



PLAN COMMISSION MEETING AGENDA

MONDAY, MARCH 24, 2025 AT 4:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jI1b7GIUPaClat.1&omn=86768040546> or by calling 1-646-931-3860 and using Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

- A. Review and take action: Plan Commission minutes dated March 10, 2025

3. BUSINESS

- A. Public hearing: 621 Brookstone Way – request for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit under Section §550-24C(2)(b) and Section § 550-56AA
- B. Review and take action: 621 Brookstone Way – request for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit under Section §550-24C(2)(b) and Section § 550-56AA
- C. Public hearing: 1504 S. Church Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550- 33B(2)(g) & Section § 550-52H
- D. Review and take action: 1504 S. Church Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550- 33B(2)(g) & Section § 550-52H
- E. Public hearing: 116 W. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550-34B(2)(f) & Section § 550-52H
- F. Review and take action: 116 W. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550-34B(2)(f) & Section § 550-52H
- G. Public hearing: 301 E. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550-34B(2)(f) and Section §550-52H
- H. Review and take action: 301 E. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section §550-34B(2)(f) and Section §550-52H
- I. Review and take action: 318 Union Street – Temporary Use
- J. Review and take action: 1013 S. Fifth Street indoor storage building for Heritage Military Music Foundation
- K. Review public hearing comments and make recommendation to Common Council: 1220 Wilbur Street and 1220 W. Main Street Comprehensive Plan Amendment
- L. Initial review and schedule public hearing: Zoning Ordinance Text Amendment - Central Business Apartments
- M. Initial review and schedule public hearing: 100 E. Division Street Rezoning from General Business (GB) to Central Business (CB)
- N. Initial review and schedule public hearing: 100 E. Division Street Planned Development (PD) Overlay Zoning - General Development Plan (GDP)/Precise Implementation Plan (PIP)
- O. Offer to Purchase regarding Parcel No. 291-0815-0511-003, 291-0815-0422-023, 291-0815-0422-036, 291-0815-0511-004, 291-0815-0412-182 and 291-0815-0412-185

1. Review and discuss: Offer to Sell City owned Parcel No. 291-0815-0511-003, 291-0815-0422-023, 291-0815-0422-036, and 291-0815-0511-004 and purchase Parcel No. 291-0815-0412-182 and 291-0815-0412-185
2. Convene into closed session per § 19.85(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session (Offer to Sell City owned Parcel No. 291-0815-0511-003, 291-0815-0422-023, 291-0815-0422-036, and 291-0815-0511-004 and purchase Parcel No. 291-0815-0412-182 and 291-0815-0412-185)
3. Reconvene into open session
4. Review and take action: Approve or Deny to negotiate selling of Parcel No. 291-0815-0511-003, 291-0815-0422-023, 291-0815-0422-036 and 291-0815-0511-004
5. Review and take action: Approve or Deny to negotiate purchasing of Parcel No. 291-0815-0412-182 and 291-0815-0412-185

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor McFarland, Alderman Blanke, Beyer, Kneser, Krueger, Lampe, Talaga, Zirbes

Also in attendance: Ruth Mack, William Wendorff, John Katisch, Mason Becker

1. Call to order

2. Approval of Minutes

A. Site Plan Review minutes February 24, 2025

B. Plan Commission minutes February 24, 2025

Motion to approve both sets of minutes was made by Krueger and seconded by Lampe, passed on unanimous voice vote.

3. Business

A. Public Hearing: 120 W. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section 550-34B(2)(f)

No Public Comment.

B. Review and take action: 120 W. Main Street – request for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment under Section 550-34B(2)(f)

Brian Zirbes presented the request for a CUP for 120 W. Main Street to the commission members.

Motion to approve with no conditions was made by Blanke, seconded by Talaga and passed on a unanimous voice vote.

C. Review initial resolution and make recommendation to Council: A portion of Cole Street Discontinuance of Public Way

Brian Zirbes presented the request to vacate a portion of Cole Street West of N. Second Street. The portion immediately to the West of Second St. will be 50' wide and that will narrow down to 30' beyond the first residential property. The purpose is to foster the development of an adjacent parcel to the North.

Motion to approve with no conditions and forward the resolution to the common council was made by Lampe, seconded by Kneser and passed on a unanimous voice vote.

D. Review and take action: 315 Mary Street offer to purchase city property.

Mason Becker was present to present the request to purchase the "triangle parcel" next to the adjacent stormwater retention pond for a residential development. Upon commission approval the Finance Committee will enter into negotiations for the terms of the sale.

Motion to approve considering the sale of 315 Mary Street and forwarding a positive recommendation to the Finance Committee was made by Kneser, seconded by Lampe and passed on a unanimous voice vote with Beyer abstaining.

E. Convene into closed session per 19.85(1)€ to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conduction other specified public business, whenever competitive or bargaining reasons require a closed session (Hart Street Drainage improvements)

Motion to convene to closed session made by Lampe, seconded by Blanke and passed on a unanimous roll call vote.

F. Reconvene into open session

G. Review and take possible action: Direct the Public Works Department on how to proceed regarding Street Drainage Improvements

Motion to approve engineering staff, the mayor, and the city attorney to enter into negotiations with property owners to secure land needed Hart Street stormwater and drainage improvements was made by Krueger, seconded by Lampe and passed on a unanimous voice vote with Beyer abstaining.

All materials discussed at this meeting can be found at:

<https://cms4files.revize.com/watertownwi/March%2010,%202025%20PC%20Packet%20PUBLIC.pdf>

4. Adjournment (5:14pm)

Motion to adjourn was made by Blanke and seconded by Kneser and passed on a unanimous voice vote.

Respectfully Submitted,

Alderman Brad Blanke

NOTICE OF PUBLIC HEARING

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 24th day of March, 2025 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown. This public hearing will be to consider the request of Randall Mueller (applicant and owner) for a Conditional Use Permit for an Accessory Dwelling Unit under Section §550-24C(2)(b) and Section § 550-56AA. The property is zoned SR-4, Single-Family Residential, and further described as follows:

Lot 35, Brookstone Ridge – Phase II, City of Watertown, Jefferson County, Wisconsin. (621 Brookstone Way, PIN: 291-0815-0533-040)

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at nzimmerman@watertownwi.gov.

CITY OF WATERTOWN
Brian Zirbes
Zoning & Floodplain Administrator

BZ/nmz

PUBLISH: March 10, 2025
And
March 17, 2025

(BLOCK AD)



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: 621 Brookstone Way, Conditional Use Permit - CUP

A request by Randall Miller for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit within the Single-Family Residential (SR-4) Zoning District. Parcel PIN: 291-0815-0533-040

SITE DETAILS:

Acres: 0.24
Current Zoning: Single-Family Residential
Existing Land Use: Single-Family Home with an approved Short-Term Rental
Future Land Use Designation: Single-Family Residential

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for an 'Accessory Dwelling Unit' (ADU) within an existing home in the Single-Family Residential (SR-4) Zoning District. The ADU will be located in the walkout basement of the existing structure. The 'ADU will have one bedroom and be approximately 766 sq. ft. in area with an entrance and stairs located inside the garage. The proposed ADU will utilize an existing finished area previously used for an approved 'Short Term Rental'. The applicant will be giving up the right to utilize this space as a 'Short Term Rental' with the approval of this CUP.

STAFF EVALAUATION:

Site Plan Review Committee:
See Minutes of March 24, 2025.

Land Use and Zoning:

1. Within the Single-Family (SR-4) Zoning District an 'Accessory Dwelling Unit' is an accessory land use permitted as a Conditional Use [per § 550-24C(2)(b)]. An 'Accessory Dwelling Unit' includes a dwelling unit that is located on the same lot as a principal residential structure to which it is accessory, and that is subordinate in area to the principal dwelling, [per § 550-56AA].
2. Applicable requirements for all accessory dwelling units include the following: [per § 550-56AA]
 - a) No more than one accessory dwelling unit shall be allowed on a parcel.
 - b) Rooftop decks shall not be allowed.
 - c) The minimum gross floor area of accessory dwelling units shall be 300 square feet.
 - d) Under no circumstance shall an accessory dwelling unit's square footage exceed the first habitable floor of the principal structure.
 - e) An owner of the property must occupy at least one dwelling unit on the parcel as their primary place of residence.
 - f) Accessory dwelling units shall not be used for short-term rentals under § 550-56Y.
3. Applicable requirements for accessory dwelling units internal to a principal residential structure include the following: [per § 550-56AA(7)]
 - a) Internal accessory dwelling units are limited to 800 square feet. In no case shall the floor area of the internal accessory dwelling unit exceed the floor area of the first floor of the primary structure.



BUILDING SAFETY & ZONING DIVISION
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- b) The entire internal accessory dwelling unit shall be located on one level.
- c) The creation of the accessory dwelling unit shall not result in additional entrances facing the public street on the principal structure.

WISCONSIN STATUES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) In this paragraph:

a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.

b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

2. 62.23 (7) (de)(2)

a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.

b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.

3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.

4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.

5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISIONS:

Accessory Dwelling Unit (All) Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
1. No more than one accessory dwelling unit shall be allowed on a parcel.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
2. Rooftop decks shall not be allowed.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
3. The minimum gross floor area of accessory dwelling units shall be 300 square feet.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
4. Under no circumstance shall an accessory dwelling unit's square footage exceed the first habitable floor of the principal structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
5. An owner of the property must occupy at least one dwelling unit on the parcel as their primary place of residence.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
6. Accessory dwelling units shall not be used for short-term rentals under § <u>550-56Y</u> .	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No



**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

Accessory Dwelling Unit (<u>Internal</u>) Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
1. Internal accessory dwelling units are limited to 800 square feet. In no case shall the floor area of the internal accessory dwelling unit exceed the floor area of the first floor of the primary structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
2. The entire internal accessory dwelling unit shall be located on one level.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
3. The creation of the accessory dwelling unit shall not result in additional entrances facing the public street on the principal structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No

If Plan Commission answers “no” to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit.

ATTACHMENTS:

- Application materials

March 3, 2025

City of Watertown Zoning Department

105 Jones Street

Watertown, WI 53094

To Whom It May Concern:

My wife and I renovated our basement into a separate living unit about 3 years ago. Our children are grown and out of the house, and our thought was to make the unit available as a short-term rental, as well as accommodations for missionaries or special church speakers coming through Watertown. At that time, we went through the process of inspection and licensing as a short-term rental and have been operating in that sphere since then. About a year ago, a young man in our church had a need of housing, so we rented the apartment to him for a year, while still under the license of a short-term rental (and with the permission of the city). This fall, we rented the apartment to a young couple from our church. With the city's guidance, we have decided to offer the unit strictly as a long-term rental and no longer as a short-term rental. In addition, as a retiree, the regular additional income is helpful.

The rental unit is located on the lower (basement) level of our home at 621 Brookstone Way in Watertown.

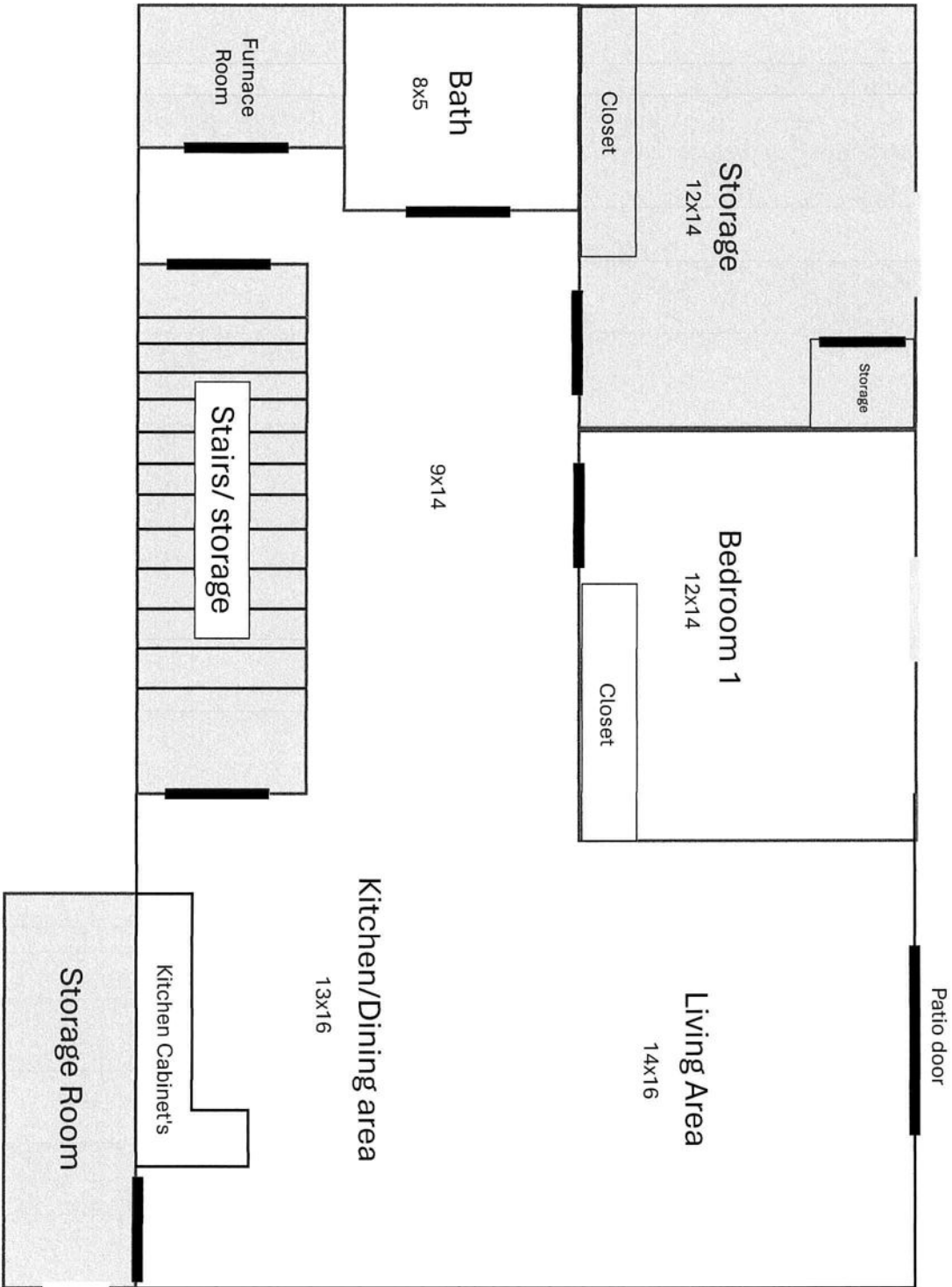
As one may see from the floor plan, the apartment is a one-bedroom unit with a full bathroom and kitchenette. The entrance is through the garage, into the house and down the steps to the unit. There is an accordion door that separates the upper unit from the stairway downstairs. The lower level opens out to our backyard through a patio door.

The upper level of our house has a dwelling area of 1428 sq. ft., while the lower-level apartment has a dwelling area of 766 sq. ft.

Thank you for your consideration.

Respectfully submitted,

Randy and Donna Mueller



Patio door

Storage
12x14

Closet

Bedroom 1
12x14

Closet

Bath
8x5

9x14

Stairs/
storage

Furnace
Room

Kitchen/Dining area
13x16

Kitchen Cabinet's

Storage Room

621 Brookstone Way
Lower-level apartment.

Entrance through garage
to top of stairs.

Lower level opens out to
back yard.

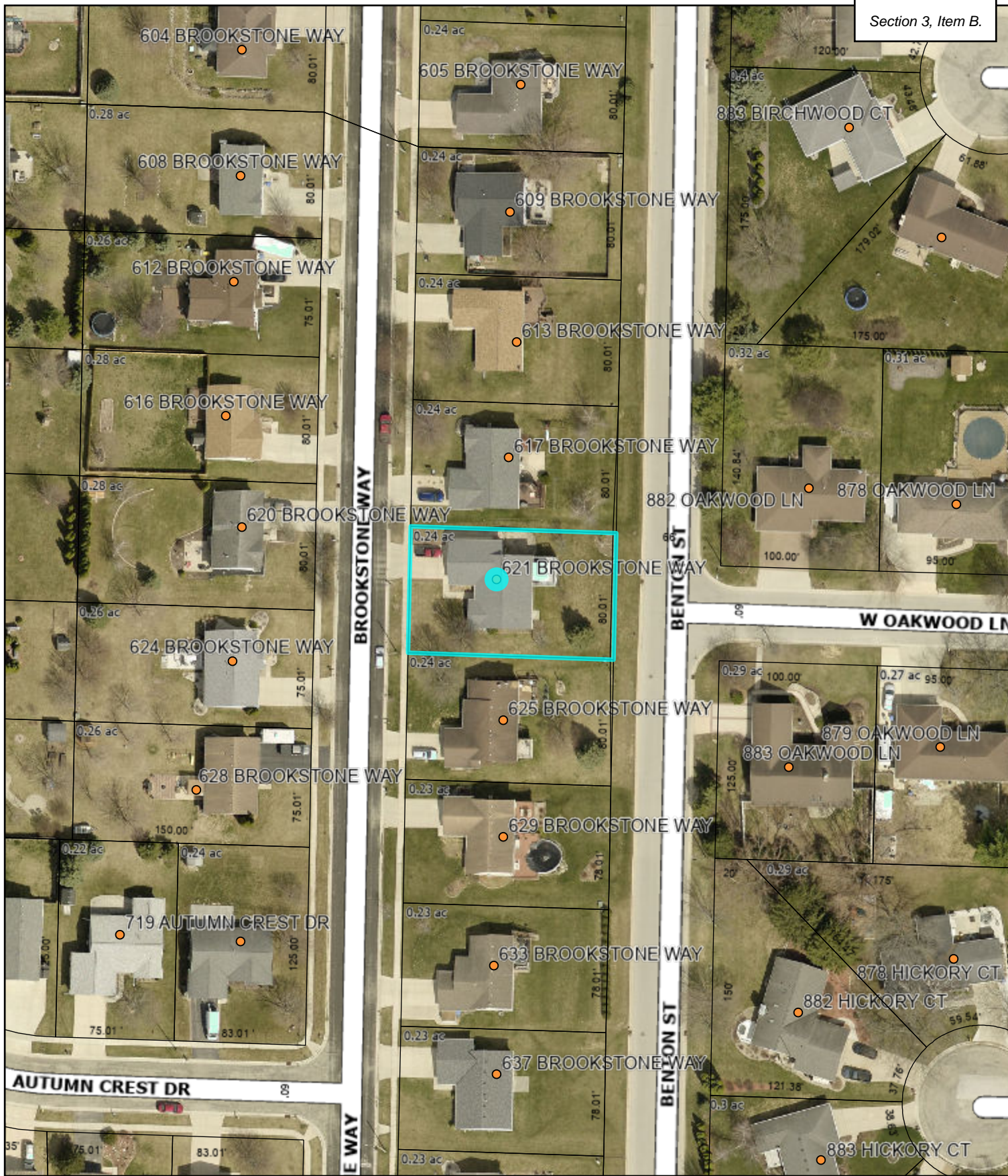
Areas not included
in rental

Total square footage
of rental – 766 sq.ft.

Total square footage
of upper level – 1428
sq.ft.

Note: Drawing shows basic
layout of apartment, but is
not accurate to scale

Section 3, Item B.



City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

Scale: 1:977

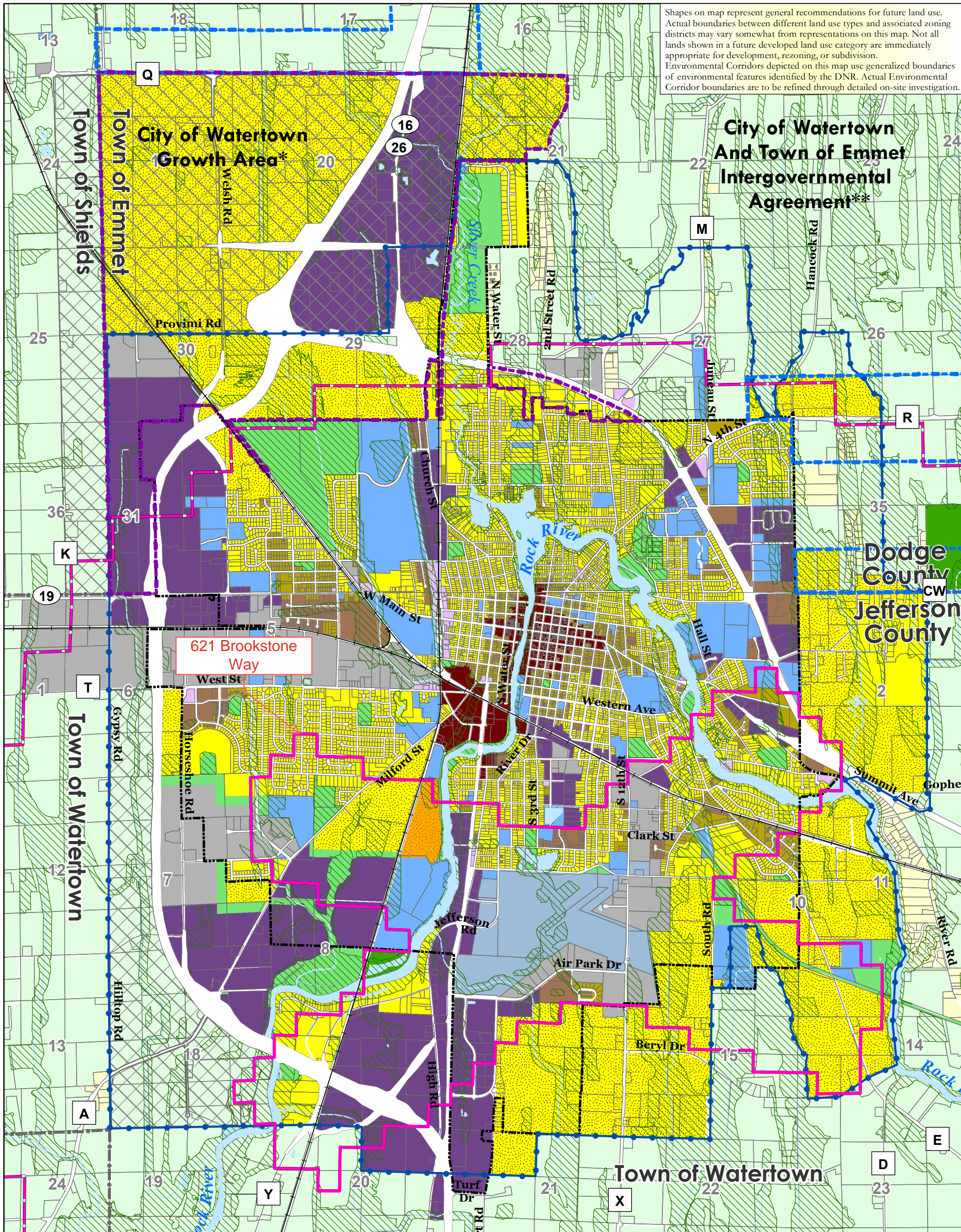
SCALE BAR = 1"

Printed on: March 3, 2011
Author:

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DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

City/Town IGA**
 City Growth Area
 City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

	Agricultural
	Single-Family Residential - Unsewered
	Single-Family Residential - Sewered
	Two-Family Residential
	Multi-Family Residential
	Planned Neighborhood**
	Institutional
	Airport

	Rights-of-Way
	Neighborhood Mixed Use
	Planned Mixed Use*
	Central Mixed Use
	Riverside Mixed Use***
	Mixed Industrial
	Parks & Recreation
	Environmental Corridor
	Surface Water

*Each "Planned Mixed Use Area" may include mix of:
 1. Office
 2. Multi-Family Residential
 3. Mixed Industrial
 4. Commercial Services/Retail
 5. Institutional
 6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
 1. Single-Family - Sewered (predominant land use)
 2. Two-family Residential
 3. Multi-Family Residential
 4. Institutional
 5. Neighborhood Mixed Use
 6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
 1. Office
 2. Single-Family - Sewered
 3. Two-Family Residential
 4. Multi-Family Residential
 5. Commercial Services/Retail
 6. Institutional
 7. Parks & Recreation



	City of Watertown
	Town Boundary
	Parcel
	Railroad
	Watertown Urban Service Area
	Watertown Long Range Growth Area

Airport Height Limitations
 Maximum Building Elevation b/t 865 and 968 ft
 Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
 Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

THE CITY OF WATERTOWN
 Opportunity runs through it.

VANDEWALLE & ASSOCIATES INC.
 Shaping places, shaping change

NOTICE OF PUBLIC HEARING

Section 3, Item C.

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 24th day of March, 2025 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown. This public hearing will be to consider the request of Alex Josue Blandon Robles (applicant) & Capital Watertown, LLC (owner) for a Conditional Use Permit for an Indoor Commercial Entertainment land use under Section § 550- 33B(2)(g) & Section § 550-52H for a restaurant. 1504 S. Church Street is zoned General Business, and further described as follows:

A division of Block 4 in Boomer’s Addition to the City of Watertown lying Westerly of STH “26”, Outlot 6 and part of Outlot 5 in the 7th Ward and Lot 1 of Certified Survey Map No. 3853, in the Northwest ¼ and Southwest ¼ of the Northwest ¼ of Section 9, Town 8 North, Range 15 East, in the City of Watertown, Jefferson County, Wisconsin, bounded and described as follows:

Commencing at the Northwest corner of the Northwest ¼ of said ¼ Section; thence South 00°52’22” East along the West line of said ¼ Section 1159.63 feet to a point; thence South 89°22’00” East 209.55 feet to the point of beginnings of the lands to be described; thence continuing South 89°22’00” East 136.02 feet to the Southwest Corner of Lot 1 of Certified Survey Map No. 3853; thence North 04°27’55” East along the West line of said Lot 134.26 feet to a point on the Southerly right-of-way of Omena Street; thence North 89°45’00” East along said South line 85.00 feet to the Northeast corner of said Lot 1; thence South 04°25’25” West along the East line of said Lot 1 a distance of 135.57 feet to a point; thence South 89°22’00” East 75.18 feet to a point on the West line of West Church Street (STH “26”); thence South 04°33’00” West along Said West line 809.38 feet to a point on the Northerly line of Sauk Street, and unimproved road; thence South 89°45’00” West along said North line 259.04 feet to a point; thence North 05°02’14” East 235.69 feet to a point; thence North 00°38’00” East 576.49 feet to the point of beginning (1504 South Church Street, PIN 291-0815-0923-067)

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at nzimmerman@watertownwi.gov.

CITY OF WATERTOWN
Brian Zirbes
Zoning & Floodplain Administrator

BZ/nmz

PUBLISH: March 10, 2025
And
March 17, 2025

(BLOCK AD)

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: 1504 S Church Street, Conditional Use Permit - CUP

A request by Alex Jouse Blandon Robles for a Conditional Use Permit (CUP) for 'Indoor Commercial Entertainment'.
Parcel PIN(s): 291-0815-0923-067

SITE DETAILS:

Acres: 2.53
Current Zoning: General Business (GB)
Existing Land Use: Retail & Restaurant
Future Land Use Designation: Planned Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Indoor Commercial Entertainment' for a restaurant and convenience/grocery store called 'Latinos Supermarket'. The CUP is needed for the restaurant portion of the business. The restaurant was established without first obtaining the required CUP. Since opening, approximately a dozen fire calls have been made to the business for smoke due to an improperly functioning exhaust hood. The Fire Department has identified several violations to the fire code including an incorrect exhaust hood type and fire suppression system. These issues are in the process of being corrected. Several electrical and plumbing code violations have also been documented at the business and are also in the process of being corrected.

STAFF EVALUATION:

Site Plan Review Committee:

See Minutes of March 24th, 2025.

Land Use and Zoning:

1. Within the General Business (CB) Zoning District, 'Indoor Commercial Entertainment' is a principal land use permitted as a conditional use [per § 550-33B(2)(g)]. 'Indoor Commercial Entertainment' includes restaurants among the allowed uses [per § 550-52H].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- 'If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property' [per § 550-52H(1)(a)].
 - The 'facility shall provide a bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property' [per § 550-52H(1)(b)].
2. Parking requirements. One space per every three patron seats or lockers (whichever is greater) or one space per three persons at the maximum capacity of the establishment (whichever is greater). The proposed restaurant is located within an existing strip mall with established parking that meets these requirements.
 3. Landscaping requirements. The minimum landscape surface ratio (LSR) in the General Business (GB) Zoning District is 15%. The proposed restaurant is located within an existing strip mall with an approved landscaping plan that meets LSR and other landscaping requirements.



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) *In this paragraph:*
 - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
 - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
 - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
 - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Commercial Entertainment Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
<i>If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Facility shall provide bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see § 550-99).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Parking requirements. One space per every three patron seats or lockers (whichever is greater) or one space per three persons at the maximum capacity of the establishment (whichever is greater).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:
 - a) All outstanding Fire and Building Code violations must be corrected.

STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit with conditions.



**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

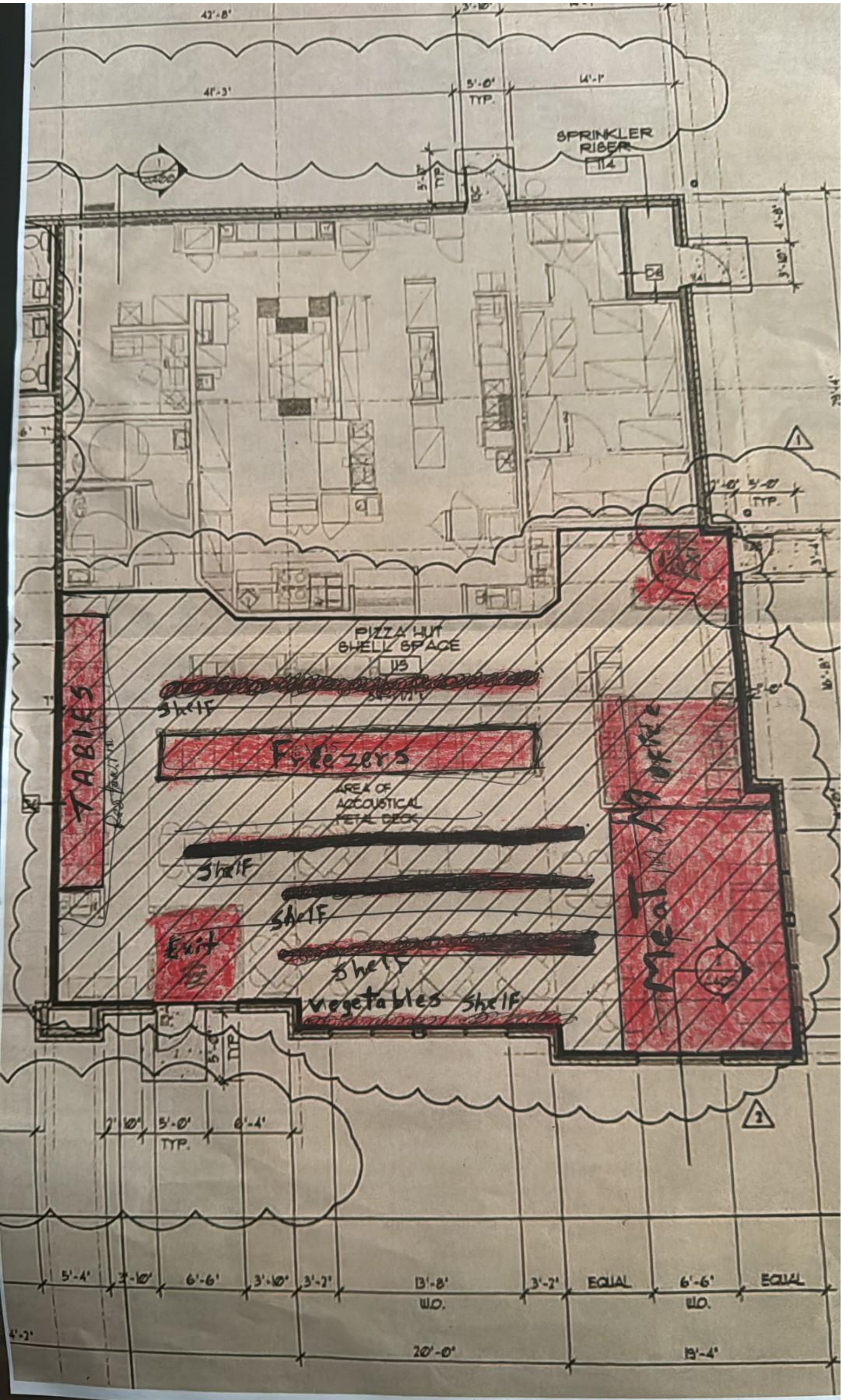
ATTACHMENTS:

- Application materials

02/27/2025

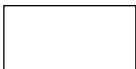
Re: 1504 S. Church Street

We will have a grocery store and a restaurant. At the main entrance we have tables for our customers. On one side we have a line of 6 doors of coolers in front of the butcher wall and vegetables side.





City Boundary



Parcel Boundary



City of Watertown Geographic Information System

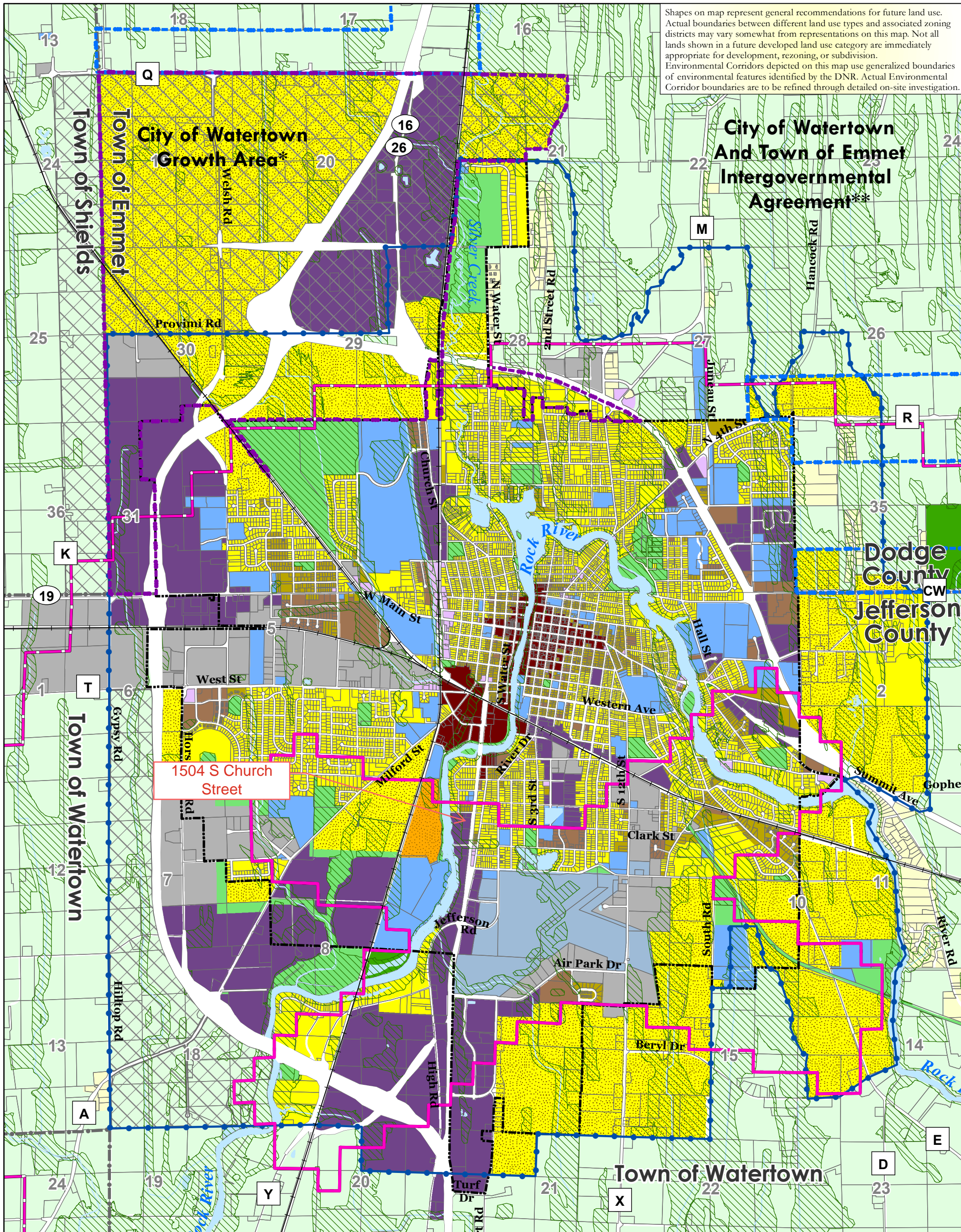
Scale: 1:3,421

Printed on: March 3, 2016
Author:

SCALE BAR = 1"

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

City/Town IGA**
 City Growth Area
 City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

	Agricultural
	Single-Family Residential - Unsewered
	Single-Family Residential - Sewered
	Two-Family Residential
	Multi-Family Residential
	Planned Neighborhood**
	Institutional
	Airport

	Rights-of-Way
	Neighborhood Mixed Use
	Planned Mixed Use*
	Central Mixed Use
	Riverside Mixed Use***
	Mixed Industrial
	Parks & Recreation
	Environmental Corridor
	Surface Water

*Each "Planned Mixed Use Area" may include mix of:
 1. Office
 2. Multi-Family Residential
 3. Mixed Industrial
 4. Commercial Services/Retail
 5. Institutional
 6. Parks & Recreation

***"Planned Neighborhoods" should include a mix of the following:
 1. Single-Family - Sewered (predominant land use)
 2. Two-family Residential
 3. Multi-Family Residential
 4. Institutional
 5. Neighborhood Mixed Use
 6. Parks & Recreation

***Each "Riverside Mixed Use Area" may include mix of:
 1. Office
 2. Single-Family - Sewered
 3. Two-Family Residential
 4. Multi-Family Residential
 5. Commercial Services/Retail
 6. Institutional
 7. Parks & Recreation

	City of Watertown
	Town Boundary
	Parcel
	Railroad
	Watertown Urban Service Area
	Watertown Long Range Growth Area

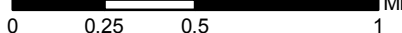
Airport Height Limitations

	Maximum Building Elevation b/t 865 and 968 ft
	Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
 Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

THE CITY OF WATERTOWN
 Opportunity runs through it.

VANDEWALLE & ASSOCIATES INC.
 Shaping places, shaping change



WATERTOWN FIRE DEPARTMENT (WI)

INSPECTION REPORT

LATINO SUPER MARKET, 1504 S CHURCH ST, BLDG UNNAMED, WATERTOWN WI 53094

Section 3, Item D.



DETAILS

Inspection Date: 12/18/2024 | Inspection Type: Annual | Inspection Number: 3703 | Shift: N/A | Station: N/A | Unit: N/A |
Lead Inspector: Don Dishno | Other Inspectors: N/A

VIOLATIONS AND COMPLIANCES

Showing only violations and images for this inspection. Please reach out to the lead inspector for more details.
Resolved Violations: 0 | Passed Codes: 41 | Violations: 5 | N/A Codes: 0

STATUS	CODE	DESCRIPTION
FAIL	0.13 - Suppression system	Annual inspections up to date on suppression system? Location: Kitchen Original Comment: Current type two hood on location does not have a suppression system. When the type one hood is properly installed, a fire suppression system shall Also be Design, installed, and tested prior to any cooking taking place.
FAIL	32.4.11.1.5 - Extinguishment Requirements	Portable fire extinguishers shall be installed and maintained in accordance with Section 13.6. [140:4.11.1.5] Location: GENERAL Original Comment: An ABC fire extinguisher must be placed at each of the exterior doors.
FAIL	32.4.11.1.5 - Extinguishment Requirements	Portable fire extinguishers shall be installed and maintained in accordance with Section 13.6. [140:4.11.1.5] Location: Kitchen Original Comment: A Class K kitchen fire extinguisher must be placed in the kitchen.

