



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, SEPTEMBER 11, 2023 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 866 899 4679 Access Code: 260-005-189 or <https://meet.goto.com/260005189> All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated July 24, 2023

3. BUSINESS

A. Review and take action: 311 S. Third Street – proposed indoor batting cages

B. Review and take action: 1508 Neenah Street – proposed open air pavilion

C. Review and take action: 515 Pearl Street (614 Milford Street) – proposed 1,040 SF Grounds Garage

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
July 24, 2023

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Brian Zirbes of Building, Safety & Zoning; Doug Zwieg of Building, Safety & Zoning; Maureen McBroom of Stormwater Utility; Strategic Initiatives and Development Coordinator Mason Becker; Kristine Butteris of Park & Rec; Matt Willmann of Streets; Jeff Meloy of the Police Department; Mike Zitelman of the Water Department; and Anthony Rauterberg of the Fire Department. Also in attendance was Heather Van Dam of the Watertown Humane Society.

1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated June 12, 2023

Motion was made by Doug Zwieg and seconded by Mike Zitelman to approve the June 12, 2023 Site Plan Review minutes as submitted. Unanimously approved.

3. Business

A. Review and take action: 418 Water Tower Court – proposed office and kennel addition to existing building

Executive Director Heather Van Dam of the Watertown Humane Society was present to explain the proposed improvements to the office space, kennel space, and low cost spay/neuter clinic.

The following was presented by staff:

Building:	The final plans submitted with the permit will have to have additional detail. A digital copy of plans shall be submitted as well.
Fire:	Asked about a sprinkler system in the building. There currently is none. There is a proposed fire wall that may be put into place with this project. The architect will be reviewing the requirements and the information should be included in the plans. It shall be noted that anything 5,000 sf or more will require sprinklers.
Eng/Stormwater:	There is no exterior grading, parking lot, etc., work is proposed. If anything changes, erosion control permits are required at 3,000 SF or more of disturbance. No parking lot changes are proposed.
Parks:	No comments.
Police:	No comments.
Streets:	No comments.
Water:	No comments.

Motion was made by Doug Zwieg and seconded by Anthony Rauterberg to recommend approval of this proposal to Plan Commission with inclusion of the above comments.

Unanimously approved.

4. Adjournment

Motion was made by Doug Zwieg and seconded by Matt Willmann to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman, Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 311 S Third Street, Conditional Use Permit - CUP

A request by Jorge Montgomery for a Conditional Use Permit (CUP) for Indoor Commercial Entertainment.
Parcel PIN: 291-0815-0413-030

SITE DETAILS:

Acres: 0.19
Current Zoning: CB Central Business
Existing Land Use: Commercial
Future Land Use Designation: Central Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

Applicant is seeking approval of a conditional use permit to operate a batting cage business within a portion of an existing commercial building. The business will operate Monday thru Friday 2 pm to 6 pm and Saturday 12 pm to 6 pm. Fall hours will change to Monday thru Friday 3 pm to 8 pm and Saturday 12 pm to 8 pm. The business operation will consist of three batting cages and a point of sales area.

STAFF EVALUATION:

Site Plan Review Committee:

See Minutes of September 11th, 2023.

Land Use and Zoning:

1. Within the Central Business (CB) Zoning District, 'no requirements for on-site landscaping or parking are required' [per § 550-34A].
2. Also, within the Central Business (CB) Zoning District 'Indoor Commercial Entertainment' is a principal land use permitted as a Conditional Use [per § 550-34B(2)(f)]. 'Indoor Commercial Entertainment' includes training studios among the allowed uses [per § 550-52H].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- 'If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property' [per § 550-52H(1)(a)].
- The 'facility shall provide a bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property' [per § 550-52H(1)(b)].

WISCONSIN ACT 67:

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) In this paragraph:

- a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

- b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
- a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
- b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)
- Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
3. 62.23 (7) (de)(4)
- Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
4. 62.23 (7) (de)(5)
- If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Commercial Entertainment Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
Facility shall provide bufferyard with minimum opacity of 0.60 along all borders of the property abutting residentially zoned property (see § 550-99).	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.

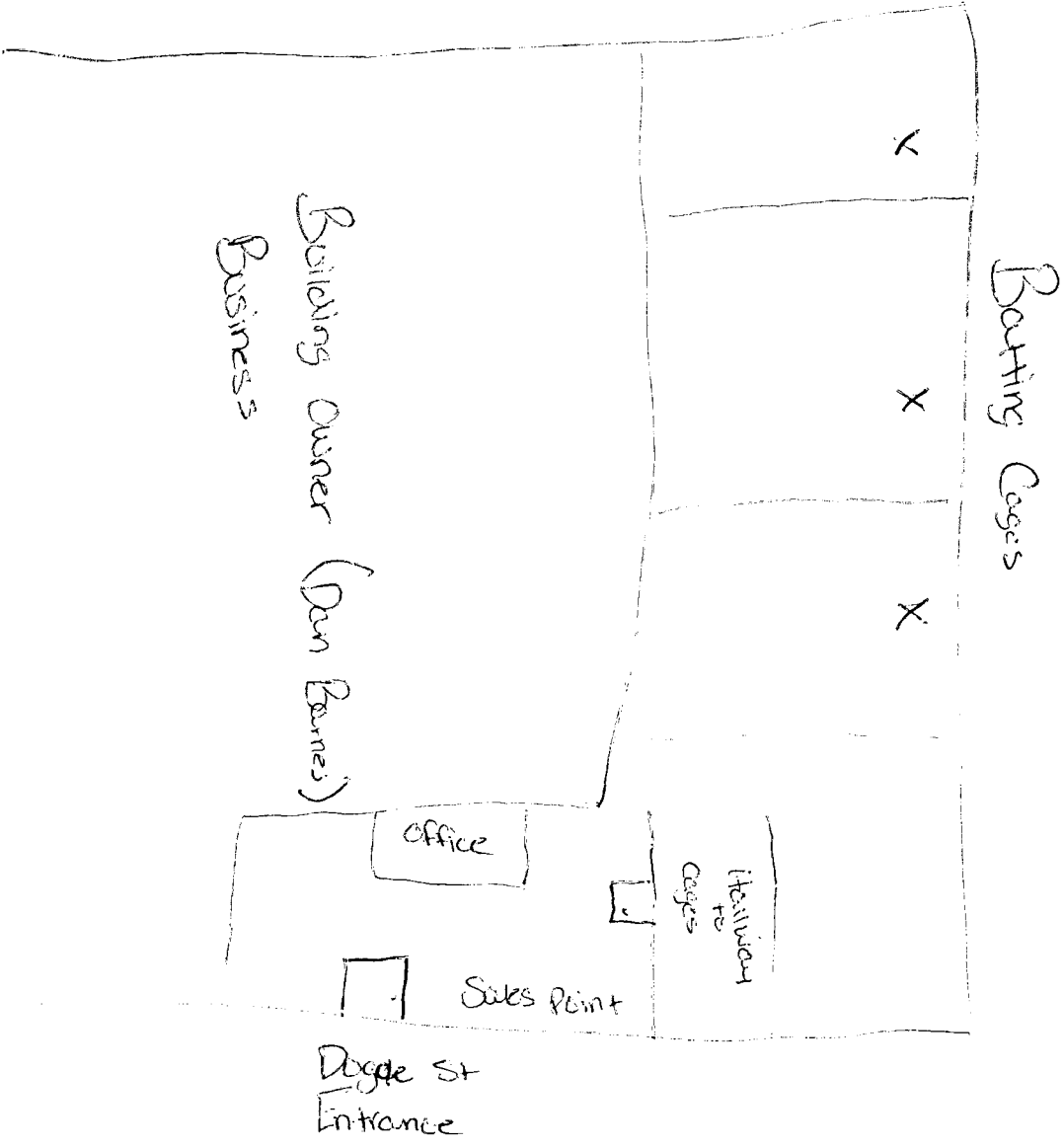
Options:

These are the following options, but not limited to, for the Plan Commission based on the information received by the City of Watertown Zoning & Floodplain Administrator:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission.

