

PLAN COMMISSION MEETING AGENDA

MONDAY, SEPTEMBER 09, 2024 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET, WATERTOWN, WI 53094

Virtual Meeting

Info: https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GlUPaClat.1&omn=897595 49518 or by calling1-646-931-3860 and using Meeting ID: 237 146 0557 Passcode: 144391

All public participants' devices will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Plan Commission minutes dated August 12, 2024

3. BUSINESS

- A. Review and take action: W2762 Gopher Hill Road Extraterritorial Certified Survey Map (CSM)
- B. Review and take action: 553-555 Milford St Certified Survey Map (CSM)
- C. Review and take action: 919 Charles Street addition to first Kindergarten building
- D. Review and take action: Chapter 550 Text Amendments

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

PLAN COMMISSION MINUTES August 12, 2024

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor McFarland, Alderman Blanke, Beyer, Krueger, Lampe, Talaga, Zirbes

Also in attendance: Marie & Josh Schuett and Lacey Hastings

- 1. Call to order (4:32pm)
- 2. Approval of Minutes
 - A. Plan Commission minutes July 08, 2024
 - B. Plan Commission minutes July 22, 2024

Motion to approve both Plan Commission minutes was made by Lampe and seconded by Talaga, passed on unanimous voice vote.

3. Business

A. Review and take action: 321 Front Street Certified Survey Map (CSM)

Brian Zirbes presented the request to create a 2 lot CSM to adjust the parcel lines between 2 existing parcels.

Motion to approve the CSM was made by Blanke, seconded by Talaga and passed on a on a unanimous voice vote.

B. Review and take action: 1911 Gateway Drive Certified Survey Map (CSM)

Brian Zirbes presented the request to combine 6 existing parcels into 1 CSM lot for a future multi family development. The CSM also dedicates a portion of Gateway Drive that was not previously dedicated. Motion to approve the CSM was made by Krueger, seconded by Lampe and passed on a unanimous voice vote.

C. Review and take possible action: WisDOT/FHWA-Watertown-Urban Area Boundary Update

Andrew Beyer presented the map for the Urban Area Boundary map. This is updated every 10 years and is used as a funding mechanism for plan for obtaining additional funding for streets.

Motion was made by Lampe to approve the Urban Area Boundary map, seconded by Talaga and passed on a unanimous voice vote with Andrew Beyer abstaining.

All materials discussed at this meeting can be found at:

https://cms4files.revize.com/watertownwi/August%2012,%202024%20Plan%20Commission%20Meeting%20Packet.pdf

4. Adjournment

Motion to adjourn was made by Talaga and seconded by Krueger and passed on a unanimous voice vote. (4:39pm)

Respectfully Submitted,

Alderman Brad Blanke



BUILDING, SAFETY & ZONING DEPARTMENT

Section 3, Item A.

Main Office 920-262-4060 Brian Zirbes 920-262-4041 Mark Hady 920-342-0986

Nikki Zimmerman 920-262-4045 Dell Zwieg 920-262-4042

Doug Zwieg 920-262-4062 Dennis Quest 920-262-4061

TO: Plan Commission
DATE: September 9th, 2024

SUBJECT: W2762 Gopher Hill Road - Extraterritorial Certified Survey Map (CSM)

A request by Glen Griebenow to create a three lot Certified Survey Map (CSM) within the City of Watertown 3-mile extraterritorial plat review jurisdiction. Parcel PIN(s): 032-0815-0134-000

SITE DETAILS:

Parent Parcel Acres: 40

Proposed Lot Size(s): Lot 1 - 1.060 acres, Lot 2 - 1.003 acres, Lot 3 - 1.003 acres.

Jurisdiction: Town of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a three lot Certified Survey Map with road access to Gopher Hill Rd. The proposed lots are located within the Airport Approach Protection Zone with a maximum elevation of 972 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. Gopher Hill Road is identified in the 2019 City of Watertown Comprehensive Plan as having an expanded right-of-way of 100ft (50ft from centerline) in this location. ROW meeting this requirement has been dedicated on the CSM

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

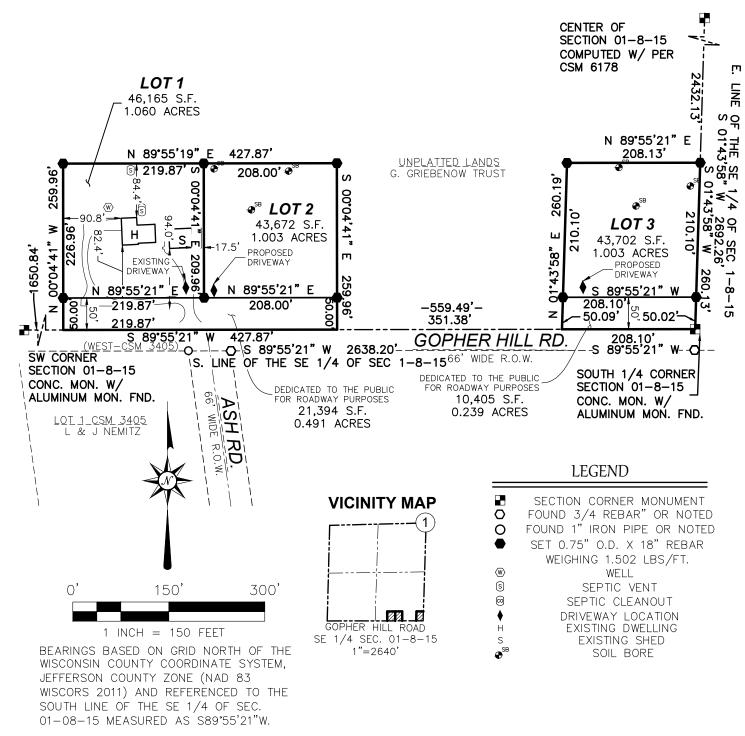
- 1. Deny the preliminary extraterritorial CSM.
- 2. Approve the preliminary extraterritorial CSM without conditions.
- 3. Approve the preliminary CSM with other conditions as identified by the Plan Commission:

ATTACHMENTS:

Application materials.

JEFFERSON CO. CERTIFIED SURVEY MAP NO.

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.



NOTES:

- THIS PARCEL IS SUBJECT TO ALL OTHER EASEMENTS, INCLUDING UTILITY EASEMENTS AND RESTRICTIONS, EITHER RECORDED OR UNRECORDED, IF ANY. PER PRELIMINARY APPLICATION PETITION NUMBER R4482A-23. ZONING IS R-2
- FOR LOT 1 AND A-3 FOR LOTS 2 AND 3. CHECK FOR SUBSEQUENT ZONING CHANGES WITH JEFFERSON COUNTY PLANNING AND ZONING DEPARTMENT. LOTS 1, LOT 2 AND LOT 3 HAVE AN AIRPORT APPROACH PROTECTION ZONE ELEVATION LIMIT OF 972 FEET ABOVE SEA LEVEL FOR ALL BUILDING, STRUCTURES AND OBJECT OF NATURAL GROWTH, WHETHER OR NOT SUCH BUILDINGS, STRUCTURES AND OBJECTS OF NATURAL GROWTH ARE IN EXISTENCE.

PREPARED FOR: GLENN W. GRIEBNOW REVOCABLE TRUST DATED FEB. 26, 2001 W2762 GOPHER HILL RD. WATERTOWN, WI 53094

LAND SURVEYING LAND PLANNING 111 W. 2ND STREET

DCDNDMDWDC, WI 53066

WWW.LANDTECHWI.COM (262) 367-7599

REV: 08/30/2024 REV: 08/21/2024 DATED 09/19/2023 JOB# 2306₽ SHEET 1 OF

JEFFERSON CO. CERTIFIED SURVEY MAP NO.

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 01, TOWN 8 NORTH, RANGE 15 EAST ALSO BEING THE POINT OF BEGINNING, THENCE S 89°55'21" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 208.10 FEET; THENCE N 01°43'58" E, 260.19 FEET; THENCE N 89°55'21" E, 208.13 FEET TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 1; THENCE S 01°43'58" W, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 260.13 FEET TO THE POINT OF BEGINNING.

ALSC

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 01, TOWN 8 NORTH, RANGE 15 EAST ALSO BEING THE POINT OF BEGINNING, THENCE S 89°55'21" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 559.49 FEET TO THE POINT OF BEGINNING; THENCE S 89°55'21" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 427.87 FEET; THENCE N 00°04'41" W, 259.96 FEET; THENCE N 89°55'19" E, 427.87 FEET; THENCE S 00°04'41" E, 259.96 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 165,338 SQUARE FEET OR 3.796 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE GLEN W. GRIEBNOW REVOCABLE TRUST DATED FEBURAURY 26, 2001 OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF JEFFERSON COUNTY, THE TOWN OF WATERTOWN AND CITY OF WATERTOWN (EXTRATERRITORIAL) IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED TH	IIS	DAY OF	, 20	
MATTHEW	T. O'ROUR	KE, S-2771		

JEFFERSON CO. CERTIFIED SURVEY MAP NO.

TOWN OF WATERTOWN APPROVAL

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWN OF WATERTOWN, TOWN BOARD,
THIS DAY OF, 20
JAMES WENDT, TOWN CLERK
CITY OF WATERTOWN PLAN COMMISSION EXTRATERRITORIAL APPROVAL CERTIFICATE
CITY OF WATERTOWN FEAR COMMISSION EXTRATERRITORIAL AFFROVAL CERTIFICATE
THIS CERTIFIED SURVEY MAP IN THE CITY OF WATERTOWN IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF WATERTOWN,
APPROVED AS OF THIS DAY OF, 20
DATE:
EMILY MCFARLAND, MAYOR
HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A CERTIFIED SURVEY MAP ADOPTED BY THE PLAN COMMISSION OF THE CITY OF WATERTOWN.
DATE:
MEGAN DUNNEISEN, CITY CLERK
PLANNING AND ZONING COMMITTEE APPROVAL:
THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE
THISDAY OF, 20
SIGNATURE:

REV: 08/30/2024 REV: 08/21/2024 DATED 09/19/2023 JOB# 23064 SHEET 3 OF

W2762 Gopher Hill Rd ET-CSM







BUILDING, SAFETY & ZONING DEPARTMENT

Main Office 920-262-4060

Brian Zirbes 920-262-4041 Mark Hady 920-342-0986 Section 3, Item B.

Nikki Zimmerman Dell Zwieg 920-262-4045 920-262-4042

Doug Zwieg D

920-262-4062

Dennis Quest 920-262-4061

TO: Plan Commission DATE: September 9th, 2024

SUBJECT: 553-555 Milford Street – Preliminary Certified Survey Map (CSM)

A request by Mike Martin, agent for Buzdum Trust, to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0541-022

SITE DETAILS:

Parent Parcel Acres: 0.726 acres

Proposed Lot Size(s): Lot 1 - 0.31 acres (13,528 S.F.), Lot 2 - 0.37 acres (16,190 S.F.)

Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a two lot CSM to subdivide an existing parcel that contains two existing single-family homes. Lot 1 on the proposed Certified Survey Map will be 60.03ft wide rather than the required 75ft. A variance to this requirement for Lot 1 was granted by the Zoning Borad of Appeals on August 27th, 2024. Lot 2 will be 97.59ft wide and conform to the ordinance requirements. The proposed lots are located within the Airport Approach Protection Zone with a maximum elevation of 968 feet above mean sea level for all buildings and vegetation. A note indicating this elevation will need to be added to the CSM. The existing ROW for Milford Street is sufficient in this location.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

- 1. Deny the preliminary CSM.
- 2. Approve the preliminary CSM without conditions.
- 3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission:
 - a. A note shall be added to the CSM indicating the Airport Approach Protection Zone elevation of 968 feet above mean sea level.
 - b. The CSM signature page shall contain signature lines for both the Plan Commission Chairperson/Mayor and the City Clerk.

ATTACHMENTS:

Application materials.

CITY OF WATERTOWN, THE NW 1/4 OF THE SE 1.

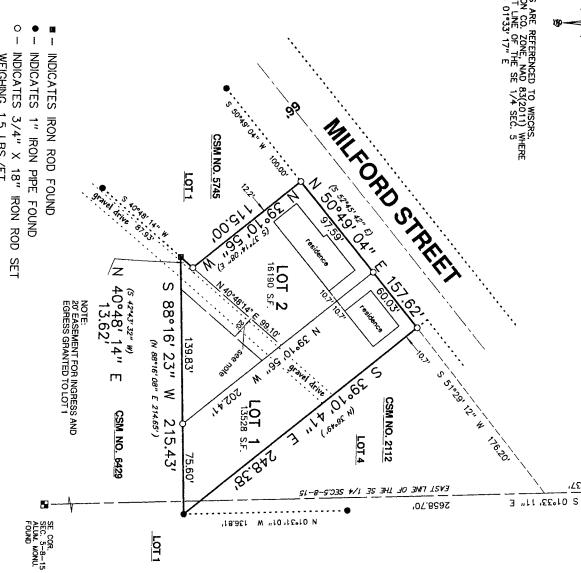
PART OF OUTLOT 7 OF THE TWELFTH WARD FORMERLY THE THIRD WARD IN THE N, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, DEFFERSON COUNTY, WISCONSIN.

CERTIFIED

SURVEY MAP NO.



104.37



INDICATES 3/4" X 18" IRON ROD SET WEIGHING 1.5 LBS./FT.

INDICATES RECORDED AS

DATED THIS 1ST DAY OF MAY, 2024.

유

BY KENNETH J. WILKOWSKI,

S

THIS INSTRUMENT WAS

DRAFTED

1841

KW SURVEYING
725 PALMYRA STREET
P.O. BOX 32
SULLIVAN, WI. 53178
(262)-593-5800

g <u>8</u> 2175

10

ERTIFIED SURVEY MAP NO.

PART OF OUTLOT 7 OF THE TWELFTH WARD OF THE FORMERLY THIRD WARD IN THE CITY OF WATERTOWN, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, JEFFERSON COUNTY, WISCONSIN.

SURVEYORS CERTIFICATE

I, Kenneth J. Wilkowski, Professional Land Surveyor, do hereby certify:

All in Town 8 North, Range 15 East, Jefferson County, Wisconsin, bounded and described as follows: City of Watertown, Located in the NE 1/4 of the SE 1/4 of Section 4 and the NW 1/4 of the SE 1/4 of Section 5, That I have surveyed, divided and mapped part of Outlot 7 of the Twelfth Ward formerly the Third Ward in the

Southeast 1/4 line, 704.37 feet to a point; Thence South 51°29'12" West, 176.20 feet to the Point of Beginning of the following description: Thence South 39°10'41" East, 248.38 feet to a point; Thence South 88°16'23" West, 215.43 feet to a point; Thence North 40°48'14" East, 13.62 feet to a point; Thence North 39°10'56" West, 115.00 feet to a point; Thence North 50°49'04" East, 157.62 feet to the Point of Beginning and containing 29,718 square feet or 0.6822 acres of land, more or less. Commencing at the East 1/4 corner of said Section 5, Thence South 01°33'11" East along the East line of said

That I have made such survey, land division, and map by the direction of, Buzdum Trust, owner of said land.

thereof made. That such map is a correct representation of all exterior boundaries of the land surveyed and the land division

Regulations of the City of Watertown. That I have fully complied with the provisions of Chapter 236 of Wisconsin Statues and the Subdivision

Kenneth J. Wilkowski, P.L.S

Kenneth J. Wilkowski S-1841
Sullivan WI

CERTIFIED

CERTIFIED SURVEY MAP NO.