STATUS **CODE** **DESCRIPTION**

FAIL 50.2.2.1 - Clearance Where enclosures are not required, hoods, grease removal devices, exhaust fans, and ducts shall have a clearance of at least 18 in. (457 mm) to combustible material, 3 in. (76 mm) to limited-combustible material, and 0 in. (0 mm) to noncombustible material. [96:4.2.1]

Location: Kitchen

Original Comment: All appliances must fit properly underneath a type one hood. Currently, the type two hood in place is not large enough for all of the equipment below it. The cooking shall take place until all violations are remedied.

FAIL 50.4.4.7.3 - Modifications to Existing Hood Systems The addition of obstructions to spray patterns from the cooking appliance nozzle(s) such as baffle plates, shelves, or any modification shall not be permitted. [96:10.2.7.3]

Location: Kitchen

Original Comment: The current type two hood system is not designed for fryers, grills, charbroiler, or stoves. Have a qualified hood contractor evaluate the hood and duct system, and either properly design and modify existing hood or replace with the proper hood. No cooking shall take place until all violations are remedied.

REINSPECTION DATE

01/17/2025

FEE

Invoice Date: N/A | Inspection Fee: N/A | Date Paid: N/A | Amount Paid: N/A | Invoice Number: N/A | Check Number: N/A | Transaction Number: N/A

CONTACT SIGNATURE

Felisa Corona Forte
Signed on: 12/18/2024 @ 16:02

INSPECTOR SIGNATURE

Section 3, Item D.

Don Dishno
Signed on: 12/18/2024 @ 16:03

A handwritten signature in black ink, appearing to read 'Don Dishno', written over a horizontal line.

QUESTIONS ABOUT YOUR INSPECTION?

Don Dishno
ddishno@watertownwi.gov
No phone number available

David Johnsen

From: Don Dishno
Sent: Wednesday, December 18, 2024 9:18 PM
To: Lumos Dei Consulting Services LLC; notification@esosolutions.com
Cc: David Johnsen
Subject: Re: Inspection Report for your occupancy

Felisa,

I want to make sure we all understand that there shall be NO COOKING on site until the proper hood and suppression systems are in. Doing so could cause a fire or potentially activate the building fire sprinkler system, causing water damage and possibly injury.

Please contact me with any questions or concerns. Thank you.

Don A. Dishno

City of Watertown Fire Inspector
E: ddishno@watertownwi.gov
P: 920.261.3610
C: 920.285.8095



From: Lumos Dei Consulting Services LLC <lumosdeiconsultingservices@gmail.com>
Sent: Wednesday, December 18, 2024 4:17:47 PM
To: notification@esosolutions.com <notification@esosolutions.com>
Cc: David Johnsen <DJohnsen@watertownwi.gov>; Don Dishno <DDishno@watertownwi.gov>
Subject: Re: Inspection Report for your occupancy

Thank you for the report



FELISA CORONA-FORTE
BUSINESS CONSULTANT

608-333-4167

Section 3, Item D.

WWW.lumosdeiconsultingservices.com

On Wed, Dec 18, 2024 at 4:04 PM <notification@esosolutions.com> wrote:

Attached is the inspection report recently completed on your occupancy. Information about contacting your inspector is within the inspection report.

Please do not reply to this email.



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000728	0	WCD-2500004	25-0000723	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/24/2025	20:36:34		Emergency		86 86 Investigate		
Incident Type							
711	711 Municipal alarm system, malicious false alarm						
Incident Type Plus One					Aid Given or Received: None		

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
20:36:43	20:38:08	20:40:57	21:18:19	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm at the listed address. This was our third call within nine hours for a fire alarm at this location. Upon arrival found the 2 occupants outside and all the doors propped open. When we made entry interior we found a light haze of smoke throughout the location. The alarm was reset prior to our arrival. Further investigations found that they were cooking and the ventilation hood system is not properly working. There is no active fire or hazards. The manager stated that they know the hood system is not working and they are working with the owner of the property to get it fixed. We informed them that they can no longer cook until the hood/ventilation system is serviced and fixed. We also informed them that we would be sending out a fire inspector at 10 am tomorrow to inspect the hood system. All units cleared the scene and returned to quarters.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
PRE-INCIDENT VALUES	Property Use
Property	519 519 Food and beverage sales, grocery store
Contents	Mixed Property Use
LOSSES (If no loss, leave blank)	HazMat Release
Property	
Contents	Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	20:38:20	20:38:22	20:41:34	21:18:19	1
4154 - Ambula	4154	20:36:43	20:38:08	20:40:57	21:18:19	2
4161 - Engine	4161	20:36:44	20:38:16	20:41:33	21:18:19	4

Authorization

Member Making Report

Member Making Report Matthew Pieper	Member Making Assignment Battalion Chief	Report Completed Date 2/24/2025 9:25:56 PM
---	--	--

Officer In Charge

Officer In Charge Matthew Pieper	Officer In Charge Assignment Battalion Chief
--	--

Review

Report Reviewed By	Report Reviewed Date
---------------------------	-----------------------------



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000723	0	WCD-2500004	25-0000718	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/24/2025	14:07:40		Emergency		86 86 Investigate		
Incident Type							
735	735 Alarm system sounded due to malfunction						
Incident Type Plus One					Aid Given or Received: None		

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
14:08:44	14:09:29	14:12:35	14:33:44	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm. While en route dispatch notified us that they received a call from the property stating there was no fire and they wanted to cancel the response. 4110 continued to the scene. Upon arrival there was no smoke or flames showing. 4110 made contact with 2 occupants inside that stated there were no hazards and that the alarm did not sound in the building. The manager stated he thinks there are issues with the alarm system. I informed him to call a technician to fix the alarm, and if they need to take the alarm offline they need to have a fire watch. I walked the building and found no hazards. 4110 cleared the scene. While enroute back to the station dispatch notified me over the radio that they got another call from the alarm company in regard to a fire alarm at the listed address so I responded back to the scene. I found no hazards and re informed the manager that they should get a service technician out to service the fire alarm. I also informed him that if they need to take the alarm offline they have to contact the fire department and have a firewatch. 4110 cleared the scene and returned to quarters

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	14:09:30	14:09:33	14:12:35	14:33:44	1

Authorization

Member Making Report

Member Making Report

Matthew Pieper

Member Making Assignment

Deputy Chief

Report Completed Date

2/24/2025 2:58:10 PM

Officer In Charge

Officer In Charge

Matthew Pieper

Officer In Charge Assignment

Deputy Chief

Review

Report Reviewed By

Report Reviewed Date



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000650	0	WCD-2500004	25-0000645	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/17/2025	9:09:07		Emergency		86 86 Investigate		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
9:09:31	9:10:01	9:13:57	9:18:59	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

WFD dispatched 911 to above location for a fire alarm. While enroute 4110 and 4161 advised by dispatch that alarm company had called back to cancel the alarm. 4161 continued in non-emergent to verify. Upon arrival no alarms were present. Spoke with a person inside who stated the alarm was due to burnt food and he had reset the alarm prior to FD arrival. FD advised the gentleman he should not be resetting the alarm. FD confirmed the burnt food and no other hazards present. FD cleared and went to another call for service. A name was not taken due to multiple runs.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4161 - Engine	4161	9:10:59	9:11:02	9:13:57	9:18:59	4

Authorization

Member Making Report

Member Making Report

Brandon Wojnowski

Member Making Assignment

Company Officer

Report Completed Date

2/17/2025 10:14:49 AM

Officer In Charge

Officer In Charge

Brandon Wojnowski

Officer In Charge Assignment

Company Officer

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

#####



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000615	0	WCD-2500003	25-0000610	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
02/14/25	13:03:38		Emergency		86 86 Investigate		
Incident Type							
740	740 Unintentional transmission of alarm, other						
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
13:04:14	13:04:21	13:08:42	13:15:29	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
02- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm; while en route, dispatch advised that it was a false alarm and no response was not needed. 4110 On scene single-story strip mall, nothing showing, investigating. Investigation showed that the smoke alarm was due to burnt food; no hazards were noted. The alarm system was in normal operation. E61 cancelled, and 4110 returned to service.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	13:04:25	13:04:27	13:08:42	13:15:29	1
4161 - Engine	4161	13:04:16	13:04:21		13:09:43	4

Authorization

Member Making Report

Member Making Report

Chad Butzine

Member Making Assignment

Battalion Chief

Report Completed Date

02/14/25 20:42:09

Officer In Charge

Officer In Charge

Chad Butzine

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

02/23/25 13:07:28



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000482	0	WCD-2500002	25-0000477	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
1/30/2025	14:02:15		Emergency		86 86 Investigate		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
14:02:32	14:03:39	14:07:12	14:11:19	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address		Property ID
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched to the listed address for a fire alarm. While en route dispatch notified us that the store called them and wanted to cancel the alarm. We continued non emergent. We made contact with the store owner and walked through the store. There was no alarm and no hazards. 4110 and Engine 61 cleared the scene.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	14:02:32	14:04:12	14:07:37	14:11:19	1
4154 - Ambula	4154	14:03:05	14:04:15	14:07:12	14:07:45	2
4161 - Engine	4161	14:03:03	14:03:39	14:07:43	14:11:10	4

Authorization

Member Making Report

Member Making Report

Matthew Pieper

Member Making Assignment

Battalion Chief

Report Completed Date

1/30/2025 5:00:40 PM

Officer In Charge

Officer In Charge

Matthew Pieper

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

2/3/2025 7:32:15 PM



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000211	0	WCD-2500001	25-0000207	Station One	C

Incident Date	Event / Call Time	Emergency / Non Emergency	Incident Action
01/20/25	10:28:21	Emergency	86 86 Investigate

Incident Type
745 745 Alarm system activation, no fire - unintentional

Incident Type Plus One Aid Given or Received: None

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
10:28:34	10:29:22	10:32:30	10:53:41	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a smoke duct detector alarm, while enroute advised by dispatch that they received a call stating no hazards alarm was due to smoke from cooking no fire asking to cancel. Advised dispatch that we would follow in. Upon arrival found two story strip mall restaurant nothing showing alarms present partial evacuation. Confirmed that there were no hazards in the building and attempted system reset. System would not reset and building occupants were advised of the issue that they would need a alarm co to look at the system. No hazards present all WFD units returned to service.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

51 - Row of stores

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	10:28:34	10:29:22	10:32:30	10:53:41	1
4161 - Engine	4161	10:28:39	10:30:13	10:33:03	10:53:13	3

Authorization

Member Making Report

Member Making Report

Chad Butzine

Member Making Assignment

Battalion Chief

Report Completed Date

01/20/25 21:43:51

Officer In Charge

Officer In Charge

Chad Butzine

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

01/24/25 21:40:35



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000126	0	WCD-2500001	25-0000124	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
01/12/25	15:25:35		Emergency		86 86 Investigate 63 63 Restore fire alarm system		
Incident Type							
745 745 Alarm system activation, no fire - unintentional							
Incident Type Plus One				Aid Given or Received: None			

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
15:25:48	15:27:18	15:29:56	15:59:58	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched 911 for an automatic fire alarm at 1504 S. Church St. at the Latinos Supermarket. On arrival entrance was made into the Latinos Supermarket and no smoke, no fire, and no alarms were going off. There was also no evacuation in progress. The fire alarm panel indicated trouble alarm and WFD was able to reset the alarm system back to normal. The owner of the business, Melissa Olampo, was spoken to with her daughter as an interpreter. This is approximately the 4th trouble alarm or false alarm in the past few weeks and the owner was told she needed to contact the alarm company tomorrow morning when the alarm company opens to try and get a technician out to trouble shoot and fix the alarm system. The remaining strip mall occupancies were inspected, and no hazards were found. All units were released by 4110 (Command).

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
PRE-INCIDENT VALUES	Property Use
Property	519 519 Food and beverage sales, grocery store
Contents	Mixed Property Use
LOSSES (If no loss, leave blank)	HazMat Release
Property	
Contents	Detector Status
	1 - Detector alerted occupants

Response						
Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	15:25:48	15:27:34	15:29:56	15:59:58	1
4154 - Ambula	4154	15:25:49	15:27:18	15:30:04	15:59:58	2
4161 - Engine	4161	15:25:51	15:27:32	15:30:43	15:59:58	4

Authorization

Member Making Report		
Member Making Report	Member Making Assignment	Report Completed Date
John Duvernell	Company Officer	01/12/25 16:23:12

Officer In Charge	
Officer In Charge	Officer In Charge Assignment
Brandon Wojnowski	Incident Command

Review	
Report Reviewed By	Report Reviewed Date
David Johnsen	01/15/25 09:44:59



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000117	0	WCD-2500001	25-0000115	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency	Incident Action			
01/11/25	20:43:33		Emergency	86	86 Investigate		
Incident Type				63	63 Restore fire alarm system		
735	735 Alarm system sounded due to malfunction			84	84 Refer to proper authority		
Incident Type Plus One				Aid Given or Received: None			

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
20:43:39	20:44:58	20:47:22	21:32:32	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm no zone. Upon arrival found strip mall single story nothing showing alarms active. Panel shows communication error no alarm system in trouble mode. Remote panels would not reset the system. Contacted building manager and reset the system from the main panel in rear of building. Advised the manager Josh that the system should be inspected by the alarm company due to the number of false alarms recently. All occupancies check by FD personnel no hazards found and building turned back over to tenants. All fire units returned to service.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

51 - Row of stores

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	20:44:53	20:44:58	20:48:48	21:32:32	1
4154 - Ambula	4154	20:43:40	20:45:17	20:47:22	21:32:32	2
4161 - Engine	4161	20:43:39	20:46:09	20:48:45	21:32:32	4

Owner /Involved Person and Entities

Owner Full Name **Owner / Involved** **Person / Entity** **Phone Number** **Entity Name**
Anderson, josh 2 - Involved 1 - Person 608-712-5544

Birth Date:

Is Responsible Party

E-Mail:

Mail Address: 1504 S Church ST Watertown WI 53094

Authorization

Member Making Report

Member Making Report **Member Making Assignment** **Report Completed Date**
Chad Butzine Battalion Chief 01/11/25 23:18:33

Officer In Charge

Officer In Charge **Officer In Charge Assignment**
Chad Butzine Battalion Chief

Review

Report Reviewed By **Report Reviewed Date**
David Johnsen 01/12/25 08:22:45



Watertown Fire Department

Section 3, Item D.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000012	0	250000012	25-0000012	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
1/2/2025	9:00:20		Emergency		86 86 Investigate 63 63 Restore fire alarm system		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
9:00:45	9:01:39	9:02:22	10:01:11	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address		Property ID
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm zone 31 nothing specific (old pizza hut). Upon arrival found strip mall mixed use with nothing showing. Crew made contact with occupants in (old Pizza hut) at address stated they were cooking in the kitchen and set off smoke detector. No Hazards found with investigation. Gained entry via knox box located at 1512 S. Church St. where the alarm panel is located. Engine crew confirmed no hazards in entire building system was reset and 1512 resecured. No other assistance needed all units returned to service.

Property

Section 3, Item D.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

51 - Row of stores

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	9:01:20	9:01:39	9:04:04	10:01:11	1
4154 - Ambula	4154	9:00:50	9:02:30	9:05:06	10:01:11	2
4161 - Engine	4161	9:00:45	9:02:43	9:05:04	10:01:11	4
4181 - Brush T	4181	9:02:19	9:02:22	9:02:22	10:01:11	1

Owner /Involved Person and Entities

Owner Full Name Owner / Involved Person / Entity Phone Number Entity Name

Roblers, Alex

2 - Involved

Birth Date:

Is Responsible Party

E-Mail:

Mail Address: 1504 S Church ST Watertown WI 53094

Authorization

Member Making Report

Member Making Report

Chad Butzine

Member Making Assignment

Battalion Chief

Report Completed Date

1/2/2025 6:46:37 PM

Officer In Charge

Officer In Charge

Chad Butzine

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

2/3/2025 8:56:15 PM

From: [Michael Jacek](#)
To: josh@capitolre.net
Cc: [Nikki Zimmerman](#); [Brian Zirbes](#); [Mark Hady](#); [Don Dishno](#); [Thomas Koerner](#); [David Johnsen](#); [Martin Kurzynski](#)
Subject: Latinos Grocery Store 1504 S Church ST
Date: Friday, March 14, 2025 5:01:30 PM
Attachments: [image001.png](#)

Josh,

See the previous email from Mark Hady for a list of electrical items that need to be addressed at the grocery store at 1504 S. Church St.

The main things we need for the restaurant to open is:

- All exit and egress lights working
- GFCI receptacles in required locations
- Get covers on any exposed wiring
- Remove tape from smoke alarms
- We'll need a report from a kitchen vent hood or HVAC company that states they have looked at the entire hood vent and fire suppression system and everything is operating as intended
- Conditional Use Permit approved by City of Watertown

The rest of the items listed by Mark below and other code items I will list here will need to be taken care of in a reasonable time, but would not hold up occupancy of the business. This list may not include all code violations, but this is what we saw when we did our walkthrough.

1. Floor drains need grate covers
2. Cap off old water lines where the old dishwasher and soda machines were
3. Back-flow preventer needed on mop sink
4. The panel and outlets that were added behind the drink coolers will need to be redone and relocated by a licensed contractor
5. Sink in kitchen is leaking onto the floor
6. Old water recirculating line is unsupported and is sagging where it's connected to the water heater
7. Corrugated pipe is not an allowed product for sink drains
8. One of the bathrooms was missing trap wrap on the sink trap

Mike Jacek
Building Inspector
Building, Safety & Zoning Department
(920) 262-4060
PO Box 477

106 Jones Street
Watertown, WI 53094



From: Mark Hady <MHady@watertownwi.gov>
Sent: Monday, March 10, 2025 11:02 AM
To: Michael Jacek <MJacek@watertownwi.gov>; Mike Hendricks <mikeh414@yahoo.com>
Cc: Nikki Zimmerman <NZimmerman@watertownwi.gov>; Brian Zirbes <BZirbes@watertownwi.gov>
Subject: Mexican Grocery Store 1504 S Church ST

Mike:

Following is a list of items that I observed on our walk through. This list may not be complete as I may have not observed something during the visit. The list dose not include Code references.

Observation List:

1. Some of the Exit and egress lights are not functioning as intended.
2. There areas that do not have GFCI protected receptacles as required in the code.
3. There are exposed wires on the outside of the building.
4. Wiring for lights under the Awnings is not code compliant.
5. GFCI is required for the receptacles under the Awnings
6. There is insufficient receptacle openings in places for the amount of devices that require a receptacle.
7. There are Multiplug adapters in use.
8. Un-bushed holes in metal with wire through them.
9. Unsupported loads hanging from ceiling receptacles.
10. Exposed wires accessible to patrons and staff.
11. Improperly supported cable in building.
12. Open boxes with conductors in them.
13. Spliced cords with tape.

14. No receptacle within proper distance from device needing an electric supply.
15. Unterminated Conduit with wires holding the conduit.
16. Unprotected Power cords on the floor.
17. Unclosed openings in boxes and fittings
18. Egress Fixture heads hanging by wires that supply the head.
19. Damaged fixture lenses in food prep area.
20. Low voltage cables supported by conduit raceways.
21. Broken/damaged Indicator lights.
22. Tape over the Fire alarm indicator horn. Reducing the required sound level of the device.
23. Open Knockouts in panel
24. Open breaker spaces in panel
25. Insufficient working space around panel
26. Improperly supported raceways.

NOTICE OF PUBLIC HEARING

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 24th day of March, 2025 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown, Wisconsin.

This public hearing will be to consider the request of Amber Yelk (applicant) and OKG Properties, LLC (owner) for a Conditional Use Permit for Indoor Commercial Entertainment under Section §550-34B(2)(f) & Section § 550-52H for a retail bakery with customer seating. 116 W. Main Street is zoned CB, Central Business, and is further described as follows:

A part of Lot 4, Block 45 in Original Plat on the West Side, City of Watertown, Jefferson County, Wisconsin, described as follows: One-third of Lot 4, in Block 45, taken off from the East side of said Lot 4, in such a manner that said one-third thereof shall contain and consist of a strip of land 22 feet wide on W. Main Street (formerly West Avenue Street) and running back the same width 132 feet therefrom.

TOGETHER WITH a 12-foot right-of-way in common with others by virtue of Easement recorded in Volume 679 of Records on Page 151, as Document No. 818327.

(Parcel Number 291-0815-0421-097).

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at nzimmerman@watertownwi.gov.

CITY OF WATERTOWN
Brian Zirbes
Zoning & Floodplain Administrator

BZ/nmz

PUBLISH: March 10, 2025
and
March 17, 2025

(BLOCK AD)



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: 116 W Main Street, Conditional Use Permit - CUP

A request by Amber Yelk for a Conditional Use Permit (CUP) for 'Indoor Commercial Entertainment'. Parcel PIN(s): 291-0815-0421-097

SITE DETAILS:

Acres: 0.07
Current Zoning: Central Business (CB)
Existing Land Use: Retail
Future Land Use Designation: Central Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Indoor Commercial Entertainment' to remodel former retail space into a bakery with customer seating.

STAFF EVALUATION:

Site Plan Review Committee:

See Minutes of March 24th, 2025.

Land Use and Zoning:

1. Within the Central Business (CB) Zoning District, 'Indoor Commercial Entertainment' is a principal land use permitted as a conditional use [per § 550-34B(2)(f)]. 'Indoor Commercial Entertainment' includes restaurants among the allowed uses [per § 550-52H].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- o 'If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property' [per § 550-52H(1)(a)].
- o The 'facility shall provide a bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property' [per § 550-52H(1)(b)].

2. Parking requirements. There are no requirements for on-site parking in the Central Business (CB) Zoning District §550-34A
3. Landscaping requirements. There are no requirements for on-site landscaping in the Central Business (CB) Zoning District §550-34A

**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) *In this paragraph:*
 - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
 - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
 - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
 - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Commercial Entertainment Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
<i>If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Facility shall provide bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see § 550-99).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Parking requirements. One space per every three patron seats or lockers (whichever is greater) or one space per three persons at the maximum capacity of the establishment (whichever is greater).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit.

ATTACHMENTS:

- Application materials

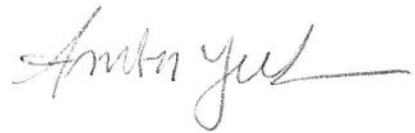
Monday, February 24, 2025

Watertown Planning Commission,

My name is Amber Yelk and I am the owner of Sassy Sweets Bakery, LLC in Watertown and I will be opening up a retail location at 116W. Main Street, by spring. I have currently been in business for nearly 10 years and will finally have a downtown business location. I am currently baking out of Watertown Farm Market Kitchen, an incubator kitchen, on Main Street here in town and have been selling at Farmers Markets in Pewaukee and Oconomowoc for the past 8 years. I also specialize in dessert bars and cupcakes for weddings in the surrounding areas.

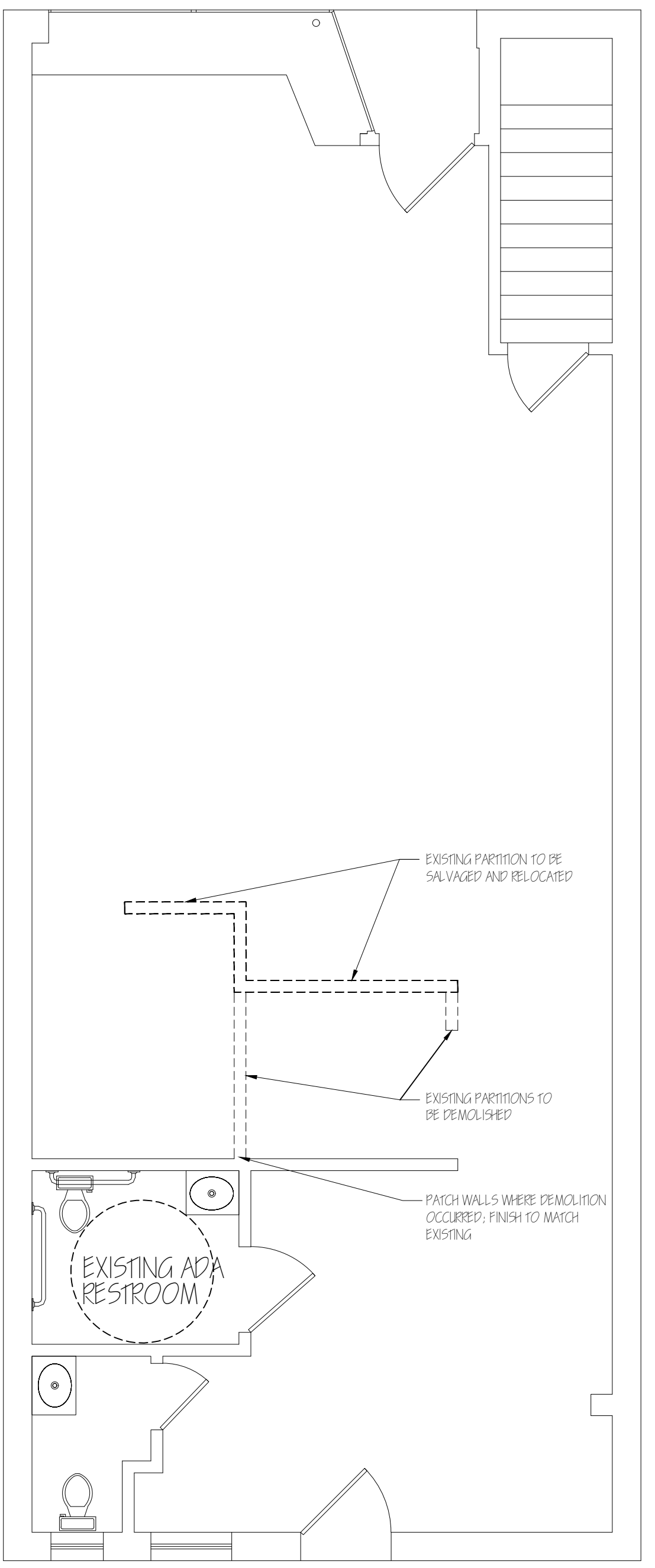
While providing bakery retail options to new and existing customers, I want to add table and chairs to the front of the bakery so customers can either enjoy their treats in-house, or to-go if they chose. I plan to offer many different cakes, scones, muffins, cheesecakes, and many more grab-n-go options to my customers. I feel I have an optimal location across from the Square and feel like my bakery can add to our thriving downtown.

I am very excited for this opportunity and hope you will allow for the added dine-in seating area in the front of the bakery. Thank you for the consideration,

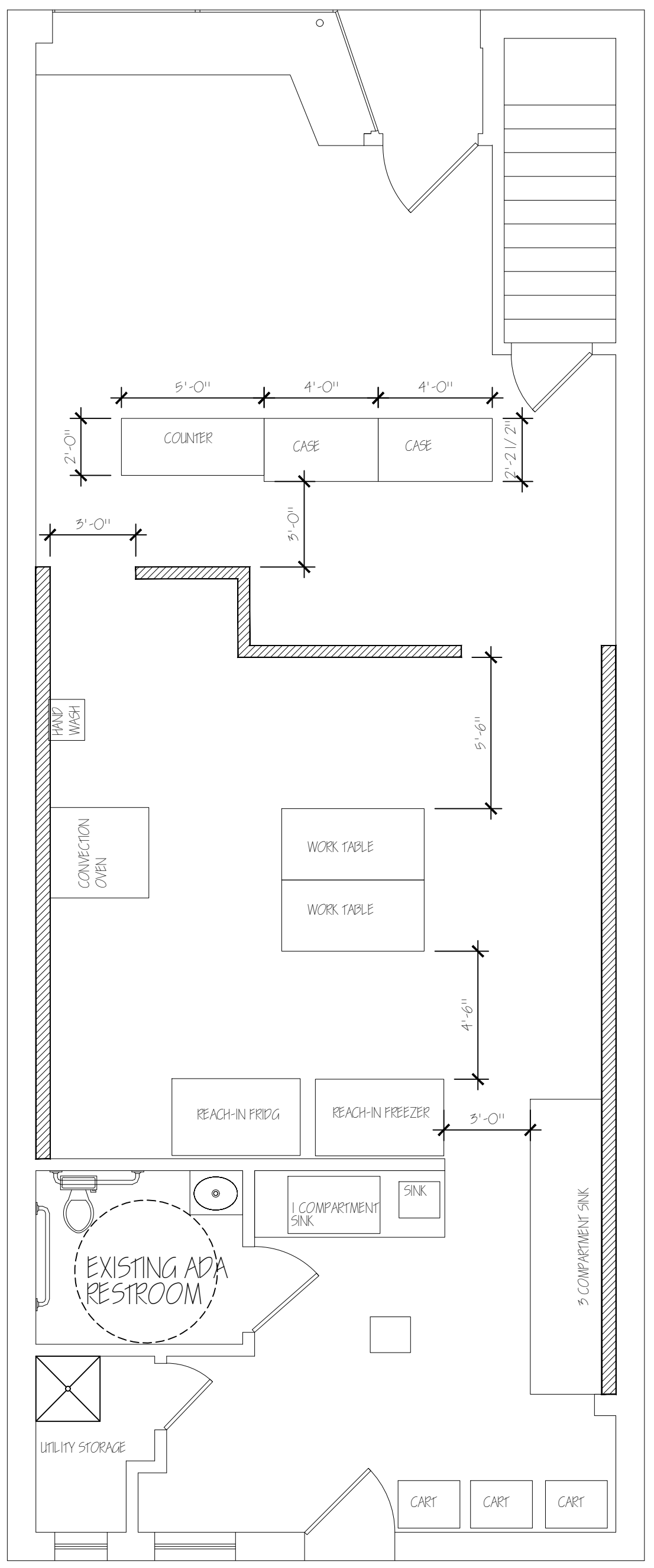


Amber Yelk

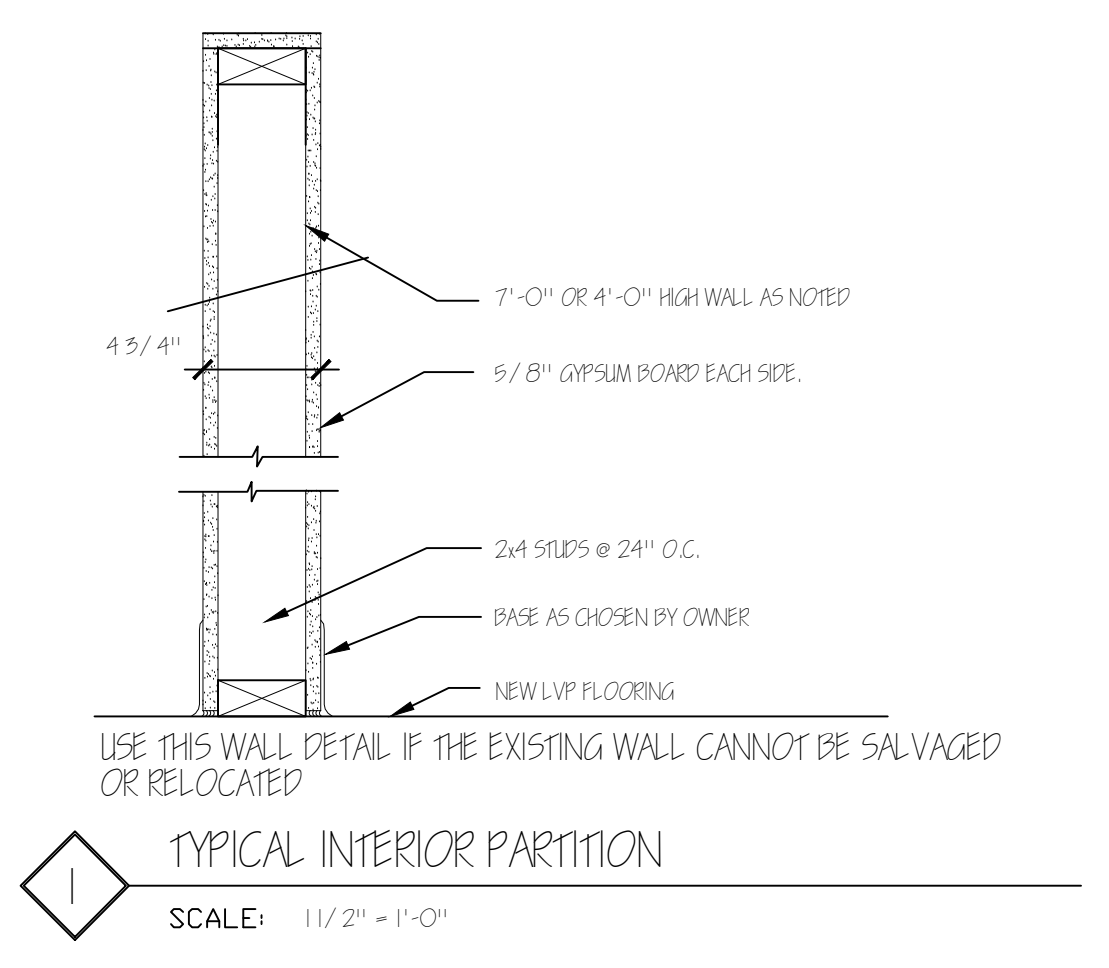
Owner/Baker



1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN AND EQUIPMENT
SCALE: 1/4" = 1'-0"



**SASSY SWEETS BAKERY
EQUIPMENT LAYOUT
116 WEST MAIN STREET
WATERTOWN, WI 53094**

ARCHITECT:
SchultzWerk
Architecture, Inc.
2515 NORTH 66TH STREET
WAUWATOSA, WI 53213
414.322.7374
swerk@juno.com

ARCHITECT:
KEITH SCHULTZ, ALA, ASID



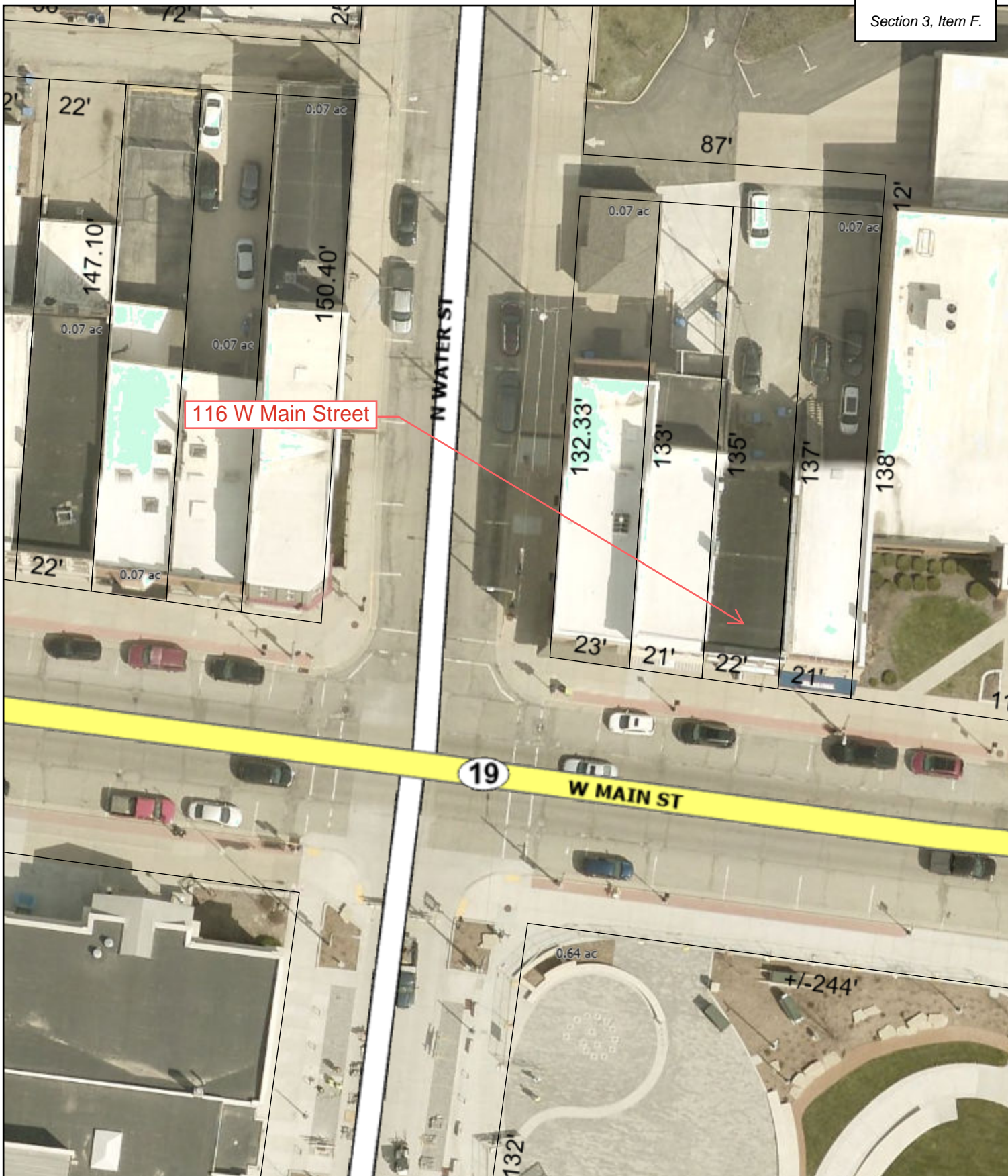
REVISIONS

PROJECT NO. 24028.00
DATE 04/08/2024
DRAWN BY KJS
CHECKED BY KJS

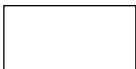
SHEET CONTENTS
FLOOR PLANS
AND DETAIL

SHEET
A1.1
1 OF 1





City Boundary



Parcel Boundary



City of Watertown Geographic Information System

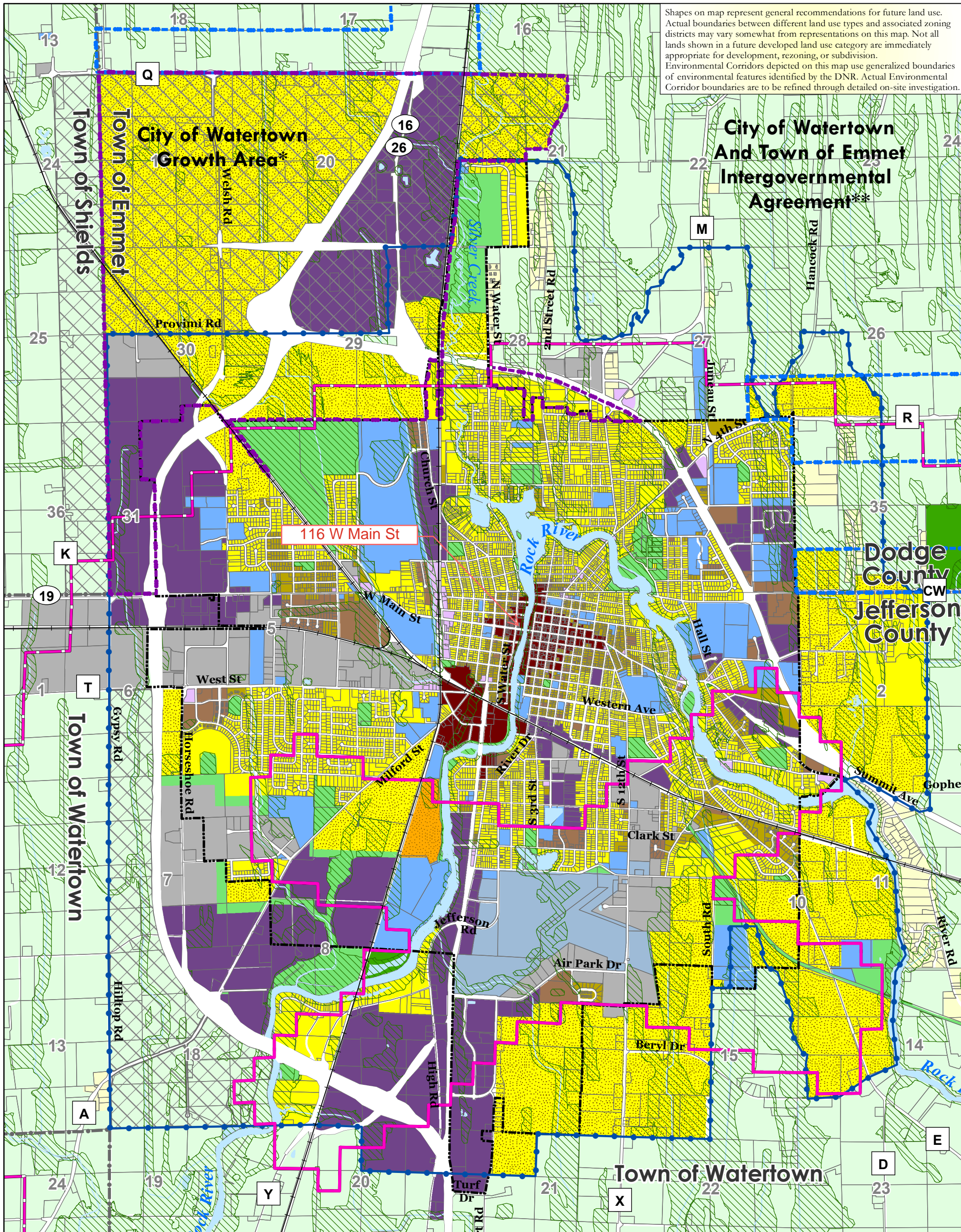
Scale: 1:443

SCALE BAR = 1"

Printed on: February
Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

- City/Town IGA**
- City Growth Area
- City Periphery Areas

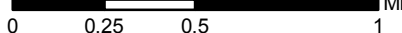
- *Each "Planned Mixed Use Area" may include mix of:
1. Office
 2. Multi-Family Residential
 3. Mixed Industrial
 4. Commercial Services/Retail
 5. Institutional
 6. Parks & Recreation
- **"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
 2. Two-family Residential
 3. Multi-Family Residential
 4. Institutional
 5. Neighborhood Mixed Use
 6. Parks & Recreation
- ***Each "Riverside Mixed Use Area" may include mix of:
1. Office
 2. Single-Family - Sewered
 3. Two-Family Residential
 4. Multi-Family Residential
 5. Commercial Services/Retail
 6. Institutional
 7. Parks & Recreation

City of Watertown Comprehensive Plan

- #### Land Use Categories
- Agricultural
 - Single-Family Residential - Unsewered
 - Single-Family Residential - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Planned Neighborhood**
 - Institutional
 - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

- City of Watertown
 - Town Boundary
 - Parcel
 - Railroad
 - Watertown Urban Service Area
 - Watertown Long Range Growth Area
- #### Airport Height Limitations
- Maximum Building Elevation b/t 865 and 968 ft
 - Maximum Building Elevation b/t 968 and 1005 ft
- Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A
- THE CITY OF WATERTOWN
Opportunity runs through it.
- VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



NOTICE OF PUBLIC HEARING

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 24th day of March, 2025 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown. This public hearing will be to consider the request of Jerry Heller (applicant) and Ydbi Islami & Bajram Iljazi (Property Owners) for a Conditional Use Permit for Indoor Commercial Entertainment for a bar and grill under Section 550-34B(2)(f) and Section 550-52H. The property is zoned CB, Central Business, and further described as follows:

Parcel 1: The West 42 feet and 4 inches of Lot 3, in Block 9, according to the map or plat of the Village (now City) of Watertown, on the East side of Rock River, as laid out by Luther A. Cole et. Al., surveyed by Milo Jones in May, 1847, and recorded.

