



**AMENDED AGENDA**  
**CITY OF WAUPUN PLAN COMMISSION MEETING**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, August 31, 2022 at 4:30 PM**

The Waupun Plan Commission will meet in-person, virtual, and teleconference on Wednesday, August 31, 2022 at 4:30 pm in the Waupun City Hall Council Chambers.

To Join Zoom Meeting:

<https://us02web.zoom.us/j/87297514722?pwd=VWJQZUw0b245MkpKMzN4M05TSkQ4QT09>

Meeting ID: 872 9751 4722

Passcode: 404145

By Phone: (312) 626-6799 US (Chicago)

**CALL TO ORDER**

**ROLL CALL**

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION**--State name, address, and subject of comments. (2 Minutes)

*No Public Participation after this point.*

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

**CONSIDERATION - ACTION**

1. Approve minutes of the August 24, 2022 meeting.
2. Site Plan Review - 1804 Shaler Dr.
3. **Extraterritorial Certified Survey Map Review - N11534 CTH M**

**ADJOURNMENT**

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*



**MINUTES**  
**CITY OF WAUPUN PLAN COMMISSION**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, August 24, 2022 at 4:30 PM**

**CALL TO ORDER**

Chairman Bishop called the Plan Commission meeting to order at 4:30 pm

**ROLL CALL**

Members Present: Mike Matoushek, Jerry Medema, Elton TerBeest, Chairman Rohn Bishop, Jeff Daane, Jon Dobbratz, and Jill Vanderkin

Staff Present: Kathy Schlieve - Administrator, Dan VandeZande - City Attorney, Mike Beer – Fire Inspector, Susan Leahy – Zoning Administrator

Also Present: Phil Cosson

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION--**

None

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

The next scheduled Plan Commission meeting will be on Wednesday, September 28, 2022 at 4:30 pm.

**CONSIDERATION - ACTION**

1. Approve minutes of August 18, 2022 meeting.  
Motion by Matoushek 2nd by Medema to approve the minutes of the August 18, 2022 meeting.
2. Public Hearing regarding the proposed creation of Tax Incremental District No. 9, the proposed boundaries of the District, and the proposed Project Plan for the District.

Chairman Bishop read the call of the hearing and its purpose. Motion by TerBeest, 2<sup>nd</sup> by Dobbratz to open the Public Hearing

Kathy Schlieve discussed that Plan Commission will be presented with TIF District Project Plan and creation of TIF 9 boundaries. The land has been vacant for a number of years. The TIF will address public infrastructure and housing. There is a signed developer's agreement for Phase 1 of the Project Plan. This is a three (3)-phase project.

Phil Cosson from Ehlers appeared to discuss the plan and boundaries. He explained that to create a new TIF district the first item that needs to be done is the Plan Commission approves the resolution, then the Common Council approves it and then it goes to the Joint Review Board for final approval

He explained the three phases of the project plan, funding, timing of the plan, increment to the district, maps of the district, listing of all parcels contained in the TIF District, project list, tax payments to the Town of Chester, development assumptions, development agreements, and cash flow.

Dan VandeZande discussed the money involved with the plan and we need some buffer but also wanted to be conservative in case there are changes so we would still be in position that the cash flow would still work. Any expenditures that would come forward would go to the Council for approval.

There were no public appearances for the Public Hearing.

Motion by Matoushek, 2<sup>nd</sup> by Dobbratz to close the Public Hearing. Motion carried, unanimously.

3. Consideration and possible action on a "Resolution Establishing the Boundaries of and Approving the Project Plan for Tax Incremental District No. 9." The Resolution approves the project plan.

Motion by Dobbratz, 2<sup>nd</sup> by TerBeest to approve the resolution and project plan for Tax Incremental District No. 9 as presented.

Vote: Matoushek, Medema, TerBeest, Bishop, Daane, Dobbratz, Vanderkin – "AYE"

Motion carried, unanimously 7-0.

4. Public Hearing - Annexation Petition of Debra E. Levey, Susan M. Rogahn, Janice G. Bauman, Nancy B. Hodgson, f/k/a Nancy B. Maleck, Arthur O. Claggett and Dwight E. Claggett to annex real estate located in the Town of Chester to the City of Waupun

Property Address: State Road 26, Waupun, WI 53963

Tax Parcel Number: 010-1315-0922-000

Chairman Bishop read the call of the hearing and its purpose.

Motion by Matoushek, 2<sup>nd</sup> by Vanderkin to open the Public Hearing

Kathy Schlieve explained the annexation pertains to project plan for TIF 9 and this was requested by Claggett family in advanced of plan, which allowed being included in the plan.

Dan VandeZande reported that the petition was reviewed by the Department of Administration and they believe this is in the public interest to move forward even though it may create a town island. He reviewed case law pertaining to town islands and is confident we are safe to do this. If this land is not annexed, we cannot include it in TIF 9.

There were no public appearances for the Public Hearing.

Motion by Matoushek, 2<sup>nd</sup> by TerBeest to close the public hearing. Motion carried, unanimously.

Motion by Medema, 2<sup>nd</sup> by Dobbratz to recommend to the Common Council the approval of the Annexation Ordinance. Motion carried, unanimously.

5. Extraterritorial Stormwater Site Plan Review - Thomas Moul - 715 S Madison St.

Jeff Daane discussed the plan. A new owner recently acquired the land. The owner has allowed the construction company that is working on S. Madison St. to use some of this land for storage of equipment and material. In return, the contractor said they would make some improvements to the land. This property is not in the City limits and is in the Town of Chester. They are proposing a gravel area and new driveway onto Libby St. There is currently a building on the site, which has a permit taken out for demolition.

Jeff Daane will put a draft agreement together with recommendations from the Plan Commission, and Dan VandeZande will work on language for enforcing the agreement.

Motion by Matoushek, 2<sup>nd</sup> by Dobbratz to approve the site plan on the condition that the property owner signs the agreement with the following conditions:

Conditions:

1. The house will be removed by March 1, 2023
2. Blacktop is required in the road right of way.

3. 12" culvert installed below the driveway.
4. 75' grass area to the east of the newly installed gravel must be maintained for drainage.
5. Removal of existing driveway on Libby St.  
Motion carried, unanimously.

6. Certified Survey Map Review of Kari Pattee for properties at 19 and 23 S. Madison St

Dan VandeZande explained the CSM. This has come before the Plan Commission before and it was recommended to hold off on the approval of it because the County had some concerns with it. They tried to go another route and just quick claim deed the land, but that did not work. Dan suggested getting approval of the Certified Survey Map and then some other actions will need to be done after this part is complete. Dan recommends approval of the CSM, but not recoding it until the quick claim deeds are done to fix the lot lines. This will solve 95% of the problems with this area.

Motion by Dobbratz, 2<sup>nd</sup> by Matoushek to recommend approval of the Certifies Survey Map of Kari Pattee for properties at 19 and 23 S. Madison St. Motion carried, unanimously

7. Site Plan Review - 5 Doty St

Sue Leahy discussed the plan as the owners were not in attendance. This will be a retail store with an asphalt tank located directly behind the building. There will be a fence around the entire property. They looked at a building downtown but that was not a good location for a storage tank outside. This property is zoned M-1 and meets the zoning requirements and does not require a Conditional Use Permit. Questions were asked as to hours of operation, who their customer base is, traffic concerns with a retail business, spill containment for the tank. Kathy stated that the Department of Corrections has a warehouse next to this property, but the rest of the area is predominantly residential and is concerned this could be disruptive to the neighborhood

Motion by Matoushek, 2<sup>nd</sup> by Dobbratz to table this item to a future meeting for more information from the owner. Motion carried, unanimously

**ADJOURNMENT**

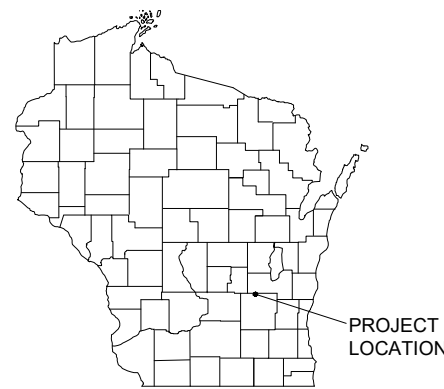
Motion by Dobbratz, 2<sup>nd</sup> by Matoushek to adjourn the meeting. Motion carried, meeting adjourned at 5:12 pm

Minutes prepared by Trista Steinbach

# ALL-PHASE HVAC LLC DEVELOPMENT

## CITY OF WAUPUN

### DODGE COUNTY, WISCONSIN



PROJECT LOCATION

### SHEET INDEX

<u>G - GENERAL SHEETS</u>	
G 1	TITLE SHEET
<u>D - DETAIL SHEETS</u>	
D 1-3	CONSTRUCTION DETAILS
<u>ST - SITE PLANS</u>	
ST 1	EROSION CONTROL PLAN
ST 2	SITE IMPROVEMENT PLAN

### LEGEND

	EXISTING WATER MAIN
	EXISTING WATER MAIN, VALVE & HYDRANT
	EXISTING WATER SERVICE & CURB STOP
	PROPOSED WATER MAIN, VALVE, & HYDRANT
	PROPOSED WATER SERVICE & CURB STOP
	EXISTING SANITARY SEWER & MANHOLE
	PROPOSED SANITARY SEWER & MANHOLE
	EXISTING FORCEMAIN
	EXISTING STORM SEWER & INLET
	PROPOSED STORM SEWER & INLET
	PROPOSED STORM SEWER & MANHOLE
	BURIED ELECTRIC
	BURIED GAS & VALVE
	BURIED CABLE TELEVISION
	BURIED TELEPHONE
	BURIED FIBER OPTICS
	OVERHEAD UTILITY
	RAILROAD TRACKS
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	EXISTING CULVERT PIPE
	PROPOSED CULVERT PIPE
	FENCE LINE
	DRAINAGE ARROW
	SILT FENCE
	RIGHT-OF-WAY
	BASELINE
	PROPERTY LINE
	TREE LINE
	BENCHMARK
	IRON PIPE
	IRON ROD
	CONTROL POINT
	UTILITY POLE & GUY
	SOIL BORING
	LIGHT POLE
	PEDESTAL
	STREET SIGN
	MAILBOX
	FLAGPOLE
	TREE - DECIDUOUS
	TREE - CONIFEROUS
	TREE TO BE REMOVED

### UTILITIES

**GAS:**  
 ALLIANT ENERGY  
 120 E. MAPLE AVENUE  
 BEAVER DAM, WI 53916  
 PHONE: 920-887-6030  
 CONTACT: DAVID KROHN

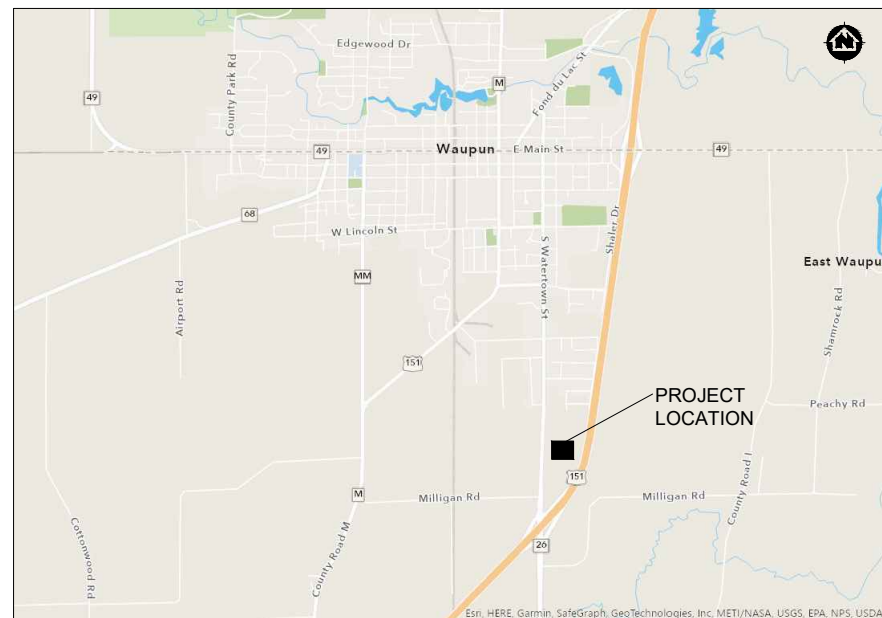
**ELECTRIC:**  
 WAUPUN UTILITIES  
 817 S. MADISON STREET  
 WAUPUN, WI 53963  
 PHONE: 920-324-7920  
 CONTACT: STEVE BROOKS

