.76

RIM ELEV=873.86 18" CMP N IE=867.24 18" CMP S IE=867.21"

RIM FI FV=871.10 18" CMP N IE=867.90' 18" CMP S IE=868.00' 6" CMP F IF=868.15' 18" PCP W IE=868.20"

SS MH 10093 RIM ELEV=874.54 18" PCP N IE=868.08' 18" PCP E IE=868.15' 10" RCP W IF=868 18"

SS MH 10094 RIM ELEV=873.19' 18" CMP N IE=869.33' 15" PVC S IF=869.45"

SAN MH 7259

SS MH 10094

1

SS INL 10004

SS INL 10186 RIM ELEV=871.89' 12" RCP S IE=868.24'

RIM ELEV=871.71 12" RCP E IE=868.11

SS INL 10321 RIM ELEV=871.69 12" RCP W IE=868.34'

SS MH 10345 RIM ELEV=872.71' 12" RCP N IE=865.51' 12" RCP S IF=865.47" 12" PVC NE IE=867.96"

RIM ELEV=870.66 8" ? SE IE=867.66'

SS CB 10551 RIM ELEV=873.26' 15" PVC N IF=868.28" 15" PVC S IE=868.16

SS\_MH\_10657 RIM\_ELEV=873.24 12" RCP S IF=866.42" 12" RCP NE IE=866,38"

RIM ELEV=874.61'
12" RCP N IE=866.43'
12" STEEL NE IE=866.29' 14" RCP SW IE=866.41"

SS CB 10968 RIM ELEV=873.02' TRENCH W IE E=868.57

RIM ELEV=872.01 6" PVC SE IE=869.26"

36" RCP E IE=867.42' MH/CB LG GRATED 2 RIM ELEV=873.97 18" STEEL N IE=868.42 24" STEEL S IE=868.17 36" RCP E IE=866,87

MH/CB\_LG\_GRATED\_1 RIM\_ELEV=873.82

24" RCP S IE=868.61

RIM ELEV=873.52' 4" STEEL N IE=868.22'

4" STEEL S IE=868.17

4" STEEL NE IE=868.33'

RIM ELEV=873.77' NO MEASURE DOWN INFO

RIM ELEV=873.99' NO MEASURE DOWN INFO

B" STEEL W IE=858.66 6" STEEL NW IE=859.80

8" STEEL N IE=864.01"

8" STEEL E IE=859.73'

6" PVC NW IE=867.09

RIM ELEV=872.91' 8" STEEL E IE=860.01'

8" STFFI W IF=860.13"

18" STEEL NW IE=870,53

18" STEEL SE IE=868.73"

8" ? NW IE=860.10"

SAN MH H

SAN MH D RIM FLEV=872.50

SAN MH G RIM ELEV=872.29

MH/CB LG GRATED 3 RIM ELEV=874.00 36" RCP N IE=866.75" 36" RCP W IE=866.80"

SAN MH 4 RIM ELEV=870.21 878.38 ADJUSTED VALVE N IE-867.47'- REMOVED 8" PVC W TOP IE=864.59" 8" PVC WI BOTTOM IE=857.81' 4" PVC SW TOP IE=872.49'

4" PVC SWI BOTTOM IE=857.79' 12" N = 869.45 (STORM) 15" S = 869.20 (PLANT DRAIN)

SAN MH 5 RIM ELEV=878.24 878.50 ADJUSTED 8" STEEL E IE=864.84"

8" STEEL W IE=864.89" VALVE SWI IE=868.43'

EXISTING SANITARY SEWER AND PROCESS STRUCTURES:

SAN MH 6 RIM ELEV=876.92 VALVE NE IE=871.89 VALVE NE1 IE=871.97 VALVE NE2 IE=870.80 4" PVC SE IE=872.16' 6" STEEL SW IE=867 42 4" STEEL NW IE=869.22'