Parcel 2: The following described real estate situated in Lot 3, Block 9, Original Plat of Watertown, East side of Rock River, being in the First Ward, now the Second Ward, of the City of Watertown, Jefferson County, Wisconsin, to-wit: Commencing 2 1/3 feet West from the Northeast corner of Lot 3, in said Block 9; thence South 108 feet; thence West 22 feet; thence North 108 feet; thence East 22 feet to the place of beginning. (301 East Main Street, PIN: 291-0815-0412-193)

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at nzimmerman@watertownwi.gov.

CITY OF WATERTOWN
Brian Zirbes
Zoning & Floodplain Administrator

BZ/nmz

PUBLISH: March 10, 2025
And
March 17, 2025

(BLOCK AD)



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
 DATE: March 24th, 2025
 SUBJECT: 301 E Main Street, Conditional Use Permit - CUP

A request by Jerry Heller, agent for D&J Sports Bar, for a Conditional Use Permit (CUP) for 'Indoor Commercial Entertainment'. Parcel PIN(s): 291-0815-0421-193

SITE DETAILS:

Acres: 0.16
 Current Zoning: Central Business (CB)
 Existing Land Use: Vacant
 Future Land Use Designation: Central Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Indoor Commercial Entertainment' to relocate an existing sports bar to 301 E Main Street. The building where the sports bar is currently located, 215 S Third Street, has been sold, facilitating the need for the move.

STAFF EVALUATION:

Site Plan Review Committee:

See Minutes of March 24th, 2025.

Land Use and Zoning:

1. Within the Central Business (CB) Zoning District, 'Indoor Commercial Entertainment' is a principal land use permitted as a conditional use [per § 550-34B(2)(f)]. 'Indoor Commercial Entertainment' includes taverns among the allowed uses [per § 550-52H].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- 'If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property' [per § 550-52H(1)(a)].
 - The 'facility shall provide a bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property' [per § 550-52H(1)(b)].
2. Parking requirements. There are no requirements for on-site parking in the Central Business (CB) Zoning District §550-34A
 3. Landscaping requirements. There are no requirements for on-site landscaping in the Central Business (CB) Zoning District §550-34A

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) *In this paragraph:*
 - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
 - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
 - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
 - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Commercial Entertainment Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
<i>If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Facility shall provide bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see § 550-99).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Parking requirements. One space per every three patron seats or lockers (whichever is greater) or one space per three persons at the maximum capacity of the establishment (whichever is greater).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit.

ATTACHMENTS:

- Application materials

D&J Sports Bar & Grill
 301 E Main St.
 Watertown, WI 53094

We are going to continue what we have been doing for the last 5 years. Which is Dart & Pool Leagues, Dart Tournaments, having Green Bay Packer signings, live music, DJs & Karaoke and Latin Nights.

Like to be adding a Comedy Nights, Bag Leagues/Tournaments, Pool Tournaments, weekend long Dart Tournaments, this would bring in people from out of town to stay for the weekend.

We would like to do Fundraisers for the Humane Society, Veterans, food drives.

Kitchen

As we become busier we'd like to increase our kitchen to be able to do Fish Fry's, Breakfast (start on weekends).

We will be looking to do more hiring. Looking forward to be moving to Historic Main Street.

Thank you,
 Jerry & Deb Heller

Main St

exit hallway back

average deck

seating area

video games

entry

seating area

Dart boards

pool tables

pool table

Table Table
Dart board

Bar

Table Table

gaming

3rd St

table

Dance or
seating area

Stage

Kitchen

Bedrooms

Bedrooms

Hallway
Up stairs



City Boundary



Parcel Boundary

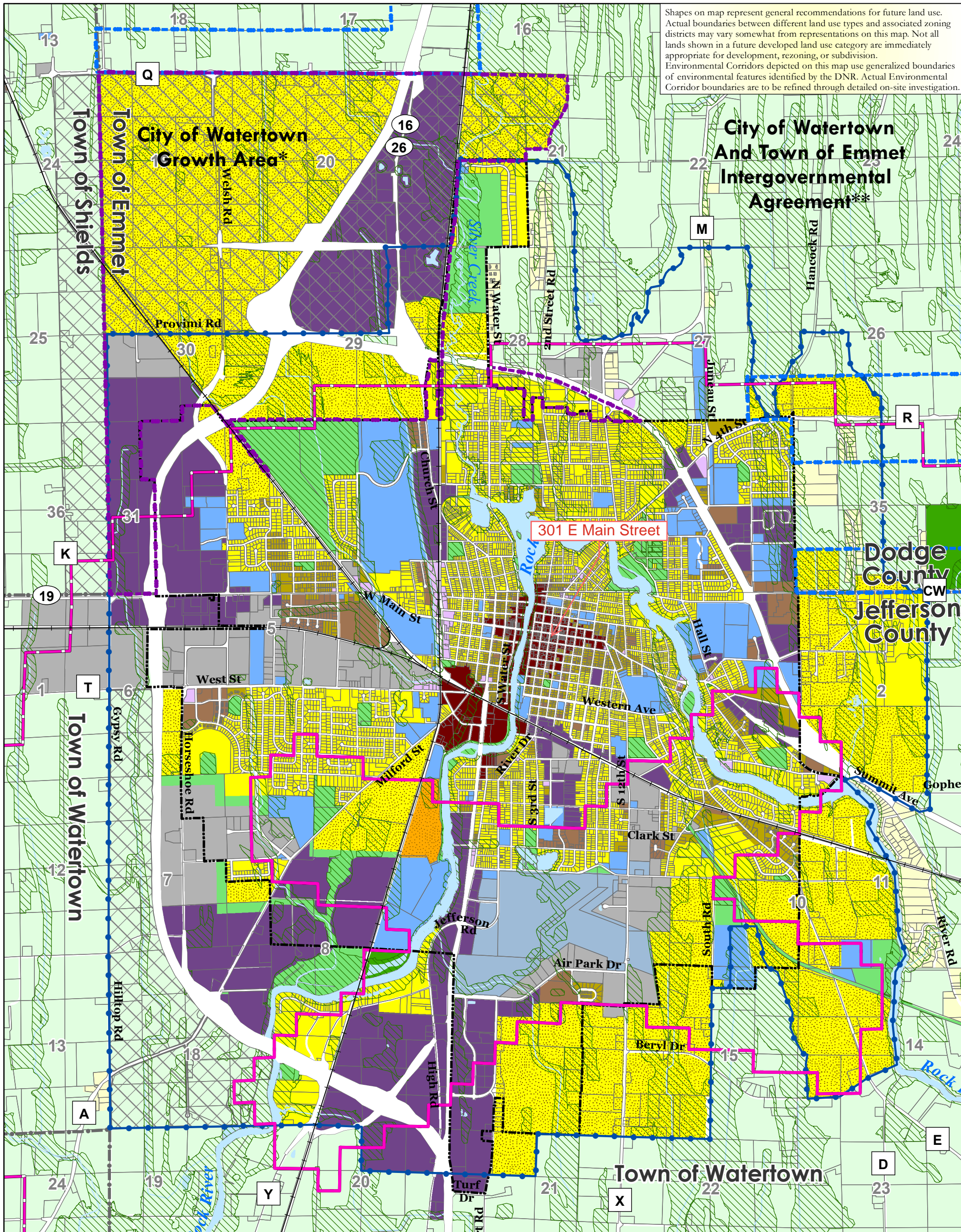


City of Watertown Geographic Information System

Scale: 1:739 Printed on: March 3, 2016
SCALE BAR = 1" Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

- City/Town IGA**
- City Growth Area
- City Periphery Areas

- *Each "Planned Mixed Use Area" may include mix of:
1. Office
 2. Multi-Family Residential
 3. Mixed Industrial
 4. Commercial Services/Retail
 5. Institutional
 6. Parks & Recreation

- ***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
 2. Two-family Residential
 3. Multi-Family Residential
 4. Institutional
 5. Neighborhood Mixed Use
 6. Parks & Recreation

- ***Each "Riverside Mixed Use Area" may include mix of:
1. Office
 2. Single-Family - Sewered
 3. Two-Family Residential
 4. Multi-Family Residential
 5. Commercial Services/Retail
 6. Institutional
 7. Parks & Recreation

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

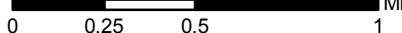
- Airport Height Limitations**
- Maximum Building Elevation b/t 865 and 968 ft
 - Maximum Building Elevation b/t 968 and 1005 ft

- Land Use Categories**
- Agricultural
 - Single-Family Residential - Unsewered
 - Single-Family Residential - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Planned Neighborhood**
 - Institutional
 - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places. shaping change



318 Union Street Temporary Use Explanation

I am Daniel Benninger and I am a 10 year resident and home owner in Watertown, WI. On March 8th 2025 I experienced a devastating kitchen fire. Luckily, my residence is still standing but everything inside needs to be gutted out and replaced. I am partially disabled from a neck surgery and have a service dog to help with my PTSD. My insurance company has put me up at the Best Western however, it has come to my attention that my service dog is barking when I am not around which I feel is due to unfamiliar surroundings. If it keeps up they have implied that I will need to find a new place to stay essentially leaving me homeless. The company supplying my tech needs at my residence has a camper that he rents out and I would like to have it setup at my residence. My contractor is fine with it being there and will keep debris away from the camper. This will also help me oversee the reclamation and give my service dog familiar surroundings. The camper is a 3 season camper with heat, A/C, full kitchen and bathroom, and all the necessities are included. Thank you for your consideration on this.

Daniel Benninger

318 Union Street

Watertown, WI

318 Union Street Temporary Use Plan

33'x 8' camper parked in driveway of residence

Heated drinking water hose rated to -20 degrees connected to hose bib.

Water regulator installed on camper to regulate pressure.

Temporary power to be installed in the house by licensed electrician which will power the camper.

Waste removal to be handled weekly by Environmental Services of Watertown

Propane refilled weekly by Tractor Supply of Watertown

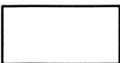
Setup and removal of camper to be handled by Northern Elite Productions

Camper rental not to exceed 6 months for temporary use

Section 3, Item 1.



City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

Scale: 1:211

Printed on: March 20, 2025

Author:

SCALE BAR = 1"

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



BUILDING SAFETY & ZONING DIVISION PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: 1013 S Third St - Site Plan Review

Site Plan Review requested by Anthony Stenzel, agent for Heritage Military Music Foundation, for an indoor storage building. Parcel PIN: 291-0815-0442-092

SITE DETAILS:

Acres: 3.64 acres (applicant purchasing 0.87 acres – Parcel 3 on CSM)
Current Zoning: General Industrial (GI)
Existing Land Use: Vacant
Future Land Use Designation: Planned Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to construct an indoor storage building to store vehicles and equipment associated with the Heritage Military Music Foundation Band. Access to the proposed building is provided from S. Fifth St. The proposed building will be 37,867sf in area and 29.5ft high at the roof peak. The approach to the front of the building will be paved along with a small parking area at the southwest corner of the building. As secondary driveway along the south end and rear of the building will be gravel. An existing gravel area to the north of the building will remain. The applicant’s intended use of the property will not require additional parking, but will utilize existing and proposed gravel areas to meet the parking requirements for ‘Indoor Storage or Wholesaling’. A CSM creating the parcel for this building was approved by the Plan Commission on February 24th, 2025.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the General Industrial (GI) Zoning District an ‘Indoor Storage or Wholesaling’ is a principal land use permitted by right. ‘Indoor Storage or Wholesaling’ land uses include long-term indoor storage facilities. *[per § 550-53A]*

Regulations for ‘Indoor Storage or Wholesaling’ include:

- Parking requirements. One space per 2,000 square feet of gross floor area.

Site Layout and Design:

Within the General Industrial (GI) Zoning District the minimum paved surface setback is five feet from side or rear lot lines and ten feet from street lot lines *[per § 550-36G(2)(e)]*. The proposed “Indoor Storage or Wholesaling” building exceeds the pavement setbacks for the General Industrial (GI) Zoning District.

Vehicle Access and Circulation

The proposed driveway and parking stall meet aisle width and parking stall dimension requirements specified in the Off-Street Parking and Traffic Circulation Standards *[per § 550-107F]*.

Landscaping:

Within the General Industrial (GI) Zoning District the minimum landscape surface ratio (LSR) is 15%. The applicant has provided a landscaping plan with a landscape surface ratio (LSR) of 66% exceeding the landscaping requirements for the General Industrial (GI) Zoning District. The provided landscaping plan also meets or exceeds all required landscaping point total requirements for the General Industrial (GI) Zoning District.

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

Lighting:

The lighting for the proposed building will utilize four wall lights, two on the front and two on the rear of the building. The applicant has submitted a photometric plan that meets ordinance illumination standards [per§ 550-110].

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:
 - a) Applicant shall obtain any required erosion control and stormwater permits.

STAFF RECOMENDATION:

- Staff recommends approval of this Site Plan with conditions.

ATTACHMENTS:

- Application materials.



To whom it may concern:

Lakeside Construction proposes to construct a 45'x72'x16' post frame structure at 1013 S. Fifth St in the City of Watertown. The purpose of this building is to provide the Owner (Heritage Military Music Foundation) a storage facility to keep vehicles, trailers, and other equipment in an enclosed space out of site of the public eye. This facility will be used for storage only and no intent for anyone being on-site for the purposes of employment.

The primary function of the building will be to house the truck and trailer used as a parade float for the Owner. Additional band related equipment will be stored within the facility as well as a lawn mower and other minor yard maintenance equipment for use on-site. Additional space has been provided for future storage of additional vehicles and equipment when the need for expansion arises.

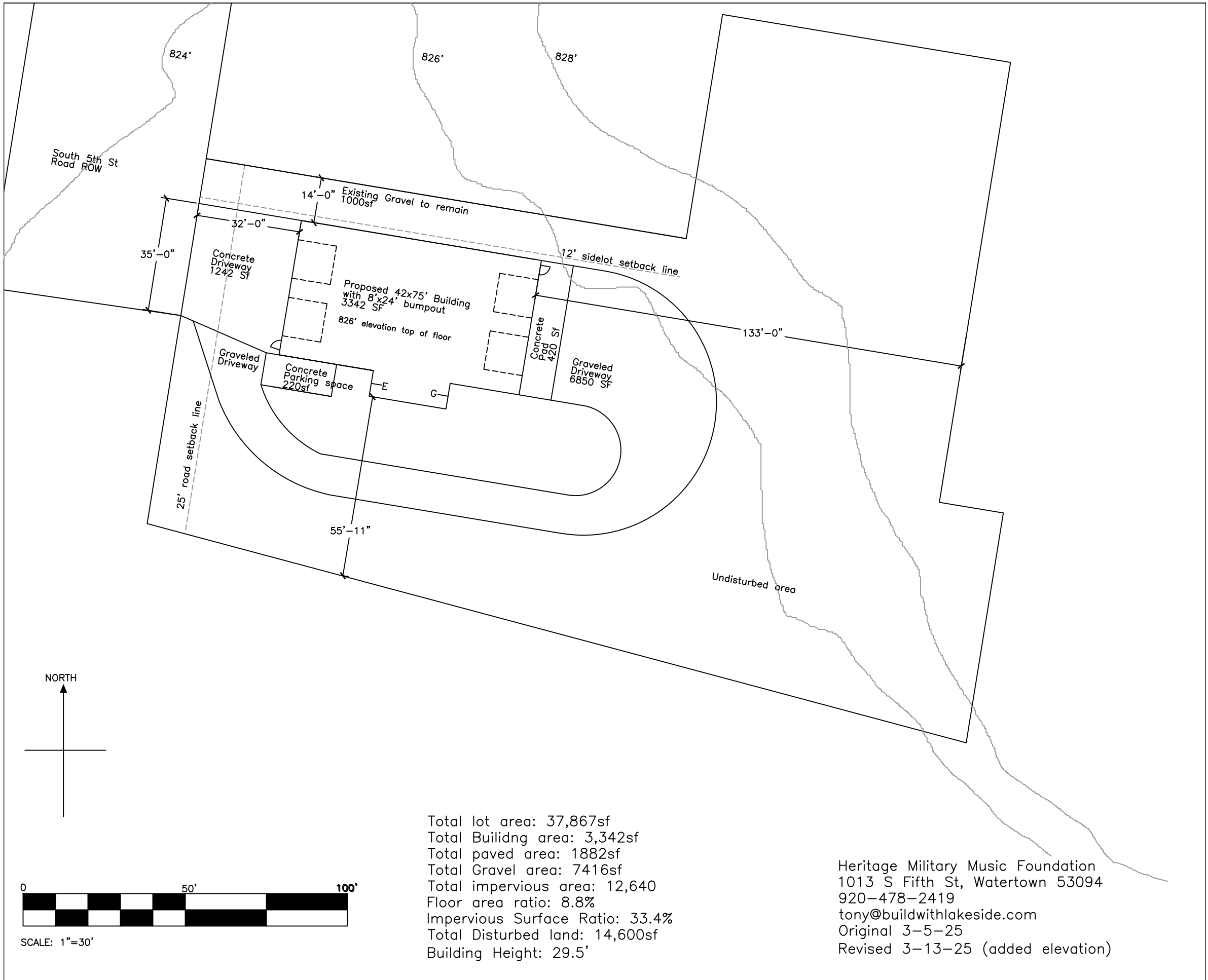
The exterior of the building will be covered in a ribbed steel roofing and siding at all points. The trims and 36" wainscot will be black in color, and the balance of the walls and the roof will be white. All overhead and service doors will be white steel.

Exterior lighting will be provided by gooseneck wall sconces. 60w dimmable bulbs will be used with motion sensors to provide the lighting. Each of the 4 overhead doors will have a light centered above the door. The service doors will be located next to the overhead doors and have lighting provided by the same lights.

There will be a concrete driveway poured during construction that leads from the lot line to the building as shown on the site plan. An additional 10' wide apron will be poured at the back of the building the full width of the building.

The lot line to the North of the proposed building location currently has the neighbors gravel driveway crossing the lot line. In the interest of being good neighbors the Owner does not intend to remove this gravel or disturb it in any way during construction. This graveled area is included in the site plans graveled area calculation.

Thank you,
Tony Stenzel
Lakeside Construction
920-478-2419





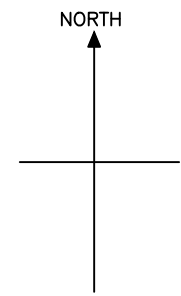
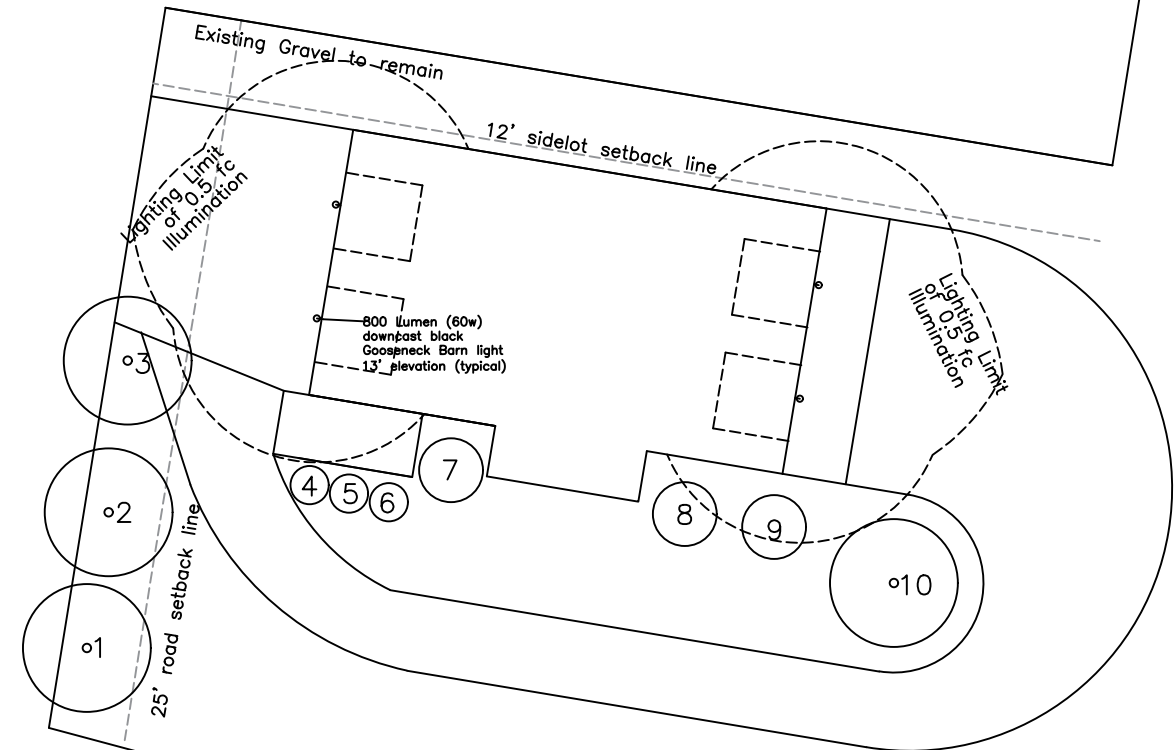
PROPOSED BUILDING FOR:
 LAKESIDE CONSTRUCTION
 WATERLOO, WI

BUILDING COLORS:
 ROOF: PRO-RIB CHARCOAL GRAY
 WALLS: PRO-RIB WHITE
 WAINSCOT: PRO-RIB CHARCOAL GRAY
 TRIMS: CHARCOAL GRAY



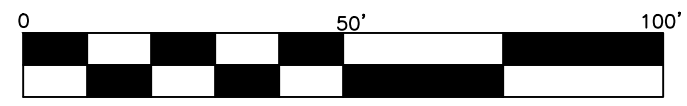
FILE NAME:
 R00325A2025

FOR QUESTIONS PLEASE CONTACT BUILDING
 DESIGNER AT THE FOLLOWING:
 POSTFRAME@MIDWESTMANUFACTURING.COM



Species	Size/Type	Location	Points
1 Birch: Paper	Medium Deciduous Tree	Developed Lot	15
2 Birch: Paper	Medium Deciduous Tree	Developed Lot	15
3 Linden: Basswood	Tall Deciduous Tree	Street Foundation	30
4 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
5 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
6 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
7 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
8 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
9 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
10 Linden: Basswood	Tall Deciduous Tree	Paved Area	30

Area	Required points	Proposed points
Building Foundation	50	60
Street Foundation	20	30
Paved Areas	40	45
Developed Lots	15	30
Total Points	125	165



SCALE: 1"=30'

Heritage Military Music Foundation
 1013 S Fifth St, Watertown 53094
 920-478-2419
 tony@buildwithlakeside.com
 Original 3-5-25
 Revised 3-13-25 (removed tree)

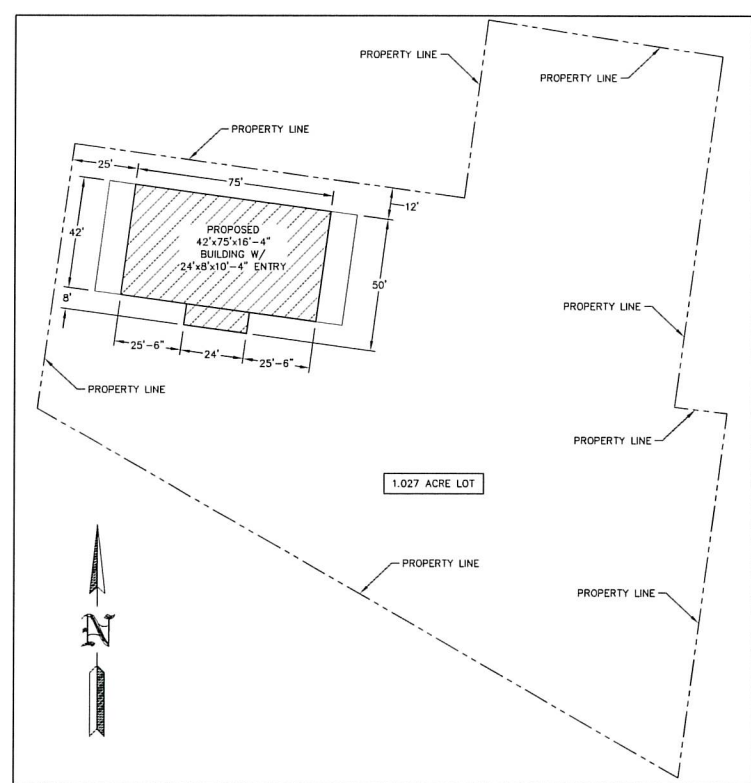


(BULBS INCLUDED)

SPECIFICATIONS	
Voltage	120V
Base Type	E26
Wattage	60W
Power Type	Hardwired
Finish	Matte Black
Warranty	36 Months

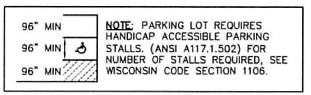
HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI



SITE PLAN
SCALE: 1"=30'

- NOTE:** THE OWNER SHALL PROVIDE AN ALL WEATHER HARD SURFACE AREA 30 FEET OR MORE IN WIDTH EXTENDING AT LEAST ONE SIDE OF THE LENGTH OF ONE SIDE OF THE PROPOSED STRUCTURE AND MUST BE ACCESSIBLE TO FIRE FIGHTING EQUIPMENT.
- NOTE:** THE OWNER SHALL PROVIDE DESIGNATED SPACE WITHIN OR ADJACENT TO STRUCTURE FOR THE COLLECTION OF RECYCLABLE MATERIALS AS PER SPS 362.0400(2).
- NOTE:** FLOOR ELEVATION @ ALL SERVICE DOORS SHALL BE LEVEL AND FLUSH WITH ADJACENT INSIDE AND OUTSIDE FLOORS AS PER IBC 1010.1.5
- NOTE:** CURB RAMPS COMPLYING W/ ADAAG 4.7 ARE REQUIRED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.
- NOTE:** THE OWNER/CONTRACTOR SHALL VERIFY ALL BUILDING SETBACKS WITH LOCAL OFFICIALS PRIOR TO CONSTRUCTION. ADJUST BUILDING LOCATION TO COMPLY, IF REQUIRED.
- NOTE:** IF MORE THAN ONE ACRE OF LAND IS DISTURBED BY BUILDING ERECTION AND/OR PARKING AND ACCESS DRIVE SURFACE, THEN THE OWNER/CONTRACTOR SHALL SUBMIT A WATER RESOURCES APPLICATION FOR PROJECT PERMITS (WRAPP) AS PER NR 216.
- NOTE:** THE OWNER/CONTRACTOR SHALL PROVIDE A PLAT SURVEY WITH PROPOSED BUILDING LOCATIONS AND VERIFY ALL PROPOSED BUILDING SETBACKS AND LOCATION ON PROPERTY WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION AND MAKE ADJUSTMENTS ACCORDINGLY.



NOTE: PARKING LOT REQUIRES HANDICAP ACCESSIBLE PARKING STALLS. (ANSI A117.1.5.02) FOR NUMBER OF STALLS REQUIRED, SEE WISCONSIN CODE SECTION 1106.

BUILDING INFORMATION:

NAME:	HERITAGE MILITARY MUSIC FOUNDATION
PARCEL #:	291-0815-0442-084
CITY:	WATERTOWN
STATE:	WI
ZIP:	53094
COUNTY:	JEFFERSON

OWNERS INFORMATION:		BUILDING DESIGN INFORMATION:		BUILDING DESIGN LOADS:	
- NAME:	HERITAGE MILITARY	- DESIGN CODE:	2018 WI COM. BLDG. CODE (2015 IBC)	- SHOW	
- ADDRESS:	504 SOUTH 4TH STREET	- USE OF BUILDING:	STORAGE	- (Ps)	= 30.0 PSF
- CITY:	WATERTOWN	- OCCUPANCY CLASSIFICATION:	GROUP (S-1)	- (Cs)	= 0.80
- STATE:	WI	- CONSTRUCTION TYPE:	2B	- (Is)	= 1.00
- ZIP:	53094	- RISK CATEGORY:	2	- (Cl)	= 1.20
		- FIRE SUPPRESSION SYSTEM:	N0	- (Pl)	= 22.68 PSF
				- (Cs)	= 1.00
				- (Ps)	= 22.68 PSF
				- (Lr)	= 20.00 PSF
				*WITH UNBALANCED AND DRIFT LOADS AS REQUIRED	
				WIND	
				- B.W.S.	= 115 MPH
				- EXPOSURE	= C
				SEISMIC	
				- SEISMIC IMPORTANCE FACTOR:	1.00
				- SPECTRA RESPONSE	
				- COEFFICIENT SDS:	0.089
				- SPECTRA RESPONSE	
				- COEFFICIENT SDI:	0.072
				- SITE CLASSIFICATION:	I
				- SEISMIC DESIGN CATEGORY:	II
				TRUSS DEAD LOADS	
				- DLTC	= 1 PSF
				- DLBC	= 10 PSF

MAJOR STRUCTURAL COMPONENTS

MIDWEST MANUFACTURING STRUCTURAL COMPONENTS (COLUMNS, TRUSSES, AND STEEL) ARE USED IN THE DESIGN OF THIS BUILDING. ANY DEVIATIONS OR SUBSTITUTIONS OF THESE MATERIALS REQUIRE A CHANGE ORDER DUE TO THE DESIGN VALUES OF THE MATERIALS SPECIFIED.

*A CHANGE ORDER CAN BE OBTAINED FROM ENGINEERING@MIDWESTMANUFACTURING.COM AND IS REQUIRED FOR ANY STRUCTURAL, LAYOUT, OR MATERIAL CHANGES.

COLUMNS:	- ALL LAMINATED COLUMNS SHALL BE MIDWEST MANUFACTURING'S, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.
TRUSSES:	- DESIGNED IN ACCORDANCE TO 2015 IBC - TPI APPROVED - THIRD PARTY INSPECTED - MIDWEST MANUFACTURING TRUSS QUOTE NUMBER: QTRC0695945 - LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.
STEEL PANEL:	- MIDWEST MANUFACTURING'S PRO-RIB STEEL PANEL - 0142" MINIMUM THICKNESS BEFORE PAINTING - 0165" NOMINAL THICKNESS AFTER PAINTING - 080 GALVANIZED COATING PLUS ZINC PHOSPHATE - 40 YEAR PAINT WARRANTY - STRUCTURAL STRENGTH ASIM-A653 GRADE 80 (FULL HARD STEEL) - 82000 PSI MINIMUM TENSILE STRENGTH

SHEET INDEX

SHEET #	SHEET DESCRIPTION
S1	SITE PLAN AND BUILDING SPECIFICATIONS
S2	ELEVATIONS
S3	FLOOR PLAN
S4	ROOF FRAMING PLAN
S5	SIDEWALL SECTION AND SECTION DETAILS
S6	ENDWALL SECTION, SECTION DETAILS AND OVERHEAD DOOR DETAILS
S7	WALL SECTIONS @ ENTRY AND SECTION DETAILS
S8	STEEL APPLICATION DETAILS AND GENERAL NOTES



ENGINEERING SERVICES
3511 KANE RD. EAU CLAIRE, WI 54603 (715) 878-3660
FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

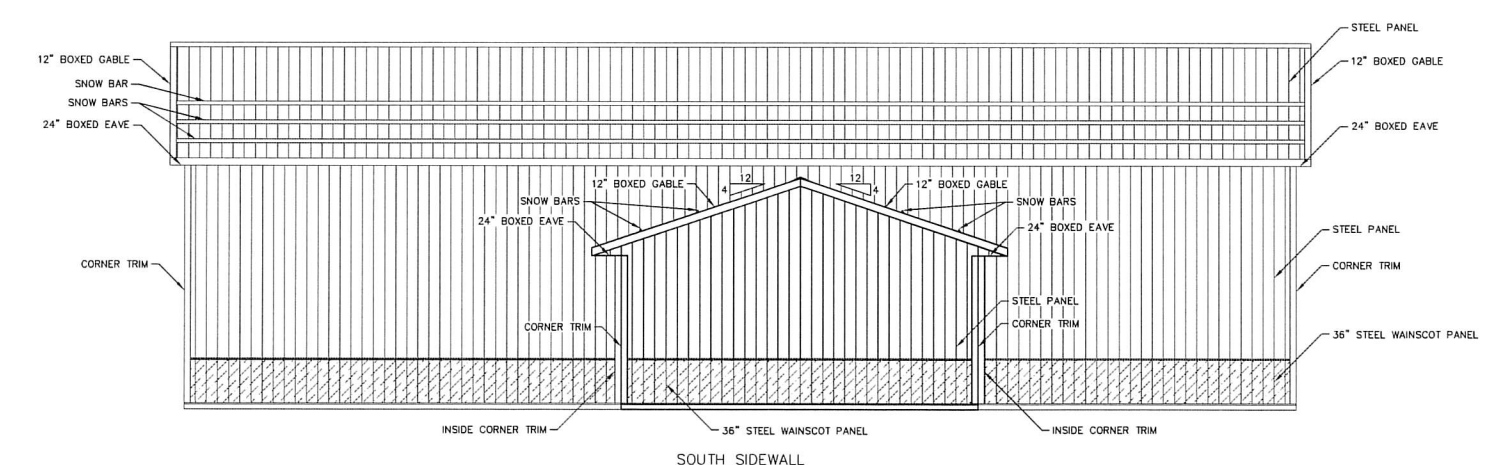
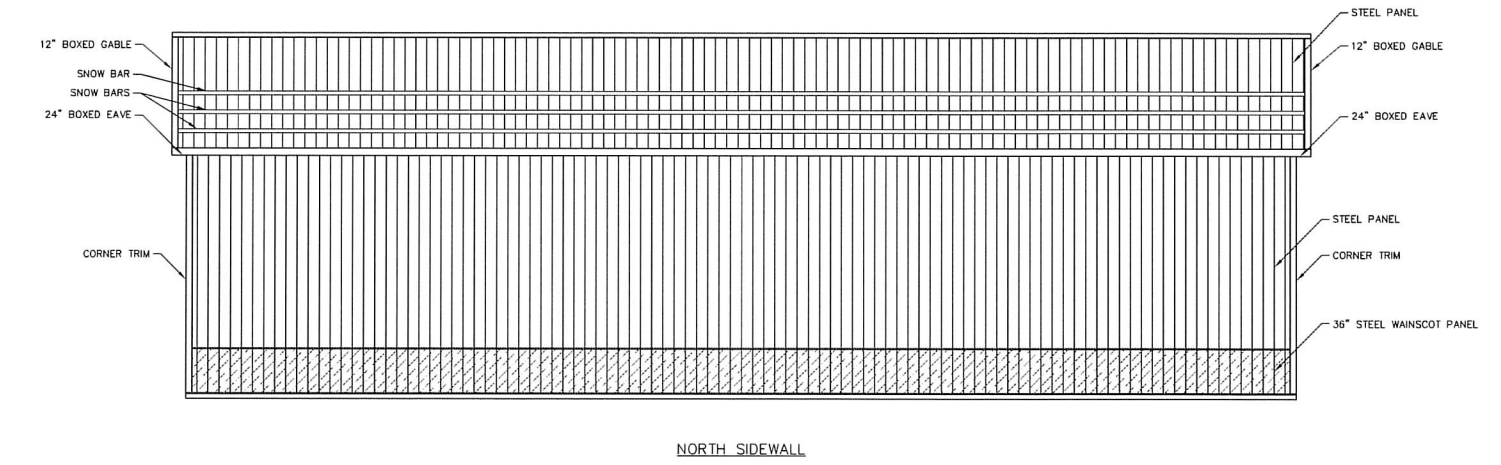
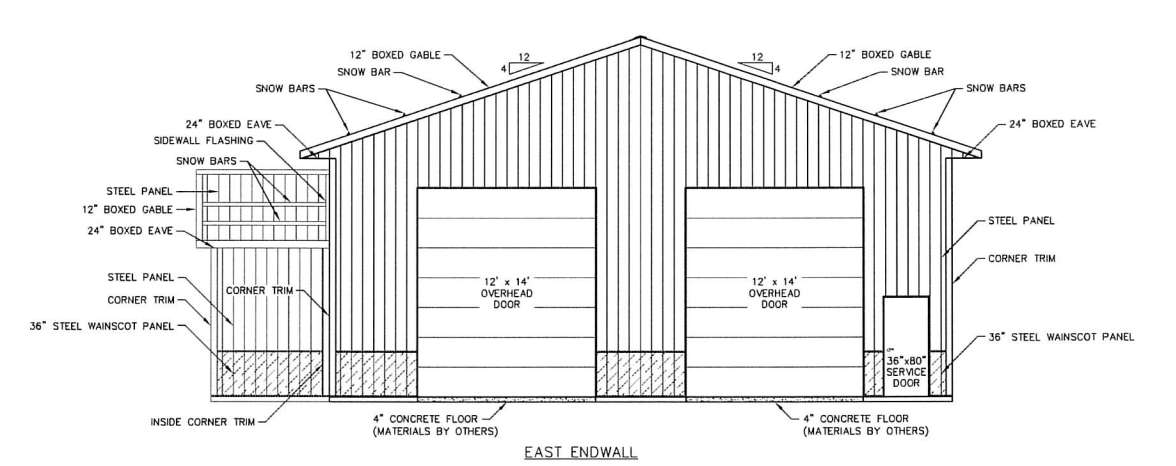
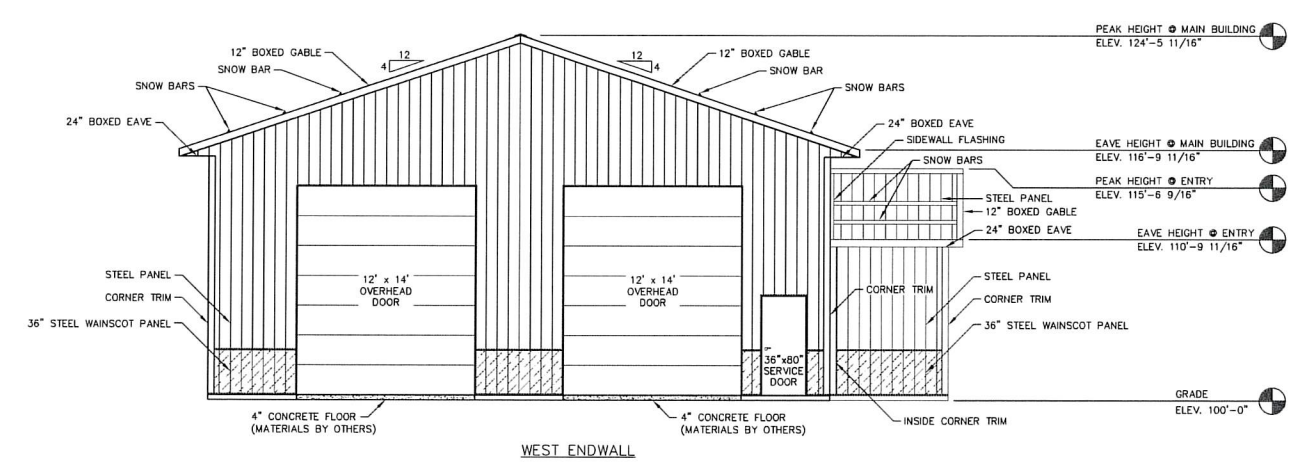
REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
SITE PLAN AND BUILDING SPECIFICATIONS

FILE NAME: S00525WI
SHEET NO.

