



**A G E N D A**  
**CITY OF WAUPUN PLAN COMMISSION**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, November 14, 2018 at 4:45 PM**

**CALL TO ORDER**

**ROLL CALL**

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION**--*State name, address, and subject of comments. (2 Minutes)*

***No Public Participation after this point.***

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

**CONSIDERATION - ACTION**

- [1.](#) Approve minutes of the September 19, 2018 meeting.
- [2.](#) Discuss PCD Development for Lot 1 of Mayfair Estates.
- [3.](#) Discuss / Approve site plan for Hoinacki storage units at 1049 S. Watertown St.
- [4.](#) Discuss / Approve site plan for storage building addition at 503 Industrial Ave.

**ADJOURNMENT**

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*

CITY OF WAUPUN  
PLAN COMMISSION  
MINUTES OF THE SEPTEMBER 19, 2018 MEETING  
(DRAFT)

**ROLL CALL**

Members Present: Chairman Julie Nickel, Jeff Daane, Elton TerBeest, Jerry Medema, and Derek Drews

Members Excused: Fred Lueck and Mike Matoushek

Also Present: Rob Froh - Zoning Administrator, Kathy Schlieve - City Administrator, Dan VandeZande - City Attorney, and BJ DeMaa - Fire Chief

Guests: Dylan Weber, Dick Rens, Nate Olson, Dave Venhuizen, Lori Venhuizen, Jeff Butzke, Roger Schregardus

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION**--*State name, address, and subject of comments. (2 Minutes)*

Dylan Weber appeared to discuss signage for downtown. He would like to see projecting signs as a permitted use in the downtown district.

**CONSIDERATION - ACTION**

**Approve Minutes of the August 15, 2018 meeting.**

Motion by Daane, seconded by Terbeest to approve the minutes of the August 15, 2018 meeting. Motion carried, unanimously, minutes approved.

**Public Hearing - Ordinance Amendment** to change the required front yard setback in the R-1 and R-2 Zoning Districts from 30' to 25', per recommendation of the Zoning Board of Appeals.

Motion by TerBeest, seconded by Drews to recommend to the Council the ordinance amendment to change the required front yard setback in the R-1 and R-2 Zoning Districts from 30' to 25'. Motion carried, unanimously.

**Public Hearing - Waupun Historical Society at 520 McKinley St. to lease a space for storage or a musical instrumental repair shop per Zoning Section 16.03(4)(d)(viii) of the Waupun Municipal Code.**

Chairman Nickel read the call of the hearing and its purpose. No one from the Historical Society was in attendance at the meeting.

Kathy Schlieve noted that a letter was issued to the Waupun Historical Society on August 28, 2013, from Attorney VandeZande that stated the only permissible assembly use of this facility is for regularly scheduled or specially convened meetings of the VFW not exceeding a total of 50 persons. Schlieve explained at the May 15, 2013 Plan Commission meeting the Plan Commission approved the VFW conditional use on the condition that "no further use of the structure will be allowed by the City until all necessary site and interior floor plans and state approved plans are submitted and approved by the City and State." Schlieve also noted that in the August 28, 2013 letter from Attorney Vande Zande that it specifies that any other assembly use of this building, including but not limited to use of the facility as a museum open to members of the public, is prohibited until such time as the Historical Society brings the building into compliance with State approved plans for assembly usage. The City recommendation is to deny the Conditional Use Permit based on the Plan Commission ruling outlined in the August 28, 2013 letter from Attorney Vande Zande and failure of the building's owners to comply with commercial code.

Fire Chief, BJ DeMaa stated that he concurs that building use and compliance with the commercial code are concerns and that he supports the city's recommendation for no further conditional use until the building is brought into compliance.

Attorney VandeZande stated that the City modified the R-4 zoning district to allow museums as a permitted use, and accessory issues as conditional uses. The current occupancy permit for the building is for a school when it was Central Wisconsin Christian School. They need sprinkler issues taken care of before an occupancy permit can be issued for a museum. Currently, the VFW has a conditional use to hold meetings at this location.

No further facts were presented for or against this item, so Chairman Nickel declared the hearing closed and called for a motion.

Motion by Daane, seconded by Nickel to deny the Conditional Use Permit of the Waupun Historical Society at 520 McKinley St to lease a space for storage or a musical instrument repair shop.

Vote: Daane, Medema, Nickel, Drews - "AYE"

TerBeest - "NAY"

Motion carried, Conditional Use Permit request is denied, 4/1.

**Discuss / Approve Site Plan for H & R Self Storage at 1206 Wilson Dr.**

Roger from Morph Designs appeared to discuss the site Plan for H&R Self Storage at 1206 Wilson Dr. They will be putting up one building and will build a second unit after the first unit is completely rented out. They may build a third unit, but would need DNR approval. Jeff had a concern about the driveway inlet. Roger will be revising that and the stormwater management plan. Schlieve has reached a developer's agreement that outlines requirement to comply with the city's storm water management plan in subsequent phases of the project.

Motion by TerBeest, seconded by Drews to approve the Site Plan for H&R Self Storage at 1206 Wilson Dr. as presented. Motion carried, unanimously.

**Extraterritorial Review - Certified Survey Map for Richard & Roberta Rens Trust at N11885 Rens Way.**

Rob Froh stated the proposed lot is a 2.4 acre lot in the Town of Chester. The surrounding zoning is R-1 and R-3 and he sees no concern with the proposal.

Motion by Nickel, seconded by Daane to approve the letter of intent from Dodge County for the minor land division of Richard Rens at N11885 Rens Way. Motion carried, unanimously.

**Public Hearing - Proposed Adoption of the City of Waupun Comprehensive Plan Update 2040.**

Kathy Schlieve filled in for Kathy Thunes in presenting the Waupun Comprehensive Plan Update 2040. Kathy referred to the Comprehensive Plan map 8-3 (draft) for discussion.

There was no one in the audience for comments.

Motion by Drews, seconded by Daane to recommend to the Council the approval of the City of Waupun Comprehensive Plan Update 2040. Motion carried, unanimously.

**Discuss / Approve Resolution adopting the City of Waupun Comprehensive Plan Update 2040.**

Motion by Drews, seconded by Daane to approve the resolution. Motion carried, unanimously.

**ADJOURNMENT**

Motion by TerBeest, seconded by Daane to adjourn the meeting. Motion carried, unanimously.

Minutes prepared by  
Julie Nickel, Mayor

City of Waupun - Proposed PCD Development  
New Residential Subdivision on Lot #1 of Mayfair Estates  
Located at southeast corner of Mayfair St. & South Watertown St.  
City of Waupun, Dodge County, Wisconsin

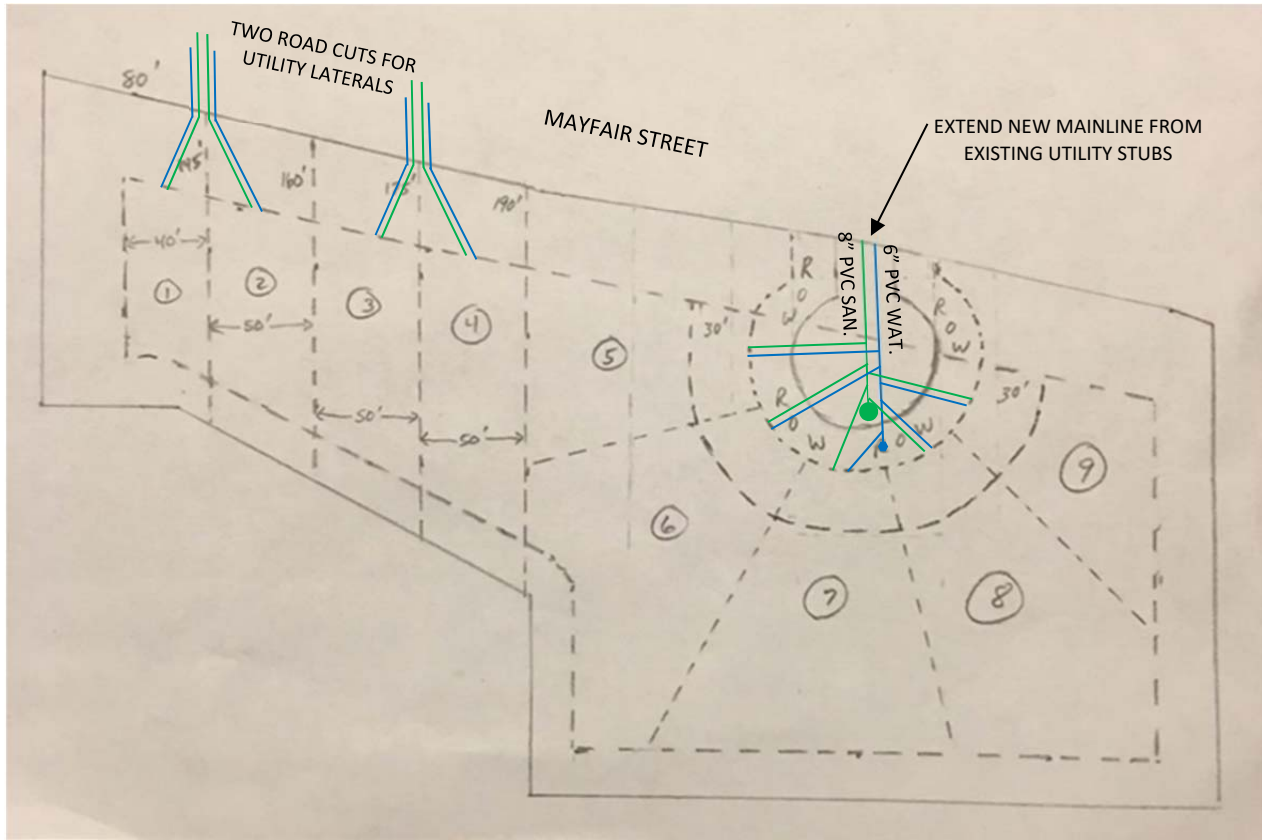
1. **Project Description:** This project involves a new residential subdivision being proposed by Validio Homes (Developer) in the City of Waupun. The target market for this development is the Baby Boomer/retiree market. According to the city's newly adopted comprehensive plan, the population in the age cohorts between 25 and 64 increased from 55% in 2000 to 58.5% in 2010. Through 2035, the trend toward larger percentages of citizens age 65+ is expected to continue due to aging of the Baby Boomer segment. This market segment is seeking smaller, single-story homes with zero barriers to entry and less yard and home maintenance requirements. The proposed concept includes smaller, single-story homes situated on condensed lots. Each home would have 2 bedrooms, 2 baths, and 2 car-garage. Below is a picture of the home concept / subdivision being built in Columbus, WI with strong market response.



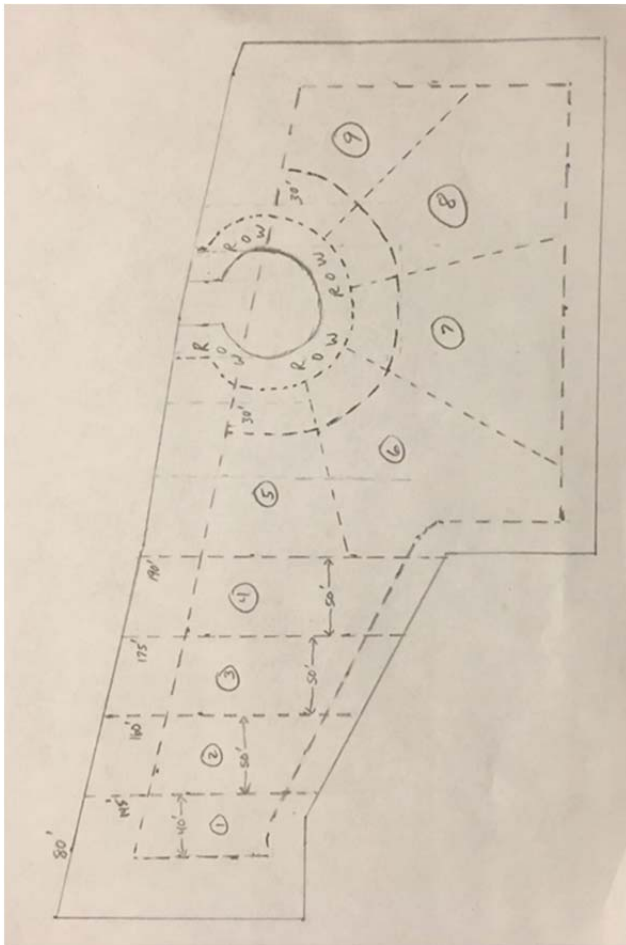
2. **Schedule:** *(Phasing schedule stating the geographical phasing and approximate construction timing)*  
Upon Plan Commission approval, the city would contract with MSA Professional services to complete the following work (Anticipated for Q4 of 2018 / Q1 of 2019)
  - a. **TOPOGRAPHIC SURVEY AND BASE MAPPING:** A topographic data collection of the project site will be conducted to prepare a base map of existing conditions within the immediate area (generally within 20 feet) of the boundaries for Lot 1 of Mayfair Estates, which will be used for all additional work.
  - b. **PLATTING RELATED SERVICES:** A preliminary lot layout map for the proposed subdivision of existing Lot 1 of Mayfair Estates will be developed. This effort shall include researching the existing property and public records, field survey information, and preparing the preliminary subdivision plat. The work also includes setting lot monuments at all proposed property corners to identify the new parcel line boundaries.
  - c. **ENGINEERING DESIGN:** The following engineering design related services will be completed based on Plan Commission findings from this report.
    - i. Erosion Control Plan depicting proposed erosion control measures required by the applicable approval agencies.
    - ii. Utility Plan depicting location, size, and elevation of proposed sanitary, water and storm sewer improvements.
    - iii. Street Plan depicting location, size, and elevation of the proposed cul-de-sac street improvements.
  - d. Construction of the proposed development is expected to begin in the spring of 2019 with four homes constructed along Mayfair Street. At the same time, a cul-de-sac will

be constructed by the Developer and an additional five homes are planned for construction on the proposed cul-de-sac lots between fall of 2019 and the December of 2021.