SAN\_MH\_7 RIM\_ELEV=875.85 CLARIFIER\_VALVE\_S\_IE=863.79 8" STEEL E IE=859.33'
CLARIFIER VALVE SW IE=863.45

SAN MH 8 RIM ELEV=873.70 8" STEEL N IE=857.28' VALVE S IE=857.67' STEEL E TOP IE=862.66 4" STEEL E1 BOTTOM IE=857,40' ? SE IE=857.86' VALVE SW IE=857.72' 4" STEEL SWI IF=869.70 VALVE SW2 IE=870.68'

SAN MH 9 RIM ELEV=872.31 CAPPED VALVE N IE=863,50' 8" STEEL E IE=859.16" 8" STEEL W IE=859.52" CAPPED VALVE NE IE=859.79' 6" PVC NE1 IE=859.50 8" VALVE NW IE=862.29" 6" STEEL NWI IE=864 95"

SAN MH 10 RIM ELEV=875.68 875.58 ADJUSTED 42" RCP S IE=854.82' 6" PVC NE IE=856.48" 6" PVC NE1 IE=866.42' 24" STEEL E IE=856.32

42" RCP W IE=854.94" SAN MH 11 RIM ELEV=<del>976.57</del> 876.90 ADJUSTED 8" STEEL N IE=856.84" REMOVED 8" STEEL S IE=856.77"

6" PVC SE IE=857.28' 18" PVC E TOP IE=869.89' 18" STEEL E1 BOTTOM IE=857.31" 24" STEEL W IE=856.69'

15" N = 868.16 (PLANT DRAIN) SAN MH 12 RIM ELEV=875.06 875.82 ADJUSTED

O

? N IE=857.34 ? S IE=857.47 4" PVC E IE=857.78 8" STEEL W IE=858.28 4" PVC NW IE=857.81"

4" SD SW IE = 870.20'

SAN MH 6947

0

SAN MH 13 RIM ELEV=870.57 8" STEEL SW IE=858,44

SAN MH 15 RIM ELEV=872.85' 24" RCP NW IE=856.25' 18" RCP SE IE=856.45' 12" RCP S IE=856.38'

8" STEEL NW IE=858,27

SAN MH 16 RIM ELEV=872.85 24" RCP N IE=856.23' 24" RCP SE IE=856.19' 6" STEEL NE TOP IE=862.19'

SAN MH 17 RIM ELEV=873.57 36" RCP NE IE=856.41' 36" RCP SW IE=856.51'

SAN MH 19 RIM ELEV=873,76 42" RCP NE IE=855.25" 42" RCP SW IE=855.30"

SAN MH 20 RIM ELEV=874.43 8" STEEL S IE=856.45' 42" RCP E IE=855.04' 42" RCP W IE=855.27 6" STEEL NW IE=862.44"

4" STEEL N IE=865.46 6" STEEL W IE=863.40' 6" STEEL SE IE=863.30

SAN MH 7259 RIM ELEV=872.06 8" STEEL E IE=864.14' 8" STEEL SW IE=865.20'

42" RCP E IE=855.24' 24" RCP SE IE=855.83' 36" RCP SW IE=855.44'

875

SILT FENCE

AND ≷ UPGRADE WAUPUN,

Applied Technologies

DRAWING

PRIMARY

CLARIFIER

PRIMARY CLARIFIER

25

CER-WILL SPLITTER BOX -

SITE WORK EROSION CONTROL PLAN WWTP

VERIFY SCALES LENGTH OF BAR IS 1' ON ORIGINAL DRAWNO 1:2 PLOT SCALE, ADJUST SCALE(S) ACCORDINGL

DESIGNED BY: W.A.H. DRAWN BY: J.C.S.

CHECKED BY: K.R.H. APPROVED BY: J.J.S.

PROJECT NO. 6353

**JANUARY 2021** DRAWNG NO.

DATE

02-EC-1

**PLAN** N GRAPHIC SCALE

MATCHLINE - SEE DRAWING 02-EC-4