PART OF OUTLOT 7 OF THE TWELFTH WARD OF THE FORMERLY THIRD WARD IN THE CITY OF WATERTOWN, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, JEFFERSON COUNTY, WISCONSIN.

OWNER CERTIFICATE

As owner of the lands described in the foregoing certificate of Kenneth J. Wilkowski, Professional Land Surveyor, I hereby certify that I caused the said lands to be surveyed, divided and mapped as represented on the map of said survey in accordance with the provisions of Chapter 236 of the Wisconsin Statues. I also certify that this plat is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Watertown.

Witness the hand and seal of said owner this	371 day of theust 2024
	3 ml
	, Trustee of Buzdum Frust
STATE OF WISCONSIN)	
JEFFERSON COUNTY F. M. 111	
Personally came before me this	day of $August$, 2024 the above
named Trustee, kuwn to no hap the person wh	ent and acknowledged t
My commission expires: 12-3-2025	Herry F. Mastin
OBLIC SING	
OF WISCON	Will public, Jefferson Co., WI
CITY OF WATERTOWN PLAN COMMISSION APPROVAL	ON APPROVAL
This Certified Survey Map in the City of Waterto	This Certified Survey Map in the City of Watertown, Wisconsin is hereby approved by the Plan Commission:
Thisday of	, 20
Emily McFarland, Mayor (Plan Commission Chairnerson)	Thereon)
Megan Dunneisen, Clerk	

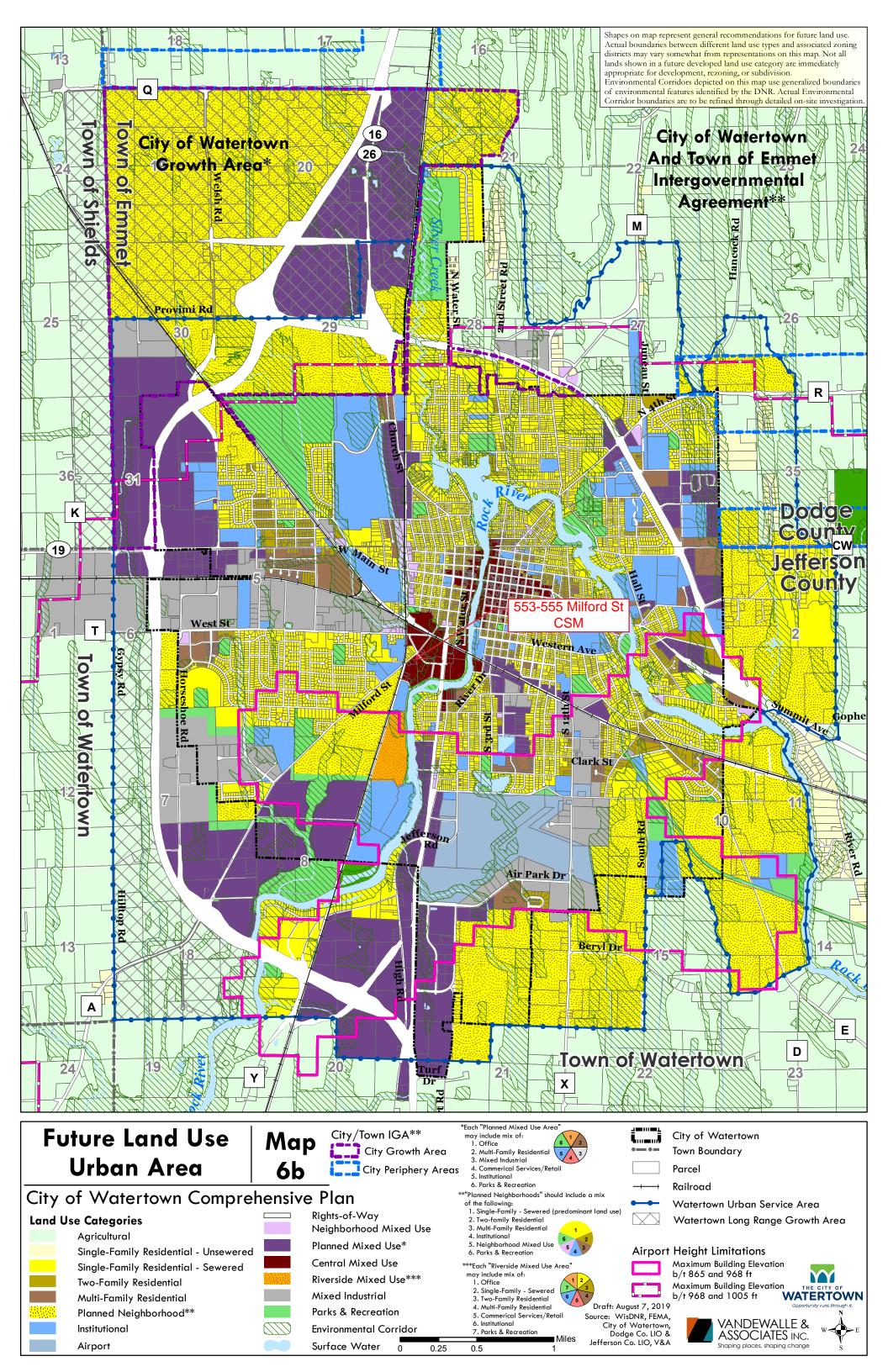
SCONS

Wilkowski Kenneth J.

Sullivan

SURVE

Op





BUILDING, SAFETY & ZONING DEPARTMENT

Section 3, Item C.

Main Office 920-262-4060 Brian Zirbes 920-262-4041 Mark Hady 920-342-0986

Nikki Zimmerman 920-262-4045 Dell Zwieg 920-262-4042

Doug Zwieg 920-262-4062 Dennis Quest 920-262-4061

TO: Plan Commission
DATE: September 9th, 2024

SUBJECT: 919 Charles St - Site Plan Review

Site Plan review and approval requested by RJ Construction, agent for the Watertown Historical Society (Octagon House), for a building addition. Parcel PIN: 291-0815-0334-003.

SITE DETAILS:

Acres: 1.56

Current Zoning: Single-Family Residential (SR-4)

Existing Land Use: Octagon House/First Kindergarten Historical Site

Future Land Use Designation: Single-Family Residential

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing the construction of an approximately 720 SF addition to the First Kindergarten building at the Octagon House Historic Site.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to §550-144 & §550-145 of the zoning code.

Site Layout and Design:

The building addition meets all building and pavement setbacks and maximum building height limits within the Single-Family Zoning District *[per § 550-24].*

Exterior Construction and Material Standards:

Exterior construction material standards for the Single-Family (SR-4) Zoning District shall employ only high-quality decorative exterior construction materials on the visible exterior of the following portions of all structures and buildings: [per § 550-121]

- Any portion of the building or structure visible from adjacent residentially zoned property;
- Any portion of the building or structure located within 50 feet of a public right-of-way; or
- Any other portion of the building or structure visible from a public street and/or situated at an
 angle of 60° or less from a line which is parallel to the nearest right-of-way (for uncurved rights-ofway) or from a line which is parallel to a chord connecting the right-of-way boundary on the inside
 side of the curve at points located at, or opposite from, the two outer boundaries of the subject
 property along the right-of-way line (for curved rights-of-way).
- The following exterior construction materials shall not be considered "high quality decorative": nondecorative concrete block or cinder block, nondecorative concrete foundation walls or panels, corrugated walls or panels, nondecorative plywood, asphaltic siding, or other nondecorative surfaces as determined by the Plan Commission.

The proposed addition meets exterior construction material standards. The addition will be using

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

materials that complement the other historic buildings on the site.

Vehicle Access and Circulation

Vehicle access and circulation will utilize existing facilities.

Landscaping:

Landscaping requirements are not required in the Single-Family Zoning District [per § 550-94]

Lighting:

No exterior lighting is part of the planned addition.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

- 1. Deny the Site Plan.
- 2. Approve the Site Plan without conditions.
- 3. Approve the Site Plan with conditions as identified by the Plan Commission:

ATTACHMENTS:

• Application materials

222 South Main Street Fort Atkinson, WI 53538

(920)568-9531 ISSUE

DATE DESCRIPTION

OCTAGON HOUSE

919 CHARLES ST. WATERTOWN, WI 53094

CSD PROJECT#:

SCALE: DATE: DRAWN BY: CHECKED BY: AS NOTED 7/31/2024 ATF CFN

TITLE SHEET

TSO.1

COLD SPRING DESIGN, LLC

222 SOUTH MAIN STREET - FORT ATKINSON, WI 53538 (920)568-9530 - WWW.COLDSPRINGDESIGN.NET

OCTAGON HOUSE

DRAWING INDEX:

STRUCTURAL

NOTES AND SCHEDULES

FOUNDATION AND FLOOR FRAMING PLAN

ROOF FRAMING PLAN FOUNDATION DETAILS

FRAMING DETAILS

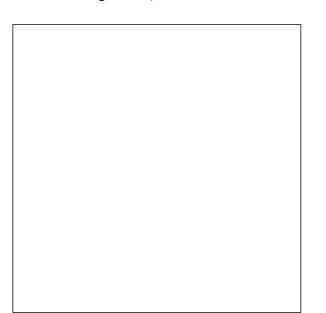
ARCHITECTURAL

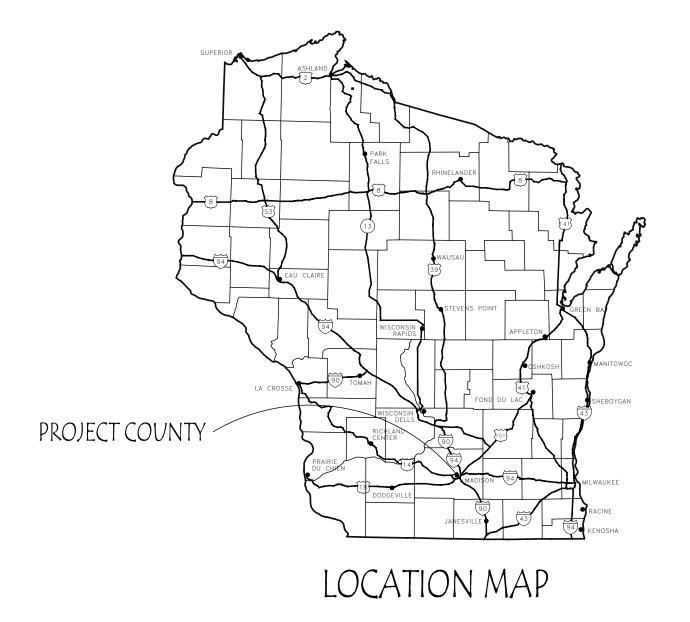
EXTERIOR ELEVATIONS

CIVIL

SITE PLAN







OWNER:

XXX

919 Charles St. Watertown, WI 53094

CONTACT:

XXX

xxx@xxx.com 608-xxx-xxxx

ARCHITECT / ENGINEER:

COLD SPRING DESIGN, LLC 222 SOUTH MAIN STREET FORT ATKINSON, WI 53538 PHONE: (920)568-9530 CONTACT: CONOR NELAN

PROJECT INFORMATION: All requirements per 2015 IBC

Building Information:

Building Height: 1-STORY, SEE ELEVATIONS Use & Occupancy Classification: OCCUPANCY TYPE B -

720 sq. ft. conditioned space

Construction Type:

Type VB -NON-SPRINKLERED

22 South Main Street

(920)568-9530

F (920)568-9531

ISSUE

Fort Atkinson, WI 53538

DATE DESCRIPTION

2. CONSULT ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF CURBS, PADS, INSERTS, SLEEVES, DRIPS, REGLETS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.

3. SIZE AND LOCATION OF ALL ROOF, FLOOR, AND WALL OPENINGS TO BE VERIFIED WITH MECHANICAL AND ELECTRICAL CONTRACTORS REQUIRING SUCH OPENINGS.

4. CONSULT ARCHITECT FOR ANY NECESSARY DIMENSIONS WHICH ARE NOT SHOWN ON PLANS. SCALING OF

5. SIMILAR PORTIONS OF THE BUILDING SHALL HAVE SIMILAR DETAILING UNLESS NOTED OTHERWISE.

6. ELEVATIONS SHOWN ON PLAN ARE BASED ON 100'-0" AS FINISHED FIRST FLOOR ELEVATION.

7. ELEVATIONS SHOWN ON PLANS ARE TO TOP OF STEEL, CONCRETE, OR PLYWOOD SHEATHING, UNLESS

8. ALL WORK SHALL CONFORM TO OSHA REQUIREMENTS.

9. STRUCTURAL MEMBERS INCLUDING JOISTS, SLABS, BEAMS, TRUSSES, COLUMNS, AND WALLS ARE DESIGNED FOR "IN PLACE" LOADS. CONTRACTOR IS RESPONSIBLE FOR BRACING, WITHOUT OVER STRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTURCTION) UNTIL COMPLETION OF THIS

10. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE. UNLESS APPROVED BY THE ARCHITECT.

11. SUBMIT REPRODUCIBLE COPY OF ALL STRUCTURAL SHOP DRAWINGS.

WOOD TRUSS NOTES

WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLOWING INFORMATION

1. INFORMATION WHICH THE RESPONSIBLE BUILDING DESIGN PROFESSIONAL WILL CHECK FOR COMPLIANCE WITH CONTRACT DOCUMENTS

- a. ERECTION PLAN: SHOWING DIMENSIONED LOCATIONS AND TRUSS IDENTIFICATION. b. BEARING DETAILS: SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE TO TRUSS CALCULATIONS.
- c. DESIGN LOADS: ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN AND/OR TRUSS ELEVATION INDICATING CONFORMANCE TO TRUSS CALCULATIONS.
- d. ALL PERMANENT BRACING: SHOW TOP CHORD, BOTTOM CHORD, AND WEB MEMBER BRACING ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF THIS BRACING SHALL ALSO BE INDICATED.

e. TRUSS DIMENSIONS: SHOW DEPTH, SPAN, BEARING, HEIGHT, AND SLOPES AT ALL CRITICAL POINTS.

2. INFORMATION THAT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED FOR INFORMATION WITH THE SHOP DRAWING SUBMITTAL. a. MEMBER DESIGN: INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES, REACTIONS, AND MEMBER BRACING REQUIRED BY TRUSS

- b. INTERIOR CONNECTIONS: DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS
- INCLUDING PLATE AND BOLT SIZES. c. MEMBER CONNECTIONS: DESIGN AND INDICATE ALL NECESSARY HARDWARE FOR
- PROPER INSTALLATION OF TRUSSES INCLUDING, BUT NOT LIMITED TO, GIRDER PLY CONNECTIONS, TRUSS-TO-GIRDER CONNECTIONS, TIE-DOWNS, AND FIELD SPLICES.
- d. STRUCTURAL DESIGN OF TRUSSES: SUBMIT COMPLETE TRUSS CALCULATIONS AND OBTAIN ALL APPROVALS NECESSARY FOR CONFORMANCE TO BUILDING CODE. VERIFY SUBMITTAL AND APPROVAL BY SENDING COPY TO BUILDING DESIGN PROFESSIONAL.

e PROVIDE CONTRACT/INSTALLER WITH ALL DATA NECESARY FOR PROPER INSTALLATION 3. ROOF TRUSS SUPPLIER TO SEE ARCHITECTURAL BUILDING SECTIONS & REFLECTED CEILING PLANS FOR LOCATIONS WHERE ROOF TRUSSES NEED TO BE ADJUSTED FOR CEILING HEIGHT REQUIREMENTS.