3. **Proposed Drainage Plan:** It is assumed that the existing storm water management pond located in the adjacent Outlot 1 of Mayfair Estates to the southwest of the proposed project site is sized adequately to handle storm water flows from this development with no modifications; therefore, a new Storm Water Management Plan is not anticipated.
4. **Proposed Preliminary Utility Plan:** Not to scale.



5. **Proposed Site Plan:** (Site plan showing the lot lines, building locations, street system, parking spaces, drives, common open space areas, recreational improvements and structures and proposed park or school sites)



### Proposed Lot Dimensions:

- Lot 1 – 80' wide (along Mayfair) x 145' deep
- Lot 2 – 50' wide x (145' to 160') deep
- Lot 3 – 50' wide x (160' to 175') deep
- Lot 4 – 50' wide x (175' to 190') deep
- Lot 5 – 125' (along Mayfair) x 110'
- Lot 6 – 60' wide x 130' deep
- Lot 7 – 60' wide x 130' deep
- Lot 8 – 50' wide x 150' deep
- Lot 9 – 135' wide x 120' deep (along Mayfair)

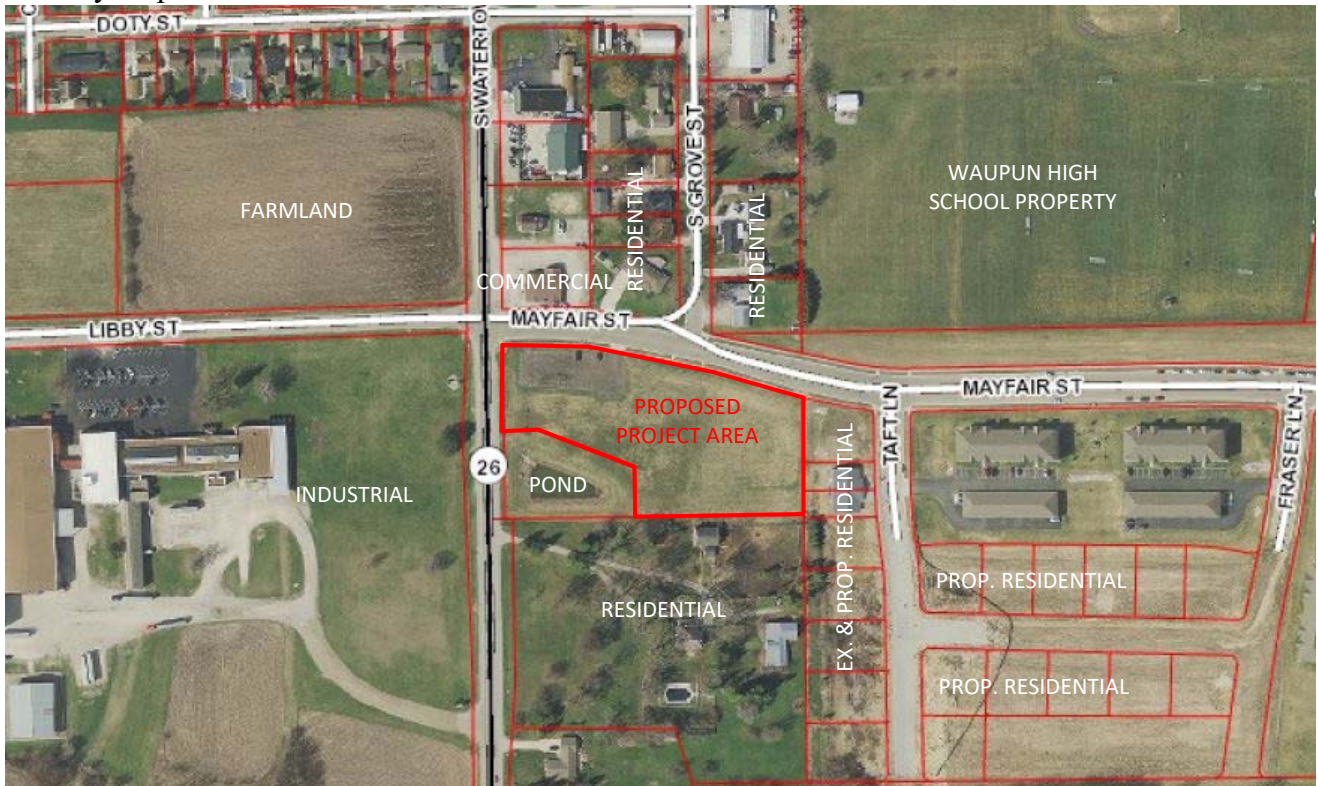
The lots off of cul de sac are basically pie shaped so the width is measured at the 30' building setback line

### 6. Summary Data:

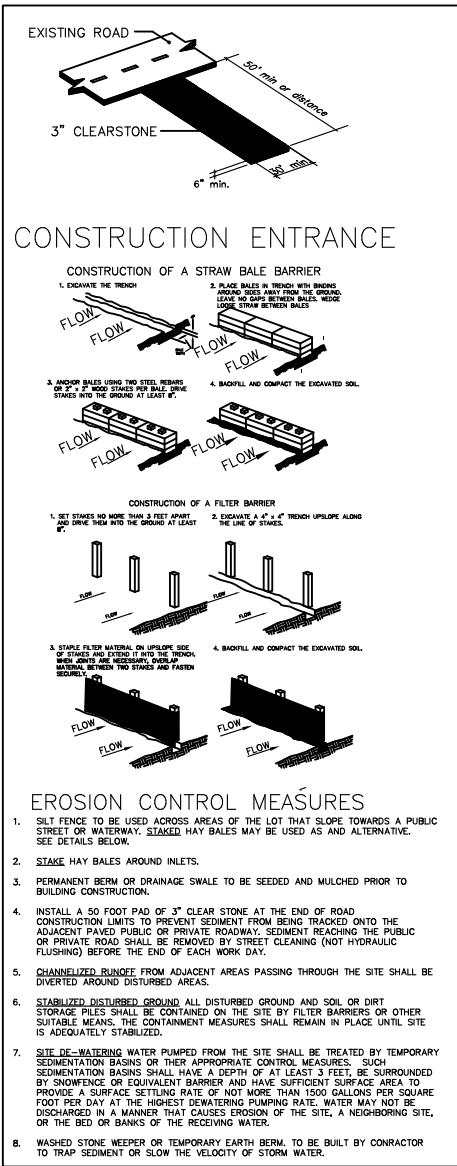
- Area of land in each land use: The area of the cul-de-sac & right-of-way is 0.4 acres and area of the proposed residential lots is 2.4 acres.
- Number of units proposed: 9 single family residential units.
- Density of development:  $9 \text{ lots} / 2.8 \text{ acres} = 3.2 \text{ lots/acre}$
- Percentage of land in usable open space: No open space will remain from the existing lot configuration.
- Number of parking spaces provided: Zero – Each lot is anticipated to have a garage with driveway parking.



Vicinity map:







**OWNER:**

Hoinacki Storage, LLC.  
213 Fond du Lac St.  
Waupun, WI 53963  
Ph: 920-392-9063

**PROJECT:**

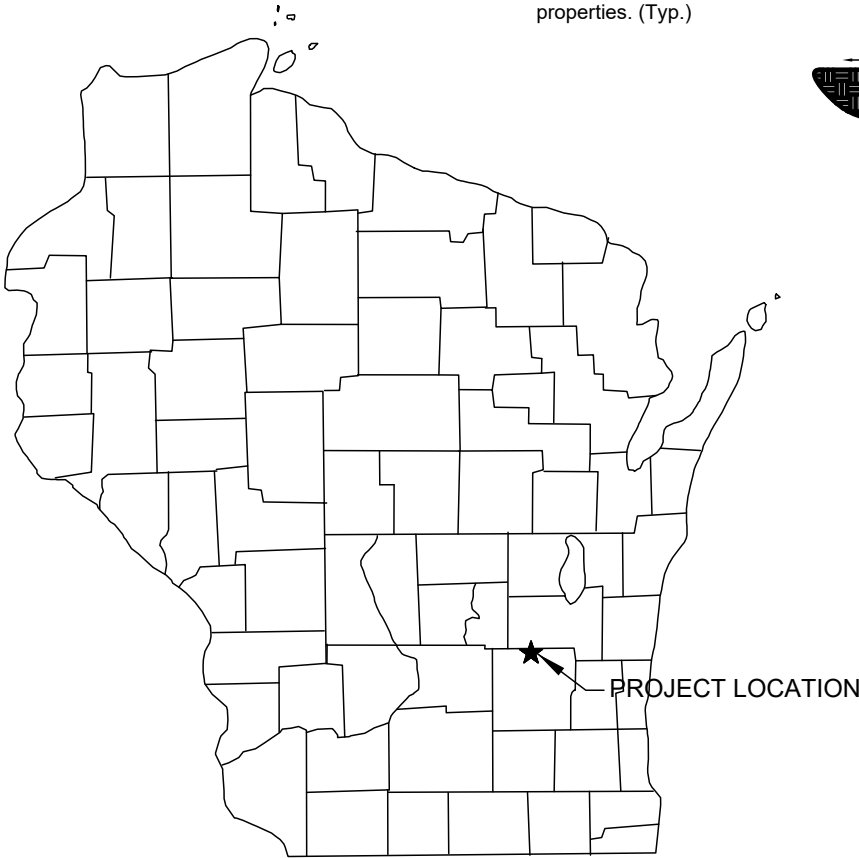
Hoinacki Storage, LLC  
Storage Building #3 & #4  
1049 S. Watertown St.  
Waupun, WI 53963  
Ph: 920-392-9063

**BUILDING CONTRACTOR:**

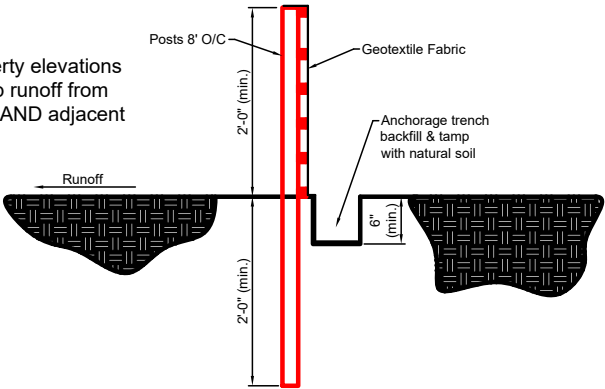
Hoinacki Construction  
213 Fond du Lac St..  
Waupun, WI 53963  
Ph: 920-392-9063  
Email: thoinacki@charter.net

**BUILDING ENGINEER:**

Ideal Structural Designs, LLC  
975 Wylde Oak Dr.  
Oshkosh, WI 54904  
Ph: 920-235-6264  
Email: JK@IdealDesignLLC.com



**NOTE:**  
Place silt fencing on low property elevations to catch runoff, silt, etc. to stop runoff from entering site drainage system AND adjacent properties. (Typ.)



**SILT FENCE INSTALLATION**  
(Scale: NONE)

**Building Use, Codes and Loading:**

Roof Live Load: 20 PSF, tributary area reduction not allowed.  
Wind Load: 90 MPH, Exposure B, Enclosed Building.  
Ground Snow Load: 35 PSF, Partially Exposed Snow Exposure Factor with non-heated building interior thermal factor.  
Collateral Load: 0.0 PSF no suspended lights or electrical.  
Seismic Criteria: Ss = 9.60%, S1 = 4.10%.  
Use and Occupancy: New Buildings #3 & #4 w/ Single Use & Occupancy of: S-1, Moderate Hazard Mini-Storage facility, New Occupancies: zero permanent work stations in each new building. Occupancy Category I, Minor Storage Facility.  
Bldg #3 & #4: (14) 10'x24' Storage Units within each building.  
Both existing bldgs. w/ (12) Units in each.

PLAN REFERENCE NEW FINISH FLOOR ELEVATION = 100'-0" (Site is mostly level with slight grade slope away from new & existing buildings)

BUILDING INFORMATION	
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN 2018 COMMERCIAL BUILDING CODE MODIFICATIONS.
OCCUPANCY CLASSIFICATION:	<b>MODERATE-HAZARD STORAGE FACILITY, S-1: BUILDING ADDITIONS #3 &amp; #4 EACH w/ 14 (20 RESPECTIVELY) 10'X24' MINI-STORAGE UNITS (EACH PER) WAREHOUSE BUILDING (ADDITION w/ ALLOWANCE FOR STORAGE OF ITEMS NOT CLASSIFIED AS HAZARDOUS.</b>
CONSTRUCTION TYPE:	VB - UNPROTECTED CONSTRUCTION TYPE IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE. NO FIRE SPRINKLER SYSTEM.
FLOOR AREAS (SQ. FT.):	NEW GROSS FLOOR AREAS: Bldg's #3 & #4 = 3,360 Sq. Ft. Addition + 2,928 Sq. Ft. existing = <b>6,288 SF (max.)</b> total per building.
MAXIMUM AVERAGE HEIGHT (ACTUAL):	< 15' (+/-)
NUMBER OF STORIES:	1
MINIMUM SEPARATION DISTANCE:	<b>0.0'</b> FOR BLDG. #3 AND 0.0' FOR BLDG. #4 TO EXISTING SELF-STORAGE BUILDINGS ON SAME LOT AS DENOTED & SHOWN ON SITE LAYOUT PLAN.
MINIMUM SETBACK TO PROPERTY LINES:	= 32.98' (MINIMUM) <b>ALLOWED</b> DISTANCE TO CLOSEST PROPERTY LINE FROM EXISTING & NEW SELF-STORAGE BUILDINGS
BUILDING SEPARATION RATINGS:	N/R
MULTIPLE USE & OCCUPANCY DESIGN INTENT:	SINGLE.
AUTOMATIC SPRINKLER (PER CHPTR 9):	NONE.
MAX. ALLOWABLE USEABLE FLOOR AREA:	S-1 (EXISTING & NEW) Moderate Hazard Storage (hazardous materials NOT allowed) w/ VB CONSTRUCTION TYPE: total building perimeters: Bldg #3 (existing+new) = <b>358 LF</b> Bldg #4 (existing+new) = <b>356 LF</b> Maximum allowed area per building PER TABLE 506.2 = 9,000 SQ.FT. (per building) TOTAL NEW BUILDING AREAS: BLDG. #3 = 3360 + 2928 = <b>6,288 SF</b> BLDG. #4 = 3,360 + 2,880 = <b>6,240 SF</b> both < 9,000 SF ----- OK
MAXIMUM ALLOWABLE HEIGHT:	NOT TO EXCEED 1 STORIES OR 40' HEIGHT PER CHAPTER 5 - OK
TOTAL LOT AREA:	= 1.434 ACRES
ANTICIPATED DISTURBED AREA:	APPROX. 0.55 ACRES - EROSION CONTROL PER BUILDING SITE SHEET.
BUILDING LOADING CRITERIA:	PER THE NOTED BUILDING CODE AND PLANS.
TOTAL BUILDING OCCUPANCY LOAD:	MAXIMUM NUMBER OF EMPLOYEES WITH PERMANENT WORK STATIONS IN BUILDING = 0. ADDED NEW GRAVEL PARKING AREA AND NO RESTROOMS REQUIRED.

