



PLAN COMMISSION MEETING AGENDA

MONDAY, AUGUST 14, 2023 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 877 309 2073 Access Code: 476-199-629 or <https://meet.goto.com/476199629> All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

- A. Review and take action: Site Plan Review minutes dated July 24, 2023
- B. Review and take action: Plan Commission minutes dated July 24, 2023

3. BUSINESS

- A. Review and take action: 418 Water Tower Court – proposed office and kennel addition to existing building
- B. Review and take action: N8890 West Road – Extraterritorial Certified Survey Map (CSM)
- C. Review and take action: 1014 S. Second Street – Certified Survey Map (CSM)
- D. Review public hearing comments and make recommendation to Council: rezoning ordinance for new fire station
- E. Review public hearing comments and make recommendation to Council: 1722 S. Church Street text amendments for drive thru

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@CityofWatertown.org, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
July 24, 2023

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Brian Zirbes of Building, Safety & Zoning; Doug Zwieg of Building, Safety & Zoning; Maureen McBroom of Stormwater Utility; Strategic Initiatives and Development Coordinator Mason Becker; Kristine Butteris of Park & Rec; Matt Willmann of Streets; Jeff Meloy of the Police Department; Mike Zitelman of the Water Department; and Anthony Rauterberg of the Fire Department. Also in attendance was Heather Van Dam of the Watertown Humane Society.

1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated June 12, 2023

Motion was made by Doug Zwieg and seconded by Mike Zitelman to approve the June 12, 2023 Site Plan Review minutes as submitted. Unanimously approved.

3. Business

A. Review and take action: 418 Water Tower Court – proposed office and kennel addition to existing building

Executive Director Heather Van Dam of the Watertown Humane Society was present to explain the proposed improvements to the office space, kennel space, and low cost spay/neuter clinic.

The following was presented by staff:

Building:	The final plans submitted with the permit will have to have additional detail. A digital copy of plans shall be submitted as well.
Fire:	Asked about a sprinkler system in the building. There currently is none. There is a proposed fire wall that may be put into place with this project. The architect will be reviewing the requirements and the information should be included in the plans. It shall be noted that anything 5,000 sf or more will require sprinklers.
Eng/Stormwater:	There is no exterior grading, parking lot, etc., work is proposed. If anything changes, erosion control permits are required at 3,000 SF or more of disturbance. No parking lot changes are proposed.
Parks:	No comments.
Police:	No comments.
Streets:	No comments.
Water:	No comments.

Motion was made by Doug Zwieg and seconded by Anthony Rauterberg to recommend approval of this proposal to Plan Commission with inclusion of the above comments.

Unanimously approved.

4. Adjournment

Motion was made by Doug Zwieg and seconded by Matt Willmann to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman, Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

PLAN COMMISSION

MINUTES

JULY 24, 2023

Section 2, Item B.

The Plan Commission met on the above date at 4:30 p.m. in the Council Chambers.

The following members were present: Mayor McFarland, Holloway, Krueger, Konz, Lampe, and Zirbes. Also in attendance was Mitch Stiemke.

1. Call to order (4:32pm)

2. Approval of Minutes

A. Plan Commission minutes July 10, 2023

Motion to approve the June 10th Minutes was made by Lampe and seconded by Konz, passed on unanimous voice vote.

3. Business

A. Review and take action: County Road Y – township certified survey map (CSM)

Brian Zirbes presented the request with the proposed conditions that CSM must the airport approach zone elevation added and the right of way for county Y must be 60' from centerline.

Motion was made by Holloway and seconded by Lampe to make a positive recommendation with the conditions recommended by Mr. Zirbes to the Common Council, passed on a unanimous voice vote.

B. Discussion: Staff report content and presentation

The Commission discussed the format of future commission meetings. Staff will use a summary format with suggestions from staff. With CUP staff will go into more specifics.

All materials discussed at this meeting can be found at:

<https://mccmeetings.blob.core.usgovcloudapi.net/watertwnwi-pubu/MEET-Packet-0b53edce25734502aede338c0ca34338.pdf>

4. Adjournment

Motion to adjourn was made by Konz and seconded by Krueger and passed on a unanimous voice vote at 4:47pm.

Respectfully Submitted,

Alderman Brad Blanke

Main Office 920-262-4060	Brian Zirbes 920-262-4041	Mark Hady 920-342-0986
Nikki Zimmerman 920-262-4045	Dell Zwieg 920-262-4042	
Doug Zwieg 920-262-4062	Dennis Quest 920-262-4061	

TO: Plan Commission
DATE: August 14th, 2023
SUBJECT: 418 Water Tower Ct. - Watertown Humane Society Site Plan Review

Site Plan Review requested by Erik Madisen, Agent for the Watertown Humane Society, for a building addition on property located at 418 Water Tower Ct, Watertown WI. Parcel PIN: 291-0815-0614-004.

SITE DETAILS:

Acres: 1.29
Current Zoning: GI General Industrial
Existing Land Use: Public Services
Future Land Use Designation: Mixed Industrial.

BACKGROUND & APPLICATION DESCRIPTION:

Applicant is proposing an approximately 7,161 sq. ft. addition to the existing building. Building improvements include additions on the east and west sides of the existing facility including selective interior and exterior demolition. An enclosed dog run area and dumpster enclosure will also be added. Exterior finishes will complement the existing building and solar panels will be added to the roof.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the GI General Industrial zoning district 'Public Services and Utilities' as a principal land use is permitted by right. 'Public Services and Utilities' land uses include all public-service-related facilities and similar land uses. *[per § 550-36B(1) § 550-51E]*

Site Layout and Design:

The proposed addition meets building and pavement setbacks, as well as the maximum building height limits for the GI General Industrial zoning district.

Landscaping:

Landscape point calculations have been provided by the applicant in the site plan. The proposal meets and exceeds minimum landscaping requirements. The project has a LSR (Landscape Surface Ratio) of 58% exceeding the minimum LSR of 15%.

Parking:

Parking requirements for 'Public Services and Utilities' uses in the GI General Industrial zoning district require one space per each employee on the largest work shift. *[per § 550-51E(2)]* Applicant has indicated that the largest work shift at the facility consists of 2 employees and up to 5 volunteers. The Site Plan includes 23 existing parking stalls meeting and exceeding the one stall per employee requirement.

Lighting:

An exterior lighting plan has not been submitted by the applicant.

Section 3, Item A.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:
 - a. A lighting plan consistent with the requirements of the Zoning Code be submitted.

ATTACHMENTS:

- Application materials



July 7, 2023

Brian Zirbes
Building, Safety, & Zoning Dept.
City of Watertown
106 Jones Street
Watertown, WI 53094

Re: Project Description/Plan of Operation for:
Watertown Humane Society remodeling and addition
418 Water tower Court
Watertown, WI 53094

Dear Mr. Zirbes:

Below is the project description for the proposed Watertown Humane Society addition and remodeling located at 418 Water tower Court:

Description of building improvements

- Selective interior and exterior demolition
- New construction: a one-story slab-on-grade 7161 square foot addition to the existing 5776 square foot building. The additions are located on the east and west sides of the existing facility.
- Site improvements: enclosed dog run areas, dumpster enclosure, and landscaping per City of Watertown Ordinance.
- Design, massing, and colors of the additions will be compatible with the existing design.

Sustainable Design

- The Owner intends to install solar panels on the roof to reduce the carbon footprint of the facility.

Project timeline

- Estimated construction start: First quarter of 2024
- Estimated completion date: Fourth quarter of 2024

Description of operations and services

- WHS conducts intake, treatment, housing, and adoption of dogs and cats.

Days and hours of operation

- Tuesday through Friday: 10:00am to 5:00pm
- Saturday: 10:00 am to 3:00 pm
- Sunday and Monday: closed.



Please let me know if you have any questions.

Respectfully Submitted,

A handwritten signature in blue ink that reads 'Erik L. Madisen'.