ROOF TRUSS BRACING NOTES

- 1. ALL BRACING SHOWN OR DESCRIBED SHALL BE MINIMUM 2x4 WITH 2-16d IN EVERY TRUSS IT CROSSES.
- 2. ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING.
- 3. ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" OC, UNLESS CALCULATIONS SHOW OTHERWISE. 4. ALL HORIZONTAL BRACING SHALL BE STIFFENED AT 20'-0" OC WITH EITHER:
- a. DIAGONAL BRACING EXTENDED TO A SHEAR WALL PARALLEL TO THE ORIGINAL BRACING. SEE BRACING DETAIL 6/S3.1 FIGURES 1(a) THROUGH 1(d). b. A 3/4" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.

5. ALL TRUSS BOTTOM CHORDS SHALL BE BRACED AT 6'-0" OC UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEATHING APPLIED TO BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT.

RESIDENTIAL

L/480 L/360

TRUSS DESIGN LOADS

TOTAL LOAD

TOTAL LOAD

LIVE LOAD

FLOOR

BUILDING OCCUPANCY CATEGORY

SNOW LOADS	
IMPORTANCE FACTOR - Is	1.0
EXPOSURE FACTOR - Ce	1.0
THERMAL FACTOR - Ct	1.1
GROUND SNOW LOAD - Pg	SEE DESIGN CRITERIA
FLAT ROOF SNOW LOAD - Pf	SEE DESIGN CRITERIA
APPLY DESIGN DRIFT LOADS TO ROOF T	RUSSES WHERE REQUIRED BY CODE.
WIND LOADS	
IMPORTANCE FACTOR - Iw	1.00
BASIC WIND SPEED - V	115 mph
EXPOSURE CATEGORY	В

EM COOKE OMECON	5
DEAD LOADS	
ROOF DEAD LOAD	20 psf (10 TOP CHORD & 10
FLOOD DEAD LOAD	BOTTOM CHORD)
FLOOR DEAD LOAD	20 psf (10 TOP CHORD & 10 BOTTOM CHORD)
	15 psf PARTITION LOAD
	•
DEFLECTION LIMITS	
ROOF	
LIVE LOAD	1/360

WOOD FRAMING NOTES

1. ARCHITECT & CONTRACTOR SHALL DETAIL & CONSTRUCT BUILDING FINISHES TO ACCOMMODATE AN EXPECTED BUILDING SHRINKAGE OF APPROXIMATELY 3/6" TO 3/8" PER FLOOR OF WOOD CONSTRUCTION, PROPER CARE SHALL BE TAKEN TO PREVENT STORED & INSTALLED LUMBER FROM THE ELEMENTS. DO NOT ALLOW LUMBER TO REST IN STANDING WATER.

SEE BEARING WALL SCHEDULE, VERTICAL MEMBERS KD, MOISTURE CONTENT SHALL BE BETWEEN 15% AND 19% 2x No 1 / No 2 SPF, UNO JOISTS: SIZE & SPACING PER PLANS JOISTS (EXPOSED 2x NO 1 / NO 2 TREATED SOUTHERN YELLOW PINE, UNO SIZE & SPACING PER PLANS POSTS: NO 2 SPF (INTERIOR), UNO NO 2 TREATED SOUTHERN YELLOW PINE (EXTERIOR), UNO

3. SEE WOOD BRG WALL SCHEDULE FOR BOTTOM PLATE & DOUBLE TOP PLATE INFORMATION..

4. FLOOR SHEATHING SHALL BE 3/4" APA RATED, T&G SHEATHING, GLUED & NAILED TO FLOOR FRAMING w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES.

5. ROOF SHEATHING SHALL BE 3/4" APA RATED OSB SHEATHING ATTACHED TO THE ROOF

FRAMING MEMBERS w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS (1" MINIMUM EMBEDMENT INTO FRAMING MEMBER). STAGGER PANEL

6. EXTERIOR WALLS SHALL BE SHEATHED w/ 7/6" APA RATED SHEATHING. ATTACH DIRECTLY TO THE OUTSIDE FACE OF EXTERIOR STUD WALLS WITH 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS, UNO.

7. ALL INTERIOR DEMISING WALLS, CORRIDOR WALLS, & LOAD BEARING WALLS NOT SPECIFICALLY DESIGNATED AS A SHEAR WALL, SHALL BE CONSTRUCTED WITH A MINIMUM OF 1 LAYER 5/8" GYPSUM BOARD ATTACHED w/ 6d COOLER NAILS @ 8" OC ALONG EDGES & 12" OC AT INTERMEDIATE MEMBERS, UNO.

8. DESIGN UPLIFT ON ROOF TRUSSES AS INDICATED IN THE DESIGN CRITERIA. PROVIDE TIE DOWN CLIP AT EACH TRUSS, AT EVERY POINT OF BEARING.

9. TYPICAL TRUSS SPACING = 2'-0" EXCEPT WHERE SPECIFICALLY NOTED. 10. COORDINATE WALL STUD LOCATIONS TO ALIGN WITH TRUSS BEARING LOCATIONS @ ALL

11. PROVIDE EQUIVALENT SIZE SOLID BLOCKING & VERTICAL MEMBERS THROUGH UNDERLYING FLOORS / WALLS BELOW MULTIPLE MEMBERS OR POSTS CARRYING CONCENTRATED LOADS.

12. COLUMN SIZES SHOWN ARE MIN. CONTRACTOR MAY USE LARGER SECTION IF REQ'D TO FULLY SUPPORT MEMBERS. 13. AS A MINIMUM, ALL CONNECTIONS SHALL CONFORM TO FASTENING SCHEDULE TABLE 2304.9.1

WECBC 2006. DRAWING DETAILS SHALL GOVERN IF THEIR CONNECTION CAPACITY IS GREATER THAN THOSE SPECIFIED IN TABLE 2304.9.1 14. WHERE BUILT-UP SECTIONS OF DIMENSIONAL LUMBER ARE INDICATED, FASTENING SHALL BE

ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. 15. USE JOIST HANGERS DESIGNED FOR GIVEN MEMBER SIZE TO SUPPORT ALL JOISTS/HEADERS

FRAMING INTO SIDES OF OTHER MEMBERS. 16, PROVIDE CROSS BRIDGING/BLOCKING BETWEEN FLOOR JOISTS PER NATIONAL DESIGN SPECIFICATION 4.4.1.

IN ACCORDANCE WITH NDS 15.3.3. MULTI-PLY LVL SECTIONS SHALL BE FASTENED IN

17. DO NOT CUT, NOTCH, OR DRILL HOLES IN MIRCOLAM LVL OR JOISTS WITHOUT ENGINEER 18, ALL HEADERS NOT ABOVE DOORS OR WINDOWS TO BE FLUSH WITH CEILING, UNO.

19 COORDINATE WALL & FACE BRICK DIMENSIONS w/ ARCHITECTURAL DRAWINGS 20. JOIST MANUFACTURER SHALL NOTIFY STRUCTURAL ENGINEER IF FRAMING PLANS TO BE

21. ALL CONNECTORS (I.E., SIMPSON HANGERS, ETC.) TO BE GALVANIZED WHEN USED FOR EXTERIOR

22. GENERAL CONTRACTOR TO COORDINATE WOOD TRUSS, PLUMBING, AND HVAC LOCATIONS.

FOUNDATION PLAN NOTES

DIFFERENT THAN SHOWN.

1. CONTRACTOR SHALL PROVIDE FROST AND MOISTURE PROTECTION FOR FOOTINGS EXPOSED DURING

2. REFER TO ARCHITECTURAL DRAWINGS OR PLUMBING DRAWINGS FOR SPECIFIC FLOOR DRAIN LOCATIONS

3. REFER TO FOUNDATION DETAILS SHEET FOR MISCELLANEOUS DETAILS NOT CUT ON PLAN.

4. FOOTING EXCAVATIONS SHALL BE EXAMINED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT THE SOILS AT THE BOTTOM OF THE EXCAVATION ARE CAPABLE OF PROVIDING THE ALLOWABLE BEARING PRESSURE NOTED IN THE DESIGN CRITERIA. CONTACT THE ARCHITECT OR ENGINEER IF UNABLE TO ATTAIN

5. NO PROVISION HAS BEEN MADE FOR FUTURE EXPANSION.

6. VERIFY SIZES OF ALL STOOPS WITH ARCHITECT PRIOR TO CONSTRUCTION.

STRUCTURAL ABBREVIATIONS

AB - ANCHOR BOLT ALT - ALTERNATE AGG - AGGREGATE	ID - INSIDE DIAMETER IF - INSIDE FACE INSUL - INSULATION	DESIGN CODE INTERNATIONAL BUILDING CODE 2015 w/ WISCONSIN AMENDMENTS	
ALUM - ALUMINUM ARCH - ARCHITECT/	INT - INTERIOR	DESIGN LOADS	
ARCHITECT/ ARCHITECTURAL	JBE - JOIST BEARING ELEVATION	LIVE LOAD INFORMATION CORRIDOR	100 psf
ANOTHECTONAL	JT - JOINT	DECK - RESIDENTIAL	40 psf
BLDG - BUILDING	01 -00 \text{III}	MECHANICAL	125 psf
BLK - BLOCK (CMU)	L - STEEL ANGLE DESIGNATION	PUBLIC AREA	100 psf
BM - BEAM	LG - LENGTH/LONG	STAIR	100 psf
BOT - BOTTOM	LLH - LONG LEG HORIZONTAL	STORAGE	125 psf
BRG - BEARING	LLV - LONG LEG VERTICAL		•
	LP - LOW POINT	SNOW LOAD INFORMATION	
C - CHANNEL DESIGNATION	LVL - LAMINATED VENEER LUMBER	GROUND SNOW LOAD - Pg	30.0 psf
CB - CATCH BASIN		SNOW EXPOSURE FACTOR - Ce	1.00
CI - CAST IRON	MAX - MAXIMUM	SNOW LOAD IMPORTANCE FACTOR - Is	1.00
CIP - CAST-IN-PLACE	MBW - MASONRY BEARING WALL	THERMAL FACTOR - Ct	1.10
CJ - CONSTRUCTION/ CONTROL	MIN - MINIMUM	FLAT ROOF SNOW LOAD - Pf	25.0 psf
JOINT CL - CENTER LINE	MSW - MASONRY SHEAR WALL MTL - METAL	DRIFT LOAD	SEE SNOV DIAGRAM
CL - CENTER LINE CLG - CEILING	WIL - WETAL		ROOF PLA
CLR - CLEAR DISTANCE	NIC - NOT IN CONTRACT		NOOI I LA
CMU - CONCRETE MASONRY UNIT	NOM - NOMINAL	SOIL LOAD INFORMATION	
COL - COLUMN	NTS - NOT TO SCALE	ALLOWABLE NET SOIL BEARING PRESSURE - Qa	2,000 psf (
CONC - CONCRETE	N-S - NORTH-SOUTH DIRECTION		<u> </u>
CONT - CONTINUOUS		WIND LOAD INFORMATION	
CONTR - CONTRACTOR	OC - ON CENTER	BASIC WIND SPEED	115 mph
	OD - OUTSIDE DIAMETER	BUILDING CODE OCCUPANCY CATEGORY	R
D - DEPTH	OF - OUTSIDE FACE	WIND LOAD IMPORTANCE FACTOR - Iw	1.00
DBA - DECK BEARING ANGLE	OH - OVER HEAD	WIND EXPOSURE	В
DIA - DIAMETER	OPP - OPPOSITE	INTERNAL PRESSURE COEFFICIENTS	±0.18
DIM - DIMENSION		COMPONENTS AND CLADDING WIND PRESSURES	
DN - DOWN	PERIM - PERIMETER	WIDTH OF PRESSURE COEFFICIENT ZONE - a	17.1 ft
DP - DRILLED PIER	PC - PRECAST / PRESTRESSED		<u>00 SF</u> <u>500 SF</u>
DTL - DETAIL	PL - STEEL PLATE DESIGNATION	ROOF	15 0 maf
DWG - DRAWING DWL - DOWEL	PT - POINT P/T - POST TENSIONED		15.2 psf - 18.0 psf -
DWL - DOWEL	P/I -POST TENSIONED		18.0 psf -
EA - EACH	R - RADIUS	•	0.0 psf
EC - ELECTRICAL CONTRACTOR	RD - ROOF DRAIN	WALLS	5.0 psi -
EJ - EXPANSION JOINT	REINF - REINFORCING / REINFORCEMENT	ZONE 4 -16.5 psf -	-12.7 psf
EL - ELEVATION	REQ'D - REQUIRED	ZONE 5 -20,3 psf -	
ELEV - ELEVATOR			'
ENG - ENGINEER	SCHED - SCHEDULE	SEISMIC LOAD INFORMATION	
EQ - EQUAL	SIM - SIMILAR	SEISMIC USE GROUP - OCCUPANCY CATEGORY	
EW - EACH WAY	SHT - SHEET	SEISMIC LOAD IMPORTANCE FACTOR - le	1.00
E-W - EAST-WEST DIRECTION	SPA - SPACE / SPACES	SEISMIC SITE CLASS	D
EXIST - EXISTING	SPEC - SPECIFICATION	MAPPED SPECTRAL RESPONSE ACCELERATION - Ss	0.1170
EXP - EXPANSION	SQ - SQUARE	MAPPED SPECTRAL RESPONSE ACCELERATION - S1	0.0470
EXT - EXTERIOR	SS - STAINLESS STEEL	SPECTRAL RESPONSE COEFFICIENT - Sds	0.125
ED ELOOD DDAIN	STL - STEEL STR - STRUCTURAL	SPECTRAL RESPONSE COEFFICIENT - Sd1 SEISMIC DESIGN CATEGORY	0.075 B
FD - FLOOR DRAIN FDN - FOUNDATION	STR - STRUCTURAL	BASIC SEISMIC FORCE RESISTING SYSTEM	ь LIGHT FRA
FE - FIRE EXTINGUISHER	THK -THICK	DAGIC SEIGINIC I ONCE RESISTING STOTEIN	w/ SHEAR
FF - FINISH FLOOR	TL - TOP OF LEDGE ELEVATION	RESPONSE MODIFICATION FACTOR	2
FT - FLOOR TRUSS	TP - TOP OF PIER ELEVATION	SEISMIC RESPONSE COEFFICIENT - Cs	0.062
FTG - FOOTING	TS - SEE HSS DESIGNATION	DESIGN BASE SHEAR	0.062W
FUT - FUTURE	TYP - TYPICAL	ANALYSIS PROCEDURE	EQUIVALE
FV - FIELD VERIFY	TW - TOP OF WALL ELVATION		FORCE
GA - GAUGE	UD - URINAL SLAB DEPRESSION		
GALV - GALVANIZED	UNO - UNLESS NOTED OTHERWISE		
GC - GENERAL CONTRACTOR	VEDT VEDTICAL	DESIGN PROPERTIES	
GL - GRID LINE/COLUMN LINE	VERT - VERTICAL		
	VIF - VERIFY IN FIELD	REINFORCING STEEL STRENGTHS	
HC - HVAC CONTRACTOR HK - HOOK	W - WIDTH	BARS - ASTM A615, GRADE 60	Fy = 60,00
HM HOLLOW METAL	W/ WITH	WWF - ASTM A165	Fy = 65,00

REINFORCING NOTES

HSS - HOLLOW STRUCTURAL SECTION

HVAC - HEATING, VENTILATING, &

AIR CONDITIONING

(REPLACES "TS" DESIGNATION)

HM - HOLLOW METAL

HORIZ - HORIZONTAL

HP - HIGH POINT

HT - HEIGHT

1. REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 (CURRENT EDITION). 2. ALL LAPS SHALL BE CLASS 'B' PER ACI 318 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, CUNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTH: FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 INCHES DEEP																				
UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTH:	1.	REIN	FORC	ING S	HALL E	BE DE	TAILEI	O IN A	CCOF	RDAN	CE WI	ITH	P	.CI 315	(CUF	RENT	EDI	ΓΙΟΝ).		
	UNLI	ESS TH	HE DE	TAILE	R TAK	ES SF	PECIAL	. CAR	E TO	PROV	IDE S	TAG	GERE	D LAP	s. Us	E TOF	BAR	LAPI	ENGT	HS

W/O - WITHOUT

WP - WORKING POINT

WF - WIDE FLANGE DESIGNATION

WSBW - WOOD STUD BEARING WALL

WWF - WELDED WIRE FABRIC

WD - WOOD

W/ - WITH

3. LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.

4. CORNER BARS WITH CLASS 'B' PER ACI 318 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS PER DETAIL 1/S2.1.

6. WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 315.

5. HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER, SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OR WALL.