**DRAWING INDEX**

T-1	Title Page & Building Information
C-1	Site Layout Plan
A-1a	Building #3 Floor Plan
A-1b	Building #4 Floor Plan
A-2a	Bldg #3 Exterior Wall Elevations
A-2b	Bldg #4 Exterior Wall Elevations
S-1a	Bldg #3 Slab & Foundation Plan
S-1b	Bldg #4 Slab & Foundation Plan
S-2	Typical Foundation Details
S-3	Typical Specifications

**PLAN DATE**

<b>11/1/18</b>
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**General Notes**

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	Rev'd. bldgs. for const.	11/1/18
No.	Revision/Issue	Date

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Cell: 920-324-5250  
thoinacki@charter.net

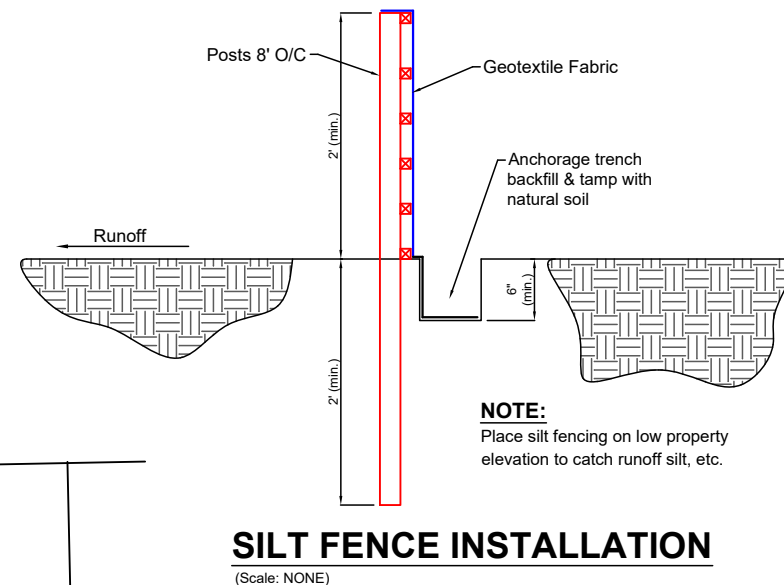
Project Name and Address  
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Storage Bldg's #3 & 4.  
1049 S. Watertown St.  
Waupun, WI 53963

Project	Q18-113	Sheet	<b>T-1</b>
Date	10-2-18		
Scale	As Noted		



Gerald T. Kitzman, P.E.

ALL PROJECT MATERIALS AND INSTALLATIONS TO BE IN ACCORDANCE WITH THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE REQUIREMENTS, 2018 ED. ANY DISCREPANCY TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR, OWNER AND ENGINEER FOR RESOLUTION. PRE-ENGINEERED STEEL FRAMED AND METAL FRAMED BUILDING SUPPLIERS TO FURNISH SEALED BUILDING PERMIT ERECTION DRAWINGS AND CALCULATIONS TO LOCAL BUILDING AUTHORITIES AS A COMPONENT SUBMITTAL PRIOR TO THE START OF THAT BUILDING INSTALLATION. SUPPLIERS TO FURNISH FOUNDATION LOADINGS, BASEPLATE SIZES & ANCHORAGE QUANTITY & DIAMETERS TO THE ENGINEER FOR VERIFICATION PRIOR TO THE START OF CONSTRUCTION. LIGHTING, ELECTRICAL, PLUMBING, CIVIL, FIRE ALARM, HVAC TO GENERATE DRAWINGS AND CALCULATIONS AS REQUIRED BY AND IN ACCORDANCE WITH THE 2018 WI ENROLLED BUILDING CODE REQUIREMENTS AND FURNISH THESE ITEMS TO BUILDING AUTHORITIES FOR REVIEW AND APPROVAL. NO WORK IS TO BEGIN UNTIL APPROVAL IS GRANTED BY STATE AND/OR LOCAL BUILDING AUTHORITIES.




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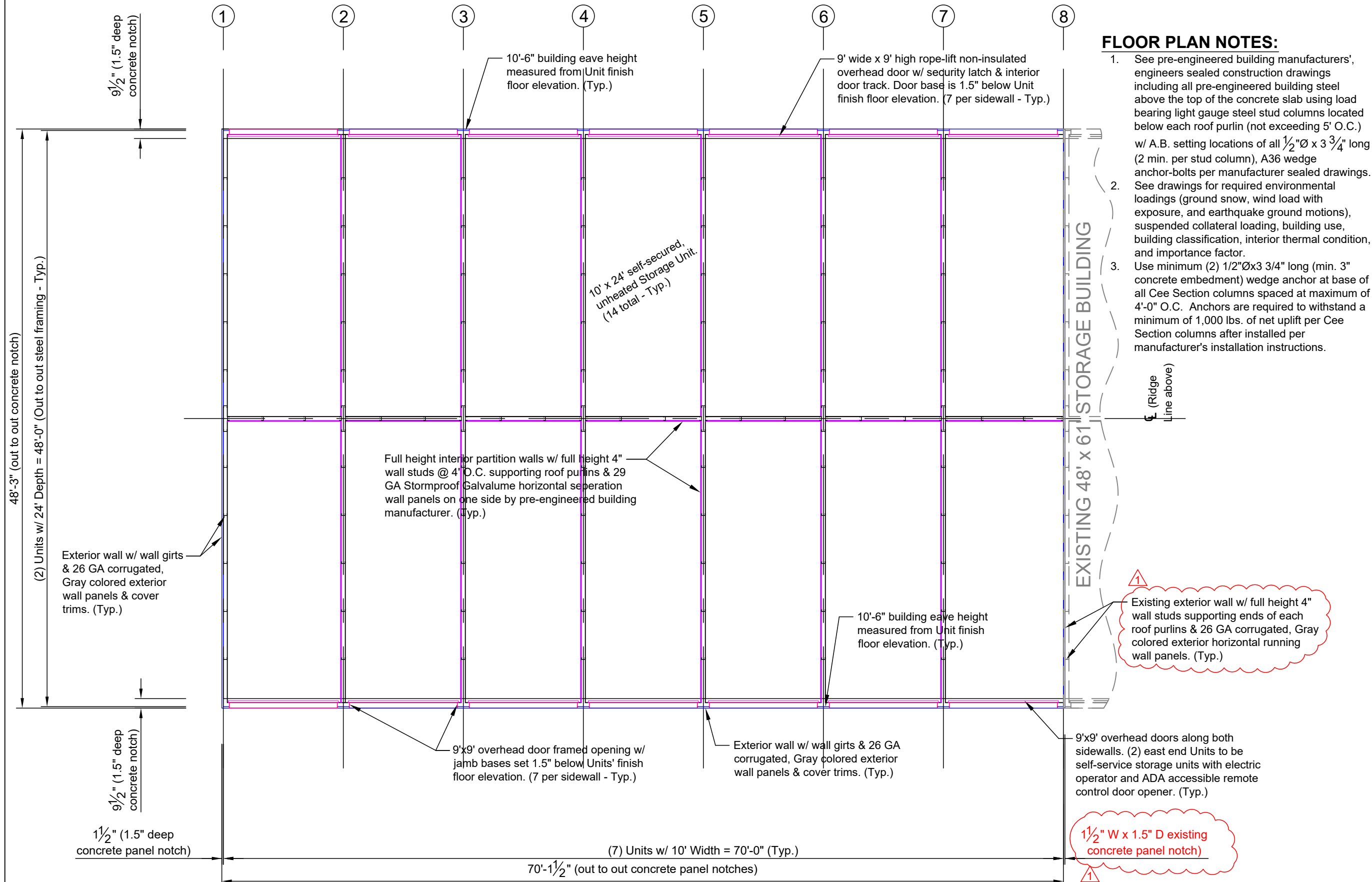
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Waupun, WI 53963  
Ph: 920-392-9063  
Cell: 920-324-5250  
thoinacki@charter.net

Project Name and Address

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Waupun, WI 53963

Project	Q18-113	Sheet  <b>C-1</b>
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### FLOOR PLAN NOTES:

- See pre-engineered building manufacturers', engineers sealed construction drawings including all pre-engineered building steel above the top of the concrete slab using load bearing light gauge steel stud columns located below each roof purlin (not exceeding 5' O.C.) w/ A.B. setting locations of all 1/2"Ø x 3 3/4" long (2 min. per stud column), A36 wedge anchor-bolts per manufacturer sealed drawings. See drawings for required environmental loadings (ground snow, wind load with exposure, and earthquake ground motions), suspended collateral loading, building use, building classification, interior thermal condition, and importance factor.
- Use minimum (2) 1/2"Øx3 3/4" long (min. 3" concrete embedment) wedge anchor at base of all Cee Section columns spaced at maximum of 4'-0" O.C. Anchors are required to withstand a minimum of 1,000 lbs. of net uplift per Cee Section columns after installed per manufacturer's installation instructions.

Existing exterior wall w/ full height 4" wall studs supporting ends of each roof purlins & 26 GA corrugated, Gray colored exterior horizontal running wall panels. (Typ.)

1 1/2" W x 1.5" D existing concrete panel notch



## STORAGE BUILDING #3 FLOOR PLAN

(Scale: 1/8" = 12")

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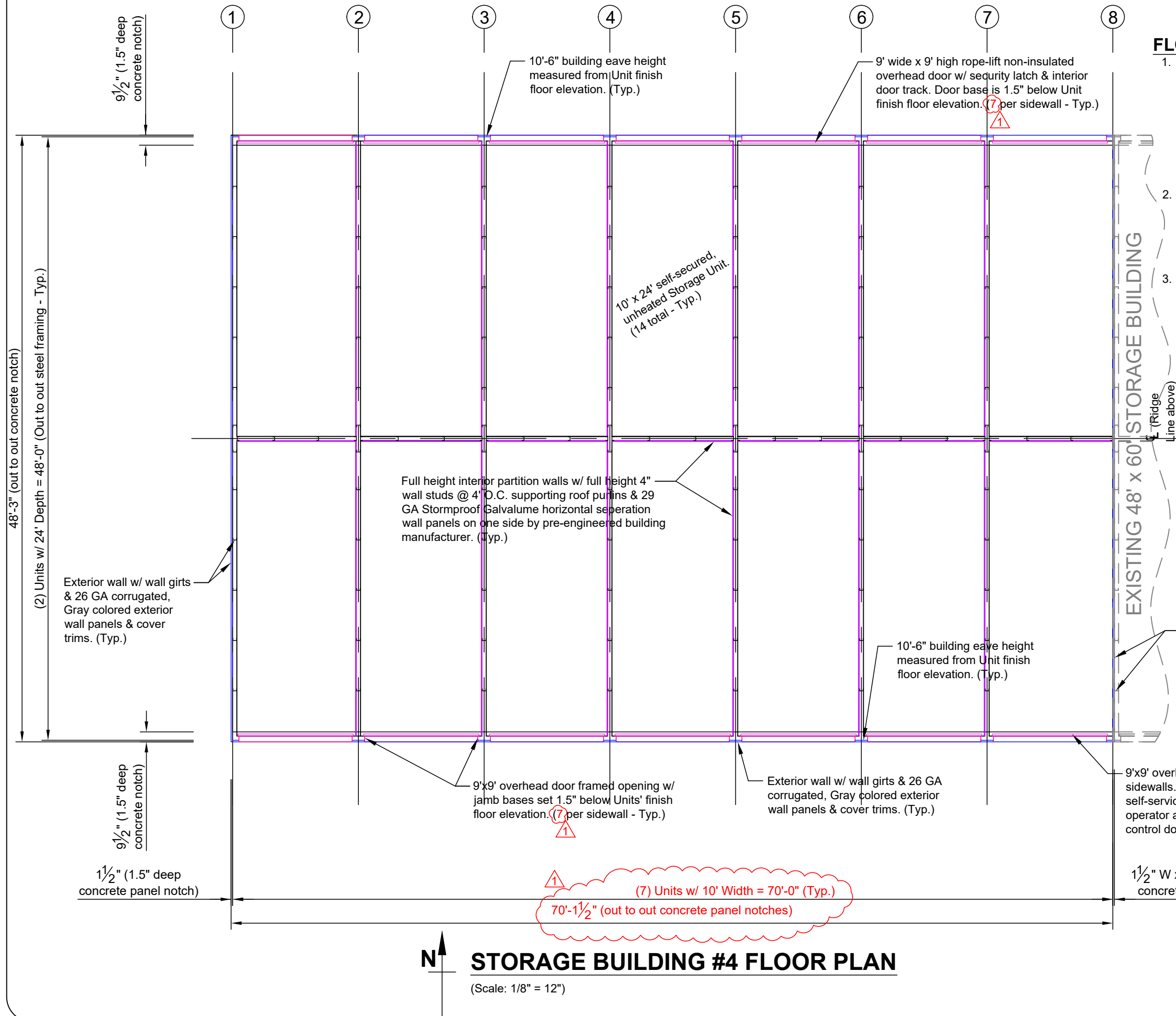
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thoinacki@charter.net

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Project	Q18-113	Sheet	A-1a
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2. See drawings for required environmental loadings (ground snow, wind load with exposure, and earthquake ground motions), suspended collateral loading, building use, building classification, interior thermal condition, and importance factor.
3. Use minimum (2)  $\frac{1}{2}$ "  $\varnothing$  x 3  $\frac{3}{4}$ " long (min. 3" concrete embedment) wedge anchor at base of all Cee Section columns spaced at maximum of 4'-0" O.C. Anchors are required to withstand a minimum of 1,000 lbs. of net uplift per Cee Section columns after installed per manufacturer's installation instructions.

