



PLAN COMMISSION MEETING AGENDA

MONDAY, SEPTEMBER 11, 2023 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 877 309 2073 Access Code: 893-990-789 or <https://meet.goto.com/893990789> All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

- A. Review and take action: Plan Commission minutes dated August 14, 2023

3. BUSINESS

- A. Conduct public hearing: 311 S. Third Street - Conditional Use Permit (CUP) request for batting cages under Indoor Commercial Entertainment Section 550-34B(2)(f)
- B. Review and take action: 311 S. Third Street - Conditional Use Permit (CUP) request for batting cages under Indoor Commercial Entertainment Section 550-34B(2)(f)
- C. Review and take action: 1508 Neenah Street – proposed open air pavilion
- D. Review and take action: 515 Pearl Street (614 Milford Street) – proposed 1,040 SF Grounds Garage
- E. Update and Discussion on Emmet Boundary Agreement/Annexation

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@CityofWatertown.org, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

**PLAN COMMISSION
MINUTES
AUGUST 14, 2023**

Section 2, Item A.

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor McFarland, Blanke, Holloway, Krueger (remote), Lampe, Talaga (remote), Zirbes. Also in attendance were Ruth Mack of Loeb & Co., LLP; Helen Weihert, and Heather Van Dam.

1. Call to order (4:30pm)

2. Approval of Minutes (A and B voted on jointly)

A. Site Plan Review minutes July 24, 2023

Motion to approve the June 24th Minutes was made by Konz and seconded by Lampe, passed on unanimous voice vote.

B. Plan Commission minutes July 24, 2023

Motion to approve the June 24th Minutes was made by Konz and seconded by Lampe, passed on unanimous voice vote.

3. Business

A. Review and take action: 418 Water Tower Court – proposed office and kennel addition to existing building

Brian Zirbes presented the request for a proposed building addition at 418 Water Tower Court (Watertown Humane Society). This is for additional office and kennel space.

Motion was made by Holloway and seconded by Lampe to approve the site plan with the condition that a lighting plan consistent with the zoning code be submitted, passed on a unanimous voice vote.

B. Review and take action: N8890 West Road – Extraterritorial Certified Survey Map (CSM)

Brian Zirbes presented the request for a proposed CSM from Helen Weiart for N8890 West Road. No right away or airport approach issues for this CSM.

Motion was made by Holloway and seconded by Blanke to approve the request for a preliminary extraterritorial CSM without conditions, passed on a unanimous voice vote.

C. Review and take action: 1014 S. Second Street – Certified Survey Map (CSM)

Brian Zirbes presented the request for a proposed CSM from Loeb and company for a CSM for 1014 S. Second Street. This request would split the current lot into two separate lots, one of 2.1 acres and another of .857 acres.

Motion was made by Konz and seconded by Holloway to approve the CSM creating a two lot parcel at the current address of 1014 S. Second Street, passed on a unanimous voice vote.

D. Review public hearing comments and make recommendation to Council: rezoning ordinance for new fire station

No comments were made at the public hearing. It was noted that there was one area that was currently two family however the correct current zoning is multi family. That correction has been made on the ordinance change.

Motion was made by Holloway and seconded by Blanke to make a positive recommendation with the conditions identified by the Plan Commission and noting the clerical error that incorrectly identified two family zoning to the common council, passed on a unanimous voice vote.

E. Review public hearing comments and make recommendation to Council: 1722 S. Church Street text amendments for drive thru

No comments were made at the public hearing. This is an update to the City of Watertown Zoning Code Chapters 550-131 and 550-132 relating to permitted sign rules and drive thru signage.

Motion was made by Lampe and seconded by Holloway to make a positive recommendation to the common council, passed on a unanimous voice vote.

All materials discussed at this meeting can be found at:

<https://cms4files.revize.com/watertownwi/Plan%20Commission%20Meeting%20Packet%20August%202014,%202023.pdf>

4. Adjournment

Motion to adjourn was made by Lampe and seconded by Holloway and passed on a unanimous voice vote at 4:44pm.

Respectfully Submitted,

Alderman Brad Blanke

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 311 S Third Street, Conditional Use Permit - CUP

A request by Jorge Montgomery for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment.
Parcel PIN: 291-0815-0413-030

SITE DETAILS:

Acres: 0.19
Current Zoning: CB Central Business
Existing Land Use: Commercial
Future Land Use Designation: Central Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

Applicant is seeking approval of a conditional use permit to operate a batting cage business within a portion of an existing commercial building. The business will operate Monday thru Friday 2 pm to 6 pm and Saturday 12 pm to 6 pm. Fall hours will change to Monday thru Friday 3 pm to 8 pm and Saturday 12 pm to 8 pm. The business operation will consist of three batting cages and a point of sales area.

STAFF EVALUATION:

Site Plan Review Committee:

See Minutes of September 11th, 2023.

Land Use and Zoning:

1. Within the Central Business (CB) Zoning District, 'no requirements for on-site landscaping or parking are required' [per § 550-34A].
2. Also, within the Central Business (CB) Zoning District 'Indoor Commercial Entertainment' is a principal land use permitted as a Conditional Use [per § 550-34B(2)(f)]. 'Indoor Commercial Entertainment' includes training studios among the allowed uses [per § 550-52H].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- 'If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property' [per § 550-52H(1)(a)].
- The 'facility shall provide a bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property' [per § 550-52H(1)(b)].

WISCONSIN ACT 67:

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) In this paragraph:

- a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

- b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
- a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
- b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)
- Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
3. 62.23 (7) (de)(4)
- Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
4. 62.23 (7) (de)(5)
- If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Commercial Entertainment Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
Facility shall provide bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see § 550-99).	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.

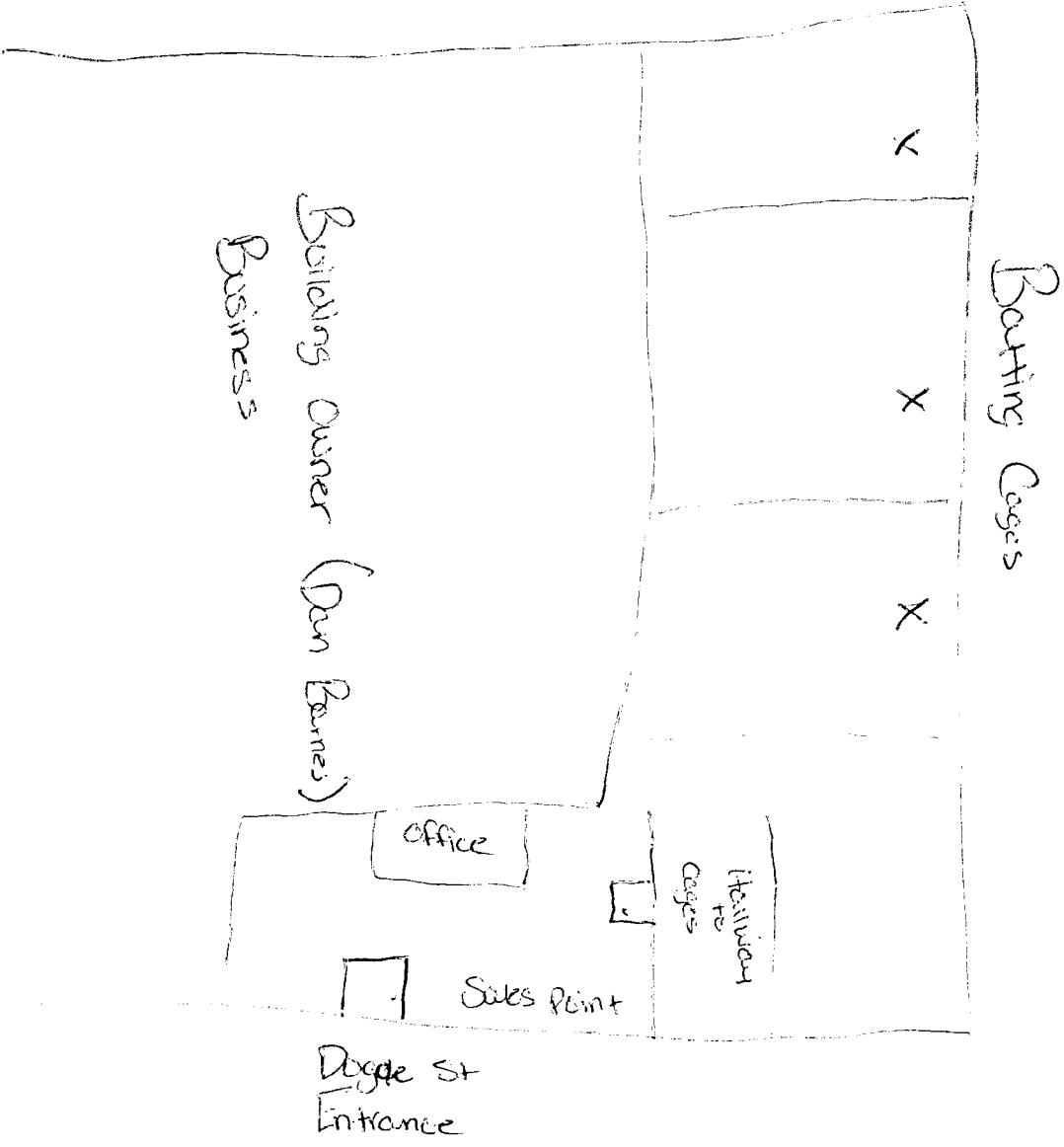
Options:

These are the following options, but not limited to, for the Plan Commission based on the information received by the City of Watertown Zoning & Floodplain Administrator:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission.

Not to
Scale

3rd Street



Dodge Street

Current Hours:

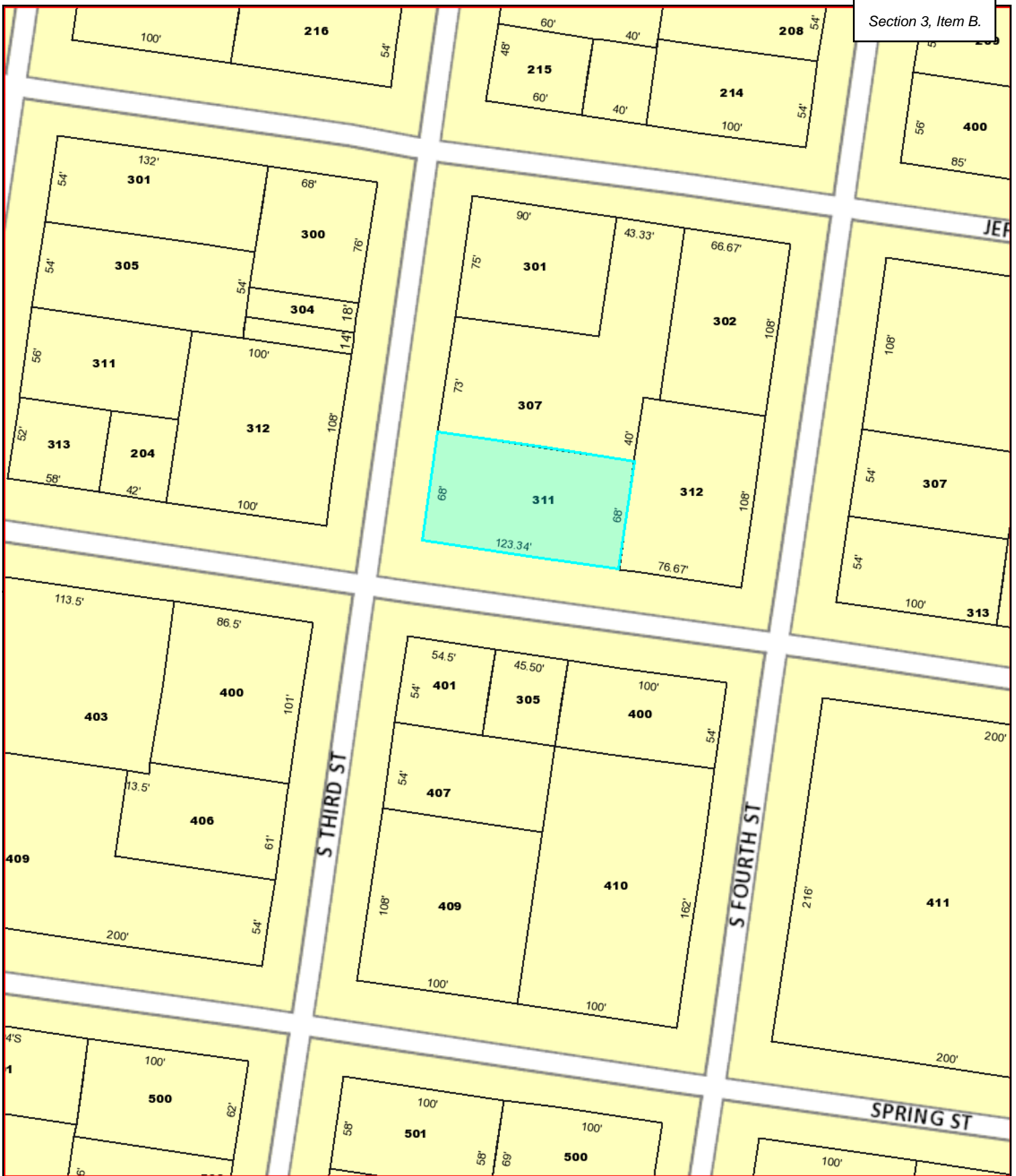
M-F : 2pm - 6pm

Sat : 12pm - 6pm

Upcoming Fall hours:

