



PLAN COMMISSION MEETING AGENDA

MONDAY, AUGUST 10, 2026 AT 4:30 PM

106 JONES STREET, WATERTOWN, WI 53094 - LOWER LEVEL ROOM 0008

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Plan Commission minutes dated July 27, 2026

3. BUSINESS

A. Review and take action: 600 Commerce Drive (PIN 291-0815-0823-005) – Site Review for a Multi-Tenant Light Industrial Building

B. Review and take action: 1507 S. Tenth Street Certified Survey Map (CSM)

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

PLAN COMMISSION MINUTES
July 27th, 2026

Section 2, Item A.

The Plan Commission met in the Council Chambers with the following members present: Mayor Robert Stocks, Alderperson Ken Berg, Nick Krueger, Tom Levi, Joe Dittmann, City Engineer Andrew Beyer, Zoning Administrator Brian Zirbes.

Others in attendance: Giles Isham, Robert & Cassandra Gensch, Sonya Kreusel of Vandewalle Assoc.

1. CALL TO ORDER

Mayor called the meeting to order at 4:35pm

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated July 13, 2026

B. Review and take action: Plan Commission minutes dated July 13, 2026

A motion was made by Krueger and seconded by Levi to approve the minutes for the above minutes as written, which was passed unanimously.

3. BUSINESS

A. Public Hearing: 513 Autumn Crest Drive request for a Conditional Use Permit (CUP) for an accessory structure exceeding a total of 1,000 square feet under Section §550-56C(1)(b)[1] and an exception to allowed exterior building materials under Exterior Construction Material Standards Section §550-121F

No comments from the public heard.

B. Review and take action: 513 Autumn Crest Drive request for a Conditional Use Permit (CUP) for an accessory structure exceeding a total of 1,000 square feet under Section §550-56C(1)(b)[1] and an exception to allowed exterior building materials under Exterior Construction Material Standards Section §550-121F

Brian stated that the applicant was requesting two Conditional Use Permits be granted so he could the construction of a new 768 sq ft shed. He has an existing 502 and a 250 shed but proposes to tear down the 250 sq ft shed resulting in 1270 sq ft of accessory structures on his property. Being that his total sq footage is over 1,000 sq ft he needs a CUP to move forward. His parcel of land is 15,762 sq ft. He also wants to use exterior construction materials that are viewed as lower quality. City code requires a CUP if materials do not comply with standards set forth where visibility & exposure of shed is important. Corrugated steel is allowed under Chapter 550, Article XI. Krueger moved to approve the sq footage & building materials proposed, seconded by Berg approved unanimously.

C. Review & take action: W2812 East Gate Dr Extraterritorial Certified Survey Map (ET CSM)

Brian stated applicant wanted to create a two lot CSM within the city's 3-mile extraterritorial review jurisdiction. Lot 1 would be 10.194 acres and Lot 2 would be 10.193 acres for Lindstrom Equipment and their new dealership and repair center. Berg asked if anyone was online for comment. Austin from River Valley Architects did say he was working with Lindstrom Equipment on new building design. He also said they hoped to begin construction in October and finish sometime in April. It is within the Airport Approach Protection Zone so maximum height cannot exceed 972 ft above sea level. In addition, they propose to use East Gate Dr for exit & entry. This road is not identified in the 2019 Watertown Comprehensive Plan for an expanded ROW. Beyer moved to approve the CSM with condition the signature page include city extraterritorial jurisdiction language & signature lines, plus note on maximum height of structures not exceed 972 ft above sea level. This motion was seconded by Krueger and approved unanimously.

- D. Review and Discuss Zoning Map – Vandewalle** Sonya reminded members she is a consultant working with the city on a full zoning rewrite, from when the existing code was originally adopted in or around 2002. This rewrite will probably go for up to 18 months and replace existing zoning districts. Current SR4 zoning has a minimum of 8,000 sq ft for single family but does that satisfy the options for development in single family zoning districts? She stated their goal is to preserve existing land uses where possible using zoning classifications. Sonya said Vandewalle will go through every parcel in city with spot checking for consistency with our Comprehensive Land Use Plan. Every parcel will be color coded. For instance, RH Rural Holding will be titled Agricultural. All parks are called PNR, Park & Recreation. Healthcare & medical will be called Planned Office and Institutional, which will include wide variety of uses. City owned, public entity owned, utility and religious land uses are all institutional. All public, private schools are included in this category. She noted single family will have different levels from SF1 to SF3 with SF1 having bigger lots vs SF3 for smaller lot sizes. Sonya pointed out corridor mixed use areas within city will have some residential and commercial land uses allowed. With industrial zoning, we now have 3 types but that will change to light and heavy. She pointed out upzoning vs downzoning, with upzoning allowing greater density of land use.

Alderson Berg commented on his involvement years ago when Belinski Homes was pushing Smart Growth development with narrow streets, small lots and heavy density of housing which our City Council back then opposed and prevented from happening. He stressed value of green space vs trend to have high percentage of housing structure, garage & parking lot/driveway in relation to land parcel size. He used Oconomowoc where some lots have up to 80% of lot for building, garage and driveway and as low as 20% green space. Not good idea he felt. At the same time, Berg stressed we need to accommodate affordable housing in some way with our zoning categories, not necessarily meaning subsidized but more affordable housing for persons with moderate, average incomes.

4. ADJOURNMENT

A motion to adjourn at 5:27pm was made by Levi, seconded by Beyer, and approved unanimously.

Respectfully submitted, Alderson Ken Berg

All materials discussed at this meeting can be found at: https://files-backend.assets.thrillshare.com/documents/asset/uploaded_file/5330/Cow/9a5dc115-3fcf-4db3-bd25-810f456f715c/July-27%2C-2026-Plan-Commission-Meeting-Packet.pdf?disposition=inline

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: August 10th, 2026
SUBJECT: 600 Commerce Dr - Site Plan Review

Site Plan Review requested by Max Clouse, for a light industrial building. Parcel PIN(s): 291-0815-0823-005

SITE DETAILS:

Acres: 1.17 acres
Current Zoning: General Industrial (GI)
Existing Land Use: Vacant
Future Land Use Designation: Mixed Industrial

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to construct a multi-tenant light industrial building to be rented out by the applicant to businesses in need of a light industrial space. The building will be 7,040 sq ft in area with 15 units.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the General Industrial (GI) Zoning District 'Light Industrial' is a principal land use permitted by right. 'Light Industrial' land uses are uses conducted entirely within an enclosed building; are not potentially associated with nuisances such as odor, noise, heat, vibration and radiation which are detectable at the property line; and do not pose a significant safety hazard. [per § 550-55A]

Regulations for 'Light Industrial' include:

- All activities, except loading and unloading, shall be conducted entirely within the confines of a building.
- Parking requirements. One space per each employee on the largest work shift.

Site Layout and Design:

Within the General Industrial (GI) Zoning District the minimum paved surface setback is five feet from side or rear lot lines and ten feet from street lot lines [per § 550-36G(2)(e)]. The proposed light industrial building meets the pavement setbacks for the General Industrial (GI) Zoning District. The proposed building meets all required setbacks in the General Industrial (GI) Zoning District.

Vehicle Access and Circulation

The proposed driveway and parking stall meet aisle width and parking stall dimension requirements specified in the Off-Street Parking and Traffic Circulation Standards [per § 550-107F]. The 18 proposed parking stalls meet the 'Light Industrial' parking requirements.

Landscaping:

Within the General Industrial (GI) Zoning District the minimum landscape surface ratio (LSR) is 15%. The applicant has provided a landscaping plan with a landscape surface ratio (LSR) of 41% exceeding the landscaping requirements for the General Industrial (GI) Zoning District. The provided landscaping plan also meets or exceeds all required landscaping point total requirements for the General Industrial (GI) Zoning District.

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

Lighting:

The lighting for the proposed building will utilize eight wall lights, three each on the front and rear of the building and one on each side of the building. The applicant has submitted a photometric plan that meets ordinance illumination standards [per§ 550-110].

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:
 - a) Applicant shall obtain any required erosion control and stormwater permits.

STAFF RECOMENDATION:

- Staff recommends approval of this Site Plan with conditions.

ATTACHMENTS:

- Application materials.



