



A G E N D A
CITY OF WAUPUN PLAN COMMISSION
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, March 20, 2019 at 4:45 PM

CALL TO ORDER

ROLL CALL

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

1. Approve minutes of the February 20, 2019 meeting.
2. Conditional Use Permit - Central Wisconsin Christian Schools at 301 Fox Lake Rd. to allow an addition onto an existing school. Municipal Code Section 16.03(4)(d)(i) requires a Conditional Use Permit for public and parochial schools.
3. Discuss / Approve Site Plan for Central Wisconsin Christian Schools at 301 Fox Lake Rd.
4. Discuss / Approve site plan for Summit Credit Union on Shaler Dr.

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.

City of Waupun
Plan Commission Meeting 2/20/19 – Minutes (DRAFT)
4:45 p.m.

CALL TO ORDER at 4:45 pm by Chairman Nickel

ROLL CALL

Present: Elton TerBeest, Julie Nickel, Mike Matoushek, Jeff Daane, and Derek Drews

Absent: Lueck (excused), Medema (excused)

Also in attendance were Jim Hartung, Fire Chief BJ DeMaa, Zoning Administrator Rob Froh, City Administrator Kathy Schlieve, and Economic Development Coordinator Sarah VanBuren.

No persons in attendance wishing to address the Plan Commission.

ACTION

1. Motion Matoushek, second Drews to approve minutes from the December 12, 2018 meeting. Carried 5-0.
2. Discuss / Approve Site Plan for Summit Credit Union – cancelled due to the weather.
3. Discuss / Approve Preliminary Plat of Spirit Fields.
 - a. Kathy explained the PCD and Plat. Jim Hartung explained what will be built there and for what market/demographic. He is building for seniors.
 - b. Motion/Second: Motion Nickel, second Matoushek to approve the Preliminary Plat for Spirit Fields. Roll Call: TerBeest – Y, Nickel – Y, Matoushek – Y, Daane – Y, Drews – Y. (carried 5-0).

ADJOURNMENT

1. Motion Matoushek, second Daane to adjourn. Carried 5-0
2. Meeting adjourned 5:00 p.m.

Minutes prepared by Julie Nickel



CITY OF WAUPUN BUILDING INSPECTOR
Waupun City Hall – 201 E. Main Street, Waupun WI
P: 920-324-7917 * F: 920-324-7939
www.cityofwaupun.org

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be held in the Council chambers in the City Hall of the City of Waupun on Wednesday the 20th day of March, 2019 at 4:45 O'clock in the P.M., there will be considered the application for a Conditional Use Permit of:

1. Central Wisconsin Christian School at 301 Fox Lake Rd. to allow an addition onto an existing school. Municipal Code Section 16.03(4)(d)(i) requires a Conditional Use Permit for public and parochial schools.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed Conditional Use in support thereof or in opposition thereto, must appear at the said meeting of the Plan Commission of the City of Waupun.

Dated this 6th day of March, 2019

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH March 13, 2019)

Fee: \$150.00

Paid:

✓ #072992

Date:

2-26-19



CITY OF WAUPUN

201 E. Main Street

WAUPUN, WISCONSIN 53963

Conditional Use Permit Application

From: Central Wisconsin Christian School

(business name or individual)

Property Description and address:

301 Fox Lake Road

Conditional Use Requested:

The property is zoned R1 and a school is a conditional use in a R1 District.

The City determined that the proposed expansion requires a new Conditional Use Permit.

Zoning Ordinance Section Involved:

Sec.16.03 (1)(d)(i) of the City of Waupun Code of Ordinances

Date Presented to Plan Commission:

3-20-19

CONDITIONAL USE:

☐ Granted

☐ Denied

Comments:

Signature of Applicant (s)

Mar Bader

PROPOSED MASTER PLAN FOR: CENTRAL WISCONSIN CHRISTIAN SCHOOL WAUPUN, WISCONSIN

LEGEND

• 1000.00	PROPOSED SPOT ELEVATIONS (FLOW LINE OF CURB UNLESS OTHERWISE SPECIFIED)		EXISTING CONFERTOUS TREE
• 1000.00 EG	EXISTING GRADE SPOT ELEVATIONS		EXISTING SHRUB
	EXISTING SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB) (TOP OF WALK, BOTTOM OF WALK)		EXISTING STUMP
	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB) (TOP OF WALK, BOTTOM OF WALK)		SOIL BORING
	PROPOSED SPOT ELEVATIONS (TOP OF CURB, BOTTOM OF CURB) (TOP OF WALK, BOTTOM OF WALK)		PROPOSED WELL
	EXISTING WATER VALVE IN BOX		EXISTING LIGHT POLE
	PROPOSED WATER VALVE IN MANHOLE		EXISTING SIGN
	EXISTING WATER SERVICE VALVE		CENTER LINE
	EXISTING TELEPHONE MANHOLE		EXISTING HAND/CAP PARKING STALL
	EXISTING ROUND CATCH BASIN		EXISTING GAS VALVE
	PROPOSED ROUND CATCH BASIN		EXISTING WOODED AREA
	EXISTING SQUARE CATCH BASIN		EXISTING HEDGE
	EXISTING CURB INLET		EXISTING WOOD FENCE
	PROPOSED CURB INLET		EXISTING BARBED WIRE FENCE
	EXISTING UTILITY POLE		PROPERTY LINE
	EXISTING UTILITY POLE WITH GUY WIRE		EXISTING GUARD RAIL
	EXISTING STREET LIGHT		EXISTING STORM SEWER AND MANHOLE
	EXISTING TELEPHONE PEDESTAL		PROPOSED STORM SEWER AND MANHOLE
	EXISTING ELECTRIC PEDESTAL		PROPOSED SANITARY SEWER AND MANHOLE
	EXISTING ELECTRIC BOX		PROPOSED WATER LINE AND HYDRANT
	EXISTING CABLE TV PEDESTAL		PROPOSED WATER LINE AND HYDRANT
	PROPOSED OVERHEAD UTILITY LINE		EXISTING UNDERGROUND FIBER OPTIC LINE
	1-1/4" REBAR SET WEIGHING 4.30 LB/FT.		EXISTING UNDERGROUND ELECTRIC CABLE
	3/4" REBAR SET WEIGHING 1.50 LB/FT.		EXISTING UNDERGROUND TELEPHONE CABLE
	1-1/4" REBAR FOUND		EXISTING UNDERGROUND GAS LINE
	3/4" REBAR FOUND		PROPOSED CURB AND GUTTER
	2" IRON PIPE FOUND		EXISTING CURB AND GUTTER
	1" IRON PPE FOUND		GRADING/SEEDING UNITS
	EXISTING FLOOD LIGHT		RIGHT-OF-WAY LINE
	SECTION CORNER		PROPERTY LINE
	PROPOSED APRON EXDWNL		RAILROAD TRACKS
	EXISTING MARSH AREA		EXISTING GROUND CONTOUR
	EXISTING DECIDUOUS TREE WITH TRUNK DIAMETER		PROPOSED GROUND CONTOUR

CIVIL SHEET INDEX

SHEET	SHEET TITLE
C1.0	CIVIL COVER AND SPECIFICATION SHEET
C1.1	EXISTING SITE AND DEMOLITION PLAN
C1.2	SITE PLAN
C1.3	GRADING AND EROSION CONTROL PLAN
C1.4	UTILITY PLAN
C1.5	LANDSCAPE PLAN

CONSTRUCTION STAKING SERVICES

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILKINSON AT 920-926-9800 TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESISTANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

- ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS FROM WDOT OR CITY.
- CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF STORMWATER POND FOLLOWING COMPLETION OF THE POND.

PLAN SPECIFICATIONS

- DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPROVES FOR WINDS, SPRAYON TACKERS, CHALKBOARDS, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1059.
- THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
- CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO FLOW INTO STORM DRAINS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
- TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE NEARBY TO FERTILIZER OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 1 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1059 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPE AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION SHALL BE REPAIRED AND THE STABILIZATION WORK REPEATED.
- IF SITE DEMATERIALS IS REQUIRED TO REMOVE SEDIMENT FROM CONSTRUCTION SITE STORMWATER PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE, FOLLOW PROCEDURES FOUND IN TECHNICAL STANDARD 1059.

- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY, INCLUDING BUT NOT LIMITED TO: A. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN DEMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL PLAN AND STORMWATER DRAINAGE REPORT. THE CONTRACTOR SHALL PROVIDE THE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 5 YEARS FROM THE DATE OF TERMINATION COVERAGE UNDER WPDOS GENERAL PERMIT.
- ALL POST CONSTRUCTION STORMWATER DRAINAGE AND STRUCTURE MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL STABILIZATION.

DIVISION 32 EXTERIOR IMPROVEMENTS

- 12 10 00 AGGREGATE BASE & ASPHALT PAVEMENT
- A CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 303 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 400 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 400 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 400 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 400 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

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- POWER FLOATING AND TROWELLING.
- LIMIT MAXIMUM WATER/CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 14.5.
- TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.
- CONTRACTOR TO PROVIDE 1/2" WIDE YELLOW VERVEY W/ ORANGE PAINTED STRIP FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

- 32 30 00 LANDSCAPING AND SITE STABILIZATION
- A TOPSOIL, CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. PROVIDE SOL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL, AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATTRACTIVE AND NOXIOUS EXCEL ENGINEERING, INC. PRESENT PRIOR TO BEING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 6.5, CONTAIN A MINIMUM OF 1% FREEZE ORGANIC MATERIAL, CONTENT, AND SHALL BE FREE OF STONES 1/4" OR LARGER IN DIAMETER. ALL MATERIALS MUST BE PLANT GROWTH SHALL ALSO BE REMOVED.
- TOPSOIL INSTALLATION. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES AND REMOVE STONES LARGER THAN 1 INCH IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSAL OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SURFACE IS FROZEN, HARD, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANT WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 0.6 FEET OF FINISHED GRADE ELEVATION.

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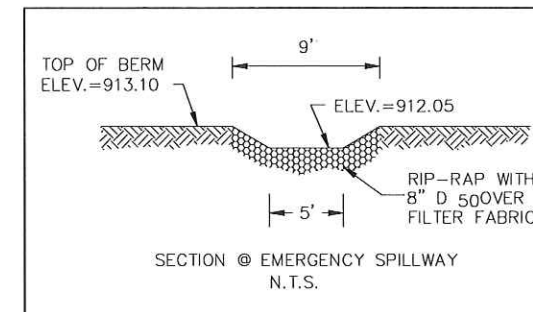
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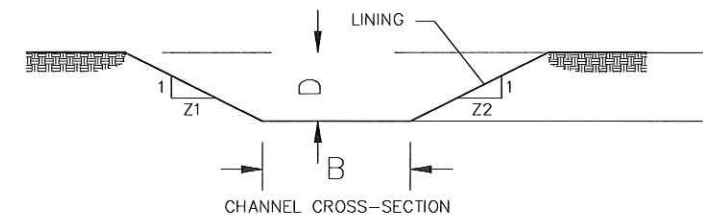
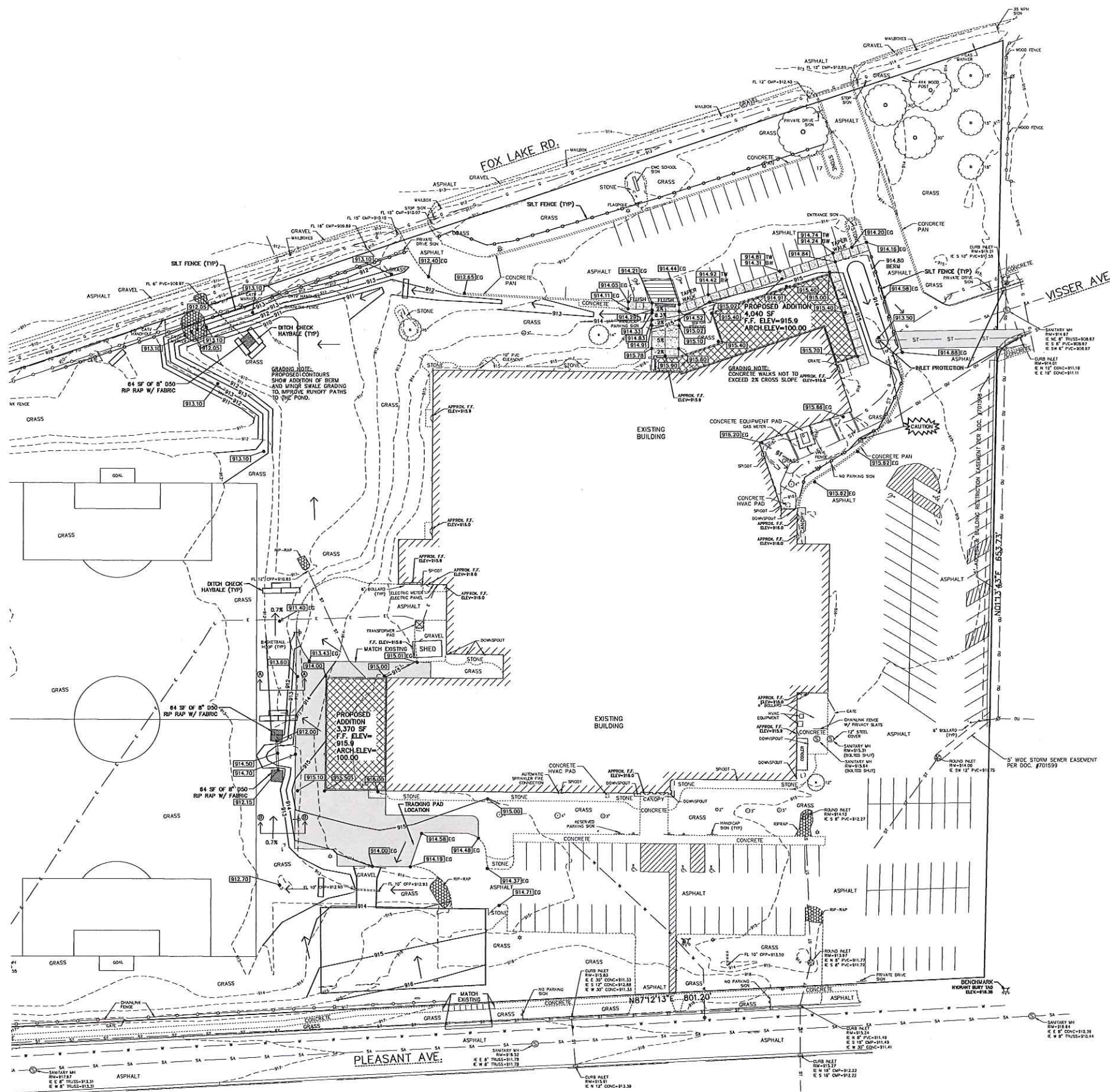
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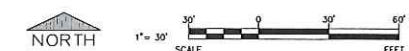
NORTH EMERGENCY
SPILLWAY DETAIL

NO SCALE



CHANNEL	B _N	D _N	Z ₁	Z ₂	PERMANENT LINING	TEMPORARY LINING
A-A	96	12	35	3	NORTH AMERICAN GREEN SC125	NORTH AMERICAN GREEN SC125
A-A	96	6	35	3	NORTH AMERICAN GREEN SC125	NORTH AMERICAN GREEN SC125

DITCH DETAIL
NO SCALE



COLLABORATION



PROJECT INFORMATION

PROPOSED MASTER PLAN FOR:
CENTRAL WISCONSIN CHRISTIAN SCHOOL
301 FOX LAKE ROAD • WAUPUN, WI 53963

PROFESSIONAL SEAL

SHEET DATES

SHEET DATE FEB. 15, 2019

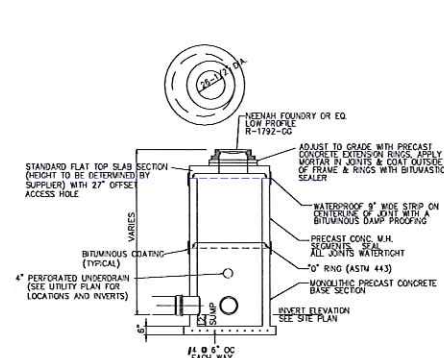
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JOB NUMBER

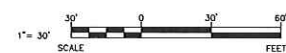
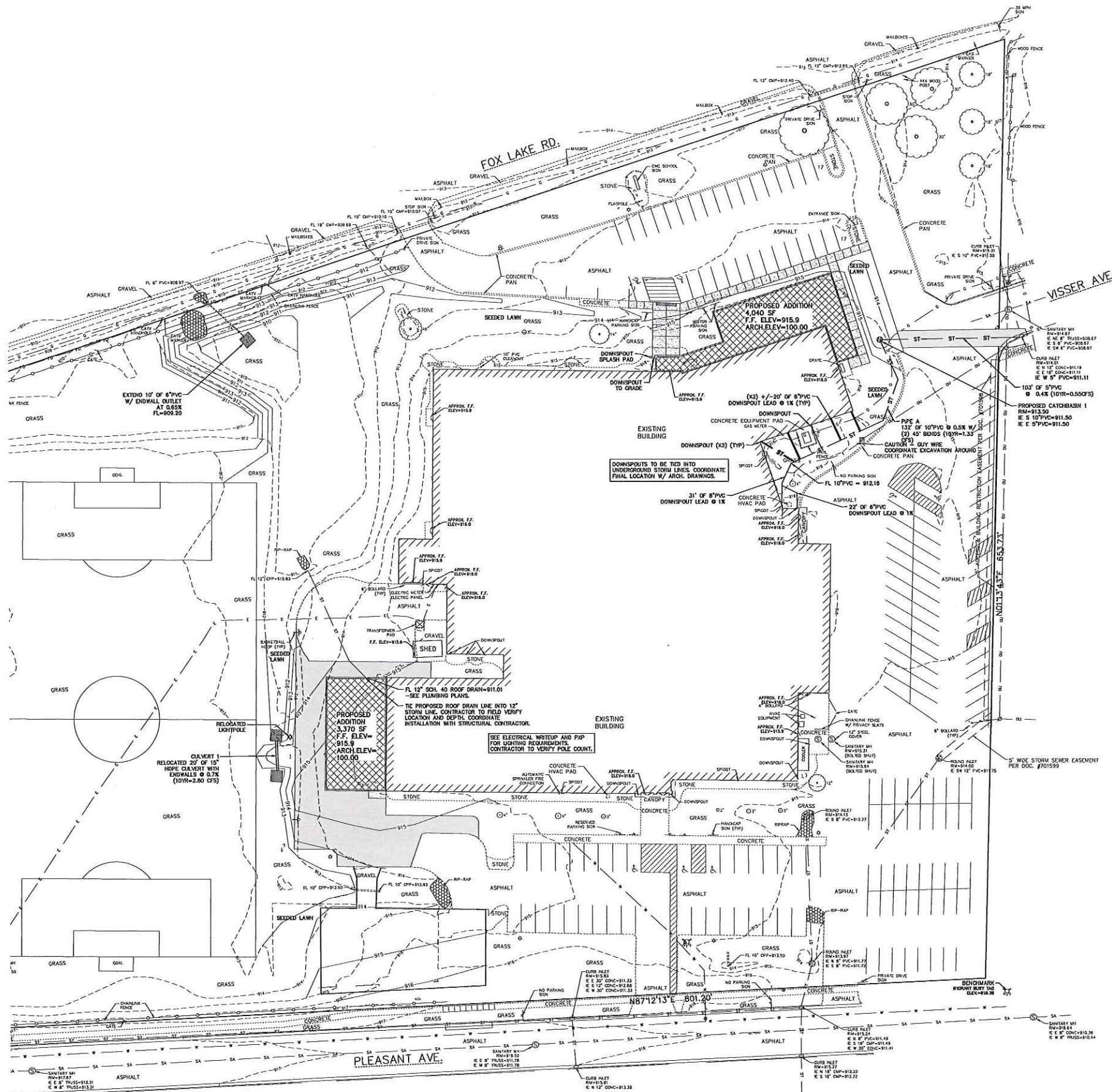
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SHEET NUMBER

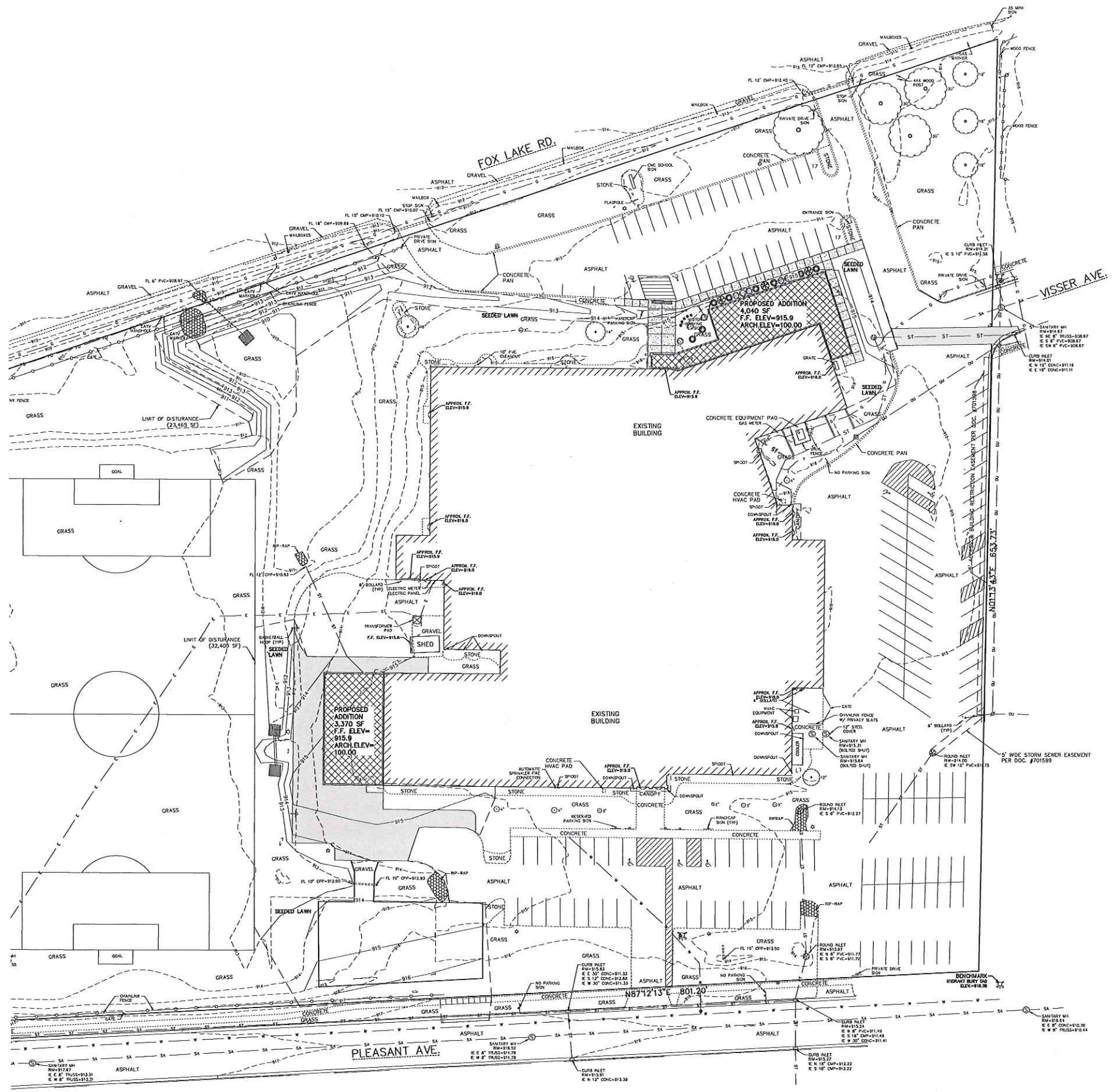
C1.4



CATCH BASIN DETAIL
NO SCALE



UTILITY PLAN



LANDSCAPING NOTES				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS SHRUBS				
①	Emerald Mound Honeysuckle	Lonicera x xylosteum 'Emerald Mound'	15'-18"	9
EVERGREEN SHRUBS				
②	Arceuthobium	Juniperus sabina 'Arceuthobium'	24"	8
③	Techy Arborvitae	Thuja occidentalis	42"-48"	3
PERENNIALS				
*	Black-eyed Susan - Goldsturm	Rudbeckia fulgida	1 gal pot	5



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SHEET NUMBER
C1.5

4" ROUND DOWNLIGHT
XT SERIES / 5000 LUMENS MAX

REQUIREMENTS - 10M FLANGE / NON-IC RATED

APPLICATIONS

FEATURES

INSTALLATION

CONNECTIONS

COMPLIANCE

EXAMPLE: 4" ROUND DOWNLIGHT

SPECTRUM LIGHTING INC.

