



A G E N D A
CITY OF WAUPUN PLAN COMMISSION
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, April 17, 2019 at 4:45 PM

CALL TO ORDER

ROLL CALL

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--*State name, address, and subject of comments. (2 Minutes)*

No Public Participation after this point.

FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION

CONSIDERATION - ACTION

- [1.](#) Discuss / Act On Minutes from the March 20, 2019 meeting.
- [2.](#) Discuss / Act On Rezoning of Spirit Fields Subdivision
- [3.](#) Discuss / Act On Certified Survey Map for Lot 21 and 22 of Fairway Estates.
- [4.](#) Discuss / Act On Site Plan for American Transmission Company at 320 N. Forest St (Parcel # WPN-14-15-99-OV-062-03)
5. Discuss / Act On Final Plat for Spirit Fields Subdivision (will be distributed at meeting)

ADJOURNMENT

Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.



MINUTES (D R A F T)
CITY OF WAUPUN PLAN COMMISSION
Waupun City Hall – 201 E. Main Street, Waupun WI
Wednesday, March 20, 2019 at 4:45 PM

CALL TO ORDER

The Plan Commission met at 4:45 pm in the Council Chambers, City Hall, Waupun.

ROLL CALL

Members Present: Julie Nickel, Fred Lueck, Jerry Medema, Elton TerBeest, Jeff Daane, and Derek Drews

Member Excused: Mike Matoushek

Staff Present: Kathy Schlieve and Sarah VanBuren

PERSONS WISHING TO ADDRESS THE PLAN COMMISSION

Mayor Nickel asked if there were any persons wishing to address the Plan Commission on any issue not included on today's agenda.

CONSIDERATION - ACTION

1. Approve minutes of the February 20, 2019 meeting.
Motion by Drews, seconded by TerBeest to approve the minutes of the February 20, 2019 meeting as presented. Motion carried, unanimously, minutes approved.
2. Conditional Use Permit - Central Wisconsin Christian Schools at 301 Fox Lake Rd. to allow an addition onto an existing school. Municipal Code Section 16.03(4)(d)(i) requires a Conditional Use Permit for public and parochial schools.

Chairman Nickel read the call of the hearing and its purpose. The City's Conditional Use Permit Application indicates that the property is zoned R-1 and a Conditional Use Permit is required for a school in the R-1 Zoning District. The City has determined that the proposed expansion requires a new Conditional Use Permit in this situation. Dean Schultz of Excel Engineering briefly discussed the proposed additions to the Middle and Elementary Schools on the premises. A 3,370 sq. ft. addition is proposed on the school's SW corner for two classrooms and a wellness center. A 4,040 sq. ft. addition is proposed for the NE corner of the building to include three classrooms. He showed pictures of what the building would look like after construction. The pictures were made by WDS and Excel. The traffic pattern on the site would remain unchanged.

There would also be work on the north entrance for security purposes. Daane questioned a utility easement on the plan. Mr. Schultz believed that easement was actually from a previous plan on the site. It appears all proposed construction will comply with the City's yard and setback requirements. No further facts or concerns were presented by the committee or the public so Chairman Nickel declared the hearing closed and called for a motion to act on this request.

Motion by TerBeest, seconded by Drews to approve a Conditional Use Permit for two additions to the Central Wisconsin Christian School at 301 Fox Lake Rd (STH 68) as we find the proposed Conditional Use will not be detrimental to the adjoining land uses as it is an appropriate use, the additions will not result in any traffic hazard, will not hinder future development in the area, will not create undesirable levels of noise or light and will not cause property values to measurably decline.

Vote: Drews, Daane, TerBeest, Medema, Nickel - "AYE"

Lueck - Abstain

Motion carried 5-0-1

3. Discuss / Act on Site Plan for Central Wisconsin Christian Schools at 301 Fox Lake Rd.

Daane noted the stormwater and drainage plans are being reviewed by MSA and will be up to date. Lueck questioned their erosion control plans as they don't appear to be included with the submitted master plan. Daane noted they will be reviewed by his staff and MSA.

Motion by Lueck, seconded by Nickel to approve the site plan for Central Wisconsin Christian Schools as presented.

Vote: Drews, Daane, TerBeest, Medema, Lueck, Nickel - "AYE" Motion carried, unanimously.

4. Discuss / Act on site plan for Summit Credit Union on Shaler Dr.

Greg Polacheck, representing Summit Credit Union discussed their site plan submitted by "JSD" Professional Services Inc. The proposed building will be located between the Taco Bell restaurant and the AmericInn Motel on Shaler Dr. The site plan shows the building location on the lot in compliance with the Cities yard and setback requirements. He noted there is a need for the Credit Union as the prison system has now merged with Summit instead of Cuna Credit Union. Summit is open to the public and has an ATM machine and is a full service Financial branch. Peter Tan who was the principle designer of this building appeared with a slide presentation on the site plan, the building location, monument and pylon signs as well as a representative sample of the exterior siding, facade, and glass windows.

Daane noted a DNR permit may be needed for a retention pond as their lot is over 1 ACRE. Mr. Polacheck noted they are aware of this and are working with the DNR. A detailed grading plan, utility plan, and a landscaping plan with details and specifications was also reviewed. Four elevations of the building were submitted. A silver metallic ribbed metal panel and an endicott manganese ironspot brick were noted for their exterior siding. Internally illuminated signage was also indicated on the plan.

Chairman Nickel determined that there was no further information needed for review of this site plan so she called for a motion to act on this site plan.

Motion by TerBeest, seconded by Medema to approve the site plan for Summit Credit Union as presented on the condition that the stormwater issue be resolved prior to construction.

Vote: Drews, Daane, TerBeest, Medema, Lueck, Nickel - "AYE" Motion carried 6-0.

ADJOURNMENT

Motion by Lueck, seconded by Nickel to adjourn the meeting. Motion carried, meeting adjourned at 5:11 pm.

Fred Lueck,
Secretary

ORDINANCE NUMBER 19-

AN ORDINANCE TO AMEND CHAPTER SIXTEEN OF THE MUNICIPAL CODE OF THE CITY OF WAUPUN ENTITLED “ZONING ORDINANCE.”

THE COMMON COUNCIL OF THE CITY OF WAUPUN, DO ORDAIN:

SECTION 1: Section 16.01 (10) of the Municipal Code of the City of Waupun entitled “Zoning Map” is amended so that real estate currently owned by the City of Waupun, and presently zoned in the PCD District is rezoned to the R-4 Central Area Single Family Residential District. The real estate to be rezoned is described as follows:

Lots 1 – 9 of the proposed Spirit Fields Plat (Parcel #292-1315-0433-027)

And

OL 1 CSM 6733 in V45 P320 Being Pt SW ¼ SW ¼ Sec 4 (Parcel #292-1315-0433-023)

SECTION 2: This Ordinance shall be in full force and effect upon its passage and publication as provided by law.

Enacted this ____ day of _____, 2019.

Julie Nickel
Mayor

ATTEST:

Angela Hull
City Clerk

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN, that at a meeting of the Plan Commission of the City of Waupun, to be held in the Council Chambers in the City Hall of the City of Waupun on Wednesday the 17th day of April, 2019, at 4:45 o'clock in the P.M. there will be considered a petition for rezoning property and an ordinance to amend Chapter 16 of the Municipal Code of the City of Waupun, entitled "Zoning Code and Zoning Map" of:

1. City of Waupun to rezone property described as Lots 1-9 of the proposed Spirit Fields Plat and OL 1 CSM 6733 in V45 P320 Being Pt. SW ¼ SW ¼ Sec 4. from the PCD Zoning District, to the R-4 Central Area Single Family Residential Zoning District.

PLEASE TAKE FURTHER NOTICE that the proposed ordinance is on file in the office of the Zoning Administrator in the City Hall of the City of Waupun, Wisconsin and may be inspected during regular business hours.

PLEASE TAKE FURTHER NOTICE that all persons desiring to be heard on the proposed amendment in support thereof or in opposition thereto, must appear at the said meeting of the Plan Commission of the City of Waupun.

Dated this 20th day of March, 2019.

Susan Leahy
Zoning Administrator
City of Waupun

(PUBLISH April 3, and April 10, 2019)

CERTIFIED SURVEY MAP NO.

BEING ALL OF LOT 21 & 22 FAIRWAY ESTATES,
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SEC. 31 T.14N., R.15E.,
IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

SURVEYOR:
KEITH A. KINDRED, PLS S-2082
SEH
501 MAPLE AVE
DELAFIELD, WI 53018
(414) 949-8919
KKINDRED@SEHINC.COM

SURVEY FOR:
MICHAEL J. MARTENS
300 BRANDON ST.
WAUPUN, WI 53963

BUILDING SETBACK
PER FINAL PLAT
FRONT - 30'
SIDE - 6'
REAR - 25'
WETLANDS - 20'

LOT 23
FAIRWAY ESTATES

LEGEND
● - 1" IRON PIPE FOUND
(UNLESS OTHERWISE STATED)
⊙ - 5/8" REBAR, 18" LONG,
WT. = 1.50 LBS./LIN. FT. SET

⊞ - B.C.A.M.

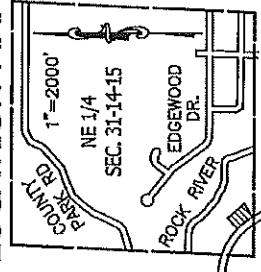
Chord: 169.09'
Course: N38°53'30"W
Arc Length: 169.45'
Radius: 746.00"
Delta: 13°00'52"
Tan: N32°23'05"W
Tan: N45°23'56"W

LOT 1
36,524 SF
(0.838 AC)

SCALE IN FEET
0 20 40

BEARINGS ARE REFERENCED TO THE
THE PLAT OF FAIRWAY ESTATES
WHERE THE SOUTH LINE OF THE NE 1/4
OF SECTION 31-14-15 AS S89°50'43"E.

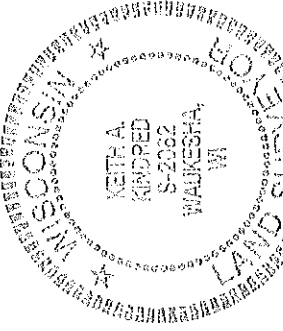
LOCATION MAP



OUTLOT 4
FAIRWAY ESTATES

BIRDIE BOULEVARD
76' ROW

LOT 20
FAIRWAY ESTATES



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NO. VICO_149899

THIS INSTRUMENT DRAFTED BY PETER A. TUFTEE

APRIL 1, 2019

SHEET 1 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 21 & 22 FAIRWAY ESTATES,
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SEC. 31 T.14N., R.15E.,
IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That I have surveyed and mapped all that part of lot 21 & 22 Fairway Estates,
Located in the SW 1/4 of the NE 1/4 of Sec. 31 T.14N., R.15E.,
in the City of Waupun, Fond Du Lac County, Wisconsin, more fully described as follows:

All of lot 21 and L 22 of Fairway Estates

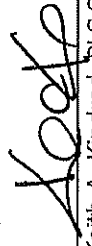
Said lands contain 36,523 Sq.Ft. (0.838 acres)

That I have made such survey, land division and Certified Survey Map by the direction of Michael J. Martens,
owner of said lands.