CITY OF WATERTOWN, WISCONSIN

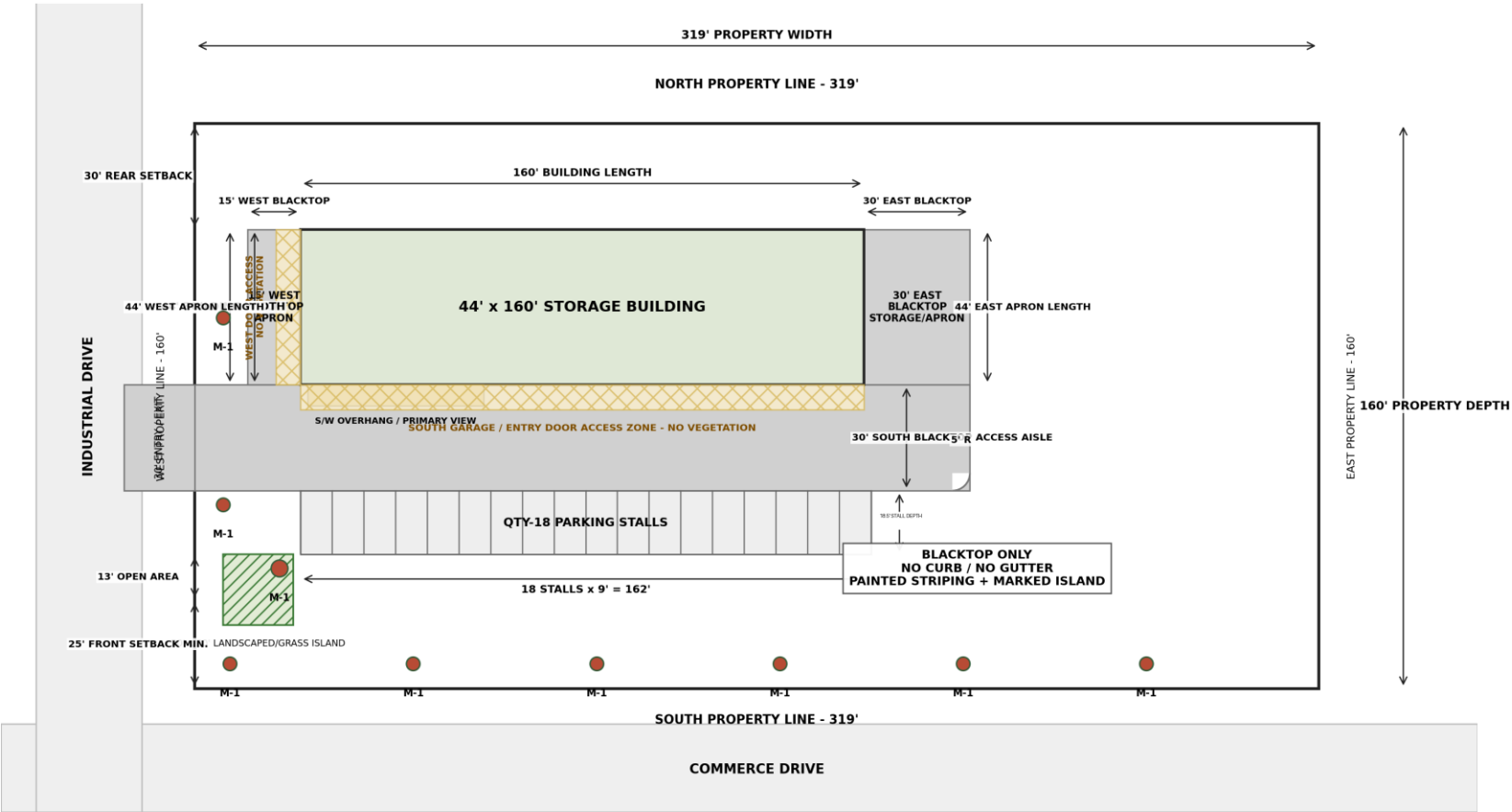
Site & Building Plan Review

600 Commerce Drive

Lighting • Landscaping • Site Layout • Building Exhibits

Prepared by Max Clouse for the City of Watertown

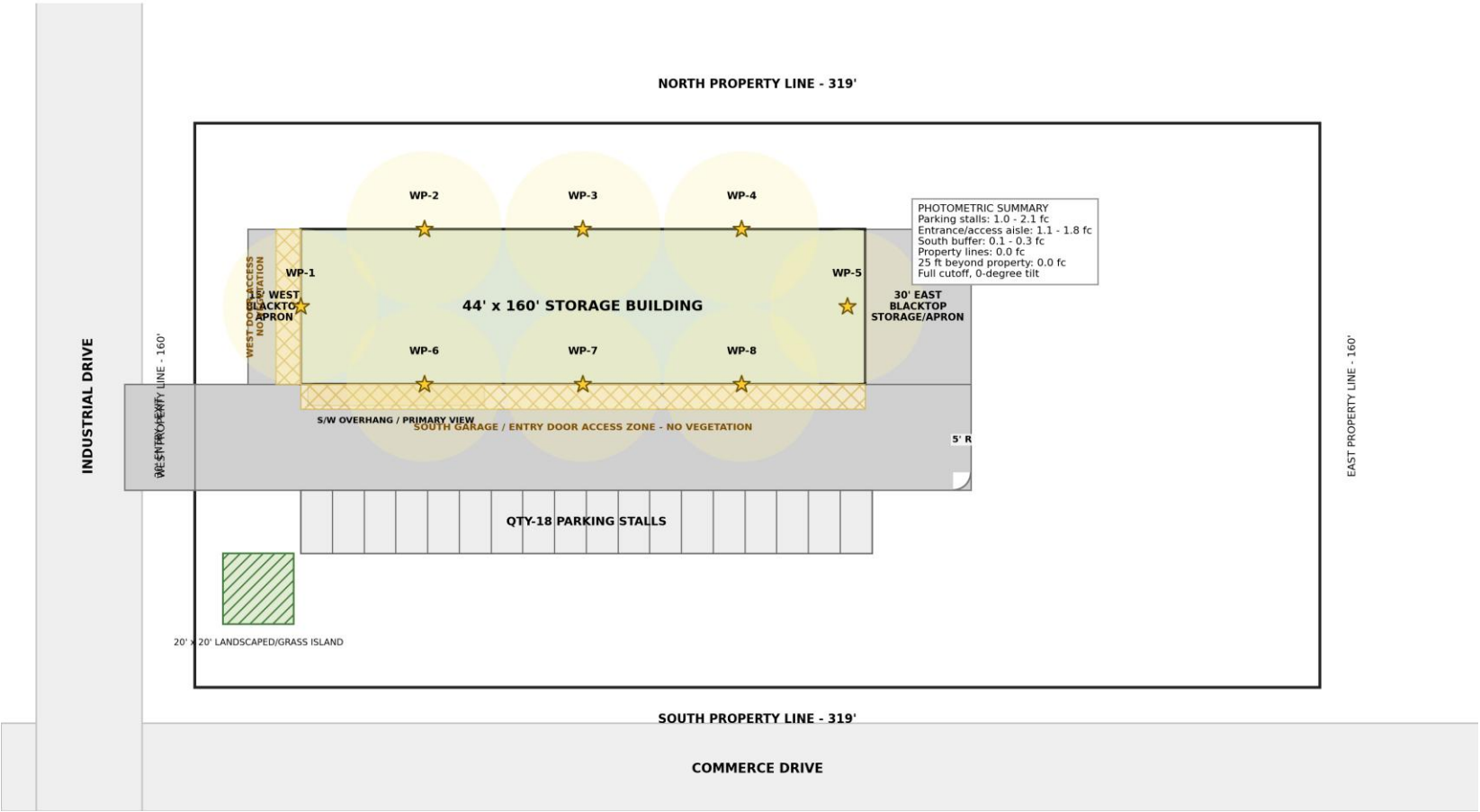
C1 SITE LAYOUT - FULL DIMENSIONS / BLACKTOP AREAS / NO CURB



Dimension	Value
Building	160 ft x 44 ft
South access aisle	30 ft, stops at east apron
SE aisle corner	5 ft radius
East apron	30 ft x 44 ft
West apron	15 ft x 44 ft
Parking	18 @ 9 ft x 18.5 ft

No curbs or gutters are shown or proposed. Blacktop limits now stop at the 30 ft east apron.