XtraLight
Lighting Solutions

VIENTO LED WALL PACK
VNTW 3500 - 11000L

PROJECT INFORMATION

APPLICATIONS

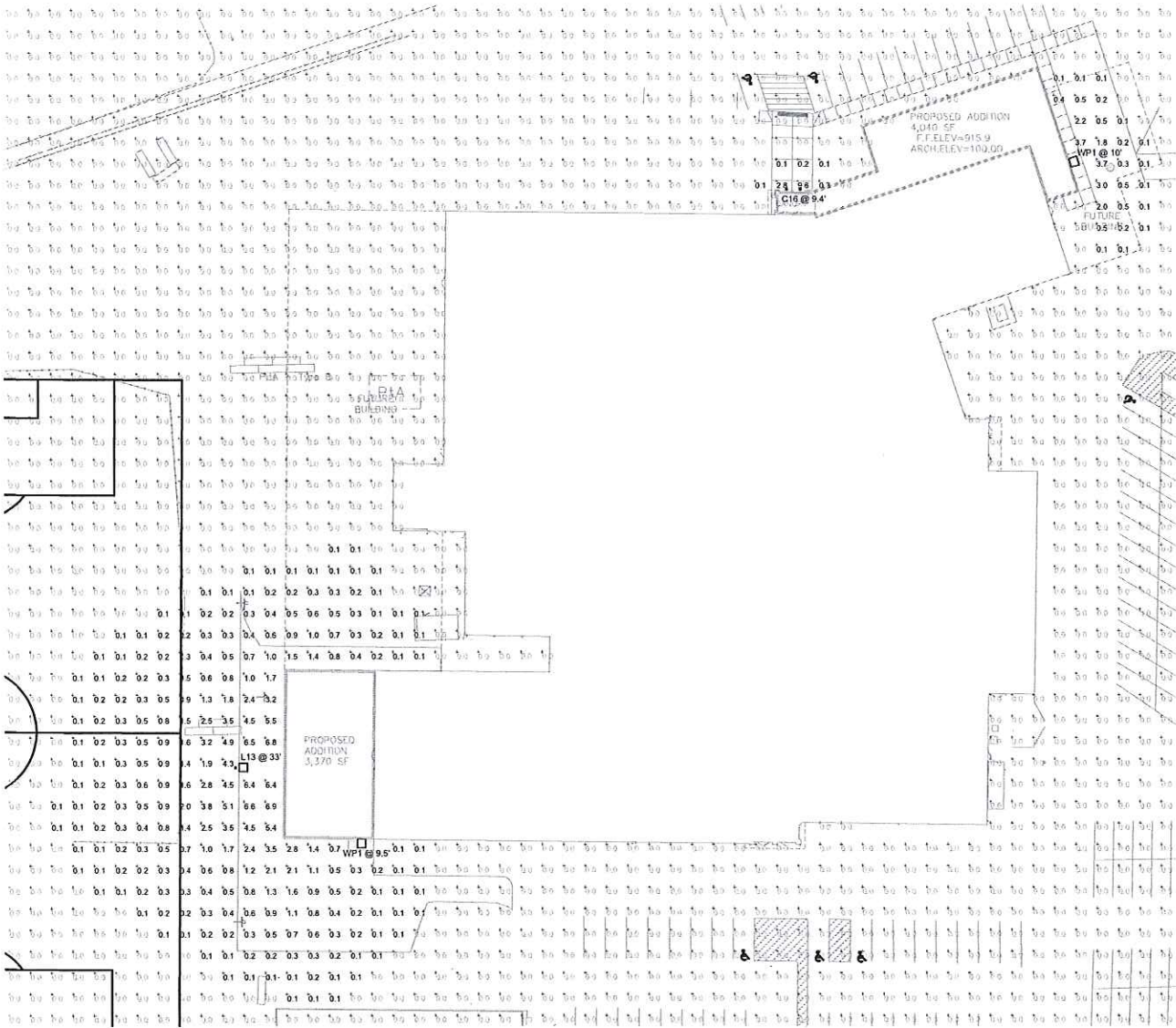
FEATURES

OPTICS

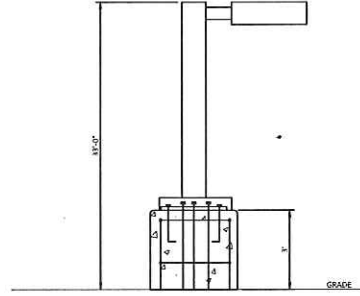
WARRANTY

ORDER LOGIC

SAMPLE CATALOG NUMBER: VNTW-8000L-40K-2H-2H-2



SITE PLAN - PHOTOMETRIC
SCALE: 1" = 30'



LIGHT POLE DETAIL
NO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Arm	Number Lamps	Lumens Per Lamp	Light Loss Factor	Footcandle
WP1	WP1	2	Pro-Spec Manufacturing	VNTW-3500L-50K-DIM-1M-BZ	VIENTO WALL PACK WITH (1) LED MODULE WITH (3) LED OPTICS AND (1) ELECTRONIC DRIVER IN A BODINE HOUSING	41-3870K LED MODULE	1	3445	1	27.9
C16	C16	2	Spectrum Lighting	20W-EDT-13L-wk-MD-E1-400A-50-50X	20W-EDT-13L-wk-MD-E1-400A-50-50X	NA, Mm, 80 CRI	1	890	1	15
L13	L13	1	Pro-Spec Manufacturing	20W-EDT-13L-wk-MD-E1-400A-50-50X	20W-EDT-13L-wk-MD-E1-400A-50-50X	NA, Mm, 80 CRI	1	890	1	15

Statistics	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overillumination	+	65%	34%	50%	NA	NA
Calc Zone #1						

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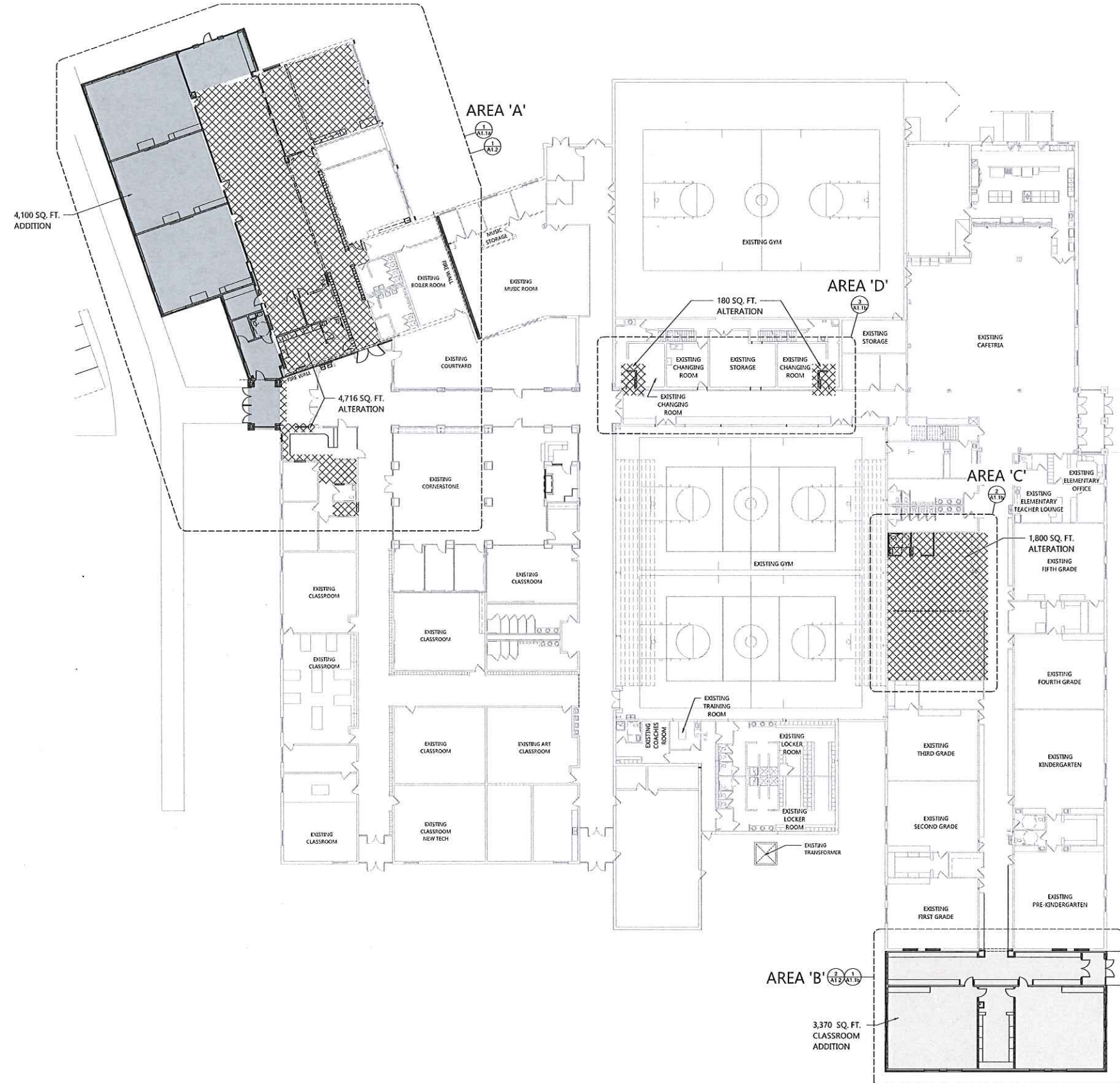
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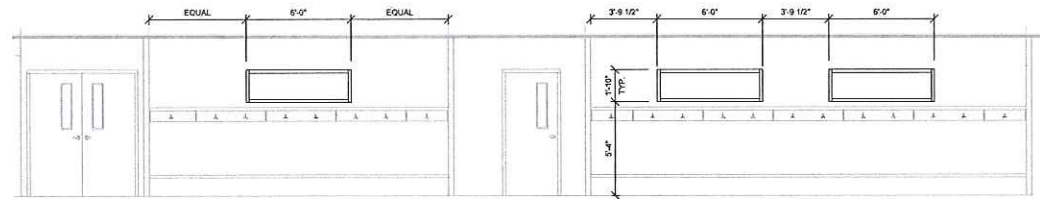


OVERALL FLOOR PLAN (KEY PLAN)

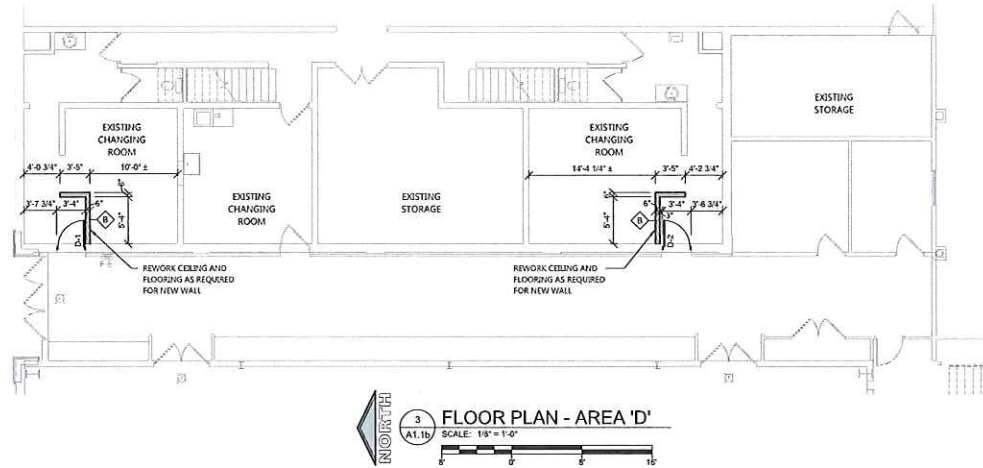
SCALE 1/16\"/>



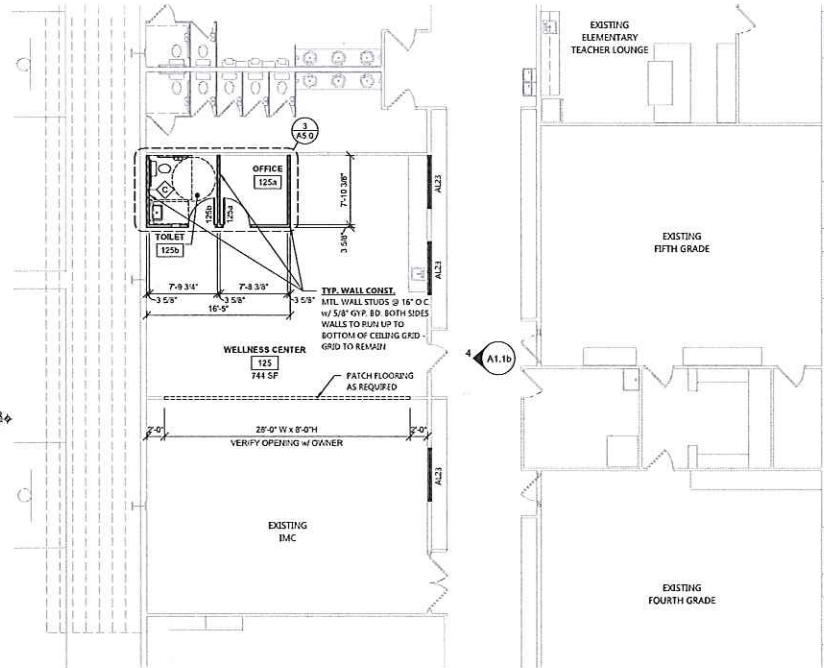
OVERALL FLOOR PLAN



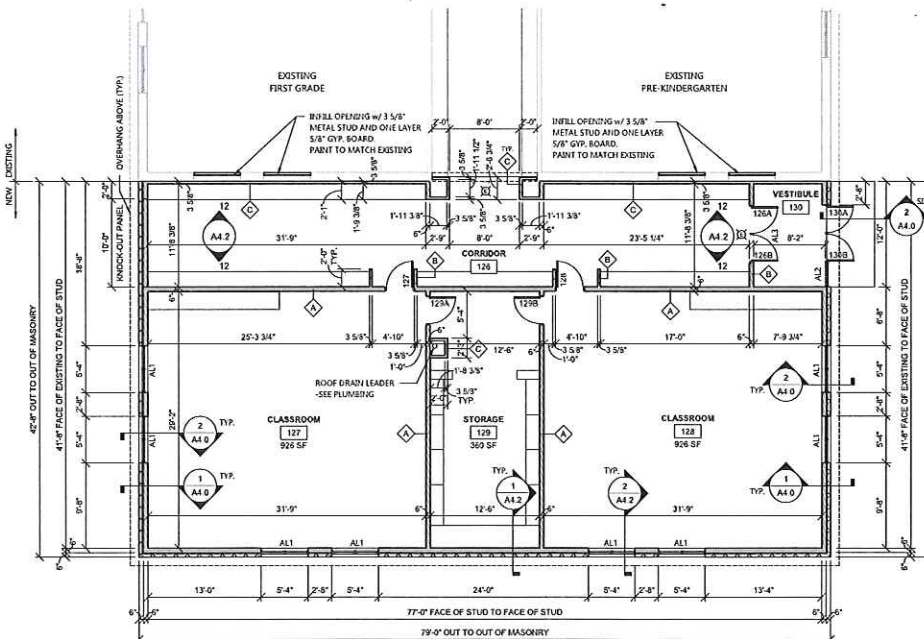
4 INTERIOR ELEVATIONS
A1.1b SCALE: 1/4" = 1'-0"



3 FLOOR PLAN - AREA 'D'
A1.1b SCALE: 1/8" = 1'-0"

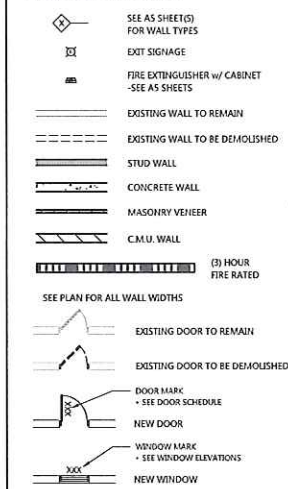


2 FLOOR PLAN - AREA 'C'
A1.1b SCALE: 1/8" = 1'-0"



1 FLOOR PLAN - AREA 'B'
A1.1b SCALE: 1/8" = 1'-0"

SYMBOLS LEGEND



GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- ALL INTERIOR WALLS TO BE 3 5/8" OR 6" METAL STUDS @ 16" O.C. (SEE FLOOR PLAN FOR SIZE) W/ 5/8" GYPSUM BOARD BOTH SIDES - EXTEND TO BOTTOM OF DECK ABOVE. (U.H.O.)
- PROVIDE 3 1/2" SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND OFFICE WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE, MEN'S AND WOMEN'S REST ROOM SIGNS.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER. (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE GYPSUM BOARD RETURNS AT HEAD AND JAMBS AND PLASTIC LAMINATE COVERED WOOD SILL.
- ALL CABINETS AND COUNTERTOPS TO HAVE PLASTIC LAMINATE FRONTS AND TOPS.
- CABINET W/ COUNTERS BY GENERAL CONTRACTOR AS REQUIRED.

ALTERNATES

- REMOVE EXISTING MASONRY WALL IN IT'S ENTIRETY. INSTALL NEW STEEL POST TO SUPPORT EXISTING WOOD ROOF BEAMS. GROUT FILL SOLID ALL CORES BELOW NEW POST IN FOUNDATION WALL. INFILL NEWLY CREATED OPENING WITH 6" METAL STUDS @ 16" O.C. WITH 5/8" GYP. BD. BOTH SIDES, FILL STUD CAVITY WITH INSULATION.

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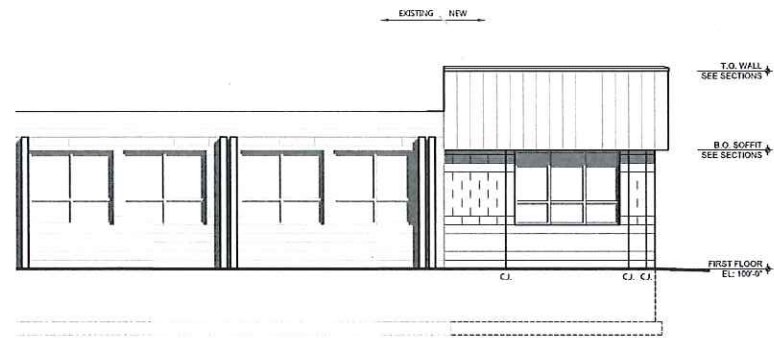
REVISIONS

JOB NUMBER

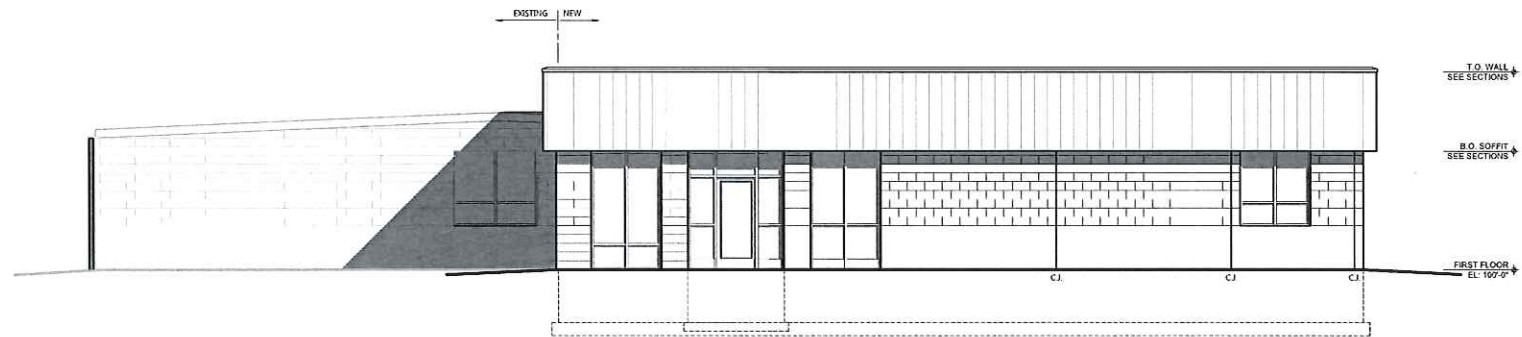
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SHEET NUMBER

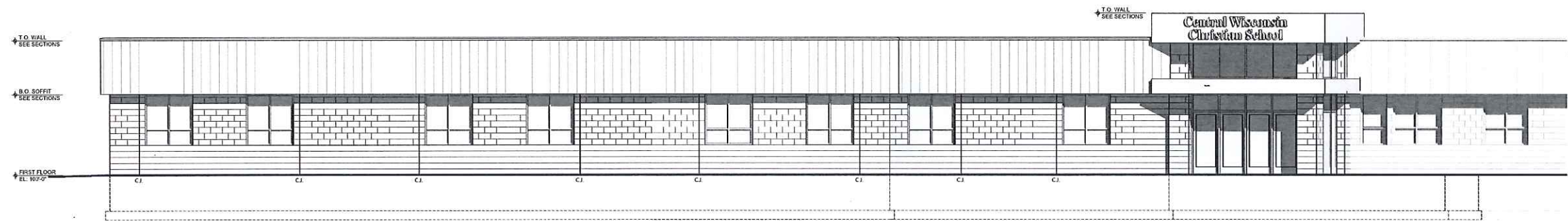
A1.1b



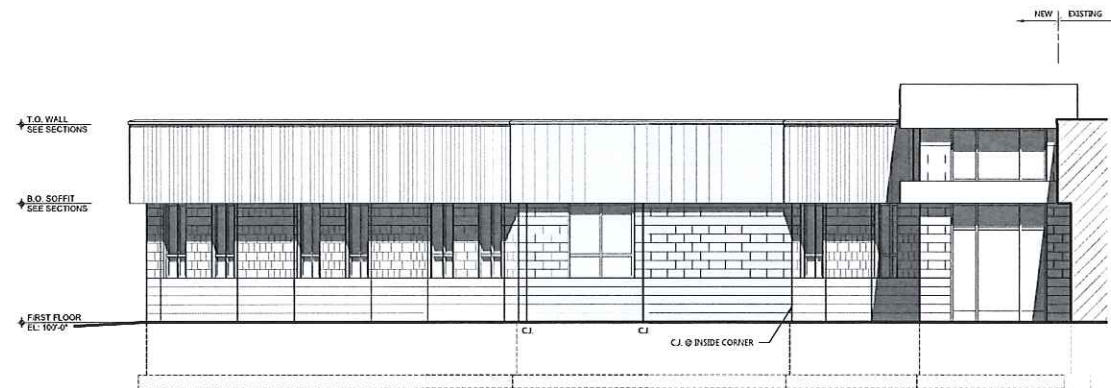
SOUTHEAST ELEVATION - AREA 'A'
SCALE: 3/16" = 1'-0"



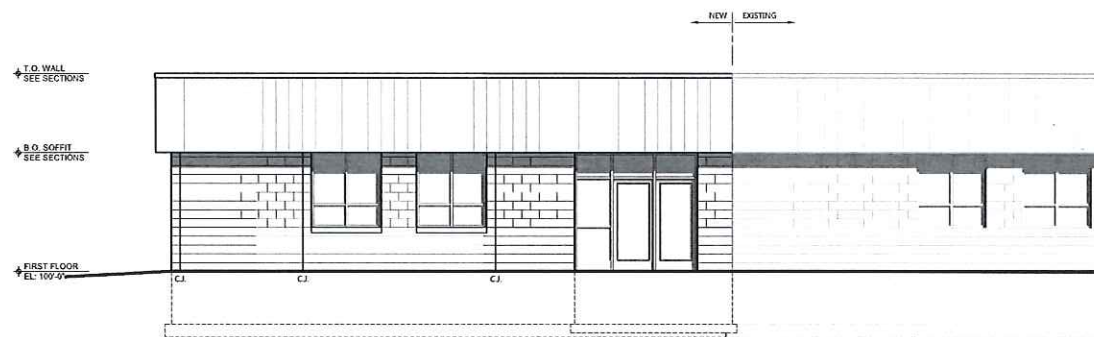
NORTHEAST ELEVATION - AREA 'A'
SCALE: 3/16" = 1'-0"



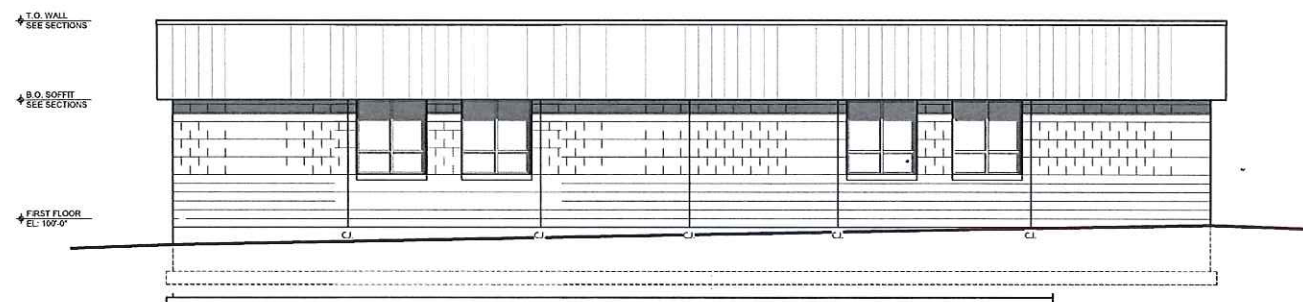
NORTH WEST ELEVATION - AREA 'A'
SCALE: 3/16" = 1'-0"



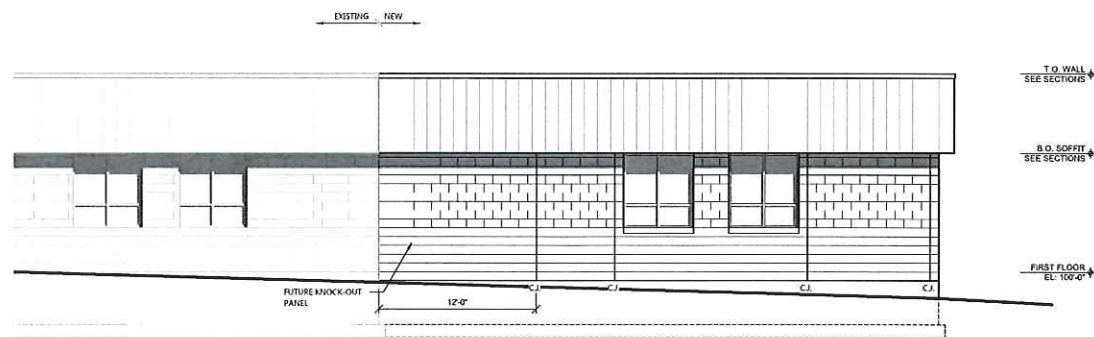
WEST ELEVATION - AREA 'A'
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION - AREA 'B'
SCALE: 3/16" = 1'-0"



WEST ELEVATION - AREA 'B'
SCALE: 3/16" = 1'-0"



NORTH ELEVATION - AREA 'B'
SCALE: 3/16" = 1'-0"



WDS
CONSTRUCTION

Building



Community

EXCEL

Zoning Staff Review

For: Conditional Use Permit & Site Plan for (2) Additions to Existing School
Owner: Central WI Christian Schools, Inc.
Address: 301 Fox Lake Road
Parcel No.: 292-1315-0613-025

Description:

Construct a five (5) classroom addition at the northeast corner of the existing school and a two (2) classroom addition at the west end of existing school adjacent to soccer field.

Findings:

- Zoning
 - R-1 Single Family Residential
 - Permitted with a Conditional Use per Sec. 16.03(1)(d)(i)
- Lot Sizes
 - Lot is 443,266.56 square feet (10.176 acres)
- Setbacks
 - Front yard exceeds the required 30-foot setback
 - Side yards exceed the required 6-foot setback
 - Rear yard exceeds the required 25-foot setback
- Landscaping Plan shows additional landscaping proposed around the northeast addition adjacent to Fox Lake Road.
- Photometric Plan shows that lighting shall be a down light and will not encroach onto neighboring residential parcels.
- Plans to be reviewed by City Engineer regarding storm water management and Utilities.

Recommendation:

After review of Section 16.03 of the City of Waupun's Zoning Ordinance, the proposed classroom additions meet the requirements for a conditional use.

I hereby **RECOMMEND** a Conditional Use Permit for the proposed additions to Central WI Christian School.

I hereby **APPROVE** the site plan as submitted for the two (2) additions to Central WI Christian School.

Prepared by: Susan K. Leahy, Zoning Administrator



| Summit Credit Union
Lot 2 of CSM 6810
Shaler Drive
Waupun, WI

| Plan Commission



To: Waupun Plan Commission
Date: February 5, 2019

Project: Summit Credit Union Branch Office
Lot 2 of CSM 6810
Shaler Drive
Waupun, WI

Applicants' Contact: Summit Credit Union
4800 American Parkway
Madison Wisconsin 53718
Attn: Greg Polacheck
608-243-5000, extension 7974

Architect: Strang, Inc.
811 E Washington Ave., Suite 200
Madison, WI 53703
Attn: Austen Conrad
608-276-9200

Civil Engineer: JSD Professional Services
161 Horizon Drive, Suite 101
Verona, Wisconsin 53593
Attn: Bill Dunlop
608-848-5060

Landscape Architect: JSD Professional Services
161 Horizon Drive, Suite 101
Verona, Wisconsin 53593
Attn: Bill Dunlop
608-848-5060

Table of Contents

1	Contact Information
2	Letter of Intent
3	Response Letter to Staff Review Comments
6	Civil and Landscaping Plans
15	Site Lighting Plans
21	Floor Plan and Elevations
24	Exterior Building Materials
25	Signage
27	Storm Water Management Plan

Request

Applicant is seeking Plan Commission approval on the use of the property in general as well as the building design prior to moving forward with permitting.

Description of Intended Use

Financial Institution:

Operational characteristics will be those of a typical financial institution. Two drive-through teller aisles and one drive-through ATM aisle will serve credit union members from their autos. The building will have a walk-in lobby for credit union members who wish to conduct business with a teller or financial adviser, and for people wishing to become members of the credit union. The “back of house” area will contain storage, a staff break room, and other support spaces.

For walk-in customers, the lobby will be open from approximately 9:00 am until 5:00 pm Monday through Thursday, 9:00am – 6:00pm Friday, and 9:00 am to noon on Saturday.

