



PLAN COMMISSION MEETING AGENDA

MONDAY, SEPTEMBER 09, 2024 AT 4:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=89759549518> or by calling 1-646-931-3860 and using Meeting ID: 237 146 0557 Passcode: 144391

All public participants' devices will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Plan Commission minutes dated August 12, 2024

3. BUSINESS

A. Review and take action: W2762 Gopher Hill Road Extraterritorial Certified Survey Map (CSM)

B. Review and take action: 553-555 Milford St Certified Survey Map (CSM)

C. Review and take action: 919 Charles Street – addition to first Kindergarten building

D. Review and take action: Chapter 550 Text Amendments

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

**PLAN COMMISSION
MINUTES
August 12, 2024**

Section 2, Item A.

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor McFarland, Alderman Blanke, Beyer, Krueger, Lampe, Talaga, Zirbes

Also in attendance: Marie & Josh Schuett and Lacey Hastings

1. Call to order (4:32pm)

2. Approval of Minutes

A. Plan Commission minutes July 08, 2024

B. Plan Commission minutes July 22, 2024

Motion to approve both Plan Commission minutes was made by Lampe and seconded by Talaga, passed on unanimous voice vote.

3. Business

A. Review and take action: 321 Front Street Certified Survey Map (CSM)

Brian Zirbes presented the request to create a 2 lot CSM to adjust the parcel lines between 2 existing parcels.

Motion to approve the CSM was made by Blanke, seconded by Talaga and passed on a unanimous voice vote.

B. Review and take action: 1911 Gateway Drive Certified Survey Map (CSM)

Brian Zirbes presented the request to combine 6 existing parcels into 1 CSM lot for a future multi family development. The CSM also dedicates a portion of Gateway Drive that was not previously dedicated.

Motion to approve the CSM was made by Krueger, seconded by Lampe and passed on a unanimous voice vote.

C. Review and take possible action: WisDOT/FHWA-Watertown-Urban Area Boundary Update

Andrew Beyer presented the map for the Urban Area Boundary map. This is updated every 10 years and is used as a funding mechanism for plan for obtaining additional funding for streets.

Motion was made by Lampe to approve the Urban Area Boundary map, seconded by Talaga and passed on a unanimous voice vote with Andrew Beyer abstaining.

All materials discussed at this meeting can be found at:

<https://cms4files.revize.com/watertownwi/August%2012,%202024%20Plan%20Commission%20Meeting%20Packet.pdf>

4. Adjournment

Motion to adjourn was made by Talaga and seconded by Krueger and passed on a unanimous voice vote. (4:39pm)

Respectfully Submitted,

Alderman Brad Blanke

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 9th, 2024
SUBJECT: W2762 Gopher Hill Road - Extraterritorial Certified Survey Map (CSM)

A request by Glen Griebenow to create a three lot Certified Survey Map (CSM) within the City of Watertown 3-mile extraterritorial plat review jurisdiction. Parcel PIN(s): 032-0815-0134-000

SITE DETAILS:

Parent Parcel Acres: 40

Proposed Lot Size(s): Lot 1 – 1.060 acres, Lot 2 – 1.003 acres, Lot 3 – 1.003 acres.

Jurisdiction: Town of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a three lot Certified Survey Map with road access to Gopher Hill Rd. The proposed lots are located within the Airport Approach Protection Zone with a maximum elevation of 972 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. Gopher Hill Road is identified in the 2019 City of Watertown Comprehensive Plan as having an expanded right-of-way of 100ft (50ft from centerline) in this location. ROW meeting this requirement has been dedicated on the CSM

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

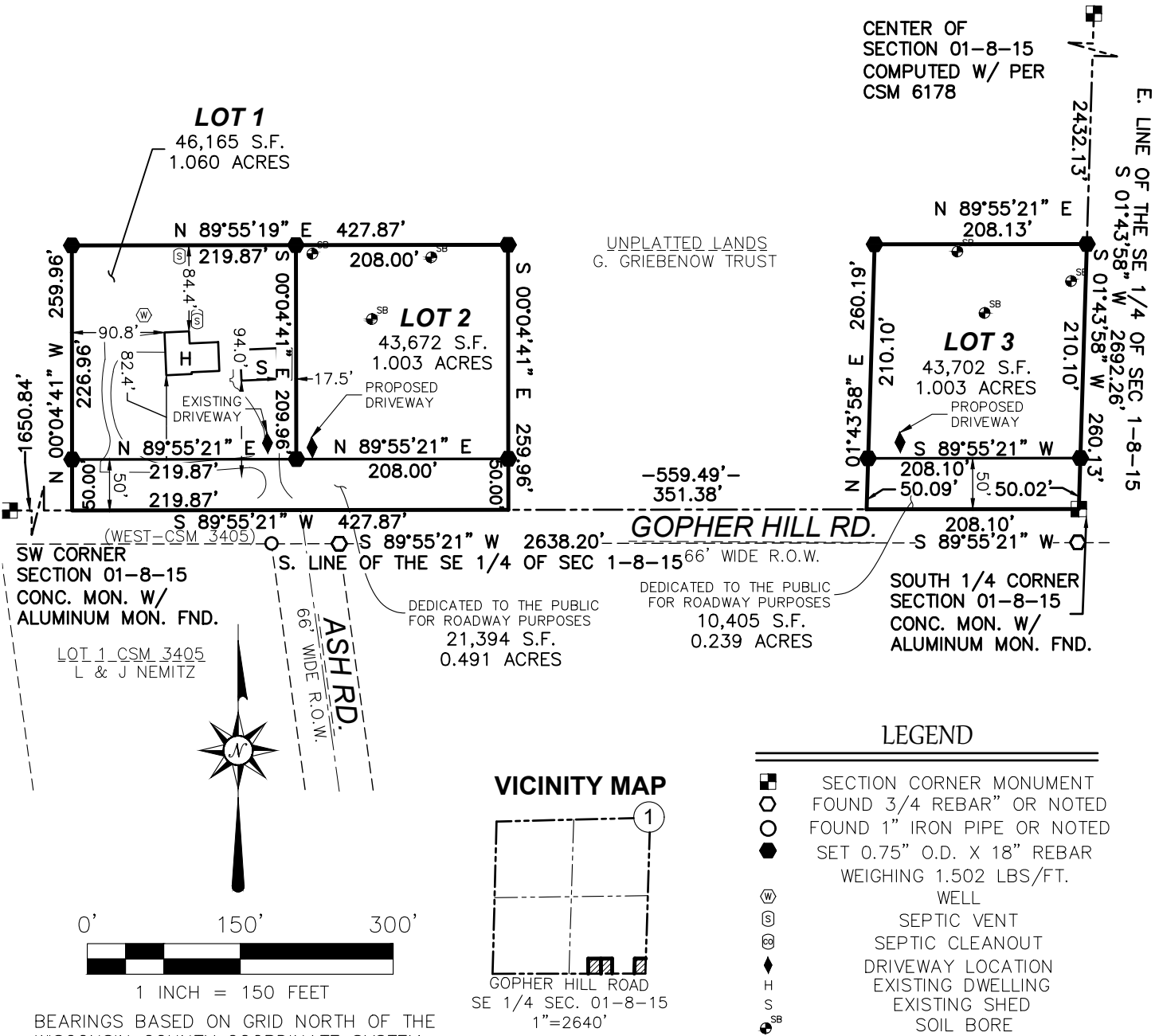
1. Deny the preliminary extraterritorial CSM.
2. Approve the preliminary extraterritorial CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the Plan Commission:

ATTACHMENTS:

- Application materials.

JEFFERSON CO. CERTIFIED
SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1,
T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.



LEGEND

- SECTION CORNER MONUMENT
- FOUND 3/4" REBAR OR NOTED
- FOUND 1" IRON PIPE OR NOTED
- SET 0.75" O.D. X 18" REBAR
- WEIGHING 1.502 LBS/FT.
- WELL
- SEPTIC VENT
- SEPTIC CLEANOUT
- DRIVEWAY LOCATION
- EXISTING DWELLING
- EXISTING SHED
- SOIL BORE

NOTES:

- THIS PARCEL IS SUBJECT TO ALL OTHER EASEMENTS, INCLUDING UTILITY EASEMENTS AND RESTRICTIONS, EITHER RECORDED OR UNRECORDED, IF ANY.
- PER PRELIMINARY APPLICATION PETITION NUMBER R4482A-23. ZONING IS R-2 FOR LOT 1 AND A-3 FOR LOTS 2 AND 3. CHECK FOR SUBSEQUENT ZONING CHANGES WITH JEFFERSON COUNTY PLANNING AND ZONING DEPARTMENT.
- LOTS 1, LOT 2 AND LOT 3 HAVE AN AIRPORT APPROACH PROTECTION ZONE ELEVATION LIMIT OF 972 FEET ABOVE SEA LEVEL FOR ALL BUILDING, STRUCTURES AND OBJECT OF NATURAL GROWTH, WHETHER OR NOT SUCH BUILDINGS, STRUCTURES AND OBJECTS OF NATURAL GROWTH ARE IN EXISTENCE.



PREPARED FOR:
GLENN W. GRIEBNOW REVOCABLE
TRUST DATED FEB. 26, 2001
W2762 GOPHER HILL RD.
WATERTOWN, WI 53094

LAND SURVEYING • LAND PLANNING
111 W. 2ND STREET
OCONOMOWOC, WI 53066
WWW.LANDTECHWI.COM
(262) 367-7599

REV: 08/30/2024
REV: 08/21/2024
DATED 09/19/2023
JOB# 23064

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771

SHEET 1 OF 3

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1,
T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O’ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1, T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 01, TOWN 8 NORTH, RANGE 15 EAST ALSO BEING THE POINT OF BEGINNING, THENCE S 89°55’21” W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 208.10 FEET; THENCE N 01°43’58” E, 260.19 FEET; THENCE N 89°55’21” E, 208.13 FEET TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 1; THENCE S 01°43’58” W, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 260.13 FEET TO THE POINT OF BEGINNING.

ALSO

COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 01, TOWN 8 NORTH, RANGE 15 EAST ALSO BEING THE POINT OF BEGINNING, THENCE S 89°55’21” W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 559.49 FEET TO THE POINT OF BEGINNING; THENCE S 89°55’21” W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 1, 427.87 FEET; THENCE N 00°04’41” W, 259.96 FEET; THENCE N 89°55’19” E, 427.87 FEET; THENCE S 00°04’41” E, 259.96 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 165,338 SQUARE FEET OR 3.796 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE GLEN W. GRIEBNOW REVOCABLE TRUST DATED FEBURAURY 26, 2001 OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF JEFFERSON COUNTY, THE TOWN OF WATERTOWN AND CITY OF WATERTOWN (EXTRATERRITORIAL) IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20_____.

MATTHEW T. O’ROURKE, S-2771

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

UNPLATTED LANDS BEING A PART OF THE SE 1/4 OF THE SW 1/4 OF SECTION 1,
T8N., R15E., TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

TOWN OF WATERTOWN APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE TOWN OF WATERTOWN, TOWN BOARD,
THIS ____ DAY OF _____, 20____.

JAMES WENDT, TOWN CLERK

CITY OF WATERTOWN PLAN COMMISSION EXTRATERRITORIAL APPROVAL CERTIFICATE

THIS CERTIFIED SURVEY MAP IN THE CITY OF WATERTOWN IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE
CITY OF WATERTOWN,
APPROVED AS OF THIS ____ DAY OF _____, 20____.

DATE: _____

EMILY MCFARLAND, MAYOR

I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF A CERTIFIED SURVEY MAP ADOPTED BY
THE PLAN COMMISSION OF THE CITY OF WATERTOWN.

DATE: _____

MEGAN DUNNEISEN, CITY CLERK

PLANNING AND ZONING COMMITTEE APPROVAL:

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE
THIS ____ DAY OF _____, 20____.

SIGNATURE: _____
ZONING ADMINISTRATOR PRINT NAME _____



- City Limits
- Parcels Lines



City of Watertown Geographic Information System

Scale: 1:9,485 Printed on: September 2014

SCALE BAR = 1" Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite inspection. The accuracy of this map is limited to the quality of the records from which it was derived. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





Main Office 920-262-4060	Brian Zirbes 920-262-4041	Mark Hady 920-342-0986
Nikki Zimmerman 920-262-4045	Dell Zwieg 920-262-4042	
Doug Zwieg 920-262-4062	Dennis Quest 920-262-4061	

TO: Plan Commission
 DATE: September 9th, 2024
 SUBJECT: 553-555 Milford Street – Preliminary Certified Survey Map (CSM)

A request by Mike Martin, agent for Buzdum Trust, to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0541-022

SITE DETAILS:

Parent Parcel Acres: 0.726 acres

Proposed Lot Size(s): Lot 1 – 0.31 acres (13,528 S.F.), Lot 2 – 0.37 acres (16,190 S.F.)

Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a two lot CSM to subdivide an existing parcel that contains two existing single-family homes. Lot 1 on the proposed Certified Survey Map will be 60.03ft wide rather than the required 75ft. A variance to this requirement for Lot 1 was granted by the Zoning Board of Appeals on August 27th, 2024. Lot 2 will be 97.59ft wide and conform to the ordinance requirements. The proposed lots are located within the Airport Approach Protection Zone with a maximum elevation of 968 feet above mean sea level for all buildings and vegetation. A note indicating this elevation will need to be added to the CSM. The existing ROW for Milford Street is sufficient in this location.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

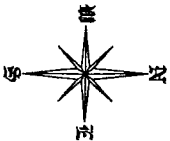
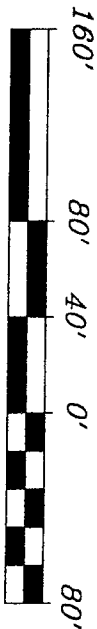
1. Deny the preliminary CSM.
2. Approve the preliminary CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission:
 - a. A note shall be added to the CSM indicating the Airport Approach Protection Zone elevation of 968 feet above mean sea level.
 - b. The CSM signature page shall contain signature lines for both the Plan Commission Chairperson/Mayor and the City Clerk.

ATTACHMENTS:

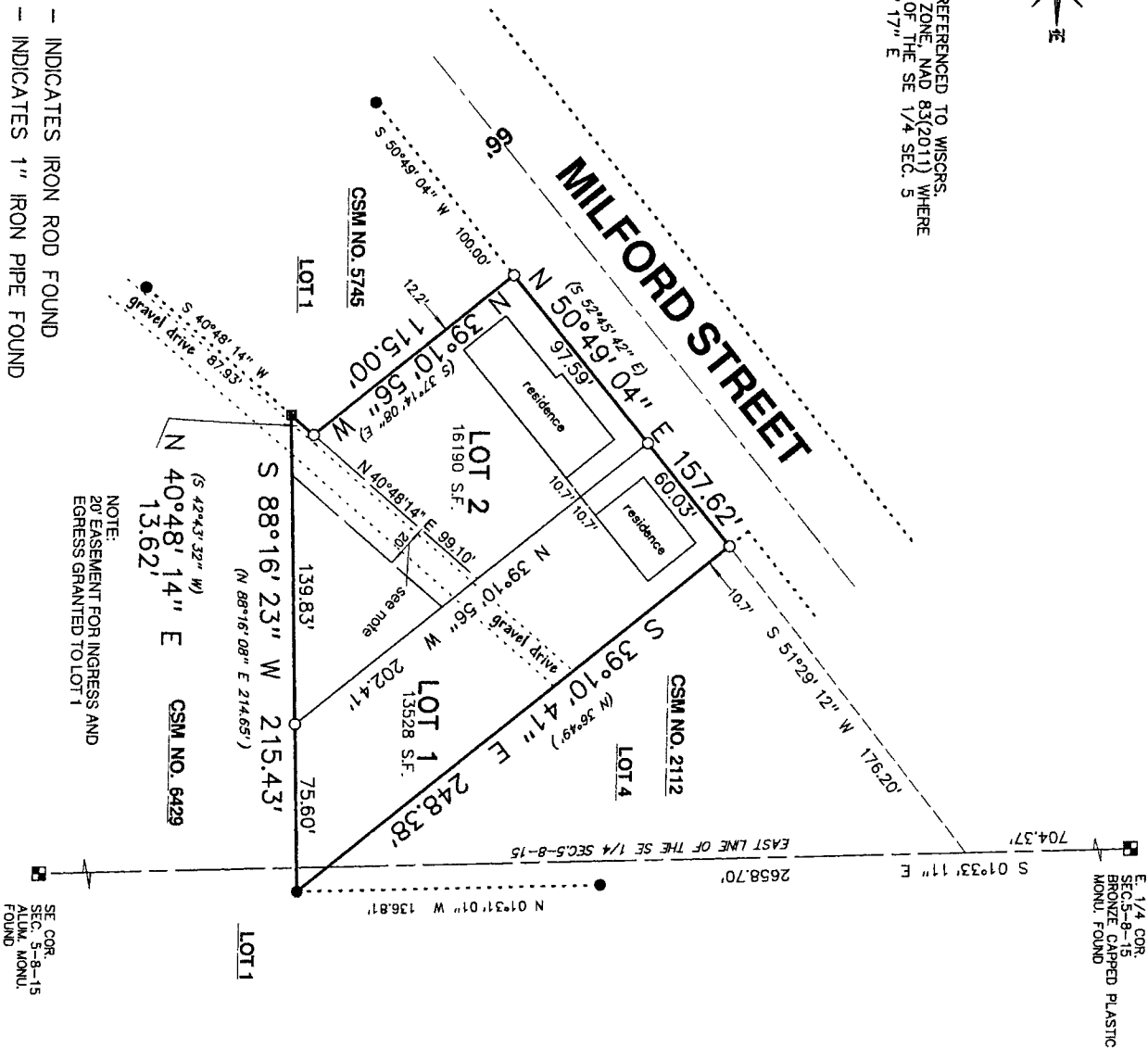
- Application materials.

CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 7 OF THE TWELFTH WARD FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, JEFFERSON COUNTY, WISCONSIN.

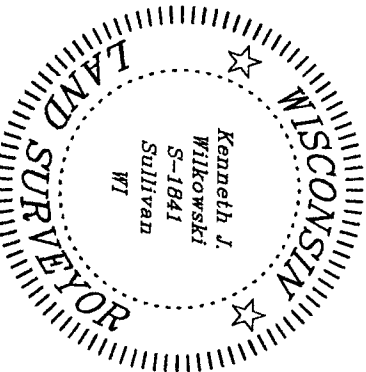


BEARINGS ARE REFERENCED TO WISCONSIN JEFFERSON CO. ZONE, NAD 83(2011) WHERE THE EAST LINE OF THE SE 1/4 SEC. 5 BEARS S 01°33' 17" E



- - INDICATES IRON ROD FOUND
- - INDICATES 1" IRON PIPE FOUND
- - INDICATES 3/4" X 18" IRON ROD SET WEIGHING 1.5 LBS./FT.
- (xx) - INDICATES RECORDED AS

NOTE:
20' EASEMENT FOR INGRESS AND
EGRESS GRANTED TO LOT 1



Kenneth J. Wilkowski

KW SURVEYING
725 PALMYRA STREET
P.O. BOX 32
SULLIVAN, WI. 53178
(262)-593-5800

DATED THIS 1ST DAY OF MAY, 2024.
SHEET 1 OF 3
THIS INSTRUMENT WAS DRAFTED BY KENNETH J. WILKOWSKI, S-1841
JOB NO. 2175

CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 7 OF THE TWELFTH WARD OF THE FORMERLY THIRD WARD IN THE CITY OF WATERTOWN, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, JEFFERSON COUNTY, WISCONSIN.

SURVEYORS CERTIFICATE

I, Kenneth J. Wilkowski, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped part of Outlot 7 of the Twelfth Ward formerly the Third Ward in the City of Watertown, Located in the NE 1/4 of the SE 1/4 of Section 4 and the NW 1/4 of the SE 1/4 of Section 5, All in Town 8 North, Range 15 East, Jefferson County, Wisconsin, bounded and described as follows:

Commencing at the East 1/4 corner of said Section 5, Thence South 01°33'11" East along the East line of said Southeast 1/4 line, 704.37 feet to a point; Thence South 51°29'12" West, 176.20 feet to the Point of Beginning of the following description: Thence South 39°10'41" East, 248.38 feet to a point; Thence South 88°16'23" West, 215.43 feet to a point; Thence North 40°48'14" East, 13.62 feet to a point; Thence North 39°10'56" West, 115.00 feet to a point; Thence North 50°49'04" East, 157.62 feet to the Point of Beginning and containing 29,718 square feet or 0.6822 acres of land, more or less.

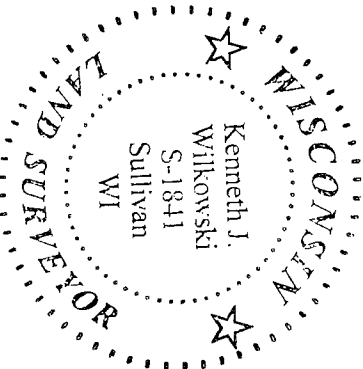
That I have made such survey, land division, and map by the direction of, Buzdum Trust, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of Wisconsin Statutes and the Subdivision Regulations of the City of Watertown.



Kenneth J. Wilkowski, P.L.S.




DATED THIS 1ST DAY OF MAY, 2024
SHEET 2 OF 3

THIS INSTRUMENT WAS DRAFTED BY KENNETH J. WILKOWSKI, S-1841

CERTIFIED SURVEY MAP NO.
PART OF OUTLOT 7 OF THE TWELFTH WARD OF THE FORMERLY THIRD WARD IN THE CITY OF WATERTOWN, LOCATED IN THE NE 1/4 OF THE SE 1/4 OF SECTION 4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 5, ALL IN TOWN 8 NORTH, RANGE 15 EAST, JEFFERSON COUNTY, WISCONSIN.

OWNER CERTIFICATE

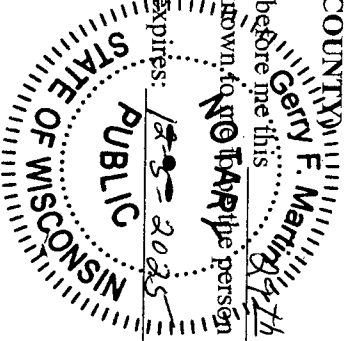
As owner of the lands described in the foregoing certificate of Kenneth J. Wilkowski, Professional Land Surveyor, I hereby certify that I caused the said lands to be surveyed, divided and mapped as represented on the map of said survey in accordance with the provisions of Chapter 236 of the Wisconsin Statutes. I also certify that this plat is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Watertown.


Witness the hand and seal of said owner this 29th day of August, 2024

_____, Trustee of Buzdum Trust

STATE OF WISCONSIN)
JEFFERSON COUNTY, SS

Personally came before me this 29th day of August, 2024 the above named Trustee, known to me the person who executed the foregoing instrument and acknowledged the same.

My commission expires: 12-31-2025




Notary public, Jefferson Co., WI

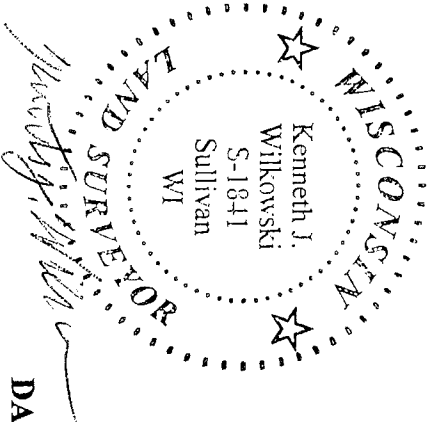
CITY OF WATERTOWN PLAN COMMISSION APPROVAL

This Certified Survey Map in the City of Watertown, Wisconsin is hereby approved by the Plan Commission:

This _____ day of _____, 20____.

Emily McFarland, Mayor (Plan Commission Chairperson)

Megan Dunneisen, Clerk



Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwig
920-262-4042

Doug Zwig
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 9th, 2024
SUBJECT: 919 Charles St - Site Plan Review

Site Plan review and approval requested by RJ Construction, agent for the Watertown Historical Society (Octagon House), for a building addition. Parcel PIN: 291-0815-0334-003.

SITE DETAILS:

Acres: 1.56
Current Zoning: Single-Family Residential (SR-4)
Existing Land Use: Octagon House/First Kindergarten Historical Site
Future Land Use Designation: Single-Family Residential

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing the construction of an approximately 720 SF addition to the First Kindergarten building at the Octagon House Historic Site.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to §550-144 & §550-145 of the zoning code.

Site Layout and Design:

The building addition meets all building and pavement setbacks and maximum building height limits within the Single-Family Zoning District *[per § 550-24]*.

Exterior Construction and Material Standards:

Exterior construction material standards for the Single-Family (SR-4) Zoning District shall employ only high-quality decorative exterior construction materials on the visible exterior of the following portions of all structures and buildings: *[per § 550-121]*

- Any portion of the building or structure visible from adjacent residentially zoned property;
- Any portion of the building or structure located within 50 feet of a public right-of-way; or
- Any other portion of the building or structure visible from a public street and/or situated at an angle of 60° or less from a line which is parallel to the nearest right-of-way (for uncurved rights-of-way) or from a line which is parallel to a chord connecting the right-of-way boundary on the inside side of the curve at points located at, or opposite from, the two outer boundaries of the subject property along the right-of-way line (for curved rights-of-way).
- The following exterior construction materials shall not be considered "high quality decorative": nondecorative concrete block or cinder block, nondecorative concrete foundation walls or panels, corrugated walls or panels, nondecorative plywood, asphaltic siding, or other nondecorative surfaces as determined by the Plan Commission.

The proposed addition meets exterior construction material standards. The addition will be using

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

materials that complement the other historic buildings on the site.

Vehicle Access and Circulation

Vehicle access and circulation will utilize existing facilities.

Landscaping:

Landscaping requirements are not required in the Single-Family Zoning District [per § 550-94]

Lighting:

No exterior lighting is part of the planned addition.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:

ATTACHMENTS:

- Application materials

COLD SPRING DESIGN, LLC

222 SOUTH MAIN STREET - FORT ATKINSON, WI 53538
(920)568-9530 - WWW.COLDSPRINGDESIGN.NET

OCTAGON HOUSE

DRAWING INDEX:

STRUCTURAL

- SO.1 NOTES AND SCHEDULES
- S1.1 FOUNDATION AND FLOOR FRAMING PLAN
- S1.2 ROOF FRAMING PLAN
- S2.1 FOUNDATION DETAILS
- S3.1 FRAMING DETAILS

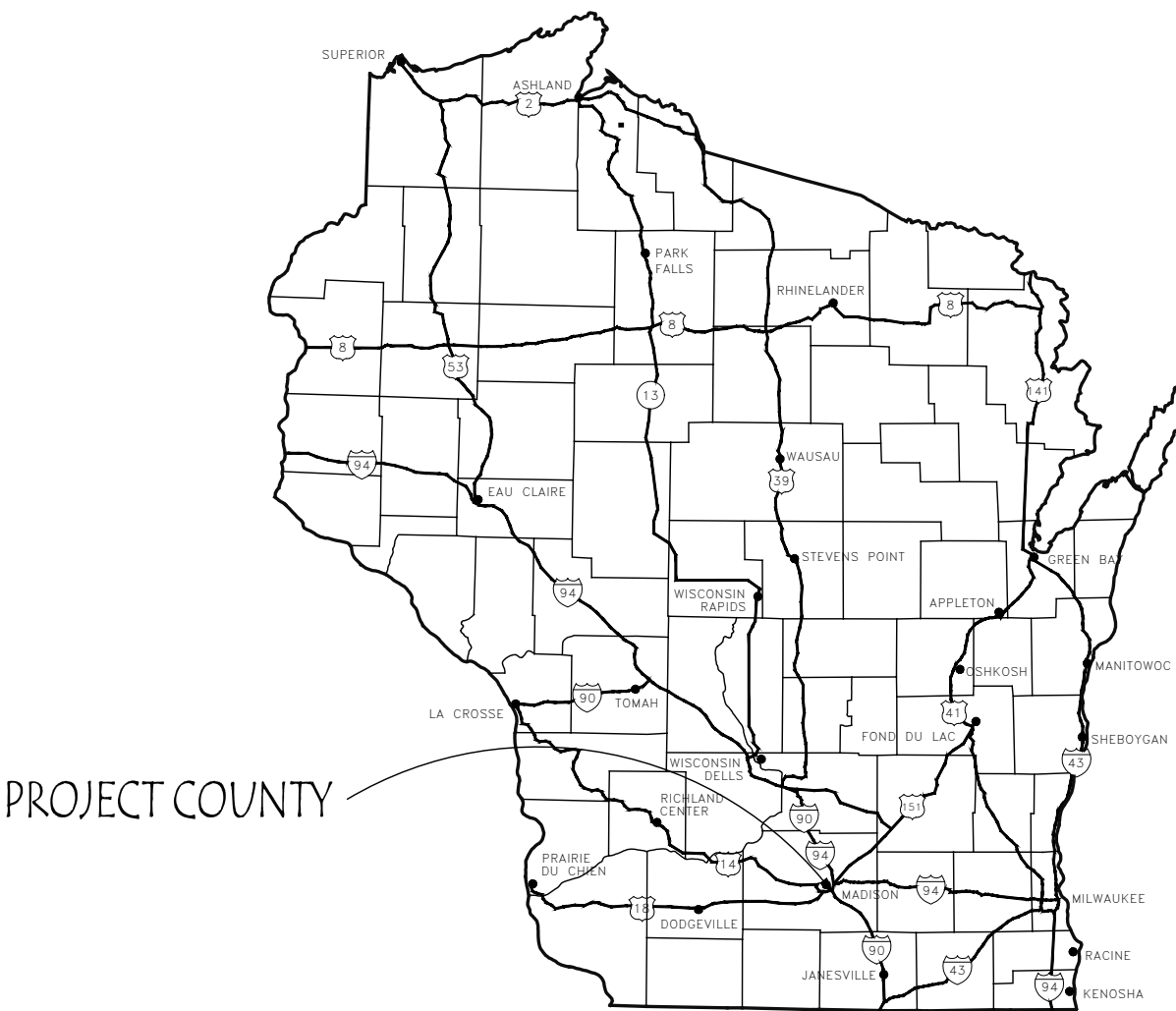
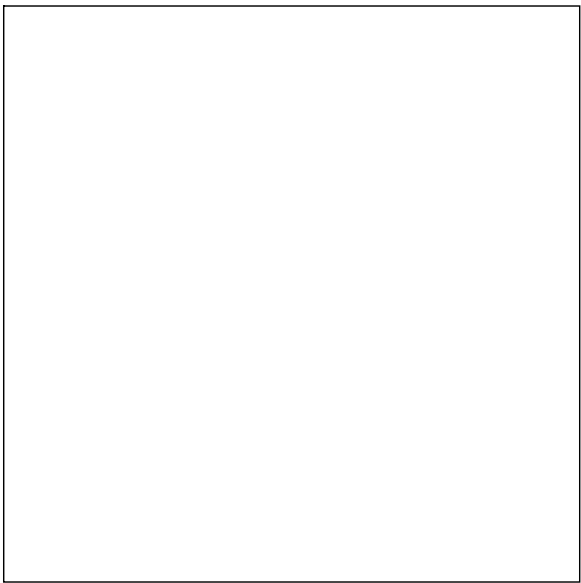
ARCHITECTURAL

- A2.1 EXTERIOR ELEVATIONS

CIVIL

- SITE PLAN

SEAL



LOCATION MAP

OWNER:

xxx
919 Charles St.
Watertown, WI 53094

CONTACT:

xxx
xxx@xxx.com
608-xxx-xxxx

ARCHITECT / ENGINEER:

COLD SPRING DESIGN, LLC
222 SOUTH MAIN STREET
FORT ATKINSON, WI 53538
PHONE: (920)568-9530
CONTACT: CONOR NELAN

PROJECT INFORMATION:

All requirements per 2015 IBC

Building Information:

Building Height: 1-STORY, SEE ELEVATIONS
Use & Occupancy Classification: OCCUPANCY TYPE B -
720 sq. ft. conditioned space

