



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, SEPTEMBER 08, 2025 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=BEMd9xKvRtdlbBE9BaUKWV9kCbr96e.1&omn=81379258634> or call 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 53098

All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated August 25, 2025

3. BUSINESS

A. Review site plan and take action: 401 Bernard Street Site Review

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
August 25, 2025

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Mike Jacek – Building Safety & Zoning, Brian Zirbes – Building, Safety & Zoning, Maureen McBroom – Stormwater, Nathan Williams – Engineering, Tanya Reynen – Fire Department, Laura Bohlman – Police Department, Stacy Winkelman – Streets and Solid Waste, Mike Zietlman – Water and Wastewater, and Kristine Butteris – Parks.

Also in attendance were Tim Crum of Strang, Jim Waack of Luther Prep, Tim Luetzow of WELS, and Jared Simon of Pinnacle Engineering.

1. **Call to Order**
The meeting was called to order by Chairperson Brian Zirbes.
2. **Approval of Minutes**

A. **Review and take action: Site Plan Review Minutes Dated August 11, 2025**
Motion was made and seconded to approve the minutes as submitted. Unanimously approved.
3. **Business**

A. **Review and take action: 1300 Western Avenue – Proposed performing arts center and music education facility at Luther Preparatory School**

Jim Waack from Luther Prep presented the proposed project. This is for a new two-story 36,000 square foot performing arts and music education center with roughly 519 seats. This building would be built in a large, open area near the current boys' dorm. The would be about 45 parking spaces created as part of this project.

The following was presented by staff:

Fire:	The Knox Box must be provided, the address must be clear and legible, and hydrant and Fire Department Connection (FDC) are fine as designed. There is a little shrubbery around the FDC that needs to be removed. Also, make sure the fire lane is marked properly.
Building:	Plans must go to state for review.
Police:	No comments.
Mayor:	No comments.
Stormwater:	An Erosion Control and Stormwater Runoff permit will be required since this project will be greater than 3,000 sf of disturbance. The site will qualify for a Department of Natural Resources (DNR) Notice of Intent (NOI) which is the state's version of the stormwater permit triggered if more than an acre of land is disturbed. Once that permit has been issued, a copy shall be provided to the City of Watertown Stormwater Project Manager Maureen McBroom.
Engineering:	There will be a permit required for excavating in the street for the utility connections.
Zoning:	The parking issue has been appropriately addressed.
Parks & Rec:	The project is within the points for landscaping, and it has been noted that about 23 trees are being removed. The City Forester stated the maples that were chosen are fine for this site.
Water/Wastewater:	No comments.
Streets/Solid Waste:	No issues. The additional parking will help alleviate issues in the winter for snow plowing.

Motion made and seconded to approve this item and forward to Plan Commission contingent upon the items mentioned by the Fire Department, submittal and approval of the Erosion Control and Stormwater Runoff permit as well as the permit to excavate in the street. Unanimously approved.

4. **Adjournment**
Motion was made and seconded adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

Dear Mr. Zirbes & Zoning Board

The following is the scope of work Niemann Foods has plans for with the property located at 401 Bernard St. This should help explain exactly what we are proposing to do as shown in the submittal packet supplied.

The 33" metal panel siding in the upper façade the runs the length of the building on the east side will be replaced with new Multi core horizontal metal panel siding. The metal panel siding on the 2 sign façades will be replaced with horizontal Mega Rib metal panel siding. Profiles of the siding were submitted with the packet supplied. Both are charcoal color.

Existing gutters and down spouts will be replaced on the east side and on the north side of the building where the large 4 overhead garage doors are.

Joanne Fabrics moved out of the building so the plan is to make that space into 2 retail spaces that will require an additional store front entrance door to be installed as shown on the plans submitted with the packet. There will also be 8'x 7' full window view aluminum garage door installed for Ace rental shown on the plan. This door will be the same anodized aluminum look as the other entrances to the building.

Install new soffit panels in the 10' overhead across the front east side of the building. This will keep birds from nesting and keeping the front of the building, sidewalk and retail product clean for all the bird droppings.

Repair existing brick wainscoting on the front of the build and paint existing metal panels on the wall above the brick wainscoting. The existing structural columns will be painted.

The top 1-1/2" of the existing parking lot will be milled. Repaved and striped.

The owner understands that any new signage will need to be approved when replaced. The existing lighting is to remain. There is no structural work being completed with this scope of work. Any work for future tenants will have plans submitted by a licensed architect at that time. The goal s to get the exterior work completed as soon as possible before winter.

Thank you



401 Bernard Street

Level 2 Remodeling

401 Bernard Street

Watertown, WI

Construction Documents

August 11, 2025



SITE PLAN GENERAL NOTES

(SHEET A1.0)

- PROPOSED BUILDING ELEVATION SHOWN AS: MAIN FLOOR FINISHED FLOOR EL. = 100'-0"
- ALL GROUND SHALL PITCH AWAY FROM BUILDING AT A MINIMUM OF 4% +/- UNLESS NOTED OTHERWISE. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- CONCRETE SURFACES SHALL SLOPE @ 1/8" = 1'-0" MINIMUM AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:50 MAXIMUM AT HANDICAPPED ACCESSIBLE PARKING STALLS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
- PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:40 MINIMUM AT ALL OTHER PARKING LOT AREAS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.

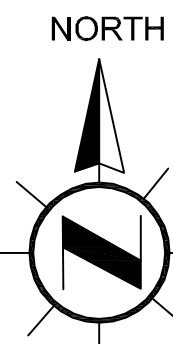
KEYED NOTES (CONT'D)

(SHEET A1.0)

- YELLOW COLORED PARKING LOT PAINT STRIPING
- VAN ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.
- STANDARD ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.
- ACCESSIBLE ROUTE PAINT STRIPE HATCHING TO BUILDING

Site Layout Plan

1" = 40'-0"