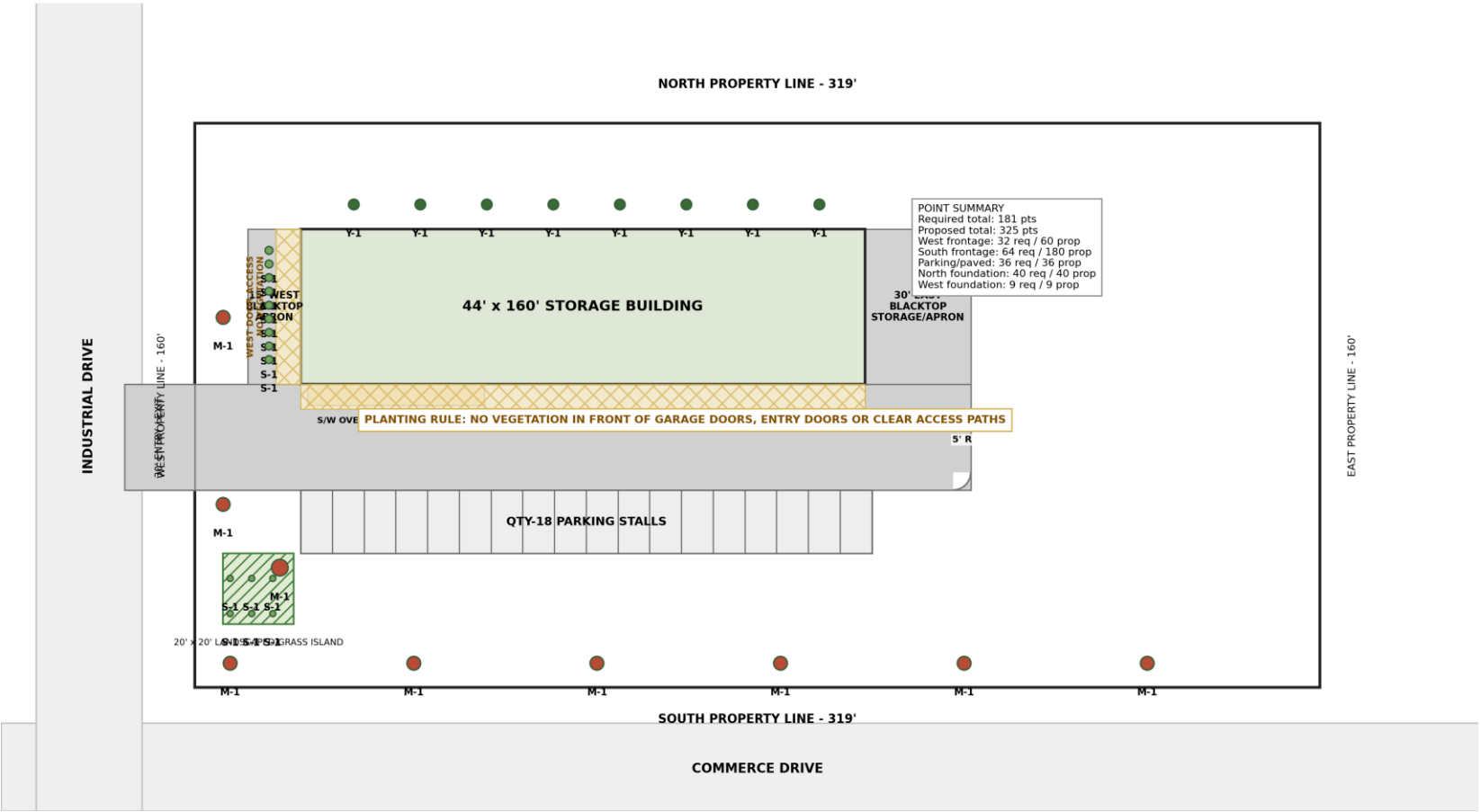
E1 LIGHTING PLAN - FIXTURE LOCATIONS AND PHOTOMETRIC SUMMARY



Fixture	Location	Mounting	Optics	Output
WP-1	West elevation/access	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-2 to WP-4	North elevation	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-5	East building wall/elevation	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-6 to WP-8	South parking/access	12-14 ft AFG	Full cutoff, 0 deg tilt	45W / 5,500 lm

Reference	How addressed
550-107.F(3)	Parking/circulation lighting shown for safe and efficient use
550-110	Shielding, property-line spill and glare control referenced
E1 drawing	Fixture plan and photometric summary shown; WP-5 corrected

L1 LANDSCAPING PLAN - REQUIRED VS PROPOSED POINT AREAS



Category	Required	Proposed
West frontage	32	60
South frontage	64	180
Parking/paved	36	36
North foundation	40	40
West foundation	9	9
Total	181	325

Symbol	Plant type	Botanical/common name	Qty	Pts/plant	Function
M-1	Tall deciduous tree	Acer rubrum / Red Maple	9	30	Street frontage and island
Y-1	Medium evergreen shrub	Taxus x media / Dense Yew	8	5	North foundation
S-1	Low deciduous shrub	Spiraea japonica / Little Princess Spirea	15	1	West foundation and island shrubs

Reference	Compliance note
550-95	Uses point method and point values
550-96.A-C	Foundation, street frontage and paved-area plantings addressed
550-100 / Appendix F	Red Maple, Yew/Taxus and Spirea aligned to listed plant classifications
550-101 to 550-103	Installation, maintenance, calculation and site-plan depiction acknowledged

Reference exhibit

Building layout is included for site review context. C1/L1/E1 plan sheets control site dimensions and exterior features.



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Primary south/west rendering with overhang

Alternate/back/east rendering for reference

Renderings are visual context only. Plan sheets control pavement limits, landscaping locations and lighting.

Request / issue	Included in final package
Parking dimensions and counts	C1 drawing and tables show stall size, count, row length and access aisle width
Lighting plan and schedule	E1, Luminaire Schedule, mounting specs, photometric summary and code notes
Landscaping species and points	Plant Schedule, Appendix F notes, required/proposed point calculations
Building exhibits	Building layout and renderings included
Blacktop budget approach	No curb/gutter; blacktop limits stop at east apron; island shown as grass/landscape