**TELEPHONE:**  
 AT&T  
 70 E. DIVISION STREET, FLOOR 1  
 FOND DU LAC, WI 54935  
 PHONE: 920-929-1013  
 CONTACT: CHUCK BARTELT

**SANITARY & WATER:**  
 WAUPUN UTILITIES  
 817 S. MADISON STREET  
 WAUPUN, WI 53963  
 PHONE: 920-324-7920  
 CONTACT: STEVE SCHRAMM

**STORM SEWER & STREET:**  
 CITY OF WAUPUN  
 201 E. MAIN STREET  
 WAUPUN, WI 53963  
 PHONE: 920-210-8200  
 CONTACT: JEFF DAANE

**CATV:**  
 CHARTER COMMUNICATIONS  
 N3760 C.T.H. "DJ"  
 JUNEAU, WI 53039  
 PHONE: 920-349-3201  
 CONTACT: NICK FRASE



PROJECT LOCATION

**LOCATION MAP**  
 NOT TO SCALE

**DIGGERS HOTLINE**  
 Dial 811 or (800) 242-8511  
 www.DiggersHotline.com

NOTE:  
 UTILITY LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND CONTRACTOR SHALL HAVE APPROPRIATE UTILITY MARK EXACT LOCATIONS PRIOR TO CONSTRUCTION.

PROJECT DATE:	NO.	DATE	REVISION	BY:
DRAWN BY: ARW	-	-	-	-
DESIGNED BY: ARW	-	-	-	-
CHECKED BY: Init	-	-	-	-

PLOT DATE: 8/26/2022 9:08 AM, G:\212187\121871000\CADD\Construction Documents\21871000 Details.dwg

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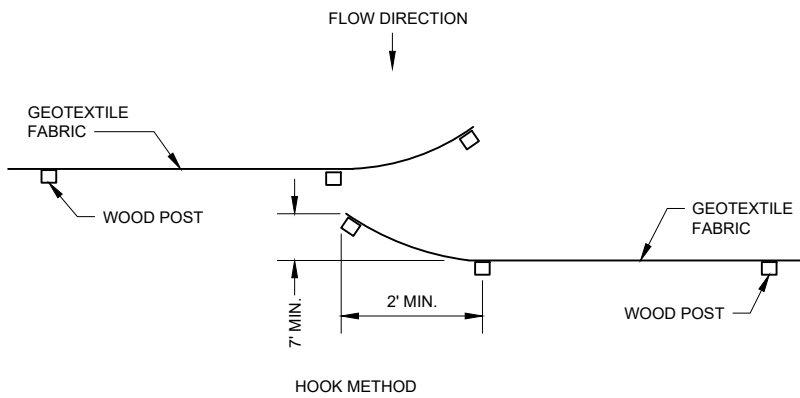
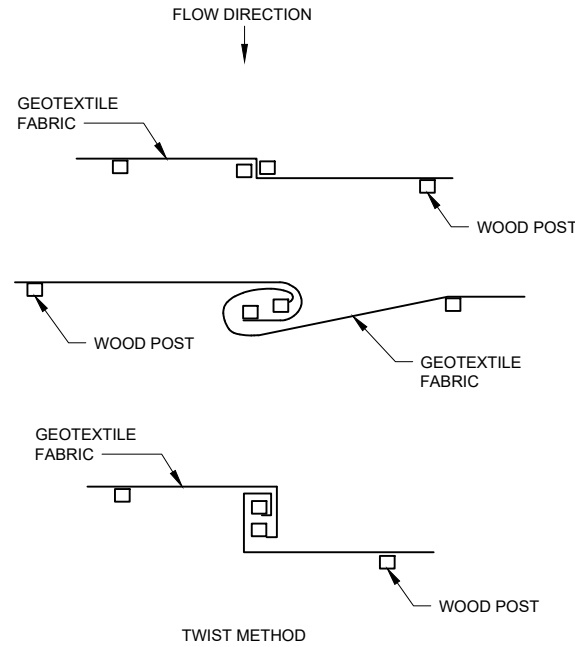
ALL-PHASE HVAC LLC DEVELOPMENT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI PARCEL #29213150933003

TITLE SHEET

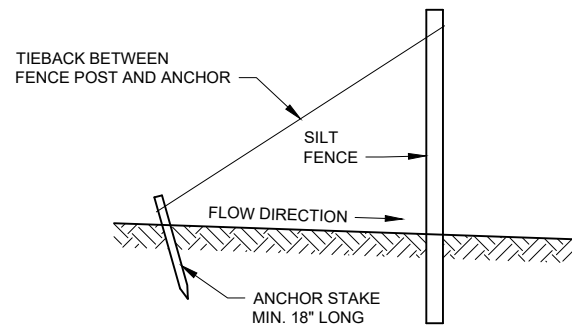
PROJECT NO.  
 21871000  
 SHEET  
 G1

**CONSTRUCTION SITE  
EROSION CONTROL REQUIREMENTS**

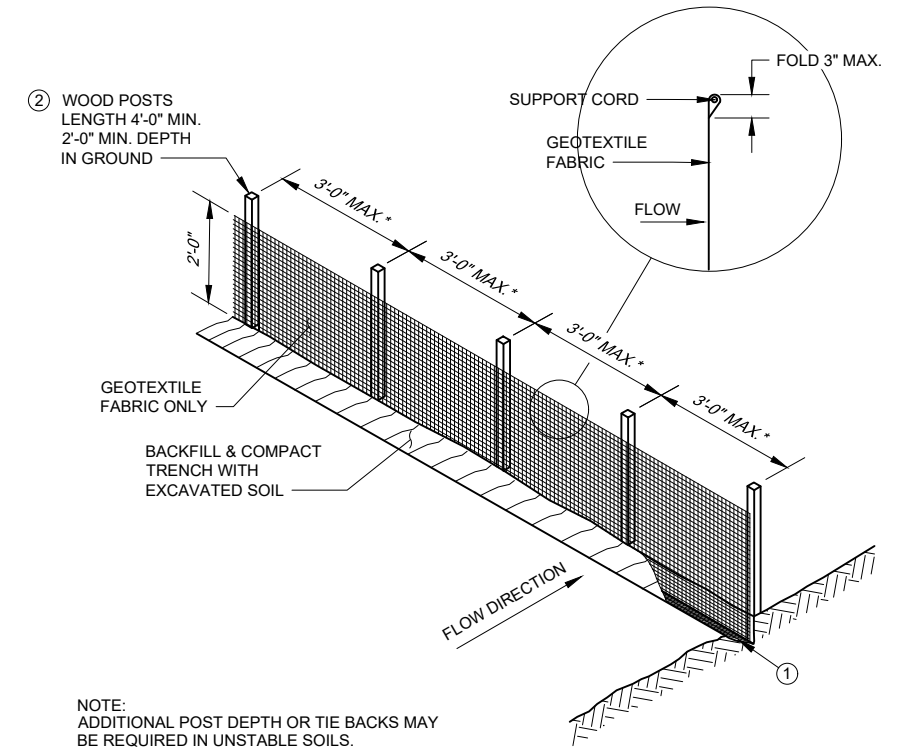
- SECTION NR216.46 OF WISCONSIN STATE ADMINISTRATIVE CODE IDENTIFIES REQUIREMENTS FOR CONSTRUCTION SITE AND POST-CONSTRUCTION EROSION CONTROL. IT IS THE INTENT OF THESE PLANS TO SATISFY THESE REQUIREMENTS. THE METHODS AND STRUCTURES USED TO CONTROL EROSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL IMPLEMENT AN APPROPRIATE MEANS OF CONTROLLING EROSION DURING SITE OPERATION AND UNTIL THE VEGETATION IS RE-ESTABLISHED. ADJUSTMENTS TO THE CONTROL SYSTEM SHALL BE MADE AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE WISCONSIN DNR'S CONSERVATION PRACTICE STANDARDS. THESE STANDARDS ARE PERIODICALLY UPDATED AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND REFERENCE THE MOST RECENTLY RELEASED STANDARD.
- THIS INFORMATION IS ONLY ONE PART OF THE OVERALL EROSION CONTROL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY ALSO BE SHOWN ON THE CONTRACT DRAWINGS AND IN THE ACCOMPANYING SPECIFICATIONS.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE OWNER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- THE AREA OF EROSION LAND EXPOSED TO THE ELEMENTS BY GRUBBING, EXCAVATION, TRENCHING, BORROW AND FILL OPERATIONS AT ANY ONE TIME SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING. ALL DISTURBED AREAS SHALL BE TREATED WITH PERMANENT STABILIZATION MEASURES WITHIN 3 WORKING DAYS OF FINAL GRADING.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN HAS OCCURRED. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME.
- ALL EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE PROPERLY INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS WITHIN THEIR RESPECTIVE DRAINAGE AREAS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY INSTALLED PRIOR TO ANY SOIL DISTURBANCE.
- ANY SLOPES STEEPER THAN 3H:1V SHALL BE STAKED WITH EROSION CONTROL FABRIC UNLESS INDICATED ON THE PLAN.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TACKING AGENT MAY BE REQUIRED TO PROTECT NEARBY RESIDENCES AND WATER RESOURCES.
- CHANNELIZED RUNOFF ENTERING THE PROJECT SITE FROM ADJOINING LANDS SHALL BE DIVERTED THROUGH NATURALLY OR ARTIFICIALLY EROSION-RESISTANT CONVEYANCES. IF CHANNELIZED RUNOFF CANNOT BE DIVERTED, SITE BEST MANAGEMENT PRACTICES MUST ACCOUNT FOR THE ADDITIONAL FLOW RATES AND EROSION POTENTIAL THAT SUCH RUNOFF PRESENTS.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE PRECAUTIONS TO PREVENT SOILS FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED (NOT FLUSHED) PERIODICALLY TO REMOVE SOIL, DIRT, AND/OR DUST.
- EROSION CONTROLS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF TEMPORARY STOCKPILES. ANY SOIL STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING. ALL STOCK PILES SHALL BE PLACED AT LEAST 75 FEET FROM STREAMS OR WETLANDS.
- ADDITIONAL EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL INCLUDE THE FOLLOWING:
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
  - DISCHARGE OF TRENCH WATER OR DEWATERING EFFLUENT MUST BE PROPERLY TREATED TO REMOVE SEDIMENT IN ACCORDANCE WITH THE WDNR CONSERVATION PRACTICE STANDARD 1061 - DEWATERING OR A SUBSEQUENT WDNR DEWATERING STANDARD PRIOR TO DISCHARGE INTO A STORM SEWER, DITCH, DRAINAGEWAY, OR WETLAND OR LAKE.
- ALL DRAINAGE CULVERTS, STORM DRAIN INLETS, MANHOLES, OR ANY OTHER EXISTING STRUCTURES THAT COULD BE DAMAGED BY SEDIMENTATION SHALL BE PROTECTED ACCORDING TO THE VARIOUS METHODS PROVIDED IN THE PRINTED CONSERVATION PRACTICE STANDARDS.
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION, ALL NEWLY SEEDED AND MULCHED AREAS SHALL WATERED WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BMP'S SUCH AS SILT FENCES, STRAW BALES, AND SEDIMENT TRAPS SHALL BE REMOVED AND THESE AREAS STABILIZED.
- ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.
- ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEED AND MULCH UNLESS OTHERWISE SPECIFIED. A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.