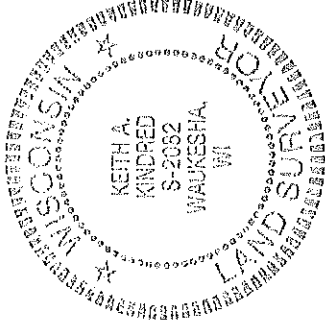
That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division
thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin State Statutes and the subdivision
regulations of the City of Waupun in surveying, dividing and mapping the same.

Dated this 1st day of April, 2019.



Keith A. Kindred, PLS S-2082



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NO. VICCO_149899

THIS INSTRUMENT DRAFTED BY PETER A. TUFTEE

SHEET 2 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 21 & 22 FAIRWAY ESTATES,
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SEC. 31 T.14N., R.15E.,
IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

As owner, I hereby certify that we caused that land described on this Certified Survey Map to be surveyed, mapped as represented on the Certified Survey Map. I also certify that this Certified Survey Map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1) City of Waupun

WITNESS the hand and seal of said owner this _____ day of _____
In Presence of: _____

Michael J. Martens

STATE OF WISCONSIN)

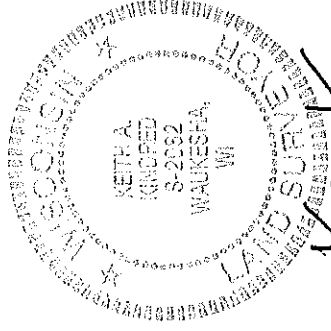
_____ COUNTY) SS

Personally came before me this _____ day of _____, 20____, the
above named Michael J. Martens to me known to be the same persons who executed the foregoing instrument
and acknowledged the same.

Notary Public

_____ County, Wisconsin

My Commission Expires _____



APRIL 1, 2019



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NO. VICCO_149899

THIS INSTRUMENT DRAFTED BY PETER A. TUFTEE

SHEET 3 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 21 & 22 FAIRWAY ESTATES,
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SEC. 31 T.14N., R.15E.,
IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

PLAN COMMISSION APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the City of Waupun, Michael J. Martens, owner, is hereby approved by the Plan Commission.

Approved as of the _____ day of _____, 20____

Date: _____ Signed _____

Julie Nickel, Chairperson

Date: _____ Signed _____

Angie Hull, City Clerk

COMMON COUNCIL APPROVAL CERTIFICATE:

APPROVED, that the Certified Survey Map, in the City of Waupun, Michael J. Martens, owner, is hereby approved by the Common Council.

Approved as of the _____ day of _____, 20____

Date: _____ Signed _____

Julie Nickel, Mayor

I hereby certify that the foregoing is true and correct copy of a resolution adopted by the Planning Commission of the City of Waupun.

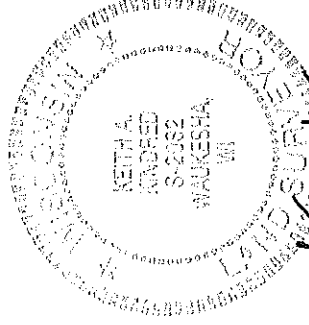
Date: _____ Signed _____

Angie Hull, City Clerk



PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com

PROJECT NO. VCCO_149899



APRIL 1, 2019

THIS INSTRUMENT DRAFTED BY PETER A. TUFTEE

SHEET 4 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING ALL OF LOT 21 & 22 FAIRWAY ESTATES,
LOCATED IN THE SW 1/4 OF THE NE 1/4 OF SEC. 31 T.14N., R.15E.,
IN THE CITY OF WAUPUN, FOND DU LAC COUNTY, WISCONSIN

CONSENT OF CORPORATE MORTGAGEE:

_____, a corporation duly organized and existing under and by virtue of the laws of the State of _____ mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certificate of Michael J. Martens, Owner.

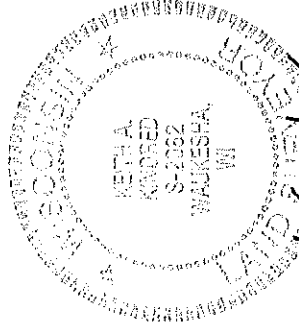
IN WITNESS WHEREOF, said _____ has caused these presents to be signed by _____, its _____, and countersigned by _____, its _____ at _____, and its corporate seal to be hereunto affixed this _____ day of _____, 20 _____.

STATE OF _____)
_____ COUNTY) SS)
Personally came before me this _____ day of _____, 20 _____
the above named _____,
and _____, _____ of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____
and _____ of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

(Notary Seal) _____


Notary Public, _____

My commission expires _____.



[Signature]

APRIL 1, 2019

 PHONE: 414.949.8962
501 MAPLE AVENUE
DELAFIELD, WI 53018-9351
www.sehinc.com



Susan Leahy <gvinspection@gmail.com>

ATC/Control House Drawings

Hanson, Julie <jhanson@atcllc.com>

Wed, Apr 3, 2019 at 3:13 PM

To: "gvinspection@gmail.com" <gvinspection@gmail.com>

Cc: "Rohde, Mary" <m.rohde@gaiconsultants.com>

Dear Susan,

Thank you for speaking with Mary and I today regarding our project at the Waupun SS in the City of Waupun. The parcel# is WPN-14-15-99-OV-062-03 and I believe it is zoned M-1. All equipment and structures including the fence will be replaced and a new 16X36 control house will be built. The fence is planned to be 6 feet with 1 foot of barbed wire and plans will be finalized in the coming weeks.

We understand that a copy of the approved DNR permit will be required for the transmission line structure in the wetland and we will include that with the final drawings.

I have included the site plan, elevation, and floor plan of the control house for your review. Please let me know if we are able to be placed on the April 17 agenda for the Planning Commission meeting for the site plan review. If you have any questions or need additional information please do not hesitate contacting me.

Sincerely,

Julie Hanson, SR/WA

Real Estate Representative

American Transmission Company

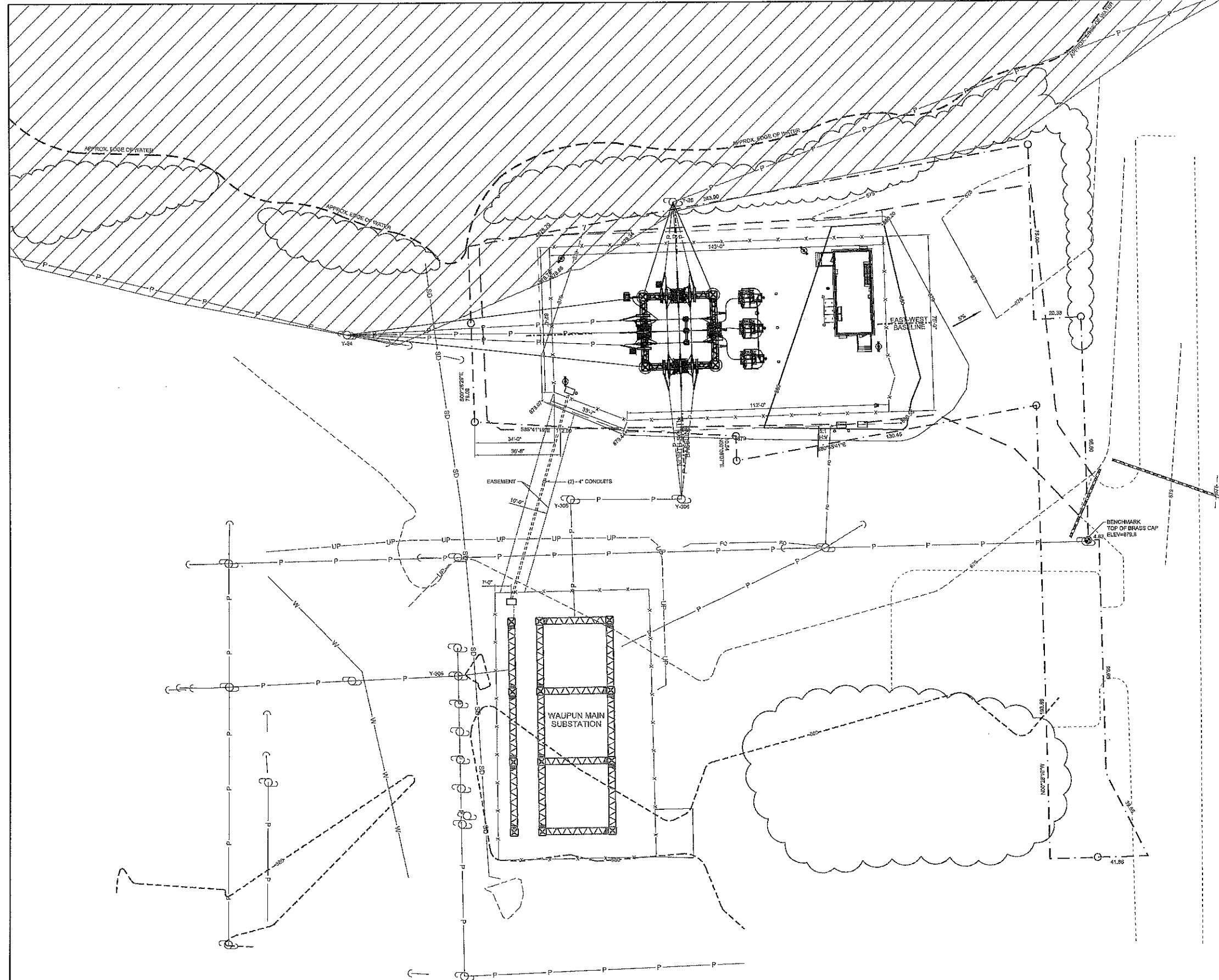
5303 Fen Oak Drive

Madison, WI 53718-8810

608.877.3631-office

608.228.5293-cell

3 attachments**Binder CTRL BLDG vendor drawings 03-27-2019 .pdf**
1973K



- LEGEND**
- EXISTING MAJOR CONTOURS --- 880 ---
 - EXISTING MINOR CONTOURS --- 875 ---
 - PROPOSED MAJOR CONTOURS --- 880 ---
 - PROPOSED MINOR CONTOURS --- 875 ---
 - BASE LINE --- ---
 - EXISTING GRAVEL EXTENTS --- ---
 - PROPOSED GRAVEL EXTENTS --- ---
 - EXISTING FENCELINE --- X ---
 - PROPOSED FENCELINE --- X ---
 - PROPOSED UNDERGROUND FIBER OPTIC --- F3 ---
 - PROPERTY BOUNDARIES EXISTING --- P ---
 - EXISTING OVERHEAD POWER LINE --- P ---
 - PROPOSED OVERHEAD POWER LINE --- P ---
 - EXISTING UNDERGROUND POWER LINE --- UP ---
 - EXISTING STORM DRAIN --- SD ---
 - EXISTING CULVERT PIPE --- ---
 - EXISTING WATERMAIN --- W ---
 - APPROX. EXTENT OF EXISTING ASPHALT --- ---
 - APPROX. EXTENT OF EXISTING TREELINE --- ---
 - SPOT ELEVATIONS --- 875.34 ---
 - FLOODWAY --- ---
 - PROPERTY PINS --- ---
 - BENCHMARK --- ---
 - EXISTING UTILITY POLE --- ---
 - PROPOSED UTILITY POLE --- ---
 - EXISTING UTILITY POLE ANCHOR --- ---
 - STONE TRACKING PAD --- ---

0 FT 10 FT 20 FT 40 FT 60 FT
SCALE: 1" = 20'-0"

DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:

Comments are needed by : MM-DD-YY

	Name	Initial	Code
PLN			
OPS			
PROT			
SCADA			
MAINT			
DE			
PM			
OTHER			

Codes: A = Approved for final
B = Approved with comments
C = Revise and resubmit

NEW

- GENERAL NOTES:**
1. NO PROPERTY SURVEY HAS BEEN COMPLETED AS PART OF THIS WORK. ANY LINE SHOWN ARE APPROXIMATE.
 2. UTILITY LOCATIONS AS SHOWN ARE A REPRESENTATION OF MARKINGS FOUND IN THE FIELD. UTILITY LOCATES SHOULD BE COMPLETED BEFORE ANY EXCAVATION.

