



PLAN COMMISSION MEETING AGENDA

MONDAY, AUGUST 11, 2025 AT 4:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=BEMd9xKvRtdlbBE9BaUKWV9kCbr96e.1&omn=81827881259> or call 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 53098

All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Plan Commission minutes dated July 28, 2025

3. BUSINESS

A. Public Hearing: Proposed TID #8 Amendment No. 1

B. Review and take action: Proposed TID #8 Amendment No. 1

C. Review site plan and take action: 421 Water Tower Court office remodel and warehouse addition

D. Review and take action: Certified Survey Map (CSM) for part of 315 Mary Street

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

PLAN COMMISSION

MINUTES

July 28, 2025

Section 2, Item A.

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor Stocks, Alderman Blanke, Beyer, Kneser, Lampe, Talaga, Zirbes

Also in attendance: Tracy Schroeder of Greater Watertown Health Community Foundation, Melissa Songco of Habitat for Humanity, and Chris Siepmann of Habitat for Humanity

1. Call to order

2. Approval of Minutes

A. Site Plan Review minutes June 23, 2025

Motion to approve Sit Plan Review minutes was made by Beyer and seconded by Kneser, passed on unanimous voice vote.

B. Plan Commission minutes June 9, 2025 and June 23, 2025

Motion to approve Sit Plan Review minutes was made by Lampe and seconded by Beyer, passed on unanimous voice vote.

3. Business

A. Review Public Hearing Comments and make recommendation to Council: Parcel #291-0815-0832-005 Hwy A/Milford Street rezone from PO, Planned Office and Institutional to PI, Planned Industrial

No comment at public hearing.

Motion to send to the common council with a positive recommendation was made by Blanke, seconded by Lampe, passed on a unanimous voice vote.

B. Review Public Hearing Comments and make recommendation to Council: 213 S. First Street rezone from Multi-Family Residential (MR-8) to Central Business (CB)

One positive comment from public hearing.

Motion to send to the common council with a positive recommendation was made by Blanke, seconded by Kneser and passed on a unanimous voice vote.

C. Review and take action: Ersel Certified Survey Map (CSM) to combine 213 S. First Street, 200 S. Second Street, and 106 Jefferson Street to create a one-lot CSM

Brian Zirbes presented the request for a CSM for the noted parcels. Noting the need for a condition that the rezoning of the noted parcel be approved by the common council.

Motion to approve with the condition that the rezoning be approved by the common council was made by Beyer, seconded by Talaga and passed on a unanimous voice vote.

D. Review and take action: 100 E Division Street Certified Survey Map (CSM) to create a two-lot CSM

Brian Zirbes presented the request for a CSM for 100 E Division St. The CSM cleans up the property lines and the gap between the counties.

Motion to approve with the condition that parkland fees in lieu of dedication be paid prior to the recording of the CSM was made by Lampe, seconded by Talaga and passed on a 6-0 voice vote.

E. Review and take action: 1220 Wilbur and W Main Street Expanded Certified Survey Map (CS

twin home lots.

Brian Zirbes presented the request for a CSM for up to 12 multifamily lots on the noted property.

Motion to approve the CSM with the condition that stormwater retention is planned to be constructed within the Wilbur St. ROW to accommodate this project and a potential additional residential project to the east along Wilber St. was made by Blanke, seconded by Kneser and passed on a unanimous voice vote.

F. Review and take possible action: Rock River Ridge Partial Dedication of Phase I Public Improvements

Andrew Beyer presented the request for Rock River Ridge partial dedication of streets and utilities.

Motion to accept improvements through substantial completion of Rock River Ridge Phase I was made by Blanke, seconded by Lampe and passed on a unanimous voice vote with Beyer abstaining.

G. Zoning Ordinance Update Kick-Off Presentation - Vandewalle

Ben Roar of Vandewalle and Associates was present to discuss the zoning ordinance rewrite and the timeline and process over the next year.

All materials discussed at this meeting can be found at: [https://core-docs.s3.us-east-1.amazonaws.com/documents/asset/uploaded_file/5330/COW/5900546/July 28 2025 Plan Commission Meeting Packet.pdf](https://core-docs.s3.us-east-1.amazonaws.com/documents/asset/uploaded_file/5330/COW/5900546/July_28_2025_Plan_Commission_Meeting_Packet.pdf)

4. Adjournment

Motion to adjourn was made by Kneser and seconded by Blanke and passed on a unanimous voice vote.
(5:13pm)

Respectfully Submitted,

Alderman Brad Blanke

RESOLUTION NO. [REDACTED]

**RESOLUTION APPROVING PROJECT PLAN AMENDMENT NO. 1
TO TAX INCREMENT FINANCE DISTRICT NO. 8**

PLAN COMMISSION OF THE CITY OF WATERTOWN, WISCONSIN

WHEREAS, pursuant to Wis. Stat. § 66.1105(f), the City of Watertown Plan Commission has prepared a Territory Amendment to Tax Increment Finance District No. 8 (TID #8) to include 104 E. Division Street (Parcel No. 291-0915-3343-053) and a portion of 100 S. Water Street (Parcel No. 291-0815-0421-122) as per Wis. Stat. §66.1105(4)(h); and

WHEREAS, on August 11, 2025, the City of Watertown Plan Commission met and held a public hearing wherein interested parties were afforded an opportunity to express their views on the proposed Tax Increment District No. 8 Territory Amendment; and

WHEREAS, such public hearing was properly noticed in the City’s official newspaper, and a copy of such notification was duly transmitted to all local governmental entities having the power to levy taxes on property within the district, including Jefferson County, Dodge County, the Watertown Unified School District, and Madison Area Technical College pursuant to Wis. Stats. § 66.1105(4)(a); and

WHEREAS, pursuant to such procedure and after due reflection and consideration, the Plan Commission desires to favorably recommend to the Common Council of the City of Watertown the Tax Increment Finance District No. 8 Territory Amendment in the form attached hereto as Exhibit “A”.

NOW, THEREFORE, BE IT RESOLVED by the Plan Commission of the City of Watertown as follows:

1. Amendment No. 1 to Tax Increment District No. 8 in the form attached hereto as Exhibit “A” is hereby approved in accordance with Wis. Stats. § 66.1105(4)(h)1.
2. Such Amended Territory for Tax Increment District No. 8 remains feasible after the addition of the property to the District.
3. The Amended Territory for TID No. 8 is in conformity with the Comprehensive Plan of the City of Watertown, as well as other policies and laws of the City of Watertown.

BE IT FURTHER RESOLVED that the Plan Commission recommends the City of Watertown Common Council approve Tax Increment Finance District No. 8 Territory Amendment No. 1, City of Watertown, Wisconsin, pursuant to the provisions of Wis. Stats. § 66.1105(4)(h)1.

This Resolution was duly adopted at a regular meeting of the Plan Commission of the City of Watertown on the 11th day of August, 2025.

PLAN COMMISSION

By: _____

Robert Stocks, Mayor
Plan Commission Chair

ATTEST:

By: _____

Megan Dunneisen
City Clerk

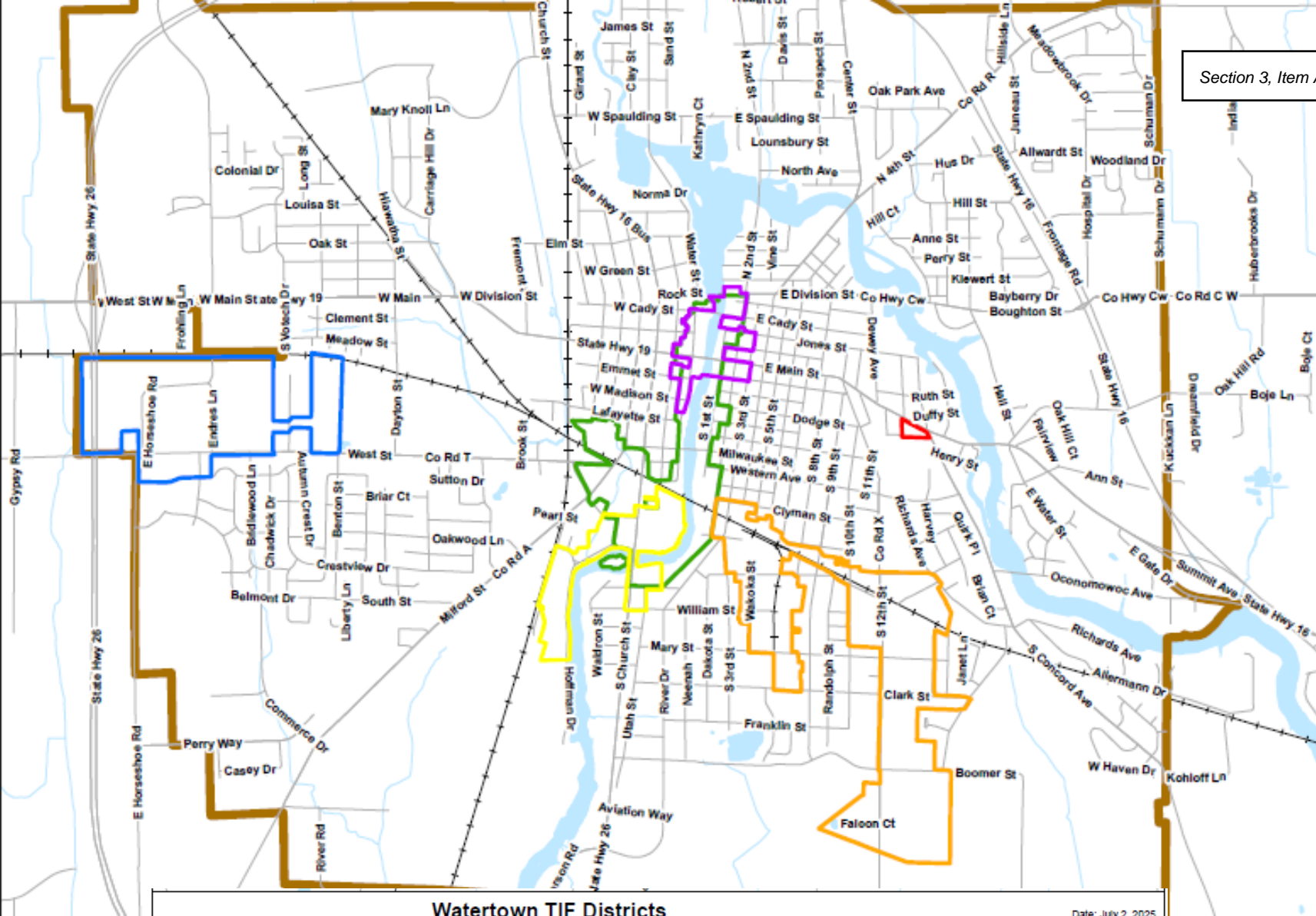
City of Watertown Tax Increment Districts #8 Amendment

Plan Commission Meeting
August 11, 2025

Active City of Watertown TIDS

TID Number	Type	Created	Termination
TID #4	Industrial	2005	2035
TID #5	Blighted	2005	2032
TID #6	Blighted	2005	2032
TID #7	Rehabilitation	2016	2044
TID #8	Rehabilitation	2021	2049

*To note, TID #9 was approved in 2024 and will have a base year of 2025



Watertown TIF Districts

	4
	5
	6
	7
	8*
	9

City of Watertown
All TIF Districts Map

Date: July 2, 2025

0 0.25 0.5 Miles

THE CITY OF
WATERTOWN
Opportunity runs through it.

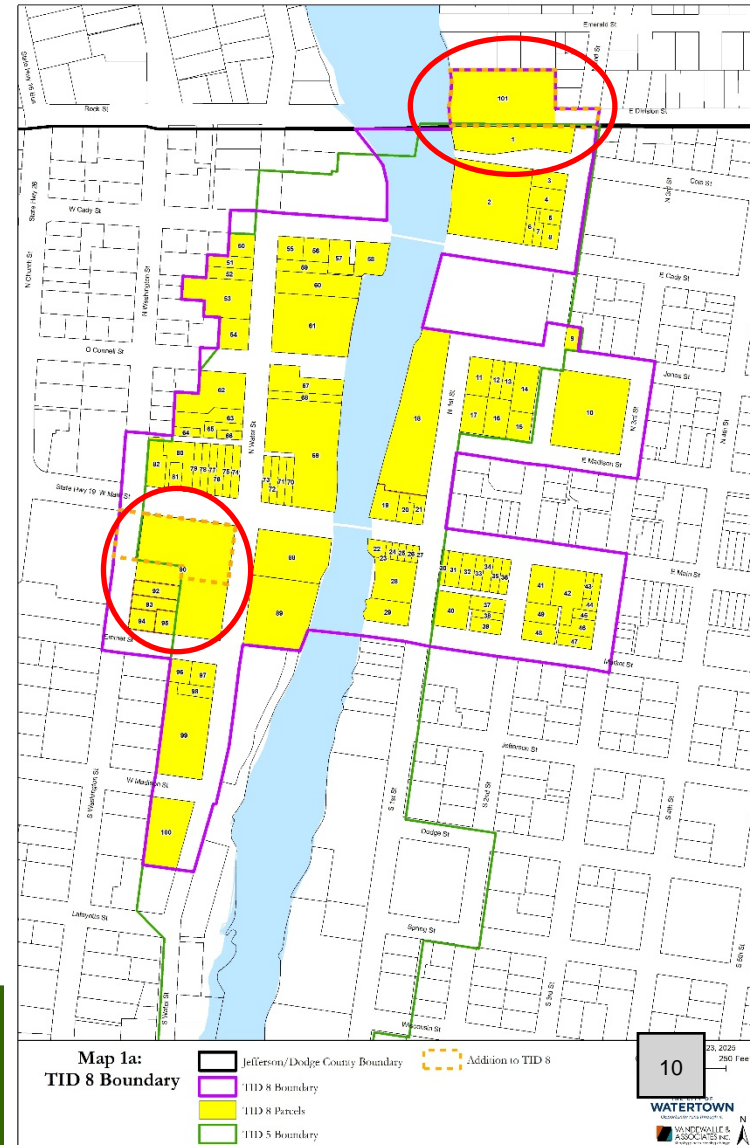
VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change.

*TID 8 Boundary reflects pending amendments as of 7/2/2025

TID #8 AMENDMENT NO. 1

Proposed 2025 Amendment

- TID #8
 - Boundary amendment to include one additional parcel and one portion of a parcel



Proposed Project Plan

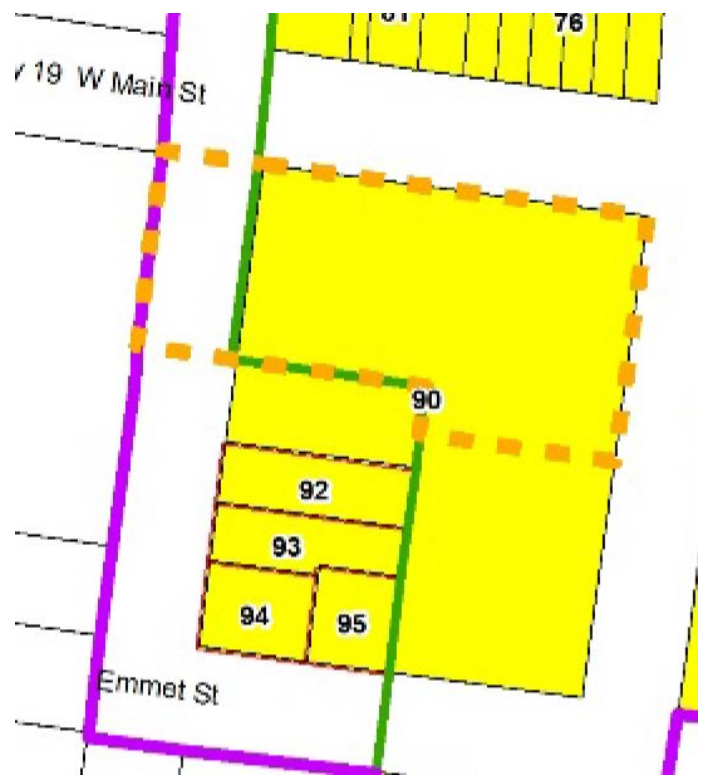
1. Addition of one new parcel to district to facilitate infill development
2. Addition of one partial parcel to district to create consistent boundaries

12% Test

Total City EAV (2024)			\$2,382,749,500
12% Test			\$285,929,940
Value Increment of Existing TIDs			
TID #4	2.30%		\$54,857,300
TID #5	1.03%		\$24,459,900
TID #6	0.18%		\$4,356,000
TID #7	1.32%		\$31,476,100
TID #8	0.16%		\$3,917,600
Total Existing Value Increment		5.00%	\$119,066,900
Projected Additional Base Value of TID #8	0.003%		\$67,500
Total Value Subject to 12% Test			\$119,134,400
Compliance	5.00%	PASS	



1. Addition of one new parcel to district to facilitate infill development
 - 1.06 acres, \$67,500 of existing total assessed value
 - Planned for redevelopment with Map ID #1



2. Addition of one partial parcel to district to create consistent boundaries
 - 0.9 acres to be added, 0.67 acres already in TID
 - \$0 of existing total assessed value
 - Combining parcels occurred post-TID adoption

Amendment Process

- **Today:** JRB Organizational Meeting
- **Today:** Plan Commission Public Hearing
- **September 15:** Council Adoption Meeting
- **September/October:** JRB Adoption Meeting

Discussion/Questions

Publish on August 4, 2025

NOTICE OF PUBLIC HEARING
CITY OF WATERTOWN, WISCONSIN

Public notice is hereby given that the City of Watertown Plan Commission will hold a public hearing on Monday, August 11, 2025, at 4:30 pm to consider the proposed Territory Addition Amendment for City of Watertown Tax Increment Financing District No. 8 (TID #8). The meeting will be held at City Hall (106 Jones Street, Watertown, WI 53094). At that time, all interested parties will be afforded a reasonable opportunity to express their views on the proposed Territory Addition Amendment to the TID #8 Boundary.

TID #8 encompasses a portion of downtown Watertown. The purpose of the TID #8 amendment is to alter the district boundary to add one additional parcel (parcel number: 291-0915-3343-053) located at 104 E. Division Street and to add a partial parcel (parcel number: 291-0815-0421-122) located at 100 S. Water Street. The partial parcel addition is to correct District boundaries to reflect the entire combined parcel that's currently half inside and half outside of the District's boundaries. However, there is no proposed change to the total level of spending authorized in the TID #8 original Project Plan and cash grants may be provided by the City to owners, lessees, or developers of property as part of a development agreement within the proposed TID #8 Territory Addition Amendment, pursuant to Wis. Stat. § 66.1105.

Copies of the proposed TID #8 Territory Addition Amendment can be found online (<https://www.watertownwi.gov/>) and are available and will be provided upon request at the City Clerk's office, 106 Jones Street, Watertown, WI 53094, between the hours of 8:00 am and 4:30 pm, Monday through Friday.

Megan Dunneisen
City Clerk

DRAFT

**CITY OF
WATERTOWN**

**TAX INCREMENT
DISTRICT #8**

Amendment No. 1

Plan Commission Hearing and Approval:	August 11, 2025
City Council Action:	September 15, 2025
Joint Review Board Approval:	October X , 2025

Prepared by:



**VANDEWALLE &
ASSOCIATES INC.**
Madison . Milwaukee

ACKNOWLEDGEMENTS**Watertown Common Council**

Robert Stocks, Mayor
Fred Smith, Council President
Dana Davis
Jonathan Lampe
Ken Berg

Dan Bartz
Brad Blanke
Tony Arnett
Bob Wetzel
Myron Moldenhauer

Watertown Plan Commission

Robert Stocks, Mayor, Chair
Brad Blanke, Council Representative
Andrew Beyer
Brian Zirbes

Alyse Talaga
Kerry Kneser
Melissa Lampe
Tom Levi

Watertown City Staff

Mason Becker, Manager of Economic Development and Strategic Initiatives
Mark Stevens, Finance Director/Treasurer
Andrew Beyer, Director of Public Works/City Engineer
Brian Zirbes, Zoning Administrator
Kristine Butteris, Director of Parks, Recreation, and Forestry
(position to be filled), City Attorney
Megan Dunneisen, City Clerk

Planning Assistance Provided by:

Vandewalle & Associates
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Madison, WI 53715
(608) 255-3988
www.vandewalle.com

Jeff Maloney – Principal Planner
Sonja Kruesel, AICP – Associate Planner
Ben Rohr, AICP – Associate Planner
Dan Eckberg, AICP – GIS Planner

TABLE OF CONTENTS

SECTION I.	INTRODUCTION	4
SECTION II.	DESCRIPTION OF HOW TAX INCREMENT DISTRICT #8 WILL PROMOTE THE ORDERLY DEVELOPMENT OF THE CITY OF WATERTOWN	5
SECTION III.	TAX INCREMENT DISTRICT BOUNDARY DESCRIPTION AND EQUALIZED VALUES	6
SECTION IV.	EXISTING USES AND CONDITIONS OF REAL PROPERTY	9
SECTION V.	PROPOSED PUBLIC WORKS AND ESTIMATED COSTS	15
SECTION VI.	NON-TAX REVENUES AND NON-PROJECT COSTS	15
SECTION VII.	ECONOMIC FEASIBILITY ANALYSIS	15
SECTION VIII.	AVAILABLE FINANCING METHODS	15
SECTION IX.	CONSISTENCY OF ACTIVITIES WITHIN TAX INCREMENT DISTRICT #8 WITH THE CITY ZONING ORDINANCE, MASTER PLAN AND OTHER DEVELOPMENT ORDINANCES	15
SECTION X.	ANNEXED PROPERTY	15
SECTION XI.	ESTIMATE OF PROPERTY TO BE DEVOTED TO RETAIL BUSINESS ..	15
SECTION XII.	STATEMENT ON RELOCATION	15
APPENDIX A	PROPERTY CONDITIONS ASSESSMENT	16
APPENDIX B	IMPACT ON OVERLYING TAXING JURISDICTIONS	17
APPENDIX C	LEGAL DESCRIPTION	18
APPENDIX D	TAXING JURISDICTION CORRESPONDENCE	19
APPENDIX E	PROPERTY OWNER CORRESPONDENCE	20
APPENDIX F	PROOFS OF PUBLICATION	21
APPENDIX G	JOINT REVIEW BOARD MINUTES	22
APPENDIX H	PLAN COMMISSION PUBLIC HEARING MINUTES AND	23
RESOLUTION	RECOMMENDING AMENDMENT NO.1 OF TAX INCREMENT DISTRICT #8	23
APPENDIX I	COMMON COUNCIL RESOLUTION APPROVING AMENDMENT NO.1 OF TAX INCREMENT DISTRICT #8	24
APPENDIX J	JOINT REVIEW BOARD RESOLUTION APPROVING AMENDMENT NO.1 OF TAX INCREMENT DISTRICT #8	25

APPENDIX K CITY ATTORNEY OPINION.....26

SECTION I. INTRODUCTION

Project Background

The City of Watertown created Tax Incremental District #8 (TID #8) on March 16, 2021. TID #8 is a District in need of rehabilitation or conservation work, as defined by Wis. Stat §66.1337(2m)(a), in the central part of the City corporate limits. The District remains in need of rehabilitation or conservation work.

Within Amendment No. 1, there are two proposed changes to the TID #8 boundary:

1. The City is proposing to add additional territory to TID #8 to accommodate a single 1.06-acre parcel owned by Cady Emerald, LLC that a developer is planning to redevelop within the remaining life of the District. Its inclusion will add \$67,500 to the District's base value. The additional territory to be added is the former Johnsonville Sausage, LLC building that caught fire in 2015, creating a vacant, blighted property. As a result, it has been found to be in need of rehabilitation or conservation work, as defined by Wis. Stat §66.1337(2m)(a).
2. The City is proposing to add additional territory to TID #8 to accommodate a 0.9-acre portion of a 1.57-acre parcel. The property was formerly multiple parcels when TID #8 was created and has since been combined to serve as the Watertown Library site. The property is owned by the City of Watertown and its full inclusion will add \$0 to the District's base value. This additional territory is only being proposed to correct the TID #8 boundaries to ensure the full parcel is located within the District, rather than being split by the boundaries.

Together, the proposed additional territory is referred to as the "Subject Parcels" throughout this document.

This TID #8 Project Plan Amendment No. 1 has been prepared in compliance with Sec. 66.1105, Wis. Stats. This amended project plan is to be adopted by resolution of the Common Council upon receipt of a resolution of an affirmative recommendation from the City Plan Commission and is intended to work in conjunction with the original TID #8 project plan. Following Council adoption, it will be forwarded to the Joint Review Board for action on a resolution affirming the Board's approval.

As required by Wis. Stat. § 66.1105(5), a copy of this amended Project Plan will be submitted to the Department of Revenue and used as the basis for their certification of Tax Increment District #8, Amendment No. 1 in the City of Watertown.

This amended Project Plan follows the same layout and section order as the original Project Plan. Sections where no changes are proposed are indicated as such, and sections with amendments are identified accordingly.

Summary of Findings

As required by Wis. Stat. §66.1105, and as documented in this Project Plan and the exhibits contained and referenced herein, the following findings are made:

1. That "but for" the creation of this District, the development projected to occur as detailed in this Project Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the City.
 - To support development within the District and the Subject Parcels, the City will need to make a substantial investment to pay for the costs of necessary public infrastructure and to

close financing gaps as needed to make private development economically feasible. Due to the extensive investment required, the City has determined that development of the area will not occur solely as a result of private investment. Accordingly, the City finds that absent the use of TIF, development of the area as described in the Plan is unlikely to occur.

2. The economic benefits of the Tax Increment District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the City has considered the following information:
 - Redevelopment and/or expansion projects are expected to occur sporadically throughout the life of the District. Any increment generated by new residential, commercial or industrial construction may provide additional funding for infrastructure and development incentives.
3. The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.
 - Taxes levied on any additional value on the parcels due to new construction, renovation or appreciation of property values occurring after January 1, 2024, will be collected by the TID and used to repay the costs of TIF-eligible projects undertaken within the District.
 - Since the development expected to occur is likely subject to extraordinary site and other costs, it is unlikely to take place or in the same manner or timeframe without the use of TIF. Because the amended District will generate economic benefits that are sufficient to compensate for the cost of the improvements, the City reasonably concludes that the overall benefits of the District, as amended, outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions. It is further concluded that since the “but for” test is satisfied, there would, in fact, be no forgone tax increments to be paid in the event the District is not amended.
4. The improvement of such area is likely to enhance significantly the value of substantially all of the other real property in the District.
5. The equalized value of taxable property of the District, plus the value increment of all existing tax increment districts within the City, does not exceed 12% of the total equalized value of taxable property within the City.
6. More than 50%, by area, of the real property within the District, including the Subject Parcels, is in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a).
7. The City estimates that approximately 50% of the territory within the District will be devoted to retail business at the end of the District’s maximum expenditure period, pursuant to Wis. Stat. §66.1105(5)(b) and 66.1105(6)(am)1.
8. The Project Plan for the District is economically feasible and is in conformity with the Comprehensive Plan of the City.

SECTION II. DESCRIPTION OF HOW TAX INCREMENT DISTRICT #8 WILL PROMOTE THE ORDERLY DEVELOPMENT OF THE CITY OF WATERTOWN

There are no changes to this section.

SECTION III. TAX INCREMENT DISTRICT BOUNDARY DESCRIPTION AND EQUALIZED VALUES

The boundaries of TID #8 are officially designated on Map 1 and include two parcels to be added with this amendment as shown below.***

Map ID	Tax Key	Owner Name	Parcel Address	Acres	2024 Land Value	2024 Improvement Value	2024 Total Assessed Value	Currently in TID #5
90**	291-0815-0421-122	City of Watertown	100 S. Water Street	1.57*	\$0	\$0	\$0	Yes
101	291-0915-3343-053	Cady Emerald, LLC	104 E. Division Street	1.06	\$62,800	\$4,700	\$67,500	No
Totals				2.63	\$62,800	\$4,700	\$67,500	

Source: 2024 values as provided by the City Assessor and DOR.

**0.9 acres are proposed to be added to TID #8 and 0.67 of the 1.57 total acres that make up the parcel are already located within TID #8.*

***To note, in the original Project Plan for TID #8, Map ID numbers 90 and 91 were separate parcels. Since that time, they have been combined into one parcel and are now referred to only as Map ID 90 within Amendment No. 1. To retain continuity between Project Plans, Map ID number 91 has been intentionally omitted within Maps 1-5.*

****Other notations regarding changes between the original Project Plan for TID #8 and Amendment No. 1 include:*

- 1. Map ID number 18 now includes a portion of right-of-way that has been vacated (0.16-acres). The total size of Map ID 18 is now 1.26-acres.*
- 2. Map ID number 57 is now smaller because a portion of the property was dedicated to the City for right-of-way purposes. The total size of Map ID 57 is now 0.1-acres.*
- 3. Map ID numbers 83-88 are no longer separate parcels and are now referred to only as Map ID 88 within Amendment No. 1. A small portion of right-of-way was also added to the parcel when this lot combination occurred. The total size of Map ID 88 is now 0.62-acres. To retain continuity between Project Plans, Map ID numbers 83-87 have been intentionally omitted within Maps 1-5.*

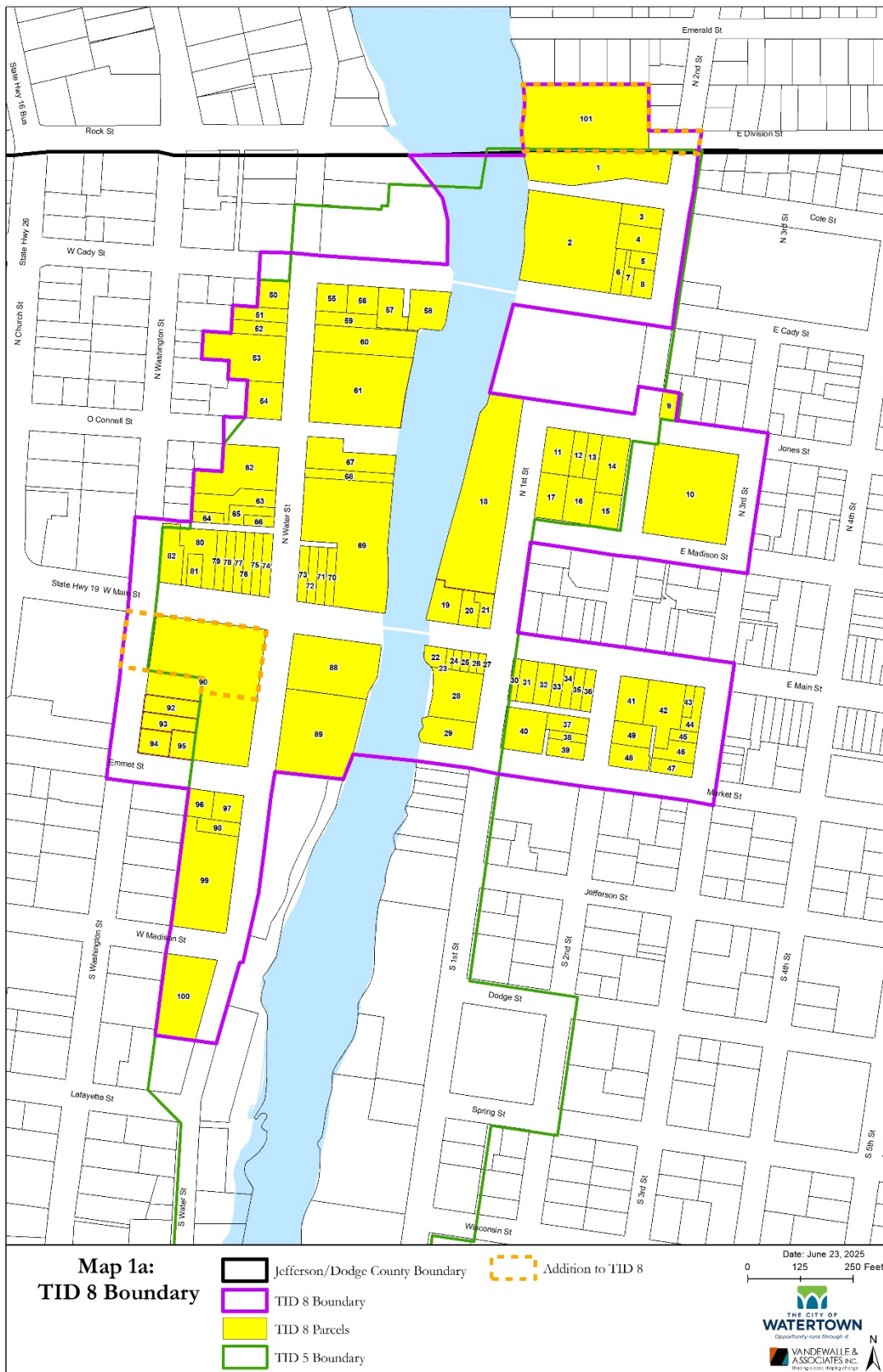
As of January 1, 2024, the real property in TID #8 had an assessed base value of \$19,856,500, and the City's total equalized value was \$2,382,749,500. The TID #8 value increment (\$3,917,600), plus \$67,500 and \$0 in projected additional base value via the boundary amendment Subject Parcels and \$115,149,300 in value increment in the 4 existing TIF districts, equals \$119,134,400 or 5% of the City's total. This is less than the 12% maximum currently permitted under the Tax Increment Law, as demonstrated in Table 1.

To note, TID #9 was approved on November 8, 2024 and will have an established base year of 2025. The base value of the district has not yet been determined and is subject to 2025 certified values being established. As such, TID #9 is not included within Table 1 below.

