



PLAN COMMISSION MEETING AGENDA

MONDAY, JUNE 26, 2023 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 877 309 2073 **Access Code:** 942-431-069 or <https://meet.goto.com/942431069> All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

3. BUSINESS

- A. Conduct public hearing: 111 S. Montgomery Street - Conditional Use Permit (CUP) request for St. Jude Academy, Inc. under Indoor Institutional Section 550-25B(2)(d)
- B. Review and take action: 111 S. Montgomery Street - Conditional Use Permit (CUP) request for St. Jude Academy, Inc. under Indoor Institutional Section 550-25B(2)(d)
- C. Conduct public hearing: 308 Hyland Street - Conditional Use Permit (CUP) request for an automotive repair business under Vehicle Repair and Maintenance Section 550-36B(2)(c)
- D. Review and take action: 308 Hyland Street - Conditional Use Permit (CUP) request for an automotive repair business under Vehicle Repair and Maintenance Section 550-36B(2)(c)
- E. Review and take action: Fire Department Concept Plan
- F. Review and take action: New Fire Station Certified Survey Map (CSM)
- G. Initial review and set public hearing date: rezoning for new fire station from MR-8, Multi-Family Residential and GB, General Business to CB, Central Business
- H. Review and take action: 1403 Richards Avenue Preliminary Certified Survey Map (CSM)
- I. Review and take action: Preliminary Certified Survey Map (CSM) for Hunter Oaks Areas B and A-D
- J. Initial review and set public hearing date: 1722 S. Church Street text amendment for drive thru signage
- K. Review public hearing comments and make recommendation to Council: Zoning Ordinance Text Amendments to Section 550

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@CityofWatertown.org, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26, 2023
SUBJECT: 111 S Montgomery Street, Conditional Use Permit - CUP

A request by Jenifer Getz, President of St. Jude Academy, for a Conditional Use Permit (CUP) for Indoor Institutional. Parcel PIN: 291-0815-0422-140 & 291-0815-0422-141

SITE DETAILS:

Acres: 1.98
Current Zoning: Two-Family Residential (TR-6)
Existing Land Use: Church and School
Future Land Use Designation: Institutional

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Indoor Institutional' for St. Jude Academy, a Catholic High School. The school will utilize an existing building on the St. Bernard Campus and teach grades 9 through 12. Enrollment for the 2023-24 school year will be capped at 40 students with the possibility of expanded enrollment of up to 75 students in future years. Hours of operation will be 8:30am to 3:30pm Monday through Friday. Parking and drop off will occur in the parking lot on the southern end of the property. No bus service will be utilized.

STAFF EVALUATION:

Site Plan Review Committee:
See Minutes of June 12, 2023.

Land Use and Zoning:

1. Within the Two-Family Residential (TR-6) Zoning District 'Indoor Institutional' is a principal land use permitted as a Conditional Use *[per § 550-25B(2)(d)]*. 'Indoor Institutional' includes all indoor public and not-for-profit schools, colleges, and churches. *[per § 550-51C]*.

Applicable regulations for 'Indoor Institutional' land uses include the following: *[per § 550-51C(1)]*

- Shall be located with primary vehicular access on a collector or arterial street.
- Shall provide off-street passenger loading area if the majority of the users will be children (as in the case of a school, church, library or similar land use).
- All structures shall be located a minimum of 50 feet from any residentially zoned property.

2. Parking Requirements: Senior high: one space per teacher and staff member, plus one space per five non-bused students. [per § 550-51C(2)(g)]. The existing parking lot has 48 stalls and exceeds the parking requirements.
3. Lighting of structures, parking areas, and traffic circulation areas will utilize existing lighting fixtures. Lighting fixtures existing prior to the effective date of the zoning code are considered legal conforming uses [per § 550-110D(6)].

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) In this paragraph:

- a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.*
- b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.*

2. 62.23 (7) (de)(2)

- a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.*
- b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.*

3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.

3. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.

4. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISIONS:

Indoor Institutional Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
1. Shall be located with primary vehicular access on a collector or arterial street.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
2. Shall provide off-street passenger loading area if the majority of the users will be children (as in the case of a school, church, library or similar land use).	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
3. All structures shall be located a minimum of 50 feet from any residentially zoned property.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
4. Parking Requirements: Senior high: one space per teacher and staff member, plus one space per five non-bused students.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers “no” to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission.

ATTACHMENTS:

- Application materials

Business Proposal for St. Jude Academy

- housed within St. Bernard campus of Watertown Catholic School
- located at 111 S. Montgomery St. Watertown, WI 53094

1) Business Operator

- Jennifer Getz
President of St. Jude Academy
307 Henry Court
Waterloo, WI 53594
608.215.3517

2) Building and Grounds involved in this proposal

- Owned by Watertown Catholic Parish
- Pastor - Father Vince Brewer
- Principal - Sherry Harms

3) Location Map of the proposed business site

- See Attachment A

4) A detailed floor plan

- See Attachment B & C

5) A detailed narrative of business operation

- See Attachment D

6) A Detailed Landscape Plan

- Not Applicable

7) Responsibility to obtain permits, licenses, etc

- We accept the responsibility to obtain the necessary local and state permits and licenses as needed

As the pastor of Watertown Catholic parish, I authorize Jennifer Getz to pursue a conditional use permit for the use of space within the St. Bernard Campus of Watertown Catholic School as outlined in this proposal. If you have any questions concerning this request you may contact me at:

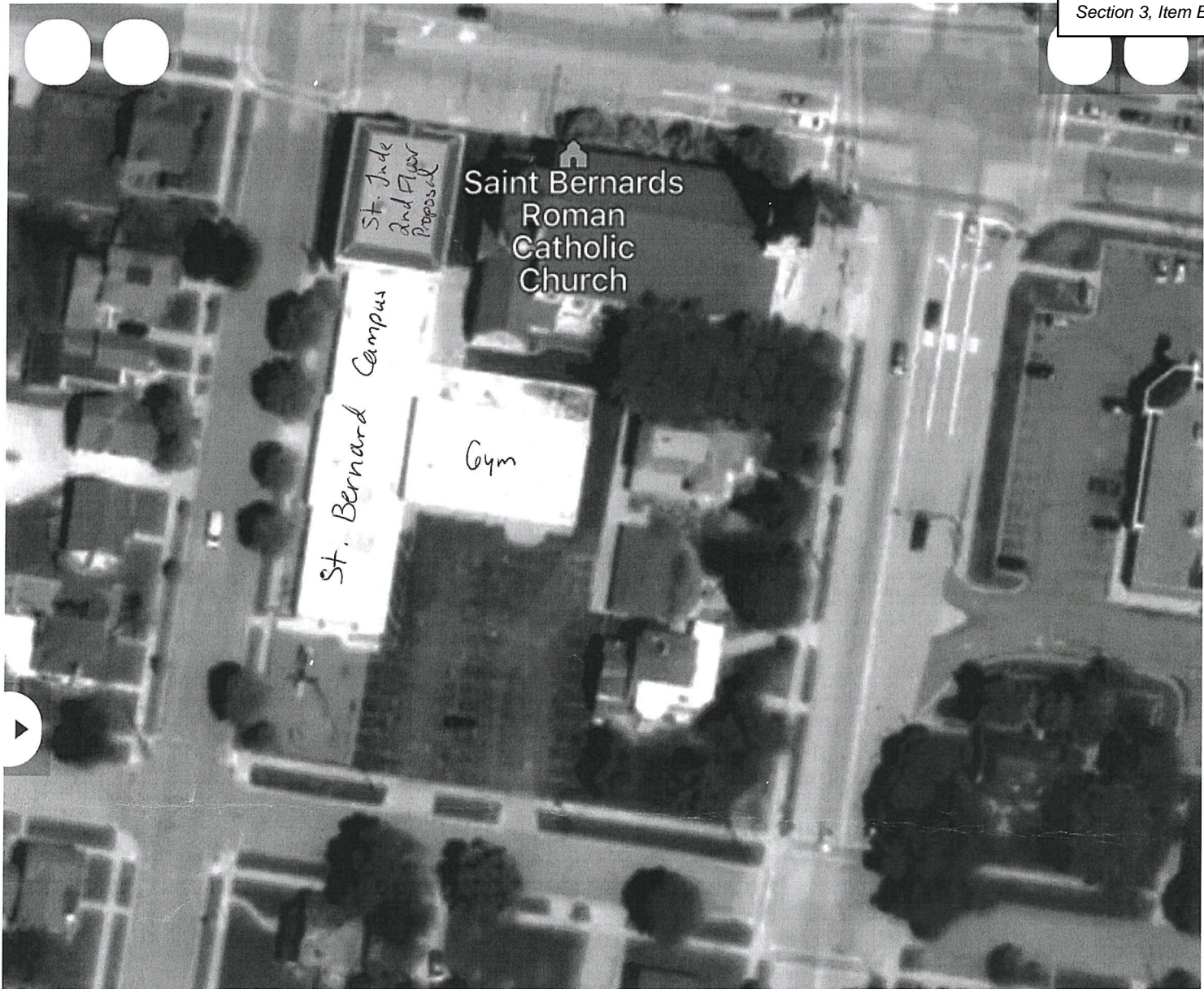
920-261-7273

Sincerely,

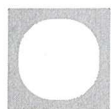
Father Vince Brewer

Signature: Rev JVB

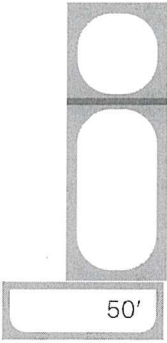
Date 5/10/2023



Attachment A

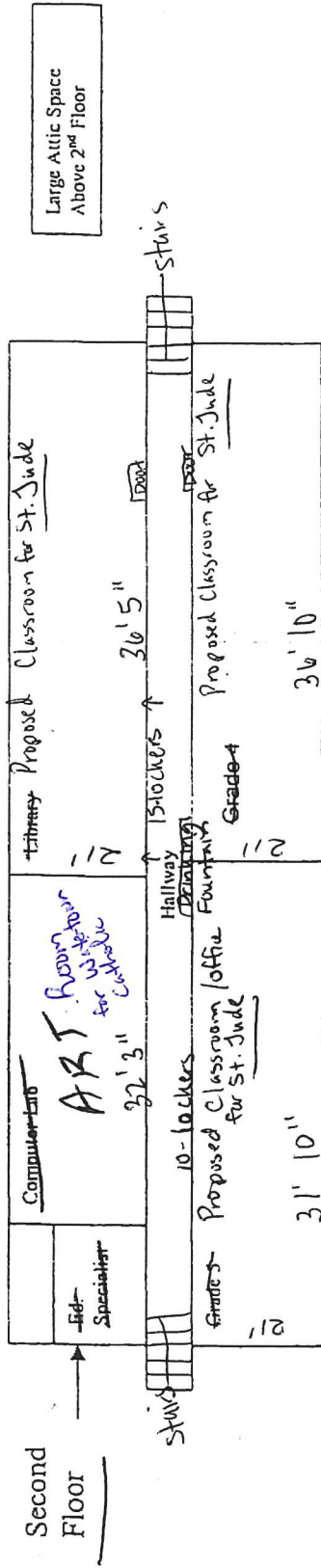


Saint Bernards Roman Catholic Church
Church



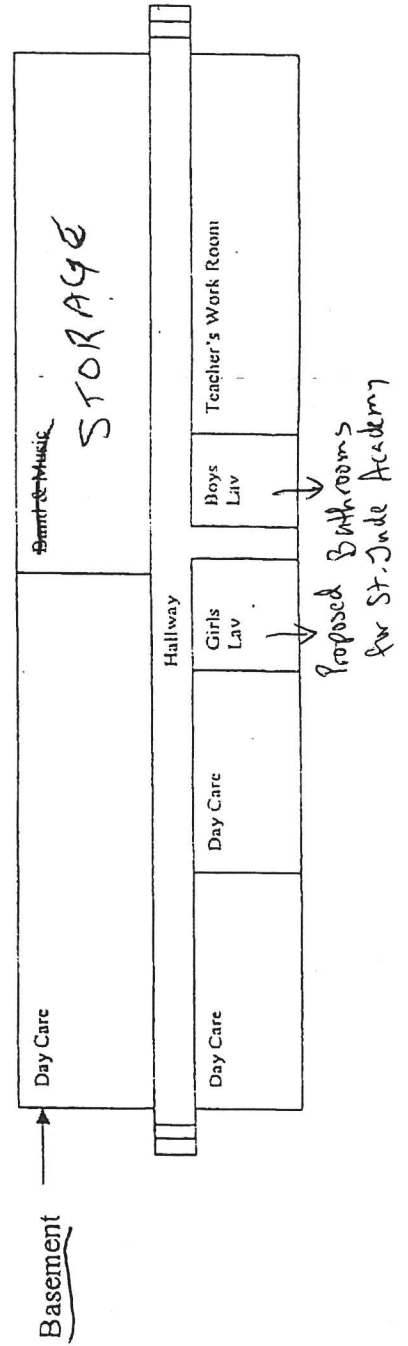
Attachment B

St. Bernard Catholic School Watertown, Wisconsin



Old School Building

N

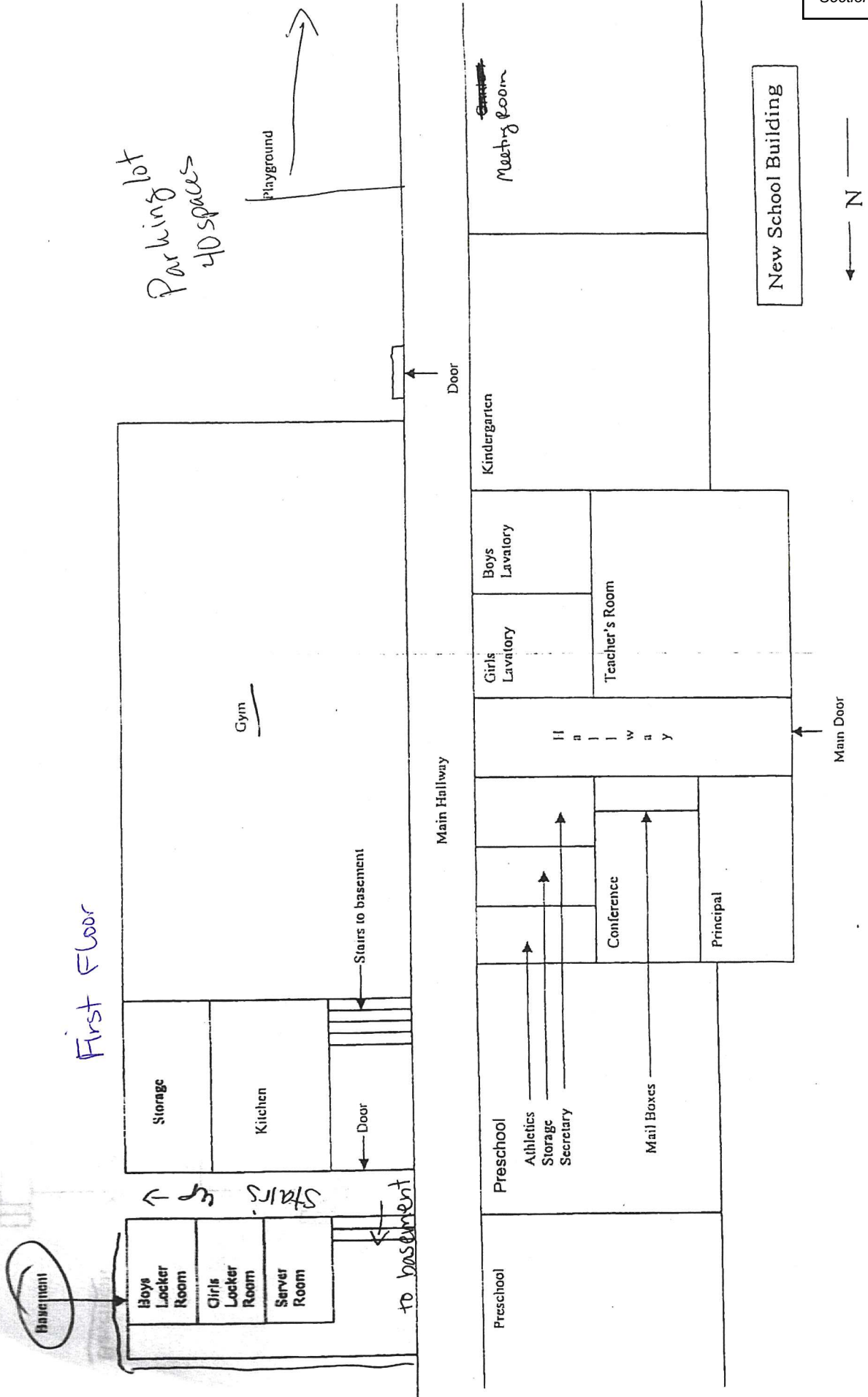


St. Bernard Catholic School
Watertown, Wisconsin

Updated 11/10/10

Attachment C

Section 3, Item B.



Attachment "D"

Narrative of business operation:

We plan to use the 2nd floor classrooms as labeled in Attachment "B" for the instruction of high school students grades 9-12. There is a drinking fountain, and 25 lockers in the hallway of the 2nd floor for use by the students.

On the first floor and in the basement of the building there are both boys and girls bathrooms. The first floor girls bathroom contains 4 stalls and the first floor boys bathroom contains 2 stalls and 3 urinals. See Attachment "C"
The bathrooms on the first floor would be shared by the students at Watertown Catholic School during school hours.

The teaching and support staff can use the bathrooms in the basement of the building. There are 3 stalls in the girls bathroom and 1 stalls and 2 urinals in the boys bathroom. See Attachment "B"

We plan to use the gymnasium on the first floor for Physical Education Classes when it is not in use for the Watertown Catholic students. See Attachment "C"

We plan to use the parking lot playground area for scheduled outdoor breaks or recess, when it is not in use for Watertown Catholic students. See Attachment "C"

Typical school hours would be 8:30am-3:30pm Monday through Friday within the regular confines of the number of school days/minutes as determined by the Department of Public Instruction (DPI.) However, one day a week we will allow our students to attend school mass within the parish church. On mass days our school day will begin at 8am and release at 2:40 pm or 3pm as determined by our instructional hours.

We are planning to start with 3-5 part time teachers and 1-2 support staff, and we hope to grow that into 4 full time teachers and a few part time teachers and support staff. Our school enrollment would be capped at 40 students for the 2023-2024 school year. The maximum enrollment for future years for the space requested would be 75 students. The classrooms already provide the structure for school operation so no remodeling changes are planned.

We do not plan to use bussing services, but will have drop off and pick up provided by individual families or parent carpool groups. The space already provides a loading zone in the parking lot by the playground where students can be dropped off. Drop off spots are marked with x's. Families will also have the option to park further down in the lot toward the street and walk in from there. Cones may also be placed to designate a drop off/pick up lane separate from the general parking lot.

A staff member or volunteer will greet students at the door to allow monitored entrance to the building. Students who arrive late will have to be buzzed in through the front office

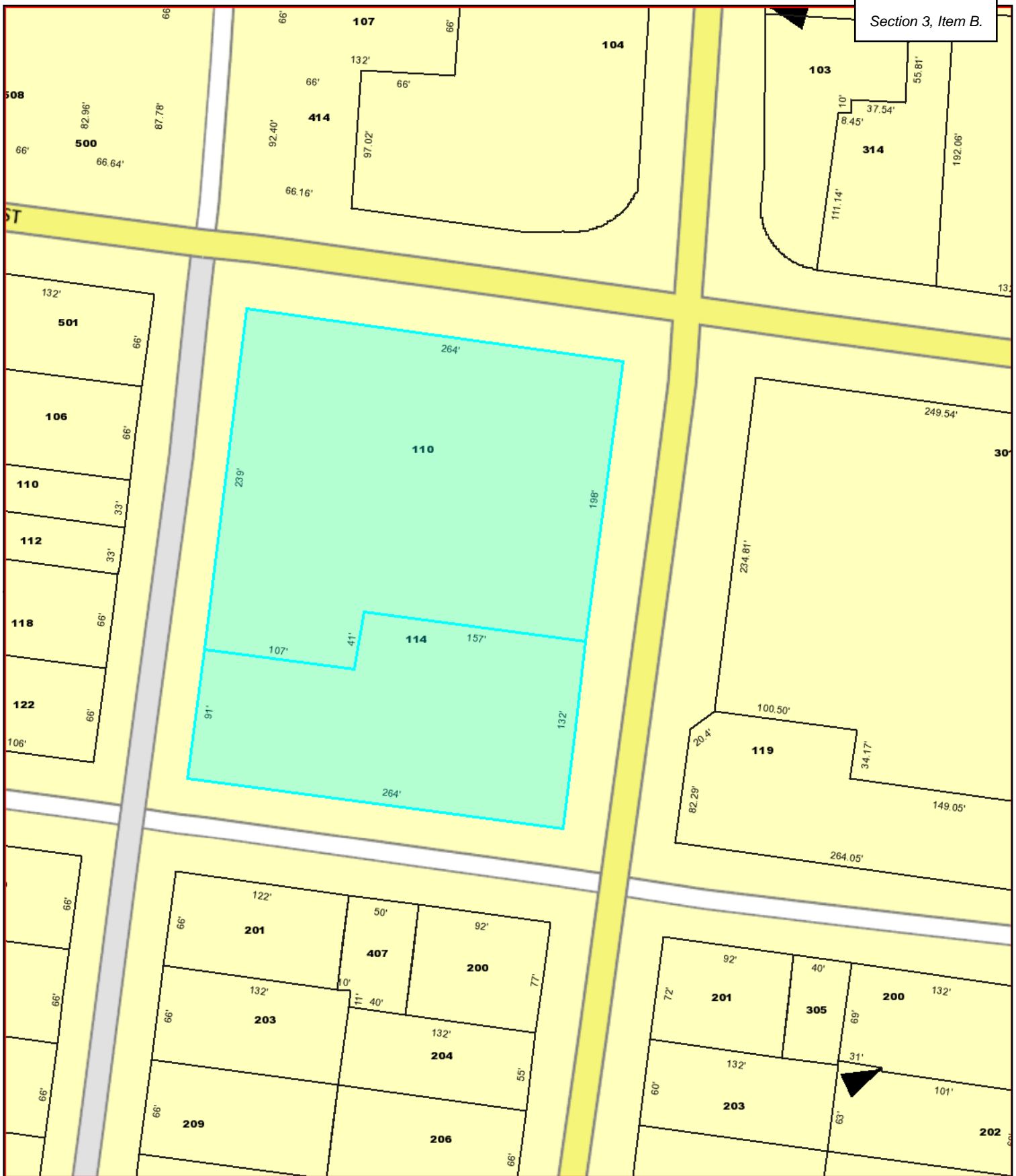
off Montgomery St. A staff member will also dismiss students at the end of the day. If a student needs to be picked up during the day or leave early, parents will have to pick them up at the front office.

Students will be responsible for bringing their own lunches, and snacks. No hot lunch will be provided. Students will eat within their designated lunch area within the gymnasium.

If parish schedule permits we may choose to host sporting events, but do not have an athletic program designed at this time.

There will be no off street parking plans

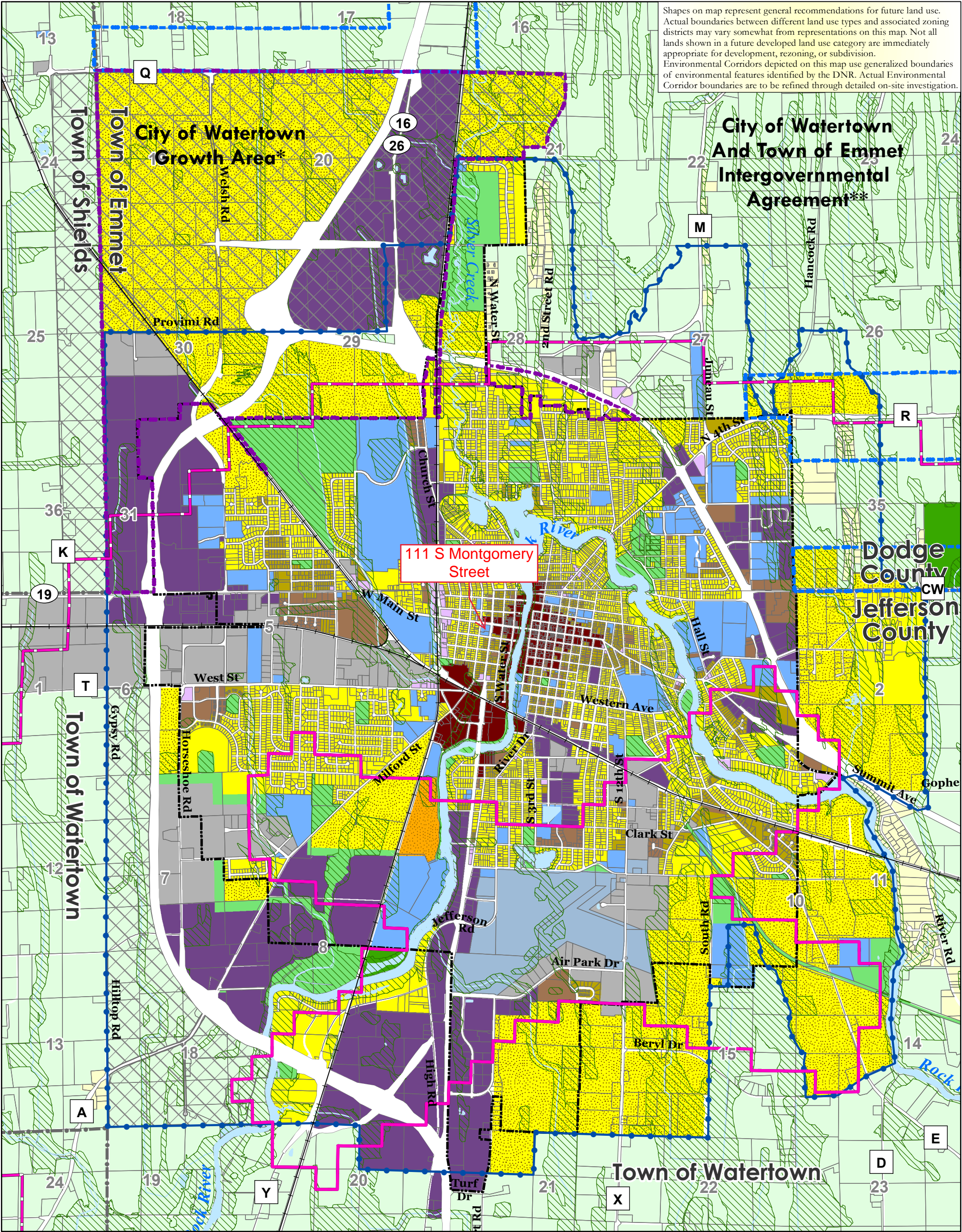
We do not propose any changes to the current signage.



100

Parcels





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

111 S Montgomery
Street

Dodge
County
Jefferson
County

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



**"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



Draft: August 7, 2019
Source: WisDNR, FEMA,
City of Watertown,
Dodge Co. LIO &
Jefferson Co. LIO, V&A

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation
b/t 865 and 968 ft
- Maximum Building Elevation
b/t 968 and 1005 ft

VANDEWALLE &
ASSOCIATES INC.
Shaping places, shaping change

THE CITY OF
WATERTOWN
Opportunity runs through it.



0 0.25 0.5 1 Miles

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26, 2023
SUBJECT: 308 Hyland Street, Conditional Use Permit - CUP

A request by Reicardo Contreras Garcia, agent for Jezline Auto Repair, for a Conditional Use Permit (CUP) for 'Vehicle Repair and Maintenance Service'. Parcel PIN: 291-0815-0431-039

SITE DETAILS:

Acres: 0.33
Current Zoning: General Industrial (GI)
Existing Land Use: Industrial
Future Land Use Designation: Planned Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Vehicle Repair and Maintenance Service' for automotive repair business. The business will utilize an existing building on the property at 308 Hyland St.

STAFF EVALUATION:

Land Use and Zoning:

1. Within the General Industrial (GI) Zoning District 'Vehicle Repair and Maintenance Service' is a principal land use permitted as a Conditional Use *[per § 550-36B(2)(c)]*. 'Vehicle Repair and Maintenance Service' includes all land uses which perform maintenance services (including repair) to motorized vehicles and contain all operations (except vehicle storage) entirely within an enclosed building. *[per § 550-52Q]*.

Applicable regulations for 'Vehicle Repair and Maintenance Service' land uses include the following: *[per § 550-52Q(1)]*

- Storage of abandoned vehicles is prohibited.
- Facility shall provide a bufferyard with a minimum opacity of 0.60 along all property borders abutting residentially zoned property.

2. Parking Requirements: One space per 300 square feet of gross floor area. Adequate on-site parking is required for all customer and employee vehicles. *[per § 550-52Q(2)]* Four parking spaces are available in the front of the building and another five inside the building.

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) *In this paragraph:*
 - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
 - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
 - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
 - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
3. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
4. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISIONS:

Indoor Institutional Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
1. Storage of abandoned vehicles is prohibited.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
2. Facility shall provide a bufferyard with a minimum opacity of 0.60 along all property borders abutting residentially zoned property.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
3. Parking Requirements: One space per 300 square feet of gross floor area. Adequate on-site parking is required for all customer and employee vehicles.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.

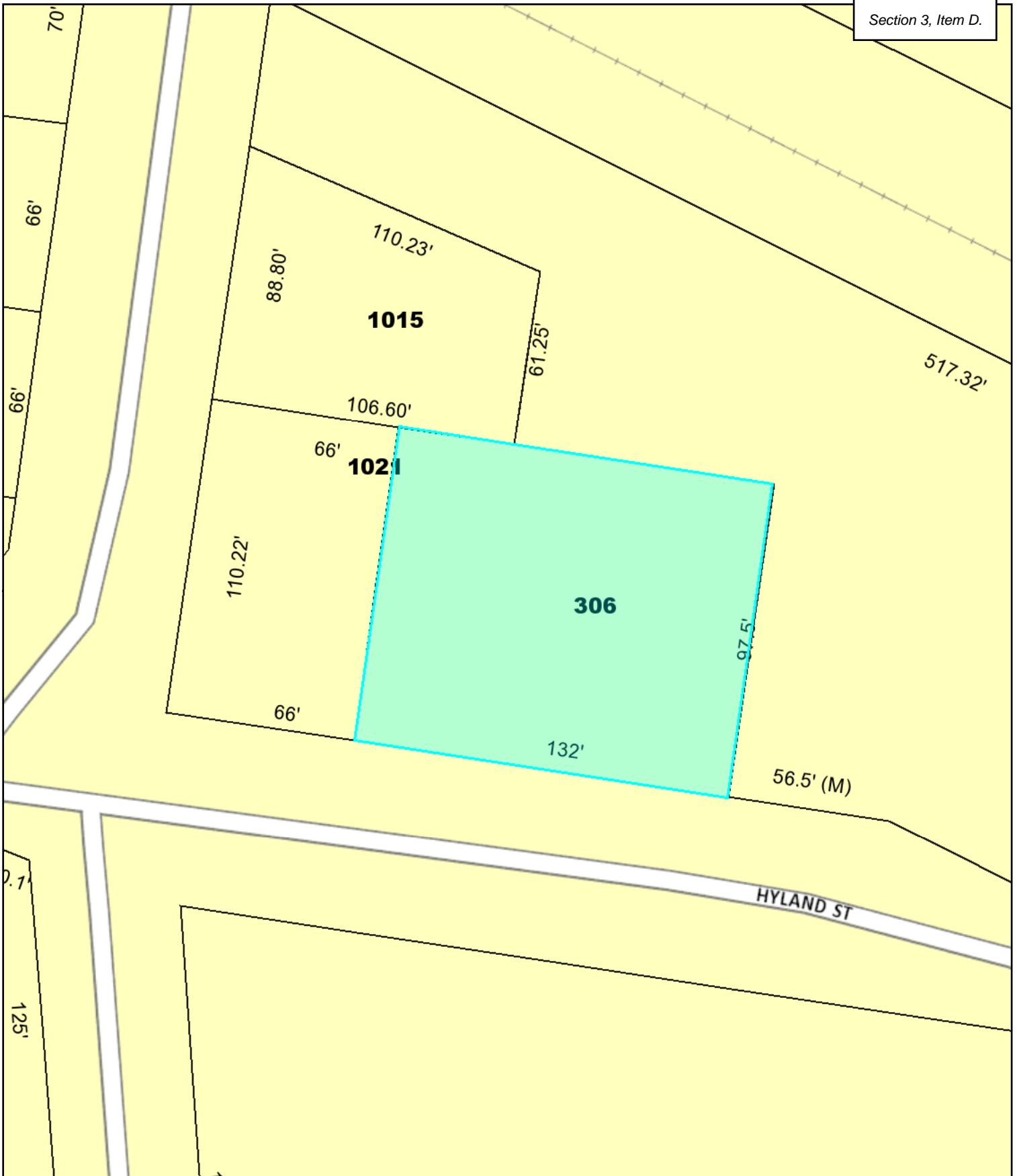
PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission.

ATTACHMENTS:

- Application materials



Parcels



Override 1

Parcels



City of Watertown Geographic Information System

Scale: 1 inch = 45 feet
SCALE BAR = 1"

Printed on: June 15, 2023
Author: Private User

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: New Fire Station – Concept Plan Review and Recommendation

A request by the Watertown Fire Department for Review and Recommendation to Council of the concept plan for the new Fire Station. Parcel PIN: 291-0815-0544-003 & 291-0815-0432-019

SITE DETAILS:

Parcel Acres: 5.55 & 2.21

BACKGROUND:

It is the role of the Plan Commission to review and make a recommendation to Council on plans for public buildings.

