



**A G E N D A**  
**CITY OF WAUPUN PLAN COMMISSION**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, July 17, 2019 at 4:45 PM**

**CALL TO ORDER**

**ROLL CALL**

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION**

**FUTURE MEETINGS AND GATHERING INVOLVING THE PLAN COMMISSION**

**CONSIDERATION - ACTION**

- [1.](#) Minutes from the June 19, 2019 meeting.
- [2.](#) Discussion on changing the fencing requirements around pools. Referred to Plan Commission from the Zoning Board of Appeals.

**ADJOURNMENT**

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*



**MINUTES ( DRAFT )**  
**CITY OF WAUPUN PLAN COMMISSION**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, June 19, 2019 at 4:45 PM**

**CALL TO ORDER**

The Plan Commission met at 4:45 pm in the Council Chambers, City Hall, Waupun.

**ROLL CALL**

Members Present: Julie Nickel, Fred Lueck, Mike Matoushek, Elton TerBeest, Jerry Medema, and Jeff Daane

Member Excused: Derek Drews

Staff Present: Kathy Schlieve and Susan Leahy

**PERSONS WISHING TO ADDRESS THE PLAN COMMISSION—**

Chairman Nickel asked if there were any persons in attendance wishing to address the committee on any issue not included on today's agenda. Hearing nothing, Chairman Nickel proceeded to address the items listed for consideration and action on the committee's agenda.

**CONSIDERATION - ACTION**

1. Minutes of the May 29, 2019 meeting.  
Chairman Nickel called for a motion to approve the minutes of the May 29, 2019 meeting. Motion by Matoushek, seconded by TerBeest to approve the minutes of the May 29, 2019 meeting as presented. Motion carried, unanimously. Minutes approved 6/0.
2. Public Hearing - Conditional Use Permit application of Signarama (representing Homan Value Center) at 700 W. Main St. to allow a projecting sign.

Chairman Nickel read the call of the hearing and its purpose. Zoning Administrator Leahy noted this property is in the B-2 Business District and Section 16.11(2)(a) of the City's Zoning Code states that projecting signs shall be permitted only as a Conditional Use in all business and institutional districts. Melissa Schoop representing Signarama appeared to discuss their proposal for the Homan Value Center on W. Main St. The sign would be centered on the front of the building or about in the center of the present wall sign. It would have a total height of 72" and a width of 34". It would be "L" Shaped and be double sided and contain 8 sq. ft. It would be mounted on the front wall by a 3" steel projecting frame about 6" from the wall. It would have LED internal lighting. The final color has not yet been decided. Josh Russell, a neighbor, wanted to see a picture of the sign as he does not want the sign to affect his line of site from his bedroom window. The sign would be a minimum of 10' above the ground surface. Lueck noted his concerns with projecting signs in business districts. He is familiar with several cases where projecting signs have been blown off of buildings or where their mounting points over time become loose and fall off and have injured people and vehicles below. In addition, in colder climate states many projecting signs have collected snow and ice which have fallen off and injured pedestrians and vehicles below. Melissa indicated that their sign would have three strong metal connections.

No further facts were presented for or against this projecting sign so Chairman Nickel called for a motion to act on this request.

Motion by Matoushek, seconded by TerBeest to approve a Conditional Use Permit for Homan Auto Sales "Homan Value Center" at 700 W Main St., Waupun on the condition that the color of the sign is approved by the City Administrator before issuance of said permit. The Plan Commission finds the projecting sign will not be detrimental to any adjacent land use, would not create an undesirable level of light in the immediate area, nor cause property values to measurably decline.

Vote: Daane, Medema, TerBeest, Matoushek and Nickel – “AYE”

Lueck – Abstain.

Motion carried 5/0/1.

3. Public Hearing - Conditional Use Permit Application of Rob Bartz, at 331 Bly St. to use the middle section of the former Christian Home property as indoor residential storage per section 16.03(3)(d) of the Waupun Municipal Code.

Chairman Nickel read the call of the hearing and its purpose. Rob Bartz, contractor, discussed the proposed change in use for the middle section of the former Christian Home. They noted that the western third of the building will be converted to senior living efficiency/workforce apartments. The middle section of this building is proposed as indoor residential storage lockers for those residents of the adjacent apartments as an accessory use. Any unused storage lockers would be rented out to the general public for personal, non-commercial storage. Doors would be reinforced with locks for easy customer access and the main access door would be coded. They would have approximately 84 storage units. Lueck agreed that the storage units for the multifamily use of the west portion of the structure would be an accessory use on this property but to rent most of the other storage units out to the general public would seem to be a commercial storage business which may not be an allowed use here. Sue Leahy, Zoning Administrator said she and Kathy discussed this issue with the City Attorney and his opinion is that this would not constitute a commercial business. The only alternative in this situation would be to rezone this portion of the property to a Commercial Zoning District and that would be spot zoning and would probably be illegal. Lueck said he would like to see this structure back on the City Tax roll. Kurt DeVries, a neighbor on Grandview Ave. questioned what income level would the units cater to? He doesn't want to see their land values lowered because of these low income units.

Mr. Bartz said the residential units would range between \$500 and \$650 per month and include heat. It was also noted the property is already in an R-3 Multi-Family Zoning District and these living units are a permitted use in the present district and does not require a Conditional Use Permit. Another neighbor questioned whether the storage units would be accessible 24/7. Mr. Bartz said no, he would set a time period from maybe 7 am – 11 pm. That is still negotiable and there would only be one service door for the storage units. Matoushek doesn't feel the storage unit business is a commercial business. Security cameras would be used in the storage unit area. Daane felt the property will be better maintained if the new use is allowed.

No further facts were presented for or against this interior storage unit business so Chairman Nickel declared the hearing closed and called for a motion to act on the Conditional Use Permit request.

Motion by TerBeest, seconded by Medema to grant a Conditional Use Permit to Rob Bartz at 331 Bly St. to convert the middle section of the former Christian Home to an indoor residential storage area per 16.03(3)d) of the Waupun Municipal Code subject to the following conditions:

1. The storage units are incidental to the adjoining multi-family units with tenants utilizing storage space as well as additional storage units can be rented to the public for personal storage.
2. No commercial storage is allowed.
3. Water to all rooms is to be shut off and all bathrooms are to be closed off and made inaccessible .
4. Doors shall be reinforced with locks for customers easy access.
5. The main access door shall be coded for customer access.
6. Security Camera(s) shall be required.
7. The exterior of the building must be maintained residential and appear to blend in with the existing neighborhood.

Findings: The committee finds this conditional use permit will not be detrimental to the adjacent land uses and it will not create any traffic hazard or parking problems for the area, will not hinder future development

in the area, will not create undesirable levels of noise or light in the immediate area and will not cause property values to measurably decline.

Vote: Daane, Medema, TerBeest, Matoushek, and Nickel – “AYE”

Lueck – Abstain

Motion carried – 5/0/1.

4. Public Hearing - Conditional Use Permit Application of Rob Bartz at 331 Bly St. to use the east side of the former Christian Home property as a commercial kitchen and commercial gathering for non-profit or for profit groups.

Chairman Nickel read the call of the hearing and its purpose. Kathy Schlieve and Rob Bartz briefly explained the proposal for the eastern third of the former Christian Home building. They noted this section of the Campus has a commercial kitchen and a hall that will be closed off from the rest of the building. It could be used for a commercial catering business, the Senior Center, weddings, private for profit or non-profit clubs, other charitable institutions or a community kitchen. Bruce Paulson, a neighbor was concerned about noise and parking problems if a wedding is held there. He doesn't want any bands playing live music and there needs to be time frames for each event so as to not disturb the neighbors as well as on street parking concerns. Sue Leahy noted that in conversations with the City Attorney the proposed use of this section of the building would not constitute a commercial use. No further facts were presented for or against this proposal so Chairman Nickel closed the hearing and asked for a motion to act on the Conditional Use Permit.

Motion by Nickel, seconded by TerBeest to grand a Conditional Use Permit to Rob Bartz to use the kitchen and dining hall area of the former Christian Home as a commercial kitchen and/or a commercial gathering area for a non-profit and/or a for profit group or club subject to the following conditions:

1. Without a specific defined use for this portion of the building, the owner shall contact the City to determine if the proposed use will be consistent with the allowed uses for this Zoning District.
2. Appropriate noise levels for the adjacent residential neighborhood shall be maintained.
3. Hours of use of this portion of the building shall be 8:00 am – 11 :00 pm unless modified by the City if said use of this area changes for special events.
4. Adequate parking shall be established by the City to support the proposed use once the tenant and/or the future use is determined.

Findings: The committee finds the proposed use of the eastern portion of the former Christian Home will not be detrimental to the adjacent residential uses, it will not result in a traffic hazard or parking problem, it will not hinder future or existing development in this area, it will not create undesirable levels of noise or light in the immediate area or will not cause property values to measurably decline.

Vote: Daane, Medema, TerBeest, Matoushek, and Nickel – “AYE”

Lueck – Abstain

Motion carried, 5/0/1.

5. Site Plan Review - Insight FS, at 1208 W Brown St.

Todd Tesdal, Grain Department Manager, provided a site plan and narrative for their project at 1208 W. Brown St. They wish to construct new grain handling equipment in the SW portion of their property. Equipment will include an open air grain receiving pit, a grain dryer, a tower which will house 2 grain legs and a storage bin. Mr. Tesdal indicated they received a height variance from the City's Zoning Board of Appeals today for the storage bin at 71', the dryer at 109', and the two legs at 160' tall. He said they have explosion proof motors and blast doors on the grain legs which releases pressure. Mike Beer with the City of Waupun Fire Department said the Fire Department does not have a problem with this construction. Lueck questioned Todd regarding the excessive height of these structures if there would be any problems with airplane flight



patterns due to the Reabe airport a short distance to the west. He also asked if the structure would be lighted for airplanes. He felt there would not be any problem with airport and yes they will be lighted.

Todd said they deal mostly with wet corn so there should not be much dust, but yes, there will be dust. They are considering a structure over the dump area within the next 18 months.

They are also working on a storm water plan and retention pond.

No further questions were asked on the site plan, so Chairman Nickel called for a motion to approve the site plan for Insight FS at 1208 W. Brown St.

Motion by Daane, seconded by Nickel to approve the site plan for Insight FS subject to the following Conditions:

1. They shall comply with the City's storm water ordinance.
2. A cover structure shall be constructed over the dump area to help contain dust within the next 18 months.

Vote: Daane, Medema, TerBeest, Matoushek, Lueck, and Nickel – "AYE"

Motion carried, unanimously. 6/0.

#### **ADJOURNMENT**

Motion by Matoushek, seconded by Medema to adjourn the meeting. Motion carried, meeting adjourned at 5:39 pm.



**MINUTES**  
**CITY OF WAUPUN ZONING BOARD OF APPEALS**  
**Waupun City Hall – 201 E. Main Street, Waupun WI**  
**Wednesday, June 19, 2019 at 4:00 PM**

**CALL TO ORDER**

Chairman Mesa called The Zoning Board of Appeals meeting at 4:00 p.m.

**RECOGNITION OF MAYORAL APPOINTMENTS OF COUNCIL MEMBERS AND CITIZENS TO THE ZONING BOARD OF APPEALS**

Mesa read the Recognition of Mayoral Appointments of Council Members and Citizens to the Zoning Board of Appeals.