The drive-through teller lanes will be open from approximately 8:00 am to 6:00 pm Monday through Friday and from 8:30 am to 1:00pm on Saturday. An ATM machine on the outer-most drive-through lane will be available at all times.

Daily Traffic Expected: 100 walk-in customers, 200 drive-through customers.

Design Narrative

The site and building is designed in response to Summit Credit Union's desire for a highly visible facility that reaches out to the community, while being responsive to the integrity of its contextual fabric. The massing and design composition of the building is such that it presents a pleasing face to the public realm on all four sides of the site. The design of the drive-up canopy is inextricably linked to the rest of the building in terms of design character and materials.

Floor-to-ceiling windows allow for much of the building to rely on natural daylighting. To underscore Summit's commitment to sustainability, large east facing vertical sail-shaped fabric sunshades reduce solar heat gain and glare on the east facing curtainwall of the branch and provide cool, diffuse daylighting to the interior. Please refer to the attached exterior materials sheet with photographs of the Summit Credit Union Monona branch for an idea of the building design forms and details, as well as the exterior materials and finishes on the project.

As a member-owned cooperative, Summit Credit Union believes they have an obligation to do what is best for its members, and collectively be good citizens of the community. The design and architecture of the Summit Credit Union branch clearly represents the credit union's mission and vision into the future.

Zoning Data

Current Zoning: B-4 – Interchange Business District.

Proposed Use: Single story financial institution with detached drive-through teller facilities.

Project Statistics

Lot Area: 44,246 sq. ft.

Lot Coverage: Impervious = 29,687 sq. ft. (67.1% of site)

- Building “footprint”, parking and drive aisles, sidewalk.

Pervious area = 14,559 sq. ft. (32.9% of site)

- Lawn, landscaped areas, drainage ways.

Building Area: Building: 3,693 gross square feet (GSF)
 Drive Thru Canopy: 644 GSF
 Total "footprint": 4,337 GSF

Building height: 1 story, 24'-0" feet to top of highest coping

Parking: 25 parking stalls provided on site (including 1 handicapped accessible stall)

Memorandum

To: Jeff Daane (City of Waupun- Director of Public Works), Trista Steinback (City of Waupun)
From: Matt Saunders E.I.T.
Re: Summit Credit Union- Comment Response
JSD Project #: 18-8818
Date: February 5, 2019
CC: Jason Laue (MSA), Eric Thompson (MSA), Bill Dunlop P.E. (JSD Professional Services)

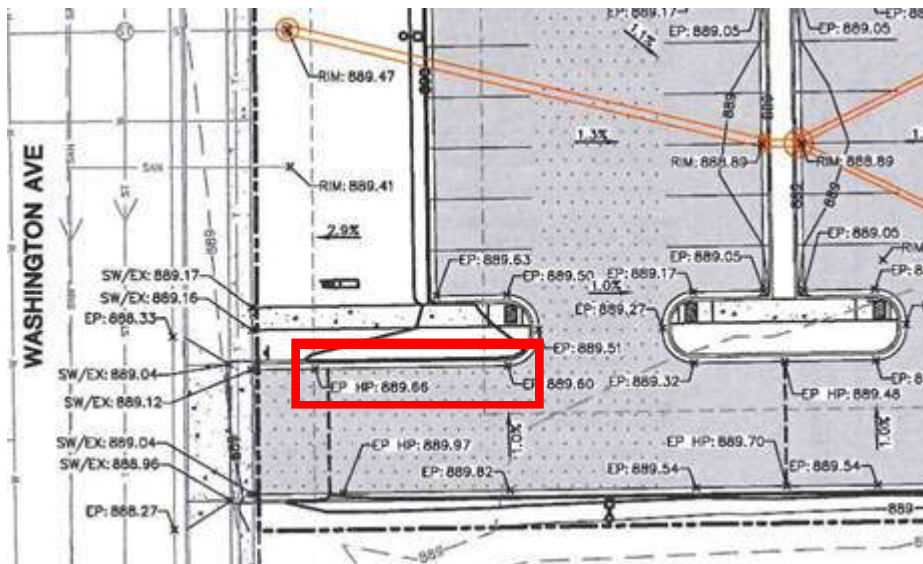
This memorandum shall serve as the comment response to the MSA, on behalf of City of Waupun, Plan and SWMP Review comments received on January 23, 2019. Responses to the questions/comments are shown in red below.

Site Plan Comments

1. The overall parking lot area for this site does not appear to have much slope proposed (several areas with 0.5% to 1.1% slope). Over time the asphalt parking lot could settle or develop ruts in it, which could cause water to pool in different places within the parking lot. The onsite storm sewer is proposed with only about 2-feet of cover. The developer may want to consider raising the site slightly to achieve some higher drainage slopes (recommend 1.5% or higher) or lower the storm sewer structures (if the storm sewer is reconfigured based on Eric's comment).

The grading has been updated to have greater slopes. The existing storm pipe stub was too high to create better slopes on the site. The stormwater is now being discharged directly to the regional basin to the south allowing for better drainage across the site.

2. There appears to be an area with minimum slope as shown below. Recommend the spot grades be adjusted to improve drainage above a 1.0% at minimum.



Pavement grading has been updated with greater slopes.

3. On the Utility Plan Sheet, the water lateral annotation as well as Note #21 indicate that the proposed PVC water lateral shall be installed with a minimum bury of 6.5 feet. On past projects, the bury depth for PVC water piping was 7.0 feet. Recommend this be revised for consistency.

Note #21, now note #22, indicates that insulation shall be installed if the pipe is above 7-feet bury. The pipe callout has been updated to have a min bury of 7.0-feet.

4. On the Utility Plan Sheet, Note #11 indicates that the City DPW shall be contacted prior to connecting to public utilities. Do you want this clarified for storm only and that Waupun Utilities should be contacted for sanitary and water?

Note #11 has been updated to state that DPW shall be contacted for storm sewer connection.

Note #12 has been added to state that Waupun Utilities shall be contacted for connection to sanitary and water.

5. Show a proposed slope for the gutter on the 18" reject curb and gutter detail.

The thickness at the end of the curb has been added to the detail.

6. Recommend that the developer submit copies of their State permit approvals to the City as well as execute/record the long term maintenance agreement with the City.

The NOI permit will be submitted. The maintenance agreement will be recorded with the city.

Eric Tomson MSA- SWMP Comments

I've taken a review of the site. Below are my comments (underlined items are the noteworthy items) – in addition to the comments under item 4, which are the only item below requiring a revision to what has been submitted, the City should consider having the developer revise the plans to construct a new outfall directly to the regional pond. This will result in a new outfall to the pond that is technically off-site from the owner's property and therefore might add to future City maintenance (you could still identify the outfall as their responsibility, you'd just have to always give them permission to make repairs in the pond); however, I think this is a small trade to keeping that much additional runoff from entering the City's storm sewer system.

- 1.) Peak Discharge Rate Control & Stormwater Quality Treatment. The site is adjacent to the north of the Meadowview School Pond. This pond was designed in 2013 and was sized to accommodate development of this lot at 85% impervious. The current plans call for construction of 29,687 sf of impervious on a 44,246 sf lot – or 67% impervious.

The site's proposed impervious area ratio is below the maximum allowable by design and so the existing regional pond will be sufficient to provide peak discharge rate control. Note, however, that the site is located within Rock River Total Maximum Daily Load Reach 3 which has a requirement to achieve 56% TSS and 87% TP reductions. The TMDL was approved. The City's recent Stormwater Quality Plan update determined that the Meadowview School regional pond achieves 86.5% TSS reduction and 65.5% TP reduction. Therefore, the pond can provide TSS reduction to satisfy TMDL requirements, however, it cannot achieve TMDL TP reduction requirements.

The report states that to achieve compliance with the TMDL load reduction requirements it is necessary to achieve 21.5% additional TP reduction on site (21.5% onsite + 65.5% regional = 87% TMDL requirement); however, pollutant load reductions of this nature are not cumulative. Regardless, the current development plan includes installation of five (5) 2-ft x 3-ft, 3-foot deep sumps within catch basin inlets. These sumps are reported to achieve 28.6% *particulate* phosphorus removal; however, MSA's modeling predicts only a 17.7% *Total* Phosphorus reduction. Even when accounting for the regional pond performance, this will not result in is not a cumulative TP reduction of 87% for the site; however, it is unlikely that additional practices will significantly improve TP reduction on the site (it takes 50 sumped inlets just to double the on-site TP reduction). Additionally, the site appears to be unsuitable for infiltration practices which might be more effective at TP control. As such it is accepted that the proposal provides the maximum extent practicable water quality treatment for the site.

Noted.

- 2.) Infiltration. Soil borings for the site indicate the presence of a 5-foot layer of clay over a layer of probably bedrock. As such, it is acknowledged that the site is unsuitable for installation of infiltration practices (whether for infiltration as a management practice or for improved TP reduction)

Noted.

- 3.) Low Floor Elevation. The proposed low floor elevation of the new building is 890.6. The estimated 100-yr flood elevation in the regional pond is 888.6 and so two (2) feet of freeboard is provided in compliance with the City's floodplain management ordinance.

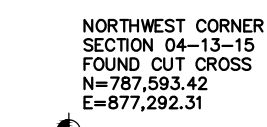
Noted.

- 4.) Long Term Maintenance Agreement. The LTMA references the City of Watertown and should be revised. Additionally, the following language should be inserted in place of the language under exhibit B.

- a. The owner shall maintain all components of the storm sewer system including, but not limited to storm sewer pipes, inlets, manholes, and outfalls.
- b. Storm sewer inlets and outfalls shall be inspected monthly for obstructions that may reduce their hydraulic capacity. Structure openings should immediately be cleared of any accumulated trash, debris, or other obstructions. Evidence of structural or foundation material failure should be repaired immediately.
- c. All inlet sumps (5) shall be inspected at least twice annually, once after completion of snowmelt (late April through May) and once in the Fall (October or November) before snow fall. If any sump is determined to have accumulated more than 18-inches of sediment (less than 18 inches of depth below the invert of the outlet pipe) then all sumps shall be cleaned. Cleaning should be accomplished by vactoring and all removed water and sediment shall be disposed of in a manner that does not release water or sediment removed from the sumps to a surface water body.
- d. The owner shall maintain records of the dates and findings of inspections of the stormwater management system and the cleaning and replacement of system components. The owner shall provide copies of all records to the City of Waupun upon request.

Text from a, b, c, and d has been added to the maintenance agreement.

LOT 2, CERTIFIED SURVEY MAP No. 6810, AS RECORDED IN VOLUME 46 OF CERTIFIED SURVEYS ON PAGES 194-195 IN THE DODGE COUNTY REGISTER OF DEEDS OFFICE, AS DOCUMENT No. 1199813, LOCATED IN THE FRACTIONAL NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 04, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN



SOUTH QUARTER CORNER
SECTION 33-14-15
DID NOT FIND CORNER
N=787,608.82
E=879,947.65
PER TIE SHEET

NORTH QUARTER CORNER
SECTION 04-13-15
DID NOT FIND CORNER
N=787,608.83
E=879,974.06
PER TIE SHEET



BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	889.82	TOP NUT ON HYDRANT, SW CORNER SHALER DR. & E. MAIN ST.(16)
BM-2	891.64	BURY BOLT ON HYDRANT, WEST SIDE OF WASHINGTON DRIVE
BM-3	901.34	NW BOLT ON HYDRANT, NE CORNER OF W10th ST. & F. BROWN ST.(17)

LEGEND

- GOVERNMENT CORNER
- ¾" REBAR FOUND
- PK/MAG NAIL FOUND
- 3/4" x 24" REBAR SET (1.50 LBS./LF)
- SANITARY MANHOLE
- HYDRANT
- STORM MANHOLE
- CURB INLET
- ELECTRIC TRANSFORMER
- ✕ LIGHT POLE
- ✕ POWER POLE W/GUY
- PARCEL BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- CONCRETE CURB & GUTTER
- S— SANITARY SEWER
- W— WATER LINE
- ST— STORM SEWER
- G— NATURAL GAS
- OE— OVERHEAD ELECTRIC DISTRIBUTION
- E— UNDERGROUND ELECTRIC
- T— UNDERGROUND TELEPHONE
- 890— INDEX CONTOUR
- 559— INTERMEDIATE CONTOUR
- 559— SPOT ELEVATION
- BPM— BITUMINOUS PAVEMENT
- CONCRETE— CONCRETE PAVEMENT
- END OF FLAGGED UTILITIES
- () DENOTES RECORD DATA DEPENDING THE SAME LINE ON THE GROUND

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	33.06'	267.00'	7°05'41"	33.04'	S3°19'42"E

- ## NOTES
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON NOVEMBER 05, 2018.
 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DOOGUE COUNTY) ZONE THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 04-14-13S, RECORDED AS 899-40-0-2E.
 3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). BENCHMARK IS THE TOP NUT OF A FIRE HYDRANT AT THE SOUTHWEST CORNER OF SHALER DRIVE AND E. MAIN STREET, ELEVATION = 889.82'.
 4. CONTOUR INTERVAL IS ONE FOOT.
 5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE TO THE BACK OF CURB ELEVATIONS.
 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL UTILITY APPROPRIATELY LOCATED UTILITIES, INCLUDING DIGGERS HOLE MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOLELINE TICKET NO.'s 20184409243, 20184409303, 20184409343 AND 20184409606, WITH A CLEAR DATE OF NOVEMBER 05, 2018.
 7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOLELINE:
CITY OF WAUPUN WAUPUN UTILITIES
ALLIANT ENERGY (ELECTRIC AND GAS) AT&T DISTRIBUTION
CHARTER COMMUNICATIONS
 8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOLELINE, AT 1.800.242.8511.
 9. JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED BEFORE BEING UTILIZED.
 10. SITE PLAN RECORDS WERE REQUESTED FROM THE CITY OF WAUPUN. NO RECORDS FOR THIS SITE.
 11. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF WAUPUN. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES THAT WERE VERIFIED BY STREET PLANS SENT BY THE CITY OF WAUPUN.
 12. NO BUILDINGS OBSERVED ON SITE

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS
(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: NCS-929885-MAD, COMMITMENT DATE: OCTOBER 10, 2018
8:00 A.M.)

12 MATTERS AS DISCLOSED BY CERTIFIED SURVEY MAP No. 6810 RECORDED NOVEMBER 15, 2012 AS DOCUMENT No. 1188576. (MAP SHOWS RECORDED ON JULY 16, 2013 AS DOCUMENT No. 1199813)

THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON. (NO NOTES OR EASEMENTS SHOWN ON CSM).

LEGAL DESCRIPTION (AS FURNISHED)

(FIRST AMERICAN TITLE INSURANCE COMPANY, FILE No.: NCS-929885-MAD, COMMITMENT DATE: OCTOBER 10, 2018 8:00 A.M.)

LOT 2 OF CERTIFIED SURVEY MAP No. 6810 AS RECORDED IN VOLUME 46 OF CERTIFIED SURVEY MAPS AT PAGE 194 AS DOCUMENT No. 1199813, BEING A RESURVEY OF CERTIFIED SURVEY MAP No. 6802 IN VOLUME 46 OF CERTIFIED SURVEYS ON PAGES 171-173 IN THE DODGE COUNTY REGISTER OF DEEDS OFFICE AND BEING A PART OF THE FRACTIONAL NORTHWEST 1/4 OF THE NORTHWEST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

TAX PARCEL No.: 292-1315-0421-017

SURVEYOR'S CERTIFICATE

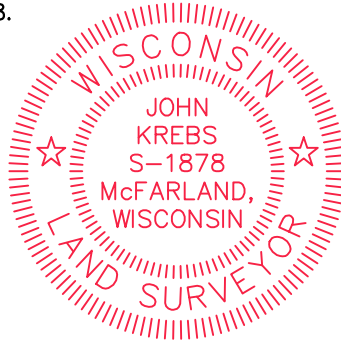
TO:

- i) SUMMIT CREDIT UNION,
- ii) CITY OF WAUPUN,
- iii) FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED ON NOVEMBER 05, 2018.

JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR

DATE _____



JSD
Professional Services, Inc.
Engineers • Surveyors • Planners

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KENOSHA | APPLETON | WAUSAU

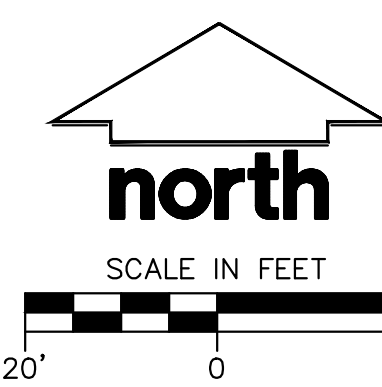
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:
SUMMIT CREDIT UNION

CLIENT ADDRESS:
4800 AMERICAN PARKWAY
MADISON, WI 53718-8308

PROJECT:
WAUPUN, WI

PROJECT LOCATION:
CITY OF WAUPUN
DODGE COUNTY, WISCONSIN



PLAN MODIFICATIONS:		
#	Date:	Description:
1		
2		
3		
4		
5		
6		
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8		
9		
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11		
12		
13		
14		
15		

Design/Drawn:	JK
Approved:	TJB

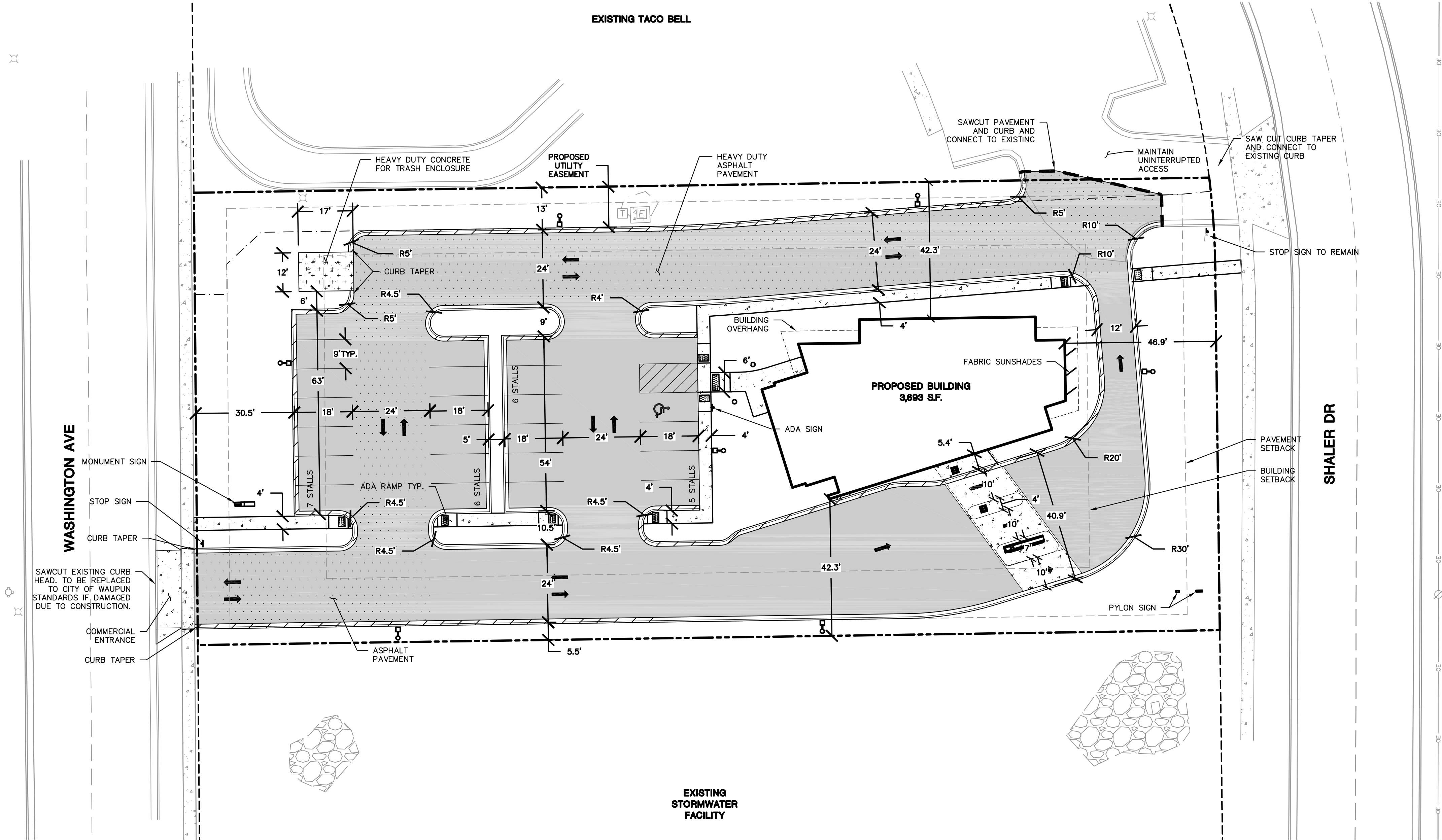
SHEET TITLE:

**ALTA/NSPS LAND
TITLE SURVEY**

SHEET NUMBER:
1 OF 1

JSD PROJECT NO: 18-881

File: I:\2018\168318\DWG\18-8818 Con Docs.dwg Layout: C1.0 User: msanders Plotted: Feb 05, 2019 - 9:01am Xref's:



LEGEND (SITE PLAN)

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- PAVEMENT SETBACK LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- SAWCUT
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- LIGHT BOLLARD (REFER TO PHOTOMETRIC PLAN)
- SIGN

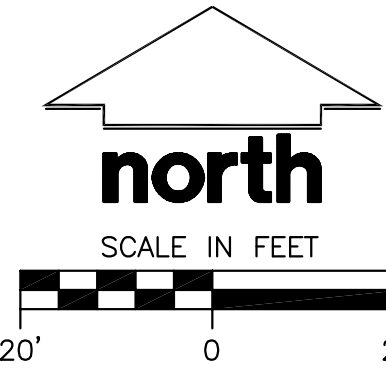
SITE PLAN NOTES

- ALL DIMENSIONS TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ALL RADII TO FACE OF CURB AND/OR EDGING OF CONCRETE UNLESS OTHERWISE NOTED.
- ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET THE REQUIREMENTS OF THE MUNICIPALITY.
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
- 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.
- ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH HIGH VISIBILITY YELLOW LATEX PAINT PER SPECIFICATIONS.

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
- EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES WITHOUT PRIOR APPROVAL.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

SITE INFORMATION BLOCK	
Owner Information:	SUMMIT CREDIT UNION 4800 AMERICAN PARKWAY MADISON, WI 53718
Site Address	LOT 2 OF CSM NO. 6810 WAUPUN, WI 53963
Site Acreage (total)	1.016 ACRES (44,246 SF)
Number of Building Stories (above grade)	1
Total Square Footage of Building	3,693 S.F.
Number of parking stalls:	
Large car	24
Accessible	1
Total	25
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	0
Existing Pervious Surface Area	44,246
Proposed Impervious Surface Area	29,687
Proposed Pervious Surface Area	14,559
Proposed Impervious Surface Area Ratio	0.67



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:
**4800 AMERICAN PARKWAY
MADISON, WI 53718-8308**

**PRELIMINARY NOT FOR
CONSTRUCTION**

PROJECT:

**SUMMIT CREDIT UNION-
WAUPUN**

PROJECT LOCATION:

**CITY OF WAUPUN
DODGE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.11.19	PLAN COMMISSION SUBMITTAL
2	02.05.19	PLAN COMMISSION RE-SUBMITTAL
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Design/Drawn: MSS
Approved: BHD

SHEET TITLE:

SITE PLAN

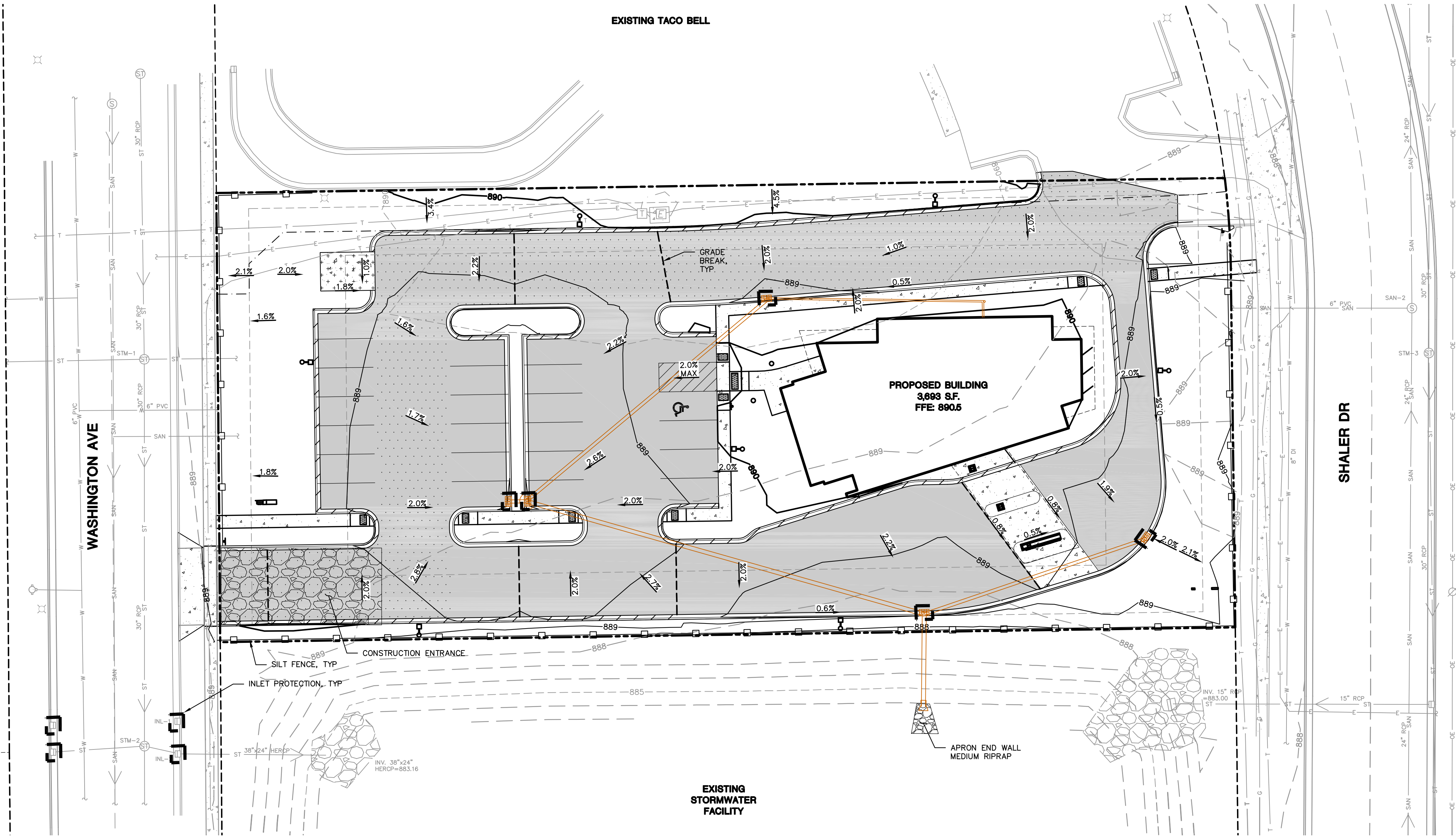
SHEET NUMBER:

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JSD PROJECT NO: 18-8818

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CONSTRUCTION SEQUENCING

1. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES
2. STRIP TOPSOIL
3. EXCAVATE BUILDING FOUNDATION
4. COMPLETE ALL OTHER GRADING
5. INSTALL UTILITIES AND INLET PROTECTION ON NEW INLETS
6. INSTALL AGGREGATE BASE, CURB, AND PAVING
7. STABILIZE NEWLY GRADED SOILS
8. ALL SEEDING AND MULCHING TO BE COMPLETED

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDDED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
6. THE CONTRACTOR SHALL NOTIFY THE CITY OF WAUPUN TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
7. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.
8. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- SIGN
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- STORM SEWER
- SILT FENCE
- GRADE BREAK
- INLET PROTECTION, TYPE D

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS (CSECR) NOTES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OF THE COVER FOR THE UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
11. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
12. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING, WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. REFER BELOW TO "CSECR" NOTE NO. FIFTEEN (15) FOR STABILIZATION PRACTICES FOR POTENTIAL INTERIM STABILIZATION.
13. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. STABILIZATION PRACTICES:
 - 15.1. * STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - * THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 15.2. * CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS. IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - 15.3. * STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LB/ACRE) AND/OR WHEAT OR CEREAL RYE (150LB/ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING
 - 15.4.