S1



ELEVATIONS
SCALE: 3/16"=1'-0"



ENGINEERING SERVICES
5501 KANE RD. EAU CLAIRE, WI 54703 (715) 878-5885

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE

PLAN DESIGNER: MATT BUSHEE

DRAWN BY: DAS

DATE: 2/6/2025

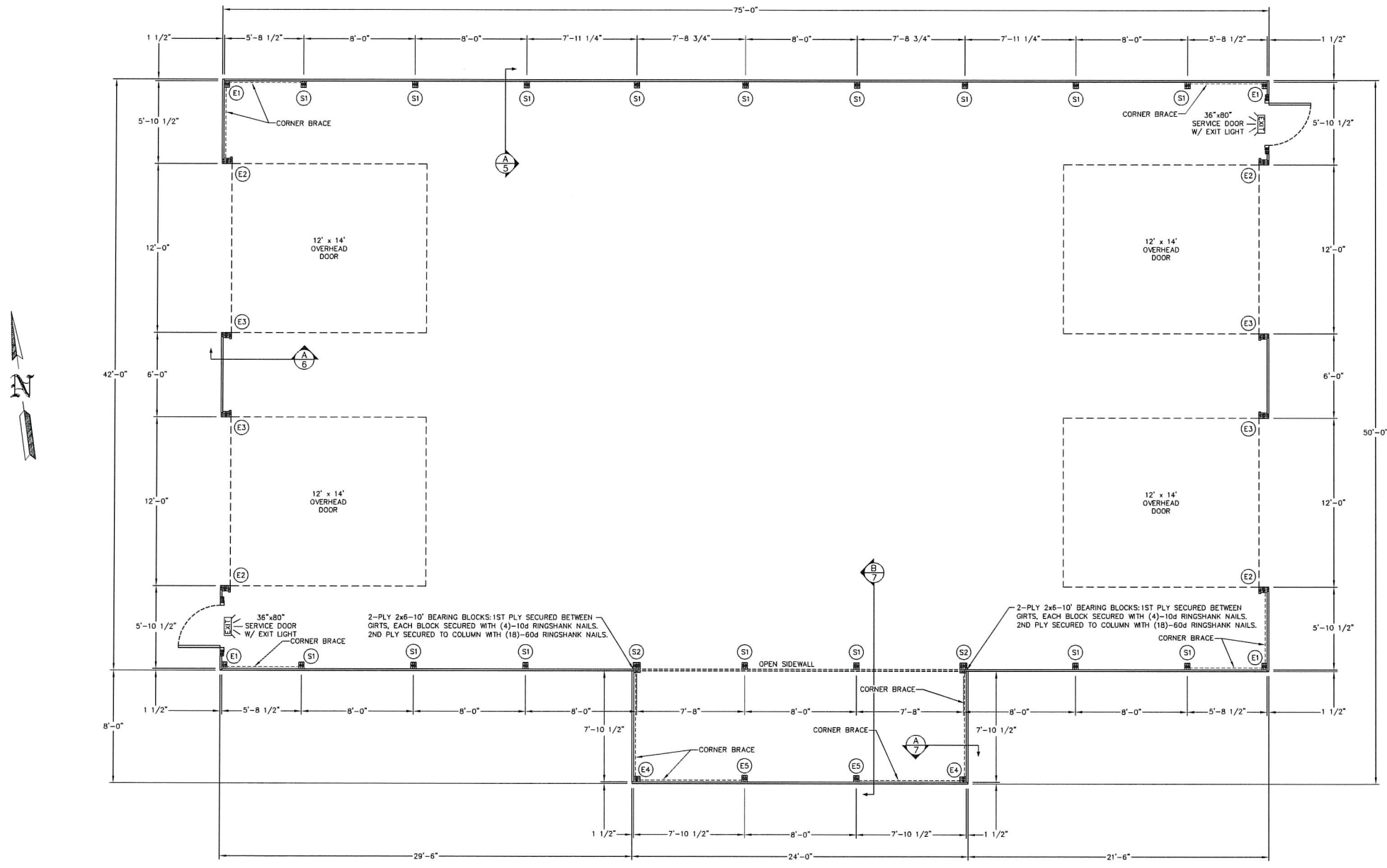
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
ELEVATIONS

FILE NAME: S00525WI
SHEET NO.

S2



NOTE:
ALL DIMENSIONS ARE TO CENTERLINE OF COLUMNS EXCEPT FOR CORNERS AND OVERHEAD DOOR JAMBS OR UNLESS NOTED OTHERWISE.

FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
CORNER BRACE SHALL BE A TREATED 2x6 EXTENDING FROM THE GRADEBOARD AT THE INTERIOR COLUMN TO THE TOP OF THE CORNER COLUMN. CORNER BRACE SHALL BE PLACED ON THE INSIDE FACE OF FRAMING MEMBERS. CORNER BRACE SHALL BE SECURED TO THE GRADEBOARD W/ (3)-10d RINGSHANK NAILS AND TO THE SOFFIT NALES/ENDFRAME BOTTOM CHORD W/ (3)-10d RINGSHANK NAILS. EACH BRACE TO GIRT LOCATION SHALL BE SECURED W/ (1)-10d RINGSHANK NAIL.

COLUMN & FOOTING SCHEDULE				
COLUMN LOCATION	COLUMN DESCRIPTION	EMBEDMENT	NUMBER OF COLUMNS	FOOTING DESCRIPTION
S1	3-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	16	20" x 6" CONCRETE FOOTING
S2	4-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	26" x 6" CONCRETE FOOTING
E1	3-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	4	14" x 4" CONCRETE FOOTING
E2	3-PLY (26")-2x6 2400I MSR SYP LAMINATED COLUMN	4'-11"	4	14" x 4" CONCRETE FOOTING
E3	3-PLY (30")-2x6 2400I MSR SYP LAMINATED COLUMN	4'-11"	4	14" x 4" CONCRETE FOOTING
E4	3-PLY (18")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	14" x 4" CONCRETE FOOTING
E5	3-PLY (20")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	14" x 4" CONCRETE FOOTING

NOTE:
IF CONCRETE FOOTINGS ARE POURED ON SITE, THEN FOOTINGS MUST BE A MINIMUM OF 8" THICK.



FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

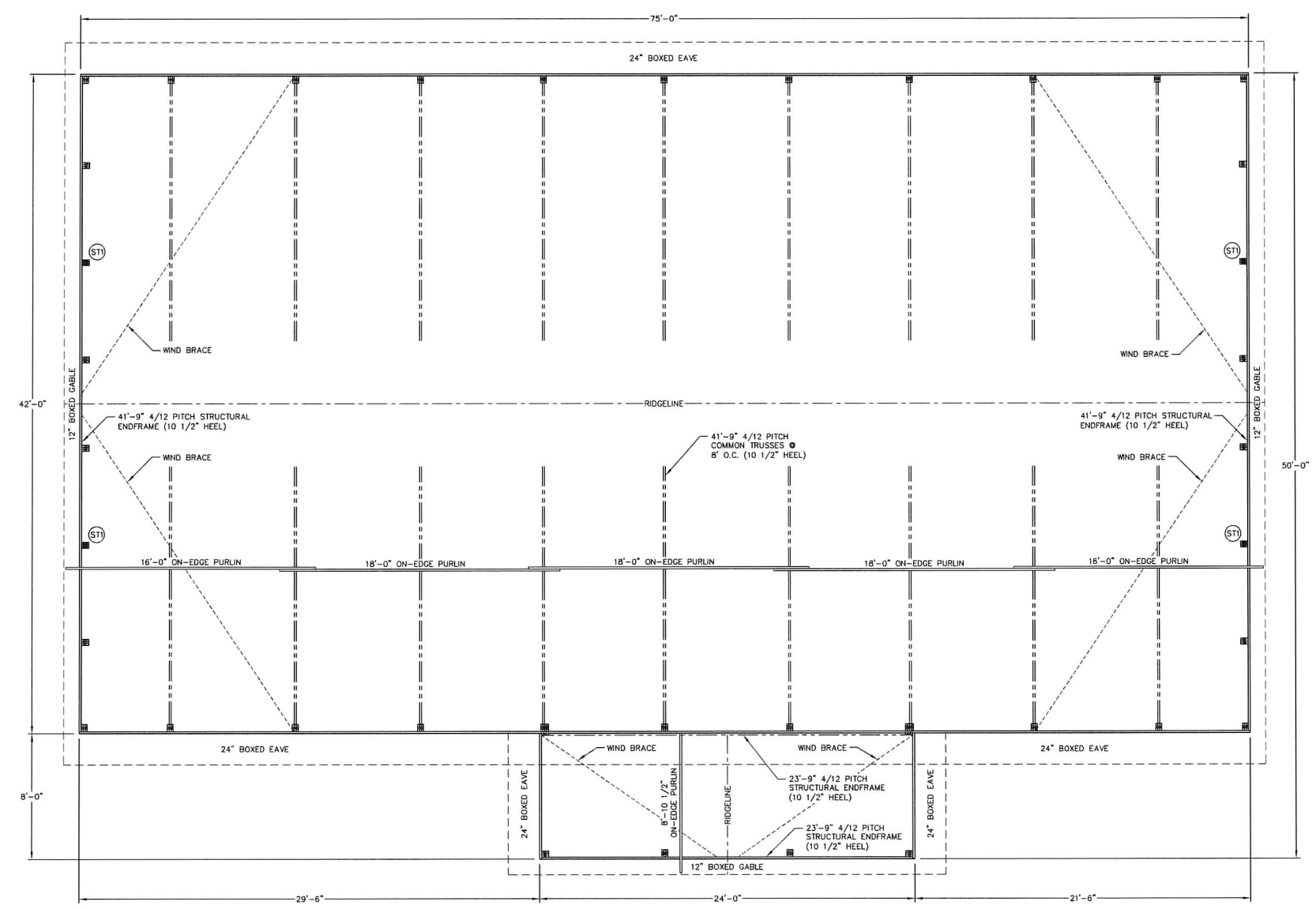
PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		

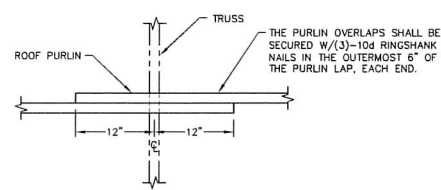
SHEET TITLE:
FLOOR PLAN

FILE NAME: S00525WI
SHEET NO.

S3



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



PURLIN OVERLAP DETAIL
SCALE: 1"=1'-0"

NOTE: (42'x75' MAIN BUILDING)
2x4 ROOF PURLINS (ON-EDGE) AT 24" O.C. ROOF PURLINS ARE TO BE SECURED TO THE TRUSS W/(1)-50d RINGSHANK NAIL AT EACH PURLIN TO TRUSS LOCATION.

NOTE: (24'x8' ENTRY)
2x4 ROOF PURLINS (ON-EDGE) AT 11" O.C. ROOF PURLINS ARE TO BE SECURED TO THE TRUSS W/(1)-60d RINGSHANK NAIL AT EACH PURLIN TO TRUSS LOCATION.

STUB COLUMN SCHEDULE		
COLUMN LOCATION	COLUMN DESCRIPTION	NUMBER OF COLUMNS
ST1	3-PLY 2x6-(8") STUB COLUMN (CUT TO FIT)	4

NOTE:
STUB COLUMNS TO BE PLACED AT CENTER OF ENDWALL DOOR OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
WIND BRACE SHALL BE A 2x4 PLACED ON THE UNDERSIDE OF THE ROOF PURLINS. WIND BRACE SHALL BE SECURED W/(2)-30d RINGSHANK NAILS AT EACH END AND W/(1)-10d RINGSHANK NAIL AT EACH BRACE TO PURLIN LOCATION.

NOTE:
LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.



ENGINEERING SERVICES
5011 KAMR RD. WAUWATAMSA, WI 54705 (715) 978-8888

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE

PLAN DESIGNER: MATT BUSHEE

DRAWN BY: DAS

DATE: 2/6/2025

SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

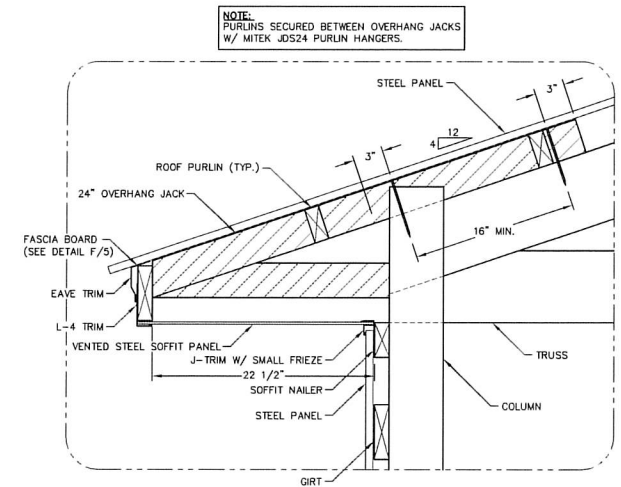
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ROOF FRAMING PLAN

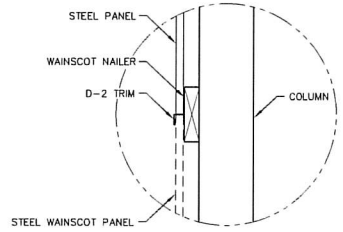
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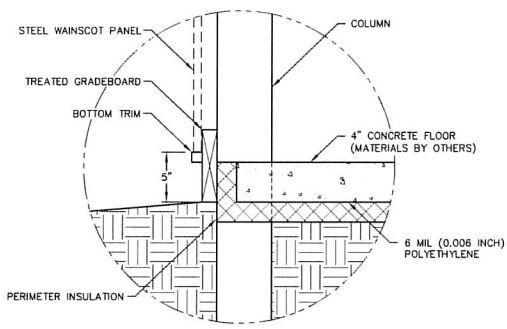
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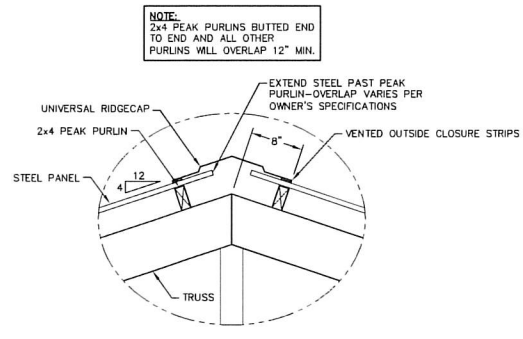
D 24" BOXED EAVE DETAIL
SCALE: 1 1/2"=1'-0"



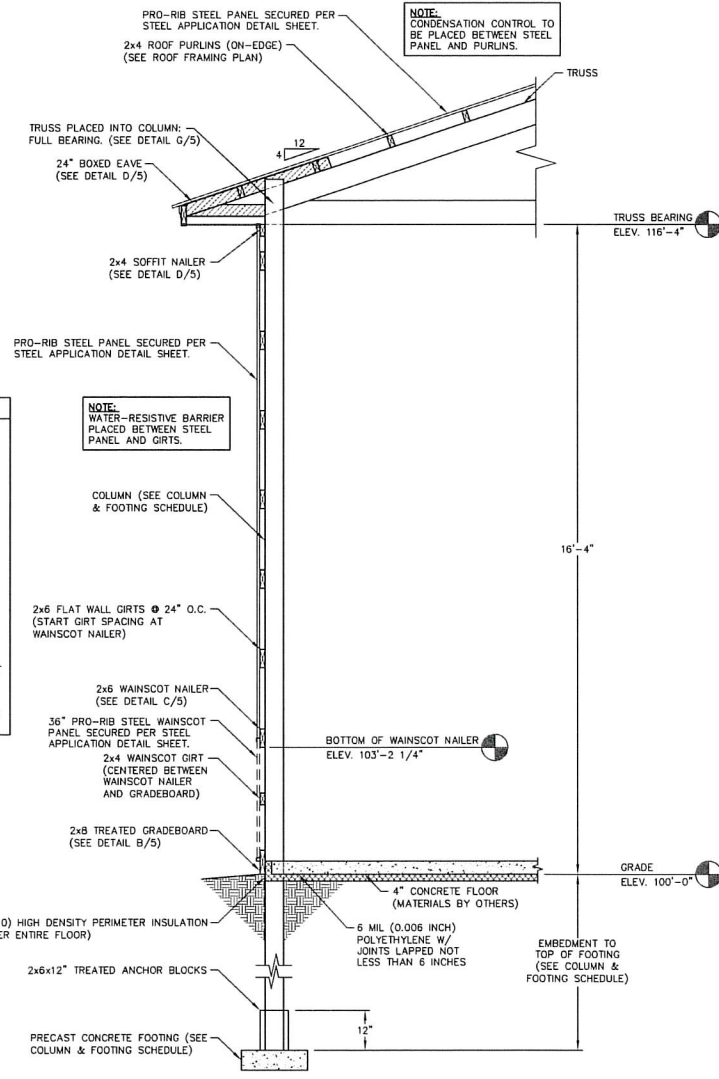
C D-2 TRIM DETAIL
SCALE: 1 1/2"=1'-0"



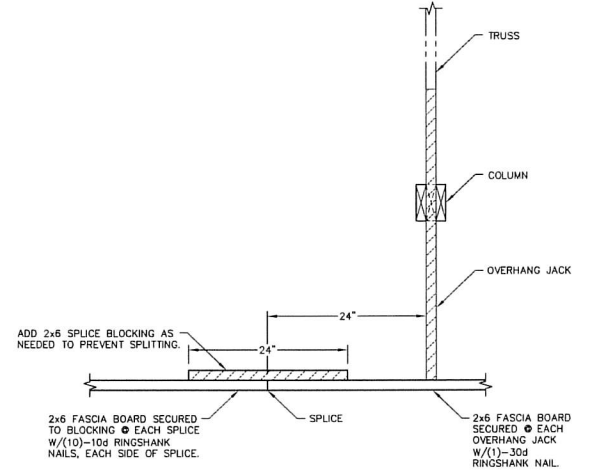
B GRADE DETAIL
SCALE: 1 1/2"=1'-0"



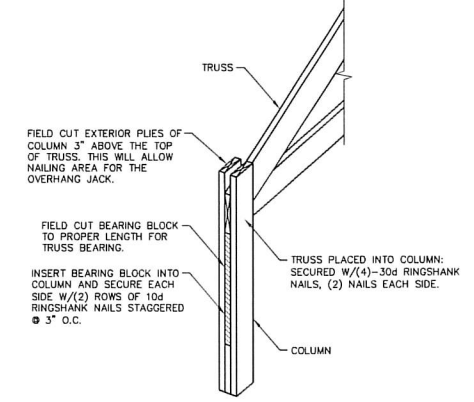
E PEAK PURLIN DETAIL
SCALE: 1"=1'-0"



A SIDEWALL SECTION
SCALE: 1/2"=1'-0"



F FASCIA BOARD DETAIL
SCALE: 1"=1'-0"



G TRUSS INSTALLATION DETAIL
NOT TO SCALE

SIDEWALL SECTION FASTENER NOTES

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS, 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH SOFFIT NAILER TO COLUMN LOCATION.

WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.

WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

WAINSCOT GIRT:
WAINSCOT GIRT SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRT TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



ENGINEERING SERVICES
5201 KANE RD. EAU CLAIRE, WI 54601 (715) 878-3555
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
SIDEWALL SECTION AND SECTION DETAILS
FILE NAME: S00525WI
SHEET NO.

S5

ENDWALL SECTION FASTENER NOTES

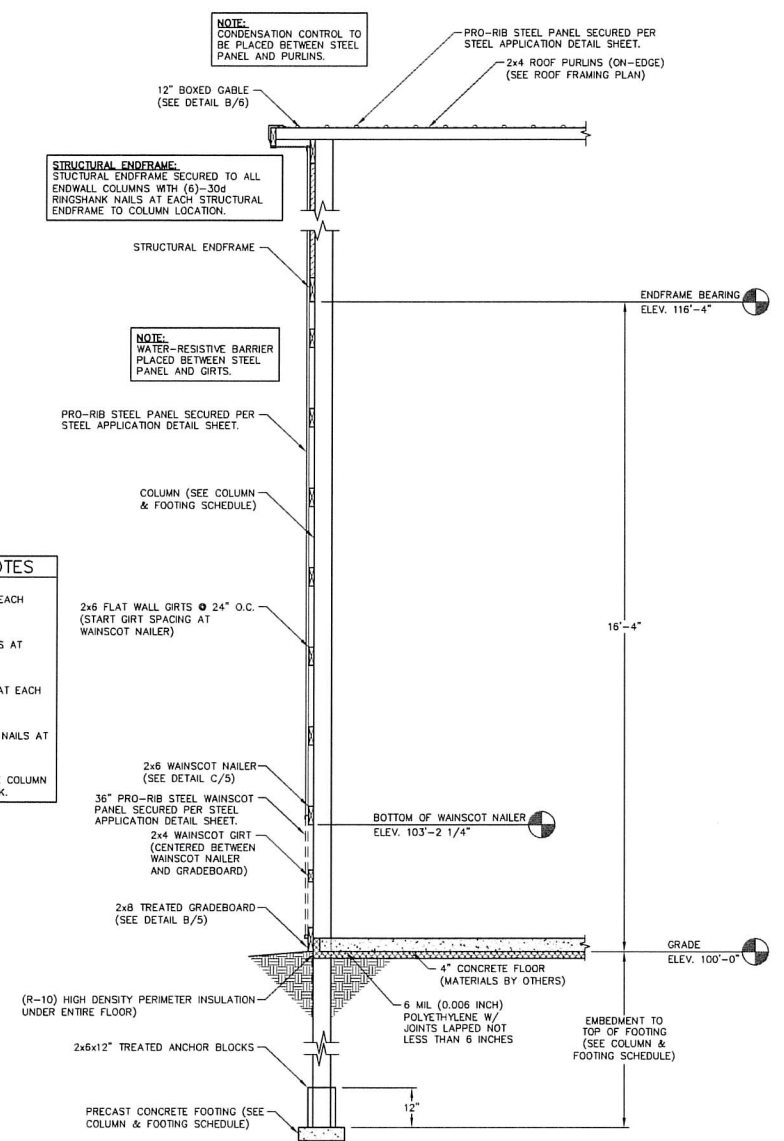
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WAINSCOT NAILER:
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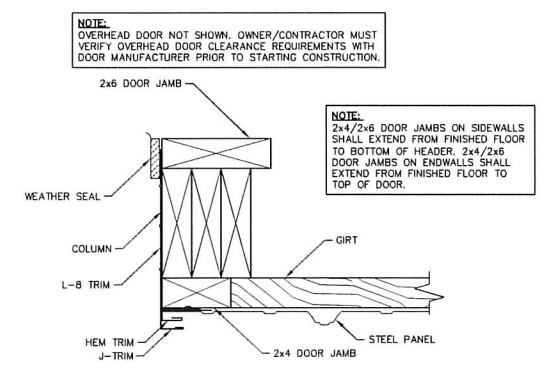
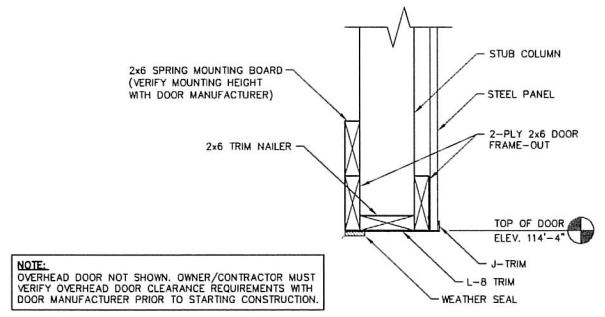
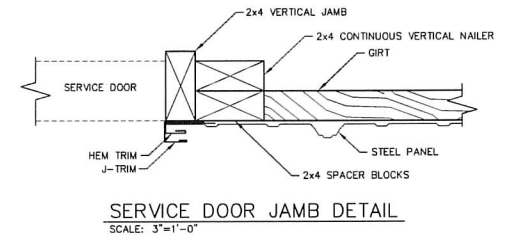
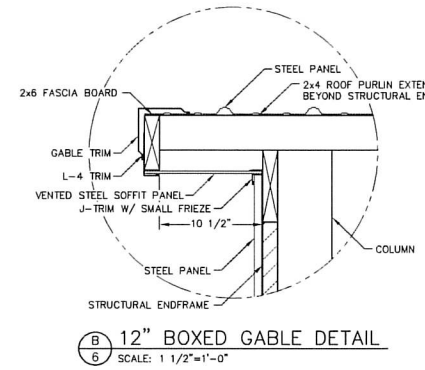
WAINSCOT GIRT:
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EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



A ENDWALL SECTION
SCALE: 1/2"=1'-0"



ENGINEERING SERVICES
5311 KANE RD. EAU CLAIRE, WI 54703 (715) 879-2666

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

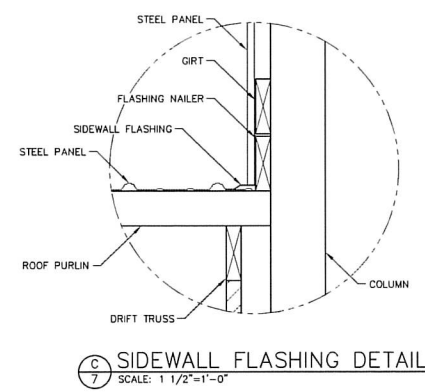
PROJECT TITLE: **HERITAGE MILITARY MUSIC FOUNDATION**
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE: **ENDWALL SECTION, SECTION DETAILS AND OVERHEAD DOOR DETAILS**
FILE NAME: S00525WI
SHEET NO.

S6



SECTION FASTENER NOTES

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS, 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH SOFFIT NAILER TO COLUMN LOCATION.

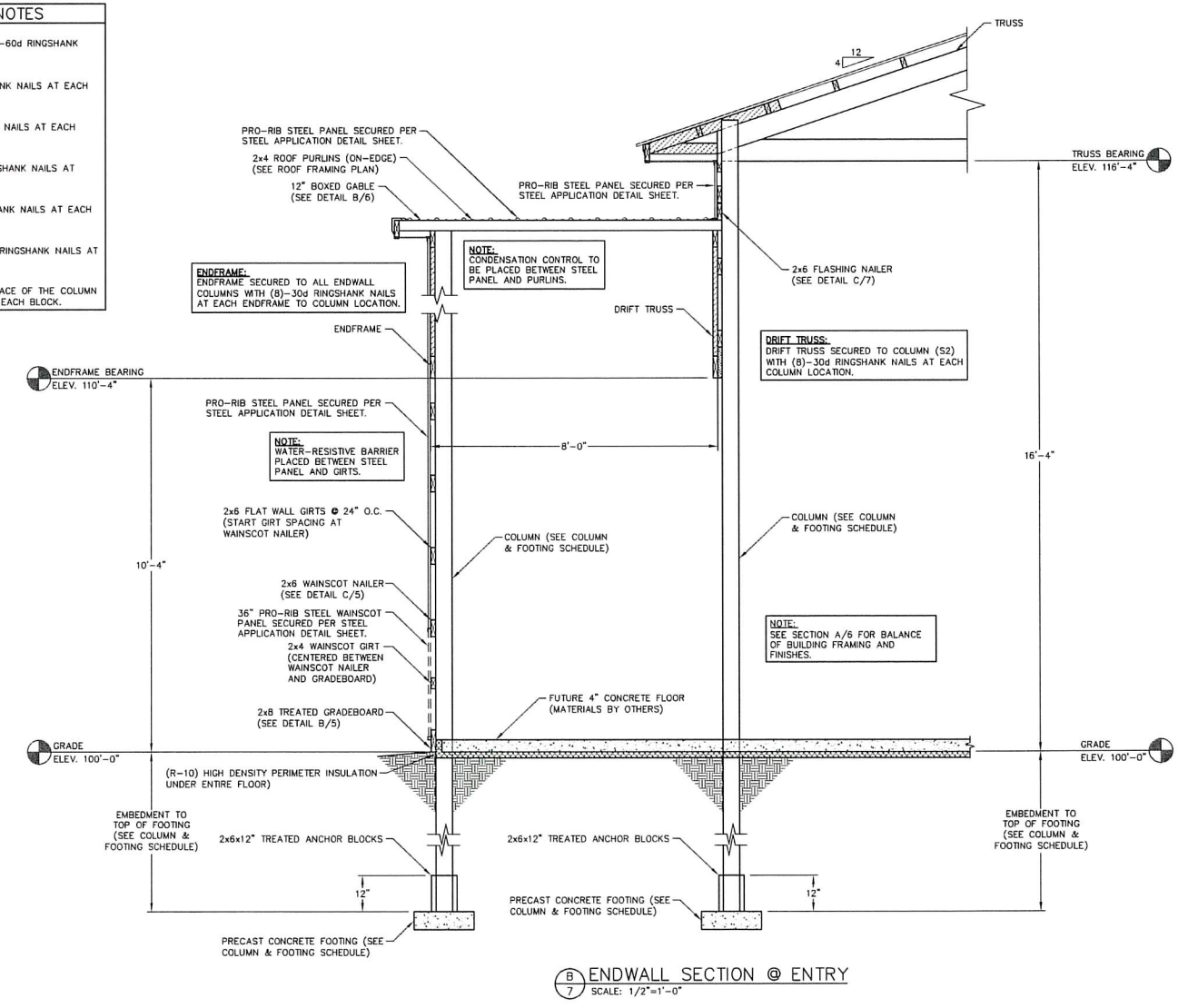
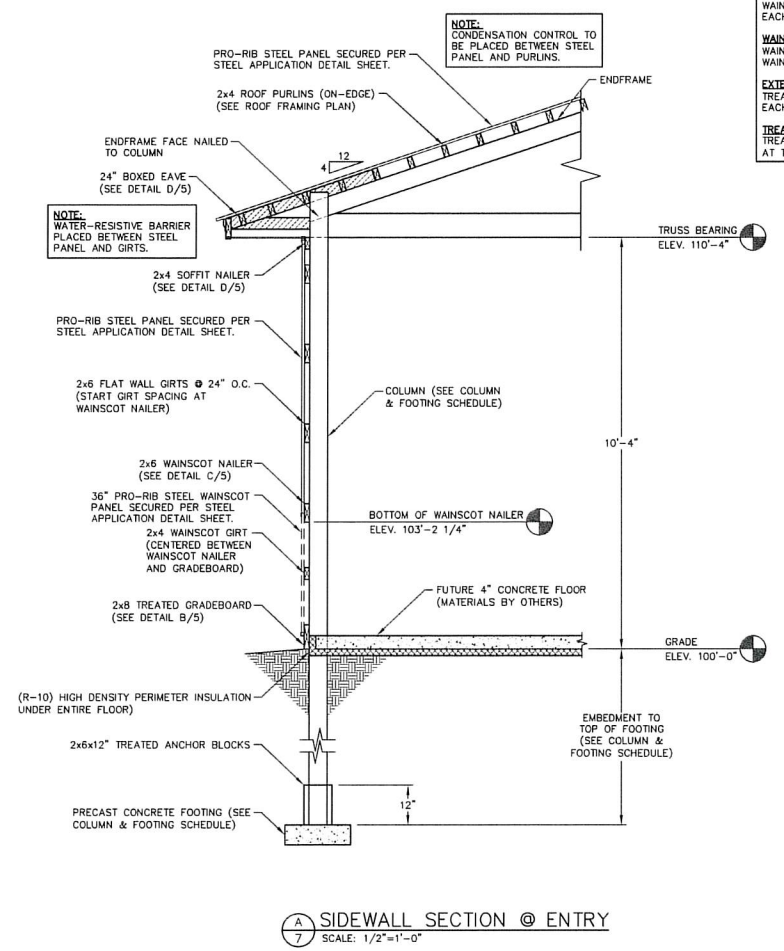
WALL GIRTS:
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WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

WAINSCOT GIRTS:
WAINSCOT GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRTS TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



ENGINEERING SERVICES
3831 KANIS RD. WAUWATOSA, WI 53095 (715) 979-2555

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PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

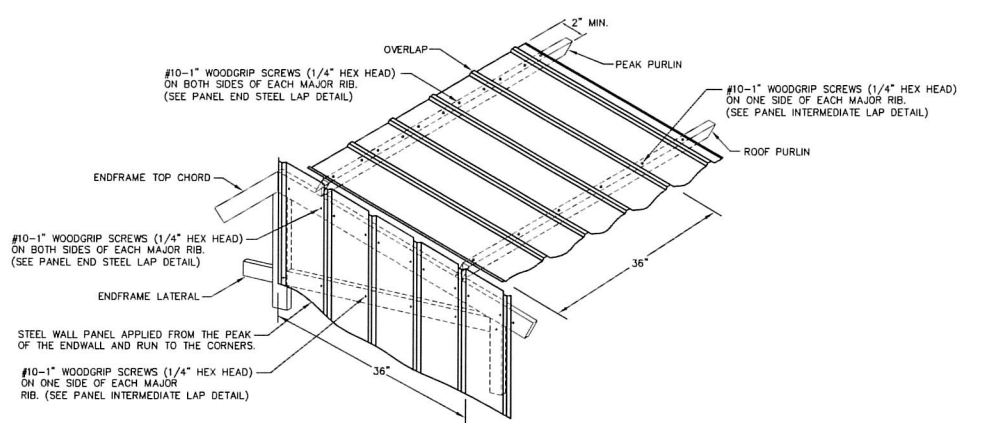
PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS

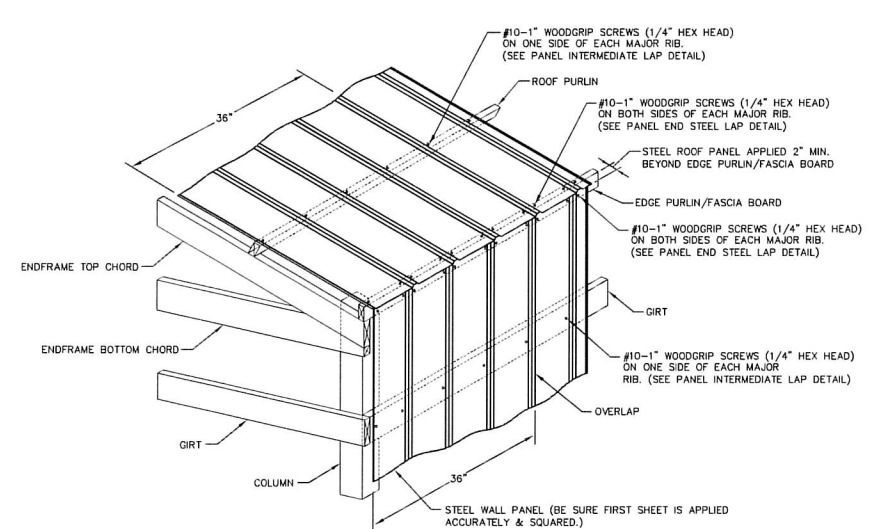
NO	DATE	DESCRIPTION	BY
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SHEET TITLE:
WALL SECTIONS @ ENTRY AND SECTION DETAILS
FILE NAME: S00525WI
SHEET NO.

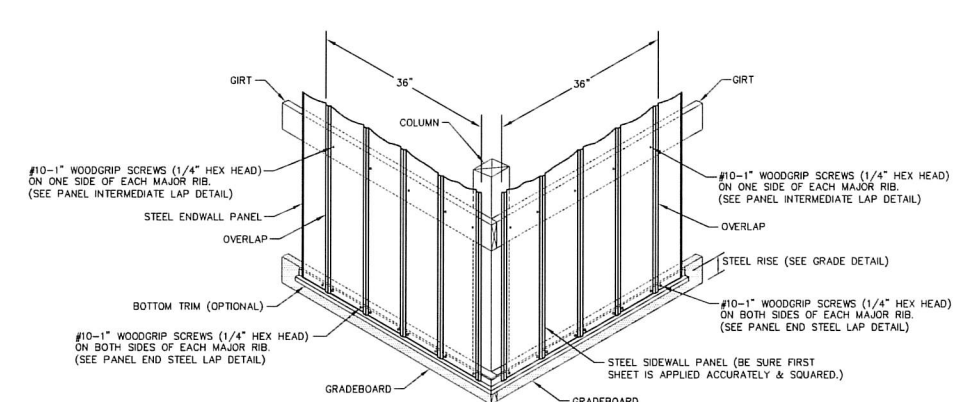
S7



ROOF & ENDWALL STEEL APPLICATION @ GABLE PEAK & INTERMEDIATE



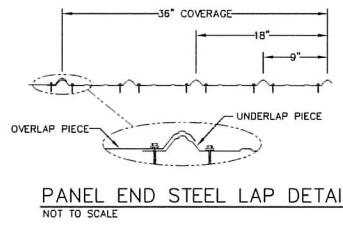
ROOF & SIDEWALL STEEL APPLICATION @ EAVE



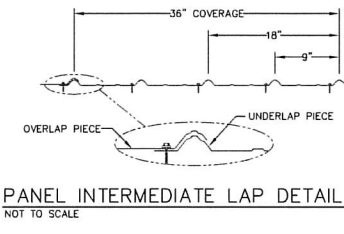
WALL STEEL APPLICATION @ GRADEBOARD

STEEL APPLICATION DETAILS

- STEEL PANEL INSTALLATION GENERAL NOTES:**
1. PROPER LAPPING OF STEEL PANEL IS VERY IMPORTANT IN THE PANEL'S ABILITY TO PREVENT LEAKING. OVERSEATING AND UNDERSEATING OF LAP IS NOT PERMITTED.
 2. FASTENER TIGHTNESS IS CRITICAL IN THE LONGEVITY OF THE FASTENER'S ABILITY TO HELP PREVENT LEAKS AND STRUCTURAL LOAD CARRYING CAPACITY. OVER-TORQUING OF SCREWS WILL REDUCE THE SCREWS WITHDRAWAL CAPACITY, REGARDLESS OF THE CONSTRUCTION MATERIALS INVOLVED. UNDER-TORQUING OF SCREWS WILL INCREASE THE POTENTIAL OF ROOF LEAKS.
 3. FASTENER LOCATION IS CRITICAL FOR INSTALLERS TO MINIMIZE THE POTENTIAL OF OIL CANNING, DIMPLES, AND OTHER APPEARANCE RELATED ISSUES.
 4. THE ANTI-SYPHON DRAIN CHANNEL MUST BE CLEAR OF DEBRIS AND OBSTRUCTIONS FOR THE PANEL'S ABILITY TO MINIMIZE THE POTENTIAL OF CAPILLARY ACTION OF WATER FROM GETTING UNDER THE STEEL PANEL.