Construction Type: Type VB -
NON-SPRINKLERED



222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9530
F (920)568-9531

ISSUE

#	DATE	DESCRIPTION

OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: JATF
CHECKED BY: CFN

TITLE SHEET

TSO.1

SO.1



222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9550
F (920)568-9551

ISSUE

#	DATE	DESCRIPTION

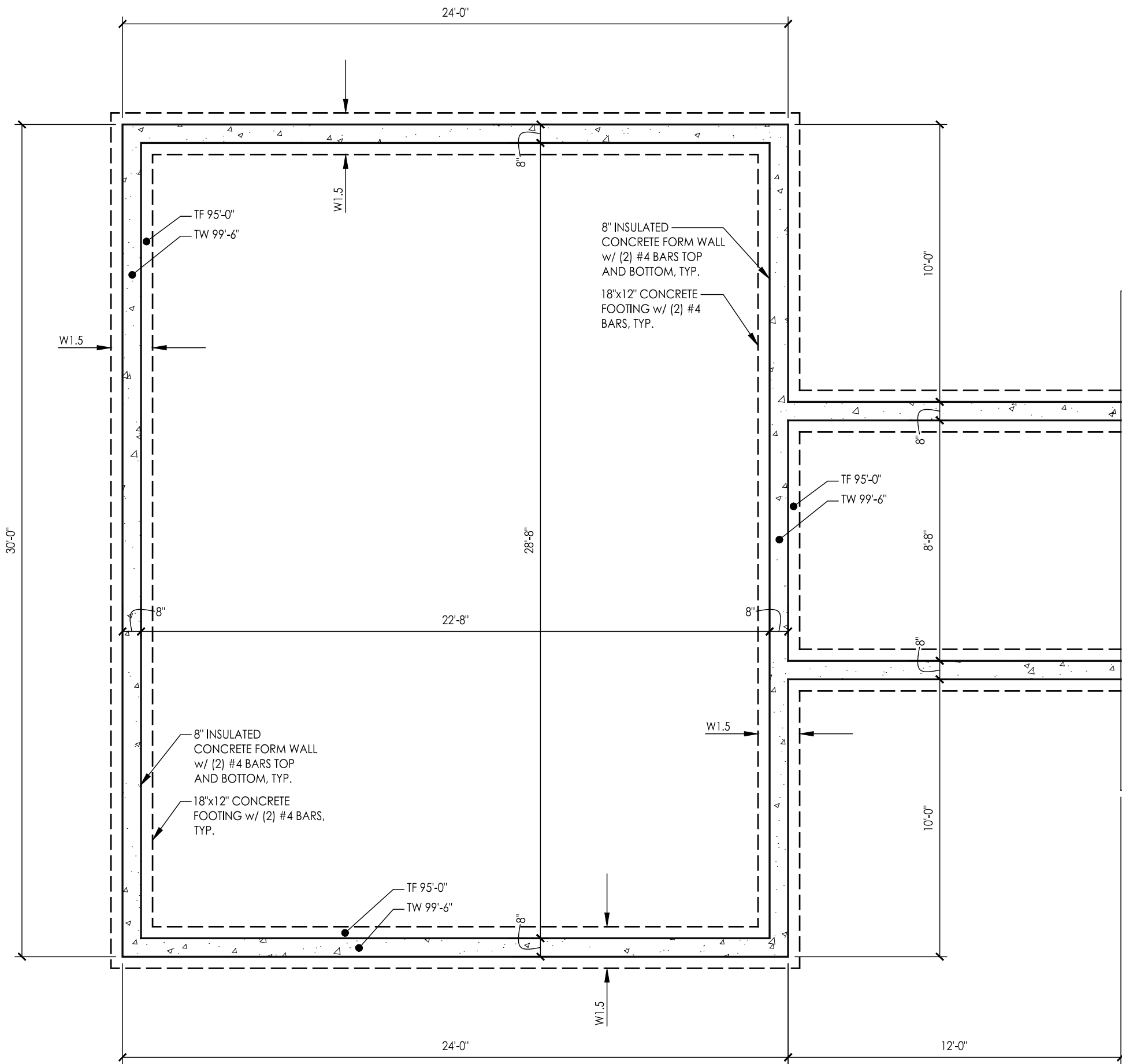
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

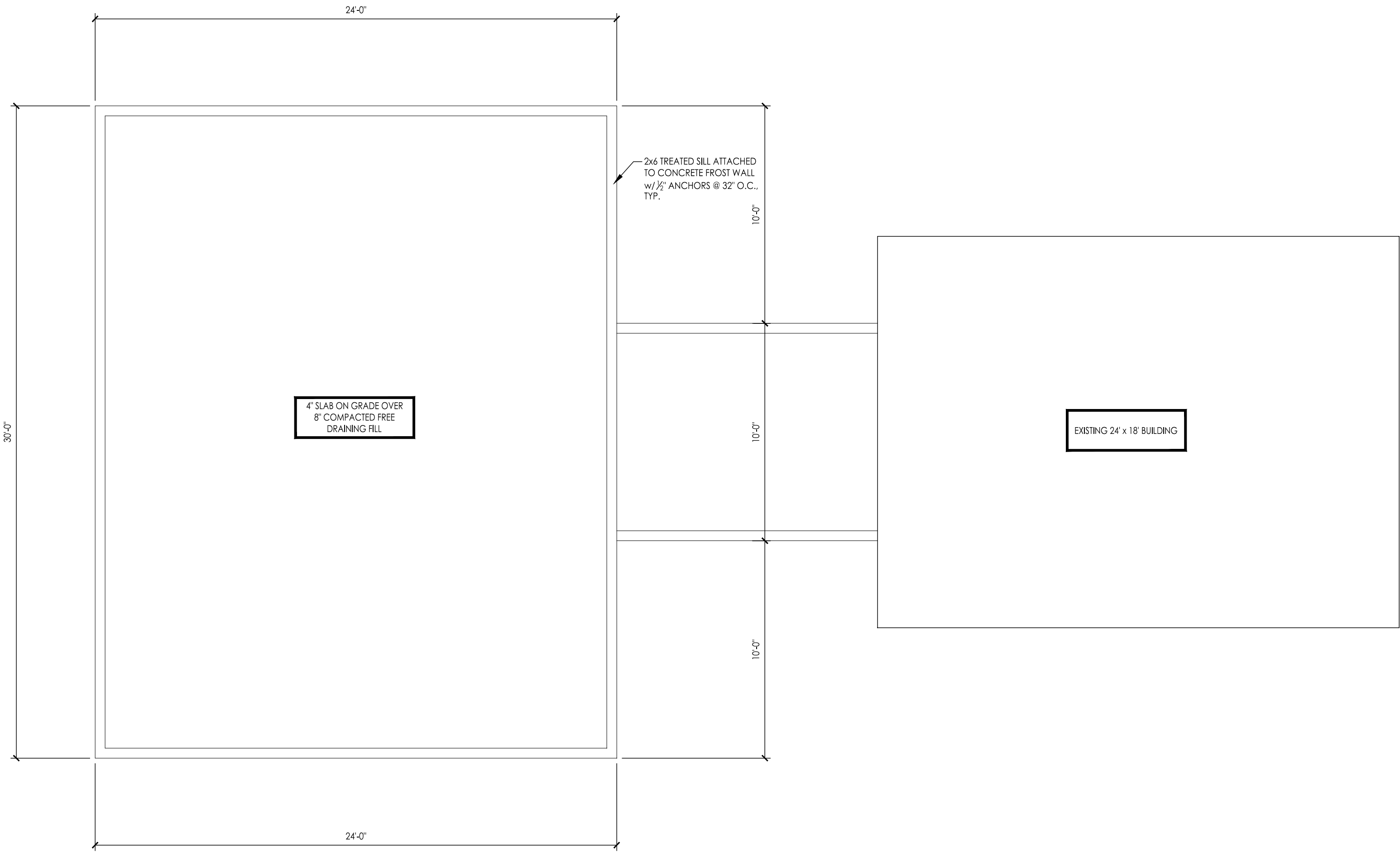
FOUNDATION
AND FLOOR
FRAMING PLAN

S1.1



1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.



2 PROPOSED FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.



222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9550
F (920)568-9551

ISSUE		
#	DATE	DESCRIPTION

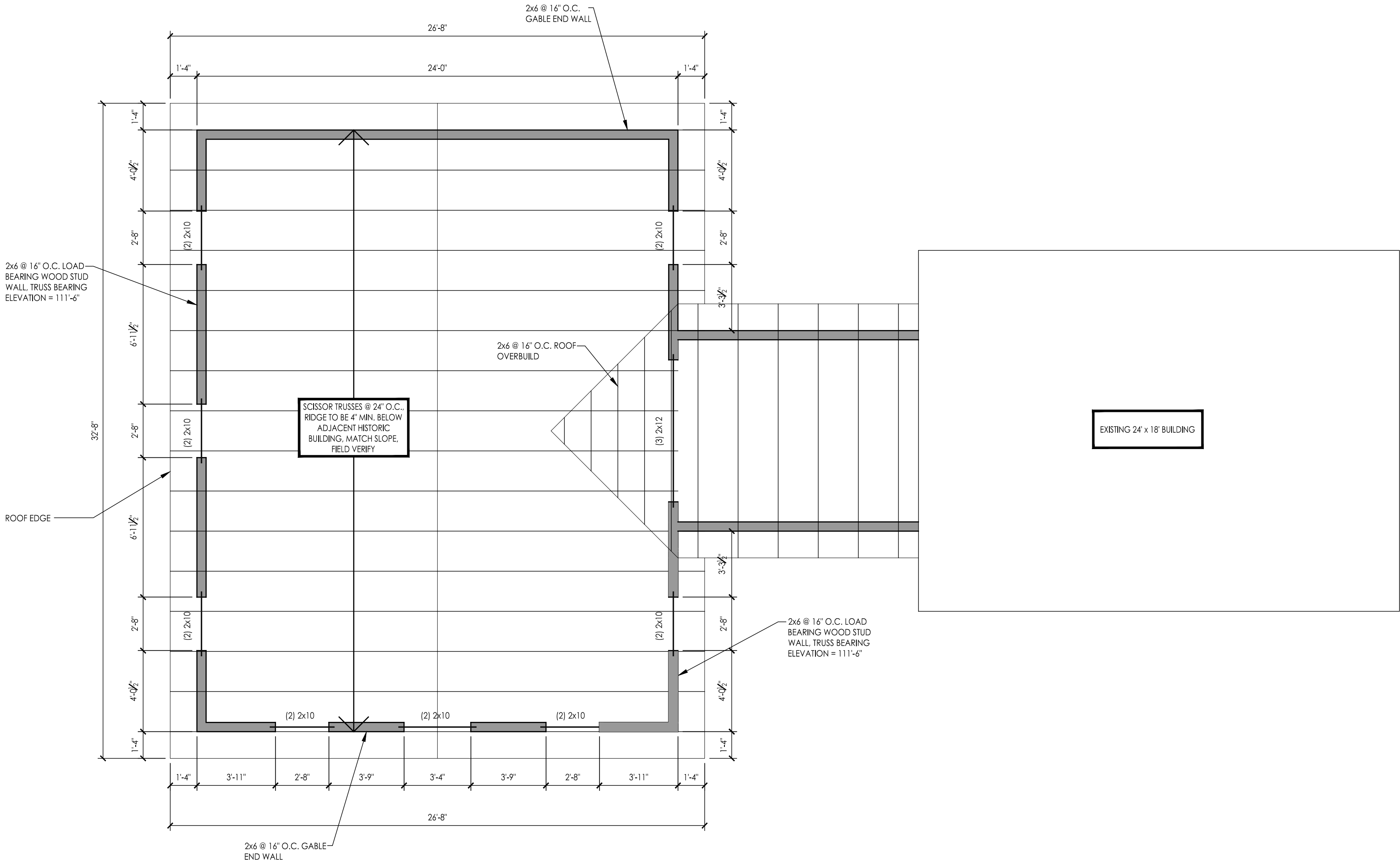
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #: .

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

ROOF
FRAMING PLAN

S1.2



1
S1.2 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.



222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9550
F (920)568-9551

ISSUE

#	DATE	DESCRIPTION

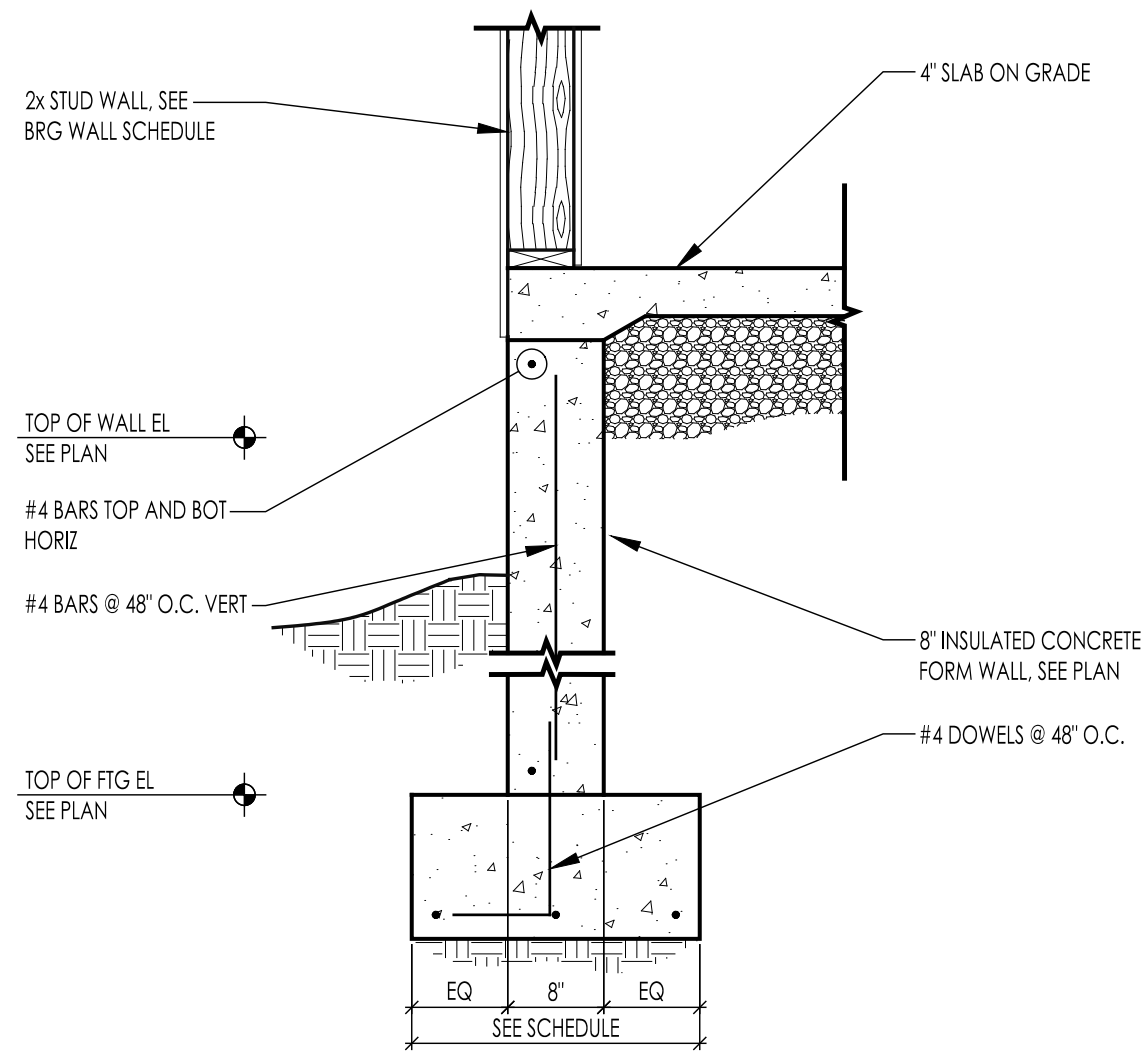
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