M-F : 3pm - 8pm

Sat : 12pm - 8pm



Parcels

City Limits



Override 1

Parcels



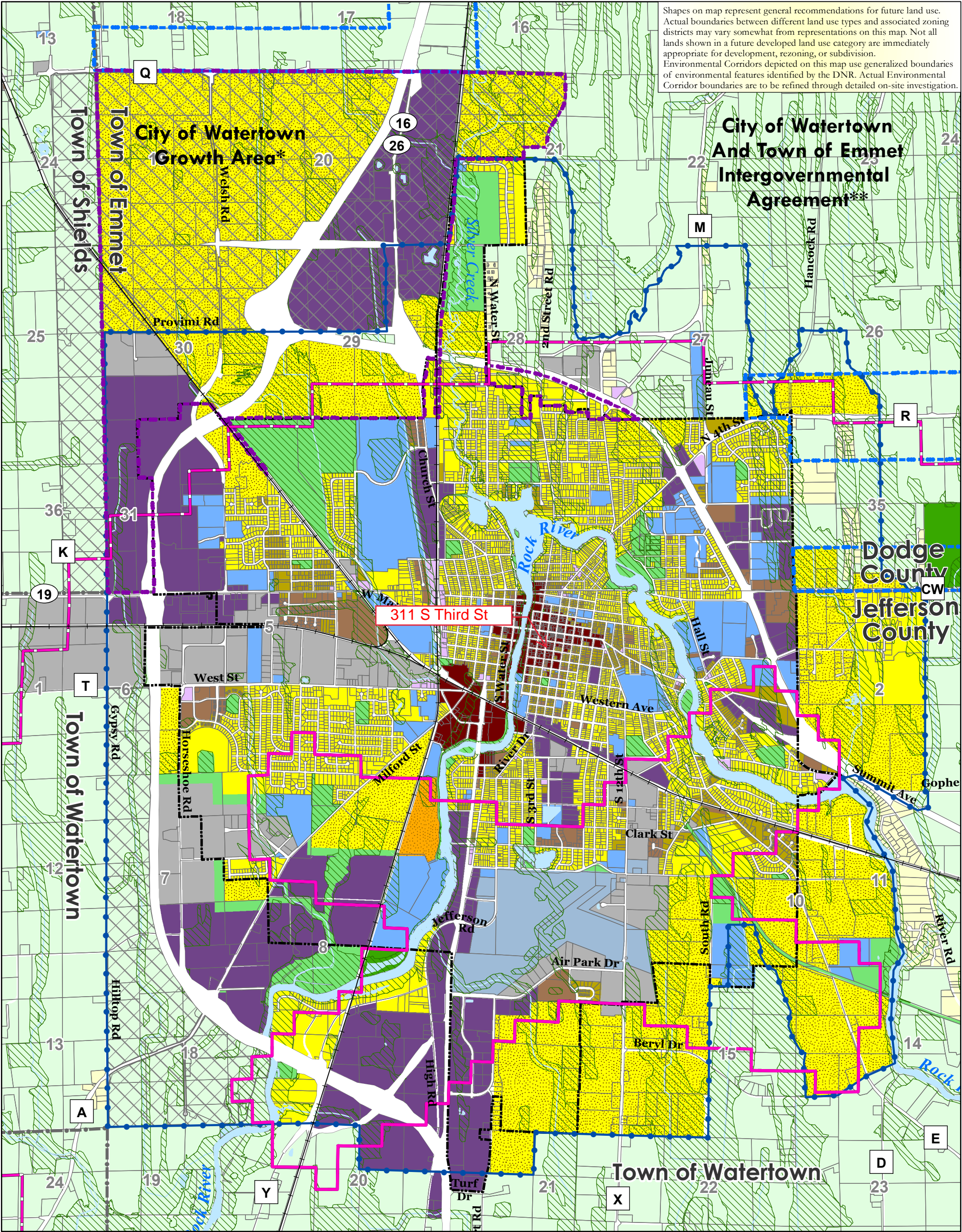
City of Watertown Geographic Information System

Scale: 1 inch = 80 feet
SCALE BAR = 1"

Printed on: August 31, 2023
Author: Private User

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





Future Land Use Urban Area

Map 6b

City of Watertown Comprehensive Plan

Land Use Categories

Agricultural

Single-Family Residential - Unsewered

Single-Family Residential - Sewered

Two-Family Residential

Multi-Family Residential

Planned Neighborhood**

Institutional

Airport

Rights-of-Way

Neighborhood Mixed Use

Planned Mixed Use*

Central Mixed Use

Riverside Mixed Use***

Mixed Industrial

Parks & Recreation

Environmental Corridor

Surface Water

City/Town IGA**

City Growth Area

City Periphery Areas

City of Watertown

Town Boundary

Parcel

Railroad

Watertown Urban Service Area

Watertown Long Range Growth Area

Airport Height Limitations

Maximum Building Elevation b/t 865 and 968 ft

Maximum Building Elevation b/t 968 and 1005 ft

THE CITY OF WATERTOWN

Opportunity runs through it.

VADEWALLE & ASSOCIATES INC.

Shaping places. shaping change

Draft: August 7, 2019

Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

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Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 1508 Neenah St. - Site Plan Review and Approval

Site Plan Review requested by KAZ Construction, Agent for the Watertown Unified School District, for an Accessory Structure – Open Air Pavilion on property located at 1508 Neenah St, Watertown WI. Parcel PIN: 291-0815-0924-026.

SITE DETAILS:

Acres: 3.7
Current Zoning: TR-6 Two-Family Residential
Existing Land Use: School
Future Land Use Designation: Institutional

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing a 16ft x 32ft open air pavilion. The pavilion will be supported by 8 posts and will have closed roof ends.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the TR-6 Two-Family Residential zoning district 'Indoor Institutional' land uses allow for a garage, shed, or similar structure as an accessory land use permitted by right. 'Indoor Institutional' land uses include schools. [per § 550-51C]

Site Layout and Design:

The proposed garage meets all building and pavement setbacks, as well as, the maximum building height limits for accessory structures in the Two-Family Residential zoning district.

Lighting:

The proposed pavilion will not have lighting.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission.

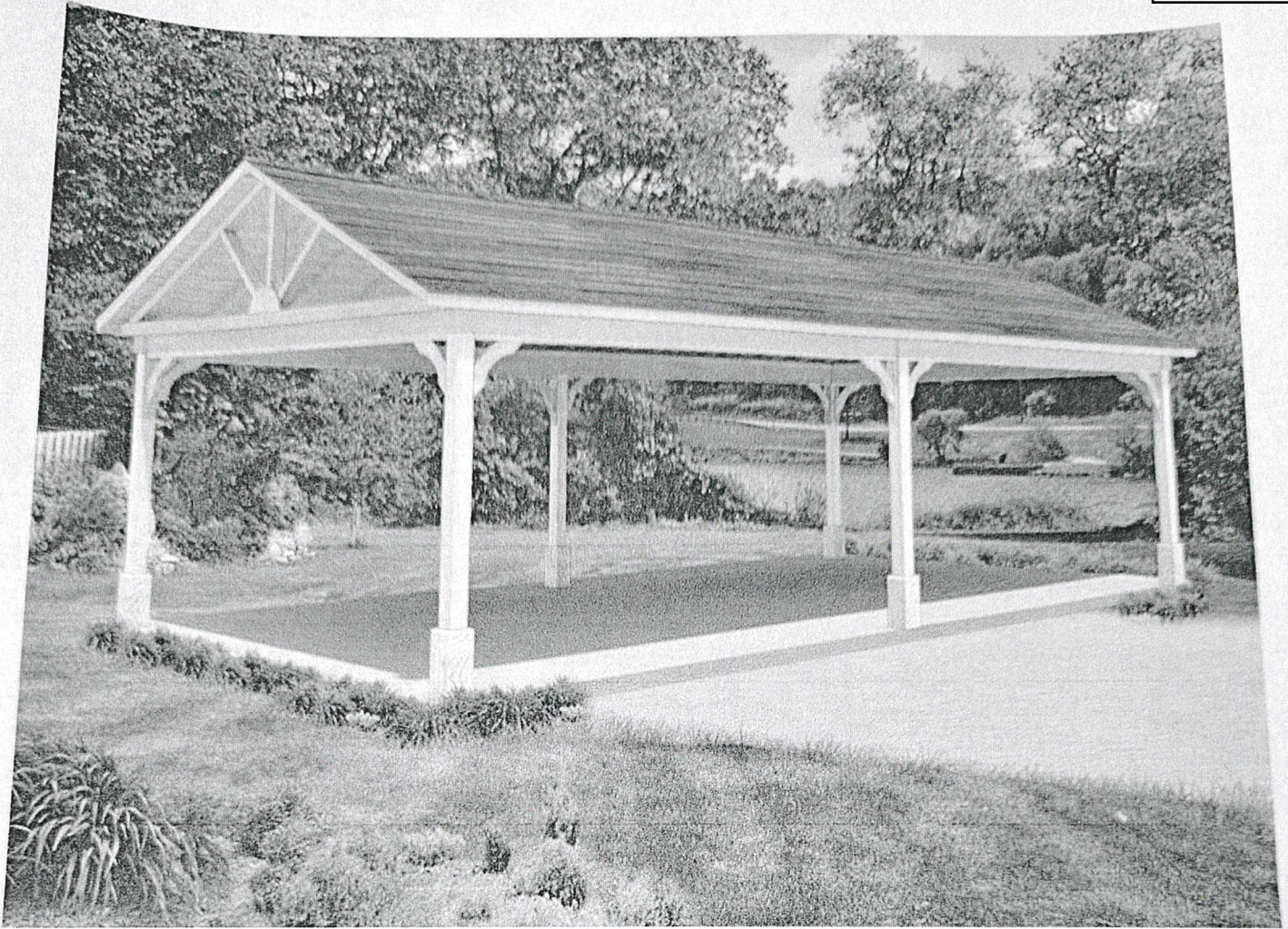
ATTACHMENTS:

- Application materials

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Opportunity Runs Through It





Have questions about this feature? Call 1-888-293-2339 Mon-Fri: 8AM-7PM | Sat: 10AM-3PM EST

[Print](#) [Close](#)

diamond pier footings
treated
Pine 6x6 posts

4/12 pitch roof trusses 2' O.C.