7. PROVIDE MINIMUM COVER PER ACI 318, 7.7.1.

8. PROVIDE REINFORCING AT CONCRETE OPENINGS PER DETAIL 2/S2.1.

9. PROVIDE TYPICAL VERTICAL WALL JOINTS PER DETAIL 3/S2.1.

10. PROVIDE ISOLATION BOARD WHERE SLABS ABUT VERTICAL SURFACES PER DETAIL 4/S2.1

11. PROVIDE FOOTING STEPS PER DETAIL 5/S2.1.

MILD REINFORCING STEEL MINIMUM CLEAR COVER

12. PROVIDE SLAB ON GRADE CONSTRUCTION AND CONTROL JOINTS PER DETAILS 6 & 7/S2.1.

FOOTINGS	3" MIN
CONCRETE EXPOSED TO EARTH OR WEATHER	
WALLS, COLUMNS, & BEAMS	
BARS UP TO #5	1½" MIN
#6 BARS AND UP	2" MIN
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	
WALLS	
BARS UP TO #11	¾" MIN
#14 BARS AND UP	1½" MIN
ELEVATED SLABS	
TOP BARS	¾" MIN
BOTTOM BARS	1" MIN
BEAMS	
ALL BARS	1½" MIN
COLUMNS	, ,
COLOWING	

DESIGN CRITERIA

DESIGN LOADS			
LIVE LOAD INFORMATION			
CORRIDOR			100 psf
DECK - RESIDENTIAL			40 psf
MECHANICAL			125 psf
PUBLIC AREA			100 psf
STAIR			100 psf
STORAGE			125 psf
SNOW LOAD INFORMATION			
GROUND SNOW LOAD - Pg			30.0 psf
SNOW EXPOSURE FACTOR - Ce			1.00
SNOW LOAD IMPORTANCE FACTOR - Is			1.00
THERMAL FACTOR - Ct			1,10
FLAT ROOF SNOW LOAD - Pf			25.0 psf
DRIFT LOAD			SEE SNOW DRIFT
BINI 1 EGINS			DIAGRAM ON UPPE
			ROOF PLAN
			ROOFFLAN
SOIL LOAD INFORMATION	- O-		2 000 (ACCUMED
ALLOWABLE NET SOIL BEARING PRESSURI	E - Qa		2,000 psf (ASSUMED
WIND LOAD INFORMATION			
BASIC WIND SPEED			115 mph
BUILDING CODE OCCUPANCY CATEGORY			R
WIND LOAD IMPORTANCE FACTOR - Iw			1.00
WIND EXPOSURE			В
INTERNAL PRESSURE COEFFICIENTS			±0.18
COMPONENTS AND CLADDING WIND PRES	SURES		
WIDTH OF PRESSURE COEFFICIEN	T ZONE - a		17.1 ft
TRIBUTARY WIND LOAD AREAS	10 SF	100 SF	500 SF
ROOF			
NEGATIVE ZONE 1	-16.6 psf	-15.2 psf	-
NEGATIVE ZONE 2	-27.9 psf	-18.0 psf	-
NEGATIVE ZONE 3	-27.9 psf	-18.0 psf	-
POSITIVE ALL ZONES	10.0 psf	10.0 psf	-
WALLS			
ZONE 4	-16.5 psf	-	-12.7 psf
ZONE 5	-20.3 psf	-	-12.7 psf
SEISMIC LOAD INFORMATION			
SEISMIC USE GROUP - OCCUPANCY CATEO	GORY		II
SEISMIC LOAD IMPORTANCE FACTOR - le			1.00
SEISMIC SITE CLASS			D
MAPPED SPECTRAL RESPONSE ACCELERA	ATION - Ss		0.1170
MAPPED SPECTRAL RESPONSE ACCELERA			0.0470
SPECTRAL RESPONSE COEFFICIENT - Sds			0.125
SPECTRAL RESPONSE COEFFICIENT - Sd1			0.075
SEISMIC DESIGN CATEGORY			В
BASIC SEISMIC FORCE RESISTING SYSTEM	1		LIGHT FRAME WALL
			w/ SHEAR PANELS
RESPONSE MODIFICATION FACTOR			2
SEISMIC RESPONSE COEFFICIENT - Cs			0.062
DESIGN BASE SHEAR			0.062W
ANALYSIS PROCEDURE			EQUIVALENT LATER
			FORCE

WWF - ASTM A165	Fy = 65,000 psi
BOLT STRENGTHS ANCHOR BOLTS - ASTM A307 OR A36 HIGH STRENGTH BOLTS - ASTM A325N	
EXPANSION BOLTS - WEDGE TYPE	
CAST-IN-PLACE CONCRETE STRENGTHS	
FOOTINGS	f'c = 3,000 psi
WALLS	f'c = 4,000 psi
SLAB ON GRADE	f'c = 4,000 psi
PRECAST CONCRETE TOPPING	f'c = 4,000 psi
SITE PAVEMENT - CURBS	fc = 3,000 psi
STRUCTURAL STEEL STRENGTHS	
WF SHAPES - ASTM A992	Fy = 50,000 psi
C SHAPES, L SHAPES, PLATES, & BARS- ASTM A36	Fy = 36,000 psi
TS OR HSS SHAPES - ASTM A500, GRADE B	Fy = 46,000 psi
CONCRETE MASONRY STRENGTHS	
CMU - ASTM C90, GRADE N	f'm = 1,500 psi
CONCRETE BRICK - ASTM C55, GRADE N	f'm = 2,500 psi
CLAY HOLLOW BRICK - ASTM C652, GRADE SW	f'm = 3,000 psi
MORTAR - ASTM C270	•
TYPE M - BELOW GRADE	fu = 2,500 psi
TYPE S - ABOVE GRADE	fu = 1,800 psi
GROUT - ASTM C476	

Fy = 60,000 psi

fc = 3,000 psi

fc = 3,000 psi

CANADIAN DIMENSIONAL LUMBER STRENGTHS - BASE VALUES 2" TO 4" THICK AND WIDER

BASE VALUES IN psi - TO BE USED WITH ADJUSTMENT FACTORS

BOND BEAMS

WALLS AND PIERS

SPECIES	<u>GRADE</u>	EXT FIBER STRESS IN BENDING	TENSION PARALLEL TO GRAIN	HORIZ SHEAR	COMP ⊥ TO GRAIN	TO		MODULUS OF NELASTICITY
SPRUCE PINE FIR	SEL STR NO 1/NO 2 NO 3 STUD	<u>Fb</u> 1250 875 500 675	Ft 675 425 250 325	Fv 70 70 70 70	Fc [⊥] 425 425 425 425 425	<u>Fc</u> 1400 1100 625 675	1.5	<u>E</u> 1.4 1.2 1.2
DOUGLAS FIR LARCH (N)	SEL STR NO 1/NO 2 NO 3 STUD	1300 825 475 650	800 500 300 375	95 95 95 95	625 625 625 625	1900 1350 775 850	1.9 1.6	1.4 1.4
HEM FIR (N)	SEL STR NO 1/NO 2 NO 3 STUD	1300 1000 575 775	775 550 325 425	75 75 75 75	370 370 370 370	1650 1450 850 925	1.7 1.6	1.4 1.4
NORTHERN SPECIES	SEL STR NO 1/NO 2 NO 3 STUD	950 575 350 450	450 275 150 200	65 65 65	350 350 350 350	1100 825 475 525		1.1 1.1 1.0 1.0

SHEAR WALL SHEATHING ATTACHMENT SCHEDULE

MARK	REQUIRED ATTACHMENT
SW1	1½" 16 GAGE STAPLES @ 6" OC EDGE AND 12" OC FIELD
SW2	1½" 16 GAGE STAPLES @ 4" OC EDGE AND 12" OC FIELD

HEADER SCHEDULE

MARK	TYPE	SHOULDER	STUDS, UNO	REMARKS
IVIARN	ITPE	BASEMENT	1st	REIVIARNO
H1	SPF NO 1/NO2 2- 2x8	2	1	
H2	2- 91⁄4" LVL	3	2	
НЗ	2- 11⅓" LVL	3	2	
H4	3- 11⅓" LVL	3	2	

MODIFIED ACCORDING TO 1/S3.0.

5. HEADERS DENOTED AS 'HX-R' TO BE RECESSED (I.E., TOP OF HEADER @ UNDERSIDE OF SHEATHING). 6. MINIMUM REQUIRED LVL BENDING STRESS TO BE 2400 psi.

8. WALL OPENINGS SHOWN WITHOUT HEADERS ARE CONSIDERED NON-BEARING WALLS. MINIMUM 2-2x6 HEADER REQUIRED w/ 1- SHOULDER STUD EA SIDE. 9. PROVIDE FULL HEIGHT SPF KING STUDS ADJACENT TO EACH HEADER LOCATION ACCORDING TO THE

> OPENINGS ≤ 6'-0" 6'-0" < OPENING ≤ 10'-0" 2 KING STUDS

10. REFER TO ARCHITECTURAL DOOR SCHEDULE SHEET FOR DOOR AND FRAME HEIGHTS AT HEADERED OPENINGS. REFER TO ARCHITECTURAL WINDOW TYPES SHEETS FOR WINDOW HEIGHTS AT HEADERED OPENINGS. NOTE THAT SOME EXTERIOR WALL OPENINGS ARE HIGHER THAN TYPICAL AND TOP OF HEADER HEIGHTS WILL CREATE TRUSS BEARING HEIGHTS HIGHER THAN THE BOTTOM CHORD.

LOCATION	TYI	PE	DEMARKS
LOCATION	BASEMENT	1st	REMARKS
EXTERIOR WALLS	-	SPF NO1/NO2 2x6 @ 12" OC	
DEMISING WALLS (NON-BRG LOCATIONS)	SPF STUD GR 2x @ 24" OC	SPF STUD GR 2x @ 24" OC	SEE ARCH FOR WALL SIZES & LOCATIONS
1	SPF NO1/NO2 2x6 @ 12" OC	SPF NO1/NO2 2x6 @ 12" OC	
2	SPF NO1/NO2 2x6 @ 16" OC	SPF NO1/NO2 2x6 @ 16" OC	

2. ALL PLATES IN CONTACT WITH CAST-IN-PLACE CONCRETE OR CMU TO BE PRESSURE TREATED. 3. BOTTOM PLATES & DOUBLE TOP PLATES TO BE SPF MATERIAL - MINIMUM BENDING STRESS TO BE 2,325 psi. 4. ALL STUD WIDTHS NOTED ARE MINIMUM. CONTRACTOR CAN UPSIZE FRAMING MEMBERS & KEEP SAME STUD SPACING AS NOTED IF REQUIRED. COORDINATE w/ ARCH PRIOR TO INSTALLATION.

MARK	REQUIRED ATTACHMENT
SW1	1½" 16 GAGE STAPLES @ 6" OC EDGE AND 12" OC FIELD
SW2	1½" 16 GAGE STAPLES @ 4" OC EDGE AND 12" OC FIELD

MARK	TYPE	SHOULDER	STUDS, UNO	REMARKS
WARK	ITFE	BASEMENT	1st	REWARKS
H1	SPF NO 1/NO2 2- 2x8	2	1	
H2	2- 91⁄4" LVL	3	2	
НЗ	2- 11½" LVL	3	2	
H4	3- 11½" LVL	3	2	

1. WHERE HEADER PLIES ARE LESS THAN THE CORRESPONDING WALL WIDTH, THE HEADER SHALL BE

2. SEE DETAIL 2/S3.0 FOR MULTI-PLY CONNECTION ASSEMBLIES. 3. SEE DETAIL 5/S3.0 FOR TYPICAL HEADER FRAMING ELEVATION.

4. SEE SHEET S0.1 FOR WOOD DESIGN PROPERTIES & MINIMUM STRESS REQUIREMENTS.

7. SHOULDER STUDS TO BE OF SAME SPECIES AND GRADE AS BEARING WALLS, UNO. FOLLOWING:

10'-0" < OPENING ≤ 16'-0"