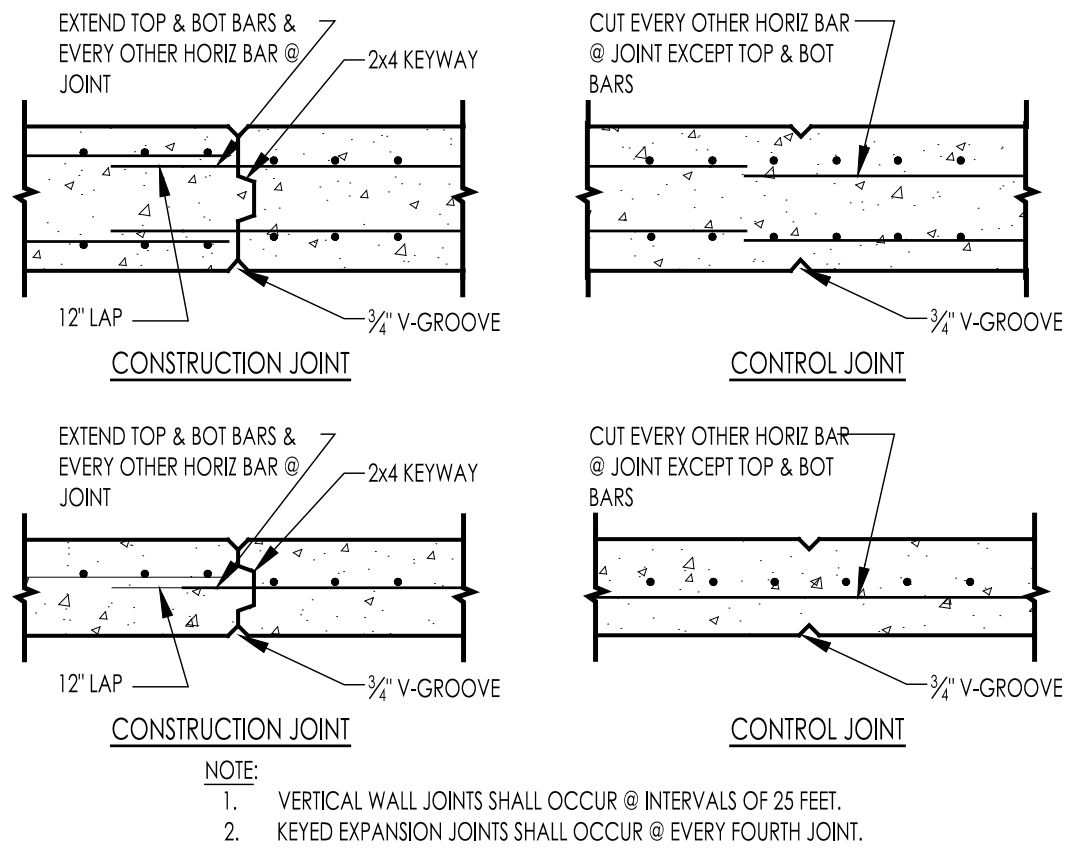
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DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

FOUNDATION
DETAILS

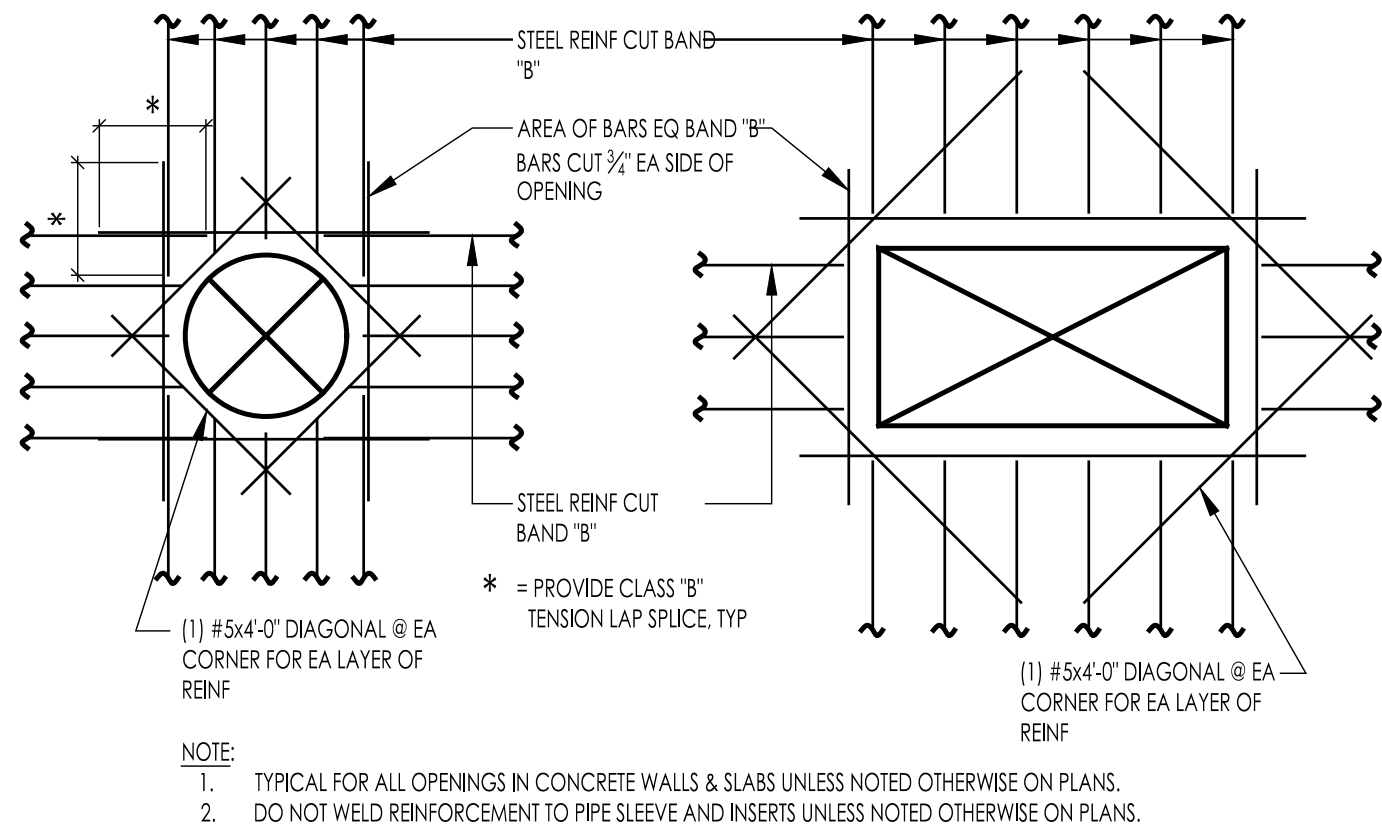
S2.1



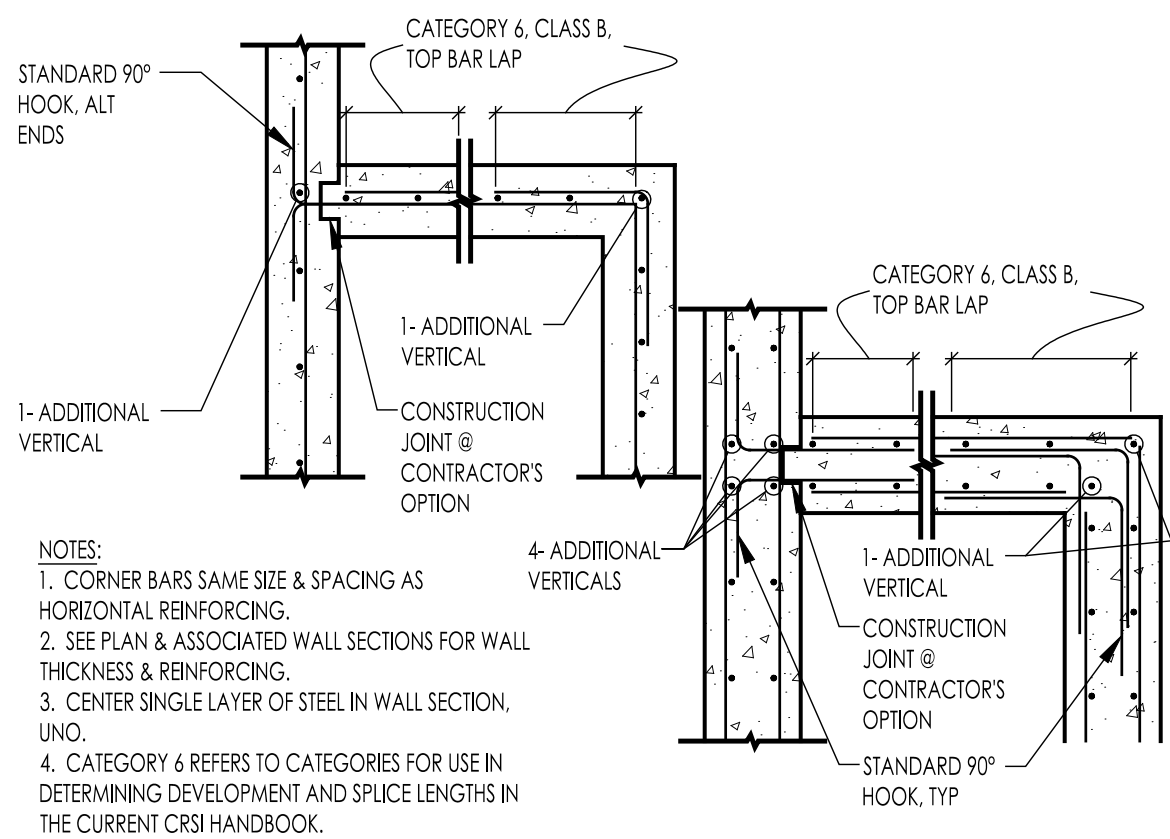
4 TYPICAL FROST WALL
SCALE: NTS



3 TYPICAL VERTICAL WALL JOINTS
SCALE: NTS



2 REINFORCING @ CONCRETE OPENINGS
SCALE: NTS



1 REINFORCING @ CONC WALL CORNERS
SCALE: NTS

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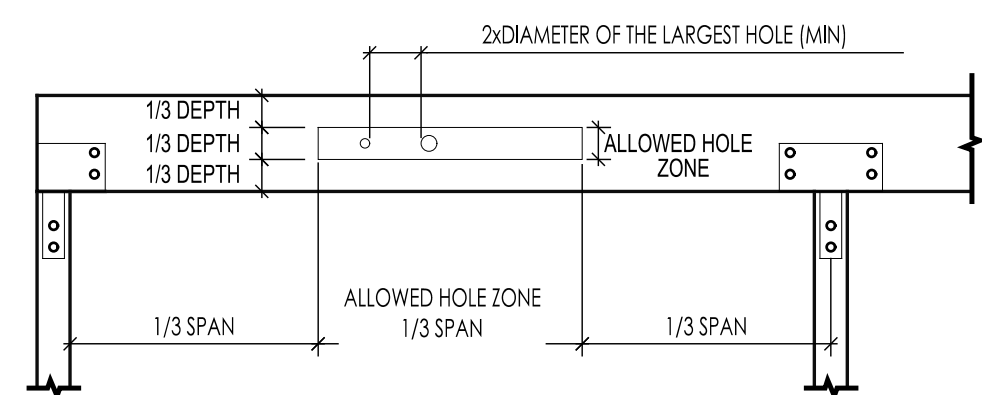
ISSUE		
#	DATE	DESCRIPTION

OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

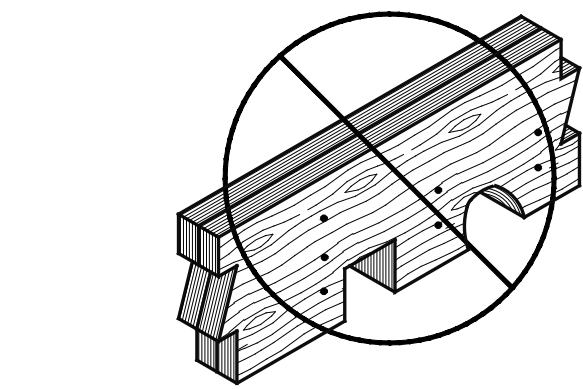
CSD PROJECT #:
SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

WOOD
FRAMING
DETAILS

S3.1



- NOTES:
- THE ALLOWED HOLE ZONE IS SUITABLE ONLY FOR UNIFORMLY LOADED BEAMS USING MAXIMUM LOADS FOR ANY TABLE LISTED IN THIS BROCHURE. FOR OTHER LOAD CONDITIONS OR HOLE CONFIGURATIONS, PLEASE CONTACT YOUR TRUSS JOIST REPRESENTATIVE.
 - RECTANGULAR HOLES ARE NOT ALLOWED.
 - HOLES IN CANTILEVERS REQUIRE ADDITIONAL ANALYSIS.
 - IF LARGER HOLES ARE REQUIRED, CONTACT STRUCTURAL ENGINEER FOR EVALUATION.



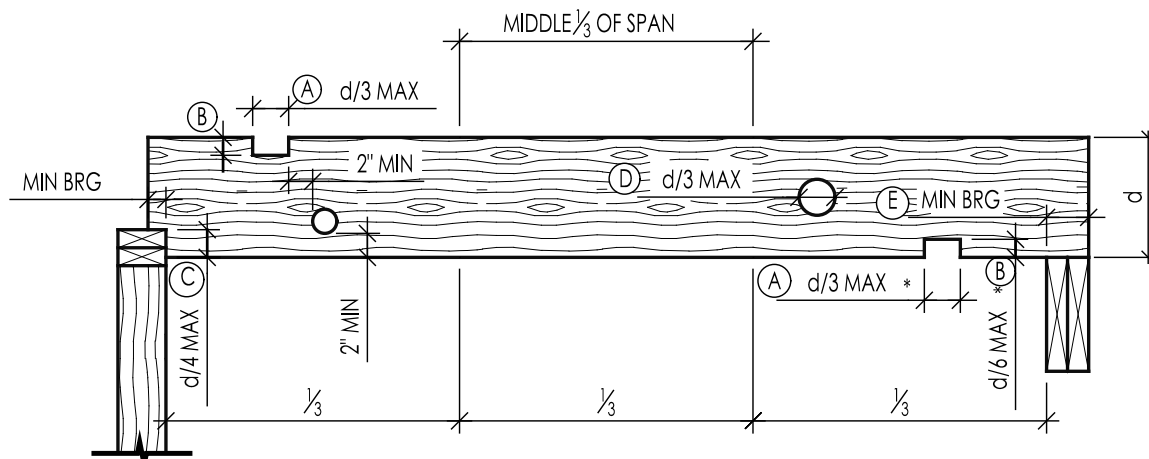
DO NOT CUT, NOTCH OR DRILL HOLES IN MICROLAM LVL EXCEPT AS INDICATED IN TABLE BELOW AND ILLUSTRATION ABOVE.

BEAM DEPTH	MAXIMUM ROUND HOLE SIZE
9"	1 1/2"
7" TO 18"	2"

ALLOWABLE
LVL MODIFICATION DETAIL

4
S3.1

SCALE: NTS



* NOTE: IF b ≥ 3 1/2", THEN NO NOTCHES ON TENSION SIDE EXCEPT AT ENDS (b = MEMBER THICKNESS).