**JOINING TWO LENGTHS OF SILT FENCE** ③



**SILT FENCE TIE BACK  
(WHEN REQUIRED BY THE ENGINEER)**



NOTE:  
ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

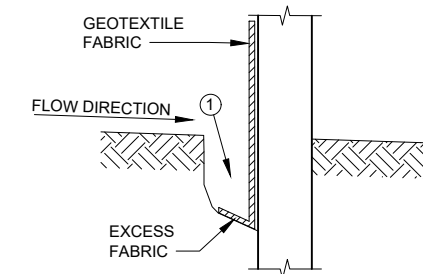
\* 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED, OR IF THE SILT FENCE IS FACTORY ASSEMBLED.

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

**SILT FENCE**

**GENERAL NOTES**

- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



**TRENCH DETAIL**

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY:
8/26/2022 9:08 AM, G:\212187\21871000\CADD\Construction Documents\21871000 Details.dwg	ARW				
	DESIGNED BY: ARW				
	CHECKED BY: Init				

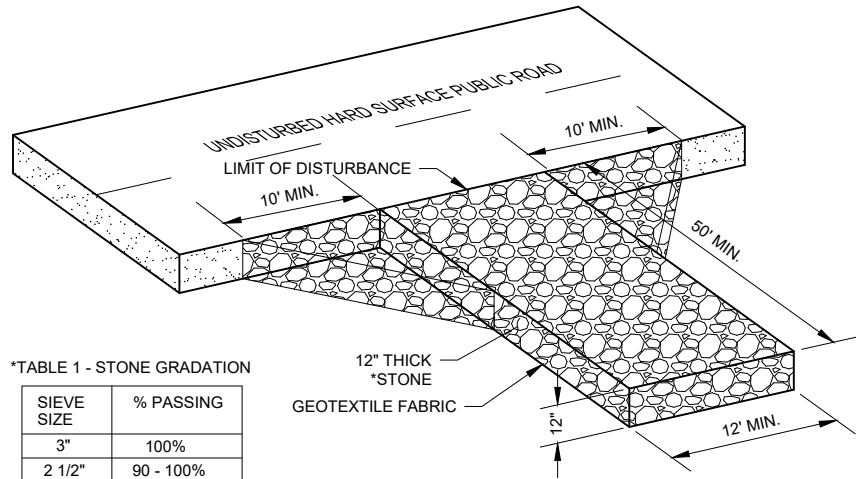


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**ALL-PHASE HVAC LLC DEVELOPMENT  
CITY OF WAUPUN  
DODGE COUNTY, WI PARCEL #29213150933003**

**CONSTRUCTION DETAILS**

PROJECT NO.  
**21871000**  
SHEET  
**D1**

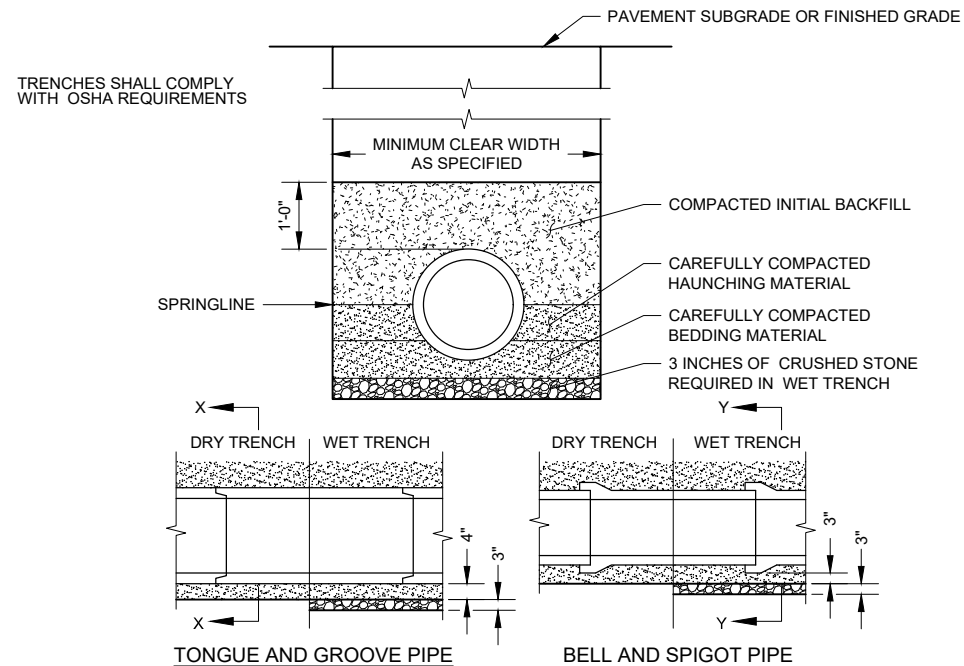


\*TABLE 1 - STONE GRADATION

SIEVE SIZE	% PASSING
3"	100%
2 1/2"	90 - 100%
1 1/2"	25 - 60%
3/4"	0 - 20%
3/8"	0 - 5%

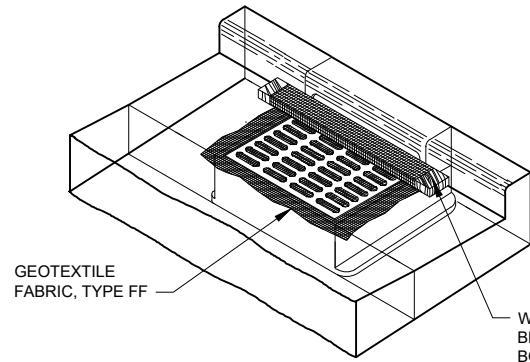
- NOTES:
1. TRACKING PAD WIDTH SHALL BE AT LEAST THE FULL WIDTH OF THE EGRESS POINT OR 12' WIDE MINIMUM.
  2. TRACKING PAD LENGTH SHALL BE 50' FOR CONSTRUCTION SITES, 30' FOR SINGLE FAMILY RESIDENTIAL, OR AS SPECIFIED IN THE CONTRACT DOCUMENTS. LENGTH OF TRACKING PAD MAY NEED TO BE INCREASED OR ADDITIONAL SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED BY THE CONTRACTOR IF SEDIMENT TRACK-OUT OCCURS.
  3. GEOTEXTILE FABRIC TYPE R SHALL BE INSTALLED BETWEEN THE STONE AND SUBGRADE ON SITES WHERE HIGH GROUND WATER IS OBSERVED.
  4. CONTRACTOR SHALL CLEAN STREET/ROADWAY ADJACENT TO ALL CONSTRUCTION ACCESS POINTS AT THE END OF EACH WORKDAY OR MORE FREQUENTLY IF REQUESTED.

**STONE TRACKING PAD**  
NO SCALE



- GENERAL NOTES:
1. BEDDING AND HAUNCHING MATERIAL SHALL BE WELL-GRADED 3/4 TO 1/4 INCH CRUSHED STONE OR OTHER NON-COHESIVE MATERIAL NOT SUBJECT TO MIGRATION AND FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
  2. BEDDING MATERIAL TO BE PLACED BEFORE SETTING PIPE, 4 INCH MINIMUM UNDER BARREL WITH 3 INCH MINIMUM UNDER BELL.
  3. INITIAL BACKFILL SHALL BE DENSELY COMPACTED, NON-COHESIVE FINELY DIVIDED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND LARGE STONES.
  4. IN ROCK OR OTHER UNCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6-INCHES AND REFILLED WITH GRANULAR MATERIAL.

**CLASS "B" EMBEDMENT FOR RIGID PIPE DETAIL**  
NO SCALE



INSTALLATION NOTES:

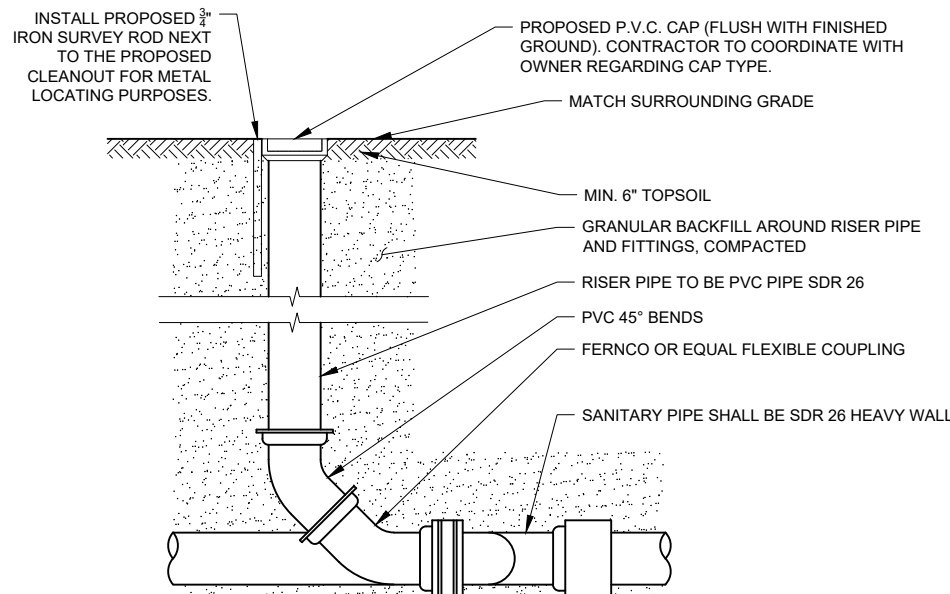
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**INLET PROTECTION, TYPE C**  
NO SCALE

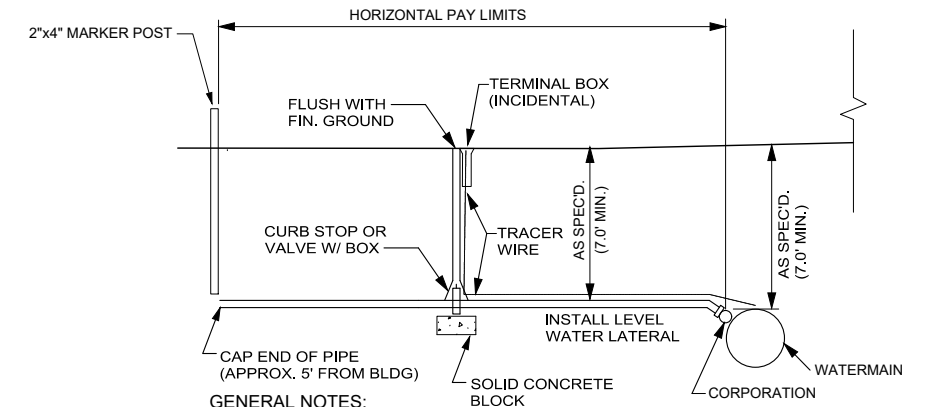
**GENERAL NOTES - INLET PROTECTION**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



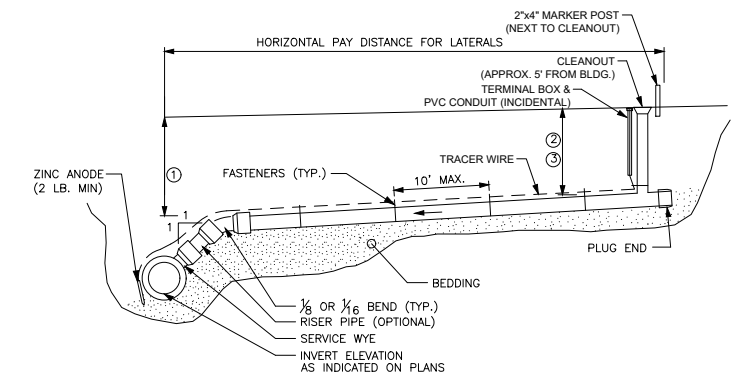
**SANITARY SEWER CLEANOUT WITHIN GRASS AREA**  
NO SCALE



GENERAL NOTES:

1. SEE PLANS AND SPECIFICATIONS FOR SIZE AND TYPE OF CURB STOP AND BOX CORPORATION AND SERVICE LINE.
2. COMMUNITY STANDARDS SHALL SUPERCEDE THE DIMENSIONS FROM THE PROPERTY LINE.
3. TRACER WIRE SHALL BE INSTALLED ALONG ALL NEWLY INSTALLED WATER SERVICES (INCIDENTAL TO WATER SERVICE PIPING).