Not to
Scale

3rd Street



Dodge Street

Current Hours:

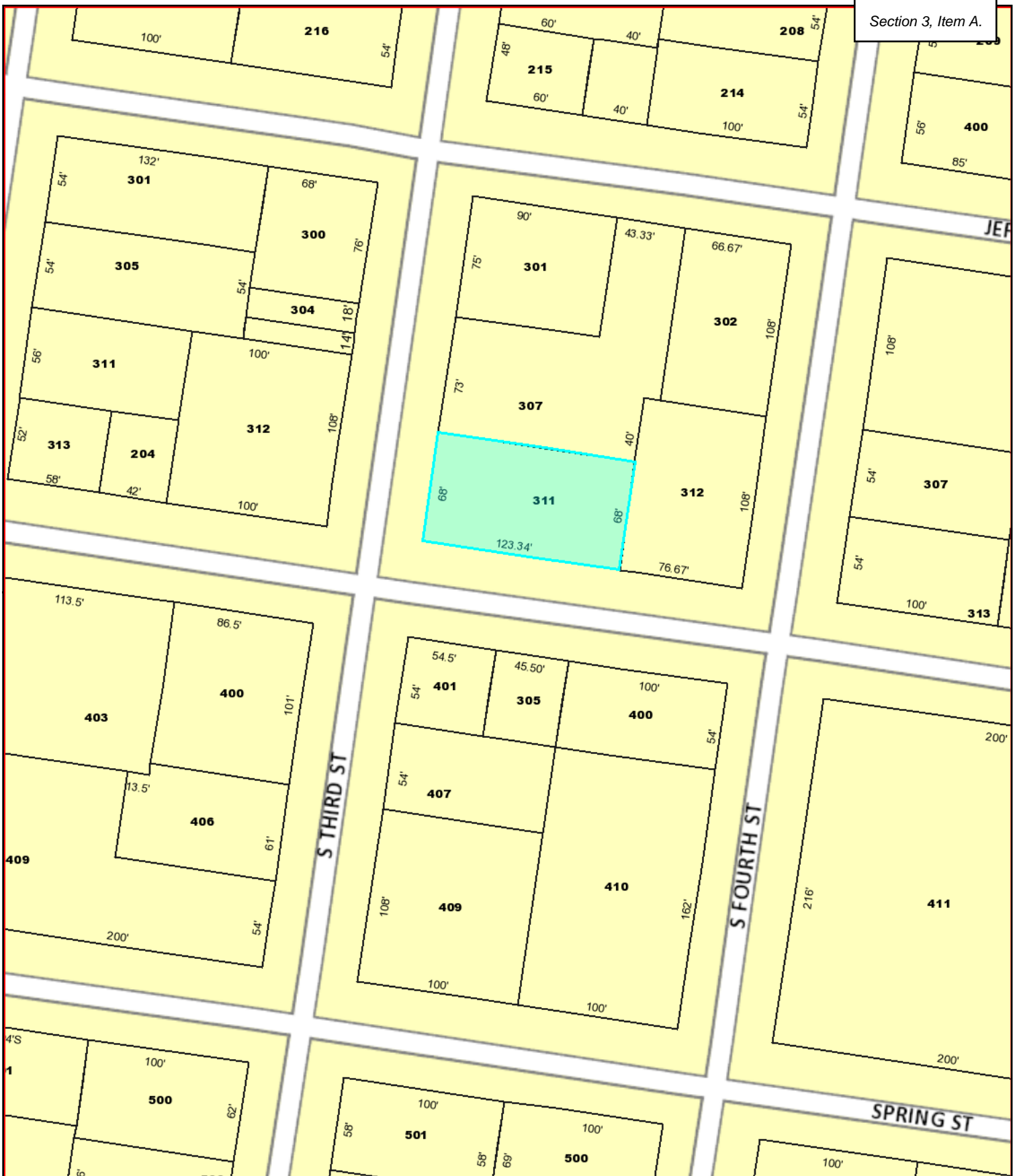
M-F : 2pm - 6pm

Sat : 12pm - 6pm

Upcoming Fall hours:

M-F : 3pm - 8pm

Sat : 12pm - 8pm



Parcels



City Limits



Override 1

Parcels



City of Watertown Geographic Information System

Scale: 1 inch = 80 feet

SCALE BAR = 1"

Printed on: August 31, 2023

Author: Private User

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 1508 Neenah St. - Site Plan Review and Approval

Site Plan Review requested by KAZ Construction, Agent for the Watertown Unified School District, for an Accessory Structure – Open Air Pavilion on property located at 1508 Neenah St, Watertown WI. Parcel PIN: 291-0815-0924-026.

SITE DETAILS:

Acres: 3.7
Current Zoning: TR-6 Two-Family Residential
Existing Land Use: School
Future Land Use Designation: Institutional

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing a 16ft x 32ft open air pavilion. The pavilion will be supported by 8 posts and will have closed roof ends.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the TR-6 Two-Family Residential zoning district 'Indoor Institutional' land uses allow for a garage, shed, or similar structure as an accessory land use permitted by right. 'Indoor Institutional' land uses include schools. [per § 550-51C]

Site Layout and Design:

The proposed garage meets all building and pavement setbacks, as well as, the maximum building height limits for accessory structures in the Two-Family Residential zoning district.

Lighting:

The proposed pavilion will not have lighting.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission.

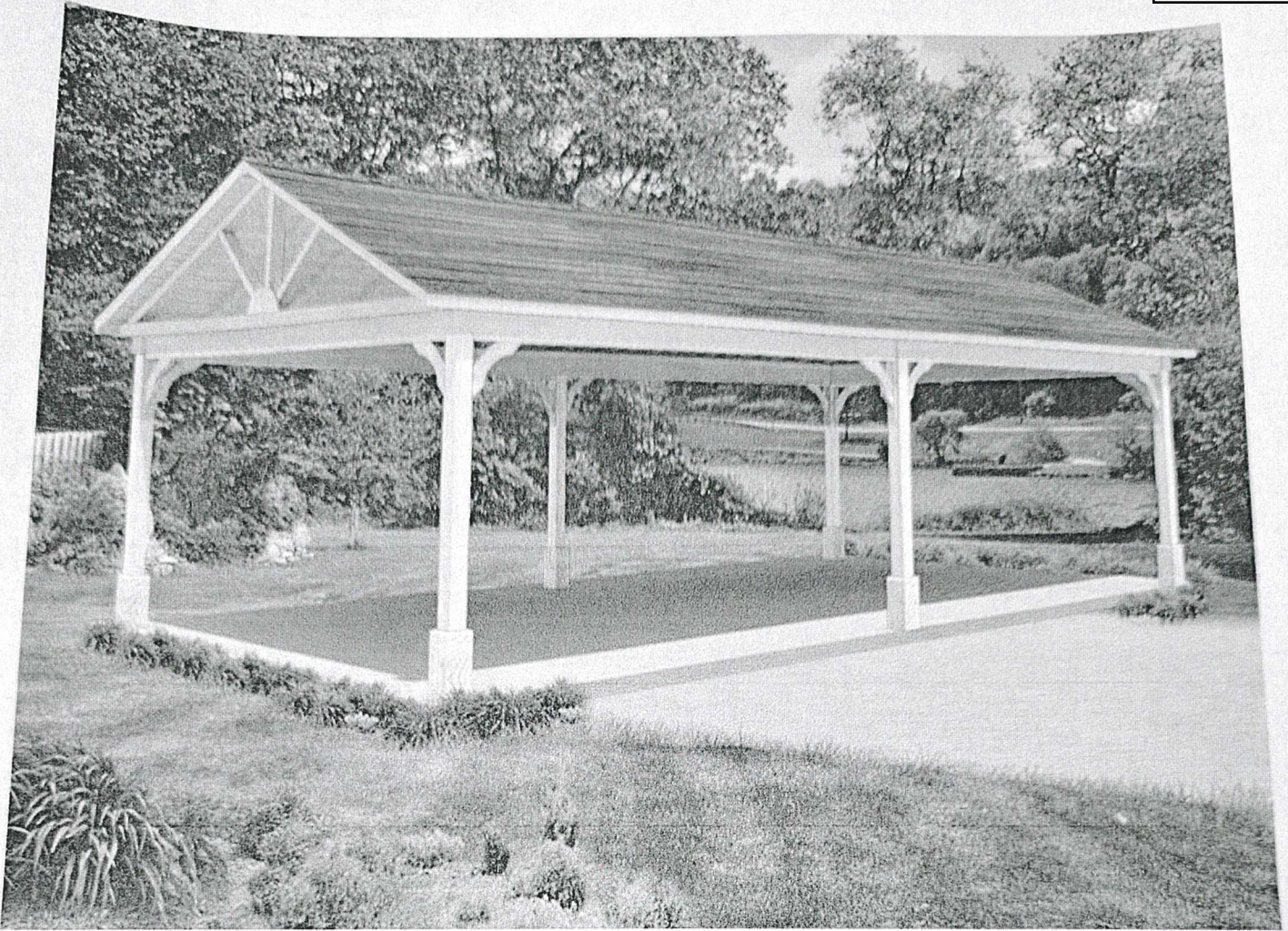
ATTACHMENTS:

- Application materials

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It





Have questions about this feature? Call 1-888-293-2339 Mon-Fri: 8AM-7PM | Sat: 10AM-3PM EST

[Print](#) [Close](#)

diamond pier footings
treated
Pine 6x6 posts

4/12 pitch roof trusses 2' O.C.