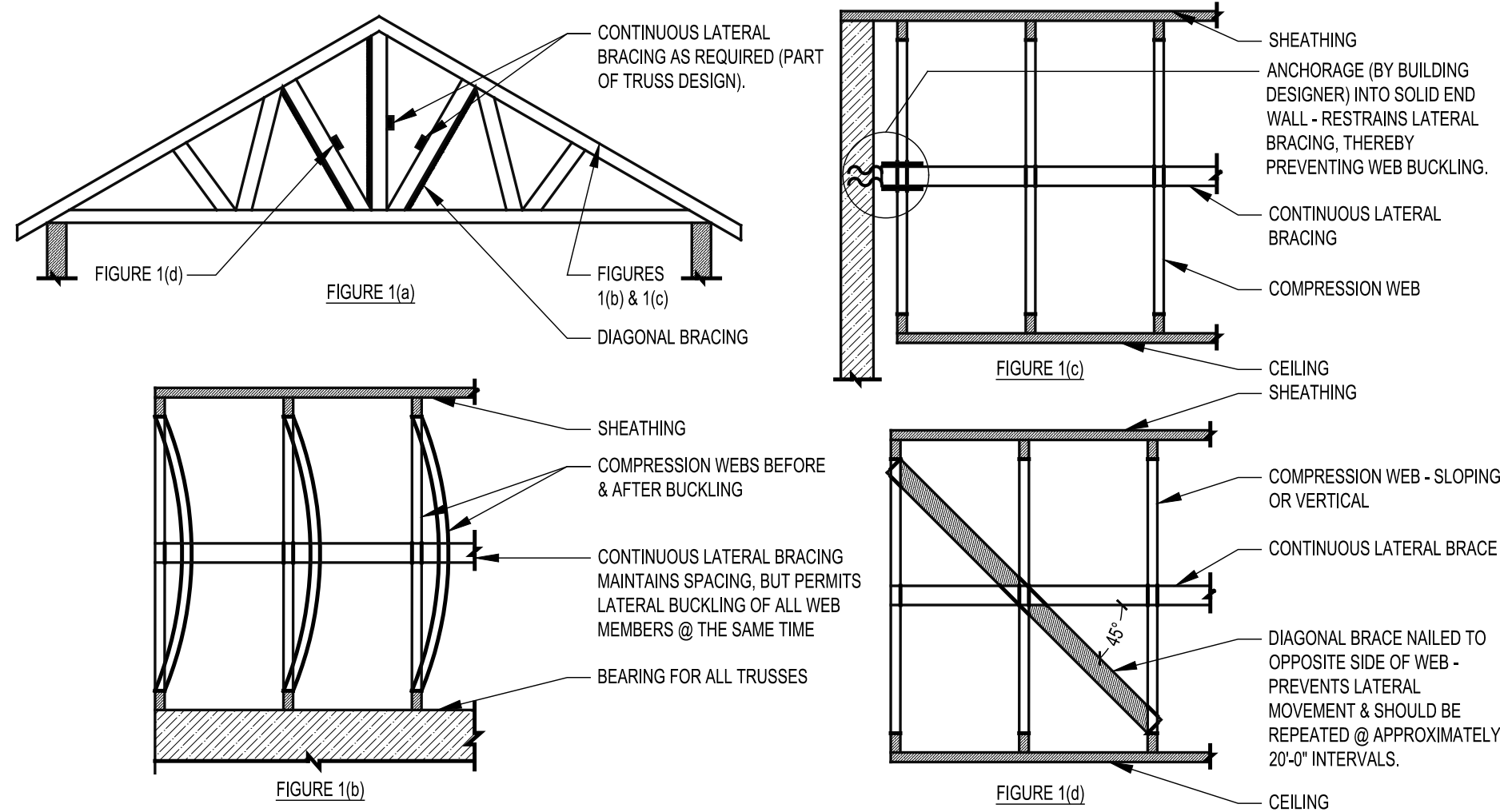
JOIST SIZE	(A) MAXIMUM NOTCH LENGTH	(B) MAXIMUM NOTCH DEPTH	(C) MAXIMUM END NOTCH DEPTH	(D) MAXIMUM HOLE DEPTH	(E) MINIMUM BEARING LENGTH (1)
2x4	1 1/8"	3/4"	1 3/8"	1 1/8"	1 1/2"
2x6	2 1/8"	1 1/8"	1 3/8"	2 1/8"	1 1/2"
2x10	3 1/8"	1 1/2"	2 3/8"	3 1/8"	1 1/2"
2x12	3 3/4"	1 3/4"	2 3/8"	3 3/4"	1 1/2"

NOTE:
1. MINIMUM BEARING: 1-1/2" ON WOOD OR STEEL; 3" BEARING ON MASONRY.

3
S3.1

ALLOWABLE JOIST HOLES & NOTCHES

SCALE: NTS

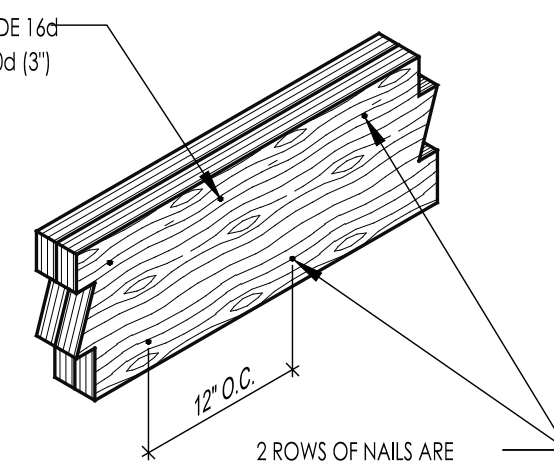


6
S3.1

BRACING DETAILS

SCALE: NTS

STANDARD NAIL SIZES INCLUDE 16d
(3 1/2" NAILS FOR 1 1/2" LVL & 10d (3")
NAILS FOR 2x DIMENSIONAL
LUMBER

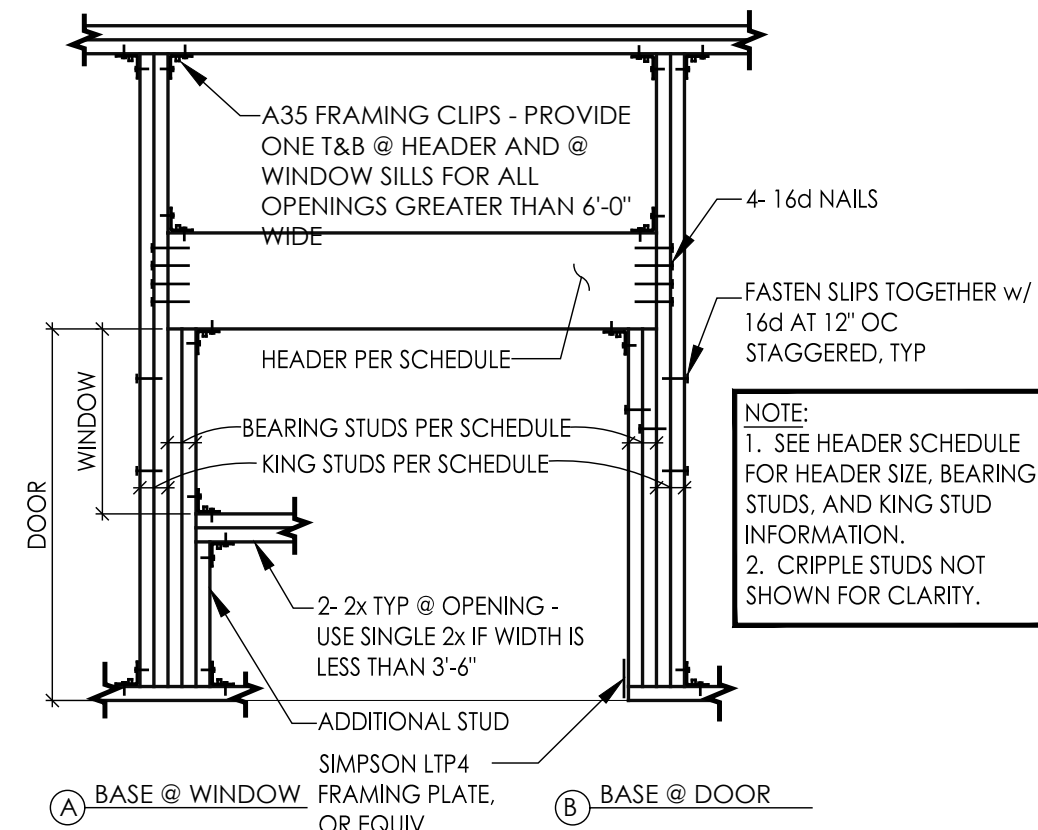


NOTES:
BOLTED CONNECTIONS SHALL BE ASTM GRADE A307 (OR BETTER) 1/2"
BOLTS @ 24" OC WITH WASHERS ON BOTH FACES. UNO

2
S3.1

BEAM/HEADER CONNECTION ASSEMBLIES

SCALE: NTS

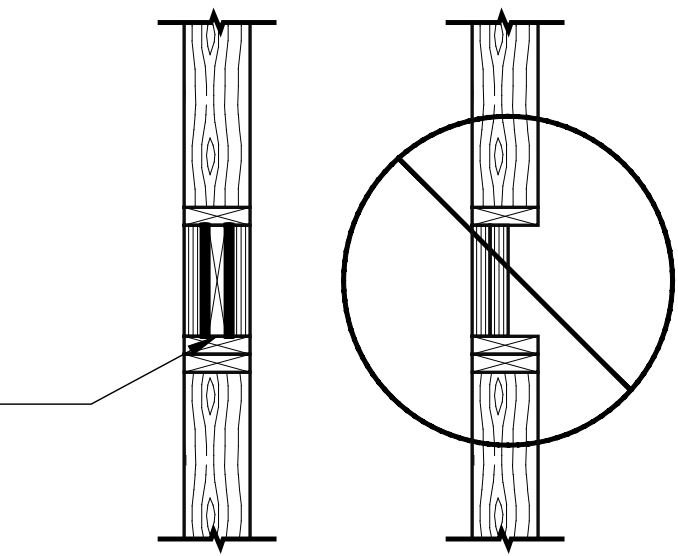


5
S3.1

TYP ELEVATION DETAIL @
OPENING IN WOOD FRAMED WALL

SCALE: NTS

ADDITIONAL PILES
SHALL BE ADDED TO
HEADERS WHERE
HEADER THICKNESS IS
LESS THAN THE WALL
WIDTH



NOTES:
ACCEPTABLE MODIFICATIONS TO ACHIEVE REQUIRED HEADER THICKNESS INCLUDE THE
ADDITION OF LVL, 2x DIMENSIONAL LUMBER, AND OR PLYWOOD OF MATCHING (OR
BETTER) GRADE & SPECIES OF THE CORRESPONDING HEADER AND WALL STUDS.

1
S3.1

HEADER FRAMING DETAIL

SCALE: NTS



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ISSUE		
#	DATE	DESCRIPTION

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WATERTOWN, WI 53094

CSD PROJECT #:

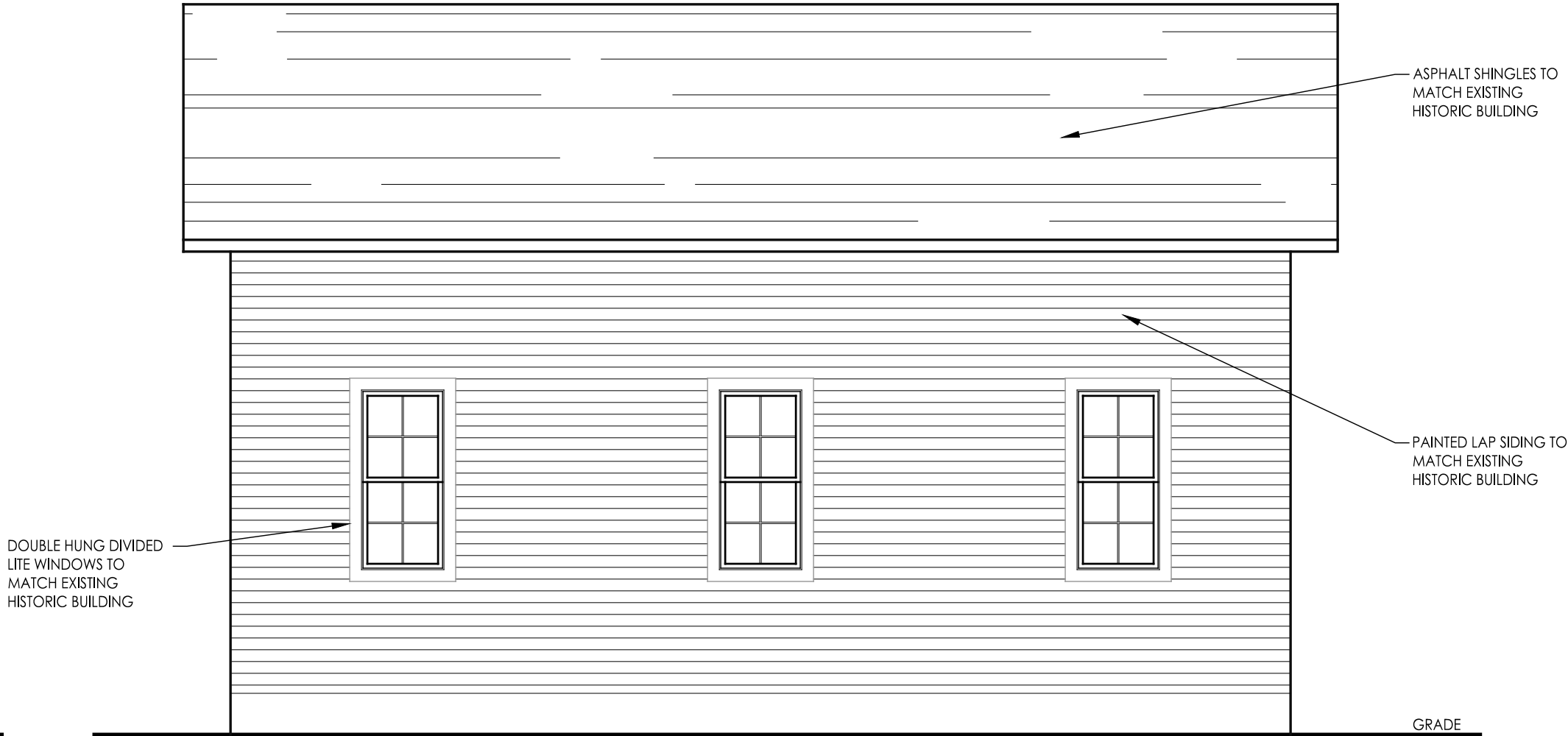
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DATE: 7/31/2024
DRAWN BY: JATF
CHECKED BY: CFN