**WATER SERVICE DETAIL**  
NO SCALE



ELEVATION VIEW

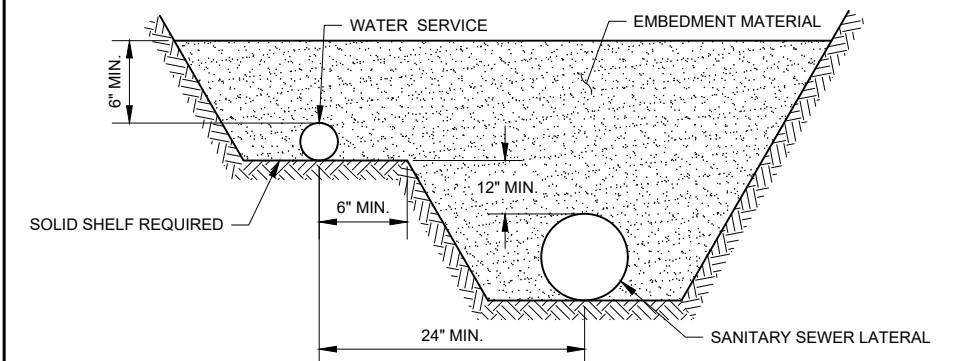
NOTES FOR LATERAL INSTALLATION:

1. MINIMUM DEPTH OF COVER UNDER ROADWAY = 7 FEET.
2. MINIMUM DEPTH OF COVER UNDER GRASS AREAS = 5 1/2 FEET.
3. MINIMUM DEPTH OF COVER UNDER GRASS AREAS WITH FROST PROTECTION = 3 FEET 6 INCHES.
4. LATERAL SLOPES SHALL BE 1/8 INCH PER FOOT MINIMUM AND 1/2 INCH PER FOOT MAXIMUM.

NOTES FOR TRACER WIRE INSTALLATION:

1. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE.
2. TRACER WIRE SHALL BE INSTALLED WITH THE NON-CONDUCTIVE SERVICE. PIPE TRACER WIRE TERMINAL CONDUITS SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER LATERAL OR AS DETERMINED BY THE ENGINEER OR OWNER.
3. TRACER WIRE SHALL BE RESTRAINED BY CABLE-TIES, TAPE, OR BY NON-CORROSIVE FASTENER APPROVED BY THE OWNER, INSTALLED EVERY 10 FEET ALONG SERVICE. DO NOT WRAP TRACER WIRE AROUND THE PIPE.
4. TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A TERMINAL BOX FLUSH WITH THE FINISHED GROUND. PROVIDE 2-FOOT EXTRA TRACER WIRE IN ACCESS PIPE AND ATTACH TRACER WIRE TO TERMINAL BOLTS. (INCIDENTAL TO PIPE INSTALLATION)

**SANITARY SEWER LATERAL DETAIL**  
NO SCALE



GENERAL NOTES:

1. WATER SERVICES 2 INCHES IN DIAMETER AND LESS SHALL BE LAID WITH A CLEAR HORIZONTAL SEPARATION NOT LESS THAN 2 FEET FROM THE SANITARY LATERAL.

**WATER SERVICE AND SANITARY SEWER LATERAL DETAIL**  
NO SCALE

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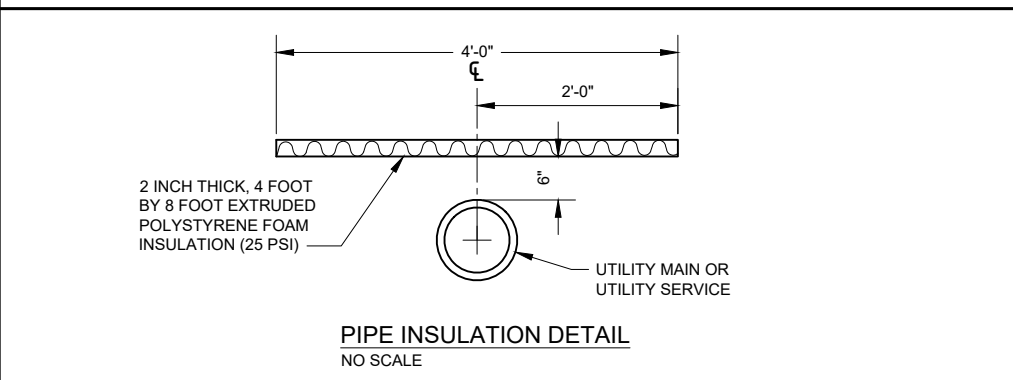
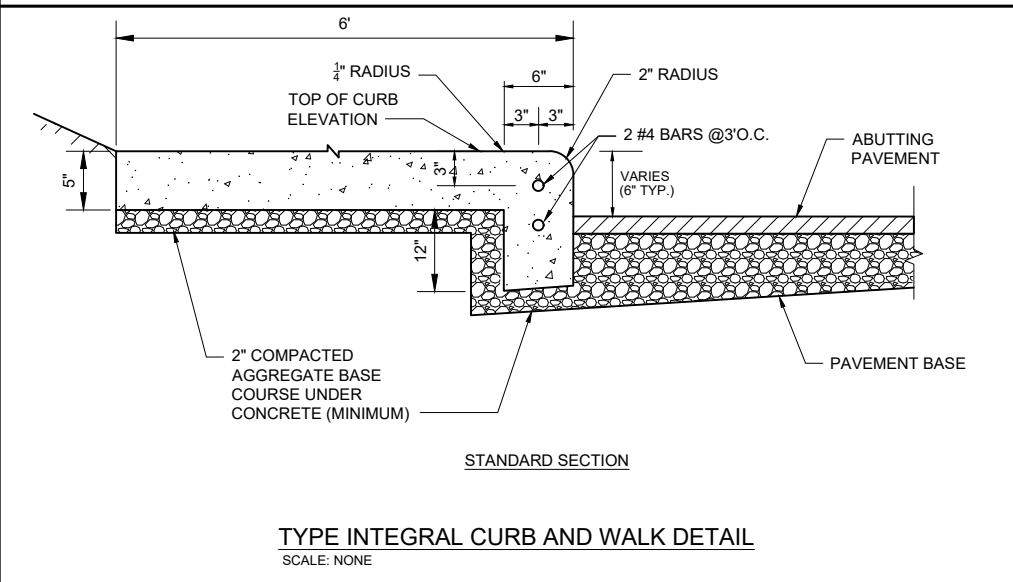
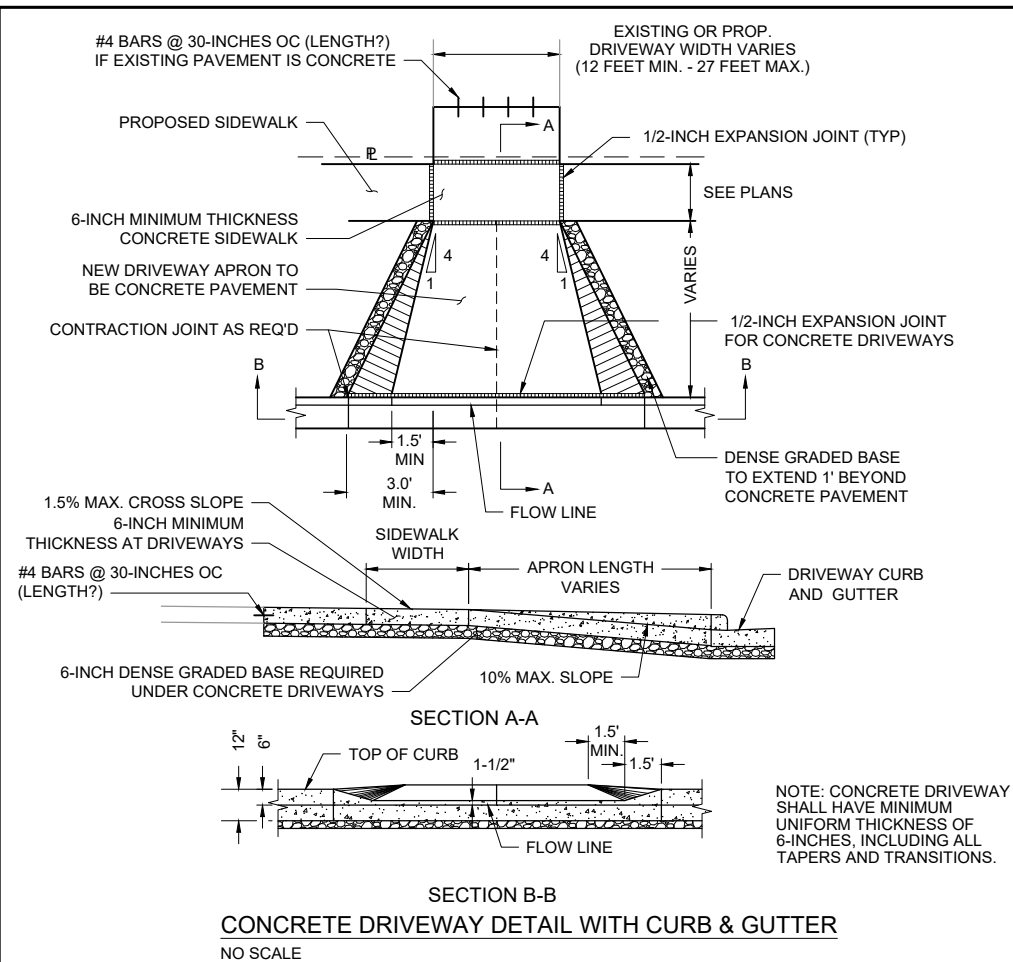


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CITY OF WAUPUN  
DODGE COUNTY, WI PARCEL #29213150933003