Citizen	4-30-22	Mark Nickel
Citizen	4-30-20	Dick Walters
Citizen	4-30-21	Frank Mesa, Chairman ( <i>Mayor appoints Chairman</i> )
Citizen Alternate	4-30-21	Dylan Weber
Citizen	4-30-20	Jon Dobbratz
Council Member		Pete Kaczmariski
Public Works Dir., Ex Officio		
Utility Manager, Ex Officio		

**SELECTION OF THE DAY AND MONTH AND TIME OF ZONING BOARD MEETINGS**

No discussion

**ROLL CALL**

Members present: Nickel, Walters, Chairman Mesa, Dobbratz, Kaczmariski, Weber

Also in attendance were Mayor Julie Nickel, Jeff Daane, DPW, Susan Leahy, Zoning Administrator, Property Owners Scott Roffers, Jodi Mallas, and Todd Tesdal

**PERSONS WISHING TO ADDRESS THE ZONING BOARD OF APPEAL**--*State name, address, and subject of comments. (2 Minutes)*

No persons appeared.

**CONSIDERATION - ACTION**

1. Approve minutes of the April 3, 2019 meeting. Motion by Dobbratz, second by Walters to approve the April 3, 2019 meeting minutes of the Zoning Board of Appeals. Motion carried, unanimously.
2. Public Hearing –Mesa read request to Discuss/Approve Variance request of Brian Schouten at 728 West Main Street, to construct a detached garage with a side yard setback of 20-inches. Section 16.03(4)(c)(iv) requires a side yard setback of 3 feet from the overhang to the property line.

Mesa asked if any one hear to talk about request. Mesa recommended to table to next meeting.

Motion by Kaczmariski to table until the next meeting. Nickel 2nd. Motion carried, unanimously.

3. Public Hearing – Mesa read request to Discuss/Approve Variance request of Scott Roffers and Jodi Mallas at 910 Taft Lane to install an auto safety cover in lieu of a fence around a pool. Section 16.01(11)(g) requires that all swimming pools with more than 12-inches of water or water and sides more than 18-inches must have a barrier side or fence surrounding the pool.

Scott Roffers spoke in lieu of the fence would like to install the safety cover which is keyed to open/close. Certain townships are allowing the use of the covers.

Mesa asked if they were above ground. Roffers stated no, below ground. Mesa asked what the hardship would be to allow the cover. Roffers stated a fence is unsightly, unsocial, and we are located in a new subdivision. Mesa addressed the safety due to height.

Nickel stated that is the purpose of the cover. He read the article out loud from the Town of Howard regarding safety issues. Cover must be closed when not in use. Dobbratz stated that this is a life safety issue. The ordinance should be changed to reflect using the covers.

Mesa recommends that this should go to plan commission as an ordinance change. The Zoning Board of Appeals does not have the power to approve a variance because of safety issue. Mayor Nickel stated to have the discussion and provide info to the plan commission. Mesa recommends using the guidelines in material to address an ordinance change to plan commission.

Weber stated he thought this was a slam dunk. Nickel stated that they have no authority to approve something not in the ordinance. If an accident should occur, the City would be liable. Weber, so we cannot override what is not there. Nickel stated to use Baraboo's verbage.

Dobbratz made a motion to provide a proposed ordinance change to include the pool covers, Kaczmariski 2nd.

Vote: Dobbratz, Walters, Mesa, Nickel, Kaczmariski – "AYE"

Weber - Nay

Motion carried

4. Public Hearing – Mesa read request to Discuss/Approve Variance of Insight FS, 1208 West Brown Street to request the following structures over 65 feet tall. Municipal Code Section 16.05(2)(c)(iii) states "Not exceed a maximum building height of 65 feet".
  - Bucket elevator #1 – 163 feet high above grade
  - Bucket elevator #2 – 161 feet high above grade
  - Grain dryer – 88 feet high above grade
  - 36 foot diameter storage tank – 68 feet high above grade
  - Leg support tower – 151 high above grade.

Todd Tesdal of Insight is requesting the height variance to upgrade their facility for fall harvest. The new dump pit will elevate corn to wet bin to new dryer. This will increase their daily processing.

Kaczmariski asked if the Fire Department has signed off. Dobbratz & Leahy both stated that it is normally done at the Plan Commission Meeting.

Weber asked is same height as Farmers Elevator that was constructed last year. Tesdal stated it is smaller scale than Farmers.

Walters asked if there was anything below ground. Tesdal stated the receiving leg about 4 feet below grade in pit. Relatively small. Not large enough to fit a whole semi load of product. Pit maybe 6 to 7 feet deep.

Leahy asked if this was going to be similar to what they did in Brandon. Tesdal stated that Brandon was more a feed mill. The bins will be sitting on stabs and no tunnels.

Mesa asked if there were any concerns. Nickel stated again that Fire Department would look at it at Plan Commission. Mayor Nickel stated that all departments review.

Walters asked if there were any problems with the height. Tesdal stated that the legs are actually enclosed in a tower and due to the height lights are installed for aircraft.

Mesa asked for any further discussion.

Dobbratz made a motion to approve the heights for the Bucket elevator #1 at 163 feet high above grade, Bucket elevator #2 at 161 feet high above grade, Grain dryer at 88 feet high above grade, 36 foot diameter storage tank at 68 feet high above grade and the Leg support tower at 151 high above grade. Walters 2nd. Motion carried, unanimously.

#### **ADJOURNMENT**

Motion by Nickel, seconded by Dobbratz to adjourn the meeting. Motion carried, meeting adjourned at 4:36 pm.

*Upon reasonable notice, efforts will be made to accommodate disabled individuals through appropriate aids and services. For additional information, contact the City Clerk at 920-324-7915.*

Fee: \$150.00 Paid: \$150.00 ck # 8203 Date: 6-5-19



**CITY OF WAUPUN**  
201 E. Main Street  
WAUPUN, WISCONSIN 53963

## VARIANCE APPLICATION

From: Scott Roffers and Jodi Mallas

(business name or individual)

**Property Description and address:**

910 Taft Lane Waupun, WI 53963

Residential In Ground swimming pool with auto safety cover.

**Variance Requested:**

To install the auto safety cover in lieu of a fence.

**Zoning Ordinance Section Involved:**

Chapter 16.01(11)(g) Zoning Code

Swimming Pools: Swimming pools shall be considered an accessory use and shall observe all side yard and rear yard setbacks as required by this Ordinance. All swimming pools with more than 12 inches of water and sides of more than 18 inches must have a barrier side or fence surrounding the pool with a minimum height of 48 inches above ground level. Anyone wishing to install a swimming pool must submit a plan or sketch of the installation to the Building Inspector and obtain the appropriate permit(s).

Date presented to Zoning Board of Appeals:

VARIANCE:

☐

Granted

☐

Denied

Comments:

Signature of Applicant (s):

*Jodi Mallas*  
*Scott Roffers*



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## Wisconsin Pool Fence Laws

### Residential Swimming Pools

All drain covers replaced in all pools, public and private, after December 19, 2008 must be listed to comply with the ASME/ANSI A112.19.2007. You can find the requirements in the [Comm 90, Design and Construction of Public Swimming Pools and Water Attractions](#). The residential swimming pools in Wisconsin are subjected to the [BOCA POOL BARRIER CODE](#)

### Public Swimming Pools

The Public swimming pools in Delaware be subjected to the [Virginia Graeme Baker Federal Pool and Spa Safety Act](#)

Signed by the U.S. President Bush on December 2007, the VGB Pool and Spa Safety Act (P&SS Act) is effective since the December 19, 2007. This code is designed to foreclose swimming pools hazards. The perils of pools like body entrapments or eviscerations are more often our sight and deadly.

The Virginia Graeme Baker Act determined U.S. CPSC touchstones for pool and spa safety. Under the law, each drain covers must meet ASME/ANSI A112.19.8-2007 in all public pools and Spas. The water facilities which have a single main drain different than an unblockable must establish a second equipment to fight out entrapments.

The manufacturing, the trade or distribution of drain covers which are not in compliancy with the safety criteria required by the CPSC is prohibited in USA to ensure that all drain covers purchasable in the marketplace are compliant with safety specifications.

Each public pools must install anti-entrapment drain covers and implement other strata of protection such as safety vacuum release system enclosure.

A swimming pool contractor should control that the pool and / or spa are compliant with the federal VGB Pool & Spa Safety Act.

Please note that legislators are constantly updating the pool safety codes and that this information can change without notice. Please contact your local state or federal agencies for the most up to date information. To receive a free estimate for a swimming pool fence in your area, please contact Aquaguard Pool Fences.

[CLICK HERE FOR YOUR FREE ESTIMATE](#)

**Barriers and Fencing for Swimming Pools**  
**Section 421.10.1 BOCA National Building Code**  
**May 1, 1999**

421.10.1 Outdoor Private Swimming Pool: An outdoor private swimming pool, including an in-ground, above ground or on ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following

1. The top of the barrier shall be **at least 48 inches** above finished ground level measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between finished ground level and the barrier shall be **2 inches** measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above finished ground level, such as an above ground pool, the barrier shall be at finished ground level, such as the pool structure, or shall be mounted on top of the pool structure. Where the barrier is mounted on the pool structure, the opening between the top surface of the pool frame and the bottom of the barrier shall not allow passage of a **4 inch** diameter sphere.
2. Openings in the barrier shall not allow the passage of a **4 inch** diameter sphere.
3. Solid barriers shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than **45 inches** the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed **1-3/4 inches** in width. Decorative cutouts shall not exceed **1-3/4 inches** in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is **45 inches** or more, spacing between the vertical members shall not exceed **4 inches**. Decorative cutouts shall not exceed **1-3/4 inches** in width.
6. Maximum mesh size for chain link fences shall be a **1-1/4 inch** square unless the fence is provided with slats fastened at the top or bottom which reduce the openings to not more than **1-3/4 inches**.
7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall be not more than **1-3/4 inches**.
8. Access gates shall comply with the requirements of items 1 through 7 of section 421.10.1, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outwards away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self latching device is less than **54 inches** from the bottom of the gate: ( a ) the release mechanism shall be located on the pool side of the gate at least **3 inches** below the top of the gate; and (b) the gate and barrier shall not have an opening greater than **1/2 inch within 18 inches** of the release mechanism.

9. Where a wall of a dwelling unit serves as part of part of the barrier and contains a door that provides direct access to the pool, one of the following shall apply:

9.1 All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The audible warning shall commence not more than **7 seconds** after the door and door screen, if present, are opened and shall sound continuously for a minimum of **30 seconds**. The alarm shall have a minimum sound pressure rating of **85 DbA at 10 feet** and the sound of the alarm shall be distinctive from other household sounds such as smoke alarms, telephones, and doorbells. The alarm shall automatically reset under all conditions. The alarm shall be equipped with manual means, such as touchpads or switches, to deactivate temporarily the alarm for a single opening from either direction. Such deactivation shall last for not more than **15 seconds**. The deactivation touchpads or switches shall be located at least **54 inches** above the threshold of the door

9.2 All doors with direct access to the pool through that wall shall be equipped with a self-closing and self latching device with the release mechanism located a minimum of **54 inches** above the floor. Swinging doors shall open away from the pool area.