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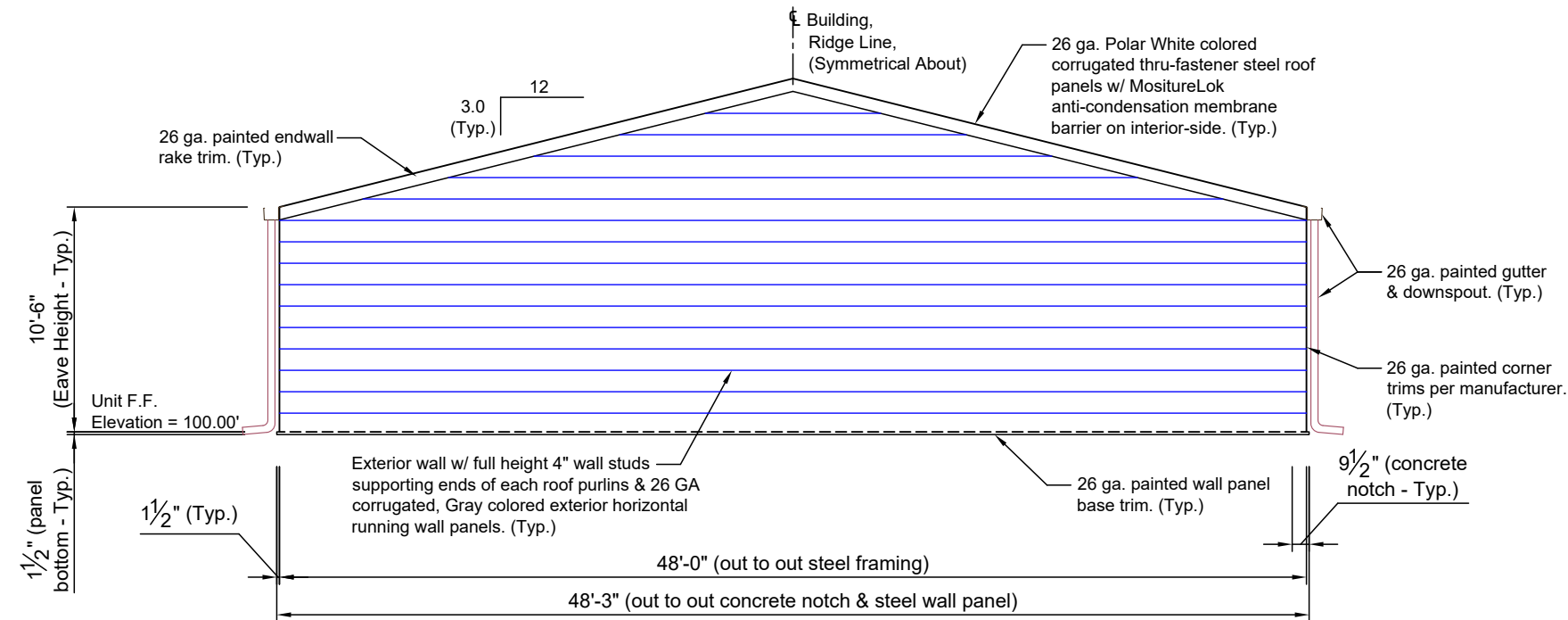
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Ph: 920-392-9063  
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**Project Name and Address**

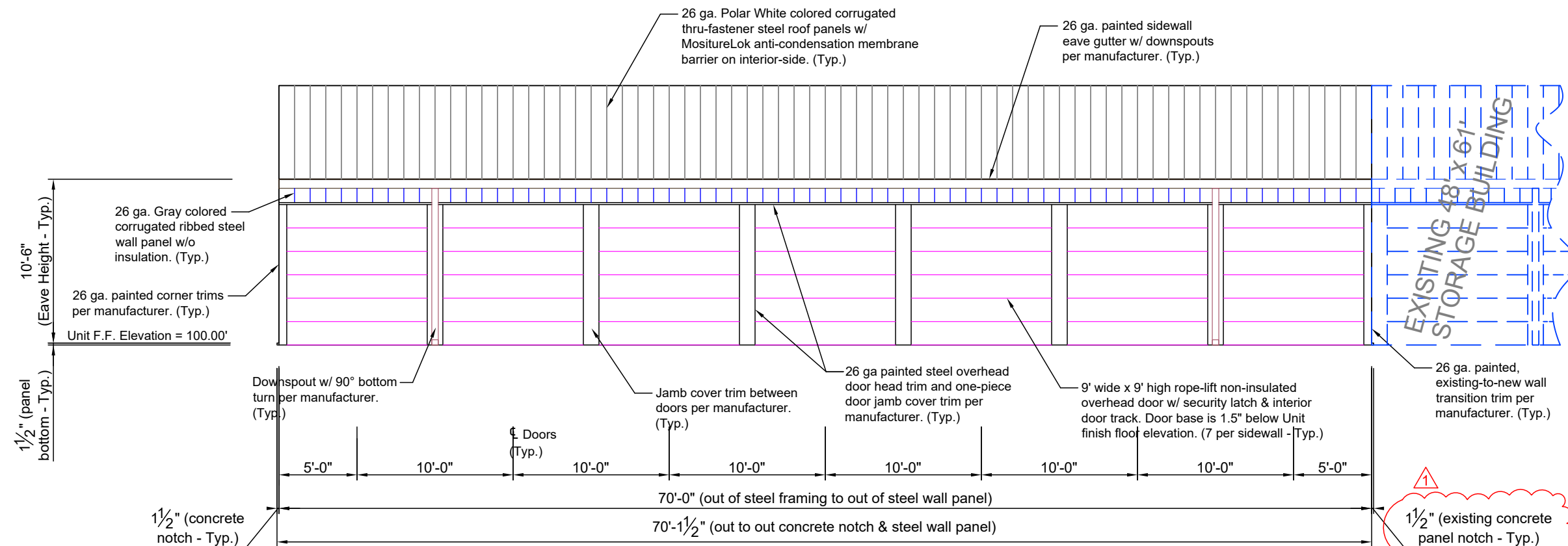
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Storage Bldg's #3 & 4.  
1049 S. Watertown St.  
Waupun, WI 53963

Project	Q18-113	Sheet	A-1b
Date	10-2-18		
Scale	As Noted		





**BUILDING #3 - WESTERN ELEVATION**  
**(EASTERN BUILDING ELEVATION OPEN TO EXISTING)**  
(Scale: 1/8" = 12")



**BUILDING #3 - SOUTHERN ELEVATION**  
**(NORTHERN BUILDING ELEVATION SIMILAR)**  
(Scale: 1/8" = 12")

General Notes

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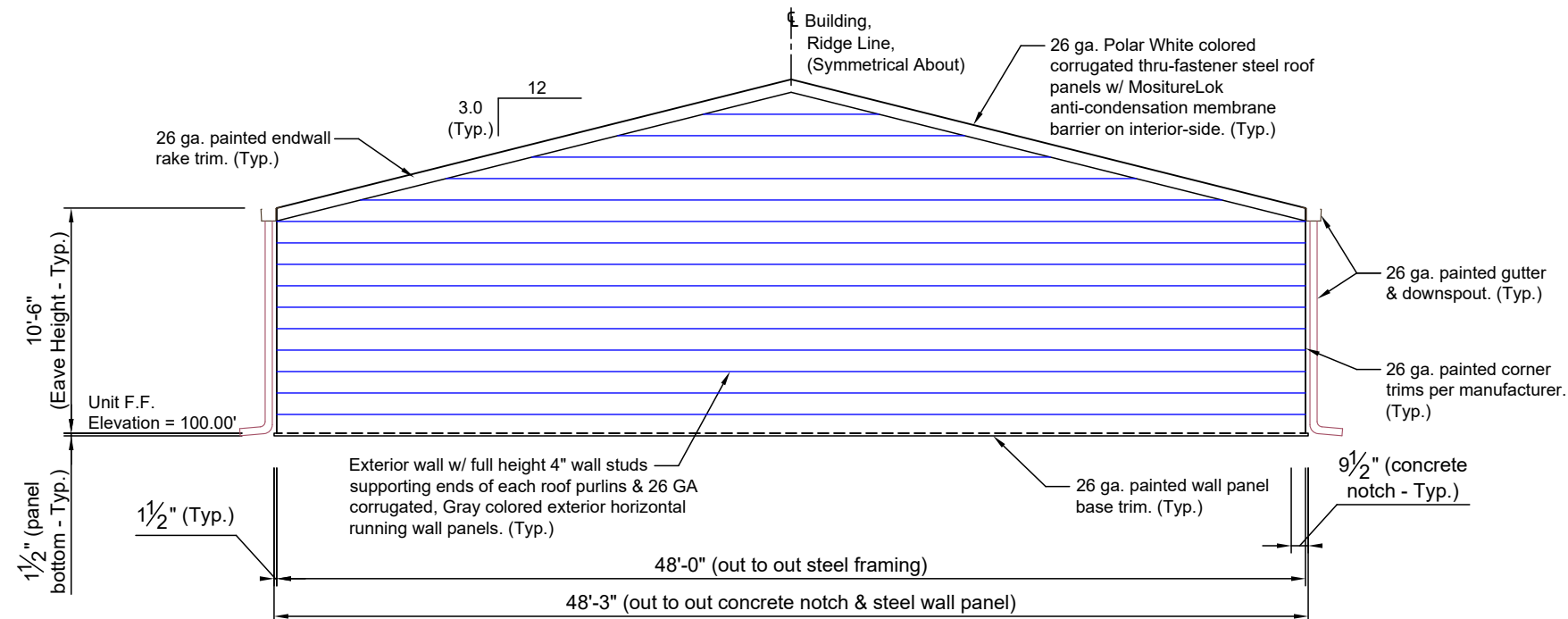
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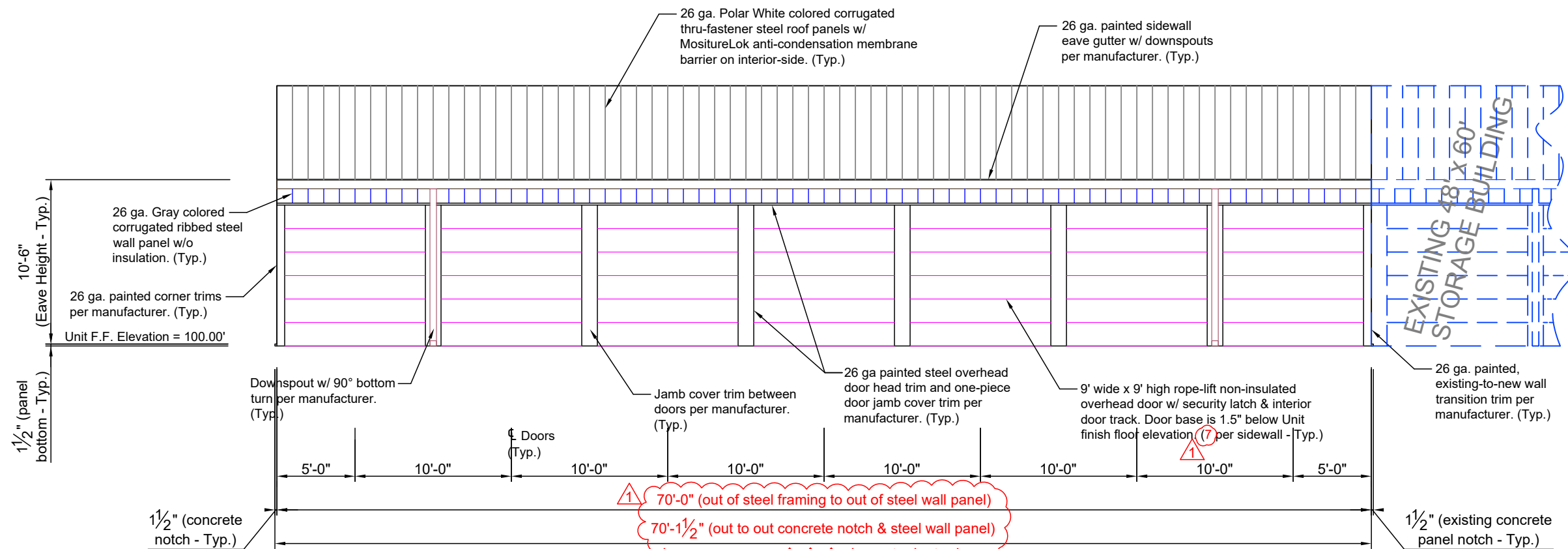
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Project Name and Address  
1 Hoinacki Storage, LLC -  
Storage Bldg's #3 & 4.  
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Project	Sheet
Q18-113	A-2a
Date	10-2-18
Scale	As Noted