CONSTRUCTION DETAILS

PROJECT NO.  
21871000  
SHEET  
D2

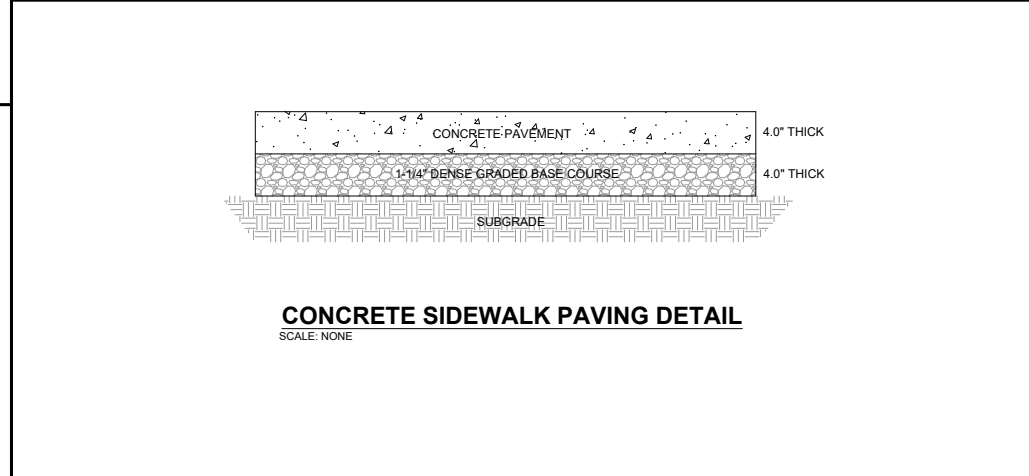
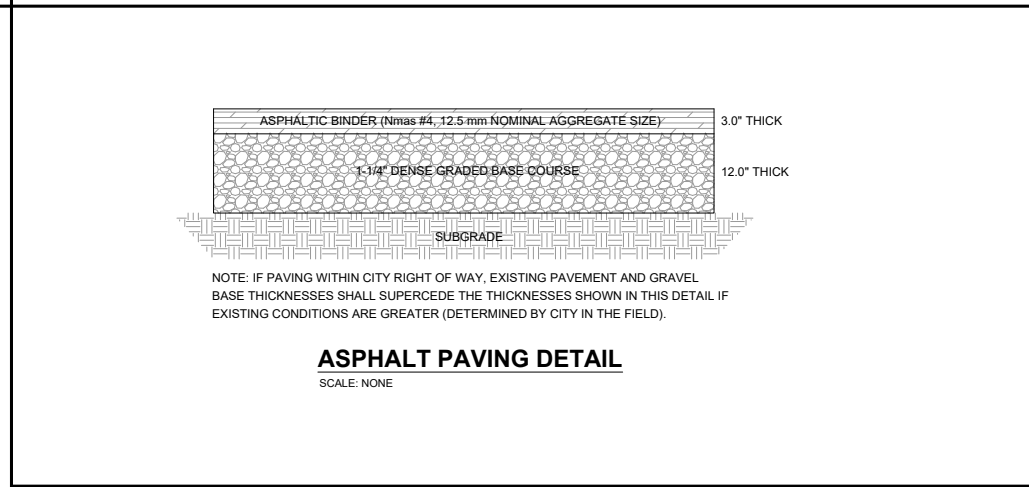


**GENERAL PROJECT NOTES:**

- ALL EXISTING UTILITIES WITHIN THIS PLAN ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NO RESPONSIBILITY IS ASSUMED BY THE ENGINEER OR OWNER FOR THEIR ACCURACY OR DEGREE OF COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE, LOCATION, AND ELEVATION OF ALL UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGING ANY SUCH UTILITIES. THE CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AT (800) 242-8511 PRIOR TO ANY CONSTRUCTION SO THAT THE SITE MAY BE MARKED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS ARE APPARENT, BRING TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR RE-DESIGN MAY OCCUR.
- UNLESS SPECIFIED WITHIN THIS CONSTRUCTION PLAN, NO EXISTING TREES SHALL BE DISTURBED OR DAMAGED. THE OWNER, IN WRITING, MUST APPROVE THE REMOVAL OF ANY EXISTING TREES IF THE CONTRACTOR BELIEVES THAT AN EXISTING TREE IS IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. NO TREES OR TREE STUMPS SHALL BE BURIED ONSITE.
- EXISTING KNOWN SURVEY MONUMENTS (SHOWN ON THE PLANS) ENCOUNTERED DURING CONSTRUCTION ARE TO BE PRESERVED AND LEFT UNDISTURBED. SHOULD THE CONTRACTOR ENCOUNTER UNKNOWN MONUMENTS, PROPERTY STAKES, ETC. (NOT SHOWN ON THE PLANS), THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO ANY DISTURBANCE. FAILURE TO PRESERVE SUCH MONUMENTS SHALL NOT BE ALLOWED AND REPAIRED BY A REGISTERED LAND SURVEYOR SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ELEVATIONS SHOWN WITHIN THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM.
- REFER TO THE PROJECT ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILS PERTAINING TO THE PROPOSED BUILDINGS, ASSOCIATED ARCHITECTURAL FEATURES, AND SITE WORK SURROUNDING THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.) REGARDING THE LOCATION, SIZE, DEPTH, ETC. OF EXISTING AND PROPOSED SERVICE LINES WITHIN THE PROJECT SITE. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY PRIVATE UTILITIES THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAREFULLY WORK AROUND EXISTING UTILITY LINES, UTILITY POLES, UTILITY STRUCTURES, GUY WIRES, ETC. THAT ARE TO REMAIN UNDISTURBED. THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TEMPORARY SHORING OR OTHER MEASURES TO PROTECT THESE FEATURES DURING CONSTRUCTION ACTIVITIES. (ALL INCIDENTAL TO CONSTRUCTION)

**GENERAL EROSION CONTROL NOTES:**

- THE CONTRACTOR SHALL INSTALL ALL NECESSARY EROSION CONTROL MEASURES TO PREVENT EROSION ONTO THE ADJACENT PROPERTIES AND INTO THE ADJACENT EXISTING STREETS. ADDITIONAL EROSION CONTROL, NOT SHOWN ON THIS PLAN, MAY BE REQUIRED BY THE FIELD ENGINEER OR BY THE CITY DURING CONSTRUCTION (INCIDENTAL). EROSION CONTROL AND SITE STABILIZATION MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE LATEST EDITION OF THE WISCONSIN DNR EROSION CONTROL TECHNICAL STANDARDS, ANY LOCAL EROSION CONTROL & STORMWATER ORDINANCES, AND ANY CONDITIONS OF APPROVAL. INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK. SEE THE "CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS" FOR FURTHER EROSION CONTROL REQUIREMENTS AND NOTES.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STREET INLETS, MANHOLES, DRAINAGE SWALES, CULVERTS, ETC. FROM SILTATION DURING CONSTRUCTION AND UNTIL FINAL STABILIZATION OCCURS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SHALL BE INSPECTED, MAINTAINED, AND DOCUMENTED BY THE CONTRACTOR WEEKLY AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER. ALL NECESSARY REPAIR AND MAINTENANCE WILL BE DONE AT THIS INSPECTION TIME. THESE INSPECTIONS SHALL BE DOCUMENTED BY THE CONTRACTOR AND AVAILABLE TO THE ENGINEER AND/OR OWNER UPON REQUEST. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OR INCLUDED IN THE CORRESPONDING EROSION CONTROL PRICE BID (IF APPLICABLE).



**GENERAL TRAFFIC CONTROL NOTES:**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SCHEDULE HIS/HER WORK TO MINIMIZE THE INCONVENIENCE TO THE RESIDENTS AND BUSINESSES LOCATED ADJACENT TO THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST TWO DAYS PRIOR TO CLOSING ANY SECTION OF STREET.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNITED STATES DEPARTMENT OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD). THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL DURING THE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL INSPECT ALL TRAFFIC CONTROL MEASURES DAILY AND PERFORM ANY NECESSARY MAINTENANCE OR ADJUSTMENTS BASED ON THE ACTIVITIES PLANNED. ADDITIONAL TRAFFIC CONTROL MEASURES NOT SPECIFIED WITHIN THE CONTRACT DOCUMENTS MAY BE REQUIRED DURING CONSTRUCTION BY THE CITY AND ENGINEER (INCIDENTAL TO CONSTRUCTION). THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND CITY STAFF RELATIVE TO THE PLACEMENT AND MAINTENANCE OF ALL BARRICADES AND OTHER MEASURES USED.
- AFTER ALL CONSTRUCTION RELATED ACTIVITIES ARE COMPLETED, THE CONTRACTOR SHALL REMOVE ALL TRAFFIC CONTROL MEASURES. ANY DISTURBANCE OR DAMAGE RESULTING FROM THE REMOVAL OF THE TRAFFIC CONTROL MEASURES SHALL BE RESTORED OR REPAIRED TO THE SATISFACTION OF THE CITY.

**GENERAL GRADING NOTES:**

- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, AND ANY CONDITIONS OF APPROVAL.
- ALL PROPOSED GRADES SHOWN WITHIN THE PLANS ARE FINISHED GRADES. UNLESS SPECIFIED ON THE PLAN, THE CONTRACTOR SHALL CONSTRUCT/GRADE ALL CONCRETE, ASPHALT, AND GRASS AREAS TO A MINIMUM SLOPE OF 1.0%, 1.0%, AND 1.0%, RESPECTIVELY. THE MAXIMUM SURFACE SLOPE ACROSS HANDICAP PARKING STALLS AND WALKWAYS IN ANY DIRECTION SHALL BE 2.0% AND ACROSS HANDICAP ACCESSIBLE RAMPS SHALL BE 8.0%. THE MAXIMUM SURFACE SLOPE ACROSS THE PROPOSED PAVEMENT SHALL BE 6.0% UNLESS SPECIFIED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, PRIOR TO CONSTRUCTION, OF ANY AREAS WHICH DO NOT SATISFY THE ABOVE MENTIONED SLOPES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE HIS/HER OWN COMPUTATIONS FOR DETERMINATION OF EARTHWORK AND TOPSOIL QUANTITIES PRIOR TO BIDDING. IT IS RECOMMENDED THAT EACH BIDDER VISIT THE SITE TO VERIFY THE EXISTING CONDITIONS. NO CHANGES WILL BE MADE IN THE BID QUANTITY AMOUNT OR UNIT PRICE UNLESS CHANGES ARE MADE TO THE CONTRACT DRAWINGS AFTER BIDDING OF THE CONTRACT.
- NO STOCKPILES (TOPSOIL OR EARTH MATERIAL) SHALL REMAIN AFTER ALL GRADING WORK IS COMPLETED UNLESS DIRECTED OTHERWISE BY THE OWNER. IF AFTER THE COMPLETION OF ALL SITE GRADING AND SUBGRADE PREPARATION WORK THERE IS EXCESS FILL MATERIAL, THE CONTRACTOR SHALL HAUL/STOCKPILE THE MATERIAL AT A LOCATION(S) AS DESIGNATED BY THE OWNER OR DISPOSE OF THE MATERIAL AS DIRECTED BY THE OWNER. IF THERE IS A SHORTAGE OF FILL MATERIAL, THE CONTRACTOR SHALL PURCHASE/IMPORT THE MATERIAL FROM OFFSITE. ALL GRADING AND SUBGRADE PREPARATION WORK AS WELL AS ANY DISPOSAL OF EXCESS MATERIAL AND/OR IMPORTING OF MATERIAL SHALL BE INCIDENTAL TO THE UNCLASSIFIED EXCAVATION BID ITEM.
- FILL PLACED WITHIN 10 FEET OR LESS FROM THE OUTSIDE EDGE OF A BUILDING SHALL BE SUITABLE EXCAVATED SOIL FREE OF ORGANIC DEBRIS, CLAY BALLS, AND AGGREGATE LARGER THAN 1.5-INCHES. THE FILL MATERIAL WITHIN THESE AREAS SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 6-INCH TO 8-INCH MAXIMUM LIFTS TO AT LEAST 95 PERCENT MAXIMUM DRY DENSITY PER MODIFIED PROCTOR (ASTM D1557). ALL OTHER FILL AREAS WITHIN THE PROJECT SITE SHALL BE SPREAD AND COMPACTED IN 12-INCH MAXIMUM LIFTS TO AT LEAST 93 PERCENT DRY DENSITY PER MODIFIED PROCTOR (ASTM D1557).