Erik L. Madisen, Principal
Madisen | Maher Architects

PROPOSED ADDITION TO:

WATERTOWN HUMANE SOCIETY

418 WATER TOWER COURT
WATERTOWN, WI 53094

OWNER

WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094
P: 920.261.1270
WHSADOPT.ORG

ARCHITECT

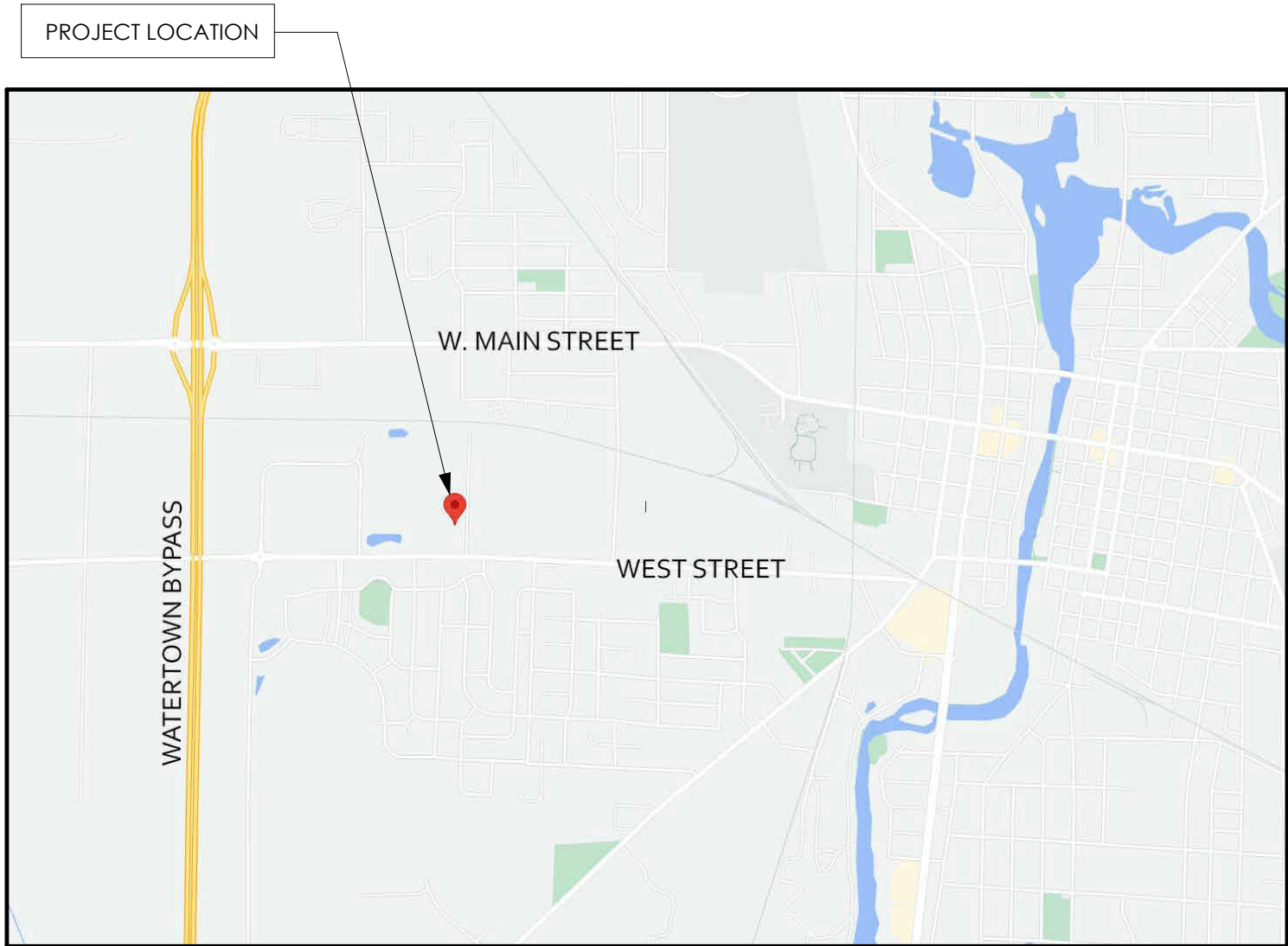
MADISEN MAHER ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

SURVEYOR

POINT OF BEGINNING, INC
4941 KIRSCHLING COURT
STEVENS POINT, WI 54481
P: 715.344.9999
POBINC.COM

SHEET INDEX		
NO.	NAME	REV#
A0.00	TITLE SHEET	
A0.41	SITE PLAN	
A0.42	LANDSCAPING PLAN	
TS1.1	TOPOGRAPHIC SURVEY	
A1.11	FIRST FLOOR PLAN	
A4.00	EXTERIOR ELEVATIONS	
6		

CODE ANALYSIS IBC 2015 IEBC 2015		
PROPERTY ADDRESS:	418 WATER TOWER COURT	
ZONING DESIGNATION:	GI, GENERAL INDUSTRIAL	FIRE RESISTANCE RATINGS REQ'D: (IBC TABLE 601)
OCCUPANCY CLASSIFICATION: (IBC 304)	B	STRUCTURAL FRAME: 0 HOURS EXTERIOR BRG. WALLS: 0 HOURS INTERIOR BRG. WALLS: 0 HOURS INTERIOR NON-BRG. WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS ROOF CONSTRUCTION: 0 HOURS
CLASS OF CONSTRUCTION: (IBC 602.5)	VB	
ALTERATION LEVEL: (IEBC 701)	3	EGRESS WIDTH: (IBC 1005)
FIRE PROTECTION: (NFPA 13)	NOT SPRINKLERED	OTHER EGRESS COMP. REQ'D (PROVIDED): 6.75" .15" / PERSON
PROJECT BUILDING INFO: NUMBER OF STORIES	1	EXITS PROVIDED: 15 MINIMUM CLEAR WIDTH: 34"
EXISTING BUILDING, GROSS: PROPOSED ADDITION: TOTAL BUILDING, GROSS:	5,776 SF 2,161 SF 12,937 SF	COMMON PATH OF EGRESS TRAVEL : 75'-0" (IBC 1006.2.1)
ALLOWABLE AREA: (IBC TABLE 506.2)	9,000 SF	EXIT TRAVEL DISTANCE: 200'-0" (IBC 1017.2)
OCCUPANT LOAD: (IBC TABLE 1004.1.2)	45 PERSONS	PLUMBING FIXTURES REQUIRED (PROVIDED): (IBC TABLE 2902.1)
OFFICE / BUSINESS, 2,815 SF: CLINIC, 774 SF: STORAGE, 1,453 SF: KENNELS/CATS, ACTUAL:	29 PERSONS 4 PERSONS 5 PERSONS 7 PERSONS	WATER CLOSETS: MEN: 1 (1 PROVIDED) WOMEN: 1 (1 PROVIDED) TOTAL: 2 (2)
EMPLOYEES: VOLUNTEERS: BY AREA, 3,556 SF	2 PERSONS 5 PERSONS	LAVATORIES: MEN: 1 (1 PROVIDED) WOMEN: 1 (1 PROVIDED) TOTAL: 2 (2)
		SERVICE SINK: 1 PROVIDED
		THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.



① PROJECT LOCATION
N.T.S.

NATURAL RESOURCES SITE EVALUATION WATERTOWN ORDINANCE 550-73	
GROSS SITE AREA:	1.29 ACRES
1. TOTAL SITE AREA BY SURVEY:	1.29 ACRES
2. AREA LOCATED WITHIN PROPOSED RIGHTS-OF-WAY OF ROADS AND BOUNDARIES OF PUBLIC FACILITIES DESIGNATED IN THE CITY'S COMPREHENSIVE PLAN:	N/A
3. NON-CONTIGUOUS OR INACCESSIBLE LAND/PARCEL:	N/A
4. LAND PROPOSED FOR DIFFERENT DEVELOPMENT/ZONING DISTRICT:	N/A
5. AREA OF NAVIGABLE WATERS:	N/A
REQUIRED RESOURCE PROTECTION AREA (RPA) :	0 ACRES
1. AREA OF FLOODWAYS:	N/A
2. AREA OF FLOODPLAIN:	N/A
3. AREA OF FLOOD-FRINGES:	N/A
4. AREA OF WETLANDS:	N/A
5. AREA OF DRAINAGEWAYS:	N/A
6. AREA OF LAKESHORE:	N/A
7. AREA OF WOODLAND:	N/A
8. AREA OF STEEP SLOPES:	-
9. SUBTRACT NATURAL RESOURCE AREAS MADE DEVELOPABLE USING APPROVED ENVIRONMENTAL MITIGATION TECHNIQUES	N/A
NET DEVELOPABLE AREA (NDA): (GROSS SITE AREA - RPA = NDA)	1.29 ACRES

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
6. GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, FAX, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER/TENANT TAKES OCCUPANCY.
7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.
8. GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
9. GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER/TENANT. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
12. GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
15. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

16. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
19. ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
20. ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
25. ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
26. GIVE ALL SURPLUS PAINT MATERIALS TO OWNER/OWNER/TENANT. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

27. ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO MIN. 2 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C.. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
29. INSTALL INSULATION IN WALLS U.N.O.. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRE BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
30. PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO LANDLORD, OWNER/TENANT WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
32. PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
35. ALL FUTURE FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER/TENANT UNLESS NOTED.
36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :



418 WATER TOWER COURT
WATERTOWN, WI 53094

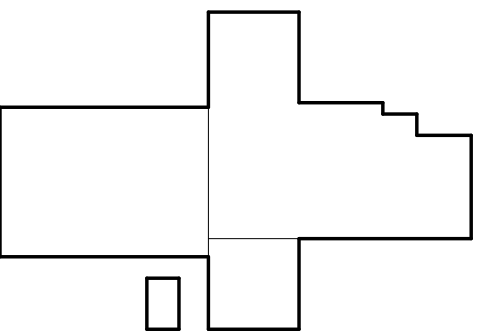
CLIENT

WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

PROJECT NUMBER 23-004
START DATE 01-19-2023
DRAWN BY JLS
CHECKED BY ELM

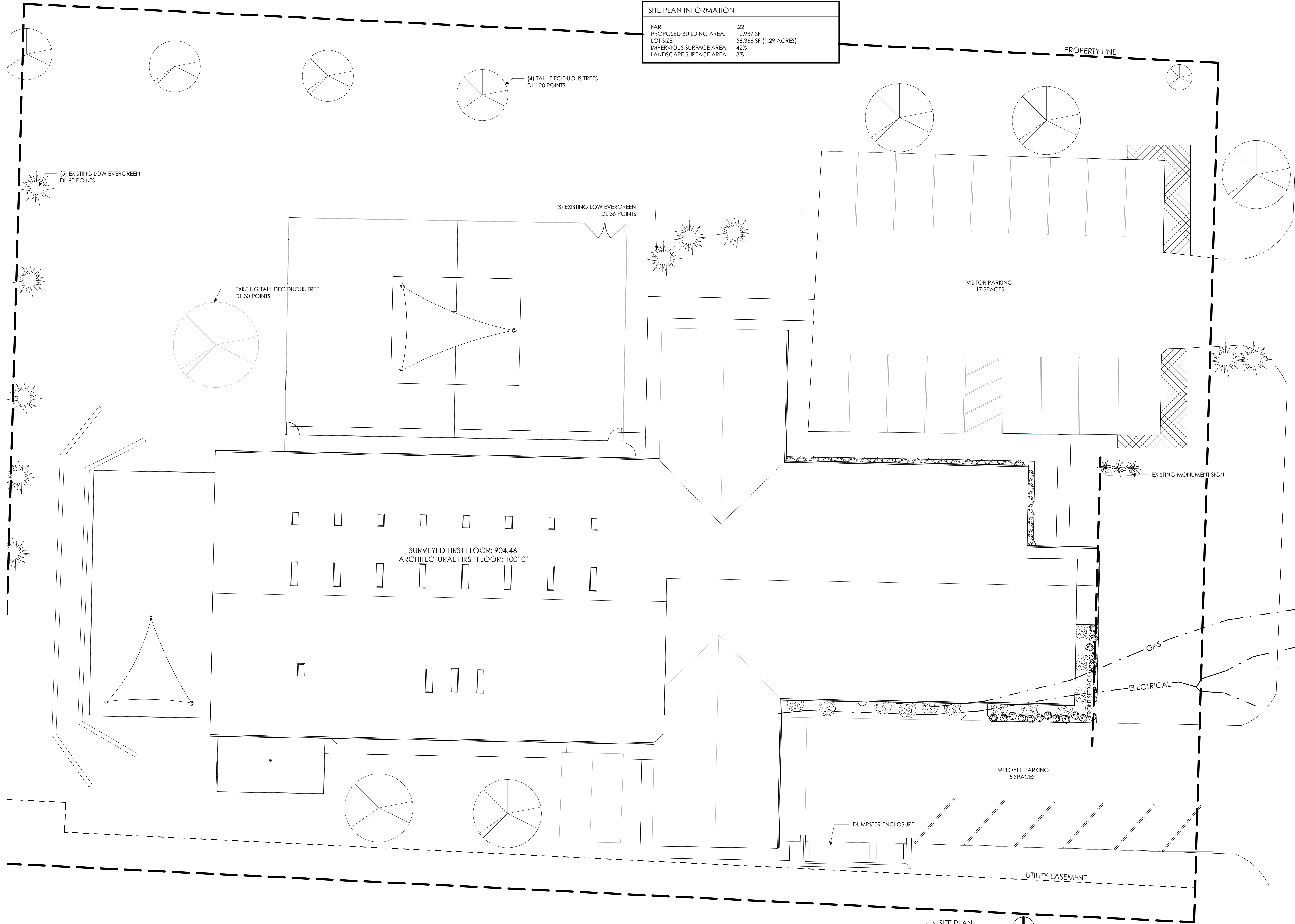


KEY PLAN

TITLE SHEET

A0.00

NOT FOR CONSTRUCTION



SITE PLAN INFORMATION	
FAR:	.22
PROPOSED BUILDING AREA:	12,937 SF
LOT SIZE:	56,366 SF (1.29 ACRES)
IMPERVIOUS SURFACE AREA:	42%
LANDSCAPE SURFACE AREA:	3%



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :



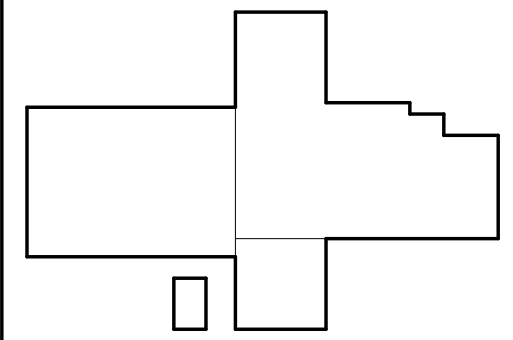
418 WATER TOWER COURT
WATERTOWN, WI 53094