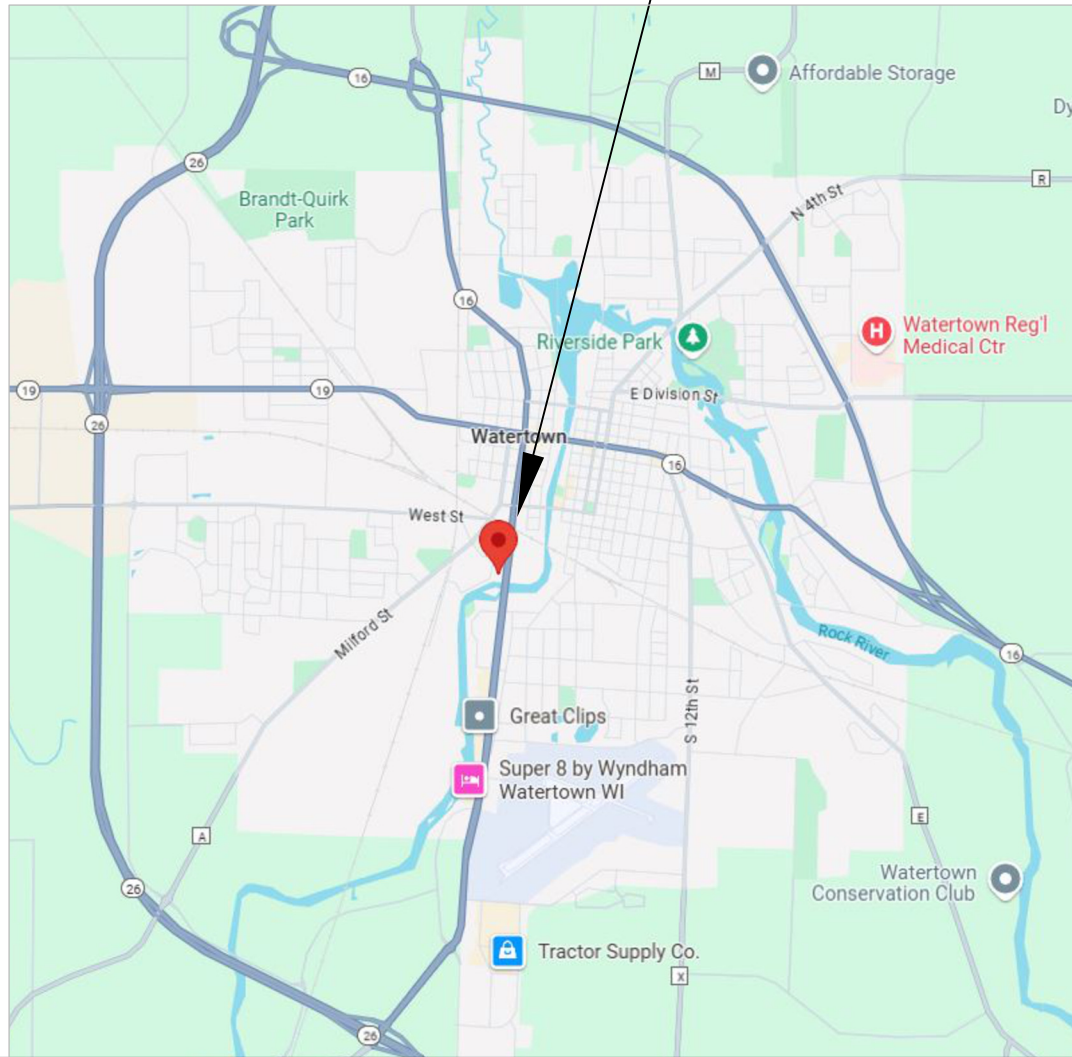


Sheet Index:

Architectural

- A0.0** Title Sheet Code Analysis
A1.0 Key Plan / Schedules / Details
A2.0 Remodeling Floor Plan
A3.0 Exterior Elevations / Details

Location Map:



Project Location:
401 Bernard Street
Watertown, Wisconsin

Architect:

CASHMAN ASSOCIATES, Inc.
Gregory M. Cashman, AIA

4798 County HWY 1
PH: (608) 237-7443



Sparta, WI 54656
FAX: (608) 237-7444

gcashman@charter.net

Architect Stamp:

Project General Notes:

- CODE COMPLIANCE:** ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- PERMITS:** CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/ OR LICENCES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
- COORDINATION:** ALL SUBCONTRACTORS, SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR, FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE. ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
- FIELD VERIFICATION:** ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
- DEMOLITION:** CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/ OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
- PENETRATIONS:** ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
ALL TRADES SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS.
ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/ OR ROOF DECK.
ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
- FIRESTOPPING:** ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, FIRESTOPPED, DAMPERED, AS REQUIRED BY CURRENT 2015 IBC Code
- HAZARDOUS MATERIALS:** ANY HAZARDOUS MATERIALS ENCOUNTERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
- DO NOT SCALE DRAWINGS:** IN ALL CASES, NOTED DIMENSIONS AND/ NOTES INDICATING DIMENSIONS OR SIZING SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
- DIMENSIONING:** ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUGH-FRAMED STUD WALL TO FACE OF ROUGH-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

Code Information

DESCRIPTION:

- Level 2 remodeling to existing (M) mercantile building
- Existing Insulated, Conditioned Building
- IEBC Ch. 9- Level 2 Alteration
- Exterior front of building update remodeling

APPLICABLE CODES:

- State of Wisconsin Department of Safety and Professional Services Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Existing Buildings Code and SPS 366
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35

OCCUPANCY CLASSIFICATION:

- Business (B) (Accessory Use- less than 10% area) IBC Section 304.1
- Mercantile (M) IBC Section 309.1
- Storage (S-1) IBC Section 311.2

Building Gross SF Areas:

****Single-Occupancy, One-Story Building** IBC Section 506.2.1

Building Level	Remodeled Main Floor GSF	Existing To Remain Main Floor GSF (Other Occupancies)	Building Total Floor GSF
First Floor	15,464 gsf	26,248 gsf	41,712 gsf
(Project Total)	15,464 gsf		

Building Height:

IBC Section 504.3

Peak: 17'-4" height (40'-0" Allowable) IBC Section 504.3

No. of Levels: One

No. of Stories: One (1 allowed) IBC Section 504.4

Construction Type: IBC Section 601

- Type VB- Combustible & Not Protected Construction

Struct. Frame	Bearing Walls Ext.	Int.	Non-Bearing Walls Ext.	Int.	Floor Const.	Roof Const.
0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.

 IBC 907

BUILDING HEIGHT & AREA:

IBC Table 506.2- Sprinklered, 1-story: A_t = 36,000 SF

FIRE PROTECTION:

NFPA - 13 Sprinklered Construction
Fire Alarm System not required

OCCUPANT LOAD:

(Remodeled Area) (See Plan Set) IBC TABLE 1004.1.2

169 Occupants

EXIT ACCESS TRAVEL DISTANCE:

IBC TABLE 1017.2

S-1 Occupancy Sprinklered Construction: 250'-0"

M Occupancy Sprinklered Construction: 250'-0"

PLUMBING FIXTURES:

IBC TABLE 2902.1

(M) Occupancy:

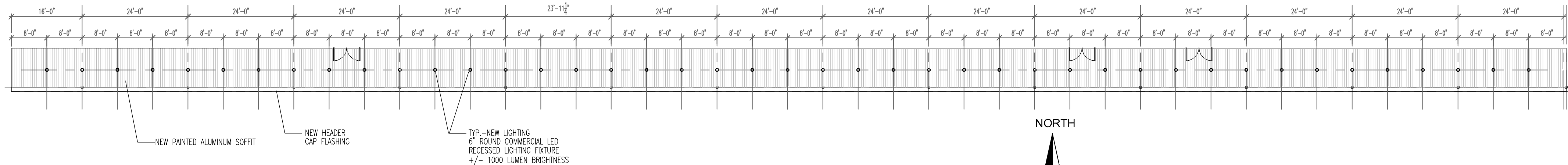
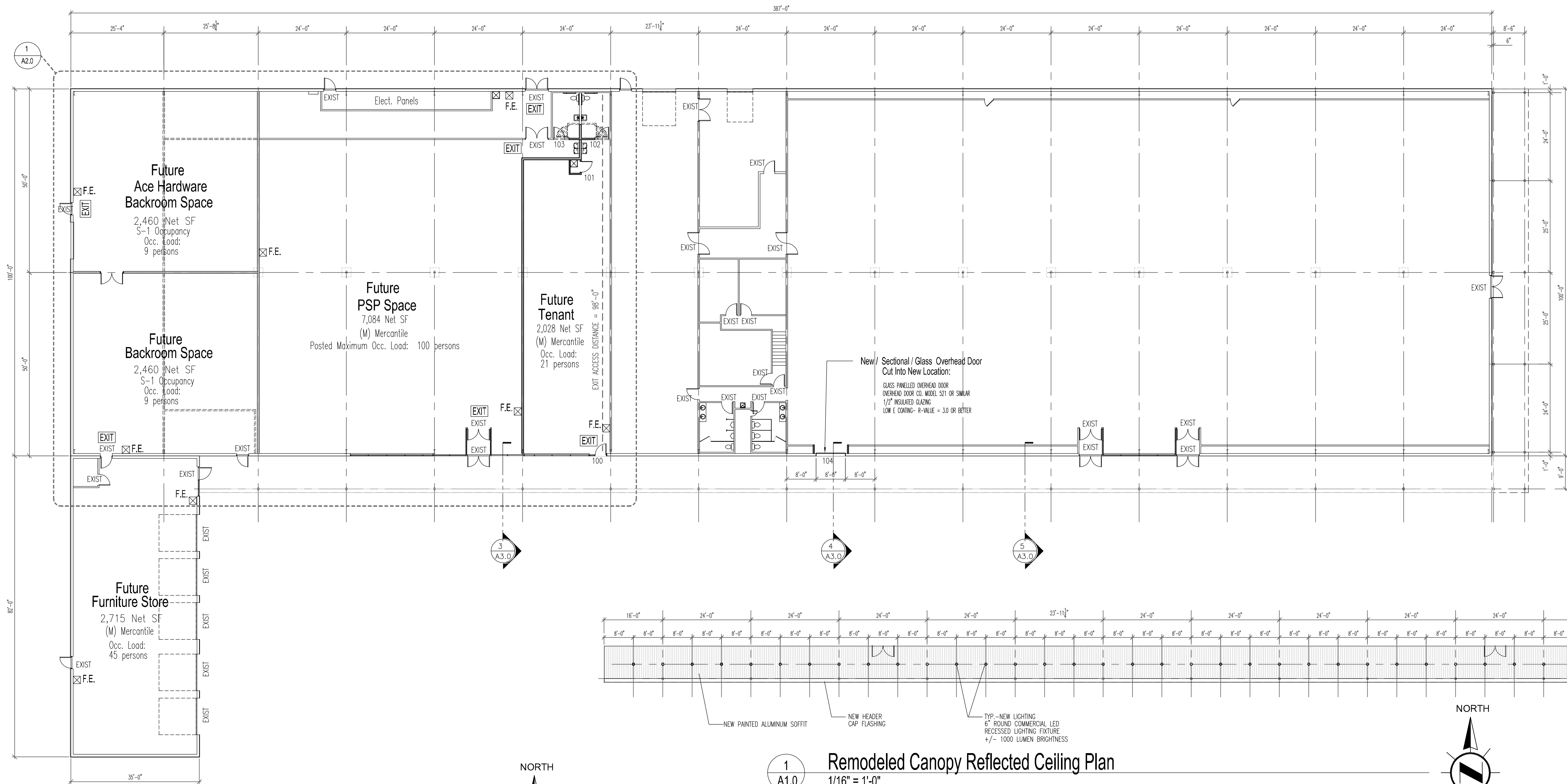
100 person Occupant Load: (1) unisex toilet required