Per Wis. Stat. § 62.23(5):

*(5) Matters referred to city plan commission. The council, or other public body or officer of the city having final authority thereon, shall refer to the city plan commission, for its consideration and report before final action is taken by the council, public body or officer, the following matters: **The location and architectural design of any public building**; the location of any statue or other memorial; the location, acceptance, extension, alteration, vacation, abandonment, change of use, sale, acquisition of land for or lease of land for any street, alley or other public way, park, playground, airport, area for parking vehicles, or other memorial or public grounds; the location, extension, abandonment or authorization for any public utility whether publicly or privately owned; all plats of lands in the city or within the territory over which the city is given platting jurisdiction by ch. 236; the location, character and extent or acquisition, leasing or sale of lands for public or semipublic housing, slum clearance, relief of congestion, or vacation camps for children; and the amendment or repeal of any ordinance adopted pursuant to this section. Unless such report is made within 30 days, or such longer period as may be stipulated by the common council, the council or other public body or officer, may take final action without it.*

The Site Plan Review Committee recommended approval of the concept plan at the June 12th, 2023 meeting.

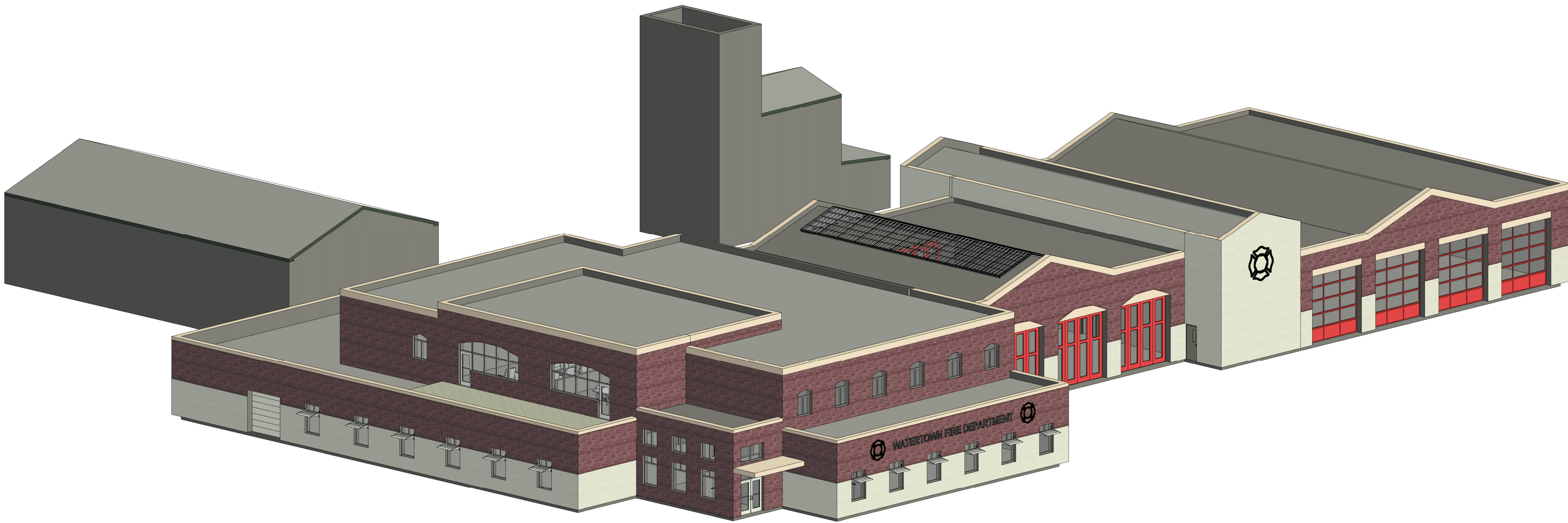
PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Make a negative recommendation to the Common Council.
2. Make a positive recommendation to the Common Council.
3. Make a positive recommendation to the Common Council with additional recommendations.

ATTACHMENTS:

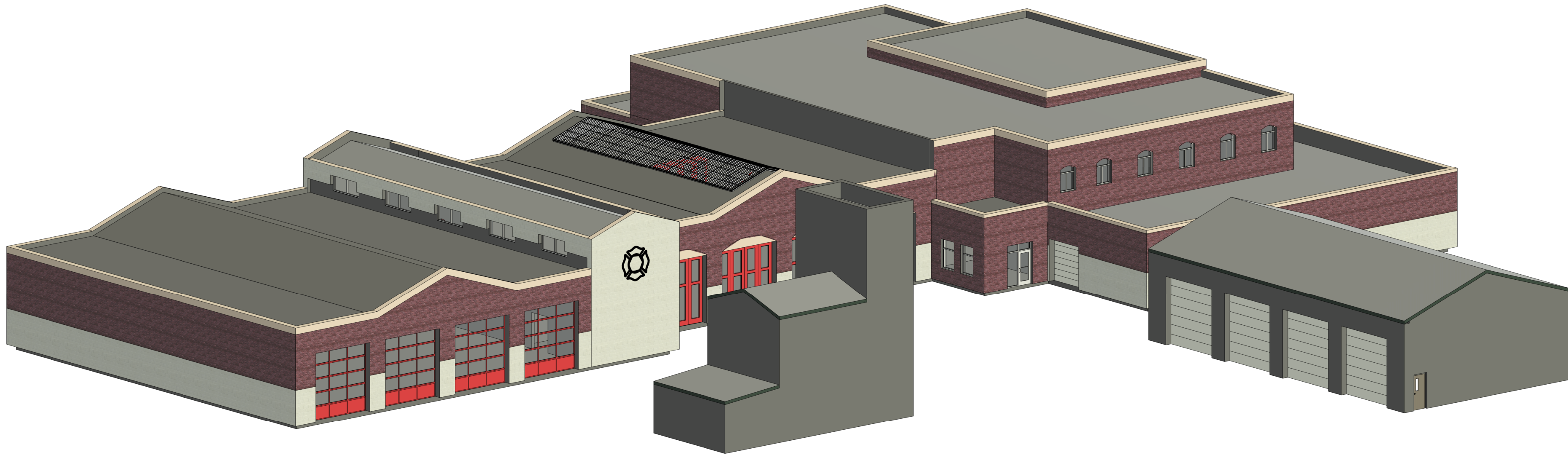
- Application materials.



1

OVERALL ARCHITECTURAL - EXTERIOR 3D

A703

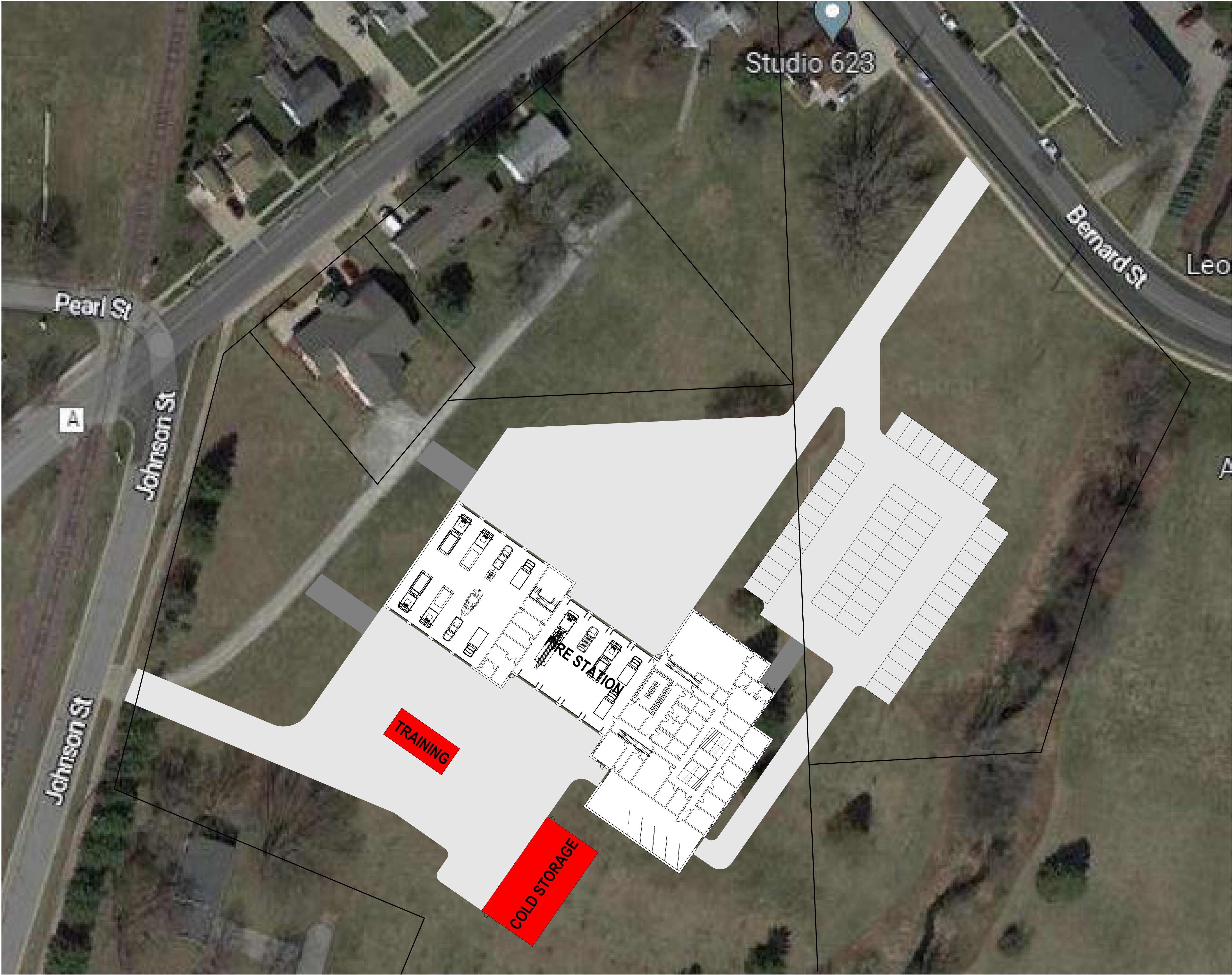


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OVERALL ARCHITECTURAL - EXTERIOR 3D

A703

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Section 3, Item E.

NOT FOR CONSTRUCTION

Project Owner

CITY OF WATERTOWN
WATERTOWN FIRE STATION
Enter address here

This drawing is an instrument of service and shall remain the property of Short Elliott Hendrickson, Inc. (SEH). The drawing, concepts and ideas contained herein shall not be used, reproduced, revised, or retained without the express written approval of SEH.

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Project Number
Checked By
Drawn By

Project Status
DRAFT

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
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ARCHITECTURAL SITE PLAN

A051


20



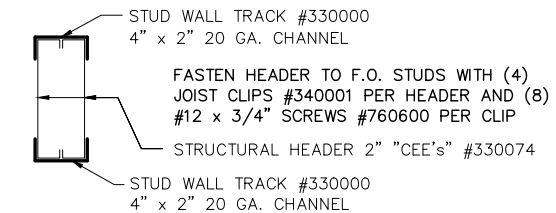








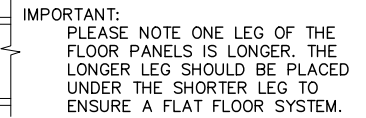
North arrow for reference only –
coordinate actual orientation on site



scale: $1 \frac{1}{2}'' = 1'-0''$



scale: $1 \frac{1}{2}'' = 1'-0''$



scale: 1 1/2" = 1'-0"

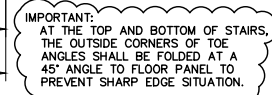


scale: $1 \frac{1}{2}'' = 1'-0''$

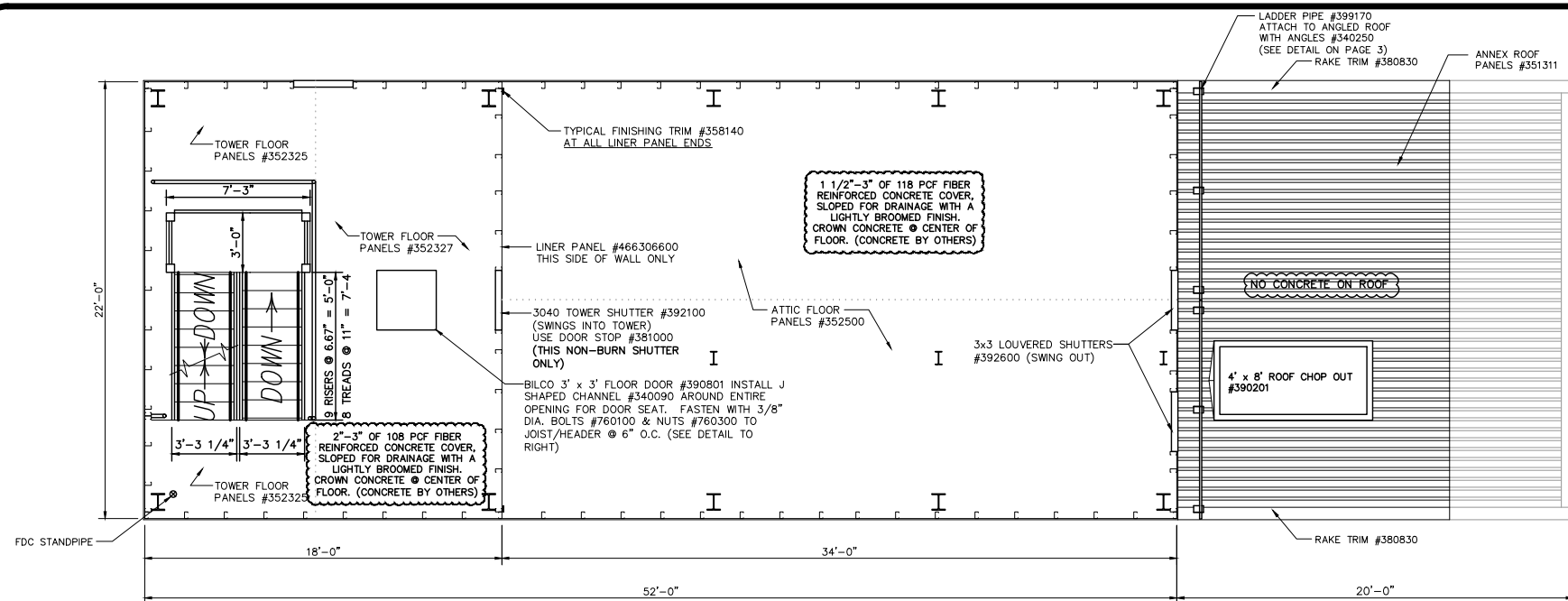


scale: 1 1/2" = 1'-0"

SCALE: $1/4" = 1'-0"$

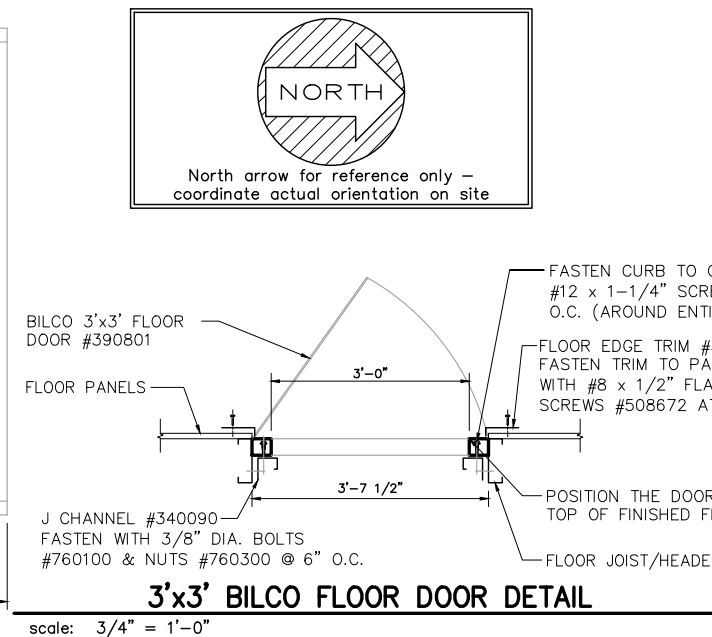


SCALE: $1/4" = 1'-0"$

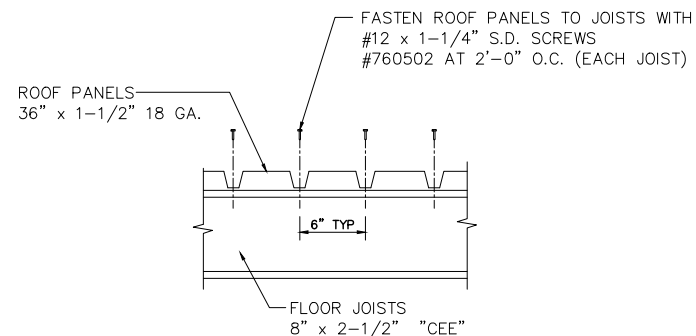


TOWER THIRD FLOOR & ATTIC PLAN

SCALE: 1/4" = 1'-0"

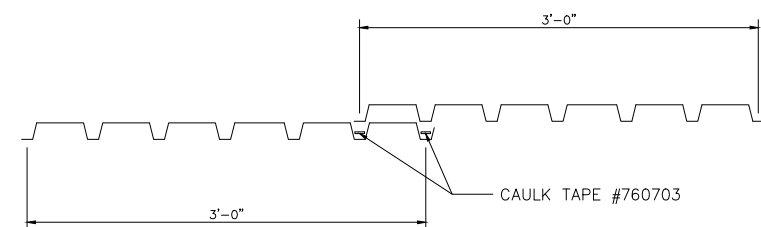


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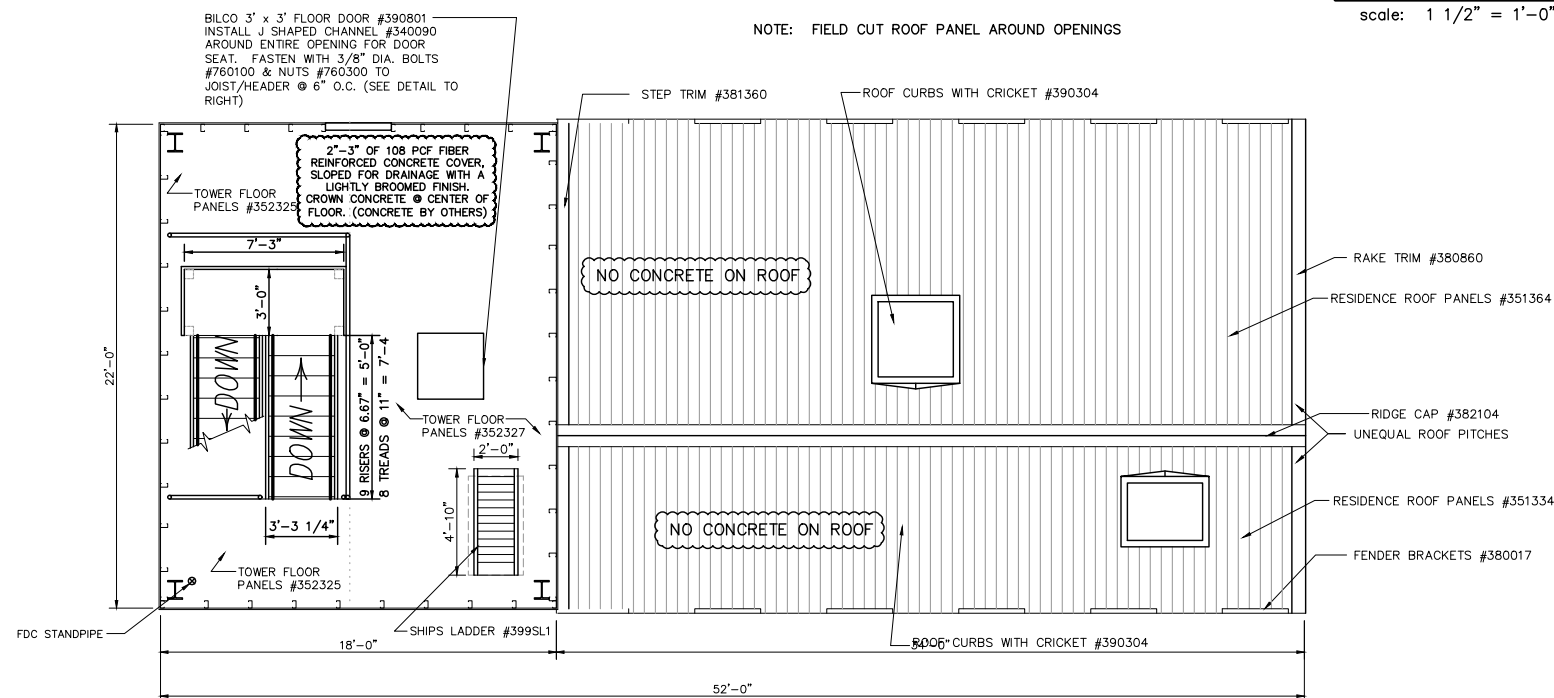
TYPICAL ROOF PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



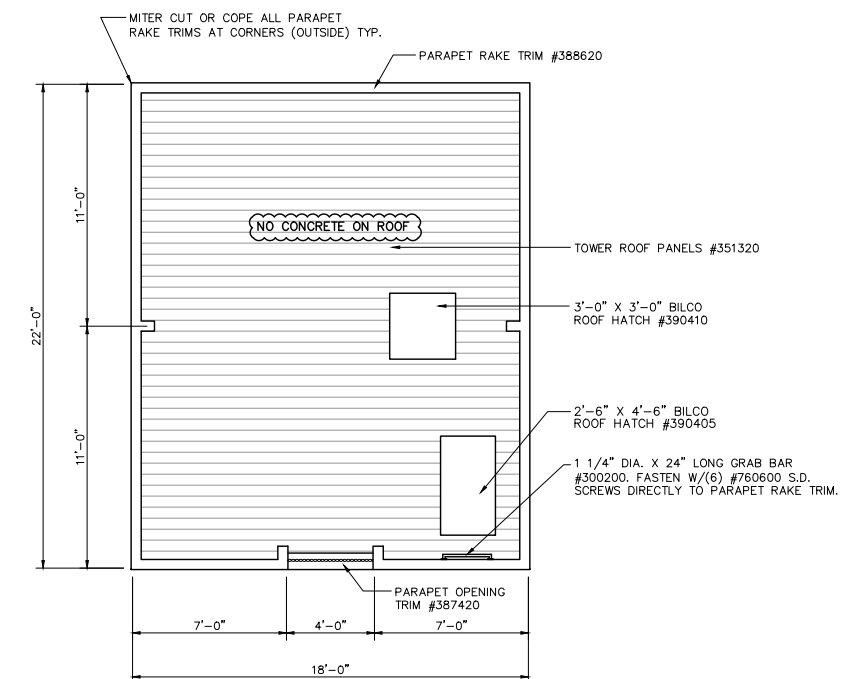
TYPICAL ROOF PANEL OVERLAP

scale: 1 1/2" = 1'-0"



TOWER FOURTH FLOOR AND RESIDENCE ROOF PLAN

SCALE: 1/4" = 1'-0"



TOWER ROOF PLAN

SCALE: 1/4" = 1'-0"

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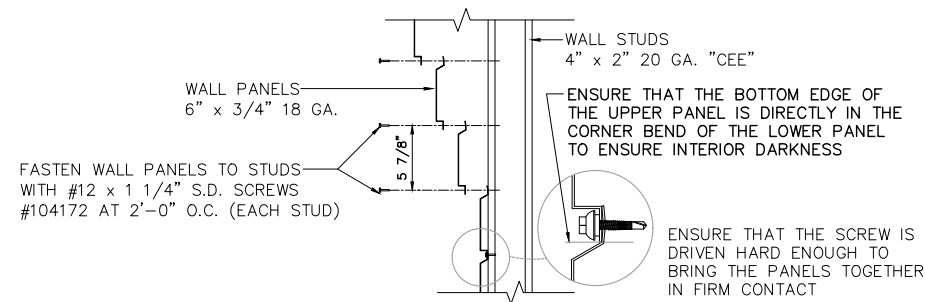
FIRE FACILITIES, INC.
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OFFICE: (608) 327-4100 FAX: (608) 834-1843
TOLL FREE: (800) 929-3726 TOLL FREE FAX: (866) 639-7012
WWW.FIREFACILITIES.COM; INFO@FIREFACILITIES.COM

WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

Job Description:

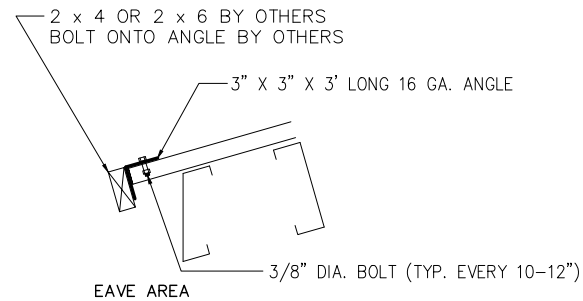
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Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.

Sheet Title: FLOOR PLANS CONT.



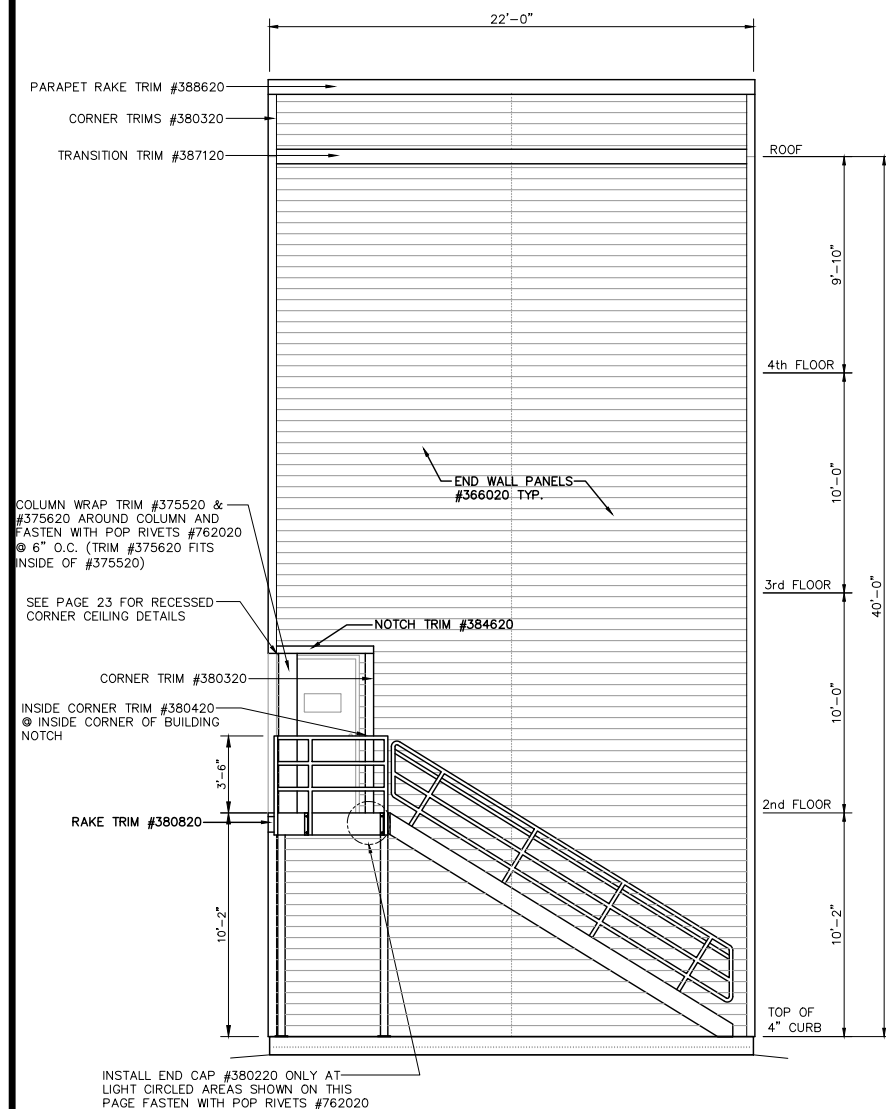
TYPICAL WALL PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



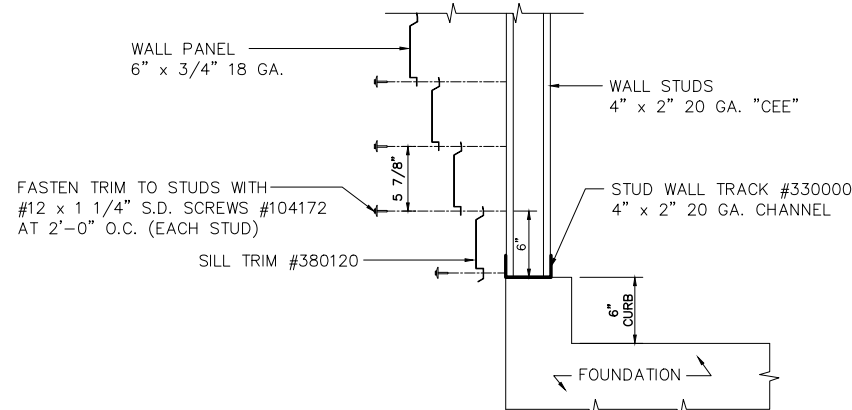
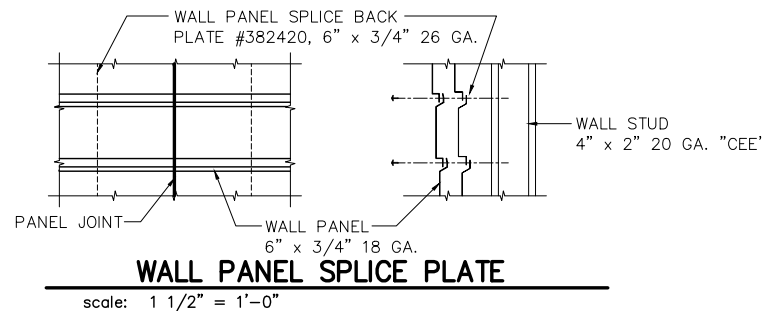
BRACKETS FOR 2X4 FENDER DETAILS

scale: 1 1/2" = 1'-0"



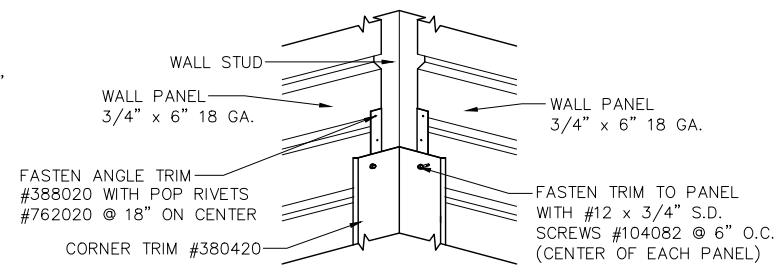
SOUTH END ELEVATION

SCALE: 1/4" = 1'-0"



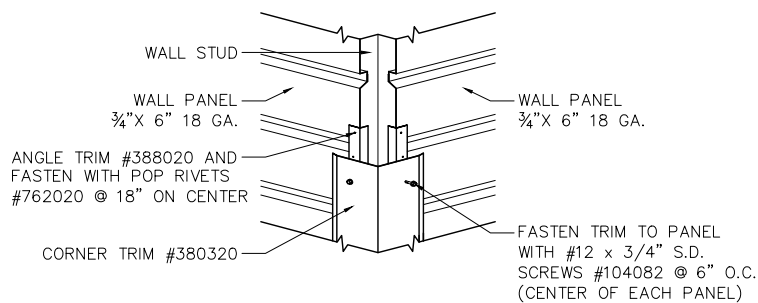
TYPICAL SILL DETAIL

scale: 1 1/2" = 1'-0"



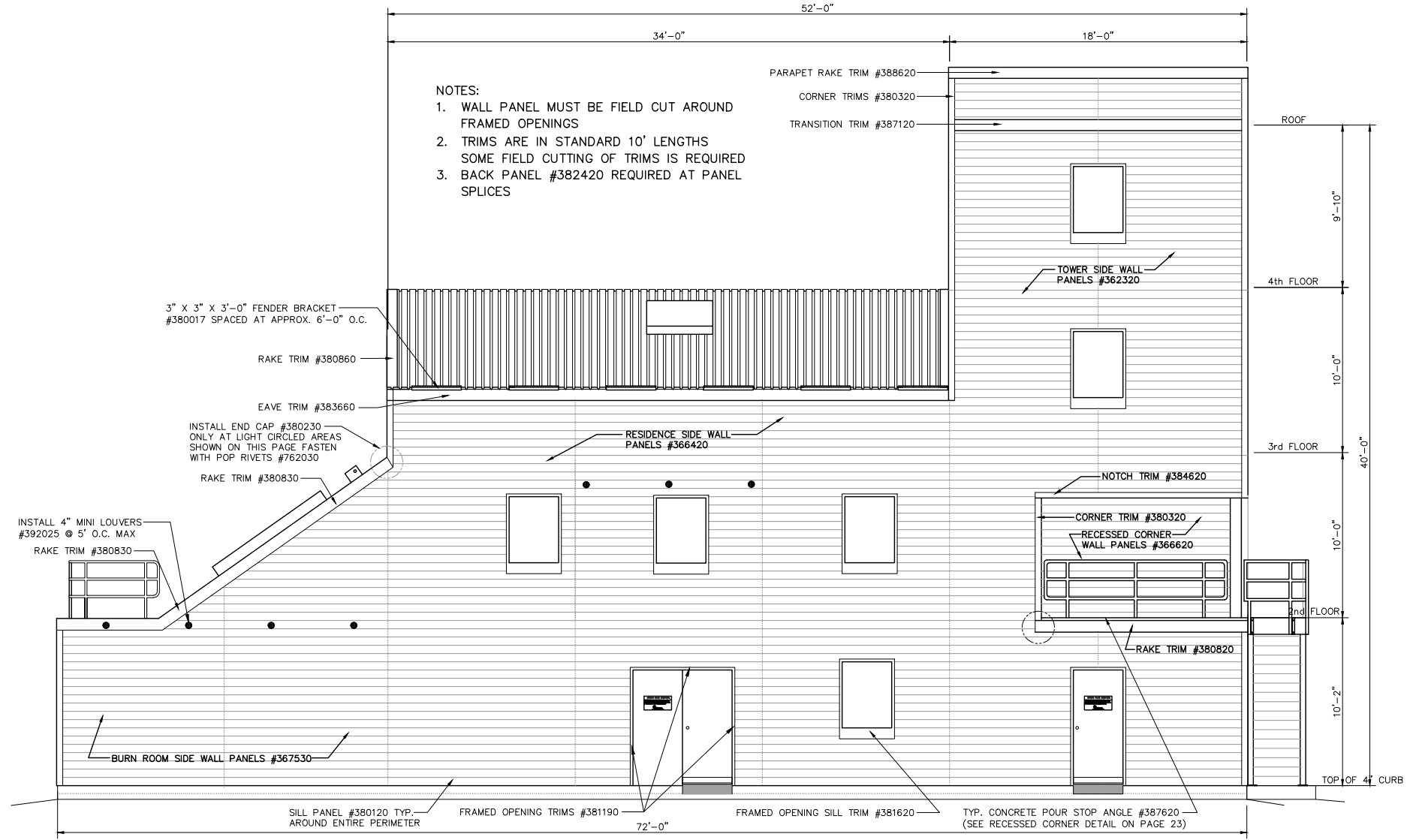
TYPICAL INSIDE CORNER TRIM DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL EXTERIOR CORNER TRIM DETAIL

scale: 1 1/2" = 1'-0"



WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

Section 3, Item E.