**BUILDING #4 - WESTERN ELEVATION**  
**(EASTERN BUILDING ENDWALL OPEN TO EXISTING)**  
 (Scale: 1/8" = 12")



**BUILDING #4 - SOUTHERN ELEVATION**  
**(NORTHERN BUILDING ELEVATION SIMILAR)**  
 (Scale: 1/8" = 12")

**General Notes**

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 Email: jk@idealdesignllc.com

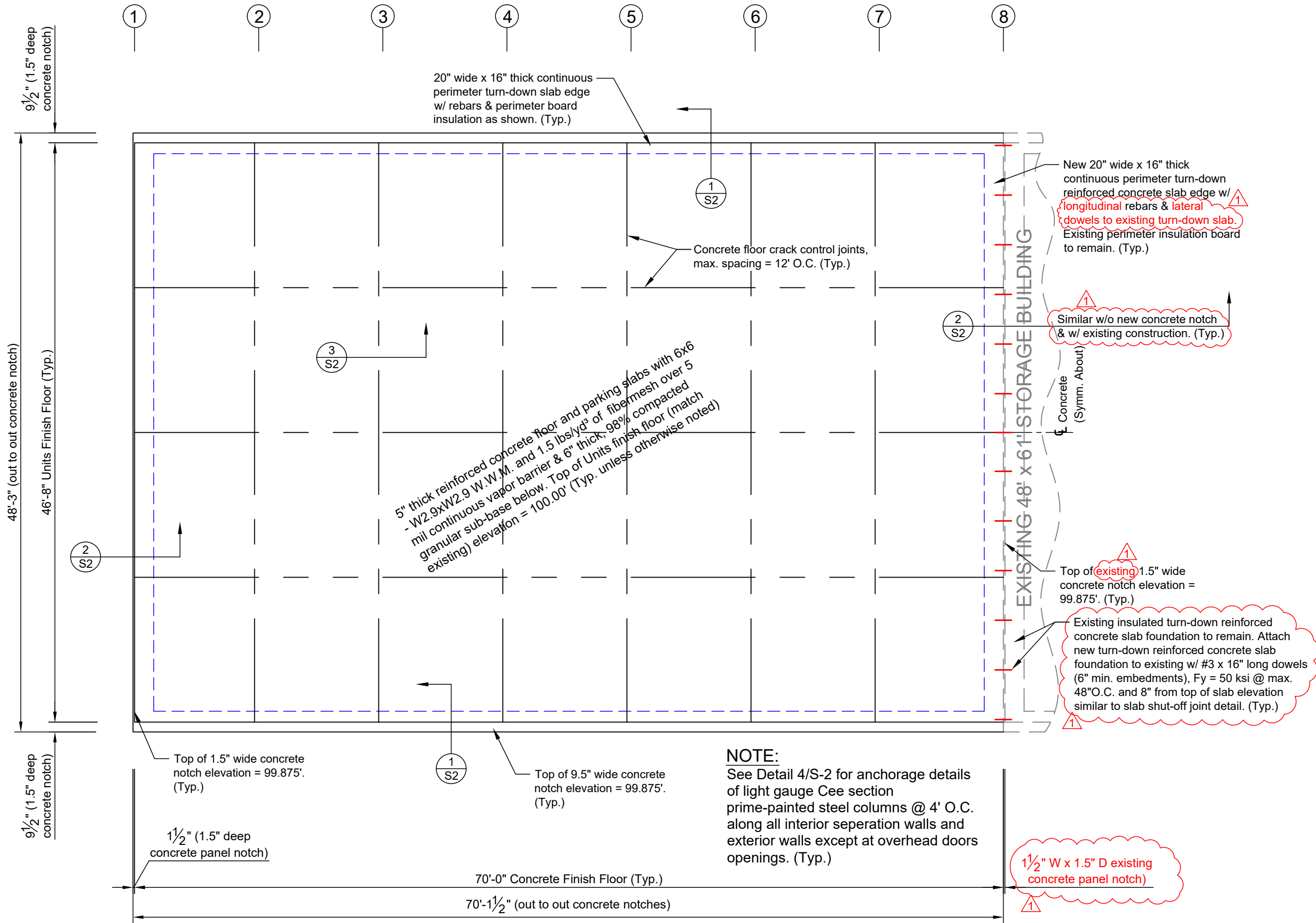
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No.	Revision/Issue	Date

Firm Name and Address  
 Hoinacki Construction  
 213 Fond du Lac St.  
 Waupun, WI 53963  
 Ph: 920-392-9063  
 Cell: 920-324-5250  
 thoinacki@charter.net

Project Name and Address  
 Hoinacki Storage, LLC -  
 Storage Bldg's #3 & 4.  
 1049 S. Watertown St.  
 Waupun, WI 53963

Project	Q18-113	Sheet	<b>A-2b</b>
Date	10-2-18		
Scale	As Noted		





**NOTE:**  
See Detail 4/S-2 for anchorage details of light gauge Cee section prime-painted steel columns @ 4' O.C. along all interior separation walls and exterior walls except at overhead doors openings. (Typ.)

**STORAGE BUILDING #3 FOUNDATION/SLAB PLAN**

(Scale: 1/8" = 12")

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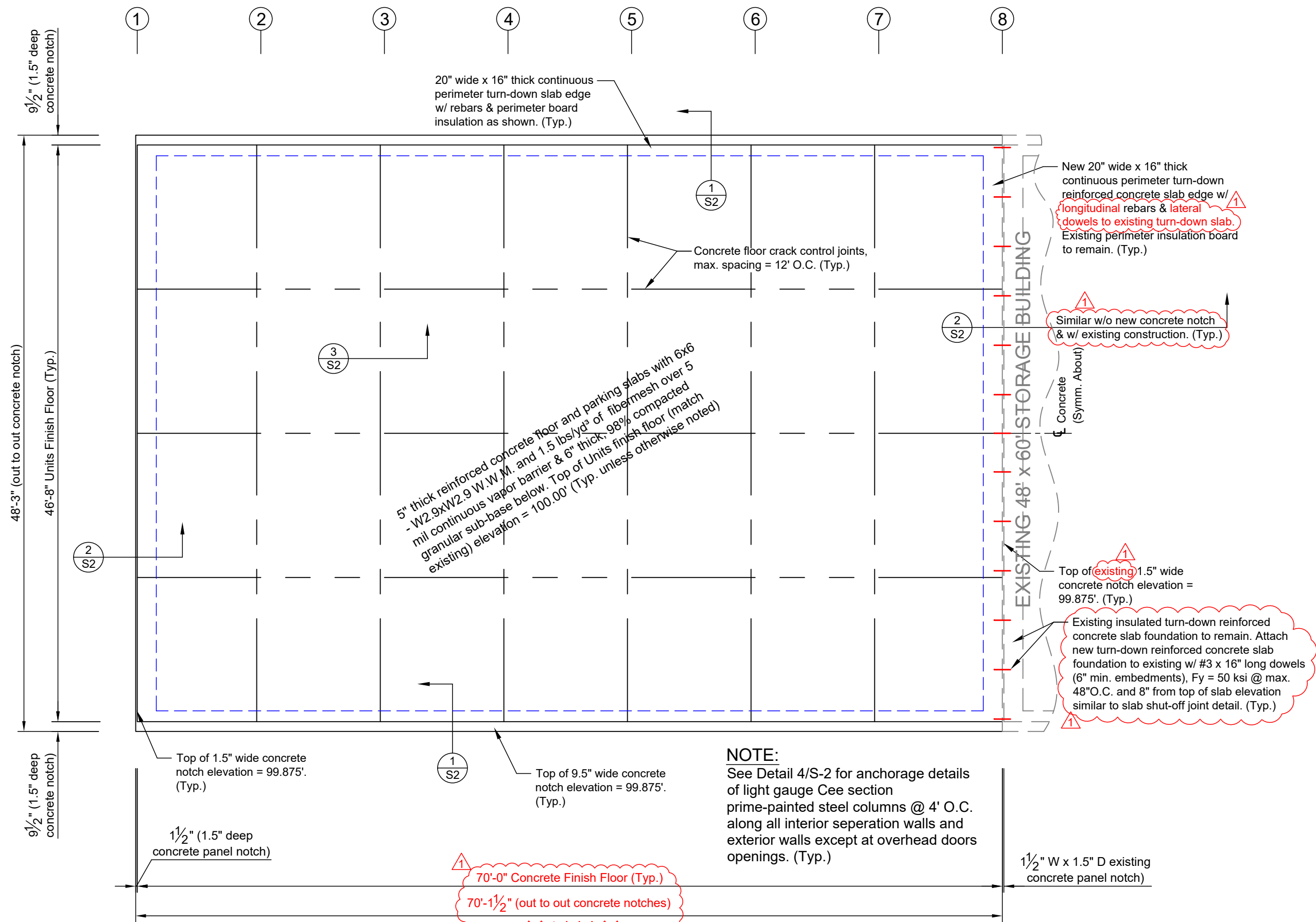
**Firm Name and Address**

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**Project Name and Address**

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1049 S. Watertown St.  
Waupun, WI 53963

Project	Q18-113	Sheet	<b>S-1a</b>
Date	10-2-18		
Scale	As Noted		



**NOTE:**  
See Detail 4/S-2 for anchorage details of light gauge Cee section prime-painted steel columns @ 4' O.C. along all interior separation walls and exterior walls except at overhead doors openings. (Typ.)



**STORAGE BUILDING #4 FOUNDATION/SLAB PLAN**

(Scale: 1/8" = 12")

**General Notes**

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No.	Revision/Issue	Date

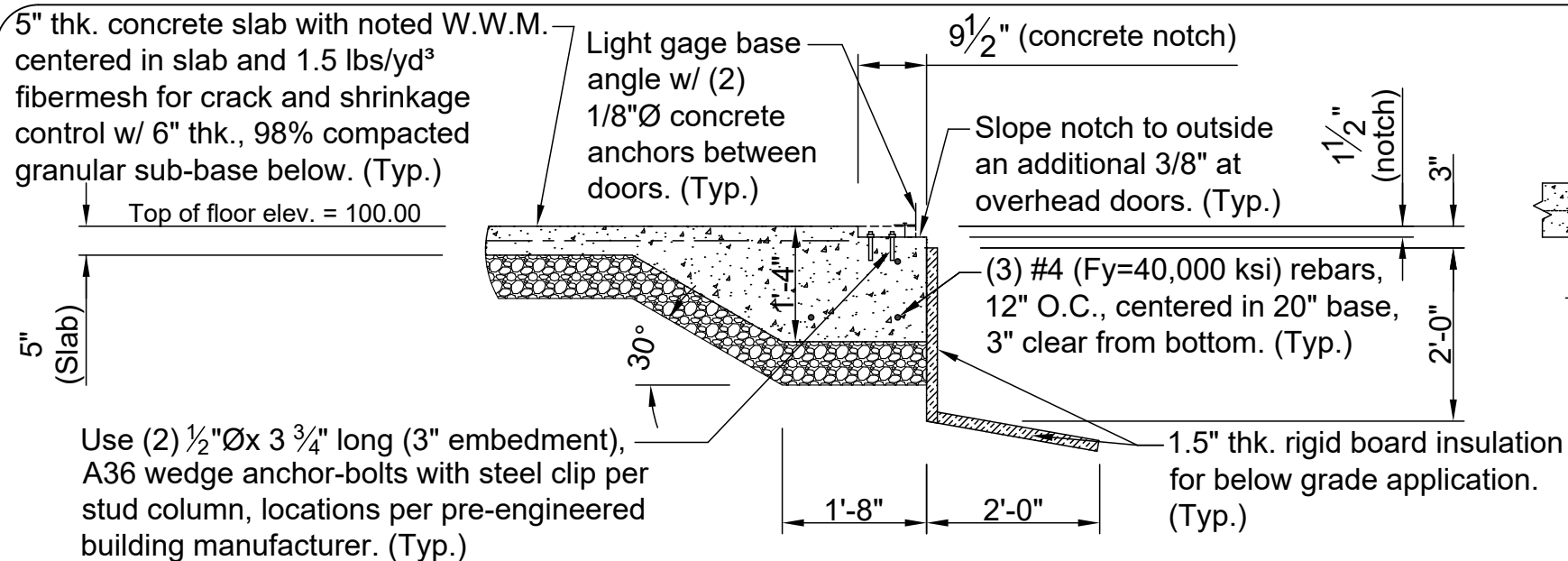
**Firm Name and Address**

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213 Fond du Lac St.  
Waupun, WI 53963  
Ph: 920-392-9063  
Cell: 920-324-5250  
[thoinacki@charter.net](mailto:thoinacki@charter.net)