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VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:

4800 AMERICAN PARKWAY
MADISON, WI 53718-8308

PRELIMINARY NOT FOR
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PROJECT:

SUMMIT CREDIT UNION-
WAUPUN

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MSS

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BHD

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GRADING AND EROSION
CONTROL PLAN

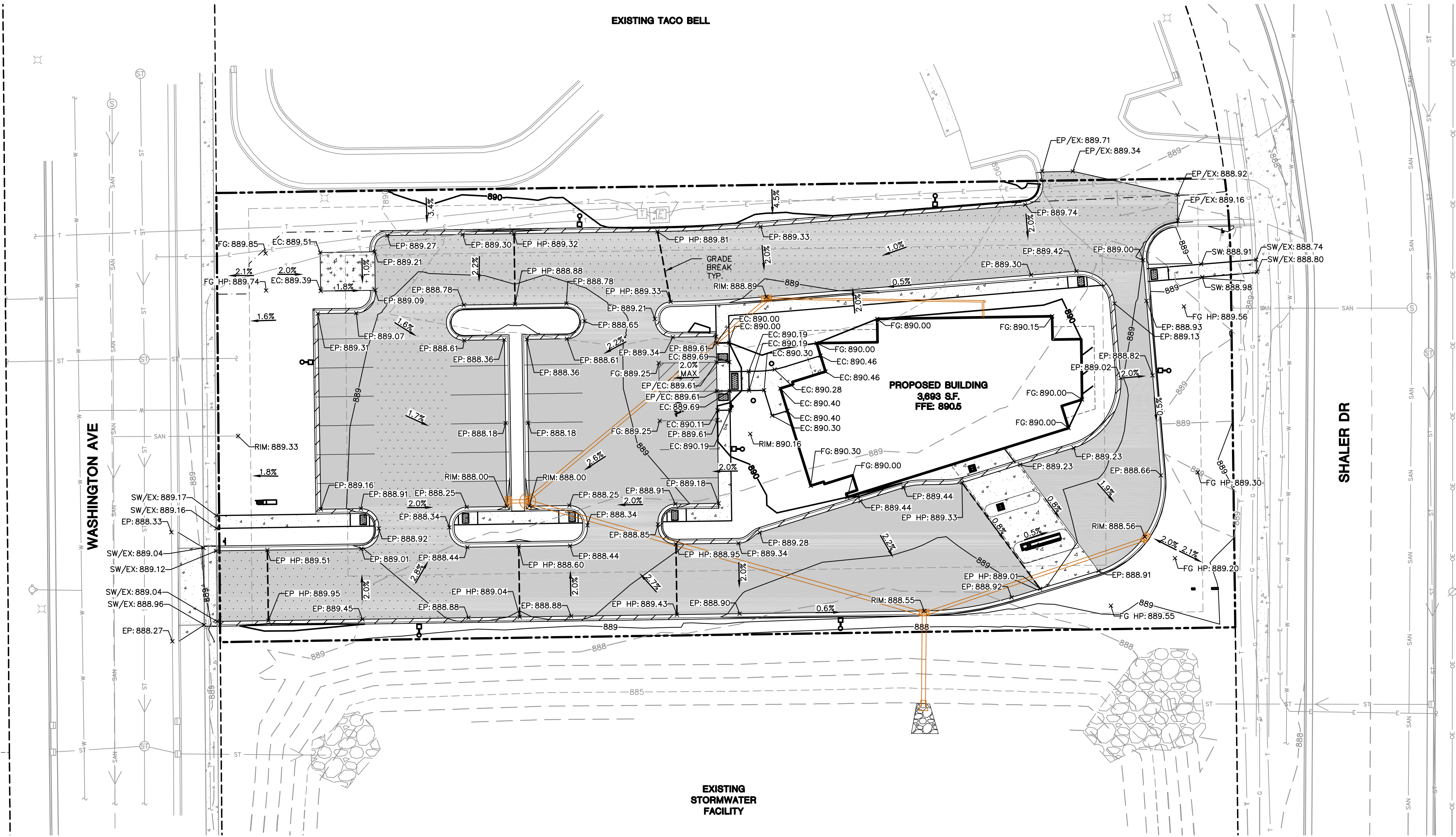
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- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- STORM SEWER
- GRADE BREAK
- SPOT ELEVATION
 - EP - EDGE OF PAVEMENT
 - FG - FINISH GRADE
 - EC - EDGE OF CONCRETE
 - BOC - BACK OF CURB
 - EX - MATCH EXISTING GRADE
 - HP - HIGH POINT
 - SW - SIDEWALK



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SHEET TITLE:
DETAILED GRADING PLAN

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PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)**	DEPTH (FT)**	STRUCTURE DESCRIPTION	GRATE
INL-1	883.96	888.55	7.59	2'X3' INLET BOX	R-3067, CURB INLET FRAME - TYPE R GRATE
INL-2	884.58	888.00	6.42	60" DIA. MANHOLE	R-3067, CURB INLET FRAME - TYPE R GRATE
INL-3	884.78	888.00	6.22	2'X3' INLET BOX	R-3067, CURB INLET FRAME - TYPE R GRATE
INL-4	885.80	888.89	6.09	2'X3' INLET BOX	R-3067, CURB INLET FRAME - TYPE R GRATE
INL-5	885.41	888.56	6.15	2'X3' INLET BOX	R-3067, CURB INLET FRAME - TYPE R GRATE

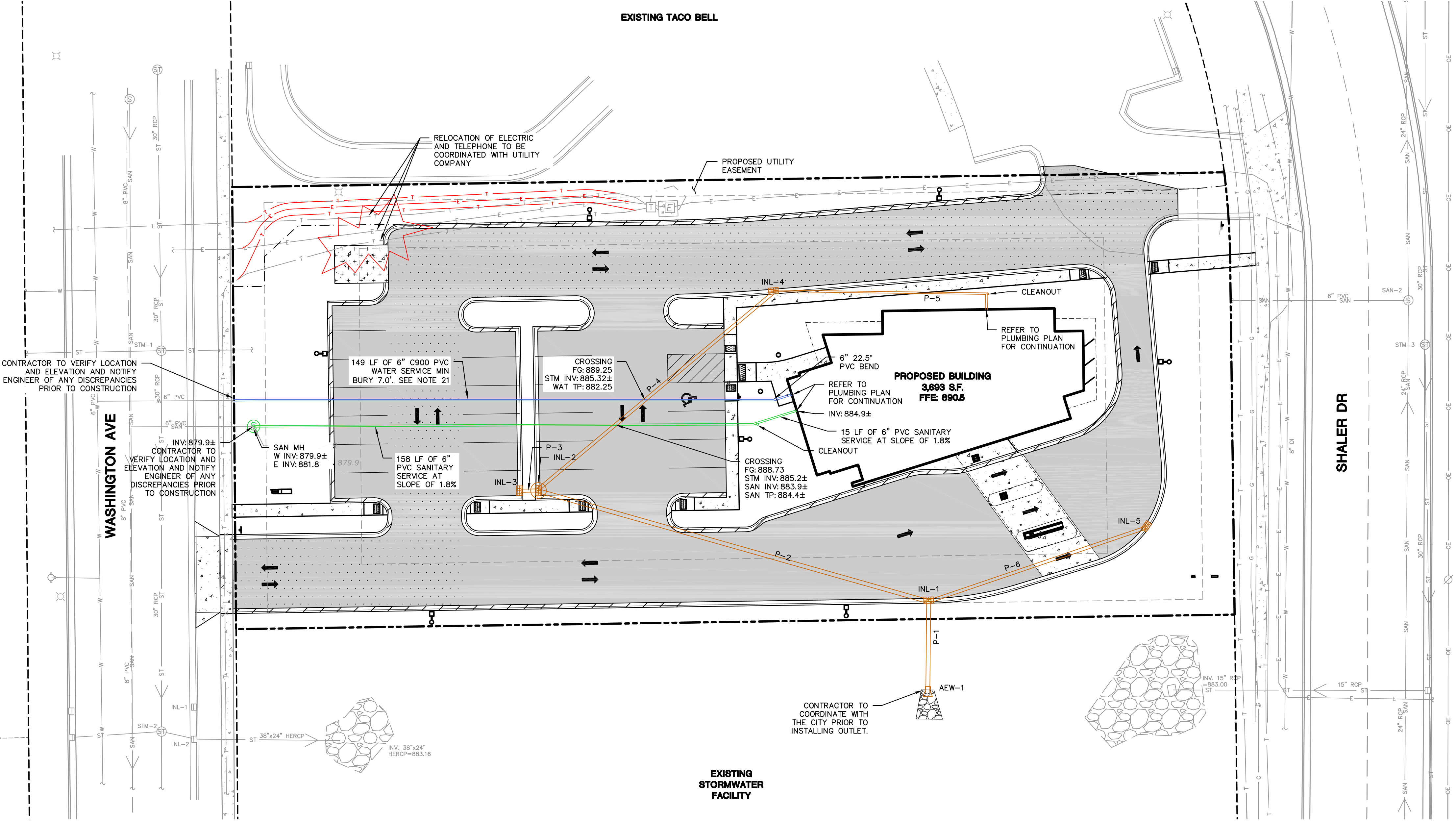
*RIM ELEVATION IS TO EDGE OF PAVEMENT ON INLET CASTINGS

**DEPTH INCLUDES A 3' SUMP

PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	INL-1	AEW-1	29.00	883.96	883.50	1.60	15" RCP
P-2	INL-2	INL-1	129.00	884.58	884.06	0.40	15" HDPE
P-3	INL-3	INL-2	5.00	884.78	884.68	2.00	12" HDPE
P-4	INL-4	INL-2	98.00	885.80	884.92	0.90	12" HDPE
P-5	BUILDING	INL-4	73.00	887.00	885.90	1.50	6" HDPE
P-6	INL-5	INL-1	73.00	885.41	884.06	1.85	12" HDPE

EXISTING TACO BELL

EXISTING STORMWATER FACILITY

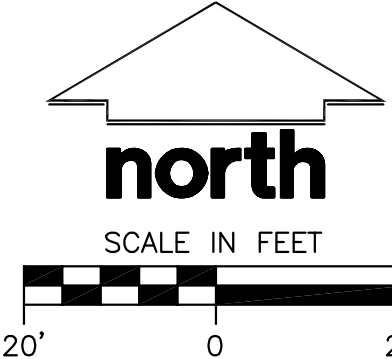


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- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING BOLLARDS/SIGNS
- SANITARY SEWER
- WATERMAIN
- STORM SEWER

UTILITY NOTES:

- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISCONSIN, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL CONTACT THE CITY OF WAUPUN PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC STORM SEWER. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR SHALL CONTACT THE CITY OF WAUPUN UTILITIES A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC SANITARY AND WATER. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING UTILITY SERVICES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONNECTING.
- CONTRACTOR MUST CONTACT AND IS REQUIRED TO NOTIFY THE CITY OF WAUPUN WATER UTILITY 48 HOURS IN ADVANCE OF CONNECTING TO THE PUBLIC UTILITY.
- ALL PRIVATE SANITARY BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-2.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-4.
- ALL PRIVATE STORM PIPE SHALL CONFORM TO SPS 382.40(B)4.A.
- ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 382.40-8.
- ALL LOCATIONS WHERE STORM SEWER AND WATER MAIN ARE CROSSING AND LESS THAN 3 FEET OF VERTICAL/HORIZONTAL SEPARATION IS PROVIDED, WATER MAIN SHALL BE INSULATED PER STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN LATEST EDITION. INSULATION SHALL CREATE A "BOX" ENLOSING THE TOP AND SIDES OF WATER MAIN.
- ADJUST ALL EXISTING PUBLIC WATER VALVE BOXES, HYDRANTS, MANHOLE CASTINGS, AND IN CASTINGS TO GRADE WITH ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY. REPLACE VALVE BOXES, HYDRANT SHOES, AND MANHOLE/INLET SECTIONS AS REQUIRED.
- SEE ELECTRICAL AND LIGHTING PLANS FOR SITE ELECTRIC, CABLE AND FIBER OPTICS FOR DETAILS AND ROUTING.
- IF BEDROCK IS ENCOUNTERED ALONG THE WATERMAIN ROUTE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE ENGINEER MAY AUTHORIZE THE WATERMAIN TO BE LAID ON TOP OF THE BEDROCK UP TO A MINIMUM OF FIVE(5) FEET OF COVER OVER THE TOP OF THE PIPE. IF WATERMAIN IS LAID WITH LESS THAN 7.0 FEET OF COVER, FOUR(4) INCHES OF 2'X8' POLYSTYRENE INSULATION SHALL BE CENTERED OVER THE WATERMAIN.