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FIRE FACILITIES
STEEL FIRE TRAINING TOWERS



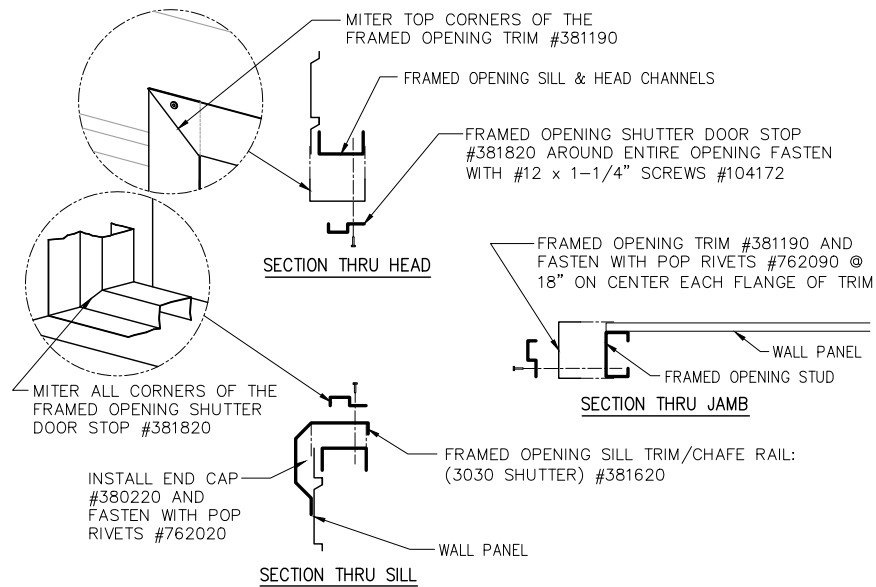
FIRE FACILITIES, INC.
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WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

Sheet Title:
ELEVATIONS

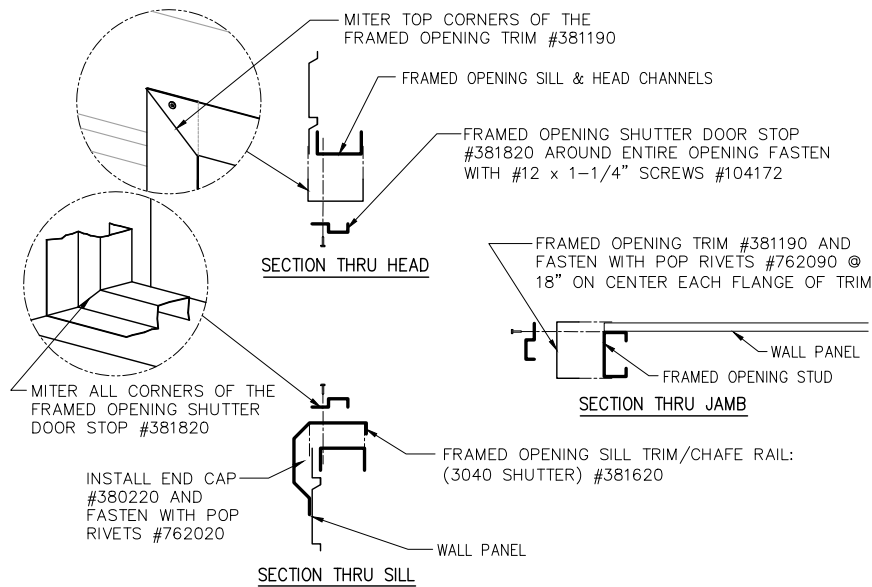
Job Description:

Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.



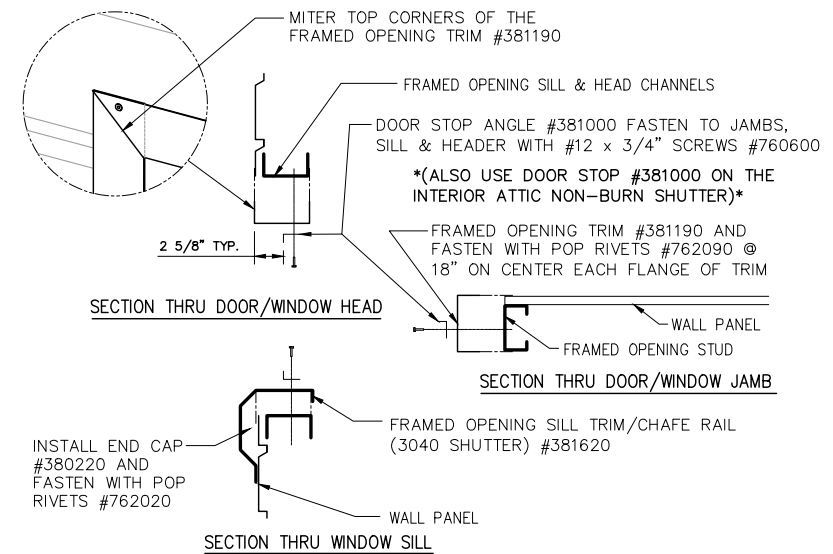
STANDARD SHUTTER TRIM DETAILS (SHUTTERS THAT SWING OUT)

scale: 1 1/2" = 1'-0"



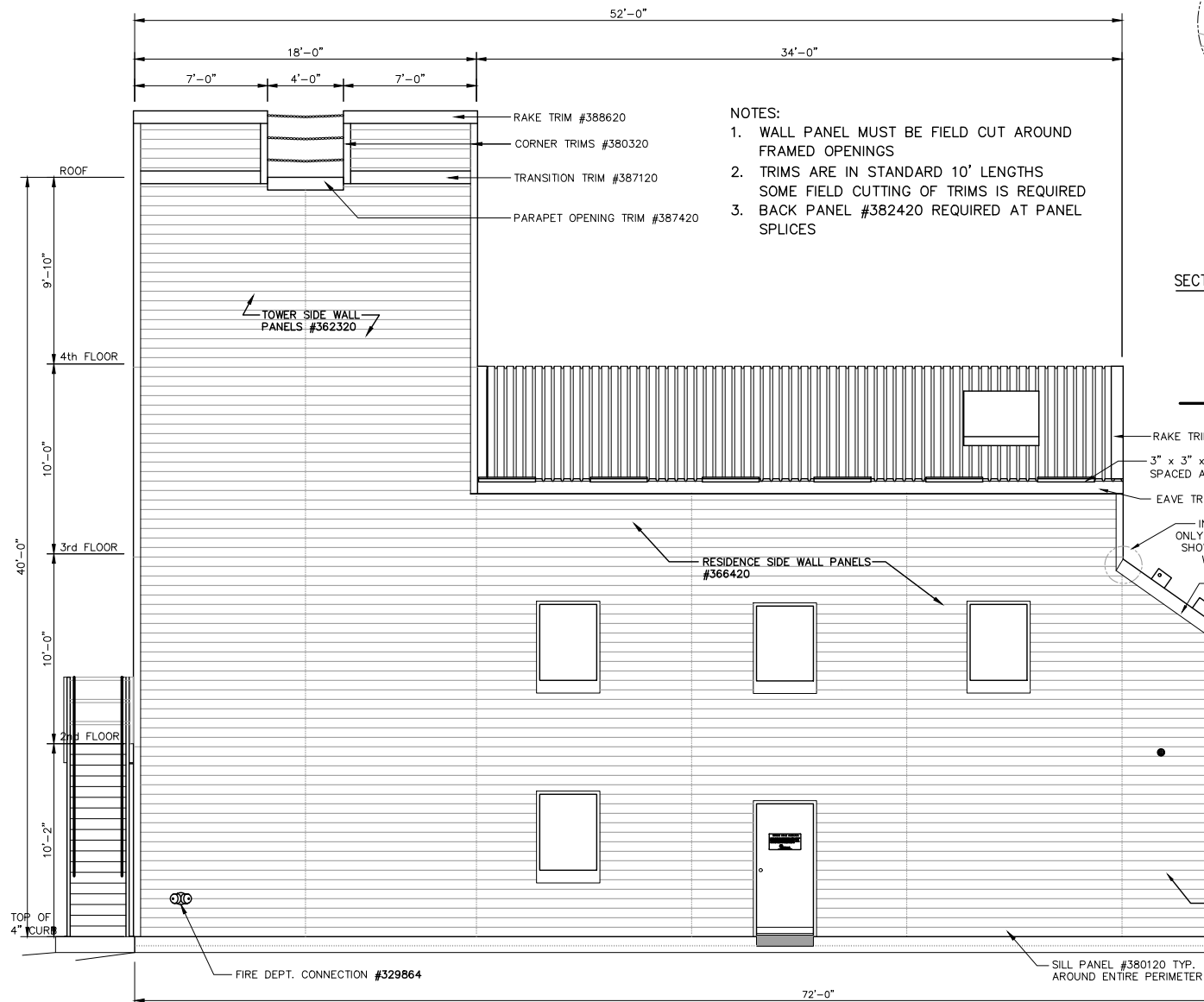
STANDARD SHUTTER TRIM DETAILS (SHUTTERS THAT SWING IN)

scale: 1 1/2" = 1'-0"



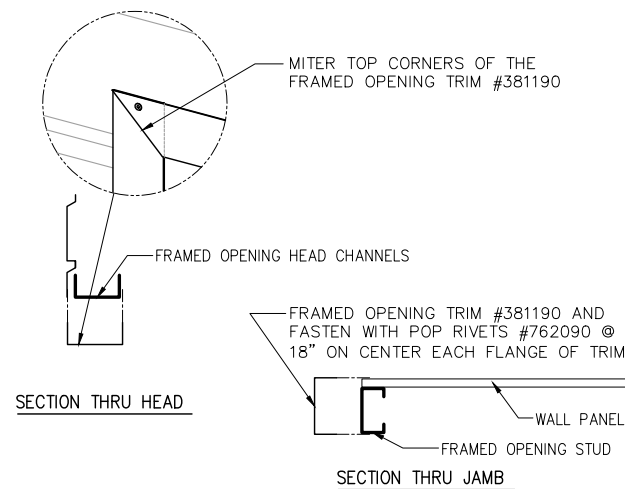
STANDARD BURN ROOM SHUTTER/DOOR TRIM DETAILS

scale: 1 1/2" = 1'-0"



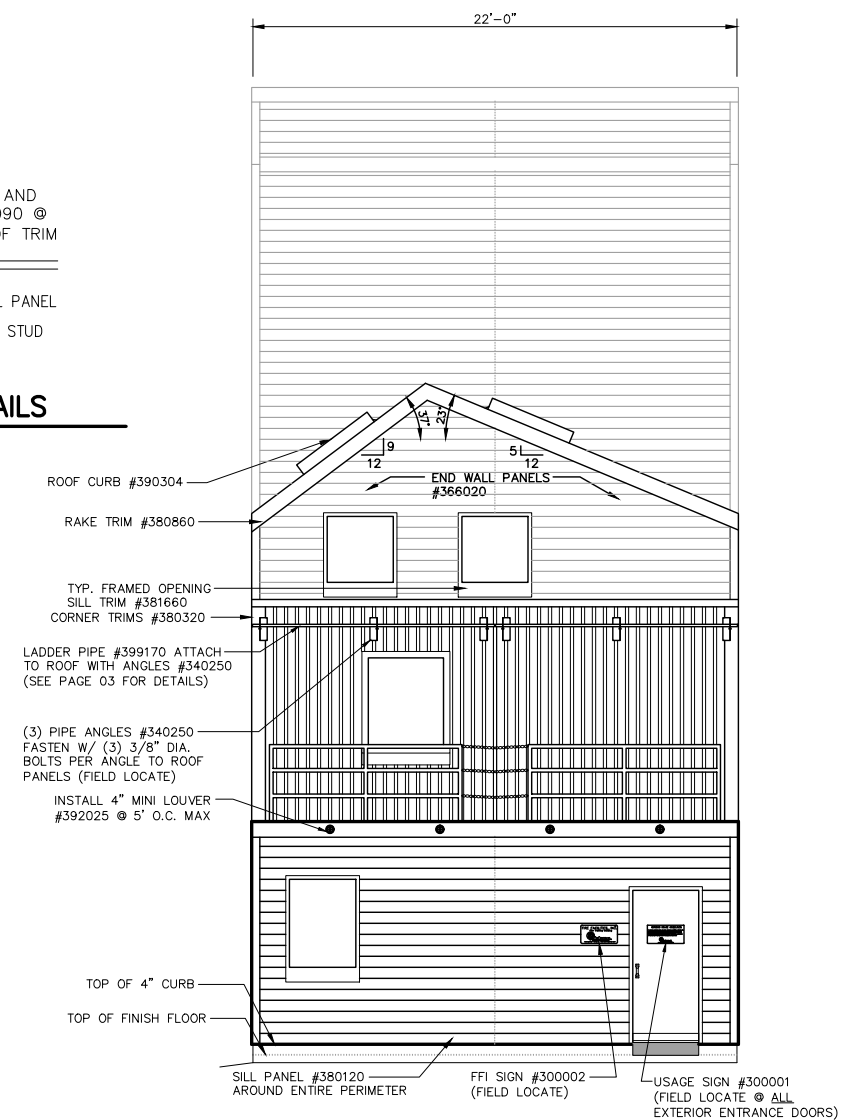
EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



STANDARD SWING DOOR TRIM DETAILS

scale: 1 1/2" = 1'-0"



NORTH END ELEVATION

SCALE: 1/4" = 1'-0"

Section 3, Item E.

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FIRE FACILITIES
STEEL FIRE TRAINING TOWERS



WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

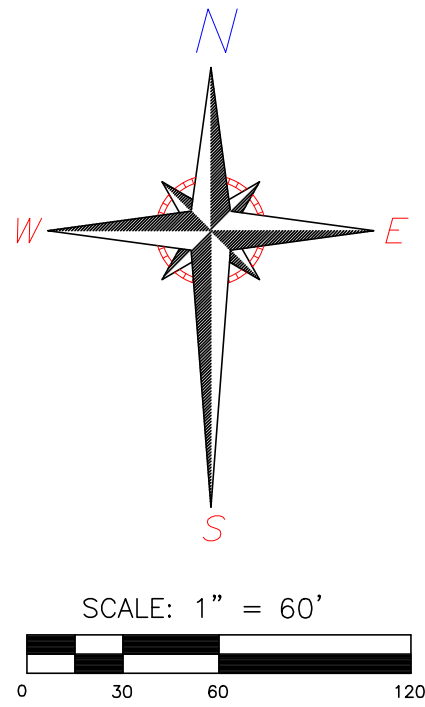
Sheet Title:
ELEVATIONS CONT.

Job Description:

Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.

04 of 04

28



BENCHMARK
NGS DISK TOP OF
CONCRETE MONUMENT
ELEV 822.78

LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT.
1 1/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL
OTHER LOT & OUTLOT CORNERS
- CONCRETE MONUMENT W/ BRASS CAP FOUND
- 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

Symbol Legend

- Symbol Denotes
- AC UNIT
- CATCH BASIN
- DECIDUOUS TREE
- ELECTRIC METER
- GAS METER
- GATE VALVE
- HYDRANT
- LIGHT
- MISC PEDESTAL
- POWER POLE
- POWER POLE GUY WIRE
- SANITARY MH
- STORM MH
- TELEPHONE PEDESTAL

SEH Project WATRN 172202

Drawn By DW

Designed By

Checked By KAK

Rev.#

Revision Issue
Description

Date

Rev.#

Revision Issue
Description

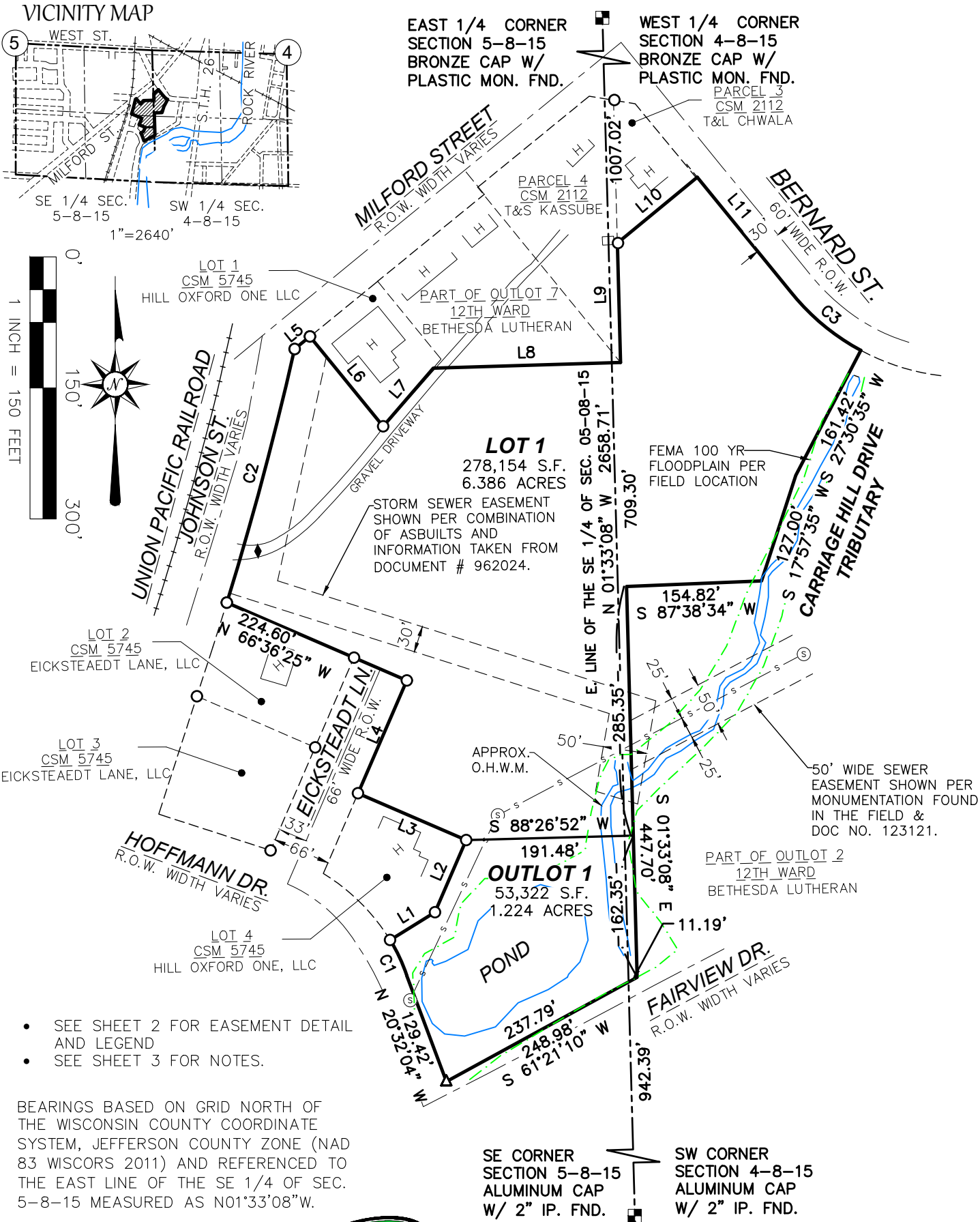
Date



PRELIMINARY

JEFFERSON CO. CERTIFIED
SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE
TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN
BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND
PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH,
RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.



- SEE SHEET 2 FOR EASEMENT DETAIL AND LEGEND
- SEE SHEET 3 FOR NOTES.

BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, JEFFERSON COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SEC. 5-8-15 MEASURED AS N01°33'08"W.



PREPARED FOR:
CITY OF WATERTOWN
C/O TRAVIS TEESCH (FIRE CHIEF)
106 JONES ST.
WATERTOWN, WI 53094

LAND SURVEYING • LAND PLANNING
111 W. 2ND STREET
OCONOMOWOC, WI 53066
WWW.LANDTECHWI.COM
(262) 367-7599

DATED 10/31/2022
JOB# 22252
SHEET 1 OF

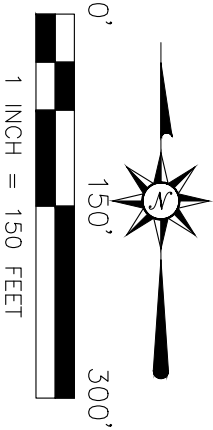
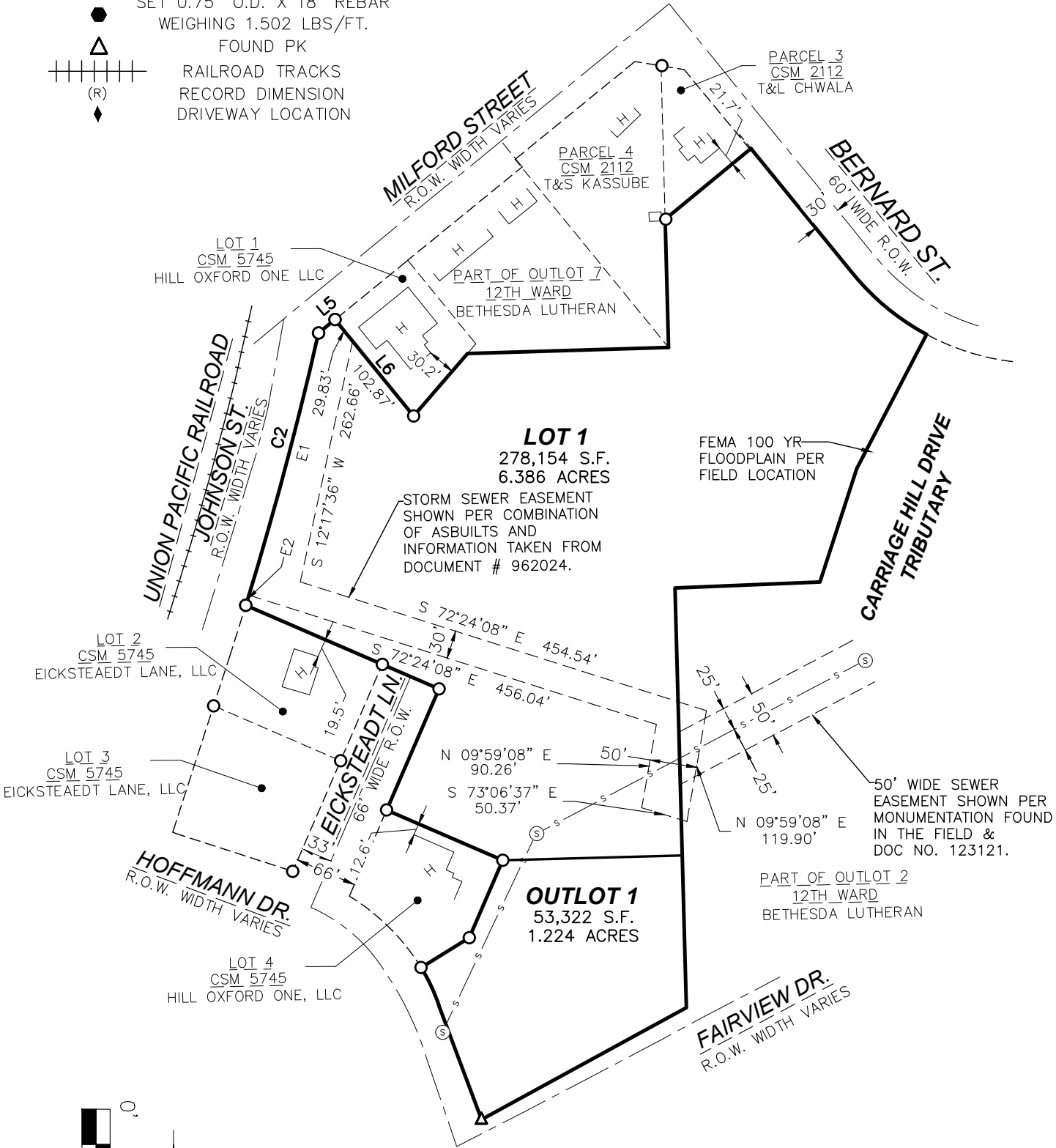
THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

LEGEND

- CONCRETE MONUMENT
- FOUND 1" IRON PIPE OR NOTED SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- FOUND PK
- RAILROAD TRACKS
- RECORD DIMENSION
- DRIVEWAY LOCATION



EASEMENT CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING
E1	3893.82'	4°15'20"	289.21'	289.14'	N 14°51'55" E
E2	3893.82'	0°10'02"	11.37'	11.37'	N 17°04'36" E

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____
PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE
THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF
SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST,
CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 58°18'44" E	60.49'
L2	N 23°23'35" E	90.00'
L3	N 66°36'25" W	135.00'
L4	N 23°23'35" E	140.74'
L5	N 50°49'08" E	22.79'
L6	S 39°10'52" E	132.70'
L7	N 40°46'48" E	87.92'
L8	N 88°16'08" E	214.65'
L9	N 01°29'26" W	136.76'
L10	N 50°28'35" E	118.55'
L11	S 39°12'29" E	168.85'

RECORD LINE TABLE

LINE	BEARING	DISTANCE
(L1)	N 60°15'28" E	
(L2)	N 25°20'19" E	
(L3)	N 64°39'40" W	
(L4)	N 25°20'19" E	
(L5)	N 52°45'52" E	
(L6)	S 37°14'08" W	
(L7)	N 42°43'32" E	
(L9)	(N 00°52'00" W)	136.73'
(L10)	S 52°50'00" W	117.33'

CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	195.80'	13°14'19"	45.24'	45.14'	N 25°03'33" W	N 18°26'23" W	N 31°40'42" W
C2	3893.82'	4°25'23"	300.58'	300.51'	N 14°56'56" E	N 17°09'37" E	N 12°44'15" E
C3	260.00'	23°19'23"	105.84'	105.11'	S 50°06'14" E	S 38°26'32" E	S 61°45'55" E

RECORD CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
(C2)					(N 16°53'40" E)	(N 19°06'21"E)	(N 14°40'59" E)

NOTES:

- FLOODPLAIN IS SHOWN PER TOPOGRAPHIC SURVEY COMPLETED BY LANDTECH SURVEYING 9/23/2022.
- THIS PARCEL IS ALSO SUBJECT TO ALL OTHER EASEMENTS, INCLUDING UTILITY EASEMENTS AND RESTRICTIONS, EITHER RECORDED OR UNRECORDED, IF ANY.
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE O.H.W.M. (ORDINARY HIGH WATER MARK) IS AN APPROXIMATE LOCATION DETERMINED BY THE SURVEYOR.

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 5, TOWN 8 NORTH, RANGE 15 EAST; THENCE N 01°33'08" W, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 5, 942.39 FEET TO THE POINT OF BEGINNING; THENCE S 61°21'10" W, ALONG THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE, 237.79 FEET TO THE NORTHERLY RIGHT-OF-WAY OF HOFFMANN DRIVE; THENCE N 20°32'04" W, ALONG THE NORTHERLY RIGHT-OF-WAY OF HOFFMANN DRIVE, 129.42 FEET; THENCE CONTINUING ALONG THE SAID NORTHERLY RIGHT-OF-WAY ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 45.24 FEET, A RADIUS OF 195.80 FEET, A DELTA ANGLE OF 13°14'19", AND A CHORD BEARING N 25°03'33" W, 45.14 FEET TO THE MOST SOUTHERLY CORNER OF LOT 4 OF CSM 5745; THENCE N 58°18'44" E, ALONG THE EAST LINE OF LOT 4 OF CSM 5745, 60.49 FEET; THENCE N 23°23'35" E, ALONG THE EAST LINE OF LOT 4 OF CSM 5745, 90.00 FEET TO THE NORTHEAST CORNER OF LOT 4 OF CSM 5745; THENCE N 66°36'25" W, ALONG THE NORTH LINE OF LOT 4 OF CSM 5745, 135.00 FEET TO THE EAST RIGHT-OF-WAY OF EICKSTEADT LANE; THENCE N 23°23'35" E, ALONG THE EAST RIGHT-OF-WAY OF EICKSTEADT LANE 140.74 FEET TO THE NORTH RIGHT-OF-WAY OF EICKSTEADT LANE; THENCE N 66°36'25" W, ALONG THE NORTH RIGHT-OF-WAY OF EICKSTEADT LANE AND NORTH LINE OF LOT 2 OF CSM 5745, 224.60 FEET TO THE EAST RIGHT-OF-WAY OF JOHNSON STREET; THENCE ALONG THE EAST RIGHT-OF-WAY OF JOHNSON STREET ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 300.58 FEET, A RADIUS OF 3893.82 FEET, A DELTA ANGLE OF 04°25'23", AND A CHORD BEARING N 14°56'56" E, 300.51 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF MILFORD STREET; THENCE N 50°49'08" E, ALONG THE SOUTHERLY RIGHT-OF-WAY OF MILFORD STREET, 22.79 FEET TO THE NORTHWEST CORNER OF LOT 1 OF CSM 5745; THENCE S 39°10'52" E, ALONG THE WEST LINE OF LOT 1 OF CSM 5745, 132.70 FEET TO THE MOST SOUTHERLY CORNER OF LOT 1 OF CSM 5745; THENCE N 40°46'48" E, ALONG THE EASTERLY LINE OF LOT 1 OF CSM 5745, 87.92 FEET TO THE NORTH LINE OF OUTLOT 25 OF MAP OF OUTLOTS AND SUBDIVISION OF LOTS 3RD AND 4TH WARD; THENCE N 88°16'08" E, ALONG SAID LINE, 214.65 FEET TO THE MOST SOUTHERLY POINT OF PARCEL 4 OF CSM 2112; THENCE N 01°29'26" W, ALONG THE EAST LINE OF PARCEL 4 OF CSM 2112, 136.76 FEET TO THE MOST SOUTHERLY POINT OF PARCEL 3 OF CSM 2112; THENCE N 50°28'35" E, ALONG THE SOUTH LINE OF PARCEL 3 OF CSM 2112, 118.55 FEET TO THE SOUTH RIGHT-OF-WAY OF BERNARD STREET; THENCE S 39°12'29" E, ALONG THE SOUTH RIGHT-OF-WAY OF BERNARD STREET, 168.85 FEET; THENCE CONTINUING ALONG THE SOUTH RIGHT-OF-WAY OF BERNARD STREET, ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 105.84 FEET, A RADIUS OF 260.00 FEET, A DELTA ANGLE OF 23°19'23", AND A CHORD BEARING S 50°06'14" E, 105.11 FEET; THENCE S 27°30'35" W, 161.42 FEET; THENCE S 17°57'35" W, 127.00 FEET; THENCE S 87°38'34" W, 154.82 FEET TO THE EAST LINE OF OUTLOT 25 OF MAP OF OUTLOTS AND SUBDIVISION OF LOTS 3RD AND 4TH WARD; THENCE S 01°33'08" E, ALONG THE EAST LINE OF OUTLOT 25, 447.70 FEET TO THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE; THENCE S 61°21'10" W, ALONG THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE, 11.19 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 331,476 SQUARE FEET OR 7.61 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE WATERTOWN COLLECTIVE LLC OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF CITY OF WATERTOWN IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20____.

MATTHEW T. O'ROURKE, S-2771

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____
PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE
THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF
SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST,
CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

WATERTOWN COLLECTIVE LLC, A WISCONSIN LIMITED LIABILITY COMPANY (LLC), DULY ORGANIZED AND EXISTING
UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT
SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS
REPRESENTED ON THIS PLAT.

WATERTOWN COLLECTIVE LLC, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12
TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: CITY OF WATERTOWN

IN WITNESS WHEREOF, THE SAID WATERTOWN COLLECTIVE LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY:
_____, ITS AUTHORIZED MEMBER, AT _____ WISCONSIN,
THIS _____, DAY OF _____, 20_____.

IN THE PRESENCE OF:
TITLE: _____
PRINT NAME: _____
SIGNED: _____

CORPORATE OWNER'S NOTARY CERTIFICATE

STATE OF _____)
_____(COUNTY)SS
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, _____ AS
AUTHORIZED MEMBER OF WATERTOWN COLLECTIVE LLC, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE
FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH AUTHORIZED MEMBER, AND ACKNOWLEDGED THAT HE
EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID LLC, BY ITS AUTHORITY.

NOTARY SIGNATURE _____
PRINT NAME _____
MY COMMISSION EXPIRES _____

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____
PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE
THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF
SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST,
CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

CITY OF WATERTOWN PLAN COMMISSION

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF WATERTOWN, THIS
_____ DAY OF _____, 20____.

PRINT OFFICIAL TITLE: _____ PRINT OFFICIAL TITLE: _____

SIGNATURE: _____ SIGNATURE: _____

PRINT NAME: _____ PRINT NAME: _____

CITY OF WATERTOWN COMMON COUNCIL

THIS LAND DIVISION IS HEREBY APPROVED BY THE CITY OF WATERTOWN COMMON COUNCIL,
THIS _____ DAY OF _____, 20____.