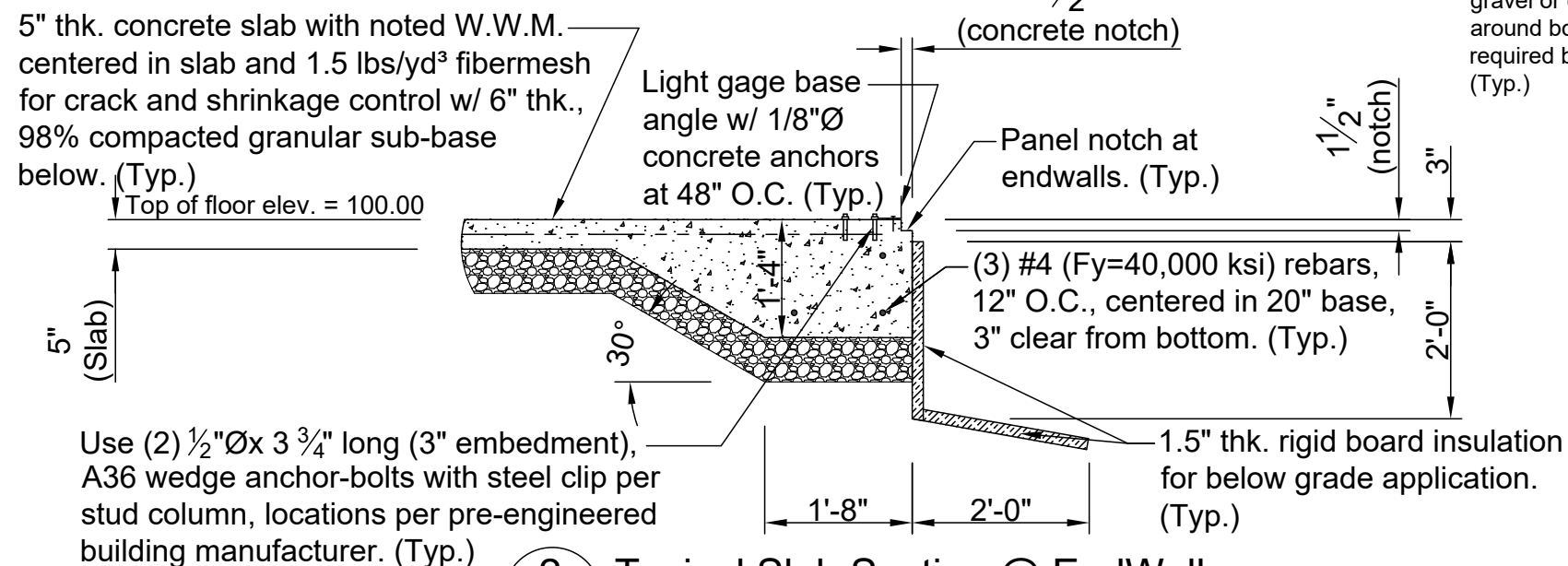
**Project Name and Address**

1 Hoinacki Storage, LLC -  
Storage Bldg's #3 & 4.  
1049 S. Watertown St.  
Waupun, WI 53963

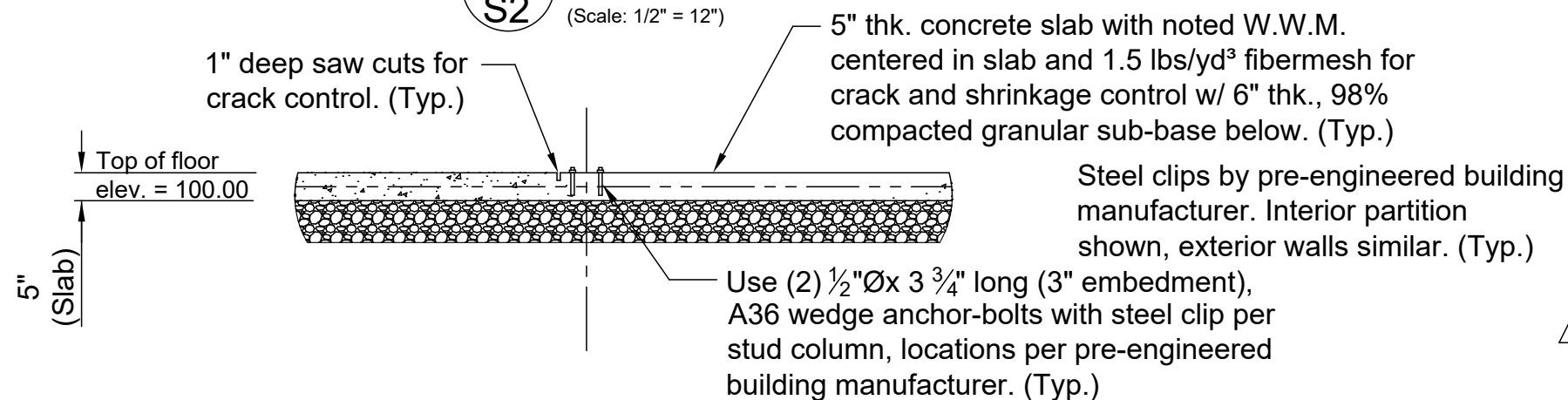
Project	Q18-113	Sheet	<b>S-1b</b>
Date	10-2-18		
Scale	As Noted		



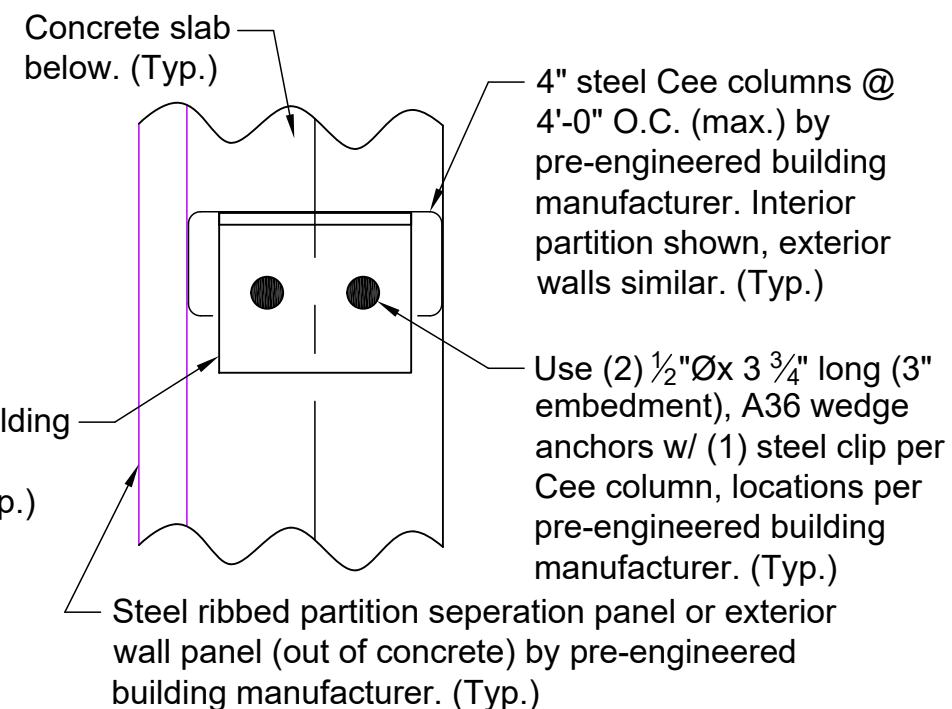
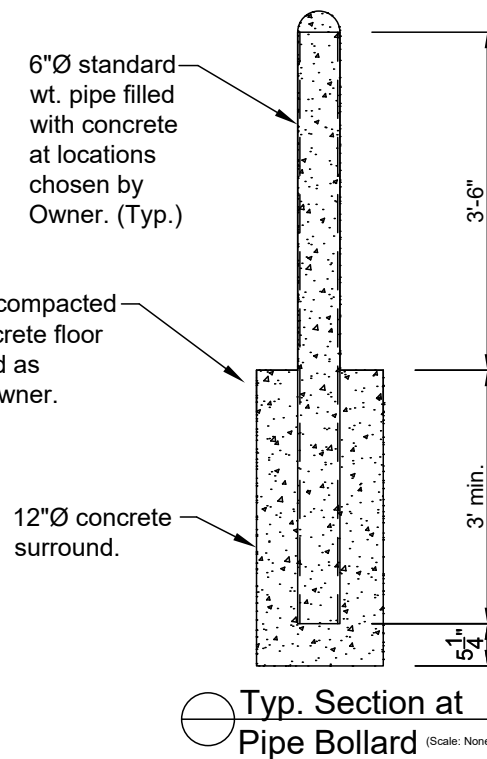
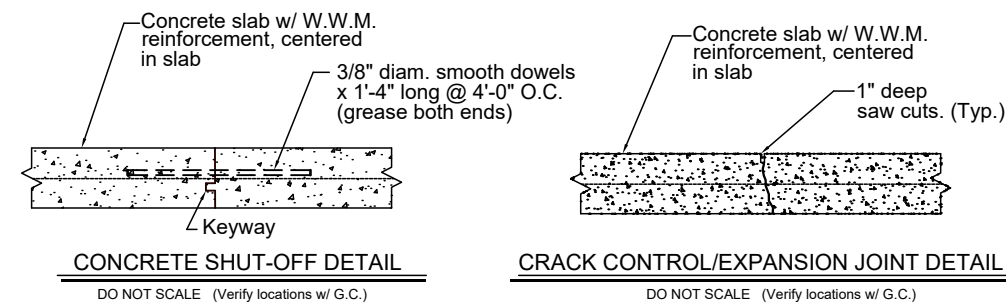
**1**  
**S2** Typical Slab Section @ Sidewalls with Overhead Doors  
(Scale: 1/2" = 12")



**2**  
**S2** Typical Slab Section @ EndWalls  
(Scale: 1/2" = 12")



**3**  
**S2** Typical Interior Slab Section @ Width Partitions  
(Scale: 1/2" = 12")



**4**  
**S2** Typical Cee Section Column Anchor Detail  
(Scale: 4" = 12")

**General Notes**

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Project	Q18-113	Sheet	<b>S-2</b>
Date	10-2-18		
Scale	As Noted		



## DESIGN LOADS

LOADING: SEE COVER PAGE.

## DESIGN STRESSES

CONCRETE AT 28 DAYS =  $F'_c = 4000$  PSI (MIN.), PRECAST KEYWAYS,  
WALLS, PIERS, COLUMNS, FOOTINGS AND EXTERIOR EXPOSED  
CONCRETE WITH REINFORCING NOTED.

## REINFORCING STEEL

IN CONCRETE:  $F_y = 40,000$  PSI (MIN.) PER ASTM  
A615, GRADE 40.

STRUCTURAL STEEL       $F_y = 36,000$  OR  $50,000$  PSI AS NOTED.

CONCRETE AT 28 DAYS F'c = 4000 PSI (MIN.) FOR ALL CONCRETE SLABS ON GRADE, TOPPING, AND SUPPORTED FLOORS. USE 6x6-W2.9xW2.9 W.W.M. 2" CLEAR FROM TOP OF SLAB AND OR IN CENTER 1/3rd OF ALL CONCRETE SLABS PLUS USE 1.5 LBS/YD<sup>3</sup> OF POLY. MESH IN ALL SLABS UNLESS OTHERWISE NOTED.

ANCHOR BOLTS                      Fy = 36,000 PSI, A36 ANCHOR BOLTS  
WITH NUTS AND WASHERS AS SHOWN  
AND/OR NOTED.

PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE = 1500 PSF  
WITH COEFF. OF RUPTURE = 225 PCI GIVEN SITE OBSERVED SANDY  
GRAVEL SOIL TYPE CLASS OF MATERIALS = GW.

## MATERIAL STRENGTH REQUIREMENTS:

- |  |   |
|--|---|
| 1. Structural steel: Building steel:   | Per pre-engineered building manufacturer engineers sealed drawings and calculations. Provide final information to Engineer to verify enclosed design. |
| Structural Steel:  | ASTM A36 & ASTM A307/A325 bolts as noted.   |
| Deformed reinforcing:  | ASTM A615, Grade 40 with welding of deformed bars per ACI 318-06 and ANSI/AWS D1.4.   |
| 2. Concrete: ASTM C 1157 with F'c = 4000 (min.) @ 28 days.   |   |
| 3. Engineered fill: 6" (min.) of clean granular, class 5 crushed stone/engineered fill, unfrozen and free of organic, wood, and other debris in lifts not to exceed 6" with proper compaction equipment depending on the soil type. All engineered fill should be compacted at a moisture content within 2% of optimum moisture content as determined by a modified proctor test (ASTM D 1557). Minimum compaction to be 98% below building, foundations and within 2' of slab, foundation or pavement subgrade. |   |

GENERAL NOTES:

1. All work shall conform to state, local and federal codes which govern for the construction site and shall be done in a workmanship like manner. Any additions to or deletions from the plan must be in accordance with codes having jurisdiction and may require resubmittal. Notify engineer of all such changes.
2. The contractor is responsible for field verifying all existing conditions, dimensions and modifications.
3. Every effort has been made on these drawings to completely and clearly show the design intent and all relative details for the complete project. It is impossible to show each and every specific detail and show every component, anchor, etc. therefore it is the responsibility of the contractor to provide all labor and materials necessary to complete the intent of the document including items not shown but necessary for a completed project finished in a workmanship like manner that is standard in the industry.

4. The contractor is responsible for any damage caused by neglecting to provide temporary covering at any wall opening. The building must be kept enclosed, dry and subject to minimal heat loss thru construction openings.
5. Shop drawings prepared by the contractors, suppliers, etc. shall be reviewed by the engineer only for compliance of the design concept. No work shall be started without such written material submitted and approved..
6. All details and sections shown on the drawings are intended to be typical and shall be construed to apply to any similar situation elsewhere on the project, except where a different detail is shown.
7. All general and specific notes shall apply equally to all contractors and suppliers engaged in execution of the work shown on these plans. These notes supplement and are made a part of the entire contract documents.
8. All construction shall be executed in conformance with the following:
  - Plan and specifications.
  - State of Wisconsin, Federal and all Safety Codes.
  - National, State, Local and Municipal applicable codes.

9. Contractor to cross check dimensions and elevations between structural, civil, equipment and other information generated on the project. Contractor to provide final column loadings and anchor setting to engineer prior to the start of concrete work to verify design. Engineer shall be notified of any variance before contractor begins work. All equipment supports and anchorages to be cross checked with manufacturer's drawings by contractor. Contractor shall verify all profiles, heights and dimensions at project prior to fabrication of material and inform the engineer of any discrepancies or framing interferences.
10. Contractor to coordinate with all other trades to provide openings in walls, floors, roof, etc. in no case shall structural alterations or work affecting a structural member be made unless approved by Engineer.
11. Provide all necessary temporary bracing, shoring, guying or other means to avoid excessive stresses and to hold structural elements in place during construction.
12. Contractor to consult with "Diggers Hotline" prior to excavation to locate underground gas, sewer, water and electrical obstacles.
13. The Engineer is not responsible for the means and methods of construction and the safety of the job site and that these responsibilities are intended to be and remain solely those of the General Contractor.