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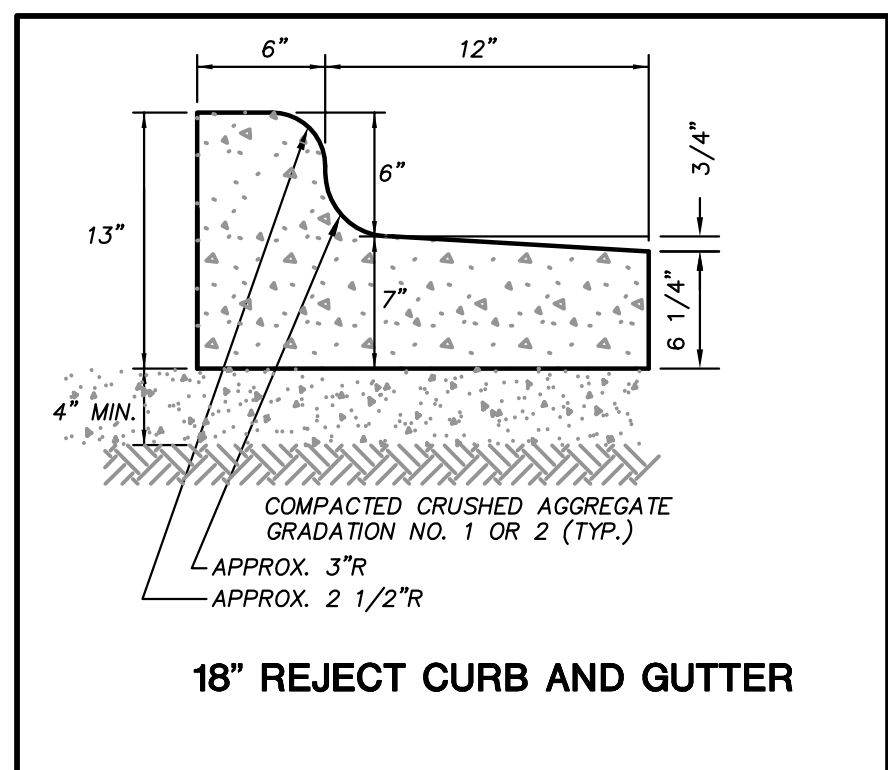
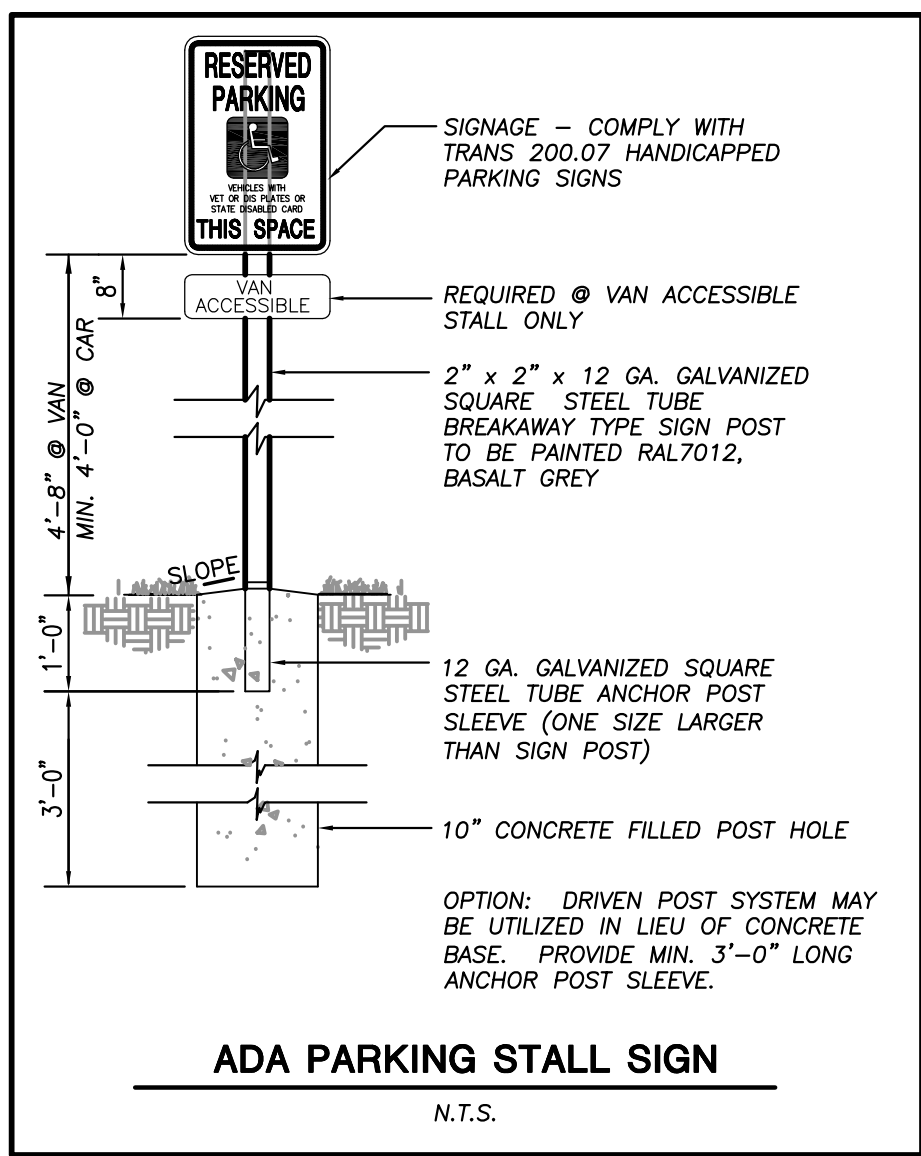
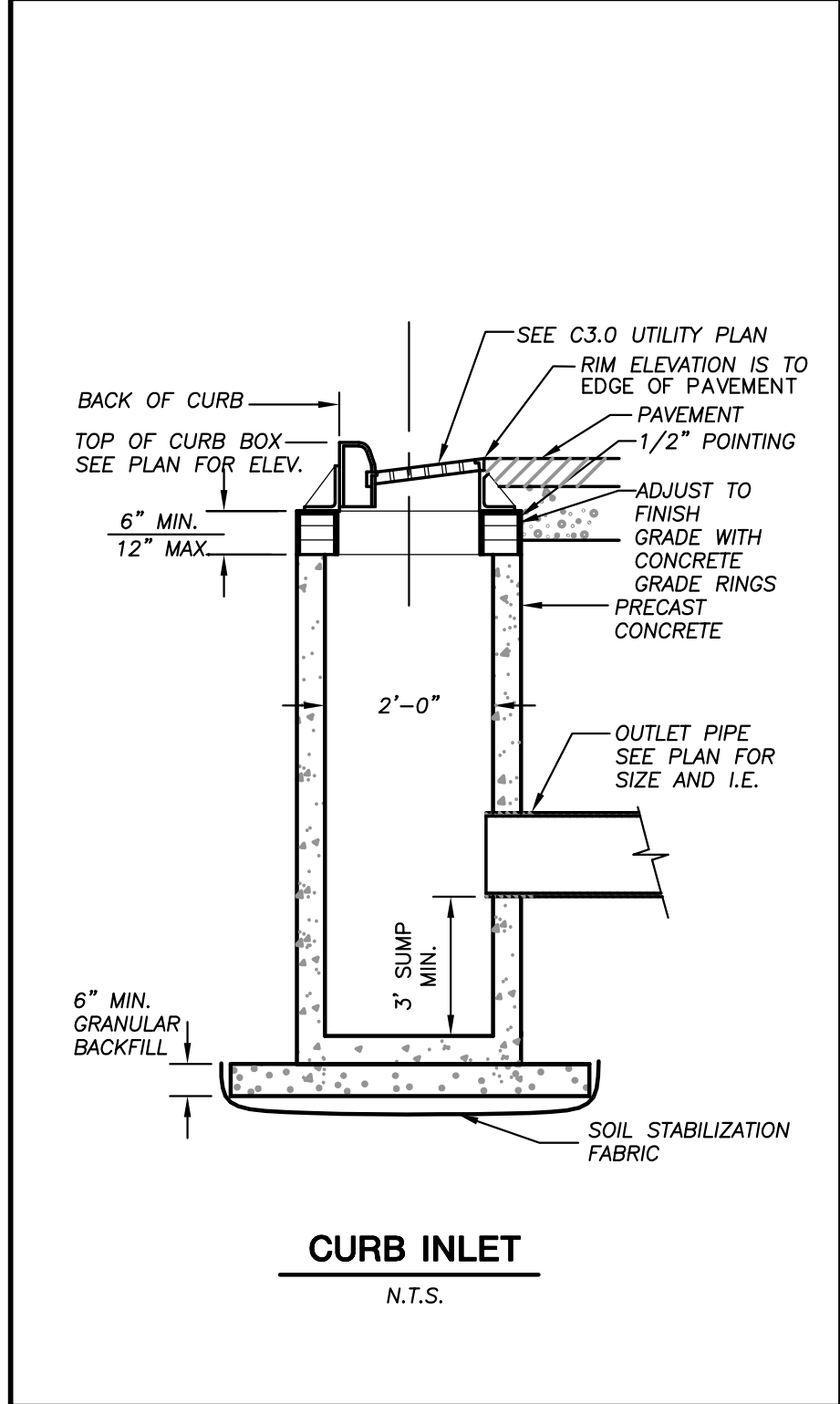
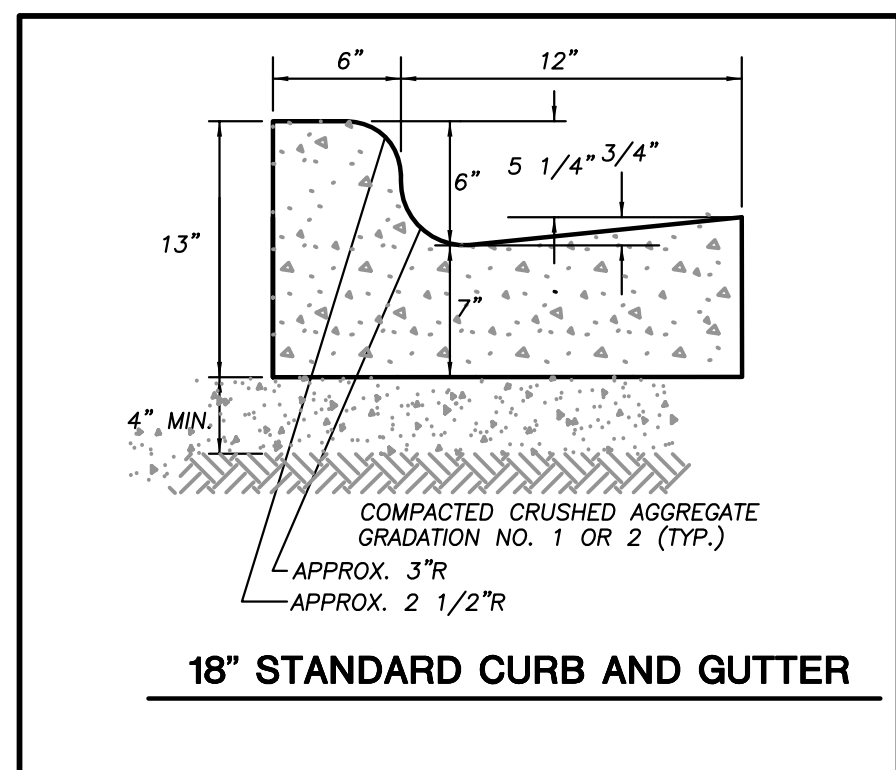
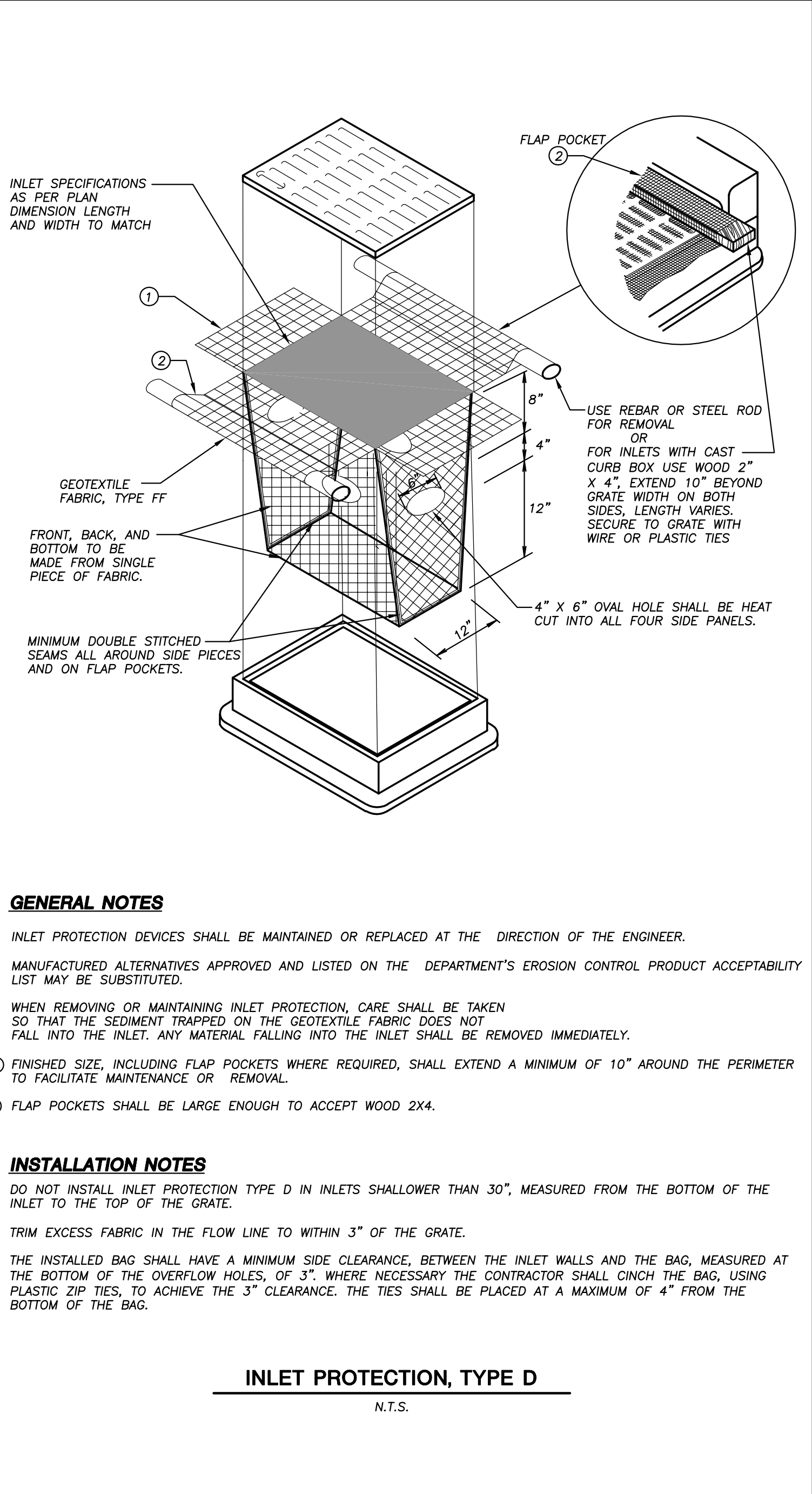
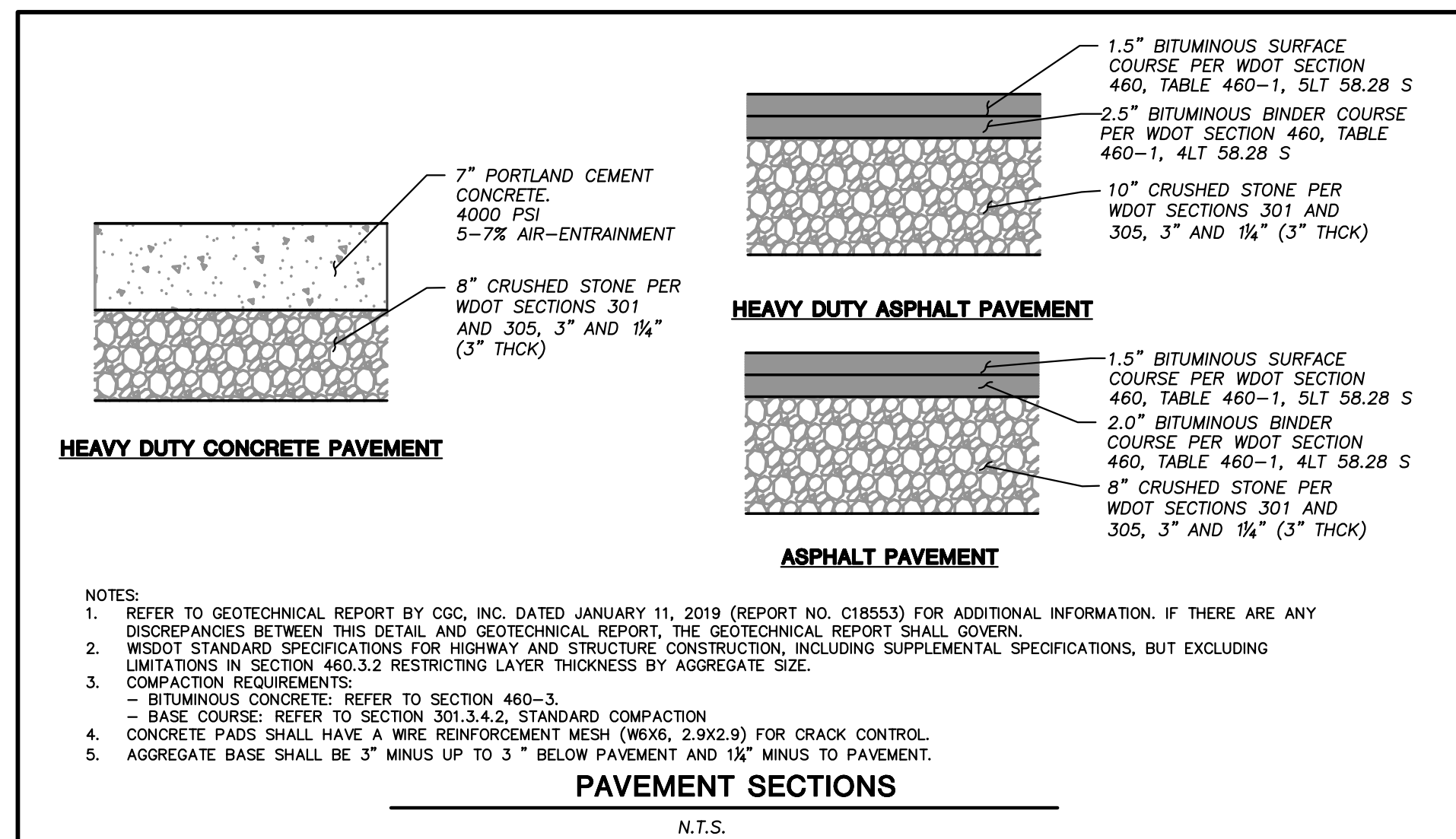
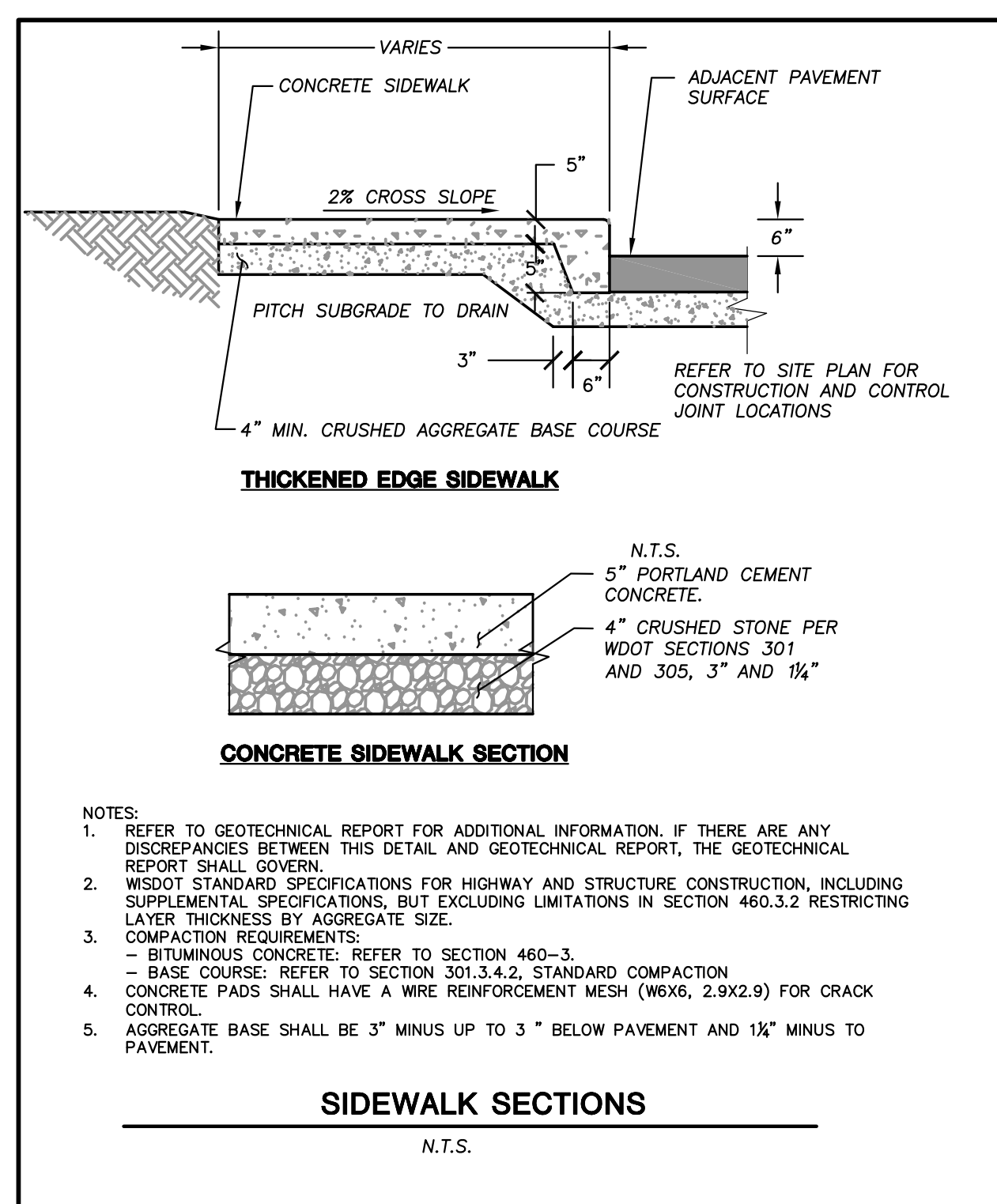
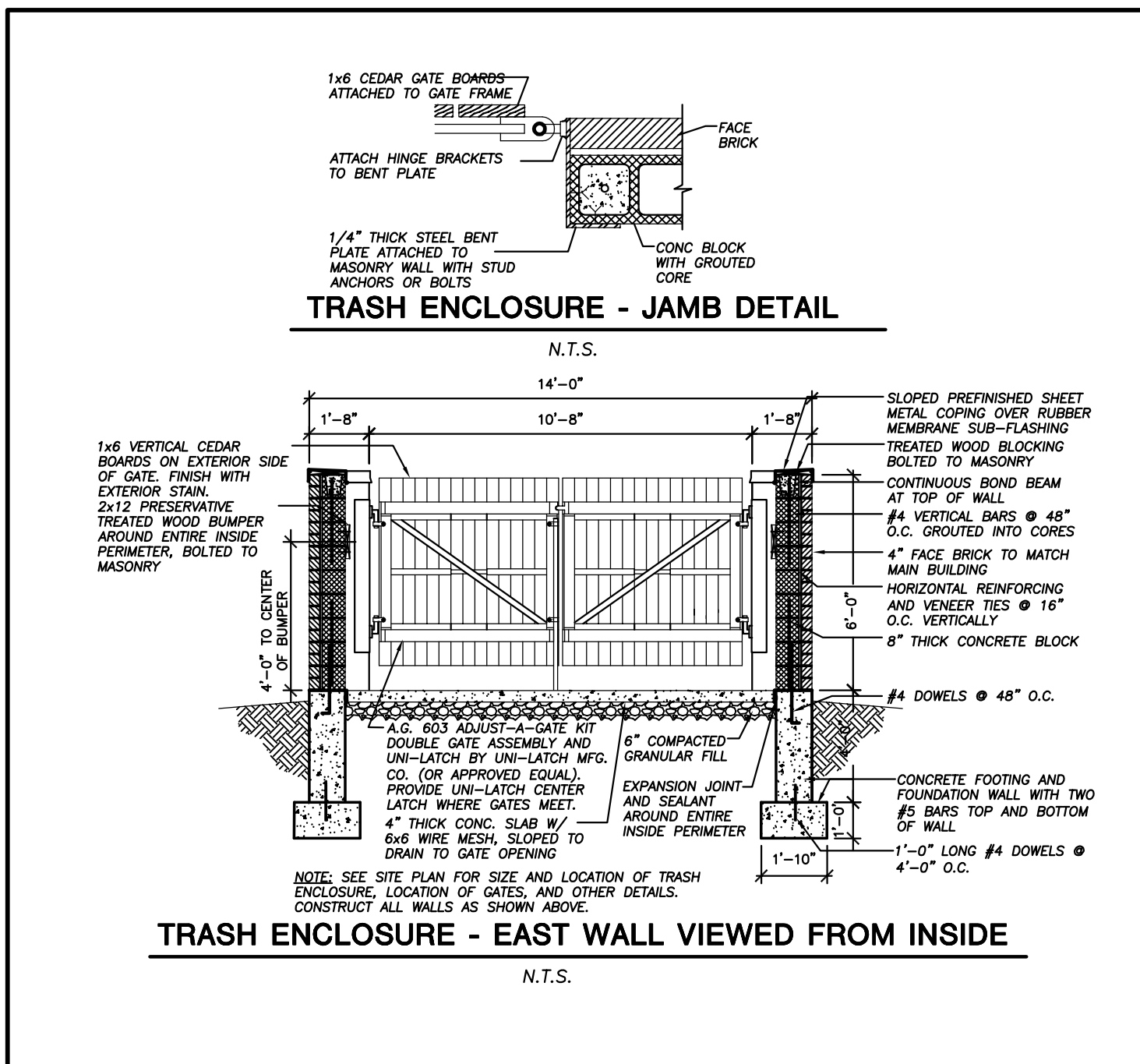
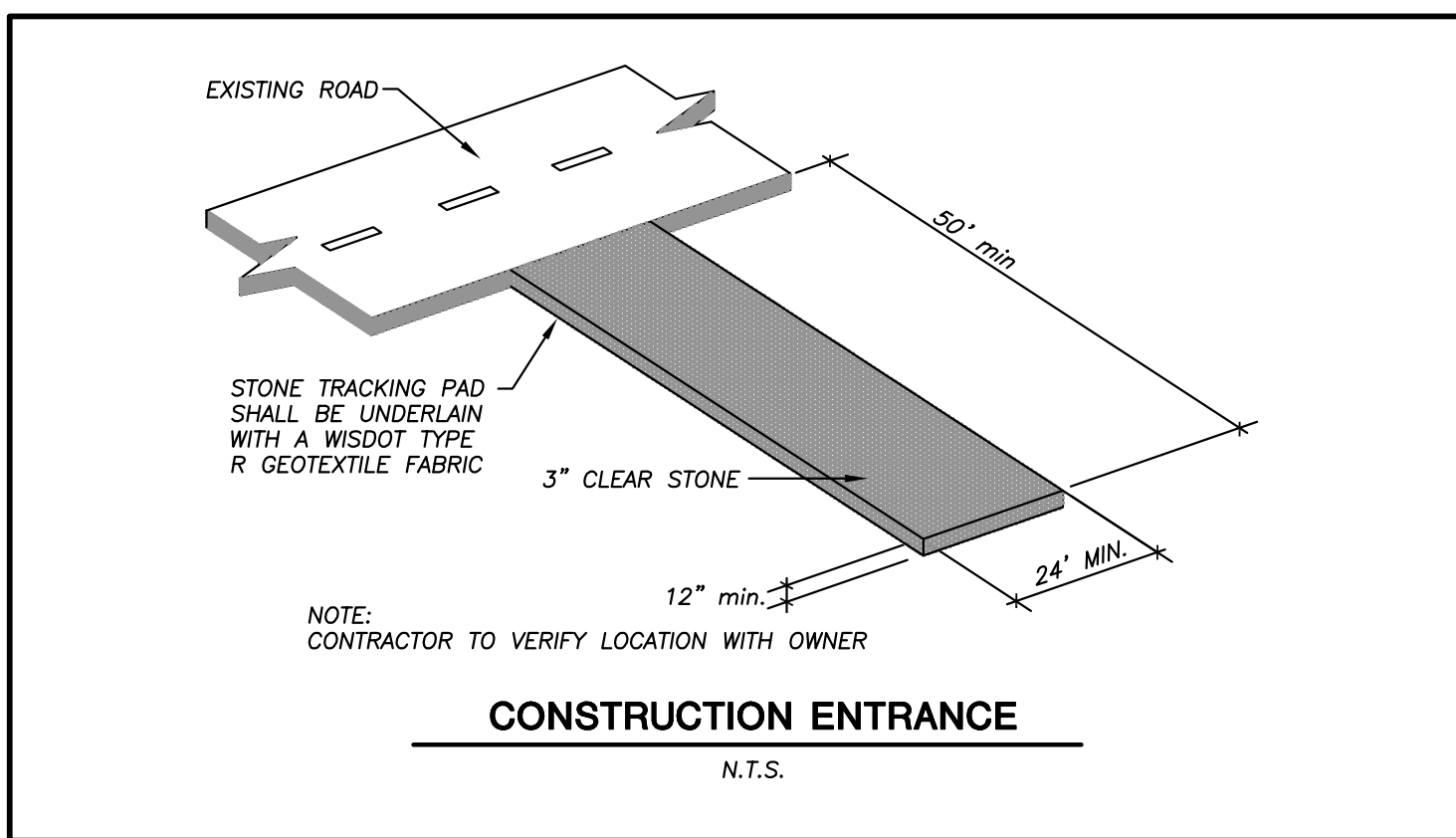
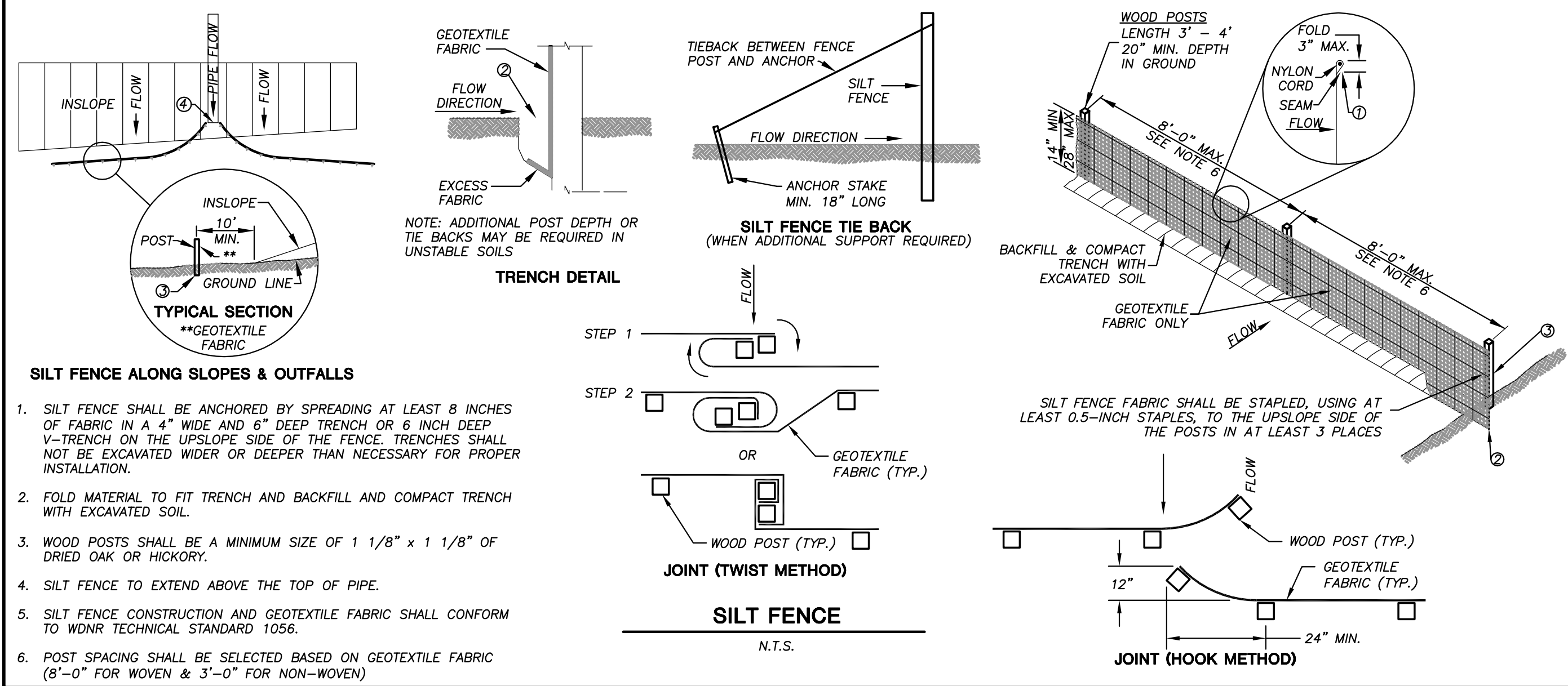
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UTILITY PLAN

SHEET NUMBER:

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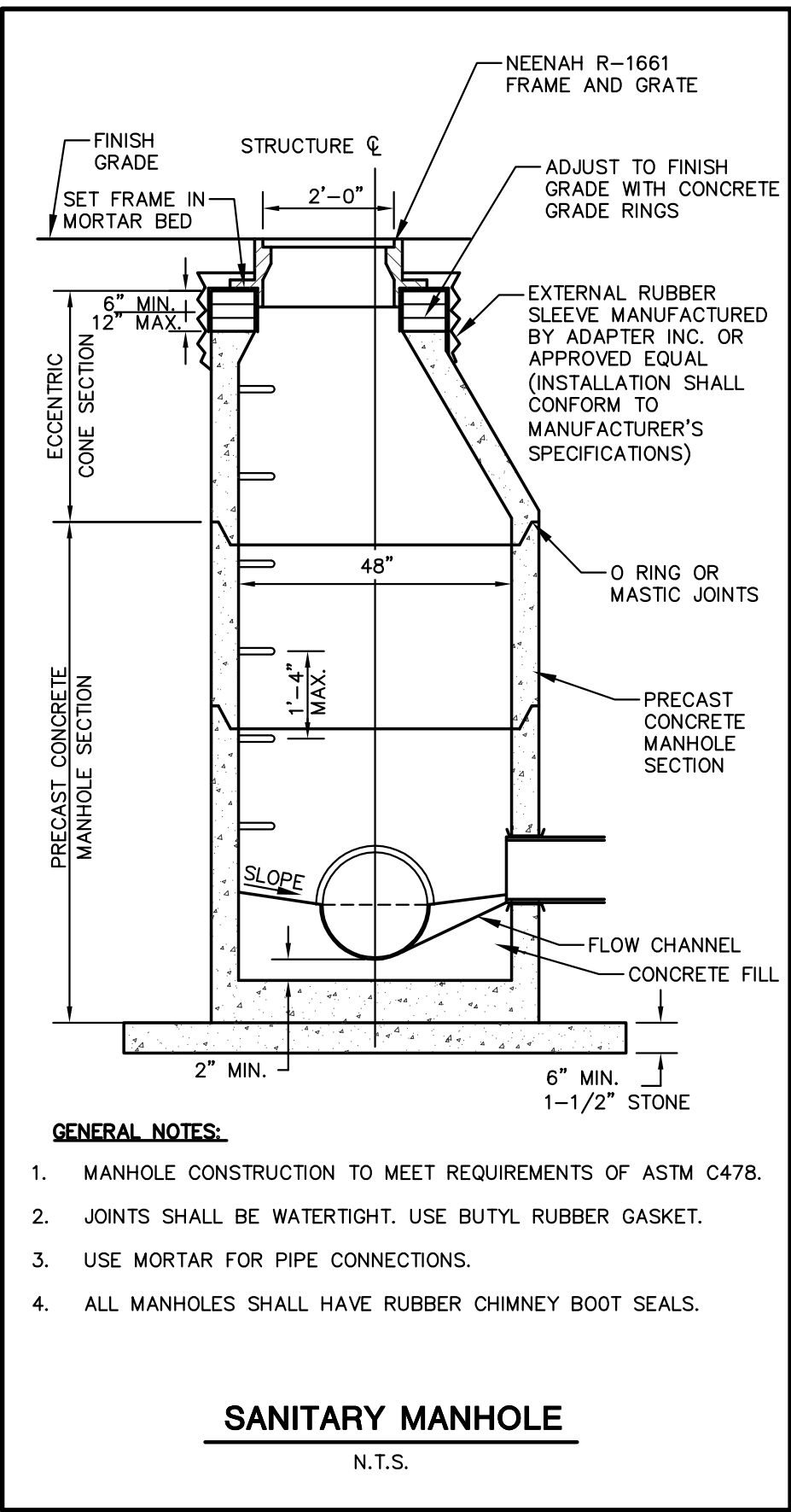
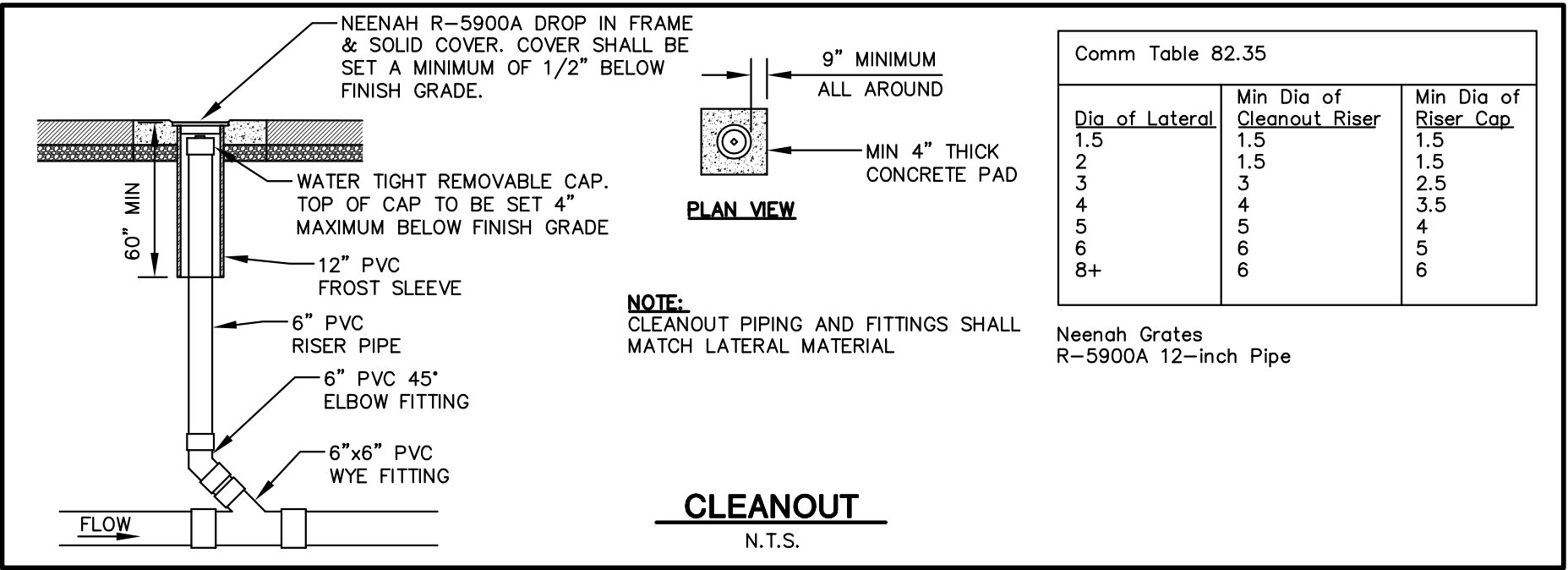
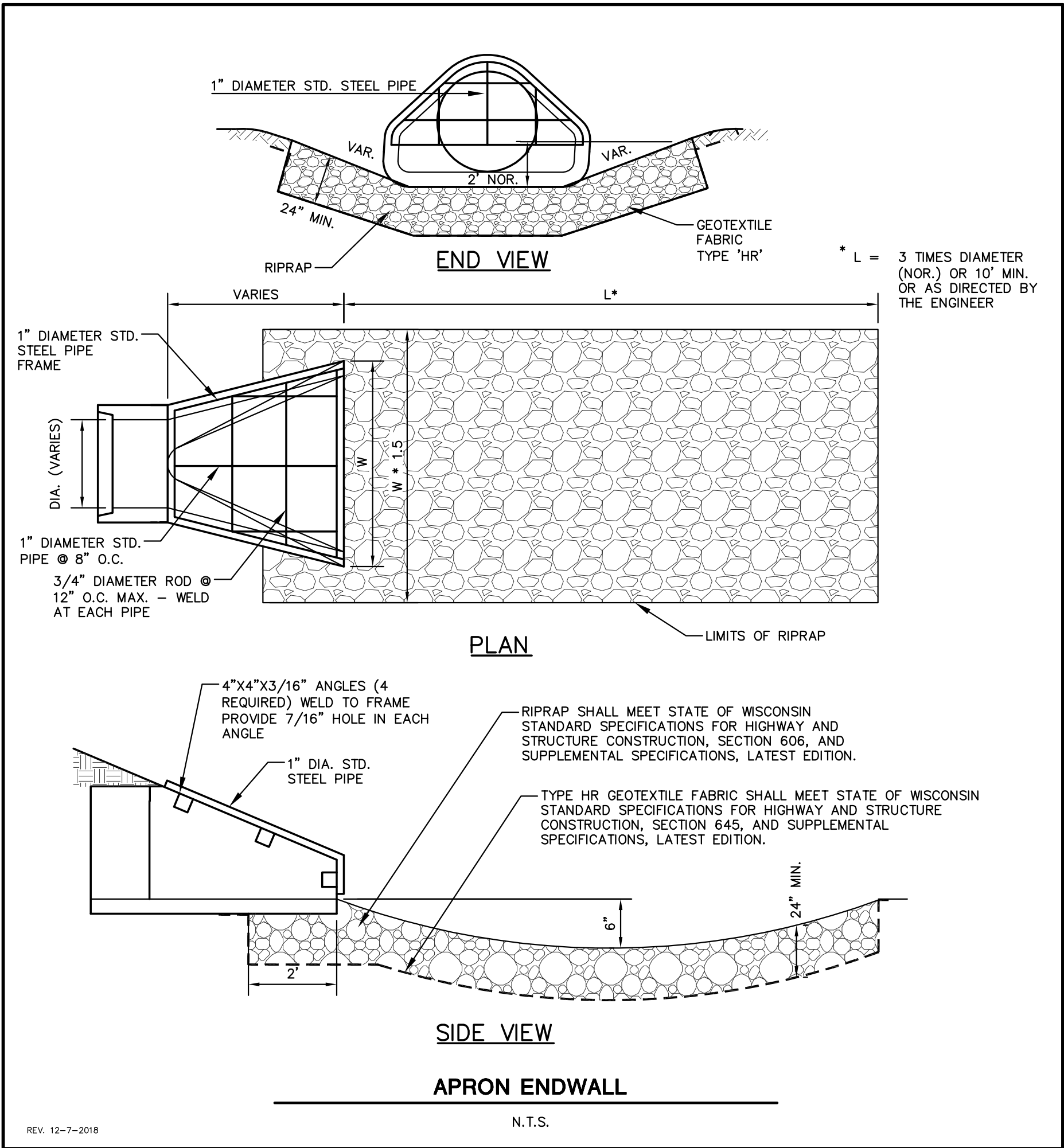
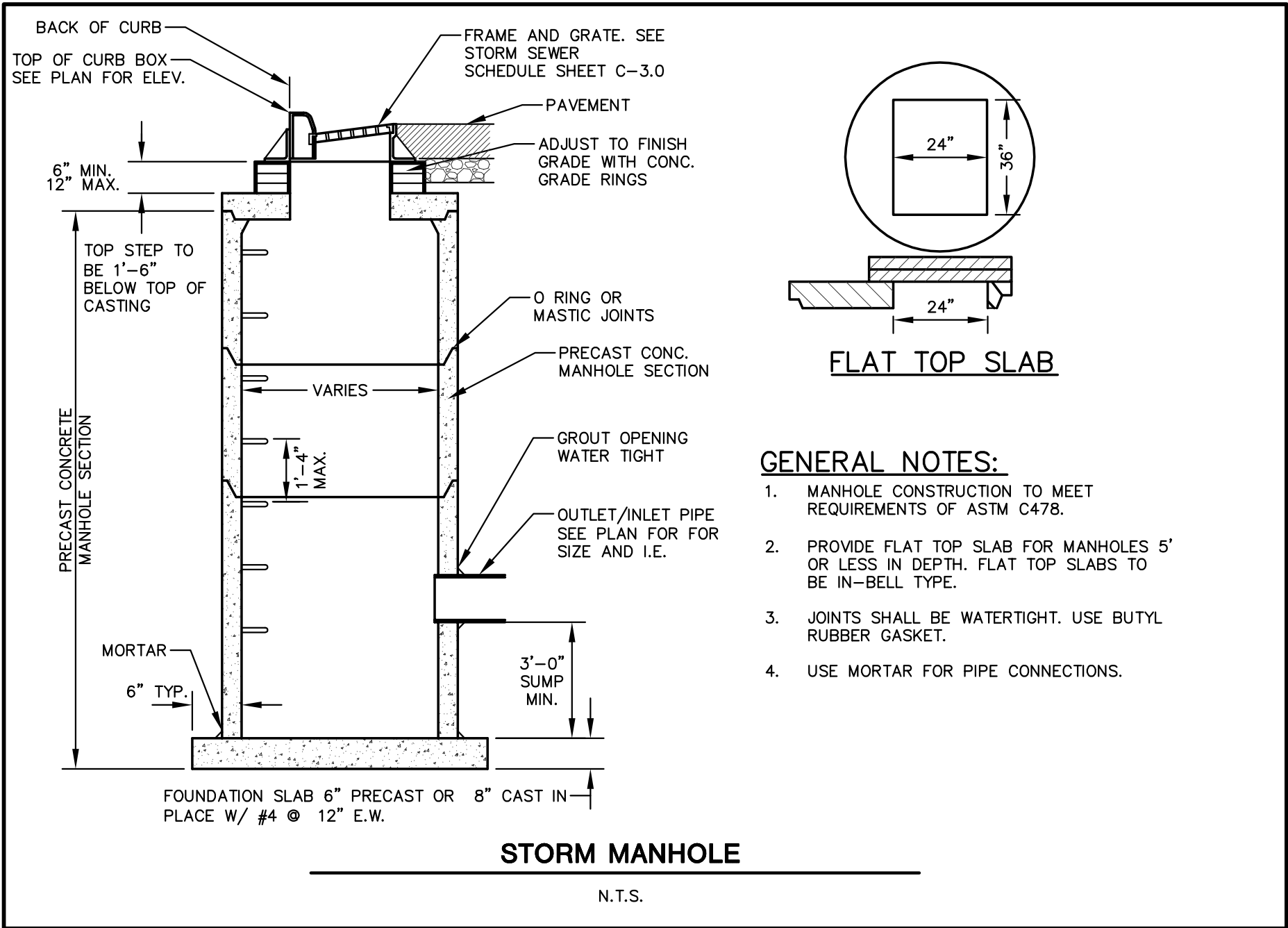
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PROJECT:
**SUMMIT CREDIT UNION-
WAUPUN**