(B) Occupancy:

< 25 person Occupant Load: (1) unisex toilet required

GENERAL NOTES AND SPECIFICATIONS

- The mechanical systems design are not a part of these plans.
- All work performed to meet all state and local building codes. Contact the architect with any field-discovered discrepancies.
- The general contractor is to field verify all existing conditions and dimensions.
- Accessible parking stalls are available on-site immediately outside the front entrance.
- The building is Type VB construction.

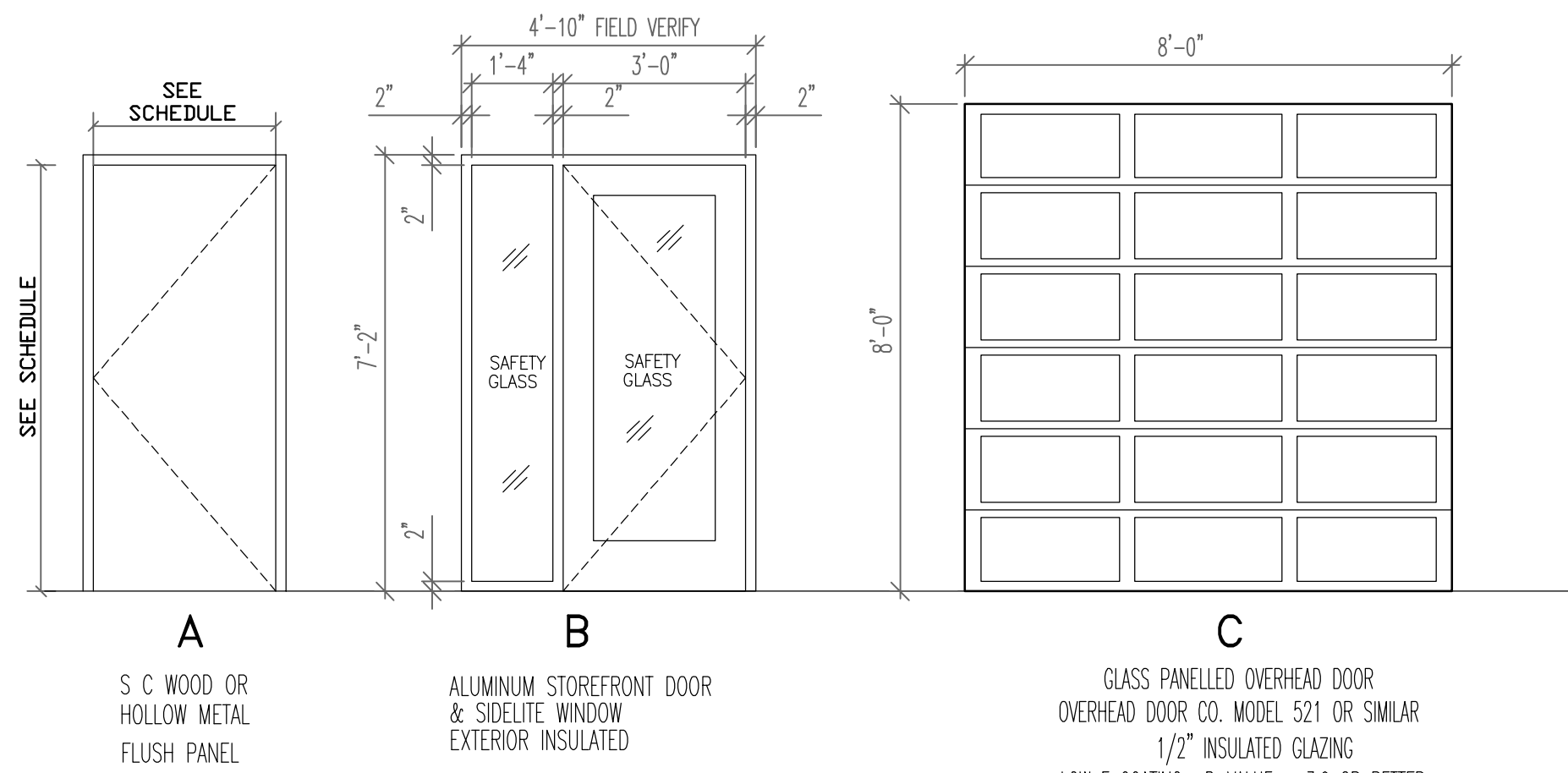


1
A1.0
Key Plan / Existing Conditions / Partial Remodeling Plan
1/16" = 1'-0"

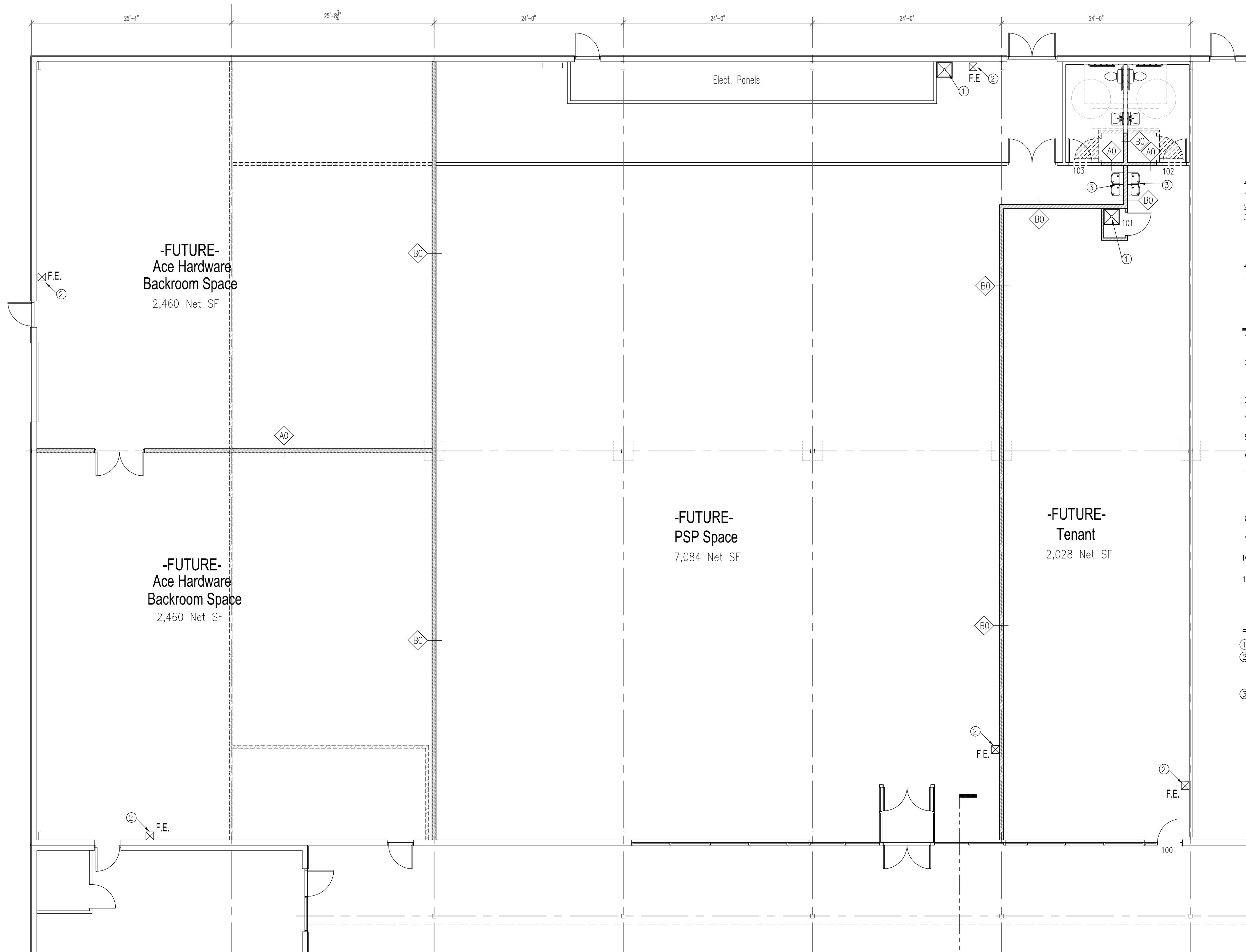
1
A1.0
Remodeled Canopy Reflected Ceiling Plan
1/16" = 1'-0"

DOOR/ FRAME SCHEDULE												
DOOR NO.	DOOR						FRAME			HARDWARE GROUP	NOTE: MCF- SIMPSON INTERIOR MOULDED DOORS- INFINITY SERIES OR SIMLAR DOOR- FIRE RATED WHERE NOTED BDOFRAME-BDOFRAMEX BDOFRAME CORP PREFINISHED STEEL FRAMES FIRE RATED WHERE NOTED	REMARKS
	SIZE	THICKNESS	MATERIAL	FINISH	TYPE: SEE DETAIL 2 A1.0	U-CUT OR LOUVER	MATERIAL	FINISH	TYPE: SEE DETAIL 2 A1.0			
100	3'-0" x 7'-0"	1-3/4"	ALUMINUM	ANODIZED	B	-	ALUMINUM	ANODIZED	B	E-1	INSULATED EXTERIOR ALUMINUM DOOR	
101	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	C-1		
102	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	T-1		
103	3'-0" x 7'-0"	1-3/4"	SC-WOOD	STAIN	A	-	HM	PAINT	A	T-1		
104	8'-0" x 8'-0"	2"	ALUMINUM	PAINT	C	-	-	-	-	-	EXTERIOR OVERHEAD DOOR	

HARDWARE GROUPS (AS NOTED ON DOOR/ HARDWARE SCHEDULE)												
EXIT			C-1 CLASSROOM (STG)			TOILET						
E-1	ALUM EXTERIOR DOOR PWR	EXIT DOOR	C-1	CLASSROOM (STG)		T-1	TOILET					