0	XX-XX-XX	600881	SUBSTATION REBUILD - ISSUED FOR REVIEW	JSS	UJI	LTH	ECI												
REV	DATE	W.D.#	DESCRIPTION	DRAWN	CHECK	APP'D	CHRY												



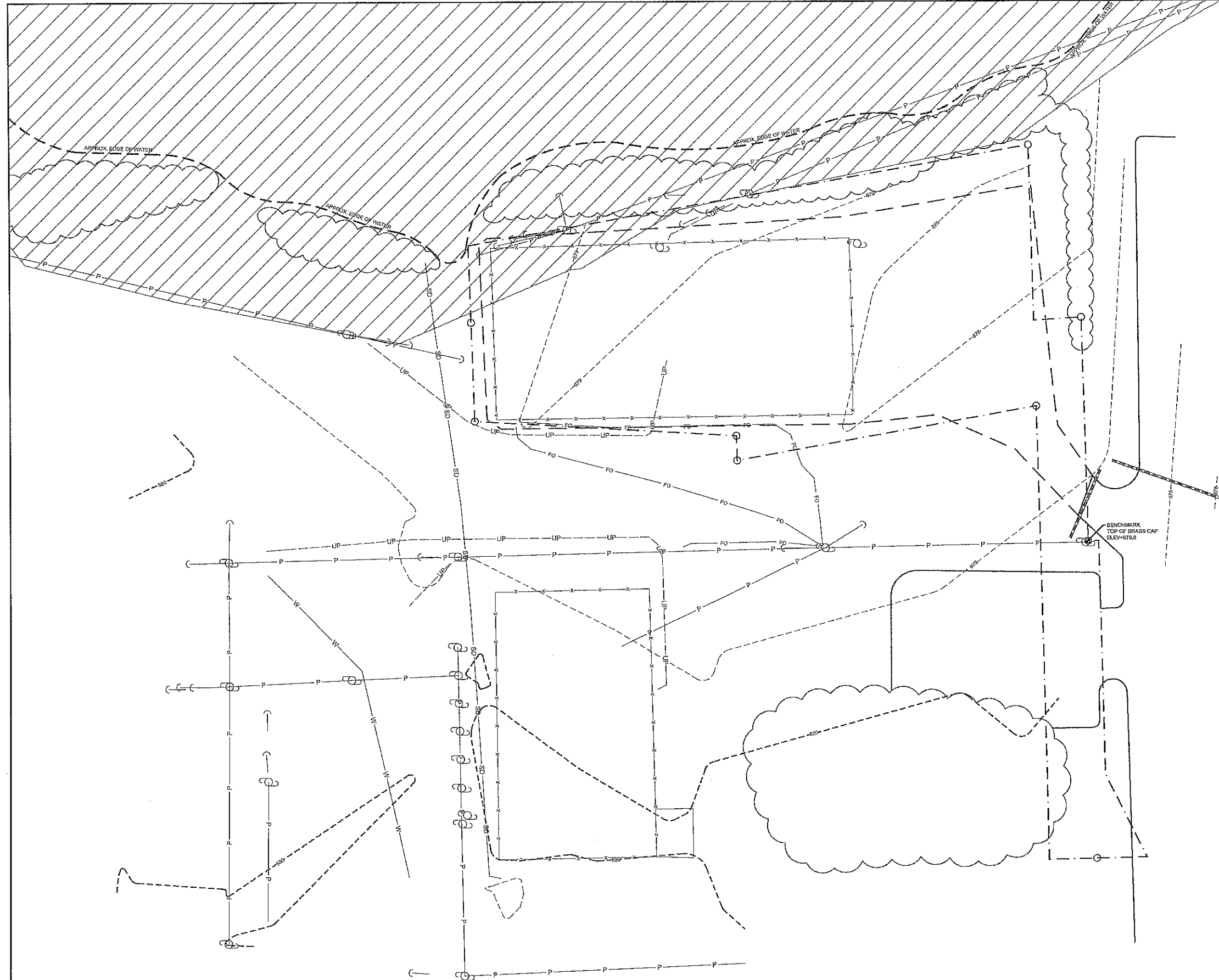
SITE PLAN

WAUPUN SUBSTATION

SCALE: 1" = 20'

DRAWING NO.

WAN - 02 - 01A



- LEGEND**
- EXISTING MAJOR CONTOURS
 - EXISTING MINOR CONTOURS
 - EXISTING GRAVEL EXTENTS
 - EXISTING FENCELINE
 - EXISTING UNDERGROUND FIBER OPTIC
 - PROPERTY BOUNDARIES
 - EXISTING OVERHEAD POWER LINE
 - EXISTING UNDERGROUND POWER LINE
 - EXISTING STORM DRAIN
 - EXISTING CULVERT PIPE
 - EXISTING WATERMAIN
 - APPROX. EXTENT OF EXISTING ASPHALT
 - APPROX. EXTENT OF EXISTING TREELINE
 - BENCHMARK
 - FLOODWAY
 - PROPERTY PINS
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE ANCHOR

0 FT 10 FT 20 FT 40 FT 60 FT
SCALE: 1" = 20'

- EXISTING CONDITIONS NOTES:**
1. EXISTING CONDITIONS BASED ON SITE SURVEY COMPLETED BY ECI IN DECEMBER OF 2017.
 2. HORIZONTAL DATUM: WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83) 2011 ADJUSTMENT.
 3. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) 2012 ADJUSTMENT.
 4. EXISTING ASPHALT, TREELINE, EDGE OF WATER LINEWORK WAS DRAFTED BY MARS BASED ON AERIAL PHOTOGRAPHY AND IS APPROXIMATE.

DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:


Comments are needed by: MM-DD-YY

	Name	Initial	Code
PLN			
OPS			
PROT			
SCADA			
MAINT			
DE			
PM			
OTHER			

Codes: A = Approved for final
B = Approved with comments
C = Revise and resubmit

NEW

0	XXXX-XX	600881	SUBSTATION REBUILD - ISSUED FOR REVIEW	CNB	RSS	DJH	MARS								
REV	DATE	W.O.#	DESCRIPTION	DRAWN	CHKD	APPD	CHKD								



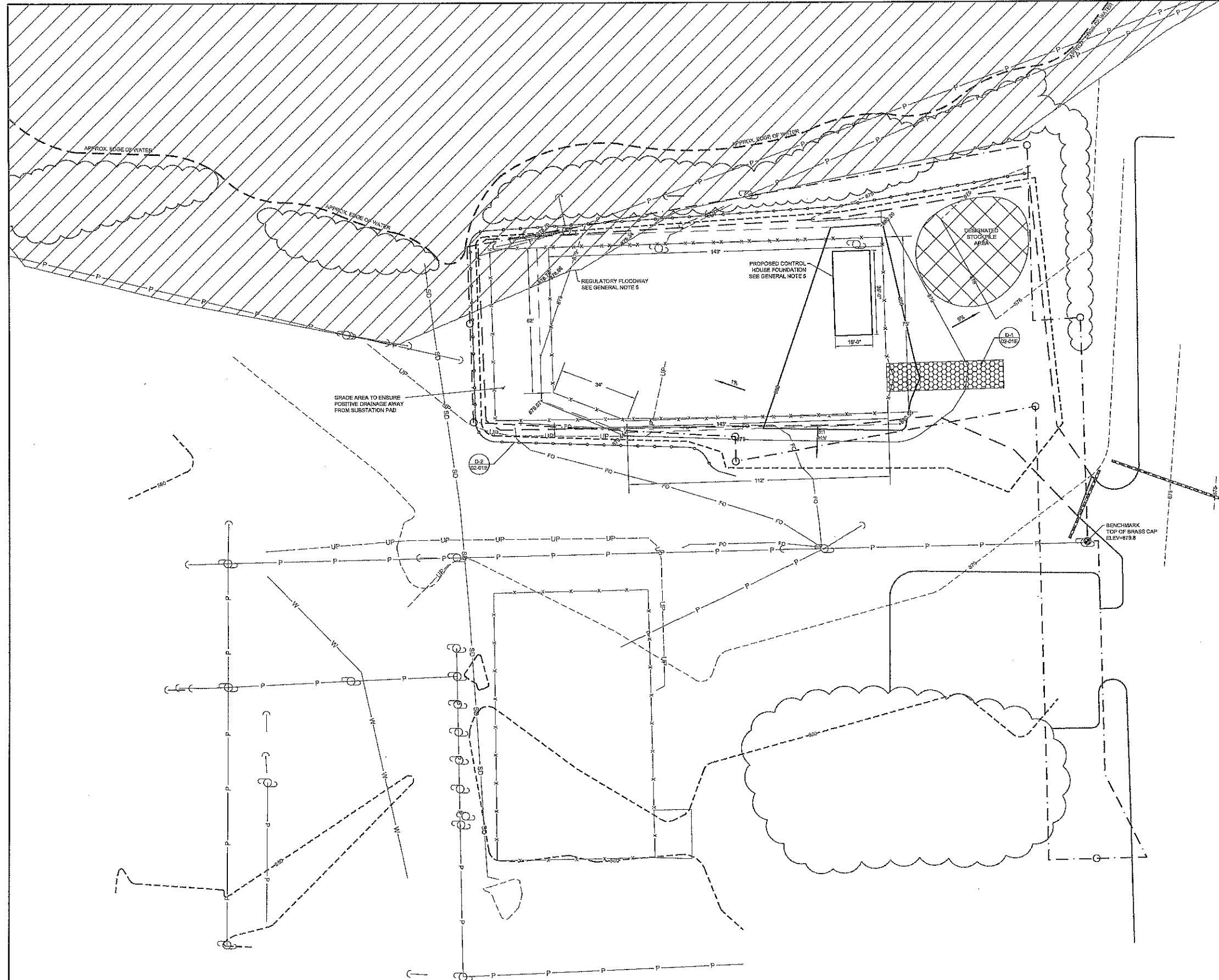
AMERICAN TRANSMISSION COMPANY

EXISTING CONDITIONS

WAUPUN SUBSTATION

DRAWING NO. WAN-02-01B

SCALE 1" = 20'