Aluminum soffit & fascia

Trego
ARCHITECTS

PROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 1

PAVILLION STRUCTURE FOR

SCHURZ ELEMENTARY
1508 NEENAH ST.
WATERTOWN, WI 53094

SHEET LIST

- | | |
|---|-----------------------------|
| 1 | TITLE |
| 2 | LOADS, PLAN |
| 3 | BEAMS, COLUMNS, FOUNDATIONS |
| 4 | FORTE, TRUSS LOADS |
| 5 | FORTE, BEAM DESIGN |
| 6 | DIAMOND PIER CHART |



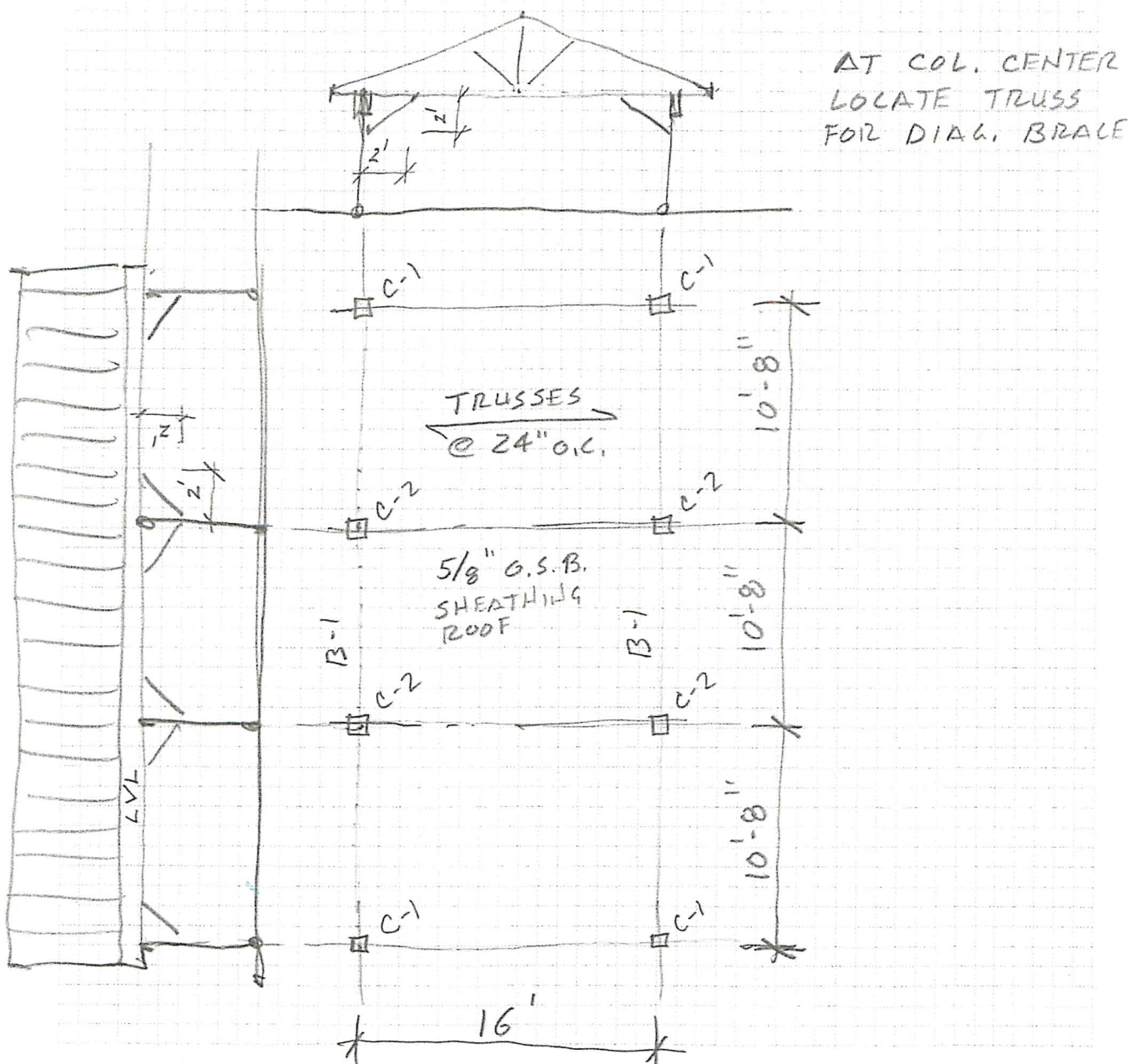
M.P. Trego
8-16-2023

Trego
ARCHITECTS

PROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 2

LOADS

ROOF DEAD LOAD	15 PSF
ROOF BASIC SNOW	30 PSF
WIND UPLIFT	20 PSF



Trego
ARCHITECTSPROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 3B-1 $L = 10'-8"$ (MULTI-SPAN)USE (2) $7\frac{1}{4}"$ LVL

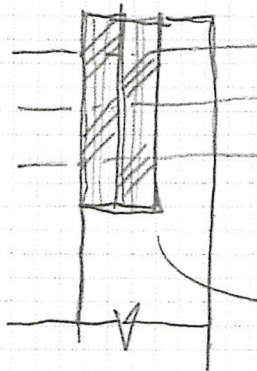
SEE FORTE OUTPUT

C-1 USE 6×6 TREATED $P = 2,904\#$ NET UPLIFT = $426\#$

USE DIAMOND PIER DP-50/50

C-2 USE 6×6 TREATED $P = 5,206\#$ NET UPLIFT = $854\#$

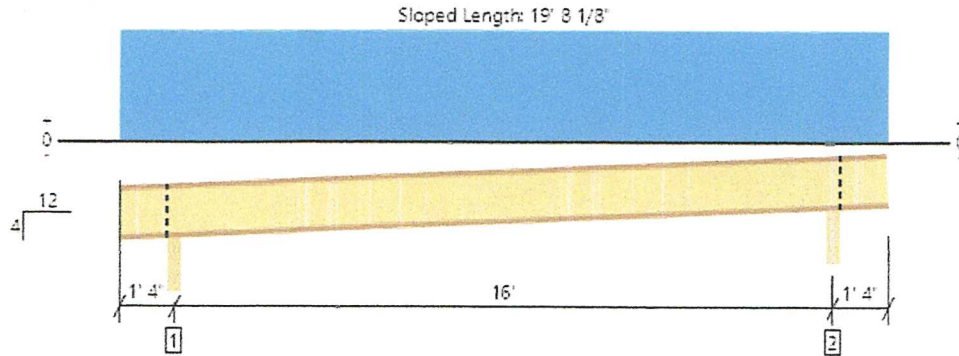
USE DIAMOND PIER DP-75/50"

COLUMN / BEAM CONNECTION(3) STRUCTURAL SCREENS
 $\frac{1}{4}" \times 5"$

OR

(3) $\frac{3}{8}"$ THREADED BOLTS.NOTCH SEAT IN 6×6

ROOF WITH 3 SPACES, Copy of Roof: TRUSS
1 piece(s) 11 7/8" TJI@ 110 @ 16" OC



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Member Length : 20' 1/16"

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	571 @ 1' 4"	2346 (3.50")	Passed (24%)	1.15	1.0 D + 1.0 S (Adj Spans)
Shear (lbs)	464 @ 1' 5 3/4"	1794	Passed (26%)	1.15	1.0 D + 1.0 S (Adj Spans)
Moment (Ft-lbs)	1918 @ 9' 4"	3634	Passed (53%)	1.15	1.0 D + 1.0 S (Alt Spans)
Live Load Defl. (in)	0.264 @ 9' 4"	0.843	Passed (L/766)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.402 @ 9' 4"	1.124	Passed (L/504)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Joist
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD
Member Pitch : 4/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Beveled Plate - SPF	3.50"	3.50"	3.50"	197	374	571	Blocking
2 - Beveled Plate - SPF	3.50"	3.50"	3.50"	197	374	571	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' 1" o/c	
Bottom Edge (Lu)	7' 4" o/c	

- TJI joists are only analyzed using Maximum Allowable bracing solutions.
- Maximum allowable bracing intervals based on applied load.

Vertical Load	Location	Spacing	Dead (0.90)	Snow (1.15)	Comments
1 - Uniform (PSF)	0 to 18' 8"	16"	15.0	30.0	Default Load

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

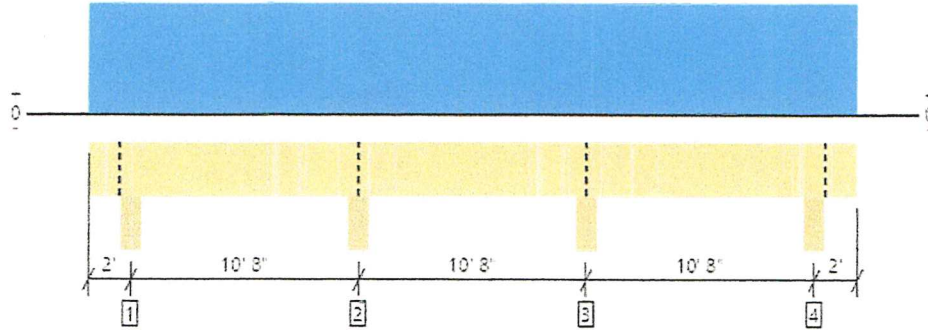
The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Michael Trego Trego Architects, LLC (262) 443-8201 mpt@tregoarchitects.com	



ROOF WITH 3 SPACES, Copy of Roof: Drop Beam
2 piece(s) 1 3/4" x 7 1/4" 2.0E Microllam® LVL

Overall Length: 36'



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	5205 @ 12' 8"	13956 (5.50")	Passed (37%)	--	1.0 D + 1.0 S (Adj Spans)
Shear (lbs)	2385 @ 11' 10"	5544	Passed (43%)	1.15	1.0 D + 1.0 S (Adj Spans)
Moment (Ft-lbs)	-5123 @ 12' 8"	8182	Passed (63%)	1.15	1.0 D + 1.0 S (Adj Spans)
Live Load Defl. (in)	0.242 @ 6' 11 15/16"	0.533	Passed (L/529)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.345 @ 29' 11/16"	0.711	Passed (L/371)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Column - SPF	5.50"	5.50"	1.50"	1007	1897	2904	Blocking
2 - Column - SPF	5.50"	5.50"	2.05"	1786	3420	5206	Blocking
3 - Column - SPF	5.50"	5.50"	2.05"	1786	3420	5206	Blocking
4 - Column - SPF	5.50"	5.50"	1.50"	1007	1897	2904	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	22' 7" o/c	
Bottom Edge (Lu)	17' 1" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 36'	N/A	7.4	--	
1 - Uniform (PLF)	0 to 36' (Front)	N/A	147.8	280.5	Linked from: Copy of Roof: TRUSS, Support 1

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Michael Trego Trego Architects, LLC (262) 443-8201 mpt@tregocarchitects.com	



6

DiamondPier®

FOUNDATION SYSTEM

RESIDENTIAL DIAMOND PIER LOAD CHART

IAS-Accredited Third-Party Bearing, Uplift, and Lateral Field Tests²

Minimum 1500 psf

Silts/Clays (CL, ML, MH, CH)³

Model / Pin No. / Length	Bearing Load Capacity	□ Equivalent Base Area	○ Cylinder Comparison	⊗ Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	2700#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 3000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	3300#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 3750#	2.5 sf	21" dia	48"	* 1400#	* 600#
DP-75/63"	4200#	2.8 sf	22" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings

Minimum 2000 psf

Sands/Gravels (SW, SP, SM, SC, GM, GC)³

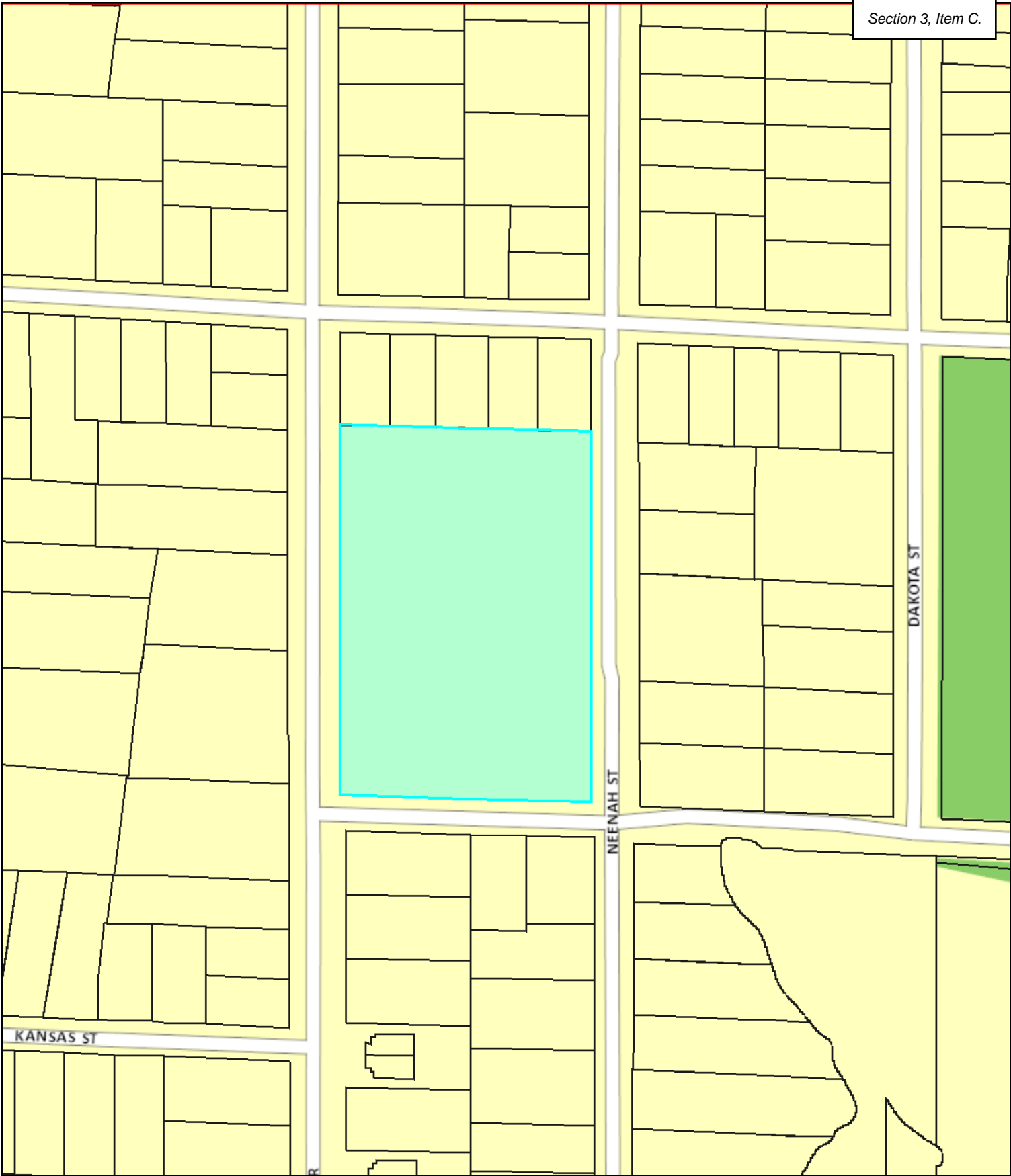
Model / Pin No. / Length	Bearing Load Capacity	□ Equivalent Base Area	○ Cylinder Comparison	⊗ Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	3600#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 4000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	4400#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 5600#	2.8 sf	22" dia	48"	* 1400#	* 600#
DP-75/63"	6400#	3.2 sf	24" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings

*Interpolated from field test values.

Notes:

1. This load chart is intended for simple structures supported by columns, posts, and beams loaded up to, but not exceeding, the stated capacities. It is not intended for structures with asymmetrical, rotational, overturning, or dynamic forces. Intended uses are described in section 2.0 of ICC-ES prescriptive bearing evaluation report ESR-1895. For projects that exceed the capacities or limitations defined herein, or the intended uses described in ESR-1895, contact PFI for additional information or site-specific capacity evaluation. See also the [Use and Applications](http://www.diamondpiers.com) download at www.diamondpiers.com.
2. Capacities shown are tested to a Factor of Safety of 2, and are applicable in properly drained, normal sound soils only, with minimum soil bearing capacities as indicated. Copies of the field test reports are available from PFI upon request.
3. See IRC Table R401.4.1, "Presumptive Load-Bearing Values of Foundation Materials," for a full description of applicable 1500 psf and 2000 psf soil types. For soils below 1500 psf, or soils with unknown characteristics, additional site and design analysis is required. For soils above 2000 psf, the values in this chart shall apply.
4. All capacities use four pins of the specified length per foundation. Pin length includes that portion of the pin embedded within the concrete head. See "Check Your Layout" in the Diamond Pier Installation Manual for more information on pin/pier layout and spacing restrictions.
5. For professional engineers designing for short-term transient loads, contact PFI for further information.



Parcels

Override 1

Parcels

City Limits

THE CITY OF
WATERTOWN
Opportunity runs through it.

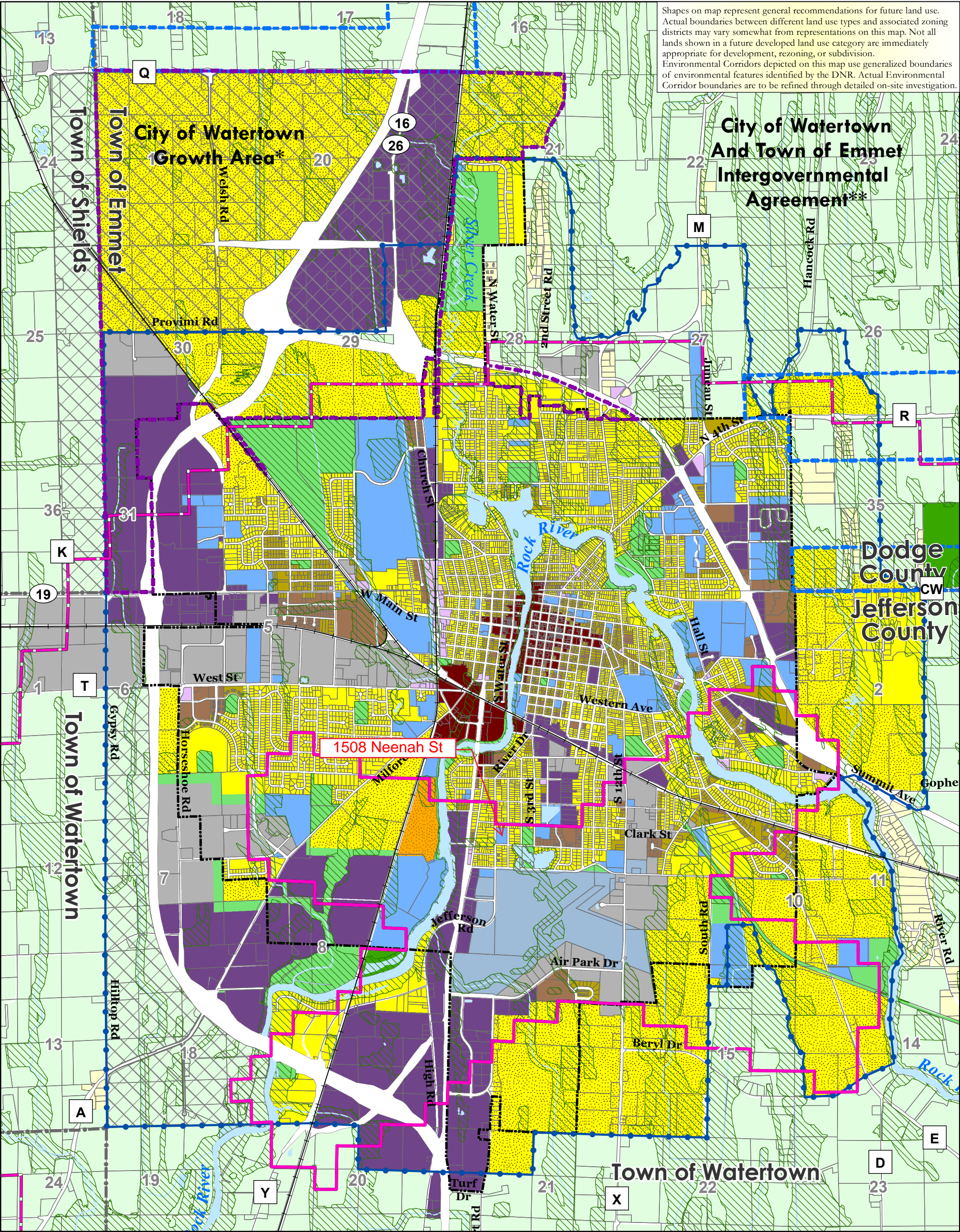
City of Watertown Geographic Information System

Scale: 1 inch = 170 feet
SCALE BAR = 1"

Printed on: August 31, 2023
Author: Private User

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

19



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Watertown
And Town of Emmet
Intergovernmental
Agreement****

**Dodge
County
Jefferson
County**

Future Land Use Urban Area

**Map
6b**

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



**"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change

**THE CITY OF
WATERTOWN**
Opportunity runs through it.



0 0.25 0.5 1 Miles

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 614 Milford St - Site Plan Review and Approval

Site Plan Review requested by Dave Egan, Agent for the St. Bernard Cemetery Association, for a garage on property located at 614 Milford St, Watertown WI. Parcel PIN: 291-0815-0541-025.

SITE DETAILS:

Acres: 1.29
Current Zoning: Single-Family Residential
Existing Land Use: Cemetery
Future Land Use Designation: Single-Family Residential

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing an approximately 1,041 sq. ft. garage for cemetery maintenance. This garage will replace some existing storage buildings that will be razed.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the SR-4 Single-Family Residential zoning district 'Outdoor Institutional' land uses allow for a garage or shed as an accessory land use permitted by right. 'Outdoor Institutional' land uses include public and private cemeteries. *[per § 550-51D]*

Site Layout and Design:

The proposed garage meets all building and pavement setbacks, as well as, the maximum building height limits for accessory structures in the Single-Family Residential zoning district.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:

ATTACHMENTS:

- Application materials

200 ft
962 ft elevation

RREF HB-
WIWCH
LLC

ST BERNARDS
CEMETERY
INC

SILT FENCE

PROPOSED 1,040 SF
GROUNDS GARAGE

NEW ELEC SERVICE LOCATION.

EXISTING ELEC SERVICE
LOCATION. EXTEND TO
NEW BUILDING. BORE
UNDER DRIVE.

DEMO TWO (2) EXISTING
STORAGE BUILDINGS.

FAITH
EVANGELICAL
LUTHERAN
CHURCH

WALL,
LARRY J

Oakwood Ln



SITE PLAN
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023 NO SCALE

Section 3, Item D.