CLIENT
WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

PROJECT NUMBER 23-004
START DATE 01-19-2023
DRAWN BY JLS
CHECKED BY ELM



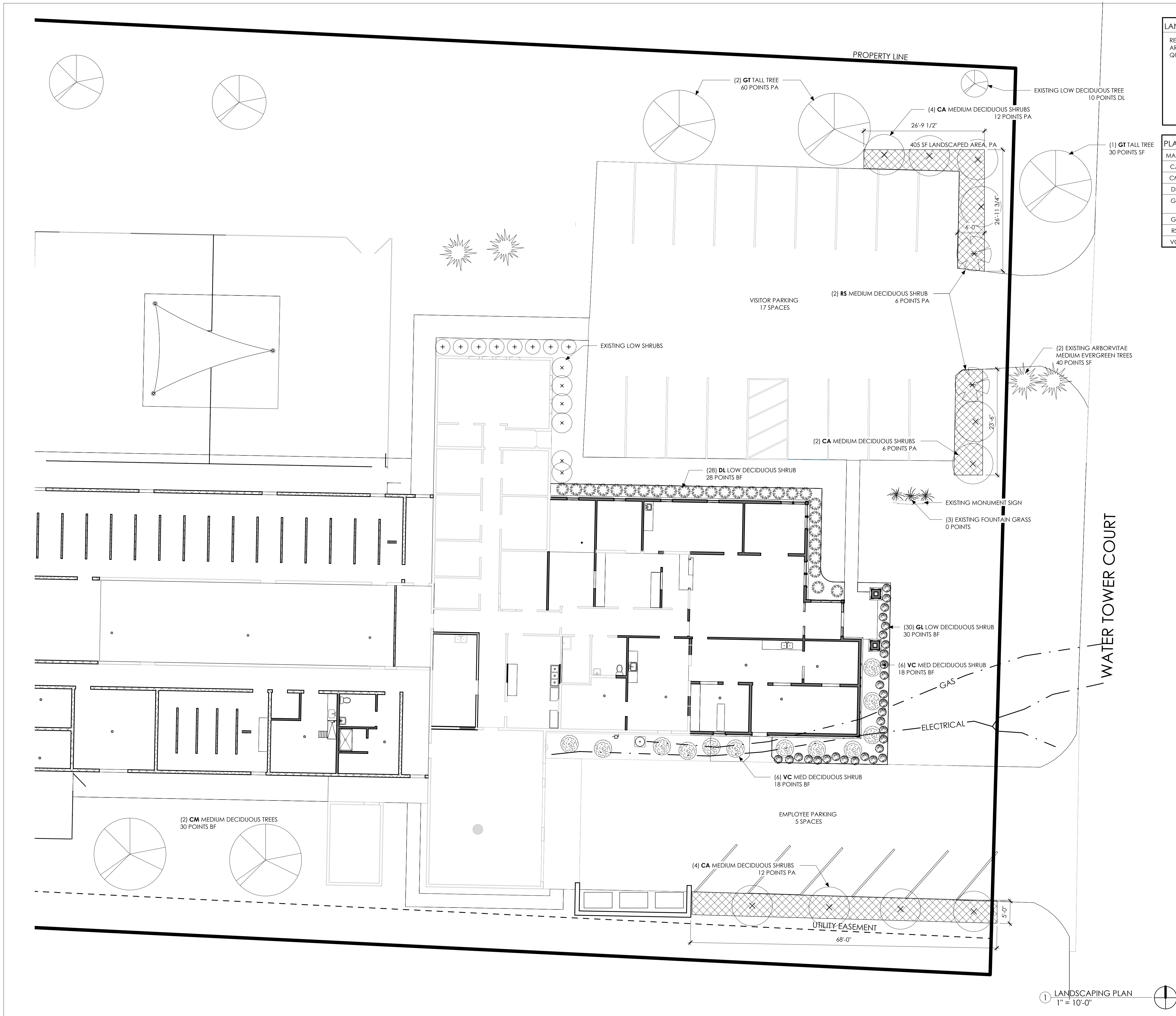
KEY PLAN

SITE PLAN

A0.41

NOT FOR CONSTRUCTION

1 SITE PLAN
1" = 10'-0"



LANDSCAPING REQUIREMENTS			
REQUIRED POINT VALUES PER CITY OF WATERTOWN ORDINANCES 550 ARTICLE X, LANDSCAPING AND BUFFERYARD REGULATIONS. PLANT QUANTITY/CLASSIFICATION NOTED ON PLAN.			
BUILDING FOUNDATIONS (BF):	REQUIRED 120 POINTS	PROVIDED 124 POINTS	
STREET FRONTAGE (SF):	40 POINTS	70 POINTS	
PAVED AREAS (PA):	80 POINTS	96 POINTS	
DEVELOPED LOTS (DL):	65 POINTS	256 POINTS	
EXISTING DL TREES SHOWN ON FULL SITE PLAN A0.41			

PLANTING SCHEDULE			
MARK	BOTANICAL NAME	COMMON NAME	SPACING MIN.
CA	Corylus americana	AMERICAN HAZELNUT	10 FT
CM	Crataegus mollis	DOWNY HAWTHORN	
DL	Diervilla lonicera	DWARF BUSHHONEYSUCKLE	2 FT
GL	Rhus aromatica "gro-low"	GRO-LOW FRAGRANT SUMAC	2 FT
GT	Gleditsia triacanthos	THORNLESS HONEYLOCUST	
RS	Rosa setigera	PRAIRIE ROSE	2FT
VC	Viburnum cassinoides	WITHEROD VIBURNUM	5FT



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM



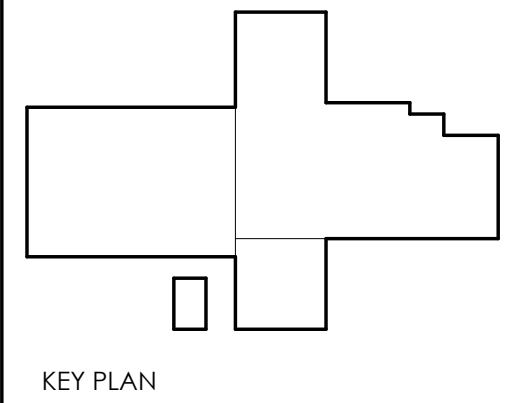
PROPOSED ADDITION TO :
418 WATER TOWER COURT
WATERTOWN, WI 53094

CLIENT
WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

PROJECT NUMBER 23-004
START DATE 01-19-2023
DRAWN BY JLS
CHECKED BY ELM



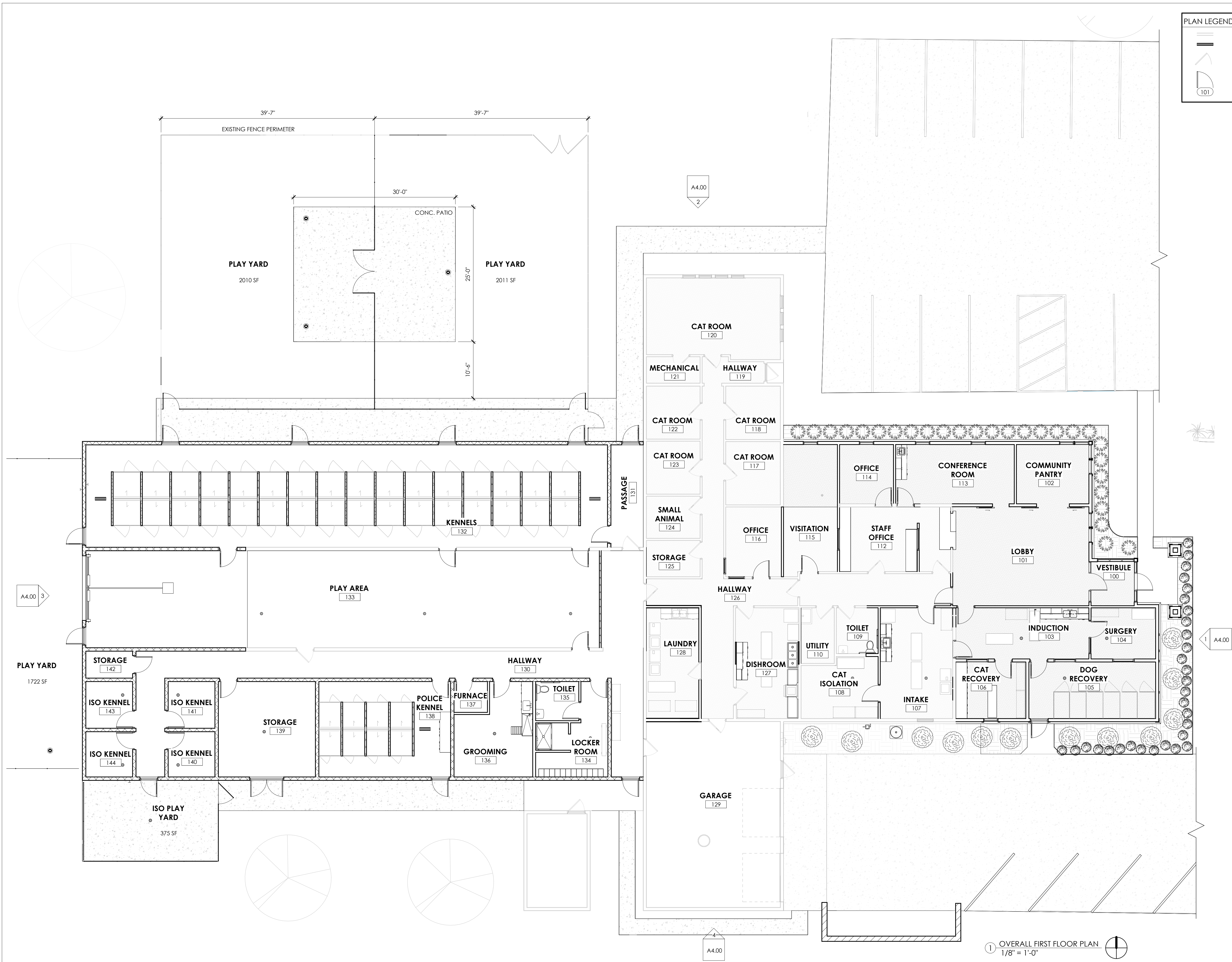
KEY PLAN

LANDSCAPING PLAN

A0.42

1 LANDSCAPING PLAN
1" = 10'-0"

NOT FOR CONSTRUCTION



PLAN LEGEND	
	EXISTING WALL
	NEW METAL STUD WALL
	EXISTING DOOR
	NEW DOOR (WITH DOOR TAG)



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :



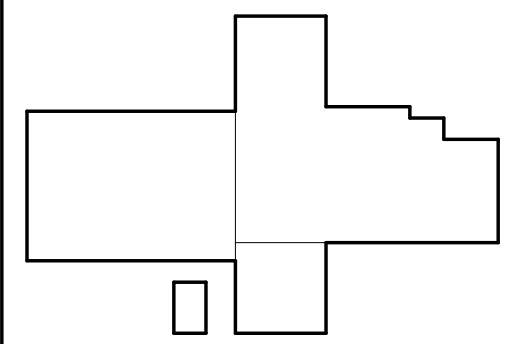
418 WATER TOWER COURT
WATERTOWN, WI 53094