LEGEND

EXISTING MAJOR CONTOURS	---
EXISTING MINOR CONTOURS	---
PROPOSED MAJOR CONTOURS	---
PROPOSED MINOR CONTOURS	---
EXISTING GRAVEL EXTENTS	---
PROPOSED GRAVEL EXTENTS	---
EXISTING FENCELINE	---
PROPOSED FENCELINE	---
EXISTING UNDERGROUND FIBER OPTIC	FO
PROPERTY BOUNDARIES	---
EXISTING OVERHEAD POWER LINE	P
EXISTING UNDERGROUND POWER LINE	UP
EXISTING STORM DRAIN	SD
EXISTING CULVERT PIPE	---
EXISTING WATERMAIN	W
APPROX. EXTENT OF EXISTING ASPHALT	---
APPROX. EXTENT OF EXISTING TREELINE	---
SPOT ELEVATIONS	+879.34
FLOODWAY	---
PROPERTY PINS	---
BENCHMARK	---
EXISTING UTILITY POLE	---
EXISTING UTILITY POLE ANCHOR	---
SILT FENCING	---
STONE TRACKING PAD	---
ANTICIPATED LIMITS OF DISTURBANCE	---

0 FT 10 FT 20 FT 40 FT 80 FT
SCALE: 1" = 20'-0"

- CONSTRUCTION SEQUENCE:**
1. INSTALL STONE TRACKING PAD AND TEMPORARY EROSION CONTROL MEASURES. EXISTING GRAVEL AT ENTRANCE TO SUBSTATION CAN BE USED AS STONE TRACKING PAD IF MATERIAL IS DETERMINED TO BE SUITABLE.
 2. STRIP EXISTING GRAVEL AND TOPSOIL. HAIL OFF OR TEMPORARILY STOCKPILE ON-SITE.
 3. COMPLETE ALL SITE GRADING AND BELOW-GRADE WORK ON INTERIOR OF SUBSTATION.
 4. RESTORE SITE PER RESTORATION PLAN. INSTALL SUBSTATION AGGREGATE SURFACING.
 5. REMOVE TEMPORARY EROSION CONTROL MEASURES AT ATC DIRECTION.
- GENERAL NOTES:**
1. EXISTING CONDITIONS BASED ON SITE SURVEY COMPLETED IN DECEMBER OF 2017.
 2. HORIZONTAL DATUM: WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83) 2011 ADJUSTMENT.
 3. VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) 2012 ADJUSTMENT.
 4. SUBSTATION SITE WORK SHALL CONFORM TO ATC STANDARD SPECIFICATIONS FOR SUBSTATION SITE PREPARATION.
 5. ALL GRADES SHOWN ARE TO BE CONSIDERED FINAL GRADES. GRADES WITHIN FLOODWAY SHALL NOT BE ALTERED. FIRST FLOOR ELEVATION OF CONTROL HOUSE SHALL BE LOCATED AT THE FLOOD SAFETY ELEVATION OF 880.5.
 6. DRIVEWAY AND SUBSTATION PAD TO BE BROUGHT TO FINAL GRADE WITH PLACED AGGREGATE PER ATC STANDARD SPECIFICATIONS. AREAS TO BE VEGETATED TO BE BROUGHT UP TO FINAL GRADE WITH A MINIMUM OF 6" OF PLACED TOPSOIL.
 7. SUBGRADE PREPARATION, FILL PLACEMENT AND COMPACTION SHALL BE COMPLETED PER ATC EARTHWORK SPECIFICATIONS.
 8. KNOWN UTILITY LOCATIONS ARE IDENTIFIED ON PLANS. RELOCATION OF THE EXISTING UTILITIES IS NOT ANTICIPATED. IF CONFLICTS ARE IDENTIFIED DURING CONSTRUCTION CONTRACTOR SHALL NOTIFY ATC CONSTRUCTION COORDINATORS PROMPTLY.
- EROSION CONTROL NOTES:**
1. INSTALL STONE TRACKING PAD CONSTRUCTION ENTRANCE PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES (SEE DETAIL D-1).
 2. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 3. NO CONSTRUCTION EQUIPMENT SHALL BE ALLOWED OUTSIDE THE LIMITS OF DISTURBANCE.
 4. ANY SEDIMENT TRACKED OFFSITE SHALL BE REMOVED AT THE END OF EACH WORKING DAY.
 5. TEMPORARY SEED SHALL BE APPLIED TO ANY SOIL STOCKPILES AND SIDE SLOPES THAT REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 6. ADDITIONAL EROSION CONTROL MEASURES SHOWN WILL BE INSTALLED IN A TIMELY MANNER AS CONSTRUCTION PROGRESSES.
 7. EROSION CONTROL MEASURES SHOWN ON THE PLAN SHALL BE CONSIDERED MINIMUMS. ADDITIONAL EROSION CONTROL MEASURES REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 8. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINFALL EVENT EXCEEDING 0.5 INCHES WITHIN 24 HOURS. REPAIR TO EROSION CONTROL MEASURES SHALL OCCUR WITHIN 24 HOURS OF INSPECTION. MAINTAIN AN ON-SITE WRITTEN REPORT OF ALL INSPECTIONS FOR THE DURATION OF THE PROJECT.
 9. EROSION CONTROL FEATURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS SUFFICIENTLY ESTABLISHED, AS DETERMINED BY ATC OR THE DESIGNATED AGENT.
 10. EROSION THAT OCCURS AFTER FINAL GRADING AND RESTORATION (BUT PRIOR TO ESTABLISHMENT OF VEGETATION) MUST BE REPAIRED AND RESTORED.


DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:

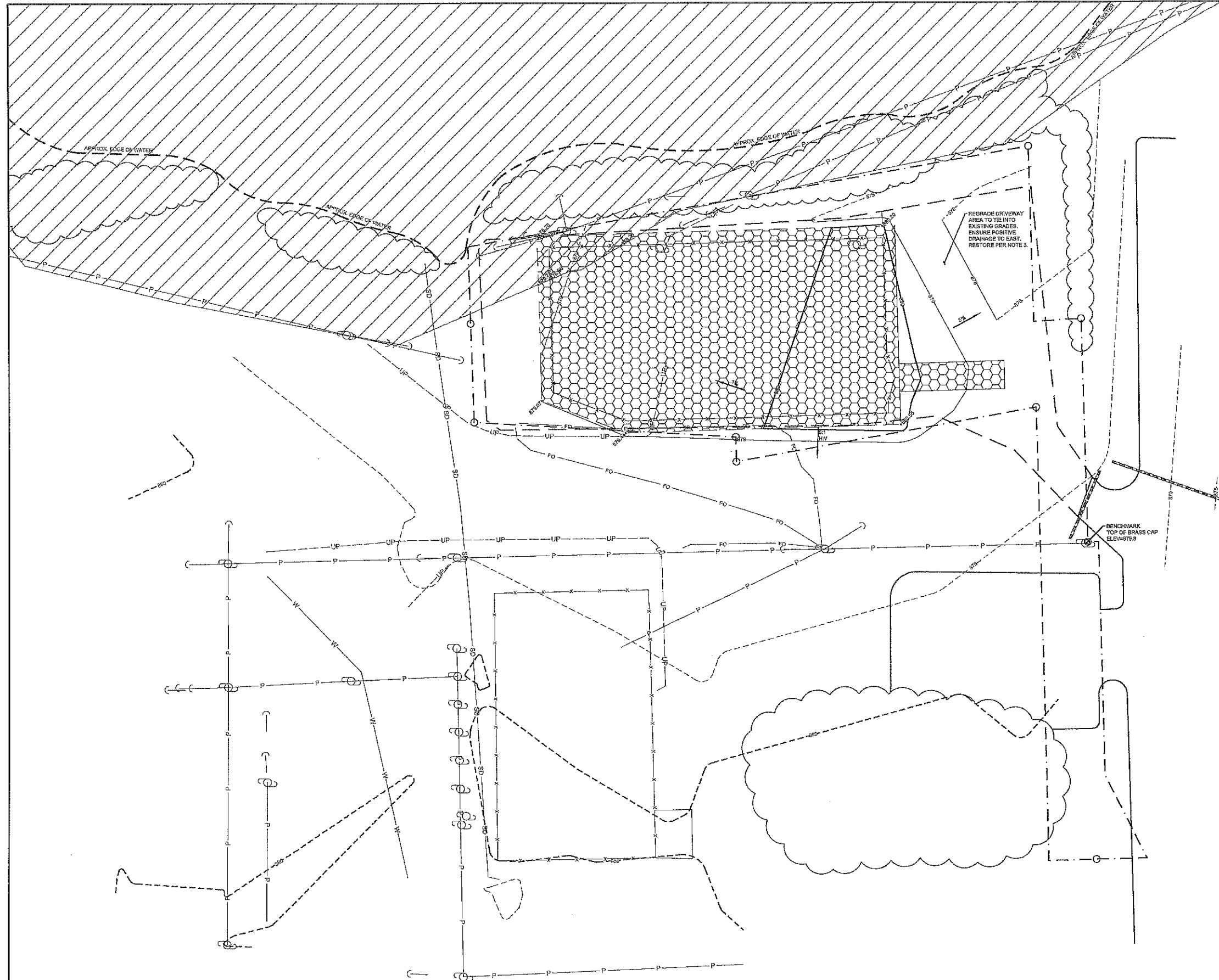
Comments are needed by : MM-DD-YY

	Name	Initial	Code
PLN	_____	_____	_____
OPS	_____	_____	_____
PROT	_____	_____	_____
SCADA	_____	_____	_____
MAINT	_____	_____	_____
DE	_____	_____	_____
PM	_____	_____	_____
OTHER	_____	_____	_____

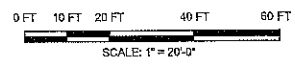
Codes: A = Approved for final
B = Approved with comments
C = Revise and resubmit

NEW

										 AMERICAN TRANSMISSION COMPANY										GRADING & EROSION CONTROL PLAN															
																				WAUPUN SUBSTATION															
D	XX.XX.XX	600881	SUBSTATION REBUILD - ISSUED FOR REVIEW							CNB	RSS	DJH	MARS	this document is for the use of WAUPUN TRANSMISSION COMPANY. ALL OTHER TRANSMISSION COMPANIES REQUIRE ALL MATERIALS APPROVED AND APPLIED UNDER THE CONTROL OF THE AMERICAN TRANSMISSION COMPANY IS AT THEIR OWN RISK.										SCALE 1" = 20'	DRAWING NO.	WAN-02-01C									
REV	DATE	W.O.#	DESCRIPTION							DRAWN	CHKD	APPD	CMPT																						



- LEGEND**
- EXISTING MAJOR CONTOURS ---880---
 - EXISTING MINOR CONTOURS ---870---
 - PROPOSED MAJOR CONTOURS ---880---
 - PROPOSED MINOR CONTOURS ---870---
 - EXISTING GRAVEL EXTENTS ---X---
 - PROPOSED GRAVEL EXTENTS ---X---
 - EXISTING FENCELINE ---X---
 - PROPOSED FENCELINE ---X---
 - EXISTING UNDERGROUND FIBER OPTIC ---FO---
 - PROPERTY BOUNDARIES ---P---
 - EXISTING OVERHEAD POWER LINE ---P---
 - EXISTING UNDERGROUND POWER LINE ---UP---
 - EXISTING STORM DRAIN ---SD---
 - EXISTING CULVERT PIPE ---C---
 - EXISTING WATERMAIN ---W---
 - APPROX. EXTENT OF EXISTING ASPHALT ---X---
 - APPROX. EXTENT OF EXISTING TREELINE ---X---
 - SPOT ELEVATIONS ---879.5A---
 - FLOODWAY ---X---
 - PROPERTY PINS ---O---
 - BENCHMARK ---B---
 - EXISTING UTILITY POLE ---O---
 - EXISTING UTILITY POLE AND/OR ---O---
 - PROPOSED SUBSTATION GRAVEL PAD ---X---