Table 1: Valuation Test Compliance

Total City EAV (2024)		\$2,382,749,500
12% Test		\$285,929,940
Value Increment of Existing TIDs		
TID #4	2.30%	\$54,857,300
TID #5	1.03%	\$24,459,900
TID #6	0.18%	\$4,356,000
TID #7	1.32%	\$31,476,100
TID #8	0.16%	\$3,917,600
Total Existing Value Increment	5.00%	\$119,066,900
Projected Additional Base Value of TID #8	0.003%	\$67,500
Total Value Subject to 12% Test		\$119,134,400
Compliance	5.00%	PASS

Map 1a: TID 8 Boundary



SECTION IV. EXISTING USES AND CONDITIONS OF REAL PROPERTY

The Subject Parcels to be added with this amendment includes Map ID 90 and 101.

The Map ID 101 property was the former Johnsonville Sausage, LLC building that was destroyed by a fire beyond repair and has been subsequently raised. It's currently vacant and adjoins a property to the south where the former factory also used to be located. However, the property to the south is located within Jefferson County and TID #8, while the northern property is located in Dodge County and not currently within TID #8. Both properties are now under the same ownership and a developer has plans to redevelop them together.

Together, this collective site has been eyed for redevelopment for many years as it's located along the Rock River, near City Hall and the core of downtown Watertown. The adjoining property to the south was found to be in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a) as part of the TID #8 creation in 2021. Given its current condition and use, the Map ID 101 is also found to be in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a).

The Map ID 90 property was formerly multiple parcels that have since been combined to serve as the site for the Watertown Library. Currently, the TID #8 boundary bisects the parcel, and the proposed territory amendment is intended to correct that situation by adding the 0.9-acre portion of the property that is currently outside of the TID #8 boundary. The entire combined property serves as the Library site today.

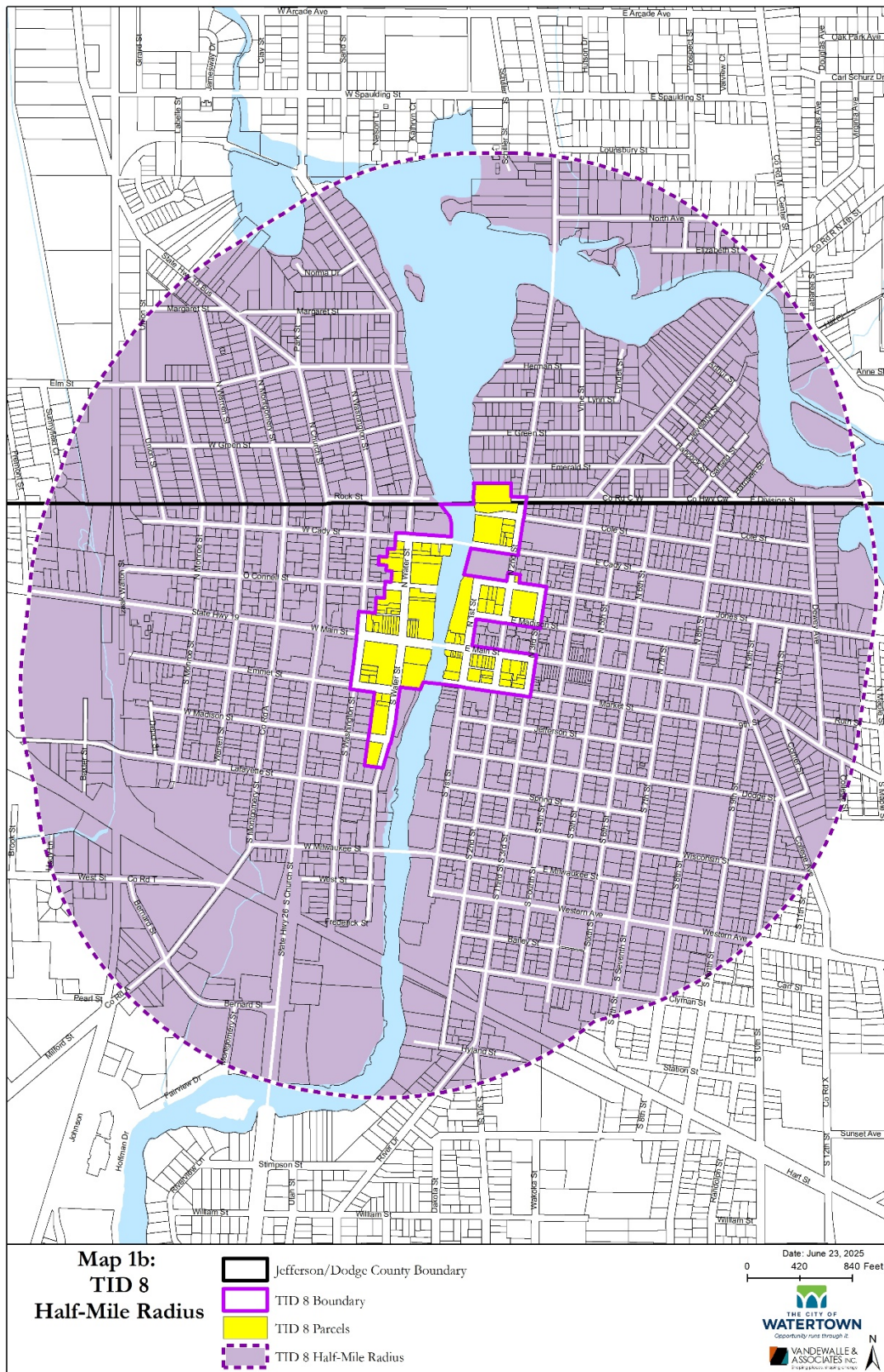
Map 2 depicts existing land uses within TID #8. The Subject Parcels are identified as General Industrial and Institutional. The Map ID 101 property existing land use is consistent with the adjoining parcel to the south that's located within TID #8 today (Map ID 1). The boundary amendment has been designed to encompass both properties within the TID #8 boundaries for redevelopment purposes (Map ID 101 and 1), in addition to ensuring that the TID #8 boundaries do not split an existing parcel (Map ID 90).

Much of TID #8, comprising a portion of the downtown core, features mostly mixed-use downtown-oriented land uses, some single-family, two-family, and institutional land uses, and general industrial land uses. The District boundary has been designed to capture key commercial space within the downtown along the river and central business district.

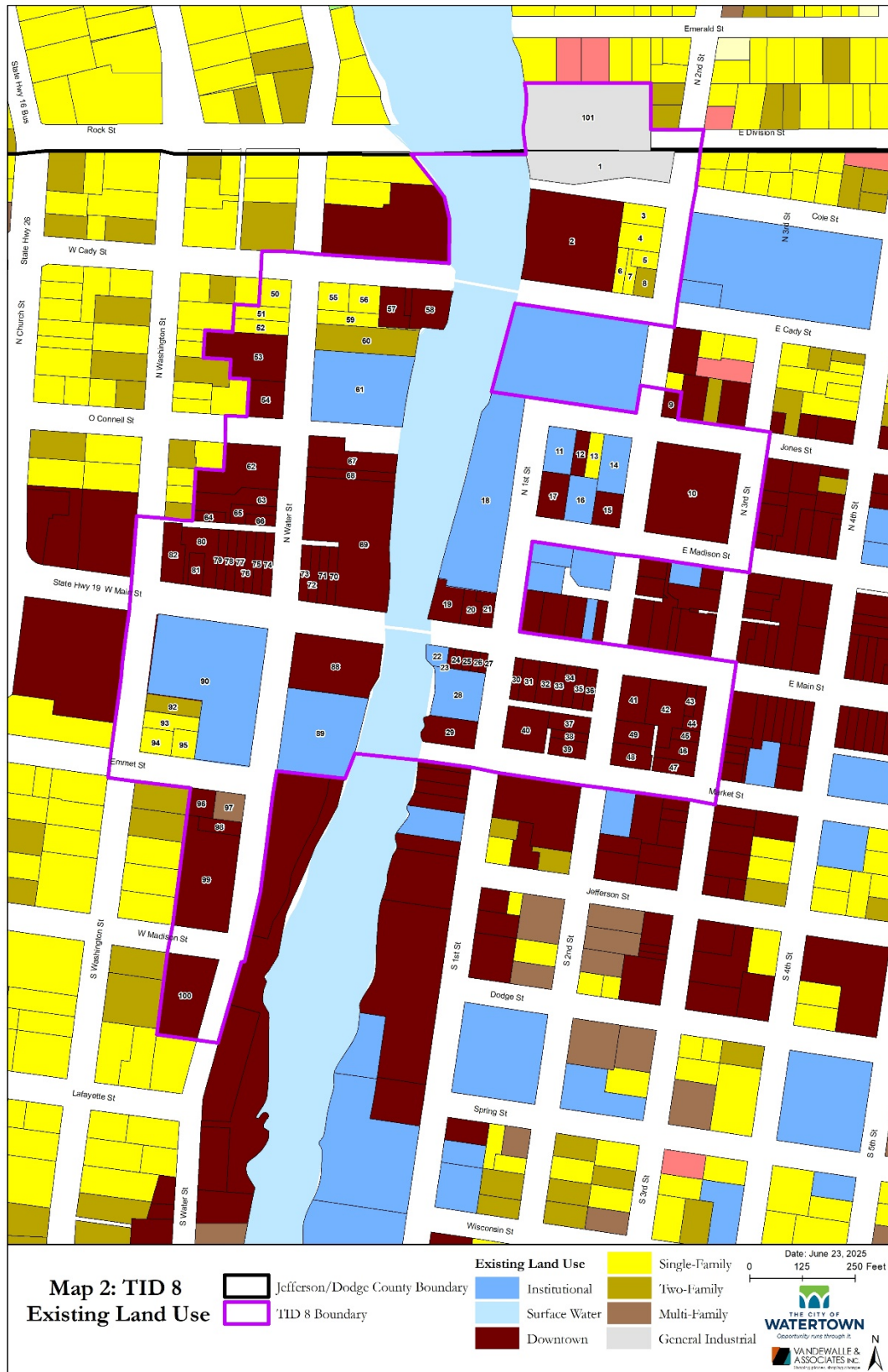
The anticipated use of the Subject Parcels is generally consistent with the future land uses shown in the City of Watertown Comprehensive Plan, which is Central Mixed-Use, as shown on Map 3.

Map 4 reflects current zoning designations within TID #8. The Subject Parcels are zoned General Business and Central Business District. The Comprehensive Plan allows the City to rezone property when and if demand for rezoning takes place to maintain compatibility with the Future Land Use Map.

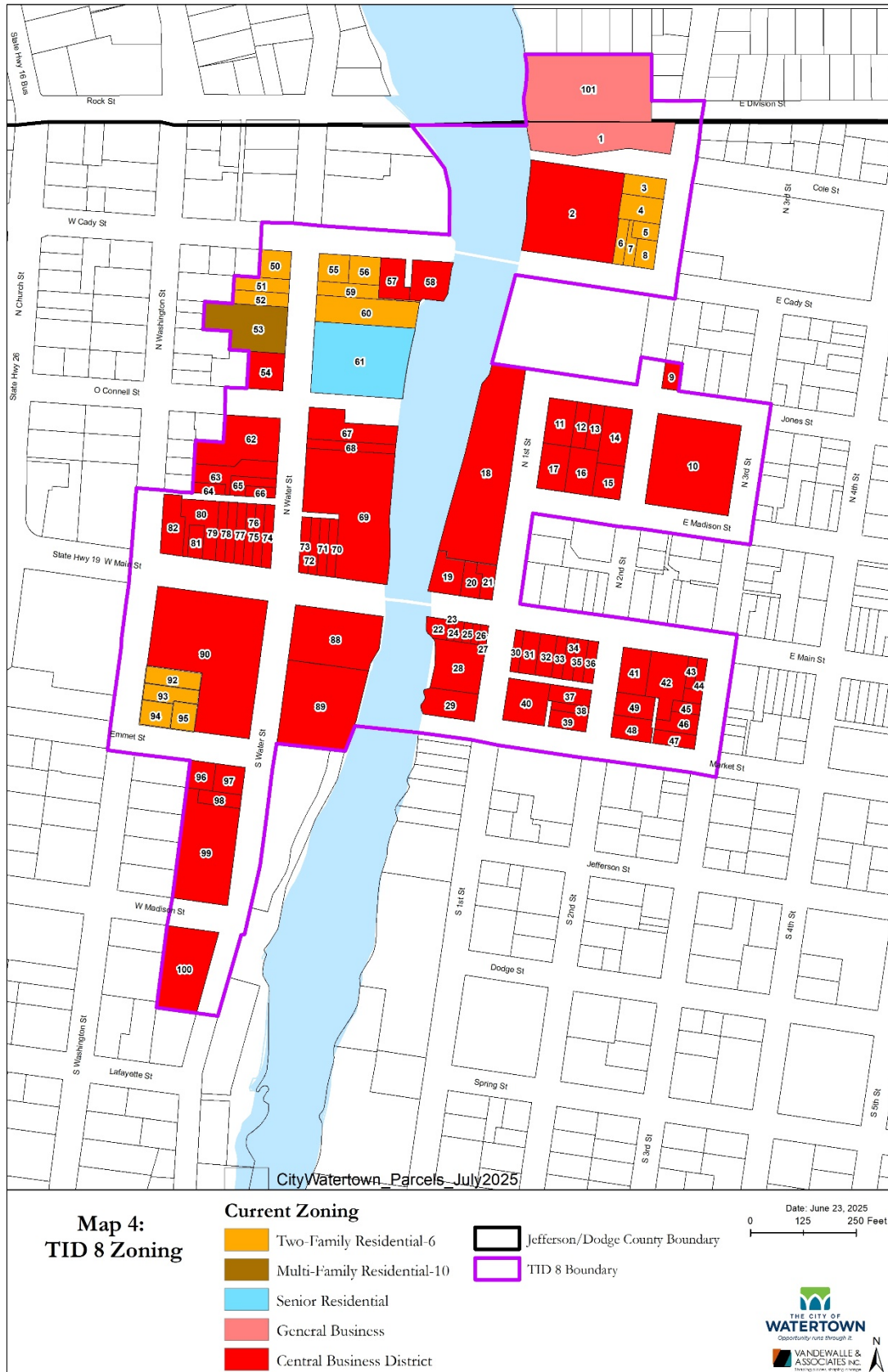
As reflected on Map 5, one of the Subject Parcels (Map ID 101) is determined to be in need of rehabilitation or conservation work, as defined in Wis. Stat. § 66.1337(2m)(a).

Map 1b: TID 8 Boundary and Half Mile Radius

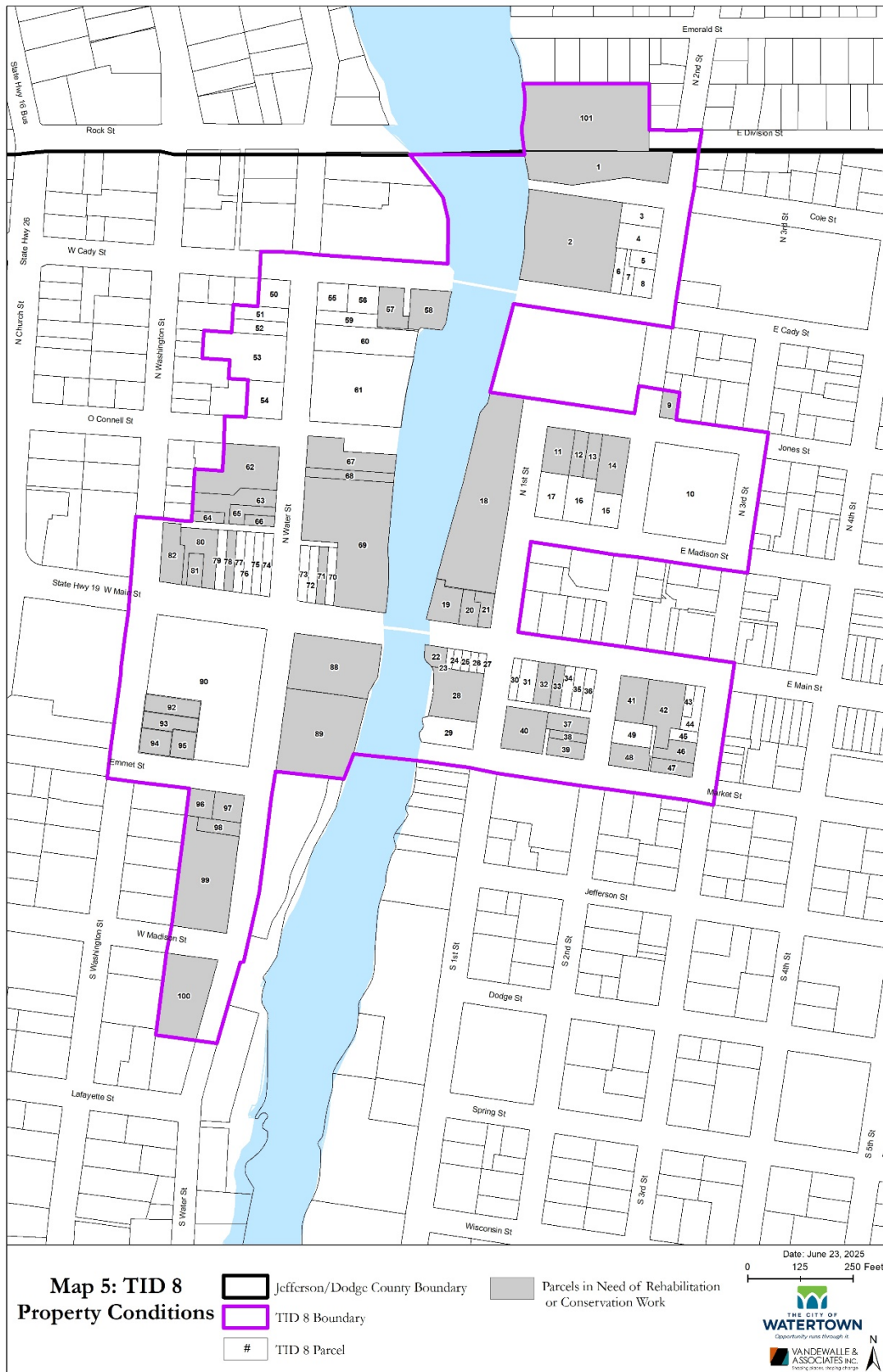
Map 2: TID 8 Existing Land Use



Map 4: TID 8 Zoning



Map 5: TID 8 Property Conditions



SECTION V. PROPOSED PUBLIC WORKS AND ESTIMATED COSTS

Redevelopment of the Subject Parcels being added to the District with this amendment shall be eligible to receive economic development incentives as described in the original project plan. However, no changes are proposed to the total level of spending for project costs as authorized in the original project plan.

SECTION VI. NON-TAX REVENUES AND NON-PROJECT COSTS

There are no changes to this section.

SECTION VII. ECONOMIC FEASIBILITY ANALYSIS

There are no changes to this section.

SECTION VIII. AVAILABLE FINANCING METHODS

There are no changes to this section.

SECTION IX. CONSISTENCY OF ACTIVITIES WITHIN TAX INCREMENT DISTRICT #8 WITH THE CITY ZONING ORDINANCE, MASTER PLAN AND OTHER DEVELOPMENT ORDINANCES

The Subject Parcels to be added with this amendment are designated as Central Mixed-Use on the Future Land Map contained within the adopted Comprehensive Plan. This is consistent with the likely redevelopment of Map ID 101 property and the existing development of the Map ID 90 property; however, the zoning may need to be amended from General Business to Planned Development for Map ID 101 to accommodate the proposed redevelopment.

SECTION X. ANNEXED PROPERTY

There are no changes to this section.

SECTION XI. ESTIMATE OF PROPERTY TO BE DEVOTED TO RETAIL BUSINESS

There are no changes to this section.

SECTION XII. STATEMENT ON RELOCATION

There are no changes to this section.

APPENDIX A PROPERTY CONDITIONS ASSESSMENT

MAP ID	Parcel Address	Land Value 2024	Imp Value 2024	Total Value 2024	Parcel Acres	Existing/ Former Use	Unhealthful, unsafe, unsanitary conditions	Lessen Density	Reduce Traffic Hazards	Obsolete or Detrimental Uses	Remove or prevent spread of blight or deterioration	Provide land for needed public facilities	Acres in Need of Rehabilitation or Conservation Work	Additional Notes
90**	100 S. Water Street	\$0	\$0	\$0	1.57*	Library							0.0	
101	104 E. Division Street	\$62,800	\$4,700	\$67,500	1.06	Vacant				X	X		1.06	Listed in Redevelopment District #2
Totals		\$62,800	\$4,700	\$67,500	2.63								1.06	Acres in Need of Rehabilitation or Conservation Work

*0.9 acres are proposed to be added to TID #8 and 0.67 acres of the 1.57 total acres that make up the parcel are already located within TID #8.

**To note, in the original Project Plan for TID #8, Map ID numbers 90 and 91 were separate parcels. Since that time, they have been combined into one parcel and are now referred to only as Map ID 90 within Amendment No. 1. To retain continuity between Project Plans, Map ID number 91 has been intentionally omitted within Maps 1-5.

***Other notations regarding changes between the original Project Plan for TID #8 and Amendment No. 1 include:

4. Map ID number 18 now includes a portion of right-of-way that has been vacated (0.16-acres). The total size of Map ID 18 is now 1.26-acres.
5. Map ID number 57 is now smaller because a portion of the property was dedicated to the City for right-of-way purposes. The total size of Map ID 57 is now 0.1-acres.
6. Map ID numbers 83-88 are no longer separate parcels and are now referred to only as Map ID 88 within Amendment No. 1. A small portion of right-of-way was also added to the parcel when this lot combination occurred. The total size of Map ID 88 is now 0.62-acres. To retain continuity between Project Plans, Map ID numbers 83-87 have been intentionally omitted within Maps 1-5.

APPENDIX B IMPACT ON OVERLYING TAXING JURISDICTIONS

There are no changes to this section.

APPENDIX C LEGAL DESCRIPTION

(to be added)

APPENDIX D TAXING JURISDICTION CORRESPONDENCE
(to be added)

APPENDIX E PROPERTY OWNER CORRESPONDENCE
(to be added)

APPENDIX F PROOFS OF PUBLICATION
(to be added)

APPENDIX G JOINT REVIEW BOARD MINUTES
(to be added)

**APPENDIX H PLAN COMMISSION PUBLIC HEARING MINUTES AND
RESOLUTION RECOMMENDING AMENDMENT NO.1 OF TAX
INCREMENT DISTRICT #8**

(to be added)

**APPENDIX I COMMON COUNCIL RESOLUTION APPROVING AMENDMENT
NO.1 OF TAX INCREMENT DISTRICT #8**

(to be added)

**APPENDIX J JOINT REVIEW BOARD RESOLUTION APPROVING AMENDMENT
NO.1 OF TAX INCREMENT DISTRICT #8**

(to be added)

APPENDIX K CITY ATTORNEY OPINION

(to be added)

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: August 11th, 2025
SUBJECT: 421 Water Tower Ct - Site Plan Review

Site Plan Review requested by Allen Genz, agent for Richter Heating, for a building addition. Parcel PIN: 291-0815-0523-006

SITE DETAILS:

Acres: 1.53 acres
Current Zoning: General Industrial (GI)
Existing Land Use: Light industrial
Future Land Use Designation: Planned Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to construct an office remodel and a warehouse addition to an existing commercial building. The existing building is 4,500 SF and the proposed addition will add 5,700 SF with the final building being 10,220 SF. The proposed building addition will be one story matching the existing building and will be 25.5 feet in height. The existing parking and property access will remain the same. Building materials for the addition will be painted metal panels matching the existing building.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the General Industrial (GI) Zoning District 'Light Industrial' is a principal land use permitted by right. 'Light Industrial' land uses include facilities at which all operations (with the exception of loading operations) are conducted entirely within an enclosed building. *[per § 550-55A]*

Regulations for 'Light Industrial' include:

- All activities, except loading and unloading, shall be conducted entirely within the confines of a building.
- Parking requirements. One space per each employee on the largest work shift.

Existing parking is adequate.

Site Layout and Design:

Within the General Industrial (GI) Zoning District the minimum paved surface setback is five feet from side or rear lot lines and ten feet from street lot lines *[per § 550-36G(2)(e)]*. The existing building and proposed addition exceed the pavement setbacks for the General Industrial (GI) Zoning District.

Vehicle Access and Circulation

The existing driveway and parking stalls meet aisle width and parking stall dimension requirements specified in the Off-Street Parking and Traffic Circulation Standards *[per § 550-107F]*.

Landscaping:

Within the General Industrial (GI) Zoning District a landscaping plan with the appropriate number of landscaping points and the appropriate landscape surface ratio (LSR) is required for site plan approval. The applicant has not provided a landscaping plan meeting the landscaping requirements for the General Industrial (GI) Zoning District.

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

Lighting:

An exterior lighting and photometric plan that meets ordinance standards is required for site plan approval. The applicant has not submitted a lighting or photometric plan.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:
 - a) Applicant shall obtain any required erosion control and stormwater permits.
 - b) Applicant shall submit a landscaping plan that meets ordinance requirements.
 - c) Applicant shall submit an exterior lighting plan that meets ordinance requirements.

STAFF RECOMENDATION:

- Staff recommends approval of this Site Plan with conditions.

ATTACHMENTS:

- Application materials.

Richter Heating

Additions & Remodeling

421 Water Tower Court

Watertown, WI 53904

C.D. Review Set

June 30, 2025

Sheet Index:

Architectural

A0.0 Title Sheet / Site Plan / Code Info

A2.0 Floor Plan / Details

A3.0 Exterior Elevations

A3.1 Building Sections

A3.2 Wall Sections

Structural

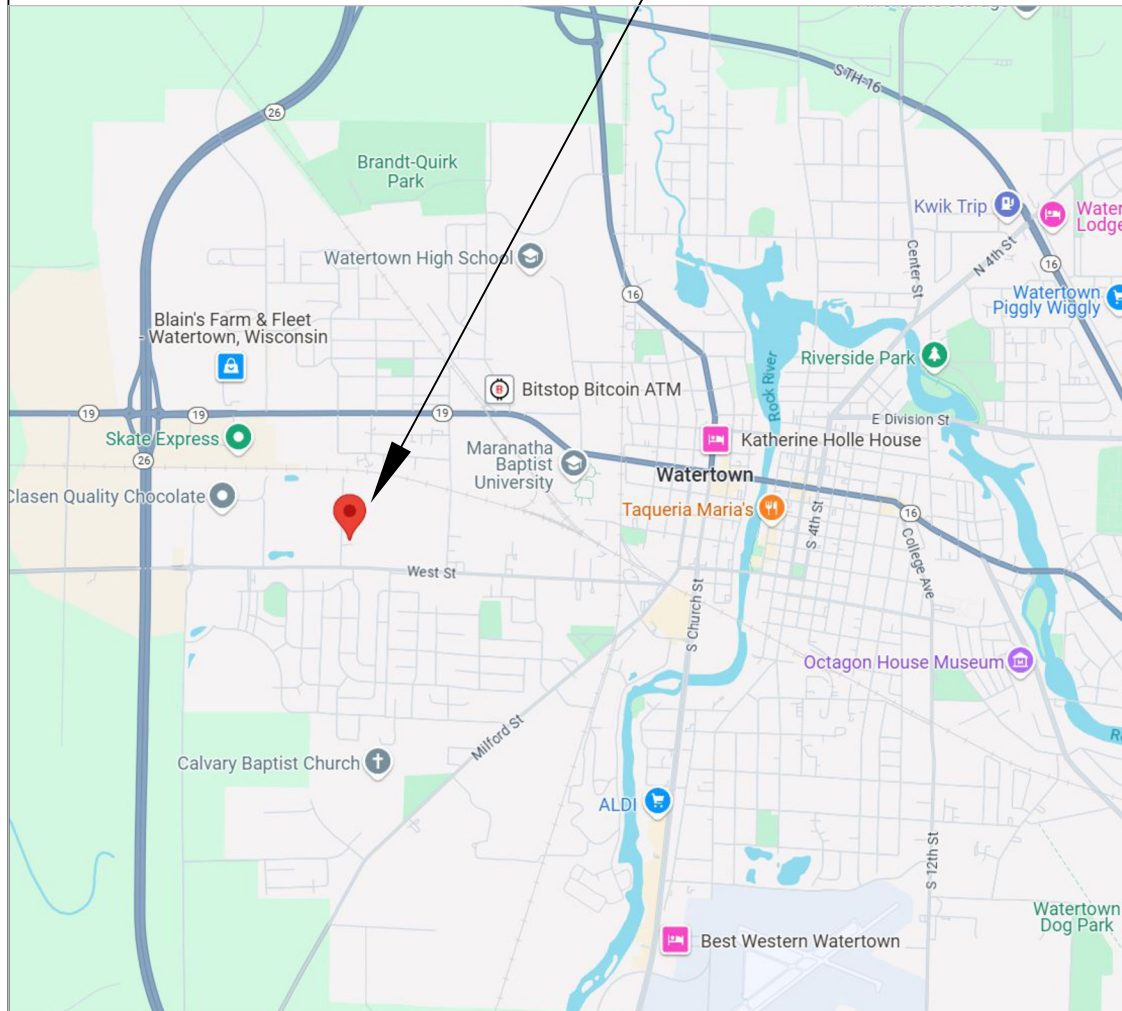
S0.0 Structural Notes

S1.0 Foundation Plan

S2.0 Framing Plan

Location Map:

Project Location:
421 Water Tower Ct.
Watertown, WI



Architect:

CASHMAN ASSOCIATES, Inc.
Gregory M. Cashman, AIA

4798 County HWY I
PH: (608) 237-7443



Sparta, WI 54656
FAX: (608) 237-7444

Architect Stamp:

Project General Notes:

- CODE COMPLIANCE:** ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- PERMITS:** CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/ OR LICENCES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
- COORDINATION:** ALL SUBCONTRACTORS, SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR, FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE. ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
- FIELD VERIFICATION:** ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
- DEMOLITION:** CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/ OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
- PENETRATIONS:** ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
ALL TRADES SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS.
ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/ OR ROOF DECK.
ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
- FIRESTOPPING:** ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, FIRESTOPPED, DAMPERED, AS REQUIRED BY CURRENT 2015 IBC Code.
- HAZARDOUS MATERIALS:** ANY HAZARDOUS MATERIALS ENCOUNTERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
- DO NOT SCALE DRAWINGS.** IN ALL CASES, NOTED DIMENSIONS AND/ NOTES INDICATING DIMENSIONS OR SIZING SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
- DIMENSIONING:** ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUGH-FRAMED STUD WALL TO FACE OF ROUGH-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

SITE PLAN GENERAL NOTES

(SHEET A1.0)

- PROPOSED BUILDING ELEVATION SHOWN AS: MAIN FLOOR FINISHED FLOOR
EL = 100'-0"
- ALL GROUND SHALL PITCH AWAY FROM BUILDING AT A MINIMUM OF 4% +/- UNLESS NOTED OTHERWISE. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- CONCRETE SURFACES SHALL SLOPE @ 1/8" = 1'-0" MINIMUM AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:50 MAXIMUM AT HANDICAPPED ACCESSIBLE PARKING STALLS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:40 MINIMUM AT ALL OTHER PARKING LOT AREAS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.

Legend

	NEW CONCRETE PAVING
	NEW BUILDING

1
A0.0

Site Layout Plan

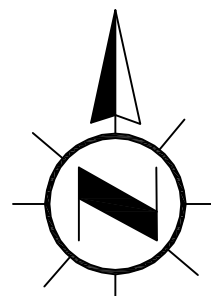
1" = 40'-0"

KEYED NOTES (CONT'D)

(SHEET A1.0)

- NEW CONCRETE PAVING (4000 PSI), WIDTH AS SHOWN, 5" THICK W/ FIBERMESH & W.W.M. OVER 6" COMPACTED CRUSHED LESTONE. TOP OF FINISHED SURFACE FLUSH W/ ASPHALT PAVING AND / OR ADJACENT SOIL. INSTALL THICKENED EDGE 12" DEEP x 10" AT ADJACENT PAVING OR BUILDING. INSTALL CONTROL JOINTS PER STANDARD PRACTICE. BROOM & TOOL FINISH. DOWELL ATTACH PAVING INTO ADJACENT BUILDING FOUNDATION- 24" LENGTH #5 DOWELS @ 24" C/C.
- WHITE COLORED PARKING LOT PAINT STRIPING
- VAN ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.

NORTH



Code Information

DESCRIPTION:

- New Office & Warehouse Addition to the existing building (B) & (S-1)
- Level 2 remodeling to the existing building
- Insulated, Conditioned Building

APPLICABLE CODES:

- State of Wisconsin Department of Safety and Professional Services Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35

OCCUPANCY CLASSIFICATION:

BUSINESS (B) Office Area IBC Section 304.1
STORAGE (S-1) Moderate Hazard Storage IBC Section 311.2

Building Gross SF Areas:

****Single -Occupancy, One-Story Building** IBC Section 506.2.2

Building Level	Existing Building	Addition (S-1) Occupancy	TOTAL Main Floor GSF B & S-1
First Floor	4,500 GSF	5,720 GSF	10,220 GSF

Building Height:

IBC Section 504.3

Ridge: 25'-6" height (40'-0" Allowable) IBC Section 504.3

No. of Levels: One

No. of Stories: One (1 allowed) IBC Section 504.4

Construction Type: IBC Section 601

- Type VB- Combustible Not Protected Construction

Struct. Frame	Bearing Walls Ext.	Bearing Walls Int.	Non-Bearing Walls Ext.	Non-Bearing Walls Int.	Floor Const.	Roof Const.
0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.