9.3 The pool shall be equipped with a power safety cover. Where in a closed position, the cover shall be capable of holding a weight of 485 pounds, shall not have any openings that allow passage of a 4-1/2 inch sphere and shall incorporate a system to drain standing water that collects on the cover. The cover control switch shall be permanently installed in accordance with NFPA 70 listed in chapter 35, and be key operated and of a spring loaded or momentary contact type. Where the switch is released, the operation of the cover shall stop instantly and be capable of reversing direction immediately. The switch shall be in the line of sight of the complete pool cover

10. Where an above ground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a fixed or removable ladder or steps, the ladder or steps shall be surrounded by a barrier which meets the requirements of items 1 through 9 of section 421.10.1. A removable ladder shall not constitute an acceptable alternative to enclosure requirements.

421.10.2 Indoor private swimming pool: All walls surrounding an indoor private swimming pool shall comply with section 421.10.1, item 9.

421.10.3 Prohibited locations: Barriers shall be located so as to prohibit permanent structures, equipment or similar objects from being used to climb the barriers.

421.10.5 Temporary enclosures : A temporary enclosure shall be installed in accordance section 3304.2 prior to the commencement of the installation of any in-ground swimming pool.

Exception: Where a permanent enclosure is provided prior to excavation  
Tjp/5/18/99



## PRIVATE SWIMMING POOL REGULATIONS

TOWN OF  
HOWARD

**(1) SCOPE AND APPLICATION** No person shall construct, install, enlarge or alter any private swimming pool in the Village of Howard except in accordance with the following regulations.

**(2) DEFINITION** The term "Swimming Pool," shall be defined as *"any permanent depression in the ground or any permanent above or below ground container in which water more than eighteen (18) inches deep is contained and which is used primarily for the purpose of bathing or swimming."* For the purposes of this section the term "permanent" shall mean a device which remains in place year-round and is not dismantled, stored, moved or removed on a seasonal basis. This definition does not include such temporary devices as children's wading pools, inflatable pools or similar devices, regardless of water depth.

**(3) PERMITS** A permit shall be obtained from the Building Inspector prior to the construction, installation, enlargement or alteration of any private swimming pool in the Village of Howard.

**(4) REQUIRED PLANS** Every application for a swimming pool permit shall be accompanied by plans showing; the proposed location of the swimming pool on the lot or parcel, including the distance to lot lines and existing buildings and structures; the location of any septic tank, drain field, sewer line or water line; pool dimensions and proposed water depth; type, height and location of proposed fences; and location of overhead and/or underground wiring and power lines relative to the proposed swimming pool.

**(5) PERMIT FEES** Permit fees for private swimming pools shall be as set forth in Section 40-162 of the Howard Municipal Code (Building Code).

**(6) SETBACK REGULATIONS** No private swimming pool shall be located in front of or closer to a street right-of-way than the principal building or use and the water line of such private swimming pool shall not be located closer than ten (10) feet to a side or rear property line or to any other building. No private swimming pool shall be located closer than five (5) feet to any septic system. The minimum setback regulations set forth in this section shall not apply to hot tubs, spas, whirlpools, children's portable wading pools, and similar recreational equipment.

**(7) FENCING REGULATIONS** Private swimming pools shall be protected by fencing complying with the following regulations.

**(a) Fence Design** Except as provided in subsection (b) below, all private swimming pools not enclosed within a permanent building shall be completely enclosed by a fence which is of sufficient strength to prevent access to the pool. Such fence shall not be less than four (4) feet in height, shall be located no closer than three (3) feet to the pool, and shall be so constructed as not to have voids, holes or openings larger than four inches in one dimension. Gates or doors in fences shall be so constructed as to be capable of being locked, and shall be closed and locked so as to prevent unlatching by persons outside the pool area at all times when the pool is not in actual use. The wall of a building facing a swimming pool may be incorporated as a portion of a required fence. For the purposes of this section, a swimming pool cover providing a degree of protection equivalent to that of the fencing described in this section may be used in lieu of fencing, as long as such cover is kept in place at all times when the pool is not in actual use.

**(b) Above-ground Swimming Pools** Above-ground swimming pools with self-provided fencing to prevent unguarded entry shall be permitted without additional fencing if such self-provided fencing complies with the minimum design parameters specified in subsection (a) above, and temporary ladders are removed and access is prevented at all times when the pool is not in actual use. Access from grade to above-ground swimming pools having permanent or stationary ladders, stairs, ramps or decks shall be protected by safeguard fencing and gates equivalent to those required herein.

**(c) Portable Pools, Spas and Hot Tubs** Portable pools over one (1) foot in depth, spas, hot tubs, whirlpools and similar equipment shall be fenced as specified in subsection (7)(a) above or shall be drained or covered after each day's use in such a manner as to provide for the safety of the public.

**(8) LIGHTING REGULATIONS** If overhead flood or other artificial lighting is provided to illuminate a private swimming pool at night, such lighting shall be shielded to direct all such illumination on the immediate pool area only.

DEPARTMENT OF CODE ADMINISTRATION  
2456 Glendale Avenue, Green Bay, WI 54313  
(Office) 920-434-4640 (FAX) 920-434-4643

gklinka@villageofhoward.com



# PERMIT APPLICATION

PLEASE COMPLETE ALL APPLICABLE SECTIONS

INCOMPLETE APPLICATIONS CANNOT BE ACCEPTED

<b>LOCATION</b>	JOB SITE ADDRESS (Street Number and Name)	LOT #	SUBDIVISION												
<b>PROPERTY OWNER</b>	PROPERTY OWNER'S FULL NAME		DAYTIME PHONE #												
	PROPERTY OWNER'S MAILING ADDRESS (Include Zip Code)														
<b>PERMIT APPLICANT</b>	PERMIT APPLICANT'S COMPANY NAME		PERMIT APPLICANT'S FULL NAME (First, Middle Initial, Last)												
	PERMIT APPLICANT'S MAILING ADDRESS (Include Zip Code)		FAX #												
			DAYTIME PHONE #												
<b>BUILDING CONTRACTOR</b>	BUILDING CONTRACTOR'S COMPANY NAME		BUILDING CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	BUILDING CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI DWELLING CONTRACTOR QUALIFIER #												
			DAYTIME PHONE #												
<b>ELECTRICAL CONTRACTOR</b>	ELECTRICAL CONTRACTOR'S COMPANY NAME		ELECTRICAL CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	ELECTRICAL CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI ELECTRICAL CREDENTIAL #												
			DAYTIME PHONE #												
<b>PLUMBING CONTRACTOR</b>	PLUMBING CONTRACTOR'S COMPANY NAME		PLUMBING CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	PLUMBING CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI PLUMBING CREDENTIAL #												
			DAYTIME PHONE #												
<b>HVAC CONTRACTOR</b>	HVAC CONTRACTOR'S COMPANY NAME		HVAC CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	HVAC CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI HVAC CREDENTIAL #												
			DAYTIME PHONE #												
<b>SEWER CONTRACTOR</b>	SEWER CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		DAYTIME PHONE #												
<b>OTHER CONTRACTOR</b>	OTHER CONTRACTOR'S COMPANY NAME		OTHER CONTRACTOR'S FULL NAME (First, Middle Initial, Last)												
	OTHER CONTRACTOR'S MAILING ADDRESS (Include Zip Code)		WI CREDENTIAL #												
			DAYTIME PHONE #												
<b>PROJECT (CHECK ONE)</b>	<input type="checkbox"/> NEW BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION/REMODELING <input type="checkbox"/> REPAIR <input type="checkbox"/> MOVING <input type="checkbox"/> DEMOLITION <input type="checkbox"/> OTHER <u>Swimming Pool</u>														
<b>BLDG TYPE (CHECK ONE)</b>	<input type="checkbox"/> SINGLE FAMILY <input type="checkbox"/> DUPLEX <input type="checkbox"/> MULTI-FAMILY <input type="checkbox"/> COMMERCIAL/INDUSTRIAL <input type="checkbox"/> GARAGE/STORAGE <input type="checkbox"/> AGRICULTURAL <input type="checkbox"/> OTHER														
<b>WORK TYPE (CHECK ALL PROPOSED WORK)</b>	<input type="checkbox"/> BUILDING CONSTRUCTION <input checked="" type="checkbox"/> ELECTRICAL <input type="checkbox"/> PLUMBING <input type="checkbox"/> HEATING/VENTILATING/AIR CONDITIONING <input type="checkbox"/> OTHER														
<b>EST COST (LABOR AND MATERIALS)</b>	BUILDING CONSTRUCTION (\$)	ELECTRICAL (\$)	PLUMBING (\$) HVAC (\$) OTHER (\$) TOTAL ESTIMATED COST (\$)												
<b>JOB DESCRIPTION (DESCRIBE ALL PROPOSED WORK)</b>	Your e-mail: _____														
<b>BUILDING FEATURES (COMPLETE THIS SECTION FOR NEW BUILDINGS AND ADDITIONS ONLY)</b>	<table border="1"><tr><td><input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)</td><td><input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)</td><td><input checked="" type="checkbox"/> DRIP-IRRIGATION USE (Permanent or Seasonal)</td></tr><tr><td><input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)</td><td><input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)</td><td><input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)</td></tr><tr><td><input checked="" type="checkbox"/> Forced Air</td><td><input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)</td><td><input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)</td></tr><tr><td><input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)</td><td></td><td><input checked="" type="checkbox"/> Private Well</td></tr></table>			<input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)	<input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)	<input checked="" type="checkbox"/> DRIP-IRRIGATION USE (Permanent or Seasonal)	<input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)	<input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)	<input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)	<input checked="" type="checkbox"/> Forced Air	<input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)	<input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)	<input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)		<input checked="" type="checkbox"/> Private Well
<input checked="" type="checkbox"/> ELECTRICAL SERVICE SIZE (Amperes)	<input checked="" type="checkbox"/> ELECTRICAL SERVICE LOCATION (Overhead or Underground)	<input checked="" type="checkbox"/> DRIP-IRRIGATION USE (Permanent or Seasonal)													
<input checked="" type="checkbox"/> HVAC EQUIPMENT (Forced Air, Radiant, Heat Pump, Boiler, Etc.)	<input checked="" type="checkbox"/> HVAC FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Solar, Etc.)	<input checked="" type="checkbox"/> WATER HEATING FUEL (Natural Gas, LP Gas, Fuel Oil, Electricity, Etc.)													
<input checked="" type="checkbox"/> Forced Air	<input checked="" type="checkbox"/> SEWER TYPE (Municipal or Private)	<input checked="" type="checkbox"/> WATER SUPPLY (Municipal Utility or Private Well)													
<input checked="" type="checkbox"/> CENTRAL AIR CONDITIONING? (Yes or No)		<input checked="" type="checkbox"/> Private Well													
<b>SIGNATURE</b>	ENTER YOUR INITIALS IN THIS BOX TO VERIFY THAT YOU HAVE READ AND AGREE TO THE TERMS AND CONDITIONS DETAILED BELOW (REQUIRED FOR APPLICATION TO BE PROCESSED)		APPLICATION DATE												
BY INITIATING THE BOX ABOVE, THE PERMIT APPLICANT DOES HEREBY CERTIFY THAT: (1) ALL INFORMATION PROVIDED ON THIS APPLICATION IS TRUE AND CORRECT; (2) THE PERMIT APPLICANT UNDERSTANDS THAT THE ISSUANCE OF A PERMIT CREATES NO LEGAL LIABILITY, EXPRESSED OR IMPLIED, ON THE VILLAGE OF HOWARD OR ON ANY OF ITS EMPLOYEES; (3) IN THE PERFORMANCE OF ALL WORK COVERED, THE PERMIT APPLICANT WILL BE BOUND BY AND SUBMIT TO ALL STATUTES OF THE STATE OF WISCONSIN, CONFORM TO ALL APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF HOWARD, AND ABIDE BY ALL RULES AND REGULATIONS PRESCRIBED BY THE DEPARTMENT OF CODE ADMINISTRATION.			CONSTRUCTION START DATE												

**VILLAGE OF HOWARD**  
Department of Code Administration  
**PERMIT FEE SCHEDULE**

**BUILDING GROUPS - NEW CONSTRUCTION AND ADDITIONS**

**Group I** - Residential buildings in which families or households live, rooming houses and residential accessory buildings (this group does not include hotels, motels or institutional buildings).