PRINT OFFICIAL TITLE: _____ PRINT OFFICIAL TITLE: _____

SIGNATURE: _____ SIGNATURE: _____

PRINT NAME: _____ PRINT NAME: _____



Reflection Stone

MASONRY UNITS



WHEAT (Custom Color) and VISION, Heritage Collection™ Designer Concrete Brick – 60% SAND CASTLE and 40% TUSCANY VILLA (Custom Blend, Utility Size)

COUNTY MATERIALS CORPORATION

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: New Fire Station - Certified Survey Map (CSM)

A request by the Watertown Fire Department to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN: 291-0815-0544-003 & 291-0815-0432-019

SITE DETAILS:

Parent Parcel Acres: 5.55 & 2.21

Proposed Lot Size(s): Lot 1 – 6.39 acres, Outlot 1 – 1.22 acres

Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a CSM with one lot and one outlot. Lot 1, located in the northern portion of the property, will be 6.39 acres with frontage on both Bernard St and Johnson St. Outlot 1, located in the southern portion of the property, will be 1.22 acres and have frontage on Hoffmann Dr and Fairview Dr. The preliminary CSM lots will not be located within the Airport Height Limitation Zone.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the preliminary CSM.
2. Approve the preliminary CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission.

ATTACHMENTS:

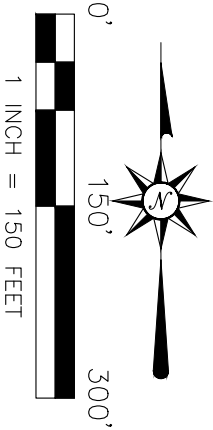
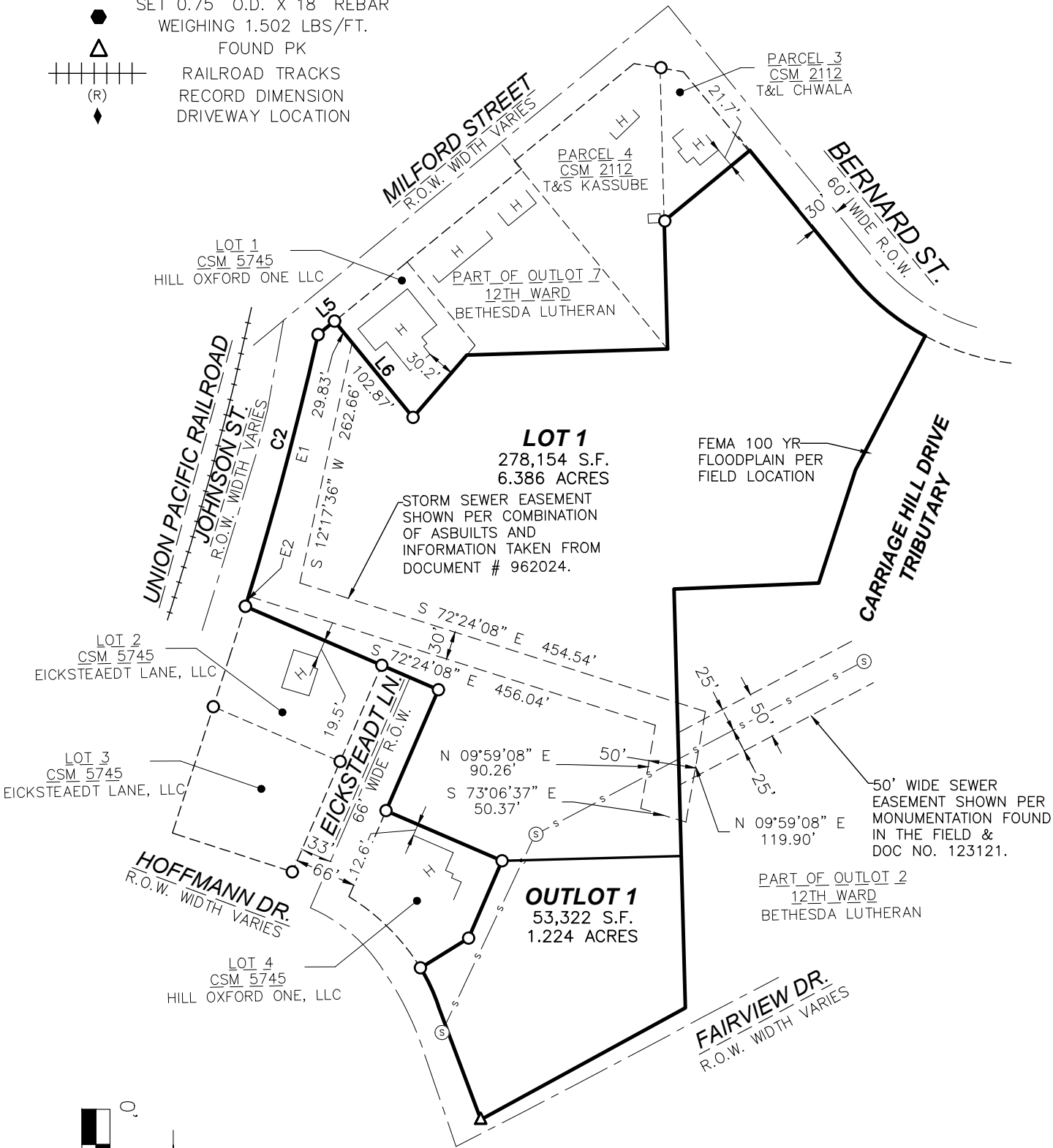
- Application materials.

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

LEGEND

- CONCRETE MONUMENT
- FOUND 1" IRON PIPE OR NOTED SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- FOUND PK
- RAILROAD TRACKS
- RECORD DIMENSION
- DRIVEWAY LOCATION



EASEMENT CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING
E1	3893.82'	4°15'20"	289.21'	289.14'	N 14°51'55" E
E2	3893.82'	0°10'02"	11.37'	11.37'	N 17°04'36" E

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 58°18'44" E	60.49'
L2	N 23°23'35" E	90.00'
L3	N 66°36'25" W	135.00'
L4	N 23°23'35" E	140.74'
L5	N 50°49'08" E	22.79'
L6	S 39°10'52" E	132.70'
L7	N 40°46'48" E	87.92'
L8	N 88°16'08" E	214.65'
L9	N 01°29'26" W	136.76'
L10	N 50°28'35" E	118.55'
L11	S 39°12'29" E	168.85'

RECORD LINE TABLE

LINE	BEARING	DISTANCE
(L1)	N 60°15'28" E	
(L2)	N 25°20'19" E	
(L3)	N 64°39'40" W	
(L4)	N 25°20'19" E	
(L5)	N 52°45'52" E	
(L6)	S 37°14'08" W	
(L7)	N 42°43'32" E	
(L9)	(N 00°52'00" W)	136.73'
(L10)	S 52°50'00" W	117.33'

CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	195.80'	13°14'19"	45.24'	45.14'	N 25°03'33" W	N 18°26'23" W	N 31°40'42" W
C2	3893.82'	4°25'23"	300.58'	300.51'	N 14°56'56" E	N 17°09'37" E	N 12°44'15" E
C3	260.00'	23°19'23"	105.84'	105.11'	S 50°06'14" E	S 38°26'32" E	S 61°45'55" E

RECORD CURVE TABLE

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING	TANGENT IN	TANGENT OUT
(C2)					(N 16°53'40" E)	(N 19°06'21"E)	(N 14°40'59" E)

NOTES:

- FLOODPLAIN IS SHOWN PER TOPOGRAPHIC SURVEY COMPLETED BY LANDTECH SURVEYING 9/23/2022.
- THIS PARCEL IS ALSO SUBJECT TO ALL OTHER EASEMENTS, INCLUDING UTILITY EASEMENTS AND RESTRICTIONS, EITHER RECORDED OR UNRECORDED, IF ANY.
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE O.H.W.M. (ORDINARY HIGH WATER MARK) IS AN APPROXIMATE LOCATION DETERMINED BY THE SURVEYOR.

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____

PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE:

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 5, TOWN 8 NORTH, RANGE 15 EAST; THENCE N 01°33'08" W, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 5, 942.39 FEET TO THE POINT OF BEGINNING; THENCE S 61°21'10" W, ALONG THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE, 237.79 FEET TO THE NORTHERLY RIGHT-OF-WAY OF HOFFMANN DRIVE; THENCE N 20°32'04" W, ALONG THE NORTHERLY RIGHT-OF-WAY OF HOFFMANN DRIVE, 129.42 FEET; THENCE CONTINUING ALONG THE SAID NORTHERLY RIGHT-OF-WAY ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 45.24 FEET, A RADIUS OF 195.80 FEET, A DELTA ANGLE OF 13°14'19", AND A CHORD BEARING N 25°03'33" W, 45.14 FEET TO THE MOST SOUTHERLY CORNER OF LOT 4 OF CSM 5745; THENCE N 58°18'44" E, ALONG THE EAST LINE OF LOT 4 OF CSM 5745, 60.49 FEET; THENCE N 23°23'35" E, ALONG THE EAST LINE OF LOT 4 OF CSM 5745, 90.00 FEET TO THE NORTHEAST CORNER OF LOT 4 OF CSM 5745; THENCE N 66°36'25" W, ALONG THE NORTH LINE OF LOT 4 OF CSM 5745, 135.00 FEET TO THE EAST RIGHT-OF-WAY OF EICKSTEADT LANE; THENCE N 23°23'35" E, ALONG THE EAST RIGHT-OF-WAY OF EICKSTEADT LANE 140.74 FEET TO THE NORTH RIGHT-OF-WAY OF EICKSTEADT LANE; THENCE N 66°36'25" W, ALONG THE NORTH RIGHT-OF-WAY OF EICKSTEADT LANE AND NORTH LINE OF LOT 2 OF CSM 5745, 224.60 FEET TO THE EAST RIGHT-OF-WAY OF JOHNSON STREET; THENCE ALONG THE EAST RIGHT-OF-WAY OF JOHNSON STREET ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 300.58 FEET, A RADIUS OF 3893.82 FEET, A DELTA ANGLE OF 04°25'23", AND A CHORD BEARING N 14°56'56" E, 300.51 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF MILFORD STREET; THENCE N 50°49'08" E, ALONG THE SOUTHERLY RIGHT-OF-WAY OF MILFORD STREET, 22.79 FEET TO THE NORTHWEST CORNER OF LOT 1 OF CSM 5745; THENCE S 39°10'52" E, ALONG THE WEST LINE OF LOT 1 OF CSM 5745, 132.70 FEET TO THE MOST SOUTHERLY CORNER OF LOT 1 OF CSM 5745; THENCE N 40°46'48" E, ALONG THE EASTERLY LINE OF LOT 1 OF CSM 5745, 87.92 FEET TO THE NORTH LINE OF OUTLOT 25 OF MAP OF OUTLOTS AND SUBDIVISION OF LOTS 3RD AND 4TH WARD; THENCE N 88°16'08" E, ALONG SAID LINE, 214.65 FEET TO THE MOST SOUTHERLY POINT OF PARCEL 4 OF CSM 2112; THENCE N 01°29'26" W, ALONG THE EAST LINE OF PARCEL 4 OF CSM 2112, 136.76 FEET TO THE MOST SOUTHERLY POINT OF PARCEL 3 OF CSM 2112; THENCE N 50°28'35" E, ALONG THE SOUTH LINE OF PARCEL 3 OF CSM 2112, 118.55 FEET TO THE SOUTH RIGHT-OF-WAY OF BERNARD STREET; THENCE S 39°12'29" E, ALONG THE SOUTH RIGHT-OF-WAY OF BERNARD STREET, 168.85 FEET; THENCE CONTINUING ALONG THE SOUTH RIGHT-OF-WAY OF BERNARD STREET, ALONG A CURVE TO THE LEFT HAVING AN ARC LENGTH OF 105.84 FEET, A RADIUS OF 260.00 FEET, A DELTA ANGLE OF 23°19'23", AND A CHORD BEARING S 50°06'14" E, 105.11 FEET; THENCE S 27°30'35" W, 161.42 FEET; THENCE S 17°57'35" W, 127.00 FEET; THENCE S 87°38'34" W, 154.82 FEET TO THE EAST LINE OF OUTLOT 25 OF MAP OF OUTLOTS AND SUBDIVISION OF LOTS 3RD AND 4TH WARD; THENCE S 01°33'08" E, ALONG THE EAST LINE OF OUTLOT 25, 447.70 FEET TO THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE; THENCE S 61°21'10" W, ALONG THE NORTH RIGHT-OF-WAY OF FAIRVIEW DRIVE, 11.19 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 331,476 SQUARE FEET OR 7.61 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE WATERTOWN COLLECTIVE LLC OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF CITY OF WATERTOWN IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 20____.

MATTHEW T. O'ROURKE, S-2771

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____
PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE
THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF
SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST,
CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

CORPORATE OWNER'S CERTIFICATE:

WATERTOWN COLLECTIVE LLC, A WISCONSIN LIMITED LIABILITY COMPANY (LLC), DULY ORGANIZED AND EXISTING
UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DOES HEREBY CERTIFY THAT
SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS
REPRESENTED ON THIS PLAT.

WATERTOWN COLLECTIVE LLC, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12
TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: CITY OF WATERTOWN

IN WITNESS WHEREOF, THE SAID WATERTOWN COLLECTIVE LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY:
_____, ITS AUTHORIZED MEMBER, AT _____ WISCONSIN,
THIS _____, DAY OF _____, 20_____.

IN THE PRESENCE OF:
TITLE: _____
PRINT NAME: _____
SIGNED: _____

CORPORATE OWNER'S NOTARY CERTIFICATE

STATE OF _____)
_____(COUNTY)SS
PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, _____ AS
AUTHORIZED MEMBER OF WATERTOWN COLLECTIVE LLC, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE
FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH AUTHORIZED MEMBER, AND ACKNOWLEDGED THAT HE
EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID LLC, BY ITS AUTHORITY.

NOTARY SIGNATURE _____
PRINT NAME _____
MY COMMISSION EXPIRES _____

JEFFERSON CO. CERTIFIED SURVEY MAP NO. _____
PART OF OUTLOT 25, PART OF OUTLOT 7 AND PART OF OUTLOT 2 OF THE TWELFTH WARD, FORMERLY THE
THIRD WARD IN THE CITY OF WATERTOWN BEING PART OF THE NE 1/4 AND THE SE 1/4 OF THE SE 1/4 OF
SECTION 5, AND PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4 OF SECTION 4, TOWN 8 NORTH, RANGE 15 EAST,
CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

CITY OF WATERTOWN PLAN COMMISSION

THIS LAND DIVISION IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE CITY OF WATERTOWN, THIS
_____ DAY OF _____, 20____.

PRINT OFFICIAL TITLE: _____ PRINT OFFICIAL TITLE: _____

SIGNATURE: _____ SIGNATURE: _____

PRINT NAME: _____ PRINT NAME: _____

CITY OF WATERTOWN COMMON COUNCIL

THIS LAND DIVISION IS HEREBY APPROVED BY THE CITY OF WATERTOWN COMMON COUNCIL,
THIS _____ DAY OF _____, 20____.

PRINT OFFICIAL TITLE: _____ PRINT OFFICIAL TITLE: _____

SIGNATURE: _____ SIGNATURE: _____

PRINT NAME: _____ PRINT NAME: _____

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: Initial Review and Schedule a Public Hearing - 621 Bernard Street and 668 Johnson Street Rezoning

A rezoning requested by The Watertown Fire Department to change the zoning on parcels located at 621 Bernard St and 668 Johnson St. Parcel PINs: 291-0815-0432-019 & 291-0815-0544-003

SITE DETAILS:

Acres: 2.21 & 5.55

Current Zoning: General Business and Two-Family Residential

Existing Land Use: Vacant Land

Future Land Use Designation: Central Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to change the zoning designation on approximately 7.76 acres from General Business and Two-Family Residential Zoning to Central Business Zoning for use as the City's new Fire Station. The 2019 City of Watertown Comprehensive Plan designates the Future Land Use of this area as Central Mixed Use. Central Business Zoning is the associated zoning district for Central Mixed Use per the Comprehensive Plan. Public Services and Utilities is a principle land use permitted by right in the Central Business Zoning District. A Certified Survey Map related to the rezoning is also pending.

STAFF EVALUATION:

Land Use and Zoning:

Nearby Future Land Use designations include Central Mixed Use for all adjacent areas. Planned Neighborhood and Institutional Future Land Use Designations exist further to the west and south.

Nearby Zoning includes General Business District Zoning directly adjacent to the east and north, Multi-Family Zoning to the north and west, and Planned Office Zoning across the street to the south. Single-Family Residential Zoning also exists to the west.

Zoning Code

The zoning code requires the Plan Commission to conduct an initial review of the rezoning and schedule a public hearing before the Common Council.

Per Section § 550-141E:

E. Initial review by the Plan Commission and scheduling of Common Council public hearing. The Common Council shall not make an amendment to the Official Zoning Map without allowing for a recommendation from the Plan Commission per the provisions of this subsection.

- (1) The Plan Commission shall schedule a reasonable time and place for a public meeting to hear the application within 45 days of the acceptance and determination of the complete application as determined by the Zoning Administrator. The applicant may appear in person, by agent and/or by attorney.
- (2) Within 60 days after the public meeting (or within an extension of said period requested in writing by the applicant and granted by the Plan Commission), the Plan Commission shall schedule a public hearing before the Common Council.

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

(3) If the Plan Commission recommends approval of an application, it shall state in the minutes or in a subsequent written decision its conclusion and any finding of facts supporting its conclusion as to the following: that the potential benefits of the proposed amendment outweigh any and all potential adverse impacts of the proposed amendment, as stated in Subsection D(3)(a) through (c) above, after taking into consideration the proposal by the applicant

Section 3, Item G.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Set public hearing date for August 1, 2023
2. Set public hearing to a later date

ATTACHMENTS:

- Application materials

Figure 7.7 Future Land Use and Existing Zoning Districts Translation

Section 3, Item G.

Future Land Use Category	Associated Zoning District
Agriculture	Outside of the City Limits
Single-Family-Exurban	Countryside Residential-10, Exurban Residential-1, Outside of the City Limits
Single-Family-Urban	Single-Family Residential-4
Two-Family	Two-Family Residential-6
Multi-Family	Multi-Family Residential-8, Multi-Family Residential-10, and Senior Residential
Planned Neighborhood	All Residential Districts, Neighborhood Office, and Neighborhood Businesses
Neighborhood Mixed-Use	Neighborhood Office, Neighborhood Business, and all Residential Districts
Planned Mixed-Use	All Office, Commercial, Institutional, and Multi-Family Residential Districts, plus the Planned Industrial and Planned Development Districts
Riverside Mixed-Use	All Office, Commercial, Institutional, and Residential Districts, plus the Planned Development District
Central Mixed-Use	Central Business
Mixed Industrial	Planned Industrial, General Industrial, and Heavy Industrial
Institutional	All Districts
Airport	Planned Industrial
Parks and Recreation	All Districts
Environmental Corridor	All Districts

Watertown Fire Department New Facility and Site Improvements

SEH is assisting with a new fire station training tower and vehicle cold storage building to be constructed on 6.386 acres in the City of Watertown along Bernard Street to the East and near the intersection of Milford Street and Johnson Street.

The site is currently zoned Central Business (CB) but will be rezoned to Central Business District (CBD) zoning.

The lot area is roughly 6.39 acres (278,174 s.f.)

Floor Area: 31,761 s.f.

Floor area ratio: 0.1141767

Impervious surface area (pavement) 78,949 s.f.

Impervious surface ratio: 0.2838115

Building height: Fire station: 30' Remote training tower 40'

The fire station footprint is 31,761 on the first floor. The total building area will be 37,268 s.f. on 2 floors. There is a remote training tower that will be roughly 5 stories with a footprint of 1,017 s.f. and 40' in height. The cold storage building will be remote from the fire station as well and will occupy nearly 3,500 s.f.

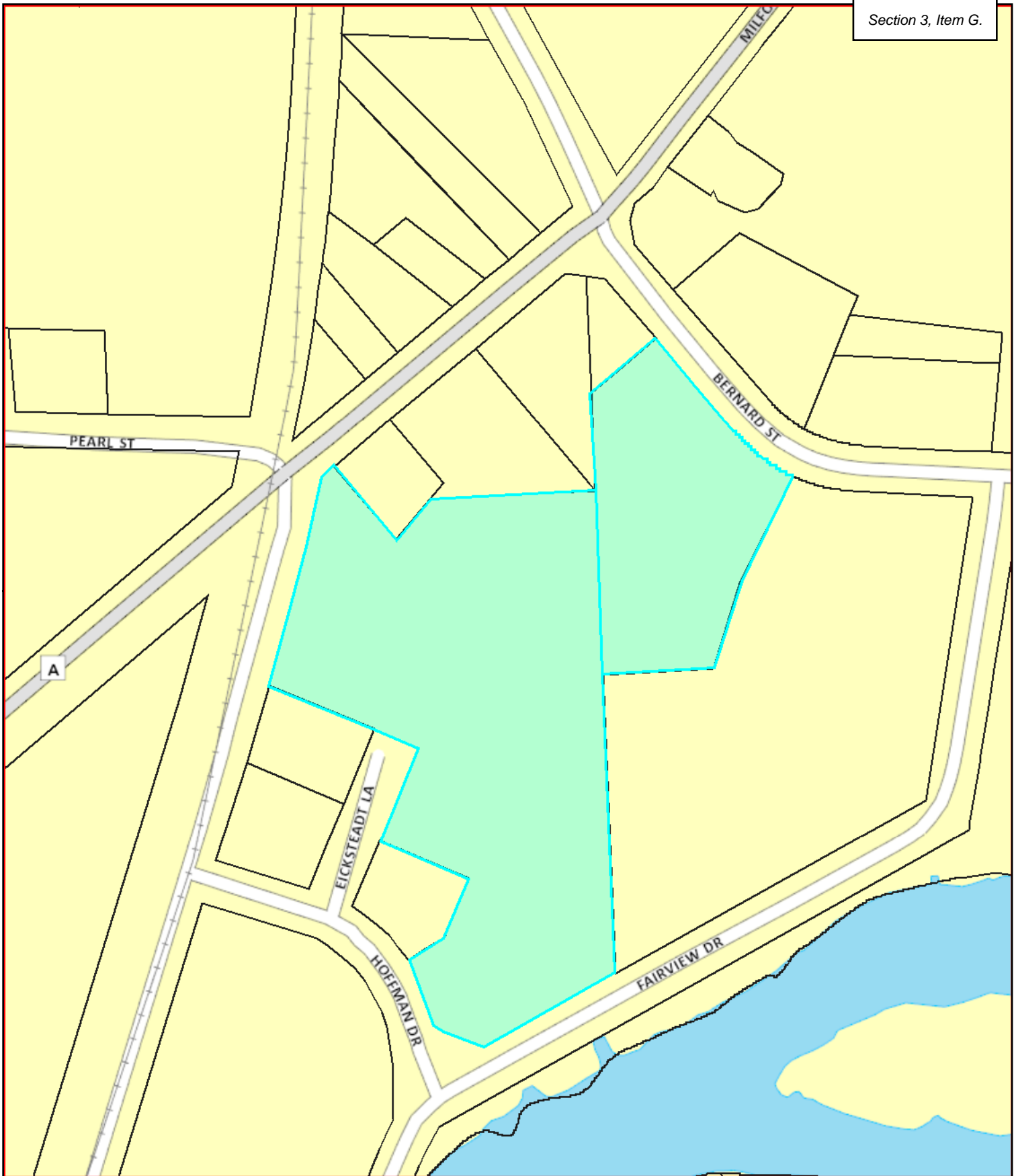
Parking will be contained on site and will accommodate 60 parking stalls. 20 stalls will be used for fire personnel parking of personal vehicles. The remaining 40 stalls will be available to the public who will have access to a public community room resource. The parking lot will be landscaped per City of Watertown zoning requirements.

Pavement at the apparatus bay doors will be concrete and the ramp extension (entry drive) from Bernard Street as well as the parking lot will be heavy duty asphalt.

Stormwater runoff from impervious surfaces will be treated on site for total suspended solids and peak flow reduction. The stormwater infrastructure will be a surface feature located on East end of the site between the fire station and Bernard Street.

The building will be a 2-story facility built of masonry with a combination of red brick and earth tone decorative concrete masonry units. Windows will be thermally broken aluminum frames with low-E glass and each of the office and second floor windows will be outfitted with a solar shade device to reduce the direct solar gain in summer months. The roof will be a fully adhered EPDM rubber membrane roof. The Apparatus Bay will be naturally illuminated with an overhead skylight and the 4-fold and sectional overhead doors will contain glazing to maximize natural daylight.

Sustainable features under consideration include Geothermal heating and cooling, a solar photovoltaic array for on-site electric generation, LED lighting, locally sourced building materials and high recycled content materials.



Parcels



Override 1

Parcels



City of Watertown Geographic Information System

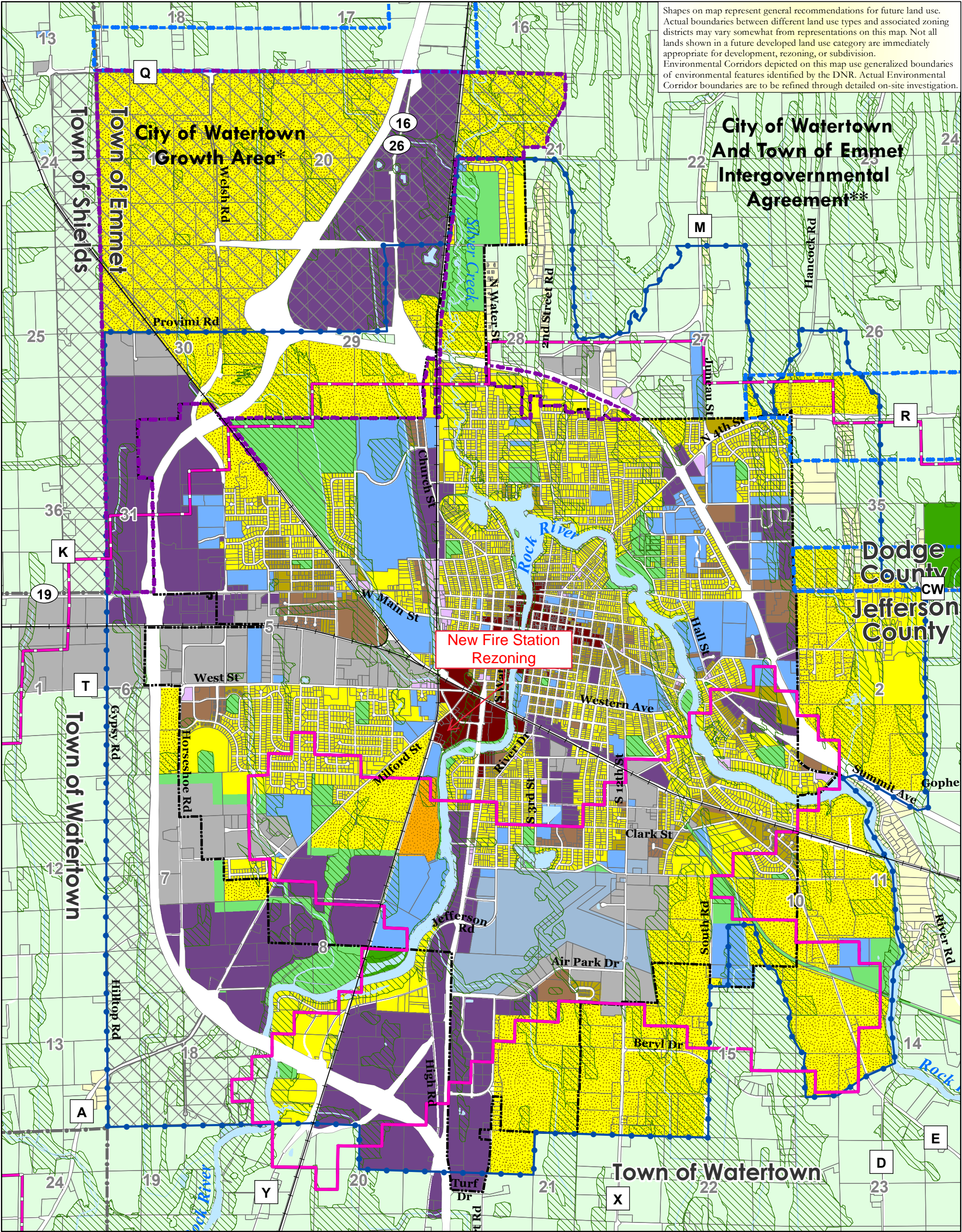
Scale: 1 inch = 180 feet

SCALE BAR = 1"

Printed on: June 15, 2023

Author: Private Use

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

New Fire Station
Rezoning

Dodge
County
Jefferson
County

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



0 0.25 0.5 1 Miles

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: 1403 & 1405 Richards Ave – Preliminary Certified Survey Map (CSM)

A request by Donald Frentze to create a Certified Survey Map (CSM) within the City of Watertown.
Parcel PINs: 291-0815-1011-026 & 291-0815-1011-027

SITE DETAILS:

Proposed Lot Size(s): Lot 1 – 0.437 acres, Lot 2 – 0.371 acres
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a two lot CSM from two existing platted lots. The CSM will transfer two feet of land from Lot 2 (1405 Richards Ave) to Lot 1 (1403 Richards Ave) to create the proper side yard width for a new home constructed on Lot 1. Lot 1 will be 0.437 acres and Lot 2 will be 0.371 acres. Both lots will have frontage on Richards Ave. The preliminary CSM lots are located within the Airport Approach Protection Zone at an elevation of 955 feet above mean sea level for all buildings. A note to this effect has been added to the CSM.

PLAN COMMISSION OPTIONS:

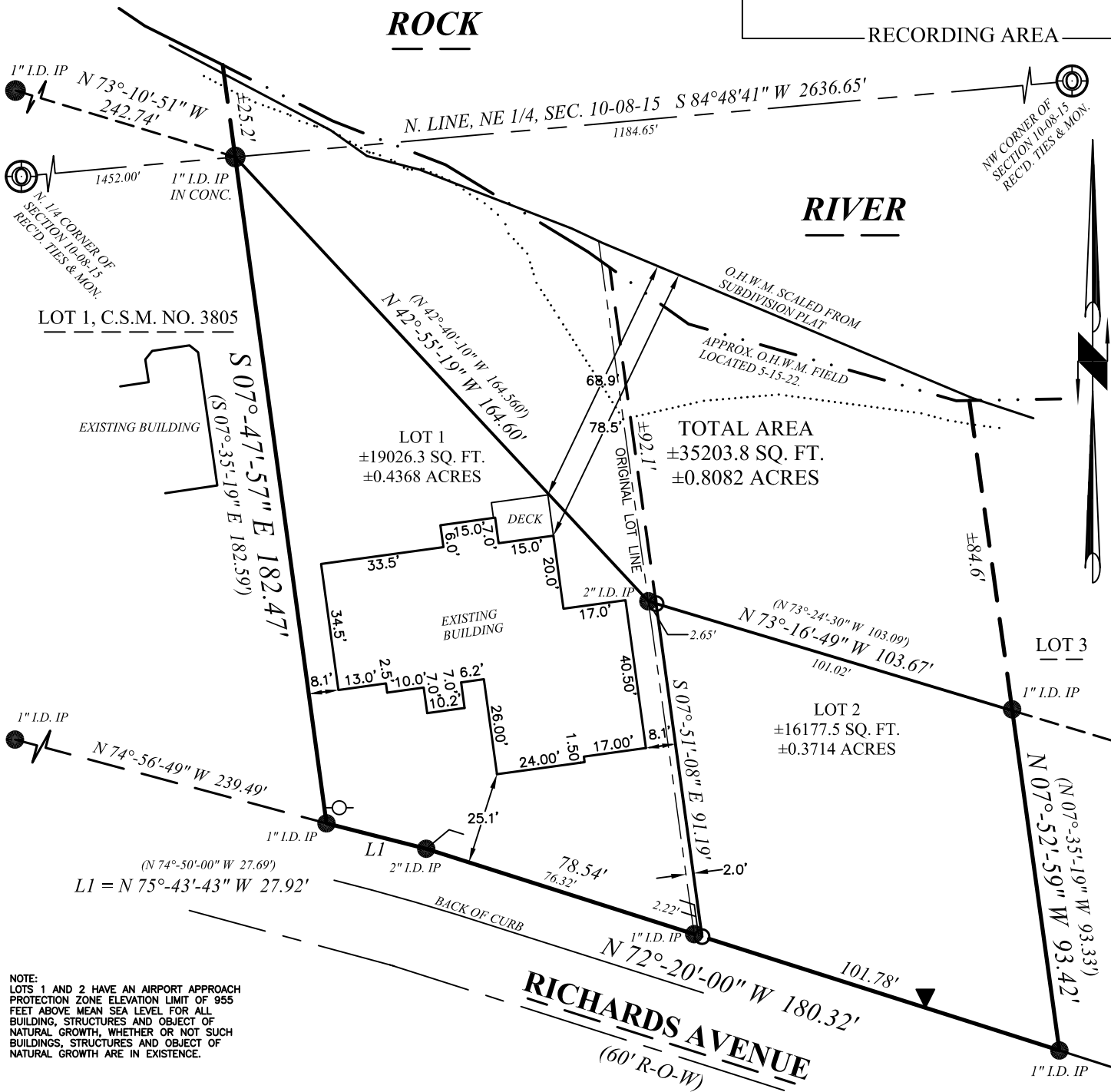
The following possible options for the Plan Commission:

1. Deny the preliminary CSM.
2. Approve the preliminary CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission.

ATTACHMENTS:

- Application materials.

CERTIFIED SURVEY MAP No. _____
BEING A RE-DIVISION OF LOTS 1 AND 2 OF SHOREWOOD HEIGHTS,
BEING A SUBDIVISION OF PART OF GOVERNMENT LOT 1 OF
SECTION 10, TOWN 8 NORTH, RANGE 15 EAST, CITY OF
WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

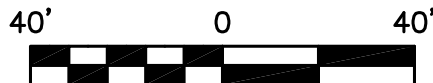


NOTE:
LOTS 1 AND 2 HAVE AN AIRPORT APPROACH
PROTECTION ZONE ELEVATION LIMIT OF 955
FEET ABOVE MEAN SEA LEVEL FOR ALL
BUILDING, STRUCTURES AND OBJECT OF
NATURAL GROWTH, WHETHER OR NOT SUCH
BUILDINGS, STRUCTURES AND OBJECT OF
NATURAL GROWTH ARE IN EXISTENCE.