- RESTORATION NOTES:**
1. DISTURBED AREAS WITH PROPOSED GRADES STEEPER THAN 3% WITH UNSPECIFIED RESTORATION SHALL BE RESTORED WITH EROSION CONTROL MAT, SEED, AND MULCH PER EROSION CONTROL DETAIL D-3.
 2. SUBSTATION SITE WORK SHALL CONFORM TO ATC STANDARD SPECIFICATIONS FOR SUBSTATION SITE PREPARATION SECTION 31 10 10. RESTORATION SHALL CONFORM TO ATC STANDARD SPECIFICATION SECTION 61 55 00.
 3. AREA SHOWN AS PROPOSED SUBSTATION PAD AND DRIVEWAY SHALL BE RESTORED PER ATC STANDARD SPECIFICATION 31 10 10 SEC. 3.12 WITH MATERIALS MEETING THE REQUIREMENTS OF SEC. 3.1.
 4. VEGETATED AREAS WITHIN THE CONSTRUCTION LIMITS THAT ARE NOT DESCRIBED ABOVE WITH A SPECIFIC RESTORATION OPTION SHALL BE RESTORED WITH ATC PASTURE MIX AND MULCH. HYDROSEEDING IS ACCEPTABLE.
 5. MULCH SHALL BE WHEAT-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2016).
 6. SEEDING RATE FOR ATC PASTURE MIX SHALL BE 40 LBS PER ACRE BASED ON 100% PURE LIVE SEED AND SHALL BE PLACED WITH A COMMON WHEAT AS A NURSE CROP. NURSE CROP SHALL BE SEED AT A RATE OF 20 POUNDS PER ACRE.
 7. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE ENVIRONMENTAL MONITOR AS NECESSARY.

DRAWING APPROVAL
PLEASE CIRCULATE DRAWING(S)
IN ORDER SHOWN BELOW:

Comments are needed by: MM-DD-YY

Name	Initial	Code
PLN		
OPS		
PROT		
SCADA		
MAINT		
DE		
PM		
OTHER		

Codes: A = Approved for final
B = Approved with comments
C = Revise and resubmit

NEW

REV	DATE	W.O. #	DESCRIPTION	DRAWN	CHECK	APP'D	CHECK
0	XX-XX-XX	600881	SUBSTATION REBUILD - ISSUED FOR REVIEW	CNB	RSS	DJH	MARS



RESTORATION PLAN	SCALE: 1" = 20'	DRAWING NO.
WAUPUN SUBSTATION		WAN-02-01D



WAUPUN
SUBSTATION CONTROL CENTER

Manufactured by:
SYSTEMS CONTROL
A DIVISION OF NORTHERN STAR INDUSTRIES, INC.
IRON MOUNTAIN, MI 49801
(906) 774-0440

BUILDING CODE & STANDARDS			DESIGN LOADS		DRAWING INDEX		BUILDING DATA		PROJECT DATA																																																																																													
<div>BUILDING CODES</div> <div>2018 Wisconsin Administrative Code</div> <div>2013 ANSI/ASHRAE 90.1</div> <div>2015 IBC</div> <div>2015 International Energy Conservation Code (IECC)</div> <div>2015 International Mechanical Code</div> <div>STRUCTURAL STEEL:</div> <div>ASTM A36 Steel Plate & Angles</div> <div>Fy = 36,000 psi, Fu = 58,000 psi</div> <div>COLD FORMED STEEL:</div> <div>ASTM-A1011 Grade 55</div> <div>57000 psi min. yield strength</div> <div>WELDS:</div> <div>All welds per current AWS welding specifications.</div> <div>LIGHTWEIGHT STEEL FRAMING</div> <div>STANDARD THICKNESS</div> <table><tr><td>Gauge No.</td><td>Min Base Steel Thickness in.</td><td>Design Thickness in.</td></tr><tr><td>11</td><td>.1136</td><td>.1196</td></tr><tr><td>12</td><td>.0994</td><td>.1046</td></tr><tr><td>14</td><td>.0710</td><td>.0747</td></tr><tr><td>16</td><td>.0568</td><td>.0598</td></tr></table>			Gauge No.	Min Base Steel Thickness in.	Design Thickness in.	11	.1136	.1196	12	.0994	.1046	14	.0710	.0747	16	.0568	.0598	<div>DESIGN LOADS</div> <div>ROOF:</div> <div>GROUND SNOW LOAD (Pg) = 30 PSF</div> <div>SNOW IMPORTANCE FACTOR (Is) = 1.1</div> <div>SNOW LOAD EXPOSURE FACTOR (Ce) = 1.0</div> <div>DESIGN ROOF SNOW LOAD = 23.1 PSF</div> <div>ROOF THERMAL FACTOR (Ct) = 1.00</div> <div>ROOF LIVE LOAD = 40 PSF</div> <div>CEILING DEAD LOAD = 40 PSF</div> <div>ROOF DEAD LOAD = 8 PSF</div> <div>FLOOR:</div> <div>LIVE LOAD = 250 PSF</div> <div>DEAD LOAD = 15 PSF</div> <div>WALL:</div> <div>DEAD LOAD = 15 PSF</div> <div>WIND:</div> <div>ULT. WIND SPEED = 213 MPH</div> <div>NOMINAL WIND SPEED = 165 MPH</div> <div>RISK CAT. III EXPOSURE C</div> <div>INTERNAL PRESSURE COEFFICIENT (GCpf) = ±.18</div> <div>COMPONENT & CLADDING DESIGN PRESSURE = (SEE CHART CC)</div> <div>SEISMIC:</div> <div>SEISMIC SITE CLASS = D</div> <div>SEISMIC DESIGN CATEGORY = A</div> <div>SPECTRA RESPONSE COEFF. Sds = .075, Sd1 = .064</div> <div>FORCE RESISTING SYSTEM = LIGHT FRAME WALLS WITH FLAT STRAP BRACING</div> <div>SEISMIC IMPORTANCE = 1.25</div> <div>CHART CC (NOMINAL)</div> <table><tr><th colspan="6">COMPONENTS & CLADDING DESIGN PRESSURES (PSF)</th></tr><tr><th rowspan="2">Building Area</th><th colspan="5">Tributary Area (sq. ft.)</th></tr><tr><th>10</th><th>20</th><th>50</th><th>100</th><th>500</th></tr><tr><td>Interior Roof</td><td>-64.6</td><td>-62.8</td><td>-60.5</td><td>-58.7</td><td>-58.7</td></tr><tr><td>Edge Roof</td><td>-112.5</td><td>-103.5</td><td>-91.6</td><td>-82.6</td><td>-82.6</td></tr><tr><td>Corner Roof</td><td>-166.4</td><td>-155.6</td><td>-141.3</td><td>-130.5</td><td>-130.5</td></tr><tr><td>Interior Wall</td><td>-70.0</td><td>-67.2</td><td>-63.4</td><td>-60.5</td><td>-53.9</td></tr><tr><td>Edge Wall</td><td>-86.2</td><td>-80.5</td><td>-72.9</td><td>-67.2</td><td>-53.9</td></tr><tr><td>Edge Overhang</td><td>-131.7</td><td>-131.7</td><td>-131.7</td><td>-131.7</td><td>-131.7</td></tr><tr><td>Corner Overhang</td><td>-221.5</td><td>-199.9</td><td>-171.3</td><td>-149.7</td><td>-149.7</td></tr><tr><td>Edge Zone Strip Width (ft.)</td><td colspan="5">3.0</td></tr></table> <div>LOADS TO BE APPLIED IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC 2015 CODE.</div>		COMPONENTS & CLADDING DESIGN PRESSURES (PSF)						Building Area	Tributary Area (sq. ft.)					10	20	50	100	500	Interior Roof	-64.6	-62.8	-60.5	-58.7	-58.7	Edge Roof	-112.5	-103.5	-91.6	-82.6	-82.6	Corner Roof	-166.4	-155.6	-141.3	-130.5	-130.5	Interior Wall	-70.0	-67.2	-63.4	-60.5	-53.9	Edge Wall	-86.2	-80.5	-72.9	-67.2	-53.9	Edge Overhang	-131.7	-131.7	-131.7	-131.7	-131.7	Corner Overhang	-221.5	-199.9	-171.3	-149.7	-149.7	Edge Zone Strip Width (ft.)	3.0					<table><tr><th>JOB#</th><th>DWG#</th><th>DRAWING NAME</th><th>REV#</th></tr><tr><td>46746</td><td>C1</td><td>COVER SHEET</td><td>0</td></tr><tr><td>46746</td><td>F1</td><td>FOUNDATION LOADS/BLDG CROSS SECTION</td><td>0</td></tr></table>		JOB#	DWG#	DRAWING NAME	REV#	46746	C1	COVER SHEET	0	46746	F1	FOUNDATION LOADS/BLDG CROSS SECTION	0	<div>DESCRIPTION:</div> <div>Dimensions -16' x 36' x 13' 9-3/4"</div> <div>Ceiling Height -10'</div> <div>Roof pitch -2:12</div> <div>Wall sheeting -24 ga Multi-rib</div> <div>Roof sheeting -238T</div> <div>Liner panels -22 ga Marquee</div> <div>COLORS:</div> <div>Wall sheeting -Ash Gray</div> <div>Roof sheeting -Ash Gray</div> <div>Doors -Ash Gray</div> <div>Trim -Ash Gray</div> <div>Liner panels -Regal White</div> <div>WEIGHT: -62,000 #</div> <div>OCCUPANCY/USE GROUP: U</div> <div>CONSTRUCTION TYPE: 2B</div> <div>OCCUPANCY CATEGORY: III</div>		<div>NAME:</div> <div>American Transmission Company</div> <div>Waupun Substation</div> <div>LOCATION:</div> <div>120 Monroe Street</div> <div>Waupun, WI 53963</div> <div>PROJECT NUMBER:</div> <div>46746-001</div>	
Gauge No.	Min Base Steel Thickness in.	Design Thickness in.																																																																																																				
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							<div>STORM RESISTANCE: EF3 Tornado</div> <div>Per FEMA P-361</div> <div>Ref. ICC 500</div> <div>IMPACT: 15lb. 2x4 at 100MPH</div> <div>BALLISTIC RESISTANCE: UL 752: Level 3</div> <div>AMMUNITION: .44 Magnum</div> <div>SHOTS: 3</div> <div>FIRE RESISTANCE: ASTM E119-98</div> <div>FIRE RATING: 1 hour</div> <div>FORCED ENTRY RESISTANCE: ASTM F1233-98</div> <div>PROTECTION: Class IV</div> <div>DOORS: SD-STD-01.01 @ 15 minutes</div>		<div>DRAWING NO.</div> <div>46746-C1</div>																																																																																													

WALL B

WALL C

WALL D

WALL A

CEILING PLAN - LIGHTING

INTERIOR LIGHTING SCHEDULE

LITHONIA 4FT LED FIXTURE,
120-277VOLT, 50 WATT, 4000 LUMEN
CATALBL4L840 (10 REQ'D)