**GENERAL PAVING NOTES:**

- ALL PROPOSED PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, AND ANY CONDITIONS OF APPROVAL.
- ALL SAWCUTTING OF EXISTING ASPHALT AND CONCRETE SHALL BE INCIDENTAL TO PAVING.

**GENERAL RESTORATION NOTES:**

- ALL PROPOSED RESTORATION SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, AND ANY CONDITIONS OF APPROVAL.
- ALL DISTURBED OPEN SPACE AREAS SHALL BE TOPSOILED (MINIMUM 6\"/>

**WORK OUTSIDE OF PROJECT PROPERTY NOTES:**

- ALL DISTURBANCE WITHIN THE EXISTING CITY RIGHT-OF-WAY SHALL BE KEPT TO A MINIMUM. ALL PAVEMENT, GRASS AREAS, ETC. DISTURBED WITHIN THESE AREAS DURING CONSTRUCTION SHALL BE RESTORED EQUAL TO OR BETTER THAN PRE-CONSTRUCTION CONDITIONS AND TO THE SATISFACTION OF THE CITY. EXISTING GRAVEL BASE AND PAVEMENT DISTURBED WITHIN THE EXISTING STREET SHALL BE RESTORED WITH EQUAL THICKNESS AND WORKMANSHIP TO EXISTING CONDITIONS OR AS DIRECTED BY THE CITY. THE CONTRACTOR SHALL COORDINATE WITH THE CITY STAFF REGARDING BACKFILL AND COMPACTION REQUIREMENTS FOR ANY WORK PERFORMED WITHIN THESE AREAS.

**GENERAL UTILITY NOTES:**

- ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THIS CONSTRUCTION PLAN, THE PROJECT SPECIFICATIONS, THE REQUIREMENTS OF THE OWNER, THE LATEST EDITION OF THE WISCONSIN STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION (FOR SANITARY & WATER), THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (STORM), AND ANY CONDITIONS OF APPROVAL.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION AS MEASURED BY THE FIELD ENGINEER AND THE CONTRACTOR SHALL BE PAID ACCORDING TO THE ACTUAL LENGTH OF PIPING INSTALLED.
- A 7.0 FEET DEPTH OF COVER OVER ALL NEWLY INSTALLED WATER PIPING IS DESIRED AND SHALL BE MAINTAINED UNLESS FIELD CONDITIONS PROHIBIT. THE CONTRACTOR SHALL MAINTAIN A MINIMUM DEPTH OF COVER OF 5.0 FEET UNLESS DIRECTED OTHERWISE BY THE OWNER. ALL NEWLY INSTALLED WATER PIPING WITH COVER LESS THAN 7.0 FEET SHALL BE INSULATED ACCORDING TO THE SPECIFICATIONS AND INSULATION DETAIL. INSULATION SHALL ALSO BE INSTALLED AT ALL LOCATIONS WHERE STORM SEWER CROSSES THE WATER PIPING, WATER SERVICES, AND HYDRANT LEADS. MINIMUM VERTICAL SEPARATION DISTANCE WHERE WATER PIPING CROSSES OVER SEWERS IS 6 INCHES. MINIMUM VERTICAL SEPARATION DISTANCE WHERE WATER PIPING CROSSES UNDER SEWERS IS 18 INCHES.
- THE CONTRACTOR SHALL COORDINATE SANITARY AND WATER LATERAL LOCATIONS WITH THE OWNER AND THE BUILDING PLANS PRIOR TO CONSTRUCTION. UNLESS DIRECTED OTHERWISE BY THE OWNER, THE CONTRACTOR SHALL STUB THE SANITARY AND WATER LATERALS APPROXIMATELY 5 FEET FROM THE PROPOSED BUILDING LOCATION AND MARK ALL STUBS WITH A 2x4\"/>

- ALL SAWCUTTING, BENDS, FERRO CONNECTORS, FITTINGS, AND OTHER MATERIALS NOT SPECIFICALLY ITEMIZED ON THE BID BUT NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM AND TO MAKE A WATER-TIGHT CONNECTION TO THE EXISTING SANITARY, WATER, OR STORM PIPING SHALL BE INCIDENTAL TO CONSTRUCTION. ALL PROPOSED SANITARY SEWER, WATER, AND STORM PIPING CONNECTIONS INTO EXISTING PIPING OR STRUCTURES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL EXISTING SANITARY SEWER, WATER, AND STORM PIPE ABANDONMENT AS WELL AS THE REMOVAL OF EX. MANHOLES, HYDRANTS, VALVE MANHOLES, AND VALVE BOXES THAT ARE NO LONGER IN USE SHALL BE INCIDENTAL TO CONSTRUCTION. ALL EXISTING SANITARY, WATER OR STORM PIPING TO BE ABANDONED SHALL BE MADE BY COMPLETELY FILLING EACH END OF THE PIPE WITH POUR-IN-PLACE CONCRETE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (SHORING, BRACING, ETC.) AND SHALL CAREFULLY INSTALL THE NEW SANITARY SEWER, WATER, AND STORM SEWER IMPROVEMENTS SO AS NOT TO DISTURB ANY EXISTING PRIVATE UTILITY STRUCTURES OR PIPING AS WELL AS TO PREVENT ANY DISTURBANCE TO EXISTING SITE FEATURES THAT ARE TO REMAIN UNDISTURBED. ANY DISTURBANCE OR DAMAGE (AS DETERMINED BY THE OWNER) SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

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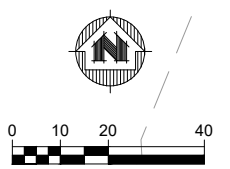
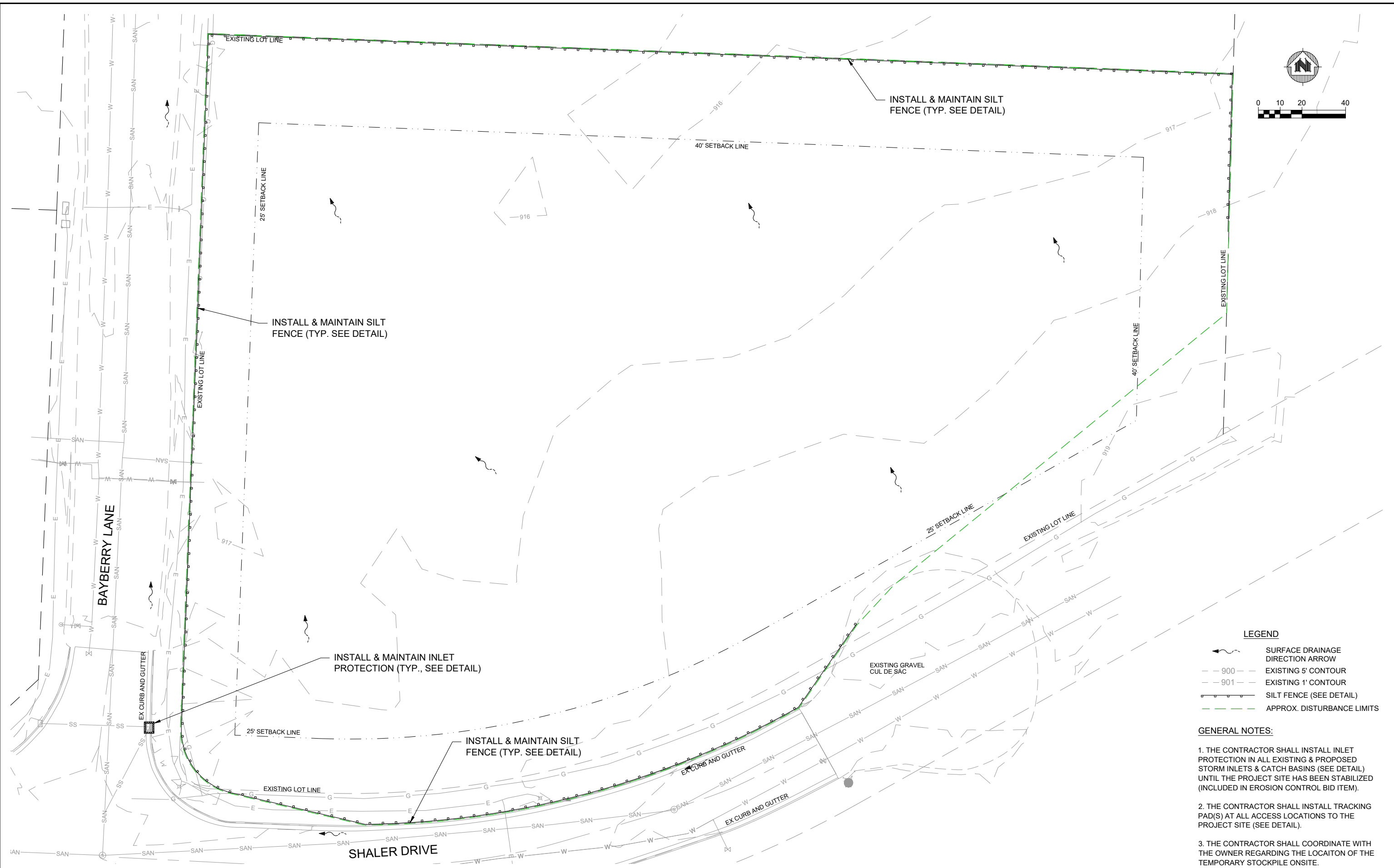
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ALL-PHASE HVAC LLC DEVELOPMENT  
CITY OF WAUPUN  
DODGE COUNTY, WI PARCEL #29213150933003

CONSTRUCTION DETAILS  
PROJECT NO. 21871000  
SHEET D3





- LEGEND**
- SURFACE DRAINAGE DIRECTION ARROW
  - EXISTING 5' CONTOUR
  - EXISTING 1' CONTOUR
  - SILT FENCE (SEE DETAIL)
  - APPROX. DISTURBANCE LIMITS

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL INSTALL INLET PROTECTION IN ALL EXISTING & PROPOSED STORM INLETS & CATCH BASINS (SEE DETAIL) UNTIL THE PROJECT SITE HAS BEEN STABILIZED (INCLUDED IN EROSION CONTROL BID ITEM).
  2. THE CONTRACTOR SHALL INSTALL TRACKING PAD(S) AT ALL ACCESS LOCATIONS TO THE PROJECT SITE (SEE DETAIL).
  3. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE LOCATION OF THE TEMPORARY STOCKPILE ONSITE.