EXTERIOR
ELEVATIONS

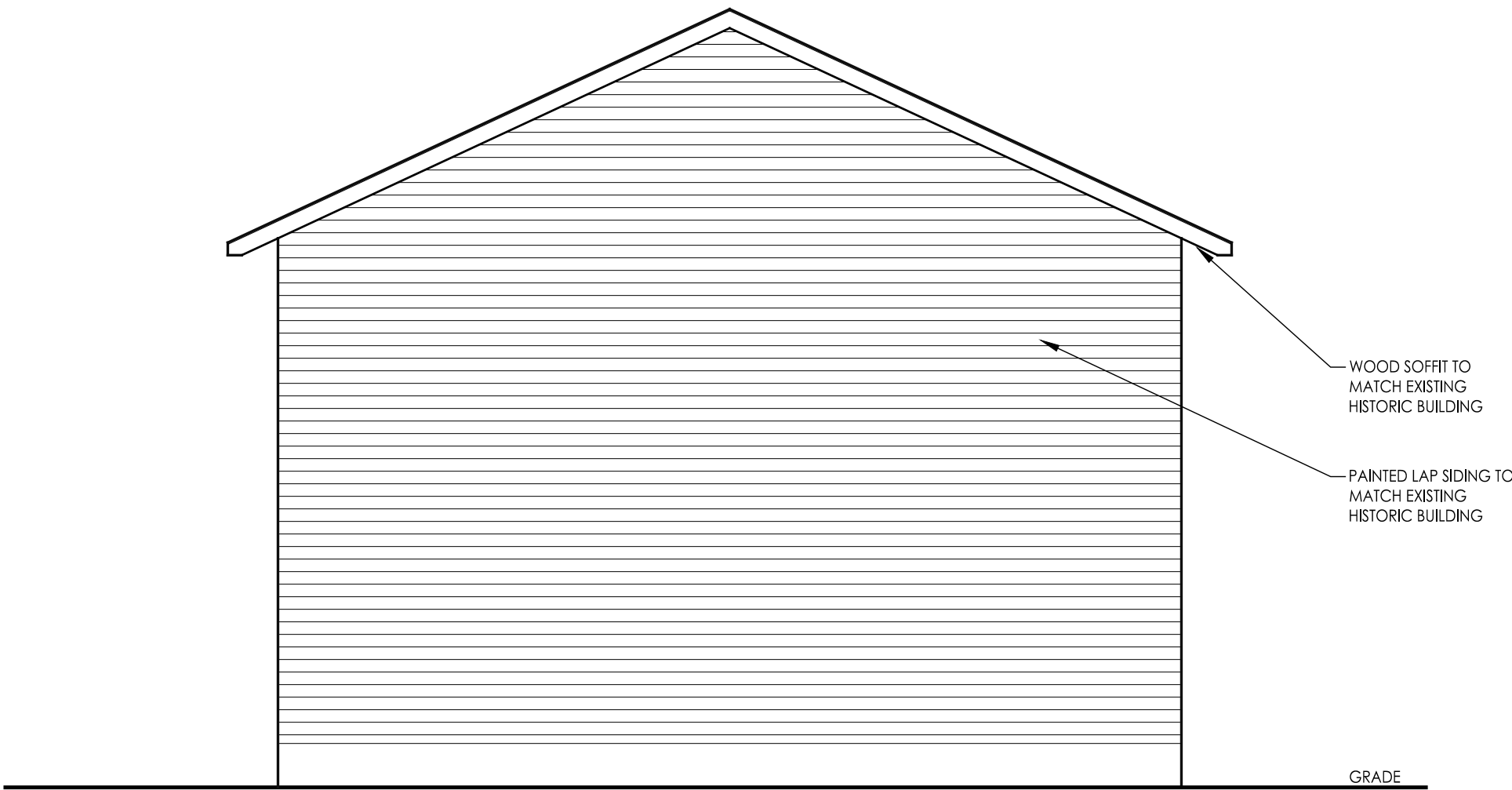
A2.1



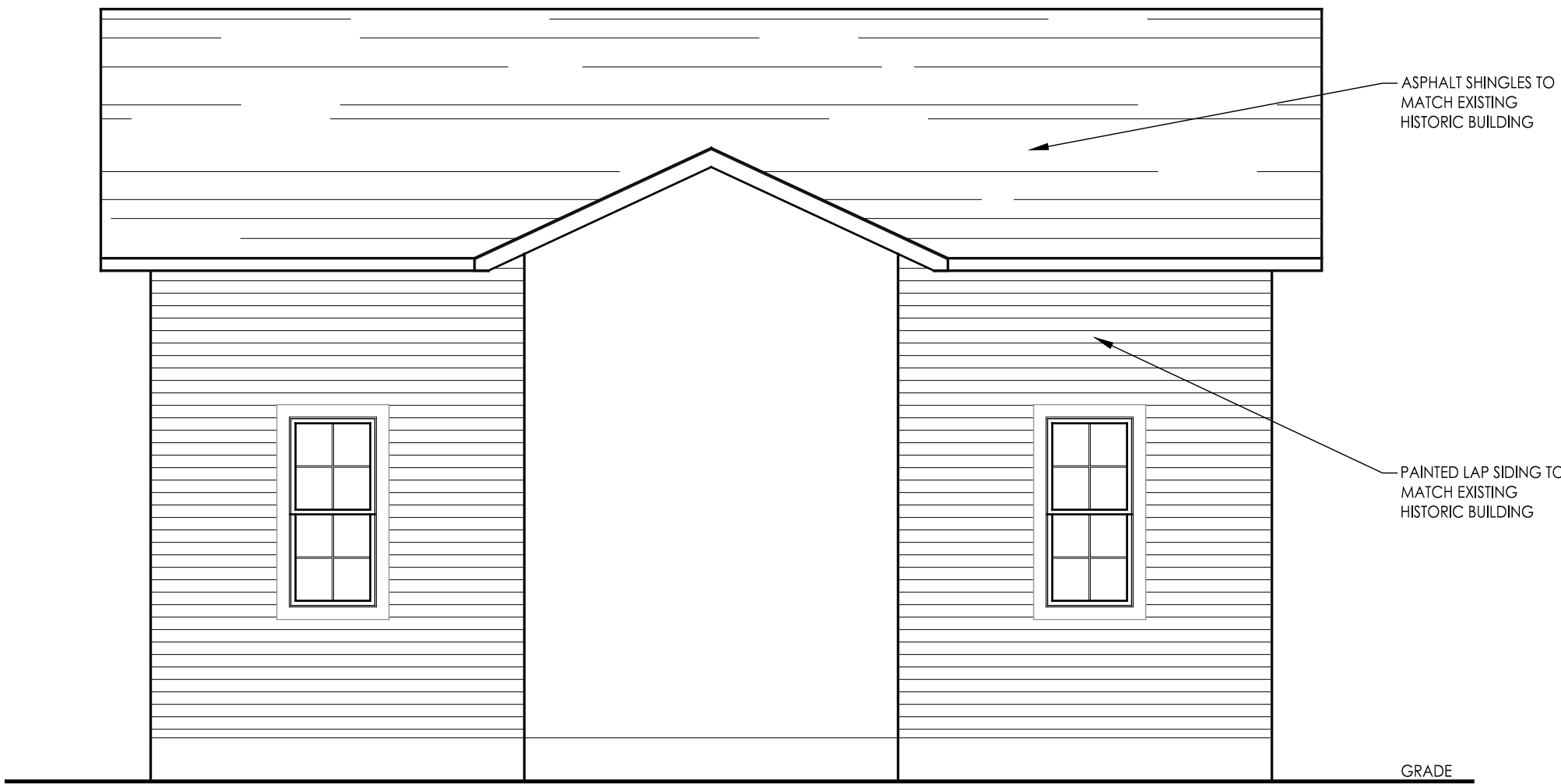
1 PROPOSED WEST ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



2 PROPOSED NORTH ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



3 PROPOSED EAST ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



4 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



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ISSUE

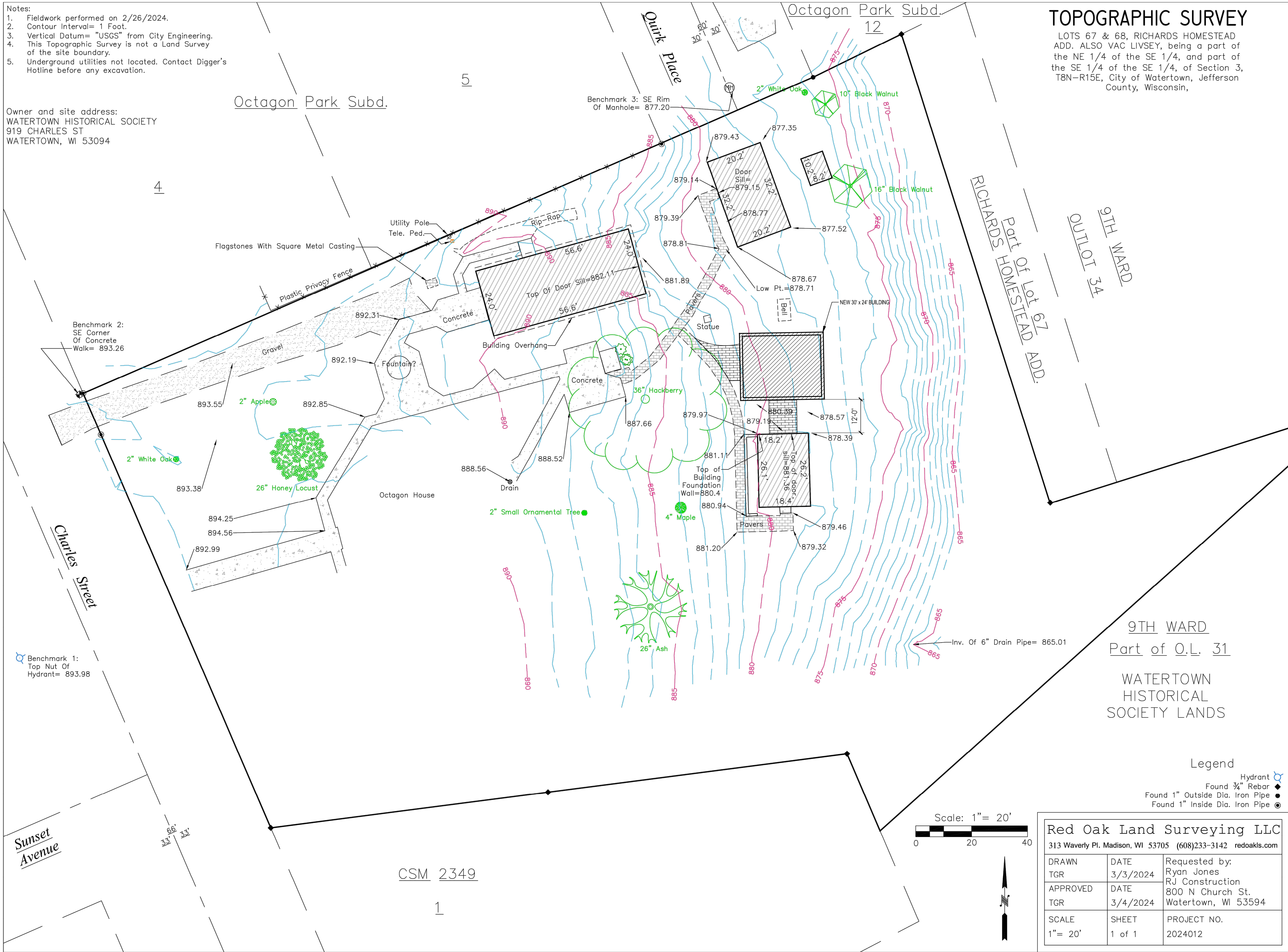
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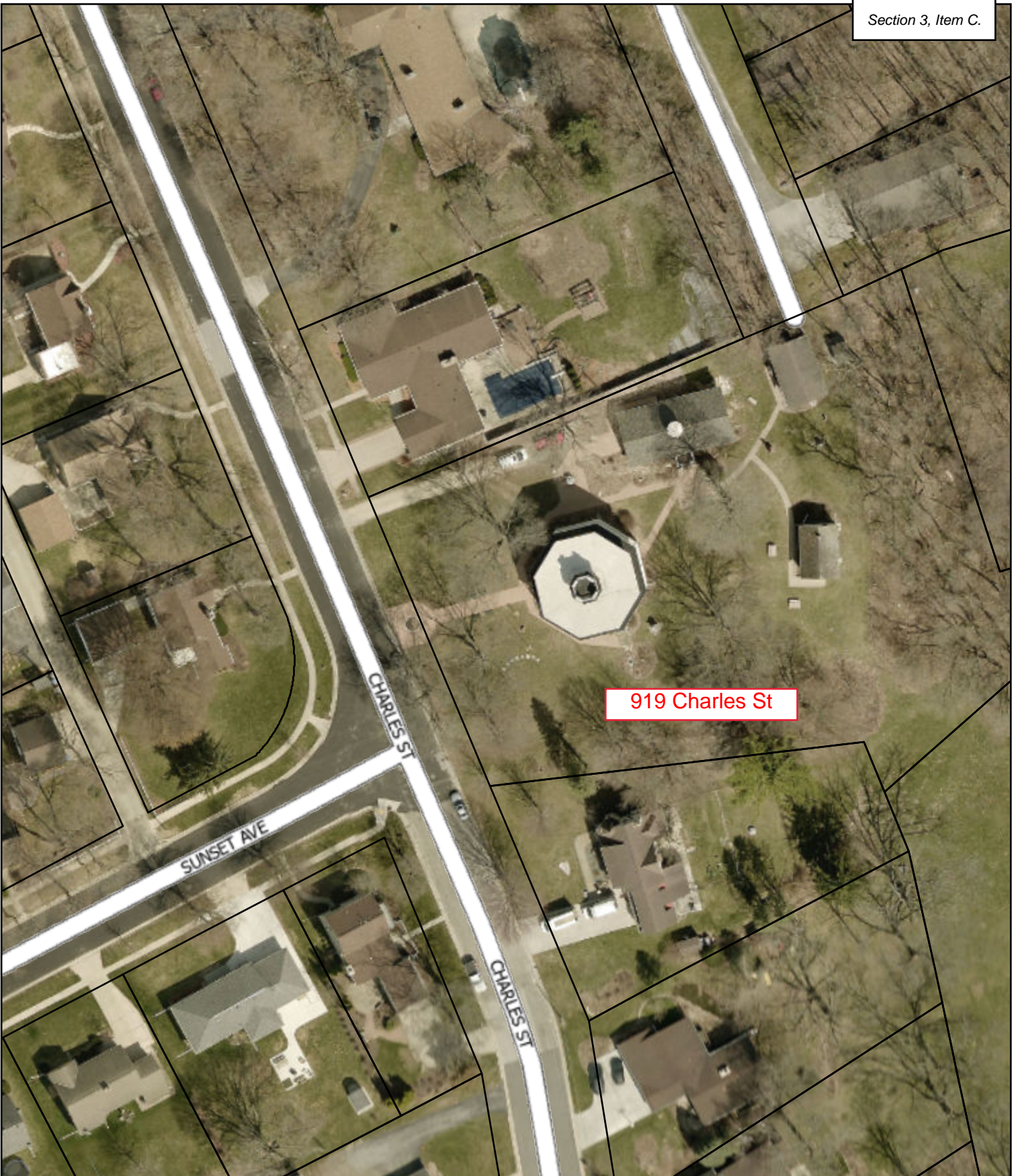
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
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SITE PLAN





 City Limits

 Parcels Lines



City of Watertown Geographic Information System

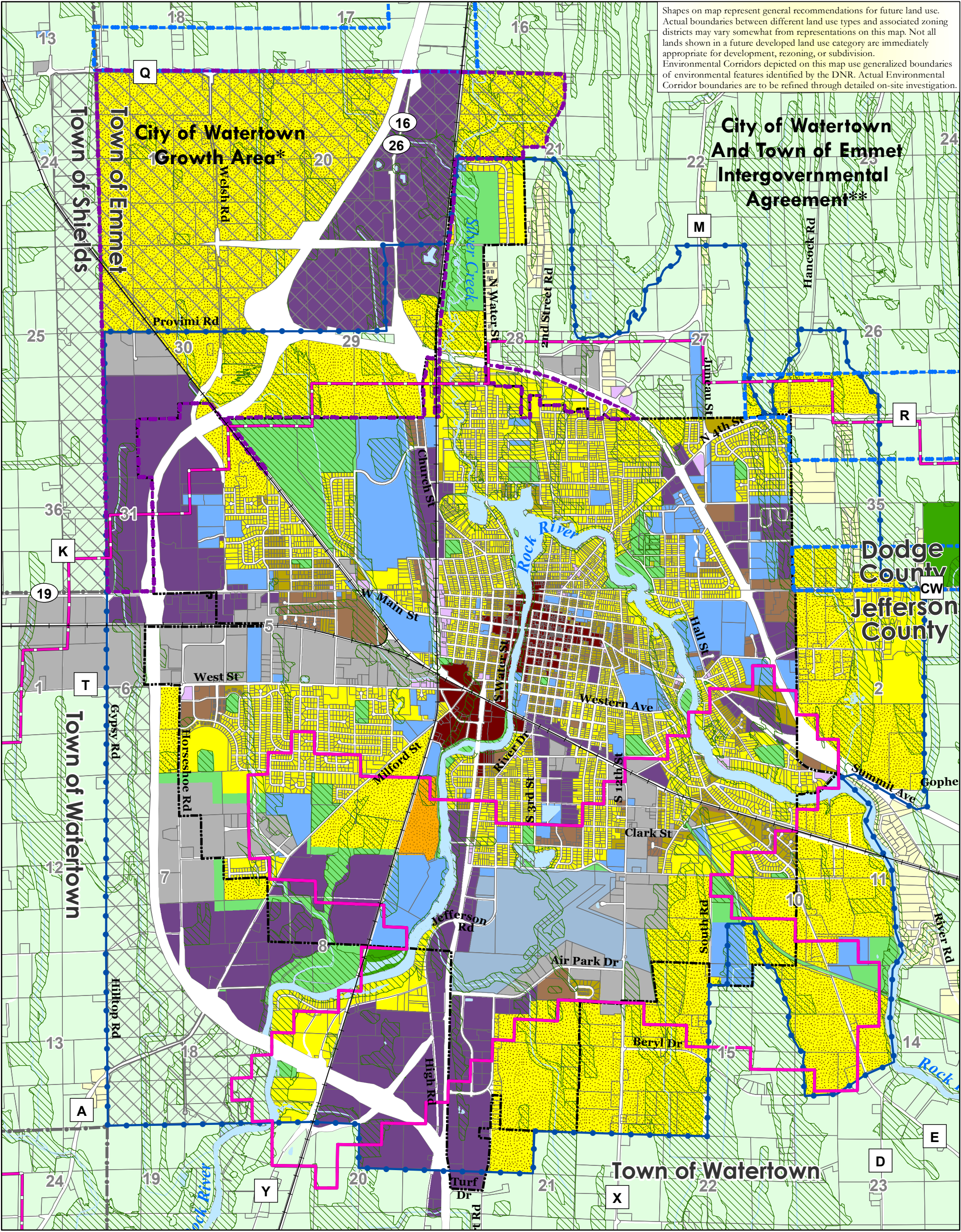
Scale: 1:1,171

SCALE BAR = 1"

Printed on: Septem
Author:

23

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation.
The accuracy of this map is limited to the quality of the records from which it was assembled.
Other inherent inaccuracies occur during the compilation process.
City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Watertown
And Town of Emmet
Intergovernmental
Agreement****

**Dodge
County
Jefferson
County**

Future Land Use Urban Area

**Map
6b**

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



0 0.25 0.5 1 Miles

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwig
920-262-4042

Doug Zwig
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 9th, 2024
SUBJECT: Initial Review and Schedule Public Hearing – Text Amendments to Chapter 550 Zoning

A request for text amendments to the City of Watertown Zoning Code - Chapter 550.