WALL B

BUILDING KEY

WALL A



SYSTEMS CONTROL
A DIVISION OF NORTHERN STAR INDUSTRIES, INC.
IRON MOUNTAIN, MICHIGAN

DFTN. MC DATE: 3/11/19
CHK'D. KB DATE: 3/11/19
APPD. KB DATE: 3/11/19

ATC
WABPUN SUBSTATION

DIMENSIONS IN INCHES
SCALE: 1/2"=1'-0"

46746-001

INTERIOR LIGHTING LOCATION

DRAWING NO.
46746-L2

REVISION

DFTN. DATE:
CHK'D. DATE:
APP'D. DATE:

REVISION

DFTN. DATE:
CHK'D. DATE:
APP'D. DATE:

REVISION

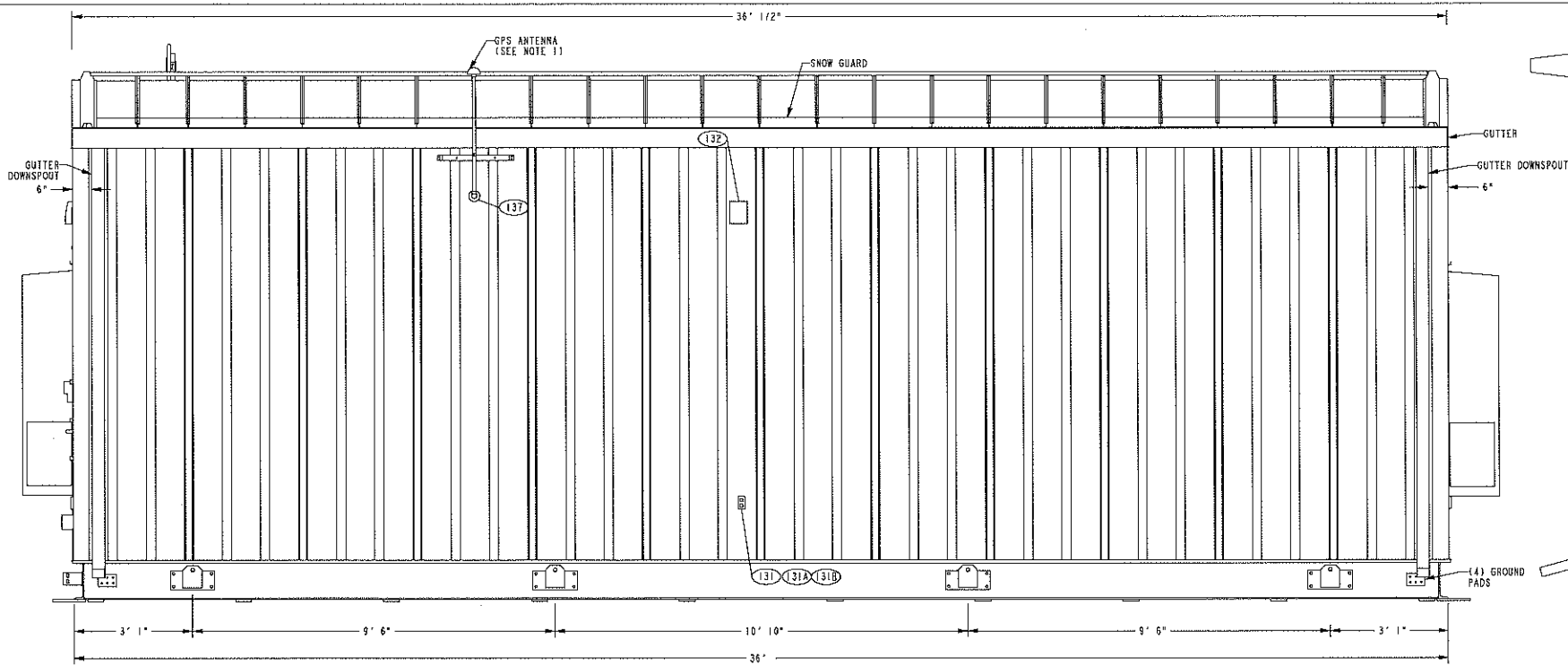
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CHK'D. DATE:
APP'D. DATE:

REVISION 0

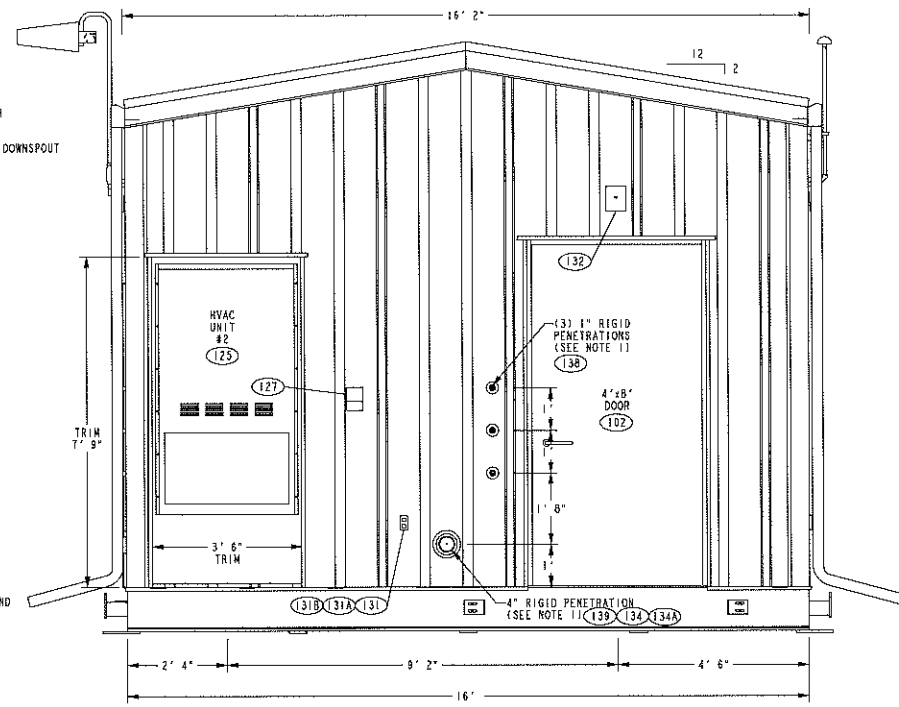
TOLERANCE NOTE C

UNLESS SPECIFIED OTHERWISE
WHOLE NUMBERS +/- 1/16"
FRACTIONS +/- 1/32"
HOLE DIAMETERS +/- 1/64"
ANGLES +/- 1°
WELD LENGTH +/- 1/4"
WELD SPACING +/- 1"

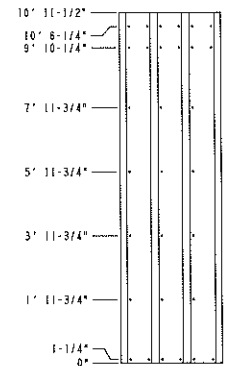
THIS DOCUMENT IS THE PROPERTY OF NORTHERN STAR INDUSTRIES, INC. OF IRON MOUNTAIN, MI AND CONTAINS CONFIDENTIAL INFORMATION. IT IS NOT TO BE SHARED WITH THIRD PARTIES OR USED IN ANY WAY, DIRECTLY OR INDIRECTLY, THAT IS DETRIMENTAL TO OUR INTERESTS.