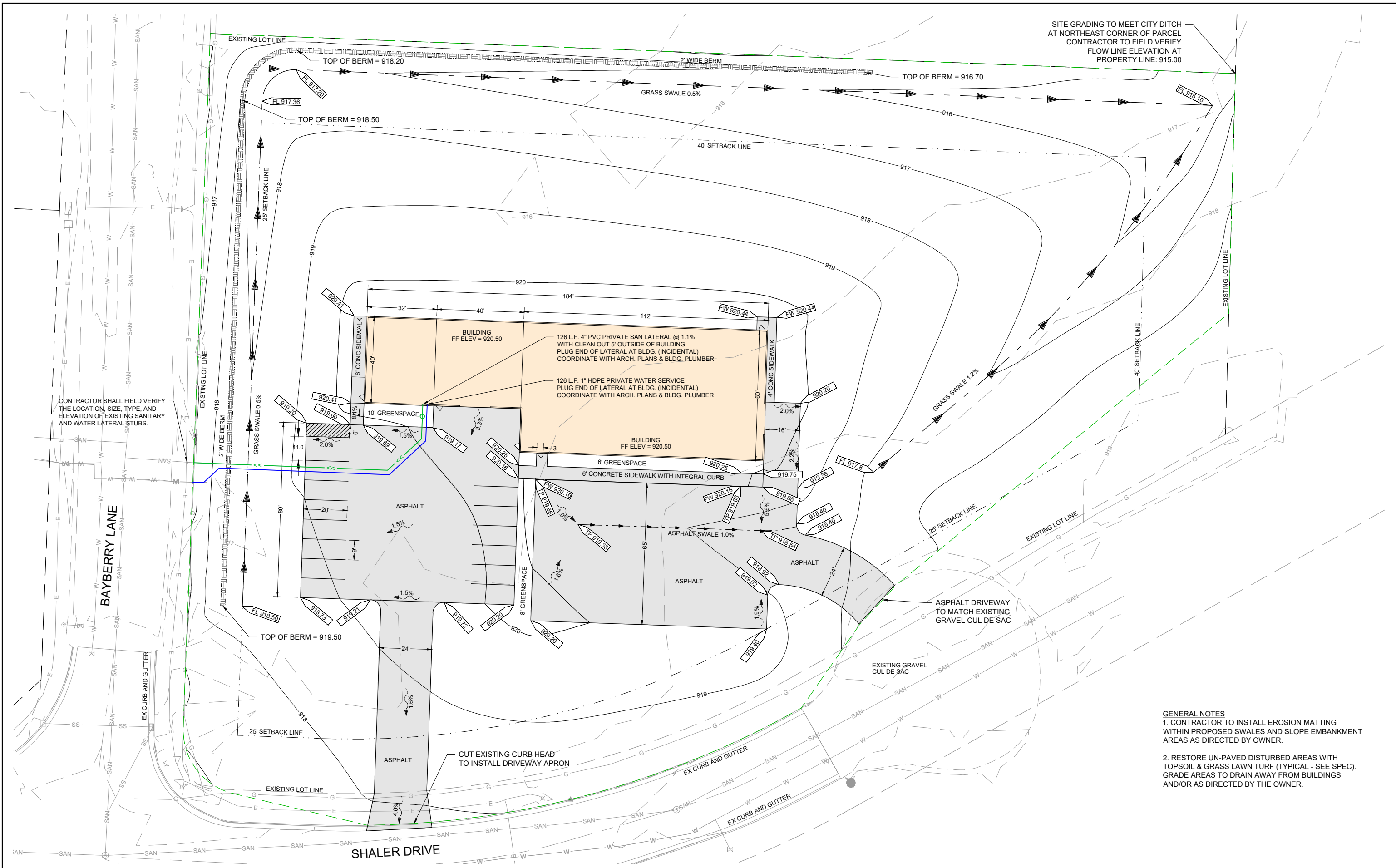
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ALL-PHASE HVAC LLC DEVELOPMENT  
 CITY OF WAUPUN  
 DODGE COUNTY, WI PARCEL #29213150933003

EROSION CONTROL PLAN

PROJECT NO.  
21871000  
 SHEET  
ST1



SITE GRADING TO MEET CITY DITCH  
AT NORTHEAST CORNER OF PARCEL  
CONTRACTOR TO FIELD VERIFY  
FLOW LINE ELEVATION AT  
PROPERTY LINE: 915.00

CONTRACTOR SHALL FIELD VERIFY  
THE LOCATION, SIZE, TYPE, AND  
ELEVATION OF EXISTING SANITARY  
AND WATER LATERAL STUBS.

**GENERAL NOTES**  
1. CONTRACTOR TO INSTALL EROSION MATTING  
WITHIN PROPOSED SWALES AND SLOPE EMBANKMENT  
AREAS AS DIRECTED BY OWNER.  
2. RESTORE UN-PAVED DISTURBED AREAS WITH  
TOPSOIL & GRASS LAWN TURF (TYPICAL - SEE SPEC).  
GRADE AREAS TO DRAIN AWAY FROM BUILDINGS  
AND/OR AS DIRECTED BY THE OWNER.

PROJECT DATE:	NO.	DATE	REVISION	BY
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**ALL-PHASE HVAC LLC DEVELOPMENT**  
CITY OF WAUPUN  
DODGE COUNTY, WI PARCEL #29213150933003

**SITE IMPROVEMENT PLAN**

PROJECT NO.  
21871000  
SHEET  
ST2



As prepared by:

**GA GROTHMAN & ASSOCIATES S.C.**  
PROFESSIONAL SERVICES

625 EAST SJLIFER STREET, P.O. BOX 373 PORTAGE, WI 53901  
PHONE: PORTAGE: (800) 742-7788 SAUK: (800) 644-8877  
FAX: (800) 742-0434 E-MAIL: [surveying@grothman.com](mailto:surveying@grothman.com)

(RED LOGO REPRESENTS THE ORIGINAL MAP)

**G & A FILE NO. 822-387**



DRAFTED BY: A. JEROME

CHECKED BY: RC

PROJ. 822-387

DWG. 822-387

SHEET 2 OF 5

SEAL: 8/17/2022

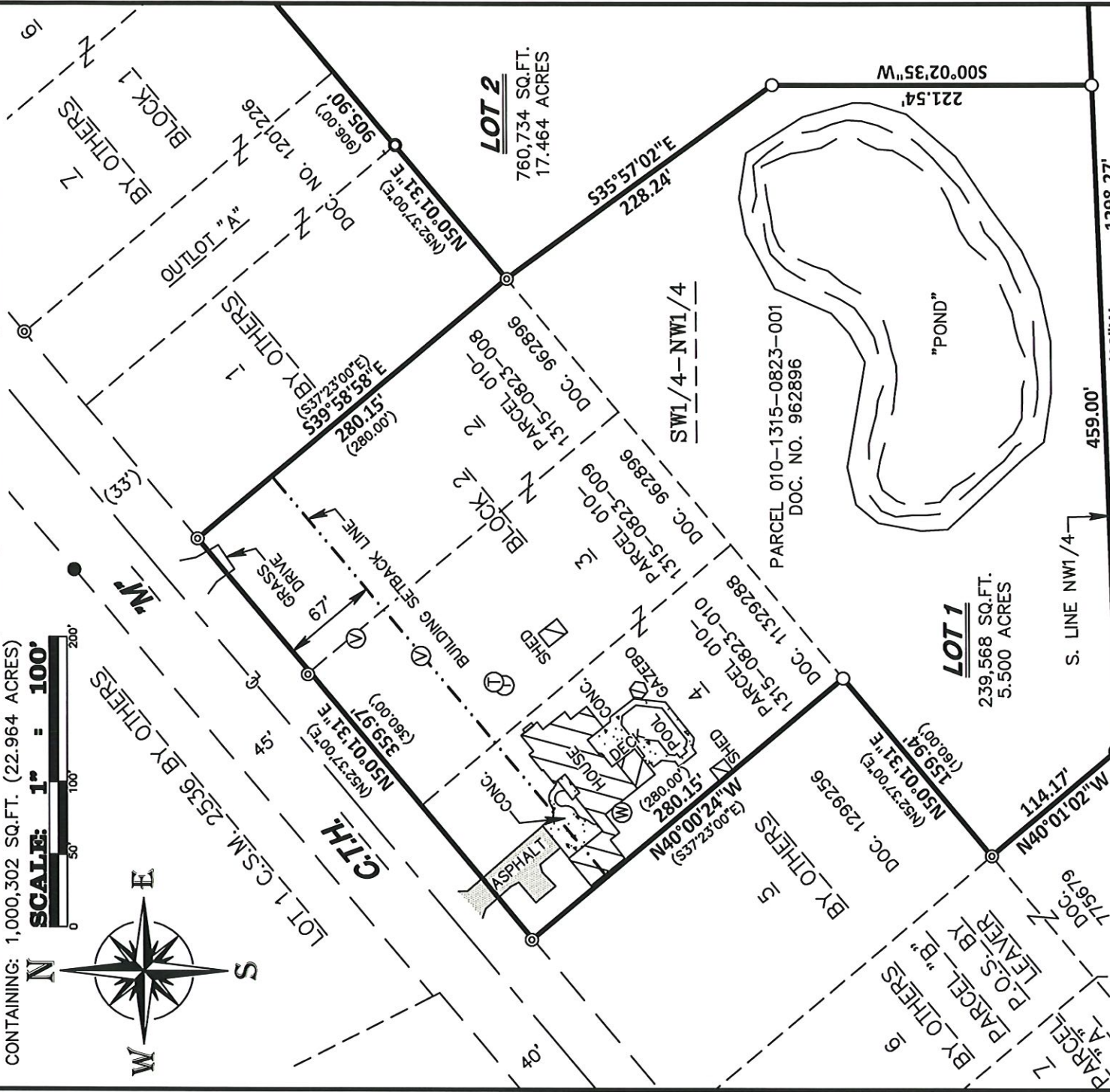
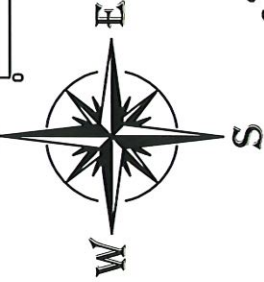


# DODGE COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

## GENERAL LOCATION

Volume \_\_\_\_\_ Page \_\_\_\_\_

**BEING LOT 1 OF BLOCK 1 LOTS 2, 3, AND 4 OF BLOCK 2 OF STOFFEL PLAT AND UNPLATTED LANDS; ALL LOCATED IN PART OF THE SE1/4 OF THE NW1/4, AND PART OF THE SW1/4 OF THE NW1/4, SECTION 8, T. 13 N., R. 15 E., TOWN OF CHESTER, DODGE COUNTY, WISCONSIN**  
CONTAINING: 1,000,302 SQ.FT. (22.964 ACRES)



<b>CLIENT/OWNER</b> SCOTT A. & GAYLE R. DEYOUNG LIVING TRUST DATED APRIL 26, 1995 N11534 C.T.H. "M" WAUPUN, WI 53963	<b>OWNER</b> RAYMOND J. & SHERRI A. PULDA N11594 C.T.H. "M" WAUPUN, WI 53963
C.S.M. V. 4, PG. 103 BY OTHERS	NW1/4-SW1/4 P.O.S. CANIFF DOC. NO. 1131972
S. LINE NW1/4 (N89°21'24"W) S88°07'09"W - 1298.27'	

As prepared by:

**GA GROTHMAN & ASSOCIATES S.C.**  
 PROFESSIONAL SERVICES  
 625 EAST SJER STREET, P.O. BOX 373 PORTAGE, WI 53901  
 PHONE: PORTAGE: (808) 742-7768 SAUK: (808) 644-8877  
 FAX: (808) 742-0434 E-MAIL: [surveying@grothman.com](mailto:surveying@grothman.com)  
(RED LOGO REPRESENTS THE ORIGINAL MAP)