PROJECT LOCATION:
**CITY OF WAUPUN
DODGE COUNTY, WI**

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.11.19	PLAN COMMISSION SUBMITTAL
2	02.05.19	PLAN COMMISSION RE-SUBMITTAL
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Design/Drawn: MSS
Approved: BHD

SHEET TITLE:

DETAILS

SHEET NUMBER:

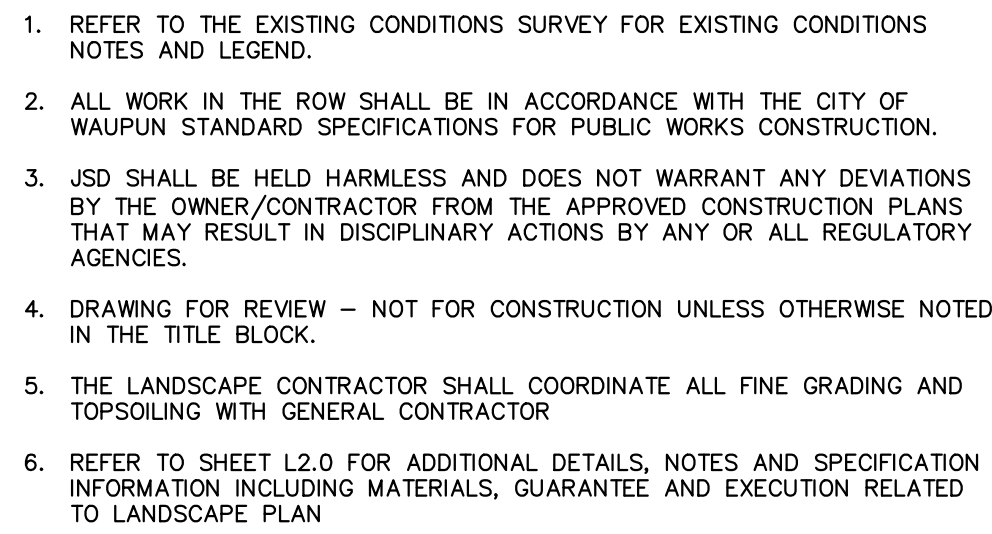
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JSD PROJECT NO:

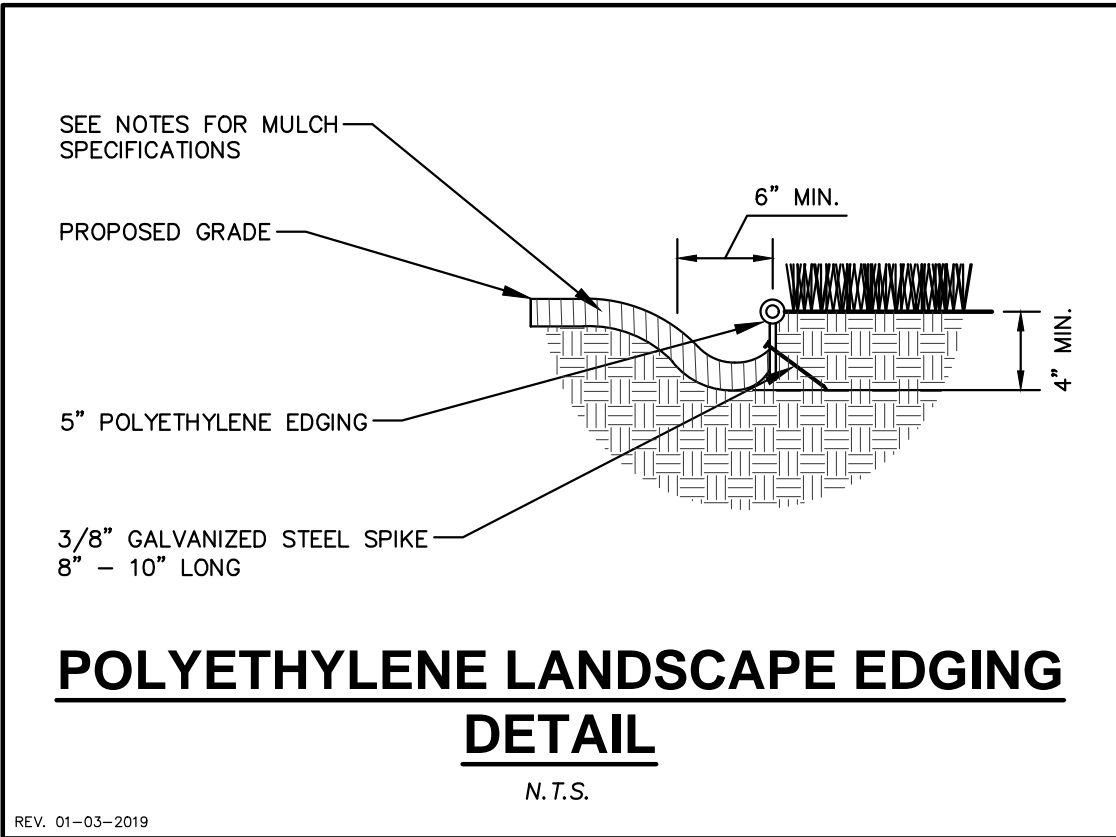
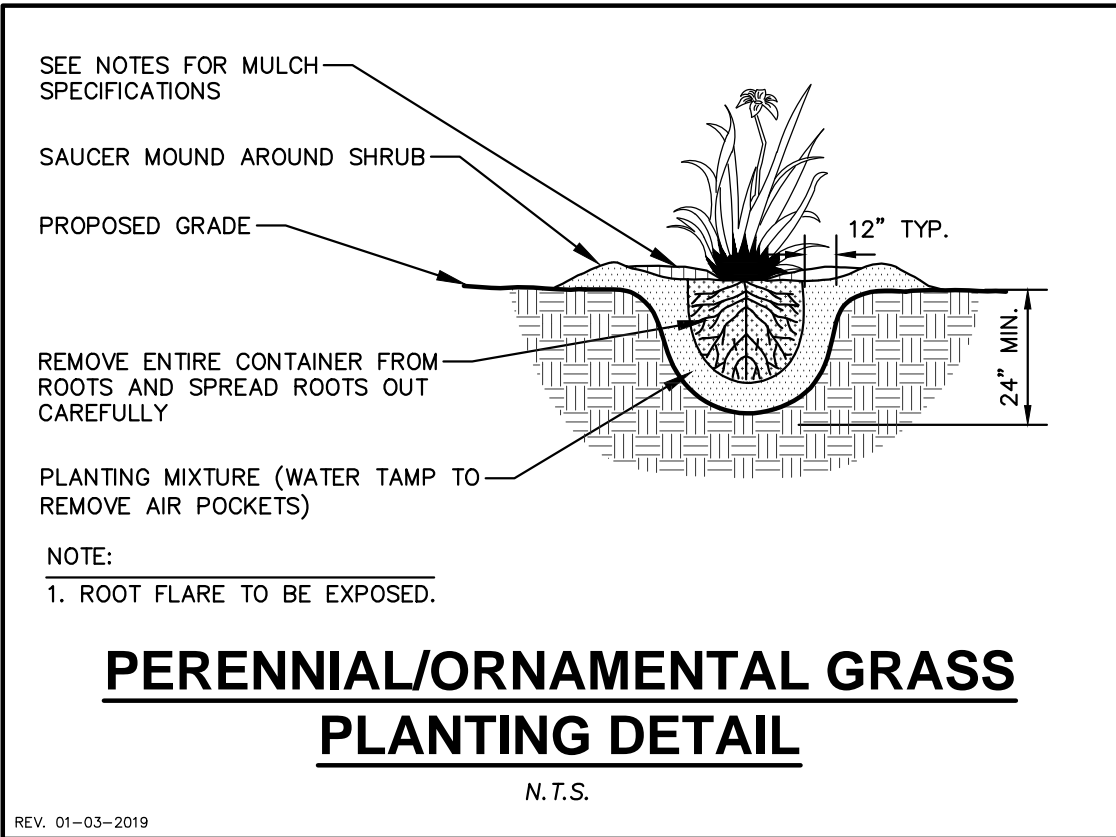
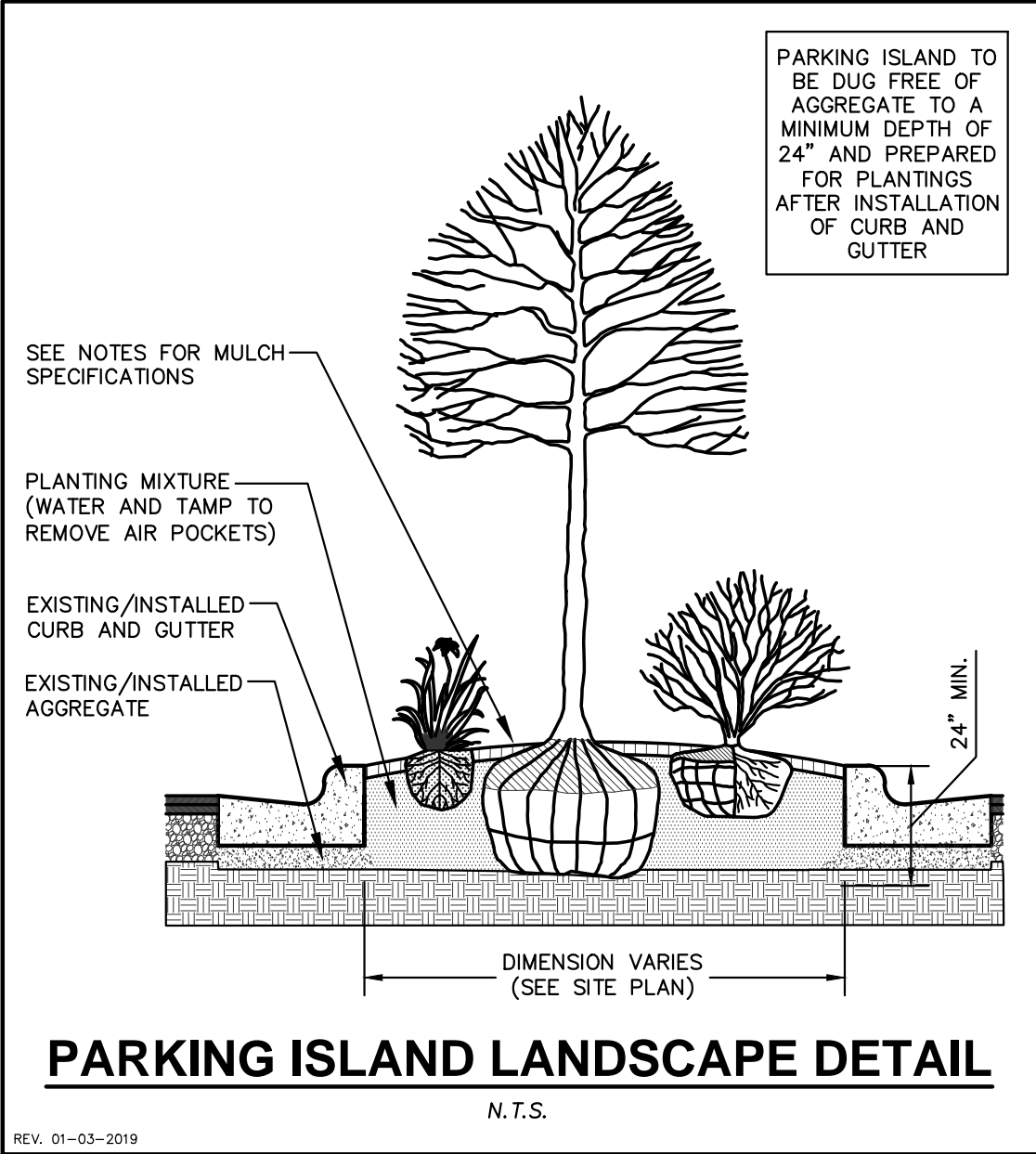
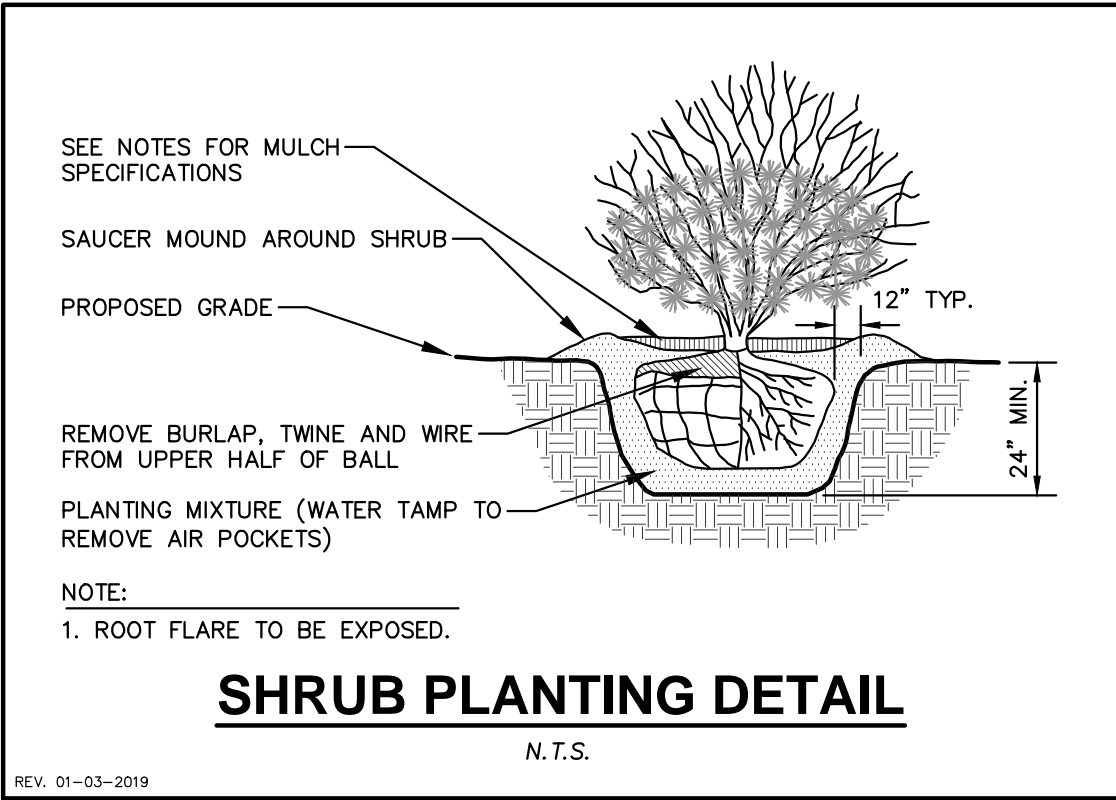
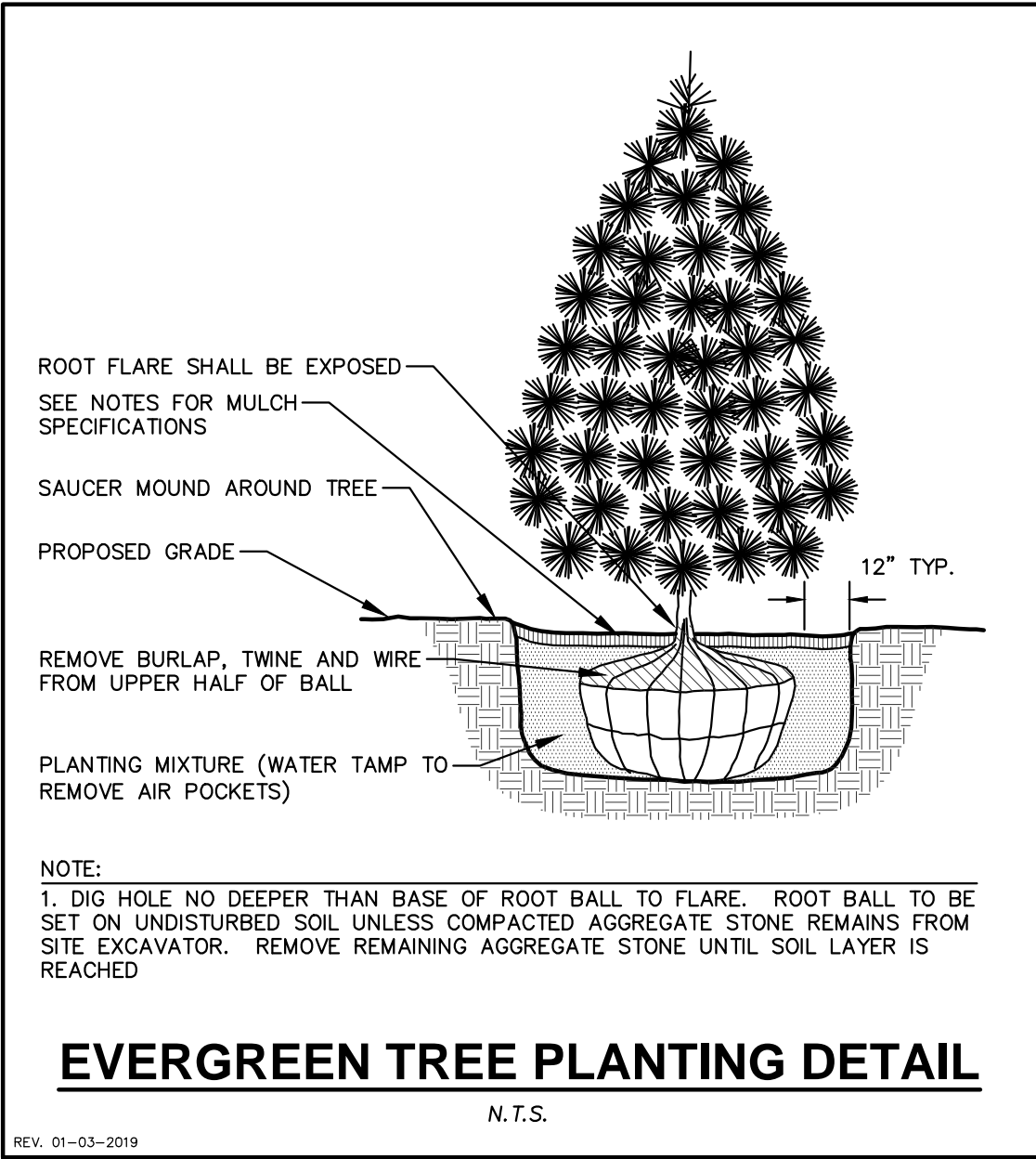
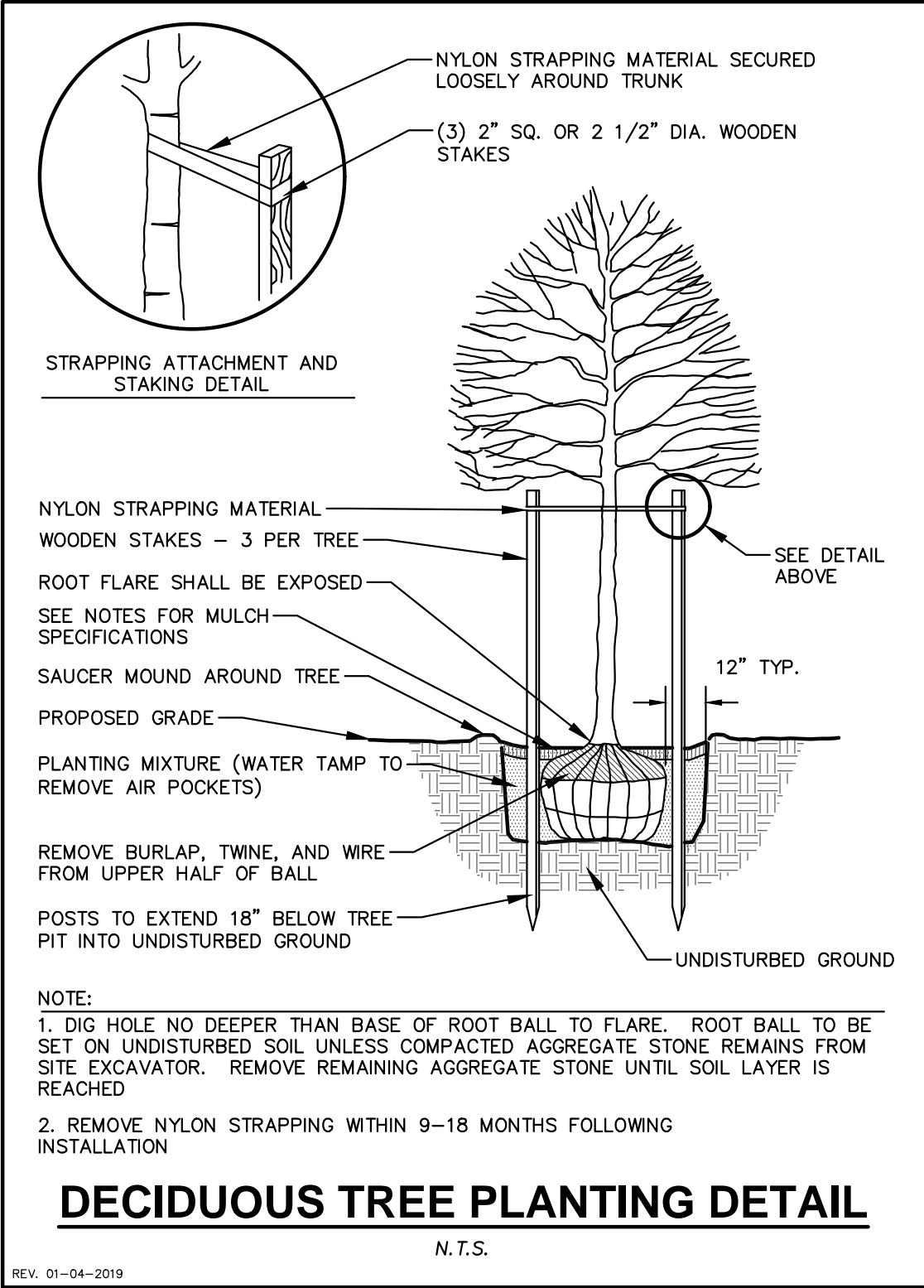
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DIGGERS HOTLINE
Toll Free (800) 242-8511



GENERAL NOTES

1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY LOCAL AGENCY OR UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY, IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
3. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SHRUBS AND SMALLER TREES SHALL NOT BE PLANTED IN AN AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

1. MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
2. MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
3. MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
4. MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 4" INCHES. DECORATIVE STONE MULCH TO BE 1-INCH MERRIMAC STONE AS PROVIDED BY MADISON BLOCK & STONE, MADISON, WI. APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
5. MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDER OR SODDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
6. MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
7. MATERIALS - IRRIGATION:
 - A. BASE BID: TEMPORARY DRIP IRRIGATION (DARK BROWN IN COLOR) TO BE INSTALLED IN ALL PLANT BEDS SURROUNDING THE BUILDING.
 - B. ALTERNATE BID: PERMANENT IN-GROUND IRRIGATION SYSTEM TO BE INSTALLED WITH COVERAGE AREA TO INCLUDE ALL PARKING LOT PERIMETER PLANT BEDS AND TURFGRASS AREAS.