**Group II** - Non-residential warehouses, storage buildings and similar type occupancies (this group includes buildings used exclusively for warehousing, storage or similar purposes).

**Group III** - All other buildings not classified as Group I or Group II.

**PERMIT FEES FOR NEW CONSTRUCTION AND ADDITIONS**

**Building Permits**

- Group I - \$.10/sq. ft. (except unfin. basements)
- Group I - \$.05/sq. ft. (unfinished basements)
- Group II - \$.05/sq. ft.
- Group III - \$.12/sq. ft. (first 10,000 sq. ft.)
  - \$.10/sq. ft. (next 10,000 sq. ft.)
  - \$.08/sq. ft. (next 10,000 sq. ft.)
  - \$.06/sq. ft. (over 30,000 sq. ft.)

**Electrical Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**Plumbing Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**Heating (HVAC) Permits**

- Group I - \$.05/sq. ft. (except unfin. basements)
- Group I - \$.025/sq. ft. (unfinished basements)
- Group II - \$.04/sq. ft.
- Group III - \$.07/sq. ft. (first 10,000 sq. ft.)
  - \$.06/sq. ft. (next 10,000 sq. ft.)
  - \$.05/sq. ft. (next 10,000 sq. ft.)
  - \$.04/sq. ft. (over 30,000 sq. ft.)

**PERMIT FEES - ALTERATIONS, REPAIRS AND REMODELING OF EXISTING BUILDINGS**

**Building Permits**

1.0% of Building Construction Cost

**Plumbing Permits**

2.0% of Plumbing Construction Cost

**Electrical Permits**

2.0% of Electrical Construction Cost

**HVAC Permits**

2.0% of HVAC Construction Cost

**MISCELLANEOUS FEES**

Swimming Pools - \$50

Signs - \$5.00/sq. ft. of Sign Area

Driveway/Culvert - \$20

Demolition - \$50

Permit to Start Construction - \$50

Park Impact Fee - \$1225/Single-Family Dwelling Unit

Park Impact Fee - \$871/Multi-Family Dwelling Unit

Transportation Impact Fee - \$667/Single-Family Dwelling Unit

Transportation Impact Fee - \$474/Multi-Family Dwelling Unit

State UDC Permit Seal - \$35

Municipal Sanitary Sewer Connection - \$10

Municipal Storm Sewer Connection - \$10

Municipal Water Connection - \$10

Water Supply Capacity Charge - Per HMC 36-55

Well Operation Permit - \$35

Erosion Control, New Single Family & Duplex - \$100

Erosion Control, All Other - \$350 + \$30/Acre Disturbed

Delinquent Permits - Double Fee

Other Fees as Set Forth in the Howard Municipal Code

**GENERAL NOTES**

- Areas included for fee calculation purposes include all floor levels, basements, garages, and enclosed spaces under roof.
- Construction costs include labor and materials.
- The minimum Building Permit fee is \$50. The minimum fee for all other permits is \$25.
- All fees are rounded to the nearest dollar.



**CHAPTER 14**  
**BUILDING, CONSTRUCTION SITE AND HOUSING CODES**

**SUBCHAPTER I: BUILDING CODE**

- 14.01 Title
- 14.02 Purpose
- 14.03 Scope
- 14.04 Organization and Enforcement
- 14.05 Application of State Codes
- 14.06 Definitions of Terms
- 14.07 Workmanship Regulated
- 14.08 Building Permits and Inspection
- 14.09 Certificates of Occupancy
- 14.10 Structural Requirements Not Covered by State Codes
- 14.11 Garages
- 14.12 Building in Business District
- 14.13 Private Swimming Pools
- 14.14 Canopies and Marquees
- 14.15 Radiant Heating Units
- 14.16 New Methods and Materials
- 14.17 [Reserved]
- 14.18 Fences
- 14.19 Unsafe Buildings
- 14.20 Moving Buildings
- 14.21 Disclaimer on Inspections
- 14.22 Violations and Penalties

**SUBCHAPTER II: CONSTRUCTION SITE EROSION CONTROL CODE**

- 14.23 Authority
- 14.23.1 Findings of Fact
- 14.23.2 Purpose
- 14.23.3 Applicability and Jurisdiction
- 14.24 Definitions
- 14.25 Applicability of Maximum Extent Practicable
- 14.26 Technical Standards
- 14.27 Performance Standards for Construction Sites Under One Acre
- 14.27.1 Performance Standards for Construction Sites of One Acre or More
- 14.28 Permitting Requirements, Procedures, and Fees
- 14.28.1 Erosion and Sediment Control Plan, Statement, and Amendments
- 14.28.2 Fees
- 14.29 Inspection
- 14.30 Enforcement
- 14.31 Appeals
- 14.32 Severability
- 14.33 Effective Date

**SUBCHAPTER III: HOUSING CODE**

- 14.34 Purpose and Intent
- 14.35 Definitions
- 14.36 Inspection of Dwellings, Dwelling Units, Nursing Units, Hotel Units, and Premises
- 14.37 Enforcement; Service of Notice and Orders; Hearing
- 14.38 Minimum Standards for Basic Equipment and Facilities
- 14.39 Minimum Standards for Light, Ventilation, and Heating
- 14.40 Responsibilities of Owners Relating to the Maintenance of Dwellings and Dwelling Units
- 14.41 Minimum Space, Use and Location Requirements
- 14.42 Responsibilities of Occupants Relating to the Maintenance of Dwelling and Dwelling Units

or rebuilt nor shall such building, when damages are less than 50% of its fair market value, be so repaired as to be raised higher than the highest part left standing after such damage shall have occurred or so as to occupy a greater space than before the damage thereto.

**14.13 PRIVATE SWIMMING POOLS.** No person shall construct, install or enlarge a residential swimming pool not enclosed in a permanent building in the City except in accordance with the following regulations:

(1) **DEFINITION.** "Swimming pool" means any depression in the ground, either temporary or permanent, or a container of water, either temporary or permanent and either above or below the ground, in which water more than 18 inches deep is contained and which is used primarily for the purpose of bathing or swimming.

(2) **PERMIT.**

(a) **Required.** No person shall construct, install, enlarge or alter any private swimming pool unless a permit therefore has first been obtained from the Building Inspector.

(b) **Application.** Application shall be on forms provided by the Building Inspector and shall be accompanied by plans drawn to scale showing the following:

1. Location of pool on lot, distance from lot lines and distance from structure.
2. Location of any septic tank, filter bed and sewer and water lines.
3. Pool dimensions and volume of water in gallons.
4. Location of proposed fence, and type, size gate location.
5. Existing overhead wiring relative to proposed pool.

(c) **Fees.** See §14.08(10) of this chapter.

(3) **CONSTRUCTION REQUIREMENTS.**

(a) No pool shall be located, erected, constructed or maintained closer to any side or rear lot line than allowed by Ch. 17 of this Code for permitted accessory building uses, and the waterline of any pool shall not be less than 10 feet from any lot line or building.

- (b) No connection shall be made to the sanitary sewer or septic system.
- (c) Where topography requires, a permanent wall of concrete, masonry or material approved by the Building Inspector shall be constructed to prevent ground and fill from spilling onto adjoining property.
- (d) Gaseous chlorination systems shall not be used for disinfecting pool waters.
- (e) No above-ground pool shall be less than 5 feet from any septic system.

(4) **FENCES AND COVERS.** (2502 10/09/18)

(a) All swimming pools not enclosed within a permanent building shall comply with one or both of the following:

(i) Be completely enclosed by a fence of sufficient strength to prevent access to the pool, not less than 5 feet in height and so constructed as not to have voids, holes or openings larger than 4 inches in one dimension. Gates or doors shall be constructed so as to be capable of being locked, and shall be closed and secured so as to prevent unlatching by persons outside the pool at all times when the pool is not in actual use. Above-ground pools with self-provided fencing to prevent unguarded entry shall be permitted without separate additional fencing, provided the self-provided fence is of the minimum height and design as herein specified. Permanent access from grade to above-ground pools having stationary ladders, stairs or ramps shall have safeguard fencing and gates equivalent to those required herein, subject to all other applicable ordinances and subject to the following:

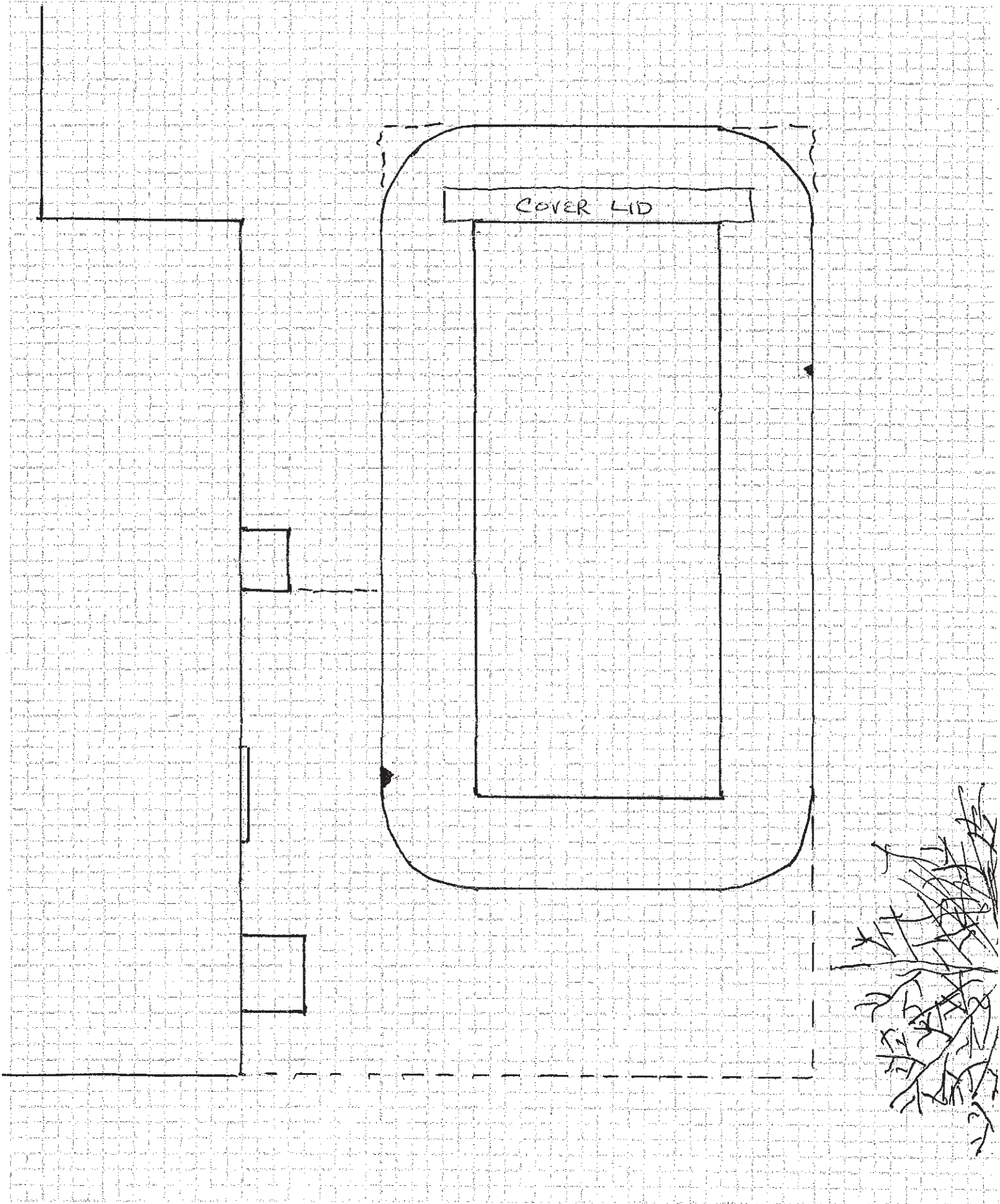
1. No fence shall be located, erected, constructed or maintained closer than 3 feet to a pool.
2. The wall of the house or building facing a pool may be incorporated as a portion of such fence.