BUILDING HEIGHT & AREA:

IBC Table 506.2- Non-Sprinklered, 1-story; $A_t = 9,000$ SF

IBC Table 506.2:

-Non-Sprinklered Construction

IBC 506.2.2: Mixed-Occupancy, One-Story Building: Allowable Area

$$A_a = A_t + (NS \times I_f) = 9,000 + 9,000 (0.75) = 15,750 \text{ SF} > 10,100 \text{ sf}$$

$$I_f = [F/P - 0.25] W / 30 = 0.75 \text{ (Minimum 30'-0" clear on all sides of building)}$$

FIRE PROTECTION:

NON-Sprinklered Construction IBC 903

Fire Alarm System not required IBC 907

Interior Finish Flame Spread Ratings-

Interior Wall & Ceiling Finish Requirements: Interior Floor Finish Requirements

IBC 803.11

IBC 804.4

	Exit Passages	Corridors	Rooms/ Enclosed Spaces	All Floor Finishes
Finish Rating	A*	B**	C***	Class II

CLASS A FLAME SPREAD: Flame Spread Index: 0-25 / Smoke Index: 0-450
CLASS B FLAME SPREAD: Flame Spread Index: 26-75 / Smoke Index: 0-450
CLASS C FLAME SPREAD: Flame Spread Index: 76-200 / Smoke Index: 0-450 (IBC 803.1.1)

IBC Sec. 1004- Occupant Load: See Plan

14 occupants

IBC Sec. 1005.1.- Egress Width:

14 Occupants x 0.2 in. / occ. = 9.2 in. required. (144 in. provided)

IBC Table 1017.2.- Exit Access Travel Distance:

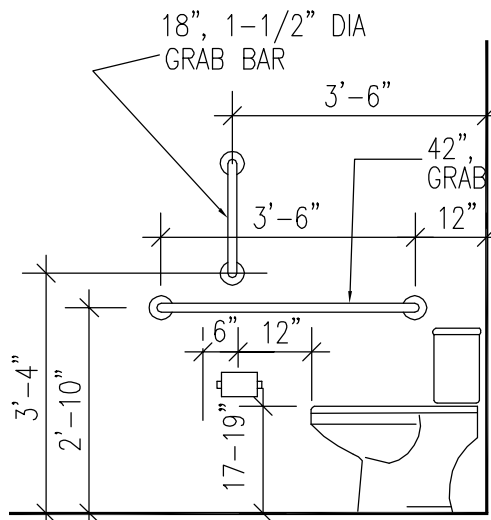
(B) / (S-1) Occupancy - Not Sprinklered: 200'-0"

IBC Table 2902.1: Plumbing Fixtures:

Building TOTAL Occupant Load: 46 persons

IBC Table 2902.2: Separate Facilities: Not Required

- 1 Toilets Required (total): 2 Provided
- 1 Lavatory Required (total): 2 Provided
- 1 Drinking Facility Required: 1 Provided
- 1 Service Sink Required: 1 Provided



3 Toilet Room Accessibility Standards
A2.0 3/8" = 1'-0"

DOOR/ FRAME SCHEDULE

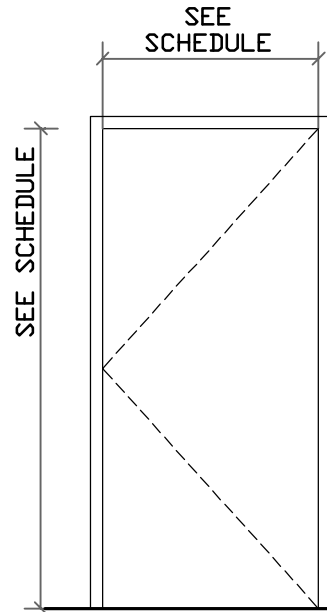
DOOR NO.	DOOR							FRAME		HARDWARE GROUP	SEE NOTES— BELOW	REMARKS
	SIZE	THICKNESS	MATERIAL	FINISH	TYPE: SEE DETAIL	U-CUT OR LOUVER	MATERIAL	FINISH	TYPE: SEE DETAIL			
					2 A2.0				2 A2.0			
EXISTING BUILDING												
100A	EXISTING 3'0" x 6'8"	—									E-1	NEW LEVER ENTRY ADA LOCKSET
100B	3'-0" x 6'-8"	1-3/4"	ALUMINUM	ANODIZED	C	—	ALUMINUM	ANODIZED	C		E-2	ALUMINUM STOREFRONT SYSTEM
100C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	WD- PREHUNG	STAIN	B		C-1	WOOD PRE-HUNG INTERIOR DOOR
100D	EXISTING 3'0" x 6'8"	—									E-1	INSULATED EXTERIOR RIGID STEEL FRAME
101	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	—	WD- PREHUNG	STAIN	B		O-1	WOOD PRE-HUNG INTERIOR DOOR
102	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	—	WD- PREHUNG	STAIN	B		O-1	WOOD PRE-HUNG INTERIOR DOOR
103	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	A	—	WD- PREHUNG	STAIN	A		C-1	WOOD PRE-HUNG INTERIOR DOOR
104A	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104B	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	—	STEEL	PAINT	B		E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104D	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR
104E	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR
100F	12'w X 12'h	—										INSULATED SECTIONAL OVERHEAD DOOR

HARDWARE GROUPS

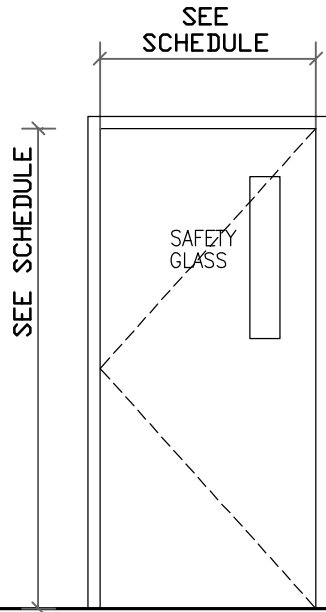
(AS NOTED ON DOOR/
HARDWARE SCHEDULE)

EXIT	TOILET	CLASSROOM	OFFICE
E-1 EXTERIOR DOOR ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL BUTTS (3) CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP	T-1 TOILET PRIVACY LEVER LOCKSET BUTTS (3) DOOR STOP	C-1 CLASSROOM LEVER LOCKSET BUTTS (3) WALL BUMPER	O-1 OFFICE LEVER LOCKSET DEAD BOLT BUTTS (3) WALL BUMPER
E-2 EXTERIOR DOOR ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL CONTINUOUS HINGE CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP			

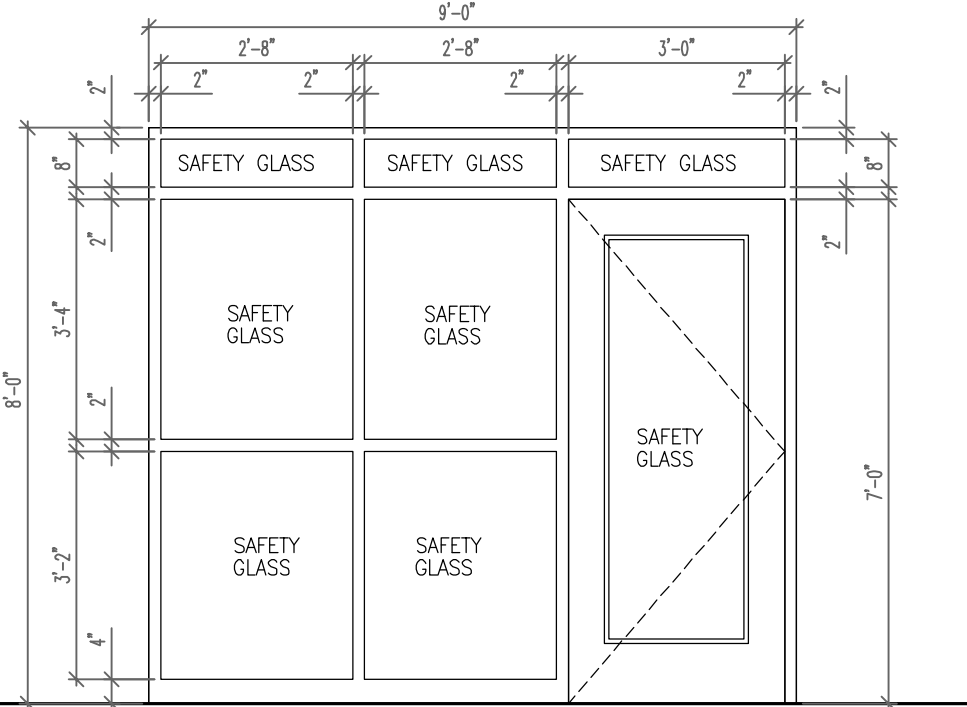
1 Main Floor Plan
A2.0 1/8" = 1'-0"



A STEEL OR SOLID-CORE WOOD (SC-WD) FLUSH DOOR

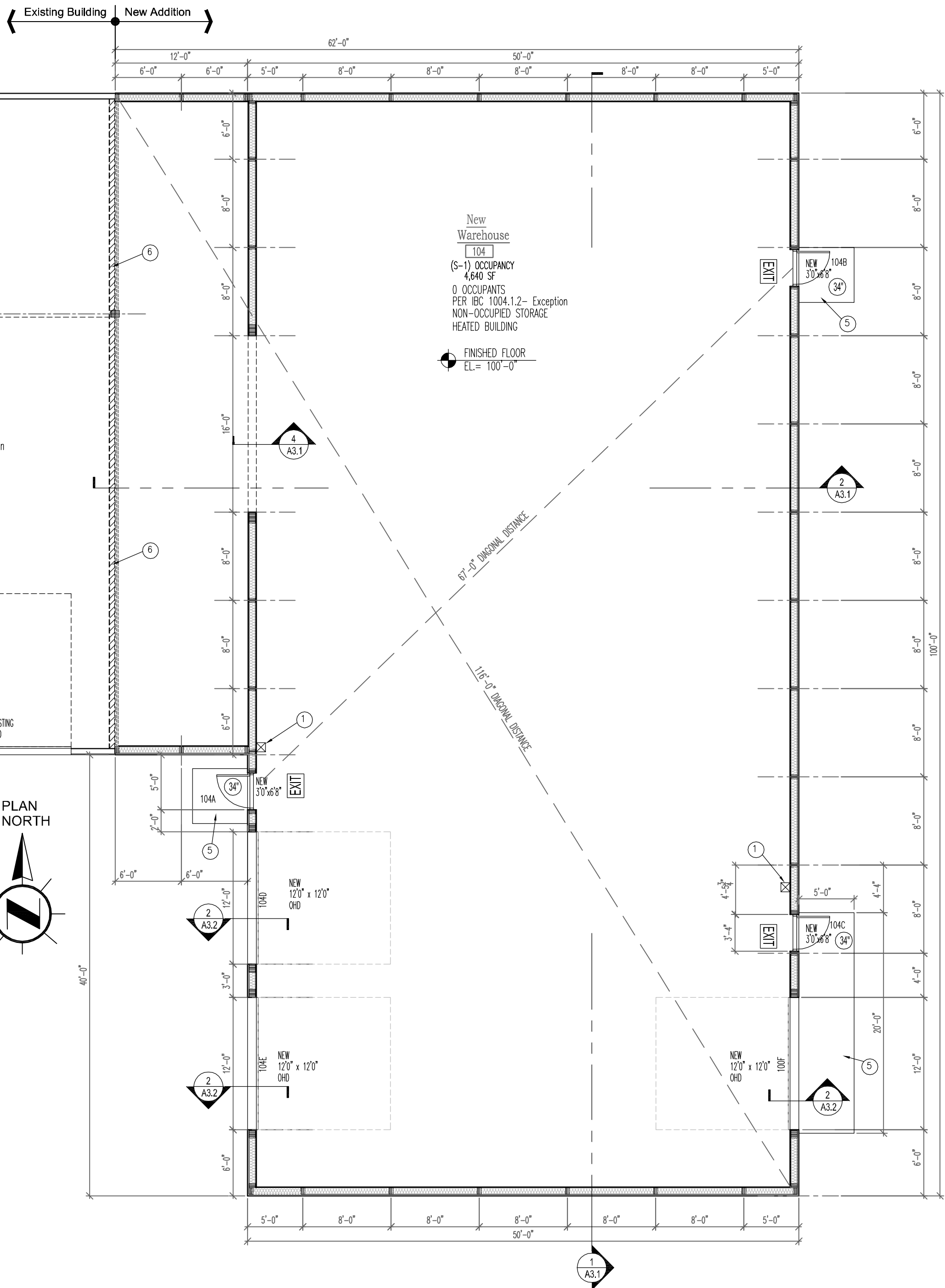


B STEEL OR SOLID-CORE WOOD (SC-WD) HALF LITE



C ALUMINUM ANODIZED THERMALLY BROKEN FRAME FULL-LITE DOOR

2 Door/ Frame Types
A2.0 3/8" = 1'-0"



GENERAL NOTES

SHEET A2.0

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ALL SIGNIFICANT DISCREPANCIES.
- DIMENSIONS TYPICAL- DIMENSION LINES ARE LOCATED FROM FACE-OF-STUD -OR- TO FACE-OF-MASONRY- TYPICAL.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL FOOTINGS, FOUNDATION WALLS, BEAMS, AND HEADERS.
- PROPOSED AND EXISTING ELEVATIONS ARE SHOWN AS:
MAIN LEVEL F.F.E.
EL= 100'-0"
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- ALL DOORS TO BE EQUIPPED WITH ADA-LEVERSET HARDWARE
- ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION/CONSTRUCTION.
- PROVIDE 5/8" GYPSUM BOARD AT ALL LOCATIONS UNLESS OTHERWISE NOTED. PROVIDE 5/8" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'- 0" OF ALL PLUMBING FIXTURES. PROVIDE CEMENT PLASTER BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS.
- HOLD 5/8" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
- ALL VINYL OR FABRIC WALL COVERING AT CORRIDOR CORNER LOCATIONS TO RECEIVE A CLEAR PLASTIC CORNER GUARD TO A HEIGHT OF 8'- 0" A.F.F. (IPC INSTITUTIONAL PRODUCTS CORP #8118 OR APPROVED EQUAL) UNLESS OTHER PROTECTION IS SPECIFIED.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
- VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
- SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
- DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
- ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
- ALL PENETRATIONS OF FIRE-RATED WALLS TO BE FIRE-STOPPED WITH CODE COMPLIANT / U.L. LISTED FIRE CAULK AND/OR FIRESTOPPING
- ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
- PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
- ROOM(S) WITH A MOP BASIN OR UTILITY SINK SHALL HAVE AN EXHAUST FAN WHICH RUNS CONTINUOUSLY WHILE THE BUILDING IS OCCUPIED.
- ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
- SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.

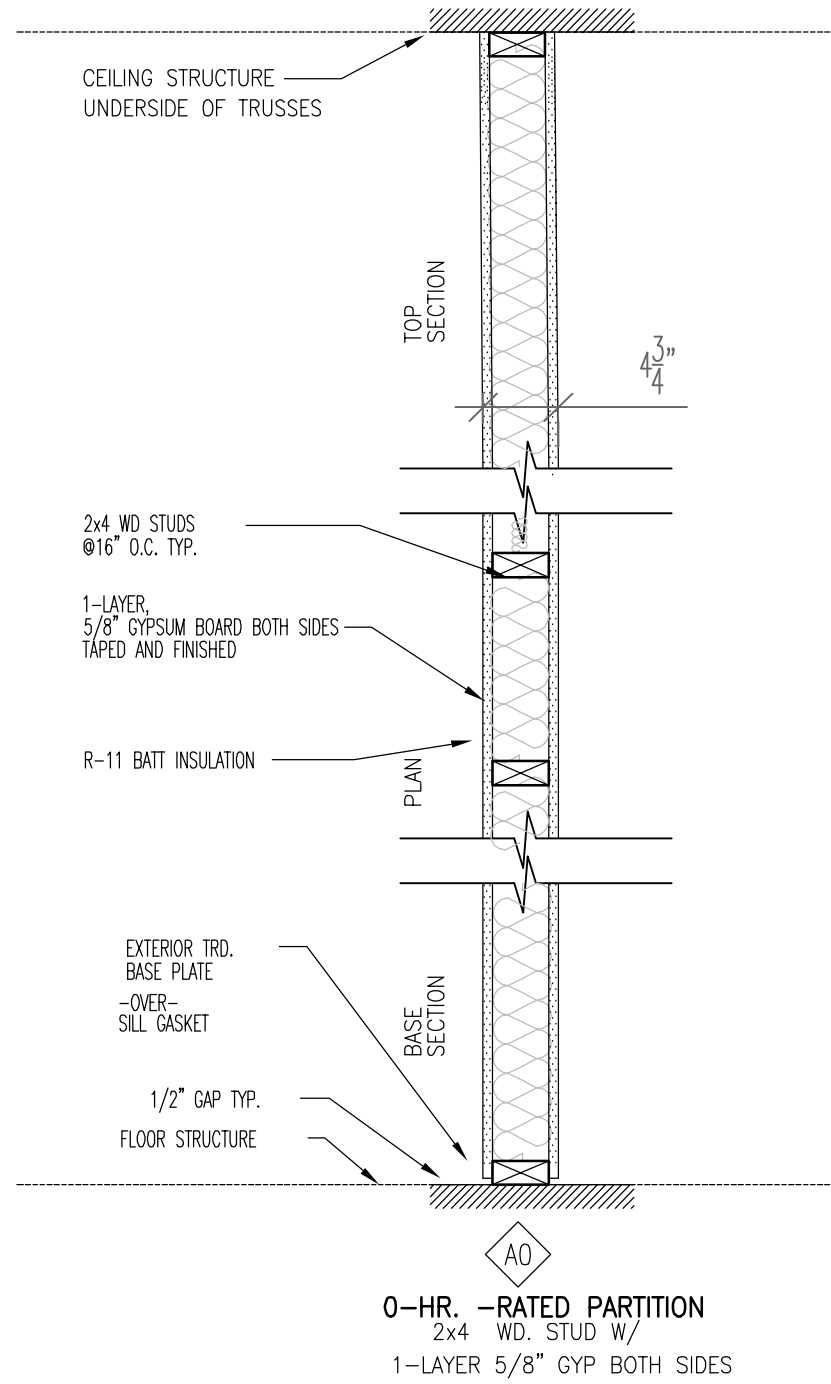
REFERENCE NOTES

- SEE DETAIL 1 / A2.1 FOR PARTITION TYPES
- SEE THIS SHEET FOR DOOR SCHEDULE
- REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1 FOR ADA MOUNTING HEIGHT DETAILS
- REFER TO ELEVATIONS FOR EXTERIOR WINDOW TYPES AND LOCATIONS.

KEYED NOTES

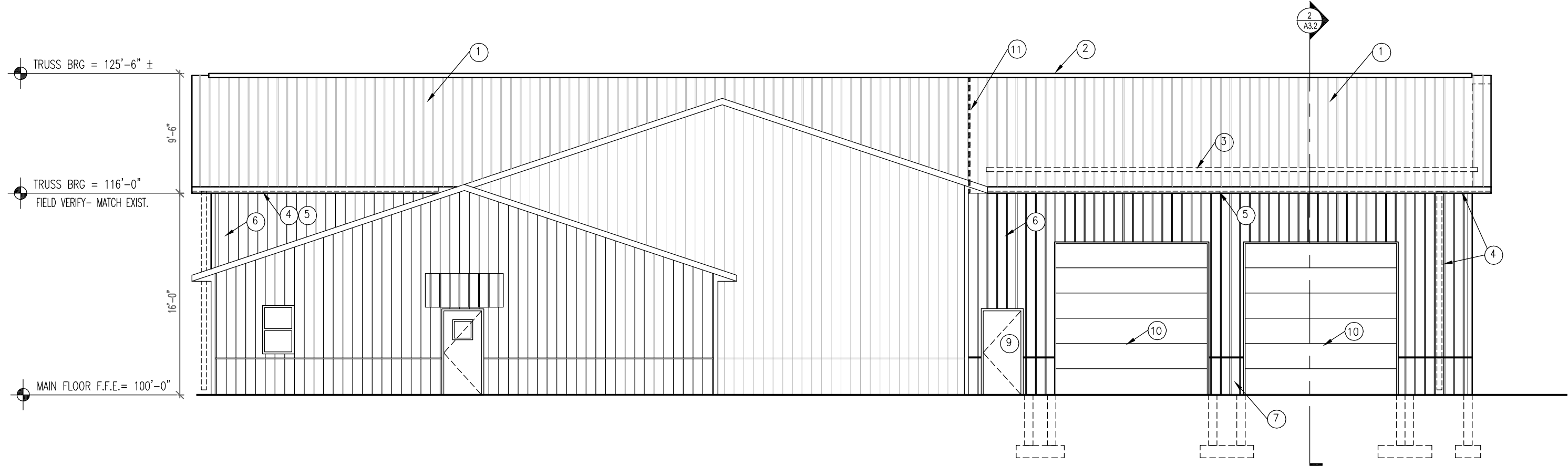
SHEET A2.0

- FIRE EXTINGUISHER CABINET, SURFACE-MOUNTED
FIRE EXTINGUISHER: ORDINARY HAZARD- 2-A-B-C RATED
WALL MOUNTING- TOP-OF-EXTINGUISHER
Ø 42" ABOVE FINISHED FLOOR
- 24 x 24 FLOOR-MOUNTED SERVICE SINK (EXISTING)
- WATER COOLER WATER DRINKING FACILITY
ADD VERTICAL-ORIENTED ADA GRAB BAR IN EXISTING TOILET ROOM
REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1
- CONCRETE STOOP. SEE STRUCTURAL
- EXISTING GABLE-END WALL TO BE REMOVED.
SEE WALL SECTIONS & STRUCTURAL.



Remodeling Partition

1" = 1'-0"

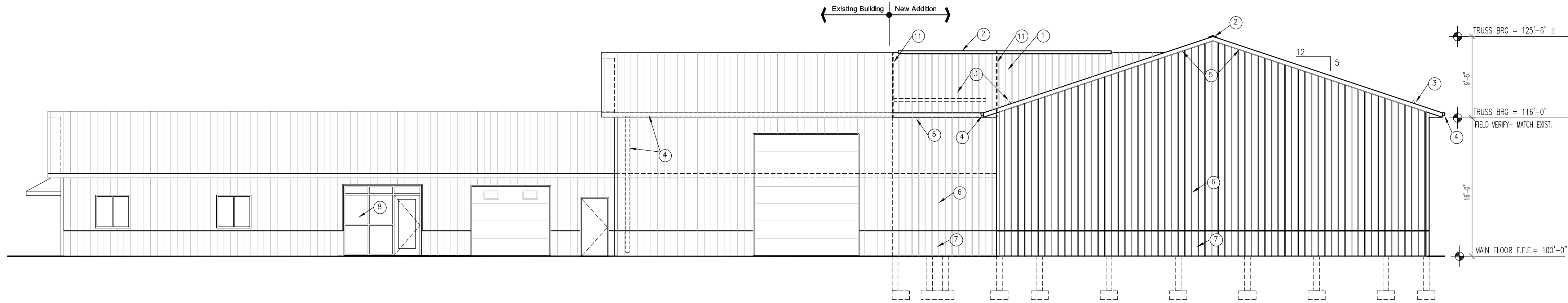


1
A3.0
West Elevation
1/8" = 1'-0"

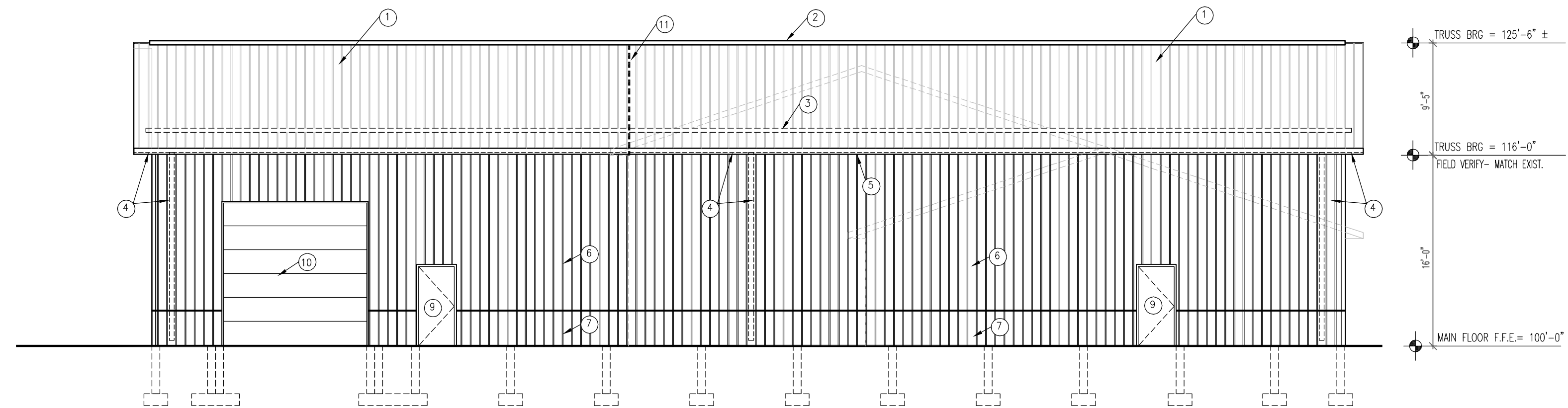
Keyed Notes- Exterior Elevations

SHT. A3.0

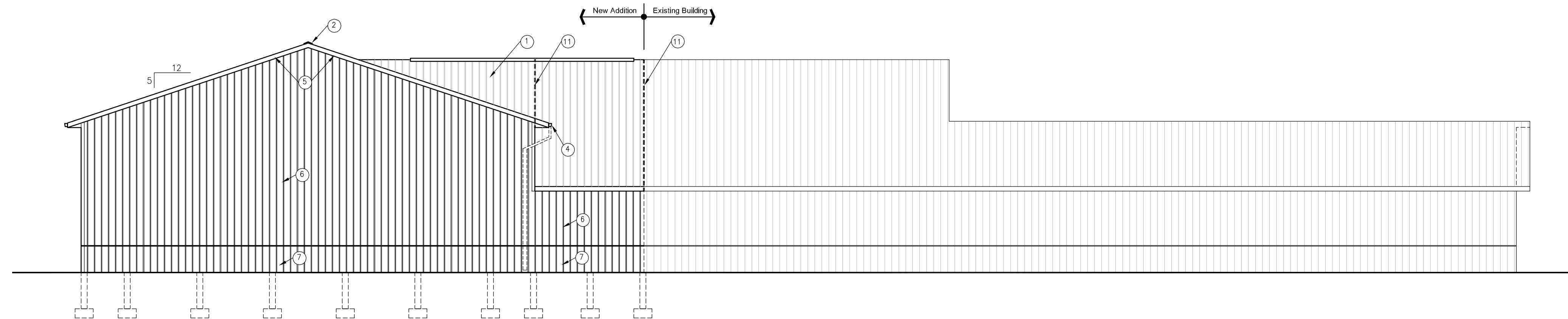
- 26 GA. PAINTED, EXPOSED FASTENER CORRUGATED METAL ROOFING
- RIDGE VENT, TYPICAL
- CONTINUOUS SNOW GUARDS
- PAINTED METAL GUTTER & DOWNSPOUT
- PAINTED METAL FASCIA & VENTED SOFFIT
- 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #1
- 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #2
- ALUMINUM STOREFRONT ENTRANCE SYSTEM. SEE SCHEDULE.
- INSULATED STEEL DOOR (TYPICAL)
U= 0.33 (R=3.0) MINIMUM
- INSULATED O.H.D. W/ THERMAL BREAK- U= 0.143 (R=7.0)
OVERHEAD DOOR CO.- THERMACORE SECTIONAL STEEL DOOR-599 SERIES
- DRAFTSTOPPING PER IBC 718.4.3-
ONE LAYER 1/2" GYP BOARD -OR- ONE LAYER 1/2" O.S.B.
SECURELY FASTENED TO ONE SIDE OF TRUSS / BUTT JOINTS TIGHTLY TO FORM
A CONTINUOUS SEAL / EXTEND FROM FASCIA TO FASCIA



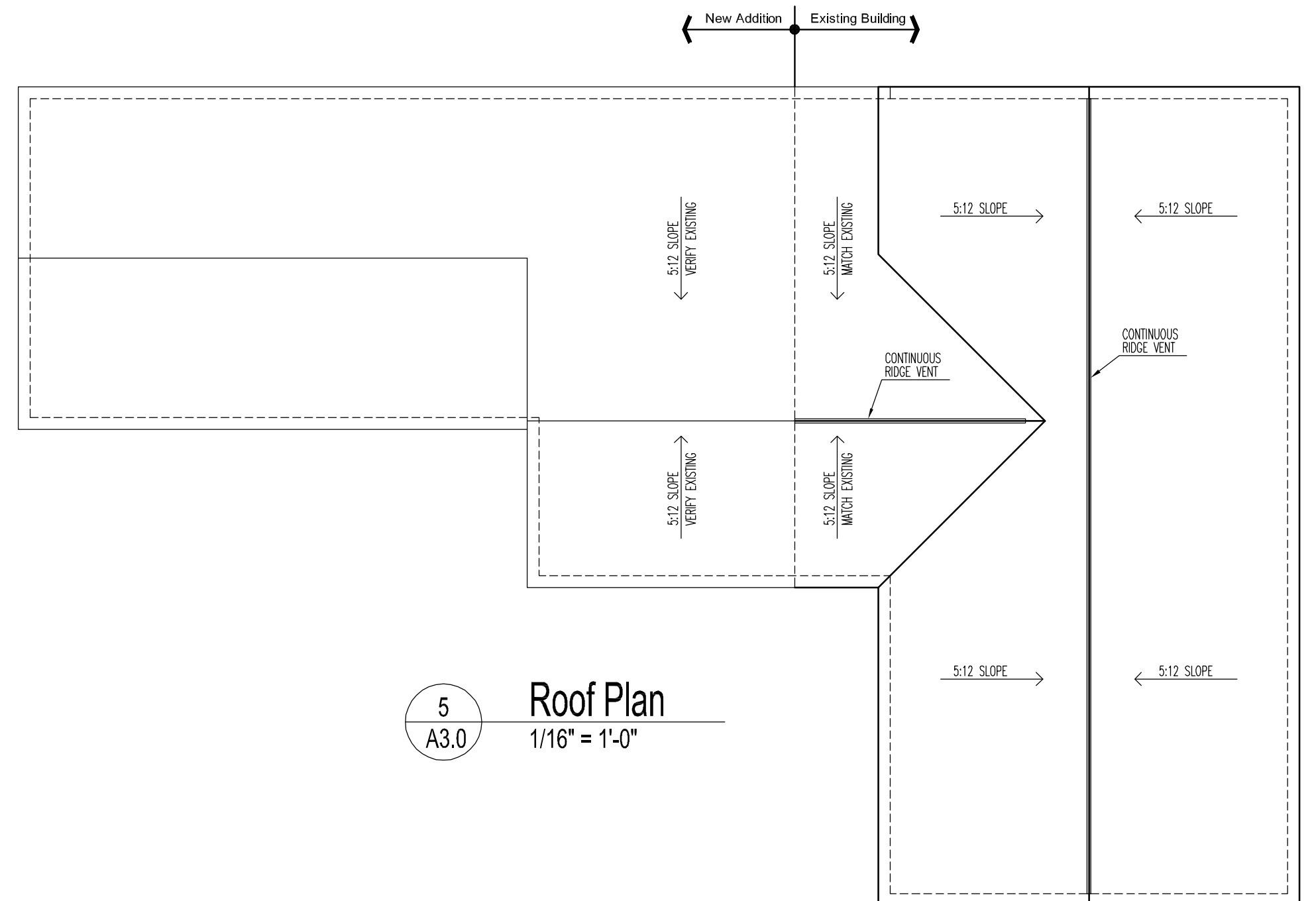
2
A3.0
South Elevation
1/8" = 1'-0"



3
A3.0
East Elevation
1/8" = 1'-0"



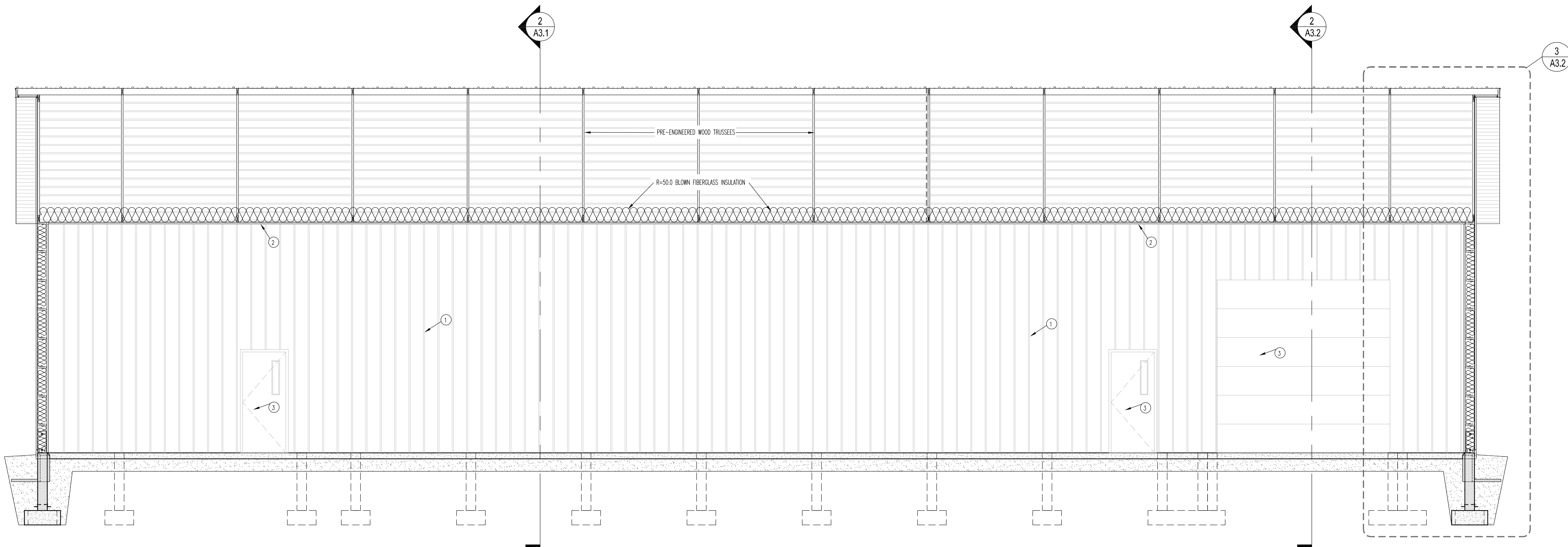
4
A3.0
North Elevation
1/8" = 1'-0"