LEGEND: These standard symbols may
be found in the drawing.

- P.L.S.S. Monument (Found) w/desc.
- 18" X 3/4" Dia. Rebar (Set)
- Boundary Monument (Found) w/desc.
- Utility Pedestals (Implies Easement)
- Proposed Access Point
- Recorded Easement Boundary
- 100 Yr. Flood Line (824.65)
Per F.E.M.A. FIRM 55055C0087F

BEARINGS ARE REFERENCED TO THE NORTH LINE OF
THE NORTHEAST QUARTER OF SECTION 10-08-15
WHICH IS ASSUMED TO BEAR S 84°-48'-41" W.



HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Donald W. Frentzel 1401 Richards Ave. Watertown, WI 53094

SHEET 1 OF

CERTIFIED SURVEY MAP No. _____

BEING A RE-DIVISION OF LOTS 1 AND 2 OF SHOREWOOD HEIGHTS, BEING
A SUBDIVISION OF PART OF GOVERNMENT LOT 1 OF SECTION 10,
TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN,
JEFFERSON COUNTY, WISCONSIN.

SURVEYOR’S CERTIFICATE AND LEGAL DESCRIPTION:

I, SCOTT D. THOMAS, WISCONSIN LICENSED, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH CHAPTER 236.34 OF WISCONSIN STATUTES, THE SUBDIVISION REGULATIONS OF THE CITY OF WATERTOWN AND UNDER THE DIRECTION OF DONALD W. FRENTZEL, OWNER, I HAVE SURVEYED, RE-DIVIDED AND MAPPED ALL THAT PART OF "SHOREWOOD HEIGHTS", BEING A RECORDED SUBDIVISION OF GOVERNMENT LOT 1 OF SECTION 10, TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 1 AND 2, AS SHOWN ON THE PLAT OF SHOREWOOD HEIGHTS SUBDIVISION DATED MARCH 18, 1994, AND RECORDED MARCH 18, 1994 AS DOCUMENT NO. 921252. SAID LANDS BEING A PART OF GOVERNMENT LOT 1 OF SECTION 10, TOWNSHIP 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SUBJECT TO ANY EASEMENTS AND AGREEMENTS, RECORDED AND UN-RECORDED, INCLUDING THOSE EASEMENTS SHOWN ON THE PLAT OF SAID "SHOREWOOD HEIGHTS".

COMBINED PARCEL CONTAINING 35,203.8 SQUARE FEET, OR 0.8082 ACRE, OF LAND, MORE OR LESS.

I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE RE-DIVISION OF IT.

SCOTT D. THOMAS – WI REG. NO. 2354
DATED THIS _____ DAY OF _____, 2022.

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Donald W. Frentzel 1401 Richards Ave. Watertown, WI 53094

SHEET 2 OF

CERTIFIED SURVEY MAP No. _____

BEING A RE-DIVISION OF LOTS 1 AND 2 OF SHOREWOOD HEIGHTS, BEING
A SUBDIVISION OF PART OF GOVERNMENT LOT 1 OF SECTION 10,
TOWN 8 NORTH, RANGE 15 EAST, CITY OF WATERTOWN,
JEFFERSON COUNTY, WISCONSIN.

INDIVIDUAL OWNER’S CERTIFICATE:

AS OWNER I HEREBY CERTIFY THAT I HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, RE-DIVIDED AND MAPPED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: CITY OF WATERTOWN.

DONALD W. FRENTZEL – OWNER

CONSENT OF MORTGAGEE:

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP, DO HEREBY CONSENT TO THE SURVEYING, RE-DIVIDING AND MAPPING OF THE LAND DESCRIBED ON THIS PLAT, AND DO HEREBY CONSENT TO THE ABOVE CERTIFICATE OF RACHEL AND JASON WUESTENBERG – OWNERS.

OFFICER – TITLE

STATE OF WISCONSIN) ss
JEFFERSON COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, _____, EXECUTIVE VICE PRESIDENT OF THE ABOVE NAMED CORPORATION, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

– NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PLAN COMMISSION APPROVAL:

APPROVED BY THE CITY OF WATERTOWN PLAN COMMISSION THIS _____ DAY OF _____, 2023.

EMILY MCFARLAND – CHAIRPERSON

MEGAN DUNNEISEN – CLERK

CITY OF WATERTOWN APPROVAL:

APPROVED BY THE CITY OF WATERTOWN PLAN COMMISSION.

DATE: _____

EMILY MCFARLAND – CHAIRPERSON/MAYOR

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305
This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Donald W. Frentzel 1401 Richards Ave. Watertown, WI 53094

SHEET 3 OF

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: Hunter Oaks Villas - Certified Survey Map (CSM)

A request by John Donovan of Bielinski Development LLC to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PINs: 291-0815-0642-005, 291-0815-0642-004, 291-0815-0642-003

SITE DETAILS:

Parent Parcel Acres: 8.67
Proposed Lot Size(s): Lot 1 – 6.55 acres, Lot 2 – 2.12 acres
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

This CSM was previously approved by the Plan Commission but was never recorded with Register of Deeds. The applicant is requesting review and approval for the proposed two lot CSM. Lot 1, located in the western portion of the property, will be 6.55 acres with frontage on East Horseshoe Road, West Street, and Steeplechase Drive. Lot 2, located in the eastern portion of the property, will be 2.12 acres and have frontage on Hunter Oaks Boulevard, West Street, and Steeplechase Drive. The CSM lots will not be located within the Airport Height Limitation Zone.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the preliminary CSM.
2. Approve the preliminary CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission.

ATTACHMENTS:

- Application materials.

CERTIFIED SURVEY MAP NO.

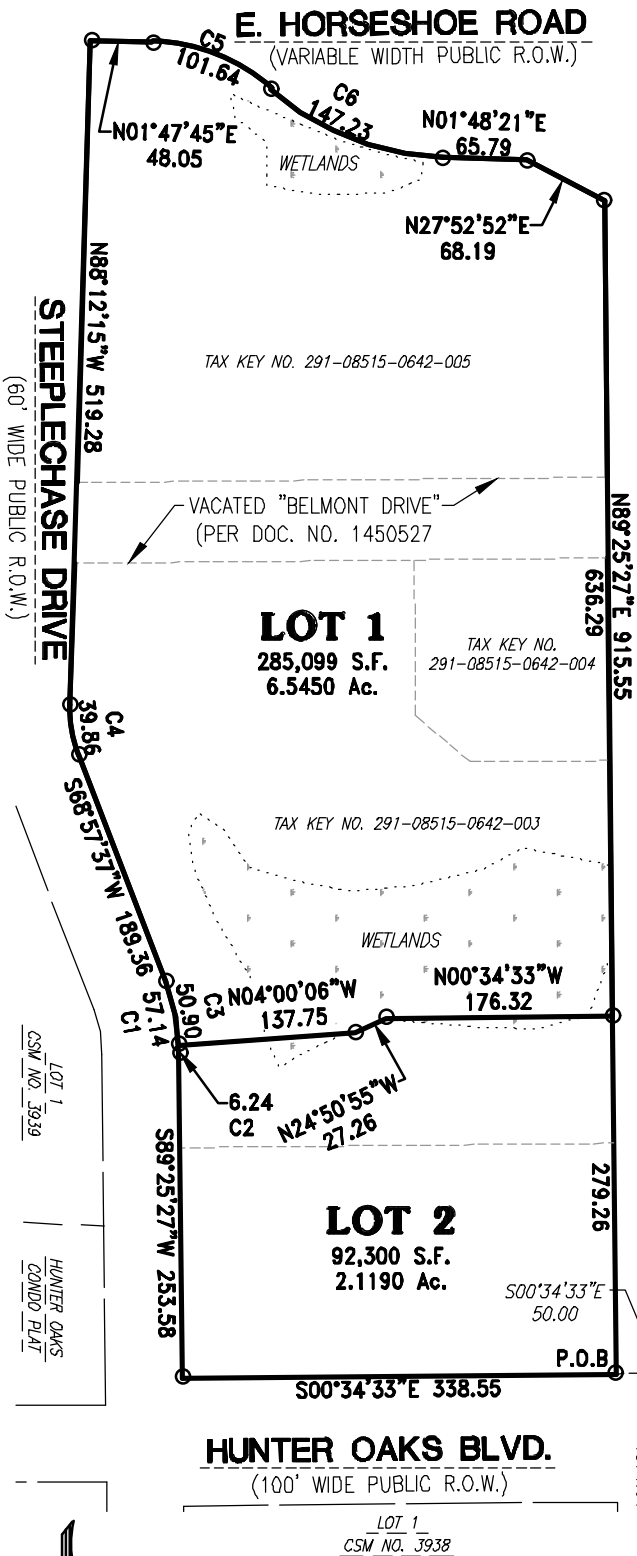
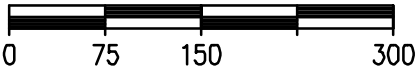
A REDIVISION OF CERTIFIED SURVEY MAPS 3936 AND 3937 AND VACATED "BELMONT DRIVE", ALL IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6, TOWN 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

PIPING LEGEND:

○ - INDICATES "SET" 0.750" O.D. X 18" LONG REINFORCING BAR WEIGHING 1.502 LBS. PER LINEAL FOOT.

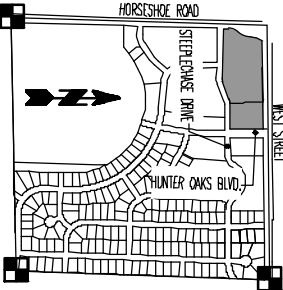
W. 1/4 CORNER,
SEC. 6-8-15
JEFFERSON CTY.
COORD. SYSTEM
N-626,025.552
E-864,682.624

SCALE: 1"=150'



OWNER:
BIELINSKI INVESTMENTS, LLC
1830 MEADOW LANE, STE. A
PEWAUKEE, WI 53072

PREPARED BY:
TRIO ENGINEERING, LLC
4100 N. CALHOUN RD.
SUITE 300
BROOKFIELD, WI 53005
PHONE: 262-790-1480

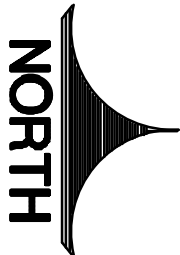


LOCALITY MAP:
S.E. 1/4, SEC. 6,
T. 8 N., R. 15 E.
SCALE: 1"=2000'

CURVE TABLE:

NO.	RADIUS	CENTRAL ANGLE	ARC	CHORD	CHORD BEARING	TANGENT IN	TANGENT OUT
C1	160.00	20°27'50"	57.14	56.84	S79°11'32"W	S89°25'27"W	S68°57'37"W
C2	160.00	2°14'11"	6.24	6.24	S88°18'21.5"W	S89°25'27"W	S87°11'16"W
C3	160.00	18°13'39"	50.90	50.69	N78°04'26.5"E	N68°57'37"E	N87°11'16"E
C4	100.00	22°50'08"	39.86	39.59	N80°22'41"E	S88°12'15"E	N68°57'37"E
C5	147.00	39°36'54"	101.64	99.63	S21°36'12"W	S41°24'39"W	S01°47'45"W
C6	213.00	39°36'18"	147.23	144.32	N21°36'30"E	N41°24'39"E	N01°48'21"E

- NOTES:
- ALL BEARINGS ARE REFERENCED TO THE JEFFERSON COUNTY COORDINATE SYSTEM IN WHICH THE NORTH LINE OF THE S.E. 1/4 OF SECTION 6, TOWN 8 NORTH, RANGE 15 EAST, BEARS S89°25'27"W.
 - ALL ELECTRIC, TELEPHONE, AND COMMUNICATION DISTRIBUTION LINES AND LATERALS INCLUDING CATV CABLES, CONSTRUCTED AFTER THE RECORDING OF THIS CERTIFIED SURVEY MAP SHALL BE PLACED UNDERGROUND.
 - WETLANDS DELINEATED BY STANTEC CONSULTING INC., AUGUST, 2017.



DRAFTED THIS 5th DAY OF JUNE, 2023
THIS INSTRUMENT WAS DRAFTED BY TED R. INDERMUEHLE, S-3119

JOB NO. 16-046-966-01
SHEET 1 OF

CERTIFIED SURVEY MAP NO. _____

**A REDIVISION OF CERTIFIED SURVEY MAPS 3936 AND 3937 AND VACATED
"BELMONT DRIVE", ALL IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6, TOWN 8
NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.**

SURVEYOR'S CERTIFICATE:

STATE OF WISCONSIN)
)ss
COUNTY OF WAUKESHA)

I, Ted R. Indermuehle, Professional Land Surveyor, do hereby certify:

I have surveyed, mapped, and divided a redivision of Certified Survey Map 3936 and 3937 and vacated "Belmont Drive", all in the Northwest 1/4 of the Southeast 1/4 of Section 6, Town 8 North, Range 15 East, Jefferson County, Wisconsin, now being more particularly bounded and described as follows:

Commencing at the East 1/4 Corner of said Section 6, thence South 89°25'27" West along the North line of the South 1/2 of said Section, 1574.64 feet to a point; Thence South 00°34'33" East 50.00 feet to the West Right-of-Way line of "Hunter Oaks Boulevard" and the place of beginning of lands hereinafter described;

Thence continuing South 00°34'33" East along said West line, 338.55 feet to a point on the North line of "Steeplechase Drive"; Thence South 89°25'27" West along said North line, 253.58 feet to a point; Thence Southwesterly 57.14 feet along the arc of a curve whose center lies to the South, whose radius is 160.00 feet and whose chord bears South 79°11'32" West 56.84 feet to a point; Thence South 68°57'37" West along said North line, 189.36 feet to a point; Thence Southwesterly 39.86 feet along the arc of a curve whose center lies to the North, whose radius is 100.00 feet and whose chord bears South 80°22'41" West 39.59 feet to a point; Thence North 88°12'15" West along said North line, 519.28 feet to a point on the East Right-of-Way line of "East Horseshoe Road"; Thence North 01°47'45" East along said East line, 48.05 feet to a point; Thence Northeasterly 101.64 feet along the arc of a curve whose center lies to the East, whose radius is 147.00 feet and whose chord bears North 21°36'12" East 99.63 feet to a point; Thence Northeasterly 147.23 feet along the arc of a curve whose center lies to the Northwest, whose radius is 213.00 feet and whose chord bears North 21°36'30" East 144.32 feet to a point; Thence North 01°48'21" East along said East line, 65.79 feet to a point; Thence North 27°52'52" East along said East line, 68.19 feet to a point on the South Right-of-Way line of "West Street"; Thence North 89°25'27" East along said South line, 915.55 feet to the point of beginning of this description.

Said Parcel contains 377,399 Square Feet (or 8.6639 Acres) of land, more or less.

That I have made such survey, land division and map by the direction of **Bielinski Investments, LLC**, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Subdivision Regulations of the City of Watertown in surveying, dividing and mapping the same.

Dated this _____ day of _____, 20_____.

Ted R. Indermuehle, P.L.S.
Professional Land Surveyor, S-3119
TRIO ENGINEERING, LLC
4100 N. Calhoun Rd. Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481

CERTIFIED SURVEY MAP NO._____

**A REDIVISION OF CERTIFIED SURVEY MAPS 3936 AND 3937 AND VACATED
"BELMONT DRIVE", ALL IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6, TOWN 8
NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.**

CITY OF WATERTOWN PLAN COMMISSION APPROVAL CERTIFICATE:

Approved, that the Certified Survey Map, in the City of Watertown, **Bielinksi Investments, LLC**, owner, is hereby approved by the Plan Commission.

Approved as of this _____ day of _____, 20_____.

Date: _____
Emily McFarland, Mayor

I hereby certify that the foregoing is a true and correct copy of a resolution adopted by the Plan Commission of the City of Watertown.

Date: _____
Megan Dunneisen, City Clerk

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: Initial Review and Schedule Public Hearing – Text Amendment to Chapter 550 Zoning.

A request by Lora Martinson, agent for Culvers of Watertown, for text amendments to the City of Watertown Zoning Code - Chapter 550-131 & 550-132 Zoning.

BACKGROUND DESCRIPTION:

Amendment #1:

Current zoning code regarding Electronic Message Signs has inconsistencies with the updated sign code adopted in recent years. This text amendment changes or removes inconsistent language and adds references to the updated sign code in § 550-132 Permitted Sign Rules.

Amendment #2:

Current zoning code allows for a maximum area of 24 square feet for drive-through signs. Culver's of Watertown is requesting that the maximum square footage be increased to 40 square feet. Staff has also included additional changes to clarify and simplify signage requirements in drive-through situations. The text amendments to Table 550-132A(1) provide more flexibility to the different types of requested drive-through signage arrangements.

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment #1 - § 550-131.1A(2) & § 550-131.1A(3)(a)

§ 550-131.1 Electronic message signs.

A. Electronic message sign. A type of sign that displays a message which may be changed electronically to provide different information, and which includes computer signs, electronic reader boards, video screens, LCD signs, electronic time and temperature signs, and other signs with electronically-controlled changing or moving displays.

(1) Electronic message signs shall be permitted only with a nonresidential land use.

(2) ~~No more than one electronic message sign shall be permitted per site.~~ The number of permitted electronic message signs shall be in accordance with § 550-132 Permitted Sign Rules.

(3) Electronic message signs may be integrated into the design of the following sign types:
monument signs, wall signs, or drive-through signs.

~~(a) Drive-through signs: no more than 33% of a sign's actual area shall contain an electronic message sign.~~

~~(b)~~ (a) Electronic message signs shall count toward the site's maximum permitted signage.

Table 550-132A(1): Permanent Sign Group¹

D. Permanent Changeable Sign Category:*						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
1. Wall-Mounted Changeable Sign	Sign permit required for each new sign.	Limit of 1 permanent Wall-Mounted Changeable Sign for each tenant.	None needed. Use max area limit.	On-building. Maximum 4 inches from wall.	Ambient only	Not allowed.	8 feet maximum area per sign.	
2. Freestanding Changeable Sign		<u>Limit of 1 permanent Freestanding Changeable Sign for each tenant unless used in conjunction with a Drive-Through.</u> <u>Drive-Through use limit of 1 permanent Freestanding Changeable Sign per Drive-Through lane.</u>		Freestanding. Within 10 feet of public entrance. <u>When used in conjunction with a Drive-Through per C.U.P.</u>	<u>Standard</u>		8 feet maximum height per sign. 12 <u>15</u> square feet maximum area per sign. <u>8 feet maximum height per sign.</u>	
3. Drive-Through Sign		<u>Limit of 1 Drive-Through Sign per Drive-Through lane.</u>		Per C.U.P.	Not allowed.	24 <u>40</u> square feet maximum area per sign. 8 feet maximum height per sign.		

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Set the public hearing date for August 1st, 2023.
2. Postpone public hearing to a later date or indefinitely.



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

**Culver's of Watertown, WI
1722 S Church St.
Watertown, WI 53094**

Zoning Ordinance Text Amendment – Responses

Proposed Changes

Existing Article XII Table 550-132A(1)(D)(3) ***Drive Through Sign Requirements***

24 square feet maximum area per sign. 8 feet maximum height per sign.

Proposed Change to Article XII Table 550-132A(1)(D)(3) ***Drive Through Sign Requirements*** (shown in Blue and Bold)
40 square feet maximum area per sign. 8 feet maximum height per sign

When a city has a vision, the goal, and result often is to attract new opportunities (commercial, residential, recreational, and the like) to their community, from a commercial perspective this comes with many different branded/franchised entities across all walks of life. The change is success and new opportunity that comes to town so-to-speak. The request is driven for the needs of the community as a whole and governing entities must quantify and define many aspects of development <codes> to be successful for, and to align to, their visions and goals. However, to the overall needs of the community (private citizens and businesses alike) some areas of any ordinance can be overly specific creating incompatibility or inflexible specifications, a somewhat "one-size-fits-all" limitation. The specific amendment proposed herein allows another "flexible" solution while actually having a side benefit of limiting the number and sizing of this particular type of sign (menu board). Menu boards in general are as unique as each and every business is, this simple and minor amendment allows for one more way for the next unique business to fit in.

The proposed request provides a community need. Additionally, and specifically from a Culver's (petitioner's) point of view, hardships are reduced and specific limitations of not having a brand standard menu board are alleviated, some of these hardships/issues are:

- (a) The entire Culver's system (approximately 900 locations) is based upon one menu board and only one option is available to franchisees as described herein.
- (b) Without the brand standard menu board this location would be incompatible and not cohesive with franchising standards, point of purchase (POP) information available and marketing ties-ins such as TV and radio broadcast.
- (c) In general, items would have to be eliminated from the menu board display, the POP panels are standard throughout the entire system and custom panels are not available. A custom size menu board cabinet is not available.
- (d) Sales for any eliminated product would be significantly and negatively impacted.



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

- (e) Lower sales volumes create higher per piece purchase costs for the consumer and is harmful from a cost-of-living point of view for the general public.
- (f) Increased costs, especially those not similarly experienced by competitors, leads to less competitive selling and could ultimately compromise the integrity of the business model.
- (g) Of the items that would not be able to be displayed, salads would be one. This is also a detriment to the general health of the public, it is well known that there are many arguments on the limited availability for quality and health balanced meals for the general public, this would add to that general concern and negative pressure.
- (h) The efficient operation of the drive-thru is impacted as marketing messages and general consumer education/understanding with respect to menu board items are not being aligned, creating longer times for order placement and increasing the amount of time to utilize the drive-thru ordering system and therefore often times creating congestion and lane back-up.

As previously mentioned we have approximately a little over 900 locations and growing. We recently received full permit approval at two locations; Portage, WI (Exhibit 1) & Oregon, WI (Exhibit 2) that share the same ordinances as Watertown with no issues. It was recently mentioned that the local McDonald's met code requirements by installing (3) three menu boards at each ordering position (Exhibit 3). This option causes distraction, clutter, causes confusion for customers trying to look at (3) three different menu boards, provides deleted/incomplete product identification carries through to education of the consumer, which can translate to longer times in the drive thru due to more time spent per order due to questions and lack of clarity causing potential traffic congestion. Culver's existing menu board (Exhibit 4) "overall size" is 79" x 87" = 47.72 sq. ft. Culver's current Brand Standard menu board "overall size" 5' 2 ¾" x 8' 10 ¼" = 46.29 sq. ft. with an overall "sign area" of 38.39 sq. ft. which is less than what is currently existing. Granting the text amendment will improve consumer product education, while enhancing movement in an efficient clean *clutter free* drive thru, improving the implementation of signage.

I think when this is looked at objectively, we satisfy the standards required for a Text Amendment request and that the proposed amendment will be found to be consistent with the spirit, purpose and intent of the sign ordinances governing Watertown while offering some new advantages. The granting of our request will not adversely affect the public's health, safety, or general welfare in which this property is located. Granting of this request will improve community appearance as Culver's offers reasonable control over the character of design and advances the aesthetic goals of the City throughout the community and ensures the effectiveness in the design without creating a detriment to the public.

Springfield Sign has over 40+ years of experience and have sat on a lot of local/national review committees with the specific purpose of modification or development of codes and ordinances for unified development. This proposal is consistent with many other communities we have been involved in. I truly thank you for your insight and time to this issue, thanks as always.



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

Kind Regards,

Lora Martinson

Lora Martinson
Springfield Sign
4825 E Kearney St.
Springfield, MO 65803
417-862-2454
loram@springfieldsign.com

NOTE: ANY DEVIATION GREATER THAN TOLERANCES GIVEN IN THE TABLE MUST BE APPROVED BY SPRINGFIELD SIGN & NEON IN WRITING. SSN WILL SEEK OUT C.F.S.I. APPROVAL FOR CHANGE.

MENU BOARD FOOTING TO BE LOCATED PER G.C./ SURVEYOR OF RECORD, BALANCE OF FOOTINGS SIMILARLY LOCATED OR PER THE D1-D6 TABLE GIVEN. EITHER METHOD MUST CONFIRM TOLERANCES AND DIMENSIONS ABOVE.

LAYOUT

NOTE: SURVEYOR/ G.C. OF RECORD SHALL STAKE ALL FOOTING CENTER LOCATIONS. IF THIS CANNOT BE DONE, USE LAYOUT SEQUENCE GIVEN BELOW.

WITH EITHER METHOD, EITHER BY SURVEYOR OR LAYOUT SEQUENCE, THE DIMENSIONS WITH ABOVE STATED TOLERANCES MUST BE CONFIRMED BY SIGN INSTALLER. ANY DEVIATIONS MUST BE PRESENTED TO SPRINGFIELD SIGN & NEON IN WRITING, SPRINGFIELD SIGN & NEON WILL RESOLVE THE CONFLICT SO THAT INSTALLER CAN PROCEED.

LAYOUT SEQUENCE

VERIFY GENERAL FIELD (AS-BUILT) CONDITIONS TO MATCH PROVIDED DRAWINGS. DON'T GUESS-CALL WITH ANY QUESTIONS.

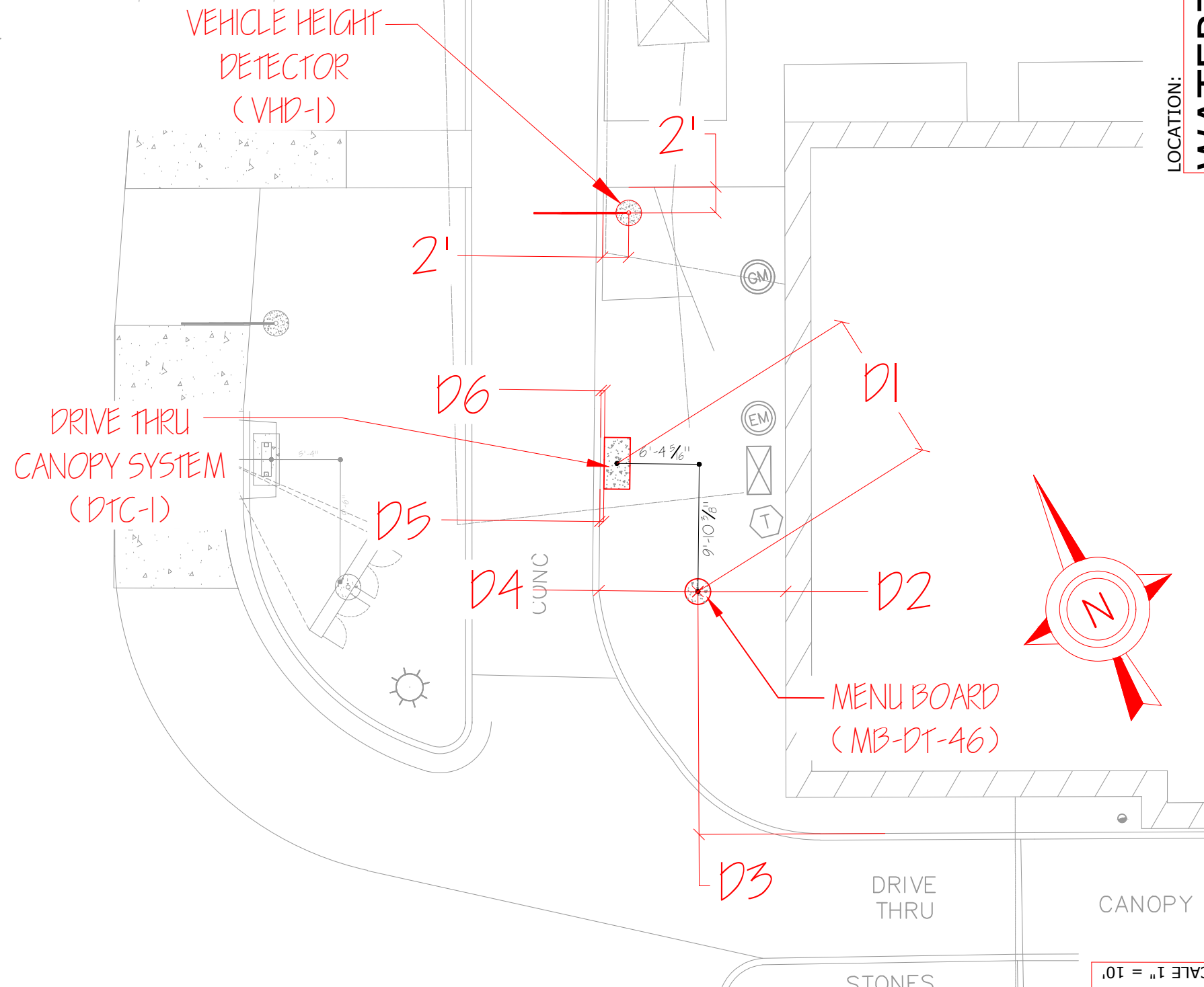
-LOCATE THE CENTER POINT OF THE PRIMARY MENU BOARD FOOTING WITH DIMENSIONS D2 & D3

-USE DIMENSIONS D1 & D5 TO POSITION THE OTHER FOOTING, (CANOPY) RELATIVE TO THE MENU BOARD FOOTING

-ROTATE THE PLACEMENT (USING D1 & D5) AROUND THE MENU BOARD FOOTING UNTIL DIMENSIONS D4 & D6 ARE CONFIRMED. ALL POINTS SHOULD BE STAKED AND READY TO LAY OUT.

* DIMENSION	MEASUREMENT	DEVIATION ALLOWED (TOLERANCE)
D1	11'-8 7/8"	+ / - 2" MAXIMUM
D2	6'-9 5/8"	+ / - 2" MAXIMUM
D3	18'-9 5/8"	+ / - 2" MAXIMUM
D4	7'-7 7/8"	+ / - 1" MAXIMUM
D5	3 1/2"	+ / - 2" MAXIMUM
D6	3 1/2"	+ / - 2" MAXIMUM

ASPHALT SURFACE



LOCATION:

WATERTOWN, WI.

Client:

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

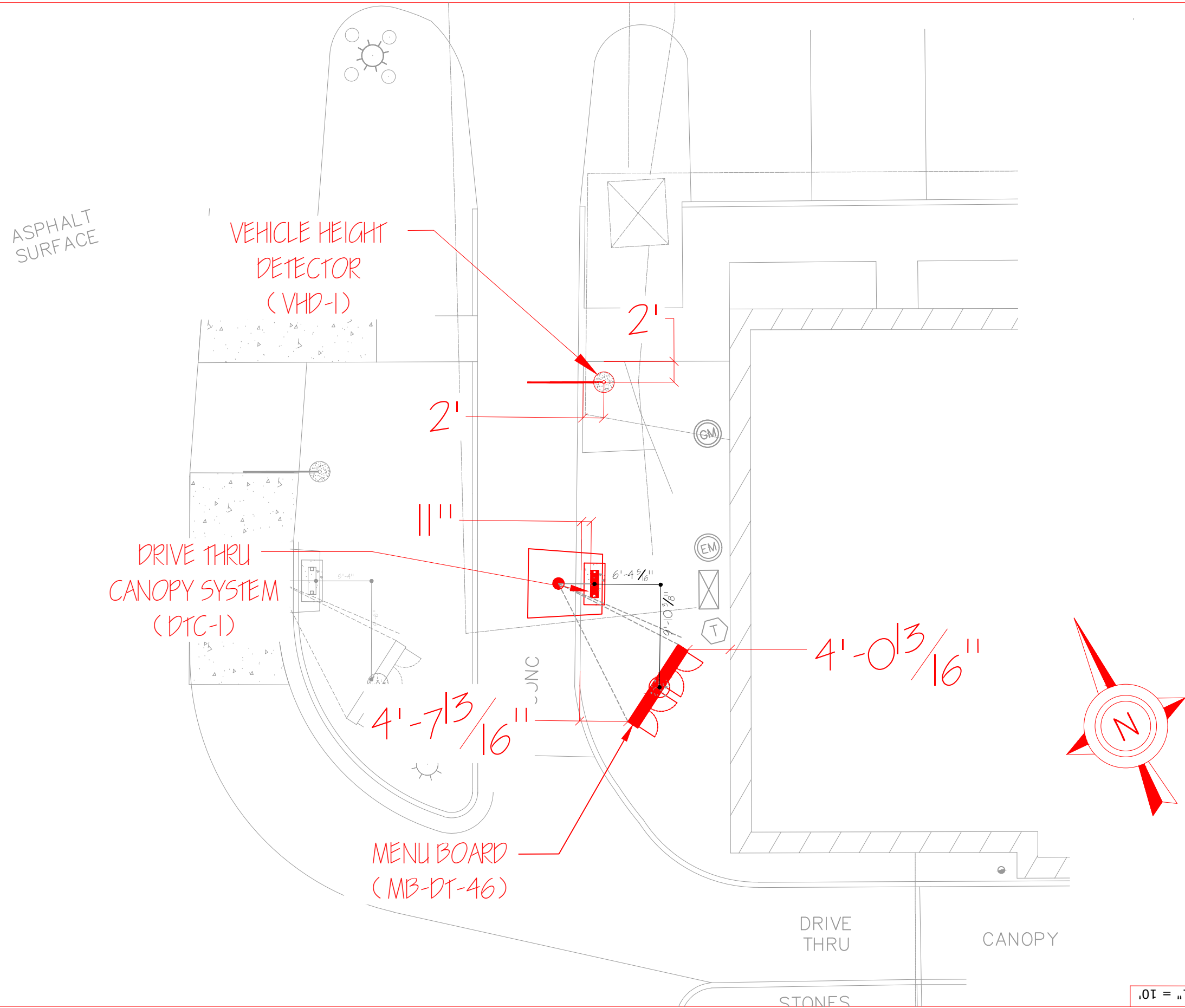
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

Sheet Number:
1 OF 6

SCALE 1" = 10'



SCALE 1" = 10'

Project No.: 44907
 Drawn By: CLH
 Reviewed By: MW
 Date: 5-23-23

Sheet Number: 2 OF 6

LOCATION:

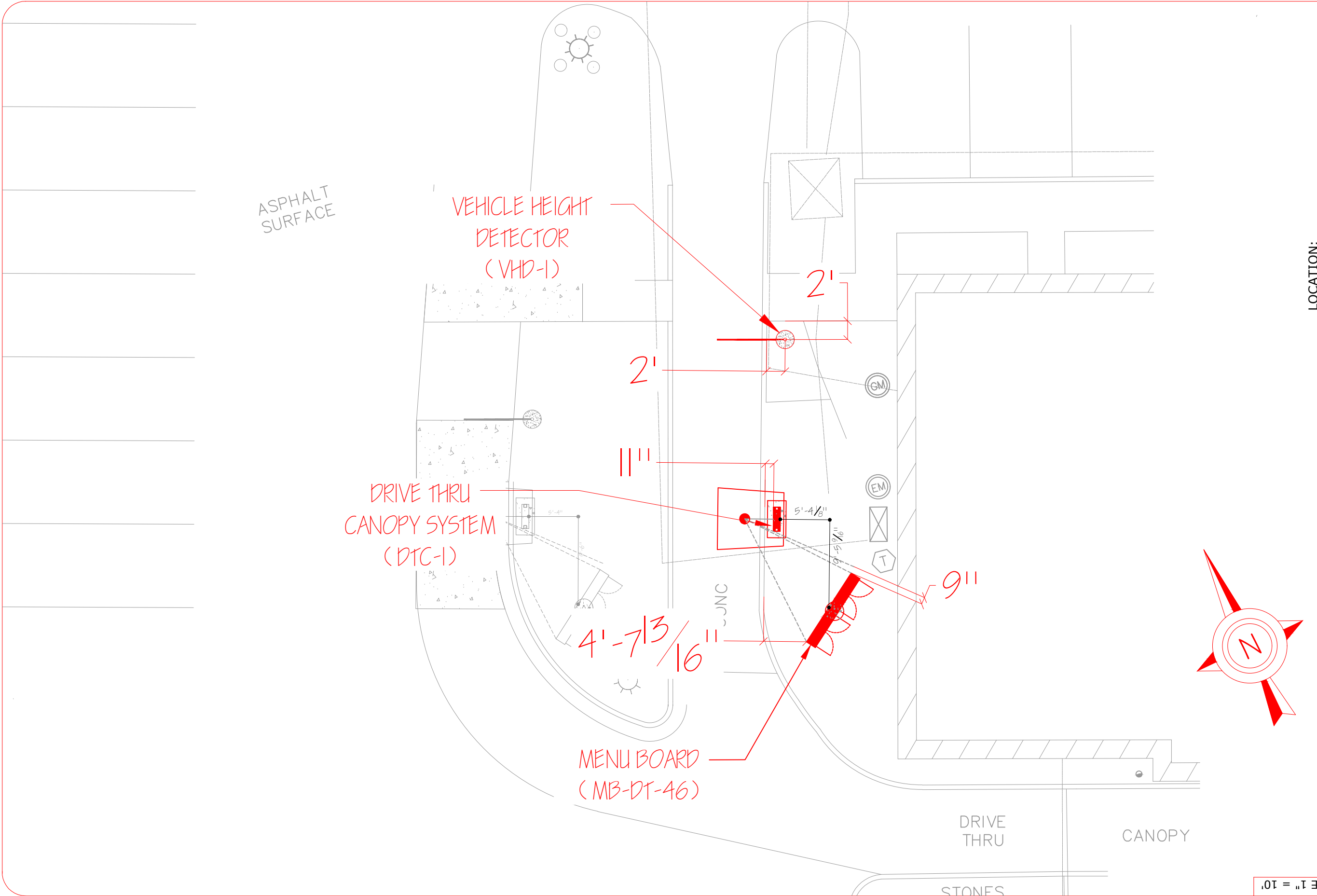
WATERTOWN, WI.