SITE & BUILDING DEVELOPMENT PLAN: LIGHTING, LANDSCAPING, SITE LAYOUT & BUILDING EXHIBITS

600 Commerce Drive, Watertown, WI 53094

44 ft x 160 ft Commercial Storage / Multi-Tenant Light Industrial Building

Prepared by Max Clouse July 25, 2026

for City of Watertown Site / Building Plan Review

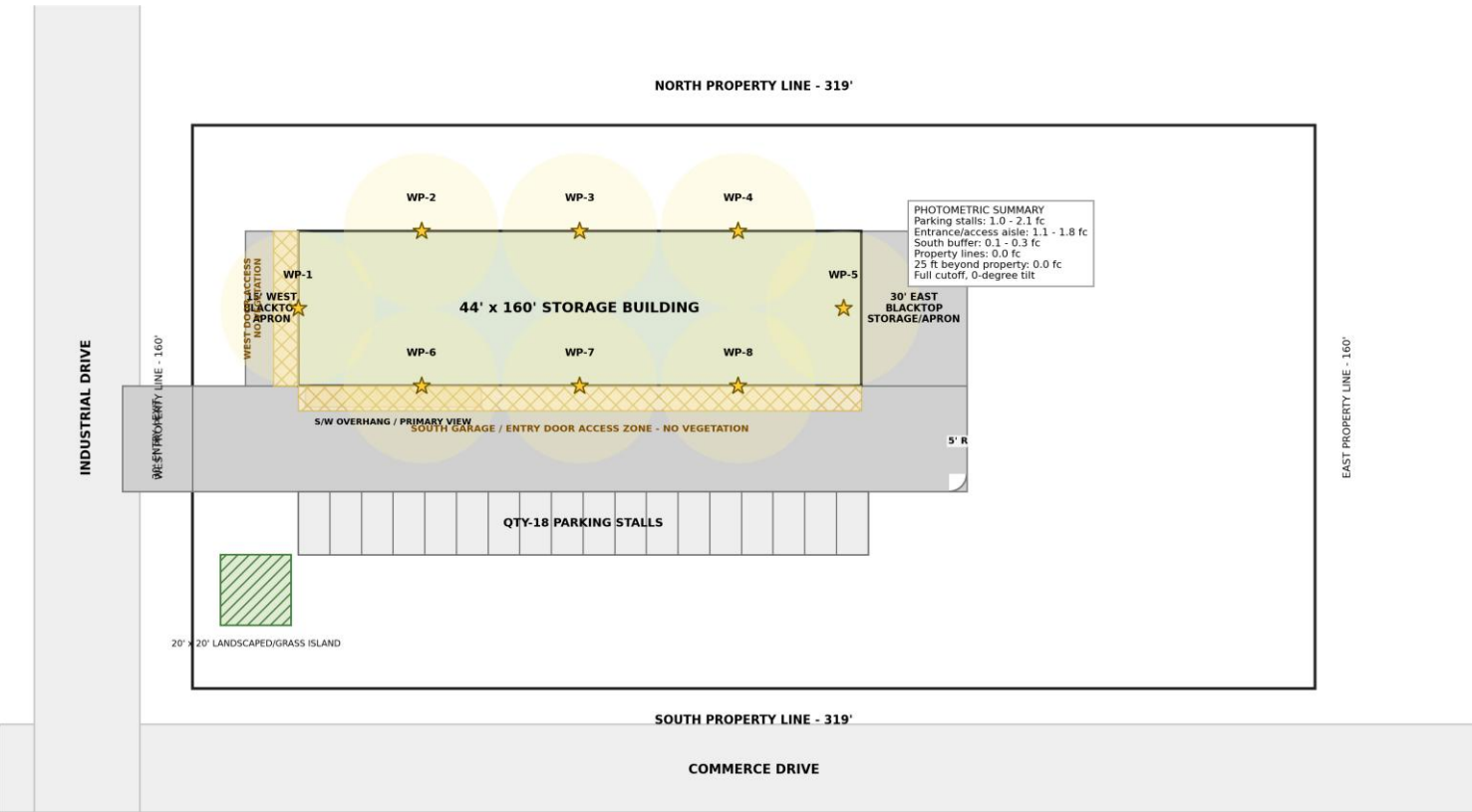


Project / Review Item	Final Package Treatment
Submittal basis	City correspondence requested parking dimensions/counts, lighting plan with photometric information, landscaping details/species, and required/proposed landscaping point totals.
Code / guidance references used	Watertown Zoning Code Article X Landscaping and Bufferyard Regulations; §550-107 Off-street parking and traffic circulation standards; §550-110 exterior lighting standards as provided in the project reference files; City of Watertown website for public municipal reference.
No-curb/gutter approach	Blacktop only is shown. No curb or gutter is proposed. The parking island is shown as a grass/landscape island adjacent to the blacktop.
Door clearance rule	No vegetation shall be placed in front of garage doors, entry doors, or clear access paths. Final building door layout controls exact field placement.
East light correction	WP-5 is shown on the east building wall/elevation and directed toward the east storage apron, not at the outer edge of the apron.

PART 1: EXTERIOR LIGHTING & PHOTOMETRIC PLAN

This section follows the lighting-plan format from the prior lighting and landscaping document with a luminaire schedule, mounting specifications, photometric summary, and code-reference notes. Fixture locations are conceptual for site plan review and should be verified with final manufacturer photometric files if required during permit review.

E1 LIGHTING PLAN - FIXTURE LOCATIONS AND PHOTOMETRIC SUMMARY



1.1 Luminaire Schedule and Mounting Specifications

Fixture	Location	Mounting Height	Optics / Orientation	Lamp / Output	Notes
WP-1	West elevation / access drive side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Shielded to limit glare and property-line spill.
WP-2	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-3	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-4	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-5	East building wall / east elevation, directed toward east storage apron	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Corrected location: mounted on building wall, not at outer apron edge.
WP-6	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-7	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-8	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.

1.2 Photometric Summary and Lighting Code Notes

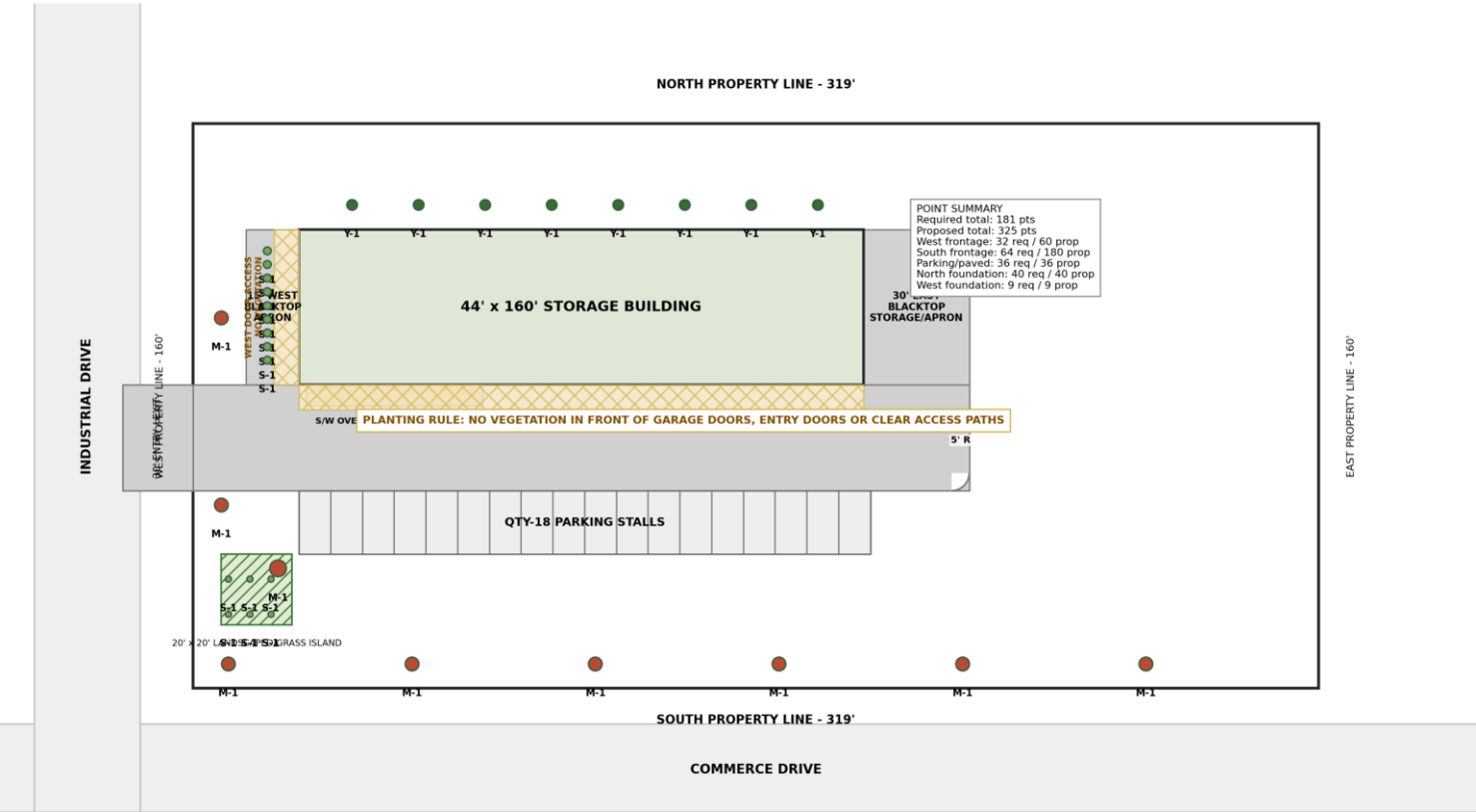
Measurement / Topic	Plan Value	Compliance / Intent Note
Parking stalls	1.0 to 2.1 fc	Meets/exceeds site parking illumination target used for review.
Entrance / access aisle	1.1 to 1.8 fc	Meets/exceeds site circulation illumination target used for review.
South buffer	0.1 to 0.3 fc	Transition area near frontage landscaping.
Property lines	0.0 fc	Below 0.50 fc property-line light-trespass limit used in review.
25 ft beyond property lines	0.0 fc	No modeled spillover beyond site boundary.
Fixture shielding	Full cutoff, 0-degree tilt	Specified to minimize glare and limit visibility of lighting element from off site.

Reference	How Addressed
§550-107.F(3)	Off-street parking and traffic circulation areas serving six or more cars shall be lit for safe and efficient use; provided plan uses wall-mounted fixtures and modeled photometric levels.
§550-110	Exterior lighting standards are referenced for property-line spill, fixture shielding, and glare control.
Project drawing E1	Fixture positions, mounting ranges, and photometric summary are depicted on E1. WP-5 is corrected to the east building wall.

PART 2: LOW-MAINTENANCE LANDSCAPING PLAN

This section follows the prior landscaping-document style and lists the plant schedule, Appendix F compatible plant classifications, required/proposed point totals, and placement notes. Plantings are kept simple and budget-conscious while avoiding garage doors, entry doors, and access paths.

L1 LANDSCAPING PLAN - REQUIRED VS PROPOSED POINT AREAS



2.1 Plant Schedule and Appendix F Compliance

Symbol	Type	Botanical / Common Name	Qty	Points / Plant	Location / Function	Appendix F Compliance Note
M-1	Tall Deciduous Tree	Acer rubrum / Red Maple	9	30 pts	Street frontages and northeast area of landscape island	Listed under Appendix F tall deciduous trees; red maple is an accepted 30-point tree type.
Y-1	Medium Evergreen Shrub	Taxus x media / Dense Yew	8	5 pts	North foundation wall	Yew/Taxus is listed in evergreen shrub classifications and is appropriate for foundation planting credit.
S-1	Low Deciduous Shrub	Spiraea japonica / Little Princess Spirea	15	1 pt	West foundation and parking/paved-area island shrubs	Spirea is listed under low deciduous shrubs; used where low foundation or island plantings are preferred.