PANEL END STEEL LAP DETAIL
NOT TO SCALE



PANEL INTERMEDIATE LAP DETAIL
NOT TO SCALE

GENERAL NOTES

- PLEASE NOTE:**
- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE.
 - THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
 - NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
 - WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
 - IMPORTANT! THIS BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP TRIM BEAM) TO TRANSFER SIDEWALL AND ROOF WIND LOADS TO THE ENDWALL SHEAR WALLS. STEEL PANELS ARE AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS MADE MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE.
- SOIL:**
- OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY.
 - ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 32.
 - FOOTINGS TO BE ABOVE THE WATER TABLE
 - ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - SOIL DESIGN BASED ON IBC CHAPTER 18 (CHAPTERS 16, 19, 21, 22 AND 23)
 - PRESUMPTIVE SOIL TYPE FROM WEB SOIL SURVEY, USDA AND NRCS: (CLASS OF MATERIAL: SW, SP, SM, AND SC).
 - SOIL CONSISTENCY: MEDIUM
 - A SOIL BEARING PRESSURE AT GRADE ASSUMED AT A MINIMUM 2000 PSF.
- CONCRETE:**
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 - ALL DEFORMED REBAR SHALL MEET A615 GRADE 60 OR BETTER.
- LUMBER:**
- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.
 - ALL 2x4, 2x6, 2x8 LUMBER SHALL BE #2 SPF OR BETTER UNLESS NOTED OTHERWISE. ALL 2x10 & 2x12 LUMBER SHALL BE AS SPECIFIED ON THE BUILDING PRINT.
 - FOR LUMBER REQUIRED TO BE PROTECTED FROM DECAY AND/OR INSECTS, SEE MOST CURRENT AMPA U1 FOR USE CATEGORIES AND EXPOSURE CONDITIONS.
- STEEL TRIMS:**
- COLOR MATCHED STEEL TRIMS
 - CERAM-A-STAR 1050 PAINT SYSTEM
- FRAMING FASTENERS:**
- ALL FASTENERS SHALL BE AS LISTED BELOW UNLESS OTHERWISE NOTED.
 - ALL FASTENERS SHALL BE EXTERIOR RATED FINISH UNLESS NOTED OTHERWISE.
- PRIMARY FASTENERS (POST FRAME NAILS):**
- 16d RINGSHANK NAILS (145°)
 - 30d RINGSHANK NAILS (177°)
 - 60d RINGSHANK NAILS (200°)
- SECONDARY FASTENERS (POST FRAME NAILS):**
- 10d RINGSHANK NAILS (135°)
 - 16d RINGSHANK NAILS (145°)
 - 30d RINGSHANK NAILS (177°)
- ALL MITEX PRODUCTS, I.E. JOIST HANGERS, TRUSS TIES, FRAMING ANGLES, ETC., SHALL BE SECURED PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
- PANEL FASTENERS:**
- COLOR MATCHED GALVANIZED WOODGRIP SCREWS, #10 DIAMETER, 1/4" HEX HEAD.
- HANDLING AND STORING:**
- ALL STEEL PANELS AND TRUSS PRODUCTS SHOULD BE HANDLED AND STORED PER MANUFACTURER SPECIFICATIONS.
- GRADE:**
- ALL FINISHED GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 5% GRADE FOR PROPER DRAINAGE (2% FOR PERVIOUS SURFACES) (IBC 1804).
- CONSTRUCTION BRACING:**
- TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS' RESPONSIBILITY. REFER TO BCSI-B1 AND/OR B10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).
- HVAC:**
- HEATING, VENTING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE APPROVED BY LOCAL OFFICIALS.
- PLUMBING:**
- PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.
- ELECTRICAL:**
- ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.
- EXIT LIGHTS:**
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE ICC ELECTRICAL CODE.
- ACCESSIBLE PARKING:**
- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5.
- ACCESSIBLE ROUTE:**
- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4.
- ACCESSIBLE DOOR HARDWARE:**
- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPENED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR. THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR WITH 1:2 SLOPE IF GREATER THAN 1/4".
- FIRE EXTINGUISHERS:**
- SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).



ENGINEERING SERVICES
5031 KANE RD. EAU CLAIRE, WI 54601 (715) 879-2556

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
STEEL APPLICATION DETAILS AND GENERAL NOTES

FILE NAME: S00525WI

SHEET NO.

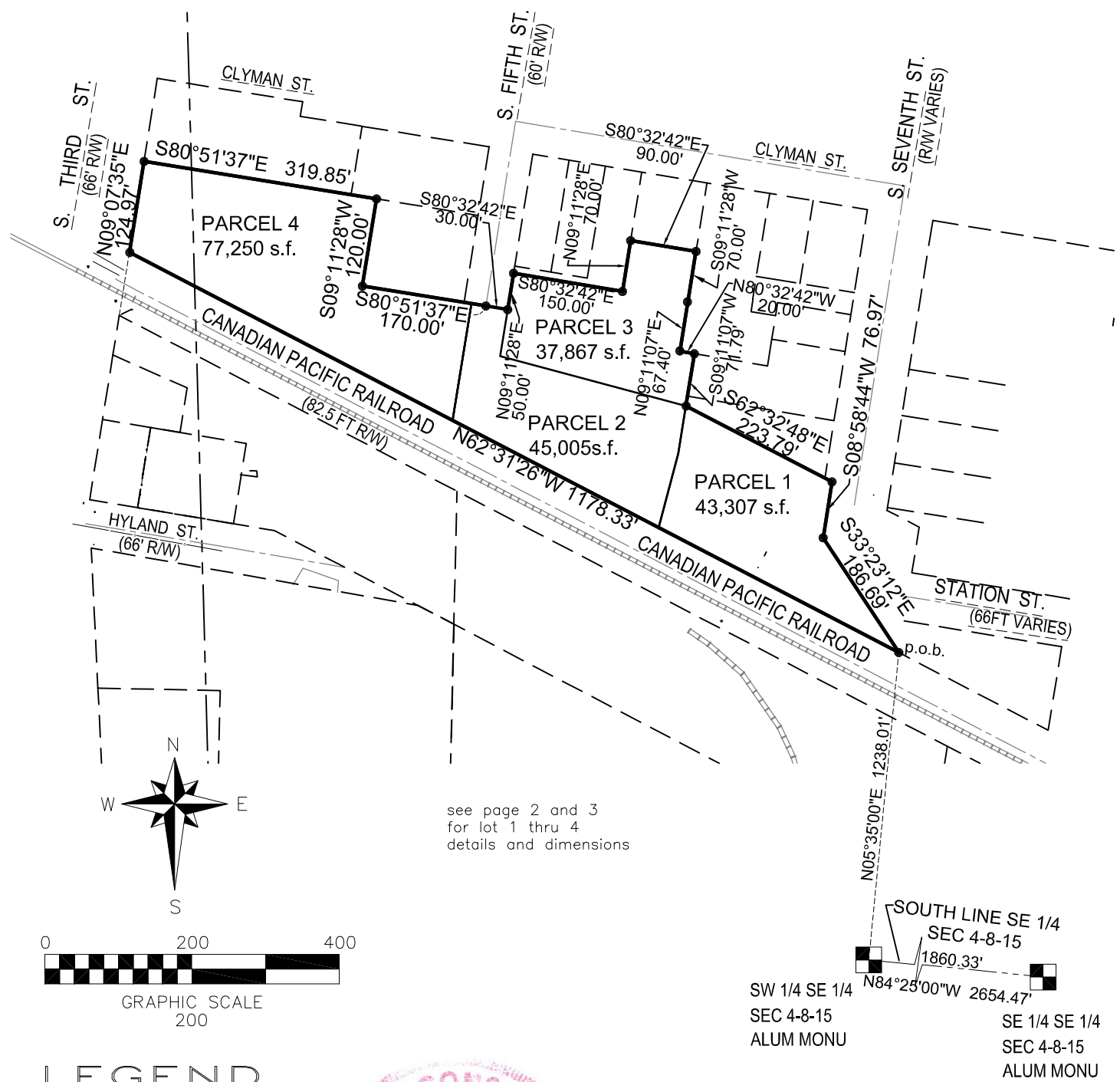
S8

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEW/APPROVAL
NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

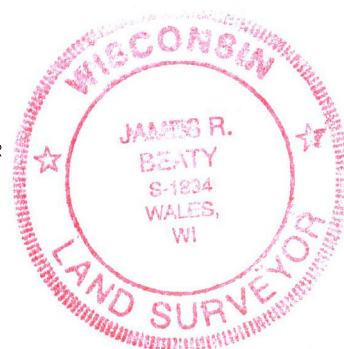
BEING UNPLATTED LANDS / PART OF FORMER "RAILROAD STATION" AS SHOWN ON RECORDED PLAT OF PRITCHARDS SECOND ADDITION TO WATERTOWN. A PART OF LOT 1 OF CSM 2295, LOT 4 OF CSM 2182 ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

EXTERIOR BOUNDARY DETAIL



NOTE:
Lots 1, 2, 3 and 4 have an Airport Approach Protection Zone Elevation limit of 968 above mean sea level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence

BEARING REFERENCE:
Bearings are referenced to the Wisconsin County Coordinate system, Jefferson County within which the South line of the SE 1/4 of Section 4, T8N, R15E was measured to bear N84°25'00"W (Vertical referenced to NGVD (88)Datum)



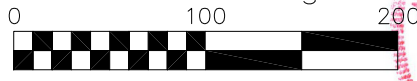
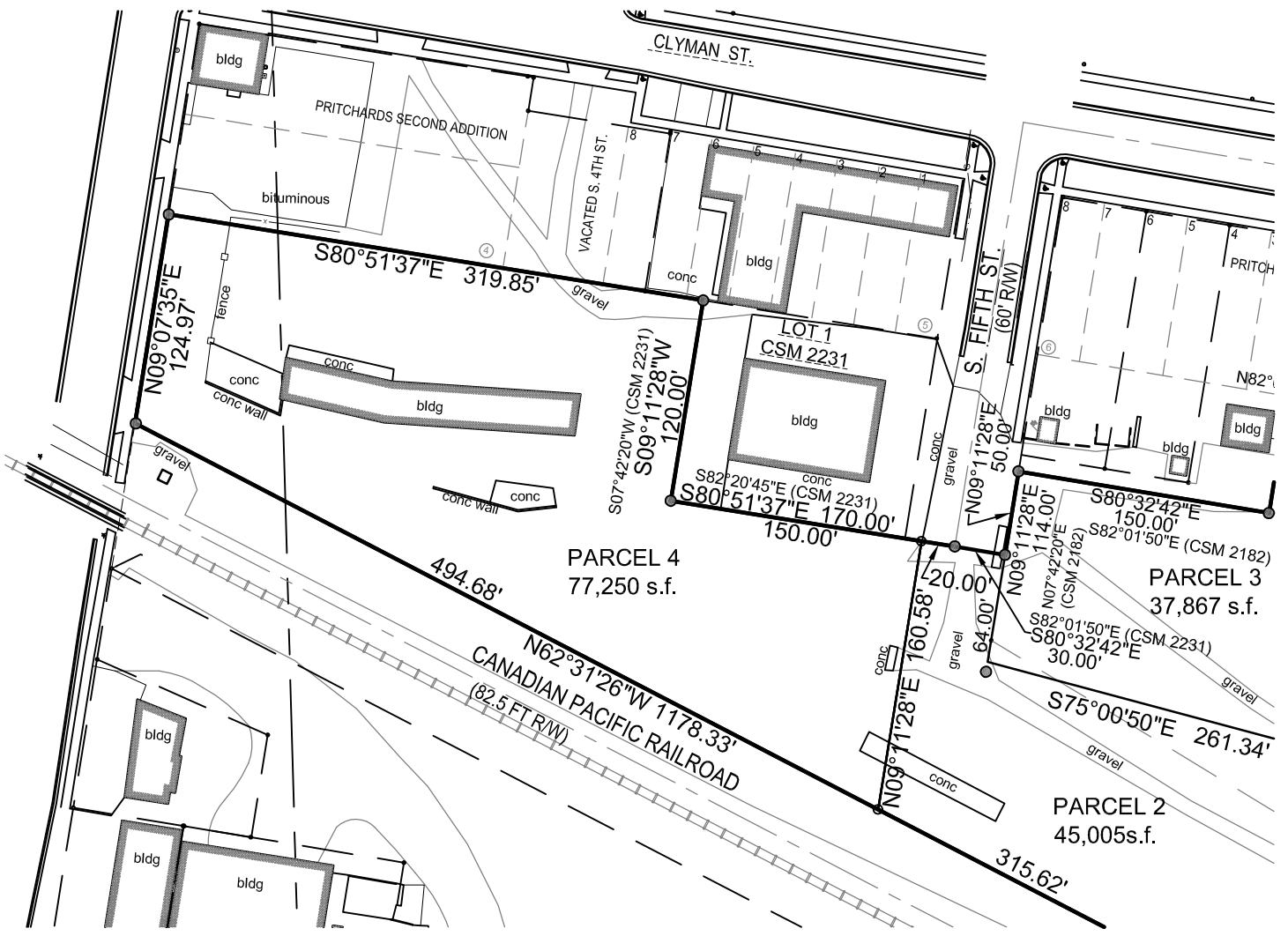
James R. Beaty
James R. Beaty, PLS 1834
DATED: JANUARY 29, 2025

PRELIMINARY DRAFT PENDING
 AUTHORITIES REVIEW/APPROVAL
 NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

BEING UNPLATTED LANDS / PART OF FORMER "RAILROAD STATION" AS SHOWN ON RECORDED PLAT OF PRITCHARDS SECOND ADDITION TO WATERTOWN. A PART OF LOT 1 OF CSM 2295, LOT 4 OF CSM 2182 ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4 AND SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

LOT DETAIL



LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- ⊕ OR ⊞ SECTION OR 1/4 SECTION CORNER CONC MONU W/ALUM CAP
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. (1.315 O.D.) IRON PIPE SET (UNLESS OTHERWISE NOTED)
- X— CENTURY FENCE (UNLESS OTHERWISE NOTED)

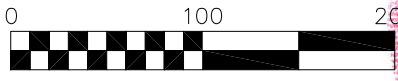
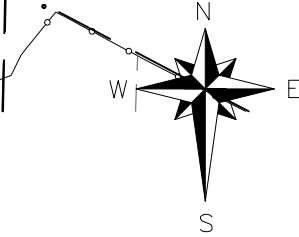
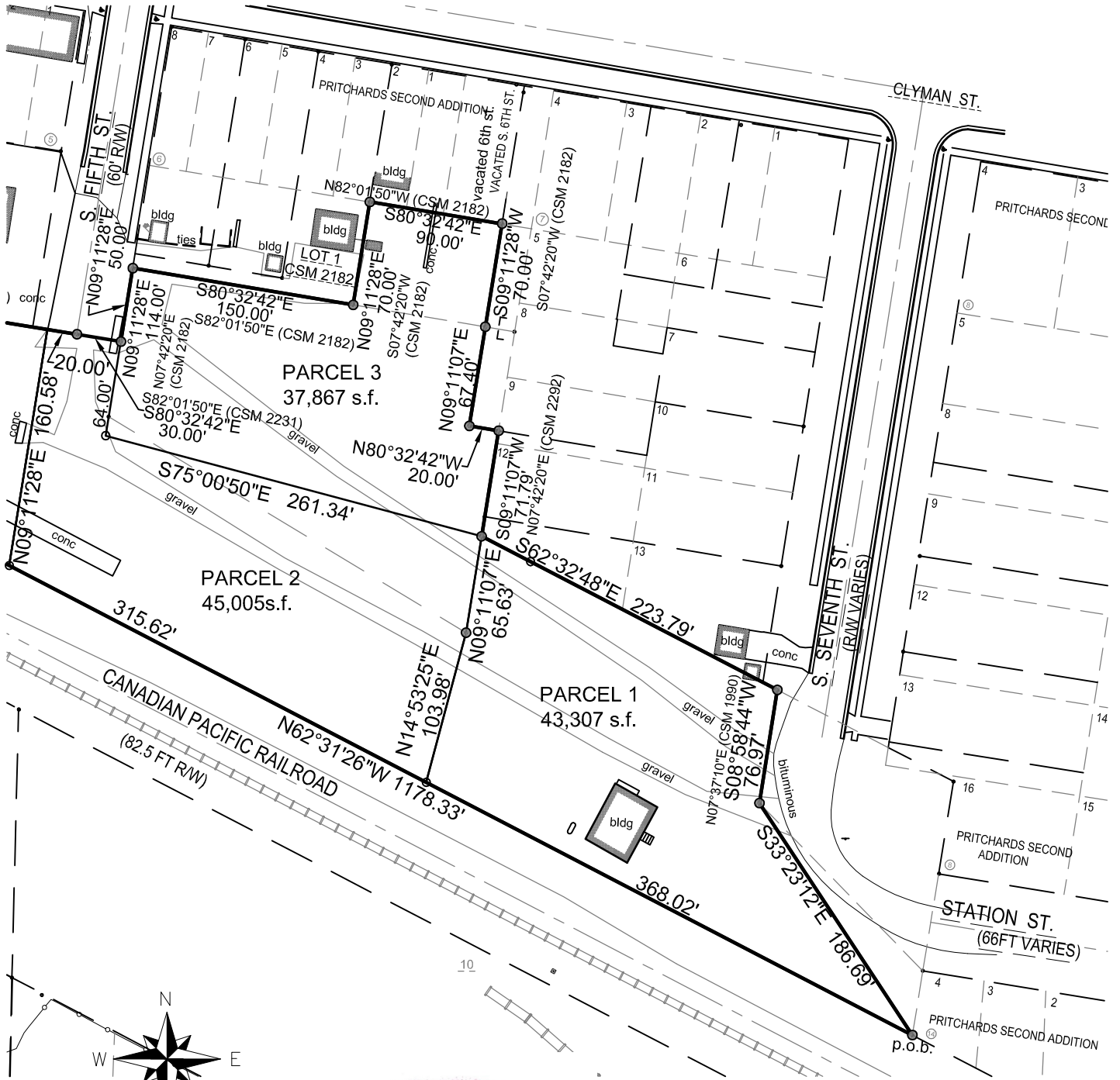
James R. Beaty
 James R. Beaty, PLS 1834
 DATED: JANUARY 29, 2025

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEW/APPROVAL
NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

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LOT DETAIL



GRAPHIC SCALE
1"=100'

LEGEND

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT

⊕ OR □ SECTION OR 1/4 SECTION CORNER

CONC MONU W/ALUM CAP

● 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)

○ 1" DIA. (1.315 O.D.) IRON PIPE SET (UNLESS OTHERWISE NOTED)

—X— CENTURY FENCE (UNLESS OTHERWISE NOTED)



James R. Beaty
James R. Beaty, PLS 1834
DATED: JANUARY 29, 2025

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEW/APPROVAL
NOT TO BE RECORDED

Section 3, Item J.

CERTIFIED SURVEY MAP NO - _____

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SURVEYOR'S CERTIFICATE

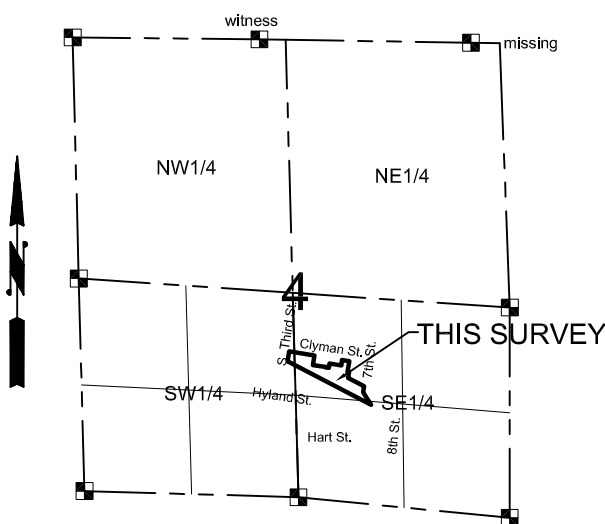
I, James R. Beaty, Professional Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being a redivision unplatted lands / part of former "railroad station" as shown on recorded plat of Pritchards Second Addition to Watertown. a part of Lot 1 of CSM 2295, and Lot 4 of CSM 2182, all lands being a part of the northeast 1/4 of the southwest 1/4, the northwest 1/4 of the southeast 1/4 of Section 4 and southwest 1/4 of the southeast 1/4 of Section 4, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin. Said lands are bounded and described as follows:

Beginning at the found aluminum monument marking the Southeast corner of the Southeast 1/4 of said Section 4; thence North 84°25'00" West, a distance of 1860.33 feet along the South line of said Southeast 1/4 of said Section 4 to a point; thence North 05°35'00" East, a distance of 1238.01 feet to a found 1" iron pipe marking the southeast corner of Parcel 1 of CSM 5922, on the northerly line of canadian pacific railroad right of way and the point of beginning of the lands hereinafter described; thence North 62°31'26" West, 1178.33 feet along the north right of way line of the Canadian Pacific Railroad to a point on the east line of S. Thrid St.; thence North 09°07'35" East, 124.97 feet along the east right of way line of S. Third St., to a point; thence South 80°51'37" East, a distance of 319.85 feet to a point; thence South 09°11'28" West, a distance of 120.00 feet to a point; thence South 80°51'37" East, a distance of 170.00 feetto a point; thence South 80°32'42" East, a distance of 30.00 feet to a point; thence North 09°11'28" East, a distance of 50.00 feet to a point; thence South 80°32'42" East, a distance of 150.00 feet to a point; thence North 09°11'28" East, a distance of 70.00 feet to a point; thence South 80°32'42", a distance of 90.00 feet to a point; thence South 09°11'28" West, a distance of 70.00 feet to a point; thence South 09°11'07" East, a distance of 67.40 feet to a point; thence South 80°32'42" East, a distance of 20.00 feet to a point; thence South 09°11'07", a distance of 71.79 feet to a point; thence South 62°32'48" East, a distance of 223.79 feet to a point on the west right of way line of S. Seventh St.; thence South 08°58'44" West, a distance of 76.97 feet along said right of way to a point; thence South 33°23'12" East, a distance of 186.69 feet to the point of beginning; Said described lands containing 203,429s.f. (4.6700 Acres), more or less of land.

That I have made this survey, land division and map by the direction of Loeb and Company, LLP, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.



LOCATION MAP
SECTION 4 T8N R15E

PREPARED BY / SURVEYOR:
Horizon Land Development Services, LLC
W313 S2562 Penny Lane
Wales, Wisconsin 53183
1-262-349-1575



James R. Beaty
James R. Beaty, PLS 1834
DATED: JANUARY 29, 2025

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEW/APPROVAL
NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

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CORPORATE OWNER'S CERTIFICATE

Loeb and Company, LLP, a Wisconsin limited liability partnership organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described on this plat to be surveyed, divided, and mapped as represented on this plat.

Aforesaid owner, Loeb and Company, LLP, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said Loeb and Company, LLP, has caused these presents to be signed by Bruce Loeb, its Partner, on this _____, day of _____, 2025.

In the presence of:

Loeb and Company, LLP
Corporate Name

Bruce Loeb, Partner

STATE OF WISCONSIN)
(SS
JEFFERSON COUNTY)

Personally came before me this _____ day of _____, 2025, Bruce Loeb, of the above named company, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Partner of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

name Notary Public: Jefferson, Wisconsin

My commission expires _____, 20

CITY OF WATERTOWN PLAN COMMISSION APPROVAL CERTIFICATE

This Certified Survey Map, in the City of Watertown, is hereby approved by the Plan Commission of the City of Watertown.

Approved on this _____ day of _____, 2025.

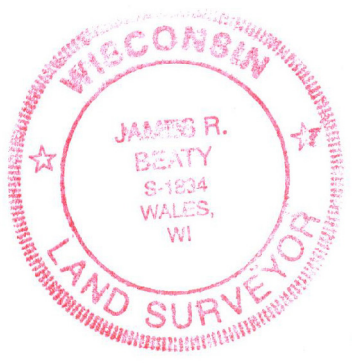
Date _____

Emily McFarland, Mayor

I Hereby certify that the forgoing is a true and correct copy of a Certified Survey Map adopted by the Plan Commission of the City of Watertown.

Date _____

Megan Dunneisen, City Clerk



James R. Beaty
James R. Beaty, PLS 1834
DATED: JANUARY 29, 2025



BUILDING SAFETY & ZONING DIVISION PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: Recommendation to Council – 1220 Wilbur Street Comprehensive Plan Amendment

A Comprehensive Plan Amendment request from Melissa Songco, agent for Habitat for Humanity of Waukesha and Jefferson Counties, to change the Future Land Use designation on parcels located at 1220 Wilbur St and 1220 W Main St. Parcel PIN: 291-0915-3233-033 & 291-0915-3233-041.

SITE DETAILS - 1220 Wilbur St and 1220 W Main St:

Acres: 0.80 acres each parcel
Current Zoning: Two-Family Residential
Existing Land Use: Vacant
Future Land Use Designation: Institutional

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing a Comprehensive Plan Amendment to change the Future Land Use designation of two parcels from Institutional to Two-Family Residential. These parcels are currently part of the Madison College Campus. The College no longer needs these parcels and has put them for up sale for development. A plat for this site with six twin-homes (12 units) is being proposed this site.

STAFF EVALUATION:

Land Use and Zoning:

Nearby Future Land Use designations include Two-Family Residential to the north and east. Planned Mixed Use Future Land Use exists to the south and Institutional Future Land Use exists to the west.

Nearby Zoning includes Two-Family Residential Zoning to the north and east. Planned Business Zoning exists to the south and Planned Office and Institutional Zoning exists to the west.

Wisconsin Statutes

Per the Wisconsin Statutes it is the role of the Plan Commission to prepare a Comprehensive Plan Amendment and recommend the amendment to Common Council.

Per Wis. Stat. § 66.1001(4)(b):

*(b) The plan commission or other body of a local governmental unit that is authorized to prepare or amend a comprehensive plan **may** recommend the adoption or amendment of a comprehensive plan only by adopting a resolution by a majority vote of the entire commission. The vote shall be recorded in the official minutes of the plan commission or other body. The resolution shall refer to maps and other descriptive materials that relate to one or more elements of a comprehensive plan.*

Comprehensive Plan Goals, Objectives, and General Policies:

The 2019 Watertown Comprehensive Plan includes goals, objectives, and general policies for the Plan Commission to consider when reviewing Comprehensive Plan amendments:

Land Use Goals, Objectives, and General Policies

Goal:

1. Promote a future land use pattern that is harmonious with the natural landscape, features visually attractive development, and is economically viable.

Objectives:

1. Ensure that a desirable balance and distribution of land uses is achieved.
2. Maintain high standards in the Zoning Ordinance for buildings, landscaping, signage, building materials, and parking lots.
3. Ensure that conflicts between neighboring land uses are minimized with logical land use transitions and bufferyards.
4. Utilize existing public facilities to serve new development whenever possible.
5. Coordinate land development with transportation system improvements.
6. Encourage City landowners to open up suitable undeveloped areas for new development as the need arises.



BUILDING SAFETY & ZONING DIVISION PLAN COMMISSION STAFF REPORT

Policies:

1. *Prioritize infill and redevelopment opportunities, especially downtown and along the river, before new greenfield development along the City's boundaries.*
2. *Direct new housing development in locations with convenient access to commercial and recreational facilities, transportation systems, schools, employment opportunities, and other necessary facilities and services.*
3. *Require all new development within Watertown's long-term growth area to be served with the full array of municipal services (e.g. sanitary sewer, storm sewer, municipal water, police, fire, etc.) unless covered by an intergovernmental agreement.*
4. *Encourage the strengthening of existing neighborhoods through maintenance of the existing housing stock, creative reuse of vacant or under-utilized buildings, and infill on vacant parcels.*
5. *Require all proposed residential developments to dedicate land, or pay a fee in lieu thereof, for public park, recreation, and open space acquisition and development.*
6. *Strive for compatibility of adjacent land uses by requiring site plan review for all multi-family residential, commercial, office, industrial, recreational, and institutional land uses.*
7. *Buffer incompatible land uses from each other through the strategic use of plant materials, decorative fences, walls, or berms.*
8. *Require new development and redevelopment projects to include high quality building design, landscaping, stormwater best management practices, and signage and to meet at least the minimum landscaping and performance standards as codified in the City's Zoning Ordinance.*
9. *Encourage that new residential development within the Planned Neighborhood designation comply with the City's historic housing mix. The desired mix of residential uses in any neighborhood should be mostly single-family (approximately 50 percent), generally with no more than 20 percent of dwelling units being duplex units and not more than 30 percent being multi-family units.*
10. *Require detailed development plans that include: (1) proposed land use pattern of the area; (2) recommended zoning for the area; (3) recommended lot pattern; (4) location of necessary municipal utilities; (5) locations of parks, open space, and civic or institutional buildings; (6) proposed street system that will serve the area; and (7) a development phasing timetable so the City can coordinate capital improvements with the development of the area.*
11. *Factor public health into the site plan review process through the addition of specific criteria in which new development, redevelopment, and infill development must address in order to integrate land use planning, transportation, and public health.*
12. *Work with Jefferson and Dodge Counties, in addition to all surrounding Townships on future land use planning within the City's Extraterritorial Jurisdiction to promote intergovernmental cooperation and a unified future planning of development and services. Seek intergovernmental agreements with all surrounding Townships.*
13. *Reevaluate the City's supply and demand for industrial land every 5 years.*
14. *Develop detailed neighborhood plans for the Bethesda campus between Milford Street and the Rock River in order to foster high-quality and well-planned future development.*

PUBLIC HEARING COMMENT:

Public comments from the March 18th, 2025 Public Hearing before the Common Council, if any, are attached.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Negative recommendation of the Comprehensive Plan Amendment to Common Council.
2. Positive recommendation of Comprehensive Plan Amendment to Common Council.
3. Positive recommendation of the Comprehensive Plan Amendment to Common Council, with conditions identified by the Plan Commission

STAFF RECOMENDATION:

- Staff recommends a positive recommendation of this Plan Amendment to Common Council.

ATTACHMENTS:

- Application materials.



Habitat for Humanity Watertown Project Summary

Habitat for Humanity of Waukesha & Jefferson Counties intends to develop workforce housing on two vacant parcels located at 1220 W Main St and 1220 Wilbur St in Watertown, Wisconsin. The project will create homeownership opportunities for low- to moderate-income families by constructing high-quality, energy-efficient twin homes that align with the existing residential character of the neighborhood. Habitat's model ensures long-term affordability through low-interest mortgages and sweat equity contributions from future homeowners, fostering financial stability and community investment.

This project represents a commitment to strengthening the Watertown community by providing stable housing solutions that promote economic mobility and neighborhood growth. By transforming these underutilized parcels into homes for families, Habitat aims to increase local property values, encourage volunteer and donor engagement, and support the city's broader housing initiatives. Additionally, these housing units will help support the **expansion of local businesses** by providing affordable living options for workers, ensuring that employers can attract and retain the talent needed to sustain and grow the local economy.

Project Details:

- Total Housing Units: 6 twin home buildings (12 units)
- Home Size: Each unit will be approximately 1,400 sq. ft. with 3 bedrooms and 1.5 bathrooms
- Key Features: starter homes with energy-efficient construction, open concept, modern amenities, and durable materials

The comprehensive plan currently designates these lots as institutional due to their ownership by Madison Area Technical College; however, the existing TR-6 (Two-Family Residential) zoning aligns with Habitat's planned development. The site is adjacent to an established residential neighborhood that integrates well with Habitat's mission and home designs. Initial conversations with neighbors have been incredibly positive, with strong community support for transforming this dormant site into much-needed workforce housing. Habitat for Humanity is dedicated to working with city officials, community partners, and residents to ensure this project is a lasting benefit to Watertown's future.

**ORDINANCE
ADOPT AMENDMENTS TO THE 2019 CITY OF WATERTOWN COMPREHENSIVE
PLAN**

**SPONSOR: MAYOR MCFARLAND
FROM: PLAN COMMISSION WITH POSITIVE RECOMMENDATION**

The Common Council of the City of Watertown, Wisconsin, does ordain as follows:

WHEREAS, pursuant to sections 62.23(2) and (3) of Wisconsin Statutes, the City of Watertown is authorized to prepare and adopt a comprehensive plan as defined in sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and,

WHEREAS, the City Council adopted its comprehensive plan in 2019 entitled "City of Watertown Comprehensive Plan"; and,

WHEREAS, the City of Watertown Comprehensive Plan is silent as to the frequency or number of permissible amendments to the City of Watertown Comprehensive Plan; and,

WHEREAS, Wisconsin Comprehensive Planning law requires that a city follow the same administrative process for plan amendment adoption defined under §66.1001(4) of the Wisconsin Statutes; and,

WHEREAS, as part of the City's original adoption of a comprehensive plan the Common Council adopted and has since followed written procedures designed to foster public participation in every stage of the preparation of a comprehensive plan as required by §66.1001(4)(a) of the Wisconsin Statutes; and,

WHEREAS, the Plan Commission of the City of Watertown, by a majority vote of the entire Commission recorded in its official minutes, has positively recommended to the Common Council the adoption of a proposed amendment to change the future land use category shown for 1220 Wilbur Street, Parcel PIN 291-0915-3233-033 and 1220 W. Main Street, Parcel PIN 291-0915-3233-041 (Exhibit "A") from "Institutional" to "Two-Family Residential" on the Future Land Use Map of the Comprehensive Plan;

WHEREAS, the Plan Commission of the City of Watertown has ensured the amendments are in full compliance with the City of Watertown Comprehensive Plan; and,

WHEREAS, the City of Watertown has, in compliance with the requirements of section 66.1001(4)(d) of the Wisconsin Statutes, provided opportunities for public involvement per its adopted public participation plan; and,

WHEREAS, the Common Council held a public hearing on the proposed amendments on March 18, 2025, considered the public comments made and the recommendations of the Plan Commission and staff, and has determined to approve the recommended amendments;

NOW THEREFORE, THE COMMON COUNCIL OF WATERTOWN, WISCONSIN, DOES

(March , 2025) Ord. #25-XXX

ORDAIN AS FOLLOWS:

SECTION 1. That the City's Comprehensive Plan be amended to reflect that the future land use category shown for 1220 Wilbur Street, Parcel PIN 291-0915-3233-033 and 1220 W. Main Street, Parcel PIN 291-0915-3233-041 (Exhibit "A") change from "Institutional" to "Two-Family Residential" on the Future Land Use Map of the Comprehensive Plan pursuant to section 66.1001(4)(c) of Wisconsin Statutes; and,

SECTION 2. That all ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed; and, in the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance.

SECTION 3. That this ordinance shall take effect and be in force the day after its passage and publication.

<i>DATE:</i>	<i>Mar 31, 2025</i>		<i>Apr 15, 2025</i>	
<i>READING:</i>	<i>1ST</i>		<i>2ND</i>	
	<i>YES</i>	<i>NO</i>	<i>YES</i>	<i>NO</i>
DAVIS				
LAMPE				
BOARD				
BARTZ				
BLANKE				
SMITH				
SCHMID				
WETZEL				
MODELNHAUER				
MAYOR MCFARLAND				
<i>TOTAL</i>				

ADOPTED _____

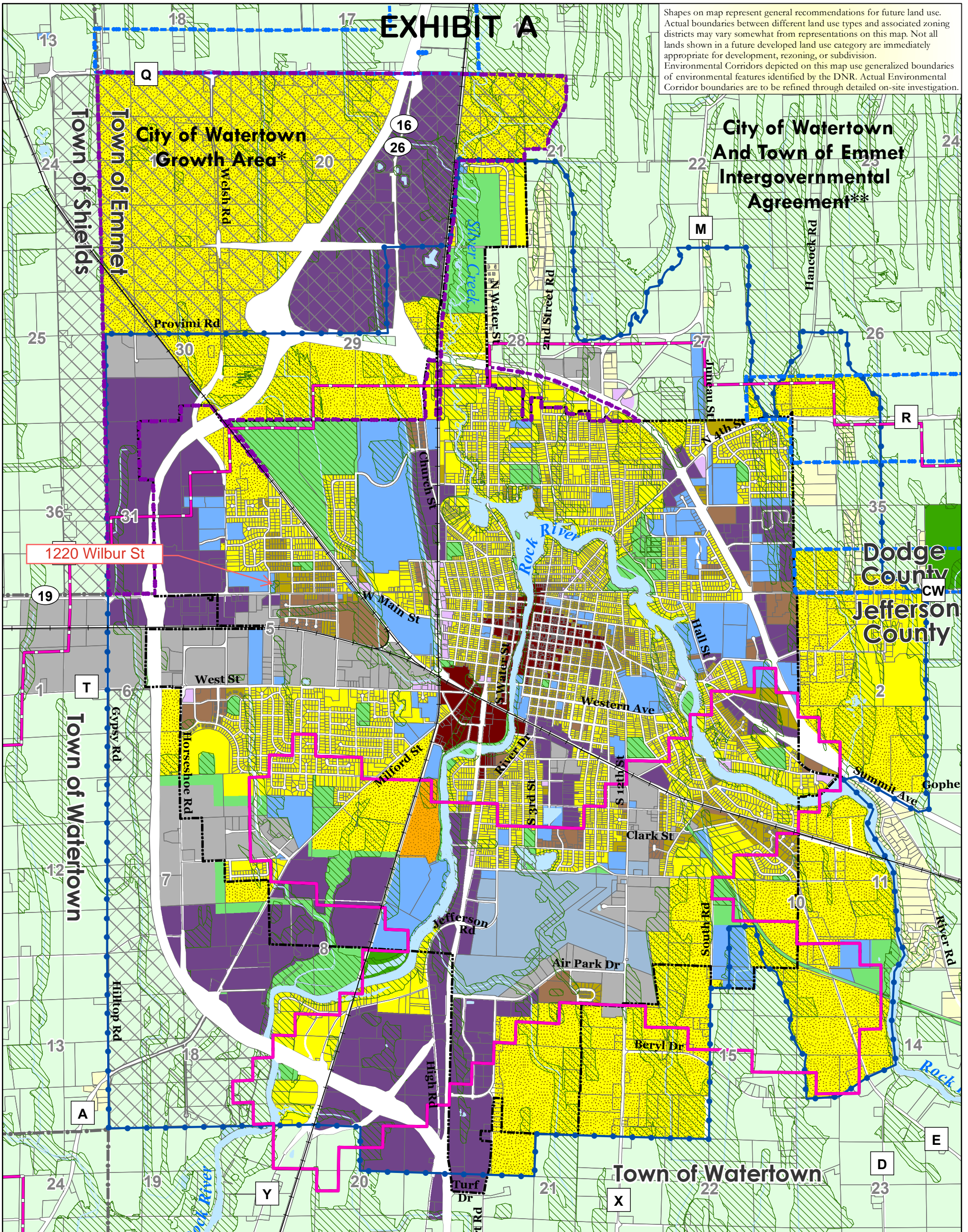
CITY CLERK

APPROVED _____

MAYOR

EXHIBIT A

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

- City/Town IGA**
- City Growth Area
- City Periphery Areas

*Each "Planned Mixed Use Area" may include mix of:

1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:

1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:

1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

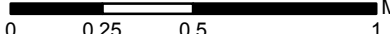
Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

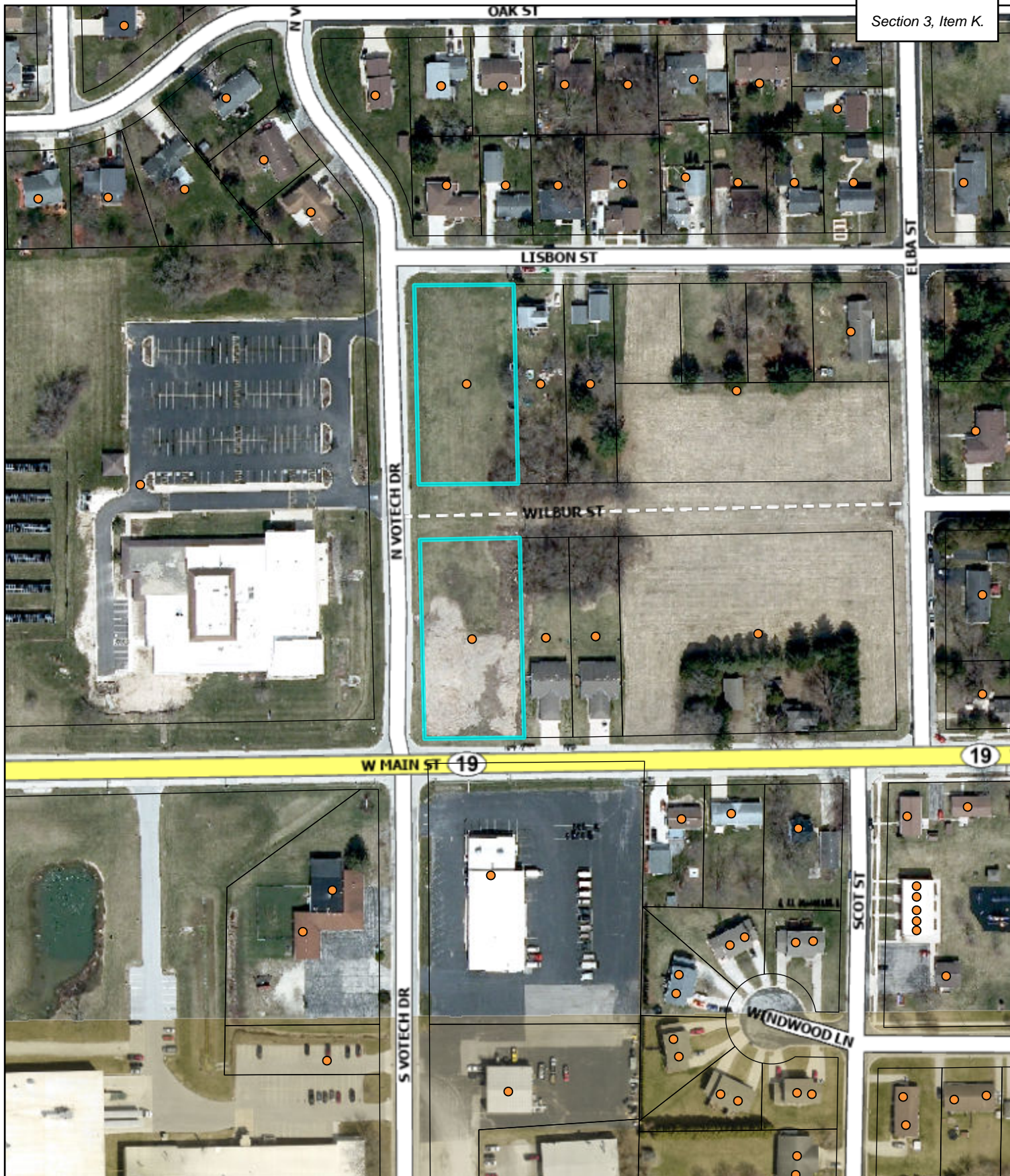


Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places. shaping change



Section 3, Item K.