Client:

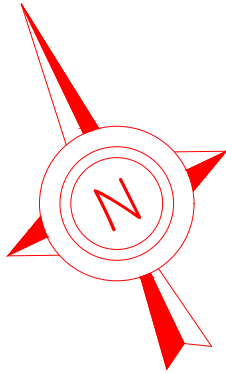
Client: Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT



SCALE 1" = 10'



LOCATION:

WATERTOWN, WI.

Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
**DRIVE THROUGH/MENU BOARD
VIEWING ANGLE**

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

Sheet Number:
3 OF 6

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

NOTE: ANY DEVIATION GREATER THAN TOLERANCES GIVEN IN THE TABLE MUST BE APPROVED BY SPRINGFIELD SIGN & NEON IN WRITING. SSN WILL SEEK OUT C.F.S.I. APPROVAL FOR CHANGE.

MENU BOARD FOOTING TO BE LOCATED PER G.C./ SURVEYOR OF RECORD, BALANCE OF FOOTINGS SIMILARLY LOCATED OR PER THE D1-D6 TABLE GIVEN. EITHER METHOD MUST CONFIRM TOLERANCES AND DIMENSIONS ABOVE.

LAYOUT

NOTE: SURVEYOR/ G.C. OF RECORD SHALL STAKE ALL FOOTING CENTER LOCATIONS. IF THIS CANNOT BE DONE, USE LAYOUT SEQUENCE GIVEN BELOW.

WITH EITHER METHOD, EITHER BY SURVEYOR OR LAYOUT SEQUENCE, THE DIMENSIONS WITH ABOVE STATED TOLERANCES MUST BE CONFIRMED BY SIGN INSTALLER. ANY DEVIATIONS MUST BE PRESENTED TO SPRINGFIELD SIGN & NEON IN WRITING, SPRINGFIELD SIGN & NEON WILL RESOLVE THE CONFLICT SO THAT INSTALLER CAN PROCEED.

LAYOUT SEQUENCE

VERIFY GENERAL FIELD (AS-BUILT) CONDITIONS TO MATCH PROVIDED DRAWINGS. DON'T GUESS-CALL WITH ANY QUESTIONS.

-LOCATE THE CENTER POINT OF THE PRIMARY MENU BOARD FOOTING WITH DIMENSIONS D2 & D3

-USE DIMENSIONS D1 & D5 TO POSITION THE OTHER FOOTING, (CANOPY) RELATIVE TO THE MENU BOARD FOOTING

-ROTATE THE PLACEMENT (USING D1 & D5) AROUND THE MENU BOARD FOOTING UNTIL DIMENSIONS D4 & D6 ARE CONFIRMED. ALL POINTS SHOULD BE STAKED AND READY TO LAY OUT.

* DIMENSION	MEASUREMENT	DEVIATION ALLOWED (TOLERANCE)
D1	11'-8 7/8"	+ / - 2" MAXIMUM
D2	9'-1 1/6"	+ / - 2" MAXIMUM
D3	12'-4 15/16"	+ / - 2" MAXIMUM
D4	5'-10 11/16"	+ / - 1" MAXIMUM
D5	3 1/2"	+ / - 2" MAXIMUM
D6	3 1/2"	+ / - 2" MAXIMUM

ASPHALT SURFACE

VEHICLE HEIGHT DETECTOR (VHD-1)

DRIVE THRU CANOPY SYSTEM (DTC-1)

D5

D4

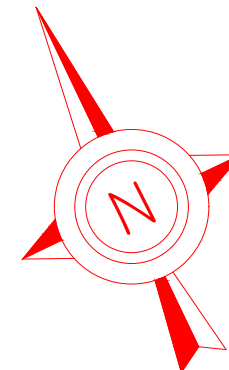
D4

D1

D2

D3

MENU BOARD (MB-DT-46)



LOCATION:

WATERTOWN, WI.

Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

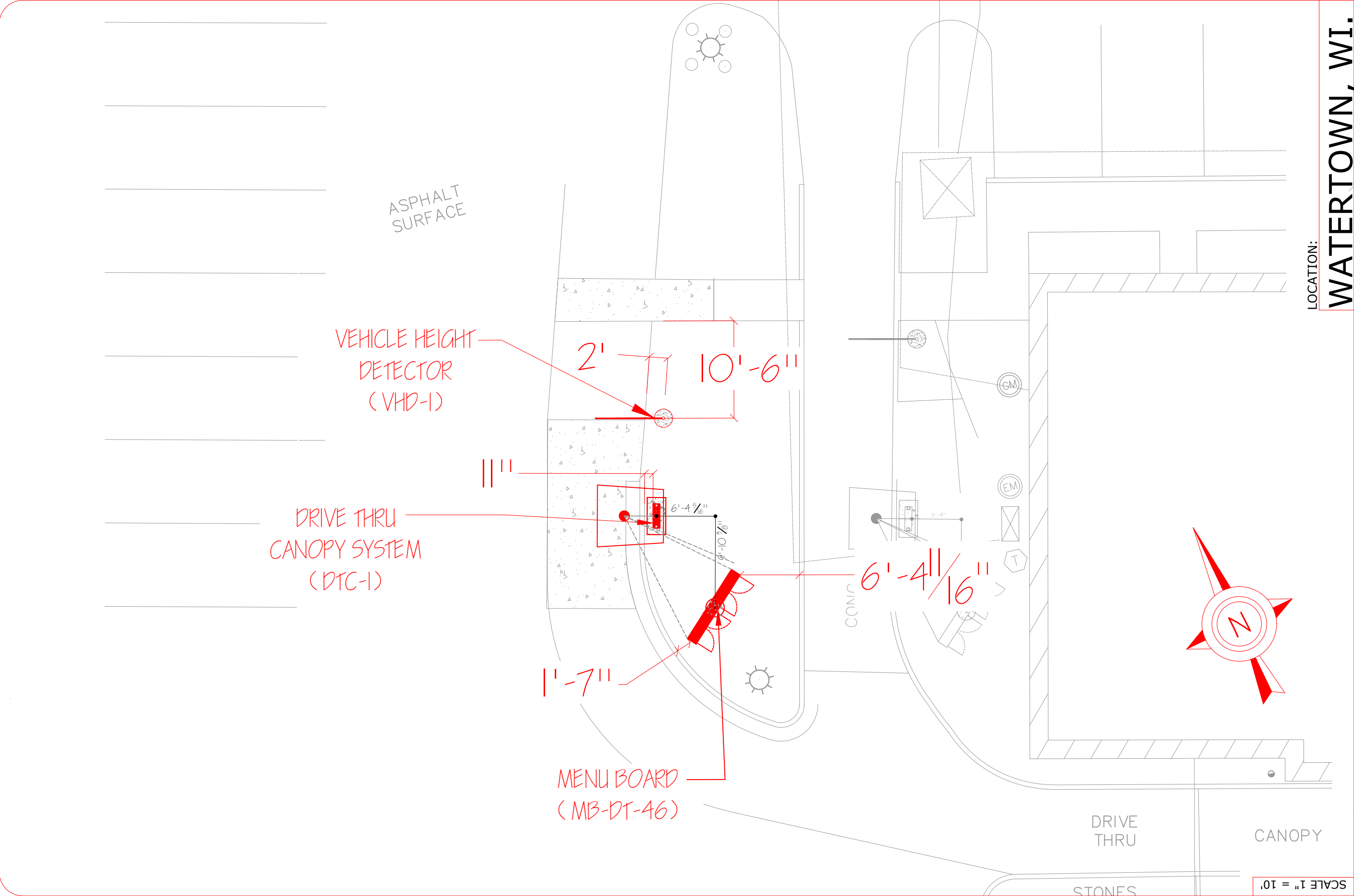
CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

Sheet Number:
4 OF 6

SCALE 1" = 10'



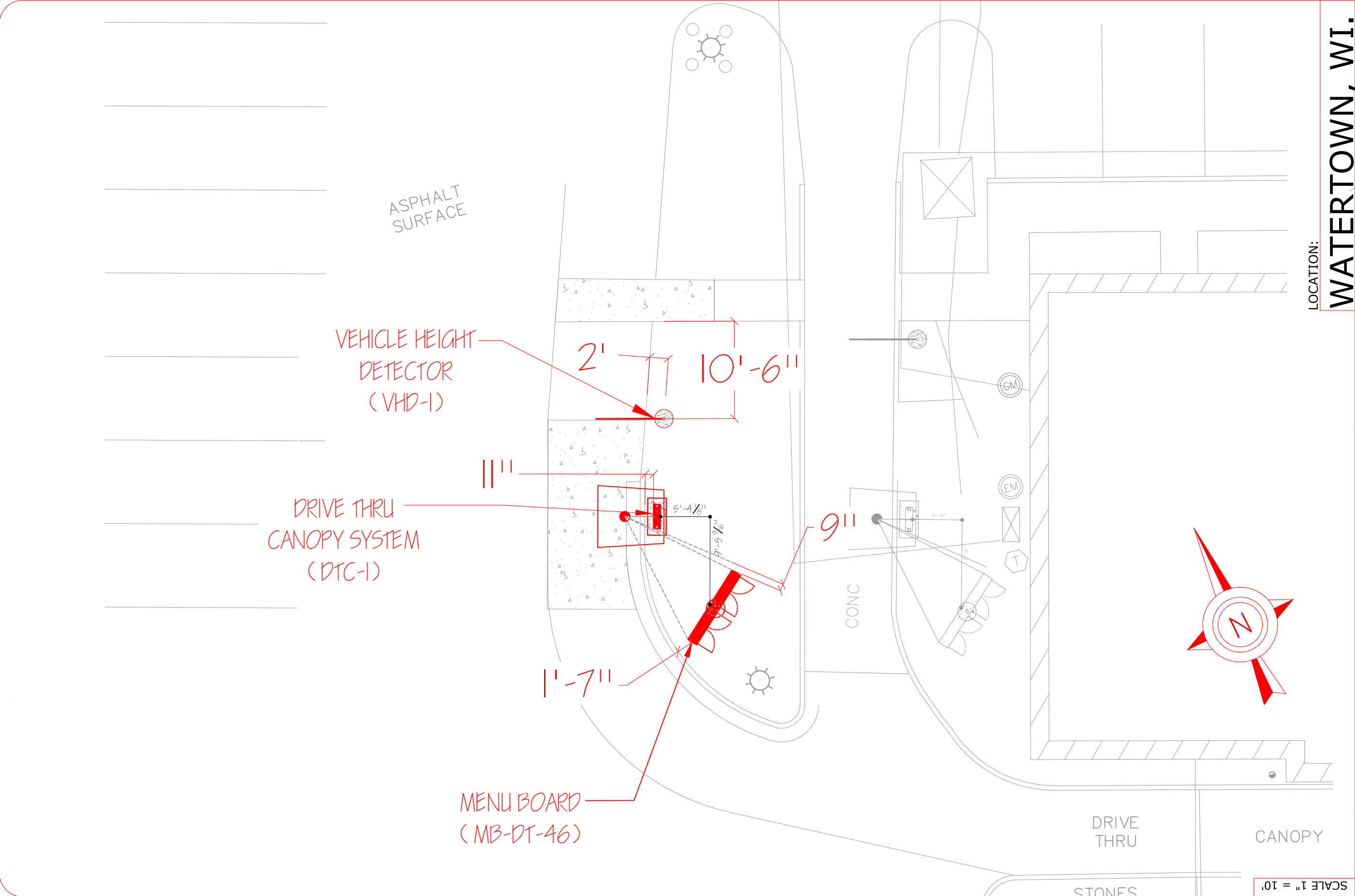
LOCATION: **WATERTOWN, WI.**

Client: **SPRINGFIELD SIGN**
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23
Sheet Number: **5 OF 6**



LOCATION:
WATERTOWN, WI.

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
VIEWING ANGLE

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23
Sheet Number:
6 OF 6

MB-DT-46 EXTERIOR MENU BOARD

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)

Culver's

FRONT



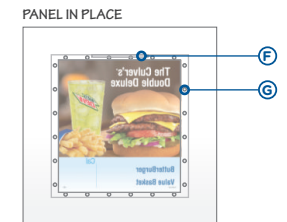
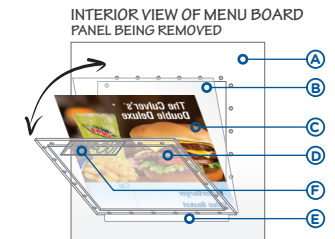
REAR



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

POPP-Out Point Of Purchase Panel System

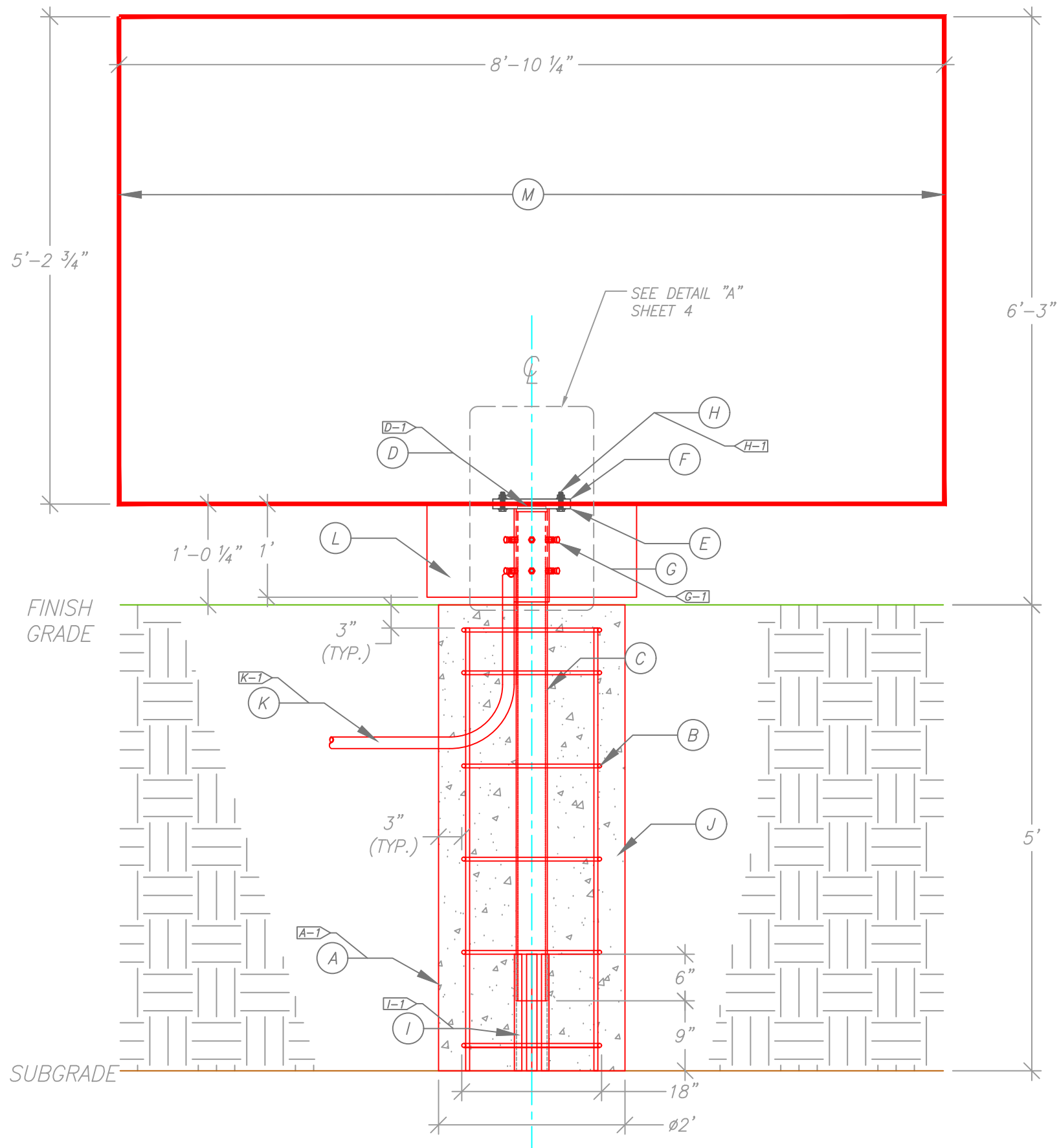


- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POPP-Out PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POPP-Out TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-Out PANEL & BACK OF MENU BOARD)

SALES PERSON:	DESIGNED BY:	AO:

DATE CREATED / REVISION HISTORY	

FILE PATH: M:\Art Assets\Culver's\Permitting



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓖ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓢ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:

CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

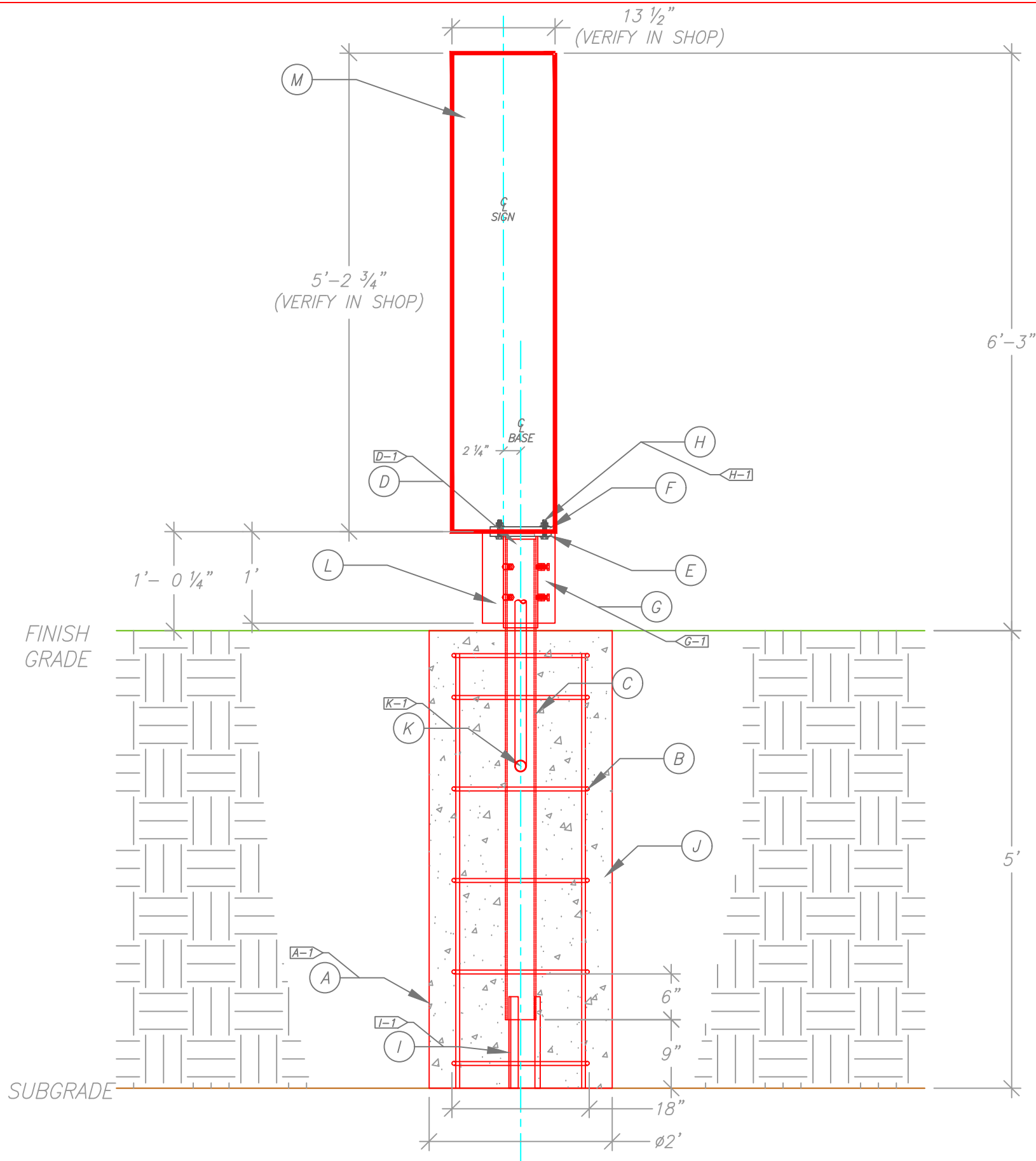
Client:

Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Project Number: CULVERS
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21
Sheet Number:

1 OF 5



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

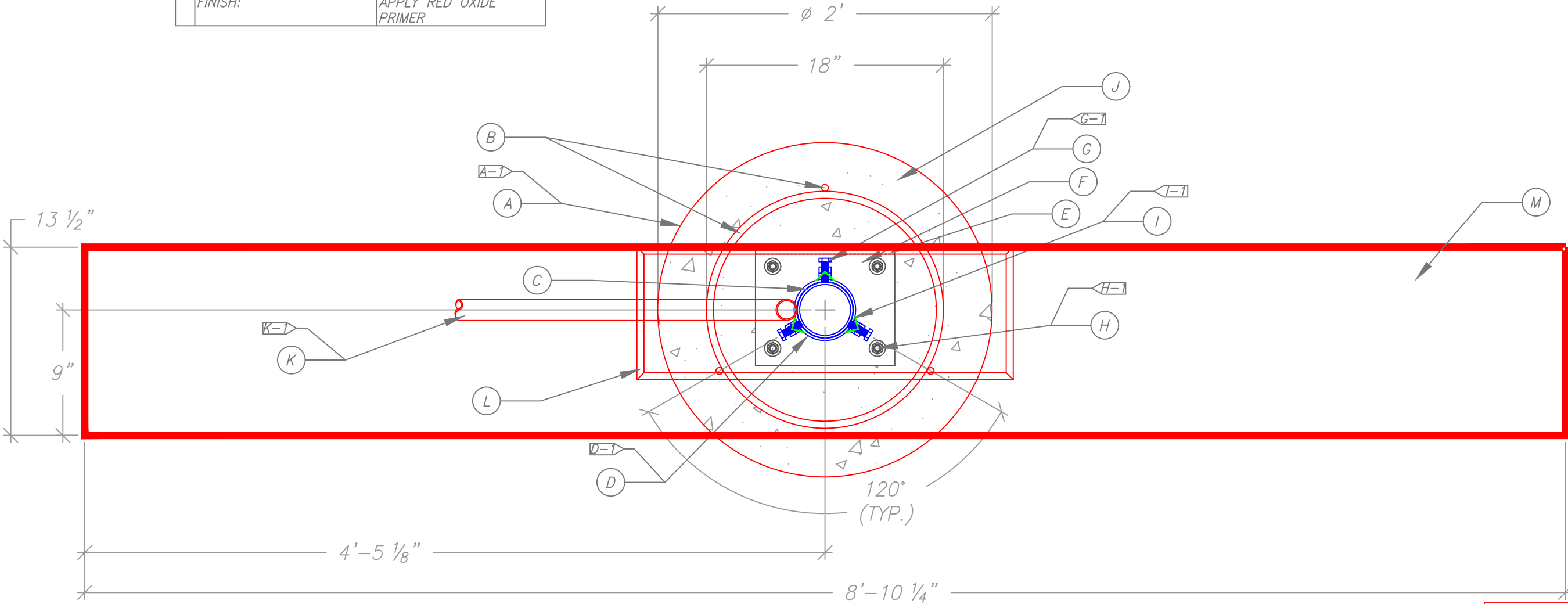
CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21
Sheet Number:
2 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
(A)	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
(B)	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
(C)	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER

(D)	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
(E)	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
(F)	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
(G)	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES

(H)	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
(I)	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
(J)	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
(K)	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
(L)	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
(M)	MAIN MENU BOARD	
	PART #:	MB-DT-46



SCALE 1 1/2" = 1'

LOCATION:
CULVER'S

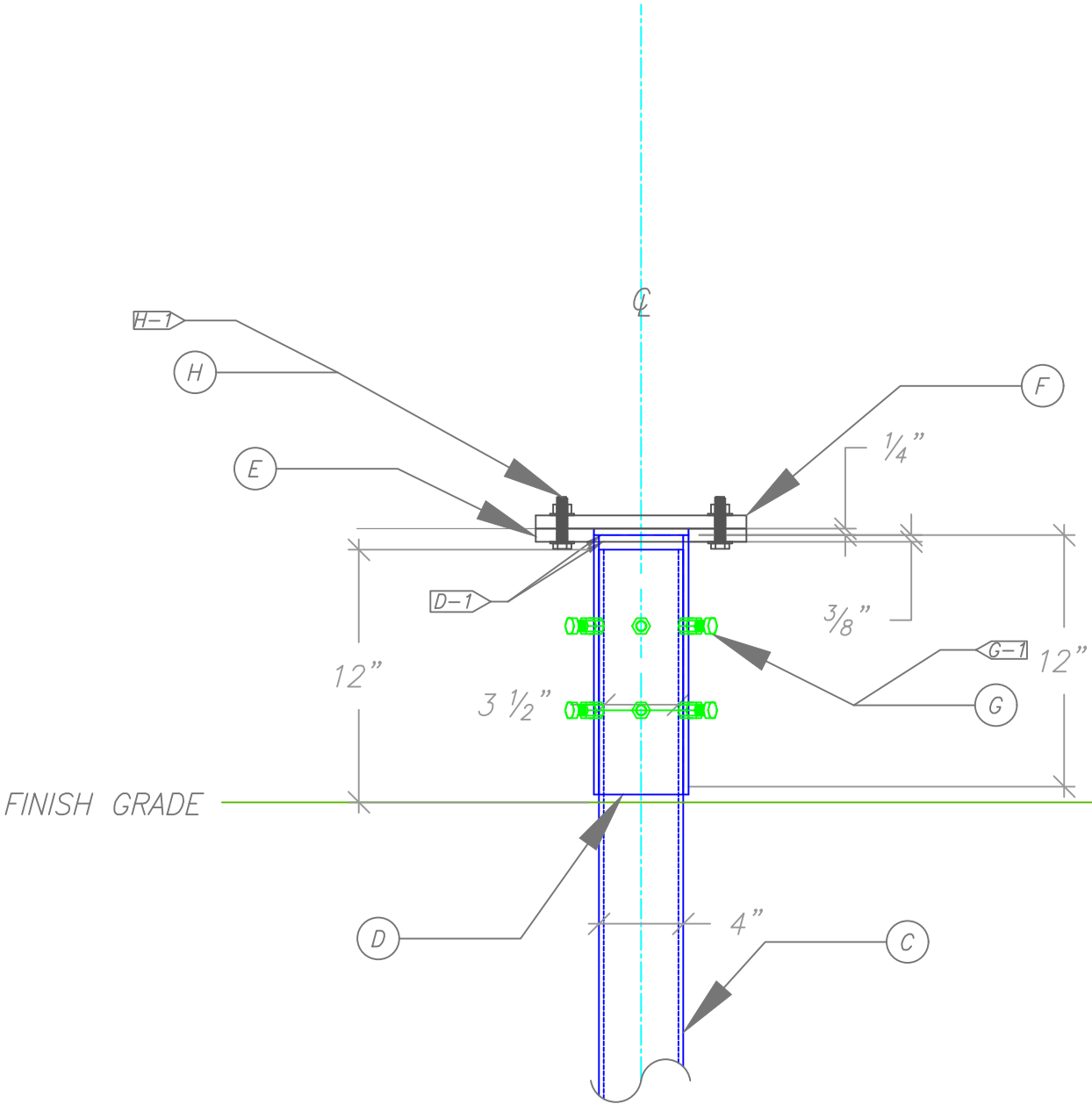
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21

Sheet Number:
3 OF 5



DRIVE-THROUGH/MAIN MENU BOARD	
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES

SCALE 1 1/2" = 1'

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21

Sheet Number:
4 OF 5

EXHIBIT 1

FOR INSPECTIONS CALL (608) 697-1206		GENERAL BUILDING PERMIT APPLICATION GENERAL ENGINEERING COMPANY P.O. BOX 340 PORTAGE, WI 53901 OFFICE: (608) 745-4070				PERMIT # Section 3, Item J.	
Parcel number : 3092.05		City of Portage, Columbia County, WI				Mun. Number 11-271	
PROJECT DESCRIPTION (Submit Building Plans & Site Plan) SIGN					Does this project require any additional approvals or permits? No		
Building Address 2733 NEW PINERY			Responsible Party Email		Finished Project Value \$5,735		
Zoning District(s):	Zoning Permit No:	Corner Lot Yes No	Bldg. Height	Setbacks:	Front:	Rear:	Left: Right:
Owner's Name Address S&L PROPERTIES		2733 NEW PINERY , PORTAGE , WI,			Phone & email		
Construction contractor WI Lic. No & Exp. Date Address TWO RIVER SIGNS		204	1316 WAUONA TRAIL, PORTAGE, WI, 53901		Phone & email (608) 745-4242		
Dwelling constr. qualifier WI Lic. No & Exp. Date Address					Phone & email		
HVAC contractor WI Lic. No & Exp. Date Address					Phone & email		
Electrical contractor WI Lic. No & Exp. Date Address					Phone & email		
Master electrician WI Lic. No & Exp. Date Address					Phone & email		
Plumbing contractor WI Lic. No & Exp. Date Address					Phone & email		
RESIDENTIAL Single Family/Duplex	Addition: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Erosion Control <input type="checkbox"/> Construction						
	Detached Accessory Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction						
	Remodel: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction						
	Other: <input type="checkbox"/> Fence <input type="checkbox"/> Plumbing <input type="checkbox"/> Removal of Structure (Raze) <input type="checkbox"/> Electrical Service Upgrade <input type="checkbox"/> Erosion Control <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Construction						
COMMERCIAL	New Commercial Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control						
	Commercial Addition/Alteration: <input type="checkbox"/> Electrical <input type="checkbox"/> HVAC <input type="checkbox"/> Erosion Control <input checked="" type="checkbox"/> Sign <input type="checkbox"/> Building Sq. Ft. <input type="checkbox"/> Plumbing <input type="checkbox"/> Construction <input type="checkbox"/> Fence <input type="checkbox"/> Removal of Structure (Raze)						
	State of Wisconsin Plan Approval Needed: Yes <input checked="" type="checkbox"/> No (Approved plans must be submitted with permit application)						
	Zoning – When applicable, must obtain a copy of setback information regarding height, lot coverage, etc.						
<p><i>I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of the last ply of this application. I expressly grant the building inspector or the inspector's authorized agent permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done. It is the Owner/Contractors Responsibility to Call in ALL INSPECTIONS to the Inspector.</i></p>							
APPLICANT'S SIGNATURE				DATE SIGNED			
APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. See attached for conditions of approval.							
FEES:		PERMIT(S) ISSUED			PERMIT ISSUED BY:		
Construction Plumbing Electrical HVAC Zoning Other Administrative Total Permit Fee		Constr. HVAC Electric Plumbing Erosion Control Other			Name MIKE BORTZ Date 11/10/2020 Telephone (608) 697-1206 Cert. No 667132		