SEEDING & SODDING NOTES

1. MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS
2. MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNKEEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

1. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
2. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
3. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDER AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
4. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:



CLIENT ADDRESS:

4800 AMERICAN PARKWAY
MADISON, WI 53718-8308

PRELIMINARY NOT FOR
CONSTRUCTION

PROJECT:

SUMMIT CREDIT UNION-
WAUPUN

PROJECT LOCATION:

CITY OF WAUPUN
DODGE COUNTY, WI

PLAN MODIFICATIONS:

#	Date:	Description:
1	01.11.19	PLAN COMMISSION SUBMITTAL
2	02.05.19	PLAN COMMISSION RE-SUBMITTAL
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Design/Drawn: MWS
Approved: MAS

SHEET TITLE:

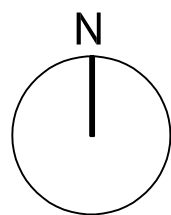
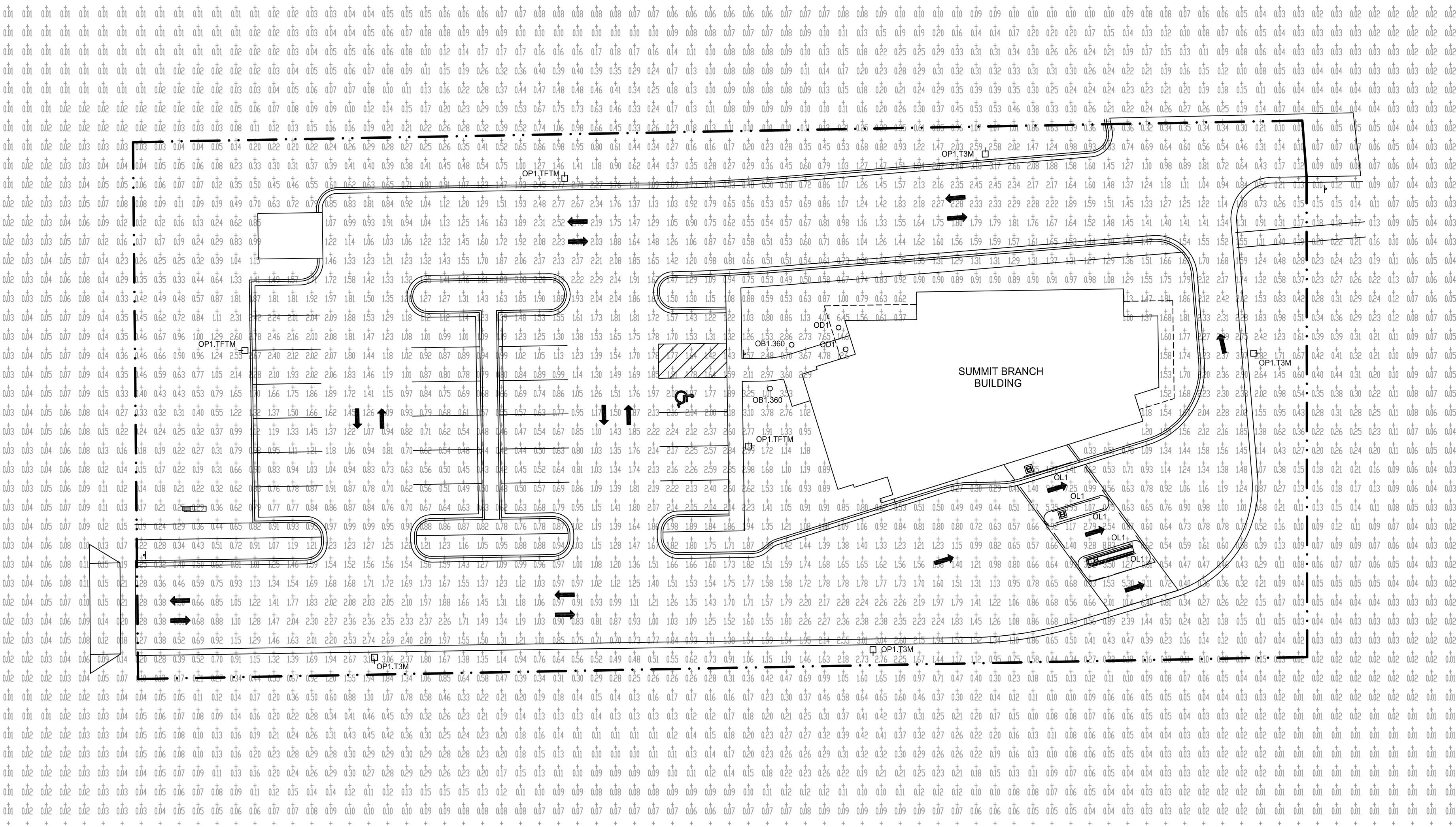
LANDSCAPE DETAILS,
NOTES &
SPECIFICATIONS

SHEET NUMBER:

L2.0

JSD PROJECT NO:






18-8818



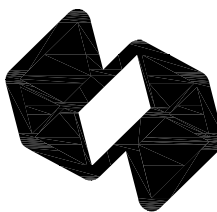
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EXTERIOR LIGHTING CALCULATIONS

SCALE 1" = 20'-0"

LUMINAIRE SCHEDULE		
SYMBOL	LABEL	DESCRIPTION
	OB1.360	360 DEGREE DISTRIBUTION BOLLARD, 4000K
	OP1.T3M	LED SITE LIGHT ON 18 FT POLE WITH A 6 INCH TALL CONCRETE BASE, 4000K
	OP1.TFTM	LED SITE LIGHT ON 18 FT POLE WITH A 6 INCH TALL CONCRETE BASE, 4000K
	OL1	LINEAR AIMABLE UP-LIGHT MOUNTED IN STRUCTURE OF CANOPY, 4000K
	OD1	EXTERIOR DOWNLIGHT, 4000K

SCHEMATIC DESIGN SET NOT FOR CONSTRUCTION					
REVISIONS					
NO.	DESCRIPTION	DATE			



STRANG

ARCHITECTURE | ENGINEERING | INTERIOR DESIGN
811 E. WASHINGTON AVE. SUITE 200 | MADISON, WI 53703

SCHEMATIC DESIGN SET | NOT FOR CONSTRUCTION |

PROJECT TITLE
SUMMIT BRANCH - WAUPUN

PROJECT TITLE

TBD SHALER DRIVE
WAUPUN, WI

SCHEMATIC DESIGN SET | NOT FOR CONSTRUCTION

SHEET NAME
EXTERIOR LIGHTING CALCULATIONS

PROJECT NO.

2018149	
07-2019	SHEET NO.

DRAWING SET

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LC100

LED Bollards with rotationally symmetrical distribution

Post construction: One piece extruded aluminum, with a one piece aluminum top housing and base, internally welded into an assembly. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: Heavy walled, die-cast aluminum cap. Clear $\frac{3}{16}$ " thick borosilicate glass with pure anodized aluminum cone reflector. Fully gasketed using high temperature silicone rubber O-ring gaskets.

Electrical: 14.4 W LED luminaire, 20 total system watts, -20°C start temperature. Integral 120 V through 277 V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. LED module(s) are available from factory for easy replacement.

Standard LED color temperature is 3000K with a >80 CRI. Available in 4000K (>80 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Anchor base: Heavy cast aluminum, slotted for precise alignment. Mounts to BEGA 79817 anchorage kit (supplied).

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations. Protection class IP65.

Luminaire Lumens: 746



	Lamp	A	B	Anchorage
99 570	14.4 W LED	6 1/2	39 3/4	79817



Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:

1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 www.bega-us.com
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SUMMIT CREDIT UNION
WAUPUN

TYPE: OB1.360



Gotham Architectural Downlighting
LED Downlights

2" Incito®
Adjustable, Lensed

Solid-State Lighting
(US and International Patents Pending)



FEATURES

OPTICAL SYSTEM

- Superior 100% virgin silicone refractive optic enables maximum dimensional stability and optical transmission with no discoloration over life.
- Primary control of distribution occurs in refractive optic allowing for aesthetic versatility with trim color and finish.
- Eleven preset distribution patterns allow designers to achieve various objectives.
- 3-Step MacAdam Ellipse.
- Self-flanged semi-specular or matte-diffuse lower trim utilized in combination with a highly transmissive softening lens.
- Field interchangeable optics.
- Wipe-down precision acrylic lens controls aperture brightness and enables consistent visual texture.

MECHANICAL SYSTEM

- Matte black enclosure ensures seamless integration into architecture.
- Post-installation vertical tilt and horizontal rotation adjustment possible from above or below ceiling.
- Accommodates 1/2" to 5/8" thick ceilings only.
- Full horizontal panning up to 365 degrees.
- 0-40° vertical tilt.
- Hot aiming below ceiling with indicator.
- Install from below architecture standard.
- Several additional mounting options available including new construction mounting pan, Chicago plenum, and Type IC.

- Standard ambient operating temperature: 25 °C. High ambient option available.
- Accommodates a wide range of applications including multiple plenum cross sections and ceiling thicknesses. Consult page 2.
- Light engine and driver are accessible from above or below ceiling.
- Flangeless trim option includes proprietary Gotham mud ring enabling seamless integration into drywall applications. Mud ring ships separately.

ELECTRICAL SYSTEM

- Solid-state LED light engine available in 2700 K, 3000 K, 3500 K or 4000 K color temperatures. Standard CRI: 80 typical. High CRI option available.
- Rated system life of >60,000 hours at 70% output.
- 120V TRIAC or ELV dimming and 0-10V dimming standard.
- Luminaire accepts parallel and branch circuit control wiring.

LISTINGS

- Fixtures are UL listed to meet US and Canadian standards; wet location listed.

WARRANTY

- 5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.

ORDERING INFORMATION

EXAMPLE: ICO ADJL 35/10 2AR LSS 20D MVOLT UGZ

Series	Color temperature	Nominal lumen values ¹	Aperture/Trim color	Trim Style	Finish	Beam
ICO ADJL	27/ 2700 K	05 500 lumens	2AR Clear	(blank) Self-flanged FL Flangeless	LSS Semi-specular LD Matte diffuse	15D 15° beam angle
	30/ 3000 K	07 750 lumens	2PR Pewter			20D 20° beam angle
	35/ 3500 K	10 1000 lumens	2WTR Wheat			25D 25° beam angle
	40/ 4000 K	15² 1500 lumens	2GR Gold			30D 30° beam angle
			2WR³ White			35D 35° beam angle
			2BR³ Black			40D 40° beam angle
						45D 45° beam angle
						3515D Elliptical 35° x 15° beam angle
						5020D Elliptical 50° x 20° beam angle
						5060D Elliptical 50° x 60° beam angle
						6070D Elliptical 60° x 70° beam angle

Voltage	Driver	Options
MVOLT⁴ 120 277	UGZ⁵ Universal dimming to 1% (0-10V, 120V TRIAC or ELV)	SF^{6,7} Single fuse TRW^{8,9} White painted flange TRBL^{8,10} Black painted flange CP¹¹ Chicago plenum NPP16D^{6,7} nLight® network power/relay pack with 0-10V dimming. NPP16DER^{6,7} nLight® network power/relay pack with 0-10V dimming. ER control fixtures on emergency circuit.
		CRI90 High CRI (90+) HAO² High ambient (40°C) ICAT² IC/Airtight housing construction NCH New construction housing

ACCESSORIES order as separate catalog numbers (shipped separately)

OPTC¹² OPTC2 KIT	Additional optics available for field installation Kit including a field interchangeable optic for each of the 13 preset beam distribution patterns	HS258 2-5/8" Hole saw HS234FL 2-3/4" Hole saw for flangeless trim option AW50 Allen wrench (.050") for adjusting tilt
----------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------

DATE

PROJECT

FIRM

TYPE

THE L50 INCLUDES PATENTED OPTICAL DESIGN THAT DELIVERS THE WIDEST RANGE OF BEAM ANGLE OPTIONS FOR PRECISE COVE, WALL GRAZING, WALL WASHING OR LINE OF LIGHT APPLICATIONS. EXCLUSIVE FLIP TO FLAT™ HINGE DESIGN PROVIDES FLEXIBILITY WHEN MANAGING SMALL COVE DETAILS. TROV OFFERS SMOOTH, FLICKER FREE DIMMING DOWN TO 0%.

FEATURES :

- DIM TO 0%, ELV REVERSE PHASE
- 24 BEAM ANGLES
- MULTI-VOLT
- FLIP TO FLAT™
- 6 CCT OPTIONS
- 80+ AND 90+ CRI OPTIONS
- IP54 INTERIOR AND IP66 EXTERIOR OPTIONS



MODEL/ SIZE	INTERIOR/ EXTERIOR	LENGTH	POWER	CCT	CRI	VOLTAGE	OPTICS
L50	I E	12" 48"	02 04 06 08 10 12	WHITE CCT 22 27 30 35 40 50	MONO COLOR GR*** BL AM RD***	80 90* Blank For Color	MULT (120-277V)
							GRAZING 9 x 9 9 x 17 9 x 29 9 x 59 15 x 15 15 x 23 15 x 35 15 x 65 COVE 120" Asym LINE OF LIGHT LOL WASHING 25 x 25 25 x 33 25 x 45 25 x 75 39 x 9 55 x 25 40 x 40 40 x 48 40 x 60 40 x 90 45 x 15 70 x 40 70 x 70

EXAMPLE: L50-I-48-10-27-90-MULT-15x65 *90 CRI not available in 2200K or 5000K **120 is only available with Exterior option. See L35 spec sheet for interior cove options. ***Red is not available in 12W or 10W. ***Green is not available in 12W.

PERFORMANCE	WATTS	OPTIC	LUMEN OUTPUT	EFFICACY
	2W	ASYM	110 lm/LF (361 lm/m)	55 lm/W
	4W	ASYM	302 lm/LF (1037 lm/m)	76 lm/W
	6W	ASYM	482 lm/LF (1614 lm/m)	80 lm/W
	8W	ASYM	675 lm/LF (2224 lm/m)	84 lm/W
	10W	ASYM	785 lm/LF (2644 lm/m)	79 lm/W
	12W	ASYM	923 lm/LF (2752 lm/m)	77 lm/W

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

COLOR RENDERING INDEX

80+, 90+

COLOR CONSISTENCY

2-STEP MACADAM ELLIPSE

LUMEN DEPRECIATION / RATED LIFE

WATTS	L70 @ 25C	L70 @ 50C	L90 @ 25C	L90 @ 50C
2W-12W	>150,000	>70,000	>50,000	>25,000

* CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

ELECTRICAL**POWER CONSUMPTION**

2W*/LF (6.6W/M); 4W/LF (13.2W/M); 6W/LF (19.8W/M); 8W/LF (26.4W/M); 10W/LF (33W/M); 12W/FL (39.6W/M)
 * 3W/LF (9.9W/M) at 220V -277V

MAX FIXTURE RUN LENGTH

	2W/LF		4W/LF		6W/LF		8W/LF		10W/LF		12W/LF	
Volts	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'
120	214	214	186	186	152	152	114	114	91	91	76	76
220	374	392	340	340	277	277	209	209	95	167	95	139
277	374	494	374	428	349	349	263	263	95	190	95	175

POWER FACTOR

4W, 6W, 8W, 10W, 12W >0.9, 2W<0.9

OPERATING VOLTAGE

MULTIVOLT: 110-277VAC, 50/60 Hz

DRIVER

INTEGRAL TO FIXTURE; DE-RATED POWER AND SYNCHRONOUS START-UP AT FULL BRIGHTNESS

STARTUP TEMPERATURE

-40°F TO 122°F (-40°C TO 50°C)

OPERATING TEMPERATURE

-40°F TO 122°F (-40°C TO 50°C)

STORAGE TEMPERATURE

-40°F TO 176°F (-40°C TO 80°C)

ECOSENSE LIGHTING INC.
 837 NORTH SPRING STREET
 SUITE 103
 LOS ANGELES, CA 90012

P • 310.496.6255
F • 310.496.6256
T • 855.632.6736
 855.6.ECOSEN

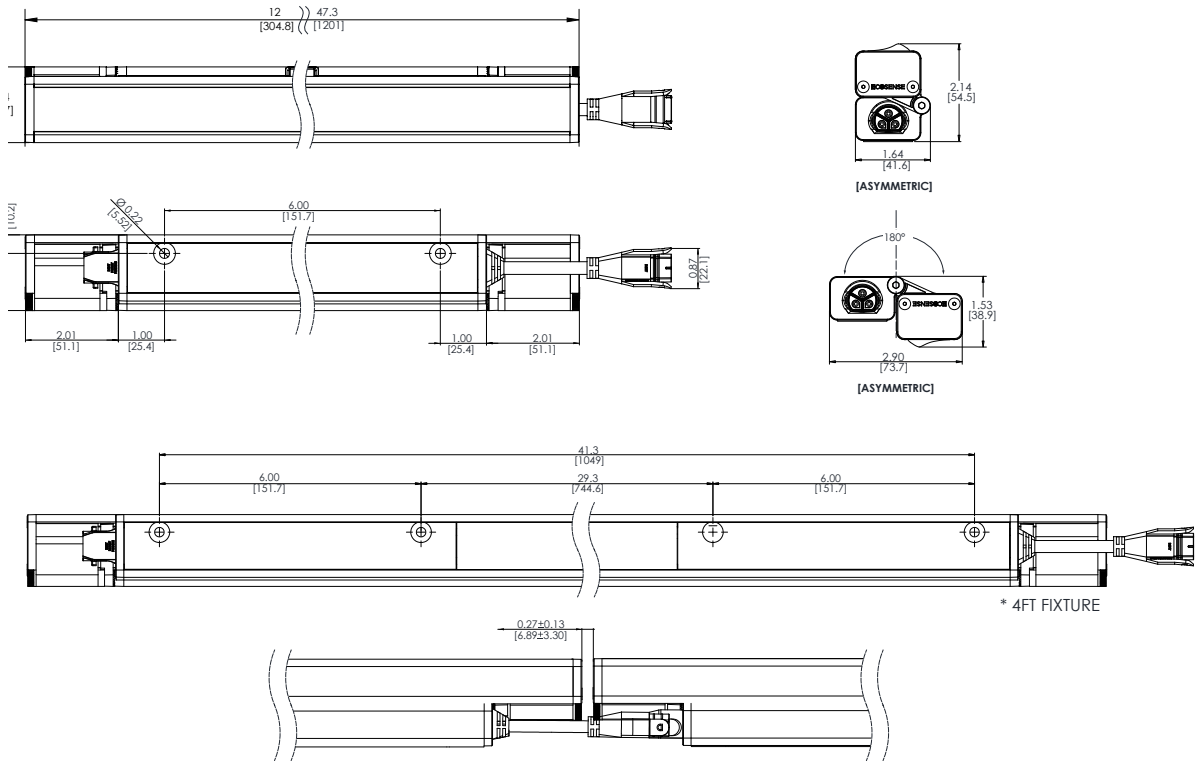
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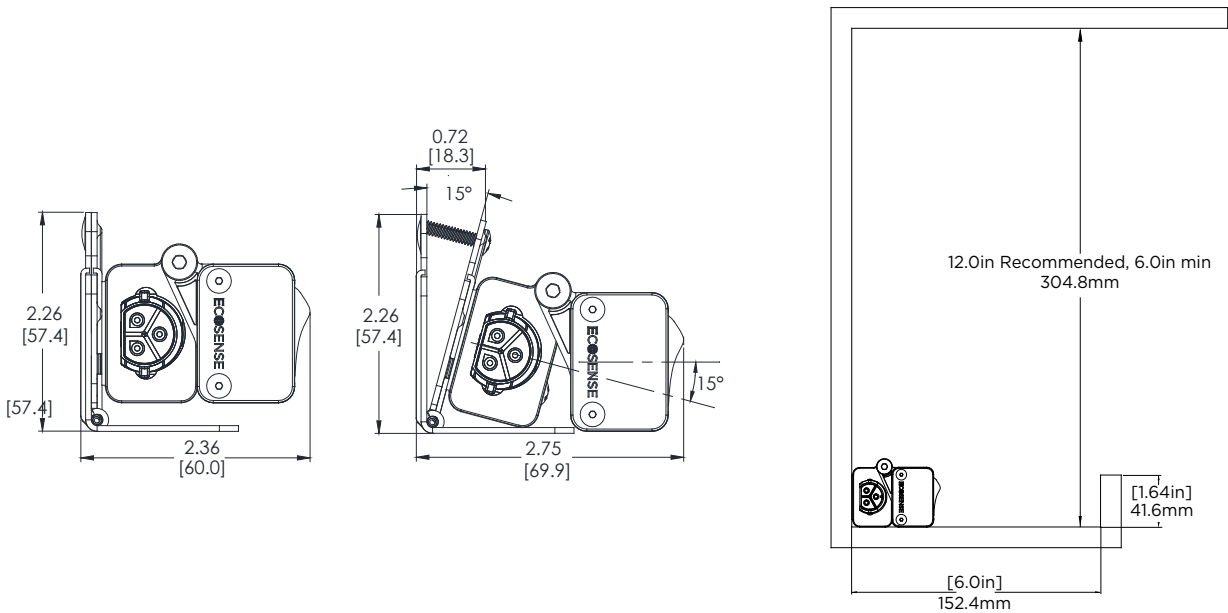
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DATE	PROJECT	FIRM	TYPE
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Fine Adjustable L-Bracket:



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3/3

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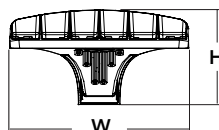
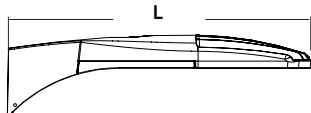
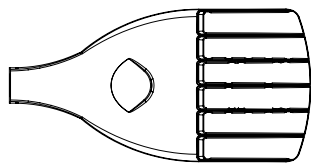
D-Series Size 0 LED Area Luminaire



d'series

Specifications

EPA: 0.95 ft²
(.09 m²)
Length: 26"
(66.0 cm)
Width: 13"
(33.0 cm)
Height: 7"
(17.8 cm)
Weight (max): 16 lbs
(7.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

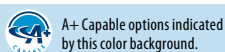
A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD

DSX0 LED						
Series	LEDs	Color temperature	Distribution		Voltage	Mounting
DSX0 LED	Forward optics	30K 3000 K	T1S Type I short	T5S Type V short	MVOLT ^{4,5}	Shipped included
	P1 P4 P7	40K 4000 K	T2S Type II short	T5M Type V medium	120 ⁶	
	P2 P5	50K 5000 K	T2M Type II medium	T5W Type V wide	208 ^{5,6}	SPA Square pole mounting
	P3 P6	AMBPC Amber phosphor converted ²	T3S Type III short	BLC Backlight control ^{2,3}	240 ^{5,6}	RPA Round pole mounting
	Rotated optics		T3M Type III medium	LCCO Left corner cutoff ^{2,3}	277 ⁶	WBA Wall bracket
	P10 ¹ P12 ¹		T4M Type IV medium	RCCO Right corner cutoff ^{2,3}	347 ^{5,6,7}	SPUMBA Square pole universal mounting adaptor ⁸
	P11 ¹ P13 ¹		TFTM Forward throw medium		480 ^{5,6,7}	RPUMBA Round pole universal mounting adaptor ⁸
			T5VS Type V very short			Shipped separately
						KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹
Control options						Other options
Shipped installed			PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,13,14}			Shipped installed
NLTAIR2	nLight AIR generation 2 enabled ¹⁰		BL30 Bi-level switched dimming, 30% ^{5,16,17}			HS House-side shield ²⁰
PER	NEMA twist-lock receptacle only (control ordered separate) ¹¹		BL50 Bi-level switched dimming, 50% ^{5,16,17}			SF Single fuse (120, 277, 347V) ⁶
PER5	Five-wire receptacle only (control ordered separate) ^{11,12}		PNMTDD3 Part night, dim till dawn ^{5,18}			DF Double fuse (208, 240, 480V) ⁶
PER7	Seven-wire receptacle only (control ordered separate) ^{11,12}		PNMTSD3 Part night, dim 5 hrs ^{5,18}			L90 Left rotated optics ¹
DMG	0-10V dimming extend out back of housing for external control (control ordered separate)		PNMT6D3 Part night, dim 6 hrs ^{5,18}			R90 Right rotated optics ¹
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,13,14}		PNMT7D3 Part night, dim 7 hrs ^{5,18}			DDL Diffused drop lens ²⁰
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,13,14}		FAO Field adjustable output ¹⁹			Shipped separately
PIRHN	Network, Bi-Level motion/ambient sensor ¹⁵					BS Bird spikes ²¹
PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,13,14}					EGS External glare shield ²¹
						Finish (required)
						DDBXD Dark bronze
						DBLXD Black
						DNAXD Natural aluminum
						DWHXD White
						DDBTXD Textured dark bronze
						DBLTXD Textured black
						DNATXD Textured natural aluminum
						DWHGXD Textured white

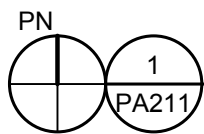


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DSX0-LED
Rev. 03/21/18
Page 1 of 7

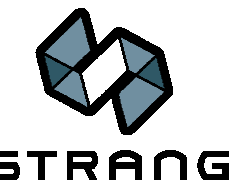
SUMMIT CREDIT UNION
WAUPUN

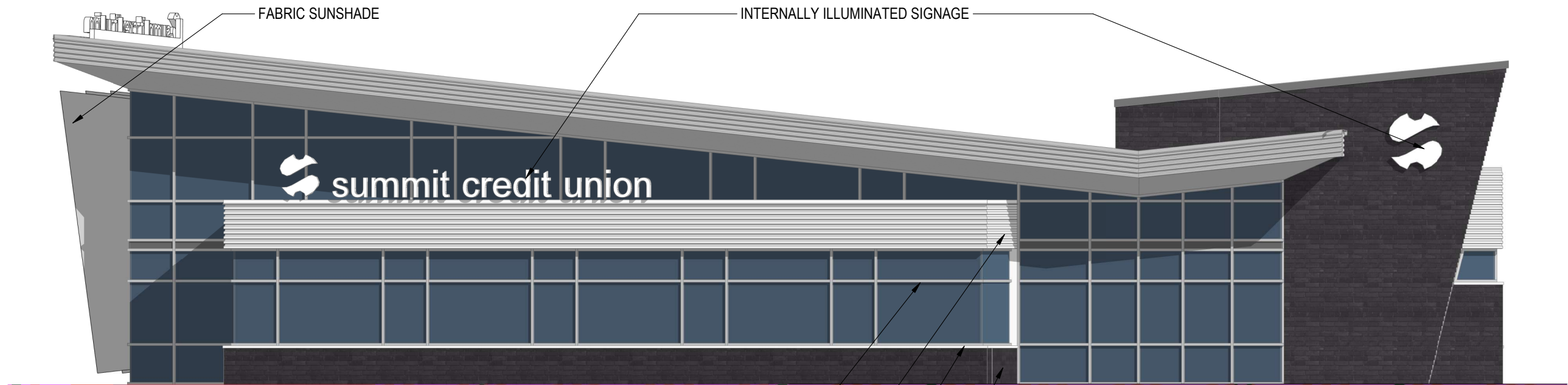
TYPE: OP1
18' POLE



CONCEPT SITE PLAN

SCALE: 1/8" = 1'-0"





1
PA411A

NORTH ELEVATION

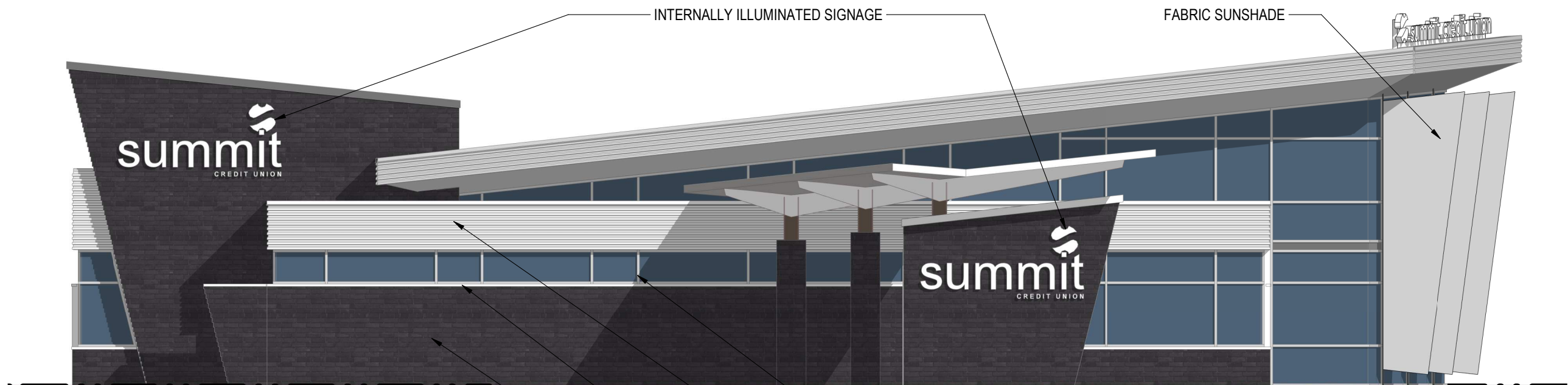
SCALE: 1/8" = 1'-0"

ALUMINUM STOREFRONT SYSTEM. CLEAR
ANODIZED ALUMINUM FINISH.