2.2 Required vs Proposed Landscaping Points

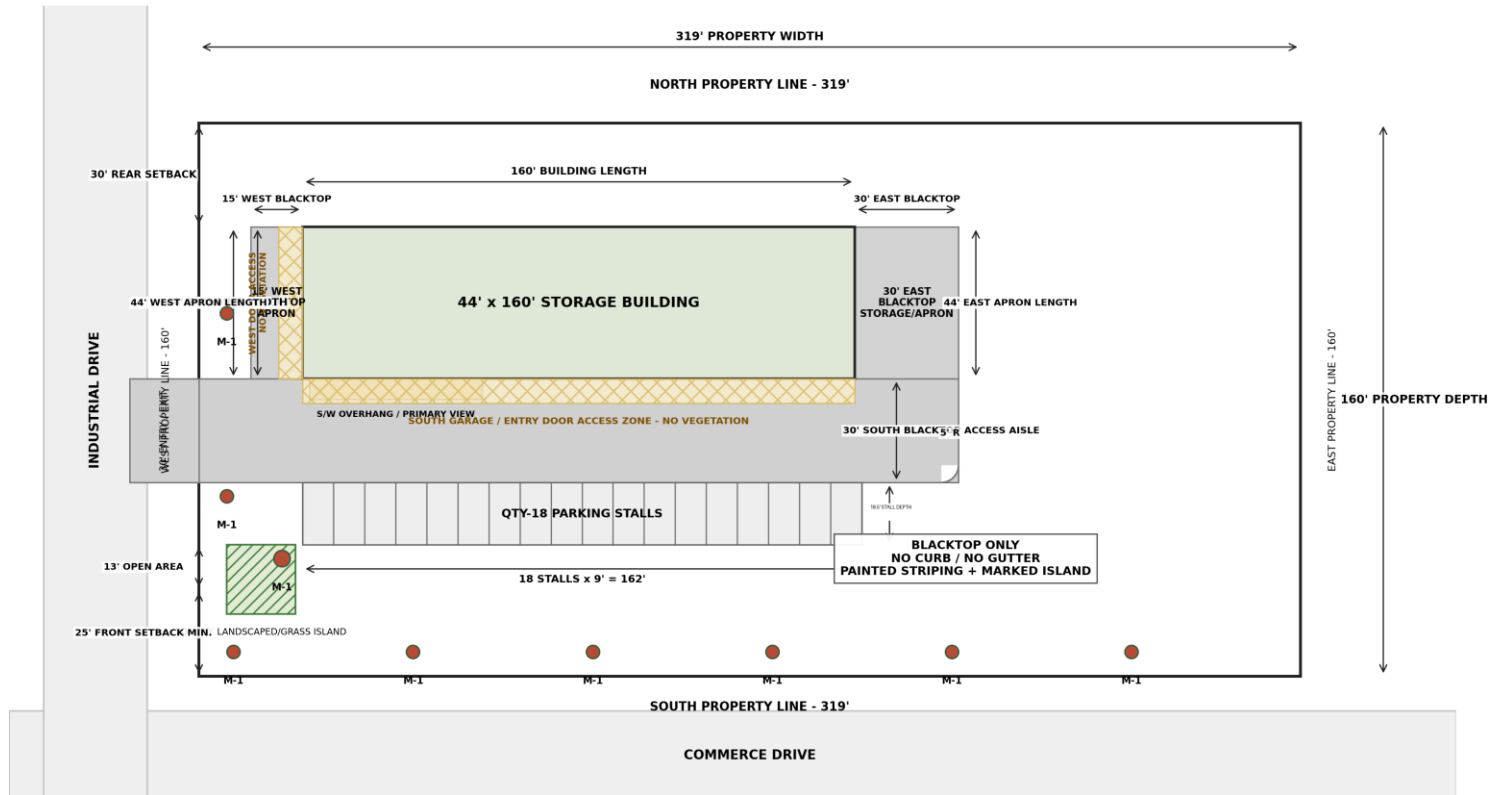
Landscaping Category	Required Points	Proposed Plantings	Proposed Points	Status
West Street Frontage	32 pts required	2 Red Maple	60 pts proposed	Meets
South Street Frontage	64 pts required	6 Red Maple	180 pts proposed	Meets
Parking / Paved Area	36 pts required	1 Red Maple + 6 Low Shrubs	36 pts proposed	Meets
North Foundation	40 pts required	8 Dense Yew	40 pts proposed	Meets
West Foundation	9 pts required	9 Little Princess Spirea	9 pts proposed	Meets
Total	181 pts required	Combined planting schedule	325 pts proposed	Meets

Code Reference	How Addressed
\$550-95	Uses the landscaping point method and plant point values by category.
\$550-96.A	Foundation plantings use shrubs; tall/climax trees are not credited to foundation landscaping.
\$550-96.B	Street frontage plantings are located along the public street frontage, within the property, and arranged to avoid visibility hazards.
\$550-96.C	Paved-area landscaping includes a 20 ft x 20 ft landscaped island and plantings within/near the paved area.
\$550-100 / Appendix F	Plant species are selected from or aligned with the listed classification groups: Red Maple, Yew/Taxus, and Spirea.
\$550-101 to \$550-103	Plant installation, maintenance, calculation, and depiction requirements are acknowledged in the submittal notes.

Placement Topic	Final Direction
South property line trees	First south frontage Red Maple starts approximately 10 ft east of the southwest corner, with remaining trees evenly spaced toward the east.
Landscape island tree	Island Red Maple is placed toward the northeast corner of the 20 ft x 20 ft grass/landscape island to avoid crowding the nearby southwest frontage tree and support signage/corner landscaping.
West property line trees	West frontage trees remain inside the property line and outside pavement/door access areas.
Foundation plantings	Dense Yew and Spirea shrubs shall be field located in solid wall segments only and shall not block doors or access paths.

PART 3: SITE LAYOUT, PARKING & TRAFFIC CIRCULATION

C1 SITE LAYOUT - FULL DIMENSIONS / BLACKTOP AREAS / NO CURB



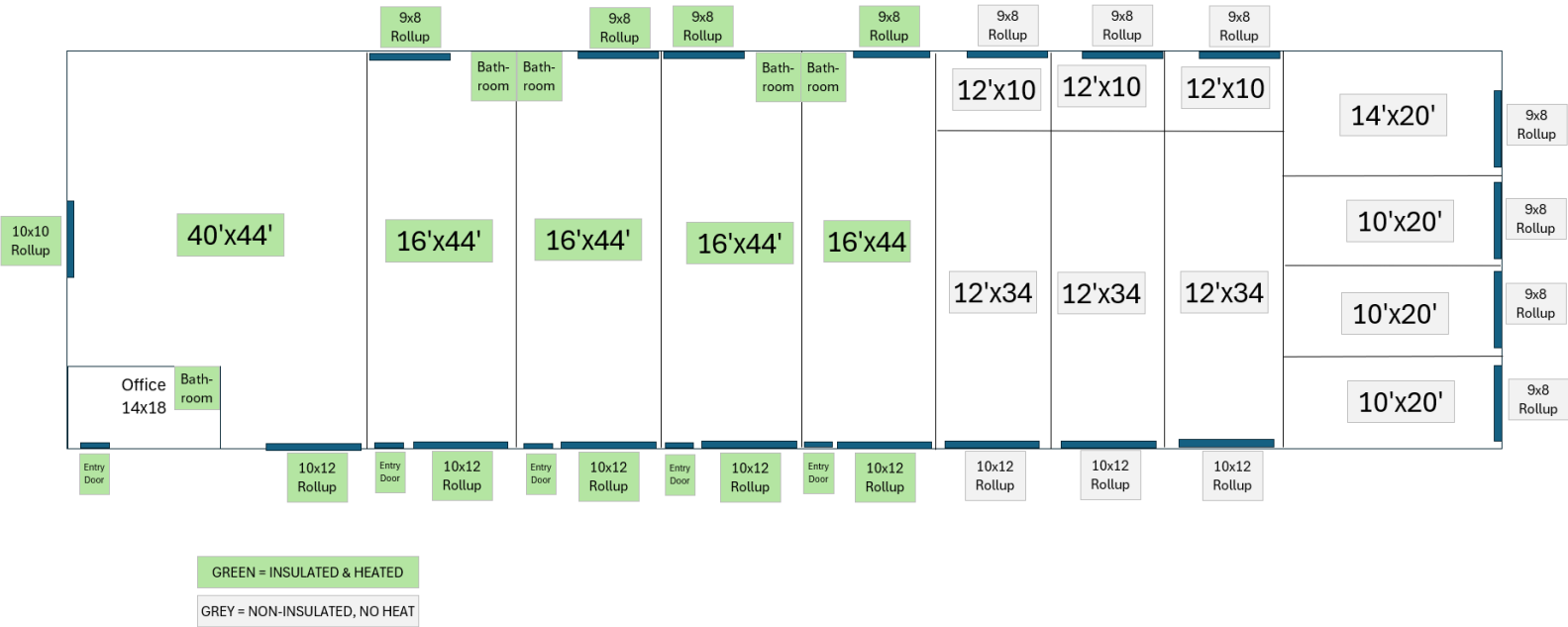
Site Layout Item	Dimension / Requirement	Notes
Overall property	319 ft x 160 ft	Shown on C1.
Building footprint	160 ft x 44 ft	Commercial storage / multi-tenant light industrial building.
South blacktop access aisle	30 ft wide	Stops at east edge of 30 ft x 44 ft east apron; includes 5 ft southeast radius.
East storage apron	30 ft x 44 ft	Blacktop apron on east building side.
West blacktop apron	15 ft x 44 ft	Blacktop apron on west building side.
Parking stalls	18 stalls at 9 ft x 18.5 ft	Parking row = 162 ft.
Grass/landscape island	20 ft x 20 ft	Uncurbed landscape island near corner/signage area.
Pavement approach	Hard-surfaced blacktop with striping	No curb or gutter proposed.
Setbacks noted	30 ft rear/north; 25 ft front/street-side minimum noted in City correspondence	Final survey/engineering plan should confirm.