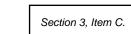
WOOD STUD BEARING WALL SCHEDULE

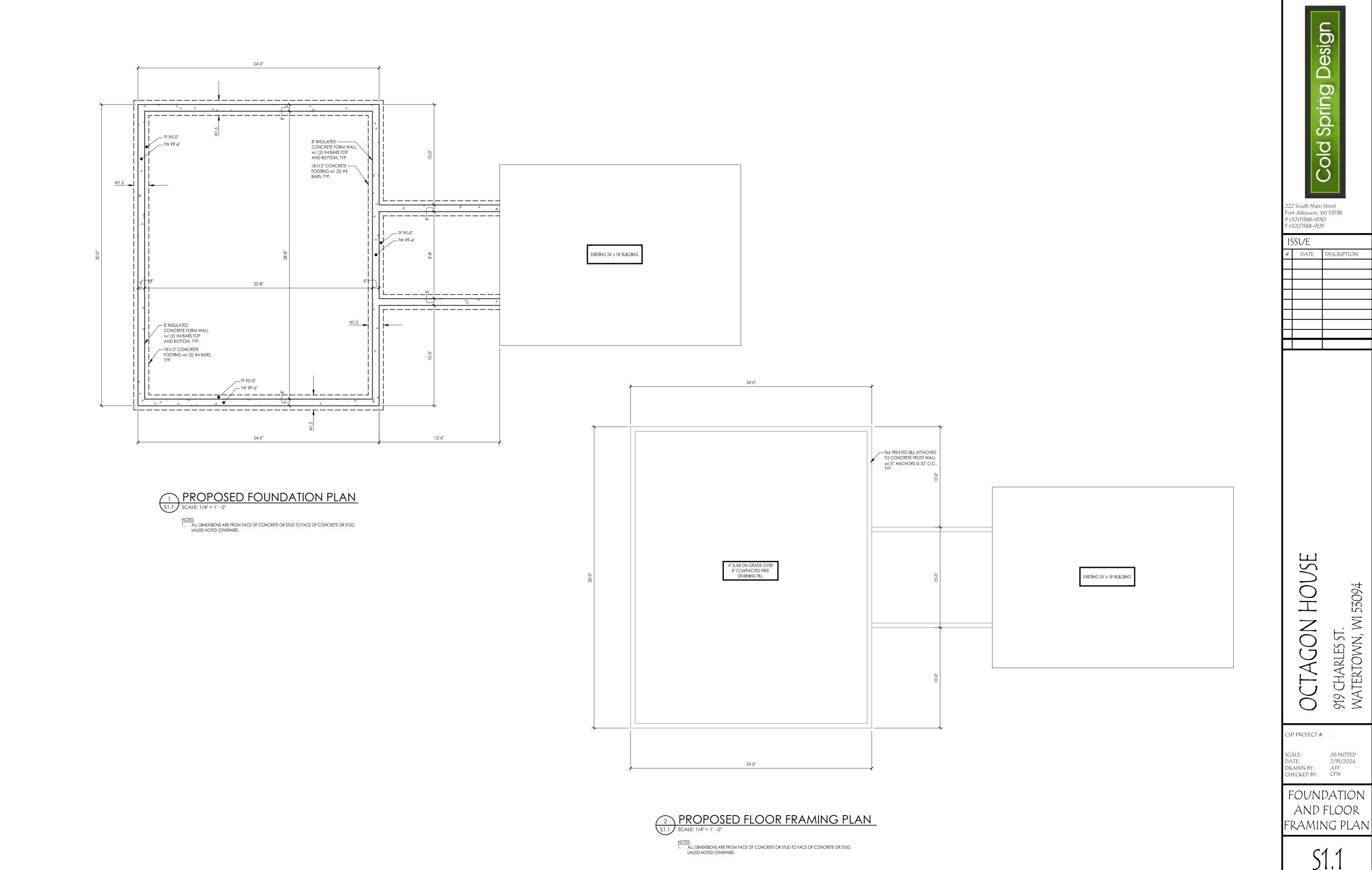
WOOD STUD BEARING WALL SCHEDULE NOTES 5. CORING OF STUD BEARING WALLS IS NOT PERMITTED. IF NECESSARY, CONTACT ENGR FOR FURTHER BRACING INFORMATION.

> HOUSI CON 919

CSD PROJECT#:

AS NOTED 7/31/2024 ATF DRAWN BY: CHECKED BY: CFN







222 South Main Street Fort Atkinson, WI 53538 P (920)568-9530 F (920)568-9531

DATE DESCRIPTION

OCTAGON HOUSE

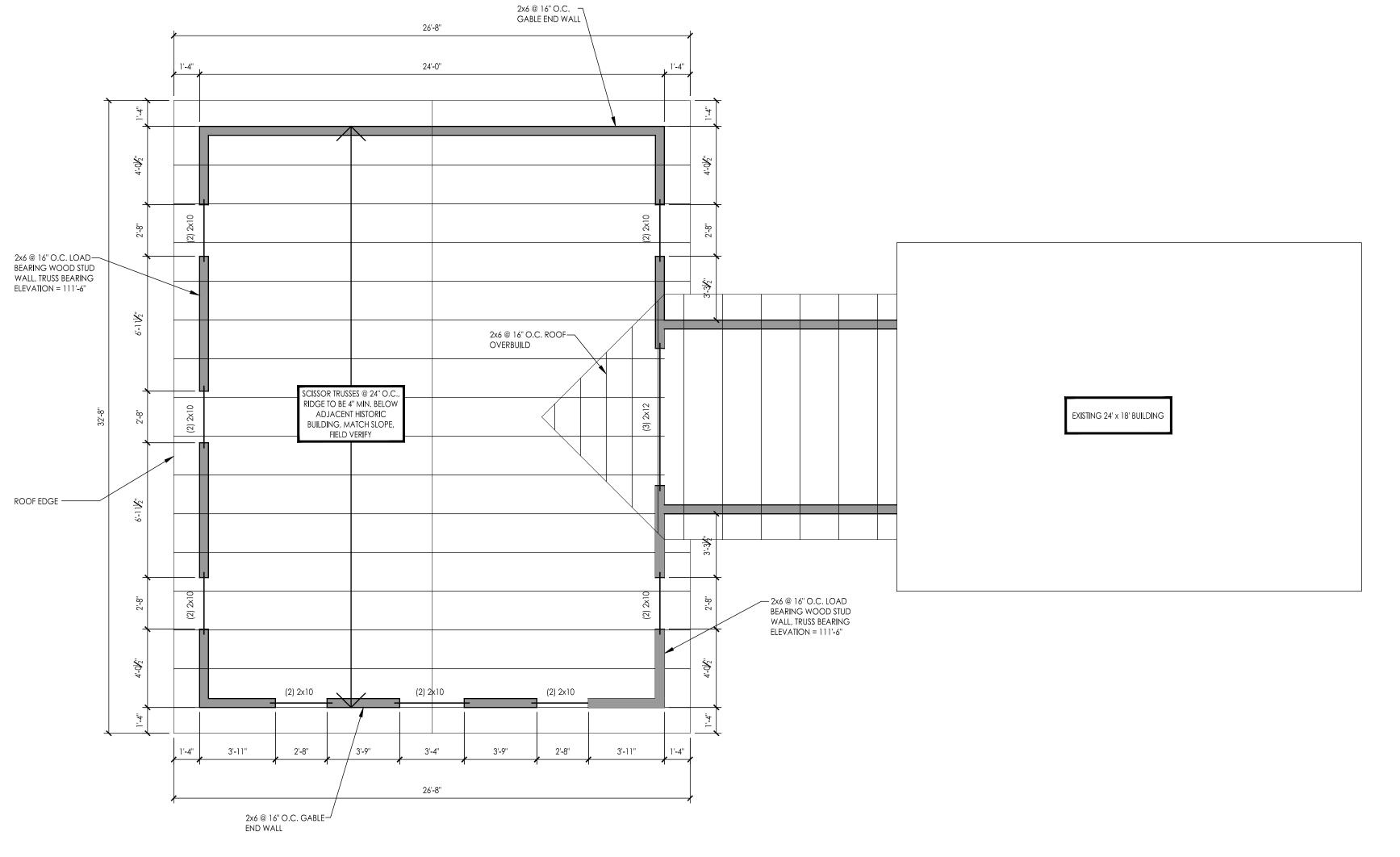
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

ROOF FRAMING PLAN

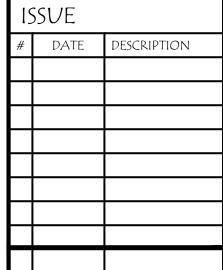
\$1.2



PROPOSED ROOF FRAMING PLAN St. 2 SCALE: 1/4" = 1' - 0"

NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.



AGON HOUSE 919 CHARLES ST. WATERTOWN, WI 53094

CATEGORY 6, CLASS B, TOP BAR LAP

1- ADDITIONAL

-CONSTRUCTION

JOINT @ CONTRACTOR'S OPTION

REINFORCING @ CONC WALL CORNERS

VERTICAL

1- ADDITIONAL ---

4. CATEGORY 6 REFERS TO CATEGORIES FOR USE IN DETERMINING DEVELOPMENT AND SPLICE LENGTHS IN THE CURRENT CRSI HANDBOOK.

S2.1 SCALE: NTS

VERTICAL

CSD PROJECT #:

CATEGORY 6, CLASS B,

TOP BAR LAP

VERTICAL

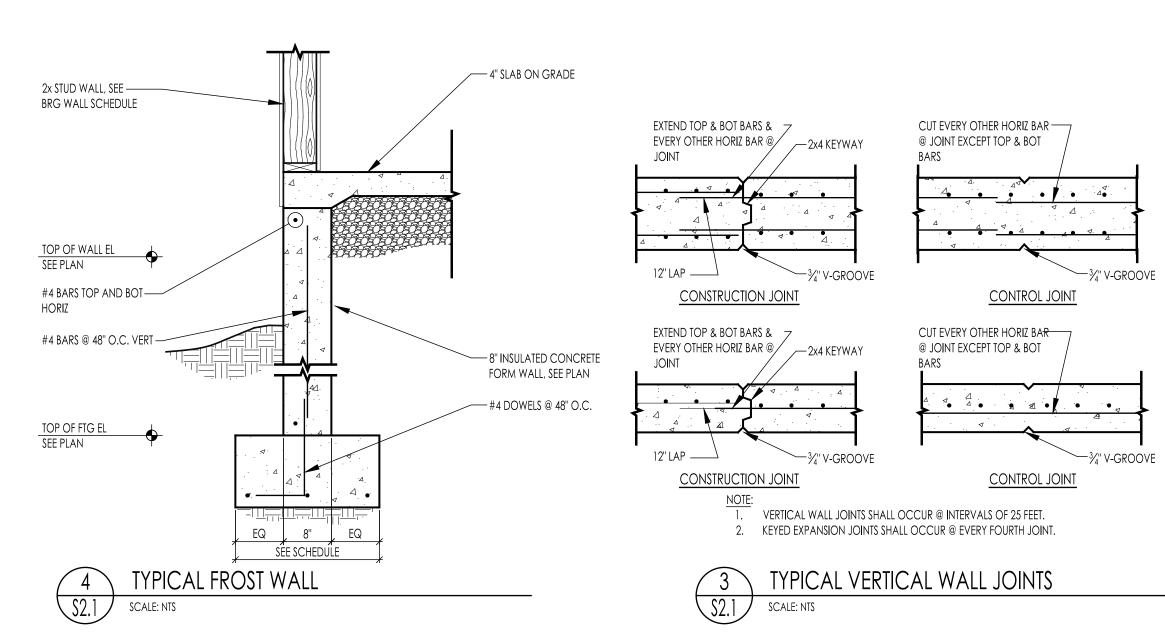
-CONSTRUCTION JOINT @ CONTRACTOR'S OPTION

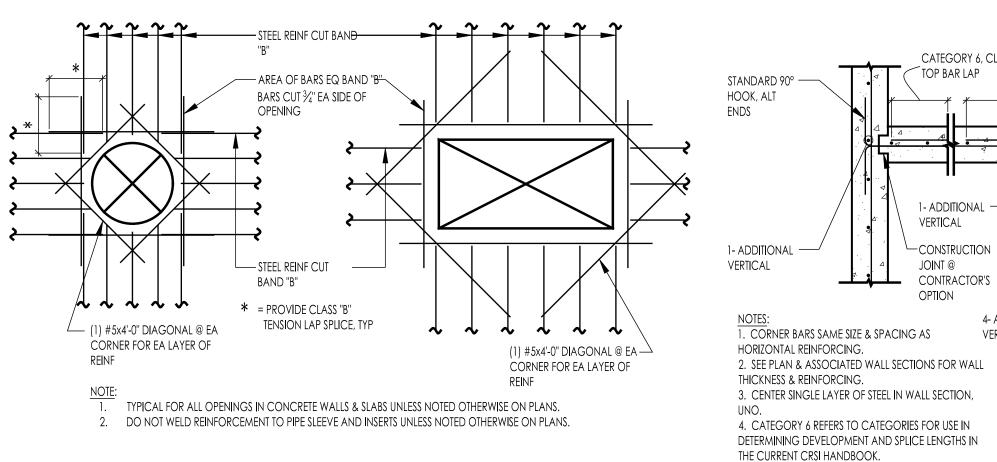
STANDARD 90° —/ HOOK, TYP

AS NOTED 7/31/2024 DRAWN BY: ATF CHECKED BY: CFN

FOUNDATION

DETAILS





REINFORCING @ CONCRETE OPENINGS S2.1 SCALE: NTS

Fort Atkinson, WI 53538 P (920)568-9530 F (920)568-9531

15	SSUE	
#	DATE	DESCRIPTION

GON HOUSE

CSD PROJECT#:

CHECKED BY: CFN

DRAWN BY:

919 CHARLES ST. WATERTOWN, WI 53094

AS NOTED

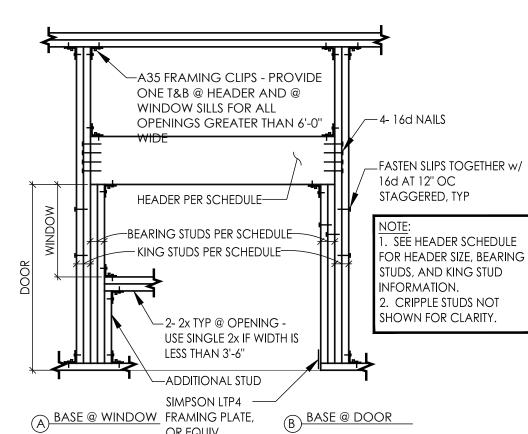
7/31/2024

ATF

WOOD

FRAMING

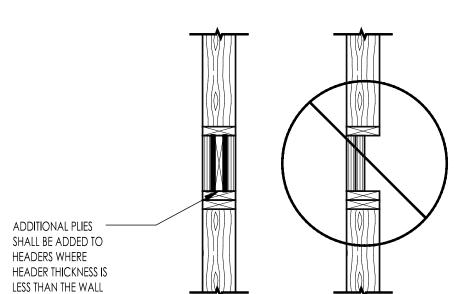
DETAILS



TYP ELEVATION DETAIL @ OPENING IN WOOD FRAMED WALL

SCALE: NTS

WIDTH



NOTES:
ACCEPTABLE MODIFICATIONS TO ACHIEVE REQUIRED HEADER THICKNESS INCLUDE THE ADDITION OF LVL, 2x DIMENSIONAL LUMBER, AND OR PLYWOOD OF MATCHING (OR BETTER) GRADE & SPECIES OF THE CORRESPONDING HEADER AND WALL STUDS.

HEADER FRAMING DETAIL SCALE: NTS

COMPRESSION WEBS BEFORE & AFTER BUCKLING - CONTINUOUS LATERAL BRACING MAINTAINS SPACING, BUT PERMITS LATERAL BUCKLING OF ALL WEB MEMBERS @ THE SAME TIME - BEARING FOR ALL TRUSSES FIGURE 1(b) BRACING DETAILS \$3.1 SCALE: NTS DE d/3 MAX MIN BRG E MIN BRG STANDARD NAIL SIZES INCLUDE 16d ($3\frac{1}{2}$ ") nails for $1\frac{3}{4}$ " LVL & 10d (3") nails for 2x dimensional

FIGURE 1(a)

- CONTINUOUS LATERAL

OF TRUSS DESIGN).

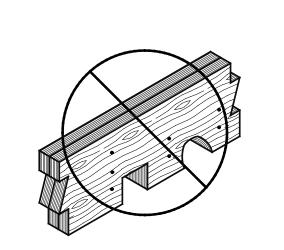
1(b) & 1(c)

— DIAGONAL BRACING

- SHEATHING

LUMBER

BRACING AS REQUIRED (PART



DO NOT CUT, NOTCH OR DRILL HOLES IN MICROLLAM LVL EXCEPT AS INDICATED IN TABLE BELOW AND ILLUSTRATION ABOVE.