Aluminum soffit & fascia

Trego
ARCHITECTS

PROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 1

PAVILLION STRUCTURE FOR
SCHURZ ELEMENTARY
1508 NEENAH ST.
WATERTOWN, WI 53094

SHEET LIST

- | | |
|---|-----------------------------|
| 1 | TITLE |
| 2 | LOADS, PLAN |
| 3 | BEAMS, COLUMNS, FOUNDATIONS |
| 4 | FORTE, TRUSS LOADS |
| 5 | FORTE, BEAM DESIGN |
| 6 | DIAMOND PIER CHART |



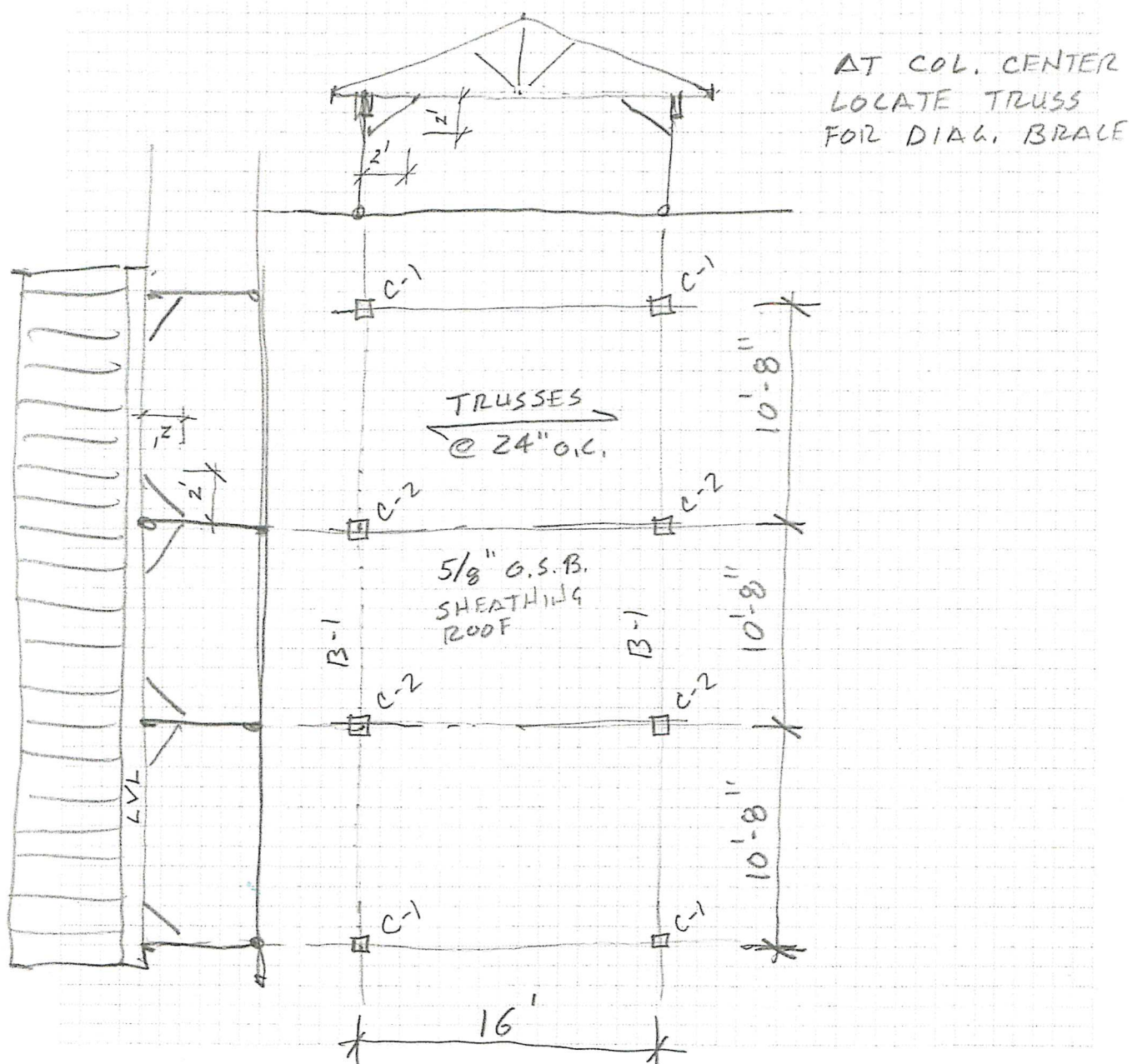
M.P. Trego
8-16-2023

Trego
ARCHITECTS

PROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 2

LOADS

ROOF DEAD LOAD	15 PSF
ROOF BASIC SNOW	30 PSF
WIND UPLIFT	20 PSF



Trego
ARCHITECTSPROJECT: PAVILLION
PROJECT NO.: 2023-118
DATE: 8-16-2023
INITIALS: MPT PAGE NO.: 3B-1 $L = 10'-8"$ (MULTI-SPAN)USE (2) $7\frac{1}{4}"$ LVL

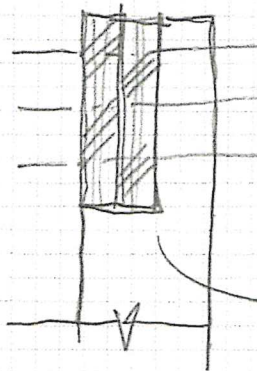
SEE FORTE OUTPUT

C-1 USE 6×6 TREATED $P = 2,904\#$ NET UPLIFT = $426\#$

USE DIAMOND PIER DP-50/50

C-2 USE 6×6 TREATED $P = 5,206\#$ NET UPLIFT = $854\#$

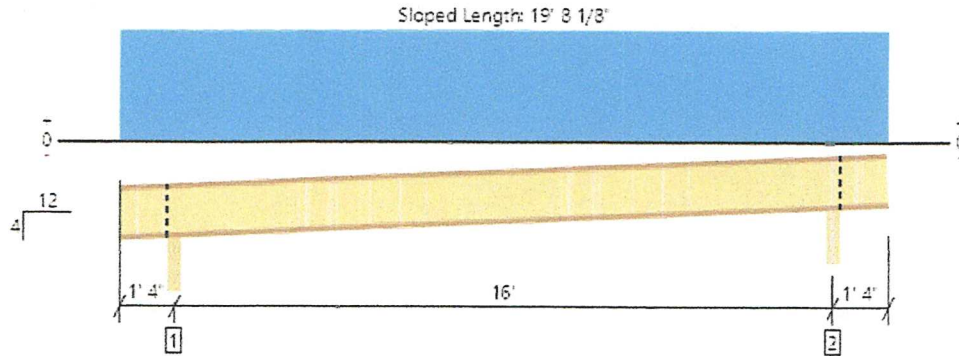
USE DIAMOND PIER DP-75/50"

COLUMN / BEAM CONNECTION(3) STRUCTURAL SCREENS
 $\frac{1}{4}" \times 5"$

OR

(3) $\frac{3}{8}"$ THREADED BOLTS.NOTCH SEAT IN 6×6

ROOF WITH 3 SPACES, Copy of Roof: TRUSS
1 piece(s) 11 7/8" TJI@ 110 @ 16" OC



Sloped Length: 19' 8 1/3"

All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Member Length : 20' 1/16"

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	571 @ 1' 4"	2346 (3.50")	Passed (24%)	1.15	1.0 D + 1.0 S (Adj Spans)
Shear (lbs)	464 @ 1' 5 3/4"	1794	Passed (26%)	1.15	1.0 D + 1.0 S (Adj Spans)
Moment (Ft-lbs)	1918 @ 9' 4"	3634	Passed (53%)	1.15	1.0 D + 1.0 S (Alt Spans)
Live Load Defl. (in)	0.264 @ 9' 4"	0.843	Passed (L/766)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.402 @ 9' 4"	1.124	Passed (L/504)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Joist
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD
Member Pitch : 4/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Beveled Plate - SPF	3.50"	3.50"	3.50"	197	374	571	Blocking
2 - Beveled Plate - SPF	3.50"	3.50"	3.50"	197	374	571	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	4' 1" o/c	
Bottom Edge (Lu)	7' 4" o/c	

- TJI joists are only analyzed using Maximum Allowable bracing solutions.
- Maximum allowable bracing intervals based on applied load.

Vertical Load	Location	Spacing	Dead (0.90)	Snow (1.15)	Comments
1 - Uniform (PSF)	0 to 18' 8"	16"	15.0	30.0	Default Load

Weyerhaeuser Notes

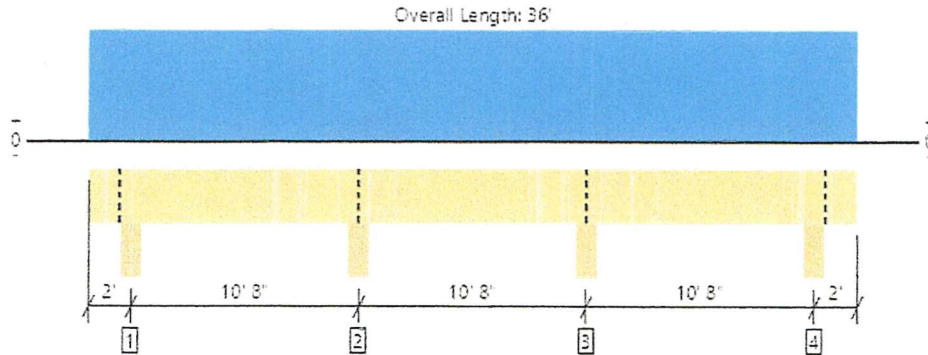
Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Michael Trego Trego Architects, LLC (262) 443-8201 mpt@tregoarchitects.com	



ROOF WITH 3 SPACES, Copy of Roof: Drop Beam
2 piece(s) 1 3/4" x 7 1/4" 2.0E Microllam® LVL



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	5205 @ 12' 8"	13956 (5.50")	Passed (37%)	--	1.0 D + 1.0 S (Adj Spans)
Shear (lbs)	2385 @ 11' 10"	5544	Passed (43%)	1.15	1.0 D + 1.0 S (Adj Spans)
Moment (Ft-lbs)	-5123 @ 12' 8"	8182	Passed (63%)	1.15	1.0 D + 1.0 S (Adj Spans)
Live Load Defl. (in)	0.242 @ 6' 11 15/16"	0.533	Passed (L/529)	--	1.0 D + 1.0 S (Alt Spans)
Total Load Defl. (in)	0.345 @ 29' 11/16"	0.711	Passed (L/371)	--	1.0 D + 1.0 S (Alt Spans)

System : Roof
Member Type : Drop Beam
Building Use : Residential
Building Code : IBC 2015
Design Methodology : ASD
Member Pitch : 0/12

- Deflection criteria: LL (L/240) and TL (L/180).
- Overhang deflection criteria: LL (2L/240) and TL (2L/180).
- Allowed moment does not reflect the adjustment for the beam stability factor.