Parking / Traffic Reference	Requirement Summary	Plan Response
§550-107.F(1)	Paved hard all-weather surface and clear markings for lots with six or more spaces.	Proposed blacktop and striped stalls.
§550-107.F(4)	Parking stalls must open onto an aisle/driveway wide enough for safe access.	30 ft aisle provided along south side.
§550-107.F(7) and Table 550-107F(9)	90-degree stall width = 9 ft; stall length and wall-to-wall module standards noted.	Plan shows user-confirmed 9 ft x 18.5 ft stalls; revise to show 18.5 ft effective/overhang if City asks.
§550-107.F(8)	Required parking/circulation areas not used for snow storage.	Note included for operations/maintenance.

PART 4: BUILDING LAYOUT & RENDERINGS

Building layout and renderings are included for site plan review context. The south/west view remains the primary public-facing view. Formal C1/L1/E1 drawings control site dimensions, pavement limits, landscaping locations, and lighting locations.

4.1 Building Layout



4.2 Building Renderings



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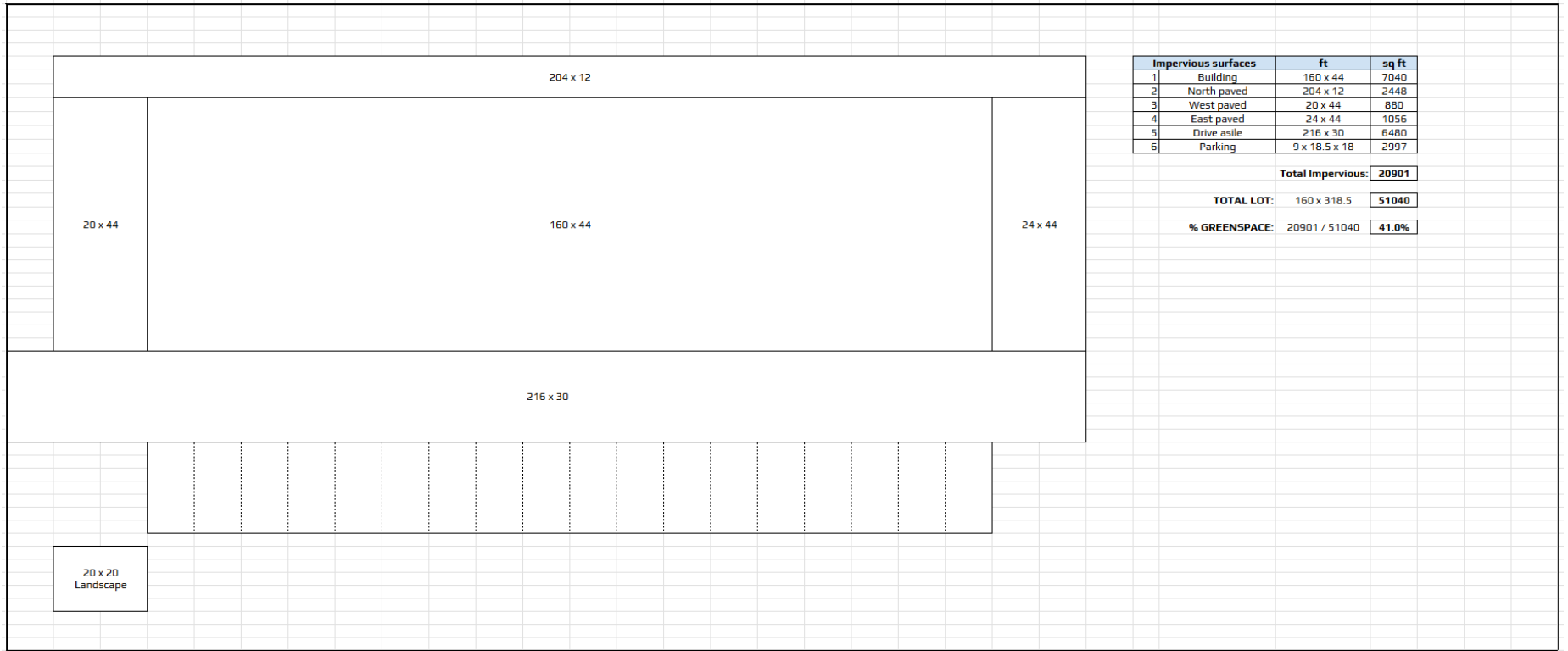
PART 5: CITY CORRESPONDENCE RESPONSE MATRIX

Date	Topic	Response in Final Package
June 25, 2026	Setback feedback	Document notes 30 ft rear/north setback and 25 ft front/street-side minimum from City correspondence.
July 13, 2026	Site plan review details requested	Includes parking dimensions, lighting plan/photometric summary, and landscaping species/points.
July 19, 2026	Parking stall count and size	Shows QTY-18 at 9 ft x 18.5 ft.
July 21, 2026	Required/proposed landscaping points requested	Required and proposed point table is included in Word, Excel, and PowerPoint.

PART 6: REFERENCES AND FINAL REVIEW NOTES

Reference / Source	Use in Final Package
City of Watertown website	Public municipal reference for City departments, meetings, visitors/business information, notices, and resources.
Watertown Zoning Code §550-107	Off-street parking and traffic circulation standards.
Watertown Zoning Code §550-95 to §550-103	Landscaping point values, regular development landscaping, species classifications, installation/maintenance, calculations, and required site-plan depiction.
Project email correspondence with Brian Zirbes	Used as the checklist for requested parking dimensions/counts and required/proposed landscape point totals.
Clouse_StorageUnit_070726 workbook and images	Used for building layout, renderings, and project exhibits.
SITE DEVELOPMENT PLAN_LIGHTING & LANDSCAPING_072526	Used as layout/style basis for the lighting and landscaping tables.

Open Item	Action / Reason
Final engineered/site construction drawings	Confirm exact survey dimensions, final grading, stormwater, erosion control, and pavement design.
Final door layout	Controls exact foundation shrub placement; no vegetation may block doors/access paths.
Final photometric/fixture submittal	Use final selected fixture IES files if required by City at permit stage.
Parking stall depth label	Updated plan directly shows the 18.5 ft parking stall depth.