5
A3.0
Roof Plan
1/16" = 1'-0"

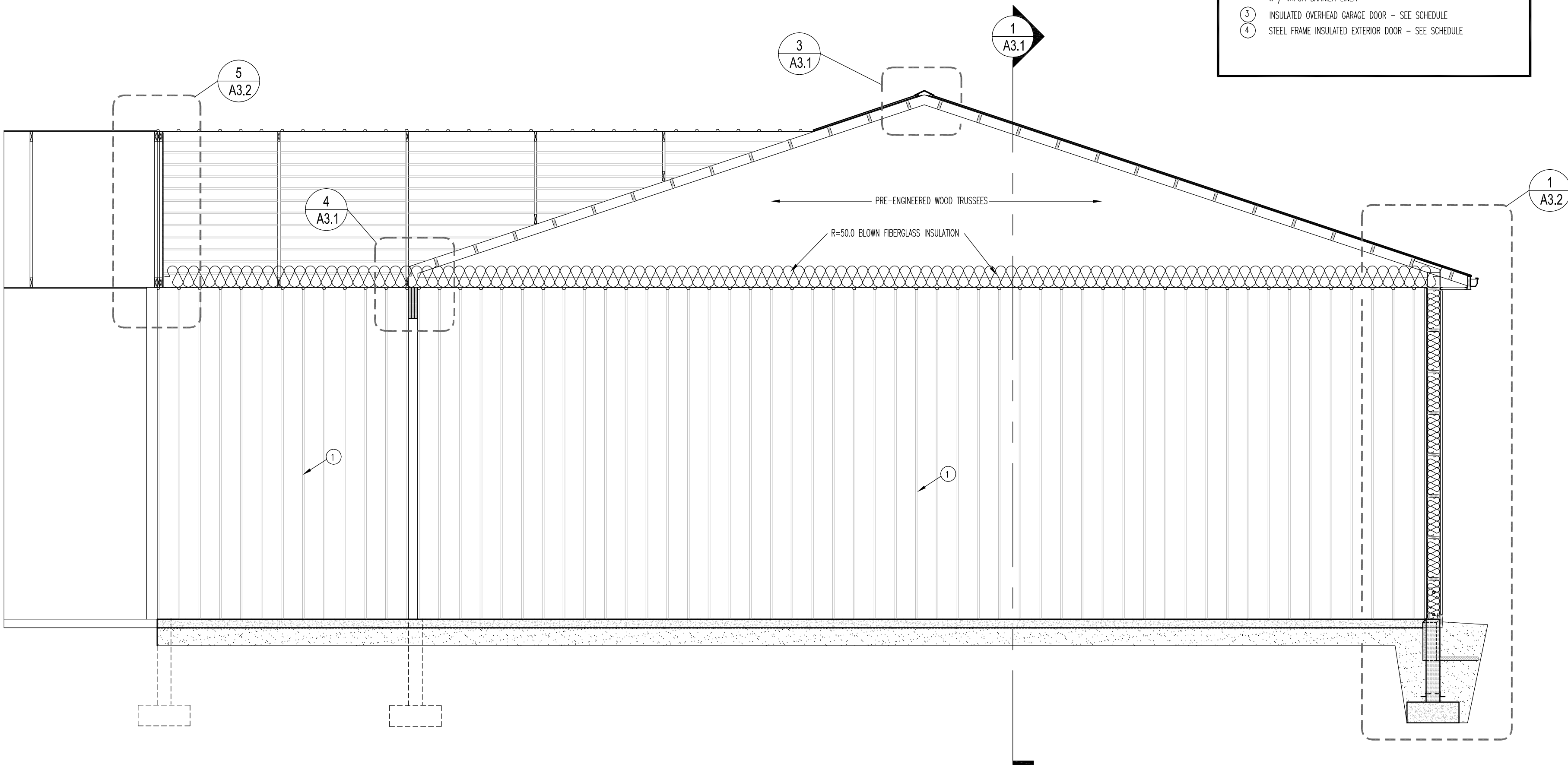
1
A3.1

Building Section
1/4" = 1'-0"



2
A3.1

Building Section
1/4" = 1'-0"

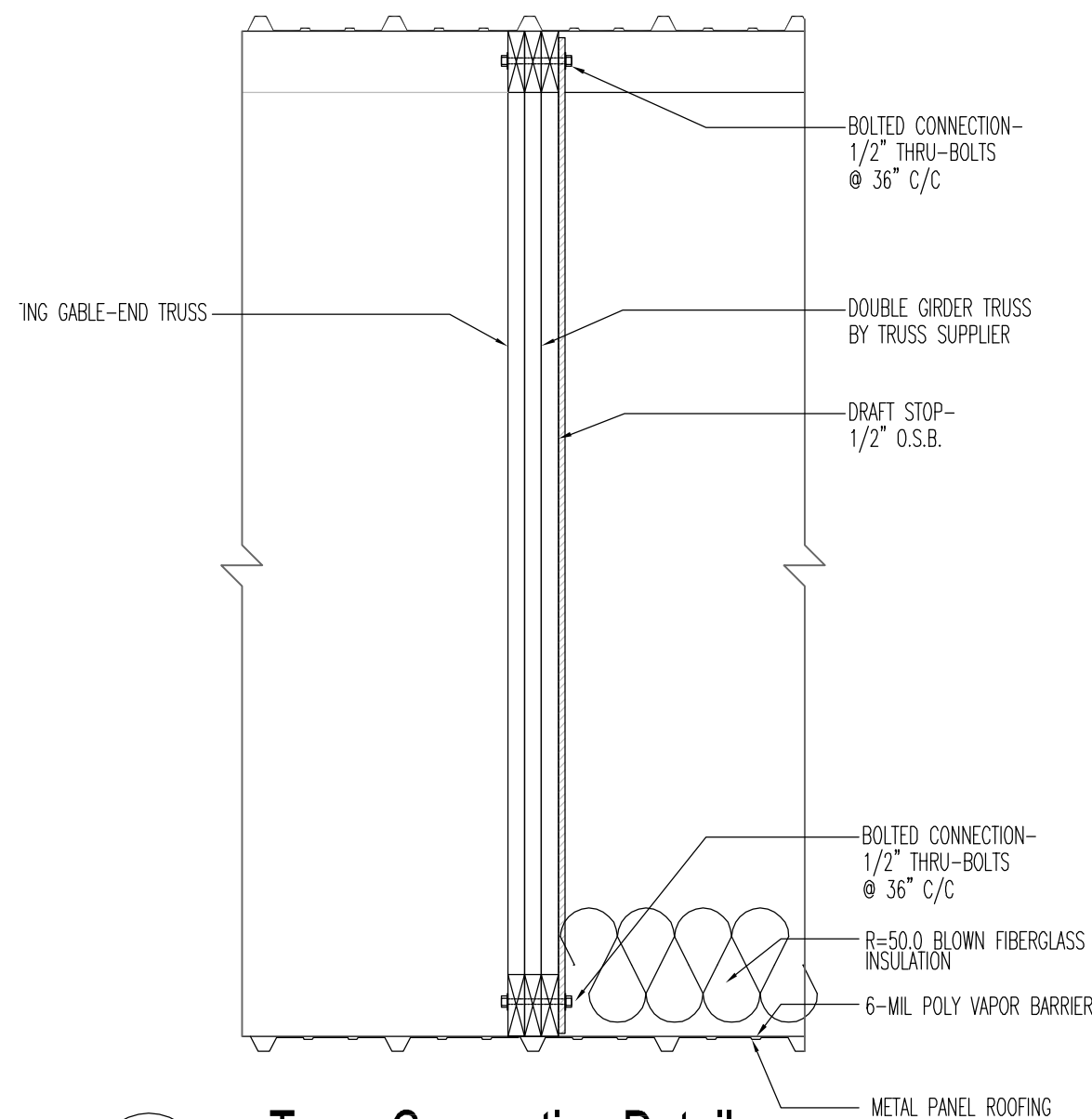


Keyed Notes- Building Sections

- 1 26 GA. PAINTED METAL PANEL INTERIOR WALL FINISH
- 2 ROOF-CEILING FINISHED WITH 29 GA. KYNAR FINISH PAINTED METAL PANEL W / VAPOR BARRIER LINER
- 3 INSULATED OVERHEAD GARAGE DOOR - SEE SCHEDULE
- 4 STEEL FRAME INSULATED EXTERIOR DOOR - SEE SCHEDULE

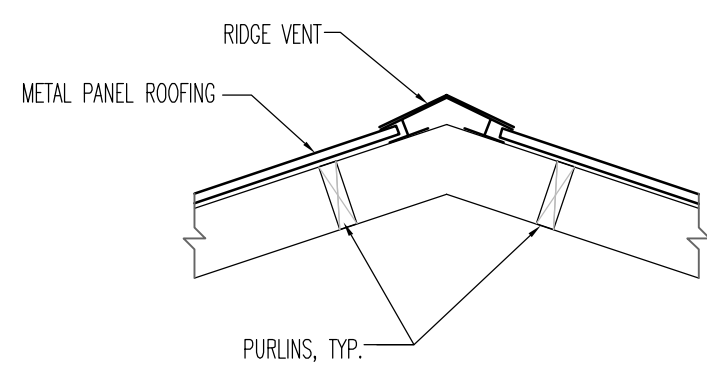
5
A3.1

Truss Connection Detail
3/4" = 1'-0"



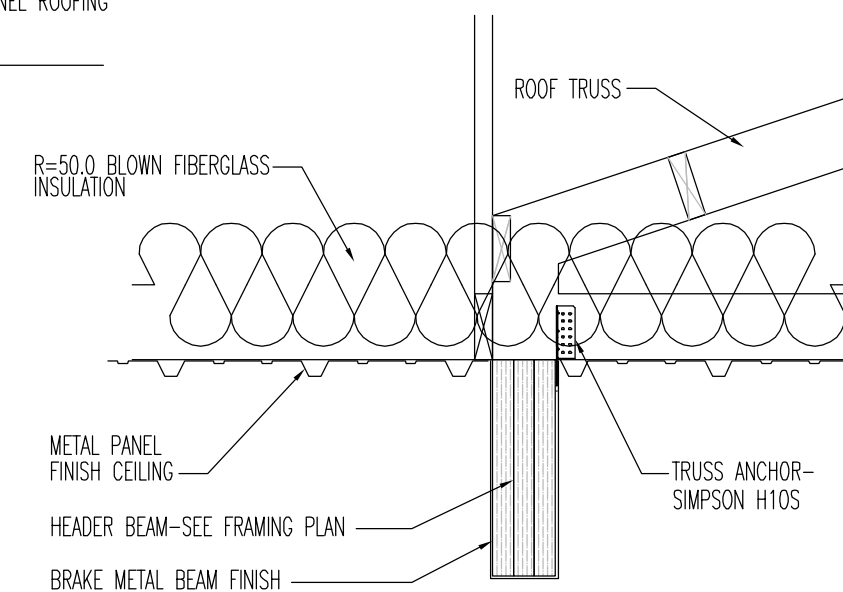
3
A3.1

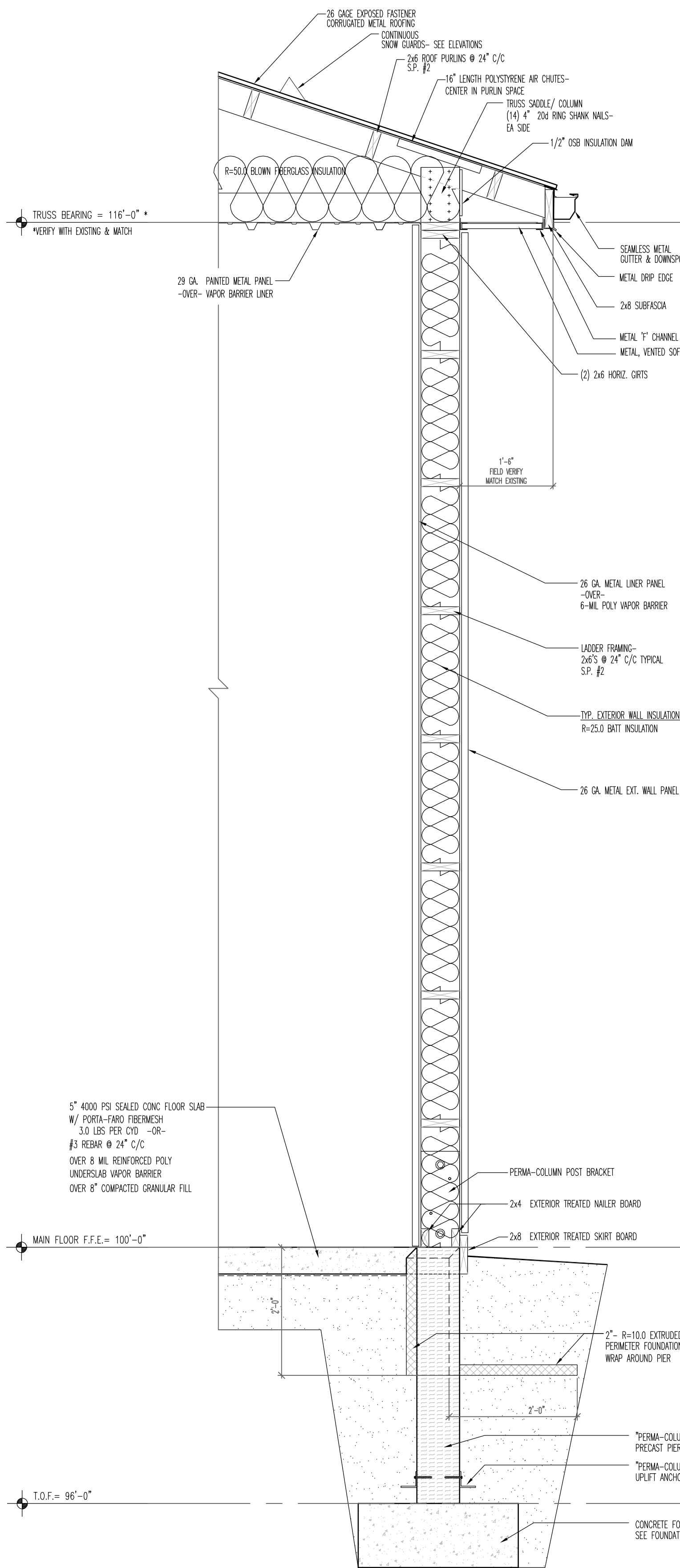
Ridge Vent
3/4" = 1'-0"



4
A3.1

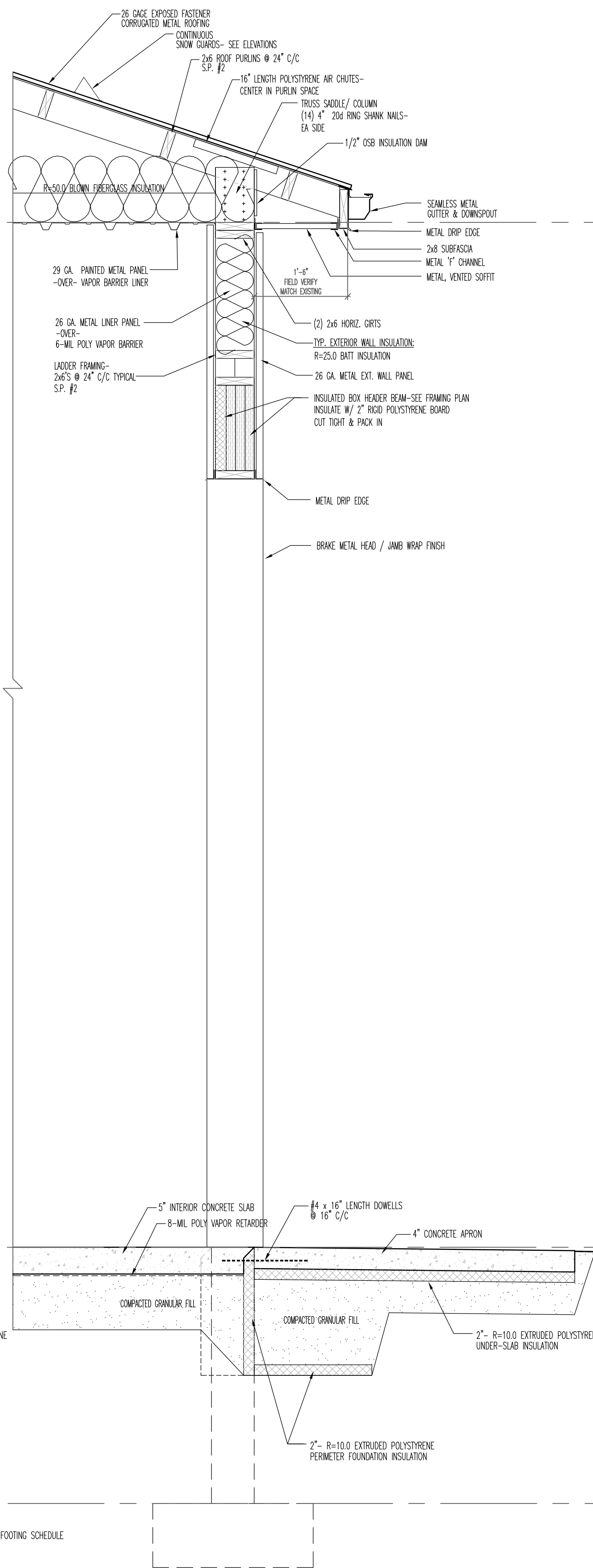
Detail @ Opening
3/4" = 1'-0"





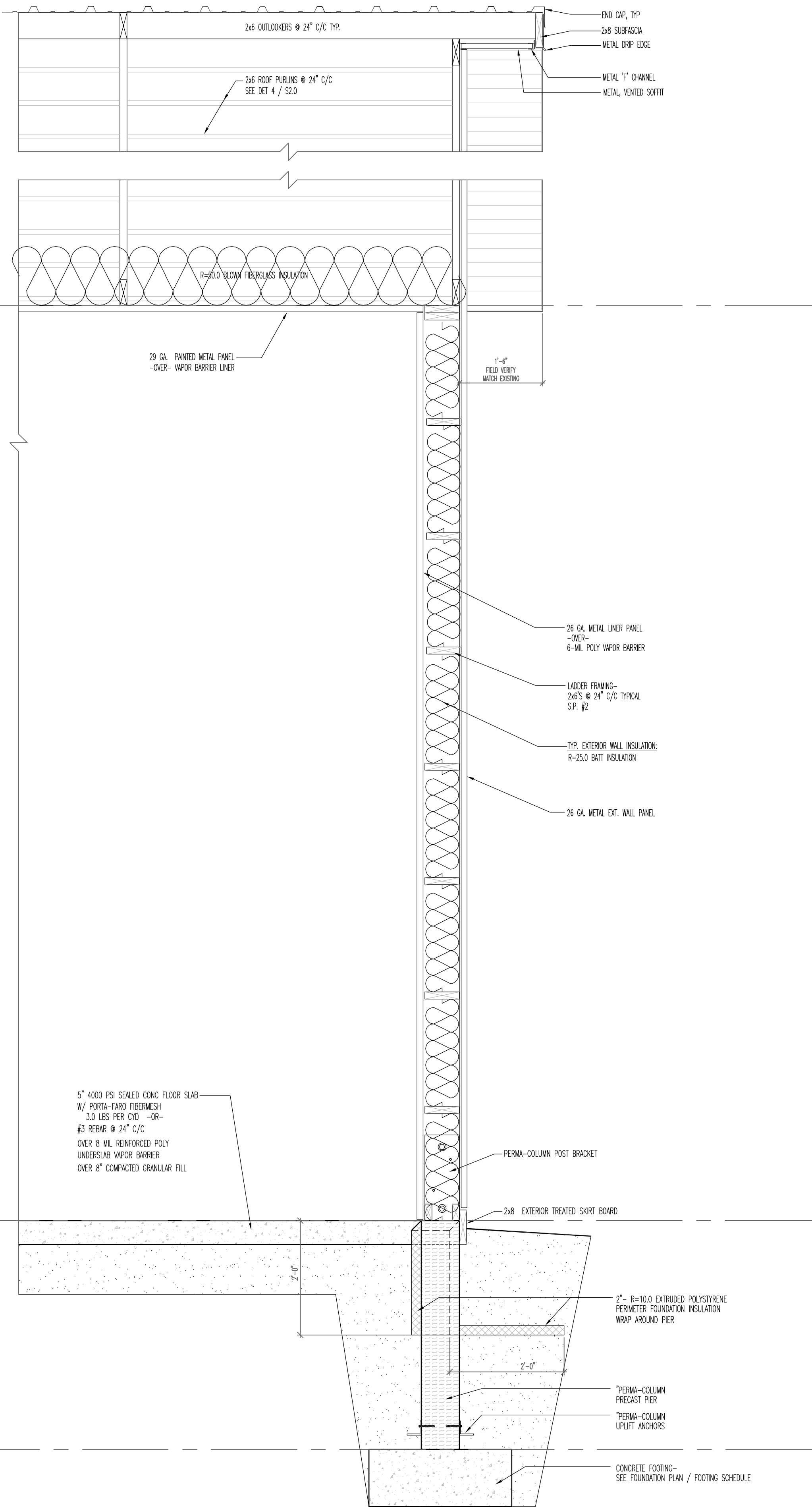
1
A3.1

Wall Section
3/4" = 1'-0"



2
A3.1

Wall Section
3/4" = 1'-0"



3
A3.1

Wall Section
3/4" = 1'-0"

STRUCTURAL DESIGN DATA:

DESIGN CODE:

2015 INTERNATIONAL BUILDING CODE (IBC)

SOIL LOAD:

ALLOWABLE NET SOIL BEARING PRESSURE (ASSUMED)	2,000 PSF
SOILS REPORT AVAILABLE	NO

*SEISMIC LOAD:

SEISMIC USE GROUP / RISK CATEGORY	IV
SEISMIC LOAD IMPORTANCE FACTOR (I _s)	1.5
SEISMIC SITE CLASS	D (ASSUMED)
MAPPED SPECTRAL RESPONSE ACCELERATION (S _s)	0.057
MAPPED SPECTRAL RESPONSE ACCELERATION (S ₁)	0.037
SPECTRAL RESPONSE COEFFICIENT (S _{ds})	0.061
SPECTRAL RESPONSE COEFFICIENT (S _{d1})	0.059
SEISMIC DESIGN CATEGORY	A

*WIND LOAD:

BASIC WIND SPEED	120 MPH
WIND LOAD IMPORTANCE FACTOR (I _w)	1.0
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENTS	± 0.18

ROOF DESIGN LOAD:

ROOF LIVE LOAD	20 PSF
ROOF DEAD LOAD	15 PSF

*SNOW LOAD:

DESIGN SNOW LOAD	34 PSF
GROUND SNOW LOAD	40 PSF
SNOW EXPOSURE FACTOR (C _e)	1.0
SNOW IMPORTANCE FACTOR (I _s)	1.0
THERMAL FACTOR (C _t)	1.0

UNBALANCED LOAD:	
WINDWARD	10.1 PSF
LEEWARD	47.8 PSF
DRIFT LOADS	N/A

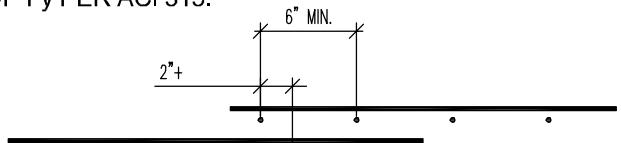
* SEISMIC, WIND, AND SNOW LOAD CALCULATIONS AND DESIGN DATA SHALL BE PERFORMED AND SUPPLIED BY THE TRUSS MANUFACTURER.

CONCRETE CAST-IN-PLACE NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (MOST CURRENTLY ADOPTED EDITION)
- CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO PLACING CONCRETE TO FACILITATE ON-SITE OBSERVATION OF REBAR.
- WHEN THE AVERAGE TEMPERATURE FROM MIDNIGHT IS EXPECTED TO DROP BELOW 40 DEGREES FAHRENHEIT FOR THREE SUCCESSIVE DAYS, COLD WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED, REFER TO ACI 306R.
- WHEN AMBIENT AIR OR CONCRETE TEMPERATURE EXCEEDS 90 DEGREES FAHRENHEIT, STEEL REINFORCING AND/OR FORMING SURFACES ARE ABOVE 120 DEGREES FAHRENHEIT, OR WHEN WIND VELOCITY, HUMIDITY, OR SOLAR RADIATION CREATE CONDITIONS OF ACCELERATED MOISTURE LOSS AND INCREASE RATE OF HYDRATION, HOT WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED. REFER TO ACI 305R.
- ALL CONCRETE SURFACES SHALL BE FORMED OR APPROVED BY ENGINEER.
- CONCRETE COLUMNS OR PIERS SHOWN INTEGRAL WITH CONCRETE WALLS SHALL BE POURED MONOLITHICALLY WITH ADJACENT CONCRETE WALLS.
- CONTROL JOINTS SHALL BE CUT USING A SOFF-CUT SAW OR EQUAL AS SOON AS POSSIBLE AFTER PLACING. PREFERABLY THE SAME DAY AS THE POUR, BUT IN NO CASE SHALL THE CONTROL JOINTS BE CUT MORE THAN 24 HOURS AFTER PLACING THE CONCRETE.
- PROVIDE WALL CONSTRUCTION JOINTS AS SHOWN IN DETAILS. ALLOW AT LEAST 24 HOURS BETWEEN POURING ADJACENT WALL SECTIONS AT CONSTRUCTION JOINTS.
- PROVIDE ISOLATION JOINTS WHERE SLABS ABUT VERTICAL SURFACES AS SHOWN.
- SLEEVES, CONDUITS, OR PIPES THROUGH SLABS AND WALLS SHALL BE PLACED AT THREE DIAMETERS O.C., OR 4" MINIMUM.
- ALUMINUM CONDUIT OR PIPING SHALL NOT BE CAST IN CONCRETE.

CONCRETE REINFORCEMENT NOTES:

- REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (MOST CURRENTLY ADOPTED EDITION)
- PROVIDE MINIMUM COVER PER ACI 318, 7.7.1 ALSO SEE **MILD STEEL PROTECTION NOTES**
- WIRE SPACERS, CHAIRS, TIES, ETC. FOR SUPPORT OF STEEL REINFORCING SHALL BE PROVIDED BY THE CONCRETE CONTRACTOR TO ENSURE REINFORCING IS PLACED AND MAINTAINED IN THE PROPER POSITION DURING CONCRETE PLACEMENT.
- ALL HOOKS IN STEEL REINFORCING SHALL BE ACI STANDARD HOOKS.
- TERMINATE NON-CONTINUOUS STEEL REINFORCING WITH AN ACI STANDARD HOOK IF REQUIRED EMBEDMENT SHOWN ON DRAWINGS CANNOT BE OBTAINED.
- ALL LAPS SHALL BE CLASS "B" PER ACI 318 ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TO BAR LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 " DEEP.
- STEEL REINFORCING SPLICES OF ADJACENT BARS SHALL BE STAGGERED SUCH THAT SPLICES ARE MINIMUM 4 FEET APART.
- CORNER BARS WITH CLASS "B" LAP PER ACI 318 SHALL BE PROVIDED AT ALL WALL CORNERS AND ALL INTERSECTIONS.
- PROVIDE STEEL REINFORCING AROUND OPENINGS IN CONCRETE WALLS AND SLABS.
- PROVIDE STEEL REINFORCING AT FOOTING STEPS.
- WELDED WIRE REINFORCING SHALL BE IN FLAT SHEETS ONLY AND SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 315.



- WELDING OF STEEL REINFORCEMENT IS NOT PERMITTED, UNLESS APPROVED BY ENGINEER.
- BEND REINFORCING STEEL AROUND ALL CORNERS AND LAP A MINIMUM OF 33 BAR DIAMETERS (UNO).
- MINIMUM STEEL TENSILE STRENGTH SHALL BE 60 KSI.
- CLEAR DISTANCE BETWEEN BARS OR LAYERS OF BARS SHALL BE ONE FLEXURAL BAR DIAMETER BUT NOT LESS THAN 1" OR LESS THAN 1 1/3 TIMES THE MAXIMUM SIZE OF COURSE AGGREGATE WHICH EVER IS GREATER.
- ANCHOR BOLTS SHALL BE A MINIMUM 1/2" DIAMETER ASTM F1554 (A307) BOLTS, EMBEDDED A MINIMUM OF 7" INTO CONCRETE, SPACED A MAXIMUM OF 6" (72" OC (UNO) AND LOCATED WITHIN 4"-12" FROM ENDS OF WALL PLATES. ALL INDIVIDUAL WALL PLATE SECTIONS SHALL HAVE A MINIMUM OF TWO ANCHOR BOLTS. ALL ANCHOR BOLTS SHALL INCLUDE A PROPERLY SIZED NUT AND WASHER ATOP WALL PLATES.