PUSH BAR (INTERIOR SIDE BOTH DOORS) PULL HANDLE (EXTERIOR SIDE BOTH DOORS) DEADLATCH PADDLE (DOOR #1) DEAD BOLT KEYED CYLINDER (DOOR #2) CONTINUOUS HINGE CLOSER DOOR BOTTOM			ADA LEVER CLASSROOM LOCKSET (3) BUTTS			PRIVACY LEVER LOCKSET BUTTS (3) DOOR STOP DOOR BOTTOM/SWEEP						
NOTE: DOOR #1 ALWAYS OPEN DURING BUSINESS HOURS												



2
A1.0
DOOR/ FRAME TYPES
3/8" = 1'-0"



REFERENCE NOTES

SHEET A1.0-A2.0

- SEE DETAIL 2 / A2.0 FOR PARTITION TYPES
- SEE DETAIL 3 / A2.0 FOR ADA MOUNTING DETAILS
- SEE SHEET A1.0 FOR DOOR SCHEDULE

DIMENSION NOTES

SHEET A1.0-A2.0

- INTERIOR WALLS DIMENSIONED TO FACE OF STUD
- EXTERIOR WALLS DIMENSIONED TO EXTERIOR FACE OF STUD
- EXISTING WALLS DIMENSIONED TO FINISH FACE

GENERAL NOTES

SHEET A1.0-A2.0

- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION/CONSTRUCTION.
- PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
- THE FRONT (MAIN ENTRANCE) DOOR IS REQUIRED TO BE UNLOCKED DURING ALL BUSINESS HOURS OPEN TO THE PUBLIC.
- ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
- PROVIDE BATH FANS IN ALL BATHROOMS-SIZE PER CODE PER BATHROOM VENT TO EXTERIOR.
- CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
- HOLD 1/2" CLEARANCE MINIMUM BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
- DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
- SALVAGED MATERIAL SHALL BE CLEANED AND RETURNED TO THE OWNER AS DIRECTED.
- ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.

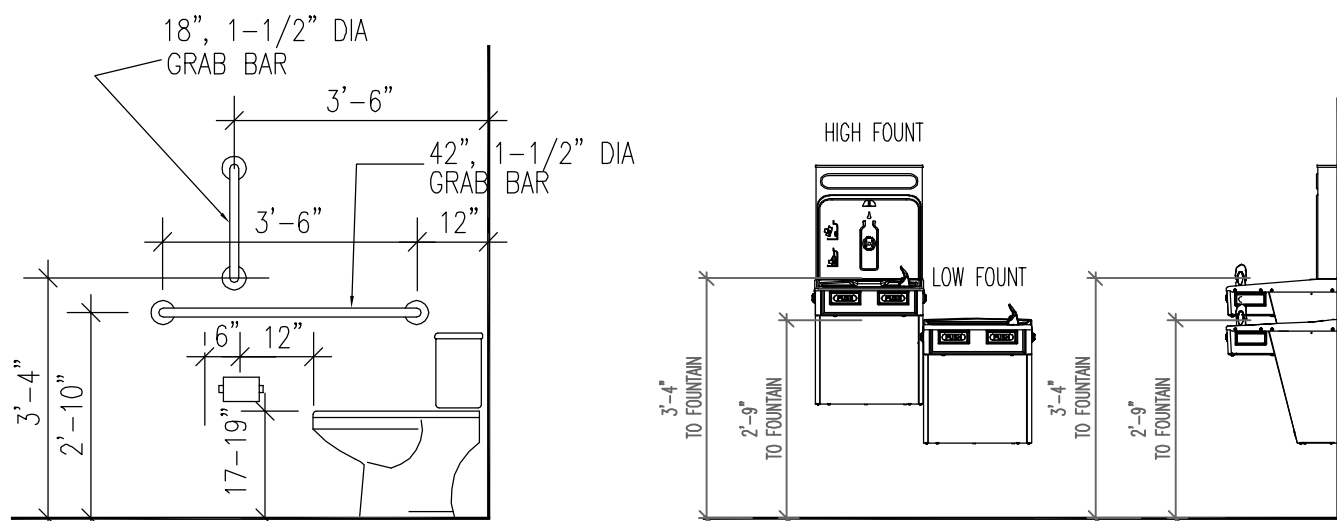
KEYED NOTES

SHEET A2.0

- 24" x 24" FLOOR-MOUNTED SERVICE SINK
- FIRE EXTINGUISHER CABINET, SEMI-RECESSED
FIRE EXTINGUISHER: ORDINARY HAZARD- 2-A-B-C RATED
WALL MOUNTING, TOP-OF-EXTINGUISHER
Ø 42" ABOVE FINISHED FLOOR
- HIGH / LOW ADA WATER COOLER DRINKING FOUNTAIN WITH BOTTLE REFILL