DOOR TYPES



①

3'-0" x 6'-8" 3-PANEL MISSION
DECORATIVE GLASS PANEL
INSWING
JAMB EXTENSIONS



②

3'-0" x 6'-8" 6-PANEL
INSWING
JAMB EXTENSIONS



③

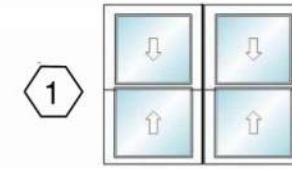
3'-0" x 6'-8" 6-PANEL
OUTSWING
JAMB EXTENSIONS



④

9'-0" x 7'-0" PANEL OHD
R-12.9 INSUL
INSUL. GLASS w/ GRILLES

WINDOW TYPES



1

VINYL DOUBLE-HUNG
5'-0" x 4'-0" R.O.
BRICKMOLD w/ NAIL FLANGE
LOW-E INSUL GLASS
JAMB EXTENSIONS



VINYL DIRECT SET
5'-0" x 1'-6" R.O.
BRICKMOLD w/ NAIL FLANGE
LOW-E INSUL GLASS w/ GRILLE
JAMB EXTENSIONS

WALL TYPES



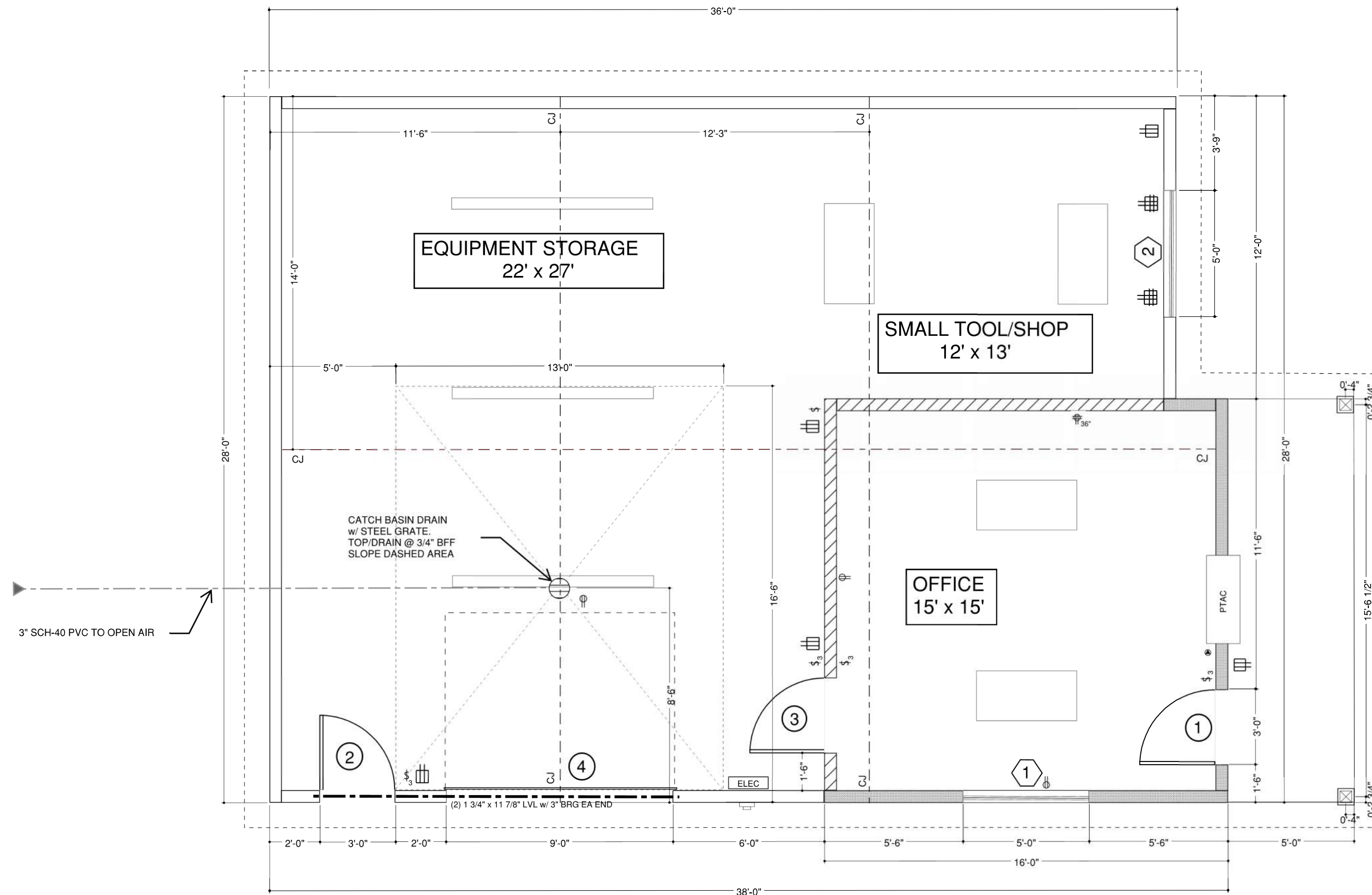
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@ EXT SIDE



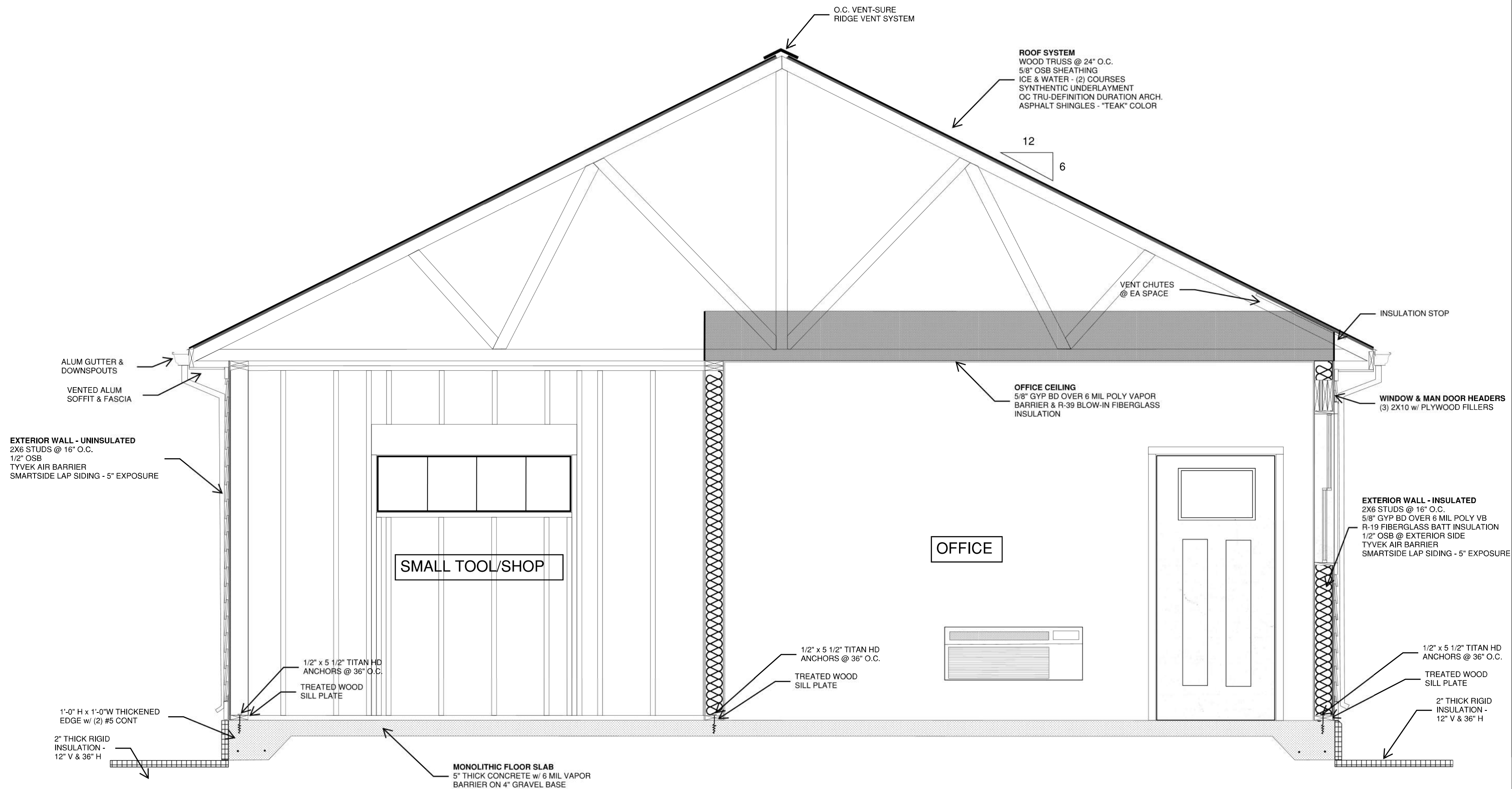
2x6 @ 16" O.C. w/ 1/2" OSB & AIR BARRIER
@ EXT SIDE; 6" BATT INSUL, 6 MIL VAPOR
BARRIER & 5/8" GYP BD @ INT SIDE



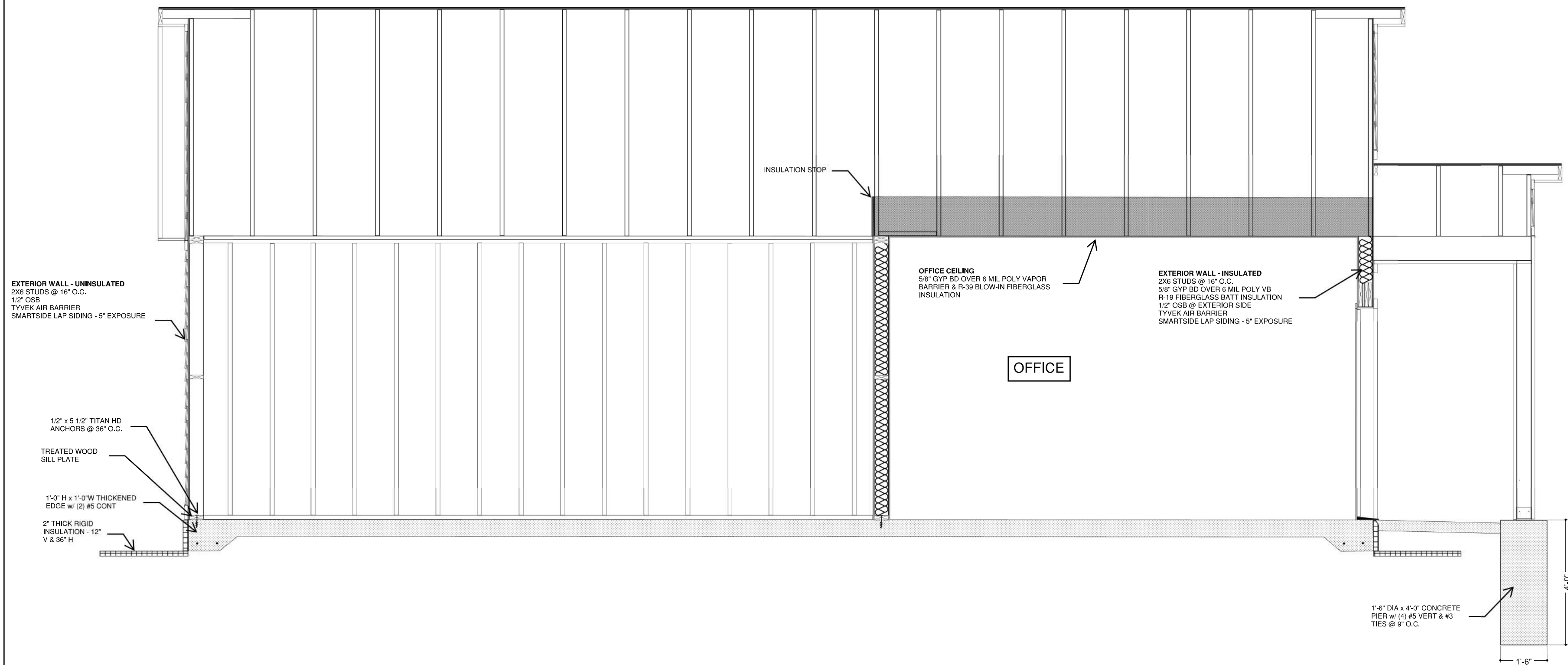
2x6 @ 16" O.C. w/ 5/8" GYP BD BOTH
SIDES, 6" BATT INSUL & 6 MIL VAPOR
BARRIER @ OFFICE SIDE