Supports	Bearing Length			Loads to Supports (lbs)			Accessories
	Total	Available	Required	Dead	Snow	Total	
1 - Column - SPF	5.50"	5.50"	1.50"	1007	1897	2904	Blocking
2 - Column - SPF	5.50"	5.50"	2.05"	1786	3420	5206	Blocking
3 - Column - SPF	5.50"	5.50"	2.05"	1786	3420	5206	Blocking
4 - Column - SPF	5.50"	5.50"	1.50"	1007	1897	2904	Blocking

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Lu)	22' 7" o/c	
Bottom Edge (Lu)	17' 1" o/c	

•Maximum allowable bracing intervals based on applied load.

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 36'	N/A	7.4	--	
1 - Uniform (PLF)	0 to 36' (Front)	N/A	147.8	280.5	Linked from: Copy of Roof: TRUSS, Support 1

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to www.weyerhaeuser.com/woodproducts/document-library.

The product application, input design loads, dimensions and support information have been provided by ForteWEB Software Operator

ForteWEB Software Operator	Job Notes
Michael Trego Trego Architects, LLC (262) 443-8201 mpt@tregocarchitects.com	



6

DiamondPier®

FOUNDATION SYSTEM

RESIDENTIAL DIAMOND PIER LOAD CHART

IAS-Accredited Third-Party Bearing, Uplift, and Lateral Field Tests²

Minimum 1500 psf

Silts/Clays (CL, ML, MH, CH)³

Model / Pin No. / Length	Bearing Load Capacity	□ Equivalent Base Area	○ Cylinder Comparison	⊗ Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	2700#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 3000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	3300#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 3750#	2.5 sf	21" dia	48"	* 1400#	* 600#
DP-75/63"	4200#	2.8 sf	22" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings

Minimum 2000 psf

Sands/Gravels (SW, SP, SM, SC, GM, GC)³

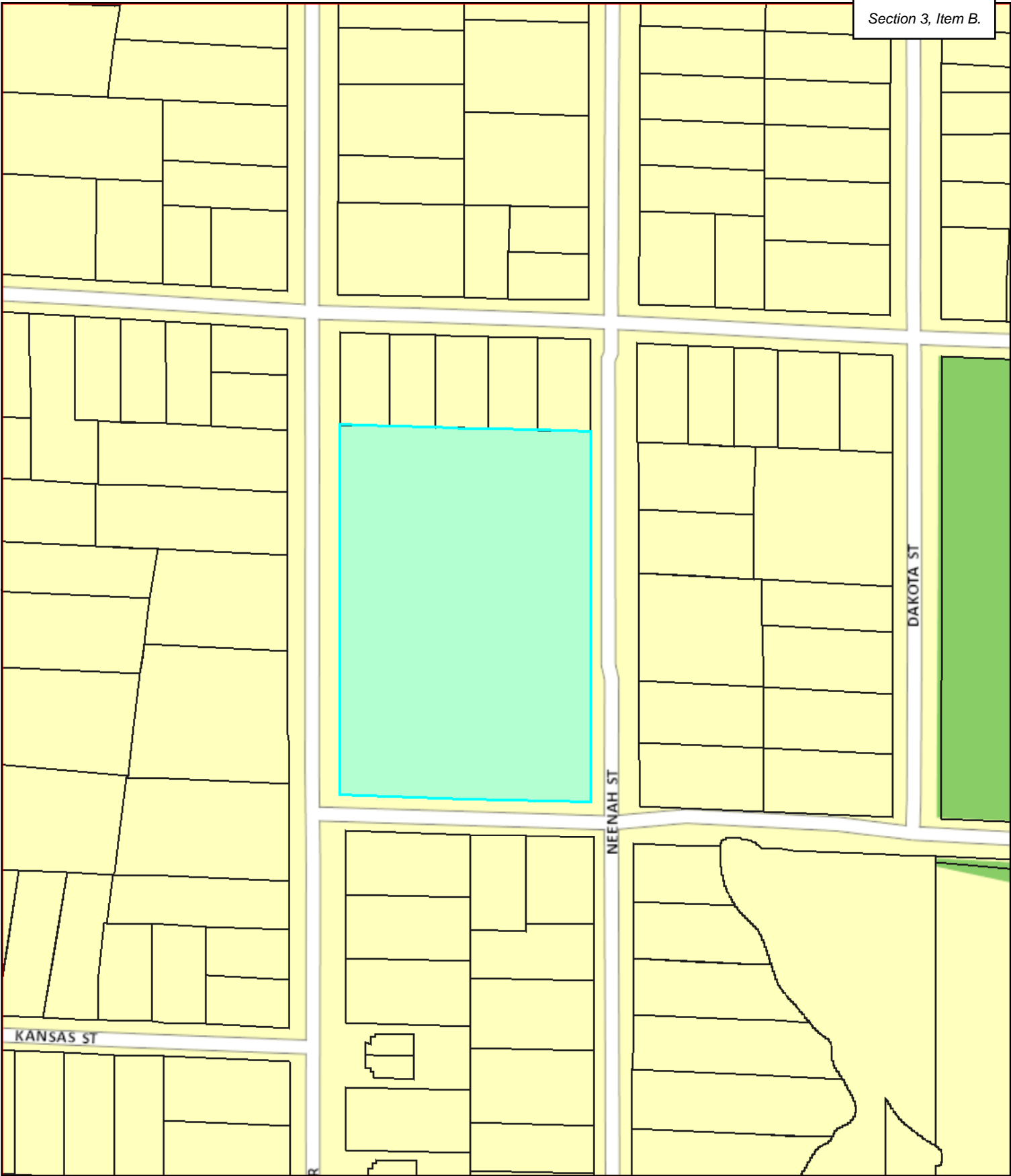
Model / Pin No. / Length	Bearing Load Capacity	□ Equivalent Base Area	○ Cylinder Comparison	⊗ Frost Zone	Uplift Load Capacity	Lateral Load Capacity
DP-50/36"	3600#	1.8 sf	18" dia	24"	600#	600#
DP-50/42"	* 4000#	2.0 sf	19" dia	36"	* 900#	* 600#
DP-50/50"	4400#	2.2 sf	20" dia	48"	1200#	600#
DP-75/50"	* 5600#	2.8 sf	22" dia	48"	* 1400#	* 600#
DP-75/63"	6400#	3.2 sf	24" dia	60"	1600#	600#

Equivalency to Traditional Concrete Footings

*Interpolated from field test values.

Notes:

1. This load chart is intended for simple structures supported by columns, posts, and beams loaded up to, but not exceeding, the stated capacities. It is not intended for structures with asymmetrical, rotational, overturning, or dynamic forces. Intended uses are described in section 2.0 of ICC-ES prescriptive bearing evaluation report ESR-1895. For projects that exceed the capacities or limitations defined herein, or the intended uses described in ESR-1895, contact PFI for additional information or site-specific capacity evaluation. See also the [Use and Applications](http://www.diamondpiers.com) download at www.diamondpiers.com.
2. Capacities shown are tested to a Factor of Safety of 2, and are applicable in properly drained, normal sound soils only, with minimum soil bearing capacities as indicated. Copies of the field test reports are available from PFI upon request.
3. See IRC Table R401.4.1, "Presumptive Load-Bearing Values of Foundation Materials," for a full description of applicable 1500 psf and 2000 psf soil types. For soils below 1500 psf, or soils with unknown characteristics, additional site and design analysis is required. For soils above 2000 psf, the values in this chart shall apply.
4. All capacities use four pins of the specified length per foundation. Pin length includes that portion of the pin embedded within the concrete head. See "Check Your Layout" in the Diamond Pier Installation Manual for more information on pin/pier layout and spacing restrictions.
5. For professional engineers designing for short-term transient loads, contact PFI for further information.



Parcels

Override 1

Parcels

City Limits

THE CITY OF WATERTOWN
Opportunity runs through it.