Impervious surfaces	ft	sq ft
1 Building	160 x 44	7040
2 North paved	204 x 12	2448
3 West paved	20 x 44	880
4 East paved	24 x 44	1056
5 Drive aisle	216 x 30	6480
6 Parking	9 x 18.5 x 18	2997

Total Impervious: 20901

TOTAL LOT: 160 x 318.5 51040

% GREENSPACE: 20901 / 51040 41.0%



Municipal Boundary



Parcels Boundaries



Addresses



City of Watertown Geographic Information System

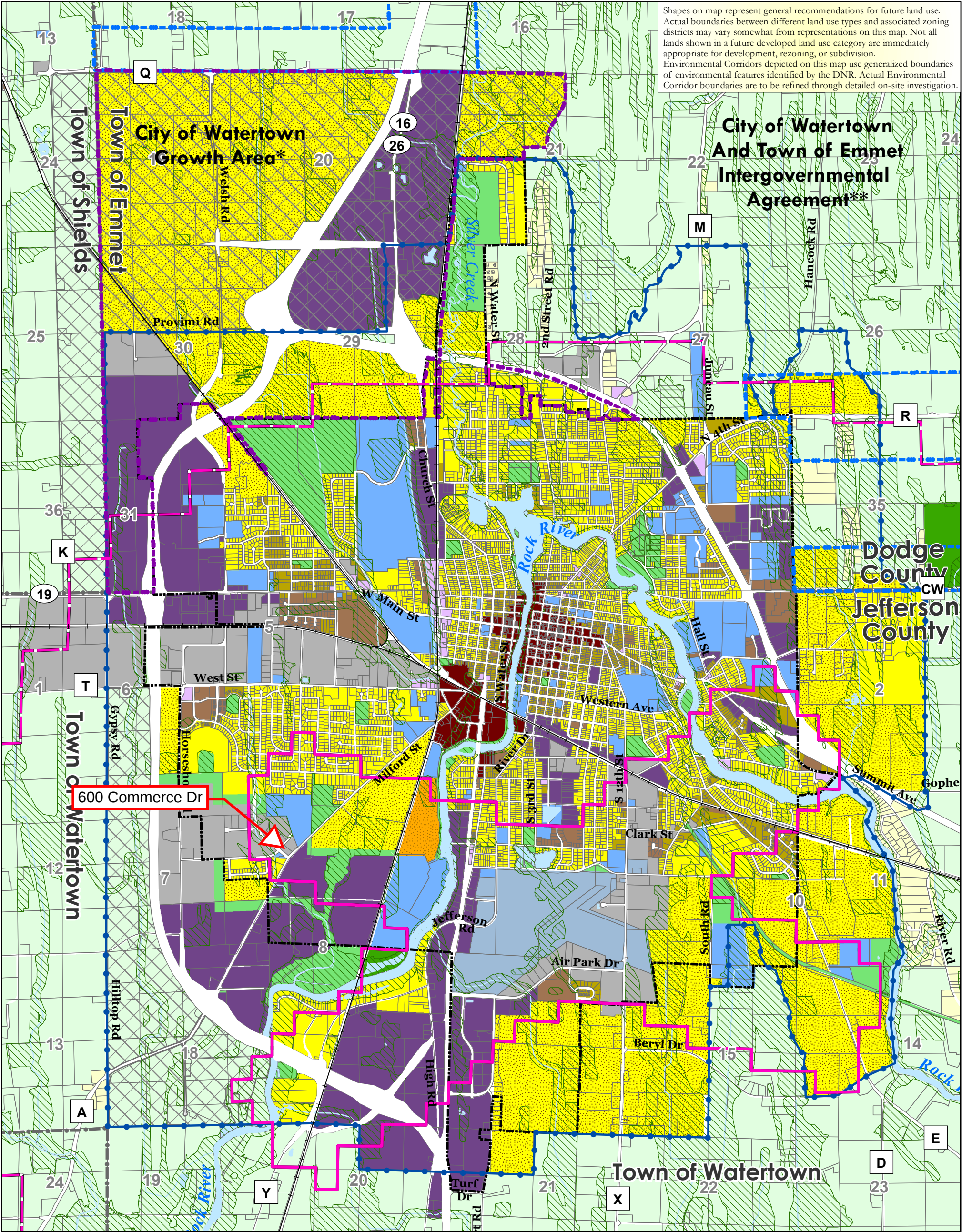
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SCALE BAR = 1"

Printed on: July 28,
Author:

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DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

Dodge
County
Jefferson
County

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation

***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation

***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



City of Watertown
Town Boundary



Parcel



Railroad



Watertown Urban Service Area



Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

TO: Plan Commission
DATE: August 10th, 2026
SUBJECT: 1507 S 10th Street – Preliminary Certified Survey Map (CSM)

A request by Tyler Elsner, to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0914-055.

SITE DETAILS:

Existing Parcel(s) Acres: 0.22 acres and 0.229 acres.
Proposed Lot Size(s): Lot 1 – 0.449 acres (19,575 SF)
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a one-lot CSM to transfer a portion of land between two existing parcels. The proposed CSM will transfer the rear portion of the parcel to the north (1505 S. 10th Street) to the parcel at 1507 S. 10th Street.

The proposed CSM lot is located within the Airport Approach Protection Zone with a maximum elevation of 900 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. The ROW for S 10th Street is adequate in this location. No ROW dedication is required.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the CSM.
2. Approve the CSM without conditions.
3. Approve the CSM with other conditions as identified by the City of Watertown Plan Commission:

STAFF RECOMMENDATION:

- Staff recommends approval of the CSM.

ATTACHMENTS:

- Application materials.

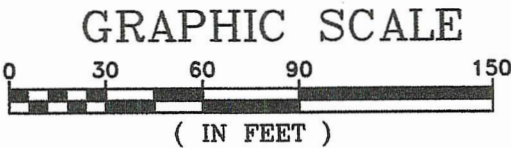
CERTIFIED SURVEY MAP No. _____

BEING LOT 4 OF CERTIFIED SURVEY MAP NO. 1877, BEING A PART OF
BLOCK 41 OF PRITCHARDS SECOND ADDITION TO THE CITY OF
WATERTOWN, LOCATED IN SE 1/4 OF THE NE 1/4 OF SECTION 9, T8N,
R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