FLOOR PLAN
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023 1/4"=1'-0"



CROSS SECTION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"



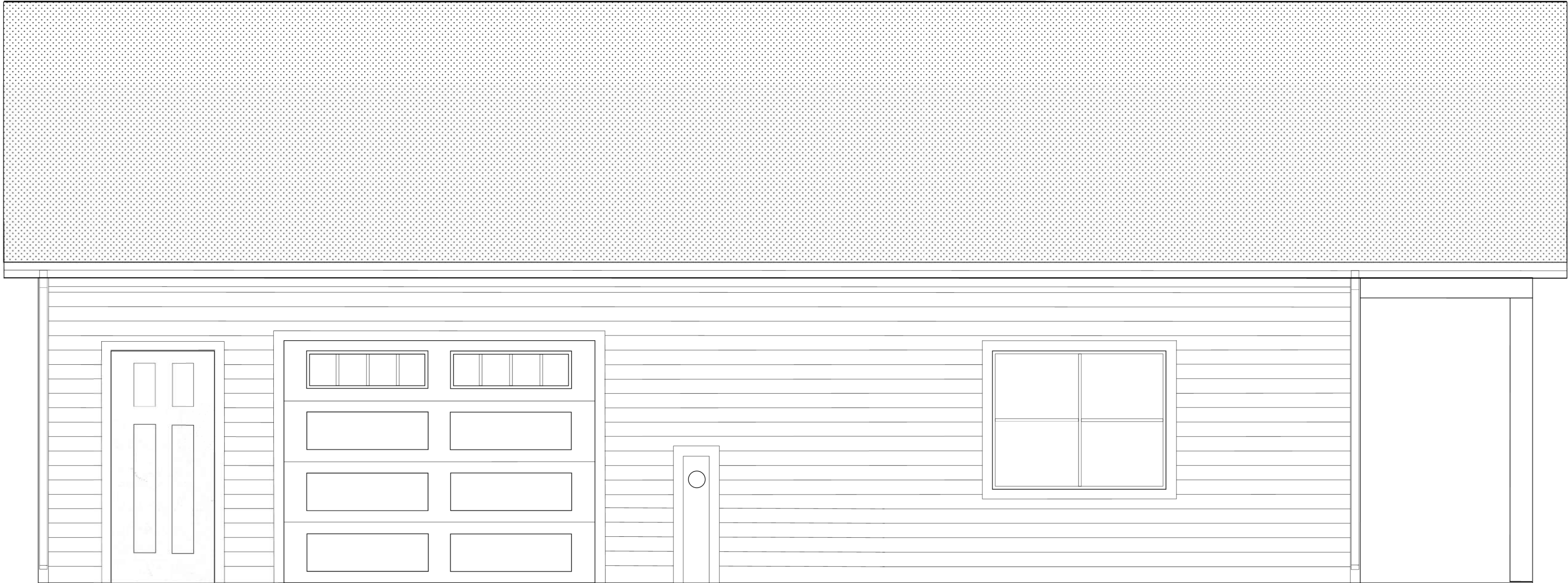
CROSS SECTION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

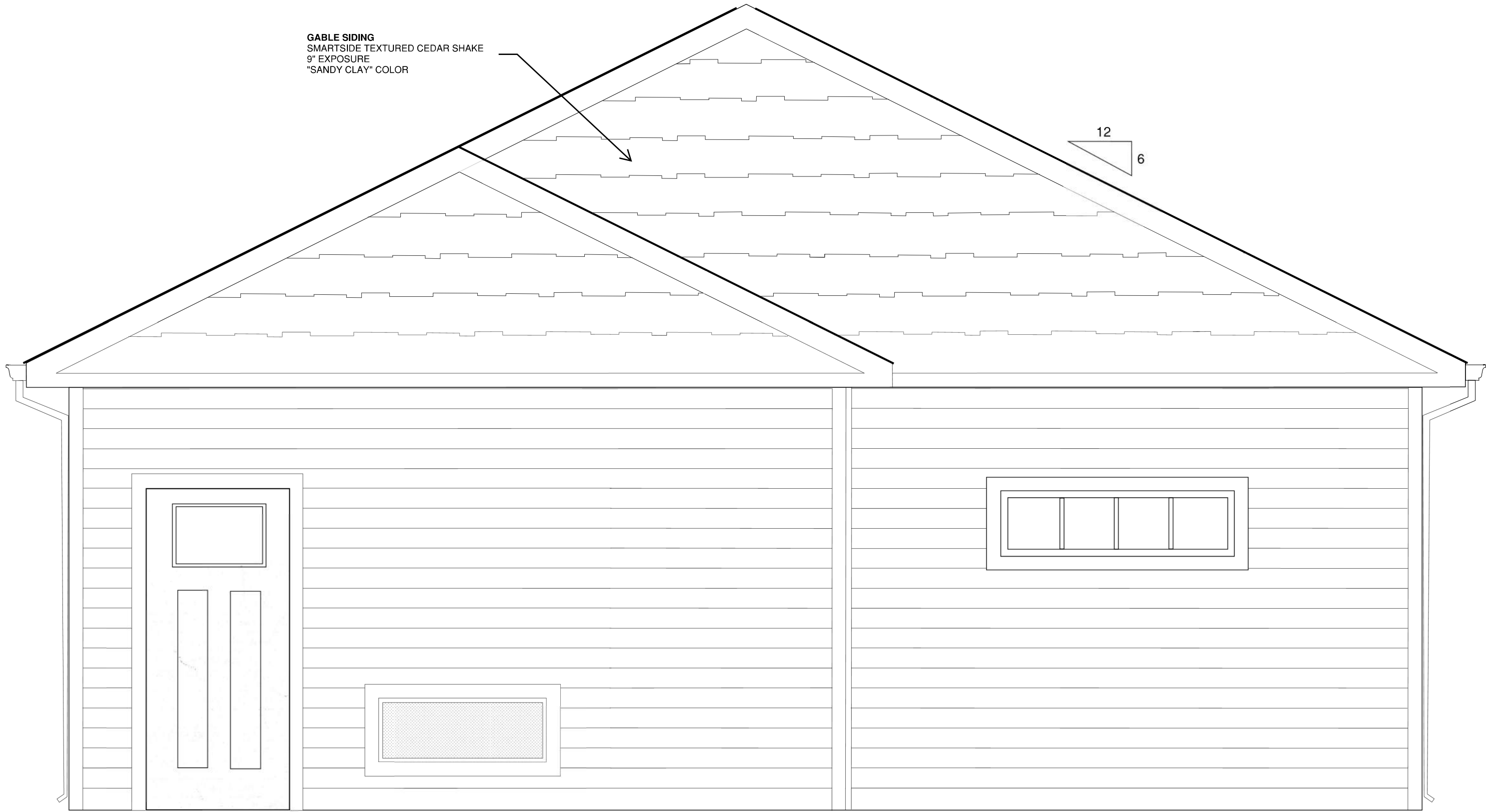
NORTH ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

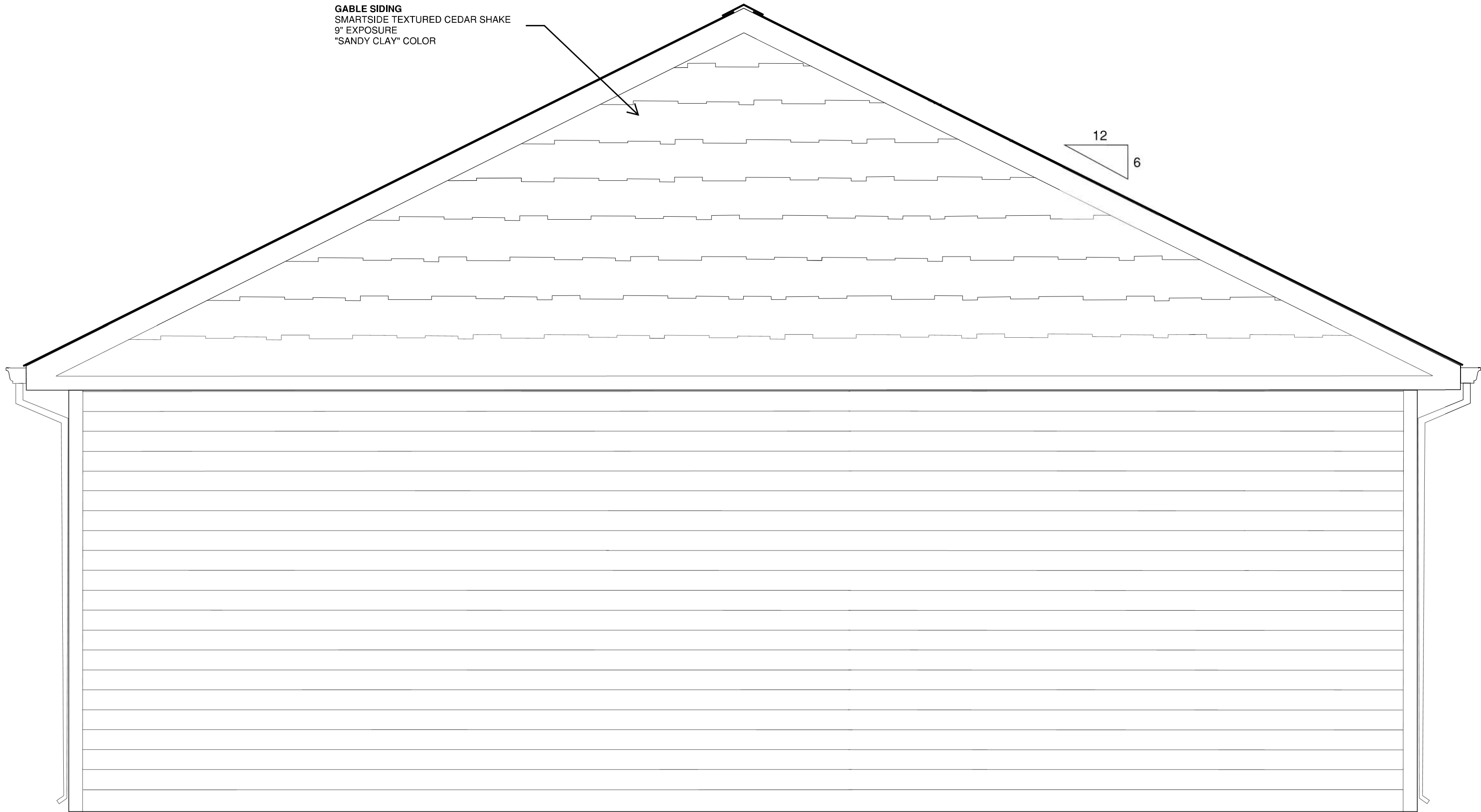
SOUTH ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

EAST ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"