## EARTHWORK:

1. All earthwork and foundations systems to be installed per the Civil Engineers' recommendations and report if applicable. In all cases follow good construction practices, code recommendations and specification requirements for site preparation, foundation recommendations, dewatering recommendations, engineered fills recommendations, construction material test program recommendations procedures given sub-surface conditions and other recommendation by the projects' Civil Engineer. Slab and foundation settlements are a natural phenomena and due not create a cause for action against this designer given site observations and other communications have not indicated any unusual conditions.
2. Contractor to provide temporary supports as required to prevent horizontal movement or vertical settlement which will endanger adjacent structures, streets, utilities, life, etc.
3. No foundation or slabs shall be placed on frozen subgrade.
4. Protect in-place foundations and slabs from frost penetration until the project is completed.
5. All areas on the project requiring fill shall be filled with uniformly graded, Class 5 crushed stone compacted granular fill. Place fill materials in layers not to exceed 6 inches in depth and compacted to a minimum 98% maximum dry density. Protect excavation bottoms against freezing when temperatures are less than 35 degrees Fahrenheit.
6. In areas of compact fill, backfilling against both sides of walls, etc. is to be done at the same rate to prevent overturning of the element.
7. Testing of bearing soils, compacted granular fill, etc. shall be performed by a testing agency selected by and paid for by owner. Contractor to call testing agency when services are required. In cases when this step is not performed by the owner, the soil properties listed herein constitute the entire relationship and responsibility by this and other documents authored.

8. Contractor to notify engineer of all requirements of ground methane removal system from under all slabs on project. Contractors to incorporate requirements into all work as required to thoroughly address requirements. Contractor to meet all requirements including sound industry and engineering judgment when addressing methane abatement system construction.

## CONCRETE REINFORCEMENT:

2. All dowels and anchor bolts to be positioned by template and tied in place before placing concrete.
3. Detailing of all steel reinforcing and reinforcing supports shall be in accordance with "The Manual of Standard Practice" produced by CRSI, and ACI Standards unless otherwise indicated.
4. All reinforcing shall be placed on supports.
5. All reinforcing marked "cont" to be lapped 24 diameters or 1'-3" minimum at splices and extended around corners with corner bars. All other bars at splices shall be lapped 36 bar diameters, minimum.
6. Reinforcing to be placed in walls as follows if not otherwise shown:
  - 12" walls - #3 @ 36" O.C. horiz & vertical (both faces).
  - 8" walls - #3 @ 48" O.C. horiz & vertical (one face).
7. Place 2 - #4 bars around all holes in concrete including reentrant corners at both surfaces and extend 24" beyond edge of opening unless otherwise noted.
8. Use reinforcing clearances below unless otherwise shown or required by stated codes:
 

Slabs -----	3/4" top and bottom (interior)
Walls -----	1 1/2" top and bottom (exterior and all slabs on grade),
Piers -----	1 1/2"
Footings -----	3".
9. Provide corner bars at all wall corners and intersections whether shown or not shown on plans and specifications.
10. Fiber mesh (at rate of 1.5 lbs/yd<sup>3</sup>) should be used in all slabs on grade in conjunction with 6 x 6 - W2.9xW2.9 W.W.M., but Fiber Mesh is not a substitution for W.W.M. under any circumstances. All W.W.M. to have 75 ksi min. yield point. Locate W.W.M. 2" from top of slab and within center 1/3rd of slab thickness.

## CAST IN PLACE CONCRETE:

1. Concrete work shall conform to the latest edition of the following standards:
  - ACI 301 "specifications for structural concrete",
  - ACI "manual of standard practice" (reports and guidelines),
  - ACI-318 "building code requirements for reinforced concrete",
  - ACI-318.1 " building code requirements for structural plain concrete".
2. Provide a minimum of 1.5" rigid board insulation and 6" compacted granular fill under all slabs on grade.
3. Maximum length of wall cast in one piece shall be 75 feet with construction joints between columns and allow 24 hours between adjacent pours.
4. Top elevation of all slabs, piles, footings and walls to be as shown on plans.
5. All concrete shall have 28 day cylinder strength, f'c as indicated on plans and specifications.
6. All concrete exposed to weather shall be air-entrained with 4% to 7% air content.
7. Sawn joints in non-structural slabs on grade to be made within 18 hours after placing concrete or sooner if concrete strength permits. Joints shall be 15% of slab depth. Locate all saw cuts at a max. spacing of 15' O.C.
8. Keys shall be placed at all shut-off points in walls, slabs, beams and joists. All keyways to be formed from 2 x 4 lumber unless noted otherwise.
9. Check architectural, steel building, heating and ventilating, electrical and plumbing drawings for sleeves, hangers, inserts and items cast into concrete.

## STRUCTURAL STEEL:

1. All steel shall conform to ASTM specifications noted.
2. Fabricate all steel per the latest AISC Specifications and approved shop drawings as follows:
  - a. Weld all joints per AWS D1.1,
  - b. Punch or drill holes 1/16" larger than bolt diameter unless noted,
  - c. Clean and prepare surfaces for field welding to assure good weld quality,
  - d. Make fillet welds minimum size per AISC specifications,
  - e. Make butt weld full penetration per AISC Manual, Part 4, and AWS D1.1 unless noted,
  - f. Do not use intermittent weld for members exposed to the elements,
  - g. Provide holes in materials for all other materials and work,
3. Shop prime steel by cleaning per SSPC-SP3 and apply one coat of 1 mil dry film thickness except surfaces used in slip critical joints.
4. Erect steel in accordance with AISC Specifications.
5. All structural bolts to be A307 or A325, 5/8"Ø unless otherwise noted by pre-engineered building manufacturer.
6. All structural bolts are designed as bearing type connections and are to be tightened by "Turn-of-the-Nut" method.
7. Expansion/wedge bolts, where called out, shall be 1/2" or 5/8" dia. at spacing indicated.
8. Provide washers under all nuts for base plate anchor bolts. Holes in base plates for anchor bolts to be oversized holes per AISC.
9. All welding per AWS Specifications using ASTM A233 (class 70) electrodes. All welds not shown shall be minimum to develop the smaller connecting member. All welding to be performed by a Wisconsin Certified Welder.
10. Fielding burning of holes is not permitted in primary structural members.
11. All steel to be designed as component by the selected pre-engineered building manufacturer, certified by professional engineer to meet or exceed the noted Building Codes.

### General Notes

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Project	Q18-113	Sheet  <b>S-3</b>
Date	10-2-18	
Scale	As Noted	

# OUTLINE SPECIFICATION

PROVIDE PRE-FINISHED RIBBED METAL PANEL IN 29 GAUGE AS DESIGNED FOR ROOF APPLICATION. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES. APPLY COMPATIBLE FLASHING AT CURBS, VENTS, PIPES, AND DRAINS, ETC., AS PER MANUFACTURER. DO NOT USE ASPHALTIC COMPOUNDS.

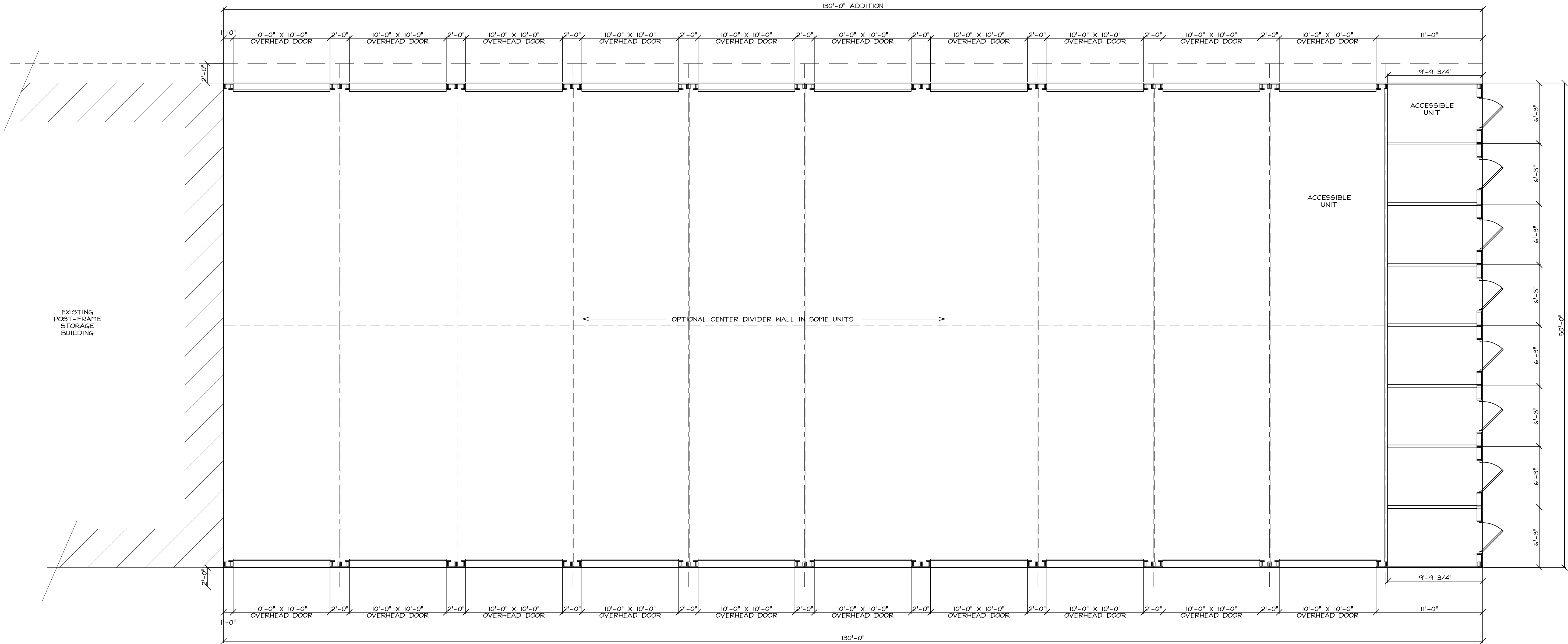
NONE REQUIRED

Area increase due to frontages  $I_f = (100)[F/P - 0.25](W/30) = \underline{\underline{65.1}}$

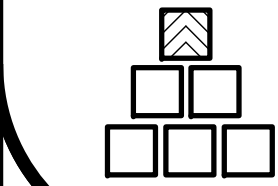
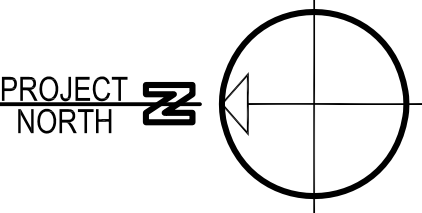
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T1.0





FLOOR PLAN  
SCALE 3/16" = 1'-0"



CADRE INC.  
design • consult • manage

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phone: 920-924-0110      fax: 920-924-0227  
design88@tds.net

OWNER

STAM HOLDINGS, LLC  
W10969 DEAD END ROAD  
WAUPUN, WI 53963

PROJECT

STORAGE BUILDING ADDITION  
503 INDUSTRIAL AVE  
WAUPUN, WI 53963

DATE

OCT 28, 2018

REVISIONS


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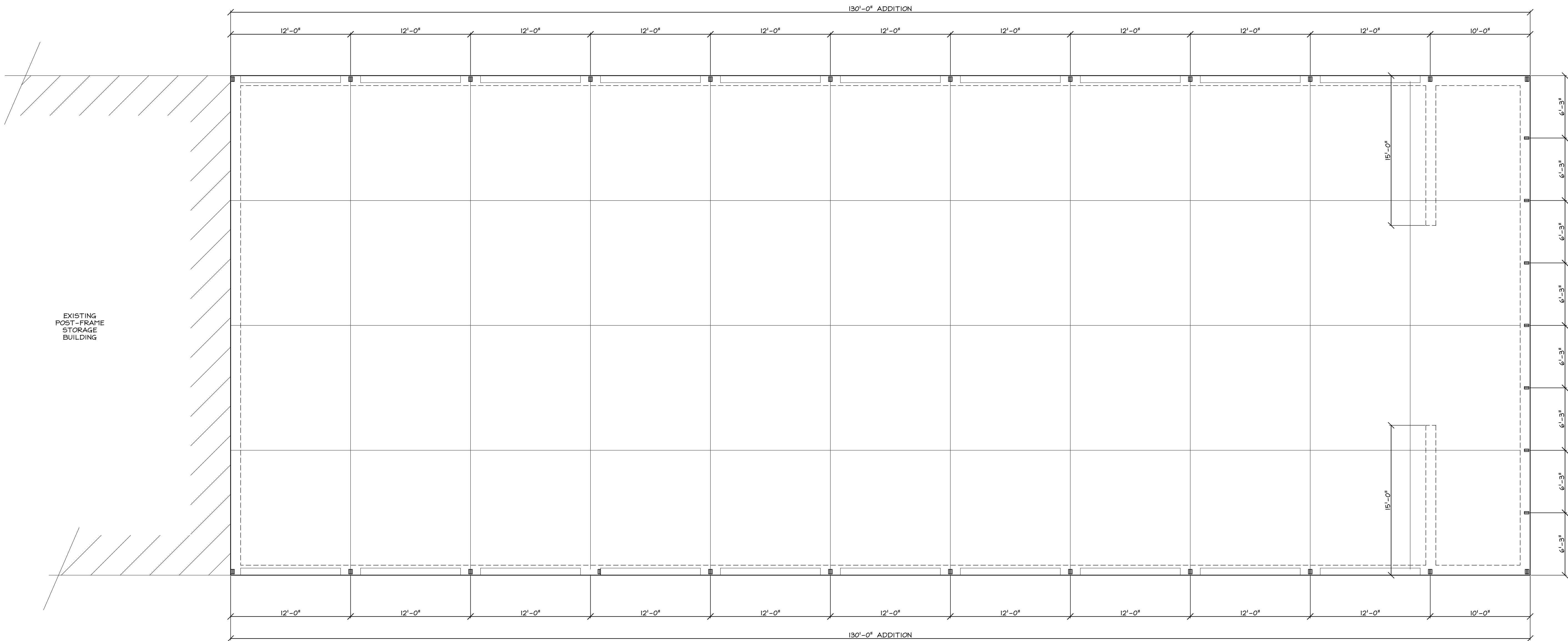
PROJECT