STRUCTURAL STEEL:

- ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO THE AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"
- SHOP DRAWINGS PREPARED IN ACCORDANCE WITH THE "STRUCTURAL STEEL DETAILING MANUAL" OF THE AISC SHALL BE SUBMITTED FOR APPROVAL. NO FABRICATION SHALL BEGIN UNTIL SHOP DRAWINGS ARE COMPLETED AND APPROVED.
- UNLESS NOTED OTHERWISE, STRUCTURAL STEEL WIDE FLANGES AND TEES SHALL CONFORM TO A992, GRADE 50. ROUND, SQUARE AND RECTANGULAR HSSM F3125 (A325 OR A490) BOLTS SHALL CONFORM TO ASTM A500, GRADE B. ROUND PIPES SHALL CONFORM TO ASTM A53, GRADE B. ALL OTHER SHAPES SHALL CONFORM TO ASTM A36 OR A572, GRADE 50.
- STEEL FRAMING CONNECTIONS SHALL BE BOLTED OR WELDED.
 - BOLTED JOINTS SHALL CONFORM TO AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM F3125 (A325 OR A490) BOLTS". BOLTS SHALL CONFORM TO ASTM F3125, AND SHALL BE MINIMUM 3/4" DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE CONSIDERED BEARING TYPE WITH BOLTS PRE-TENSIONED, UNLESS OTHERWISE NOTED. PROVIDE DIRECT TENSION INDICATORS (LOAD INDICATING WASHERS) IN ACCORDANCE WITH ASTM F959 OR TENSION CONTROL BOLTS (TWIST OFF BOLTS) IN ACCORDANCE WITH ASTM F1852 FOR ALL HIGH STRENGTH BOLTS.
 - WELDS SHALL CONFORM TO THE "STRUCTURAL WELDING CODE" OF THE AMERICAN WELDING SOCIETY, AWS D1.1. USE E70XX ELECTRODES. WELDING PROCESSES AND OPERATORS SHALL BE QUALIFIED IN ACCORDANCE WITH AWS "STANDARD QUALIFICATIONS PROCEDURES". WELDERS SHALL CARRY PROOF OF QUALIFICATIONS IN THEIR PERSONS.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554, GR 55, S1, (WELDABLE) UNLESS NOTED OTHERWISE. THE END OF THE ANCHOR ROD INTENDED TO PROJECT FROM THE CONCRETE SHALL BE STEEL DIE STAMPED WITH THE GRADE IDENTIFICATION AS REQUIRED BY SUPPLEMENT S3.
- DO NOT USE GAS CUTTING TORCHES FOR CORRECTING FABRICATION ERRORS IN THE STRUCTURAL FRAMING.
- UNLESS NOTED OTHERWISE BEAM END CONNECTIONS SHALL BE PROPORTIONED AS FOLLOWS:
 - MINIMUM 3/8" THICK X 4" WIDE X FULL DEPTH WEB OF BEAM SHEAR TAB CONNECTION. ATTACH SHEAR TAB TO CONNECTION MEMBER WITH MINIMUM 3/16" FILLET WELD CONTINUOUS AT BOTH SIDES. ATTACH BEAM END TO SHEAR TAB WITH 3/4" DIAMETER BOLTS WITH WASHERS AT MINIMUM 2" O.C. SPACING, AND
 - WHERE BEAM REACTIONS ARE SHOWN, CONNECTIONS SHALL DEVELOP THE REACTION GIVEN, OR
 - WHERE BEAM REACTIONS ARE NOT SHOWN, CONNECTIONS SHALL BE PROPORTIONED TO SUPPORT 60% OF THE TOTAL UNIFORM LOAD CAPACITY (ULC) SHOWN IN THE UNIFORM LOAD TABLES OF THE AISC MANUAL, FOR THE SPECIFIED BEAM SIZE, SPAN, AND GRADE OF STEEL SPECIFIED. FOR COMPOSITE BEAMS, PROPORTION CONNECTORS FOR 90% OF THE ULC. CONNECTIONS SHALL BE PROPORTIONED FOR THE ECCENTRICITY BETWEEN THE CONNECTION CENTROID AND THE CENTROID OF THE SUPPORTING MEMBER.
- PLACE NON-SHRINK, HIGH STRENGTH GROUT (MINIMUM 6,000 PSI) UNDER BASE PLATES AFTER SETTING AND LEVELING, AND PRIOR TO PLACING ELEVATED SLAB CONCRETE.
- STEEL CONSTRUCTION SHALL BE INSPECTED BY A QUALIFIED SPECIAL INSPECTOR. SEE SCHEDULE FOR SPECIAL INSPECTIONS FOR ADDITIONAL INFORMATION.
 - BOLTED CONNECTIONS SHALL BE INSPECTED IN ACCORDANCE WITH AISC 348 "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS".
 - ALL FILLET WELDS SHALL BE VISUALLY INSPECTED.
 - ALL PENETRATION WELDS SHALL BE TESTED IN ACCORDANCE WITH ASTM E164.
 - WELDING OF WELDED STUD CONCRETE ANCHORS AND DBA'S SHALL BE INSPECTED IN ACCORDANCE WITH AWS D1.1.
 - TEST 15% OF ALL STUDS. RETEST ALL STUDS AND DBA'S ON ANY MEMBER WHERE STUDS FAILED INITIAL TESTING.
 - WRITTEN REPORTS SHALL BE SUBMITTED DESCRIBING ALL INSPECTIONS AND INDICATING ANY NON-CONFORMING WORK. RE-INSPECT NON-CONFORMING WORK AFTER IT IS CORRECTED.
- PROVIDE TEMPORARY BRACING OF STRUCTURAL FRAMING UNTIL ALL PERMANENT BRACING, MOMENT CONNECTIONS AND FLOOR AND ROOF DECKS (DIAPHRAGMS) ARE COMPLETELY INSTALLED. THE STRUCTURAL ELEMENTS ARE UNSTABLE UNTIL THE STRUCTURE IS COMPLETED IN ACCORDANCE WITH THE PLANS.
- SHEAR CONNECTORS: PROVIDE AWS D1.1, TYPE B, 3/4" DIAMETER, SOLID FLUXED HEADED SHEAR CONNECTOR STUDS AUTOMATICALLY END WELDED THROUGH THE METAL DECK AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
 - WHERE THE THICKNESS OF THE BEAM FLANGE IS LESS THAN 0.3", STUDS SHALL BE LOCATED DIRECTLY OVER THE WEB.
 - THE MINIMUM CENTER-TO-CENTER SPACING OF STUDS SHALL BE 4.5" ALONG THE LONGITUDINAL AXIS OF THE BEAM AND 3" TRANSVERSE TO THE LONGITUDINAL AXIS OF THE BEAM. THE MINIMUM DISTANCE TO THE EDGE OF THE BEAM FLANGE SHALL BE 1 1/4" WHERE STUDS ARE PLACED IN PAIRS.
- DEFORMED BAR ANCHORS (DBA'S): FLUX FILLED BARS AUTOMATICALLY WELDED TO STRUCTURAL STEEL IN ACCORDANCE WITH THE RECOMMENDATION OF THE MANUFACTURER. PROVIDE MATERIAL WITH MINIMUM YIELD STRENGTH OF 50 KSI.
- PROVIDE CAP PLATES AT ALL COLUMNS, AT BEARING CONDITIONS, PROVIDE 3/4" MINIMUM THICKNESS. AT NON-BEARING CONDITIONS, PROVIDE 1/4" THICKNESS. WELD CAP PLATES ALL AROUND TO COLUMNS.
- UNLESS NOTED OTHERWISE, ALL EXPOSED STRUCTURAL AND MISCELLANEOUS STEEL, PLATES, BOLTS, AND ANCHORS SHALL BE GALVANIZED OR PAINTED WITH APPROVED RUST INHIBITING PRIMER.
- THE STRUCTURAL DESIGN OF STEEL STAIRS, LANDINGS AND GUARDRAILS (INCLUDING EMBEDS) SHALL BE PERFORMED BY A STRUCTURAL ENGINEER REGISTERED IN THE PROJECT STATE. CALCULATIONS AND SHOP DRAWINGS WITH THE ENGINEER'S SEAL SHALL BE SUBMITTED FOR APPROVAL. NO FABRICATION SHALL BEGIN UNTIL THE SUBMITTAL IS APPROVED. DESIGN LOADS SHALL BE AS SPECIFIED BY THE CONTRACT DOCUMENTS AND/OR THE APPLICABLE CODES WHICHEVER IS MORE STRINGENT. THE CONTRACTOR SHALL MAKE APPROVED SHOP DRAWINGS AVAILABLE TO THE INSPECTOR AT THE JOB SITE PRIOR TO SPECIAL INSPECTION.

REINFORCED MASONRY:

- ALL MASONRY UNITS ARE PLACED IN RUNNING BOND FASHION. CORNERS SHALL HAVE A STANDARD BOND BY OVERLAPPING UNITS.
- SPECIAL SHAPES SHALL BE PROVIDED FOR JAMBS, COLUMNS, PILASTERS, CONTROL JOINTS, CORNERS, AND LINTELS.
- ALL MASONRY WALLS SHALL HAVE HORIZONTAL JOINT REINFORCING SPACED AT 16" O.C. HORIZONTAL JOINT REINFORCING SHALL BE LADDER-TYPE OR TRUSS-TYPE AND FABRICATED WITH GALVANIZED NINE-GAUGE WIRE AND SHALL INCLUDE CORNER AND INTERSECTING WALL PIECES. PROVIDE MINIMUM 6" LAPS AT ALL SPLICES.
- VERTICAL REINFORCING SHALL BE HELD IN PLACE BY REBAR POSITIONERS, CROSSTIES, CHAIRS, OR TYING TO EVERY OTHER LAYER OF HORIZONTAL REINFORCING STEEL. REFER TO THE DETAIL IN THE DRAWINGS FOR VERTICAL REINFORCING BAR LOCATION IN A CORE.
- PROVIDE CONCRETE COVER OF MINIMUM 1/2" TO FACE SHELL.
- REFER TO DETAIL IN THE DRAWINGS FOR REINFORCING BAR LAP LENGTHS.
- EXTEND VERTICAL REINFORCING FROM FOOTINGS TO 2" CLEAR TOP OF WALL OR TO BEAM BEARING. EXTEND VERTICAL REINFORCING INTO THE NEXT LEVEL OF CONSTRUCTION AND LAP IN ACCORDANCE WITH THE LAP SCHEDULE.
- WHEN TYPICAL VERTICAL WALL REINFORCING IS INTERRUPTED BY LONG WALL OPENINGS, PROVIDE TYPICAL VERTICAL WALL REINFORCING ABOVE AND BELOW OPENING, AND EXTEND INTO HORIZONTAL BOND BEAMS. REFER TO THE SCHEDULE ON THE DRAWINGS. FOR MASONRY WALL OPENINGS LINTELS, REFER TO THE DETAIL IN THE DRAWINGS FOR MASONRY OPENINGS MINIMUM JAMB REINFORCING.
- PROVIDE VERTICAL REINFORCING AT THE ENDS OF WALLS AND AT WALL INTERSECTIONS TO MATCH SPECIFIED REINFORCING. RUN REINFORCING FULL HEIGHT OF WALLS.
- ALL MASONRY UNITS SHALL BE PLACED WITH FULL FACE SHELL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS SHALL ALSO HAVE FULL MORTAR COVERAGE AROUND ALL GROUTED CELLS.
- FILL BLOCK CORE AT VERTICAL REINFORCING WITH CONCRETE GROUT. FILLING CORES WITH MORTAR IS NOT ALLOWED. VIBRATE IN PLACE. RODING AND PUDDLING ARE NOT ALLOWED.
- SEE TABLE 7 OF TMS 402/ACI 530/ ASCE 5 FOR GROUT SPACE REQUIREMENTS FOR MAXIMUM GROUT POUR HEIGHTS. FOR CONCRETE CORE FILL POUR HEIGHT ABOVE 5'-0" PROVIDE CLEANOUTS.
- MASONRY CEMENT MORTAR IS NOT ALLOWED.
- CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE SHALL NOT BE USED IN MORTAR OR GROUT.
- FOR REINFORCED MASONRY BOND BEAMS, PROVIDE BENT CORNER BARS AT CORNERS AND INTERSECTIONS THAT MATCH REINFORCING. STEP BOND BEAMS AS NECESSARY TO MATCH ROOF SLOPES. LAP REINFORCING BARS PER SCHEDULE.
- FOR CONSTRUCTION OF MASONRY CONTROL JOINTS REFER TO DETAIL IN DRAWINGS.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS PLACE CONTROL JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF WALL IS MORE THAN 24'-0" AND WITHIN 4'-0" OF CORNERS. DO NOT PLACE CONTROL JOINTS WITHIN 4'-0" OF A MASONRY OPENING JAMB OR A STEEL BEARING PLATE.
- PLACE BOND BEAM REINFORCING CONTINUOUSLY THROUGH CONTROL JOINTS. DO NOT SPLICE BOND BEAM REINFORCING WITHIN 6'-0" OF A CONTROL JOINT.
- PROVIDE BOND BEAM WITH REINFORCING AT ALL FLOOR LINES, ROOF LINES, AND TOP OF WALLS. REFER TO DETAILS IN THE DRAWINGS.
- GROUT BELOW STEEL BEARING PLATE AND REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO DRAWINGS FOR REINFORCING SCHEDULE, TOP OF WALL BRACING, THICKENED BEARING SLAB AND LINTEL SCHEDULE FOR NON-BEARING MASONRY WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT.

MASONRY BEAMS (HIGH-LOW BOND BEAMS):

- FOR ALL MASONRY BEAMS USE LINTEL BLOCKS.
- MASONRY BEAMS ARE TO BEAR 8 " MINIMUM AT JAMBS. EXTEND VERTICAL REINFORCING THROUGH MASONRY BEAM BEARING.
- EXTEND HORIZONTAL REINFORCING FULL LENGTH. REFER TO DETAIL IN THE DRAWINGS FOR STIRRUP CONFIGURATION.
- GROUT MASONRY BEAMS SOLID. MECHANICALLY VIBRATE GROUT IN PLACE.
- PROVIDE BRICK EXPANSION JOINT VERTICALLY AT THE EDGE OF THE MASONRY OPENING. STOP BRICK ANGLE AT EXPANSION JOINT. REFER TO PLAN FOR WALL ELEVATION DETAIL. LOCATE OTHER BRICK EXPANSION JOINTS PER ARCHITECTURAL DRAWINGS.

MATERIAL DESIGN PROPERTIES:

CONCRETE PROPERTIES:

USE	28 DAY PSI STRENGTH	MAX. RATIO H ₂ O : CEMENT	SLUMP (INCHES)	MAX. SIZE AGGREGATE	MIN. AIR ENTRAINMENT
WALLS	3,500	.62	3 ± 1	3/4"	4%
FOOTINGS	3,500	.62	3 ± 1	1-1/2"	0%
PIERS	3,500	.62	3 ± 1	3/4"	0%
INTERIOR FLOORS	3,500	.62	3 ± 1	3/4"	0%
EXTERIOR FLOORS	4,000	.48	3 ± 1	3/4"	6%
RETAINING WALLS/FTGS.	4,000	.48	3 ± 1	3/4"	6%

REINFORCING STEEL STRENGTHS:

BARS (ASTM A615, GRADE 60)	fy = 60,000 PSI
WELDED WIRE MESH (ASTM A 185)	fy = 65,000 PSI

STRUCTURAL STEEL STRENGTHS:

STEEL SUPPLIED BY METAL BUILDING MANUFACTURER	PER MTL BLDG SPECS
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OTHER: W SHAPES (ASTM A992, GR50) ANGLES, CHANNELS, PLATES, & BARS (ASTM A36) SQUARE & RECTANGULAR TS OR HSS SECTIONS (ASTM A500, GR B) HIGH STRENGTH BOLTS (ASTM F3125; A325 OR A490)	fy = 50,000 PSI fy = 36,000 PSI fy = 42,000 PSI
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MISCELLANEOUS STRUCTURAL NOTES:

- ENGINEER ASSUMES PIN BASED COLUMNS.
- CONNECTORS:**
 - FOR EXTERIOR AND INTERIOR APPLICATIONS WHERE EXPOSED TO MOISTURE, WHERE PRESSURE TREATED WOOD IS USED, AND FOR INTERIOR CORROSIVE ENVIRONMENTS ALL CONNECTORS SHALL BE HOT DIPPED GALVANIZED PER ASTM A 153A / 153M, OR STAINLESS STEEL, INCLUDING EXPANSION BOLTS, ANCHOR BOLTS, JOIST HANGERS, AND NAILS.
 - CONNECTION DESIGN TO WOOD OR STEEL FRAMING AND EVALUATION OF STRUCTURAL MEMBERS ADEQUACY BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE PROVIDED BY ALL SUBCONTRACTORS.
 - INSTALLER OF ANCHORS OR CORNERS OR ANGLES OR CONNECTIONS TO STRUCTURE IS RESPONSIBLE FOR ANCHOR DESIGN AND DETERMINATION OF STRUCTURAL COMPONENT ADEQUACY, DO NOT CUT REINFORCING BARS OR DAMAGE OTHER EMBEDMENTS.
- WORK BY OTHERS:**
 - ALL SUPPORTS, FRAMING, SUB-FRAMING, LIGHT GAUGE FRAMING, MISCELLANEOUS STEEL FRAMING, METAL FABRICATIONS, BRACING BRACKETS, HANGERS, CONNECTORS, EMBEDMENTS, FASTENERS, AND ATTACHMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS ARE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE ENGINEERED AND PROVIDED BY THE CONTRACTOR REQUIRING SUCH. WORK INCLUDES, BUT IS NOT LIMITED TO:
 - EVALUATION OF STRUCTURE FOR CONSTRUCTION EQUIPMENT LOADS SUCH AS FORKLIFTS, MATERIAL STOCKPILES, ETC.
 - EVALUATION OF STRUCTURE FOR INSTALLATION OF ANY NECESSARY SHORING FOR MOVING LOADS DURING INSTALLATION OF HEAVY EQUIPMENT.
 - WHERE DIMENSIONS OR WEIGHTS OF EQUIPMENT OR SYSTEMS ARE VARIABLE FROM MANUFACTURER TO MANUFACTURER, VERIFY DIMENSIONS AND WEIGHTS SHOWN ON DRAWINGS WITH SELECTED MANUFACTURER PRIOR TO ORDERING MATERIALS, NOTIFY ENGINEER OF DISCREPANCIES.
 - DO NOT SUSPEND POINT LOADS FROM ROOF SHEATHING OR ROOF PURLINS UNLESS APPROVED BY THE ENGINEER. INCLUDE, BUT ARE NOT LIMITED TO: HANGERS FOR CEILINGS, PIPES, DUCTS, STEEL STUDS, EQUIPMENT, ETC. CONTRACTOR INSTALLING SUCH POINT LOADS SHALL PROVIDE SUB-FRAMING TO TRANSFER LOAD TO THE STRUCTURE SUPPORTING DECK.
 - TEMPORARY LATERAL RESTRAINT AND DIAGONAL BRACING SHALL BE INSTALLED ACCORDING TO THE PROVISIONS OF BCSI CHAPTERS B1, B2, B7 AND/OR B10 (BUILDING COMPONENT SAFETY INFORMATION, BY TPI AND SBCA

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE YEAR SPECIFIC INTERNATIONAL BUILDING CODE (IBC) WITH STATE AMENDMENTS (IF ANY) AS NOTED IN THE "STRUCTURAL DESIGN DATA" TABLE ON THIS SHEET. REFERENCE TO OTHER STANDARD SPECIFICATIONS OR CODES SHALL MEAN THE BUILDING CODE ADOPTED EDITION OR THE NOTED EDITION, IF NOT BUILDING CODE ADOPTED.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AFFECTING NEW CONSTRUCTION BEFORE STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
- NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, TEMPORARY BRACING, ETC. THE STRUCTURAL SYSTEM AND ITS ELEMENTS SHALL NOT BE CONSIDERED STABLE UNTIL THE STRUCTURE IS COMPLETE.
- COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DOCUMENTS. NOTIFY THE ARCHITECT OF ANY CONFLICT AND/OR OMISSION.
- COORDINATE AND VERIFY FLOOR AND ROOF OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. FOR ADDITIONAL OPENINGS, INSERTS, SLEEVES, CURBS, PADS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DIMENSIONS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCY BEFORE STARTING SHOP DRAWINGS OR ANY WORK. FOR DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
- REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL. THE CONTRACTOR REMAINS SOLE RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

MILD REINFORCING STEEL PROTECTION NOTES:

THE FOLLOWING MINIMUM DIMENSIONS SHALL BE PROVIDED AS A CLEAR COVER FOR REINFORCING BARS IN STRUCTURAL MEMBERS:

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH:

FOOTINGS	3"
CONCRETE PERMANENTLY EXPOSED TO EARTH, MOISTURE OR WEATHER:	

WALLS, COLUMNS, PIERS:

UP THROUGH #5 BARS	1-1/2"
#6 THROUGH #18 BARS	2"

CONCRETE NOT EXPOSED TO EARTH, MOISTURE OR WEATHER:

SLABS, WALLS, AND JOISTS:

UP THROUGH #11 BARS	3/4"
#14 AND #18 BARS	1-1/2"

BEAMS, GIRDERS, AND COLUMNS:

PRINCIPAL REINFORCEMENT, TIES, STIRRUPS, OR SPIRALS	1-1/2"
---	--------

C A S H M A N

A S S O C I A T E S , I n c .

PH: (608) 237-7443

FAX: (608) 237- 7444

4798 County Road I

Sparta, WI 54656

PROJECT: **Richter Heating Additions and Remodeling**

LOCATION: 421 Water Tower Ct. Watertown, WI 53094

PROJECT OWNER: AG Contractors, LLC, N2624 County Rd. X Watertown, WI 53094

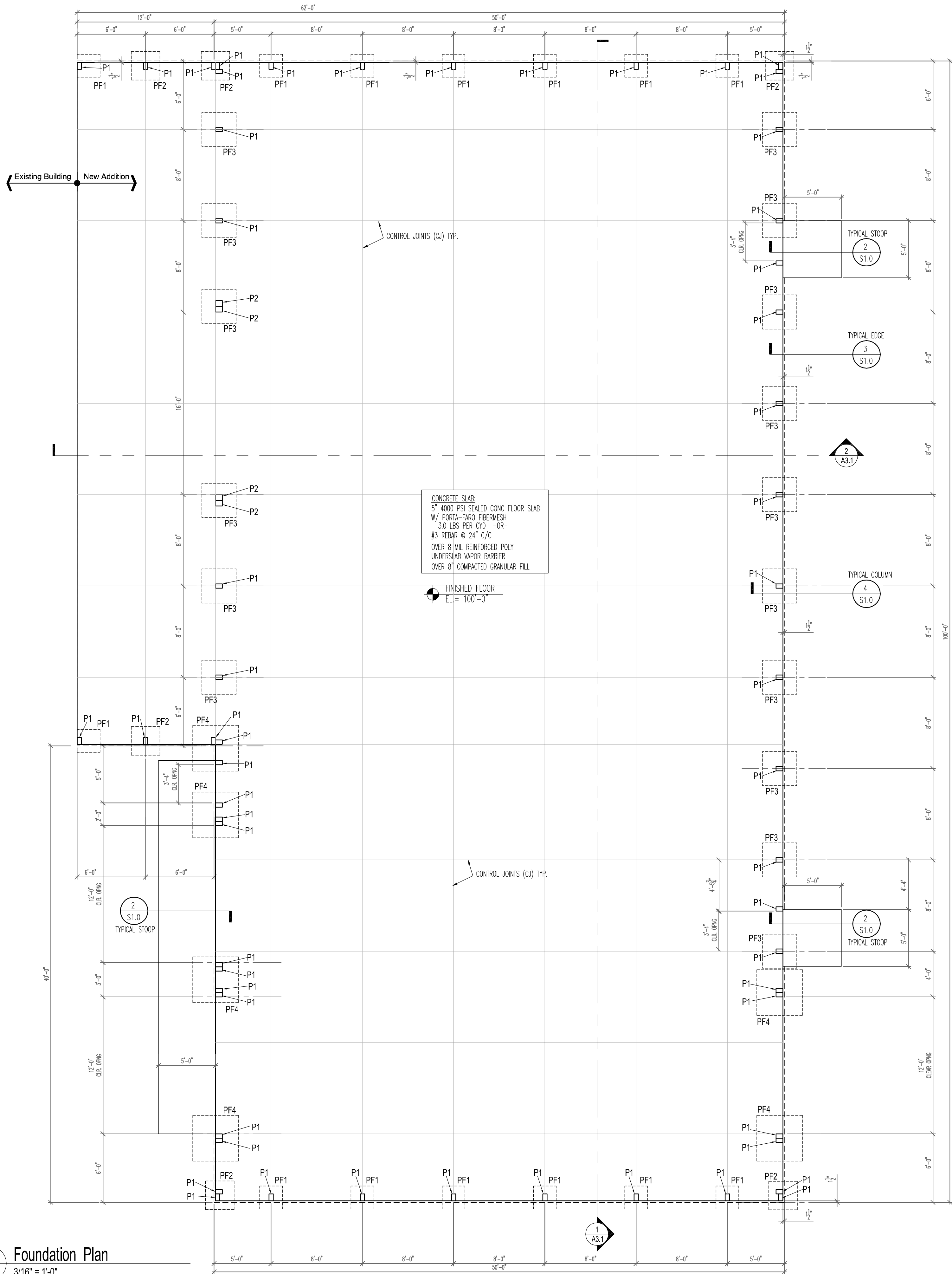
DATE: June 30, 2025

Section 3, Item C.

SHEET NUMBER: **S0.0**

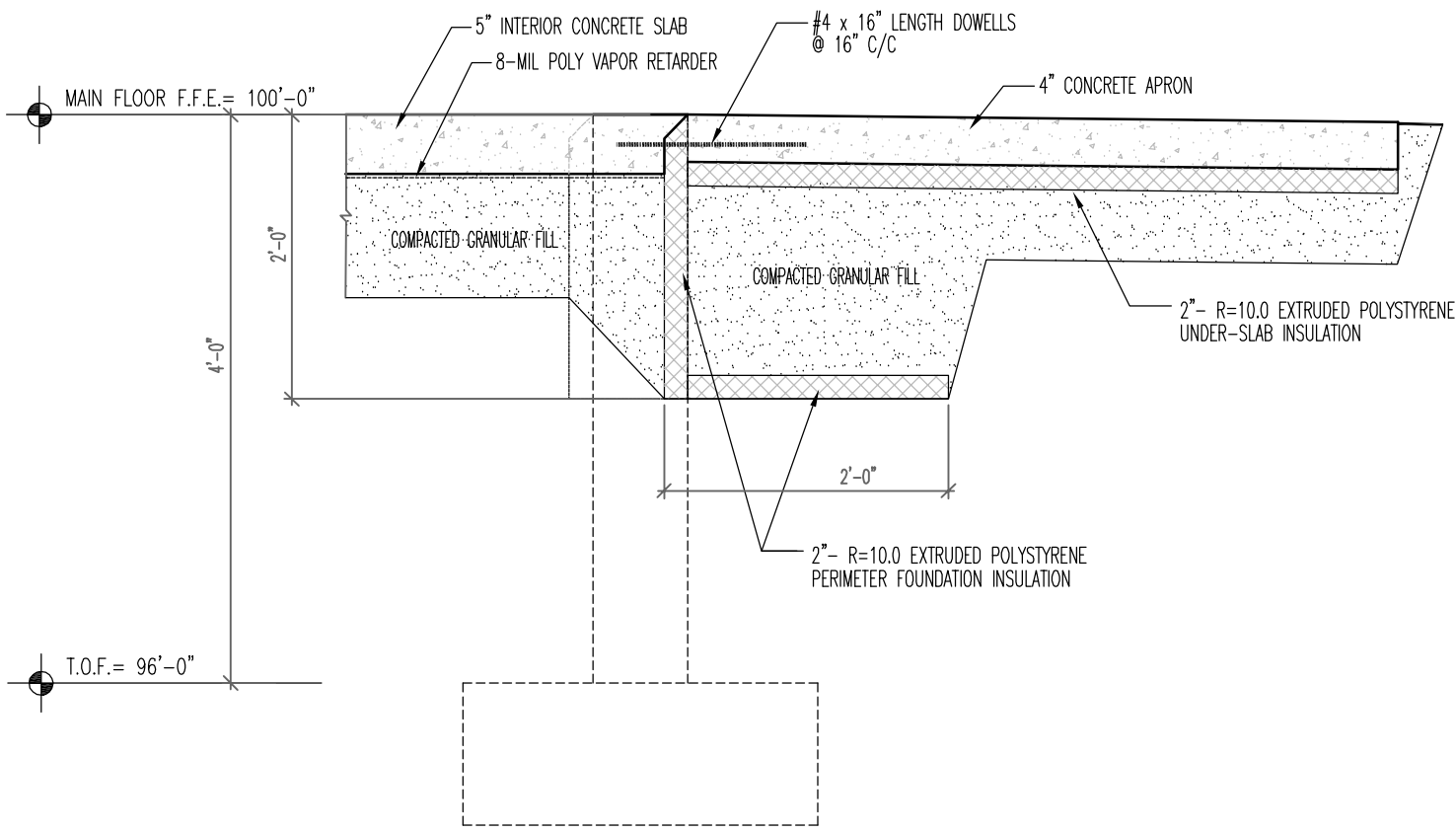
SHEET TITLE: **Structural Notes**

51

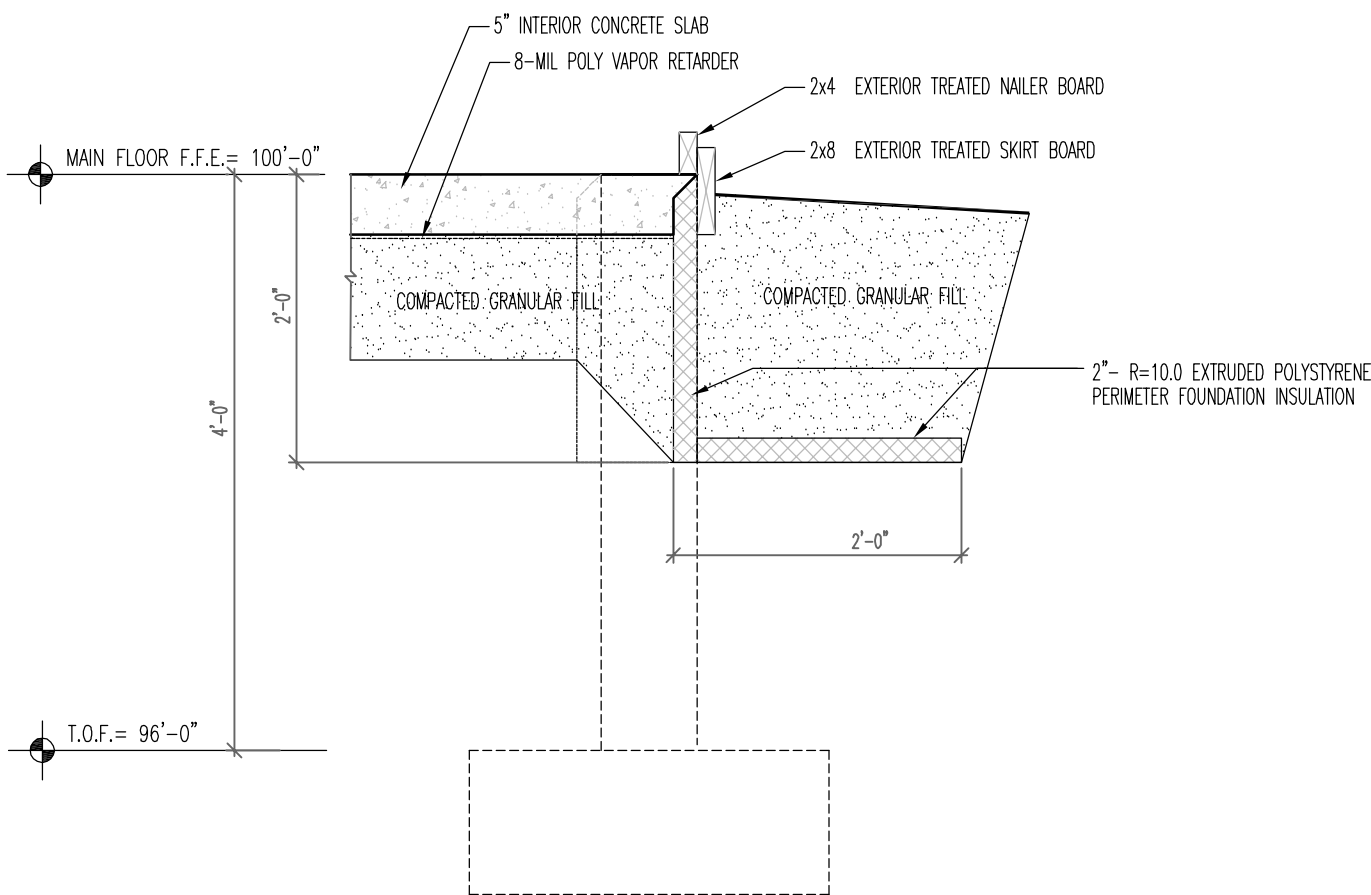


FOOTING SCHEDULE					
MARK	DIMENSIONS			REINFORCEMENT	REMARKS
	WIDTH	LENGTH	DEPTH		
PF1	24"	24"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF2	30"	30"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF3	36"	36"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF4	48"	48"	12"	#5 @ 12" O.C.E.W	PIER FOOTING

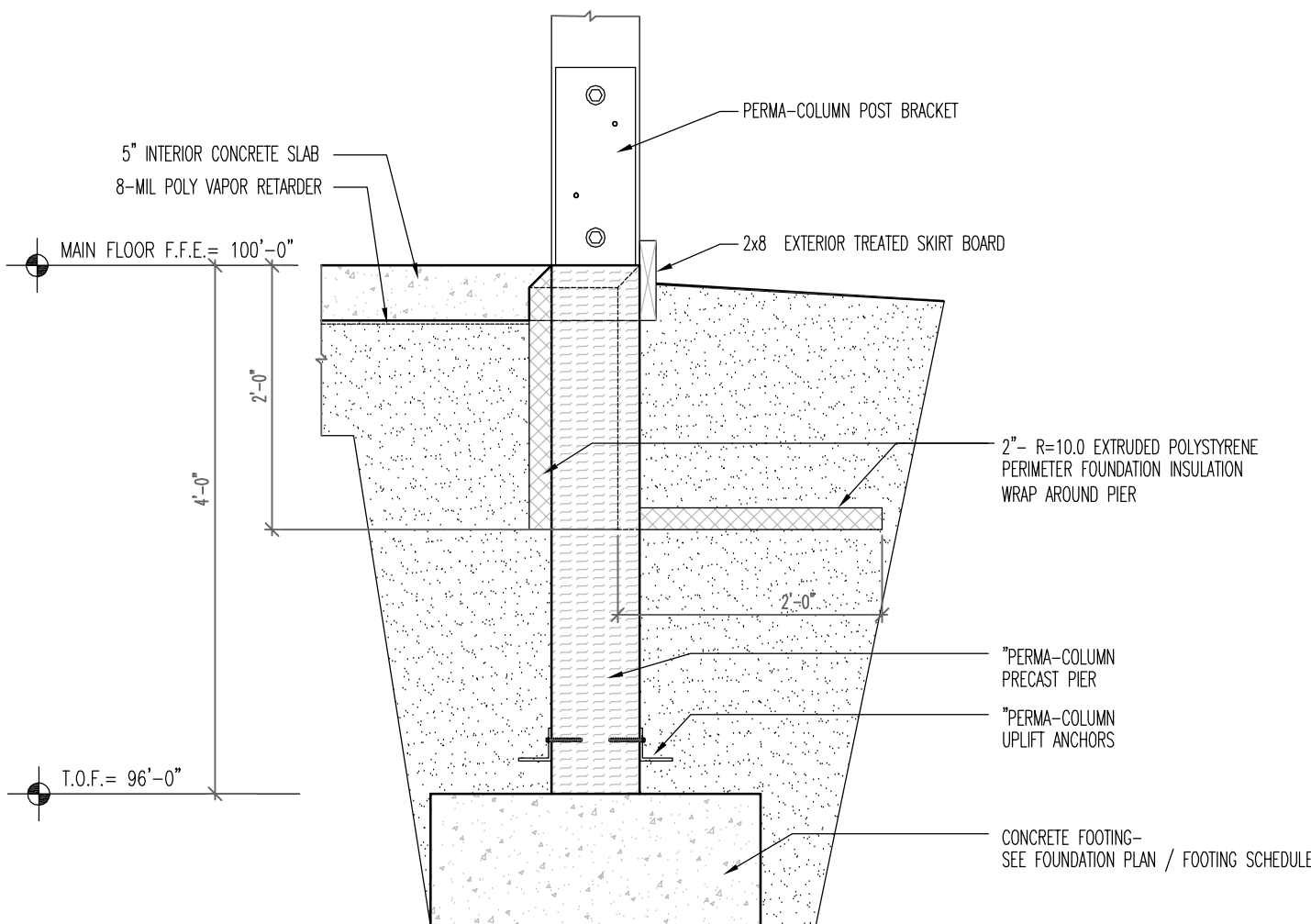
PERMA-COLUMN PIER SCHEDULE		
MARK	DIMENSIONS	PERMA-COLUMN MODEL ID
P1	3-PLY 2" x 8" NOMINAL	PC 8300
P2	4-PLY 2" x 8" NOMINAL	PC 8400