BEAM DEPTH	MAXIMUM ROUND HOLE SIZE
51/2"	13⁄4"
7½" TO 18"	2"

	7½" TO 18"	
ALLOWABLE		
LVL MODIFICATION	ON DETAIL	

2xDIAMETER OF THE LARGEST HOLE (MIN)

ALLOWED HOLE ZONE

THE ALLOWED HOLE ZONE IS SUITABLE ONLY FOR UNIFORMLY LOADED BEAMS USING MAXIMUM

CONFIGURATIONS, PLEASE CONTACT YOUR TRUSS JOIST REPRESENTATIVE.

4. IF LARGER HOLES ARE REQUIRED, CONTACT STRUCTURAL ENGINEER FOR EVALUATION.

LOADS FOR ANY TABLES LISTED IN THIS BROCHURE. FOR OTHER LOAD CONDITIONS OR HOLE

ALLOWED HOLE ZONE

1/3 SPAN

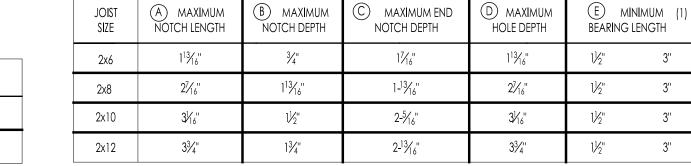
SCALE: NTS

1/3 DEPTH 1/3 DEPTH

1/3 SPAN

RECTANGULAR HOLES ARE NOT ALLOWED.

HOLES IN CANTILEVERS REQUIRE ADDITIONAL ANALYSIS.



* NOTE: IF b $\ge 3\frac{1}{2}$ ", THEN NO NOTCHES ON TENSION SIDE EXCEPT AT ENDS (b = MEMBER THICKNESS).

1. MINIMUM BEARING: 1-1/2" ON WOOD OR STEEL: 3" BEARING ON MASONRY.





NOTES:
BOLTED CONNECTIONS SHALL BE ASTM GRADE A307 (OR BETTER) $\frac{1}{2}$

BOLTS @ 24" OC WITH WASHERS ON BOTH FACES, UNO

2 ROWS OF NAILS ARE ——

REQUIRED FOR DEPTHS UP TO

12", USE 3 ROWS FOR DEPTHS

UP TO 18" - ALL ROWS SHALL

BE STAGGERED UNO

- SHEATHING

BRACING

- SHEATHING

OR VERTICAL

FIGURE 1(c)

FIGURE 1(d)

- ANCHORAGE (BY BUILDING

DESIGNER) INTO SOLID END WALL - RESTRAINS LATERAL BRACING, THEREBY

PREVENTING WEB BUCKLING.

- COMPRESSION WEB - SLOPING

- CONTINUOUS LATERAL BRACE

- DIAGONAL BRACE NAILED TO

OPPOSITE SIDE OF WEB -

MOVEMENT & SHOULD BE

REPEATED @ APPROXIMATELY

2 PLIES

3 PLIES

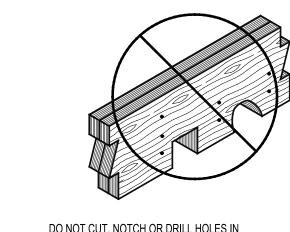
4 PLIES

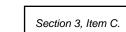
PREVENTS LATERAL

20'-0" INTERVALS.

- CEILING

- CONTINUOUS LATERAL





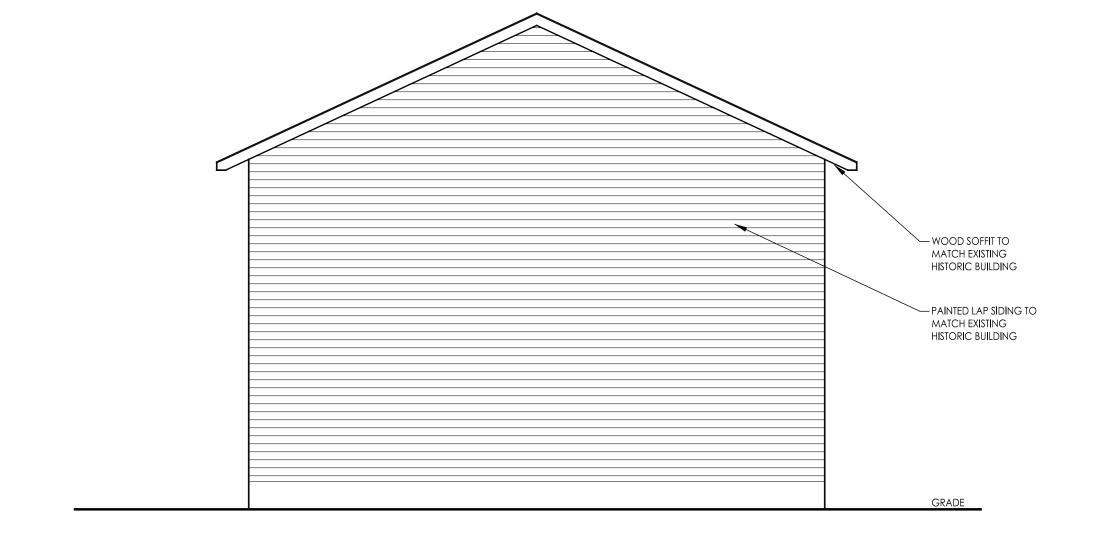


PROPOSED WEST ELEVATION

SCALE: 1/4" = 1' - 0"

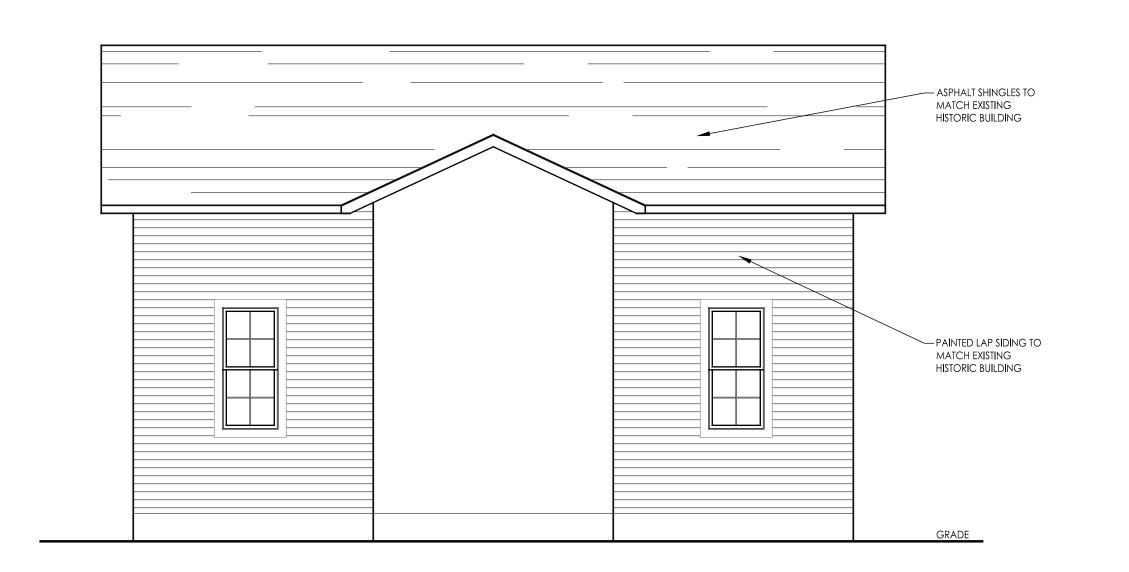
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1' - 0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"

222 South Main Street Fort Atkinson, WI 53538 P (920)568-9530 F (920)568-9531 ISSUE

DATE DESCRIPTION

OCTAGON HOUSE

919 CHARLES ST. WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

EXTERIOR ELEVATIONS



Fort Atkinson, WI 53538 P (920)568-9530 F (920)568-9531

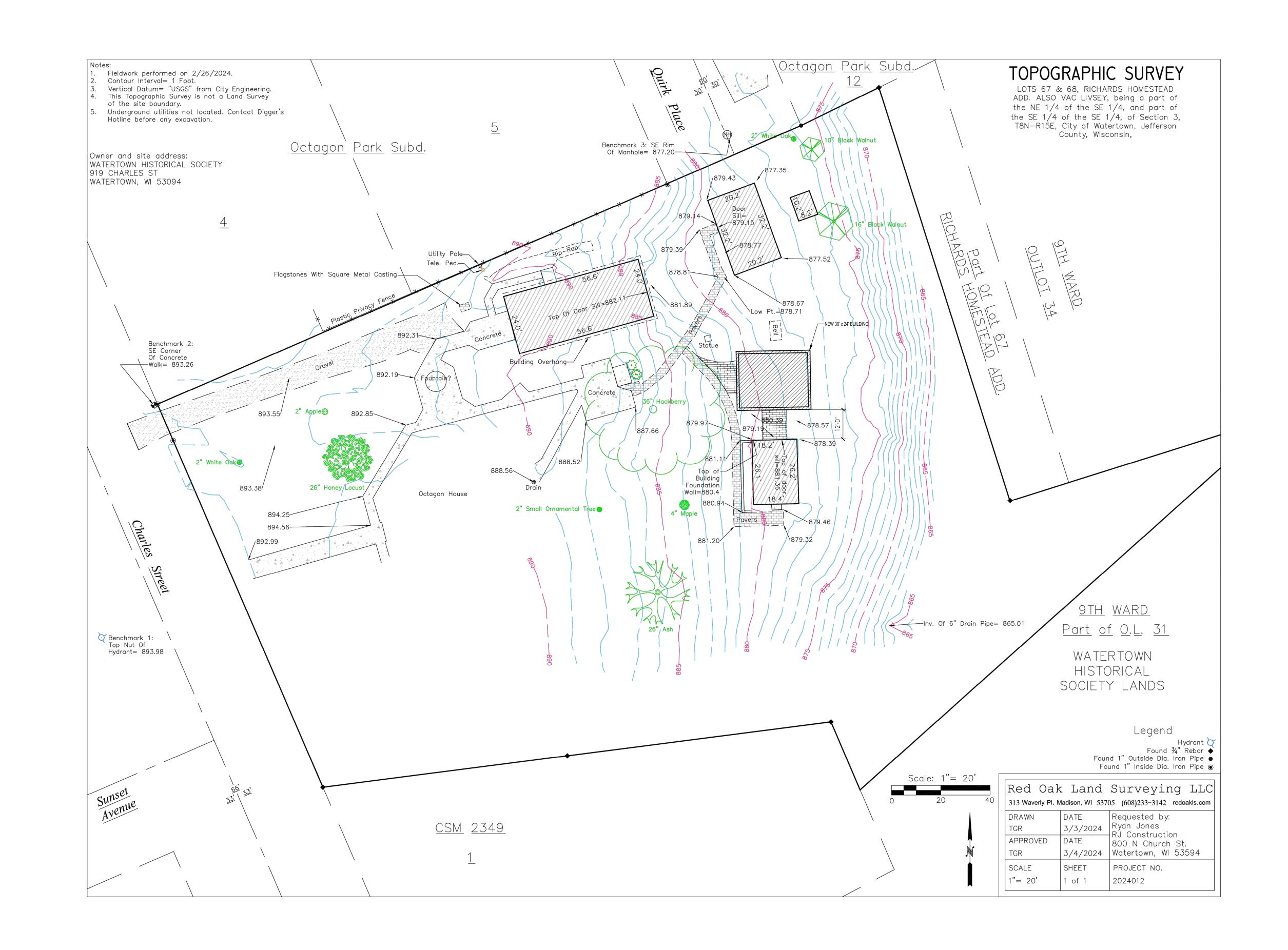
DATE DESCRIPTION

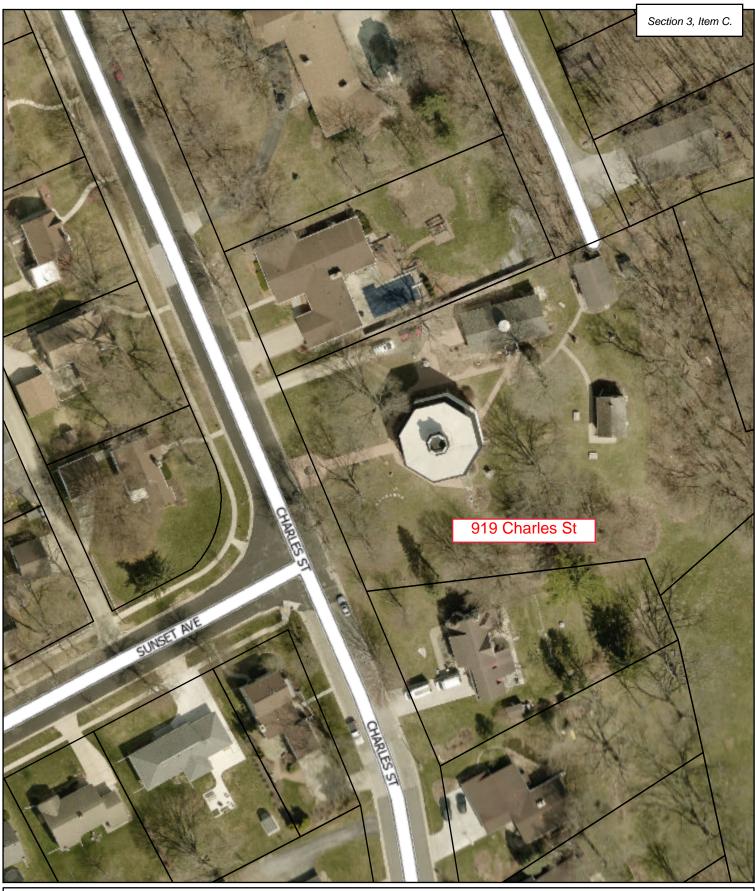
OCTAGON HOUSE 919 CHARLES ST. WATERTOWN, WI 53094

CSD PROJECT#: .