1
A2.0

Key Plan
1/8" = 1'-0"

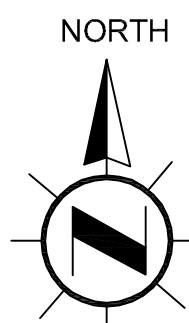


DRINKING FOUNTAINS

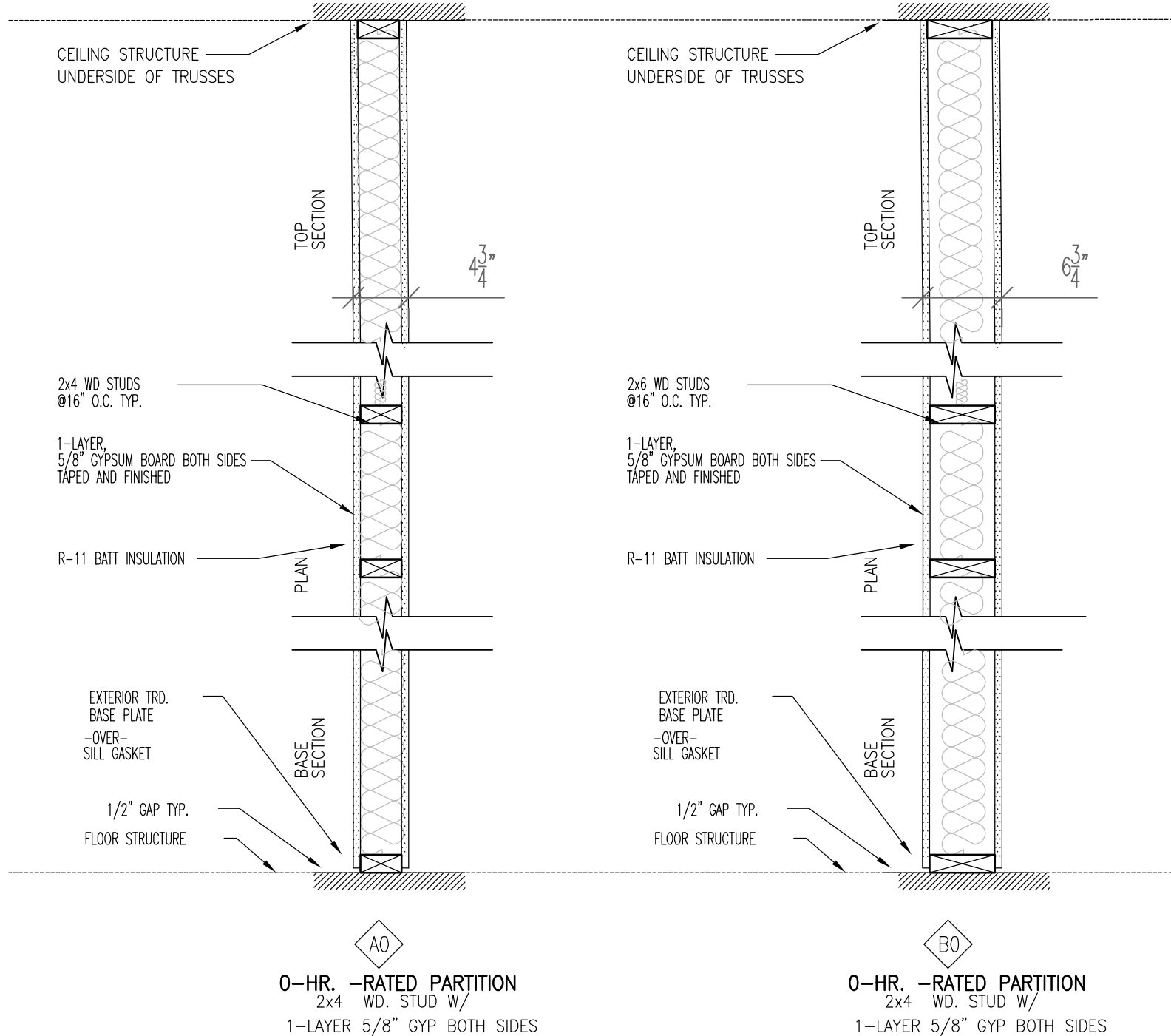
H/C ACCESSIBLE TOILET
DOOR SIGNAGE

3
A2.0

Toilet Room Accessibility Standards
3/8" = 1'-0"

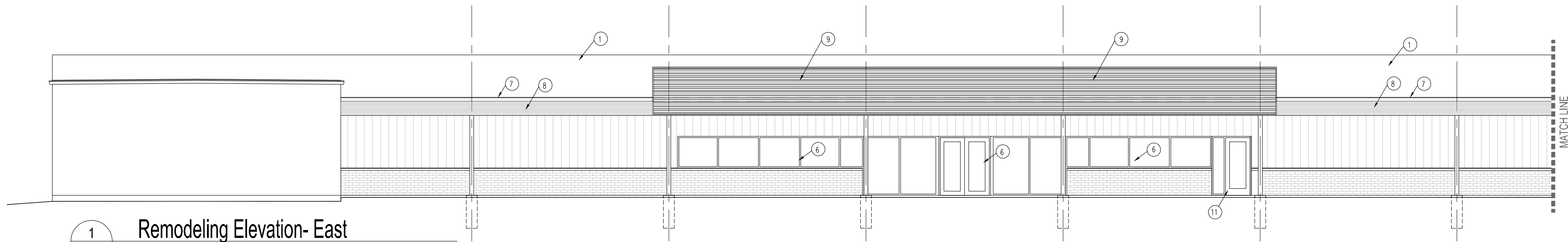


3
A3.0

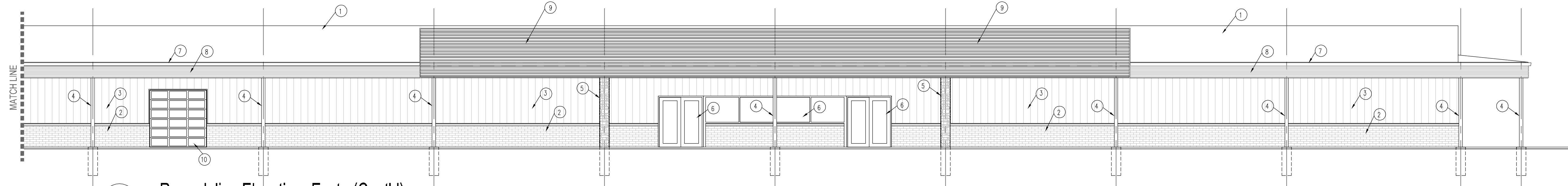


2
A2.0

Remodeling Partition
1" = 1'-0"