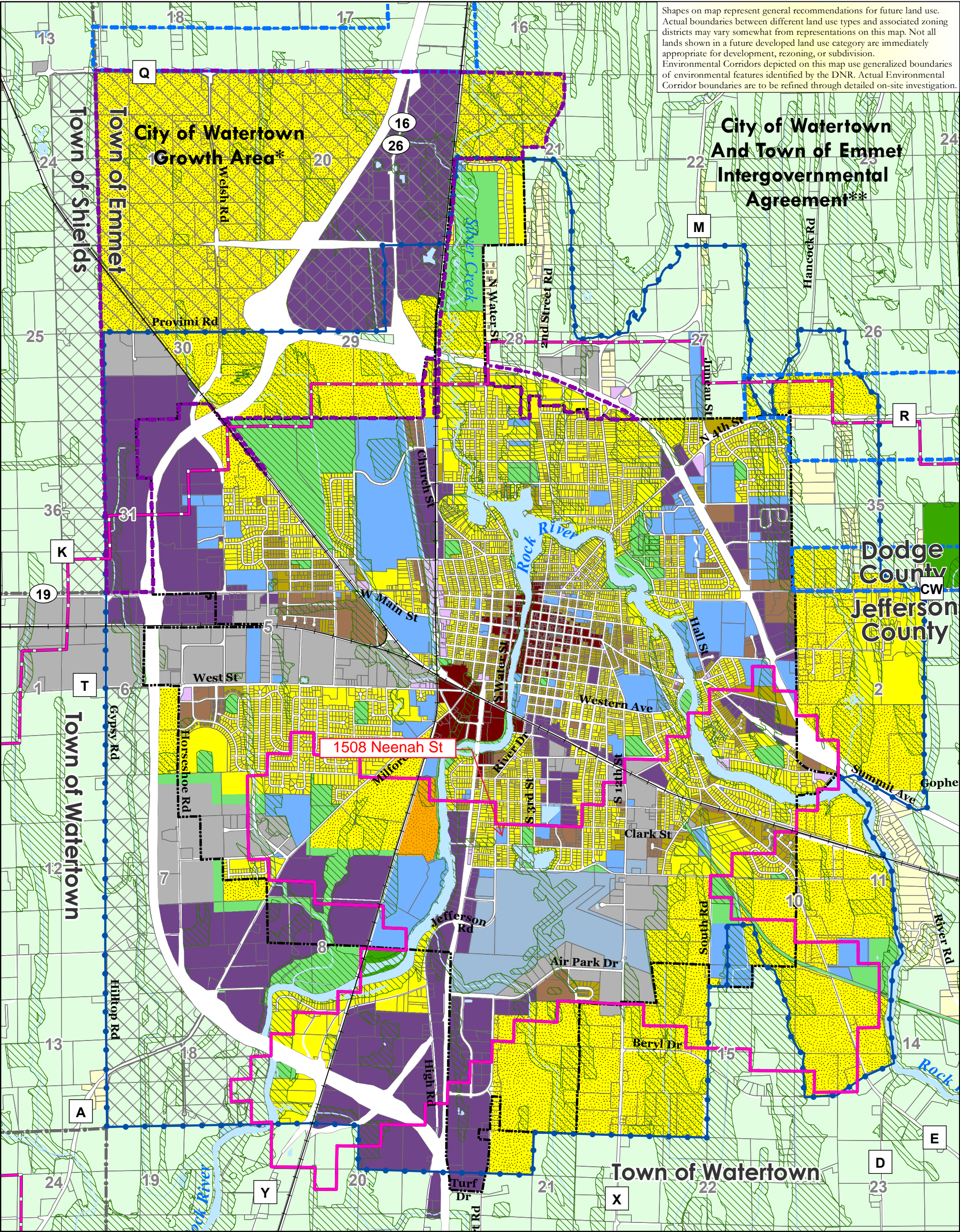
City of Watertown Geographic Information System

Scale: 1 inch = 170 feet
SCALE BAR = 1"

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Printed on: August 3, 2023
Author: Private Use

18



Future Land Use Urban Area

Map 6b

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

Rights-of-Way

- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

City/Town IGA**

- City Growth Area
- City Periphery Areas

***Each "Planned Mixed Use Area" may include mix of:**

- Office
- Multi-Family Residential
- Mixed Industrial
- Commercial Services/Retail
- Institutional
- Parks & Recreation

****Planned Neighborhoods" should include a mix of the following:**

- Single-Family - Sewered (predominant land use)
- Two-family Residential
- Multi-Family Residential
- Institutional
- Neighborhood Mixed Use
- Parks & Recreation

*****Each "Riverside Mixed Use Area" may include mix of:**

- Office
- Single-Family - Sewered
- Two-Family Residential
- Multi-Family Residential
- Commercial Services/Retail
- Institutional
- Parks & Recreation

City of Watertown

Town Boundary

Parcel

Railroad

Watertown Urban Service Area

Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019

Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

THE CITY OF WATERTOWN
Opportunity runs through it.

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change

Scale: 0 0.25 0.5 1 Miles

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: September 11th, 2023
SUBJECT: 614 Milford St - Site Plan Review and Approval

Site Plan Review requested by Dave Egan, Agent for the St. Bernard Cemetery Association, for a garage on property located at 614 Milford St, Watertown WI. Parcel PIN: 291-0815-0541-025.

SITE DETAILS:

Acres: 1.29
Current Zoning: Single-Family Residential
Existing Land Use: Cemetery
Future Land Use Designation: Single-Family Residential

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing an approximately 1,041 sq. ft. garage for cemetery maintenance. This garage will replace some existing storage buildings that will be razed.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the SR-4 Single-Family Residential zoning district 'Outdoor Institutional' land uses allow for a garage or shed as an accessory land use permitted by right. 'Outdoor Institutional' land uses include public and private cemeteries. *[per § 550-51D]*

Site Layout and Design:

The proposed garage meets all building and pavement setbacks, as well as, the maximum building height limits for accessory structures in the Single-Family Residential zoning district.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:

ATTACHMENTS:

- Application materials

200 ft
962 ft elevation

RREF HB-
WI WCH
LLC

ST BERNARDS
CEMETERY
INC

SILT FENCE

PROPOSED 1,040 SF
GROUNDS GARAGE

NEW ELEC SERVICE LOCATION.

EXISTING ELEC SERVICE
LOCATION. EXTEND TO
NEW BUILDING. BORE
UNDER DRIVE.

DEMO TWO (2) EXISTING
STORAGE BUILDINGS.

FAITH
EVANGELICAL
LUTHERAN
CHURCH

WALL,
LARRY J

Oakwood Ln



SITE PLAN
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023 NO SCALE

Section 3, Item C.

DOOR TYPES



①

3'-0" x 6'-8" 3-PANEL MISSION
DECORATIVE GLASS PANEL
INSWING
JAMB EXTENSIONS



②

3'-0" x 6'-8" 6-PANEL
INSWING
JAMB EXTENSIONS



③

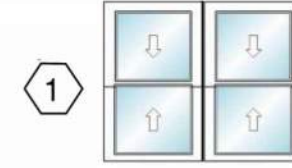
3'-0" x 6'-8" 6-PANEL
OUTSWING
JAMB EXTENSIONS