City Boundary



Address Points



Parcel Boundary

Address Labels



Common Areas



City of Watertown Geographic Information System

Scale: 1:2,053

Printed on: February

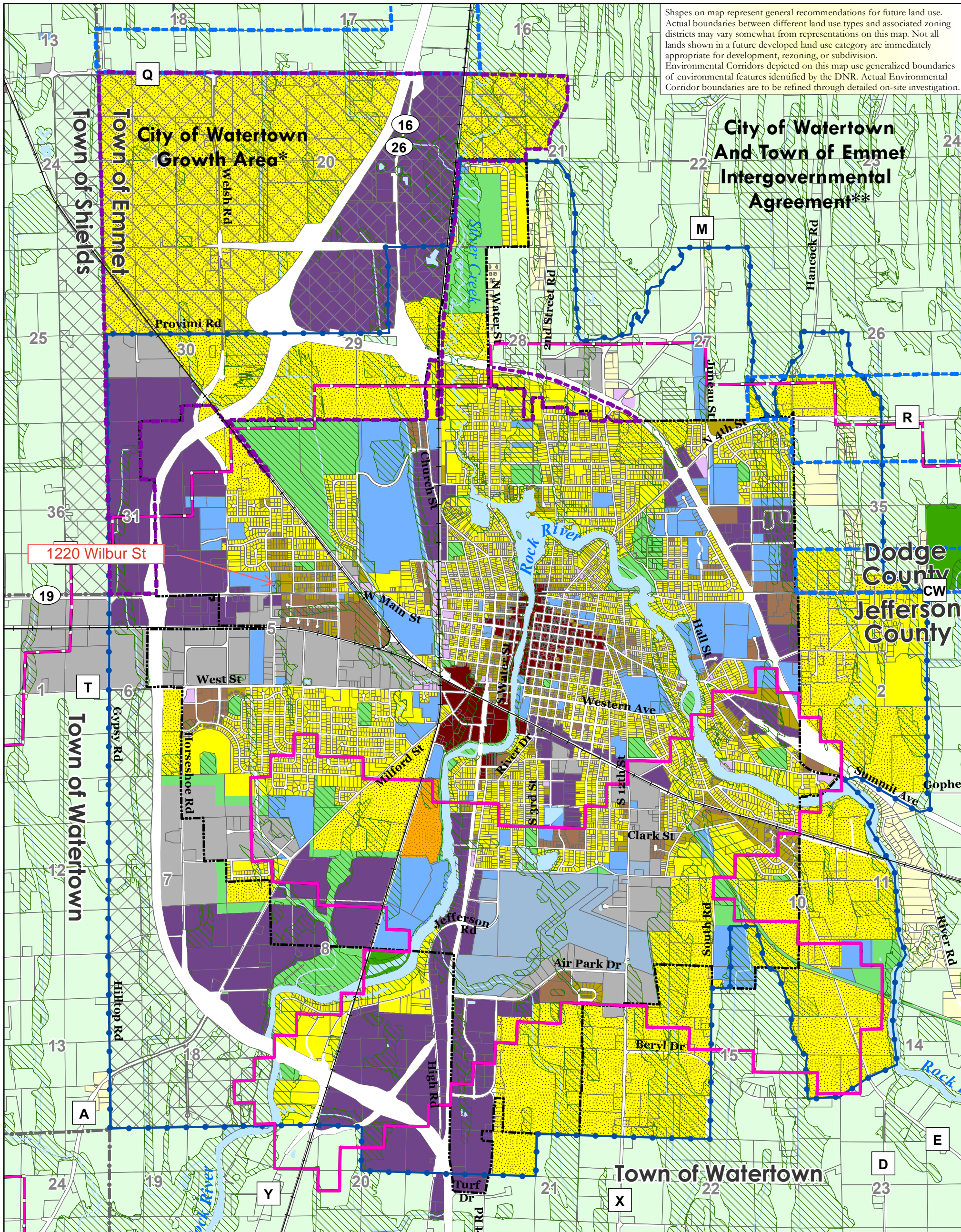
SCALE BAR = 1"

Author:

92

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other ineluctable inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

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Future Land Use Urban Area

Map 6b

- City/Town IGA**
- City Growth Area
- City Periphery Areas

City of Watertown Comprehensive Plan

- Land Use Categories**
- Agricultural
 - Single-Family Residential - Unsewered
 - Single-Family Residential - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Planned Neighborhood**
 - Institutional
 - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

- *Each "Planned Mixed Use Area" may include mix of:
- Office
 - Multi-Family Residential
 - Mixed Industrial
 - Commercial Services/Retail
 - Institutional
 - Parks & Recreation

- ***"Planned Neighborhoods" should include a mix of the following:
- Single-Family - Sewered (predominant land use)
 - Two-family Residential
 - Multi-Family Residential
 - Institutional
 - Neighborhood Mixed Use
 - Parks & Recreation

- ***Each "Riverside Mixed Use Area" may include mix of:
- Office
 - Single-Family - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial Services/Retail
 - Institutional
 - Parks & Recreation

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

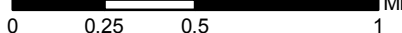
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- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

THE CITY OF WATERTOWN
Opportunity runs through it.

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change





BUILDING SAFETY & ZONING DIVISION PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th ,2025
SUBJECT: Initial Review and Schedule Public Hearing – Text Amendment to Chapter 550 Zoning.

A request by the City of Watertown, for a text amendment to the City of Watertown Zoning Code.

BACKGROUND DESCRIPTION:

Proposed Amendment:

A recently proposed multi-family development has brought to light some concerns with the Central Business Apartments land use as it is currently written within the Zoning Ordinance. The current Zoning Ordinance allows Central Business Apartments with the approval of a Conditional Use Permit (CUP) in the Central Business (CB) Zoning District. One of the required conditions of a Central Business Apartments CUP is approval of a Planned Development (PD) Overlay Zoning District for any proposed apartment developments. In light of recent State law changes (Act 67 and Act 16) that require CUPs and permitted uses to be approved if the associated regulations can be met, a CUP that requires an additional rezoning action for approval makes this CUP requirement problematic and possibly a violation of these recent state law changes. In addition, there are also concerns about the consistency of the ‘Central Business Apartments’ land use with the 2019 Comprehensive Plan in regard to the allowance of first floor residential.

After consultation with Vandewalle and Associates regarding these concerns, it was determined the best resolution at this time would be to remove Central Business Apartments land use from the Zoning Ordinance via a text amendment. This change would allow the currently proposed multi-family development in the Central Business Zoning District (and future similar proposed developments) to proceed with just approval of a Planned Development (PD) Overlay Zoning District that allows multi-family development as a granted flexibility. Used in this manner, the Planned Development (PD) Overlay Zoning District approval process will give the City the proper level of project oversight while removing unnecessary burdens on developers as well as remove concerns with State Law and Comprehensive Plan consistency. The existing language in § 550-152B of the Zoning Code states that Planned Developments may consider flexibility in land uses, which would allow a development to propose ground floor residential in the Central Business (CB) Zoning District. In evaluating such requests, the Plan Commission and Common Council would consider whether the Planned Development zoning action, through negotiating the location and parameters of the development, is substantially consistent with the goals of the Comprehensive Plan.

The Planned Development (PD) Overlay Zoning District (formerly known as a PUD) is the process by which previous apartment complex developments were approved within the Central Business (CB) Zoning District prior to the addition of the Central Business Apartments land use category in 2021 (e.g. the Globe and River Mill Apartments). No apartment complexes have been developed using the Central Business Apartments land use category since its addition to the Zoning Ordinance. The topic of multi-family development in the Central Business Zoning District will be revisited and reviewed in the City’s upcoming Zoning Ordinance rewrite and will include a review of the ‘Central Mixed Use’ Future Land Use category within the Comprehensive Plan.

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment - §550-15

~~CENTRAL BUSINESS APARTMENTS~~

~~See § 550-49G.~~

~~[Added 6-1-2021 by Ord. No. 21-23]~~

Amendment - §550-34B(2)(K)

§ 550-34B(2) Central Business (CB) District - Principal Land Uses Permitted as Conditional Use

(2) Principal land uses permitted as conditional use (per § 550-45B):

- (a) Clear-cutting.
- (b) Indoor institutional.
- (c) Outdoor institutional.
- (d) Institutional residential.
- (e) In-vehicle sales or service.
- (f) Indoor commercial entertainment.
- (g) Outdoor commercial entertainment.
- (h) Commercial indoor lodging.
- (i) Bed-and-breakfast establishments.
- (j) Group day-care center (nine or more children).[1]

[1] Editor's Note: Former Subsection B(2)(k), Boardinghouse, which immediately followed, was repealed 6-19-2018 by Ord. No. 18-4.

~~(k) Central business apartments (greater than 12 dwelling units).~~

~~[Added 6-1-2021 by Ord. No. 21-24]~~

Amendment - §550-49G

~~G. Central business apartments (more than 12 dwelling units). Description: This dwelling unit type consists of an attached, multifamily residence that takes access from a shared entrance or hallway. Dwelling units are allowed on the first floor. A minimum building code required fire-rated wall assembly division, separating living areas from the lowest level to the underside of the roof is required between each dwelling unit. No fewer than 12 dwelling units may be located in a building. Central business apartments shall only be allowed within the Central Business Zoning District.~~

~~[Added 6-1-2021 by Ord. No. 21-22]~~



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

~~(1) Regulations.~~

~~(a) Central business apartments shall not be allowed on a historic site or a contributing property located within a historic district regulated under Chapter 325 of the City of Watertown Municipal Code.~~

~~[1] Central business apartments located on a noncontributing property located within a historic district shall go before the Historic Preservation and Downtown Design Commission for a certificate of appropriateness.~~

~~[2] Central business apartments may be built on a historic site or a contributing property within a historic district if a certificate of appropriateness was approved by the Historic Preservation and Downtown Design Commission under § 325-7D(3). The resulting new construction shall require a certificate of appropriateness from the Historic Preservation and Downtown Design for a property within an historic district.~~

~~(b) Central business apartments shall also be required to go through the planned unit development process under § 550-152.~~

~~(c) Access limitation of dwelling unit to commercial uses. No dwelling unit shall open directly into or shall be used in conjunction with a principal or accessory commercial land use.~~

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

- Set the public hearing date for April 15th, 2025.
- Postpone public hearing to a later date or indefinitely.

STAFF RECOMENDATION:

- Staff recommends setting the Common Council public hearing date for this item for April 15th, 2025.



BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
 DATE: March 24, 2025
 SUBJECT: Initial Review and Schedule a Public Hearing – Rezoning

Initial review and setting of a public hearing date for a rezoning requested by Northtown Partners LLC, agent for Cady Emerald LLC., on parcels located at 100 and 104 East Division Street, Watertown, WI. Parcel PIN(s): 291-0815-0412-029 & 291-0915-3343-053.

SITE DETAILS:

Acres: 0.52 & 1.10 acres
 Current Zoning: General Business (GB) Zoning District
 Existing Land Use: Vacant
 Future Land Use Designation: Central Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to change the zoning designation from the General Business (GB) Zoning District to Central Business (CB) Zoning District for the development of an apartment complex. A rezoning to a Planned Development (PD) Overlay Zoning District to allow for flexibilities within the Central Business (CB) Zoning District for the apartment complex proposal is also pending. These parcels were previously the site of the Johnsonville Sauge Plant that was destroyed by a fire. The two parcels involved with this development proposal are located in two different counties, as such the proposed building will be built as two separate buildings with a shared zero lot line wall separation at the county line. A rezoning of the subject parcels to add a Planned Development (PD) Overlay Zoning District and approval of a CSM related to this development proposal are also pending. The discontinuance of a portion of Cole Street is also proposed for this development.

STAFF EVALUATION:

Land Use and Zoning:

Nearby Future Land Use designations include Central Mixed Use to the north and south. Two-Family and Multi-Family Future Land Uses exist to the east. The Rock River is located to the west.

Nearby Zoning includes Central Business and Two-Family Residential Zoning to the south. Neighborhood Business Zoning and Two-Family Residential Zoning are located to the north and east. The Rock River is located to the west

Zoning Code

The zoning code requires the Plan Commission to conduct an initial review of the rezoning and schedule a public hearing before the Common Council.

Per Section § 550-141E:

E. Initial review by the Plan Commission and scheduling of Common Council public hearing. The Common Council shall not make an amendment to the Official Zoning Map without allowing for a recommendation from the Plan Commission per the provisions of this subsection.

(1) The Plan Commission shall schedule a reasonable time and place for a public meeting to hear the application within 45 days of the acceptance and determination of the complete application as determined by the Zoning Administrator. The applicant may appear in person, by agent and/or by attorney.

(2) Within 60 days after the public meeting (or within an extension of said period requested in writing by the applicant and granted by the Plan Commission), the Plan Commission shall schedule a public hearing before the Common Council.

(3) *If the Plan Commission recommends approval of an application, it shall state in the minutes or in a subsequently issued written decision its conclusion and any finding of facts supporting its conclusion as to the following: that the potential public benefits of the proposed amendment outweigh any and all potential adverse impacts of the proposed amendment, as identified in Subsection D(3)(a) through (c) above, after taking into consideration the proposal by the applicant*



**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

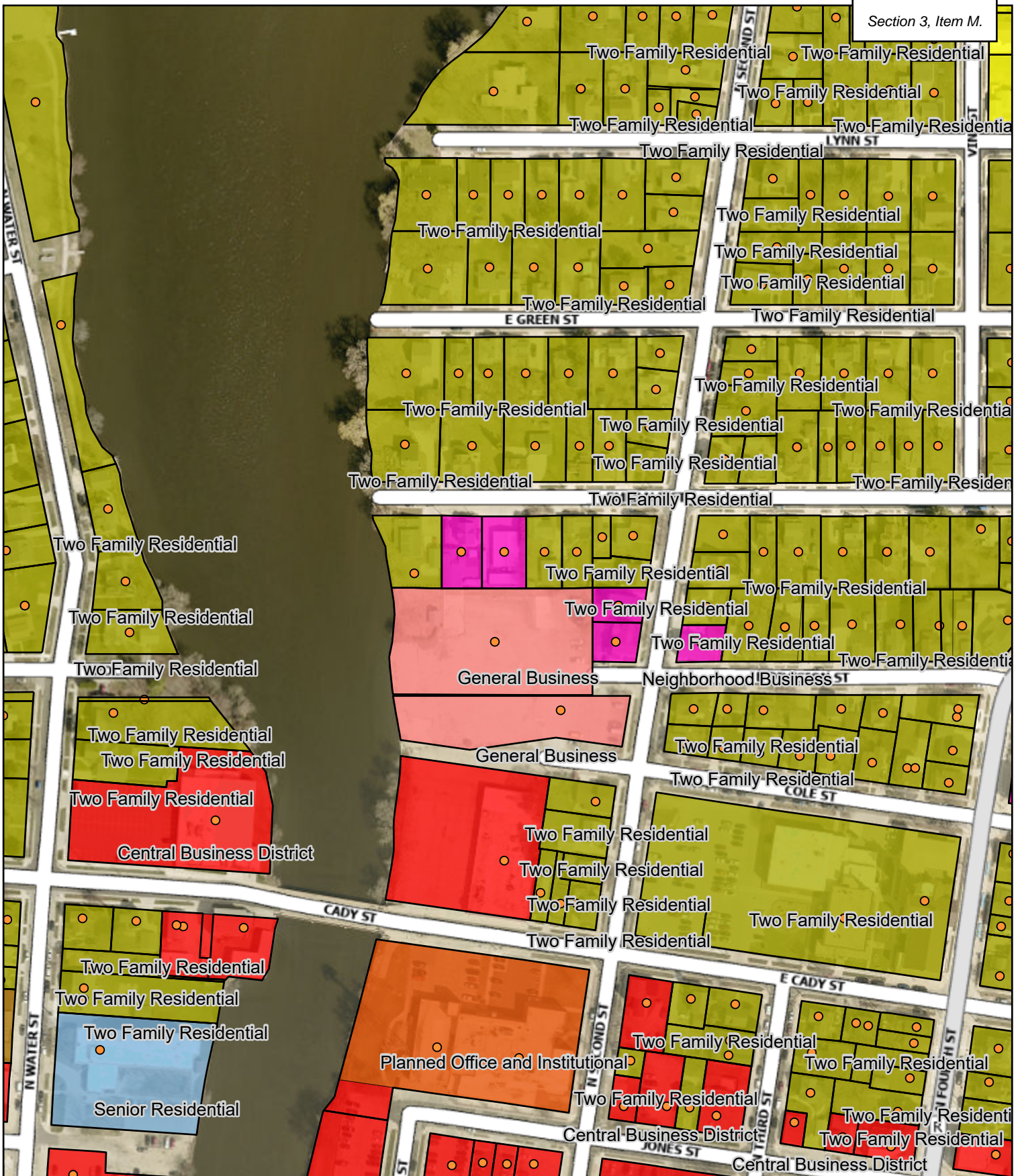
1. Set public hearing date for April 15th, 2025.
2. Set public hearing to a later date.

STAFF RECOMMENDATION:

- Staff recommends setting the Common Council public hearing date for this item for April 15th, 2025.

ATTACHMENTS:

- Application materials.



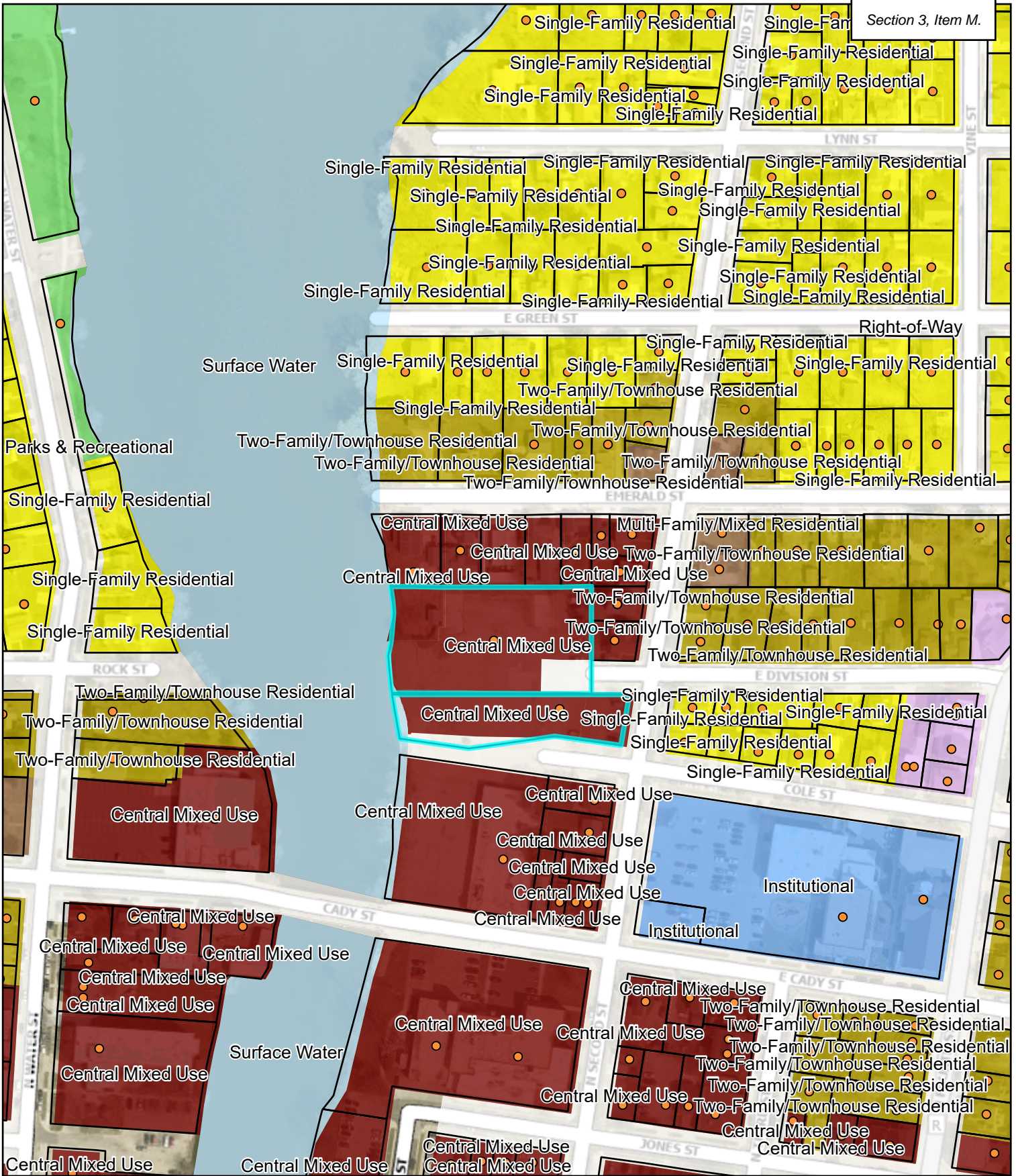
City Boundary	Multi-Family Residential-8	Neighborhood Business	Heavy Industrial
Parcel Boundary	Multi-Family Residential-10	Planned Business	Conditional Use
Address Points	Senior Residential	General Business	Multiple Zoning
Base Zoning	Rural Holding	Central Business District	Unknown
Single-Family Residential-4	Planned Office And Institutional	Planned Industrial	
Two-Family Residential-6	Neighborhood Office	General Industrial	

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City of Watertown Geographic Information System

Scale: 1:2,310 Printed on: March 1, 2011
SCALE BAR = 1" Author: 99

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other interested inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



City Boundary	Single-Family Residential	Central Mixed Use
Parcel Boundary	Two-Family/Townhouse Residential	Planned Office
Address Points	Multi-Family/Mixed Residential	Airport
Watertown Future Land Use 2019 Comp Plan	Planned Neighborhood	Community Facility
Right of Way	Planned Mixed Use	Public Park & Recreation
Surface Water	Neighborhood Mixed Use	Mixed Industrial
Agriculture	Planned Business	

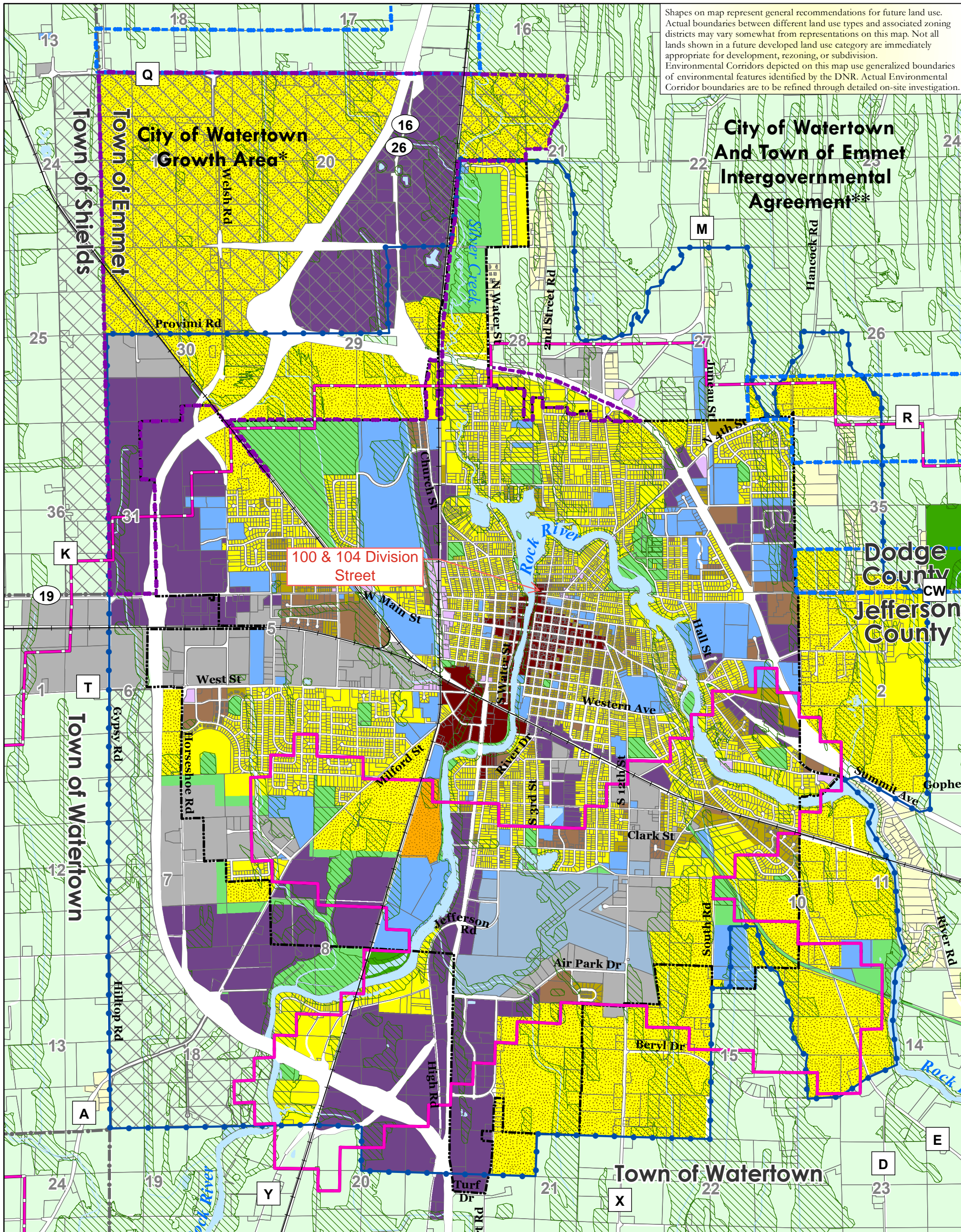
THE CITY OF WATERTOWN
Opportunity runs through it.

City of Watertown Geographic Information System

Scale: 1:2,310 Printed on: March 2019
SCALE BAR = 1" Author: [] 100

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other interest inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



Future Land Use Urban Area

Map 6b

City/Town IGA**
 City Growth Area
 City Periphery Areas

City of Watertown Comprehensive Plan

- Land Use Categories**
- Agricultural
 - Single-Family Residential - Unsewered
 - Single-Family Residential - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Planned Neighborhood**
 - Institutional
 - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

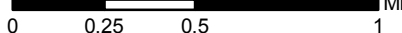
- *Each "Planned Mixed Use Area" may include mix of:
- Office
 - Multi-Family Residential
 - Mixed Industrial
 - Commercial Services/Retail
 - Institutional
 - Parks & Recreation

- ***"Planned Neighborhoods" should include a mix of the following:
- Single-Family - Sewered (predominant land use)
 - Two-family Residential
 - Multi-Family Residential
 - Institutional
 - Neighborhood Mixed Use
 - Parks & Recreation

- ***Each "Riverside Mixed Use Area" may include mix of:
- Office
 - Single-Family - Sewered
 - Two-Family Residential
 - Multi-Family Residential
 - Commercial Services/Retail
 - Institutional
 - Parks & Recreation

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

- Airport Height Limitations**
- Maximum Building Elevation b/t 865 and 968 ft
 - Maximum Building Elevation b/t 968 and 1005 ft



Draft: August 7, 2019
 Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

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BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: March 24th, 2025
SUBJECT: Request for a Development (PD) Overlay Zoning District - Initial Review and Set Public Hearing Date

Initial review and setting of a public hearing date for a Planned Development (PD) Overlay Zoning District – General Development Plan (GDP) & Precise Development Plan (PIP) requested by Northtown Partners LLC, agent for Cady Emerald LLC., on parcels located at 100 and 104 East Division Street, Watertown, WI. Parcel PIN(s): 291-0815-0412-029 & 291-0915-3343-053.

SITE DETAILS:

Acres: 0.52 & 1.10 acres
Current Zoning: General Business (GB) Zoning District
Existing Land Use: Vacant
Future Land Use Designation: Central Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking an initial review and the setting of a public hearing date by the Plan Commission for a Planned Development (PD) Overlay Zoning District – General Development Plan (GDP) & Precise Development Plan (PIP). The proposed development looks to create two multi-family buildings with a zero-lot line shared wall between the two buildings. This shared wall will be located along the county line between Dodge and Jefferson Counties and is required because a single building cannot be built across a property line (county line). In addition, a third building with three townhouses will face North Second Street. The proposed development will have 68 total units of varying types including: 4 Studio, 32 one-bedroom, 18 two-bedroom, and 14 three-bedroom homes. The two main multi-family buildings are proposed to be stepped down in height at the south and east ends to better blend the higher density buildings into the surrounding residential areas.

The proposed development will include 65 underground parking stalls with access from Cole Street and 32 surface parking stalls with access from Cole Street and East Division Street. The North Second Street townhouses will have garages that open to the rear of the building with driveway areas in front of each garage. These townhouse parking areas will add 6 additional parking stalls to the project for a total of 103 proposed parking stalls.

A rezoning of the subject parcels to Central Business (CB) Zoning and approval of a CSM related to this development proposal are also pending. The discontinuance of a portion of Cole Street is also proposed for this development.

STAFF EVALUATION:

Land Use and Zoning:

The proposed PD General Development Plan (GDP) & Precise Development Plan (PIP) is requesting flexibilities to Zoning Standards as allowed under Section § 550-152B of the Zoning Code. The requested flexibilities include an allowance for Multi-Family Residential Land Use with dwelling units on the first floor within the Central Business (CB) Zoning District. The proposed PD generally meets the requirements for a Multi-Family Development as listed within the Multi-family Residential (MR-10) Zoning District with some requested flexibilities noted in the submittal packet. Additional requested flexibilities within the Central Business (CB) Zoning District include exceeding the maximum building height limit (59'3" requested) and reductions to the required off-street parking dimensions for aisle widths and parking module width (aisle widths of 24' requested). The proposal also requests a reduction of the Waterway Overlay Zoning District setback requirements (61.4' requested) and additional signage due to the two-building design.



BUILDING SAFETY & ZONING DIVISION

PLAN COMMISSION STAFF REPORT

Flexibilities allowed by a Planned Unit Development under Section § 550-152B:

B. Provision of flexible development standards for planned developments.

- (1) Permitted location. Planned developments shall be permitted with the approval of a Planned Development Overlay Zoning District specific to the approved planned development.*
- (2) Flexible development standards. The following exemptions to the development standards of the underlying zoning district may be provided with the approval of a planned development:*
 - (a) Land use requirements. All land uses listed as "residential," "institutional" or "commercial" may be permitted within a planned development. Industrial land uses may only be allowed in Planned Developments that use an underlying zoning district which specifically list industrial uses as permitted or conditional uses.*
 - (b) Density and intensity requirements. All requirements listed for residential density and nonresidential intensity may be waived within a planned development.*
 - (c) Bulk requirements. All residential and nonresidential bulk requirements may be waived within a planned development.*
 - (d) Landscaping requirements. All landscaping requirements may be waived within a planned development.*
 - (e) Parking and loading requirements. All requirements for off-street parking, traffic circulation, and offstreet loading may be waived within a planned development.*
 - (f) Waterway Overlay District requirements. All Waterway Overlay District requirements may be waived within a planned development.*
- (3) Requirements to depict all aspects of development. Only development which is explicitly depicted on the required site plan approved by the Common Council as part of the approved planned development shall be permitted, even if such development (including all aspects of land use, density and intensity, bulk, landscaping, and parking and loading) is otherwise listed as permitted. Requested exemptions from these standards shall be made explicit by the applicant in the application and shall be recommended by the Plan Commission and approved explicitly by the Common Council. If not so requested and approved, such exemptions shall not be permitted.*

The Central Business (CB) Zoning District has a minimum landscape surface ratio (LSR) of 0% and minimal landscaping point requirements for paved areas only. The proposed PD will have a LSR of 38% with a generous landscaping plan that exceeds all landscaping point requirements in the CB Zoning District. The Central Business (CB) Zoning District further prohibits development within the zoning district from taking direct access to a local residential street or a residential collector street. Both Cole and East Division Streets are classified as local streets and North Second Street is classified as a collector street. A flexibility to waive this requirement is being requested by the PD.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Set public hearing date for April 15th, 2025.
2. Set public hearing to a later date.

STAFF RECOMMENDATION:

- Staff recommends setting the Common Council public hearing date for this item for April 15th, 2025.

ATTACHMENTS:

- Application materials.

PLANNED UNIT DEVELOPMENT OVERLAY

THE OXBOW – GDP & PIP NARRATIVE

A multifamily residential development in
WATERTOWN, WI



A COMMUNITY BY
NORTH TOWN
PARTNERS

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INTRODUCTION

NORTH TOWN PARTNER'S DEVELOPMENT EXPERIENCE

North Town Partners started in the automotive business. Van Horn Automotive Group operates 18 new and used car dealerships in Wisconsin and Iowa. While the primary business was selling vehicles, getting that job done required beautiful showrooms in great locations. As the company prospered, the scope of these real estate activities grew. Somewhat unknowingly, Van Horn Automotive developed a strong property management organization.

To take advantage of these newly developed competencies, Chuck Van Horn, CEO of Van Horn Automotive Group, merged these two functions into a business unit, Van Horn Real Estate Development. Van Horn Real Estate Development was renamed to North Town Partners to reflect the business's separate focus from the automotive group.

Currently, North Town Partners' portfolio includes \$85M under management with several others under active construction & development. North Town Partners manages and operates all our communities to ensure the on-site Property Management is first-class.

North Town Partners is committed to developing INSPIRED, ENGAGED & DETAILED real estate experiences that provide value to the community. North Town Partners seeks to bring another such experience to the Watertown community with *THE OXBOW*



Figure 1: Proposed Community Logo

PROJECT NARRATIVE

Project Introduction

North Town Partners (North Town) has an agreement in place with CADY EMERALD LLC to acquire the old Johnsonville Meat Processing Plant at the intersection of E Division St. & N 2nd St with the intent to build a 68-unit luxury apartment & townhome community known as The Oxbow.

Community Overview

North Town’s proposed community includes 68 homes within 3 residential buildings (2 of which share a zero-lot line). The primary buildings will be 4-story apartment buildings (14 units in the south & 51 units in the north). A smaller 3-unit, 3-story townhome building will front along 2nd Street, with an attached garage on the lower level. All buildings will be under single commercial ownership, all units are rentable as a singular multifamily community, and no unit is individually for sale.

A variety of housing types was a guiding principle of this community. 4 Studio, 32 one-bedroom, 18 two-bedroom, and 14 three-bedroom homes will be provided, as detailed in the table inset on the right. However, the Three-bedroom homes will be split amongst traditional apartment style, a hybrid townhome style unit within the apartment building, and a traditional townhome style home along 2nd street.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

PROPOSED PLANNED DEVELOPMENT DESCRIPTION

General Project Themes and Images



Figure 2: Watertown Public Library

North Town Partners has engaged Abacus Architects to bring the Oxbow project to life. After several visits to Watertown, the project team was inspired by the Public Library, which served as the foundation for the project's theme. The design aesthetic of the Oxbow will reflect clean, classic, and simplistic elegance, skillfully blending elements of historic and classical architecture with modern touches.

Along with the design inspiration, the project team also wanted to incorporate a color palette that would stand the test of time and not select a design trend that would fall out of style within a decade. Again, utilizing the library as an example, a warm neutral palette was selected along with a cream-colored masonry which appears to be the predominant masonry theme in Watertown.

Lastly, the team focused on the active open space to provide an enhanced quality of life & a sense of community that encourages community interaction with the natural and surrounding amenities. The obvious aspect of this is the activation and use of the riverfront to tie the community to the surrounding area. However, this also includes balcony and patio spaces for the units, including large rooftop patios on the tiered, endcap, hybrid townhome units. This also achieved the desired effect of stepping the building down at the periphery to better blend a higher density building into the surrounding residential areas.



Figure 3: Proposed Color Palette

Below is a rendered exterior elevation of the front of the building. Please see Exhibit A for the complete Architectural renderings and material selections of the proposed development and Exhibit B for the Site Plan.



Figure 4: Exterior Rendering

General Mix of Dwelling Unit Types and Land Uses

As mentioned in the Project narrative the general mix of dwelling types is included in the table to the right. Land use will be exclusively Multifamily Residential.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

Residential Densities

The residential density of the proposed development is described by the various intensity calculations below:

- Dwelling Units per Acre [38.9]
- Floor Area Ratio [1.44]
- Impervious Surface Area Ratio [0.62]

Natural Features

As alluded to earlier in the narrative the existing site condition is a vacant, partially paved & graveled site that generally slopes from N 2nd Street down to the Rock River. The site was the existing location of a Johnsonville meat processing plant that has since been demolished, filled in, and rough-graded to its current state. Based on Aerial Images and historical records the site was fully improved and impervious to the river except for the NW flag parcel that has since been incorporated into the property.



Figure 5: Aerial of Existing Plant



Figure 6: Current Site Conditions

All wet and dry utilities are already available and stubbed into the property given its existing use. Of note, there is a sewer line that crosses under the Rock River along the direction connecting Rock Street to Cole Street and then a lateral extends north running parallel to the river. The proposed building orientation and setback account for this sewer line to ensure no part of the building is over the sewer line and any easement.