CLIENT
WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

PROJECT NUMBER	23-004
START DATE	01-19-2023
DRAWN BY	JLS
CHECKED BY	ELM



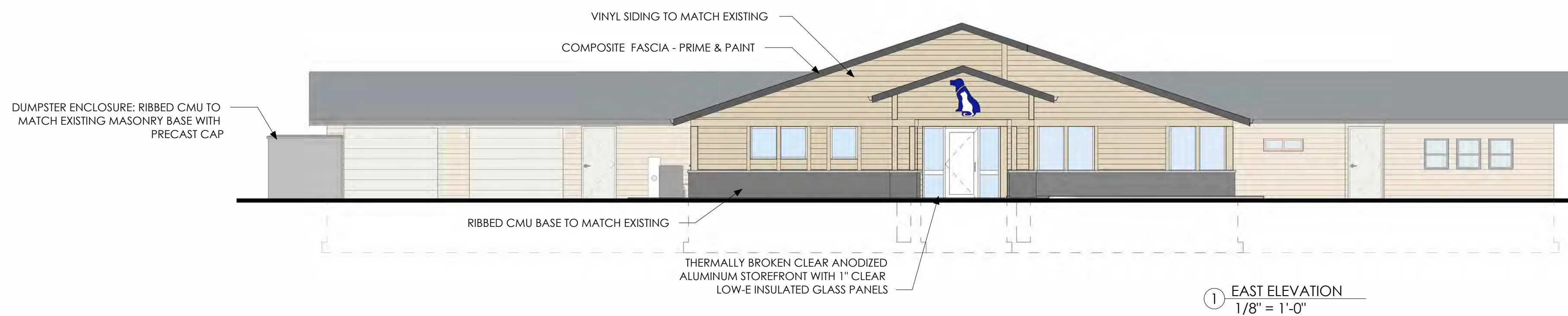
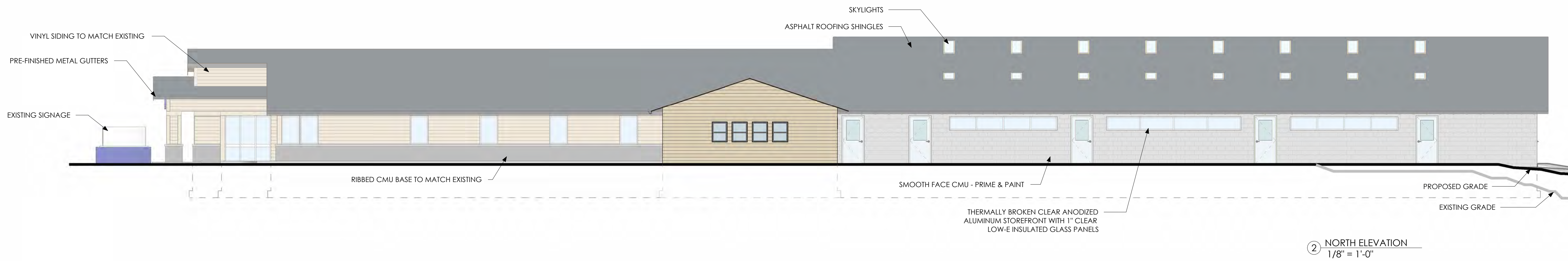
KEY PLAN

FIRST FLOOR PLAN

A1.11

NOT FOR CONSTRUCTION

1 OVERALL FIRST FLOOR PLAN
1/8" = 1'-0"



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :
WATERTOWN HUMANE SOCIETY

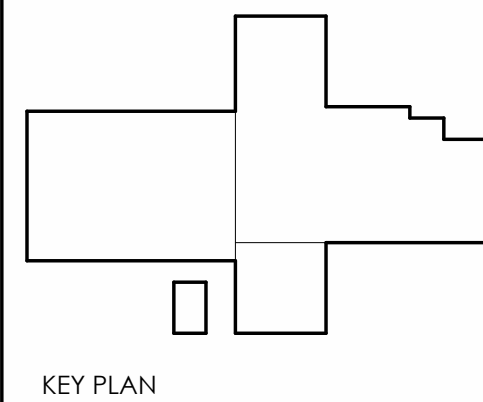
418 WATER TOWER COURT
WATERTOWN, WI 53094