④

9'-0" x 7'-0" PANEL OHD
R-12.9 INSUL
INSUL. GLASS w/ GRILLES

WINDOW TYPES



1

VINYL DOUBLE-HUNG
5'-0" x 4'-0" R.O.
BRICKMOLD w/ NAIL FLANGE
LOW-E INSUL GLASS
JAMB EXTENSIONS



2

VINYL DIRECT SET
5'-0" x 1'-6" R.O.
BRICKMOLD w/ NAIL FLANGE
LOW-E INSUL GLASS w/ GRILLE
JAMB EXTENSIONS

WALL TYPES



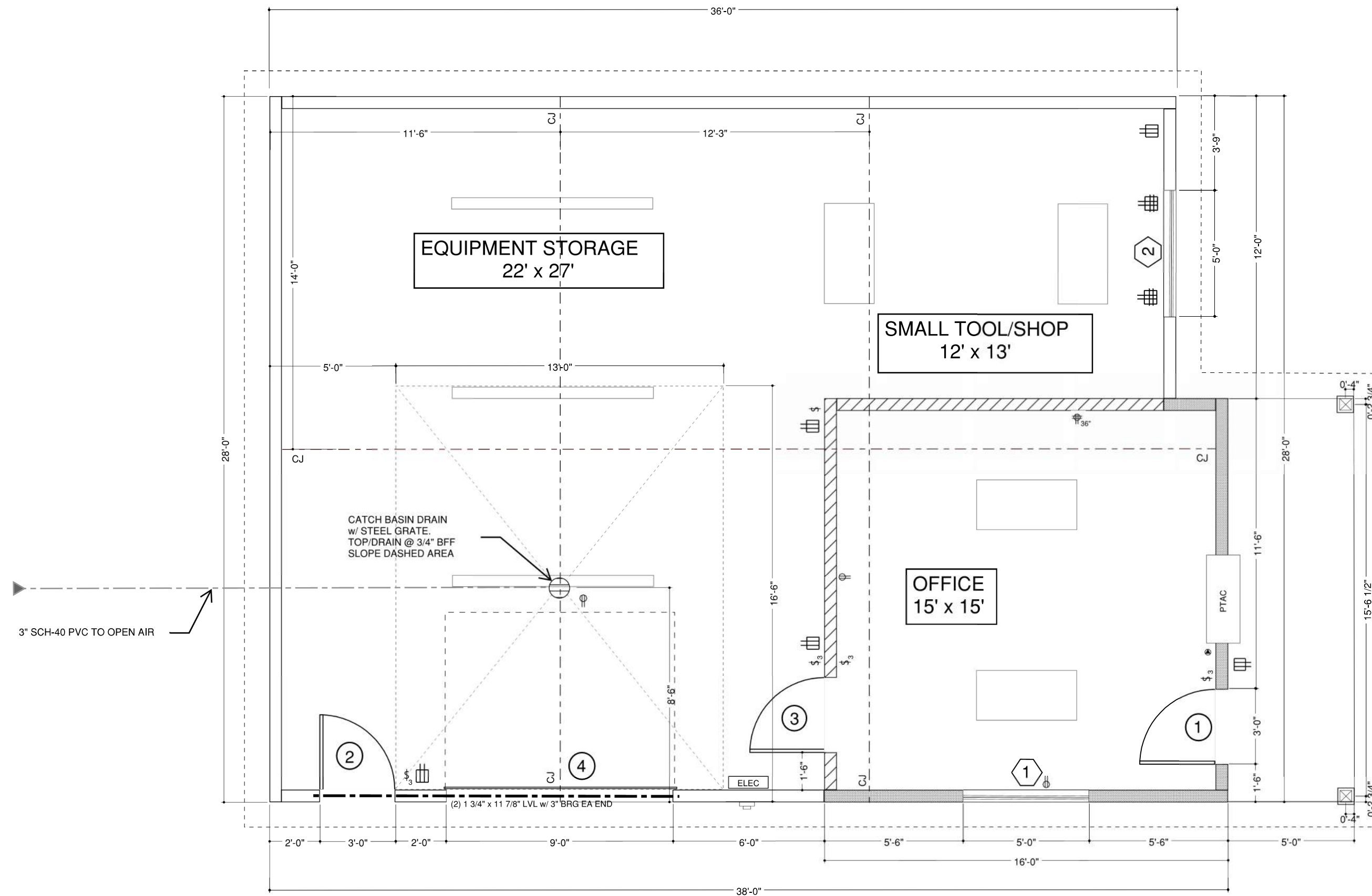
2x6 @ 16" O.C. w/ 1/2" OSB & AIR BARRIER
@ EXT SIDE



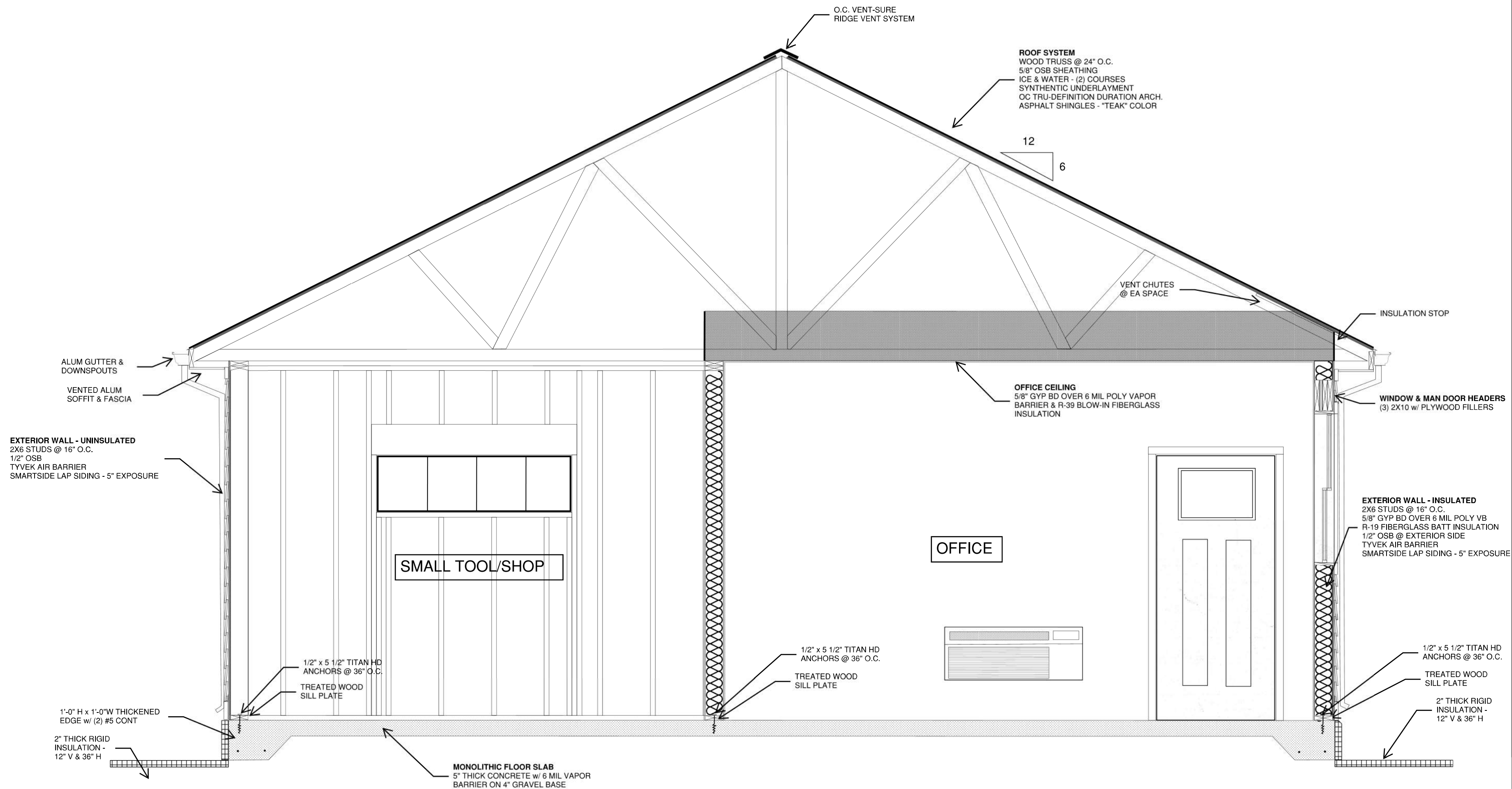
2x6 @ 16" O.C. w/ 1/2" OSB & AIR BARRIER
@ EXT SIDE; 6" BATT INSUL, 6 MIL VAPOR
BARRIER & 5/8" GYP BD @ INT SIDE



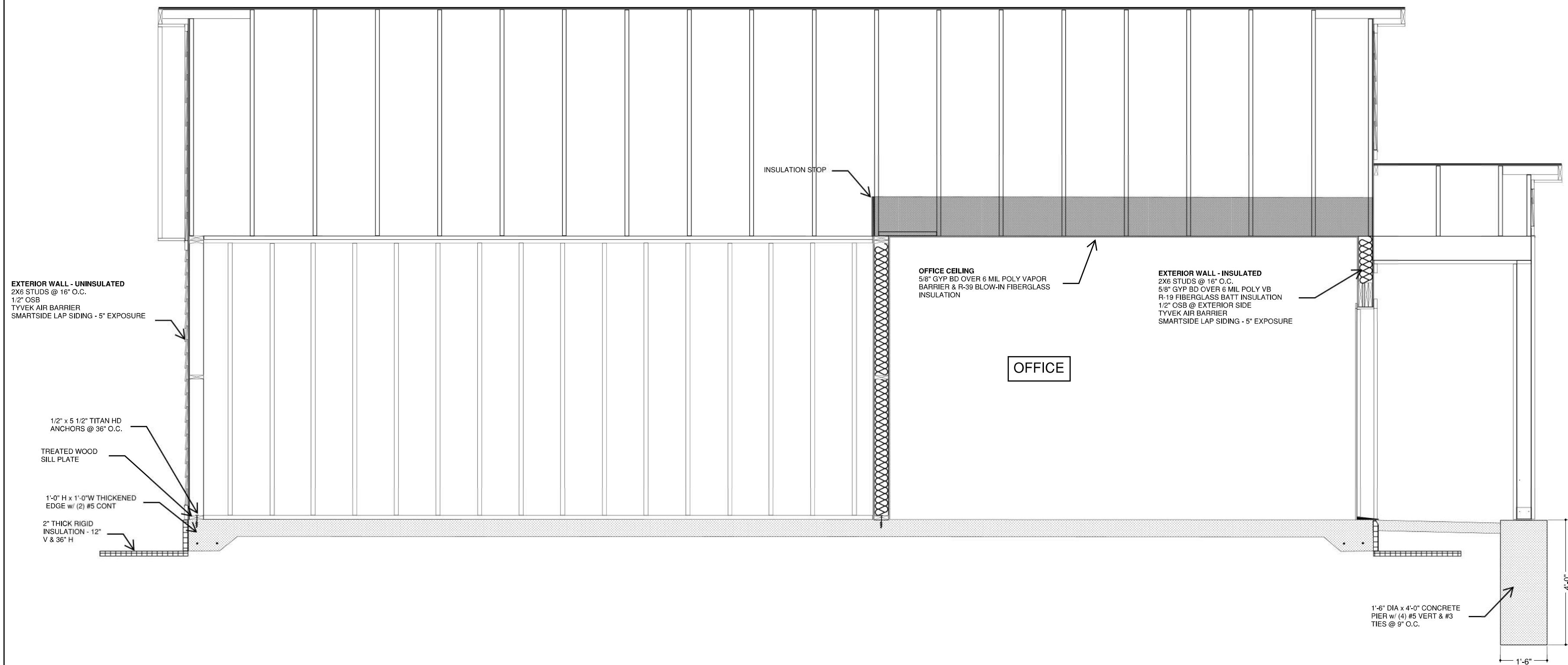
2x6 @ 16" O.C. w/ 5/8" GYP BD BOTH
SIDES, 6" BATT INSUL & 6 MIL VAPOR
BARRIER @ OFFICE SIDE