Given the sloping topography of the site, the team is proposing a lower parking level, exposed on the west side and underground on the east side. This will allow the community to be developed with reduced impact on the overall mass grading of the site.

Lastly, it should be noted that this property is bisected by the county line separating Dodge and Jefferson counties. Additional considerations are being made to account for this demarcation as it will affect

municipal reporting, voting districts, zoning requirements, etc.

Relationship to Nearby Properties and Public Streets

The site is bounded by a mix of business & single-family homes to the north, Cole Street to the south, N 2nd Street to the east, and finally by the Rock River to the west. The table to the right notates the various setback information. To better blend the building into the surrounding residential areas, the apartment building will step down on the edges. The Townhome building will front N 2nd Street in a traditional reduced setback nature to provide that sense of urban/suburban living while still providing access to rear-loaded attached garages. A Location Map provided in Exhibit C also provides further details on the surrounding area.

Setback	Feet
North (Side-Residential)	6.4
South (Side-Street)	0
East (Front-Street)	3
West (Rear)	61.4

As part of the development process, North Town partners will seek the discontinuance of the northern half of the Cole Street ROW. Vacating this ROW will allow the community to provide additional Townhome units along N 2nd Street, increased setbacks, and better orientation of the overall property. Cole Street will serve as the primary access road to the garage opening to the lower parking level while the main entrance at the surface level will be aligned with the E Division Street extension to the property.

Cohesion to Watertown’s Guiding Principles

The Oxbow will contribute to and reinforce Watertown’s 2040 Vision Statement and its Overarching Plan Recommendations such as:

- Promote high-quality design in any new multi-family, mixed-use, commercial, and industrial development, traditional neighborhood development, and interconnected neighborhoods.
- Facilitate smart growth by utilizing opportunities for redevelopment throughout the city
- Focus investment downtown and along the Rock River
- Encourage redevelopment of brownfield sites

Watertown boasts impressive community assets that enhance its appeal to residential development. Located midway between Milwaukee and Madison, the city sits along the Rock River, featuring an up-and-coming downtown area and a beautiful riverwalk. The Oxbow will seek to tap into these assets and design esthetics, amenities, and connectivity around these features.

The main focus will be the Rock River. The Oxbow will be oriented to maximize views of the Rock River, both to the immediate west and the north. A sanitary sewer line running parallel to the river will inherently create a greenspace that will be activated with public-private features. A promenade, grilling stations, a fire pit, and lounge areas will not only provide great community amenities but will also provide access for sanitary line maintenance if required.

Although not located on the main downtown corridor, the Oxbow aims to enhance the overall downtown area. By redeveloping an underutilized brownfield site, the Oxbow intends to serve as a catalytic development that will draw further investment into this part of Watertown. This site is identified in various downtown planning efforts as a key area for pedestrian connectivity. North Town Partners will collaborate with the City to establish a pedestrian corridor anchor and hopes to bring the envisioned riverwalk to fruition.

According to RINKA’s Downtown River Corridor Opportunity Analysis & Strategic Development Plan, respondents prioritized high-quality public amenities, investment opportunities, and walkability/connectivity. The Oxbow will address these priorities while leveraging residential density to support existing businesses. The spending power of future residents is expected to bolster local businesses and retailers, contributing to economic and employment growth. Exhibit D presents the estimated annual spending by residents of The Oxbow, showing a total estimated spending by households of around \$5,500,000.

Furthermore, housing demand is significantly driven by the need to provide accommodations for a growing population, along with a variety of housing options for a diverse community. The Oxbow offers a range of new housing options that specifically address these needs for current and future residents. With one to three-bedroom apartment units, hybrid apartment townhomes, and traditional townhome units, the proposed community will attract young professionals, provide new opportunities for current City residents, and allow residents to age and thrive in place.

Planned Development Rationale

North Town Partners respectfully requests that the City consider this development, as outlined in the accompanying information and drawings. In alignment with the City's overarching principles, North Town Partners aims to create inspired, detailed, and engaged communities that feature dynamic, community-oriented amenities. This approach is designed to enhance the area's character, foster a sense of place, and support future investments. Maximizing the overall density of the community is essential for the financial viability of the project. To ensure a high-quality, well-amenitized, and efficiently managed operation, we are seeking a minimum of 70 to 80 residential units. Achieving this density on a prioritized brownfield redevelopment site of just 1.6 acres presents challenges that conflict with standard zoning regulations. The overall impact of this project is intended to catalyze revitalization in the Downtown River Corridor and fulfill one of the City’s top three priorities as outlined in the Comprehensive Plan. To accomplish this goal, North Town Partners is requesting the proposed PD zoning with requested exemptions as listed below.

Zoning Standards Comparison

Listed below are the zoning standards listed for the Central Business District and how they compare to the proposed Planned Development:

Residential Land Use Standards

Land Use Standards	Central Business (CB) Zoning	Proposed PD
Multifamily Residential	Not Permitted without a PD	Flexibility Requested
Dwelling units are allowed on the first floor.	Not Permitted without a PD	Flexibility Requested
Landscaping Regulations	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Performance Standards	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Signage Requirements	Flexibility Requested	Flexibility Requested
MR-10: Minimum zoning district area (13,100 sqft)	-	Meets (76,270 sqft)
MR-10: Maximum gross density (10.00 du/acre)	-	Flexibility Requested (38.9 du/acre)
MR-10: Minimum landscape surface ratio (50%)	-	Flexibility Requested (38%)
MR-10: Maximum building coverage (40%)	-	Meets (39%)
MR-10: Maximum accessory building coverage (10%)	-	Meets (4%)
MR-10: Minimum Lot Area (4,350sqft/du = 295,800 sqft)	-	Flexibility Requested (76,270 sqft)
MR-10: Minimum Lot Width (100 feet)	-	Meets (239 feet min)
MR-10: Minimum Street Frontage (50 feet)	-	Meets (50'-6" min)
MR-10: Minimum Setbacks	-	See Below & Requested Flexibilities
MR-10: Required Bufferyard	-	Flexibility Requested
MR-10: Minimum paved surface setback (3 feet from side or rear; 10 feet from street)	-	Meets (20'-8" side; 11'-7" street)

MR-10: Minimum dwelling unit separation (20 feet or 0 feet along common wall)	-	Meets (0' along common wall)
MR-10: Maximum height of dwelling unit (35 feet)	-	Meets (29'-2" townhome top of 3 rd floor)
MR-10: Maximum height of accessory structure (18 feet)	-	Flexibility Requested (~41'-6" top of townhome)
MR-10: Minimum number of off-street parking spaces (143)	-	Flexibility Requested (103)
MR-10: Minimum dwelling core dimensions: 24' x 40'	-	Flexibility Requested (18'-6" x 28'-8" min)
Regulations applicable to nonresidential uses.	-	Not Applicable

Bulk Standards

Zoning District	Minimum Lot Area (sqft)	Minimum Lot Width (ft)	Minimum Setbacks (feet)				Minimum Building Separation (feet)	Maximum Building Height (feet)
			Front / Street; Side	Rear	Side/Rear from Accessory	Pavement		
Central Business	2000	10	Maximum setback of 0 feet or block average, except per Plan Commission as a component of site design; side yard is 10 feet from residential	0/10 ¹	3/5 ²	0 ³	Maximum is 0, except per Plan Commission	50; minimum is 20, except per Plan Commission
Proposed PD	70,567	225	3 Front, 4 side (street), 10 side (residential)	64	NA	14	NA	49'-3" - 59'-3"

Notes:

- 1 Ten feet from residential districts
- 2 Accessory buildings shall be three feet from the property line, five feet from an alley
- 3 Five feet from side and rear lot lines, except where modified along district boundary by required buffer yard; see § 550-99; 10 feet from front or street line.

Regarding the parking and loading standards, it's important to note that "within the Central Business (CB) District, the parking requirements of this chapter are hereby waived" §550-107G(4). Nevertheless, the team aims to comply with the guidelines outlined in this chapter to the best of their ability. The proposed standards related to the code are listed in the table below.

Off-street Parking Layout Dimensions

Description	Parking lot design standards (90-degree parking angle) (feet)					Parking module width (feet)	
	Stall width at parking angle	Stall width parallel to aisle	Stall depth to wall	Stall length (including 1.5-foot curb overhang)	Aisle width	Wall to wall (single-loaded)	Wall to wall (double-loaded)
Code	9	9	18.5	18.5	26	44.5	63
Proposed	9	9	exceeds	19.5	24	42	60

Below are the Density and Intensity standards comparison tables for review:

Density Standards

Zoning District	Development Option	Maximum Gross Density (MGD)	Minimum Lot Area (MLA)	Minimum Zoning District Area	Minimum Landscape Surface Ratio (LSR)
Central Business	Conventional	Up to 50 du/acre per the limits of the conditional use permit	9,000 sf	9,000 sf	0%
Proposed PD	Conventional	38.9 du/acre	70,567 sf	70,567 sf	38%

Non-Residential Intensity Standards

Zoning District	Maximum Number of Floors	Minimum Landscape Surface Ratio (LSR)	Maximum Floor Area Ratio (FAR)	Minimum Lot Area (MLA)	Maximum Building Size (MBS)
Central Business	4	0%	3.00	2,000 sf	NA
Proposed PD	4+1	38%	1.44	70,567 sf	27,798 sf

Requested Flexibilities

Given the unique nature of the property and the development proposed, North Town Partners is requesting the following flexibilities listed in the table below within the Planned Development Overlay:

PD OVERLAY REQUESTED FLEXIBILITIES

Flexibility Request	Proposed
Multifamily Residential Use in CB District	Multifamily Residential
Allow 1 st Floor Residential	17 units on the first floor above lower parking level
Total Dwelling Units (Apartment Building)	(2) Apartment Buildings of 12 units or more on 2 separate lots; 14-unit building & 51-unit building (65 units total)
Total Dwelling Units (Freestanding Townhomes)	(1) 3-unit townhome building
Maximum Gross Density	38.9 du /acre
Landscaping Requirements & Minimum Landscape Surface Ratio	Landscaping per the proposed landscaping plan (38% LSR)
MR-10 Minimum Lot Area	76,270 sqft
MR-10 Minimum Setbacks	Please see the Attached Site Plan
MR-10 Required Buffer Yard	No buffer yard proposed
MR-10 Maximum Height of Accessory Structure	~41'-6" top of townhome
MR-10 Minimum Number of Off-street Parking Spaces	103 stalls
MR-10 Minimum Core Dimensions	18'-6" x 28'-8" min (Studio)
Direct Access to a residential local or collector street	The lower parking level will have direct access off of Cole St.
Off-street Driveway Widths	24'
Parking Module Widths	42' Single Loaded & 60' Double Loaded
Floor Area Ratio	1.44
Building Height	Currently ranging from 49'-3" to 59'-3"
Waterway Overlay District Setback Requirement	61.4'
Zero Lot Line	(2) MF apartment buildings with zero lot line wall
Zero Lot Line Access Points	Internal Access points between 2 zero lot line buildings (hallways on resident levels and within the parking level)
*Assuming State Variance Approval	
Fire Curtain in the parking level	Eliminate the need for an additional fire curtain in the parking level given the fire rating of the proposed floor system (spancrete)
Signage	Signage per the proposed Signage plan. Given the 2 building, 2 addresses, & 2 building entryways nature of this development, additional signage is being requested

EXHIBIT A
Architectural Renderings
&
Material Selections





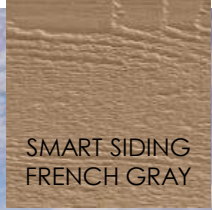




WATERTOWN APARTMENTS – EXTERIOR MATERIALS



SMART SIDING
WHITE



SMART SIDING
FRENCH GRAY



EXTERIOR
METALS
BLACK



MANUFACTURED
STONE
CASA DI SASSI
BOLZANO



LUX IRONWOOD
HORIZONTAL
METAL SIDING



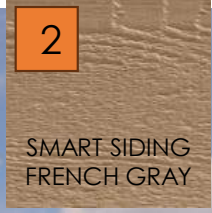
1. LUX
CHARWOOD
VERTICAL METAL
SIDING



WATERTOWN APARTMENTS – EXTERIOR MATERIALS



WATERTOWN APARTMENTS – EXTERIOR MATERIALS



WATERTOWN APARTMENTS – EXTERIOR MATERIALS



WATERTOWN APARTMENTS – EXTERIOR MATERIALS

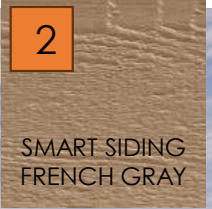
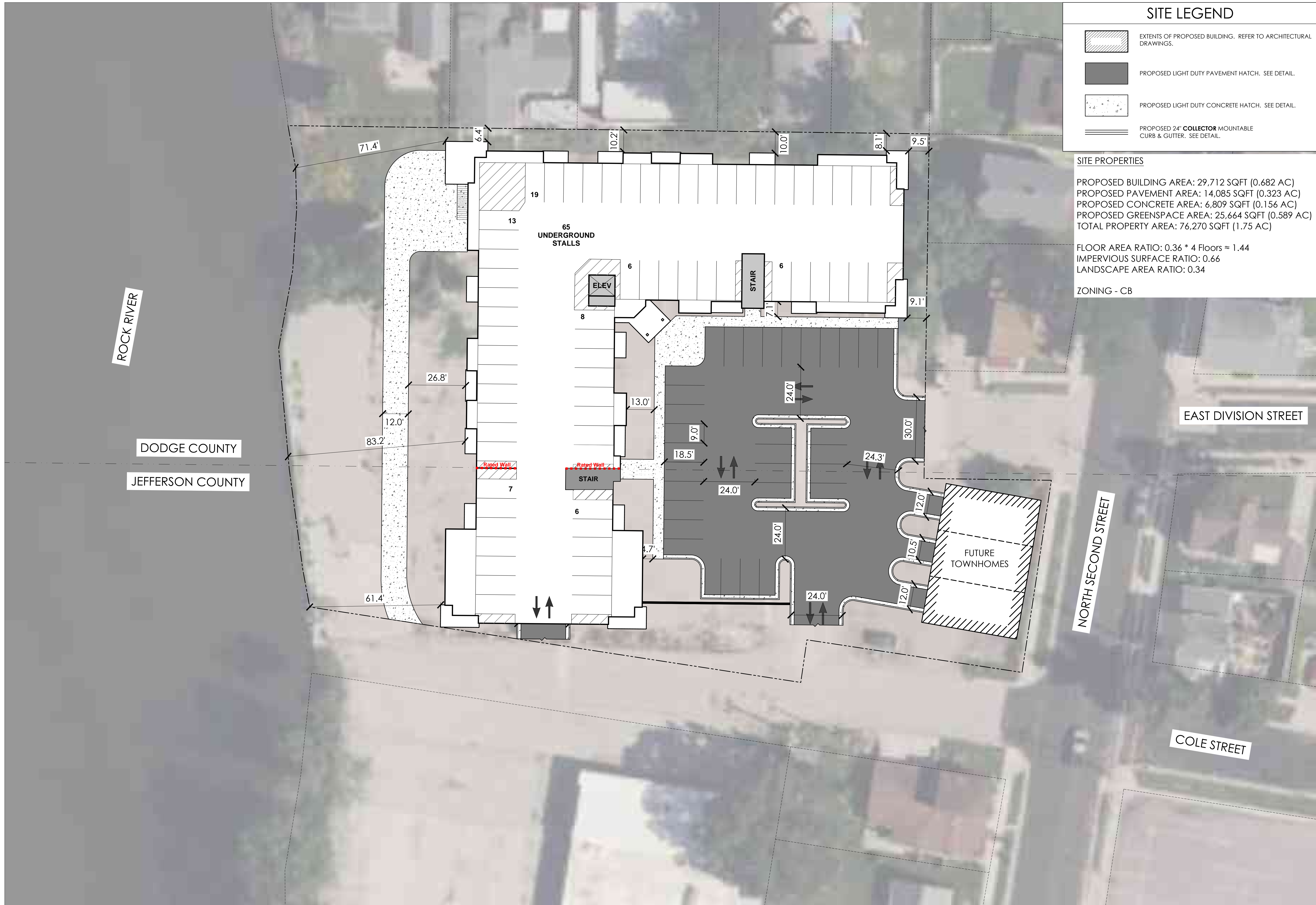


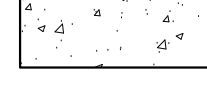
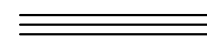


EXHIBIT B
Site Plan with Unit Layouts
&
Landscaping Plan

March 12, 2025
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SITE LEGEND

-  EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
-  PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
-  PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
-  PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.

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 IMPERVIOUS SURFACE RATIO: 0.66
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ZONING - CB

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DRAWN BY: MBS

CHECKED BY: JRV

LOWER LEVEL PLAN

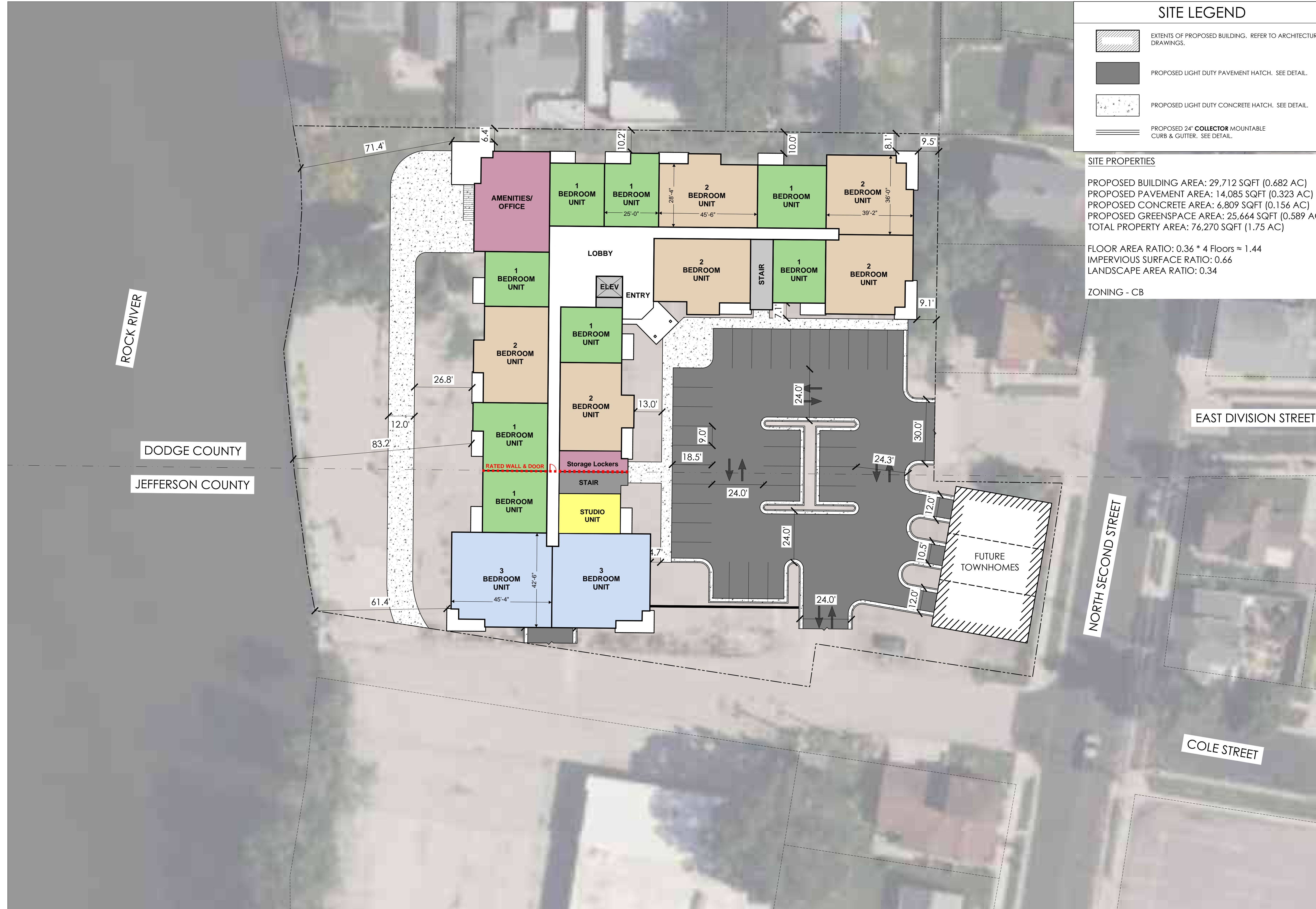
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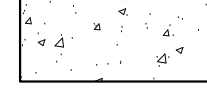
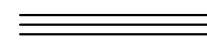
LOWER LEVEL PLAN
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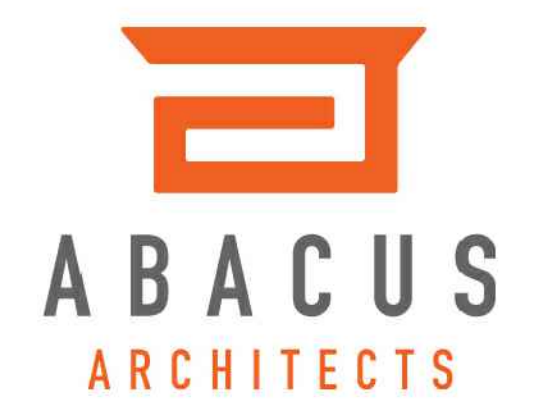
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ROCK RIVER

DODGE COUNTY

JEFFERSON COUNTY

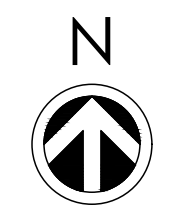
EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

FUTURE TOWNHOMES

FIRST FLOOR PLAN



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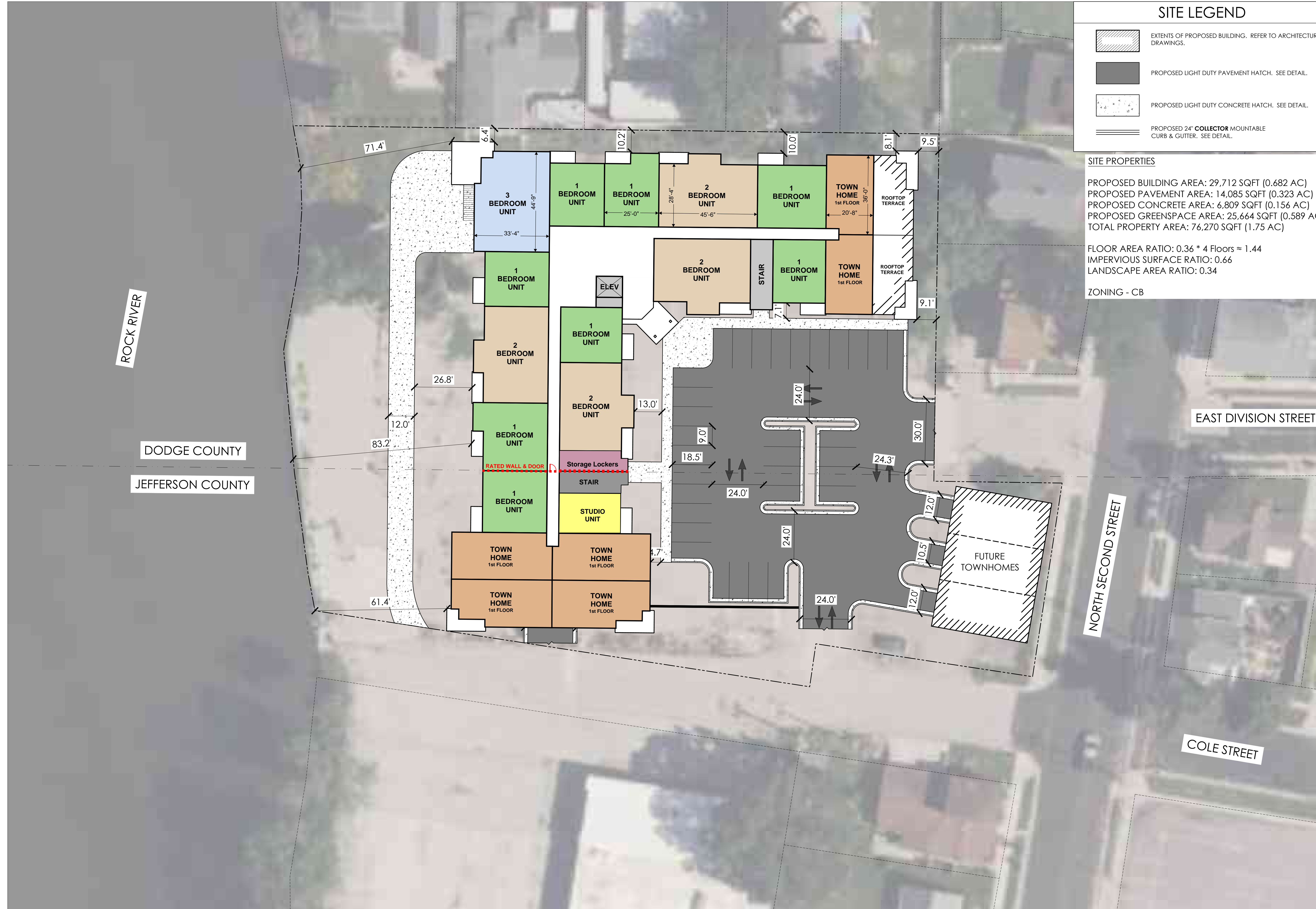
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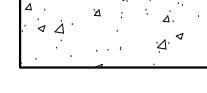
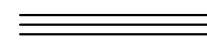
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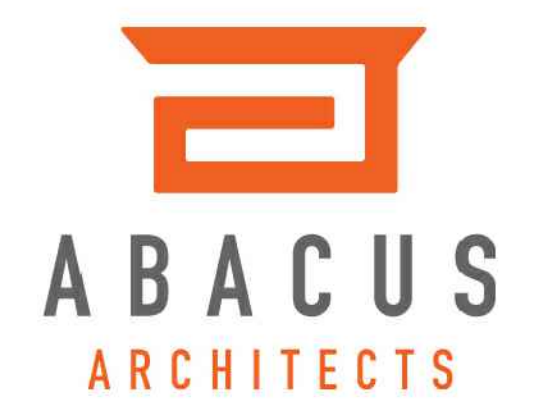
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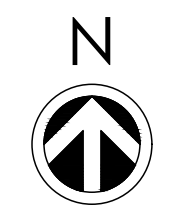
SECOND FLOOR PLAN

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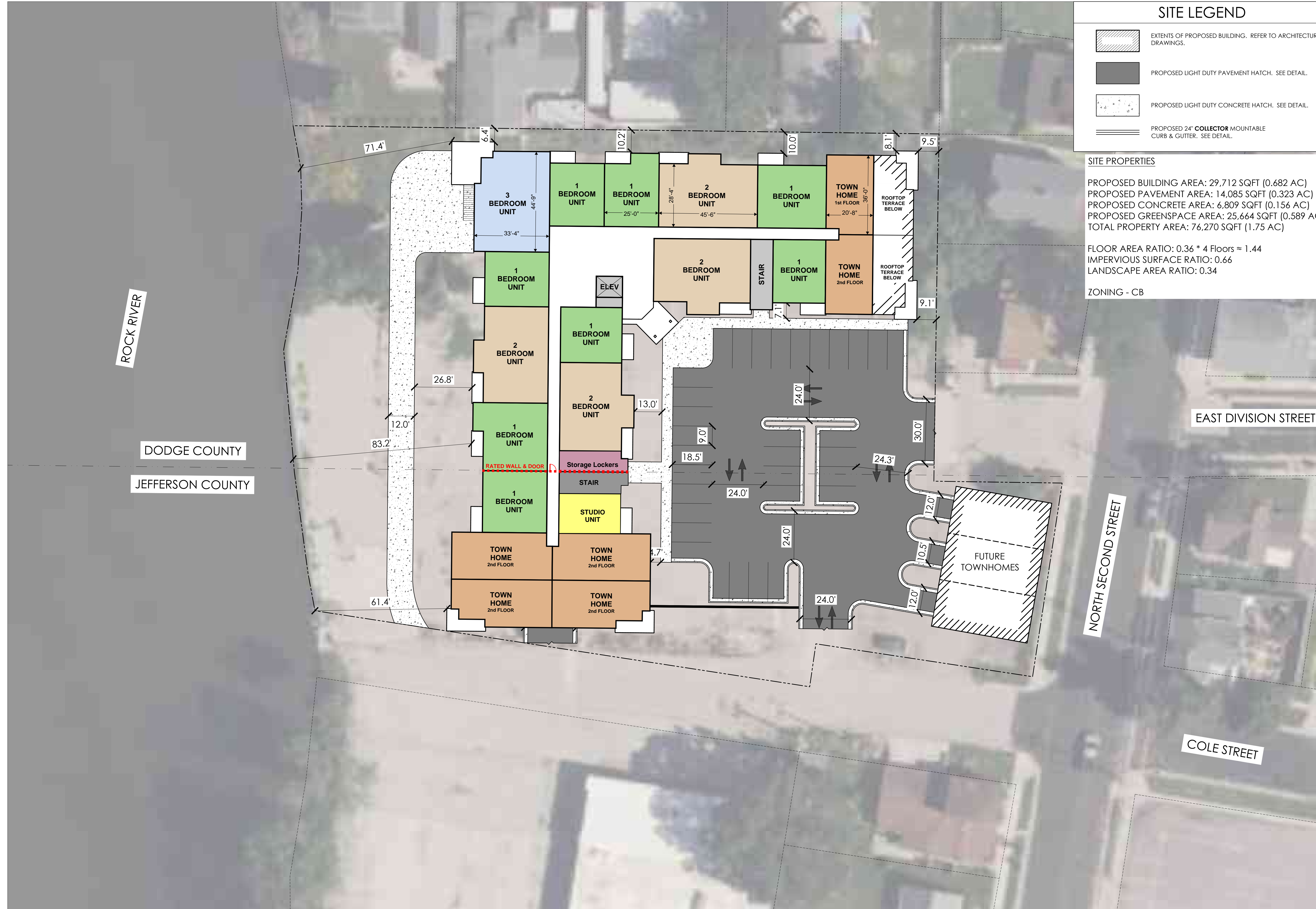
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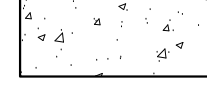
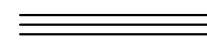
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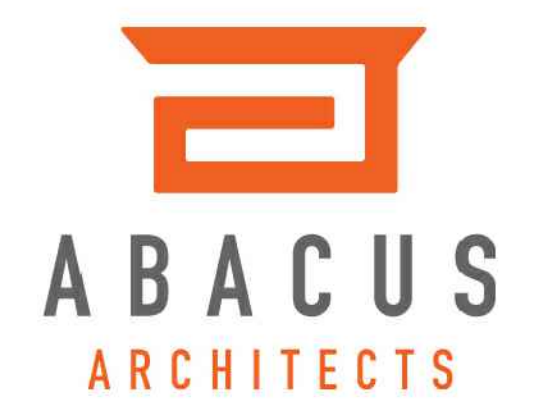
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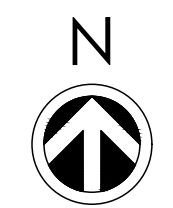
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THIRD FLOOR PLAN

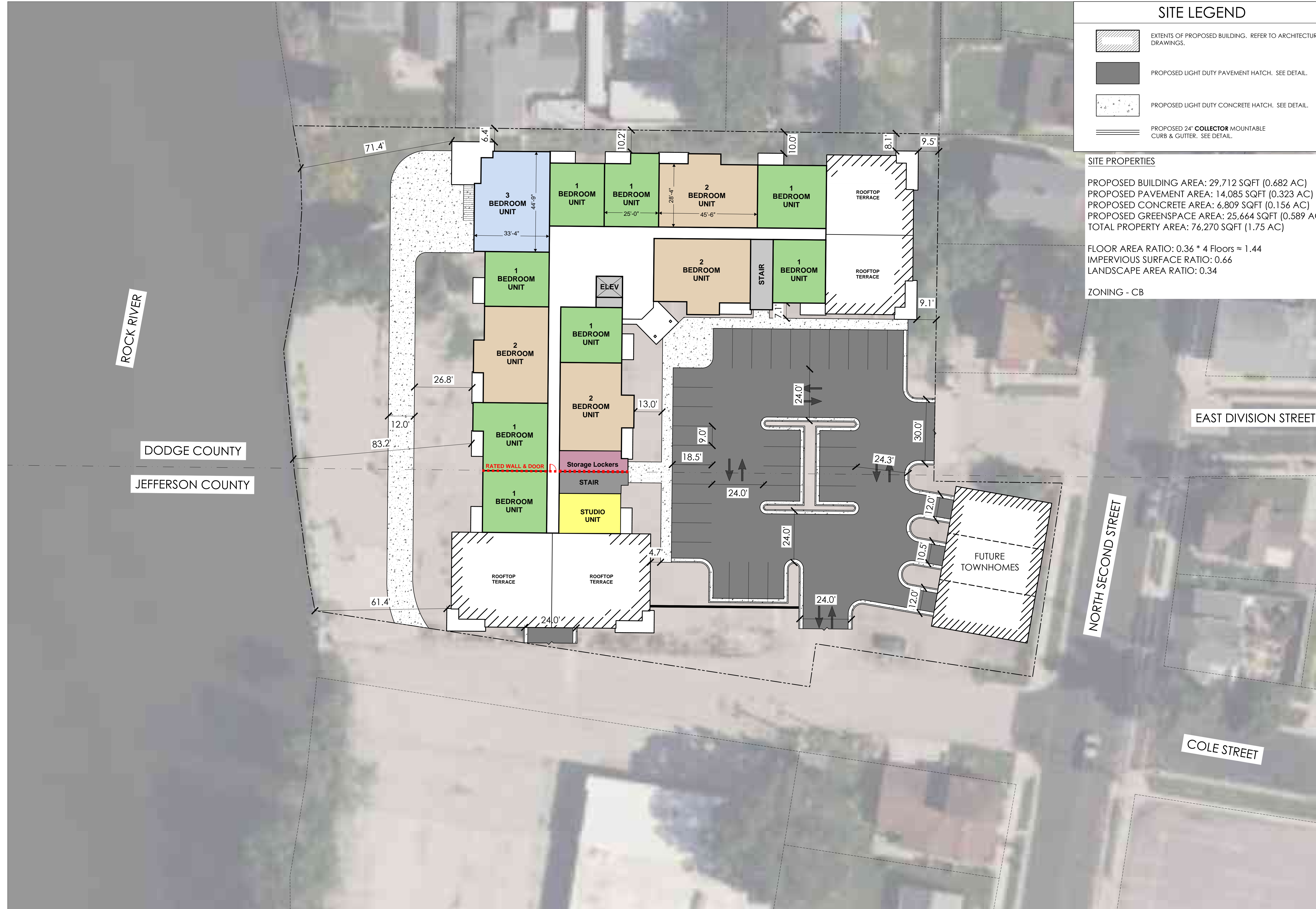
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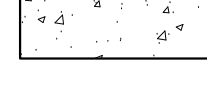
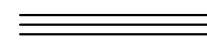
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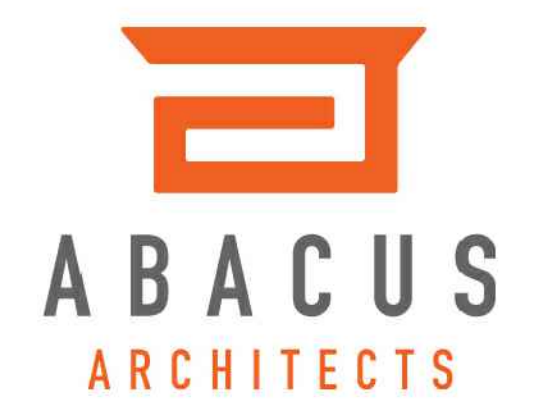
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ZONING - CB



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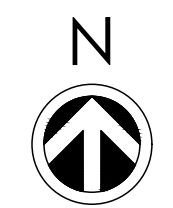
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FOURTH FLOOR PLAN

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PROJ. NO. 2024-171

FOURTH FLOOR PLAN
 N.T.S.