SEAL: 8/17/2022



**G & A FILE NO. 822-387**

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PROJ. 822-387

DWG. 822-387

SHEET 3 OF 5

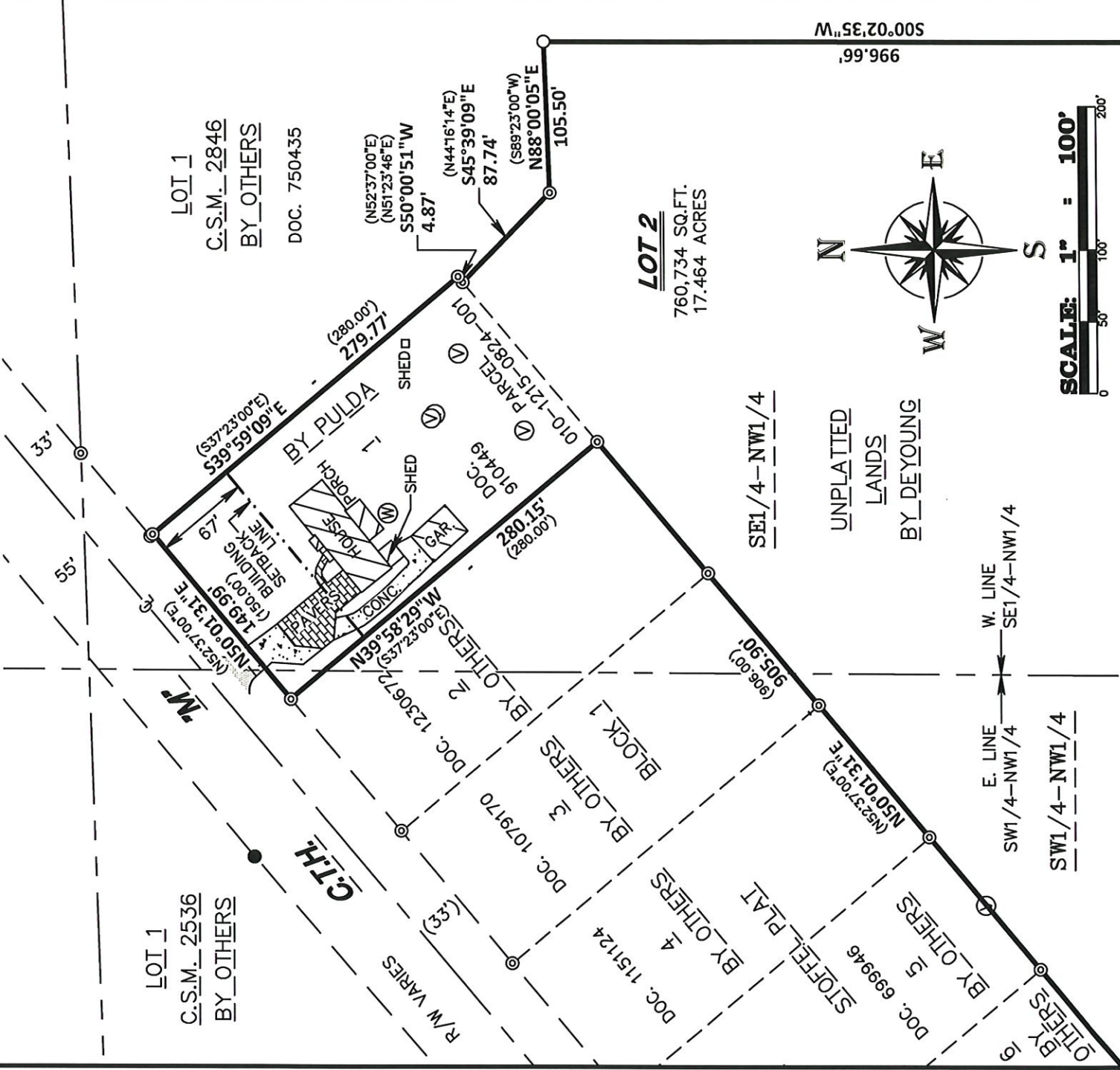
SHEET 3 OF 5

# DODGE COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

## GENERAL LOCATION

Volume \_\_\_\_\_, Page \_\_\_\_\_

**BEING LOT 1 OF BLOCK 1 LOTS 2, 3, AND 4 OF BLOCK 2 OF STOFFEL PLAT AND UNPLATTED LANDS; ALL LOCATED IN PART OF THE SE1/4 OF THE NW1/4, AND PART OF THE SW1/4 OF THE NW1/4, SECTION 8, T. 13 N., R. 15 E., TOWN OF CHESTER, DODGE COUNTY, WISCONSIN**  
 CONTAINING: 1,000,302 SQ.FT. (22.964 ACRES)



**CLIENT/OWNER:** SCOTT A. & GAYLE R. DEYOUNG LIVING TRUST DATED APRIL 26, 1995  
 N11534 C.T.H. "M"  
 WAUPUN, WI 53963

**OWNER:** RAYMOND J. & SHERRI A. PULDA  
 N11594 C.T.H. "M"  
 WAUPUN, WI 53963

As prepared by:



625 EAST SJFER STREET, P.O. BOX 373 PORTAGE, WI. 53901  
PHONE: PORTAGE: (800) 742-7788 SAUK: (800) 644-8877  
FAX: (800) 742-0434 E-MAIL: [surveying@grothman.com](mailto:surveying@grothman.com)  
(RED LOGO REPRESENTS THE ORIGINAL MAP)

**G & A FILE NO.** 822-387

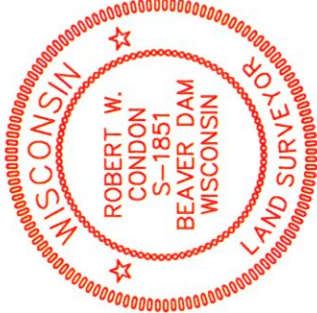
DRAFTED BY: A. JEROME

CHECKED BY: RC

PROJ. 822-387

DWG. 822-387 SHEET 4 OF 5

SEAL:



## DODGE COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

### GENERAL LOCATION

Volume \_\_\_\_\_, Page \_\_\_\_\_

**BEING LOT 1 OF BLOCK 1 LOTS 2, 3, AND 4 OF BLOCK 2 OF STOFFEL PLAT AND UNPLATTED LANDS; ALL LOCATED IN PART OF THE SE1/4 OF THE NW1/4, AND PART OF THE SW1/4 OF THE NW1/4, SECTION 8, T. 13 N., R. 15 E, TOWN OF CHESTER, DODGE COUNTY, WISCONSIN**  
CONTAINING: 1,000,302 SQ.FT. (22.964 ACRES)

### SURVEYOR'S CERTIFICATE

I, **ROBERT W. CONDON**, Professional Land Surveyor, do hereby certify that by the order of **Scott A. & Gale R. DeYoung Living Trust Dated April 26, 1995**, I have surveyed, monumented, mapped and divided Lot 1, Block 1, Lots 2, 3 and 4, Block 2, Stoffel Plat and unplatted lands all located in a part of the Southeast Quarter of the Northwest Quarter and a part of the Southwest Quarter of the Northwest Quarter, Section 8, Town 13 North, Range 15 East, Town of Chester, Dodge County, Wisconsin, described as follows:

Commencing at the West Quarter corner of Section 8;

thence North 88°07'09" East along the South line of the Northwest Quarter, 487.04 feet to the point of beginning;

thence North 40°01'02" West along the Southeasterly extension of the Southwest line of Lot 5, Block 2 of Stoffel Plat, 114.17 feet to the Southwest corner of said Lot 5;

thence North 50°01'31" East along the Southeast line of said Lot 5, 159.94 feet to the Southwest corner of Lot 4, Block 2 of Stoffel Plat;

thence North 40°00'24" West along the Southwest line of said Lot 4, 280.15 feet to the Northwest corner thereof and being a point on the Southeast right-of-way line of County Trunk Highway M;

thence North 50°01'31" East along the Southeast right-of-way line of County Trunk Highway M and the Northwest line of the Lots 4, 3 and 2, Block 2 of Stoffel Plat, 359.97 feet to the Northeast corner of said Lot 2;

thence South 39°58'58" East along the Northeast line of said Lot 2, 280.15 feet to the Southeast corner thereof;

thence North 50°01'31" East along the Southeast line of Lot 1, Block 2, Outlot A, Lots 7, 6, 5, 4, 3 and 2, Block 1 of Stoffel Plat, 905.90 feet to the Southwest corner of Lot 1, Block 1 of Stoffel Plat;

thence North 39°58'29" West along the Southwest line of said Lot 1, 280.15 feet to the Northwest corner thereof and being a point in the Southeast right-of-way line of County Trunk Highway M;

thence North 50°01'31" East along the Southeast right-of-way line of County Trunk Highway M and the Northwest line of said Lot 1, 149.99 feet to the Northeast corner of said Lot 1 and being a point on the West line of Lot 1, Certified Survey Map, No. 2846;

thence South 39°59'09" East along the Northeast line of said Lot 1 and the West line of Lot 1, Certified Survey Map, No. 2846, 279.77 feet to the Southeast corner of Lot 1, Block 1, Stoffel Plat;

thence South 50°00'51" West along the West line of Lot 1, Certified Survey Map, No. 2846, 4.87 feet;

thence South 45°39'09" East along the West line of Lot 1, Certified Survey Map, No. 2846, 87.74 feet;

thence North 88°00'05" East along the West line of Lot 1, Certified Survey Map, No. 2846, 105.50 feet;

thence South 00°02'35" West along the West line of Lot 1, Certified Survey Map, No. 2846, 996.66 feet to the Southwest corner of Lot 1, Certified Survey Map, No. 2846 and being a point in the South line of the Northwest Quarter and the North line of Certified Survey Map as recorded in Volume 4, page 103;

thence South 88°07'09" West along the North line of Certified Survey Map as recorded in Volume 4, page 103 and the South line of the Northwest Quarter, 1,298.27 feet to the point of beginning.

Containing 1,000,302 square feet, (22.964 acres), more or less. Being subject to servitudes and easements of use or record if any.

I **DO FURTHER CERTIFY** that this is a true and correct representation of the boundaries of the land surveyed and that I fully complied with the Provisions of Chapter 236.34 of the Wisconsin State Statutes and the Subdivision Provisions of the Dodge County Land Use Code and the **Town of Chester** Subdivision Ordinance to the best of my knowledge and belief.



**ROBERT W. CONDON**

Professional Land Surveyor, No. 1851

Dated: August 17, 2022

File No.: 822-387

**CLIENT/  
OWNER**

SCOTT A. & GAYLE R. DEYOUNG  
LIVING TRUST DATED APRIL 26, 1995  
N11534 C.T.H. "M"  
WAUPUN, WI 53963

**OWNER**

RAYMOND J. & SHERRI A. PULDA  
N11594 C.T.H. "M"  
WAUPUN, WI 53963

As prepared by:

**CA GROTHMAN & ASSOCIATES S.C.**  
PROFESSIONAL SERVICES  
625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901  
PHONE: PORTAGE: (908) 742-7788 SAUK: (908) 644-8877  
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SEAL: 8/17/2022



**G & A FILE NO. 822-387**

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CHECKED BY: RC  
PROJ. 822-387  
DWG. 822-387 SHEET 5 OF 5

## DODGE COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

### GENERAL LOCATION

Volume \_\_\_\_\_, Page \_\_\_\_\_

**BEING LOT 1 OF BLOCK 1, LOTS 2, 3, AND 4 OF BLOCK 2 OF STOFFEL PLAT AND UNPLATTED LANDS; ALL LOCATED IN PART OF THE SE1/4 OF THE NW1/4, AND PART OF THE SW1/4 OF THE NW1/4, SECTION 8, T. 13 N., R. 15 E., TOWN OF CHESTER, DODGE COUNTY, WISCONSIN**

CONTAINING: 1,000,302 Sq.Ft. (22.964 ACRES)

### CITY OF WAUPUN RESOLUTION

RESOLVED THAT this Certified Survey Map within the City of Waupun, extraterritorial jurisdiction is hereby approved and accepted by the City of Waupun Planning Commission.

Mayor \_\_\_\_\_ Date \_\_\_\_\_

City Clerk \_\_\_\_\_ Date \_\_\_\_\_

**CLIENT/ OWNER:** SCOTT A. & GAYLE R. DEYOUNG  
LIVING TRUST DATED APRIL 26, 1995  
N11534 C.T.H. "M"  
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