FLOOR PLAN
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023 1/4"=1'-0"



CROSS SECTION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"



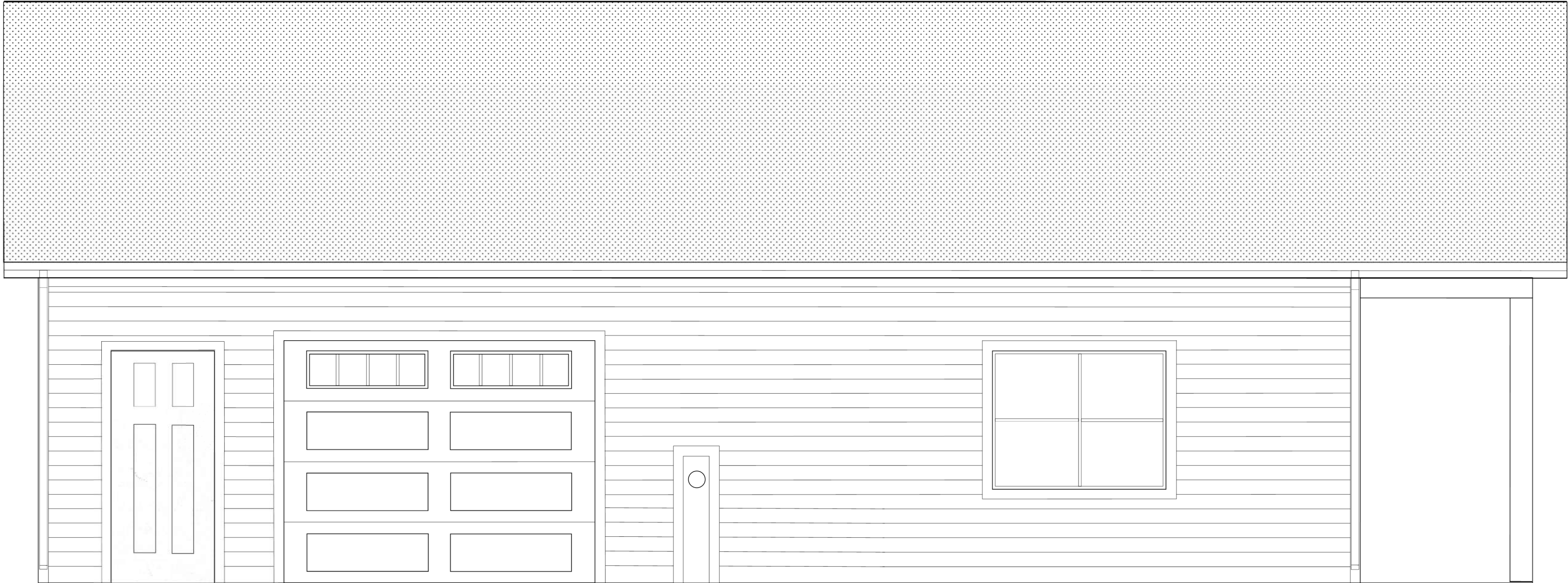
CROSS SECTION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

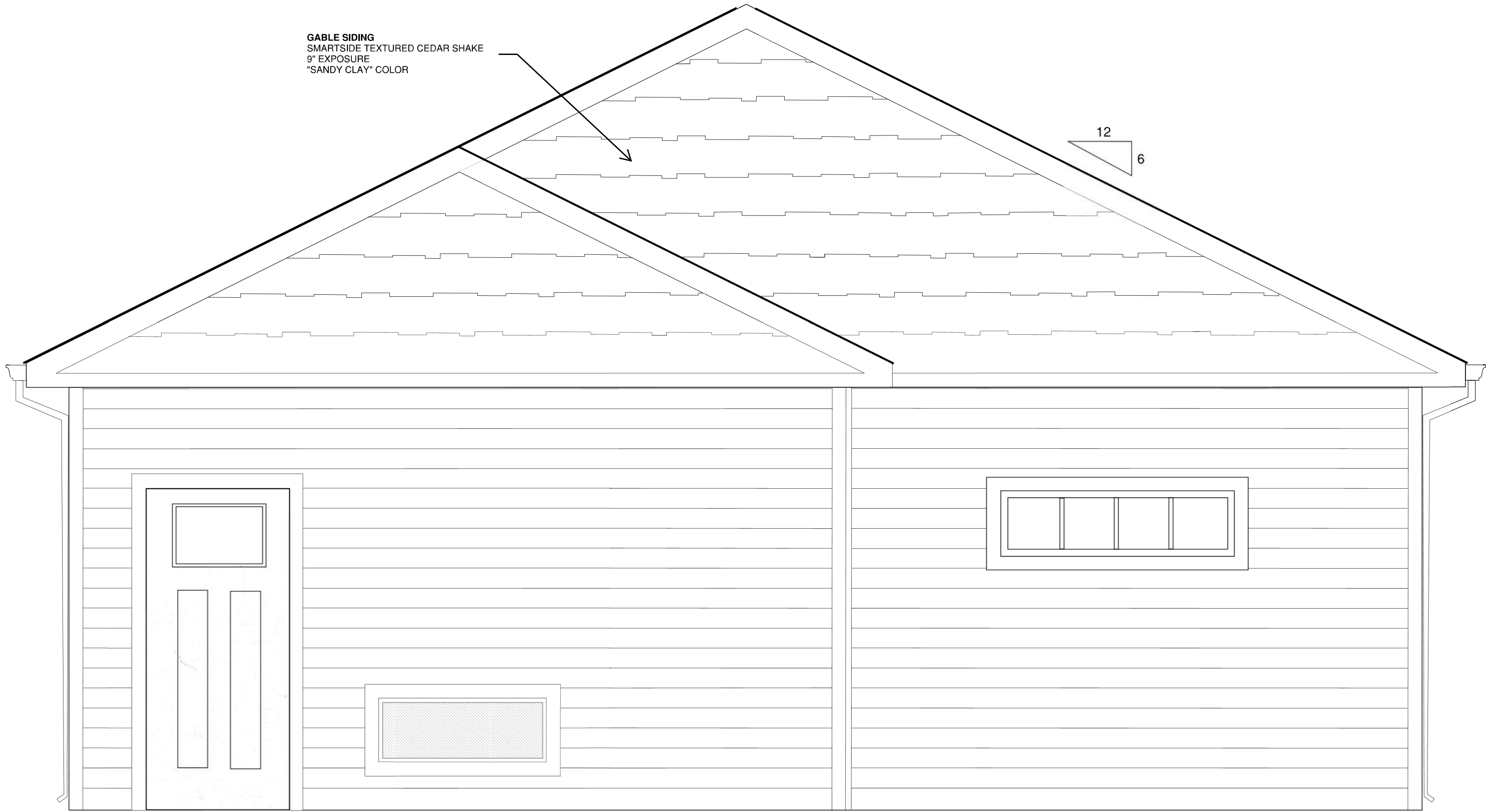
NORTH ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