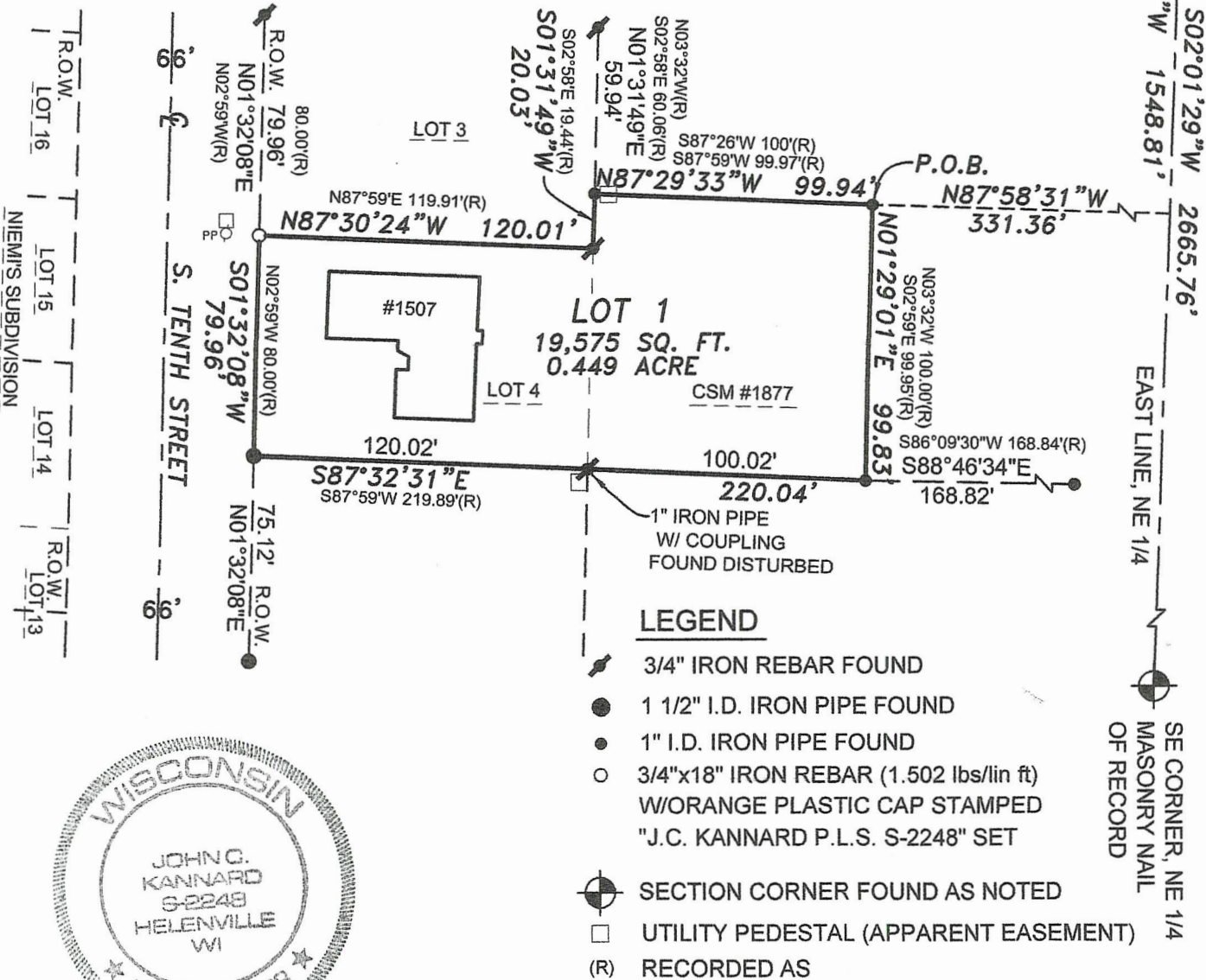
COPY



BEARING BASIS:
ALL BEARINGS REFER TO THE
EAST LINE OF THE NE 1/4
WHICH HAS AN ASSUMED
BEARING OF S02°01'29"W



NOTE:
Lot 1 has an Airport Protection Zone
elevation limit of 900 feet above sea mean
level for all buildings, structures and
objects of natural growth; whether or not
such buildings, structures and objects of
natural growth are in existence.



SOUTHWEST
SURVEYING & ASSOCIATES, Inc.

W1065 COUNTY ROAD CI, HELENVILLE, WI. 53137
262-495-4910
920-674-4884

JOB No.: E-226110
DATE: July 14, 2026
SHEET 1 OF 2

CERTIFIED SURVEY MAP No. _____

BEING LOT 4 OF CERTIFIED SURVEY MAP NO 18777BEING A PART OF BLOCK 41 OF PRITCHARDS SECOND ADDITION TO THE CITY OF WATERTOWN, LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 9, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, John C. Kannard, Professional Land Surveyor No. 2248, hereby certify:

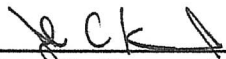
That I have surveyed, divided, mapped this Certified Survey Map being Lot 4 of Certified Survey Map No. 1877, being a part of Block 41 of Pritchards Second Addition to the City of Watertown, located in the SE 1/4 of the NE 1/4 of Section 9, T8N, R15E, City of Watertown, Jefferson County, Wisconsin, bounded and described as follows:

Lot 4 of Certified Survey Map No. 1877 as recorded in the Jefferson County Register of Deeds Office in Volume 6 of Certified Survey Maps on Pages 89 and 90 as Document No. 810327, being located in Block 40 of Pritchards Second Addition to the City of Watertown, SE 1/4 of the NE 1/4 of Section 9, T8N, R15E, City of Watertown, Jefferson County, Wisconsin, containing 19,575 square feet or 0.449 acre of land, more or less.

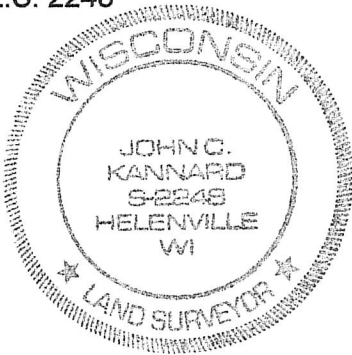
Subject to all rights, reservations, restrictive covenants and easements of record.

I further certify that I have made this survey and map under the direction of Tyler Elsner and Sadie Haines, owners of said lands, and that this Certified Survey Map is a correct representation of all exterior boundaries of the land surveyed and the division of that land and that I have complied fully with the provisions of Chapter 236.34 of the State of Wisconsin Statutes, and the Subdivision Ordinance of the City of Watertown, Wisconsin in surveying and mapping the same.

Certified this 14th day of July, 2026



John C. Kannard, P.L.S. 2248



CITY OF WATERTOWN PLAN COMMISSION APPROVAL:

This Certified Survey Map, in the City of Watertown, is hereby approved by the Plan Commission of the City of Watertown.

Dated this ____ day of _____, 2026

Robert Stocks, Mayor

I hereby certify that the foregoing is a true and correct copy of Certified Survey Map adopted by the Plan Commission of the City of Watertown.

Dated this ____ day of _____, 2026

Megan Dunneisen, City Clerk



	Municipal Boundary		Addresses
	Parcels Boundaries		Address Labels

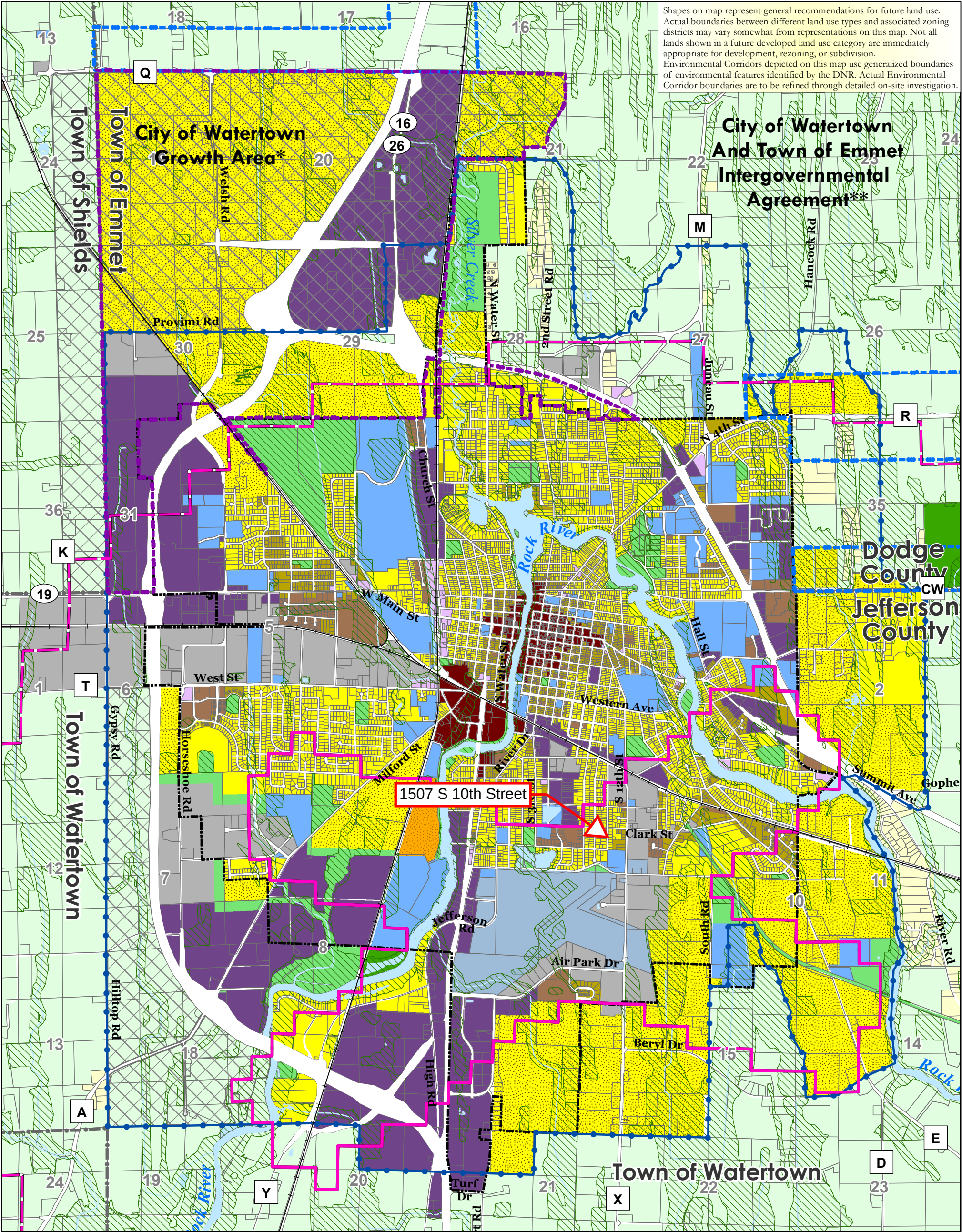


THE CITY OF
WATERTOWN
Opportunity runs through it.

City of Watertown Geographic Information System

Scale: 1:1,432 Printed on: August 4, 2023
 SCALE BAR = 1" Author: 30

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

Dodge
County
Jefferson
County

1507 S 10th Street

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation

***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-Family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation

***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



0 0.25 0.5 1 Miles