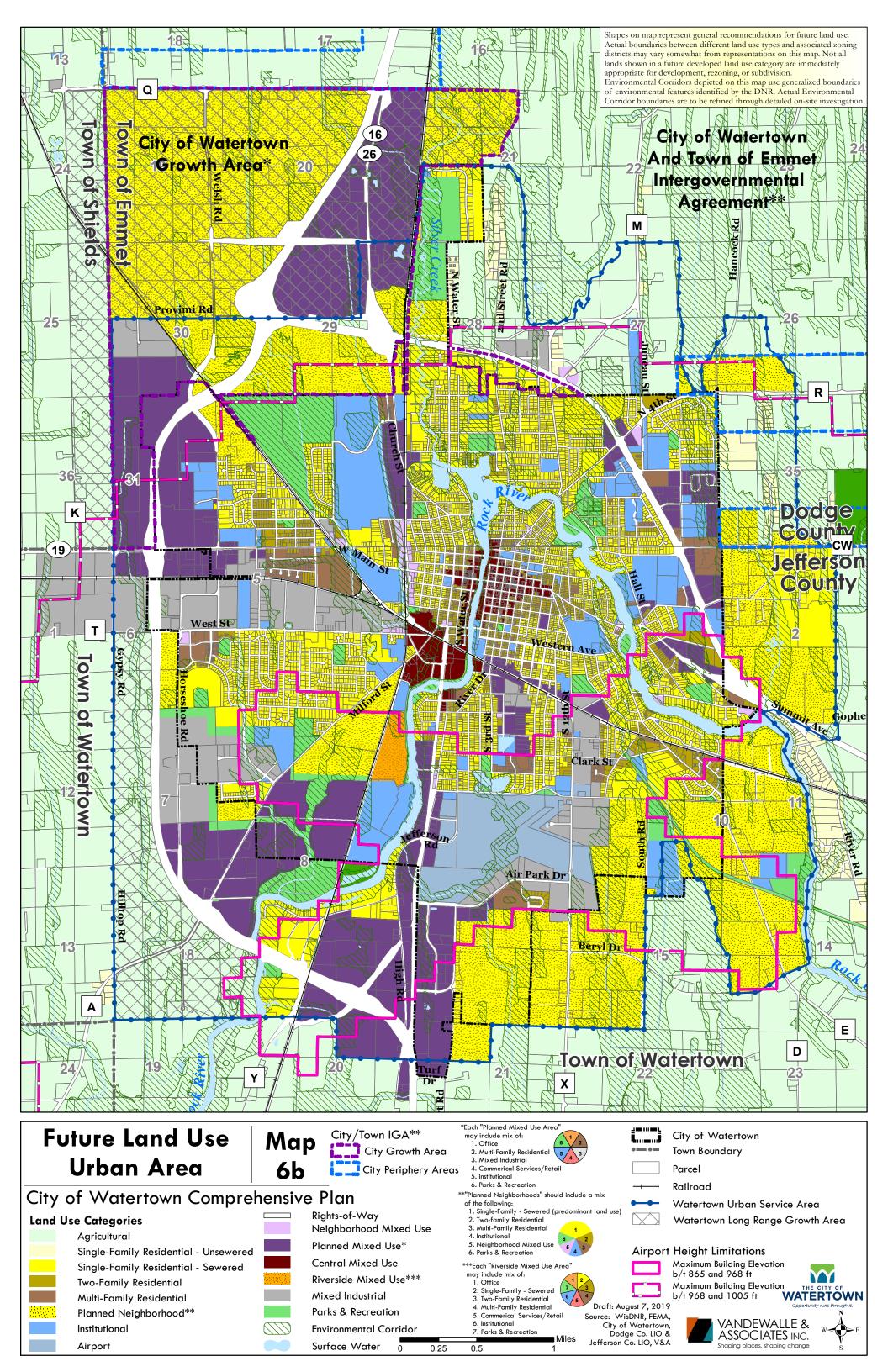
SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

SITE PLAN











BUILDING, SAFETY & ZONING DEPARTMENT

Section 3. Item D.

Main Office 920-262-4060 Brian Zirbes 920-262-4041 Mark Hady 920-342-0986

Nikki Zimmerman 920-262-4045

Dell Zwieg 920-262-4042

Doug Zwieg 920-262-4062 Dennis Quest 920-262-4061

TO: Plan Commission DATE: September 9th, 2024

SUBJECT: Initial Review and Schedule Public Hearing – Text Amendments to Chapter 550 Zoning

A request for text amendments to the City of Watertown Zoning Code - Chapter 550.

BACKGROUND DESCRIPTION:

Amendment #1:

The zoning code allows institutional land uses (churches, schools, assisted living, etc.) to be located within <u>residential</u> zoning districts. These institutional buildings are largely commercial in nature despite being located in <u>residential</u> zoning districts. Because these institutional land uses are located in residential and not commercial zoning districts, these institutional uses (churches, schools, assisted living, etc.) are not currently required to meet the same exterior storage requirements as similar commercial buildings located in commercial zoning districts. These exterior storage requirements include the need to obtain a conditional use permit when establishing or relocating a dumpster enclosure or a parking area on a parcel. The conditional use permit process allows for neighbors to be notified of the pending change and have an opportunity to provide input regarding the change. This text amendment will require that institutional land uses listed under § 550-51 and located in residential zoning districts abide by the same requirements for exterior storage as required in office and commercial zoning districts.

Amendment #2:

The zoning code sets requirements for exterior storage in <u>non-residential</u> zoning districts. The current <u>non-residential</u> exterior storage standards state that all storage in office, commercial, and industrial zoning districts must be conducted within a completely enclosed building. This requirement is in conflict with the permitted and conditional uses within the industrial zoning districts that allow for other types of exterior storage. In addition, the current <u>non-residential</u> exterior storage requirements contain confusing language as to the types of outdoor storage that require conditional use permit approval under this section. This text amendment clarifies that in industrial zoning districts, exterior storage must follow the requirements of the industrial zoning districts for the permitted and conditional uses within the districts and that storage in all office and commercial zoning districts must be conducted within an enclosed building. In addition, this text amendment clarifies the circumstances when certain outdoor storage uses (establishing/relocating a dumpster enclosure or a parking area) can be approved via a conditional use permit in all non-residential zoning districts (office, commercial, & industrial).

Amendment #3:

The zoning code requires that institutional land uses (churches, schools, assisted living, etc.) abide by the sign regulations for the zoning district in which the structure is located. Because institutional land uses can be located within residential zoning districts, these largely commercial structures (churches, schools, assisted living, etc.) can be significantly limited in the type, size, and placement of signage. For example, the maximum sign area for a monument sign in the Single-Family Residential (SR-4) Zoning District is 2 square feet per sign. In contrast, the maximum sign area for a monument sign in the General Business (GB) Zoning District is 100 square feet per sign. This text amendment would allow institutional land uses listed under § 550-51 and located within a residential zoning district to follow the sign regulations for the General Business (GB) zoning district.

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Opportunity Runs Through It

Amendment #4: Section 3, Item D.

The zoning code contains a section providing regulations for 'detached residential garage, carport, utility shed, play structure, or lawn ornament' accessory land uses. This section contains confusing language that is often misinterpreted. This text amendment renames and rewrites this section of the zoning code to add clarity and to simplify the regulations for residential accessory structures. This text amendment also provides clarity regarding when a conditional use permit can be used to exceed the standards set in this section.

Amendment #5:

Current zoning code provides a description of the 'Convenient Cash Business' land use that includes a listing of the three zoning districts where these uses are conditionally allowed. However, the three zoning districts themselves do not list 'Convenient Cash Business' as conditional uses within each district's listing of conditional uses. This text amendment corrects this oversight and adds 'Convenient Cash Business' as a conditional use in the Planned Business (PB), General Business (GB), and Central Business (CB) zoning districts.

Amendment #6:

Current zoning code provides drainage standards that include the requirement that all parking lots 4,000 sq ft or larger must have inlets connected to the municipal storm sewer system. This requirement is not always desirable because some portions of the municipal storm sewer system do not have the capacity to accept storm water from private parking lots. This text amendment offers other stormwater management systems as an option to handling stormwater from private parking lots.

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment #1 - § 550-109B

§ 550-109B Requirements for exterior storage in residential zoning districts. (Proposed Addition)

(6) Institutional Land Uses in Residential Zoning Districts. In residential zoning districts that contain Institutional Land Uses as specified in § 550-51, exterior storage shall abide by the requirements for exterior storage in office and commercial zoning districts as specified in § 550-109D.

Amendment #2 - § 550-109D

- § 550-109D Requirements for exterior storage in nonresidential districts (Proposed Additions and Deletions)
- D. Requirements for exterior storage in nonresidential zoning districts.
 - (1) In all office, and commercial-and industrial zoning districts (see § 550-17 for a listing of these districts), all materials, equipment, and trailers shall be stored within a completely enclosed building, except as specified in § 550-109D(2). In all industrial zoning districts, outdoor storage shall conform to the regulations of the zoning district, except as specified in § 550-109D(2). except for the following, which shall not be located within any front yard or required street yard (except for vehicles and/or trailers in designated parking spaces) and shall be stored a minimum of five feet from any and all property lines: screened refuse containers; construction materials, landscape materials and related equipment associated with on site construction; and off-street parking. Such exterior storage shall require a conditional use permit per § 550-142.
 - (2) In all office, commercial, and industrial zoning districts the following outside storage is subject to a conditional use permit approval per § 550-142. The following items shall not be located within any front yard or street side yard (except for vehicles and/or trailers in designated parking spaces).

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- a) Establishment or relocation of screened refuse containers not part of an approved si
- b) Establishment or relocation of off-street parking not part of an approved site plan.

Amendment #3 - § 550-132

§ 550-132 Permitted Sign Rules (Proposed Addition)

- D. Signs for Institutional Land Uses in Residential Zoning Districts.
 - (1) In residential zoning districts that contain Institutional Land Uses as specified in § 550-51, such uses shall abide by the permitted sign rules for the General Business (GB) Zoning District as specified in Table 550-132A.

Amendment #4 - § 550-56C

- § 550-56C Detached residential garage, carport, utility shed, play structure, or lawn ornament. (Proposed Additions and Deletions)
- C. Detached residential garage, carport, utility shed, play structure, or lawn ornament. Residential Accessory Structure. Description: Attached or detached residential garages and carports; freestanding utility sheds, gazabos, and pergolas; children's play structures; or similar structures.

For the purposes of this section, a private residential garage, carport, or utility shed is a structure which primarily accommodates the sheltered parking of a passenger vehicle and/or the storage of residential maintenance equipment and/or personal possessions associated with of the subject property and shall count towards the total number of Residential Accessory Structures. Walks, drives, paved terraces and purely decorative garden accessories such as ponds, fountains, statuary, sundials, flagpoles, etc., shall be permitted in setback areas but not closer than three feet to an abutting property line other than a street line. For the purposes of this section, children's play structures, including playhouses or elevated play structures and climbing gyms, shall be considered accessory structures and shall comply with the requirements of this section whether such play structures are placed on a foundation or not. Swing sets, slides and sandboxes are not considered children's play structures for purposes of this section. A building permit is not required for construction of a play structure. Play structures shall not be used for storage or be constructed out of materials that would constitute a nuisance. It may be located on the same lot as a residential unit or units or on a separate lot in conjunction with a residential land use. See § 550-85 for requirements applicable to legal nonconforming garages. Garages, carports and utility sheds in excess of 1,000 square feet of gross floor area, or which exceed 30% coverage of the rear yard area, or which exceed the lot coverage of the principal structure, are not permitted in residential districts except as conditional uses in the RH and ER-1 Districts. (Also, see the first paragraph of this section.) See § 550-85 for requirements applicable to legal nonconforming garages.

For the purposes of this section, gazabos, pergolas, and children's play structures, including playhouses or elevated play structures and climbing gyms, shall count towards the total number of Residential Accessory Structures and shall comply with the requirements of this section whether such structures are placed on a foundation or not. Individual swing sets, slides, and sandboxes are not considered children's play structures or Residential Accessory Structures for purposes of this section. A building permit is not required for construction of gazabos, pergolas, or play structures. A gazabo, pergola, or play structure shall not be used for storage or be constructed out of materials that would constitute a nuisance. A gazabo, pergola, or play structure may be located on the same lot as a residential unit or units or on a separate adjacent lot in conjunction with a residential land use.

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Opportunity Runs Through It

Section 3, Item D.

For the purposes of this section, walks, drives, paved terraces, and purely decorative garden accessories such as ponds, fountains, statuary, sundials, flagpoles, or similar items do not count toward the total number of Residential Accessory Structures and do not require a building permit. Placement of these items is permitted within setback areas but not closer than three feet to an abutting lot line.

For the purposes of this section, deck boxes and similar structures with 32 square feet of gross floor area or less do not count toward the total number of Residential Accessory Structures and do not require a building permit. Placement of deck boxes is permitted within side and rear yard setback areas but not front or street side yard setback areas and not closer than three feet to an abutting lot line. Limit of one deck box or similar structure per residential unit.

(Also, see the first paragraph of this section § 550-56.)

- (1) Regulations.
 - (a) One attached or detached garage and two A total of three (3) Residential Accessory Structures shall be permitted by right.
 - **(b)** A conditional use permit is required for any combination of Residential Accessory Structures that exceeds any of the following:
 - [1] 1,000 square feet of gross floor area.
 - [2] 30% coverage of the rear yard area.
 - [3] The lot coverage of the principal structure.
 - [4] [2] The maximum accessory building coverage of the zoning district.
 - [5] [3] Three (3) Residential Accessory Structures.

Repeal and recreate the following to read as:

- § 550-21C(1)(b) Rural Holding (RH) District
- § 550-22C(1)(b) Countryside Residential (CR-10ac) District
- § 550-23C(1)(b) Exurban Residential-1 (ER-1) District
- § 550-24C(1)(b) Single-Family Residential-4 (SR-4) District
- § 550-25C(1)(b) Two-Family Residential-6 (TR-6) District
- § 550-26C(1)(b) Multifamily Residential-8 (MR-8) District
- § 550-27C(1)(b) Multifamily Residential-10 (MR-10) District
- § 550-28C(1)(b) Senior Residential (SNR) District
- § 550-29C(1)(b) Neighborhood Office (NO) District
- § 550-30C(1)(b) Planned Office and Institutional (PO) District
- § 550-31C(1)(b) Neighborhood Business (NB) District
- § 550-32C(1)(b) Planned Business (PB) District
- § 550-33C(1)(b) General Business (GB) District

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Opportunity Runs Through It

§ 550-34C(1)(b) Central Business (CB) District

§ 550-35C(1)(b) Planned Industrial (PI) District

§ 550-36C(1)(b) General Industrial (GI) District

§ 550-37C(1)(b) Heavy Industrial (HI) District

(b) Residential accessory structure.

Amendment #5 - § 550-32B(2), § 550-33B(2), and § 550-34B(2)

§ 550-32B(2), § 550-33B(2), and § 550-34B(2) Convenient Cash Business (Proposed Additions)

§ 550-32B(2) Planned Business (PB) District (m) Convenient Cash Business

§ 550-33B(2) General Business (GB) District (q) Convenient Cash Business

§ 550-34B(2) Central Business (CB) District
(I) Convenient Cash Business

Amendment #6 - § 550-120C

§ 550-120C Drainage Standards (Proposed Additions)

C. Standards. No land shall be developed and no use shall be permitted that results in water runoff which causes property damage, a nuisance and/or erosion on adjacent properties. Such runoff shall be properly conveyed to a public storm drain, drainageway or other such public drainage facility per the approval of the Public Works Director/City Engineer. All parking lots 4,000 square feet or larger shall be internally drained with catch basins connected to a municipal storm sewer-or other on-site stormwater management system in accordance with Article III, Stormwater Maintenance, of Ch. 453, Municipal Code.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

- 1. Set the public hearing date for October 1st, 2024.
- 2. Postpone public hearing to a later date or indefinitely.

Section 3, Item D.

§ 550-132. Permitted sign rules.

- A. Signs shall be allowed on private property in the City of Watertown in accordance with Tables 550-132A(1) through 550-132A(4), which addresses permitted signage as it relates to permits, quantity, area, location, lighting, and zoning districts. The requirements set forth in Tables 550-132A(1) through 550-132A(4) shall be declared to be part of this chapter. Figure 550-132A illustrates the specific sign types. [Amended 8-1-2023 by Ord. No. 23-19; 9-19-2023 by Ord. No. 23-22]
 - (1) The rules for permanent signs are located in Table 550-132A(1).
 - (2) The rules for temporary signs are located in Table 550-132A(2).
 - (3) The rules for permanent miscellaneous signs are located in Table 550-132A(3).
 - (4) The rules for temporary miscellaneous signs are located in Table 550-132A(4).