SCALE 1" = 1'

Project Number: 22099
Drawn By: CLH
Reviewed By: MM
Date: 11-5-20

CULVER FRANCHISING SYSTEM, INC.
NEW CULVERS-SIGNAGE
2733 NW PINERY ROAD
PORTAGE, I. 53901
SIGN PLACEMENT PLAN

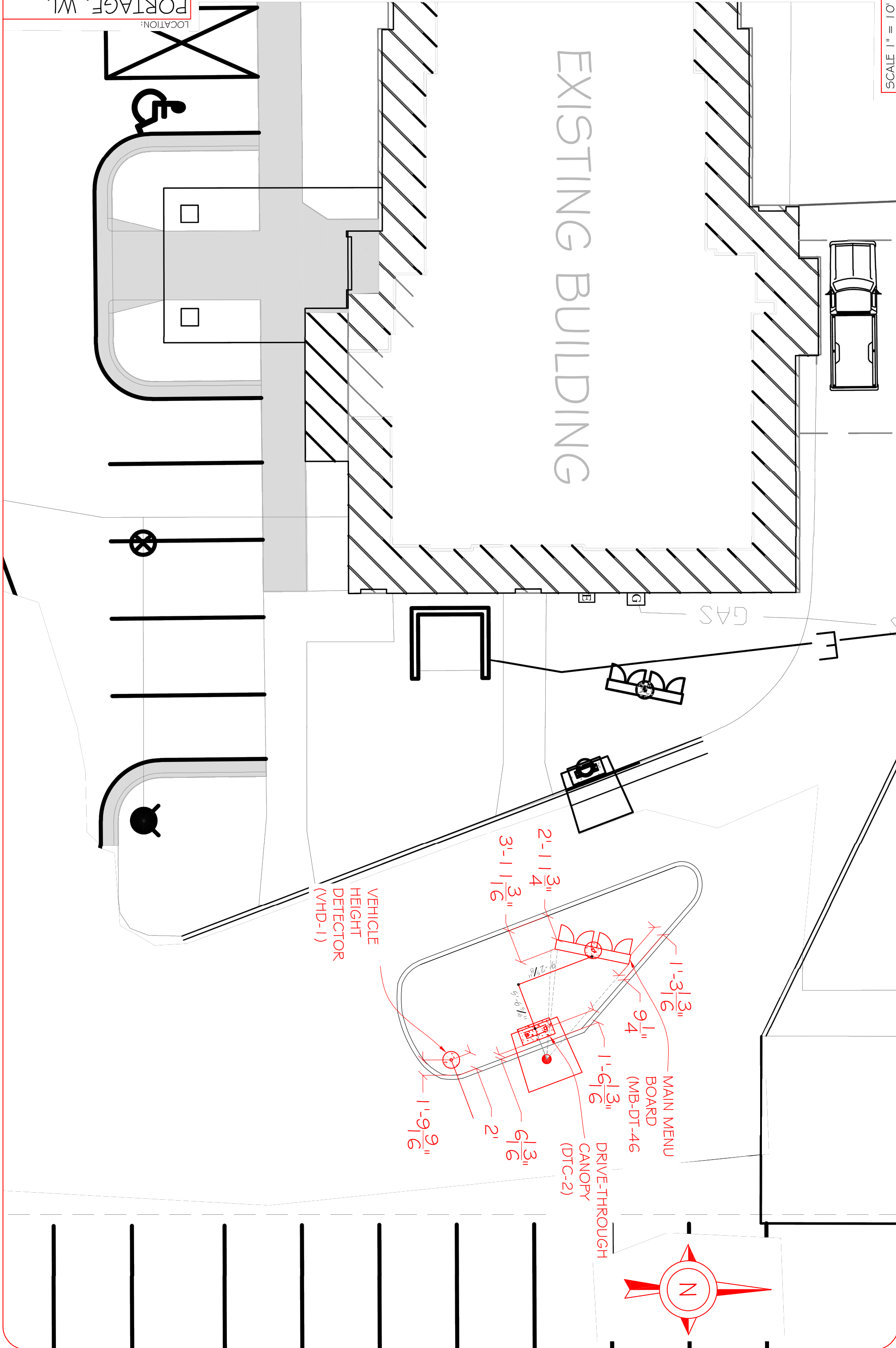
Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
P (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

EXISTING BUILDING

LOCATION:

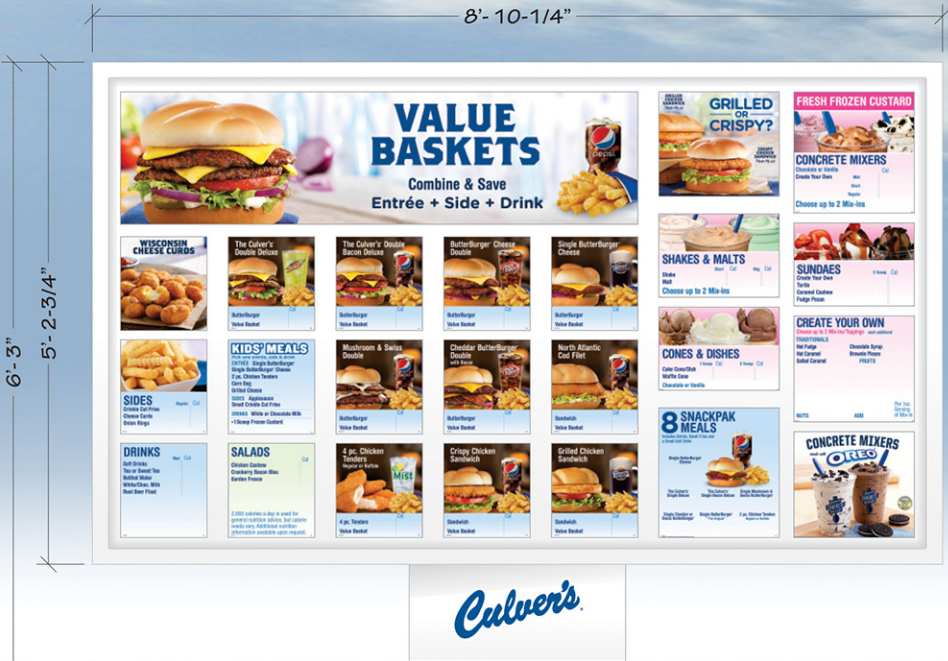
PORTAGE, WI.



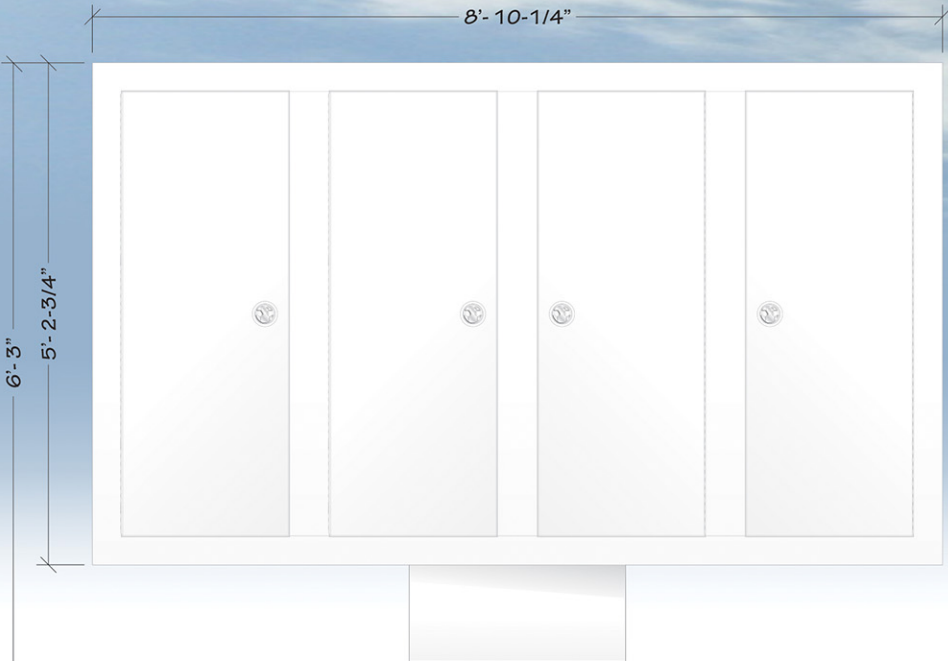
MENU BOARDS

Blue Outdoor Drive-Thru Menu Board

FRONT



REAR



SCALE: 1/2" = 1'

MB-DT-46

IF COASTAL STANDARD: MB-DT-46-CS

MB-DT-46

Blue Outdoor Drive-Thru Menu Board

SIGN DETAILS:

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

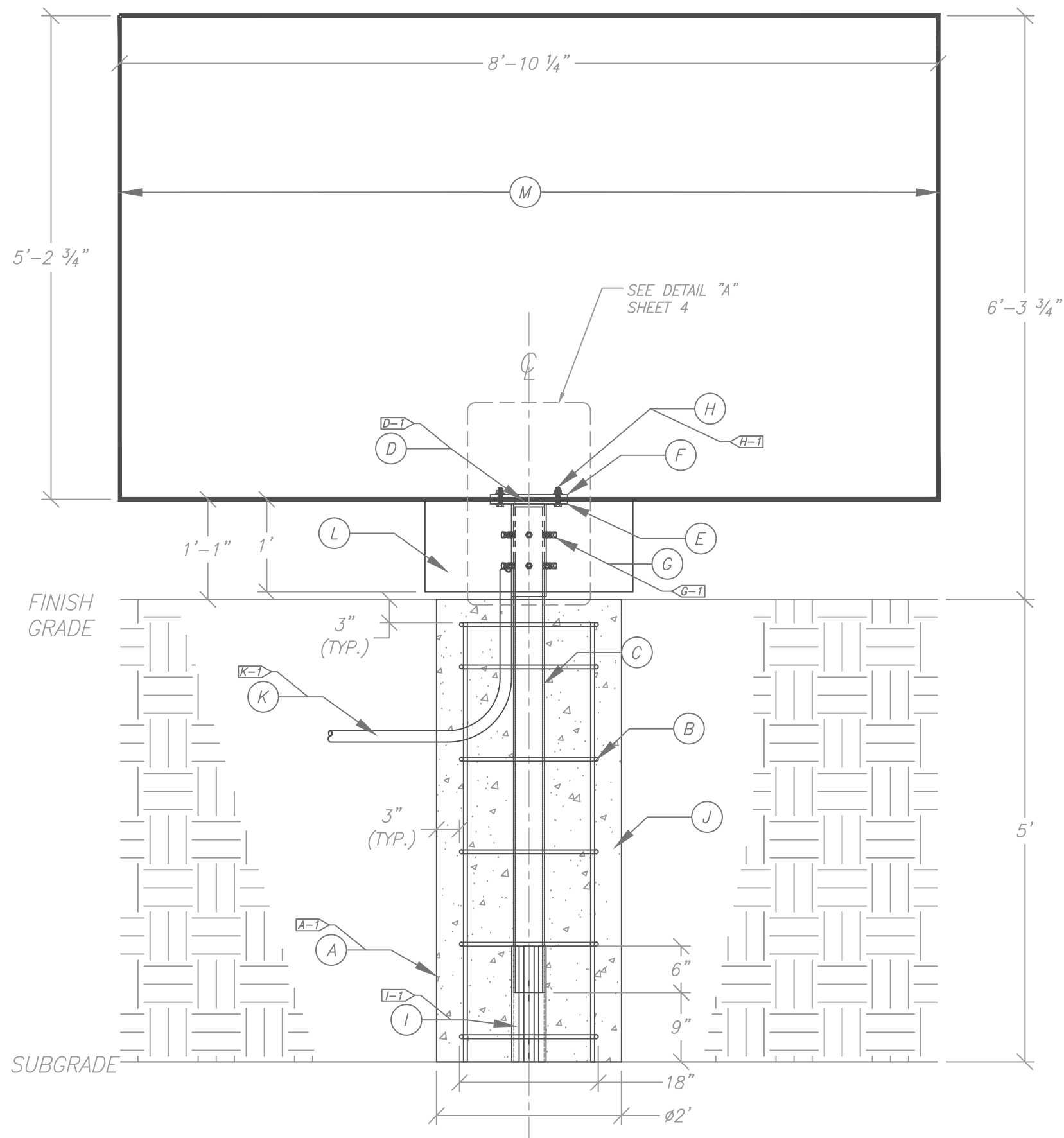
POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)

Culver's

SIGN & MENU BOARD BRAND STANDARDS WITH TECHNICAL SPECIFICATIONS



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓘ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE $\frac{3}{4}" = 1'$

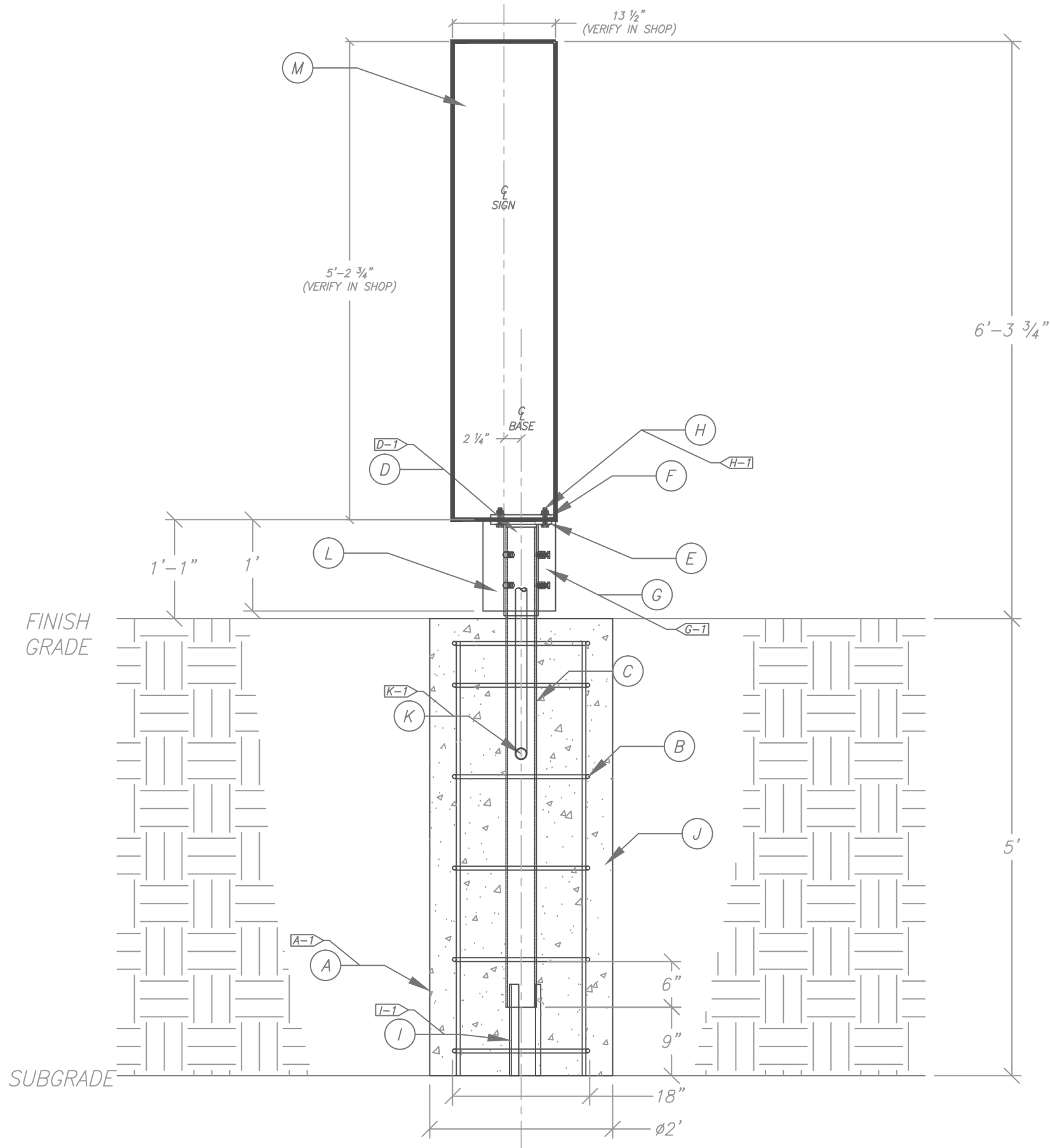
LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client: Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
(608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Project Number:	9902
Drawn By:	DEN
Reviewed By:	MW
Date:	7-25-17
Sheet Number:	



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓐ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓢ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓢ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

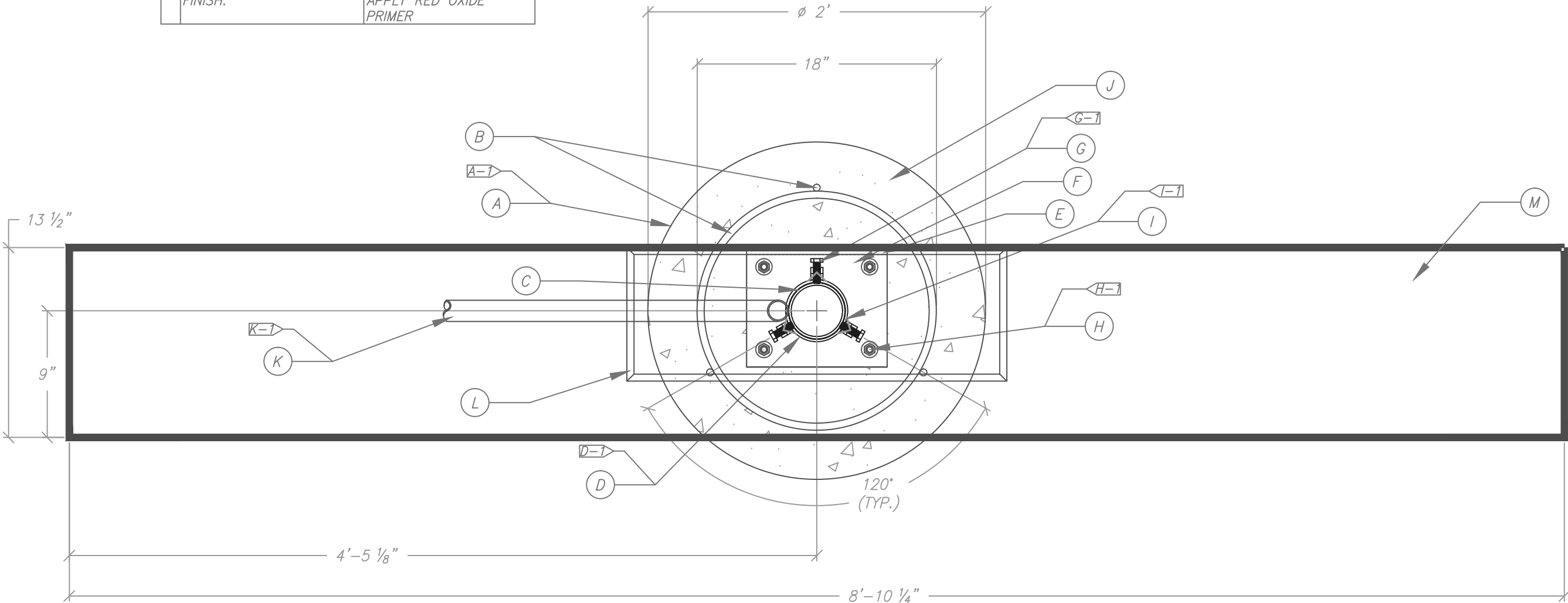
Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:

2 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER

Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES

Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓘ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
⓵	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46



SCALE 1/8" = 1"

LOCATION:
CULVER'S

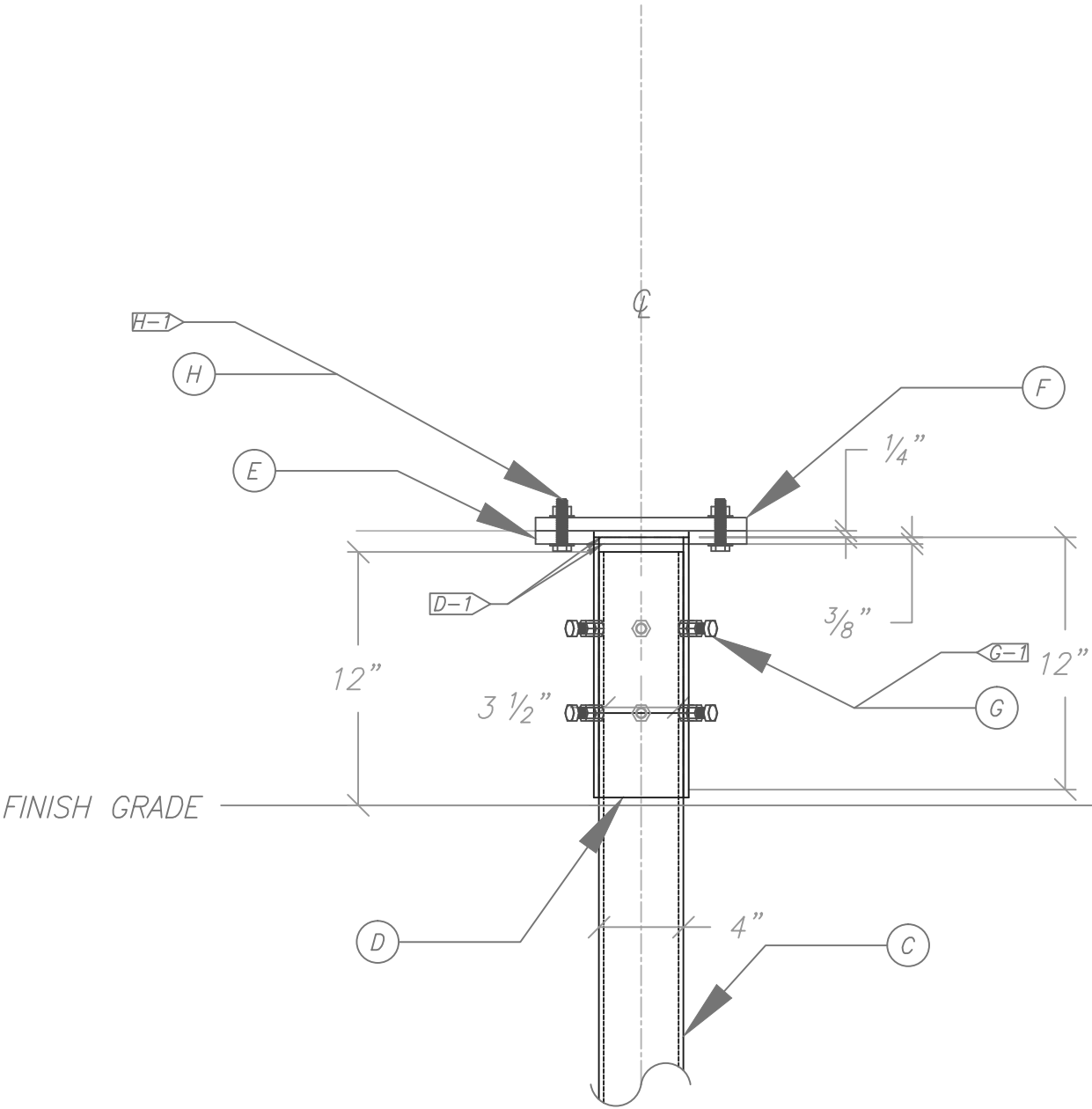
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:

3 OF 5



DRIVE-THROUGH/MAIN MENU BOARD	
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES

SCALE 1/8" = 1"

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
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540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17

Sheet Number:
4 OF 5

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
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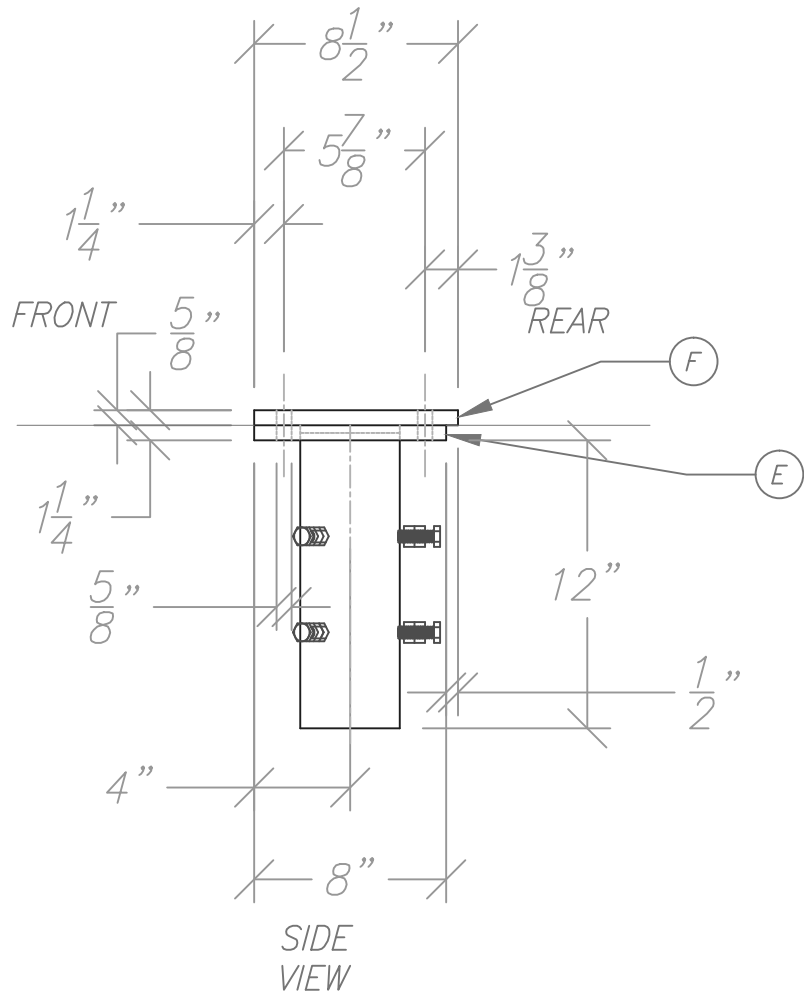
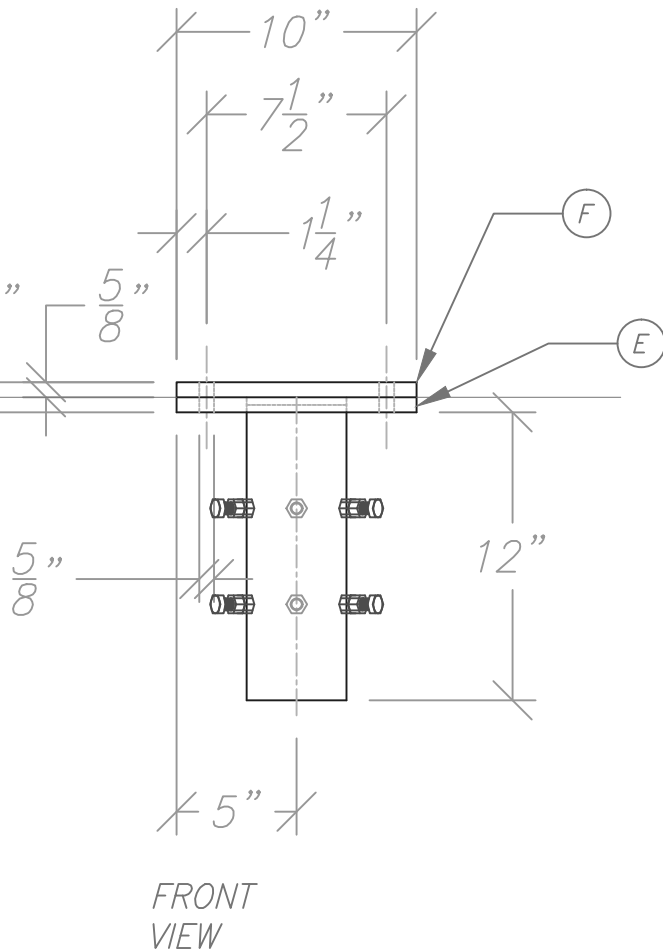
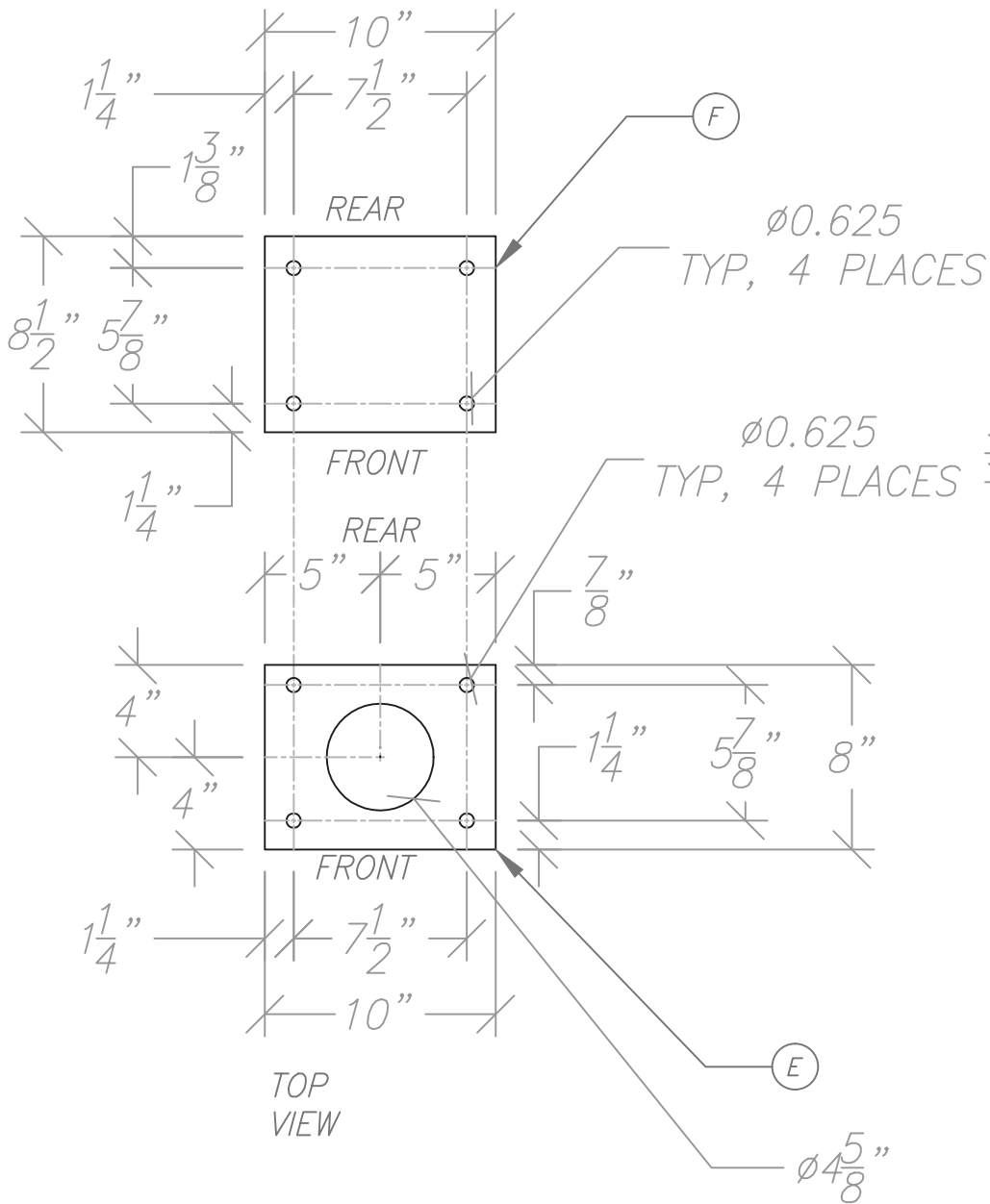
CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17

Sheet Number:
5 OF 5

SCALE 1/8" = 1"

DRIVE-THROUGH/MAIN MENU BOARD		
(E)	OUTSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL
(F)	INSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL



**APPLICATION FOR SIGN PERMIT
VILLAGE OF OREGON
117 SPRING STREET
OREGON, WI 53575**

DATE: 8/30, 2022
PERMIT NO. _____

FEE \$ 438.69
RECEIPT NO. 1.090327

FEES: RESIDENTIAL OR COMMERCIAL
\$25.00 for the first 20 square feet and \$.50/square foot thereafter.

PROPERTY ADDRESS: 117 Spring Street 1075 Park St.
OREGON, WI

BOND ATTACHED _____
(FOR COST OVER \$1,000.00)

TO THE ZONING INSPECTOR:

The undersigned hereby applies for a permit to build, construct, remove or install according to the following statement and as more fully described in the plans herewith filed as required under Sec. 17.27.

OWNER Village of Oregon ADDRESS 117 Spring Daytime Tel No. _____

PARCEL NO. 050912202441 LOT 10 BLOCK 2 SUBDIVISION _____

OCCUPATION _____ ZONE OR DISTRICT: EBB RES: ☒ COMM: ☐ IND: ☐ AGR: ☐

TYPE OF CONSTRUCTION: ☐ WOOD ☐ METAL ☐ OTHER _____

TYPE OF SIGN: ☒ LIGHTED ☐ NON-LIGHTED: ☐ TEMP: ☒ PERMANENT
☒ GROUND: ☒ HANGING ON FACADE OR BUILDING

FEET WIDE: See FEET LONG: attached SQUARE FEET: breakdown

ESTIMATED COST: \$55627.70

****A DETAILED SITE PLAN IS REQUIRED. BUILDING ELEVATIONS ARE ALSO REQUIRED IF THIS APPLICATION INCLUDES A FAÇADE SIGN.****

DATE APPLICATION APPROVED: September 7, 2022

APPROVED BY: _____
ZONING INSPECTOR

IT IS HEREBY AGREED between the undersigned as owner, his agent or servant, and the Village of Oregon, that for and in consideration of the premises and of the permit to construct, erect, remove or install as above described, to be issued and granted by the Zoning Inspector, and that the work thereon will be done in accordance with the description herein set forth in this statement and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, remove or install in strict compliance with the Sign Ordinance of the Village of Oregon; and to obey any and all lawful orders of the Zoning Inspector, made or issue by virtue of the provisions of said ordinance.