(ii) While not in immediate use, be covered and remain covered by a pool safety cover that meets the standards of ASTM F1346-91(2018), Standard Performance Specification for Safety Covers and Labeling



CONCRETE & MASONRY RESTORATION, INC.

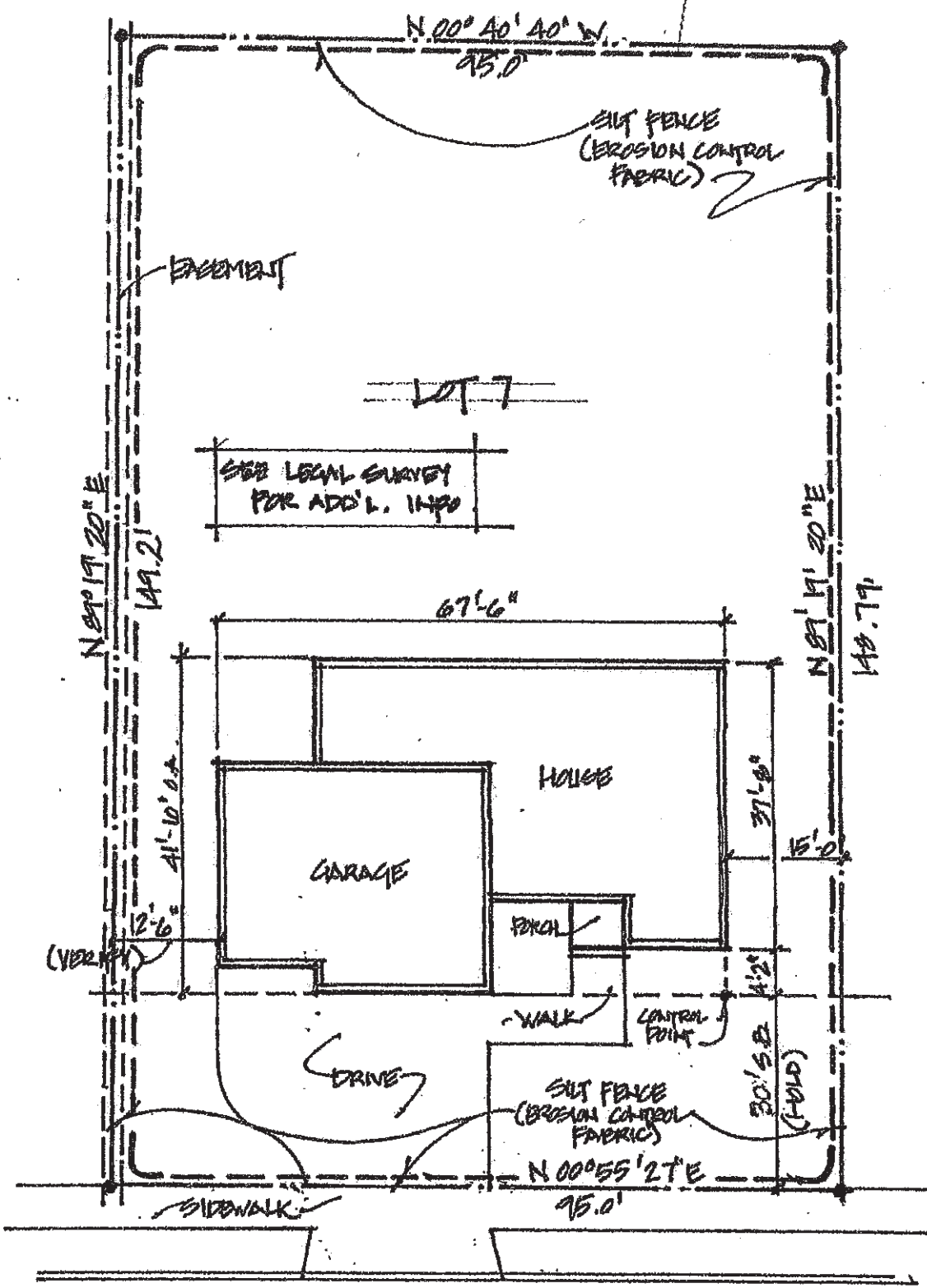
7233 North 51st Blvd. • P.O. Box 23249 • Milwaukee, WI 53223-024  
Phone: (414) 365-9160 • Fax: (414) 365-915



PROJECT: \_\_\_\_\_ Scale: 1 Square = \_\_\_\_\_

95-4

24/30



SITE PLAN - LOT 7 MAYFAIR EST. WALPUN  
VALIDO HOMES TAFT LN. 1"=20'-0"





# Hydramatic

The Standard  
in Automatic Pool Covers



World Leaders in Automatic Pool Covers





Only the best will do when  
designing your Backyard Oasis.  
Choose Aquamatic Cover Systems.

At Aquamatic we have dedicated years of  
investment to give you the ultimate system  
at an affordable price.



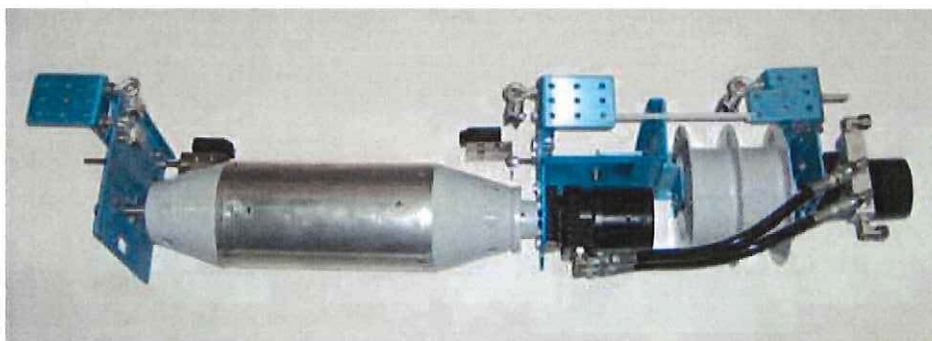
On the surface, most pool covers look similar

...but the most important part of any pool cover is the mechanism.

The Patented mechanism of the **HYDRAMATIC** represents **the best value for your durable investment**. Designed to last the lifetime of your pool, the Hydramatic is maintenance free, and the most reliable cover on the market with the **most extensive warranty** in the industry today...

**20 Years**  
Drive Warranty

**7 Years**  
Fabric Warranty





A photograph of a swimming pool with a Hydramatic cover. The pool is in the foreground, with a concrete deck. In the background, there are several palm trees, a grassy area, and a beach with the ocean under a cloudy sky. The text is overlaid on the image.

**See why pool professionals, architects,  
and designers have made the Hydramatic  
the top selling hydraulic pool cover  
worldwide.**

- Unique all-fluid dual drive is waterproof
- No electrics near the pool, the powerpack (pump) can be placed up to 150 ft away
- Quick and easy to open - travels about one foot per second on average
- Patented trouble free Leading Edge slider system and cable compensating device
- Rainwater Removal feature built-in on most covers
- Installation on most pool types and shapes
- Leaves and debris are collected when the cover is opened to remove rainwater
- Saves money on chemicals, energy, and water loss from evaporation
- Pressure relief valves gently stop the cover at end of travel
- 20 year limited warranty on the mechanism
- 7 year limited warranty on the cover fabric