2
S1.0
Typical Stoop Detail
3/4" = 1'-0"



3
S1.0
Typical Edge Detail
3/4" = 1'-0"



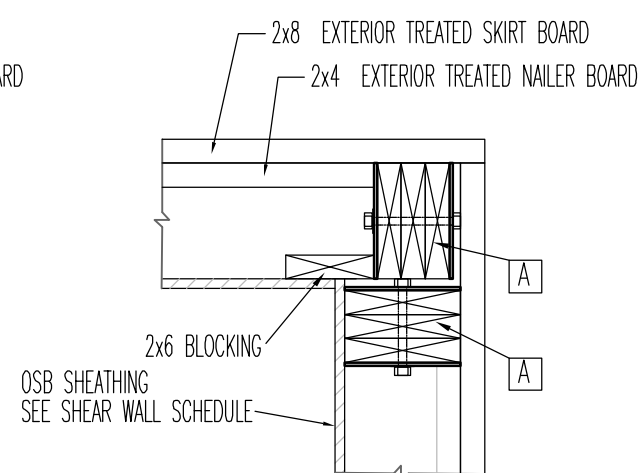
4
S1.0
Typical Edge Detail
3/4" = 1'-0"



3 Double Column Detail
S2.0 1/2" = 1'-0"

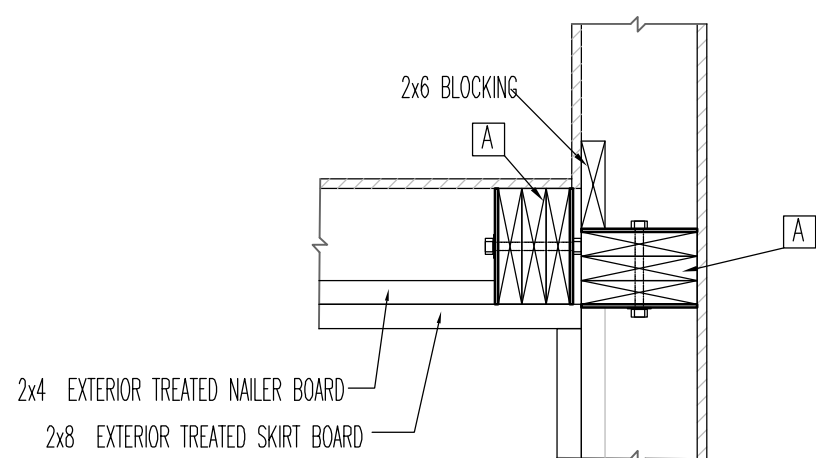


Roof Purlin Connection

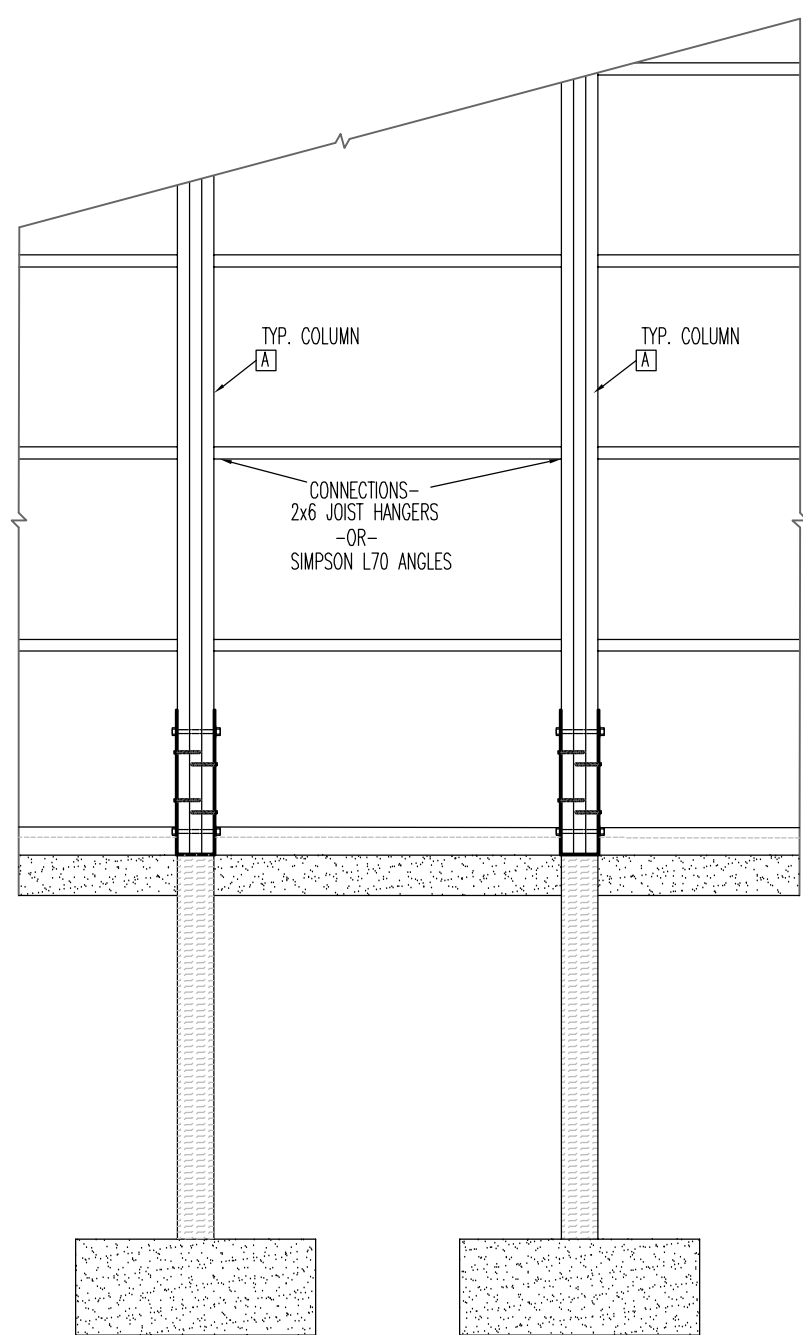


5 Corner Column Detail F
S2.0 1" = 1'-0"

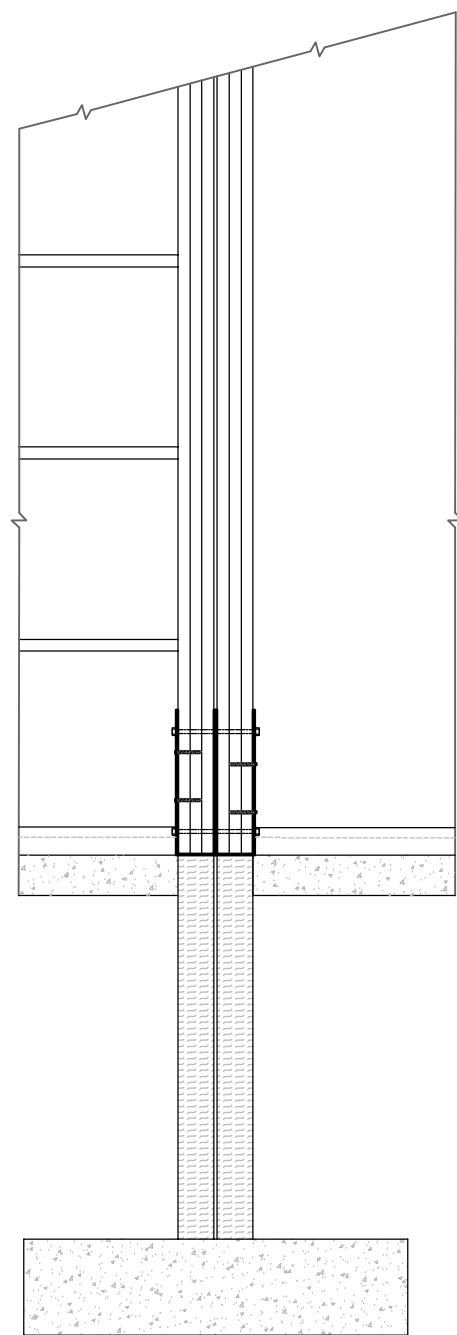
6 Corner Column Detail D
S2.0 1" = 1'-0"



7 Corner Column Detail E
S2.0 1" = 1'-0"



2 Ladder Framing Detail
S2.0 1/2" = 1'-0"



3 Double Column Detail
S2.0 1/2" = 1'-0"

H3: (2) 2x8's
W/ (1)- 2x8 Shoulder Studs and
(2) continuous 2x8 studs
Typ. each end

SHEET NUMBER: <h1>S2.0</h1>	SHEET TITLE: Framing Plans	CASHMAN ASSOCIATES, INC. PH: (608) 237-7443 FAX: (608) 237-7444	PROJECT: Richer Heating Additions and Remodeling 421 Water Tower Ct. Watertown, WI 53094	LOCATION: 421 Water Tower Ct. Watertown, WI 53094 Jefferson County	AG CONTRACTOR OWNER: AQ Contractors LLC N8241 County Rd X Watertown, WI 53094	REVISIONS	Section 3, Item C.
						NO.	
						TITLE	
						DATE	



City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

Scale: 1:2,053

SCALE BAR = 1"

Printed on: July 28,
Author:

54

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

TO: Plan Commission
DATE: August 11th, 2025
SUBJECT: 315 Mary Street – Preliminary Certified Survey Map (CSM)

A request by Bruce Loeb, agent for Mary Clark LLC., to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0912-013.

SITE DETAILS:

Existing Parcel(s) Acres: 2.85 acres
Proposed Lot Size(s): Lot 1 – 1.59 acres (69,108 S.F.)
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a new one-lot CSM from a portion of an existing City owned parcel. The purpose of the CSM is to facilitate a possible future apartment complex development. In July the Common Council approved a resolution to sell the portion of the City owned parcel and the proposed CSM creates the lot that would be transferred in that sale. The proposed CSM lot is located within the Airport Approach Protection Zone with a maximum elevation of 968 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. The ROW for Clark Street is adequate in this location. No ROW dedication is required. A storm sewer easement along the southeast corner of the lot will be conveyed to the City by another document.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the CSM.
2. Approve the CSM without conditions.
3. Approve the CSM with other conditions as identified by the City of Watertown Plan Commission:

STAFF RECOMMENDATION:

- Staff recommends approval of the CSM.

ATTACHMENTS:

- Application materials.

**RESOLUTION TO
APPROVE COUNTEROFFER ON OFFER TO PURCHASE CITY-OWNED
PROPERTY**

**SPONSOR: MAYOR STOCKS
FROM: FINANCE COMMITTEE**

WHEREAS, the Plan Commission previously approved consideration of sale of a portion of a City-owned parcel located at 315 Mary Street (Parcel PIN # 291-0815-0912-013) and the Finance Committee previously approved acceptance of a Vacant Land Offer to Purchase from Mary Clark LLC for same; and,

WHEREAS, City staff recommended the sale, seeing no future use for this portion of the property by the City; and,

WHEREAS, the property is being purchased to facilitate a multifamily residential development, which will also incorporate adjacent parcels owned by the developer, bringing the combined area to a higher use; and,

WHEREAS, the City Attorney has reviewed the Vacant Land Offer to Purchase and wishes to recommend language to be included in a counteroffer to Mary Clark LLC.

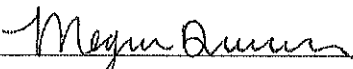
NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF WATERTOWN, WISCONSIN:

That the proper City Officials be and are hereby authorized to complete any necessary paperwork, legal filings, and closing to complete this transaction in accordance with the Vacant Land Offer to Purchase and Counter Offer No. 1 by Seller attached hereto as Exhibit 1.

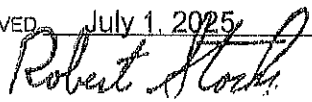
That this Resolution shall be in full force and effect upon its passage and adoption.

	YES	NO
DAVIS	✓	
LAMPE	✓	
BERG (2)	✓	
BARTZ	✓	
BLANKE	✓	
SMITH	ABSTAIN	
ARNETT (1)	✓	
WETZEL	✓	
MOLDENHAUER	✓	
MAYOR STOCKS	—	
TOTAL	8	0

ADOPTED July 1, 2025

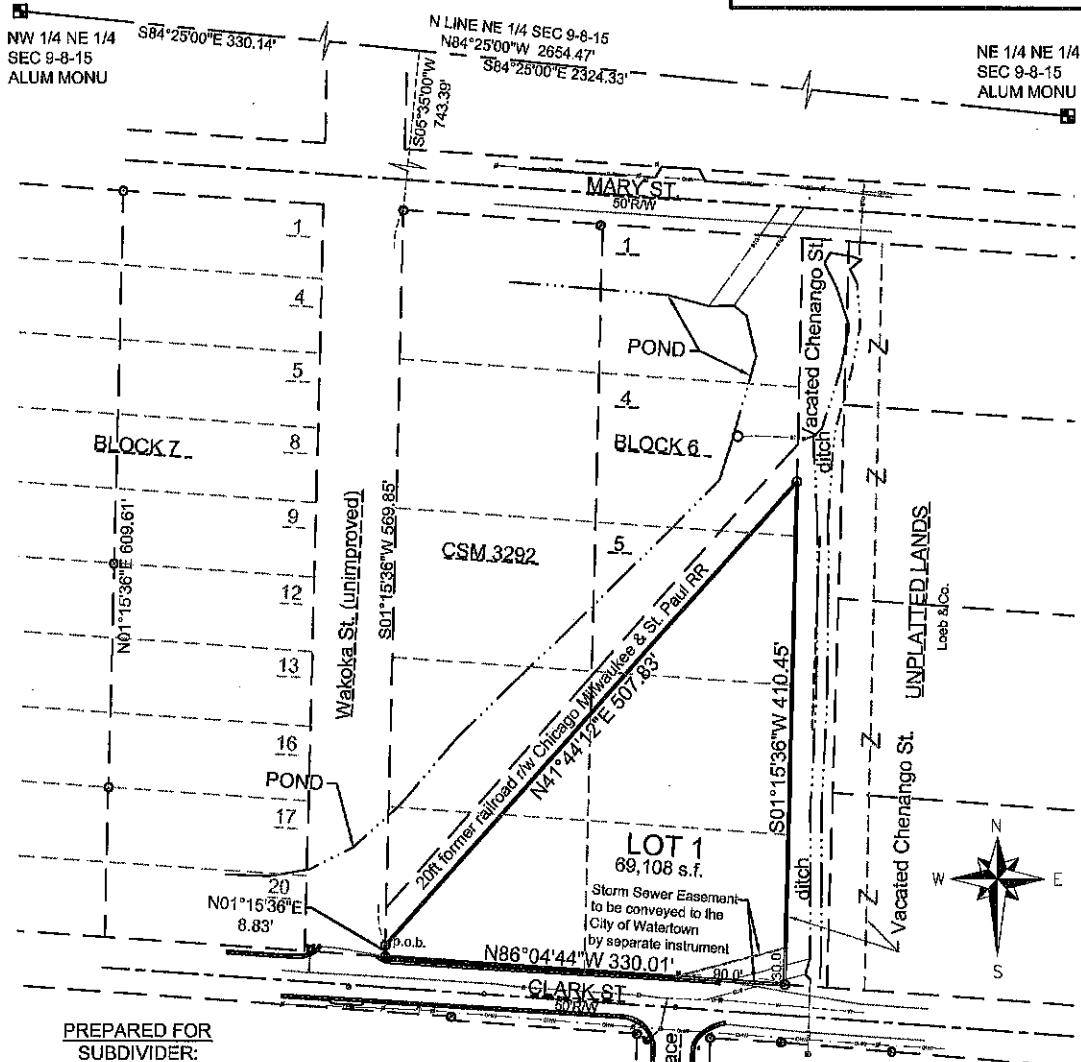

CITY CLERK

APPROVED July 1, 2025


MAYOR

CERTIFIED SURVEY MAP NO -

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN



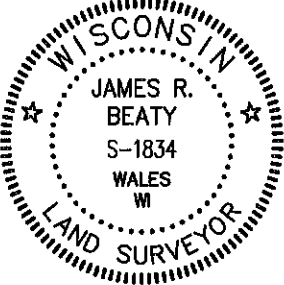
PREPARED FOR
SUBDIVIDER:
LOEB & COMPANY, LLP
PO BOX 229
WATERTOWN WI 53094

To be conveyed to future owner:
Mary Clark LLC

LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER CONC MONU W/ALUM CAP
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. (1.315 O.D.) IRON PIPE SET (UNLESS OTHERWISE NOTED)
- CHAIN LINK FENCE (UNLESS OTHERWISE NOTED)

OWNER:
CITY OF WATERTOWN
PO BOX 477
WATERTOWN, WI 53094



James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

NOTE:
Lots 1 has an Airport Approach Protection Zone Elevation limit of 968 above mean sea level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence

BEARING REFERENCE:
Bearings are referenced to the Wisconsin County Coordinate system, Jefferson County within which the North line of the NE 1/4 of Section 9, T8N, R15E was measured to bear N84°25'00"W
Vertical referenced to NGVD (88) & FEMA Datum

CERTIFIED SURVEY MAP NO - _____

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

SURVEYOR'S CERTIFICATE

I, James R. Beaty, Professional Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being a part of Block 6 of the recorded plat of A.L. Pritchard's Addition to Watertown, being in the Seventh Ward of the City of Watertown, Jefferson County, Wisconsin. all lands being a part of the northwest 1/4 and southwest 1/4 of the northeast 1/4 of Section 9, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin Said lands are bounded and described as follows:

Beginning at the found aluminum monument at the Northeast corner of the Northeast 1/4 of said Section 9; thence North 84°25'00" West, 2324.33 feet along the North line of said Northeast 1/4 of said Section 9 to a point; thence South 05°35'00" West, 743.39 feet to a found 1" iron pipe at the northwest corner of CSM 3292; thence South 01°15'36" West 569.85 feet along the west line of CSM 3292 and east line of unimproved Wakoka St to the point of beginning, lying on the southeasterly line of former Chicago Milwaukee & St Paul Railroad Company right of way; thence North 41°44'12" East, 507.83 feet along the southeasterly line of a tangent section of the former Chicago Milwaukee & St Paul Railroad Company right of way and its extension northeasterly to a point on the west line of vacated Chenango Street; thence South 01°15'36" West, 410.45 feet on the west line of vacated Chenango Street, to a point on the north line of Clark St.; thence North 86°04'44" West, 330.01 feet along said north line to a point on the west line of aforesaid Block 6 of the recorded plat of A.L. Pritchard's Addition to Watertown and and easterly line of unimproved Wakoka St.; thence North 01°15'36" East; 8.83 feet to the to the point of beginning. Said described lands containing 69,108 s.f. (1.5865 Acres), more or less of land.

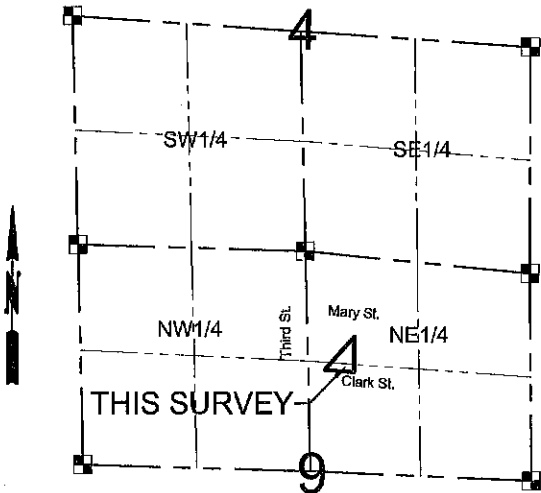
That I have made this survey, land division and map by the direction of The City of Watertown, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

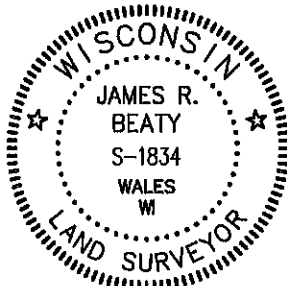
That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.

LOCATION MAP

N 1/2 SECTION 4
S 1/2 SECTION 9
T8N R15E



PREPARED BY / SURVEYOR:
Horizon Land Development Services, LLC
W313 S2562 Penny Lane
Wales, Wisconsin 53183
1-262-349-1575



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

CERTIFIED SURVEY MAP NO - _____

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

CORPORATE OWNER'S CERTIFICATE

The City of Watertown, a Wisconsin Municipal Corporation, organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said municipal entity caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.
Aforesaid owner, the City of Watertown, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said the City of Watertown, has caused these presents to be signed by Robert Stocks, its Mayor, and Megan Dunneisen, its Clerk on this _____, day of _____, 2025.

In the presence of:

The City of Watertown
Corporate Name

Robert Stocks, Mayor

Megan Dunneisen, Clerk

STATE OF WISCONSIN)
(SS
JEFFERSON COUNTY)

Personally came before me this _____ day of _____, 2025, Robert Stocks & Megan Dunneisen, of the above named municipal entity, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Mayor and Clerk of said municipal entity, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

Notary Public: Jefferson, Wisconsin
name

My commission expires _____, 20

PLAN COMMISSION APPROVAL

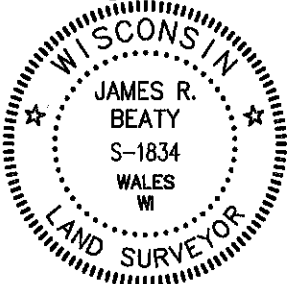
This Certified Survey Map, in the City of Watertown was hereby approved by the Plan Commission of the City of Watertown.

Approved as of this _____ day of _____, 2025.

Date: _____
Robert Stocks, Mayor

I hereby certify that the foregoing is a true and correct copy of a Certified Survey Map adopted by the Plan Commission of the City of Watertown.

Date: _____
Megan Dunneisen, City Clerk



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

CERTIFIED SURVEY MAP NO - _____

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SURVEYOR'S CERTIFICATE

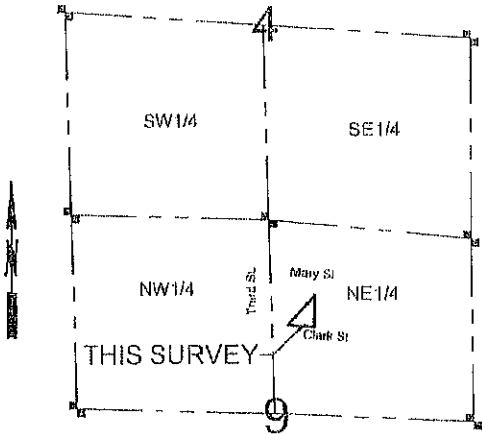
I, James R. Beatty, Professional Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being a part of Block 6 of the recorded plat of A.L. Pritchard's Addition to Watertown, being in the Seventh Ward of the City of Watertown, Jefferson County, Wisconsin. all lands being a part of the northwest 1/4 and southwest 1/4 of the northeast 1/4 of Section 9, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin. Said lands are bounded and described as follows:

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That I have made this survey, land division and map by the direction of The City of Watertown, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.



PREPARED BY / SURVEYOR:
Horizon Land Development Services, LLC
W313 S2582 Penny Lane
Wales, Wisconsin 53183
1-262-349-1575

N 1/2 SECTION 4
S 1/2 SECTION 9
T8N R15E

James R. Beatty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

CERTIFIED SURVEY MAP NO. _____

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CORPORATE OWNER'S CERTIFICATE

The City of Watertown, a Wisconsin Municipal Corporation, organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said municipal entity caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.
Aforesaid owner, the City of Watertown, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said the City of Watertown, has caused these presents to be signed by Robert Stocks, its Mayor, and Megan Dunnelsen, its Clerk on this _____, day of _____, 2025.

In the presence of:

The City of Watertown
Corporate Name

Robert Stocks, Mayor

Megan Dunnelsen, Clerk

STATE OF WISCONSIN)
(SS
JEFFERSON COUNTY)

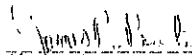
Personally came before me this _____ day of _____, 2025, Robert Stocks & Megan Dunnelsen, of the above named municipal entity, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Mayor and Clerk of said municipal entity, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

name Notary Public: Jefferson, Wisconsin
My commission expires _____, 20

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of Watertown this _____ day of _____, 2025.

Robert Stocks, Chair


James R. Beaty, R/S 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

Approved by the Wisconsin Real Estate Examining Board
7-1-24 (Optional Use Date) 8-15-24 (Mandatory Use Date)

Mawicke & Goisman, S.C.
Page 1 of 12, WB-13

WB-13 VACANT LAND OFFER TO PURCHASE

1 ~~LICENSEE DRAFTING THIS OFFER ON~~ February 27, 2025 ~~(DATE IS (AGENT OF BUYER)~~
2 ~~(AGENT OF SELLER/LISTING FIRM) (AGENT OF BUYER AND SELLER) (STRIKE THOSE NOT APPLICABLE)~~
3 The Buyer, Mary Clark LLC
4 offers to purchase the Property known as a portion of 315 Mary Street
5 (Tax Parcel No. 291-0815-0912-013), as shown on Exhibit A attached hereto
6 [e.g., Street Address, Parcel Number(s), legal description, or insert additional description, if any, at lines 655-660, or attach
7 as an addendum per line 682] in the City of Watertown, County
8 of Jefferson Wisconsin, on the following terms:
9 **PURCHASE PRICE** The purchase price is Seven Thousand
10 Dollars (\$ 7,000.00).
11 **INCLUDED IN PURCHASE PRICE** Included in purchase price is the Property, all Fixtures on the Property as of the date
12 stated on line 1 of this Offer (unless excluded at lines 17-18), and the following additional items: None.
13
14 **NOTE:** The terms of this Offer, not the listing contract or marketing materials, determine what items are included
15 or not included. Annual crops are not part of the purchase price unless otherwise agreed.
16 **NOT INCLUDED IN PURCHASE PRICE** Not included in purchase price is Seller's personal property (unless included at
17 lines 12-13) and the following: None.
18
19 **CAUTION:** Identify Fixtures that are on the Property (see lines 21-25) to be excluded by Seller or that are rented
20 and will continue to be owned by the lessor.
21 "Fixture" is defined as an item of property which is physically attached to or so closely associated with land so as to be
22 treated as part of the real estate, including, without limitation, physically attached items not easily removable without damage
23 to the premises, items specifically adapted to the premises and items customarily treated as fixtures, including, but not
24 limited to, all: perennial crops, garden bulbs; plants; shrubs and trees; fences; storage buildings on permanent foundations
25 and docks/piers on permanent foundations.
26 **CAUTION:** Exclude any Fixtures to be retained by Seller or that are rented on lines 17-18 or at lines 655-660 or in
27 an addendum per line 682.
28 **BINDING ACCEPTANCE** This Offer is binding upon both Parties only if a copy of the accepted Offer is delivered to Buyer
29 on or before March 14, 2025.
30 Seller may keep the Property on the market and accept secondary offers after binding acceptance of this Offer.
31 **CAUTION:** This Offer may be withdrawn prior to delivery of the accepted Offer.
32 **ACCEPTANCE** Acceptance occurs when all Buyers and Sellers have signed one copy of the Offer, or separate but identical
33 copies of the Offer.
34 **CAUTION:** Deadlines in the Offer are commonly calculated from acceptance. Consider whether short term
35 deadlines running from acceptance provide adequate time for both binding acceptance and performance.
36 **CLOSING** This transaction is to be closed on March 31, 2025
37
38 at the place selected by Seller, unless otherwise agreed by the Parties in writing. If the date for closing falls on a Saturday,
39 Sunday, or a federal or a state holiday, the closing date shall be the next Business Day.
40 **CAUTION:** To reduce the risk of wire transfer fraud, any wiring instructions received should be independently
41 verified by phone or in person with the title company, financial institution, or entity directing the transfer. The real
42 estate licensees in this transaction are not responsible for the transmission or forwarding of any wiring or money
43 transfer instructions.
44 **EARNEST MONEY**
45 ~~EARNEST MONEY of \$~~ accompanies this Offer,
46 ~~If Offer was drafted by a licensee, receipt of the earnest money accompanying this Offer is acknowledged.~~
47 ~~EARNEST MONEY of \$ 500.00~~ will be mailed, or commercially, electronically
48 or personally delivered within 5 days ("5" if left blank) after acceptance.
49 All earnest money shall be delivered to and held by (Listing Firm) (drafting Firm) (other identified as Fidelity Land
50 Title, Inc. (herein referred to as the "Firm") ~~(STRIKE THOSE NOT APPLICABLE)~~
51 (listing Firm if none chosen; if no listing Firm, then drafting Firm; if no Firm then Seller).
52 **CAUTION:** If a Firm does not hold earnest money, an escrow agreement should be drafted by the Parties or an
53 attorney as lines 56-76 do not apply. If someone other than Buyer pays earnest money, consider a special
54 disbursement agreement.
55 **THE BALANCE OF PURCHASE PRICE** will be paid in cash or equivalent at closing unless otherwise agreed in writing.

EXHIBIT

1

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 3 of 12, vwb-13

116 soil, or other potentially hazardous or toxic substances on the Property; manufacture of methamphetamine or other
 117 hazardous or toxic substances on the Property; or high voltage electric (100 KV or greater) or steel natural gas transmission
 118 lines located on but not directly serving the Property.
 119 g. Defects caused by unsafe concentrations of, unsafe conditions relating to, or the storage of, hazardous or toxic
 120 substances on neighboring properties.
 121 h. The Property is served by a joint well; Defects related to a joint well serving the Property; or Defects in a well on the
 122 Property or in a well that serves the Property, including unsafe well water due to contaminants such as coliform, nitrates, or
 123 atrazine, or any out-of-service wells or cisterns that are required to be abandoned (see § NR 812.26, Wis. Adm. Code) but
 124 that are not closed or abandoned according to applicable regulations.
 125 i. Defects in any septic system or other private sanitary disposal system on the Property; or any out-of-service septic
 system serving the Property not closed or abandoned according to applicable regulations.
 127 j. Underground or aboveground fuel storage tanks presently or previously on the Property for storage of flammable or
 128 combustible liquids including, but not limited to, gasoline or heating oil; or Defects in the underground or aboveground fuel
 129 storage tanks on or previously located on the Property. Defects in underground or aboveground fuel storage tanks may
 130 include items such as abandoned tanks not closed in conformance with applicable local, state, and federal law; leaking;
 131 corrosion; or failure to meet operating standards. (The owner, by law, may have to register the tanks with the Department
 132 of Agriculture, Trade and Consumer Protection at P.O. Box 8911, Madison, Wisconsin, 53708, whether the tanks are in use
 133 or not. Department regulations may require closure or removal of unused tanks.)
 134 k. Existing or abandoned manure storage facilities located on the property.
 135 l. Notice of property tax increases, other than normal annual increases, or pending Property tax reassessment;
 136 remodeling that may increase the Property's assessed value; pending special assessments; or Property is within a special
 137 purpose district, such as a drainage district, that has authority to impose assessments on the Property.
 138 m. Proposed, planned, or commenced public improvements or public construction projects that may result in special
 139 assessments or that may otherwise materially affect the Property or the present use of the Property; or any land division
 140 involving the Property without required state or local permits.
 141 n. The Property is part of or subject to a subdivision homeowners' association; or the Property is not a condominium unit
 142 and there are common areas associated with the Property that are co-owned with others.
 143 o. Any zoning code violations with respect to the Property; the Property or any portion thereof is located in a floodplain,
 144 wetland or shoreland zoning area under local, state or federal regulations; or the Property is subject to a mitigation plan
 145 required by Wisconsin Department of Natural Resources (DNR) rules related to county shoreland zoning ordinances, that
 146 obligates the Property owner to establish or maintain certain measures related to shoreland conditions, enforceable by the
 147 county.
 148 p. Nonconforming uses of the Property (a nonconforming use is a use of land that existed lawfully before the current zoning
 149 ordinance was enacted or amended, but that does not conform to the use restrictions in the current ordinance); conservation
 150 easements (a conservation easement is a legal agreement in which a property owner conveys some of the rights associated
 151 with ownership of his or her property to an easement holder such as a governmental unit or a qualified nonprofit organization
 152 to protect the natural habitat of fish, wildlife, or plants or a similar ecosystem, preserve areas for outdoor recreation or
 153 education, or for similar purposes); restrictive covenants or deed restrictions on the Property; or, other than public rights-of-
 154 way, nonowners having rights to use part of the Property, including, but not limited to, private rights-of-way and easements
 155 other than recorded utility easements.
 156 q. All or part of the Property has been assessed as agricultural land; has been assessed a use-value assessment
 157 conversion charge; or payment of a use-value assessment conversion charge has been deferred.
 158 r. All or part of the Property is subject to, enrolled in, or in violation of a farmland preservation agreement, Forest Crop
 159 Law, Managed Forest Law, the Conservation Reserve Program, or a comparable program.
 160 s. A dam is totally or partially located on the Property; or an ownership interest in a dam not located on the Property will
 161 be transferred with the Property because the dam is owned collectively by a homeowners' association, lake district, or
 162 similar group of which the Property owner is a member.
 163 t. No legal access to the Property; or boundary or lot line disputes, encroachments or encumbrances (including a joint
 164 driveway) affecting the Property. Encroachments often involve some type of physical object belonging to one person but
 165 partially located on or overlapping on land belonging to another; such as, without limitation, fences, houses, garages,
 166 driveways, gardens, and landscaping. Encumbrances include, without limitation, a right or claim of another to a portion of
 167 the Property or to the use of the Property such as a joint driveway, liens, and licenses.
 168 u. Government agency, court order, or federal, state, or local regulations requiring repair, alteration or correction of an
 169 existing condition.
 170 v. A pier attached to the Property not in compliance with state or local pier regulations; a written agreement affecting
 171 riparian rights related to the Property; or the bed of the abutting navigable waterway is owned by a hydroelectric operator.
 172 w. Material damage from fire, wind, flood, earthquake, expansive soil, erosion, or landslide.
 173 x. Significant odor, noise, water diversion, water intrusion, or other irritants emanating from neighboring property.
 174 y. Significant crop damage from disease, insects, soil contamination, wildlife, or other causes; diseased or dying trees or
 175 shrubs; or substantial injuries or disease in livestock on the Property or neighboring property.
 176 z. Animal, reptile, or other insect infestations; drainage easement or grading problems; excessive sliding; or any other
 177 Defect or material condition.