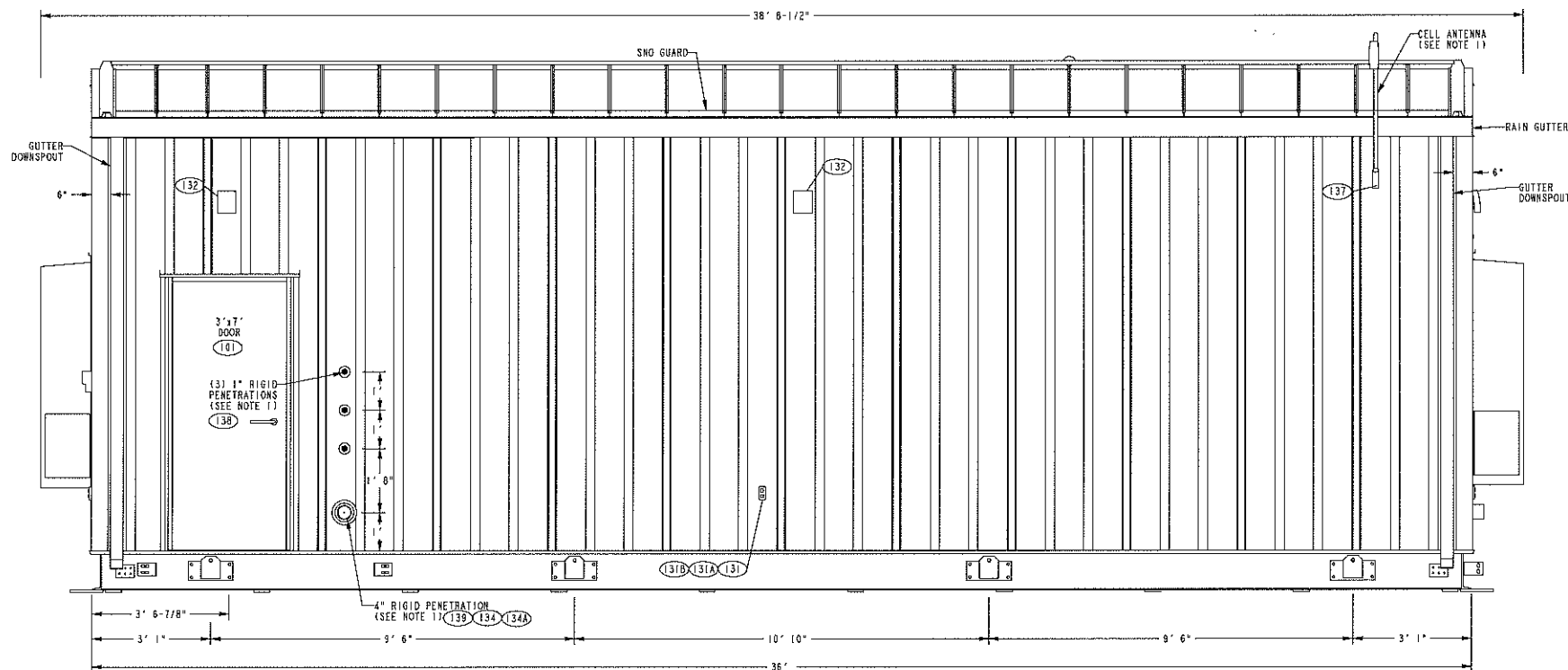
WALL A



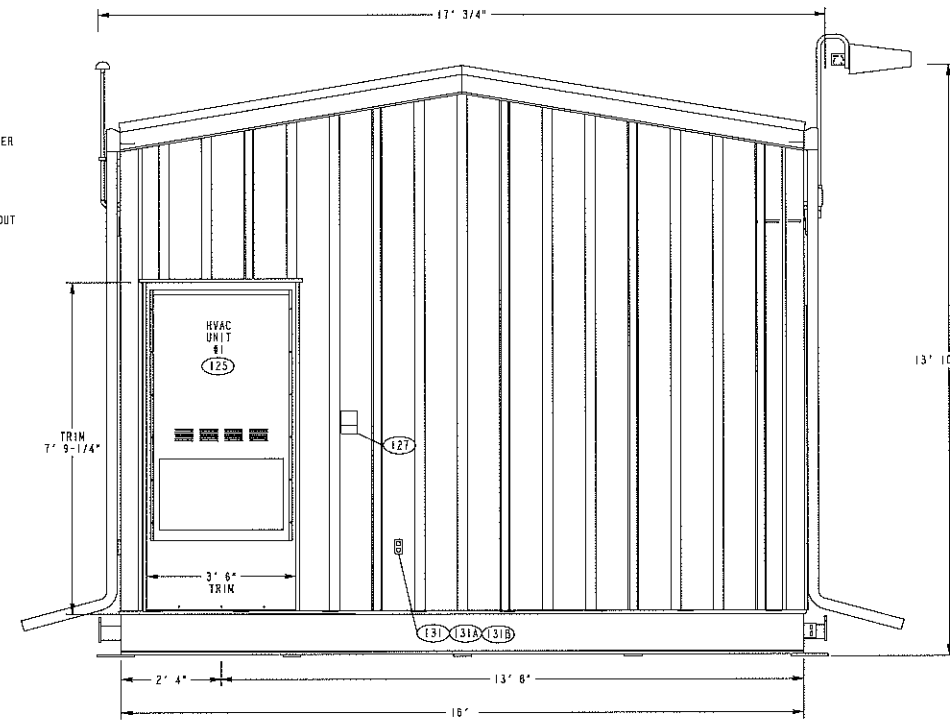
WALL B



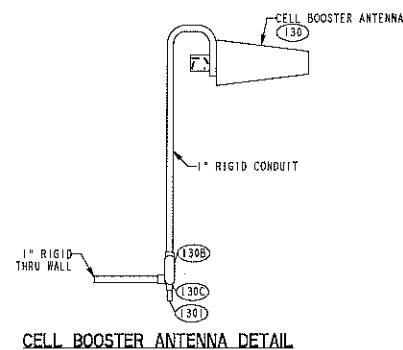
SHEETING SCREW LOCATION
FOR 24" GIRT SPACING
MULTI-RIB DRYWALL WALL
10" WALL HEIGHT



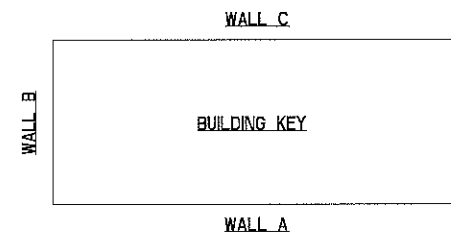
WALL C



WALL D




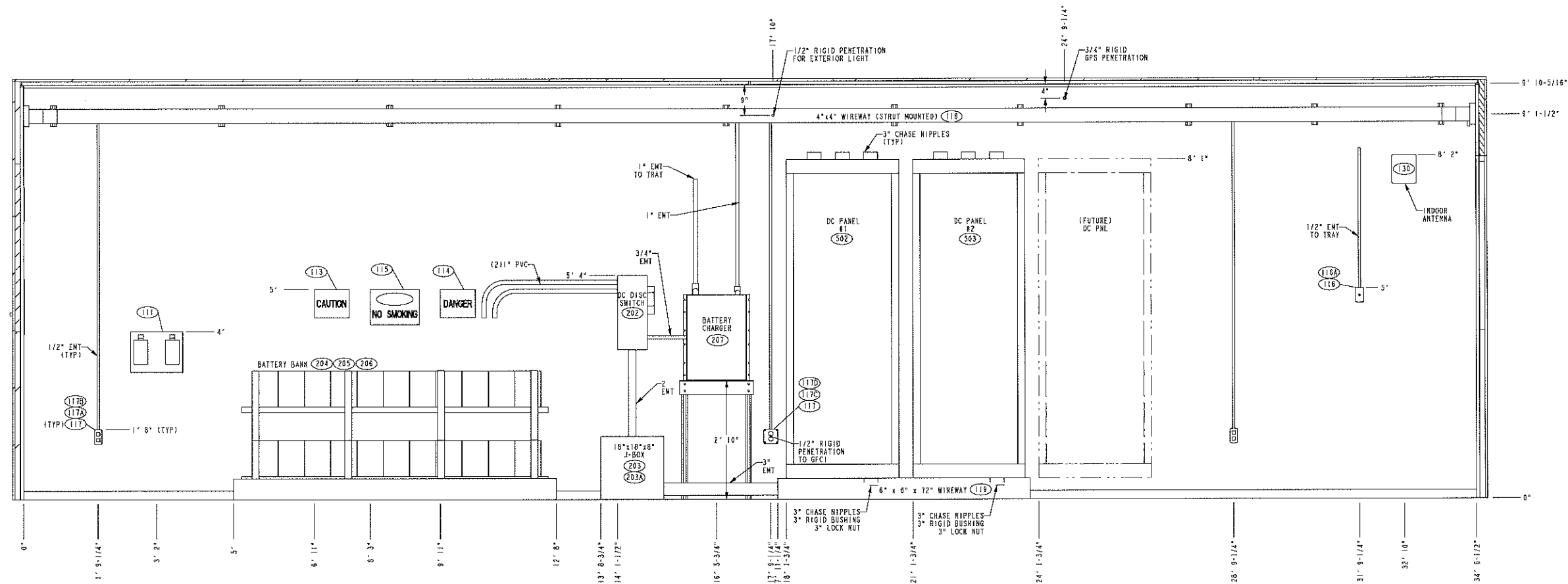
CELL BOOSTER ANTENNA DETAIL



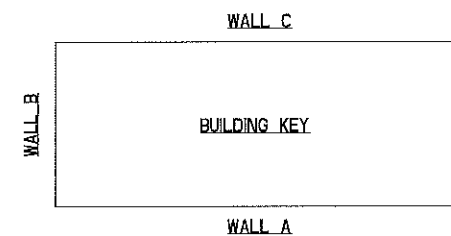
- NOTES:
1. INSTALL DEKTITE BOOTS ON ALL EXTERIOR PENETRATIONS.
 2. USE SCREW BDG000248, #12-14x3" FOR EXTERIOR SHEETING.

REVISION	
DTM. CHK'D. APP'D.	DATE: DATE: DATE:
REVISION	
DTM. CHK'D. APP'D.	DATE: DATE: DATE:
REVISION	
DTM. CHK'D. APP'D.	DATE: DATE: DATE:
REVISION	
DTM. CHK'D. APP'D.	DATE: DATE: DATE:
TOLERANCE NOTE C	
UNLESS SPECIFIED OTHERWISE	
WHOLE NUMBERS +/- 1/16"	
FRACTIONS +/- 1/32"	
HOLE DIAMETERS +/- 1/64"	
ANGLES +/- 1/4"	
WELD LENGTH +/- 1/4"	
WELD SPACING +/- 1"	


		SYSTEMS CONTROL A DIVISION OF NORTHERN STAR INDUSTRIES, INC. IRON MOUNTAIN, MICHIGAN	
DTM. MC	DATE: 3/11/19	ATC WAUPUN SUBSTATION	
CHK'D. KB	DATE: 3/11/19		
APPD. KB	DATE: 3/11/19	EXTERIOR ELEVATIONS	
DIMENSIONS IN INCHES SCALE: 1/2"=1'-0"			
SCC PROJECT NUMBER		DRAWING NO. 46746-L3	
46746-001			



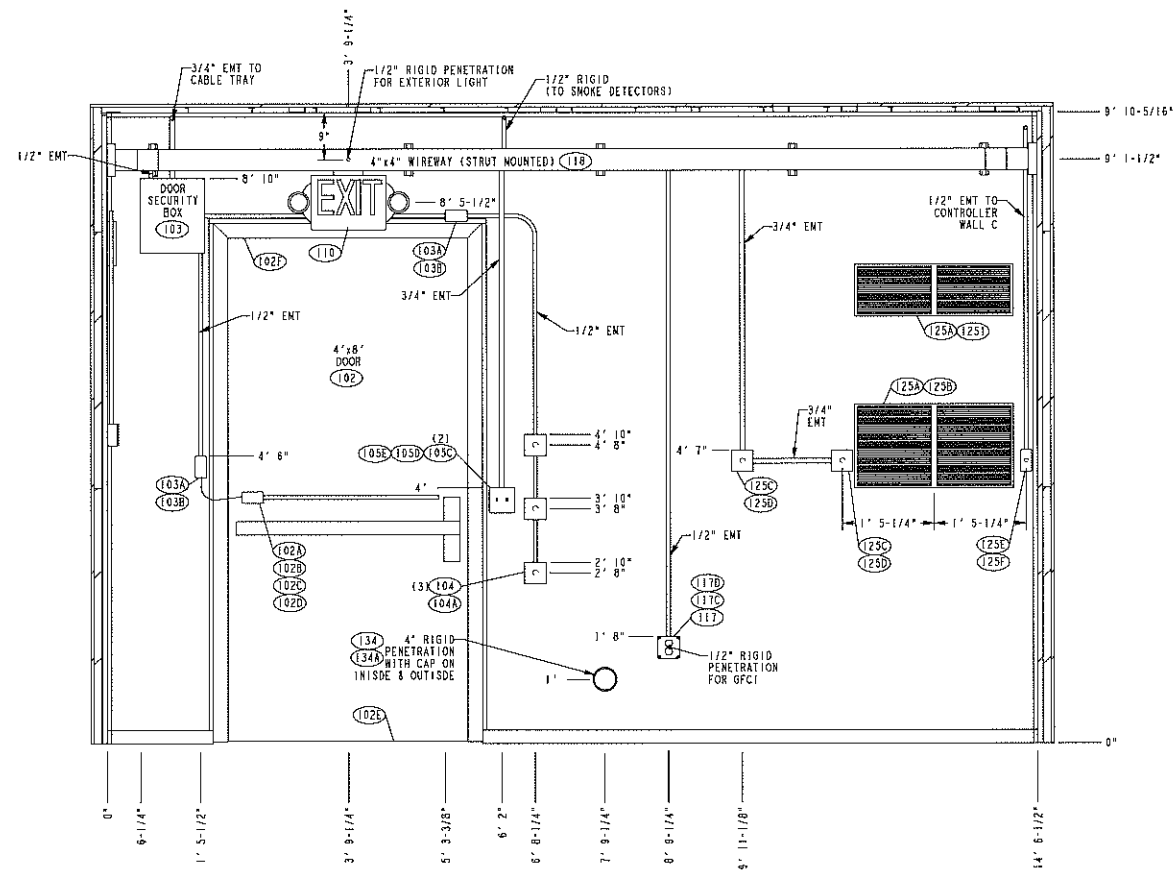
SECTION A-A
INTERIOR ELEVATION



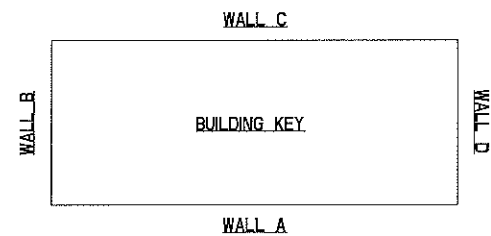
REVISION	
DATE:	DATE:
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DATE:	DATE:
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DATE:	DATE:
CHK'D:	CHK'D:
APP'D:	APP'D:
TOLERANCE NOTE C	
UNLESS SPECIFIED OTHERWISE	
WHOLE NUMBERS +/- 1/16"	
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ANGLES +/- 1"	
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WELD SPACING +/- 1"	