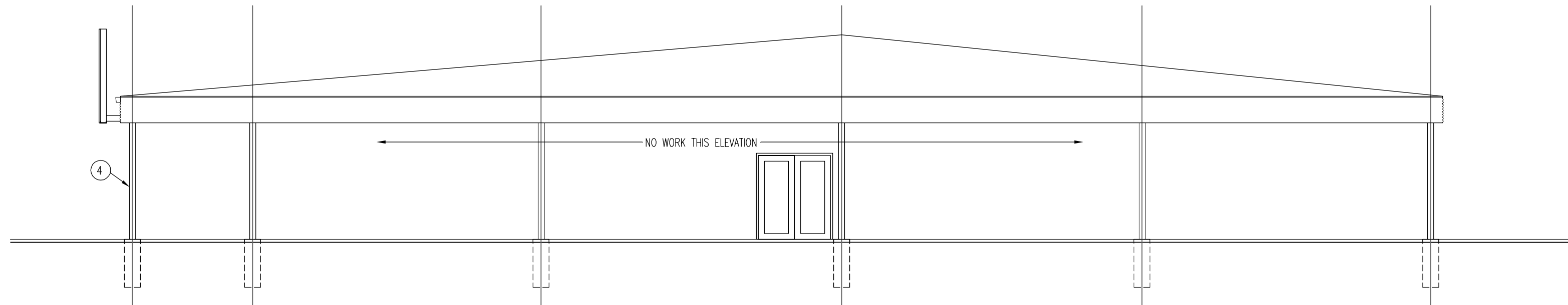
1
A3.0
Remodeling Elevation- East
1/8" = 1'-0"



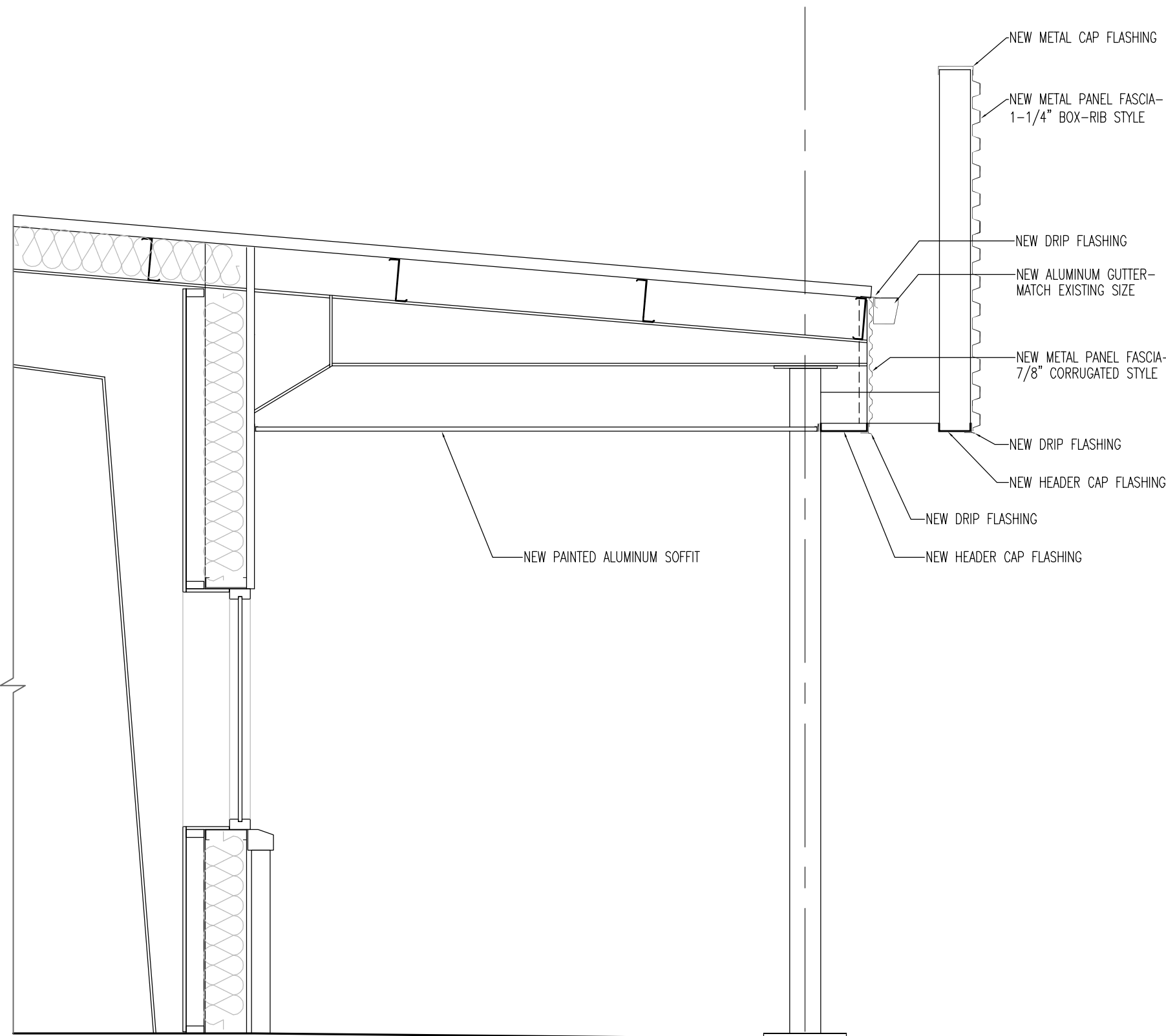
1
A3.0
Remodeling Elevation- East (Cont'd)
1/8" = 1'-0"

Keyed Notes- Exterior Elevations

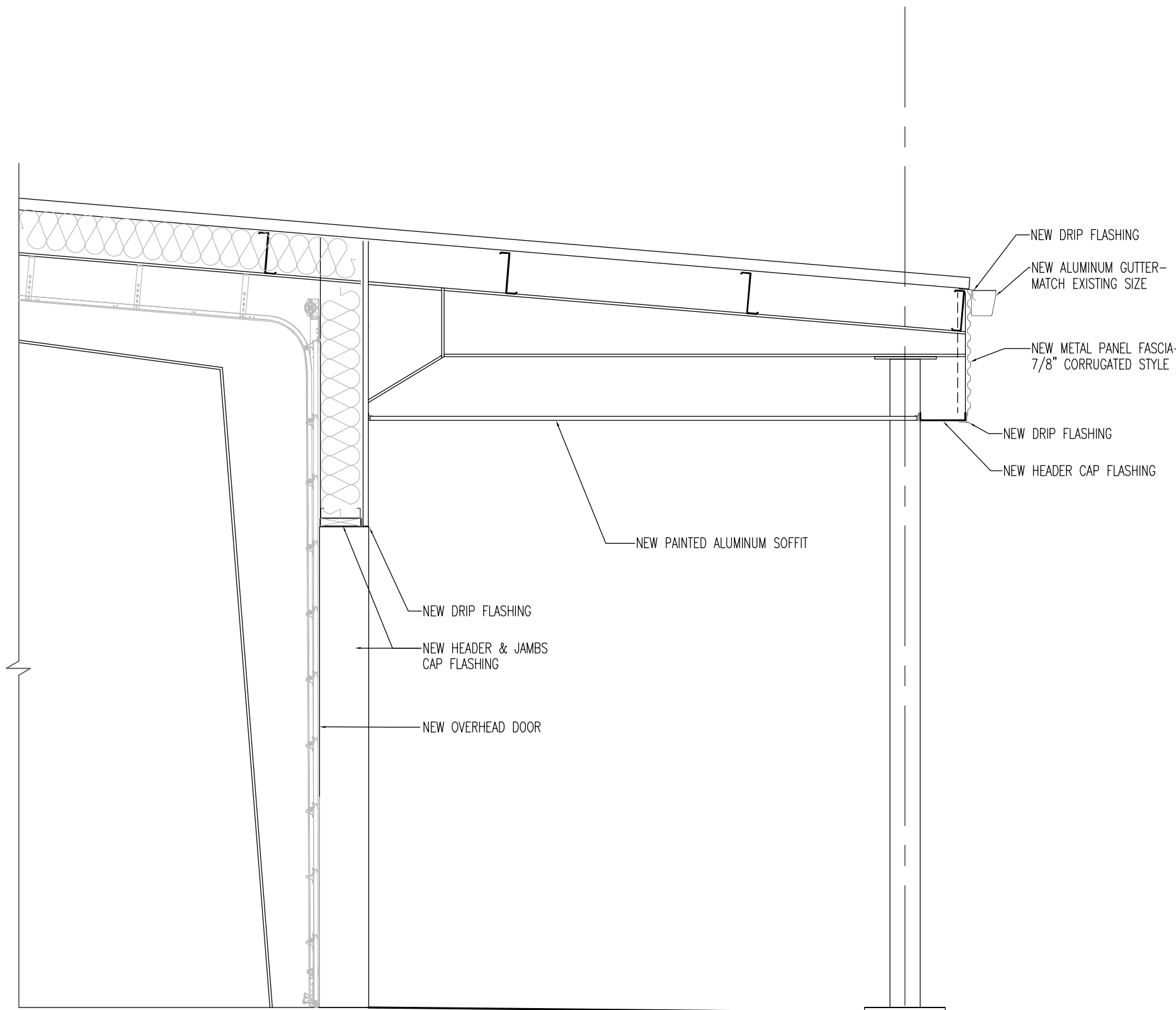
- EXISTING ROOF
- EXISTING BRICK MANSICOT- PATCH & REPAIR AS NEEDED
- EXISTING METAL PANEL SIDING- PAINT IN-PLACE
- EXISTING STEEL COLUMN- NEW PAINT FINISH
- EXISTING STEEL COLUMN- WRAP W/ WOOD STUDS/ FINISH W/ CULTURED STONE VENEER
- EXISTING STOREFRONT DOORS / GLASS TO REMAIN
- NEW ALUMINUM GUTTER- MATCH EXISTING SIZE
- NEW METAL PANEL FASCIA- 7/8" CORRUGATED STYLE
- NEW METAL PANEL FASCIA- 1-1/4" BOX-RIB STYLE
- NEW FULL-GLASS OVERHEAD DOOR. SEE DETAILS
- NEW FULL-GLASS ALUMINUM STOREFRONT DOOR. SEE DETAILS