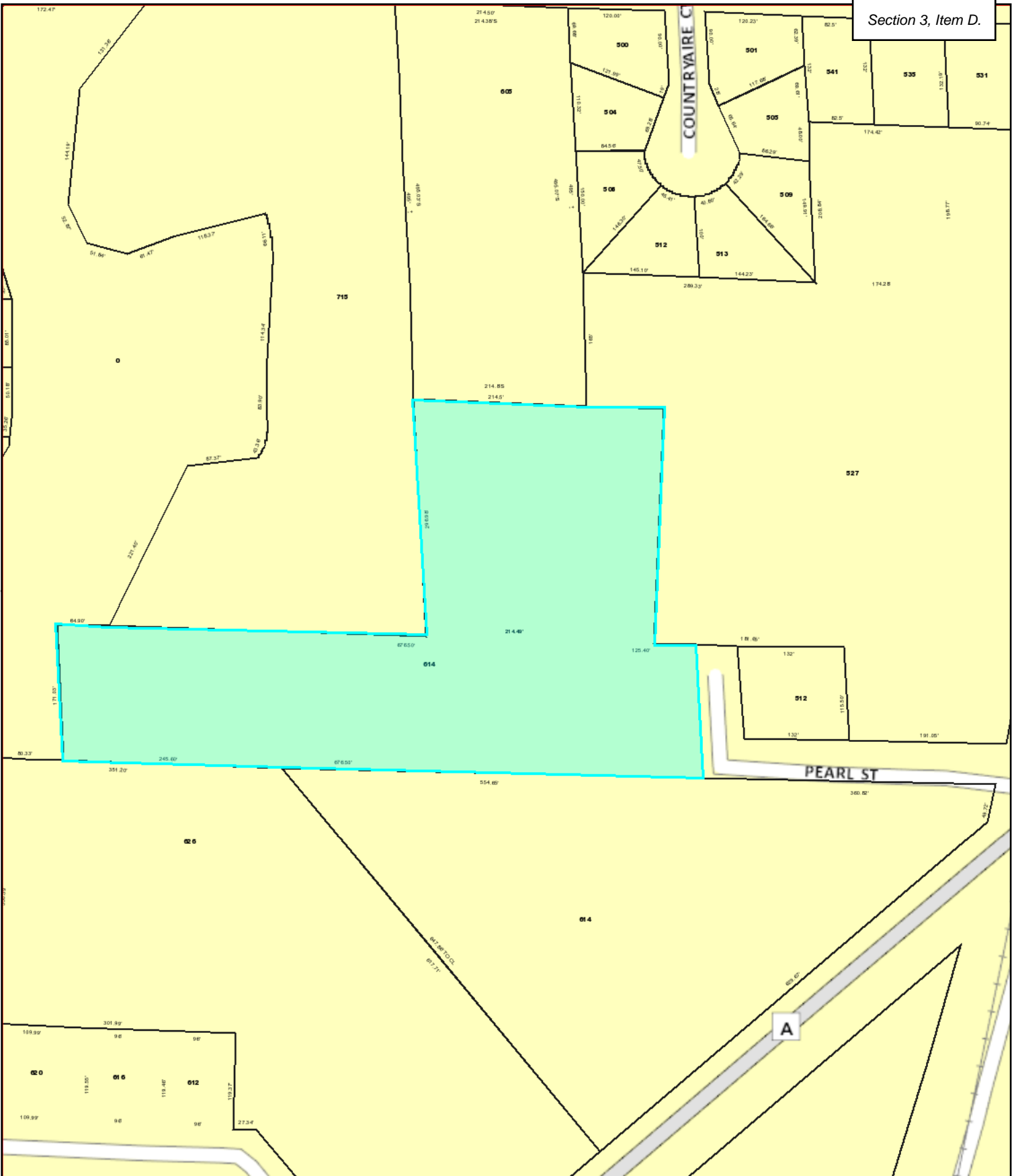


SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

WEST ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"

Section 3, Item D.



Parcels



Override 1

Parcels



City Limits



City of Watertown Geographic Information System

Scale: 1 inch = 160 feet

SCALE BAR = 1"

Printed on: August 31, 2017

Author: Private Use

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Town of Emmet Annexation Schedule

Timeline	Annexation
Aug 30 th , 2023	Meeting between City and Town to discuss annexation process.
Sept 11 th , 2023	Plan Commission Meeting: <ul style="list-style-type: none"> Informational Update
Sept 19 th , 2023	Common Council Meeting: <ul style="list-style-type: none"> Informational Update
Sept 27 th , 2023	Meeting between City and Town to discuss annexation process.
???	Public Works Meeting: <ul style="list-style-type: none"> Special Assessment District/Service Area Options
July 8 th , 2024	Plan Commission Meeting: <ul style="list-style-type: none"> Initial Review and Scheduling of Common Council Public Hearing.
July 10 th , 2024	<ul style="list-style-type: none"> Submit the Notice of Public Hearing to the local paper indicating the date of the Public Hearing for the Annexation
July 15 th , 2024	<ul style="list-style-type: none"> Publication of Notice of Public Hearing for Annexation (<i>Class 1 at least 30 days prior to Public Hearing</i>)
Aug 20 th , 2024	Common Council Meeting: <ul style="list-style-type: none"> Public Hearing on Annexation
Aug 26 th , 2024	Plan Commission Meeting: <ul style="list-style-type: none"> Recommendation of Annexation Ordinance to Council
Sept 3 rd , 2024	Common Council Meeting: <ul style="list-style-type: none"> Common Council 1st reading of Annexation Ordinance
Sept 17 th , 2024	Common Council Meeting: <ul style="list-style-type: none"> Common Council 2nd reading and approval of Annexation Ordinance

WATERTOWN

Regular Plan Commission Meeting: Second & Fourth Mondays

Regular Common Council Meetings: First and Third Tuesdays

Newspaper: Published daily; Legal notices due 3 days prior to publishing

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

Section 3, Item E.

9-8-2023

The City of Watertown and the Town of Emmet have entered into a Cooperative Boundary Agreement which calls for four mandatory boundary adjustments (see Exhibit A). The last of these four adjustments, known as the 'Highway 16 Residential Area', is scheduled for attachment to the City on or before September 29, 2024. Below, depicted in green, is the 'Highway 16 Residential Area'. An informational summary regarding the area to be attached to the City follows.

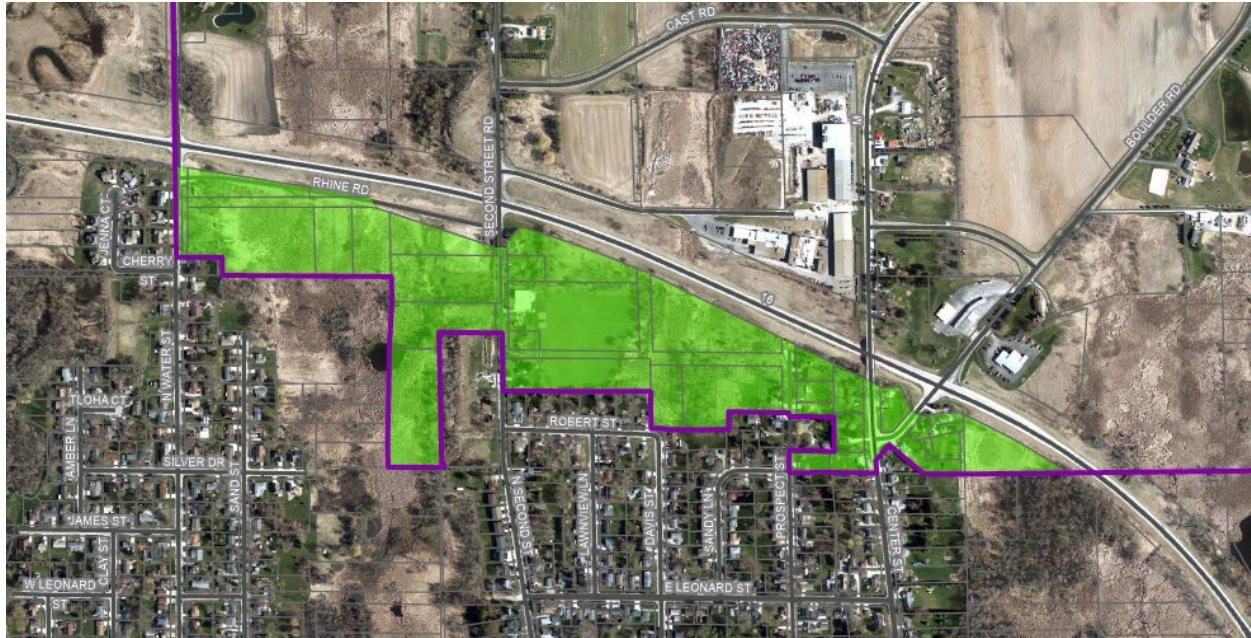


Figure 1 – Watertown / Emmet 'Highway 16 Residential Area' Boundary Adjustment Area

1. Property Values of land to be attached to the City. (Will need to be updated 2024.)
See Exhibit B.
2. Property Descriptions
To be completed by Legal and/or surveyor.
3. Population, Adults and children
To be completed by Legal
4. Wards
City Ward boundaries would need to be adjusted (see Exhibit C). Parts of the territory being attached to the City would go to Wards 2 & 4. Center St/CTH M would be the divide with all territory east of Center St/CTH M going to Ward 2 (from Emmet Ward 2) and all territory west of Center St/CTH M going to Ward 4 (from Emmet Ward 2). The City Clerk would be involved with this.

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

9-8-2023

5. Aldermanic Districts

City Aldermanic District boundaries would need to be adjusted (see Exhibit C). Parts of the territory being attached to the City would go to Aldermanic Districts 1 & 6. Center St/CTH M would be the divide with all territory east of Center St/CTH M going to Aldermanic District 1 and all territory west of Center St/CTH M going to Aldermanic District 6. The City Clerk would be involved with this.

6. Other Districts

Dodge County would need to adjust their County Supervisory District Boundaries (see Exhibit C). Center St/CTH M would be the divide with all territory east of Center St/CTH M going to Supervisory District 23 (from Supervisory District 19) and all territory west of Center St/CTH M going to Supervisory District 22 (from Supervisory District 19).

The Town of Emmet would need to adjust their Ward boundaries to the new municipal boundary (Emmet Ward 2 would shrink).

7. Surveying

A plat map meeting WI Department of Administration requirements must be prepared for the territory being attached to the City. This generally will require the assistance of a registered surveyor.

Plat Map Requirements: The scale map shall be an *accurate reflection* of the legal description of the parcels (territory) being transferred. As such, it must show:

- A tie line from the parcel to the monumented corner of the section or quarter-section, or the monumented end of a private claim or federal reservation, in which the parcel lies. The corner and monument must be identified.
- Bearings and distances along all parcel boundaries as described.
- All adjoining parcels/land as referenced in the description.
- The map must include a graphic scale.
- The map must show and identify the existing municipal boundary, in relation to the parcel being transferred.
- It is also beneficial to include a North Arrow and identify adjacent streets and parcels on the map.

8. Zoning

Zoning of the entire attached territory will be Single Family Residential – 4 (SR-4), consistent with 2019 Comprehensive Plan.

9. Developable Area

Floodplains and wetlands exist between N Water St and N Second St. A small wetland area also exists north of Davis St. and at the far eastern end of the annexation area. The remaining area has development potential.

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

9-8-2023

Section 3, Item E.



Figure 2 – Development Potential

10. Addresses

The following addresses shall be assigned:

- N590 North Water Street (PIN: 016-0915-2834-000) shall be 1237 North Water Street.
- N578 Second Street Road (PIN: 016-0915-2843-000) shall be 1627 North Second Street.
- N552 Second Street Road (PIN: 016-0915-2843-002) shall be 1617 North Second Street.
- N548 Second Street Road (PIN: 016-0915-2843-003) shall be 1611 North Second Street.
- N544 Second Street Road (PIN: 016-0915-2843-006) shall be 1605 North Second Street.
- 1528 Prospect Street (PIN: 016-0915-2844-006) shall be 1528 Prospect Street.
- 1533 Prospect Street (PIN: 016-0915-2844-009) shall be 1533 Prospect Street.
- 1529 Prospect Street (PIN: 016-0915-2844-010) shall be 1529 Prospect Street.
- 1527 Prospect Street (PIN: 016-0915-2844-011) shall be 1527 Prospect Street.
- 1519 Prospect Street (PIN: 016-0915-2844-014) shall be 1519 Prospect Street.
- 1524 Center Street (PIN: 016-0915-2844-008) shall be 1524 Center Street.
- 1522 Center Street (PIN: 016-0915-2844-013) shall be 1522 Center Street.
- 1518 Center Street (PIN: 016-0915-2844-015) shall be 1518 Center Street.
- 1530 Center Street (PIN: 016-0915-2844-003) shall be 1531 Center Street.
- 1545 Boulder Road (PIN: 016-0915-2844-019) shall be 1545 Boulder Road.
- 1549 Boulder Road (PIN: 016-0915-2844-020) shall be 1541 Boulder Road.
- 1537 Boulder Road (PIN: 016-0915-2844-018) shall be 1537 Boulder Road.
- 1527 Boulder Road (PIN: 016-0915-2844-017) shall be 1527 Boulder Road.