Table 550-132A(1): Permanent Sign	Group¹						and Height Ma Zoning Distric					
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI				
A. Freestanding Sign Category:*												
1. Monument sign	Sign Permit required for each new sign.	Limit of 1 freestanding sign for every 330 feet of street frontage or 1 sign per each site entrance,	ding 1 square foot setback from maxim or of sign area each property area per 330 for every foot line shall be 5 fee treet of the site's greater than or maxim e or street frontage equal to the site District tee, maximum	2 square feet maximum area per sign 5 feet maximum height per sign	50 square feet maximum area per sign 6 feet maximum height per sign	100 square feet maximum area per sign 15 feet maximum height per sign						
2. Dual post sign		regardless of the number of tenants					50 square feet maximum area per sign 6 feet maximum height per sign	100 square feet maximum area per sign 6 feet maximum height per sign				
3. Pylon sign		Limit of 1 pylon sign for each site, regardless of the number of tenants				Not a	llowed	See § 550-132C				
B. On-Building Sign Category:* All on	-building signs on	the same build	ling facade shall	be the same type of	of sign (1-5),	below.						
1. Wall sign	Sign permit required for each new sign	Limit of 1 on-building sign for each tenant, on each	Maximum of 1 square foot of sign area for every foot of building's	No part of any sign shall extend higher than the building	Standard ²	2 square feet maximum area per sign	100 square feet maximum area per sign	200 square feet maximum area per sign				
2. Awning sign		building facade that faces	facade length - up to the District	parapet or eave and minimum overhang	Ambient only		50 square feet maximum	100 square feet maximum				
3. Canopy sign		(roughly parallel to) a	maximum	clearance required	Ambient		area per sign	area per sign				
4. Marquee sign		public street			public street			·	and internal		100 square feet maximum area per	200 square feet maximum area per
							sign	sign				

Table 550-132A(1): Permanent Sign	Group¹						and Height Ma Zoning Distric	
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, Pl GI, HI
C. Pedestrian Sign Category:* All pede	estrian signs on the	e same building	g facade shall be	the same type of si	gn (1-2), belo	ow.		
Blade sign Suspended sign	Sign permit required for each new sign	Limit of 1 pedestrian sign for each tenant.	None needed. Use maximum area limit	On-building. Must be located in front of a customer entrance.	Ambient only	Not allowed	14 square feet maximum area per sign	16 square feet maximum area per sig
D. Permanent Changeable Sign Catego	ry:*							
1. Wall-mounted changeable sign	Sign permit required for each new sign	Limit of 1 permanent wall- mounted changeable sign for each tenant	None needed. Use max area limit	On-building. Maximum 4 inches from wall	Ambient	Not allowed		num area per gn
2. Freestanding changeable sign		Limit of 1 permanent freestanding changeable sign for each tenant unless used in conjunction with a drive through Drive through use limit of 1 permanent freestanding changeable sign per drive through lane		Freestanding. Within 10 feet of public entrance When used in conjunction with a drive- through per C.U.P.	Standard ²		area p 8 feet maxim	et maximum er sign um height pe gn
3. Drive-through sign		Limit of 1 drive- through sign per drive- through lane		Per C.U.P.		Not a	llowed	40 square feet maximum area per sign 8 feet maximum height per sign

^{*} Refer to § 550-131A for definition and rules for each sign category (lettered) and each sign type (numbered).

Available to land uses identified in Article IV of this chapter as agricultural, institutional, commercial, storage or disposal, transportation, and industrial.

[&]quot;Standard" means the following forms of sign lighting: ambient, backlit, internal character or cabinet, and gooseneck.

§ 550-132

	Table 550-132	A(2): Tempora	ry Sign Group¹				and Height Ma Zoning District	
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Require- ments	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB CB, PI, GI, HI
A. Temporary Board & Banner	Sign Category:*	Temporary boar	d, banner, or feat	her sign maybe o	displayed permar	ently, but typica	lly are not.	
Board sign Banner sign	Sign permit not required	Any combination of sign type, not to exceed 2 signs per site, or 1 sign per each site entrance, or Limit 1 sign type per each tenant	None needed. Use maximum area limit	On-building or free- standing. Minimum sign setback from each property line shall be greater or equal to the sign height.	Ambient only	32 square feet maximum area per sign 6 feet maximum height per sign	m per sign ign 6 feet maximum heig sign m	
3. Feather sign		Limit of 2 feather signs for each site or limit 1 per each tenant				Not allowed	per 10 feet maxin	maximum area sign num height per ign
B. Temporary Changeable Sign	Category:* Tem	porary changeab	le signs may be d	lisplayed daily ³				
1. Sandwich board sign	Sign permit not required	Limit of 1 Sandwich Board Sign per sidewalk entrance during owner/ tenant occupation of the property.	Shall not be more than four feet high or more than two feet wide, including frame or supporting structure.	Street terrace or on private property within the Central Business (CB) Zoning District	Ambient only	Not a	llowed	Allowed in CB Zoning District Only 8 square fee maximum area per sigr 4 feet maximum height per sign
C. Temporary Approved Devel	opment Sign Cate	egory:*						
Active building board sign	Sign permit not required	Limit of 1 for each approved building with a valid Building Permit	None needed. Use max area limit	On-building or free- standing. Minimum sign setback from each property line	Ambient only	32 square feet maximum area per 6 feet maximum height per sig		
2. Active plat board sign		Limit of 1 for each public street intersection at the perimeter of any active plat phase		shall be greater or equal to the sign height		32 square feet maximum area per sign 6 feet maximum height per sign		

^{*} Refer to § 550-131B for definition and rules for each sign category (lettered) and each sign type (numbered).

Available to land uses identified in Article IV of this chapter as agricultural, institutional, commercial, storage or disposal, transportation, and industrial.

³ Shall be kept inside the principal structure when the property owner or tenant is not occupying the principal structure.

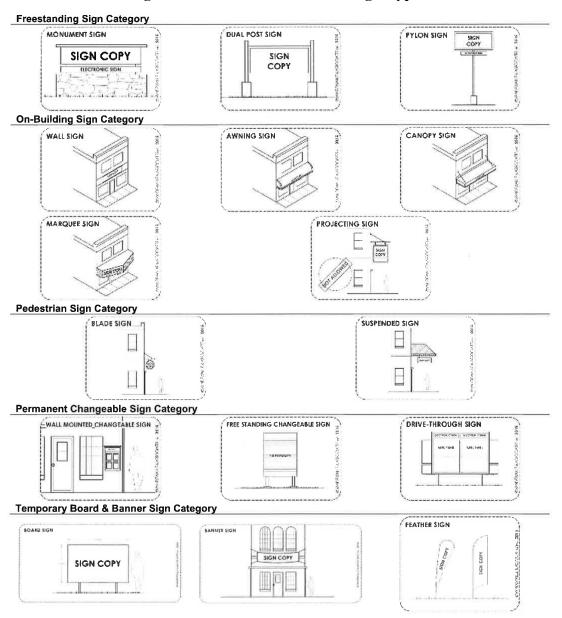
1	Table 550-132A(3): Permanent Misc. Sign Group ¹								
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Require- ments	Sign Lighting Allowed	ER, CR, SR, TR, MR, SNR	RH, NO, NB	PO, PB, GB, CB, PI, GI, HI	
B. Optional Miscellaneous Sign	Category:*								
1. Plaque sign	Sign permit required for each new sign	Up to 3 per designated historic property, site, or district	None needed. Use max area limit	On-building, within 10 feet of the main entrance.	Ambient only		6 square feet maximum area per sign 8 feet maximum height per sign		
2. Permanent plat sign		Per final plat or Certified Survey Map		In plat or Certified Survey Map Outlot			100 square feet maximum area per sig 8 feet maximum height per sign		
3. Auxiliary freestanding sign.		Not to exceed the total		3 feet from any street,			eet maximum ard		
4. Auxiliary wall sign.		number of required parking stalls		side, or rear lot line 0 feet for parcels located within the CB Zoning District		6 square t	eet maximum ard	ea per sign	

- * Refer to § 550-131C for definition and rules for each sign category (lettered) and each sign type (numbered).
- Available to all land uses.
- ² "Standard" means the following forms of sign lighting: ambient, backlit, internal character or cabinet, and gooseneck

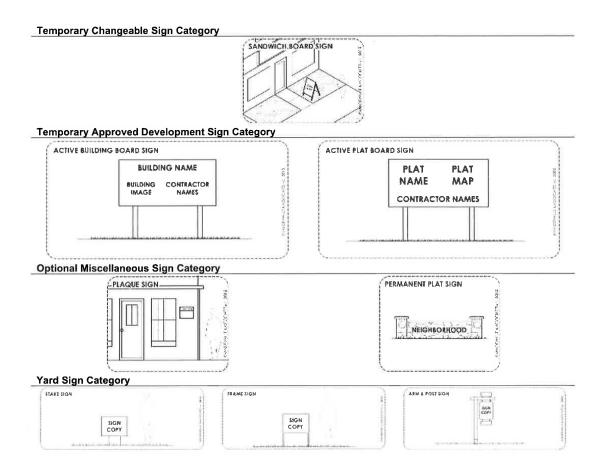
Table 550-132A(4): Temporary Misc. Sign Group ¹							and Height Max Zoning Districts	
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Require- ments	Sign Lighting Allowed	ER, CR, SR, TR, MR, SNR	RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
A. Yard Sign Category:* A Yar	rd Sign may be di	splayed permane	ently, but typicall	y is not.				
 Stake sign Frame sign Arm and post sign 	Sign permit not required	Unlimited	None needed. Use maximum area limit. ²	Must be located on- site. ² Minimum sign setback from each property line shall be greater than or equal to sign height.	Ambient only	4 feet n 9 square f	Feet maximum are naximum height feet maximum are naximum are naximum height	per sign

- * Refer to § 550-131D for definition and rules for each sign category (lettered) and each sign type (numbered).
- Available to all land uses.
- Sign must be located on-site and must not be located within any street right-of-way (which includes the entire public sidewalk and street terrace area).

Figure 550-132A: Illustration of Sign Types



§ 550-132



- B. Signs in historic and special districts.
 - (1) In designated historic districts and special districts, in addition to the sign regulations in this article, all signs within any historic district and special district shall be subject to the provisions of Chapter 325, Historic Preservation, of the City's Municipal Code.
 - (2) Prior to the issuance of a sign permit, as defined in § 550-134C the applicant shall have the design reviewed by the Historic Preservation and Downtown Design Commission prior to approval.
 - (3) All internally illuminated signs, plastic or otherwise, are strictly prohibited within a historic district.
 - (a) Except marquee signs, defined under § 550-131A(2)(d).
 - (4) Marquee signs.
 - (a) Marquee signs shall be permitted on a historic site or a contributing property with evidence, historic photos and any other documentation of a prior marquee sign.
 - (b) Marquee signs on a historic site or a contributing property shall be restored to their original appearance and dimensions based on historic photos and any other

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documentation.

- [1] The City of Watertown Historic Preservation and Downtown Design Commission may, with the granting of a certificate of appropriateness, allow a marquee sign to deviate from the original appearance and dimension based on historic photos and any other documentation.
- (c) Marquee signs on a historic site or a contributing property may have lighting restored to their original appearance and dimensions based on historic photos and any other documentation.
- (d) Marquee signs on a noncontributing property may be allowed pending a certificate of appropriateness from the City of Watertown Historic Preservation and Downtown Design Commission.
- (5) All pedestrian category signs within an historic district or a special district shall be designed to enhance and complement the historic character of the buildings within the historic district or special district and shall be subject to the following guidelines:
 - (a) No building may have more than one pedestrian category sign per customer entrance and no more than one pedestrian category sign per tenant for each street frontage where the building is built up to the sidewalk.
 - (b) No pedestrian category sign shall be more than four feet in width, with a maximum total outward extension, including bracketry, of five feet from the building to which it is attached. The pedestrian category sign itself shall not be closer than six inches to the building to which it is attached.
 - (c) Three-dimensional signs are allowed but may not exceed two feet at their largest cross section. The sign message shall be limited to the two surfaces perpendicular to the building.
 - (d) All fasteners and bracketry shall be securely fastened to the building at both the top and bottom of the sign. All bracketry shall be part of the overall design and shall be made to enhance the sign. The fasteners shall be bolted to masonry joints wherever possible to avoid damage to brick or stonework.
 - (e) Pedestrian category signs shall be positioned so they are an integral design feature of the building and should help to define and enhance architectural features. Signs shall only be placed in the horizontal lintels or "sign space" above the storefront windows or in other historically appropriate areas approved by the Historic Preservation and Downtown Design Commission.
 - (f) No pedestrian category signs shall be placed, mounted or erected in such a manner as to interfere with any exit, fire escape, window or architectural ornamentation.
 - (g) Pedestrian category signs may be externally illuminated only as follows:
 - [1] Gooseneck lighting from above the sign.
 - [2] Lighting shall be directed onto the sign and no other part of the building.

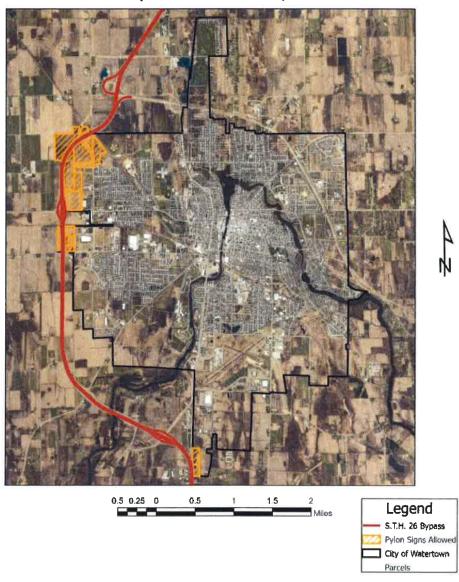
- (h) Sign colors should blend with the building facade to which the sign is attached. No more than six colors shall be used. Colors shall be selected from the low-intensity colors on the color chart provided by the Historic Preservation and Downtown Design Commission.
- (i) Allowable pedestrian category sign materials shall be made of a rigid standardized sign material (e.g., wood, wood laminate, metal, etc.).

C. S.T.H. 26 pylon sign allowance areas.

- (1) Location. Pylon signs shall only be permitted within the S.T.H. 26 pylon sign allowance areas in Figure 550-132C.
- (2) Height. Pylon signs may not exceed the maximum building height bulk requirement for the corresponding Zoning District for the property upon which the pylon sign is being erected.
 - (a) Pylon signs may exceed said maximum height regulations with the granting of a conditional use permit which specifically states the maximum permitted height of the proposed pylon sign.
 - (b) In no instance shall a pylon sign extend into the Airport Approach Protection Zone or Height Limitation Zone identified in Chapter 211 of the City of Watertown Municipal Code.
- (3) Maximum permitted sign area: one square foot of signage for every foot of the adjacent public street frontage selected for the lot up to a maximum sign area of 150 square feet.
- (4) Pylon signs shall have signage plans approved and stamped by a professional engineer registered in the State of Wisconsin and accompanied by a statement of compliance with state laws.
- (5) Pylon signs shall meet all other requirements for the freestanding sign category in Table 550-132A(1).

Figure 550-132C: S.T.H. 26 Pylon Sign Allowance Area

S.T.H. 26 Pylon Sign Allowance Areas City of Watertown, WI



Section § 550-133: Sign Setback, Height, Measurement, and Flexibility