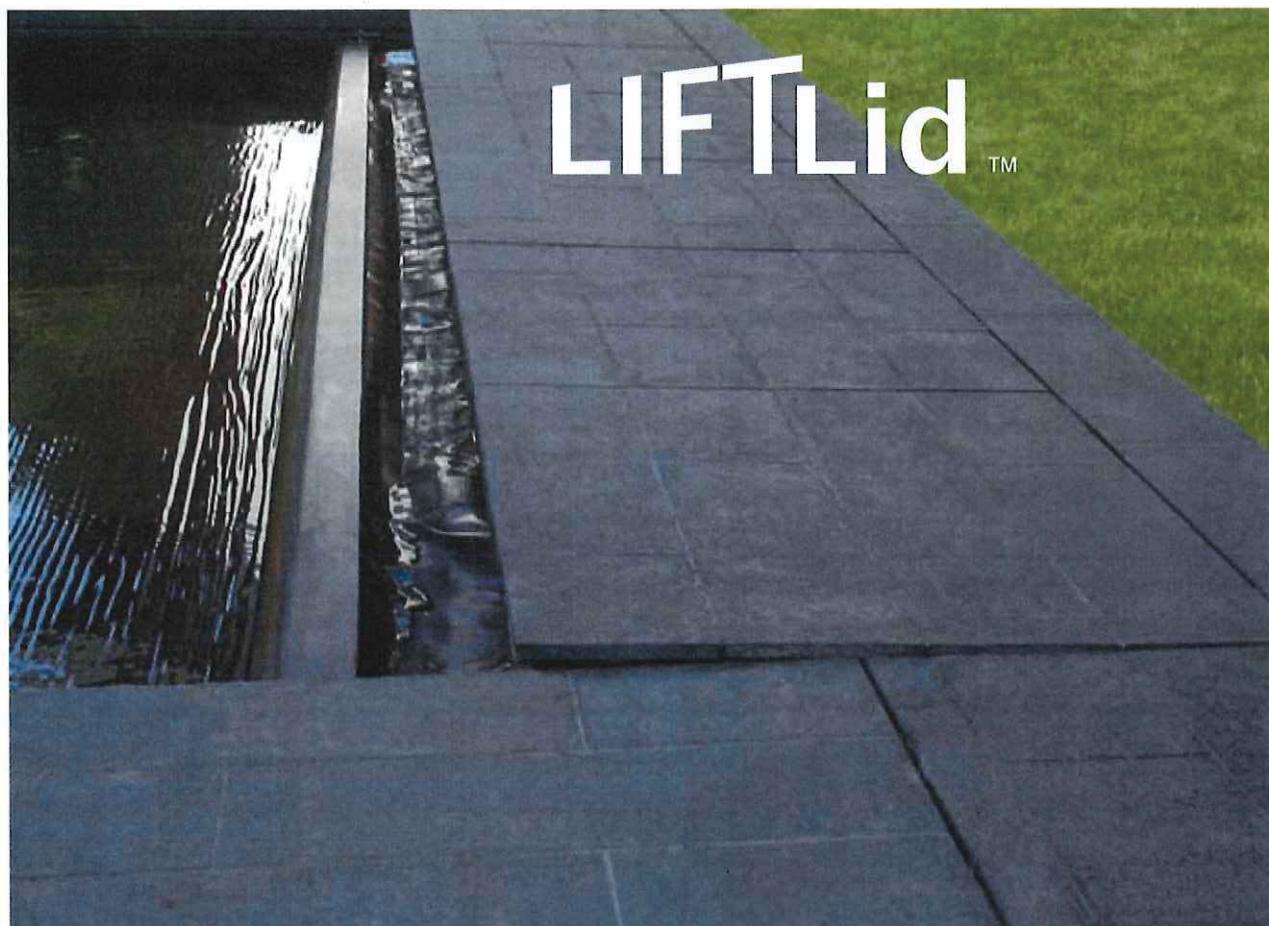


**When only the best will do  
invest in the best pool cover...**



***Enhance your pool experience***  
with the safety and convenience of a  
Hydramatic Swimming Pool Cover.

## Another Aquamatic Exclusive ...



**The Lift Lid is a uniquely engineered lid system** that hides the lowered bond beam; as well as, the leading edge bar of the cover. It rests solidly on the lowered bond beam providing a completely stable, zero deflection walking surface that incorporates your pool coping or decking surround. The cover vinyl is sandwiched between two nylon rails which also acts as a water stop and blocks virtually all pool water from splashing into the cover recess. The Lift Lid is hydraulically actuated, and with a turn of a key, once it is raised, the cover will open or close seamlessly. When the cover reaches its maximum endpoints, or any time the key is released, the Lift Lid will slowly drop to its fixed position, once again, providing a solid and safe walking surface.

- Ideal for any pool application, especially when the cover is located at the entry point of the pool.
- Modular in design, the lid sections can be removed individually for access to the cover recess.

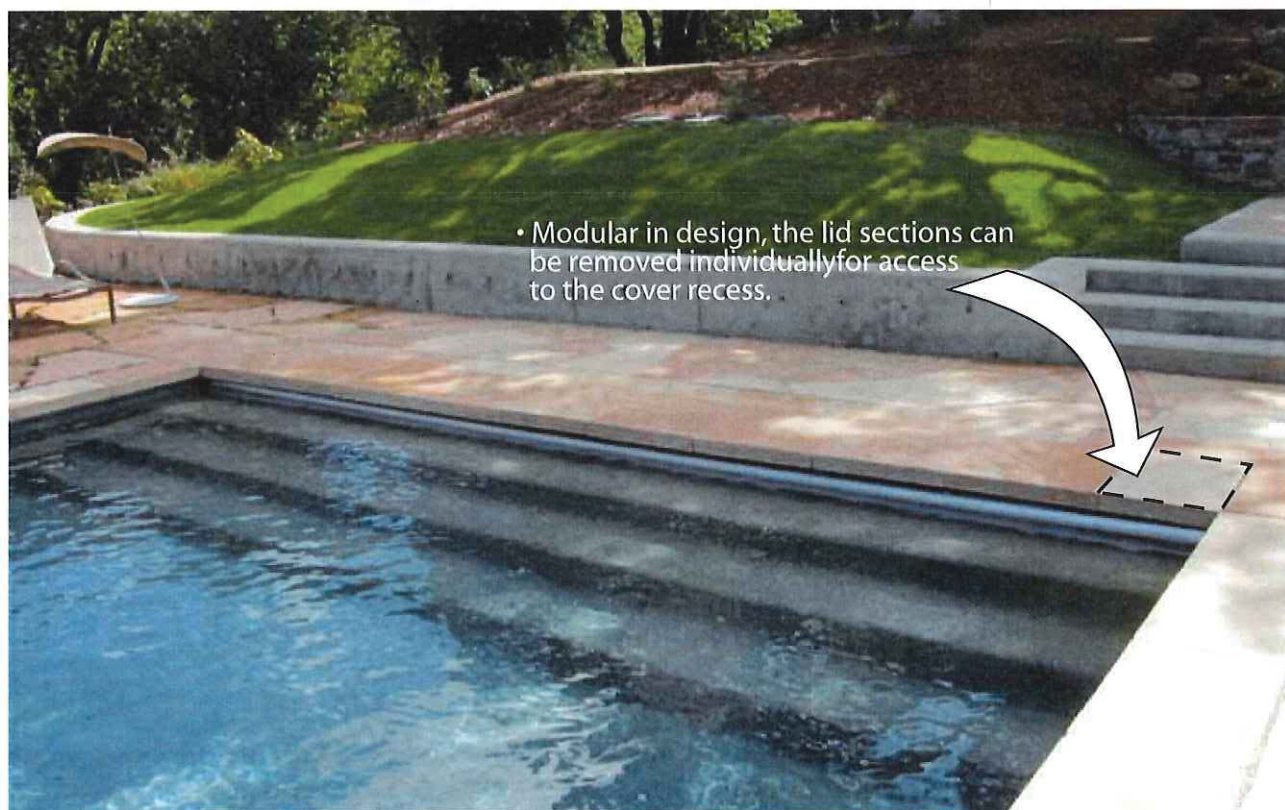
*For more information, or design specifications, contact your local representative or Aquamatic Cover Systems.*







• **Lift Lid** is ideal for any pool application, especially when the cover is located at the entry point of the pool.





## Under Track with Masonry Lid



***With our Walk on Lid Components, you Can **blend with the hardscape** to achieve a completely hidden lid detail.***

We have specially designed heavy duty stainless steel trays and brackets, or stainless steel brackets and retaining clips to provide you with the hardware for your specialized hidden lid detail.

Aquamatic uses only 300 series stainless steel on all pan, bracket or clip applications. Beyond the standard size components, Aquamatic can fabricate custom sizes for your special application requirements.



## Under Track with Masonry Lid



*Under track with Light Blue Cover and Walk on Lid*

The pans are specifically designed to carry and support masonry material including non-standard or undulating thickness like flagstone, brick or pavers.

As an alternative, the stainless steel bracket and retaining clip can be used with any precast or poured in place component.

**\*\*Note:** Stone Lid component must not be thicker than the coping on the track side of the pool.\*

*Inwall undertrack with matching Walk on Lid*



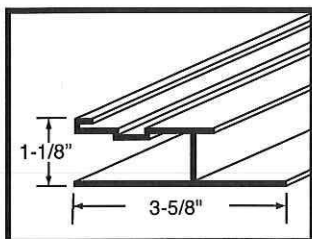


## Under Track with In-Wall



Encapsulated "Inwall" track receptors offer the builder/designer the freedom to use any coping detail without having to maintain a minimum thickness and cantilever requirement. These components are preferred with raised bond beams or where the coping is undulating or is a non-standard thickness. Another ideal application is on spa / swim spa installation.

By eliminating the cantilever on a traditional undertrack, it will make for a more comfortable bathing experience without having a protruding coping against your seating area.



Inwall #1





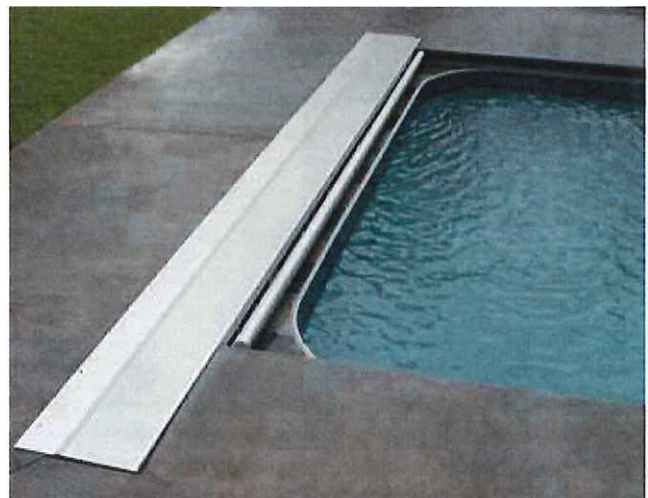
# Composite Lid and Aluminum Lid



Under Track with a Light Blue Cover and  
White Composite Lid



Under Track with a Terra Cotta Composite Lid



Inwall Track with Aluminum Lid

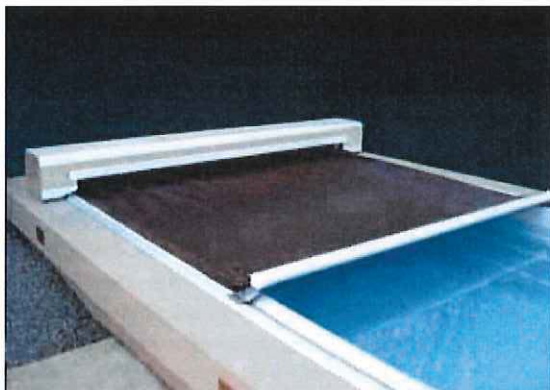
# Compact Drive and Swim Spas



**Another industry first**, our Compact Drive is designed for both recessed and retrofit applications.



Compact drive on Swim Spa with Gray cover and Low Profile Leading Edge.



On the deck mounted Compact Drive, the offset only requires 9" of clearance on both ends from outside of tracks.



# Compact Drive and Swim Spas

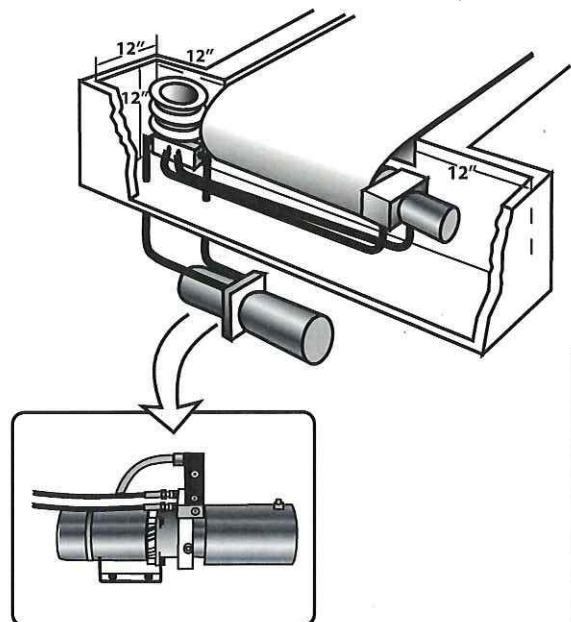


**Initially designed for the swim spa** application where the goal was to make the cover system proportional to the reduced size of the vessel. It is now ready for all types of pool/spa construction.