DATE: 8/30/2022 200 _____

BY: Alicia Walton, AGENT/OWNER

ADDRESS: 4825 Kearney St Springfield MO 65803

shared (G:)/admin/permit application/sign permit application



ADDRESS
4825 E Kearney St
Springfield, MO 65803
CONTACT US
800.845.9927
springfieldsign.com

Culver's Signage Breakdown
117 Spring Street
Oregon, WI 53575

North Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

West Elevation

SL-45 LED Illuminated Channel Letters 56" x 120" = 46.67

\$38.34

South Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

East Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

BB-1 NON Illuminated 17.67" x 27.88" = 3.42

\$25.00

Directional Signs

DIR 1 LED Illuminated 27 7/8" x 16 3/4" = 3.2 *no permit required for directional signs*

Vehicle Height Detector

NON Illuminated Clearance Panel – 40" x 5" = 1.39

\$25.00

Drive Thru Canopy

Please see attached artwork

~~XXXXXXXXXX~~

~~XXXXXXXXXX~~

Menu Boards

MB-DT-46 106 1/4" x 62 3/4" = 46.29 (TWO TOTAL)

\$38.15

\$38.15



SPRINGFIELD SIGN

design | build | install | service

ADDRESS

4825 E Kearney St
Springfield, MO 65803

CONTACT US

800.845.9927
springfieldsign.com

Freestanding Sign

ME-35 Oval LED Illuminated 4'6" x 7' 6" = **26.51** (mathematical)

\$37.02

PE-80 EMC Electronic Message Center 2'5" x 7' 3" = **17.52** (mathematical)

Wall Mural

384.0" x 80.0" = **213.33**

\$121.50

SPT-1 Slim Push Thru Cabinet sign

284.50 x 12" = **23.70**

\$24.85

TOTAL = \$438.69



SIGN PACKAGE PROPOSAL

NEW BUILD

PRESENTED TO:

Culver's
117 Spring Street
Oregon, WI 53575

DATE PREPARED:

4/7/22 - Preliminary
4/22/22 - REV - Update elevations, add slim cabinets, add new VHD-2
8/11/22 - REV - Elevation update



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MB-DT-46 EXTERIOR MENU BOARD

OREGON, WI

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POP-Out magnet access panels included for easy in & out of POP panels

"-GS" option for 160mph coastal wind standards available

Locking rear access doors (4)



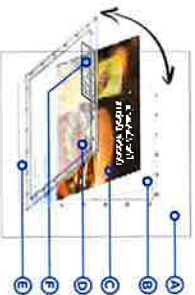
SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
ALL MEASUREMENTS ARE APPROXIMATE

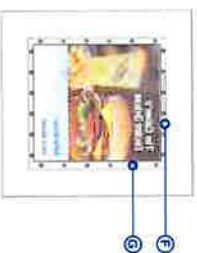


POP-Out Point of Purchase Panel System

INTERIOR VIEW OF MENU BOARD
PANEL BEING REMOVED



PANEL IN PLACE



- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POP-OUT PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POP-OUT TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-OUT PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSELL
DESIGNED BY: JKROEGER
AO: 30505

DATE CREATED / REVISION HISTORY
4/7/22 - NEW

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bidding purposes, nor can it be reproduced, copied or used in the production of a sign without written permission from Springfield Sign & Graphics.
THIS IS AN ARTISTIC RENDERING AND FINAL COLORS & SIZES MAY VARY FROM THAT DEPICTED HEREIN.



MB-DT-46

Locking rear access doors (4)



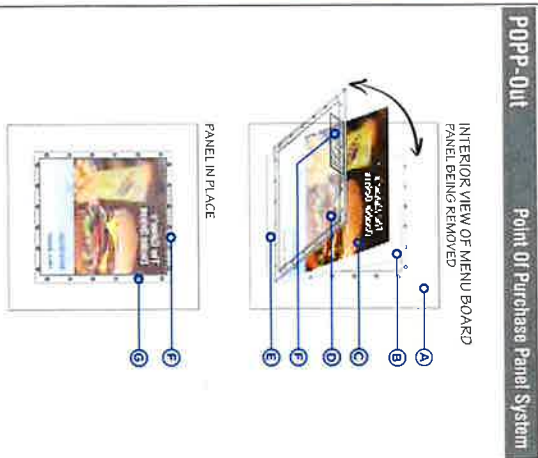
This is an artistic rendition and final colors / sizes may vary from what depicted herein



*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS



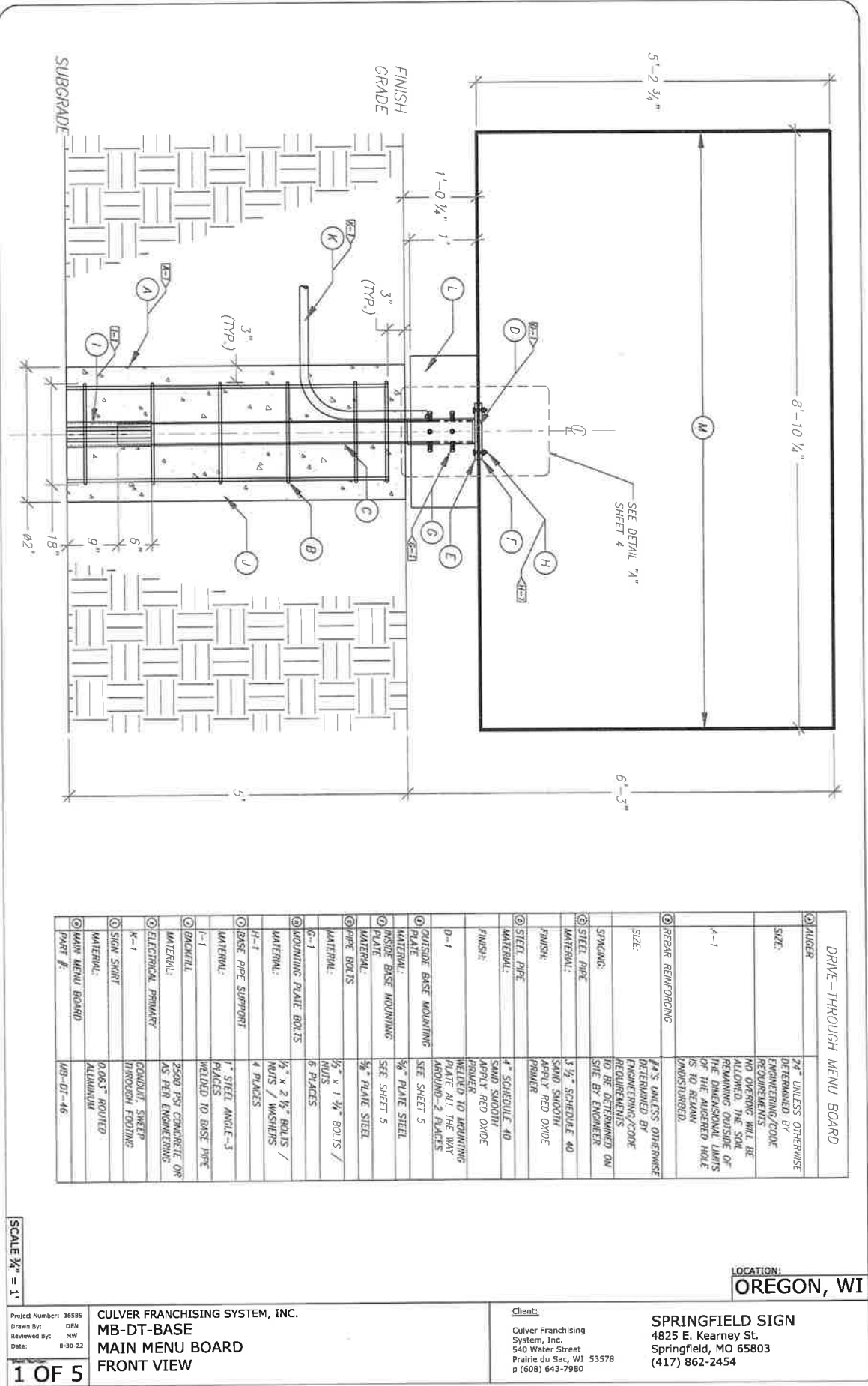
www.springfieldsign.com



- A. INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B. FRONT PANEL IS ANTI-GLARE (CLEAR FOR INCREASED VISIBILITY)
- C. POP PANEL - PRODUCT GRAPHIC
- D. REAR PANEL FITTED WITH POP-OFF PANEL
- E. SUPPORTING "TIP TRAV" FOR PANELS (SELF ALIGNING)
- F. POP-OFF TAB HANDLE
- G. PADDED MAGNETIC "LATCH" (MAGNET IS EMBEDDED IN POP-OFF PANEL & BACK OF MENU BOARD)

SALES PERSON:	DESIGNED BY:	AO:
MARK WESSELL	J KROEGER	36585

DATE CREATED / REVISION HISTORY	
4/7/22 - NEW	



DRIVE-THROUGH MENU BOARD	
1 AUGER	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
2 SIZE:	NO OVERLAP WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
3 4-1	
4 REBAR REINFORCING	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS TO BE DETERMINED ON SITE BY ENGINEER
5 SPACING:	
6 STEEL PIPE	3 1/2" SCHEDULE 40
7 MATERIAL:	SAND SMOOTH
8 FINISH:	APPLY RED OXIDE PRIMER
9 STEEL PIPE	4" SCHEDULE 40
10 MATERIAL:	SAND SMOOTH
11 FINISH:	APPLY RED OXIDE PRIMER
12 D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
13 OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
14 MATERIAL:	3/8" PLATE STEEL
15 INSIDE BASE MOUNTING PLATE	SEE SHEET 5
16 MATERIAL:	3/8" PLATE STEEL
17 PIPE BOLTS	1/2" x 1 1/2" BOLTS / NUTS
18 MATERIAL:	6 PLACES
19 G-1	
20 MOUNTING PLATE BOLTS	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
21 MATERIAL:	4 PLACES
22 H-1	
23 BASE PIPE SUPPORT	1" STEEL ANGLE-3 PLACES
24 MATERIAL:	WELDED TO BASE PIPE
25 I-1	
26 BACKFILL	2500 PSI CONCRETE OR AS PER ENGINEERING
27 MATERIAL:	
28 ELECTRICAL PRIMARY	CONDUIT, SWEET THROUGH FOOTING
29 K-1	
30 SIGN SHORT	DRIFT ROUTED
31 MATERIAL:	ALUMINUM
32 MAIN MENU BOARD	
33 PART #:	MB-DT-46

SCALE 3/8" = 1'

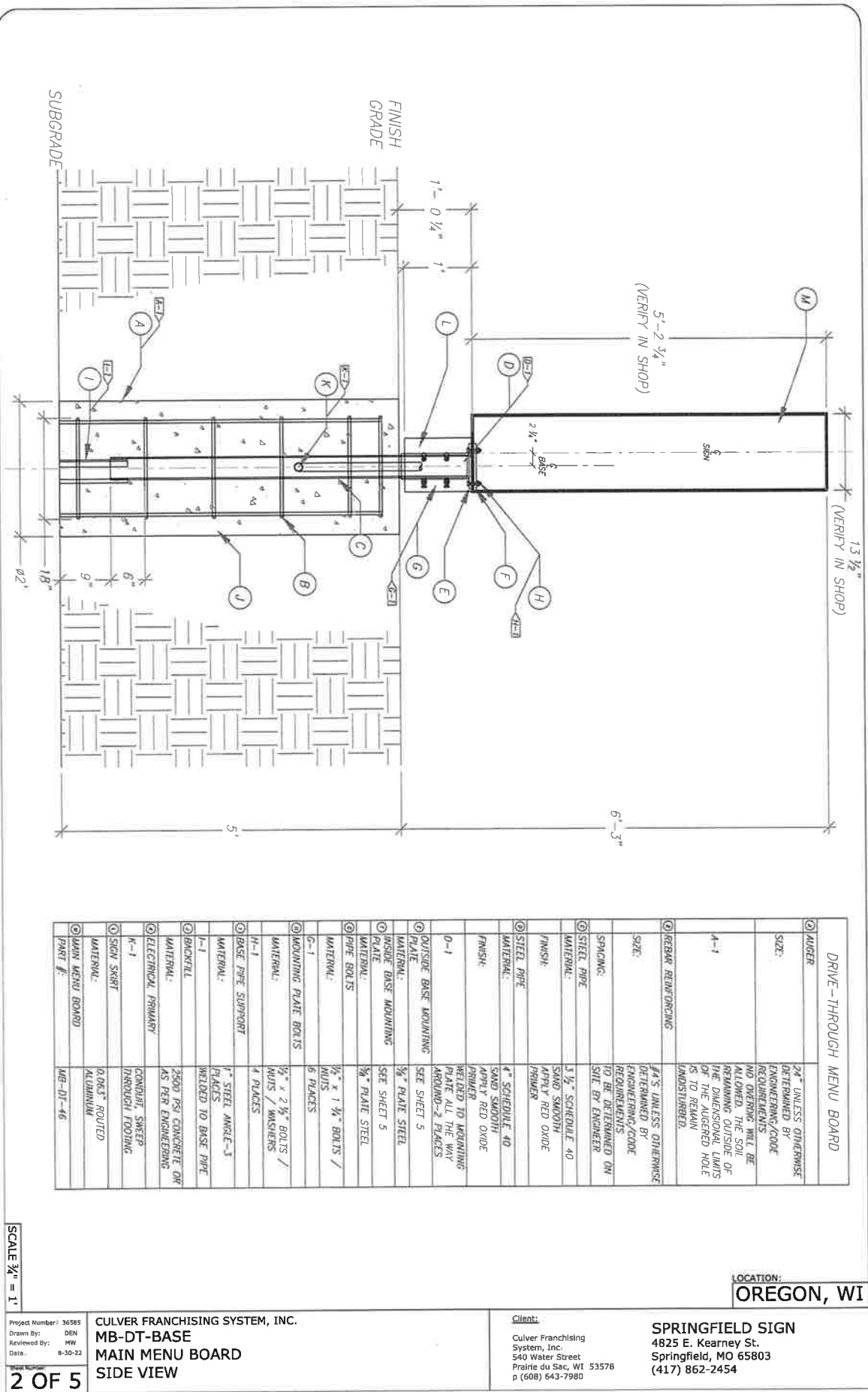
LOCATION:
OREGON, WI

Project Number: 36595
Drawn By: DEN
Reviewed By: NW
Date: 8/30/22
1 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



DRIVE-THROUGH MENU BOARD	
② AUGER	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	NO OVERING WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
A-1	
③ REBAR REINFORCING	1/4" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	TO BE DETERMINED ON SITE BY ENGINEER
SPACING:	
④ STEEL PIPE	1 1/2" SCHEDULE 40
MATERIAL:	SAND SMOOTH APPLY RED OXIDE PRIMER
FINISH:	
⑤ STEEL PIPE	4" SCHEDULE 40
MATERIAL:	SAND SMOOTH APPLY RED OXIDE PRIMER
FINISH:	
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
⑥ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	1/4" PLATE STEEL
⑦ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	1/4" PLATE STEEL
⑧ PIPE BOLTS	1/2" x 1 1/2" BOLTS / NUTS
MATERIAL:	6 PLACES
G-1	
⑨ MOUNTING PLATE BOLTS	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
MATERIAL:	4 PLACES
H-1	
⑩ BASE PIPE SUPPORT	1" STEEL ANGLE-3 PLACES
MATERIAL:	WELDED TO BASE PIPE
I-1	
⑪ BANCHITL	2500 PSI CONCRETE OR AS PER ENGINEERING
MATERIAL:	
J-1	
⑫ ELECTRICAL PRIMARY	CONDUIT, SWEEP THROUGH FOOTING
MATERIAL:	
K-1	
⑬ SIGN SKIRT	ALUMINUM
MATERIAL:	
L-1	
⑭ MAIN MENU BOARD	MB-DT-46
PART #:	

SCALE 3/4" = 1'

LOCATION:
OREGON, WI

Project Number: 36585
Drawn By: DEN
Reviewed By: MW
Date: 8-30-22
2 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

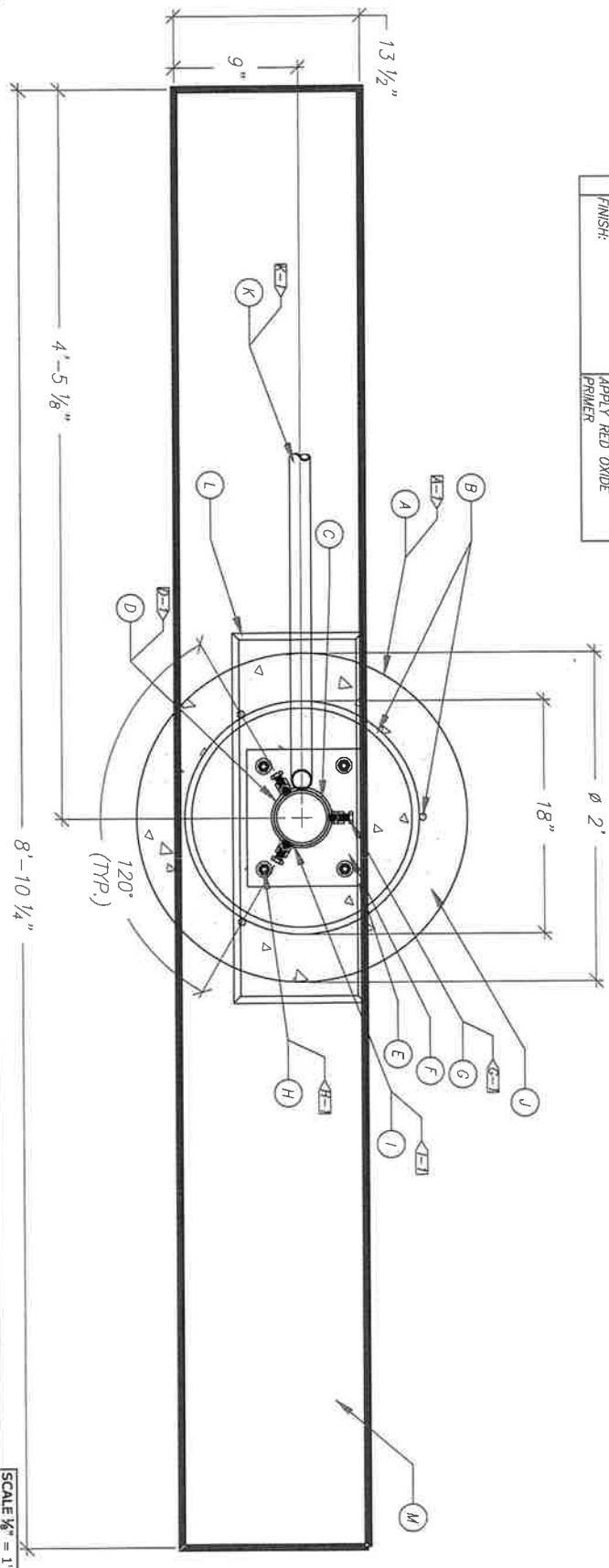
SPRINGFIELD SIGN
4825 E. Kearney St.
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DRIVE-THROUGH/MAIN MENU BOARD	
1 AUGER	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	NO OVERLAP WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
A-1	
2 REBAR REINFORCING	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	TO BE DETERMINED ON SITE BY ENGINEER
SPACING:	
3 STEEL PIPE	3 1/2" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE PRIMER

4 STEEL PIPE	4" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND 2 PLACES
5 OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
6 INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
7 PIPE BOLTS	1/2" x 1 1/4" BOLTS / NUTS
MATERIAL:	6 PLACES
G-1	

8 MOUNTING PLATE BOLTS	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
MATERIAL:	4 PLACES
H-1	
9 BASE PIPE SUPPORT	1" STEEL ANGLE-3 PLACES
MATERIAL:	WELDED TO BASE PIPE
I-1	
10 BACKFILL	2500 PSI CONCRETE OR AS PER ENGINEERING
MATERIAL:	CONDUIT, SWEEP THROUGH FOOTING
K-1	
11 SIGN SKIRT	0.063" ROUTED ALUMINUM
MATERIAL:	
12 MAIN MENU BOARD	MB-DT-46
PART #:	

LOCATION:
OREGON, WI

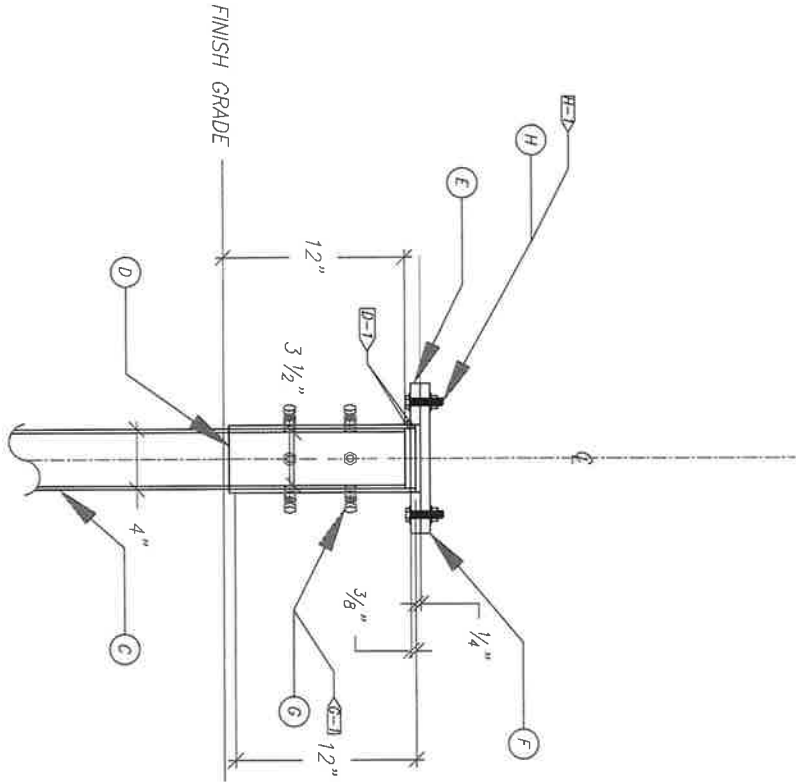


Project Number: 36585
Drawn By: DEN
Reviewed By: MW
Date: 8-30-22
3 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



DRIVE-THROUGH/MAIN MENU BOARD	
STEEL PIPE	3 1/2" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE
FINISH:	PRIMER
STEEL PIPE	4" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE
FINISH:	PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
INSIDE BASE MOUNTING	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
PIPE BOLTS	3/8" x 1 1/2" BOLTS / NUTS
MATERIAL:	6 PLACES
MOUNTING PLATE BOLTS	3/8" x 2 1/2" BOLTS / NUTS / WASHERS
MATERIAL:	4 PLACES

SCALE 1/8" = 1"

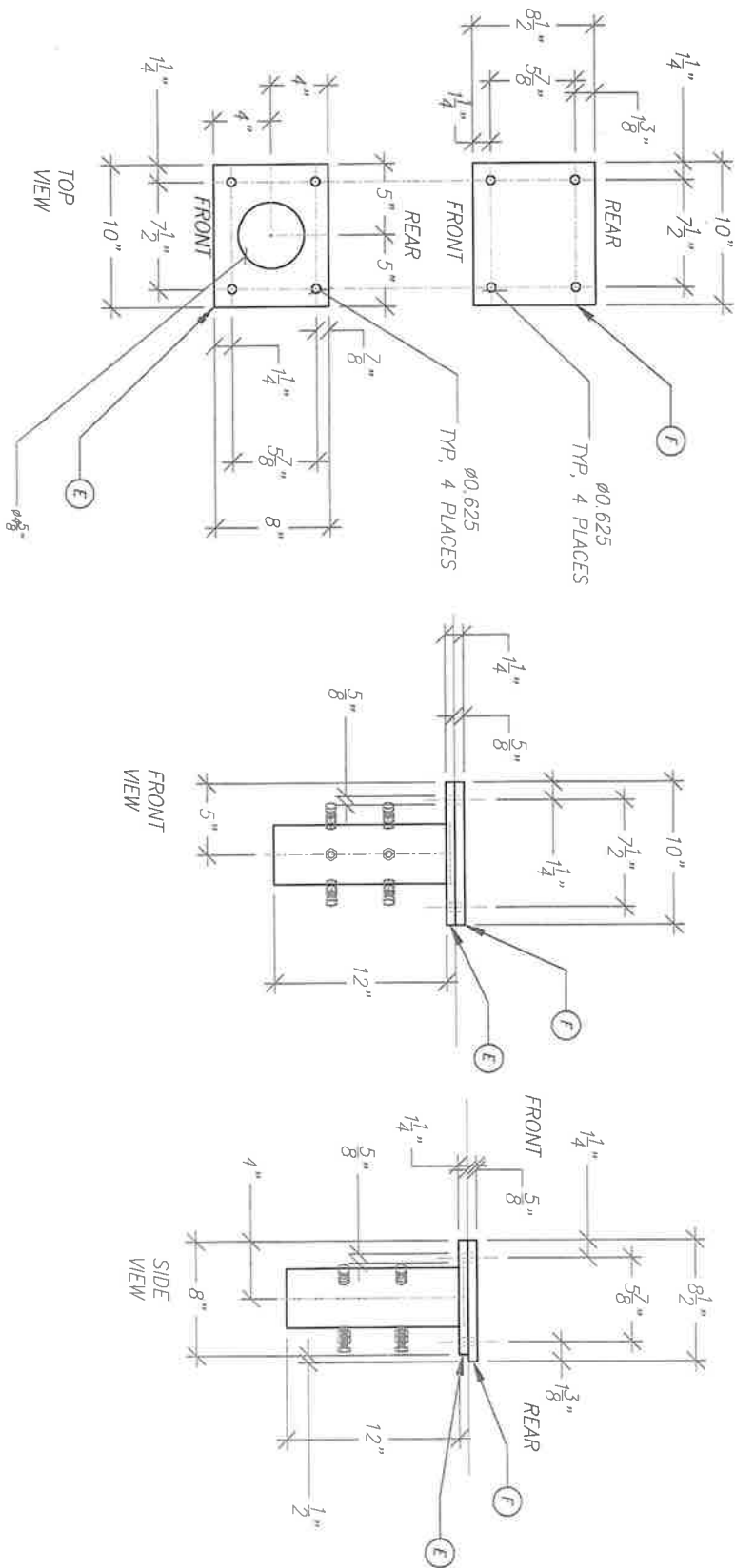
LOCATION:
OREGON, WI

Project Number: 35585
Drawn By: DEN
Reviewed By: HW
Date: 8-30-22
4 OF 5

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



DRIVE-THROUGH/MAIN MENU BOARD	
① OUTSIDE BASE MOUNTING PLATE	
MATERIAL:	3/8" PLATE STEEL
② INSIDE BASE MOUNTING PLATE	
MATERIAL:	3/8" PLATE STEEL

LOCATION:
OREGON, WI

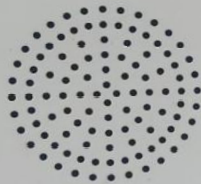
SCALE 1/8" = 1"

Project Number: 36585
Drawn By: DEN
Reviewed By: 188
Date: 6-30-22
5 OF 5

CULVER FRANCHISING SYSTEM, INC.
**DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL**

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
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Customers With Speech Or Hearing Difficulties Please Pull Up To The Next Open Window For Assistance In Ordering.

Food Allergy?

Please be advised that any of our products may contain, or may have come in contact with food allergens including eggs, fish, milk, peanuts, shellfish, soy, tree nuts and wheat. For ingredient information please visit McDonalds.com.



Drive Thru Code
12 34

Provide your code now to earn free food

ORDER HERE

Customers With Speech Or Hearing Difficulties Please Pull Up To The Next Open Window For Assistance In Ordering.

Thank you.

Clientes con dificultades auditivas o del habla favor de pasar a la próxima ventanilla abierta para ayudarle con su orden.
Gracias.















Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: June 26th, 2023
SUBJECT: Public Hearing Comment Review and Recommendation to Council – Text Amendments to Chapter 550 Zoning

A request for text amendments to the City of Watertown Zoning Code - Chapter 550.

BACKGROUND DESCRIPTION:

Amendment #1:

Current zoning code requires a minimum lot width of 85 ft for each side of a Twin Home. Since Twin Homes share a wall with a zero lot line, extra lot width to accommodate two side yards is not required. This text amendment reduces the lot width requirements for Twin Homes to 50 ft to recognize the zero lot line and the need for only one side yard.

Amendment #2:

Current zoning code allows Personal Storage Facilities as a Conditional Use in the General Business (GB) Zoning District. General Business Zoning is often located along high visibility commercial corridors within the City. This text amendment restricts how close Personal Storage Facilities can be located from one another within the General Business (GB) Zoning District.

Amendment #3:

Current zoning code requires a Conditional Use Permit (CUP) to exceed the maximum width of curb openings for driveways. The CUP process creates an additional fee and public hearing, as well as increases the length of time for these approvals. This text amendment transfers the decision-making approval of these curb openings to the Public Works Director, with appeals of the Public Works Director's decision to be heard before the Plan Commission.

Amendment #4:

Auxiliary Freestanding Signs and Auxiliary Wall Signs were unintentionally omitted from a recent update of the City sign regulations. This text amendment adds those omitted sign types to Table 550-132A(3): Permanent Misc. Sign Group.

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment #1 - § 550-25F(2)(b)

§ 550-25 Two-Family Residential-6 (TR-6) District.

F. Regulations applicable to residential uses.

(2) Residential bulk requirements.

- (a) Minimum lot area: 9,000 square feet (except for twin homes at 4,500 square feet per dwelling unit).
- (b) Minimum lot width: 85 feet unless Principal Land Use is a Twin Home. Twin Home Minimum Lot width: 50 feet.

§ 550-53 Storage or disposal land uses.

C. Personal storage facility. Description: Personal storage facilities are land uses oriented to the indoor storage of items entirely within partitioned buildings having an individual access to each partitioned area. Such storage areas may be available on either a condominium or rental basis. Also known as "mini warehouses."

(1) Regulations.

(a) Facility shall be designed so as to minimize adverse visual impacts on nearby developments. The color, exterior materials, and orientation of proposed buildings and structures shall complement surrounding development.

(b) Facility shall provide a bufferyard with a minimum opacity of 0.80 along all property borders abutting residentially zoned property (see § 550-99).

(c) Shall comply with § 550-142, standards and procedures applicable to all conditional uses.

(d) Within the General Business (GB) Zoning District, no Personal Storage Facility shall be located within 3,500 feet of another Personal Storage Facility in any Zoning District.

[1] Standards of measurement. The distances identified in this subsection shall be measured in a straight line, from the closest point of the parcel of property proposed for use by a Personal Storage Facility to the nearest point of the parcel of property from which the proposed land use is to be separated.

Amendment #3 - § 550-105J(1)§ 550-105 Access standards.

J. Width of driveways. All access drives shall have a minimum width of 10 feet for one- and two-family dwellings and 18 feet for all other land uses. All curb openings for access drives shall have a maximum width of 25 feet for a one- or two-car garage or 30 feet for a three-car garage for all residential uses and 35 feet for all nonresidential uses, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet. [Amended 7-19-2016 by Ord. No. 16-8]

(1) ~~Conditional use permit required.~~ Exceeding Maximum Width of Driveways. Curb openings for access drives that exceed the maximum width, as measured at the right-of-way line, may be approved by the Public Works Director/City Engineer. Appeals of the Public Works Director/City Engineer's decision may be heard before the Plan Commission.

~~(a) All residential curb openings for access drives that exceed the maximum width, as measured at the right-of-way line, will require the granting of a conditional use permit which specifically states the maximum permitted width of the proposed driveway at the right-of-way line.~~

~~(b) All nonresidential curb openings for access drives that exceed the maximum width, as measured at the right-of-way line, will require the granting of a conditional use permit which specifically states the maximum permitted width of the proposed driveway at the right-of-way line.~~

§ 550-132 Permitted sign rules.

A. Signs shall be allowed on private property in the City of Watertown in accordance with Tables 550-132A(1) through 550-132A(4), which addresses permitted signage as it relates to permits, quantity, area, location, lighting, and zoning districts. The requirements set forth in Tables 550-132A(1) through 550-132A(4) shall be declared to be part of this chapter. Figure 550-132A illustrates the specific sign types.

- (1) The rules for permanent signs are located in Table 550-132A(1).
- (2) The rules for temporary signs are located in Table 550-132A(2).
- (3) The rules for permanent miscellaneous signs are located in Table 550-132A(3).
- (4) The rules for temporary miscellaneous signs are located in Table 550-132A(4).

Table 550-132A(3): Permanent Misc. Sign Group ¹						Sign Area & Height Maximums for Zoning Districts		
Sign Categories & Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR, MR, SNR	RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
B. Optional Miscellaneous Sign Category: *								
1. Plaque Sign	Sign Permit required for each new sign	Up to 3 per designated historic property, site, or district.	None needed. Use max area limit.	On-Building, within 10 ft of the main entrance.	Ambient only	6 sf max area per sign 8 ft max height per sign		
2. Permanent Plat Sign		Per Final Plat or Certified Survey Map		In Plat or Certified Survey Map Outlot		100 sf max area per sign 8 ft max height per sign		
3. Auxiliary Freestanding Sign		Not to exceed the total number of required parking stalls		3 ft from any street, side, or rear lot line		2 sf max area per sign 8 ft max height per sign		
4. Auxiliary Wall Sign				0 ft for parcels located within the CB Zoning District		6 sf max area per sign		
* = Refer to Section § 550-131C for definition and rules for each Sign Category (lettered) and each Sign Type (numbered).								
1: Available to all land uses.								
2: "Standard" means the following forms of sign lighting: ambient, backlit, internal character or cabinet, and gooseneck								

PUBLIC HEARING COMMENTS:

No comments at June 20th 2023 Public Hearing.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Negative recommendation of the Chapter 550 Text Amendments to Common Council.
2. Positive recommendation of the Chapter 550 Text Amendments to Common Council.
3. Positive recommendation of the Comprehensive Plan Amendment to Common Council, with conditions identified by the Plan Commission