SILVER METALLIC RIBBED METAL PANEL.
MATCHES FINISH OF WINDOW FRAMES.

SILVER METALLIC SILL FLASHING

ENDICOTT MANGANESE
IRONSPOT BRICK



2
PA411A

SOUTH ELEVATION

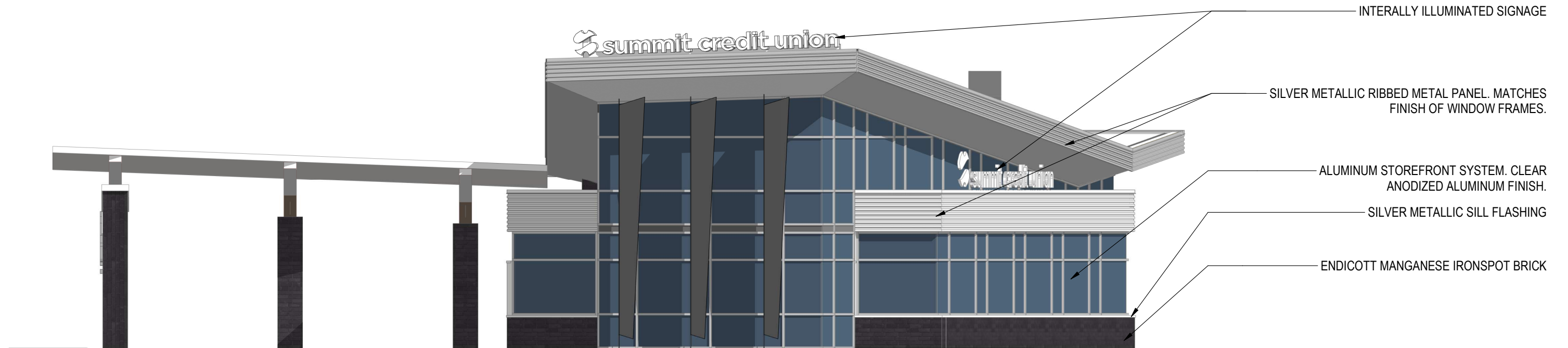
SCALE: 1/8" = 1'-0"

ALUMINUM STOREFRONT SYSTEM. CLEAR
ANODIZED ALUMINUM FINISH.

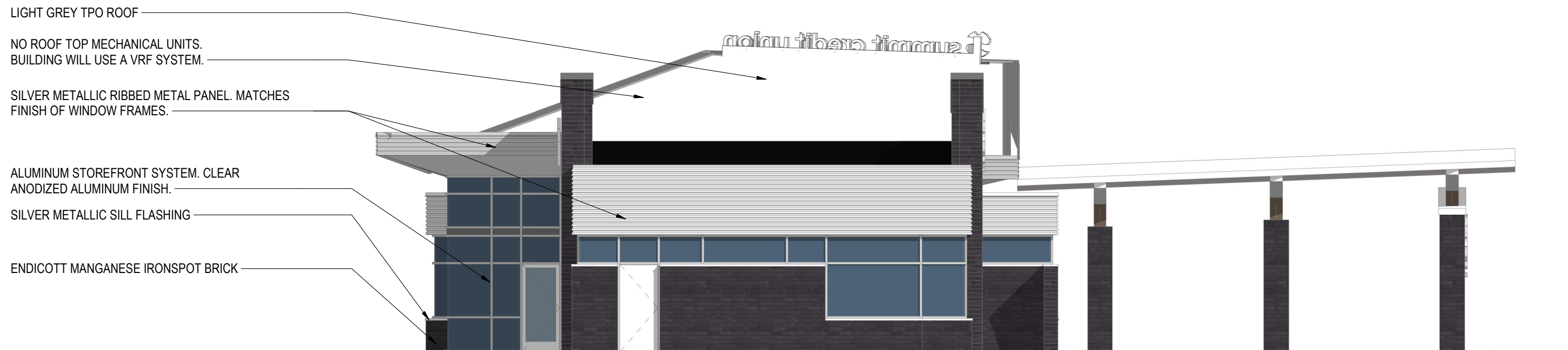
SILVER METALLIC RIBBED METAL PANEL.
MATCHES FINISH OF WINDOW FRAMES.

SILVER METALLIC SILL FLASHING

ENDICOTT MANGANESE
IRONSPOT BRICK



1 **EAST ELEVATION**
PA411B SCALE: 1/8" = 1'-0"



2 **WEST ELEVATION**
PA411B SCALE: 1/8" = 1'-0"

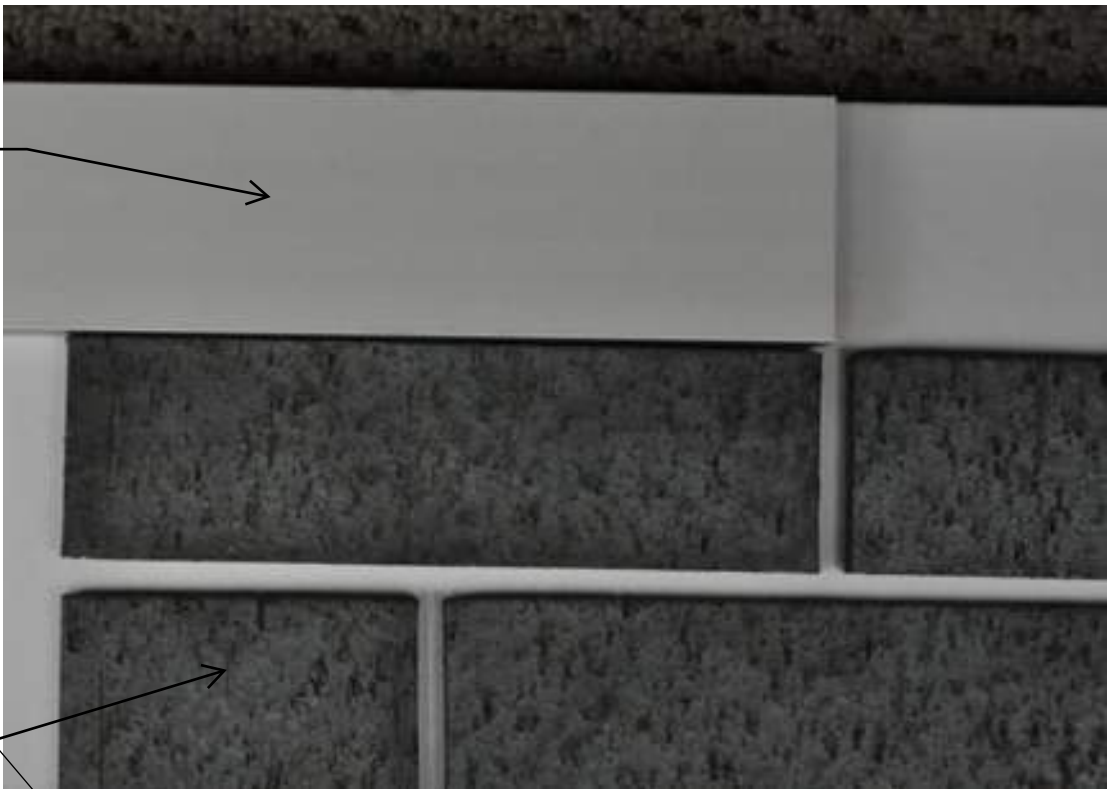
MA001 - Exterior Building Materials



Silver Metallic Ribbed Metal Panel
Used above exterior window heads. Copings, accent trim, and roof overhang fascias are finished to match the ribbed metal panels.

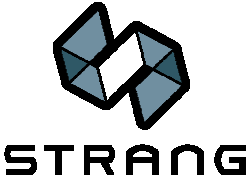
Endicott Manganese Ironspot Brick
More than 50% of the non-window exterior surface of the building is brick

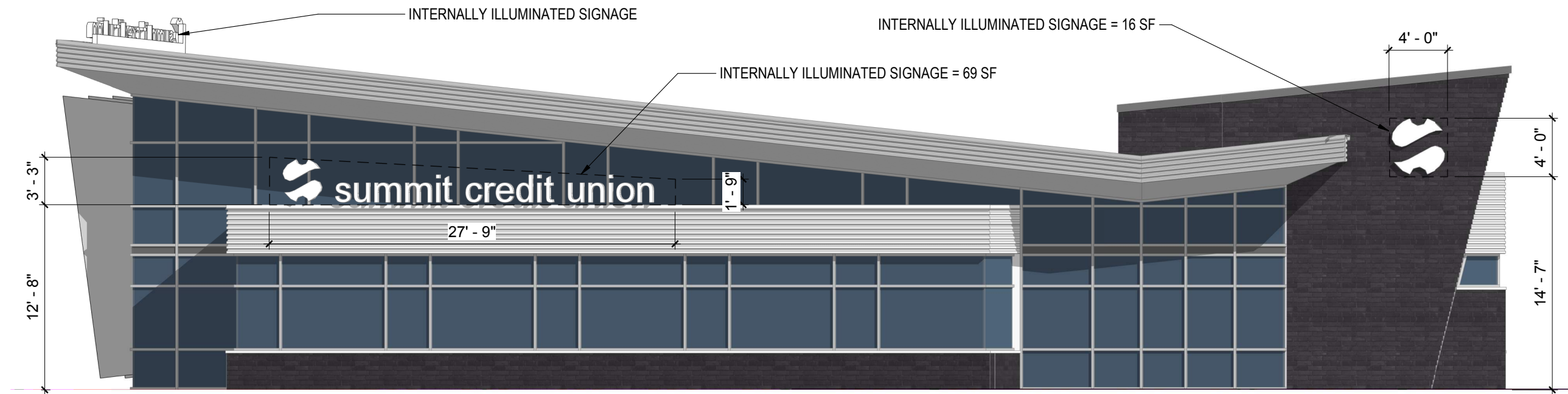
Clear Anodized Aluminum Finish
used on all storefront systems.



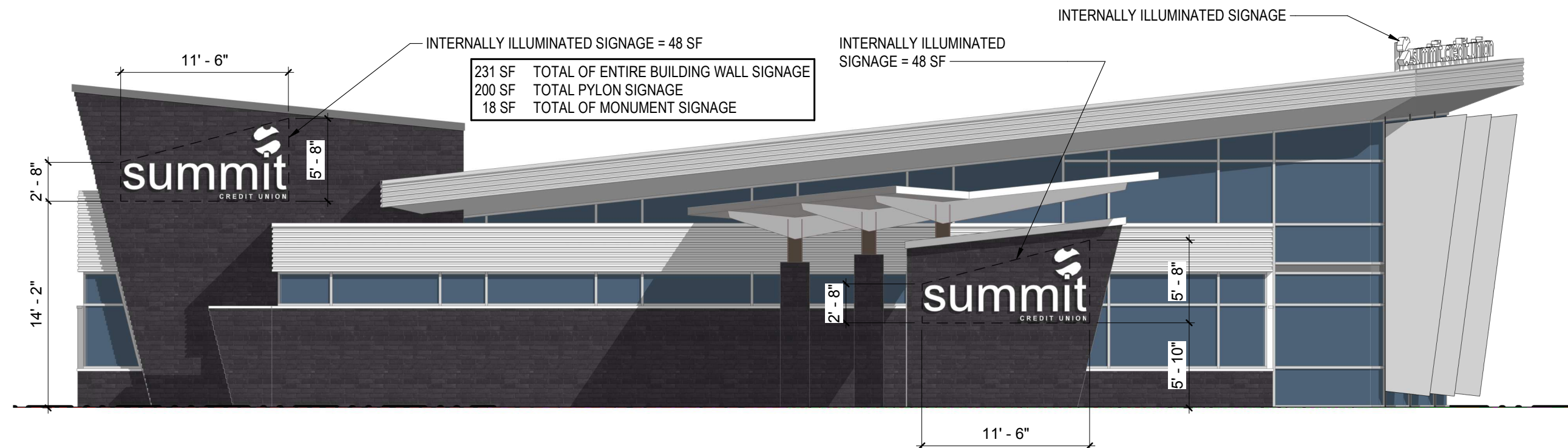
Exterior fabric sunshade elements with happy people printed on.

Similar Branch Office Located in Monona, WI

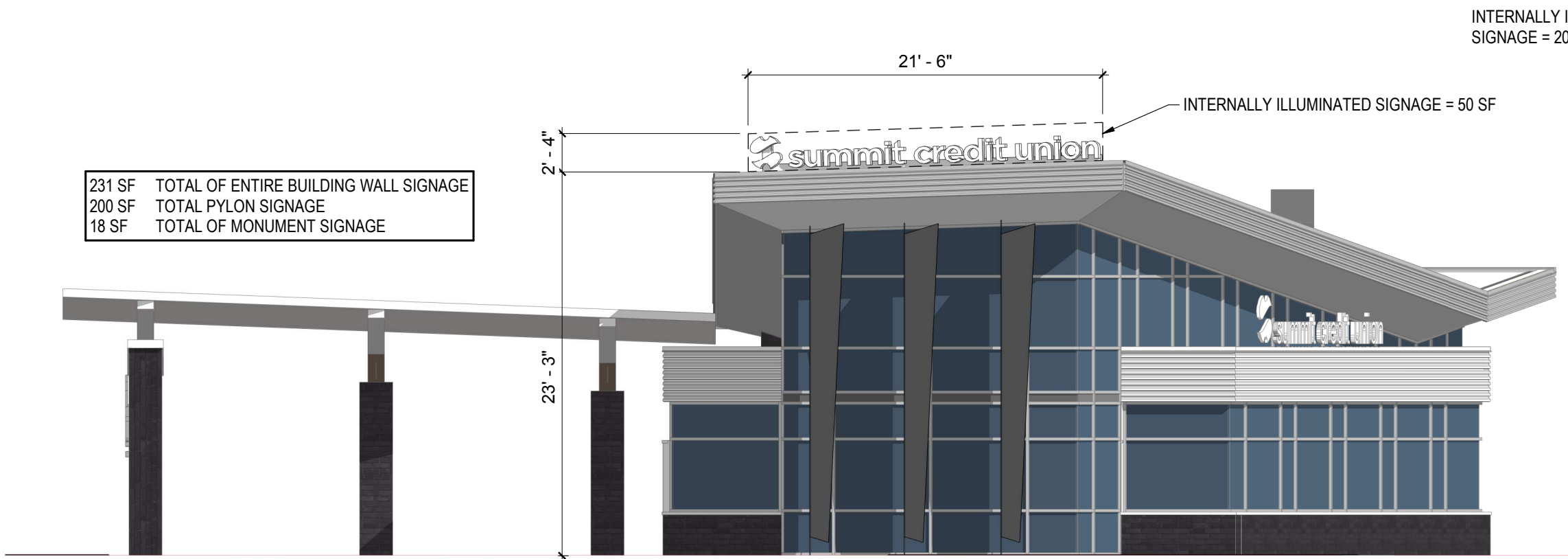




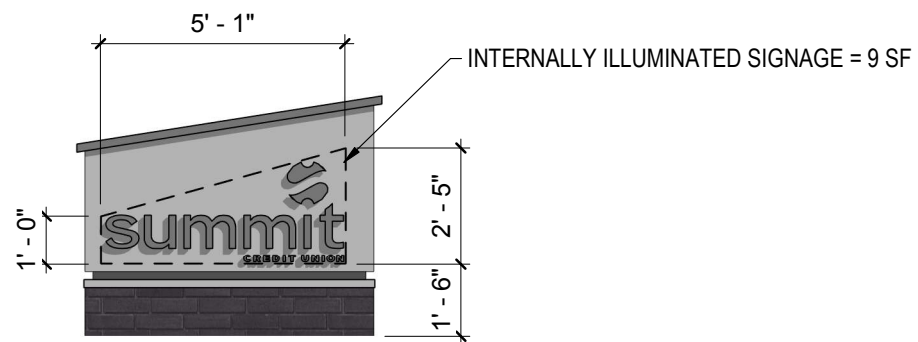
1 **NORTH ELEVATION SIGNAGE**
PA811A SCALE: 1/8" = 1'-0"



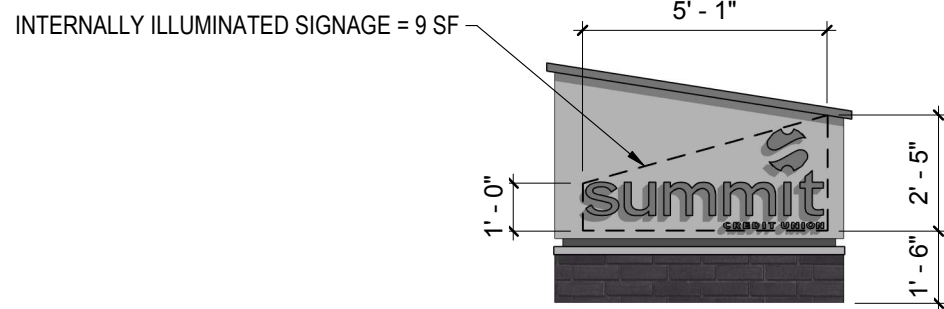
2 **SOUTH ELEVATION SIGNAGE**
PA811A SCALE: 1/8" = 1'-0"



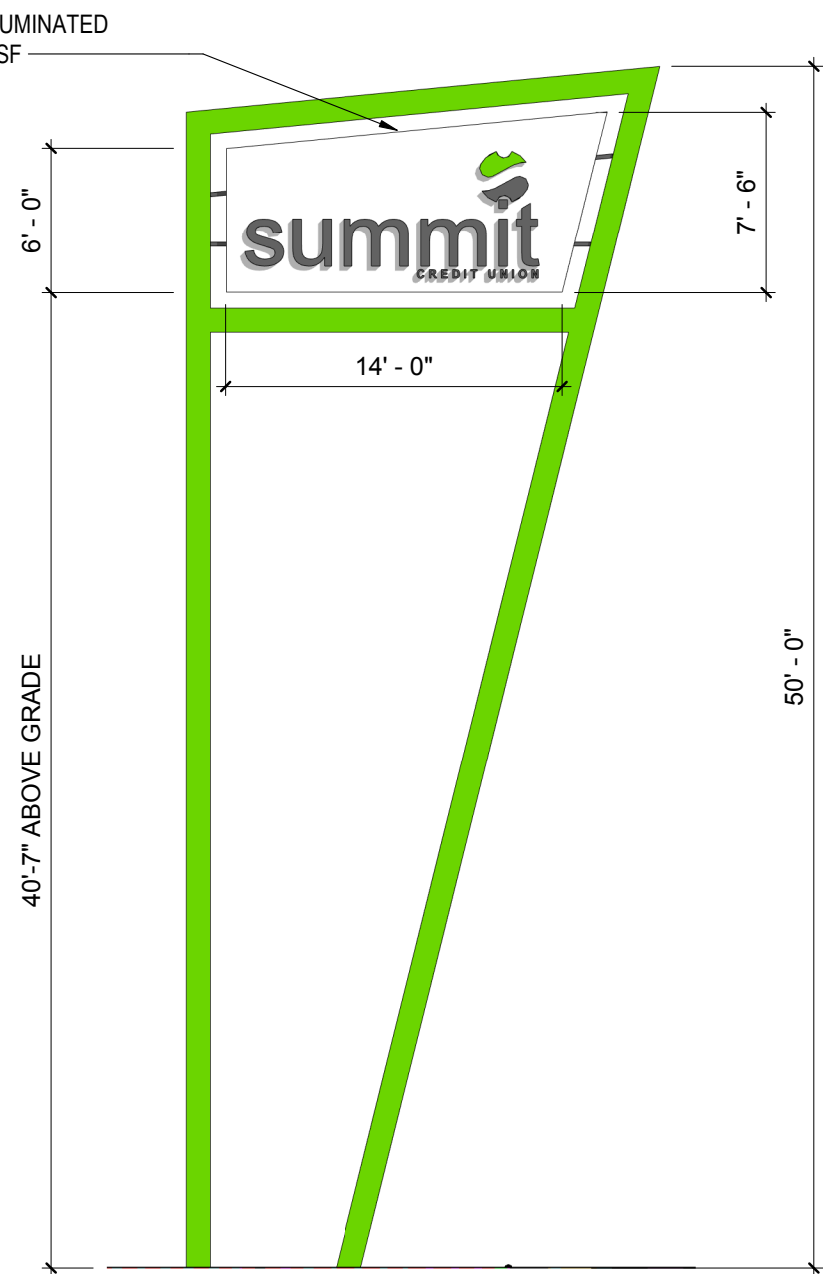
1 **EAST ELEVATION SIGNAGE**
PA811B SCALE: 1/8" = 1'-0"



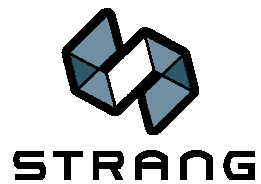
2 **MONUMENT SIGNAGE**
PA811B SCALE: 1/4" = 1'-0"



3 **MONUMENT SIGNAGE**
PA811B SCALE: 1/4" = 1'-0"



4 **PYLON SIGNAGE**
PA811B SCALE: 1/8" = 1'-0"



Zoning Staff Review

For: Site Plan for Summit Credit Union Development
Owner: Summit Credit Union
Address: Shaler Drive
Parcel No.: 292-1315-0421-017

Description:

Develop proposed lot to construct a 3,693 square foot building to house Summit Credit Union.

Findings:

- Zoning
 - PCD - Planned Community Development District
 - Sec. 16.07(3) Districts Include
 - R-3 Multi-Family Residential District
 - B-1 Business/Professional Office District
 - B-2 Central Business District
 - B-3 Shopping Center District
 - B-4 Interchange Business District
 - B-5 Warehousing/Business District
 - M-1 Closed Storage/Light Manufacturing District
 - Sec. 16.07(4)(a) Access
 - Standards for a PCD is the street access to the lot. An access from Washington Avenue, in/out and another access from Shaler Drive, in/out are proposed as shown on Sheet C1.0.
 - Sec. 16.07(4)(b) Architectural Style
 - A modern Architectural Style is proposed. New building under construction to the west on Washington Avenue has the same style so will be compatible in design.
 - Sec 16.07(4)(c) Density
 - Density requirements shall be based on the B-4 Interchange Business District
 - Sec. 16.07(4)(d) Determining Standards
 - Banks are a Permitted Use under B-4 Interchange Business District.
 - Lot Size exceeds the minimum 1-acre requirement.
 - Lot width exceeds the minimum 100 feet.
 - Setbacks
 - Front yards exceed the required 40-foot setback (Parcel has 2-front yards)
 - Side yards exceed the required 20-foot setback
 - No Rear yard

-
- Proposed building 24-feet high at highest coping. Height under the maximum 60-foot requirement.
 - Sec. 16.14(2) Minimum Off-Street Parking Required
 - Requirement is 1 stall per 300 square feet. Drawings shows 24 stall + 1 ADA Accessible. Parking exceeds requirement.
 - Landscaping Plan shows landscaping islands at parking areas, perimeter of building, perimeter of dumpster enclosure and driveways.
 - Photometric Plan shows that lighting shall be an 18-foot pole w/ LED down light at parking areas and LED bollards by sidewalk to building and will have little to no light transmission onto neighboring parcels.
 - Plans to be reviewed by City Engineer regarding storm water management and Utilities.
 - Signs shall meet the following requirements:
 - Sec. 16.11(4) Type 6. Wall signs placed against the exterior walls of buildings not extending more than 10 inches outside of a building's wall surface, not exceeding 500 square feet in area for any one premises, and not extending 2 feet above the lowest point of the roof; ground signs not exceeding 50 feet in height above the mean centerline street grade, meeting all yard requirements for the district in which it is located, not exceeding 100 square feet on one side nor 200 square feet on all sides for any one premises; roof signs not exceeding 10 feet in height above the roof, meeting all the yard and height requirements for the district in which it is located, and not exceeding 300 square feet on all sides for any one premises.
 - All signage shall be reviewed when submitted with permit application.

Recommendation:

After review of Section 16.04(4) & 16.07 of the City of Waupun's Zoning Ordinance, the proposed Summit Credit Union Development meets all requirements.

I hereby **APPROVE** the site plan packet as submitted for the Summit Credit Union.

Prepared by Susan K. Leahy, Zoning Administrator