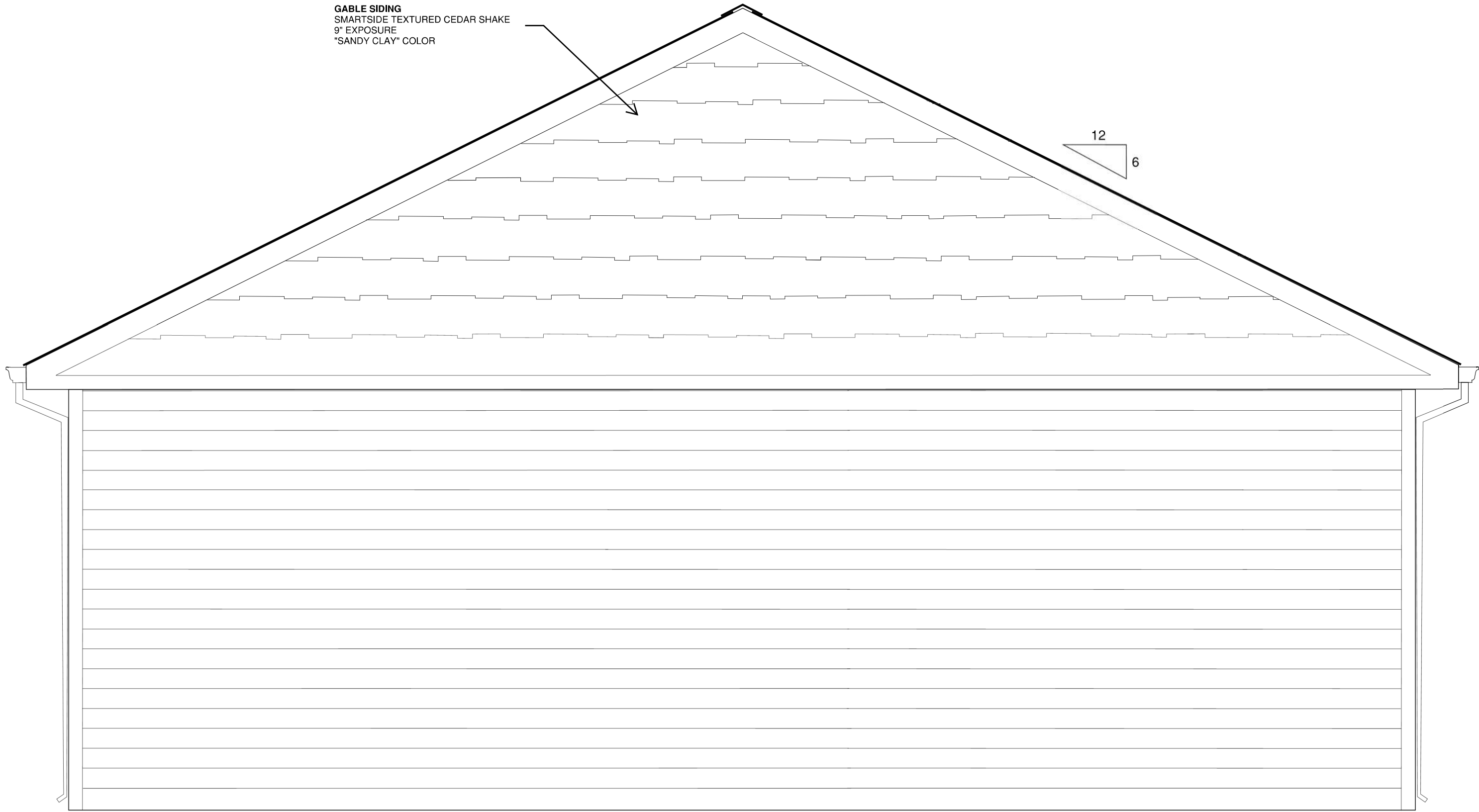
SOUTH ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
3/8"=1'-0"



SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

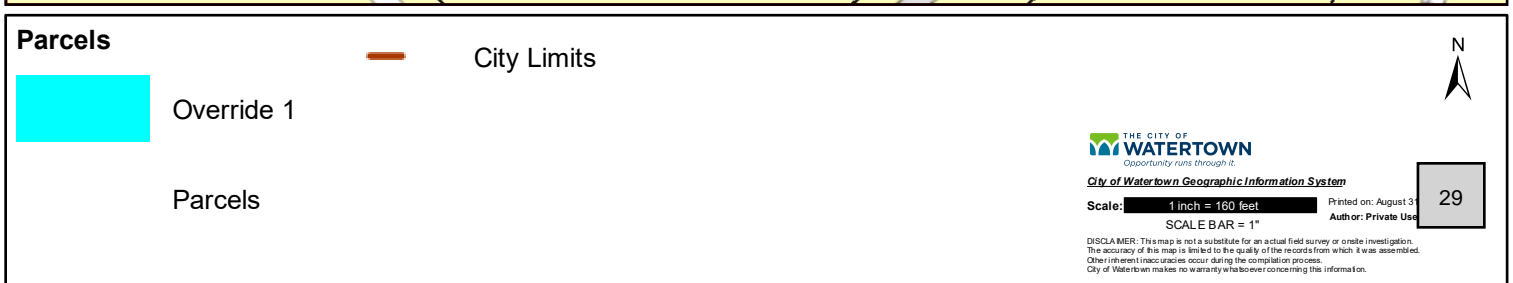
EAST ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"

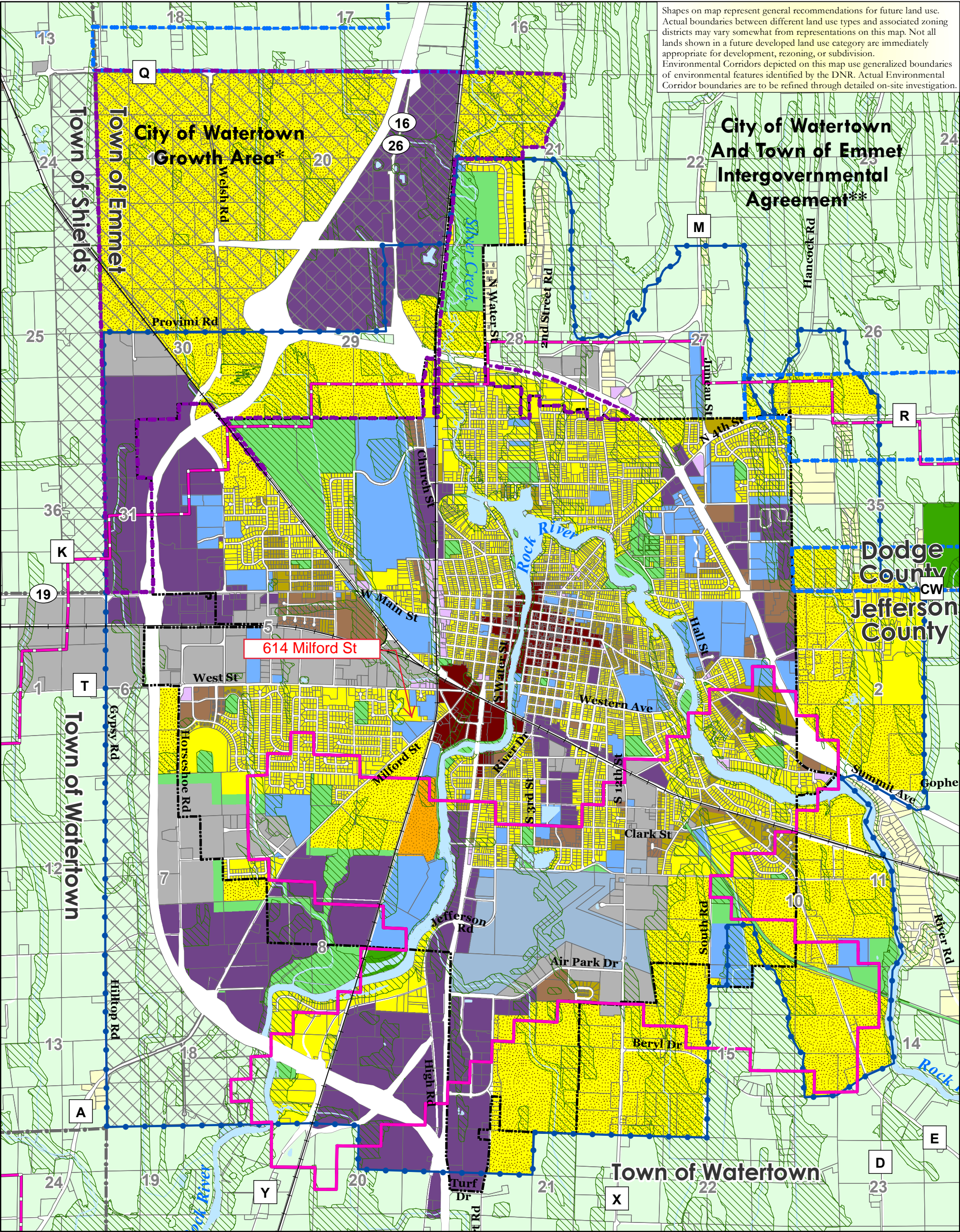


SIDING & TRIM
SMARTSIDE LAP SIDING - 5" EXPOSURE
- "SANDY CLAY" SIDING COLOR

SMARTSIDE TRIM BOARDS
- "SMOKY SABLE" TRIM COLOR
5/4 x 4" TRIM @ CORNERS, CASING & FRIEZE
5/4 x 6" TRIM @ BASE
5/4 x 8" TRIM @ POSTS

WEST ELEVATION
GARAGE/OFFICE
ST. BERNARD CEMETERY
AUGUST 7, 2023
1/2"=1'-0"





Future Land Use Urban Area

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

Map 6b

City/Town IGA**

- City Growth Area
- City Periphery Areas

Rights-of-Way

- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

City of Watertown

- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

City of Watertown

THE CITY OF
WATERTOWN
Opportunity runs through it.

VADEWALLE & ASSOCIATES INC.
Shaping places, shaping change

Legend

Each "Planned Mixed Use Area" may include mix of:

- Office
- Multi-Family Residential
- Mixed Industrial
- Commercial Services/Retail
- Institutional
- Parks & Recreation

****Planned Neighborhoods" should include a mix of the following:**

- Single-Family - Sewered (predominant land use)
- Two-Family Residential
- Multi-Family Residential
- Institutional
- Neighborhood Mixed Use
- Parks & Recreation

*****Each "Riverside Mixed Use Area" may include mix of:**

- Office
- Single-Family - Sewered
- Two-Family Residential
- Multi-Family Residential
- Commercial Services/Retail
- Institutional
- Parks & Recreation

Scale: 0 0.25 0.5 1 Miles