CLIENT
WATERTOWN HUMANE SOCIETY
418 WATER TOWER COURT
WATERTOWN, WI 53094

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
04-18-23		SD: OWNER REVIEW

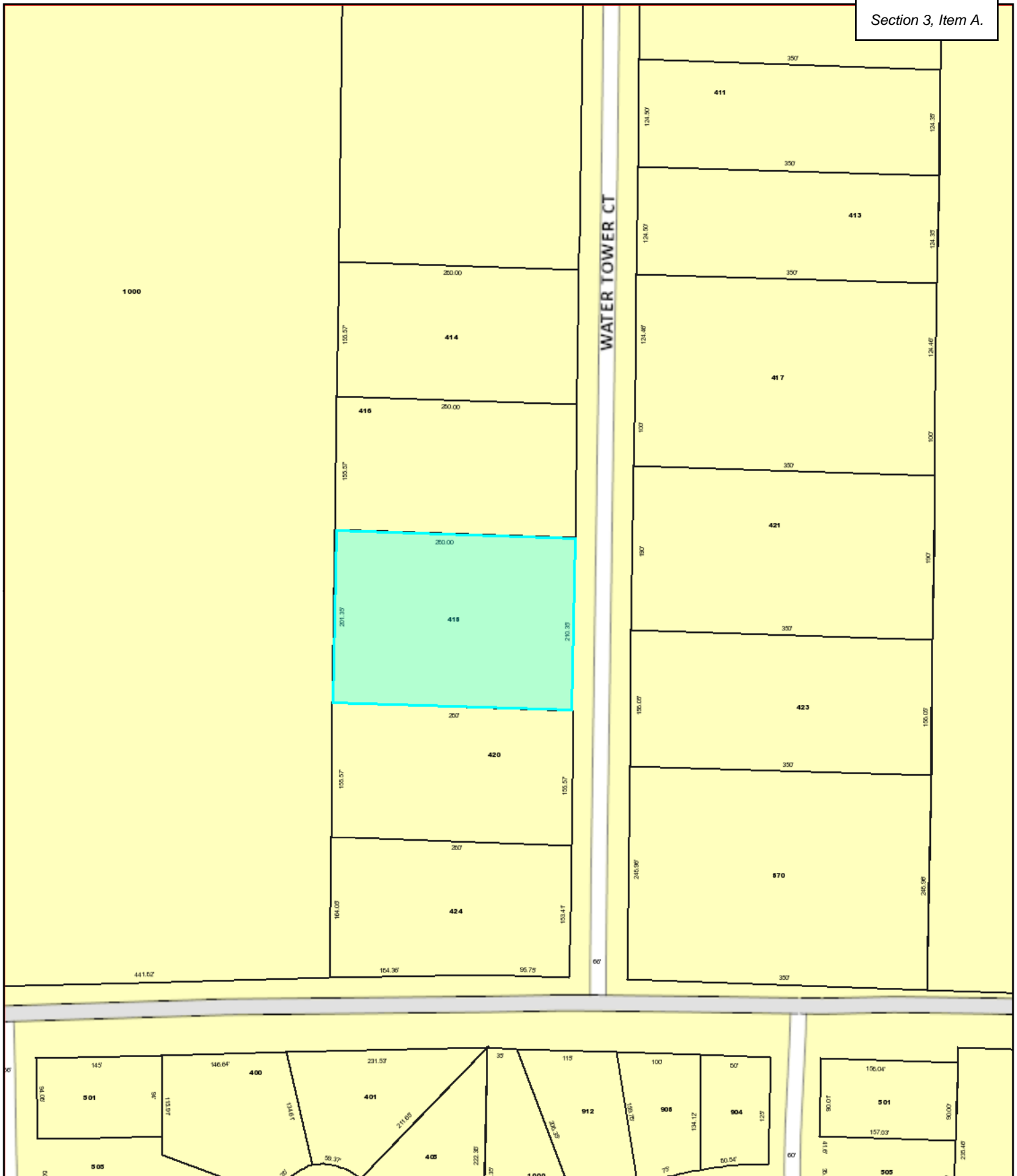
PROJECT NUMBER 23-004
START DATE 01-19-2023
DRAWN BY JLS
CHECKED BY ELM



EXTERIOR ELEVATIONS

A4.00

NOT FOR CONSTRUCTION



Parcels



Override 1

Parcels



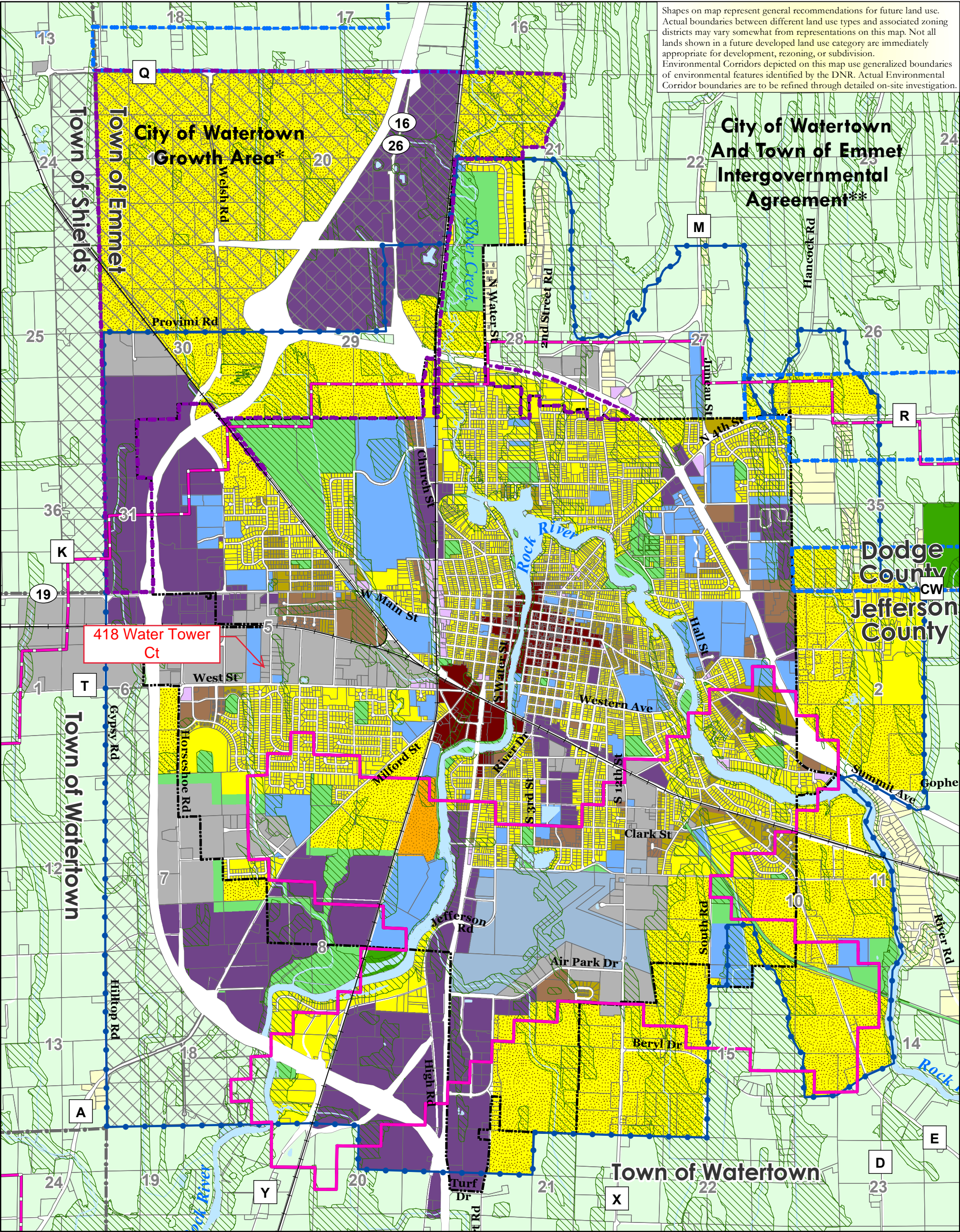
City of Watertown Geographic Information System

Scale: 1 inch = 150 feet
SCALE BAR = 1"

Printed on: August 2, 2017
Author: Private Use

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Watertown
And Town of Emmet
Intergovernmental
Agreement****

**Dodge
County
Jefferson
County**

**Future Land Use
Urban Area**

**Map
6b**

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation

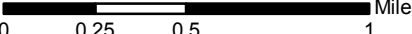


Draft: August 7, 2019
Source: WisDNR, FEMA,
City of Watertown,
Dodge Co. LIO &
Jefferson Co. LIO, V&A

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations
Maximum Building Elevation
b/t 865 and 968 ft
Maximum Building Elevation
b/t 968 and 1005 ft

**VANDEWALLE &
ASSOCIATES INC.**
Shaping places. shaping change



Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: August 14th, 2023
SUBJECT: West Road - Extraterritorial Certified Survey Map (CSM)

A request by Helen Weihert to create a one lot Certified Survey Map (CSM) within the City of Watertown 3-mile extraterritorial plat review jurisdiction. Parcel PIN: 032-0815-1512-000

SITE DETAILS:

Parent Parcel Acres: 39.22
Proposed Lot Size(s): 5 acres
Jurisdiction: Town of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a one lot Certified Survey Map with access to West Road.

STAFF EVALUATION:

The preliminary CSM lot is not located within the Airport Approach Protection Zone. West Road was not identified in the 2019 City of Watertown Comprehensive Plan as having an expanded right-of-way, a 66 ft ROW (33ft from centerline) as depicted on the preliminary CSM is adequate.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the preliminary extraterritorial CSM.
2. Approve the preliminary extraterritorial CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the Plan Commission:

ATTACHMENTS:

- Application materials.

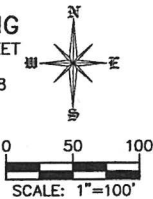
PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 15, TOWNSHIP 08 NORTH, RANGE 14 EAST,
TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

SURVEYED FOR:
HELEN WEIHERT &
JEFFREY WEIHERT
N8890 WEST RD
WATERTOWN, WI 53094

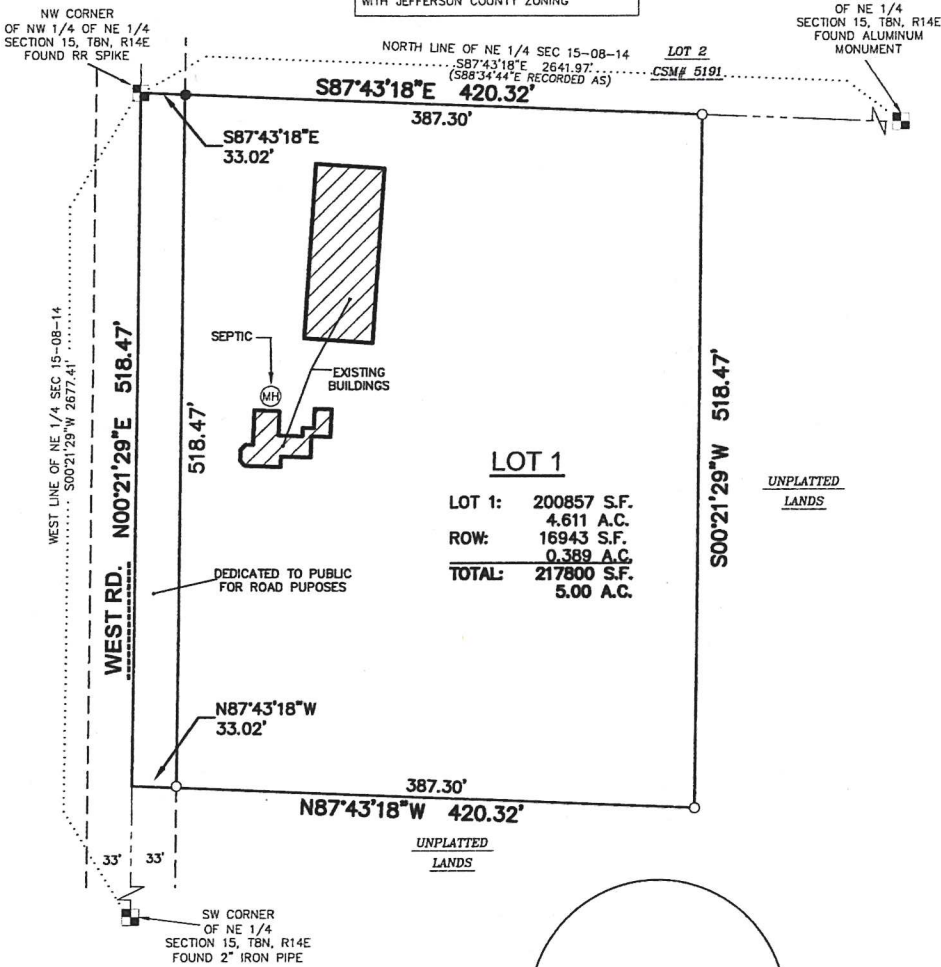
SURVEYED BY:
KW SURVEYING
725 PALMYRA STREET
P.O. BOX 32
SULLIVAN, WI. 53178
(262)-593-5800



NOTES

- 1. FIELD WORK PERFORMED ON JULY 13, 2022.
- 2. BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (JEFFERSON COUNTY). THE NORTH LINE OF THE NE QUARTER OF SECTION 15-08N-14E, BEARS N87°43'18"W.