 SYSTEMS CONTROL A DIVISION OF NORTHERN STAR INDUSTRIES, INC. IRON MOUNTAIN, MICHIGAN	
DFTM. MC CHK'D. KB APPD. KB	DATE: 3/11/19 DATE: 3/11/19 DATE: 3/11/19
DIMENSIONS IN INCHES SCALE: 3/4"=1'-0"	
SCC PROJECT NUMBER 46746-001	
ATC WAUPUN SUBSTATION	
INTERIOR ELEVATION WALL A	
DRAWING NO. 46746-L4A	


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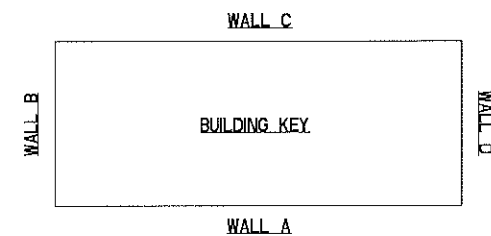
SECTION B-B
INTERIOR ELEVATION




REVISION	
DATE:	DATE:
CHK'D:	CHK'D:
APP'D:	APP'D:
REVISION	
DATE:	DATE:
CHK'D:	CHK'D:
APP'D:	APP'D:
REVISION	1
REV PER CUSTOMER COMMENTS	
DATE:	DATE:
CHK'D:	CHK'D:
APP'D:	APP'D:
REVISION	0
TOLERANCE NOTE C	
UNLESS SPECIFIED OTHERWISE	
WHOLE NUMBERS +/- 1/16"	
FRACTIONS +/- 1/32"	
HOLE DIAMETERS +/- 1/64"	
ANGLES +/- 1°	
WELD LENGTH +/- 1/4"	
WELD SPACING +/- 1"	

		SYSTEMS CONTROL A DIVISION OF NORTHERN STAR INDUSTRIES, INC. IRON MOUNTAIN, MICHIGAN	
DATE: 3/11/19	DATE: 3/11/19	ATC WAUPUN SUBSTATION	
DATE: 3/11/19	DATE: 3/11/19	INTERIOR ELEVATION WALL B	
DIMENSIONS IN INCHES SCALE: 3/4"=1'-0"		DRAWING NO. 46746-L4B	
SCC PROJECT NUMBER 46746-001			

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 <p>SYSTEMS CONTROL A DIVISION OF NORTHERN STAR INDUSTRIES, INC. IRON MOUNTAIN, MICHIGAN</p>			
		<p>ATC WAUPUN SUBSTATION</p>	
DFTM. MC	DATE: 3/11/19	<p>INTERIOR ELEVATION WALL D</p>	
CHK'D. KB	DATE: 3/11/19		
APPD. KB	DATE: 3/11/19		
<p>DIMENSIONS IN INCHES SCALE: 3/4"=1'-0"</p>		<p>DRAWING NO. 46746-L4D</p>	
<p>SCC PROJECT NUMBER</p> <p>46746-001</p>			

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A 24" HORIZONTAL TEE (B-LINE 4A-24-HT12) (4 REQ'D)

B 24" HORIZONTAL CROSS (B-LINE 4A-24-HX12) (2 REQ'D)

C 24" CABLETRAY (B-LINE 24A09-24-120) (1 REQ'D)

C1 24" CABLETRAY 1 REQ'D @ 120"

D 24" CABLETRAY (B-LINE 24A09-24-120) (1 REQ'D)

D1 24" CABLETRAY 1 REQ'D @ 96"

D2 24" CABLETRAY 1 REQ'D @ 19-1/2"

E 24" CABLETRAY (B-LINE 24A09-24-120) (1 REQ'D)

E1 24" CABLETRAY 1 REQ'D @ 96"

E2 24" CABLETRAY 1 REQ'D @ 19-1/2"

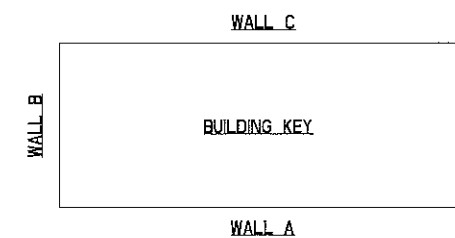
F 24" CABLETRAY (B-LINE 24A09-24-120) (1 REQ'D)

F1 24" CABLETRAY 1 REQ'D @ 96"

F2 24" CABLETRAY 2 REQ'D @ 2"

G 24" CABLETRAY (B-LINE 24A09-24-120) (1 REQ'D)

G1 24" CABLETRAY 1 REQ'D @ 72"



NOTE:-
1. BOTTOM OF CABLE TRAY 102" OFF FINISHED FLOOR.

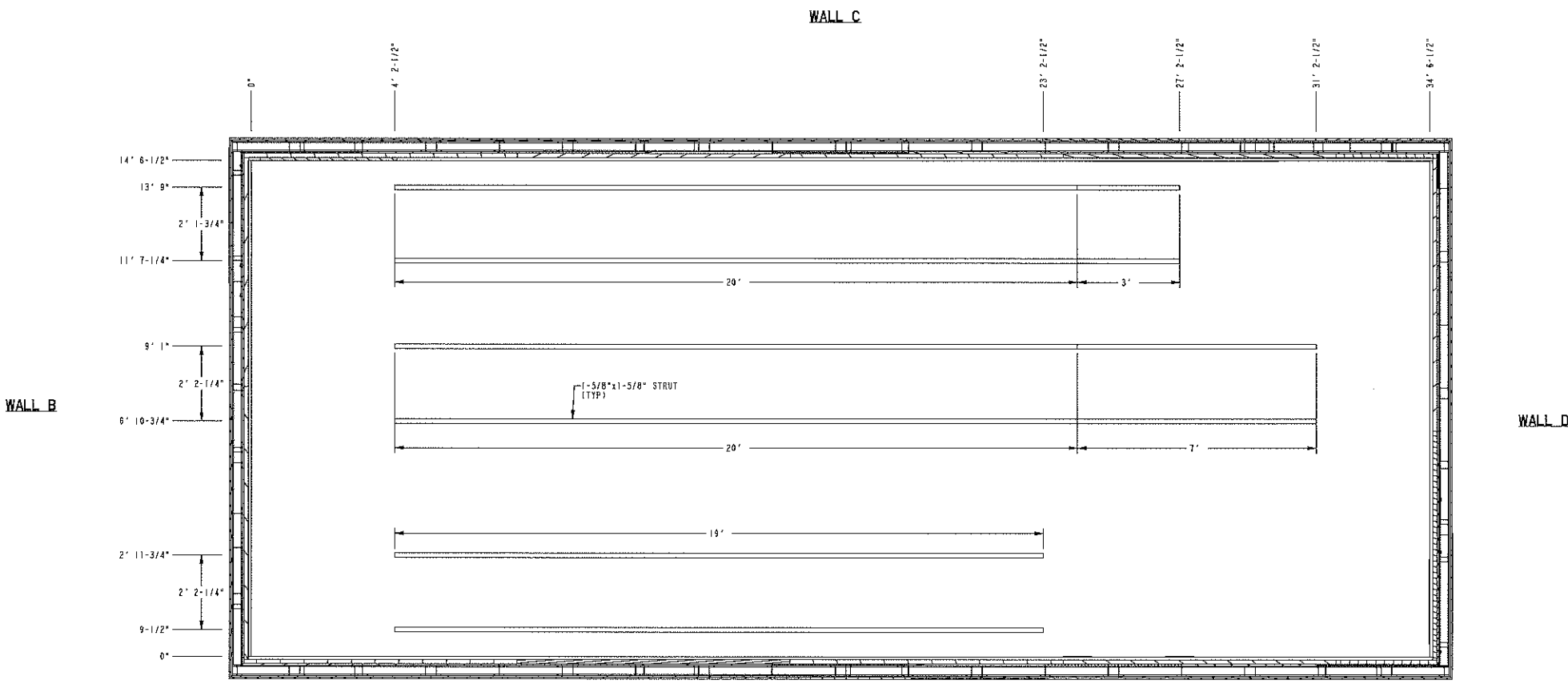
REVISION		
DFTW.	DATE:	
CHK'D.	DATE:	
APP'D.	DATE:	
REVISION		
DFTW.	DATE:	
CHK'D.	DATE:	
APP'D.	DATE:	
REVISION		0
TOLERANCE NOTE C		
UNLESS SPECIFIED OTHERWISE		
WHOLE NUMBERS +/- 1/16"		
FRACTIONS +/- 1/32"		
HOLE DIAMETERS +/- 1/64"		
ANGLES +/- 1°		
WELD LENGTH +/- 1/4"		
WELD SPACING +/- 1"		

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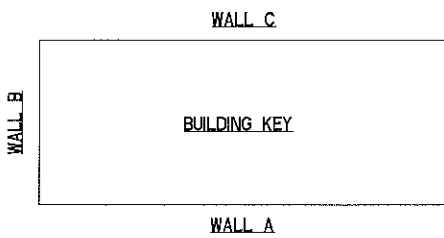
SYSTEMS CONTROL
A DIVISION OF NORTHERN STAR INDUSTRIES, INC.
IRON MOUNTAIN, MICHIGAN

DTM. MC	DATE: 3/11/19	ATC WAUPUN SUBSTATION	
CHK'D. KB	DATE: 3/11/19		
APPD. KB	DATE: 3/11/19		
DIMENSIONS IN INCHES SCALE: 1/2"=1'-0"		CABLE TRAY LOCATION	
SCC PROJECT NUMBER 46746-001			
		DRAWING NO. 46746-L5	




WALL B

WALL D



NOTE:
1. ALL CEILING MOUNTED STRUT IS FASTENED TO CEILING HAT CHANNEL (SEE DWG S6A).

REVISION	
DETN.	DATE:
CHK'D.	DATE:
APP'D.	DATE:
REVISION	
DETN.	DATE:
CHK'D.	DATE:
APP'D.	DATE:
REVISION	
DETN.	DATE:
CHK'D.	DATE:
APP'D.	DATE:
REVISION	
0	
TOLERANCE NOTE C	
UNLESS SPECIFIED OTHERWISE	
WHOLE NUMBERS +/- 1/16"	
FRACTIONS +/- 1/32"	
HOLE DIAMETERS +/- 1/64"	
ANGLES +/- 1°	
WELD LENGTH +/- 1/4"	
WELD SPACING +/- 1"	

		SYSTEMS CONTROL A DIVISION OF NORTHERN STAR INDUSTRIES, INC. IRON MOUNTAIN, MICHIGAN	
DETM. MC	DATE: 3/11/19	ATC WAUPUN SUBSTATION	
CHK'D. KB	DATE: 3/11/19		
APPD. KB	DATE: 3/11/19		
DIMENSIONS IN INCHES SCALE: 1/2"=1'-0"		CEILING UNISTRUT LOCATIONS	
SCC PROJECT NUMBER			
46746-001		DRAWING NO. 46746-L5A	

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