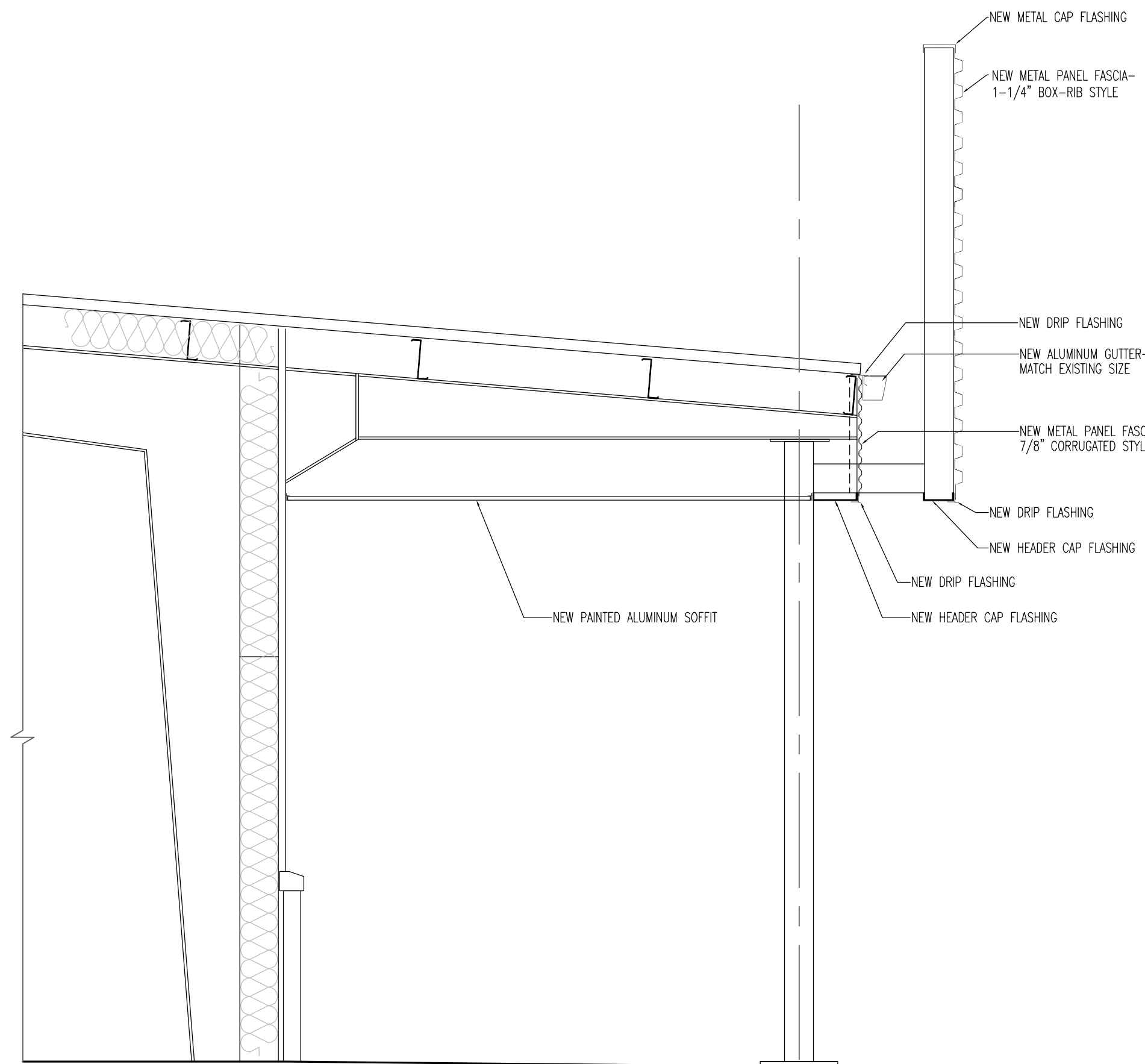
2
A3.0
Remodeling Elevation- North
1/8" = 1'-0"



3
A3.0
Remodeling Section
1/2" = 1'-0"



4
A3.0
Remodeling Section
1/2" = 1'-0"



5
A3.0
Remodeling Section
1/2" = 1'-0"

MEGA-RIB

Commercial and Industrial
Applications



MEGA-RIB



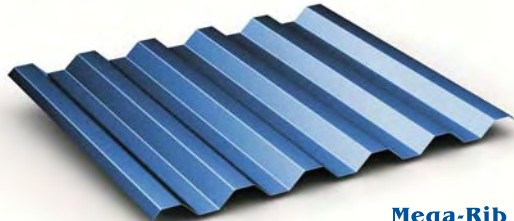
MEGA-RIB

Section 3, Item A.

Mega-Rib is one of the most versatile metal wall and roof panels in the industry. While Mega-Rib was designed and engineered to meet the demands of the industrial environment, it also provides the aesthetics and design flexibility to be used in architectural applications.

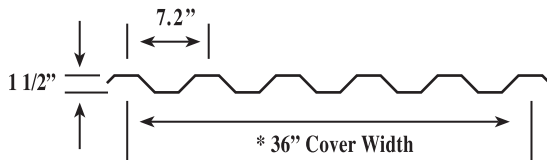


Well suited for vertical and horizontal applications, Mega-Rib's bold ribs provide an architectural statement that is difficult to match.

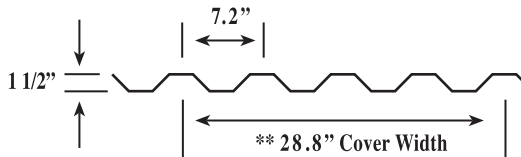


**Mega-Rib
36" Cover Width**

MEGA-RIB PANEL DIMENSIONS



* Standard for 24, 22, 20, and 18 gauge material. Also available in 26 ga. However, customer must specify if 26 ga is required.



** Adelanto standard coverage for 26 gauge panels: 36".
All other locations, standard 26 gauge coverage: 28.8". (Specify if 36" coverage is required.)