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 4 of 12, WB-13

178 aa. Archeological artifacts, mineral rights, orchards, or endangered species, or one or more burial sites on the Property.
 179 bb. Owner is a foreign person as defined in the Foreign Investment in Real Property Tax Act in 26 IRC § 1445(f).
 180 cc. Other Defects affecting the Property such as any agreements that bind subsequent owners of the property, such as a
 181 lease agreement or an extension of credit from an electric cooperative.
 182 **N/A** **GOVERNMENT PROGRAMS:** Seller shall deliver to Buyer, within _____ days ("15" if left blank) after acceptance
 183 of this Offer, a list of all federal, state, county, and local conservation, farmland, environmental, or other land use programs,
 184 agreements, restrictions, or conservation easements, which apply to any part of the Property (e.g., farmland preservation
 185 agreements, farmland preservation or exclusive agricultural zoning, use value assessments, Forest Crop, Managed Forest,
 186 Conservation Reserve Program, wetland mitigation, shoreland zoning mitigation plan or comparable programs), along with
 187 disclosure of any penalties, fees, withdrawal charges, or payback obligations pending, or currently deferred, if any. This
 188 contingency will be deemed satisfied unless Buyer delivers to Seller, within 7 days after the deadline for delivery, a notice
 189 terminating this Offer based upon the use restrictions, program requirements, and/or amount of any penalty, fee, charge, or
 190 payback obligation.
 191 **CAUTION: If Buyer does not terminate this Offer, Buyer is hereby agreeing that Buyer will continue in such**
 192 **programs, as may apply, and Buyer agrees to reimburse Seller should Buyer fail to continue any such program**
 193 **such that Seller incurs any costs, penalties, damages, or fees that are imposed because the program is not**
 194 **continued after sale. The Parties agree this provision survives closing.**
 195 **MANAGED FOREST LAND:** If all, or part, of the Property is managed forest land under the Managed Forest Law (MFL)
 196 program, this designation will continue after closing. Buyer is advised as follows: The MFL is a landowner incentive
 197 program that encourages sustainable forestry on private woodlands by reducing and deferring property taxes. Orders
 198 designating lands as managed forest lands remain in effect for 25 or 50 years. When ownership of land enrolled in the
 199 MFL program changes, the new owner must sign and file a report of the change of ownership on a form provided by the
 200 Department of Natural Resources and pay a fee. By filing this form, the new owner agrees to the associated MFL
 201 management plan and the MFL program rules. The DNR Division of Forestry monitors forest management plan
 202 compliance. Changes a landowner makes to property that is subject to an order designating it as managed forest land,
 203 or to its use, may jeopardize benefits under the program or may cause the property to be withdrawn from the program
 204 and may result in the assessment of penalties. For more information call the local DNR forester or visit
 205 <https://dnr.wisconsin.gov/topic/forestry>.
 206 **USE VALUE ASSESSMENTS:** The use value assessment system values agricultural land based on the income that
 207 would be generated from its rental for agricultural use rather than its fair market value. When a person converts agricultural
 208 land to a non-agricultural use (e.g., residential or commercial development), that person may owe a conversion charge.
 209 To obtain more information about the use value law or conversion charge, contact the Wisconsin Department of Revenue's
 210 Equalization Bureau or visit <http://www.revenue.wi.gov/>.
 211 **FARMLAND PRESERVATION:** The early termination of a farmland preservation agreement or removal of land from such
 212 an agreement can trigger payment of a conversion fee equal to 3 times the per acre value of the land. Contact the
 213 Wisconsin Department of Agriculture, Trade and Consumer Protection Division of Agricultural Resource Management or
 214 visit <http://www.dacp.state.wi.us/> for more information.
 215 **CONSERVATION RESERVE PROGRAM (CRP):** The CRP encourages farmers, through contracts with the U.S.
 216 Department of Agriculture, to stop growing crops on highly erodible or environmentally sensitive land and instead to plant
 217 a protective cover of grass or trees. CRP contracts run for 10 to 15 years, and owners receive an annual rent as well as
 218 certain incentive payments and cost share assistance for establishing long-term, resource-conserving ground cover.
 219 Removing lands from the CRP in breach of a contract can be quite costly. For more information call the state Farm Service
 220 Agency office or visit <http://www.fsa.usda.gov/>.
 221 **SHORELAND ZONING ORDINANCES:** All counties must adopt uniform shoreland zoning ordinances in compliance with
 222 Wis. Admin. Code Chapter NR 115. County shoreland zoning ordinances apply to all unincorporated land within 1,000
 223 feet of a navigable lake, pond or flowage or within 300 feet of a navigable river or stream and establish minimum standards
 224 for building setbacks and height limits, cutting trees and shrubs, lot sizes, water runoff, impervious surface standards (that
 225 may be exceeded if a mitigation plan is adopted and recorded) and repairs to nonconforming structures. Buyers must
 226 conform to any existing mitigation plans. For more information call the county zoning office or visit <https://dnr.wi.gov/>.
 227 Buyer is advised to check with the applicable city, town or village for additional shoreland zoning or shoreland-wetland
 228 zoning restrictions, if any.
 229 **FENCES:** Wis. Stat. § 90.03 requires the owners of adjoining properties to keep and maintain legal fences in equal shares
 230 where one or both of the properties is used and occupied for farming or grazing purposes.
 231 **CAUTION: Consider an agreement addressing responsibility for fences if Property or adjoining land is used and**
 232 **occupied for farming or grazing purposes.**
 233 **PROPERTY DEVELOPMENT WARNING:** If Buyer contemplates developing Property for a use other than the current use,
 234 there are a variety of issues that should be addressed to ensure the development or new use is feasible. Buyer is solely
 235 responsible to verify the current zoning allows for the proposed use of the Property at lines 251-255. Municipal and zoning
 236 ordinances, recorded building and use restrictions, covenants and easements may prohibit certain improvements or uses
 237 and therefore should be reviewed. Building permits, zoning or zoning variances, Architectural Control Committee approvals,
 238 estimates for utility hook-up expenses, special assessments, changes for installation of roads or utilities, environmental
 239 audits, subsoil tests, or other development related fees may need to be obtained or verified in order to determine the
 240 feasibility of development of, or a particular use for, a property. Optional contingencies that allow Buyer to investigate certain
 241 of these issues can be found at lines 244-304 and Buyer may add contingencies as needed in addenda (see line 682).

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 5 of 12, WB-13

242 Buyer should review any plans for development or use changes to determine what issues should be addressed in these
 243 contingencies.

244 **PROPOSED USE CONTINGENCIES:** This Offer is contingent upon Buyer obtaining, at Buyer's expense, the reports or
 245 documentation required by any optional provisions checked on lines 256-281 below. The optional provisions checked on
 246 lines 256-281 shall be deemed satisfied unless Buyer, within _____ days ("30" if left blank) after acceptance, delivers: (1)
 247 written notice to Seller specifying those optional provisions checked below that cannot be satisfied and (2) written evidence
 248 substantiating why each specific provision referred to in Buyer's notice cannot be satisfied. Upon delivery of Buyer's notice,
 249 this Offer shall be null and void. Seller agrees to cooperate with Buyer as necessary to satisfy the contingency provisions
 250 checked at lines 256-281.

251 **Proposed Use:** Buyer is purchasing the Property for the purpose of: _____

252 _____ [Insert proposed use
 253 and type or style of building(s), size and proposed building location(s), if a requirement of Buyer's condition to
 254 purchase, e.g. 1400-1600 sq. ft. three-bedroom single family ranch home in northwest corner of lot].

255 ☒ **ZONING:** Verification of zoning and that the Property's zoning allows Buyer's proposed use described at lines
 256 251-255.

257 ☒ **SUBSOILS:** Written evidence from a qualified soils expert that the Property is free of any subsoil condition that
 258 would make the proposed use described at lines 251-255 impossible or significantly increase the costs of such
 259 development.

260 ☒ **PRIVATE ONSITE WASTEWATER TREATMENT SYSTEM (POWTS) SUITABILITY:** Written evidence from a
 261 certified soils tester that: (a) the soils at the Property locations selected by Buyer, and (b) all other conditions that must
 262 be approved, meet the legal requirements in effect on the date of this Offer to obtain a permit for a POWTS for use of
 263 the Property as stated on lines 251-255. The POWTS (septic system) allowed by the written evidence must be one of
 264 the following POWTS that is approved by the State for use with the type of property identified at lines 251-255 ☒ **CHECK**
 265 **ALL THAT APPLY** ☐ conventional in-ground; ☐ mound; ☐ at grade; ☐ in-ground pressure distribution; ☐ holding
 266 tank; ☐ other: _____

267 ☒ **EASEMENTS AND RESTRICTIONS:** Copies of all public and private easements, covenants and restrictions
 268 affecting the Property and a written determination by a qualified independent third party that none of these prohibit or
 269 significantly delay or increase the costs of the proposed use or development identified at lines 251-255.

270 ☒ **APPROVALS/PERMITS:** Permits, approvals and licenses, as appropriate, or the final discretionary action by the
 271 granting authority prior to the issuance of such permits or building permit, approvals and licenses, for the following items
 272 related to Buyer's proposed use: _____

273 ☒ **UTILITIES:** Written verification of the location of the following utility service connections (e.g., on the Property, at
 274 the lot line, across the street, etc.) ☒ **CHECK AND COMPLETE AS APPLICABLE:**

275 ☐ electricity _____; ☐ gas _____; ☐ sewer _____;
 276 ☐ water _____; ☐ telephone _____; ☐ cable _____;
 277 ☐ other: _____

278 ☐ **ACCESS TO PROPERTY:** Written verification that there is legal vehicular access to the Property from public
 279 roads.

280 ☒ **LAND USE APPROVAL/PERMITS:** This Offer is contingent upon (Buyer)(Seller) ☒ **STRIKE ONE** ("Buyer" if neither
 281 stricken) obtaining the following, including all costs: a ☒ **CHECK ALL THAT APPLY** ☐ rezoning; ☐ conditional use permit;
 282 ☐ variance; ☐ other _____ for the Property for its proposed use described at lines 251-255.

283 Seller agrees to cooperate with Buyer as necessary to satisfy this contingency. Buyer shall deliver, within _____ days of
 284 acceptance, written notice to Seller if any item cannot be obtained, in which case this Offer shall be null and void.

285 ☒ **MAP OF THE PROPERTY:** This Offer is contingent upon (Buyer obtaining) (Seller providing) ☒ **STRIKE ONE** ("Seller
 286 providing" if neither is stricken) a Map of the Property dated subsequent to the date of acceptance of this Offer prepared by
 287 a registered land surveyor, within _____ days ("30" if left blank) after acceptance, at (Buyer's) (Seller's) ☒ **STRIKE ONE**
 288 ("Seller's" if neither is stricken) expense. The map shall show minimum of _____ acres, maximum of _____
 289 acres, the legal description of the Property, the Property's boundaries and dimensions, visible encroachments upon the
 290 Property, the location of improvements, if any, and: _____

291 ☒ **STRIKE AND COMPLETE AS APPLICABLE** Additional map features that may
 292 be added include but are not limited to: staking of all corners of the Property; identifying dedicated and apparent streets; lot
 293 dimensions; total acreage or square footage; easements or rights-of-way.

294 **CAUTION:** Consider the cost and the need for map features before selecting them. Also consider the time required
 295 to obtain the map when setting the deadline.

296 This contingency shall be deemed satisfied unless Buyer, within 5 days after the deadline for delivery of said map, delivers
 297 to Seller a copy of the map and a written notice which identifies: (1) the significant encroachment; (2) information materially
 298 inconsistent with prior representations; or (3) failure to meet requirements stated within this contingency. Upon delivery of
 299 Buyer's notice, this Offer shall be null and void. Once the deadline for delivery has passed, if Seller was responsible to

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 6 of 12, WB-13

303 provide the map and failed to timely deliver the map to Buyer, Buyer may terminate this Offer if Buyer delivers a written
 304 notice of termination to Seller prior to Buyer's Actual Receipt of said map from Seller.

305 **INSPECTIONS AND TESTING** Buyer may only conduct inspections or tests if specific contingencies are included as a
 306 part of this Offer. An "inspection" is defined as an observation of the Property, which does not include an appraisal or testing
 307 of the Property, other than testing for leaking carbon monoxide, or testing for leaking LP gas or natural gas used as a fuel
 308 source, which are hereby authorized. A "test" is defined as the taking of samples of materials such as soils, water, air or
 309 building materials from the Property for laboratory or other analysis of these materials. Seller agrees to allow Buyer's
 310 inspectors, testers and appraisers reasonable access to the Property upon advance notice, if necessary, to satisfy the
 311 contingencies in this Offer. Buyer or licensees or both may be present at all inspections and testing. Except as otherwise
 312 provided, Seller's authorization for inspections does not authorize Buyer to conduct testing of the Property.

313 **NOTE: Any contingency authorizing testing should specify the areas of the Property to be tested, the purpose of**
 314 **the test (e.g., to determine if environmental contamination is present), any limitations on Buyer's testing and any**
 315 **other material terms of the contingency.**

316 Buyer agrees to promptly restore the Property to its original condition after Buyer's inspections and testing are completed
 317 unless otherwise agreed to with Seller. Buyer agrees to promptly provide copies of all inspection and testing reports to
 318 Seller. Seller acknowledges that certain inspections or tests may detect environmental pollution that may be required to be
 319 reported to the Wisconsin Department of Natural Resources.

320 **N/A INSPECTION CONTINGENCY:** This contingency only authorizes inspections, not testing (see lines 305-319).

321 (1) This Offer is contingent upon a qualified Independent Inspector conducting an inspection of the Property after the date
 322 on line 1 of this Offer that discloses no Defects.

323 (2) This Offer is further contingent upon a qualified independent Inspector or Independent qualified third party performing an
 324 inspection of _____

325 _____ (list any Property component(s)
 326 to be separately inspected, e.g., dumpsite, timber quality, invasive species, etc.) that discloses no Defects.

327 (3) Buyer may have follow-up inspections recommended in a written report resulting from an authorized inspection, provided
 328 they occur prior to the Deadline specified at line 333. Inspection(s) shall be performed by a qualified independent
 329 inspector or independent qualified third party.

330 Buyer shall order the inspection(s) and be responsible for all costs of inspection(s).

331 **CAUTION: Buyer should provide sufficient time for the Property inspection and/or any specialized inspection(s),**
 332 **as well as any follow-up inspection(s).**

333 This contingency shall be deemed satisfied unless Buyer, within _____ days ("15" if left blank) after acceptance, delivers
 334 to Seller a copy of the written inspection report(s) dated after the date on line 1 of this Offer and a written notice listing the
 335 Defect(s) identified in those report(s) to which Buyer objects (Notice of Defects).

336 **CAUTION: A proposed amendment is not a Notice of Defects and will not satisfy this notice requirement.**

337 For the purposes of this contingency, Defects do not include structural, mechanical or other conditions the nature and extent
 338 of which Buyer had actual knowledge or written notice before signing this Offer.

339 **NOTE: "Defect" as defined on lines 553-555 means a condition that would have a significant adverse effect on the**
 340 **value of the Property; that would significantly impair the health or safety of future occupants of the Property; or**
 341 **that if not repaired, removed or replaced would significantly shorten or adversely affect the expected normal life**
 342 **of the premises.**

343 **RIGHT TO CURE:** Seller (shall)(shall not) **STRIKE ONE** ("shall" if neither is stricken) have the right to cure the Defects.
 344 If Seller has the right to cure, Seller may satisfy this contingency by:

345 (1) delivering written notice to Buyer within _____ ("10" if left blank) days after Buyer's delivery of the Notice of Defects
 346 stating Seller's election to cure Defects;

347 (2) curing the Defects in a good and workmanlike manner; and

348 (3) delivering to Buyer a written report detailing the work done no later than three days prior to closing.

349 This Offer shall be null and void if Buyer makes timely delivery of the Notice of Defects and written inspection report(s) and:

350 (1) Seller does not have the right to cure; or

351 (2) Seller has the right to cure but:

352 (a) Seller delivers written notice that Seller will not cure; or

353 (b) Seller does not timely deliver the written notice of election to cure.

354 **IF LINE 355 IS NOT MARKED OR IS MARKED N/A LINES 403-414 APPLY.**

355 **N/A FINANCING COMMITMENT CONTINGENCY:** This Offer is contingent upon Buyer being able to obtain a written
 356 _____ [loan type or specific lender, if any] first mortgage loan commitment as described
 357 below, within _____ days after acceptance of this Offer. The financing selected shall be in an amount of not less than \$
 358 _____ for a term of not less than _____ years, amortized over not less than _____ years. Initial
 359 monthly payments of principal and interest shall not exceed \$ _____. Buyer acknowledges that lender's
 360 required monthly payments may also include 1/12th of the estimated net annual real estate taxes, hazard insurance
 361 premiums, and private mortgage insurance premiums. The mortgage shall not include a prepayment premium. Buyer agrees
 362 to pay discount points in an amount not to exceed _____ % ("0" if left blank) of the loan. If Buyer is using multiple loan

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 7 of 12, WB-13

363 sources or obtaining a construction loan or land contract financing, describe at lines 655-660 or in an addendum attached
 364 per line 682. Buyer agrees to pay all customary loan and closing costs, wire fees, and loan origination fees, to promptly
 365 apply for a mortgage loan, and to provide evidence of application promptly upon request of Seller. Seller agrees to allow
 366 lender's appraiser access to the Property.

367 ☒ **LOAN AMOUNT ADJUSTMENT:** If the purchase price under this Offer is modified, any financed amount, unless otherwise
 368 provided, shall be adjusted to the same percentage of the purchase price as in this contingency and the monthly payments
 369 shall be adjusted as necessary to maintain the term and amortization stated above.

370 **CHECK AND COMPLETE APPLICABLE FINANCING PROVISION AT LINE 371 or 372.**

371 ☐ **FIXED RATE FINANCING:** The annual rate of interest shall not exceed _____%.

372 ☐ **ADJUSTABLE RATE FINANCING:** The initial interest rate shall not exceed _____%. The initial interest rate
 373 shall be fixed for _____ months, at which time the interest rate may be increased not more than _____% ("2" if
 374 left blank) at the first adjustment and by not more than _____% ("1" if left blank) at each subsequent adjustment.

375 The maximum interest rate during the mortgage term shall not exceed the initial interest rate plus _____% ("6" if
 376 left blank). Monthly payments of principal and interest may be adjusted to reflect interest changes.

377 ☒ **SATISFACTION OF FINANCING COMMITMENT CONTINGENCY:** If Buyer qualifies for the loan described in this Offer
 378 or another loan acceptable to Buyer, Buyer agrees to deliver to Seller a copy of a written loan commitment.

379 This contingency shall be satisfied if, after Buyer's review, Buyer delivers to Seller a copy of a written loan commitment
 380 (even if subject to conditions) that is:

381 (1) signed by Buyer; or

382 (2) accompanied by Buyer's written direction for delivery.

383 Delivery of a loan commitment by Buyer's lender or delivery accompanied by a notice of unacceptability shall not satisfy
 384 this contingency.

385 **CAUTION:** The delivered loan commitment may contain conditions Buyer must yet satisfy to obligate the lender to
 386 provide the loan. Buyer understands delivery of a loan commitment removes the Financing Commitment
 387 Contingency from the Offer and shifts the risk to Buyer if the loan is not funded.

388 ☒ **SELLER TERMINATION RIGHTS:** If Buyer does not deliver a loan commitment on or before the Deadline on line 357.
 389 Seller may terminate this Offer if Seller delivers a written notice of termination to Buyer prior to Seller's Actual Receipt of
 390 written loan commitment from Buyer.

391 ☒ **FINANCING COMMITMENT UNAVAILABILITY:** If a financing commitment is not available on the terms stated in this
 392 Offer (and Buyer has not already delivered an acceptable loan commitment for other financing to Seller), Buyer shall
 393 promptly deliver written notice to Seller of same including copies of lender(s)' rejection letter(s) or other evidence of
 394 unavailability.

395 ☒ **SELLER FINANCING:** Seller shall have 10 days after the earlier of:

396 (1) Buyer delivery of written notice of evidence of unavailability as noted in lines 391-394; or

397 (2) the Deadline for delivery of the loan commitment on line 357,

398 to deliver to Buyer written notice of Seller's decision to (finance this transaction with a note and mortgage under the same
 399 terms set forth in this Offer, and this Offer shall remain in full force and effect, with the time for closing extended accordingly.
 400 If Seller's notice is not timely given, the option for Seller to provide financing shall be considered waived. Buyer agrees to
 401 cooperate with and authorizes Seller to obtain any credit information reasonably appropriate to determine Buyer's credit
 402 worthiness for Seller financing.

403 ~~IF THIS OFFER IS NOT CONTINGENT ON FINANCING COMMITMENT, Within _____ days ("7" if left blank) after~~
 404 ~~acceptance, Buyer shall deliver to Seller either:~~

405 ~~(1) reasonable written verification from a financial institution or third party in control of Buyer's funds that Buyer has at~~
 406 ~~the time of verification sufficient funds to close; or~~

407 ~~(2) _____~~
 408 ~~(Specify documentation Buyer agrees to deliver to Seller).~~

409 ~~If such written verification or documentation is not delivered, Seller has the right to terminate this Offer by delivering written~~
 410 ~~notice to Buyer prior to Seller's Actual Receipt of a copy of Buyer's written verification. Buyer may or may not obtain~~
 411 ~~mortgage financing but does not need the protection of a financing commitment contingency. Seller agrees to allow Buyer's~~
 412 ~~appraiser access to the Property for purposes of an appraisal. Buyer understands and agrees that this Offer is not subject~~
 413 ~~to the appraisal meeting any particular value, unless this Offer is subject to an appraisal contingency, nor does the right of~~
 414 ~~access for an appraisal constitute a financing commitment contingency.~~

415 ☒ **APPRAISAL CONTINGENCY:** This Offer is contingent upon Buyer or Buyer's lender having the Property appraised
 416 at Buyer's expense by a Wisconsin licensed or certified independent appraiser who issues an appraisal report dated
 417 subsequent to the date stated on line 1 of this Offer, indicating an appraised value for the Property equal to or greater than
 418 the agreed upon purchase price.

419 This contingency shall be deemed satisfied unless Buyer, within _____ days after acceptance, delivers to Seller a copy
 420 of the appraisal report indicating an appraised value less than the agreed upon purchase price, and a written notice objecting
 421 to the appraised value.

422 ☒ **RIGHT TO CURE:** Seller (shall)(shall not) **STRIKE ONE** ("shall" if neither is stricken) have the right to cure.

423 If Seller has the right to cure, Seller may satisfy this contingency by delivering written notice to Buyer adjusting the purchase
 424 price to the value shown on the appraisal report within _____ days ("5" if left blank) after Buyer's delivery of the appraisal

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 9 of 12, WB-13

425 report and the notice objecting to the appraised value. Seller and Buyer agree to promptly execute an amendment initiated
 426 by either party after delivery of Seller's notice, solely to reflect the adjusted purchase price.
 427 This Offer shall be null and void if Buyer makes timely delivery of the notice objecting to appraised value and the written
 428 appraisal report and:

429 (1) Seller does not have the right to cure; or

430 (2) Seller has the right to cure but:

431 (a) Seller delivers written notice that Seller will not adjust the purchase price; or

432 (b) Seller does not timely deliver the written notice adjusting the purchase price to the value shown on the appraisal
 433 report.

434 **NOTE:** An executed FHA, VA or USDA Amendatory clause may supersede this contingency.

435 **[N/A] CLOSING OF BUYER'S PROPERTY CONTINGENCY:** This Offer is contingent upon the closing of the sale of
 436 Buyer's property located at _____

437 no later than _____ (the Deadline). If closing does not occur by the Deadline, this Offer shall
 438 become null and void unless Buyer delivers to Seller, on or before the Deadline, reasonable written verification from a
 439 financial institution or third party in control of Buyer's funds that Buyer has, at the time of verification, sufficient funds to close
 440 or proof of bridge loan financing, along with a written notice waiving this contingency. Delivery of verification or proof of
 441 bridge loan shall not extend the closing date for this Offer.

442 **[N/A] BUMP CLAUSE:** If Seller accepts a bona fide secondary offer, Seller may give written notice to Buyer that another
 443 offer has been accepted. If Buyer does not deliver to Seller the documentation listed below within _____ hours ("72" if
 444 left blank) after Buyer's Actual Receipt of said notice, this Offer shall be null and void. Buyer must deliver the following:

445 (1) Written waiver of the Closing of Buyer's Property Contingency if line 435 is marked;

446 (2) Written waiver of _____ (name other contingencies, if any); and

447 (3) Any of the following checked below:

448 ☐ Proof of bridge loan financing.

449 ☐ Proof of ability to close from a financial institution or third party in control of Buyer's funds which shall provide
 450 Seller with reasonable written verification that Buyer has, at the time of verification, sufficient funds to close.

451 Other: _____

452

453 [insert other requirements, if any (e.g., payment of additional earnest money, etc.)]

454 **[N/A] SECONDARY OFFER:** This Offer is secondary to a prior accepted offer. This Offer shall become primary upon
 455 delivery of written notice to Buyer that this Offer is primary. Unless otherwise provided, Seller is not obligated to give Buyer
 456 notice prior to any Deadline, nor is any particular secondary buyer given the right to be made primary ahead of other
 457 secondary buyers. Buyer may declare this Offer null and void by delivering written notice of withdrawal to Seller prior to
 458 delivery of Seller's notice that this Offer is primary. Buyer may not deliver notice of withdrawal earlier than _____ days ("7"
 459 if left blank) after acceptance of this Offer. All other Offer Deadlines that run from acceptance shall run from the time this
 460 Offer becomes primary.

461 ~~**HOMEOWNERS ASSOCIATION:** If this Property is subject to a homeowners association, Buyer is aware the Property may
 462 be subject to periodic association fees after closing and one-time fees resulting from transfer of the Property. Any one-time
 463 fees resulting from transfer of the Property shall be paid at closing by (Seller) (Buyer) **[STRIKE ONE]** ("Buyer" if neither is
 464 stricken).~~

465 **[CLOSING PRORATIONS]** The following items, if applicable, shall be prorated at closing, based upon date of closing values:
 466 real estate taxes, rents, prepaid insurance (if assumed), private and municipal charges, property owners or homeowners
 467 association assessments, fuel and other items of income or expense related to the Property

468 **CAUTION: Provide basis for utility charges, fuel or other prorations if date of closing value will not be used.**

469 Any income, taxes or expenses shall accrue to Seller, and be prorated at closing, through the day prior to closing.

470 Real estate taxes shall be prorated at closing based on **[CHECK BOX FOR APPLICABLE PRORATION FORMULA]:**

471 ☐ The net general real estate taxes for the preceding year, or the current year if available (Net general real estate
 472 taxes are defined as general property taxes after state tax credits and lottery credits are deducted.) **NOTE: THIS CHOICE**

473 **APPLIES IF NO BOX IS CHECKED.**

474 ☐ Current assessment times current mill rate (current means as of the date of closing).

475 ☐ Sale price, multiplied by the municipality area-wide percent of fair market value used by the assessor in the prior
 476 year, or current year if known, multiplied by current mill rate (current means as of the date of closing).

477 ☐

478 **CAUTION: Buyer is informed that the actual real estate taxes for the year of closing and subsequent years may be
 479 substantially different than the amount used for proration especially in transactions involving new construction,
 480 extensive rehabilitation, remodeling or area-wide re-assessment. Buyer is encouraged to contact the local
 481 assessor regarding possible tax changes.**

482 ☐ Buyer and Seller agree to re-prorate the real estate taxes, through the day prior to closing based upon the taxes on
 483 the actual tax bill for the year of closing, with Buyer and Seller each owing his or her pro-rata share. Buyer shall, within 5
 484

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 9 of 12, WB-13

485 days of receipt, forward a copy of the bill to the forwarding address Seller agrees to provide at closing. The Parties shall
 486 re-prorate within 30 days of Buyer's receipt of the actual tax bill. Buyer and Seller agree this is a post-closing obligation
 487 and is the responsibility of the Parties to complete, not the responsibility of the real estate firms in this transaction.

488 **TITLE EVIDENCE**

489 **CONVEYANCE OF TITLE:** Upon payment of the purchase price, Seller shall convey the Property by warranty deed
 490 (trustee's deed if Seller is a trust, personal representative's deed if Seller is an estate or other conveyance as
 491 provided herein), free and clear of all liens and encumbrances, except: municipal and zoning ordinances and agreements
 492 entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use
 493 restrictions and covenants, present uses of the Property in violation of the foregoing disclosed in Seller's Vacant Land
 494 Disclosure Report and in this Offer, general taxes levied in the year of closing and thereafter, and no others.

495 _____ (insert other allowable exceptions from title, if
 496 any) that constitutes merchantable title for purposes of this transaction. Seller, at Seller's cost, shall complete and execute
 497 the documents necessary to record the conveyance and pay the Wisconsin Real Estate Transfer Fee.

498 **WARNING:** Municipal and zoning ordinances, recorded building and use restrictions, covenants and easements
 499 may prohibit certain improvements or uses and therefore should be reviewed, particularly if Buyer contemplates
 500 making improvements to Property or a use other than the current use.

501 **TITLE EVIDENCE:** Seller shall give evidence of title in the form of an owner's policy of title insurance in the amount of
 502 the purchase price on a current ALTA form issued by an insurer licensed to write title insurance in Wisconsin. Seller shall
 503 pay all costs of providing title evidence to Buyer. Buyer shall pay the costs of providing the title evidence required by Buyer's
 504 lender and recording the deed or other conveyance.

505 **GAP ENDORSEMENT:** Seller shall provide a "gap" endorsement or equivalent gap coverage at (Seller's)(Buyer's).
 506 **STRIKE ONE** ("Seller's" if neither stricken) cost to provide coverage for any liens or encumbrances first filed or recorded
 507 after the commitment date of the title insurance commitment and before the deed is recorded, subject to the title insurance
 508 policy conditions, exclusions and exceptions, provided the title company will issue the coverage. If a gap endorsement or
 509 equivalent gap coverage is not available, Buyer may give written notice that title is not acceptable for closing (see lines 516-
 510 523).

511 **DELIVERY OF MERCHANTABLE TITLE:** The required title insurance commitment shall be delivered to Buyer's attorney
 512 or Buyer not more than 10 days after acceptance ("15" if left blank), showing title to the Property as of a date no more
 513 than 15 days before delivery of such title evidence to be merchantable per lines 489-498, subject only to liens which will be
 514 paid out of the proceeds of closing and standard title insurance requirements and exceptions, as appropriate.

515 **TITLE NOT ACCEPTABLE FOR CLOSING:** If title is not acceptable for closing, Buyer shall notify Seller in writing of
 516 objections to title within 5 days ("15" if left blank) after delivery of the title commitment to Buyer or Buyer's attorney. In
 517 such event, Seller shall have 5 days ("15" if left blank) from Buyer's delivery of the notice stating title objections, to
 518 deliver notice to Buyer stating Seller's election to remove the objections by the time set for closing. If Seller is unable to
 519 remove said objections, Buyer shall have five days from receipt of notice thereof, to deliver written notice waiving the
 520 objections, and the time for closing shall be extended accordingly. If Buyer does not waive the objections, Buyer shall deliver
 521 written notice of termination and this Offer shall be null and void. Providing title evidence acceptable for closing does not
 522 extinguish Seller's obligations to give merchantable title to Buyer.

523 **SPECIAL ASSESSMENTS/OTHER EXPENSES:** Special assessments, if any, levied or for work actually commenced
 524 prior to the date stated on line 1 of this Offer shall be paid by Seller no later than closing. All other special assessments
 525 shall be paid by Buyer. "Levied" means the local municipal governing body has adopted and published a final resolution
 526 describing the planned improvements and the assessment of benefits.

527 **CAUTION:** Consider a special agreement if area assessments, property owners association assessments, special
 528 charges for current services under Wis. Stat. § 66.0627 or other expenses are contemplated. "Other expenses" are
 529 one-time charges or ongoing use fees for public improvements (other than those resulting in special assessments)
 530 relating to curb, gutter, street, sidewalk, municipal water, sanitary and storm water and storm sewer (including all
 531 sewer mains and hook-up/connection and interceptor charges), parks, street lighting and street trees, and impact
 532 fees for other public facilities, as defined in Wis. Stat. § 66.0617(1)(f).

533 **LEASED PROPERTY:** If Property is currently leased and lease(s) extend beyond closing, Seller shall assign Seller's rights
 534 under said lease(s) and transfer all security deposits and prepaid rents thereunder to Buyer at closing. The terms of the
 535 (written)(oral) **STRIKE ONE** lease(s) if any are The Property is not subject to any leases

536 _____
 537 _____
 538 _____, Insert additional terms, if any, at lines 655-660 or attach as an addendum per line 682.

539 **DEFINITIONS**

540 **ACTUAL RECEIPT:** "Actual Receipt" means that a Party, not the Party's recipient for delivery, if any, has the document
 541 or written notice physically in the Party's possession, regardless of the method of delivery. If the document or written notice
 542 is electronically delivered, Actual Receipt shall occur when the Party opens the electronic transmission.

543 **BUSINESS DAY:** "Business Day" means a calendar day other than Saturday, Sunday, any legal public holiday under
 544 Wisconsin or Federal law, and any other day designated by the President such that the postal service does not receive

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 10 of 12, WB-13

545 registered mail or make regular deliveries on that day.