18168

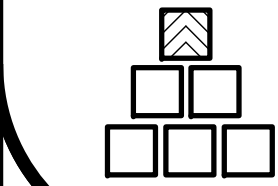
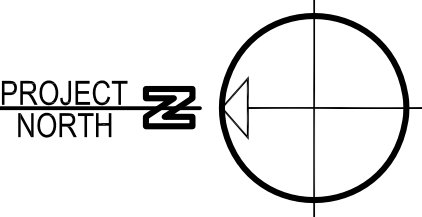
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FLOOR PLAN  
SCALE 3/16" = 1'-0"



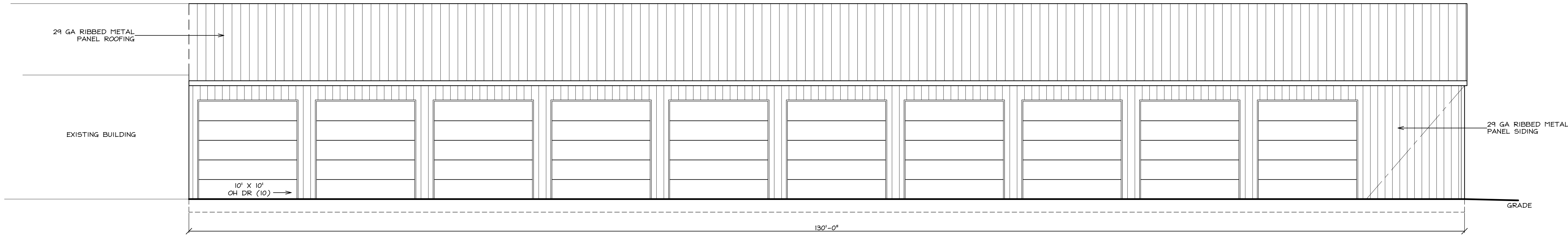
**CADRE INC.**  
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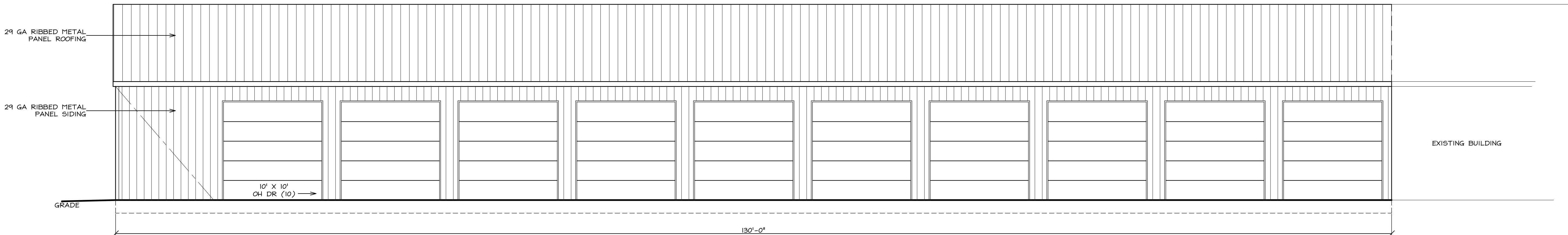
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STORAGE BUILDING ADDITION  
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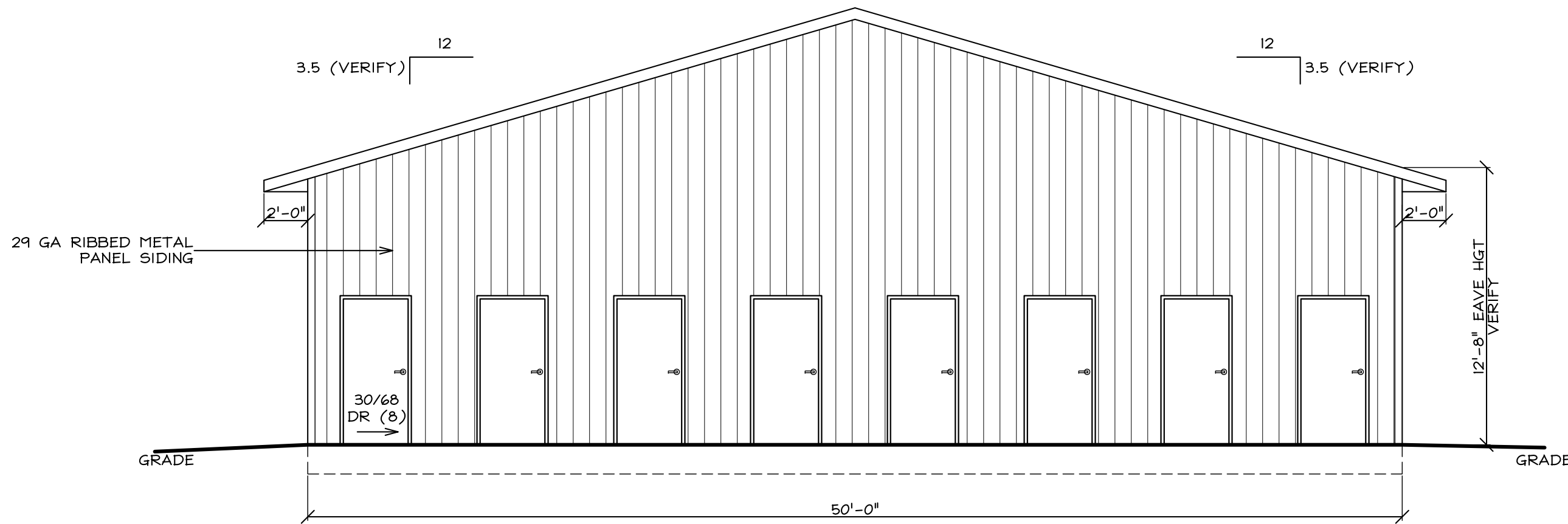

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**WEST ELEVATION**  
SCALE 3/16" = 1'-0"



**EAST ELEVATION**  
SCALE 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE 3/16" = 1'-0"

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**PROJECT**  
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WAUPUN, WI 53963

**DATE**  
OCT 28, 2018

**REVISIONS**

NO.	DESCRIPTION	DATE

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## SITE PLAN

Legal Description:  
LOT 1 OF CERTIFIED SURVEY MAP NUMBER 2517 AS RECORDED IN VOLUME 15 OF CSM'S ON PAGES 179  
AND 180 AS DOCUMENT NUMBER 725808, LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF  
SECTION 8, TOWN 13 NORTH, RANGE 15 EAST, CITY OF WAUPUN, DODGE COUNTY, WISCONSIN.

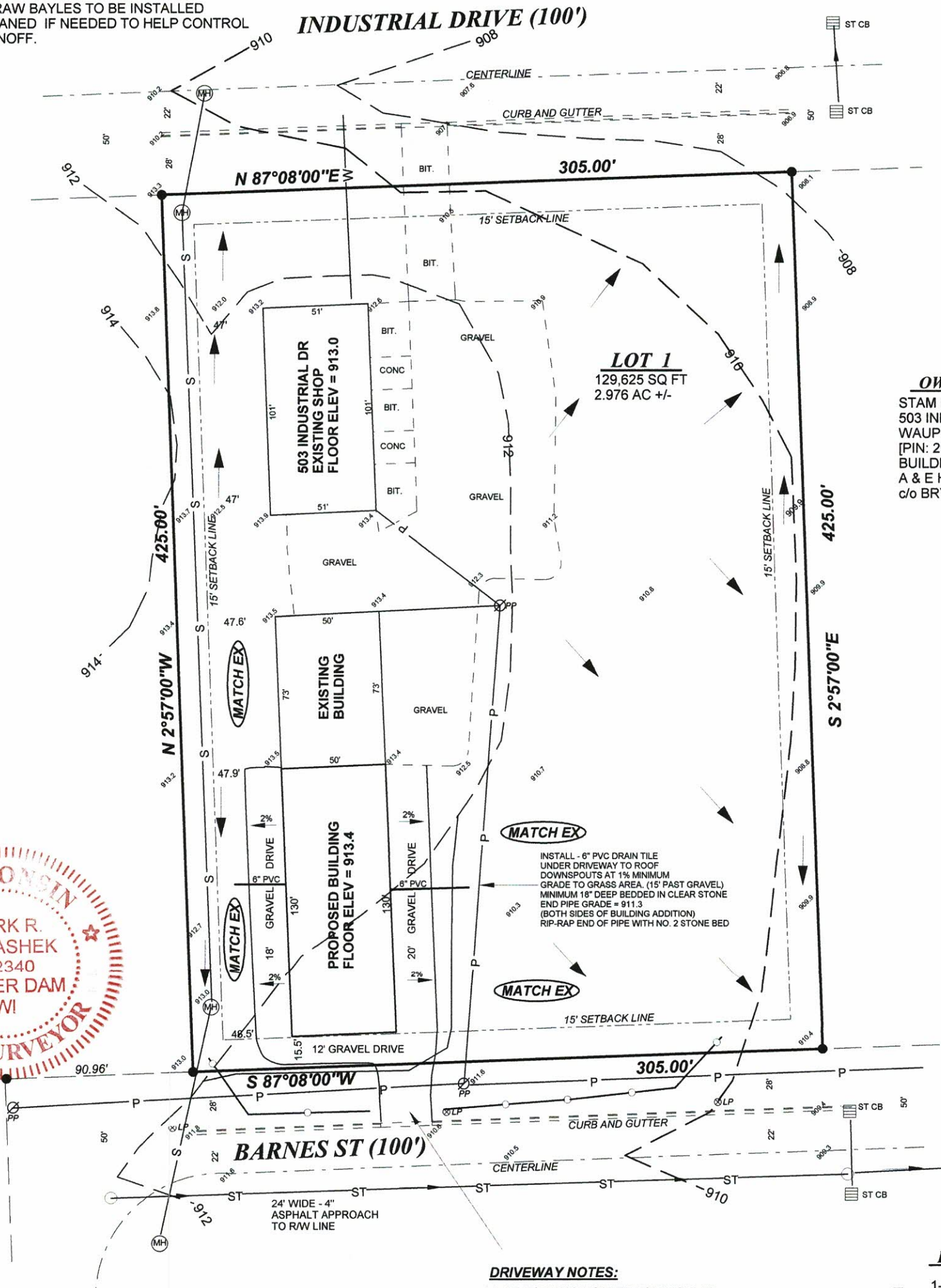
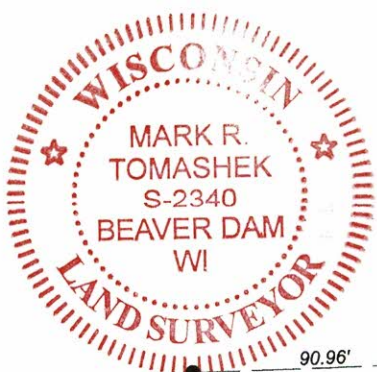
### NOTES:

- 1.) BUILDER MUST VERIFY ALL GRADES PRIOR TO CONSTRUCTION WITH CITY OF WAUPUN BUILDING INSPECTOR.
- 2.) ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOONS AS PRACTICAL TO PREVENT UNNECESSARY EROSION AS OUTLINED IN BEST MANAGEMENT PRACTICES.
- 3.) SILT FENCEING AND POSSIBLE DITCH CHECK STRAW BAYLES TO BE INSTALLED AND MAINTAINED IF NEEDED TO HELP CONTROL STORM RUNOFF.

### SITE BENCHMARKS:

BM 1: TOP IRON PIPE SW PROPERTY CORNER  
USGS ELEV. = 913.00  
BM 2: TOP OF MH COVER EAST PROPERTY LINE  
USGS ELEV. = 909.50  
BM 3: TOP IRON PIPE NE PROPERTY CORNER  
USGS ELEV. = 908.10

North point is referenced to Lot 1 CSM No. 2517.



### OWNER

STAM HOLDINGS LLC  
503 INDUSTRIAL DR  
WAUPUN WI, 53963  
[PIN: 292-1315-0811-003]  
BUILDER:  
A & E HOMES INC  
c/o BRYON YOHN

### DRIVEWAY NOTES:

- 1.) CONSTRUCTION TRACKING PAD TO BE INSTALLED AND MAINTAINED 8\" - NO. 2 STONE. AT ENTRANCE.
- 2.) GRAVEL DRIVEWAY AREAS TO INSTALL 5\" - # 2 STONE BASE WITH 3\" - 3/4\" ROAD GRAVEL FINISH (12\" TOTAL)
- 3.) DRIVEWAY APPROACH 24' WIDE BY 28' LONG TO BE CONSTRUCTED AT ENTRANCE TO BE INSTALLED WITH 4\" ASPHALT PAVEMENT BETWEEN CURB LINE AND R/W LINE AFTER BUILDING CONSTRUCTION COMPLETED.

### LEGEND

- 1-1/4\" Iron Rebar Found weighing 1.50 lbs/ft
- 1\" Iron Pipe Found
- Exist Spot Elevation
- 880.8 Proposed Yard Grade
- Proposed Drainage
- Silt Fence

I certify that this map is correct according to official records to the best of my knowledge and belief.

Dated this 5th day of Nov., 2018

Mark R Tomashek WI RLS 2340-008  
New Frontier Land Surveying LLC  
at Beaver Dam, Wisconsin.

NOTE: No title commitment of results of a title search were furnished to New Frontier Land Surveying pertaining to this survey. This Survey may may not reflect easements of record, encumbrances, restrictions, ownership title evidence or other facts that an accurate and current title search may disclose.

### GRAPHIC SCALE