PROJECT # 3321-25
DATE: 10 MARCH 2024

SCALE: 1" = 20' - 0"
PAGES: 1 OF 1
DRAWN BY: K. BAHRS #336-14

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LANDSCAPE PLAN FOR:
NEW CONSTRUCTION FOR:
WATERTOWN APARTMENTS

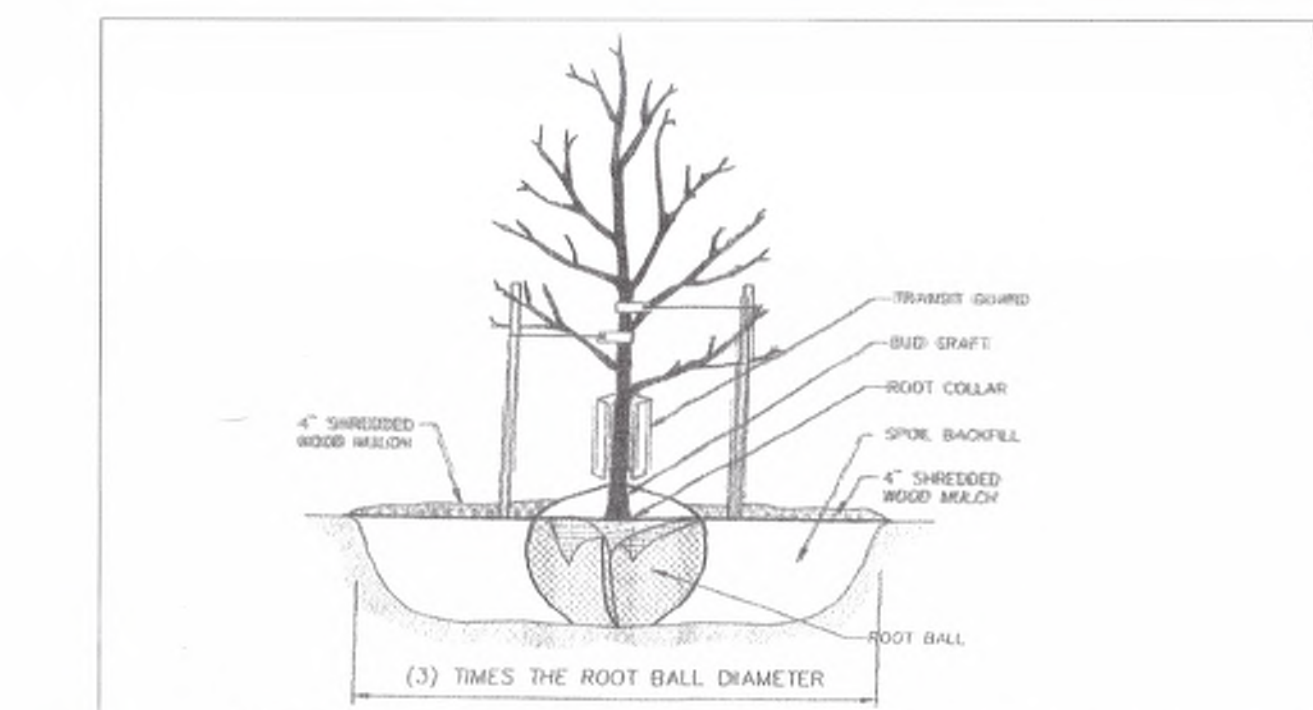
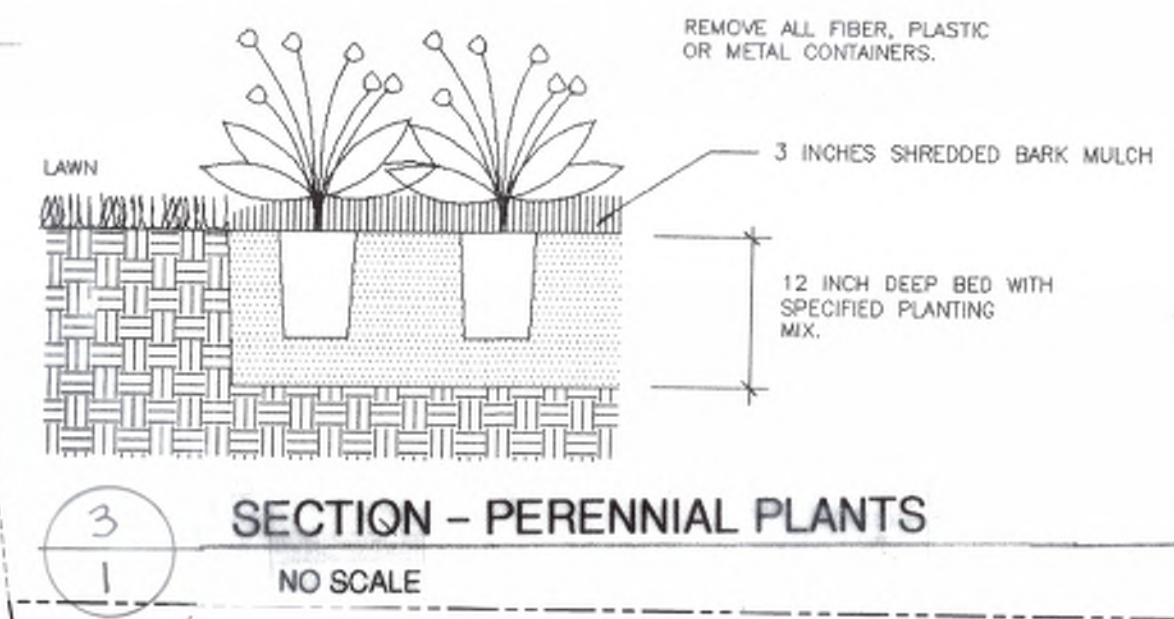
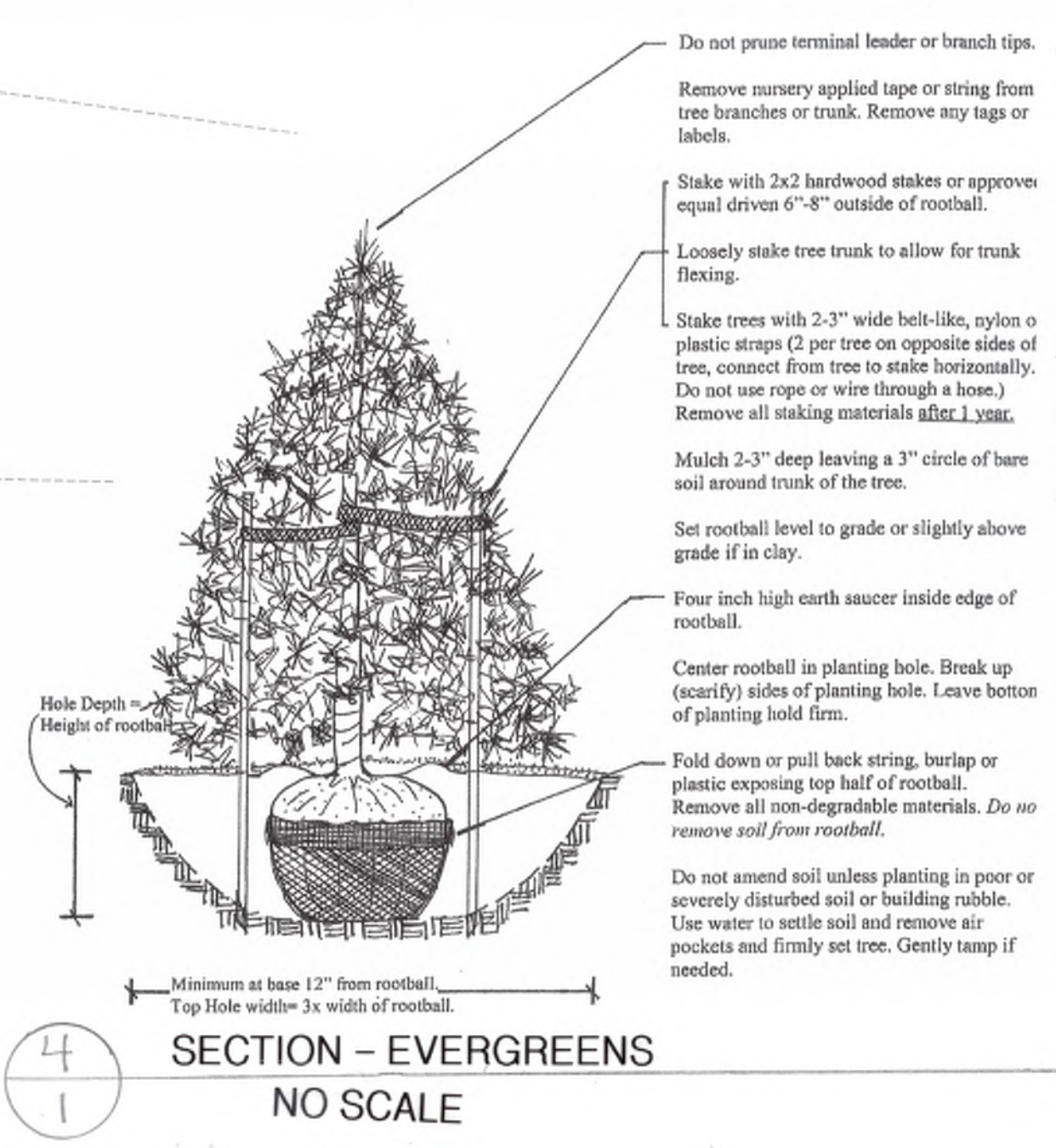
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LANDSCAPE PLAN

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PROJ. NO. 2024-171



INSTALLATION SEQUENCING:
1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOIL.
2. PLACE TREE IN HOLE, BACKFILL WITH EXISTING SOIL AND REMAINING TRANSFER GUARD, BURLAP AND WIRE BASKET.
3. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
4. CREATE A WATER GAUGER TO COLLECT THE WATER UNTIL IT SEEPS INTO THE SOIL.
5. PROVIDE 4" DEEP SHREDDED WOOD MULCH (10' FOOT DIAMETERS). KEEP THE MULCH AWAY FROM THE TRUNK.
6. REMOVE ONLY BROKEN OR DAMAGED BRANCHES.

PLANTING SPECIFICATION
SCOPE OF WORK
A. The Landscape Contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans and specifications.
B. The total number of plants shall be drawn on the landscape plan. The Landscape Contractor shall state the total number of each plant with the Contract price. The plant list submitted with the bid will automatically become part of the Contract Documents. NOTE: If the Contractor bids according to the Plant Schedule, he/she should thoroughly check the plant schedule quantities with the symbols drawn on the plan. Be sure the plant count is correct on both the plan and the plant schedule, if used. Each plant grouping shall be labeled with the total number of plants per grouping by the Landscape Architect.

STANDARDS
A. All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Nursery & Landscape Association (ANLA).
B. Plant material must be selected from nurseries that have been inspected and certified by State Plant Inspectors.
C. Collected material may be used only when approved by Owner's representative.
D. Nomenclature will be in accordance with *Hortus III* by L.H. Bailey.

SUBMITTALS
A. When requested by the Owner or Owner's representative, samples of all materials other than plants shall be submitted to the Owner's designated representative for approval.

APPROVALS
A. All approvals will be in writing.

UTILITIES AND UNDERGROUND FEATURES
A. The Landscape Contractor shall notify utility companies and/or General Contractor in advance of Contract to locate utilities (Wisconsin Diggers Hotline: 1-800-242-8511).
B. Street lighting and other private utilities, including cable TV, communication lines, etc., shall be located by the Owner or General Contractor.
C. If there is a conflict with the utilities and the planting, the Landscape Architect shall be responsible for relocating plants prior to the planting process. Any cost due to relocating after planting shall be borne by the Owner.
D. Underground features including but not limited to existing irrigation, septic system, drain systems, invisible pet fencing, landscape lighting, and underground natural gas and security systems shall be located by the Owner or General Contractor.

WARRANTY
A. The Owner shall supply water on site at no cost. If the Landscape Contractor has to supply water to the site, there will be at an additional cost. All plants to be watered at installation for a minimum of 10 minutes on a slow trickle. Water should come to the surface around the root ball.

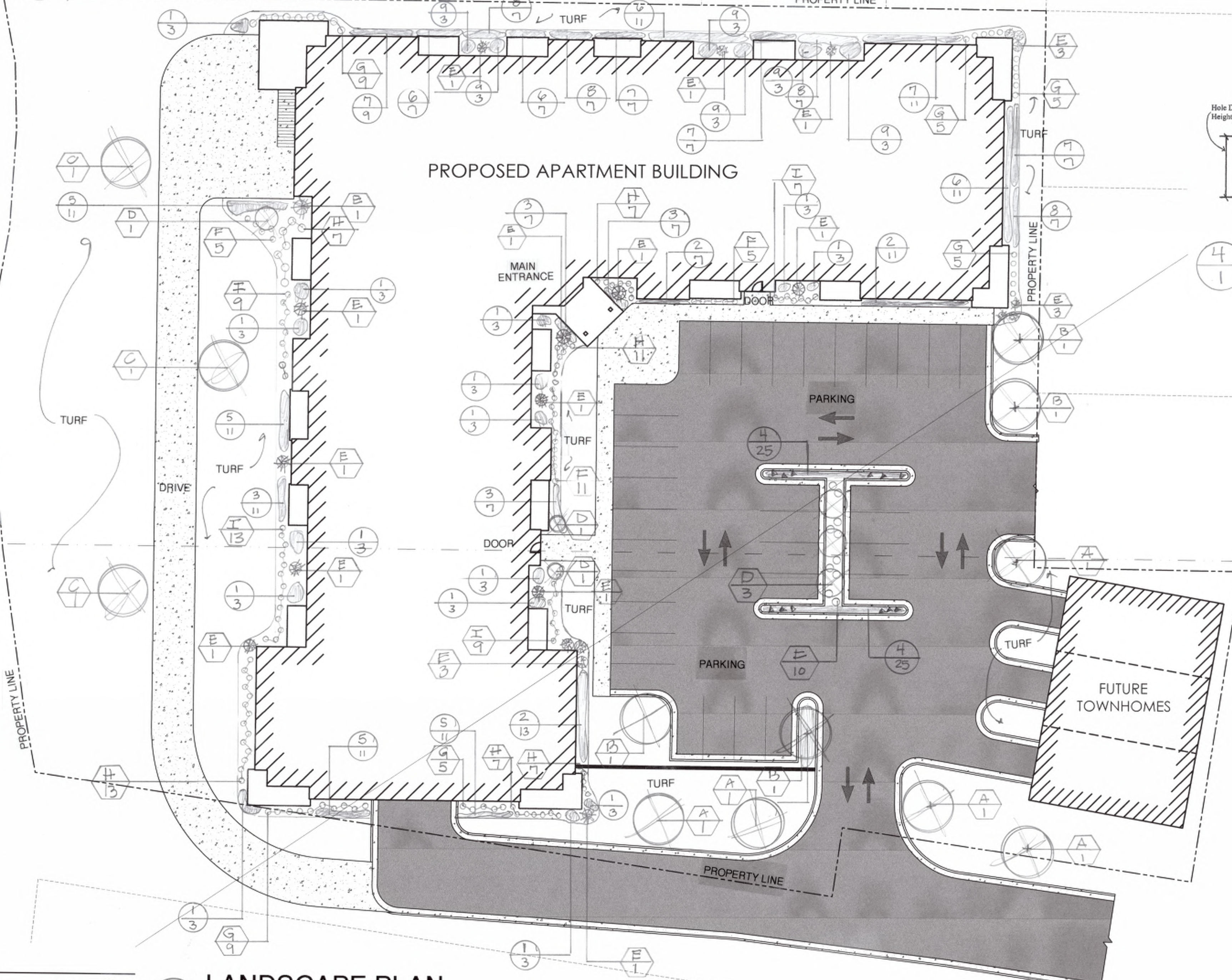
MULCH
A. Mulch in the planting bed to be 1-1/2" blue slate installed 2" thick. Install over Weed Barrier.
WEED BARRIER
A. Weed Barrier to be DeWitt P3 commercial Landscape 5 Ounce.
B. Weed Barrier to be installed on weed and grass free flat ground thru out the planting bed.
C. Roll out the landscape fabric so it is parallel to the long dimension of the area. Overlap pieces of fabric 6" where needed.
D. Secure the fabric with landscape staples every 10' along seams and edges. Mulch will hold down a majority of the fabric.
E. When adding plants make an X-shaped incision in the landscape fabric for each plants with a scissors or utility knife. Make incision just big enough for digging a hole for the root ball of the plants.
F. Pull the flaps aside to dig the hole. Place the soil in a wheelbarrow rather than onto the surrounding fabric.
G. Install the plant, back-fill around the root ball with soil and lightly tamp the soil to eliminate air pockets. Lay four flaps of fabric against the base of the plant to cover the soil.
H. Mulch with 2" of stone.

PLANT FERTILIZER
A. Slow-release fertilizer should be the preferred type. The technical data sheet or label on the fertilizer
1. Trees: Use 1 to 3 pounds of actual nitrogen contained in a complete fertilizer
2. Shrubs: 1/2 Pound of actual nitrogen containing in a complete fertilizer

SECTION - PERENNIAL PLANTS
NO SCALE

Shrub Bed Planting Detail
NO SCALE

SECTION - EVERGREENS
NO SCALE



LANDSCAPE PLAN
SCALE: 1" = 20' - 0"

PERENNIAL PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	FLOWER COLOR	TIME OF BLOOM	MATURE HEIGHT	SPAC
1	Calamagrostis 'Karl Foester'	Karl Foester Reed Grass	45	gal	tan	J,A,S	4'	24"
2	Calamagrostis brachytricha	Fall Reed Grass	31	gal	white	J,A,S	3'	24"
3	Echinacea p. 'Magnus Superior'	Magnus Superior Purple Coneflower	32	gal	dark purple	J,A,S	24"	15"
4	Salvia nemorosa 'May Nights'	May Nights Salvia	50	gal	dark blue	J,J,A,S,A	18"	18"
5	Rudbeckia 'Gldstrum'	Goldstrum Coneflower	44	gal	yellow	J,J,A,S	24"	18"
6	Hosta Sum and Substance	Sum and Substance Hosta	36	gal	white	J,A	36"	24"
7	Hosta Sieboldiana Elegans	Elegans Hosta	41	gal	white	J,J	32"	24"
8	Hosta Guacamole	Guacamole Hosta	35	gal	white	J,A	29"	24"
9	Ligularia 'Britt Marie Crawford'	Britt Marie Crawford ligularia	18	gal	yellow	J,A	30-35"	18"

LANDSCAPE PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MATURE HT.	MATURE WD.	FRUIT COLOR	FRUIT TYPE	FLOWER COLOR	FALL COLOR
A	Acer x f. 'Autumn Fantasy'	Autumn Fantasy Maple	5	3"	50'	40'	few br	samara	green	ruby re
B	Cercidiphyllum japonicum	Katsuratree	4	2.5"	40'	20'	brown	tiny pod	insignificant	yellow
C	Magnolia 'Royal Star'	Royal Star Magnolia	3	10'	15'	10'	brown	pod	white/pink	yellow
SINGLE STEM SPECIMEN										
D	Hydrangea p. 'Quick Fire'	Quick Fire Hydrangea	6	5'	8'	5'	brown	capsule	white to pink	yellow
ON STANDARD SPECIMEN										
E	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	24	5'	15'	3'	brown	capsule	none	green
F	Hydrangea pani. 'Ilvobo'	Bobo Hydrangea	21	18"	3'	3'	brown	capsule	white	yellow
G	Hydrangea p. 'Quick Fire'	Quick Fire Hydrangea	38	5'	8'	5'	brown	capsule	white to pink	yellow
H	Buxus x 'Green Velvet'	Green Velvet Boxwood	41	18"	3'	3'	green	capsule	Fragrant yellow green	
I	Rosa x Noa168098	Flower Carpet Pink	49	18"	2-3'	3-4'	red	hips	deep pink	none



CALL DIGGERS' HOTLINE
1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

LANDSCAPE ARCHITECT

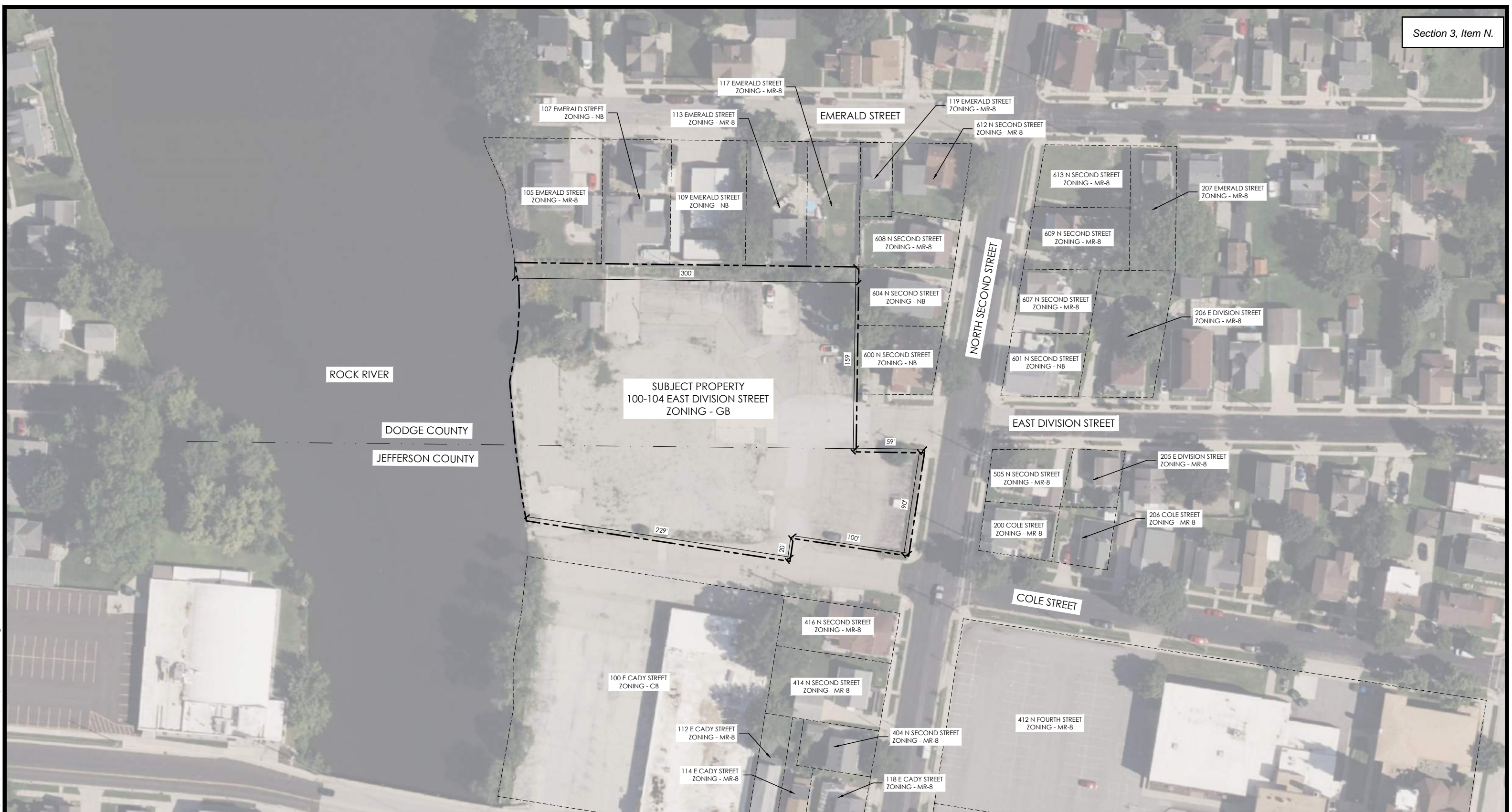
Kelly's Landscape Design

920-918-2613 (cell)
Website: kellyslandscape.com
E-Mail: kellyslandscape@yahoo.com

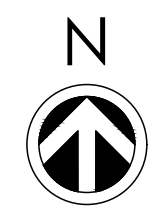
EXHIBIT C
Location Map

2/19/2025

P:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3.3 Site\2024-171 - Site Base.dwg



LOCATION MAP



SCALE: 1"=80'

February 19, 2025
Watertown Apartments
 Watertown, WI Proj. No. 2024-171

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EXHIBIT D
Estimated Annual Spending by Residents

Estimated Annual Spending by Residents

The Oxbow
Watertown, WI

February-25

<i>Cataorgy</i>	<i>Avg. Annual Expenditure</i>
Food	\$ 10,100
Alcoholic beverages	\$ 626
Housing	\$ 25,758
Apparel and services	\$ 2,036
Transportation	\$ 13,310
Healthcare	\$ 6,263
Entertainment	\$ 3,680
Personal care products and services	\$ 940
Reading	\$ 157
Education	\$ 1,644
Tobacco products and smoking supplies	\$ 391
Miscellaneous	\$ 1,253
Cash contributions	\$ 2,427
Personal insurance and pensions	\$ 9,708
Total Average Annual Expenditures per HH	\$ 78,292

LESS "Homeowner Expenses"	
Mortgage Payment & Basics	\$ 13,811
Maintenance & Remodeling Services	\$ 4,639
Maintenance & Remodeling Materials	\$ 752
Lawn & Garden	\$ 662
Subtotal	\$ 19,864

SUBTOTAL - Annual Expenditures per Renter Household Excluding Rent \$ **58,428**

Average monthly rent at The Oxbow	\$ 2,030
PLUS Ave. Annual Rent	\$ 24,360
TOTAL - Annual Expenditures per Oxbow Household	\$ 82,788

Total Homes in the Oxbow Community	69
Adjusted for (95% occupancy)	66
Total Residents (avg. household size of 2.4)	158

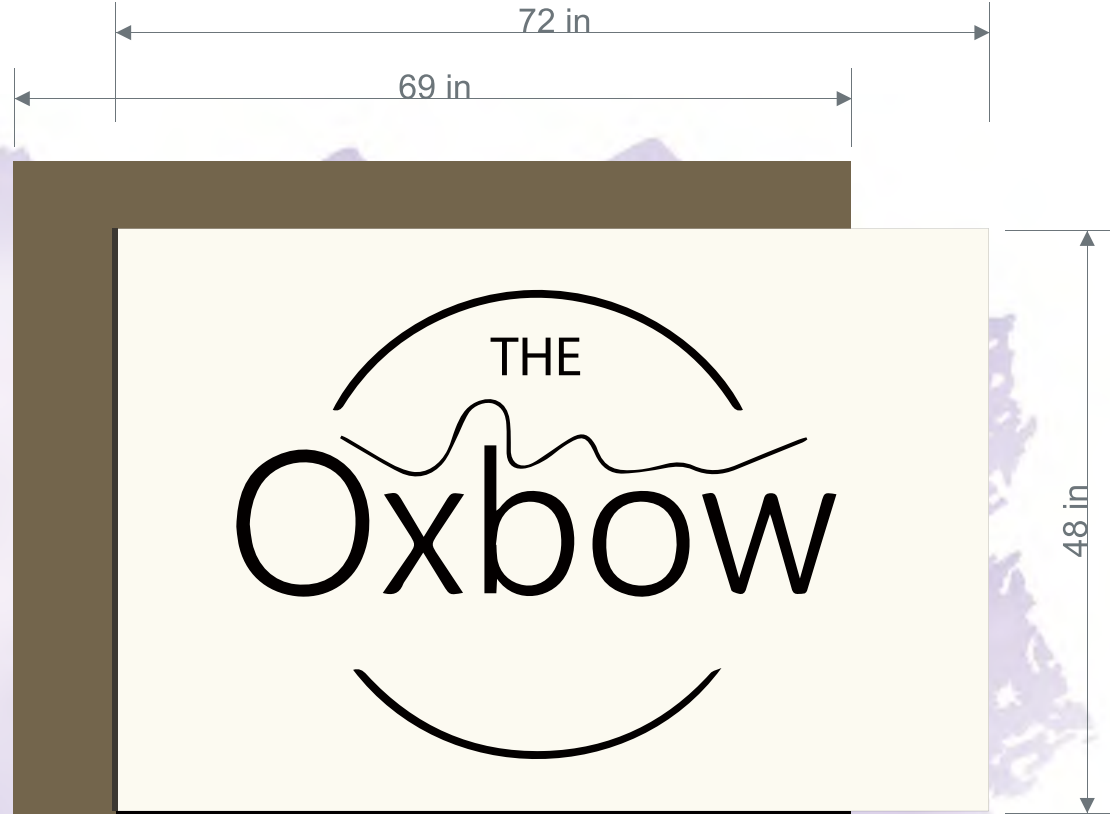
TOTAL Annual Expenditures by The Oxbow Households \$ **5,500,000**

Source: North Town Partners analysis, Bureau of Labor Statistics & ESRI "Retail Goods & Services Expenditures" report

EXHIBIT E
General Signage Plan



A Qty: 1
 Double Sided
 Aluminum Monument Sign



Marshall Sign
 920.526.3100 • marshallsign.com

This is an original unpublished drawing submitted for use in connection with a project being planned for you by Marshall Sign. It is not to be re-produced, copied or exhibited in any fashion without the written permission of Marshall Sign.

ACCOUNT: The Oxbow
 LOCATION: _____
 ACCT. REP: Jim Marshall
 DATE: 2-19-24

REVISIONS	
1	_____
2	_____
3	_____
4	_____
5	_____

48 in



1234
E. Division St.

B Qty: 1
Single Sided
Address Sign



1234
Cole St.

C Qty: 1
Single Sided
Address Sign



PARKING

D Qty: 1
Single Sided
Wayfinding Sign

24 in

24 in

24 in

60 in

E Qty: 1
Single Sided
Address Sign



F Qty: 1
Halo Illuminated Letters



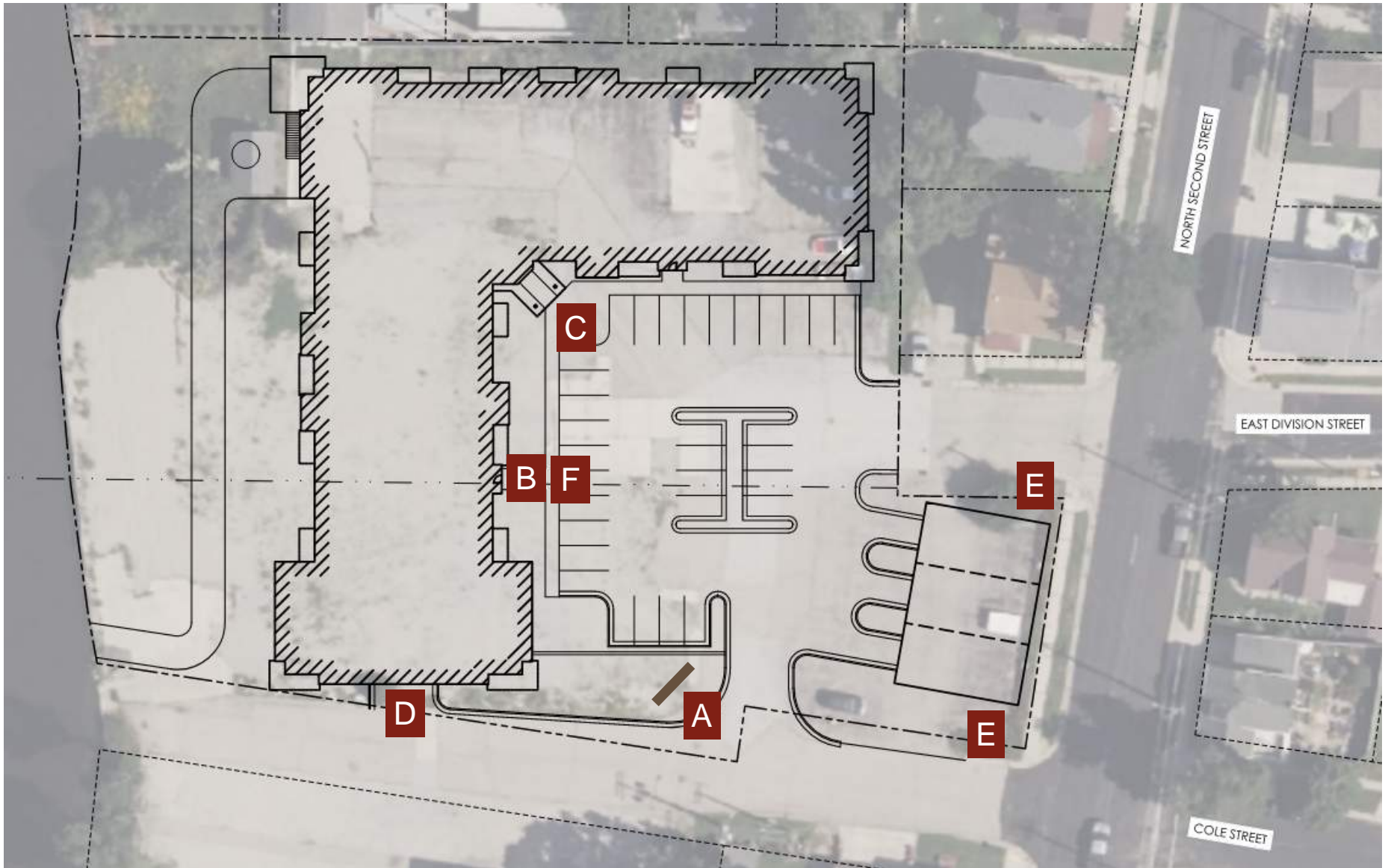
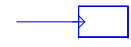


EXHIBIT F
Lighting Plan

Luminaire Schedule							Luminaire Lumens	Luminaire Watts	Total Watts	LLF
Symbol	Qty	Tag	Arrangement	Label	Description					
	3	S1	Single	ALW_LS210_T5_G2_FSK-6500Lm-40	ALW LS210 T5 G1 FSK-6500Lm-40K	6827	40.94	122.82	0.950	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lot Line	Illuminance	Fc	0.04	0.5	0.0	N.A.	N.A.
Site Calcs	Illuminance	Fc	0.11	2.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	0.88	1.9	0.1	8.80	19.00



Vertical Lighting + Controls
558 Prairie Dr. Ste. 1
East Dundee IL 60118



Watertown Apartments

Watertown, WI

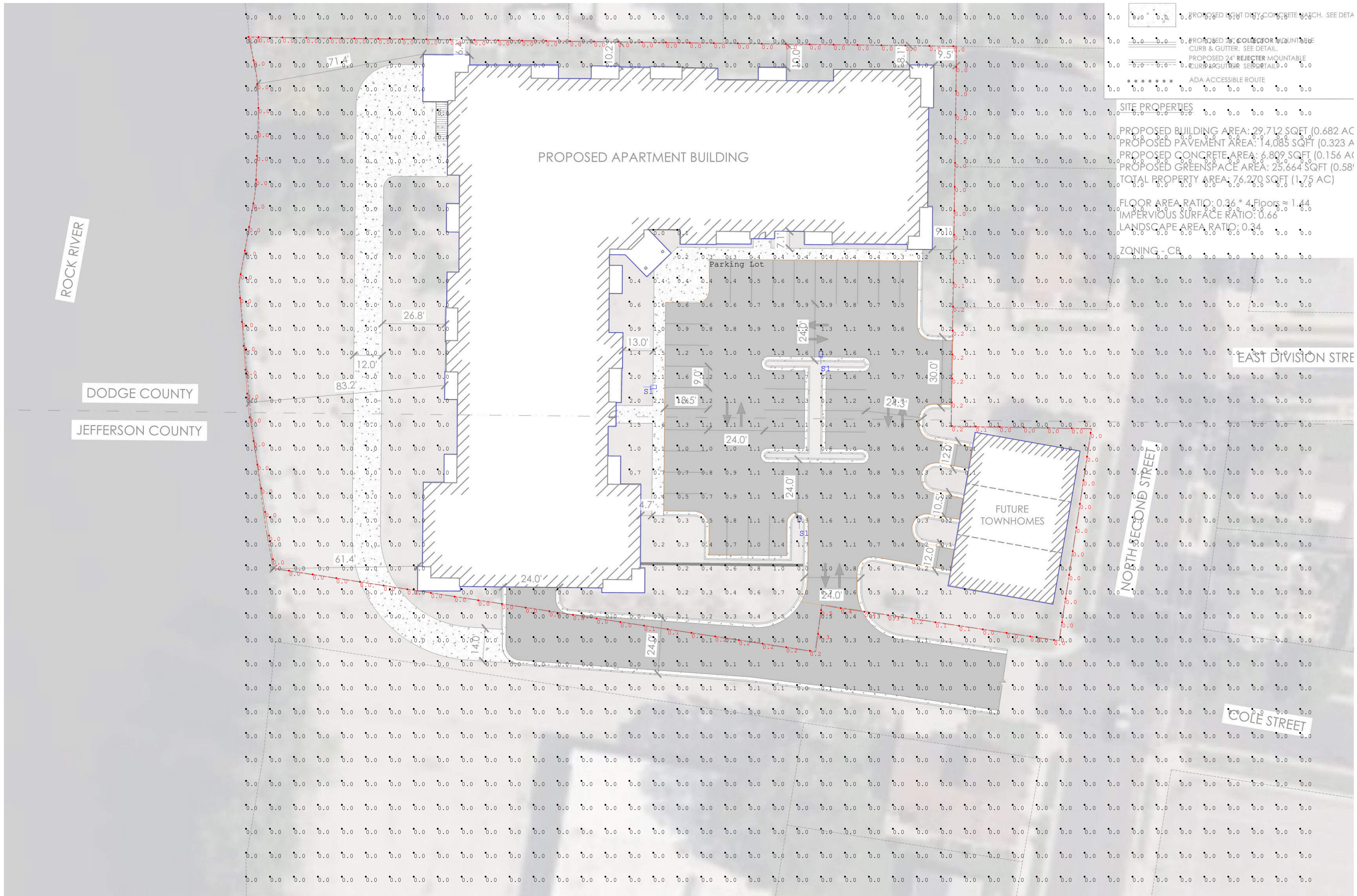
REVISIONS

#	Description	Date

FILE NAME	Watertown Apartments - Watertown WI Elevator Lot Layout
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025

LIGHTING PHOTOMETRIC ANALYSIS	
PAGE NO.	BID PKG.
1	

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ROCK RIVER
DODGE COUNTY
JEFFERSON COUNTY

PROPOSED HEIGHT
PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL.
PROPOSED 24" REJECTER MOUNTABLE CURB & GUTTER. SEE DETAIL.
ADA ACCESSIBLE ROUTE

Vertical Lighting + Controls
558 Plate Dr. Ste. 1
East Dundee IL 60118

VERTICAL
LIGHTING + CONTROLS

Watertown Apartments
Watertown, WI

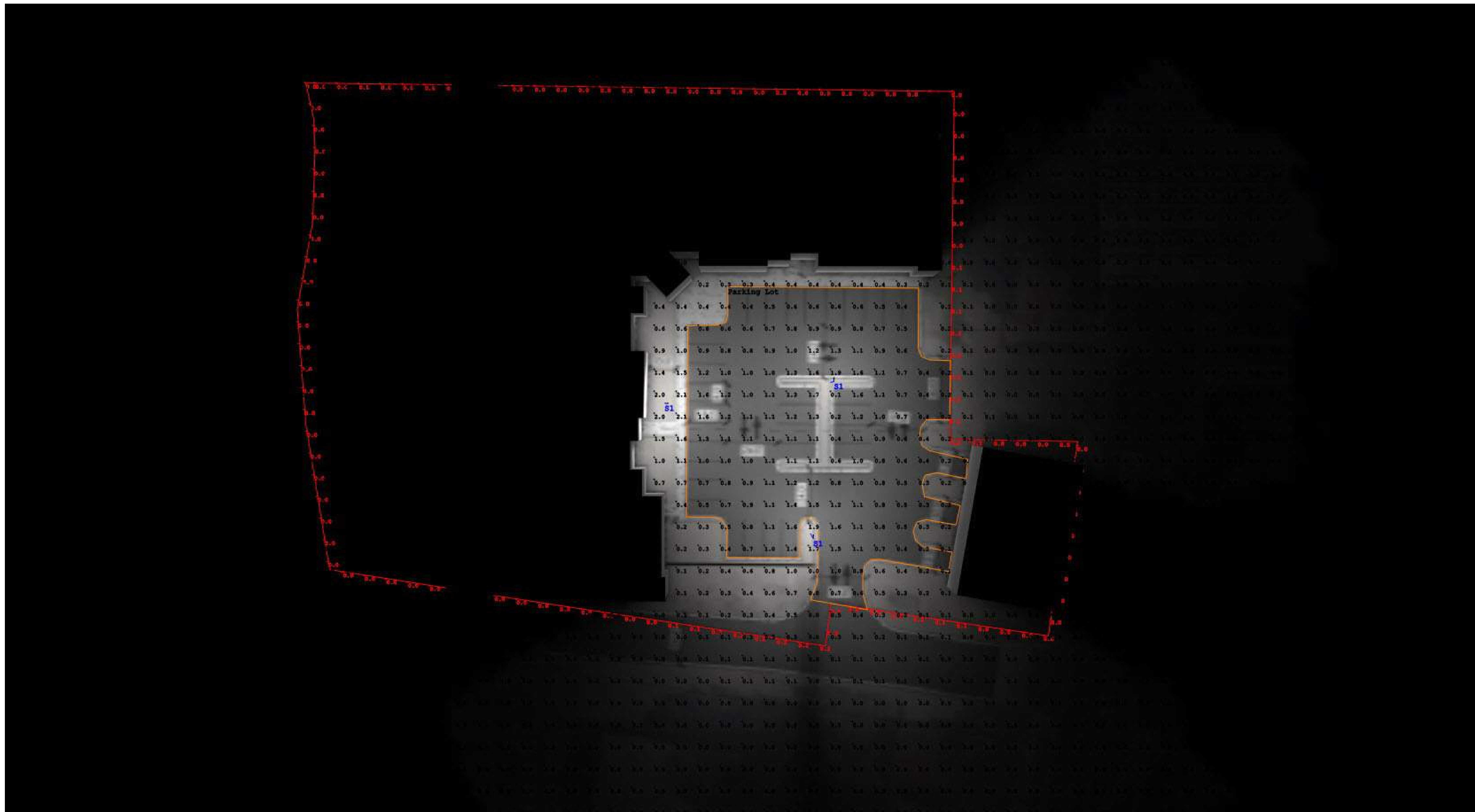
REVISIONS	Description	Date
#		

FILE NAME	Watertown Apartments - Watertown WI Elected Lot Layout
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025
LIGHTING PHOTOMETRIC ANALYSIS	
PAGE NO.	BID PKG.
2	

SITE PLAN
SCALE: 1"=20'

Scale: 1 inch= 15 Ft.

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Vertical Lighting + Controls
 558 Plate Dr. Ste. 1
 East Dundee IL 60118



Watertown Apartments

Watertown, WI

REVISIONS

#	Description	Date

FILE NAME	Watertown Apartments - Watertown WI Exterior Lit Layout	
MADE BY	ALEC	CHECKED ALEC
DATE	3/14/2025	
LIGHTING PHOTOMETRIC ANALYSIS		
PAGE NO.	3	BID PKG.

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MEMO

Administration

To: Plan Commission and Finance Committee

From: Mason Becker, Manager of Economic Development and Strategic Initiatives

Date: March 24, 2025

Subject: Offer to purchase City-owned property

Background

The City recently received an offer to purchase City-owned property located at 721 W Cady St, 727 W Cady St, 722 O'Connell St, and 720 O'Connell St. There are some complexities to the offer that warrant review in closed session. Department head feedback was requested, given these properties include buildings currently utilized by the City.

The mayor and city attorney have both reviewed the offer and approved placing this item on the Plan Commission and Finance Committee agendas.

Budget Goal

1. Invests in the strategic planning and maintenance of our city buildings

Financial Impact

There are various financial factors to weigh, including the sale price being offered, current condition of the properties, and the opportunity cost of replacing these facilities.

Recommendation

Move into closed session to discuss the details of the offer-to-purchase.