Installed horizontally, Mega-Rib adds distinctive elegance.

Mega-Rib features a Galvalume® substrate and Kynar 500® (PVDF) coatings, which are proven to provide unsurpassed protection against panel chalk and fade.

With 7.2" rib spacing, Mega-Rib provides optimum strength and spanning capabilities.



TEST DATA - SECTION PROPERTIES - LOAD TABLES

For any available Test Data, Section Properties or Load Tables, please visit the download section of our website at: www.mcelroymetal.com



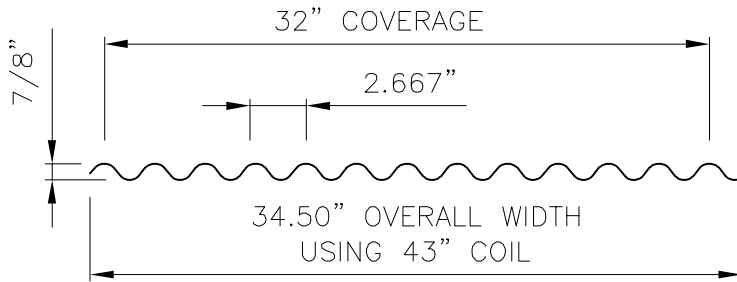
800-562-3576

info@mcelroymetal.com • www.mcelroymetal.com

Oil canning is a natural occurrence in metal panels and is not a cause for panel rejection.

Multi-Cor Panel

Product Data



MULTI-COR PROFILE



Panel Lap for 43" Coil

Applications

Exposed fastener wall/roof panel used on slopes down to 1:12. Tape sealant is required on seam (side-laps). Standard panel lengths up to 50'. Please inquire for longer lengths.

Substrates

Plywood or Purlins.

Material

Standard - 26 GA. ASTM A792 (50 ksi or 80 ksi steel)

AZ55 - Bare, AZ50 - Painted

- 24 GA. ASTM A792 (50 ksi steel) AZ55 - Bare

AZ50 - Painted

Optional - 22 GA. ASTM A792 (50 ksi steel) AZ55 - Bare

AZ50 - Painted

Manufacturing

Roll formed in factory. (Bossier plant only)

Finishes

Acrylic Coated Galvalume®

Fluoropolymer (Kynar 500® PVDF resin-based)

Siliconized Polyester and Polyester

Pan Conditions

Oil canning is inherent in all metal panels and is not cause for panel rejection.

Testing *

Uplift Testing: UL 580 Class 90

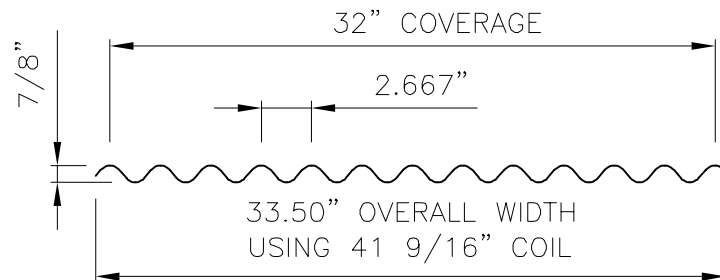
Fire Resistance: UL 790 Class A

Impact Testing: UL 2218 Class 4

Florida Product Approval: FL 10680.1 (non-structural)

Texas Windstorm: RC-158

Testing and Approvals are product specific. Please inquire for details.



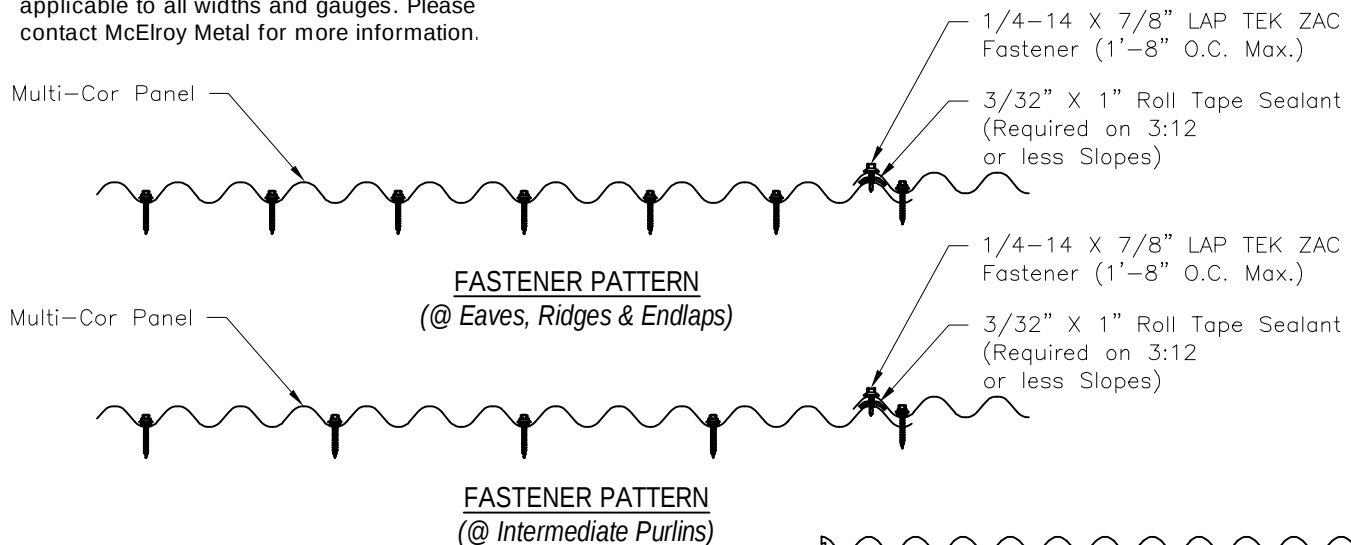
MULTI-COR PROFILE



Panel Lap for 41 9/16" Coil

NOTE:

All data represented on this sheet may not be applicable to all widths and gauges. Please contact McElroy Metal for more information.



FOAM INSIDE/OUTSIDE CLOSURE

Project Showcase

PROJECT SHOWCASE



Project: Judson University

Location: Elgin, IL

Architect: Short & Associates, London and Burnidge Cassell Associates

Products: Flat Sheets with Kynar 500® in Copper Penny for the wall and trim,
Medallion-Lok roof panels in Ash Gray



Project: Bossier Parish Community College

Location: Bossier City, LA

Architect: Slack-Alost-McSwain and Associates

Products: Maxima for the roof and Maxima ADV 1.5 for the
walkways in Slate Gray

Project: 800 Bancroft
Location: Berkeley, CA
Architect: Marcy Wong and Donn Logan Architects
Products: Multi-Cor in Bare Galvalume



Project: Great Wolf Lodge
Location: Wisconsin Dells, WI
Architect: Architectural Design Consultants, Inc.
Products: Medallion-Lok and Flat Sheets
in Colonial Red



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Project Showcase



Project: *Perryville Place*
 Location: *Rockford, IL*
 Architect: *David Hagney AIA and Barrett Studio*
 Products: *Mega-Rib in Bare Galvalume*

Project: *Anderson Municipal Building*
 Location: *Anderson, SC*
 Architect: *Neal Prince Architects*
 Products: *Medallion-Lok in Colonial Red*



Project: *Prairie Park Condominiums*
 Location: *Wheeling, IL*
 Architect: *Hirsch Associates, LLC*
 Products: *Medallion-Lok in Terra Cotta*

Project: *Joe Shephard Residence*
 Location: *Kirkwood, MO (suburb of STL)*
 Architect: *Clayton Design, Inc.*
 Products: *Medallion-Lok in Tudor Brown*





City Boundary

Common Areas

Parcels Boundaries

Addresses



THE CITY OF
WATERTOWN
Opportunity runs through it.



City of Watertown Geographic Information System

Scale: 1:3,429 Printed on: August 2, 2014
SCALE BAR = 1" Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

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