The mechanism now requires only a 12" (past water-line) offset on both ends of the mechanism housing. This addresses the aesthetics by equaling the offsets, and allows for better coping layout to accentuate symmetry around the pool/spa edge. Additionally, if you have minimal clearance, this unit addresses this challenge.

The Compact Drive is ideal for small to medium sized pools. For larger pools we can offer our standard Hydramatic in a split drive with an equal offset of 20" per side beyond waterline.

This Compact Drive utilizes Aquamatic proven dual motor hydraulic technology assuring you of the reliability and durability typical of our Hydramatic hydraulic drive system. It is also supported by the same 20 year limited mechanism warranty. Limited to a maximum pool size of 14' x 28'.





# Special Application Vanishing Edge



Vanishing Edge with Navy Blue



Vanishing Edges, Freeform  
Under Track, Multiple cover  
applications.

Submitting your ideas to us  
early in the design process as-  
sures the most aesthetically  
pleasing application available  
to you.



Vanishing Edge with Designer Washed Navy



Vanishing Edge with Standard Green





## Special Application Covers



As shown above, the deck follows the contour of the pool. This is referred to as an "Extreme Cantilever".

Stepped decks are ideal for deck mounted tracks and provide a clean cover recess while allowing the lead bar to rest against or tuck under the lid detail.





## Special Application Covers



Flushtracks, ideal on gutter, zero edge or perimeter overflow pools. The track is placed just outside the gutter or edge.

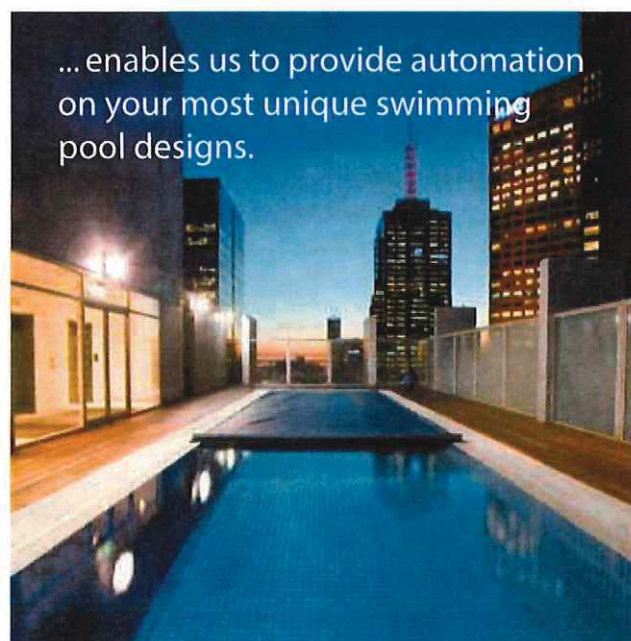




## Special Application Covers

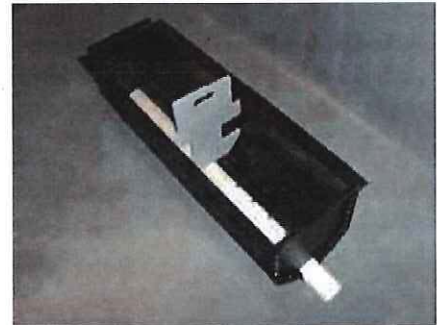


Our engineering partnered with your imagination...





# Fiberglass and Vinyl Liner Pools



Sectional recess with integrated drain

At Aquamatic we have developed a number of track extrusions to accommodate the installation of the cover on both liner and fiberglass pool kits. For liner pools we have an easy-to-assemble sectional recess for the mechanism. For fiberglass pools we also have a prefab one piece fiberglass recess available.





## Top Track with Composite Bench



**Another Aquamatic first**, our Patented Composite Polymer Bench is available in 6 decorator colors and the structural design is sturdy enough to double as seating area. The unique molded process injects color and UV inhibitors throughout the entire panel to sure the panels never fade. The bench enclosure is maintenance free and all Polymer panels carry a 10 year limited warranty.





# Standard Color Gallery



Navy Blue



Royal Blue



Light Blue



Turquoise



Green

**NOTE:** It is impossible for the fabric material that covers the pool to be crease free. The cover material is manufactured to the width of the track to track measurement plus an excess amount of material. The excess material is to allow the cover to lay correctly on the water surface. If it did not lay correctly, there would be a bind condition. Also the excess material is necessary to allow for changing water levels. Therefore, when applying a cover to the roller drum, a number of folds need to be made, which results in creases forming in the cover at the vault / surface housing end. The amount and length of creases differ on every Aquamatic installation which is dependant on size, shape etc.



# Standard Color Gallery



Tan



Brown



Black



Charcoal Gray



Light Gray



Sage Green



# Designer Color Gallery



WASHED NAVY



BRUSHWOOD



SLATE GRAY



HUNTER GREEN

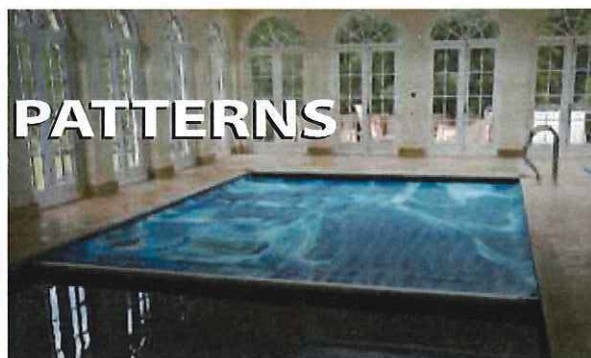


DUSKY BLUE



BUFF

## ARTpoolcover, an Aquamatic exclusive



## Bench and Composite Lid Colors



White



Tan



Terracotta



Brown



Gray



Charcoal

Colors depicted on both the pool cover fabric as well as the composite polymer panels are as close as printing process allows, samples available upon request.

Standard Powder Coating Colors

These match the lid colors above

Ral-9010

Ral-1019

Ral-8004

Ral-8012

Ral-7040

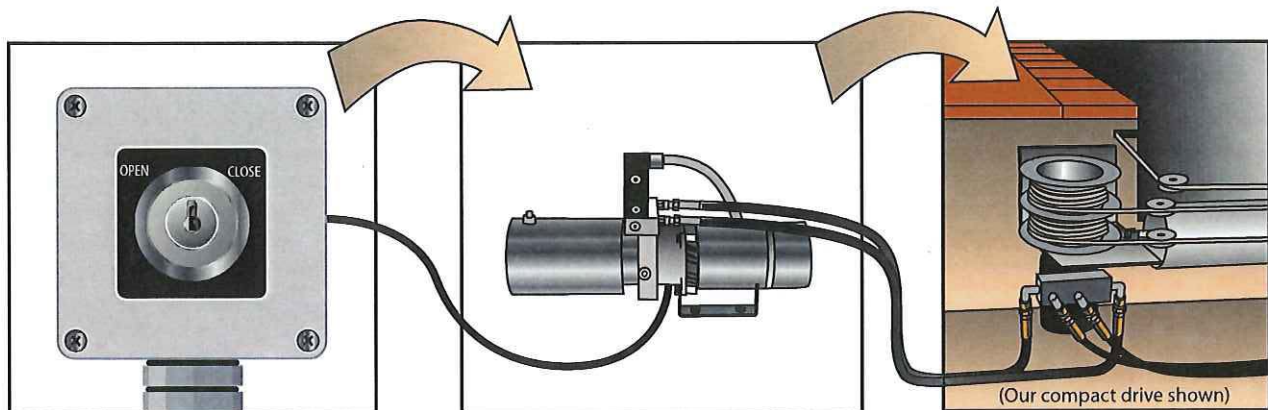
Ral-7012

\* Powder Coating is a non-warranted item\*

### Photo credits

All Island Gunite Pools, Alka Pools, Bradford Products, Drummond Pools, Emerald Pools, Endless Pools, Gib-San Pools, Haven Pools, Hawaiian Island Covers, Monument Pools, Royal Pools, San Juan Pools, Skyline Pools, Swan Pools

## How the Cover Works



The Hydramatic operates via two hydraulic torque motors, one directly connected to the cover drum to open the cover, the other torque motor drives the rope reel which closes the cover.

The direction is controlled by turning the key to the desired position (open or close) which actuates a proprietary solenoid valve to send the hydraulic fluid to the corresponding motor, either the cover drum to open, or the rope reel to close.

This design is elegant in its simplicity, yet very robust. The all-fluid drive eliminates the clutch (typical on every other automatic cover), and is self adjusting with no need for lubrication.

An inherent part of the Hydramatic, is the pressure relief to prevent over travel without the use of any electronic sensor or switches.



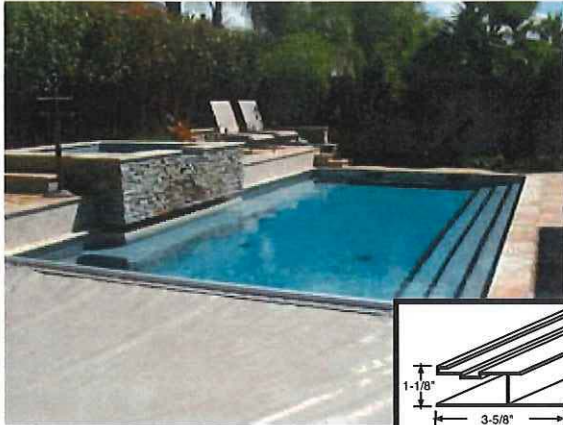
## Rainwater Removal Feature

A zipper/screen rainwater removal feature is standard on most Hydramatic cover systems

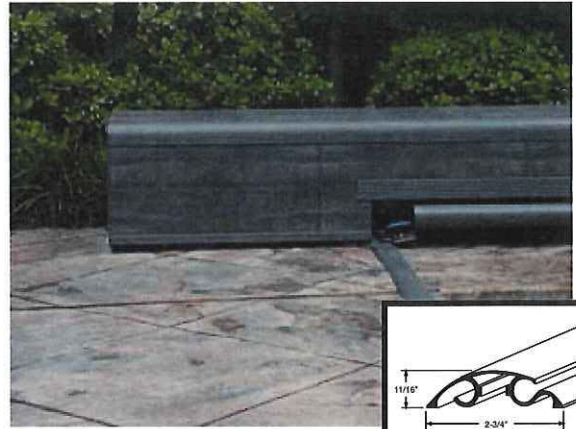




# Technical Specifications



Inwall #1



Top Track

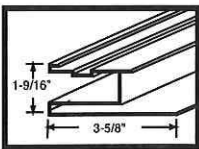


Under Track

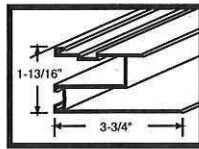


Flush Track

## Encapsulated "In-wall" Receptors for Concrete Gunite and Fiberglass Pools



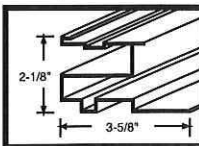
In-wall #4



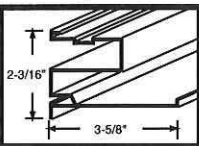
In-wall #5 w/Fiberoptic Receiver

In-wall tracking is ideal for any indoor or outdoor installation. The track receptor is installed on top of the bond beam during the pool construction prior to the coping installation. Coping or other masonry materials are placed directly on top of the track receptor.