BACKGROUND DESCRIPTION:

Amendment #1:

The zoning code allows institutional land uses (churches, schools, assisted living, etc.) to be located within residential zoning districts. These institutional buildings are largely commercial in nature despite being located in residential zoning districts. Because these institutional land uses are located in residential and not commercial zoning districts, these institutional uses (churches, schools, assisted living, etc.) are not currently required to meet the same exterior storage requirements as similar commercial buildings located in commercial zoning districts. These exterior storage requirements include the need to obtain a conditional use permit when establishing or relocating a dumpster enclosure or a parking area on a parcel. The conditional use permit process allows for neighbors to be notified of the pending change and have an opportunity to provide input regarding the change. This text amendment will require that institutional land uses listed under § 550-51 and located in residential zoning districts abide by the same requirements for exterior storage as required in office and commercial zoning districts.

Amendment #2:

The zoning code sets requirements for exterior storage in non-residential zoning districts. The current non-residential exterior storage standards state that all storage in office, commercial, and industrial zoning districts must be conducted within a completely enclosed building. This requirement is in conflict with the permitted and conditional uses within the industrial zoning districts that allow for other types of exterior storage. In addition, the current non-residential exterior storage requirements contain confusing language as to the types of outdoor storage that require conditional use permit approval under this section. This text amendment clarifies that in industrial zoning districts, exterior storage must follow the requirements of the industrial zoning districts for the permitted and conditional uses within the districts and that storage in all office and commercial zoning districts must be conducted within an enclosed building. In addition, this text amendment clarifies the circumstances when certain outdoor storage uses (establishing/relocating a dumpster enclosure or a parking area) can be approved via a conditional use permit in all non-residential zoning districts (office, commercial, & industrial).

Amendment #3:

The zoning code requires that institutional land uses (churches, schools, assisted living, etc.) abide by the sign regulations for the zoning district in which the structure is located. Because institutional land uses can be located within residential zoning districts, these largely commercial structures (churches, schools, assisted living, etc.) can be significantly limited in the type, size, and placement of signage. For example, the maximum sign area for a monument sign in the Single-Family Residential (SR-4) Zoning District is 2 square feet per sign. In contrast, the maximum sign area for a monument sign in the General Business (GB) Zoning District is 100 square feet per sign. This text amendment would allow institutional land uses listed under § 550-51 and located within a residential zoning district to follow the sign regulations for the General Business (GB) zoning district.

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Opportunity Runs Through It

Amendment #4:

The zoning code contains a section providing regulations for 'detached residential garage, carport, utility shed, play structure, or lawn ornament' accessory land uses. This section contains confusing language that is often misinterpreted. This text amendment renames and rewrites this section of the zoning code to add clarity and to simplify the regulations for residential accessory structures. This text amendment also provides clarity regarding when a conditional use permit can be used to exceed the standards set in this section.

Amendment #5:

Current zoning code provides a description of the 'Convenient Cash Business' land use that includes a listing of the three zoning districts where these uses are conditionally allowed. However, the three zoning districts themselves do not list 'Convenient Cash Business' as conditional uses within each district's listing of conditional uses. This text amendment corrects this oversight and adds 'Convenient Cash Business' as a conditional use in the Planned Business (PB), General Business (GB), and Central Business (CB) zoning districts.

Amendment #6:

Current zoning code provides drainage standards that include the requirement that all parking lots 4,000 sq ft or larger must have inlets connected to the municipal storm sewer system. This requirement is not always desirable because some portions of the municipal storm sewer system do not have the capacity to accept storm water from private parking lots. This text amendment offers other stormwater management systems as an option to handling stormwater from private parking lots.

PROPOSED TEXT AMENDMENT LANGUAGE:**Amendment #1 - § 550-109B**

§ 550-109B Requirements for exterior storage in residential zoning districts. (Proposed [Addition](#))

(6) Institutional Land Uses in Residential Zoning Districts. In residential zoning districts that contain Institutional Land Uses as specified in § 550-51, exterior storage shall abide by the requirements for exterior storage in office and commercial zoning districts as specified in § 550-109D.

Amendment #2 - § 550-109D

§ 550-109D Requirements for exterior storage in nonresidential districts (Proposed [Additions](#) and [Deletions](#))

D. Requirements for exterior storage in nonresidential [zoning](#) districts.

(1) In all office, [and](#) commercial ~~and industrial~~ zoning districts (see § 550-17 for a listing of these districts), all materials, equipment, and trailers shall be stored within a completely enclosed building, [except as specified in § 550-109D\(2\)](#). [In all industrial zoning districts, outdoor storage shall conform to the regulations of the zoning district, except as specified in § 550-109D\(2\).](#) ~~except for the following, which shall not be located within any front yard or required street yard (except for vehicles and/or trailers in designated parking spaces) and shall be stored a minimum of five feet from any and all property lines: screened refuse containers; construction materials, landscape materials and related equipment associated with on-site construction; and off-street parking. Such exterior storage shall require a conditional use permit per § 550-142.~~

(2) In all office, commercial, and industrial zoning districts the following outside storage is subject to a conditional use permit approval per § 550-142. The following items shall not be located within any front yard or street side yard (except for vehicles and/or trailers in designated parking spaces).

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Opportunity Runs Through It

- a) [Establishment or relocation of screened refuse containers not part of an approved site plan.](#)
- b) [Establishment or relocation of off-street parking not part of an approved site plan.](#)

Amendment #3 - § 550-132

§ 550-132 Permitted Sign Rules (Proposed Addition)

D. Signs for Institutional Land Uses in Residential Zoning Districts.

- (1) In residential zoning districts that contain Institutional Land Uses as specified in § 550-51, such uses shall abide by the permitted sign rules for the General Business (GB) Zoning District as specified in Table 550-132A.

Amendment #4 - § 550-56C

§ 550-56C Detached residential garage, carport, utility shed, play structure, or lawn ornament. (Proposed Additions and Deletions)

- C. ~~Detached residential garage, carport, utility shed, play structure, or lawn ornament.~~ Residential Accessory Structure. Description: Attached or detached residential garages and carports; freestanding utility sheds, gazabos, and pergolas; children's play structures; or similar structures.

~~For the purposes of this section, a private residential garage, carport, or utility shed is a structure which primarily accommodates the sheltered parking of a passenger vehicle and/or the storage of residential maintenance equipment and/or personal possessions associated with of the subject property and shall count towards the total number of Residential Accessory Structures. Walks, drives, paved terraces and purely decorative garden accessories such as ponds, fountains, statuary, sundials, flagpoles, etc., shall be permitted in setback areas but not closer than three feet to an abutting property line other than a street line. For the purposes of this section, children's play structures, including playhouses or elevated play structures and climbing gyms, shall be considered accessory structures and shall comply with the requirements of this section whether such play structures are placed on a foundation or not. Swing sets, slides and sandboxes are not considered children's play structures for purposes of this section. A building permit is not required for construction of a play structure. Play structures shall not be used for storage or be constructed out of materials that would constitute a nuisance. It may be located on the same lot as a residential unit or units or on a separate lot in conjunction with a residential land use. See § 550-85 for requirements applicable to legal nonconforming garages. Garages, carports and utility sheds in excess of 1,000 square feet of gross floor area, or which exceed 30% coverage of the rear yard area, or which exceed the lot coverage of the principal structure, are not permitted in residential districts except as conditional uses in the RH and ER-1 Districts. (Also, see the first paragraph of this section.) See § 550-85 for requirements applicable to legal nonconforming garages.~~

For the purposes of this section, gazabos, pergolas, and children's play structures, including playhouses or elevated play structures and climbing gyms, shall count towards the total number of Residential Accessory Structures and shall comply with the requirements of this section whether such structures are placed on a foundation or not. Individual swing sets, slides, and sandboxes are not considered children's play structures or Residential Accessory Structures for purposes of this section. A building permit is not required for construction of gazabos, pergolas, or play structures. A gazabo, pergola, or play structure shall not be used for storage or be constructed out of materials that would constitute a nuisance. A gazabo, pergola, or play structure may be located on the same lot as a residential unit or units or on a separate adjacent lot in conjunction with a residential land use.

For the purposes of this section, detached accessory dwelling units under Section § 550-56 and chicken coops and runs under Section § 550-56X(1)(e) shall count towards the total number of Residential Accessory Structures.

Section 3, Item D.

For the purposes of this section, walks, drives, paved terraces, and purely decorative garden accessories such as ponds, fountains, statuary, sundials, flagpoles, or similar items do not count toward the total number of Residential Accessory Structures and do not require a building permit. Placement of these items is permitted within setback areas but not closer than three feet to an abutting lot line.

For the purposes of this section, deck boxes and similar structures with 32 square feet of gross floor area or less do not count toward the total number of Residential Accessory Structures and do not require a building permit. Placement of deck boxes is permitted within side and rear yard setback areas but not front or street side yard setback areas and not closer than three feet to an abutting lot line. Limit of one deck box or similar structure per residential unit.

(Also, see the first paragraph of this section § 550-56.)

(1) Regulations.

- (a) ~~One attached or detached garage and two~~ A total of three (3) Residential Accessory Structures shall be permitted by right.
- (b) A conditional use permit is required for any combination of Residential Accessory Structures that exceeds any of the following:

[1] 1,000 square feet of gross floor area.

~~[2] 30% coverage of the rear yard area.~~

~~[3] The lot coverage of the principal structure.~~

~~[4]~~ [2] The maximum accessory building coverage of the zoning district.

~~[5]~~ [3] Three (3) Residential Accessory Structures.

Repeal and recreate the following to read as:

§ 550-21C(1)(b) Rural Holding (RH) District

§ 550-22C(1)(b) Countryside Residential (CR-10ac) District

§ 550-23C(1)(b) Exurban Residential-1 (ER-1) District

§ 550-24C(1)(b) Single-Family Residential-4 (SR-4) District

§ 550-25C(1)(b) Two-Family Residential-6 (TR-6) District

§ 550-26C(1)(b) Multifamily Residential-8 (MR-8) District

§ 550-27C(1)(b) Multifamily Residential-10 (MR-10) District

§ 550-28C(1)(b) Senior Residential (SNR) District

§ 550-29C(1)(b) Neighborhood Office (NO) District

§ 550-30C(1)(b) Planned Office and Institutional (PO) District

§ 550-31C(1)(b) Neighborhood Business (NB) District

§ 550-32C(1)(b) Planned Business (PB) District

§ 550-33C(1)(b) General Business (GB) District

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- § 550-34C(1)(b) Central Business (CB) District
- § 550-35C(1)(b) Planned Industrial (PI) District
- § 550-36C(1)(b) General Industrial (GI) District
- § 550-37C(1)(b) Heavy Industrial (HI) District
- (b) [Residential accessory structure.](#)

Amendment #5 - § 550-32B(2), § 550-33B(2), and § 550-34B(2)

§ 550-32B(2), § 550-33B(2), and § 550-34B(2) Convenient Cash Business (Proposed [Additions](#))

- § 550-32B(2) Planned Business (PB) District
[\(m\) Convenient Cash Business](#)
- § 550-33B(2) General Business (GB) District
[\(q\) Convenient Cash Business](#)
- § 550-34B(2) Central Business (CB) District
[\(l\) Convenient Cash Business](#)

Amendment #6 - § 550-120C

§ 550-120C Drainage Standards (Proposed [Additions](#))

- C. Standards. No land shall be developed and no use shall be permitted that results in water runoff which causes property damage, a nuisance and/or erosion on adjacent properties. Such runoff shall be properly conveyed to a public storm drain, drainageway or other such public drainage facility per the approval of the Public Works Director/City Engineer. All parking lots 4,000 square feet or larger shall be internally drained with catch basins connected to a municipal storm sewer ~~or~~ [other on-site stormwater management system in accordance with Article III, Stormwater Maintenance, of Ch. 453, Municipal Code.](#)

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Set the public hearing date for October 1st, 2024.
2. Postpone public hearing to a later date or indefinitely.

§ 550-132. Permitted sign rules.

A. Signs shall be allowed on private property in the City of Watertown in accordance with Tables 550-132A(1) through 550-132A(4), which addresses permitted signage as it relates to permits, quantity, area, location, lighting, and zoning districts. The requirements set forth in Tables 550-132A(1) through 550-132A(4) shall be declared to be part of this chapter. Figure 550-132A illustrates the specific sign types. **[Amended 8-1-2023 by Ord. No. 23-19; 9-19-2023 by Ord. No. 23-22]**

- (1) The rules for permanent signs are located in Table 550-132A(1).
- (2) The rules for temporary signs are located in Table 550-132A(2).
- (3) The rules for permanent miscellaneous signs are located in Table 550-132A(3).
- (4) The rules for temporary miscellaneous signs are located in Table 550-132A(4).

Table 550-132A(1): Permanent Sign Group¹						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
A. Freestanding Sign Category:*								
1. Monument sign	Sign Permit required for each new sign.	Limit of 1 freestanding sign for every 330 feet of street frontage or 1 sign per each site entrance, regardless of the number of tenants	Maximum of 1 square foot of sign area for every foot of the site's street frontage - up to the District maximum	Minimum sign setback from each property line shall be greater than or equal to the sign height	Standard²	2 square feet maximum area per sign 5 feet maximum height per sign	50 square feet maximum area per sign 6 feet maximum height per sign	100 square feet maximum area per sign 15 feet maximum height per sign
2. Dual post sign							50 square feet maximum area per sign 6 feet maximum height per sign	100 square feet maximum area per sign 6 feet maximum height per sign
3. Pylon sign		Limit of 1 pylon sign for each site, regardless of the number of tenants				Not allowed		See § 550-132C
B. On-Building Sign Category: * All on-building signs on the same building facade shall be the same type of sign (1-5), below.								
1. Wall sign	Sign permit required for each new sign	Limit of 1 on-building sign for each tenant, on each building facade that faces (roughly parallel to) a public street	Maximum of 1 square foot of sign area for every foot of building's facade length - up to the District maximum	No part of any sign shall extend higher than the building parapet or eave and minimum overhang clearance required	Standard²	2 square feet maximum area per sign	100 square feet maximum area per sign	200 square feet maximum area per sign
2. Awning sign					Ambient only		50 square feet maximum area per sign	100 square feet maximum area per sign
3. Canopy sign					Ambient and internal		100 square feet maximum area per sign	200 square feet maximum area per sign
4. Marquee sign								
5. Projecting sign								

Table 550-132A(1): Permanent Sign Group ¹						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PL, GI, HI
C. Pedestrian Sign Category: * All pedestrian signs on the same building facade shall be the same type of sign (1-2), below.								
1. Blade sign	Sign permit required for each new sign	Limit of 1 pedestrian sign for each tenant.	None needed. Use maximum area limit	On-building. Must be located in front of a customer entrance.	Ambient only	Not allowed	14 square feet maximum area per sign	16 square feet maximum area per sign
2. Suspended sign								
D. Permanent Changeable Sign Category: *								
1. Wall-mounted changeable sign	Sign permit required for each new sign	Limit of 1 permanent wall-mounted changeable sign for each tenant	None needed. Use max area limit	On-building. Maximum 4 inches from wall	Ambient only	Not allowed	8 feet maximum area per sign	
2. Freestanding changeable sign		Limit of 1 permanent freestanding changeable sign for each tenant unless used in conjunction with a drive through Drive through use limit of 1 permanent freestanding changeable sign per drive through lane		Freestanding. Within 10 feet of public entrance When used in conjunction with a drive-through per C.U.P.	Standard ²		15 square feet maximum area per sign 8 feet maximum height per sign	
3. Drive-through sign		Limit of 1 drive-through sign per drive-through lane		Per C.U.P.		Not allowed	40 square feet maximum area per sign 8 feet maximum height per sign	

* Refer to § 550-131A for definition and rules for each sign category (lettered) and each sign type (numbered).