PETITION # R4470A-23 ZONING A-3
CHECK FOR SUBSEQUENT ZONING CHANGES
WITH JEFFERSON COUNTY ZONING



LOT 1

LOT 1:	200857 S.F.
	4.611 A.C.
ROW:	16943 S.F.
	0.389 A.C.
TOTAL:	217800 S.F.
	5.00 A.C.

LEGEND

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- PLAT BOUNDARY
- - - RIGHT-OF-WAY LINE
- - - SECTION LINE

THIS INSTRUMENT WAS DRAFTED BY KENNETH J. WILKOWSKI, S-1841

SHEET 1 OF 3
JOB NO. J2181

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 15, TOWNSHIP 08 NORTH, RANGE 14 EAST,
TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

LEGAL DESCRIPTION

BEING PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 08 NORTH, RANGE 14 EAST, TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 15, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 87°43'18" EAST ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15, 420.32 FEET TO A POINT; THENCE SOUTH 00°21'29" WEST AND PARALLEL WITH THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15, 518.47 FEET TO A POINT; THENCE NORTH 87°43'18" WEST AND PARALLEL WITH THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15, 420.32 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 15; THENCE NORTH 00°21'29" EAST ALONG SAID WEST LINE, 518.47 FEET TO THE POINT OF BEGINNING;

SAID PARCEL CONTAINS 217,800 SQUARE FEET OR 5.000 ACRES.

SURVEYOR'S CERTIFICATE

I, KENNETH J. WILKOWSKI, PROFESSIONAL LAND SURVEYOR S-1841, DO HEREBY CERTIFY THAT BY DIRECTION OF HELEN WEIHART AND JEFFREY WEIHART, I HAVE SURVEYED, DIVIDED, MAPPED AND DEDICATED THE LANDS DESCRIBED HEREON, AND THAT THE MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY OF THE LANDS SURVEYED AND THE DIVISION THEREOF, IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF JEFFERSON COUNTY, WISCONSIN.

KENNETH J. WILKOWSKI, S-1841
PROFESSIONAL LAND SURVEYOR

DATE

PRELIMINARY

CERTIFIED SURVEY MAP NO. _____

BEING PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 15, TOWNSHIP 08 NORTH, RANGE 14 EAST,
TOWN OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

OWNERS CERTIFICATE

HELEN WEIHERT & JEFFREY WEIHERT, AS OWNERS, DO HEREBY CERTIFY THAT SAID OWNERS HAVE CAUSED THE LAND DESCRIBED ON THE CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON, SAID OWNERS FURTHER CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34, WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL:

- i) JEFFERSON COUNTY PLANNING AND ZONING
- ii) TOWN OF WATERTOWN
- iii) CITY OF WATERTOWN

HELEN WEIHERT, OWNER

JEFFREY WEIHERT, OWNER

STATE OF WISCONSIN) SS
JEFFERSON COUNTY) SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2023, THE ABOVE NAMED HELEN, MICHAEL & JEFFREY WEIHERT, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, JEFFERSON COUNTY, WISCONSIN MY COMMISSION EXPIRES _____

CITY OF WATERTOWN EXTRATERRITORIAL APPROVAL

APPROVED BY THE CITY OF WATERTOWN PLAN COMMISSION ON THIS ____ DAY OF _____, 2023,

TOWN OF WATERTOWN APPROVAL

APPROVED BY THE TOWN OF WATERTOWN COMMITTEE ON THIS ____ DAY OF _____, 2023,

JEFFERSON COUNTY APPROVAL

APPROVED BY THE JEFFERSON COUNTY PLANNING AND ZONING COMMITTEE ON THIS ____ DAY OF _____, 2023,

Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: August 14th, 2023
SUBJECT: 1014 S Second Street – Preliminary Certified Survey Map (CSM)

A request by Loeb & Co., LLP to create a Certified Survey Map (CSM) within the City of Watertown.
Parcel PIN(s): 291-0815-0431-051

SITE DETAILS:

Proposed Lot Size(s): Lot 1 – 2.10 acres (91,613 s.f.), Lot 2 – 0.857 acres (37,360 s.f.)
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a two lot CSM from an existing parcel. Both proposed lots will have frontage on South 2nd Street. The existing ROW for South 2nd Street is adequate and classified as a local road in the Comprehensive Plan. Both proposed lots exceed the minimum lot area requirements for the Heavy Industrial (HI) Zoning District in which they are located. The proposed lots are located within the Airport Approach Protection Zone with an elevation of 968 feet above mean sea level for all buildings, a note to this effect has been added to the CSM. A new address(s) will need to be assigned as both lots will contain existing buildings.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the preliminary CSM.
2. Approve the preliminary CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the City of Watertown Plan Commission:
 - a. The applicant obtains a new address(s) for the existing buildings on the proposed lots.

ATTACHMENTS:

- Application materials.

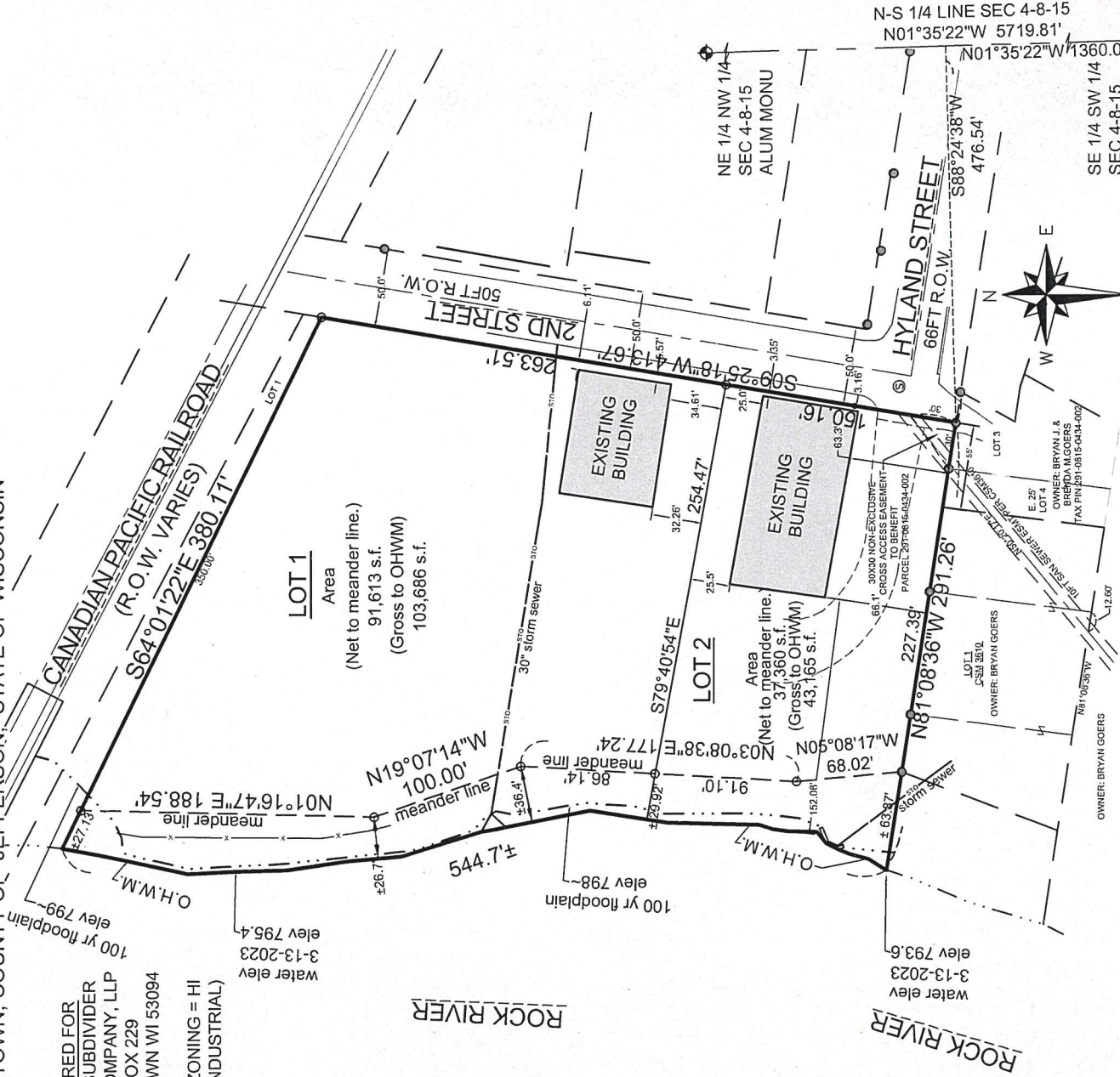
PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEWED
APPROVAL
TO BE RECORDED