546 **DEADLINES:** "Deadlines" expressed as a number of "days" from an event, such as acceptance, are calculated by
 547 excluding the day the event occurred and by counting subsequent calendar days. The Deadline expires at Midnight on the
 548 last day. Additionally, Deadlines expressed as a specific number of Business Days are calculated in the same manner
 549 except that only Business Days are counted while other days are excluded. Deadlines expressed as a specific number of
 550 "hours" from the occurrence of an event, such as receipt of a notice, are calculated from the exact time of the event, and by
 551 counting 24 hours per calendar day. Deadlines expressed as a specific day of the calendar year or as the day of a specific
 552 event, such as closing, expire at Midnight of that day. "Midnight" is defined as 11:59 p.m. Central Time.

553 **DEFECT:** "Defect" means a condition that would have a significant adverse effect on the value of the Property; that would
 554 significantly impair the health or safety of future occupants of the Property; or that if not repaired, removed or replaced would
 555 significantly shorten or adversely affect the expected normal life of the premises.

556 **FIRM:** "Firm" means a licensed sole proprietor broker or a licensed broker business entity.

557 **PARTY:** "Party" means the Buyer or the Seller; "Parties" refers to both the buyer and the Seller.

558 **PROPERTY:** Unless otherwise stated, "Property" means the real estate described at lines 4-8.

559 **INCLUSION OF OPTIONAL PROVISIONS:** Terms of this Offer that are preceded by an OPEN BOX (☐) are part of
 560 this offer ONLY if the box is marked such as with an "X". They are not part of this offer if marked "N/A" or are left blank.

561 **PROPERTY DIMENSIONS AND SURVEYS:** Buyer acknowledges that any land dimensions, or total acreage or square
 562 footage figures, provided to Buyer by Seller or by a Firm or its agents, may be approximate because of rounding, formulas
 563 used or other reasons, unless verified by survey or other means.

564 **CAUTION:** Buyer should verify total square footage formula, total square footage/acreage figures, and land
 565 dimensions, if material.

566 **DISTRIBUTION OF INFORMATION:** Buyer and Seller authorize the agents of Buyer and Seller to: (i) distribute copies of
 567 the Offer to Buyer's lender, appraisers, title insurance companies and any other settlement service providers for the
 568 transaction as defined by the Real Estate Settlement Procedures Act (RESPA); (ii) report sales and financing concession
 569 data to multiple listing service sold databases; (iii) provide active listing, pending sale, closed sale and financing concession
 570 information and data, and related information regarding seller contributions, incentives or assistance, and third party gifts,
 571 to appraisers researching comparable sales, market conditions and listings, upon inquiry; and (iv) distribute copies of this
 572 Offer to the seller or seller's agent of another property that Seller intends on purchasing.

573 **MAINTENANCE:** Seller shall maintain the Property and all personal property included in the purchase price until the earlier
 574 of closing or Buyer's occupancy, in materially the same condition it was in as of the date on line 1 of this Offer, except for
 575 ordinary wear and tear.

576 **PROPERTY DAMAGE BETWEEN ACCEPTANCE AND CLOSING:** If, prior to closing, the Property is damaged in an
 577 amount not more than five percent of the purchase price, other than normal wear and tear, Seller shall promptly notify Buyer
 578 in writing, and will be obligated to restore the Property to materially the same condition it was in as of the date on line 1 of
 579 this Offer. Seller shall provide Buyer with copies of all required permits and lien waivers for the lienable repairs no later than
 580 closing. If the amount of damage exceeds five percent of the purchase price, Seller shall promptly notify Buyer in writing of
 581 the damage and this Offer may be terminated at option of Buyer. Should Buyer elect to carry out this Offer despite such
 582 damage, Buyer shall be entitled to the Insurance proceeds, if any, relating to the damage to the Property, plus a credit
 583 towards the purchase price equal to the amount of Seller's deductible on such policy, if any. However, if this sale is financed
 584 by a land contract or a mortgage to Seller, any Insurance proceeds shall be held in trust for the sole purpose of restoring
 585 the Property.

586 **BUYER'S PRE-CLOSING WALK-THROUGH:** Within three days prior to closing, at a reasonable time pre-approved by
 587 Seller or Seller's agent, Buyer shall have the right to walk through the Property to determine that there has been no
 588 significant change in the condition of the Property, except for ordinary wear and tear and changes approved by Buyer, and
 589 that any Defects Seller has agreed to cure have been repaired in the manner agreed to by the Parties.

590 **OCCUPANCY:** Occupancy of the entire Property shall be given to Buyer at time of closing unless otherwise provided in
 591 this Offer at lines 655-660 or in an addendum attached per line 682, or lines 634-638 if the Property is leased. At time of
 592 Buyer's occupancy, Property shall be free of all debris, refuse, and personal property except for personal property belonging
 593 to current tenants, or sold to Buyer or left with Buyer's consent. Occupancy shall be given subject to tenant's rights, if any.

594 **DEFAULT:** Seller and Buyer each have the legal duty to use good faith and due diligence in completing the terms and
 595 conditions of this Offer. A material failure to perform any obligation under this Offer is a default that may subject the defaulting
 596 party to liability for damages or other legal remedies.

597 If Buyer defaults, Seller may:

598 (1) sue for specific performance and request the earnest money as partial payment of the purchase price; or
 599 (2) terminate the Offer and have the option to: (a) request the earnest money as liquidated damages; or (b) sue for actual
 600 damages, as Seller's sole remedy.

601 If Seller defaults, Buyer may:

602 (1) sue for specific performance; or
 603 (2) terminate the Offer and request the return of the earnest money, sue for actual damages, or both.

Property Address: a portion of 315 Mary Street, Watertown, WI 53094

Page 11 of 12, WB-13

604 In addition, the Parties may seek any other remedies available in law or equity. The Parties understand that the availability
 605 of any judicial remedy will depend upon the circumstances of the situation and the discretion of the courts. If either Party
 606 defaults, the Parties may renegotiate the Offer or seek nonjudicial dispute resolution instead of the remedies outlined above.
 607 By agreeing to binding arbitration, the Parties may lose the right to litigate in a court of law those disputes covered by the
 608 arbitration agreement.

609 **NOTE: IF ACCEPTED, THIS OFFER CAN CREATE A LEGALLY ENFORCEABLE CONTRACT. BOTH PARTIES**
 610 **SHOULD READ THIS DOCUMENT CAREFULLY. THE FIRM AND ITS AGENTS MAY PROVIDE A GENERAL**
 611 **EXPLANATION OF THE PROVISIONS OF THE OFFER BUT ARE PROHIBITED BY LAW FROM GIVING ADVICE OR**
 612 **OPINIONS CONCERNING YOUR LEGAL RIGHTS UNDER THIS OFFER OR HOW TITLE SHOULD BE TAKEN AT**
 613 **CLOSING. AN ATTORNEY SHOULD BE CONSULTED IF LEGAL ADVICE IS NEEDED.**

614 **ENTIRE CONTRACT** This Offer, including any amendments to it, contains the entire agreement of the Buyer and Seller
 615 regarding the transaction. All prior negotiations and discussions have been merged into this Offer. This agreement binds
 616 and inures to the benefit of the Parties to this Offer and their successors in interest.

617 **NOTICE ABOUT SEX OFFENDER REGISTRY** You may obtain information about the sex offender registry and persons
 618 registered with the registry by contacting the Wisconsin Department of Corrections on the Internet at <http://www.doc.wi.gov>
 619 or by telephone at (800) 240-5830.

620 **FOREIGN INVESTMENT IN REAL PROPERTY TAX ACT (FIRPTA)** Section 1445 of the Internal Revenue Code (IRC)
 621 provides that a transferee (Buyer) of a United States real property interest must pay or withhold as a tax up to 15% of the
 622 total "Amount Realized" in the sale if the transferor (Seller) is a "Foreign Person" and no exception from FIRPTA withholding
 623 applies. A "Foreign Person" is a nonresident alien individual, foreign corporation, foreign partnership, foreign trust, or foreign
 624 estate. The "Amount Realized" is the sum of the cash paid, the fair market value of other property transferred, and the
 625 amount of any liability assumed by Buyer.

626 **CAUTION: Under this law if Seller is a Foreign Person, and Buyer does not pay or withhold the tax amount, Buyer**
 627 **may be held directly liable by the U.S. Internal Revenue Service for the unpaid tax and a tax lien may be placed**
 628 **upon the Property.**

629 Seller hereby represents that Seller is a non-Foreign Person, unless (1) Seller represents Seller is a Foreign Person in a
 630 condition report incorporated in this Offer per lines 94-97, or (2) no later than 10 days after acceptance, Seller delivers
 631 notice to Buyer that Seller is a Foreign Person, in which cases the provisions on lines 637-639 apply.

632 **IF SELLER IS A NON-FOREIGN PERSON.** Seller shall, no later than closing, execute and deliver to Buyer, or a qualified
 633 substitute (attorney or title company as stated in IRC § 1445), a sworn certification under penalties of perjury of Seller's
 634 non-foreign status in accordance with IRC § 1445. If Seller fails to timely deliver certification of Seller's non-foreign status,
 635 Buyer shall: (1) withhold the amount required to be withheld pursuant to IRC § 1445; or, (2) declare Seller in default of this
 636 Offer and proceed under lines 601-608.

637 **IF SELLER IS A FOREIGN PERSON.** If Seller has represented that Seller is a Foreign Person, Buyer shall withhold the
 638 amount required to be withheld pursuant to IRC § 1445 at closing unless the Parties have amended this Offer regarding
 639 amounts to be withheld, any withholding exemption to be applied, or other resolution of this provision.

640 **COMPLIANCE WITH FIRPTA.** Buyer and Seller shall complete, execute, and deliver, on or before closing, any instrument,
 641 affidavit, or statement needed to comply with FIRPTA, including withholding forms. If withholding is required under IRC
 642 § 1445, and the net proceeds due Seller are not sufficient to satisfy the withholding required in this transaction, Seller shall
 643 deliver to Buyer, at closing, the additional funds necessary to satisfy the applicable withholding requirement. Seller also
 644 shall pay to Buyer an amount not to exceed \$1,000 for actual costs associated with the filing and administration of forms,
 645 affidavits, and certificates necessary for FIRPTA withholding and any withholding agent fees.

646 Any representations made by Seller with respect to FIRPTA shall survive the closing and delivery of the deed.

647 Firms, Agents, and Title Companies are not responsible for determining FIRPTA status or whether any FIRPTA exemption
 648 applies. The Parties are advised to consult with their respective independent legal counsel and tax advisors regarding
 649 FIRPTA.

650 **N/A SELLER PAYMENT OF COMPENSATION TO BUYER'S FIRM:** Seller agrees to pay to Buyer's Firm the amount of
 651 (e.g., dollar amount, % of purchase price, etc.), toward Buyer's brokerage
 652 fees at closing. Payment made under this provision represents an economic adjustment only and does not create any
 653 agency relationship between Buyer's Firm and Seller, and the Parties agree Buyer's Firm is a direct and intended third party
 654 beneficiary of this contract.

655 **ADDITIONAL PROVISIONS/CONTINGENCIES** Buyer's obligation to purchase the Property is
 656 subject to the approval, by all governmental agencies having jurisdiction over the matter,
 657 of a new certified survey map that divides the property known as 315 Mary Street into two
 658 parcels as shown on Exhibit A attached hereto, within 60 days after acceptance of this
 659 Offer. The certified survey map will be prepared at Buyer's expense. The triangular-shaped
 660 parcel shown on Exhibit A attached hereto is referred to in this Offer as the "Property".

661 **DELIVERY OF DOCUMENTS AND WRITTEN NOTICES** Unless otherwise stated in this Offer, delivery of documents and
 662 written notices to a Party shall be effective only when accomplished by one of the authorized methods specified at lines
 663 664-679.

666 Name of Seller's recipient for delivery, if any: Mayor Emily McFarland

667 Name of Buyer's recipient for delivery, if any: Ruth Mack

668 **N/A** (2) Fax: fax transmission of the document or written notice to the following number:

659 Seller: () Buyer: ()

670 ☒ (3) **Commercial:** depositing the document or written notice, fees prepaid or charged to an account, with a commercial
671 delivery service, addressed either to the Party, or to the Party's recipient for delivery, for delivery to the Party's address at
672 line 675 or 676.

672 file 675 or 676.
673 ☒ (4) U.S. Mail: depositing the document or written notice, postage prepaid, in the U.S. Mail, addressed either to the
674 Party, or to the Party's recipient for delivery, for delivery to the Party's address.

675 Address for Seller: 106 Jones Street, Watertown, WI 53094

676 Address for Buyer: 1111 S. 10th St., Watertown, WI 53094-4911

677 ☒ (5) Email: electronically transmitting the document or written notice to the email address.

678 Email Address for Seller: emcfarland@watertownwi.gov

679 Email Address for Buyer: ruthm@loebco.com

680 **PERSONAL DELIVERY/ACTUAL RECEIPT** Personal delivery to, or Actual Receipt by, any named Buyer or Seller
681 constitutes personal delivery to, or Actual Receipt by, all Buyers or Sellers.

682 ☒ **ADDENDA:** The attached Exhibit A is/are made part of this Offer.

683 This Offer was drafted by [Licensee and Firm], Martin W. Meyer of Mawicke & Goisman, S.C.

WIRE FRAUD WARNING! Wire Fraud is a real and serious risk. Never trust wiring instructions sent via email. Funds wired to a fraudulent account are often impossible to recover.

Criminals are hacking emails and sending fake wiring instructions by impersonating a real estate agent, Firm, lender, title company, attorney or other source connected to your transaction. These communications are convincing and professional in appearance but are created to steal your money. The fake wiring instructions may even be mistakenly forwarded to you by a legitimate source.

DO NOT initiate ANY wire transfer until you confirm wiring instructions IN PERSON or by YOU calling a verified number of the entity involved in the transfer of funds. Never use contact information provided by any suspicious communication.

Real estate agents and Firms ARE NOT responsible for the transmission, forwarding, or verification of any wiring or money transfer instructions.

Mary Clark LLC

696 (x) By: W. J. [Signature] February 27, 2025

697 Buyer's Signature & Print Name Here > Bruce Loeb, Its Manager

Date _____

698 (x)

699 Buyer's Signature & Print Name Here

Date

700 SELLER ACCEPTS THIS OFFER. THE WARRANTIES, REPRESENTATIONS AND COVENANTS MADE IN THIS
701 OFFER SURVIVE CLOSING AND THE CONVEYANCE OF THE PROPERTY. SELLER AGREES TO CONVEY THE
702 PROPERTY ON THE TERMS AND CONDITIONS AS SET FORTH HEREIN AND ACKNOWLEDGES RECEIPT OF A
703 COPY OF THIS OFFER.

704 (X)
705 Seller's Signature ▲ Print Name Here ▶ Date ▲

706 (x)
707 Seller's Signature ▲ Print Name Here ▶ Date ▲

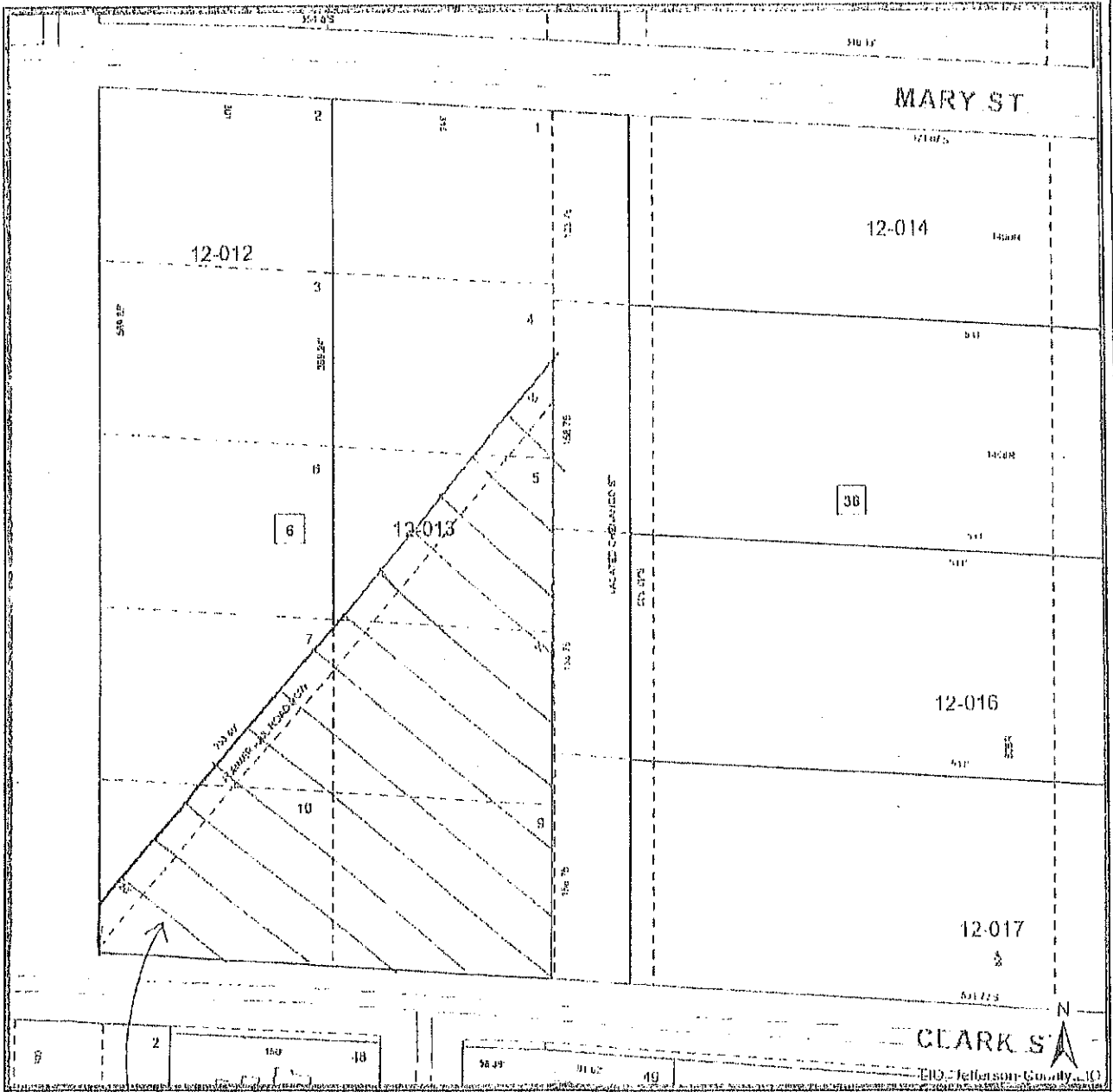
708 This Offer was presented to Seller by [Licensee and Firm] _____

709 on _____ at _____ a.m./p.m.

710 This Offer is rejected _____ This Offer is countered (See attached counter) _____

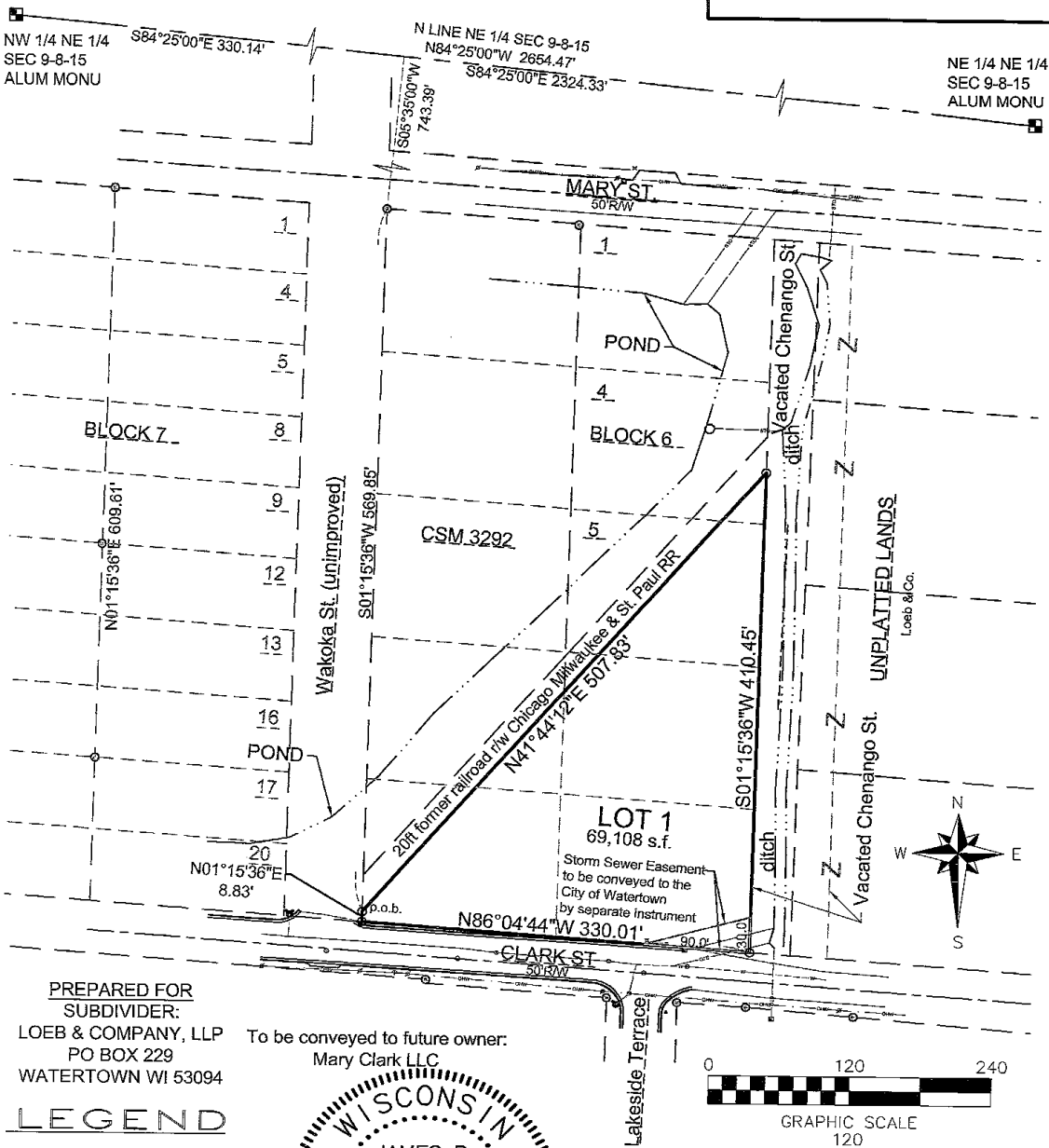
710 This Offer is Rejected _____ This Offer is Countered (See Attached Counter) _____
 711 Seller Initials ▲ Date ▲ Seller Initials ▲ Date ▲

EXHIBIT A



CERTIFIED SURVEY MAP NO -

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN



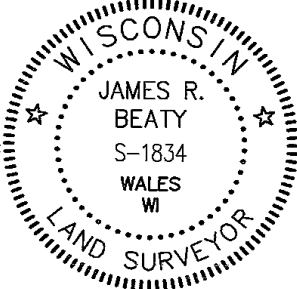
PREPARED FOR
SUBDIVIDER:
LOEB & COMPANY, LLP
PO BOX 229
WATERTOWN WI 53094

To be conveyed to future owner:
Mary Clark LLC

LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR SECTION OR 1/4 SECTION CORNER CONC MONU W/ALUM CAP
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. (1.315 O.D.) IRON PIPE SET (UNLESS OTHERWISE NOTED)
- CHAIN LINK FENCE (UNLESS OTHERWISE NOTED)

OWNER:
CITY OF WATERTOWN
PO BOX 477
WATERTOWN, WI 53094



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

NOTE:
Lots 1 has an Airport Approach Protection Zone
Elevation limit of 968 above mean sea level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence

BEARING REFERENCE:
Bearings are referenced to the Wisconsin County Coordinate system, Jefferson County within which the North line of the NE 1/4 of Section 9, T8N, R15E was measured to bear N84°25'00"W
Vertical referenced to NGVD (88) & FEMA Datum

CERTIFIED SURVEY MAP NO - _____

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

SURVEYOR'S CERTIFICATE

I, James R. Beaty, Professional Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being a part of Block 6 of the recorded plat of A.L. Pritchard's Addition to Watertown, being in the Seventh Ward of the City of Watertown, Jefferson County, Wisconsin. all lands being a part of the northwest 1/4 and southwest 1/4 of the northeast 1/4 of Section 9, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin. Said lands are bounded and described as follows:

Beginning at the found aluminum monument at the Northeast corner of the Northeast 1/4 of said Section 9; thence North 84°25'00" West, 2324.33 feet along the North line of said Northeast 1/4 of said Section 9 to a point; thence South 05°35'00" West, 743.39 feet to a found 1" iron pipe at the northwest corner of CSM 3292; thence South 01°15'36" West 569.85 feet along the west line of CSM 3292 and east line of unimproved Wakoka St to the point of beginning, lying on the southeasterly line of former Chicago Milwaukee & St Paul Railroad Company right of way; thence North 41°44'12" East, 507.83 feet along the southeasterly line of a tangent section of the former Chicago Milwaukee & St Paul Railroad Company right of way and its extension northeasterly to a point on the west line of vacated Chenango Street; thence South 01°15'36" West, 410.45 feet on the west line of vacated Chenango Street, to a point on the north line of Clark St.; thence North 86°04'44" West, 330.01 feet along said north line to a point on the west line of aforesaid Block 6 of the recorded plat of A.L. Pritchard's Addition to Watertown and and easterly line of unimproved Wakoka St.; thence North 01°15'36" East; 8.83 feet to the point of beginning. Said described lands containing 69,108 s.f. (1.5865 Acres), more or less of land.

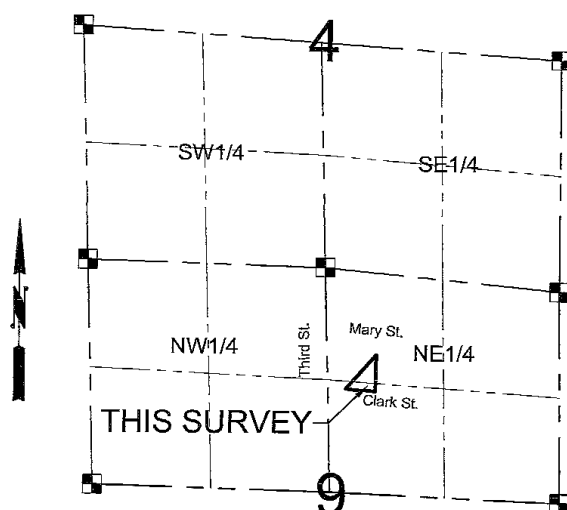
That I have made this survey, land division and map by the direction of The City of Watertown, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

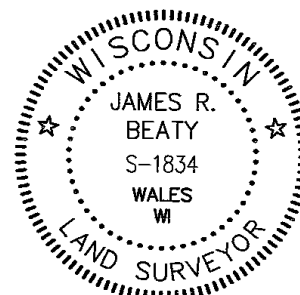
That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.

LOCATION MAP

N 1/2 SECTION 4
S 1/2 SECTION 9
T8N R15E



PREPARED BY / SURVEYOR:
Horizon Land Development Services, LLC
W313 S2562 Penny Lane
Wales, Wisconsin 53183
1-262-349-1575



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025

CERTIFIED SURVEY MAP NO - _____

BEING A PART OF BLOCK 6, WITHIN THE RECORDED PLAT OF A.L. PRITCHARD'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

CORPORATE OWNER'S CERTIFICATE

The City of Watertown, a Wisconsin Municipal Corporation, organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said municipal entity caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.
Aforesaid owner, the City of Watertown, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said the City of Watertown, has caused these presents to be signed by Robert Stocks, its Mayor, and Megan Dunneisen, its Clerk on this _____, day of _____, 2025.

In the presence of:

The City of Watertown
Corporate Name

Robert Stocks, Mayor

Megan Dunneisen, Clerk

STATE OF WISCONSIN)
(SS
JEFFERSON COUNTY)

Personally came before me this _____ day of _____, 2025, Robert Stocks & Megan Dunneisen, of the above named municipal entity, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Mayor and Clerk of said municipal entity, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

name Notary Public: Jefferson, Wisconsin

My commission expires _____, 20

PLAN COMMISSION APPROVAL

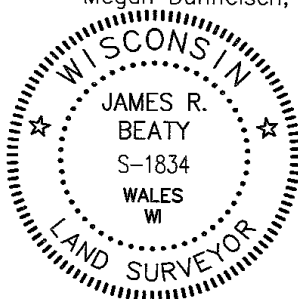
This Certified Survey Map, in the City of Watertown was hereby approved by the Plan Commission of the City of Watertown.

Approved as of this _____ day of _____, 2025.

Date: _____
Robert Stocks, Mayor

I hereby certify that the foregoing is a true and correct copy of a Certified Survey Map adopted by the Plan Commission of the City of Watertown.

Date: _____
Megan Dunneisen, City Clerk



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 23, 2025
revised: June 20, 2025



315 Mary St CSM
Location



City Boundary



Common Areas



Parcels Boundaries



Addresses



City of Watertown Geographic Information System

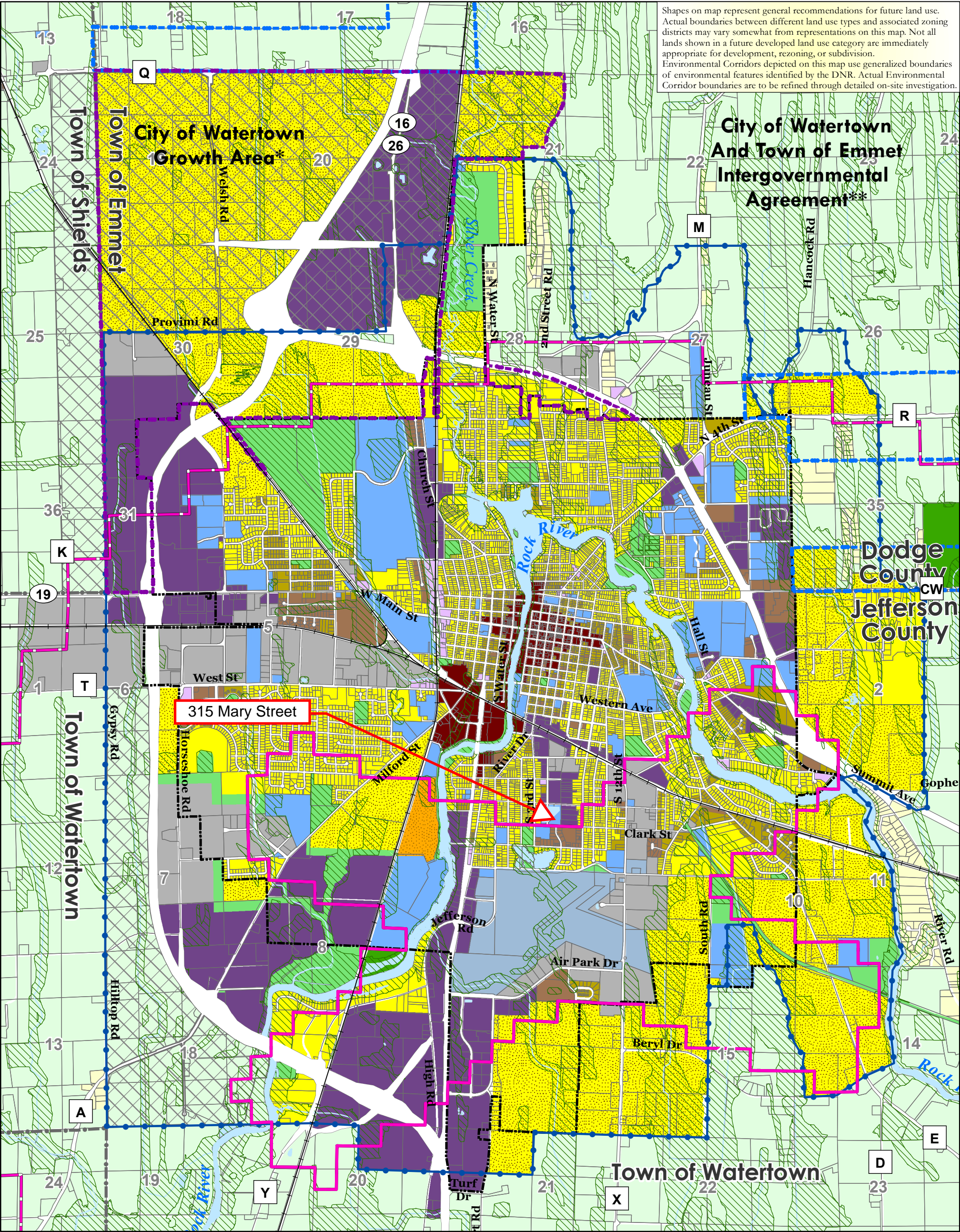
Scale: 1:3,429

SCALE BAR = 1"

Printed on: August 4
Author:

79

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Future Land Use Urban Area

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

Map 6b

City/Town IGA**

- City Growth Area
- City Periphery Areas

Rights-of-Way

- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

City of Watertown

- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

City/Town IGA**

City Growth Area

City Periphery Areas

Planned Mixed Use*

Central Mixed Use

Riverside Mixed Use***

Mixed Industrial

Parks & Recreation

Environmental Corridor

Surface Water

Each "Planned Mixed Use Area" may include mix of:

- Office
- Multi-Family Residential
- Mixed Industrial
- Commercial Services/Retail
- Institutional
- Parks & Recreation

*****Planned Neighborhoods** should include a mix of the following:**

- Single-Family - Sewered (predominant land use)
- Two-Family Residential
- Multi-Family Residential
- Institutional
- Neighborhood Mixed Use
- Parks & Recreation

*****Each "Riverside Mixed Use Area" may include mix of:**

- Office
- Single-Family - Sewered
- Two-Family Residential
- Multi-Family Residential
- Commercial Services/Retail
- Institutional
- Parks & Recreation

Draft: August 7, 2019

Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

Scale: 0 0.25 0.5 1 Miles

THE CITY OF WATERTOWN
Opportunity runs through it.

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change