¹ Available to land uses identified in Article IV of this chapter as agricultural, institutional, commercial, storage or disposal, transportation, and industrial.

² "Standard" means the following forms of sign lighting: ambient, backlit, internal character or cabinet, and gooseneck.

Table 550-132A(2): Temporary Sign Group¹						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
A. Temporary Board & Banner Sign Category:* Temporary board, banner, or feather sign maybe displayed permanently, but typically are not.								
1. Board sign	Sign permit not required	Any combination of sign type, not to exceed 2 signs per site, or 1 sign per each site entrance, or Limit 1 sign type per each tenant	None needed. Use maximum area limit	On-building or free-standing. Minimum sign setback from each property line shall be greater or equal to the sign height.	Ambient only	32 square feet maximum area per sign	40 square feet maximum area per sign	
2. Banner sign						6 feet maximum height per sign	6 feet maximum height per sign	
3. Feather sign						Not allowed	30 square feet maximum area per sign	10 feet maximum height per sign
B. Temporary Changeable Sign Category:* Temporary changeable signs may be displayed daily³								
1. Sandwich board sign	Sign permit not required	Limit of 1 Sandwich Board Sign per sidewalk entrance during owner/tenant occupation of the property.	Shall not be more than four feet high or more than two feet wide, including frame or supporting structure.	Street terrace or on private property within the Central Business (CB) Zoning District	Ambient only	Not allowed		Allowed in CB Zoning District Only 8 square feet maximum area per sign 4 feet maximum height per sign
C. Temporary Approved Development Sign Category:*								
1. Active building board sign	Sign permit not required	Limit of 1 for each approved building with a valid Building Permit	None needed. Use max area limit	On-building or free-standing. Minimum sign setback from each property line shall be greater or equal to the sign height	Ambient only	32 square feet maximum area per sign 6 feet maximum height per sign		
2. Active plat board sign		Limit of 1 for each public street intersection at the perimeter of any active plat phase				32 square feet maximum area per sign 6 feet maximum height per sign		

* Refer to § 550-131B for definition and rules for each sign category (lettered) and each sign type (numbered).

¹ Available to land uses identified in Article IV of this chapter as agricultural, institutional, commercial, storage or disposal, transportation, and industrial.

³ Shall be kept inside the principal structure when the property owner or tenant is not occupying the principal structure.

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Table 550-132A(3): Permanent Misc. Sign Group ¹						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR, MR, SNR	RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
B. Optional Miscellaneous Sign Category:*								
1. Plaque sign	Sign permit required for each new sign	Up to 3 per designated historic property, site, or district	None needed. Use max area limit	On-building, within 10 feet of the main entrance.	Ambient only	6 square feet maximum area per sign 8 feet maximum height per sign		
2. Permanent plat sign		Per final plat or Certified Survey Map		In plat or Certified Survey Map Outlot		100 square feet maximum area per sign 8 feet maximum height per sign		
3. Auxiliary freestanding sign.		Not to exceed the total number of required parking stalls		3 feet from any street, side, or rear lot line 0 feet for parcels located within the CB Zoning District		2 square feet maximum area per sign 8 feet maximum height per sign		
4. Auxiliary wall sign.						6 square feet maximum area per sign		

* Refer to § 550-131C for definition and rules for each sign category (lettered) and each sign type (numbered).

¹ Available to all land uses.

² "Standard" means the following forms of sign lighting: ambient, backlit, internal character or cabinet, and gooseneck

Table 550-132A(4): Temporary Misc. Sign Group ¹						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR, MR, SNR	RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
A. Yard Sign Category: A Yard Sign may be displayed permanently, but typically is not.								
1. Stake sign	Sign permit not required	Unlimited	None needed. Use maximum area limit. ²	Must be located on-site. ²	Ambient only	6 square feet maximum area per sign 4 feet maximum height per sign		
2. Frame sign				Minimum sign setback from each property line shall be greater than or equal to sign height.		9 square feet maximum area per sign 6 feet maximum height per sign		
3. Arm and post sign								

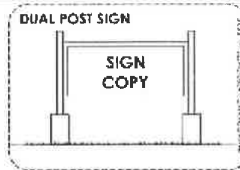
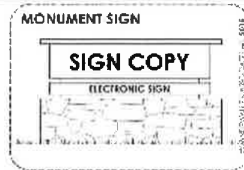
* Refer to § 550-131D for definition and rules for each sign category (lettered) and each sign type (numbered).

¹ Available to all land uses.

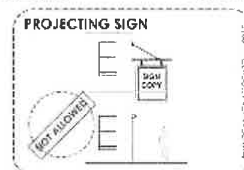
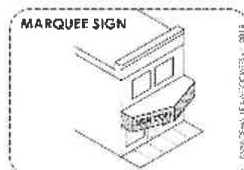
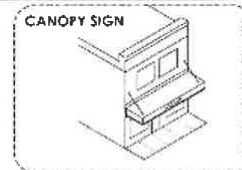
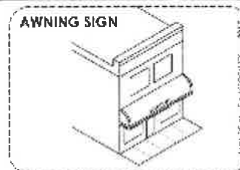
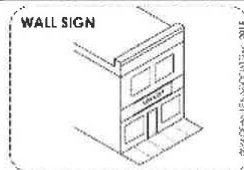
² Sign must be located on-site and must not be located within any street right-of-way (which includes the entire public sidewalk and street terrace area).

Figure 550-132A: Illustration of Sign Types

Freestanding Sign Category



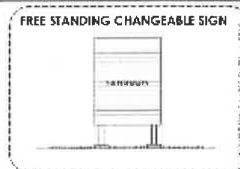
On-Building Sign Category



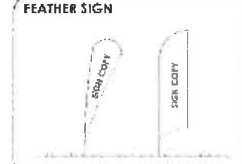
Pedestrian Sign Category

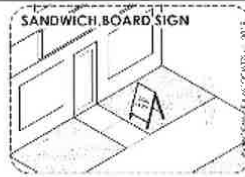
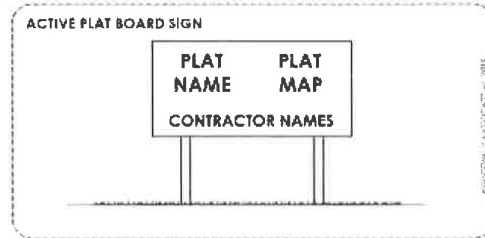
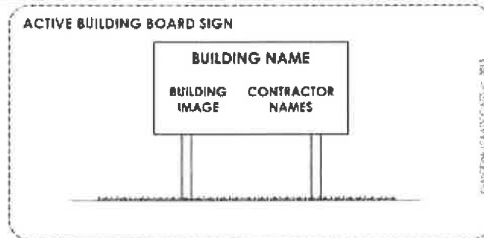
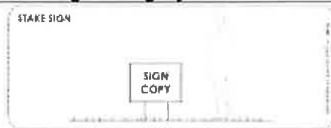


Permanent Changeable Sign Category



Temporary Board & Banner Sign Category



Temporary Changeable Sign Category**Temporary Approved Development Sign Category****Optional Miscellaneous Sign Category****Yard Sign Category****B. Signs in historic and special districts.**

- (1) In designated historic districts and special districts, in addition to the sign regulations in this article, all signs within any historic district and special district shall be subject to the provisions of Chapter 325, Historic Preservation, of the City's Municipal Code.
- (2) Prior to the issuance of a sign permit, as defined in § 550-134C the applicant shall have the design reviewed by the Historic Preservation and Downtown Design Commission prior to approval.
- (3) All internally illuminated signs, plastic or otherwise, are strictly prohibited within a historic district.
 - (a) Except marquee signs, defined under § 550-131A(2)(d).
- (4) Marquee signs.
 - (a) Marquee signs shall be permitted on a historic site or a contributing property with evidence, historic photos and any other documentation of a prior marquee sign.
 - (b) Marquee signs on a historic site or a contributing property shall be restored to their original appearance and dimensions based on historic photos and any other

documentation.

- [1] The City of Watertown Historic Preservation and Downtown Design Commission may, with the granting of a certificate of appropriateness, allow a marquee sign to deviate from the original appearance and dimension based on historic photos and any other documentation.
- (c) Marquee signs on a historic site or a contributing property may have lighting restored to their original appearance and dimensions based on historic photos and any other documentation.
- (d) Marquee signs on a noncontributing property may be allowed pending a certificate of appropriateness from the City of Watertown Historic Preservation and Downtown Design Commission.
- (5) All pedestrian category signs within an historic district or a special district shall be designed to enhance and complement the historic character of the buildings within the historic district or special district and shall be subject to the following guidelines:
- (a) No building may have more than one pedestrian category sign per customer entrance and no more than one pedestrian category sign per tenant for each street frontage where the building is built up to the sidewalk.
- (b) No pedestrian category sign shall be more than four feet in width, with a maximum total outward extension, including bracketry, of five feet from the building to which it is attached. The pedestrian category sign itself shall not be closer than six inches to the building to which it is attached.
- (c) Three-dimensional signs are allowed but may not exceed two feet at their largest cross section. The sign message shall be limited to the two surfaces perpendicular to the building.
- (d) All fasteners and bracketry shall be securely fastened to the building at both the top and bottom of the sign. All bracketry shall be part of the overall design and shall be made to enhance the sign. The fasteners shall be bolted to masonry joints wherever possible to avoid damage to brick or stonework.
- (e) Pedestrian category signs shall be positioned so they are an integral design feature of the building and should help to define and enhance architectural features. Signs shall only be placed in the horizontal lintels or "sign space" above the storefront windows or in other historically appropriate areas approved by the Historic Preservation and Downtown Design Commission.
- (f) No pedestrian category signs shall be placed, mounted or erected in such a manner as to interfere with any exit, fire escape, window or architectural ornamentation.
- (g) Pedestrian category signs may be externally illuminated only as follows:
- [1] Gooseneck lighting from above the sign.
- [2] Lighting shall be directed onto the sign and no other part of the building.

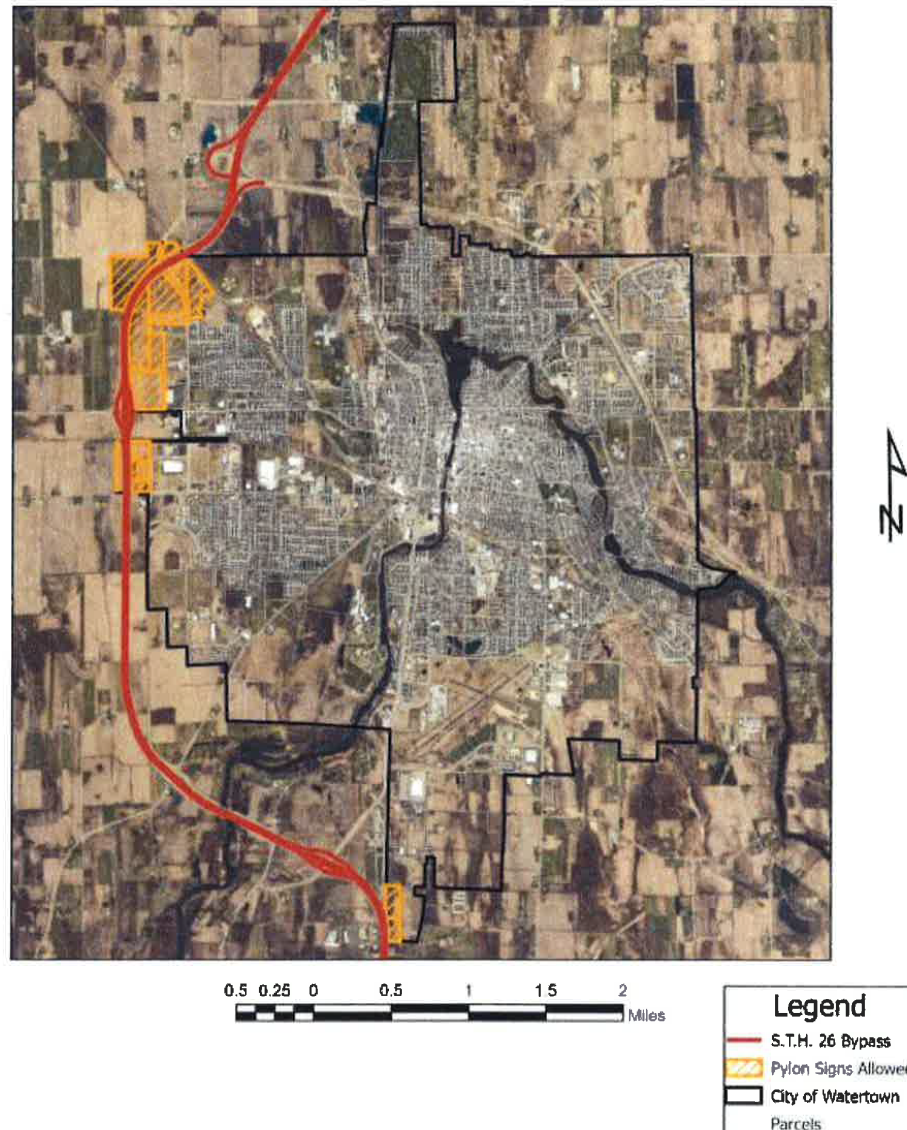
- (h) Sign colors should blend with the building facade to which the sign is attached. No more than six colors shall be used. Colors shall be selected from the low-intensity colors on the color chart provided by the Historic Preservation and Downtown Design Commission.
- (i) Allowable pedestrian category sign materials shall be made of a rigid standardized sign material (e.g., wood, wood laminate, metal, etc.).

C. S.T.H. 26 pylon sign allowance areas.

- (1) Location. Pylon signs shall only be permitted within the S.T.H. 26 pylon sign allowance areas in Figure 550-132C.
- (2) Height. Pylon signs may not exceed the maximum building height bulk requirement for the corresponding Zoning District for the property upon which the pylon sign is being erected.
 - (a) Pylon signs may exceed said maximum height regulations with the granting of a conditional use permit which specifically states the maximum permitted height of the proposed pylon sign.
 - (b) In no instance shall a pylon sign extend into the Airport Approach Protection Zone or Height Limitation Zone identified in Chapter 211 of the City of Watertown Municipal Code.
- (3) Maximum permitted sign area: one square foot of signage for every foot of the adjacent public street frontage selected for the lot — up to a maximum sign area of 150 square feet.
- (4) Pylon signs shall have signage plans approved and stamped by a professional engineer registered in the State of Wisconsin and accompanied by a statement of compliance with state laws.
- (5) Pylon signs shall meet all other requirements for the freestanding sign category in Table 550-132A(1).

Figure 550-132C: S.T.H. 26 Pylon Sign Allowance Area

S.T.H. 26 Pylon Sign Allowance Areas City of Watertown, WI



Section § 550-133: Sign Setback, Height, Measurement, and Flexibility