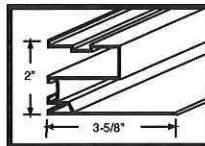
## Encapsulated "In-wall" Receptors for Vinyl Liner Pools



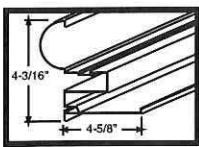
In-wall #2



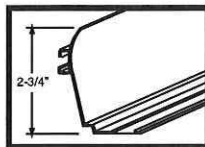
In-wall #3



In-wall #6 w/Fiberoptic Receiver and Liner Bead



In-wall 3DF  
Incorporates track, liner bead and permanent deck form



Reusable deck form  
can be used with any Aquamatic inwall track receptor

## Technical Specifications

Exceeds ASTM F1346-91 safety standards

### Mechanism

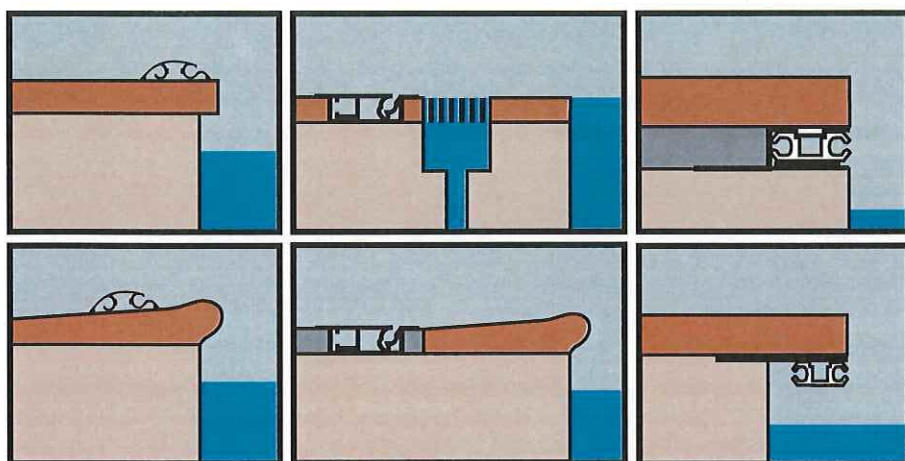
Drive unit	2 hydraulic torque motors
Open and close switch	Key-lock switch
Powerpack (pump)	
Electrics	110/220-240v-60/50 Hz,

Hydraulic oil	1PH 75-1.5 HP
Normal working pressure	UL, CSA, CE approved
Limit switches	ATF Dexron III
	800 psi (40-56 bar)
	pressure relief valves

### Cover Fabric

Material	PVC on re-inforced polyester scrim
Fabric weight	16/18 oz per sq. yd.

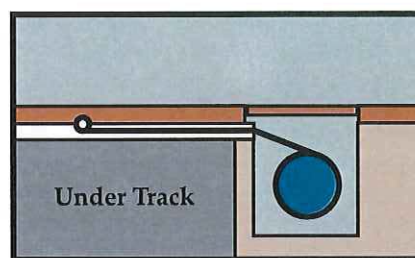
# Specifications and Installation Possibilities



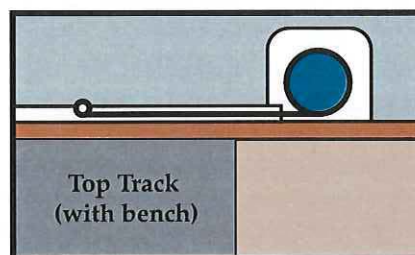
Top Tracks

Flush Tracks

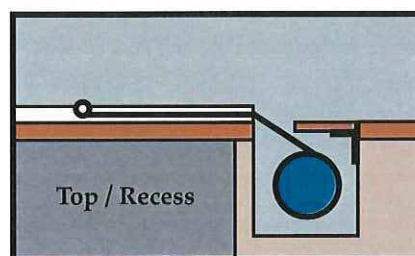
Under Tracks



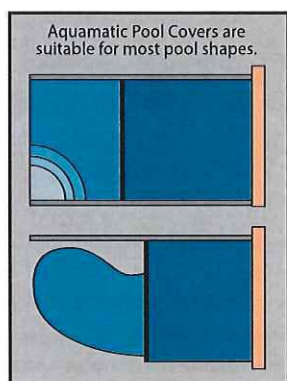
Under Track



Top Track  
(with bench)

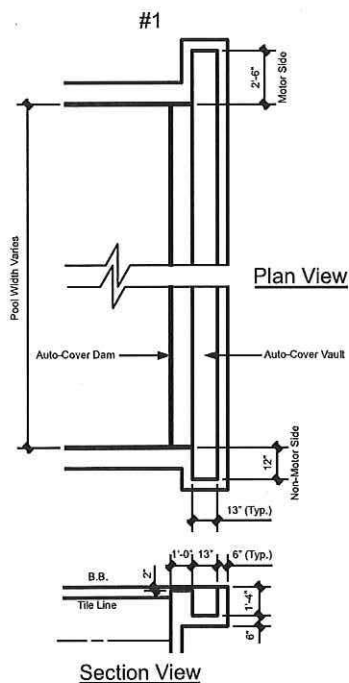


Top / Recess

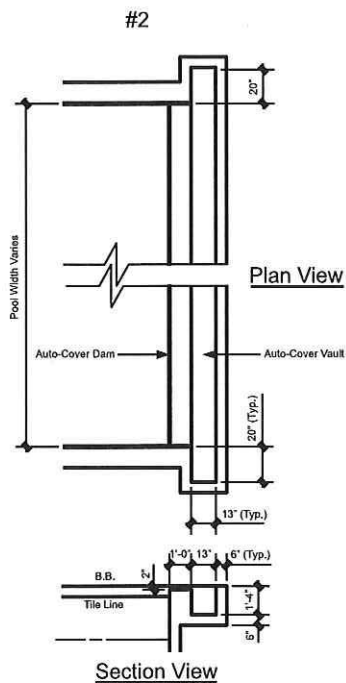


Aquamatic reserves the right to change components or specifications without prior notice.

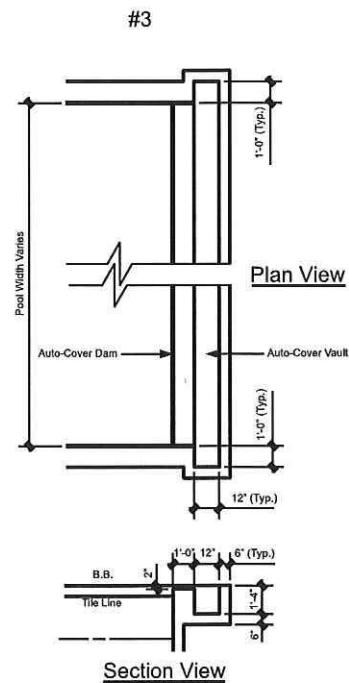
\*Dimensions shown are for pools up to 45' long. For longer pools, or pools over 25' wide call for specifications.\*



Auto-cover Vault Detail  
Standard Drive  
For Pools up to 45' long



Auto-cover Vault Detail  
Split Drive  
For Pools up to 45' long



Auto-cover Vault Detail  
Compact Drive  
Limited to 28' max. Pool Length



## Other benefits

### Saves Lives

An Aquamatic cover acts as a horizontal fence, and it is **"safety you can see"**. The primary function of the automatic cover has always been to safeguard your children and pets from the pool and minimize the risks inherent with pool ownership. The ICC has recently recognized automatic covers as stand alone barriers. Additionally both the Hydramatic and the EZ-Cover exceed ASTM F1346-91 standards for safety and closure. As durable as these are, they are not intended as a toy and should only be walked on in an emergency. Of course there no substitute for adult supervision.



### Saves Energy

The U.S. Department of Energy states that **75 % of heat loss is from evaporation**, along with the evaporation, you will have water and chemical loss while incurring the cost of increased pump and filtration time of an uncovered pool. By utilizing an automatic pool cover you will eliminate your evaporative loss.



### Saves Money

An automatic cover will reduce your pool operating costs by as much as 70 % through reduction of water, chemical and energy consumption. Additionally your other pool equipment will work less and last longer. You will also realize a full return on your cover investment in a relatively short time. \* On indoor pools, the automatic cover will act as a vapor barrier, which allows you to reduce both the size and operating time of your dehumidification equipment saving you additional money.\*

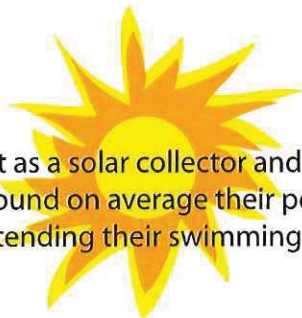
### Saves Time

Spend less time skimming and more time swimming. A pool with a cover is always clean, warm and debris free. Which in turn, will allow you to have more time to enjoy your backyard oasis with your friends and family.



### Saves Resources

The pool cover will act as a solar collector and will **passively heat your pool through radiant transfer**. Our customers have found on average their pool temperature has increased by as much as 10 to 15 degrees while also extending their swimming season.



# Features of our patented Dual-Motor, all fluid Hydraulic Cover Drive System

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## *Advantages and Benefits*

### **WATERPROOF**

The Hydramatic drive is a closed loop system, and although a drain is required in the cover recess, inadvertent flooding does not mean expensive electric motor replacement.

### **SAFETY**

No electrics near the pool for greater safety. All electric power and switches are remote at the equipment pad which also means fewer problems with inspections.

### **POWER**

Hydraulic drives are compact yet powerful, and can be easily controlled to provide only as much as is needed to operate the cover. Hydraulics are durable, and the most popular drive unit for wet and hostile environments and are the preferred choice of builders, designers and architects.

### **DURABILITY**

Hydraulics are widely used in heavy equipment for their durability and reliability. The unique patented Dual-Motor Hydramatic system eliminates mechanical linkage and clutches to start and then change direction of the cover. It has the least number of parts of any other automatic pool cover system, yet has a full range of safety and convenience features. **Originally designed for commercial and other high use applications exclusive to Aquamatic.**

### **CONVENIENCE**

The Hydramatic cover system has a patented built-in rainwater removal feature on most applications. When rainwater collects on the cover surface, simply turn the key to open the cover, and the water will be forced through the screens into the pool. The screen mesh will collect the leaves and most debris. A computerized cover pump is also provided with all cover systems exclusive to Aquamatic.

### **COVER TRAVEL LIMITS**

The cover is gently and reliably stopped at each end of travel by our patented pressure relief valves, eliminating the need of electronic sensors or other electrical devices near the pool.

### **RATED**

The Hydramatic cover is UL tested and certified to exceed ASTM F1346-91 standards for pool safety.

### **WARRANTY**

The cover system comes with a limited 20 year warranty on the mechanism, a limited 7 year warranty on the covers and a limited 10 year warranty on the polymer panels. For additional information, contact your Aquamatic representative.





# Aquamatic Cover Systems

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[www.aquamatic.com](http://www.aquamatic.com)

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Distribution and Installation Available Worldwide

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These products are covered by one or more of the  
following patents:

6,398,680; 6,026,522; 5,950,253; 5,930,848; 5,927,042; 5,845,343; 5,799,342; 5,546,751; 5,349,707; 5,327,590; 5,184,357; 5,067,184; 4,939,798

Other U.S. and foreign patents pending