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

9-8-2023

Section 3, Item E.

11. Right of Ways

The following Right-of-Ways shall be transferred to the City:

- North Water Street shall be North Water Street.
- Rhine St (Unimproved, Row Only) shall be Rhine St (Unimproved, Row Only)
- Second Street Road shall be North Second Street.
- Ranis St (Unimproved, Row Only) shall be Ranis St (Unimproved, Row Only).
- Germania St (Unimproved, Row Only) shall be Germania St (Unimproved, Row Only).
- Prospect St shall be Prospect St.
- Center St / CTH M shall be Center St / CTH M.
- Boulder Road shall be Boulder Road.

12. Water and Sewer Connection

The City of Watertown – Town of Emmet Cooperative Boundary Agreement requires that all properties in the territory being attached to the City be connected to City water and sewer within one year. The extensions of the water and sewer mains are the responsibility of the property owners. Below are estimated costs for each extension.

N Water Street

- Sewer and water mains in place, no extensions required. All currently served by utilities.
- Two undeveloped parcels with some developable area would be annexed on the east side of the street and served by the existing mains.
- Private sewer and water laterals would be needed for each structure connected at an approximate cost of \$7,500.

N Second Street – (Figure 3)

- Approximately 950 ft extension of sewer and water mains required.
- Serves 4 existing homes and 4 undeveloped parcels with some developable area. Additional developable area to the east behind existing homes.
- Approximate Water Cost (\$205/LF) \$194,750
- Approximate Sewer Cost (\$143/LF) \$135,850
- Approximate Total Cost \$330,600
- Private sewer and water laterals would be needed for each structure connected at an approximate cost of \$7,500.

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

9-8-2023

Section 3, Item E.

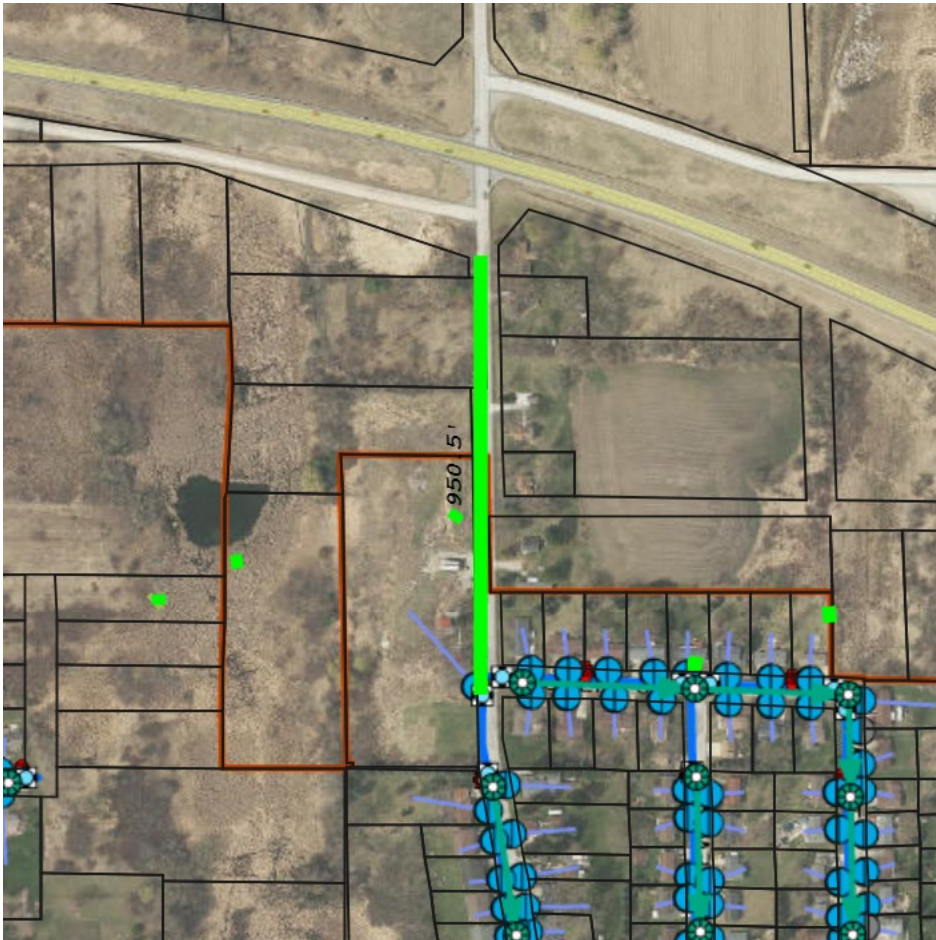


Figure 3 - N Second St Extension

Prospect Street (Figure 4)

- Approximately 315 ft extension of sewer and water mains required.
- Serves 4 existing homes and 1 undeveloped parcel with some developable area.
- Approximate Water Cost (\$205/LF) \$64,575
- Approximate Sewer Cost (\$143/LF) \$45,045
- Approximate Total Cost \$109,620
- Private sewer and water laterals would be needed for each structure connected at an approximate cost of \$7,500.

Center Street (Figure 4)

- Approximately 380 ft extension of sewer and water required.
- Serves 3 existing homes.
- Approximate Water Cost (\$205/LF) \$77,900
- Approximate Sewer Cost (\$143/LF) \$54,340
- Approximate Total Cost \$132,240

City of Watertown / Town of Emmet Boundary Adjustment Information Summary

9-8-2023

Other

- Two existing homes that are already connected to utilities would also be annexed.
- Five undevelopable parcels would also be annexed.
 - Comprised of wetlands and/or floodplains with limited or no street access.

Possible options to fund Water and Sewer:

Special Service Area (SSA):

A Special Service Area (SSA), also known as “Business Improvement District (BID)” is a taxing mechanism that can be used to fund a wide range of special or additional services and/or physical improvements in a defined geographic area within a municipality or jurisdiction. This type of district allows local governments to establish such areas without incurring debt or levying a tax on the entire municipality.

Special Assessment District (SAD):

A special assessment is a charge that public authorities can assess against real estate parcels for certain public projects. This charge is levied in a specific geographic area known as a special assessment district (SAD). A special assessment may only be levied against parcels of real estate which have been identified as having received a direct and unique "benefit" from the public project. There may be state grant opportunities for compensating “low to moderate” income residents to help offset some of their costs.

Payback Agreements:

Payback Agreement is an agreement between the City and a developer for the sole purpose of providing a mechanism for reimbursing a developer for a portion of the Developer’s original costs of installing a facility extension or transportation system improvement as part of a Final Acceptance Certificate (FAC). Generally, Payback Agreements only include those facilities or streets that extend beyond the limits of or up to the Developer’s property, allowing direct connection to or use of the facilities or streets by the benefiting properties adjacent to the facilities or streets. The agreement requires owners of benefiting properties to pay for their pro-rata share of the costs of improvements when they are permitted a connection to the extended facility. The agreement allows the City to collect payments from benefiting properties and pass them on to the Developer. The City collects the money during the normal utility permitting process. The term can allow a maximum term of 20 years for a Utility Payback Agreement, and a maximum term of 15 years for a Transportation Payback Agreement; however, the City, at its discretion, may define a shorter term for the agreement.

EXHIBIT A

Town Growth Area

City Growth Area

Watertown Emmett Agreement Area

Boundary Adjustment Areas

- 1 - 5.2 acres
- 2 - 6.9 acres
- 3 - 4.0 acres
- 4 - 56.6 acres

Total - 72.7 acres

Legend:

- City Growth Area
- ▭ Municipal Boundary
- ▭ Parcels
- ▭ Areas 1-4

Scale: 0 625 1,250 Feet

Date: October 8, 2012
Source: Watertown, USD.A

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Draft

EXHIBIT B

Assessed Values of Attached Real Estate

Property Owner Name	Property Address	Pin	Total Assessed Value
William T Liebhart & James L Liebhart	*Information Not Available*	016-0915-2831-007	1,000.00
William T Liebhart & James L Liebhart	N590 Water St	016-0915-2834-000	39,500.00
Marion Rumier	*Information Not Available*	016-0915-2834-001	4,500.00
William T Liebhart & James L Liebhart	*Information Not Available*	016-0915-2834-002	4,500.00
Benjamin Judd	*Information Not Available*	016-0915-2834-004	1,500.00
Hady Electric Inc	Second Street Rd	016-0915-2843-008	62,000.00
William Liebhart	*Information Not Available*	016-0915-2843-004	25,000.00
William T Liebhart & James L Liebhart	*Information Not Available*	016-0915-2834-003	4,500.00
William T Liebhart & James L Liebhart	N578 Second Street Rd	016-0915-2843-000	202,100.00
William T Liebhart & James L Liebhart	N578 Second Street Rd	016-0915-2843-001	24,000.00
Damian Denault & Mary Denault	N552 Second Street Rd	016-0915-2843-002	191,200.00
Alexa C Eiting & Kaleb J Eiting	N548 Second Street Rd	016-0915-2843-003	127,100.00
Michael Edwin Stadler Jr & Holly Marie Stadler	N544 Second Street Rd	016-0915-2843-006	152,800.00
Todd J Maier	*Information Not Available*	016-0915-2843-007	6,500.00
Todd J Maier	1528 Prospect St	016-0915-2844-006	181,200.00
Gerald R Ebert & Mary R Ebert	1533 Prospect St	016-0915-2844-009	173,100.00
Brian Kelchner & Kattie Kelchner	1529 Prospect St	016-0915-2844-010	47,500.00
Brian Kelchner & Kattie Kelchner	1527 Prospect St	016-0915-2844-011	132,800.00
Edwin & Mary J Nilsen Irrevocable Trust	1519 Prospect St	016-0915-2844-014	80,000.00
Terrence J Mckee & Christine M Mckee	1524 Center St	016-0915-2844-008	146,400.00
LKDaniels Enterprises LLC	1522 Center St	016-0915-2844-013	119,700.00
William F Tessmann & Raymond H Tessmann	1518 Center St	016-0915-2844-015	119,800.00
Jared M Donner & Stephanie L Donner	1530 Center St	016-0915-2844-003	158,200.00
Debra J Ebert	1527 Boulder Rd	016-0915-2844-017	139,100.00
Warren J Halbrader & Sheila D Halbrader	1537 Boulder Rd	016-0915-2844-018	129,000.00
Warren J Halbrader & Sheila D Halbrader	*Information Not Available*	016-0915-2844-022	1,000.00
Darcie A Schafer	1545 Boulder Rd	016-0915-2844-019	113,900.00
Jessica J Wortman & Craig M Wortman	1549 Boulder Rd	016-0915-2844-020	107,400.00
Jessica J Wortman & Craig M Wortman	*Information Not Available*	016-0915-2844-021	15,000.00
Darcie A Schafer & Delfino Valenzuela Vergara	Boulder Rd	016-0915-2733-004	1,200.00
			TOTAL: 2,511,500.00

EXHIBIT C