CERTIFIED SURVEY MAP NO -

BEING ALL OF LOTS 2, 3, 4, 5 AND 6, AND ALL OF LOT 1 EXCEPT A STRIP OF LAND 23 3/4 FEET IN WIDTH ON THE WESTERLY END AND 12 FEET IN WIDTH ON THE EASTERLY END, LYING SOUTH OF AND ADJOINING THE RIGHT-OF-WAY OF CHICAGO, MILWAUKEE, ST PAUL AND PACIFIC RAILROAD COMPANY (NOW CANADIAN PACIFIC RAILROAD), AND EXTENDING FROM THE WEST LINE OF LOT 1, ALL IN BLOCK 3, OF THE RECORDED PLAT OF COLE, BAILEY AND CO'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

PREPARED FOR
OWNER/SUBDIVIDER
LOEB & COMPANY, LLP
PO BOX 229
WATERTOWN WI 53094

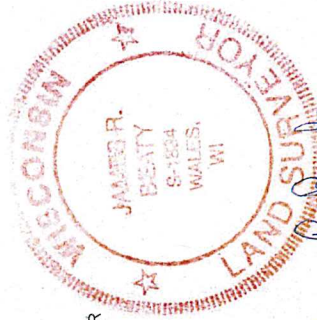
PARCEL ZONING = HI
(HEAVY INDUSTRIAL)



LEGEND

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- SECTION OR 1/4 SECTION CORNER
- CONC MONU W/ALUM CAP
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. (1.315 O.D.) IRON PIPE SET (UNLESS OTHERWISE NOTED)
- CHAIN LINK FENCE (UNLESS OTHERWISE NOTED)

100 yr floodplain lies along bank of river elevation varies from ~799 to ~797.8 per FEMA Map No. 55055C0086F effective date of February 14, 2015



James R. Beatty, PLS 1834
DATED: MARCH 13, 2023

NOTE:

Lots 1, and 2 have an Airport Approach Protection Zone Elevation limit of 968 above mean sea level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence

BEARING REFERENCE:

Bearings are referenced to the Wisconsin County Coordinate system, Jefferson County within which the South line of the SE 1/4 of Section 4, T8N, R15E was measured to bear N84°25'00"W
Vertical referenced to NGVD (88) & FEMA Datum

THIS INSTRUMENT WAS DRAFTED BY JAMES R. BEATTY SHEET 1 OF 3

PRELIMINARY DRAFT PENDING
AUTHORITIES REVIEWED
NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

BEING ALL OF LOTS 2, 3, 4, 5 AND 6, AND ALL OF LOT 1 EXCEPT A STRIP OF LAND 23 3/4 FEET IN WIDTH ON THE WESTERLY END AND 12 FEET IN WIDTH ON THE EASTERLY END, LYING SOUTH OF AND ADJOINING THE RIGHT-OF-WAY OF CHICAGO, MILWAUKEE, ST PAUL AND PACIFIC RAILROAD COMPANY (NOW CANADIAN PACIFIC RAILROAD), AND EXTENDING FROM THE WEST LINE OF LOT 1, ALL IN BLOCK 3, OF THE RECORDED PLAT OF COLE, BAILEY AND CO'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

SURVEYOR'S CERTIFICATE

I, James R. Beaty, Registered Land Surveyor, do hereby certify that at the direction of the Owner(s), I have made this survey, being vacated Hyland Street lying westerly of Second Street and all of Lots 2, 3, 4, 5 and 6, and all of Lot 1 except a strip of land 23 3/4 feet in width on the westerly end and 12 feet in width on the easterly end, lying south of and adjoining the right-of-way of Chicago, Milwaukee, St. Paul and Pacific Railroad Company, and extending from the west line of Lot 1, all in Block 3, of the recorded plat of Cole, Bailey and Co's Addition to Watertown, being in the Seventh Ward of the City of Watertown, Jefferson County, Wisconsin. All lands being a part of the Northeast 1/4 of the Southwest 1/4 of Section 4, all lying in Township 8 North, Range 15 East, in the City of Watertown, County of Jefferson, State of Wisconsin. Said lands are bounded and described as follows:

Beginning at the found aluminum monument at the Southeast corner of the Southeast 1/4 of said Section 4; thence North 84°25'00" West, 2654.47 feet along the South line of said Southeast 1/4 of said Section 4 to a found aluminum monument at the Southwest corner of the Southeast 1/4 of said Section 4; thence North 01°35'22" West, 1360.02 feet to a point; thence South 88°24'38" West, 476.54 feet to the point of beginning of the lands hereinafter described; thence North 81°08'36" West, 227.39 feet along the south right-of-way line of vacated Hyland Street and the north line of Lot 1 of CSM 3610 to a found 1" iron pipe at the northwest corner of Lot 1 of CSM 3610; thence along a meander line N 05°08'17" W, 68.02 feet to a found 1" iron pipe; thence continuing along aforesaid meander line North 03°08'38" East, 177.24 feet; thence North 19°07'14" West, 100.00 feet to a point; thence North 01°16'47" East, 188.54 feet to a point on the south right-of-way line of the Canadian Pacific Railroad; thence South 64°01'22" East, 380.11 feet along said south right-of-way line of the Canadian Pacific Railroad to a point on the west right of way of 2nd Street; thence South 09°25'18" West, 413.67 feet to the place of beginning; Said described lands containing 128,973 s.f. (2.9608 Acres), of land to the meander line. Also including lands lying between the previously described meander line and the ordinary high water mark (OHWM) of the Rock River. Gross area of described lands containing 146,851 s.f. (3.3712 Acres), more or less of land to the (OHWM) of the Rock River.

That I have made this survey, land division and map by the direction of Loeb and Company, LLP, Owner(s) of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the City of Watertown ordinances in surveying, dividing and mapping and dedicating of same.

WITNESS

MISSING

NE 1/4

SE 1/4

SW 1/4

NW 1/4

S. Second St.

S. Third St.

7th St.

8th St.

Hart St.

THIS SURVEY

PREPARED BY / SURVEYOR:

Horizon Land Development Services, LLC

W313 S2562 Penny Lane

Wales, Wisconsin 53183

1-262-349-1575



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 13, 2023

LOCATION MAP

SECTION 4 T8N R15E

THIS INSTRUMENT WAS DRAFTED BY JAMES R. BEATY SHEET 2 OF 3

PRELIMINARY DRAFT PENDING
APPROVAL
AUTHORITIES REVIEWED
NOT TO BE RECORDED

CERTIFIED SURVEY MAP NO - _____

BEING ALL OF LOTS 2, 3, 4, 5 AND 6, AND ALL OF LOT 1 EXCEPT A STRIP OF LAND 23 3/4 FEET IN WIDTH ON THE WESTERLY END AND 12 FEET IN WIDTH ON THE EASTERLY END, LYING SOUTH OF AND ADJOINING THE RIGHT-OF-WAY OF CHICAGO, MILWAUKEE, ST PAUL AND PACIFIC RAILROAD COMPANY (NOW CANADIAN PACIFIC RAILROAD), AND EXTENDING FROM THE WEST LINE OF LOT 1, ALL IN BLOCK 3, OF THE RECORDED PLAT OF COLE, BAILEY AND CO'S ADDITION TO WATERTOWN, BEING IN THE SEVENTH WARD OF THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN. ALL LANDS BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 4, ALL LYING IN TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, COUNTY OF JEFFERSON, STATE OF WISCONSIN

CORPORATE OWNER'S CERTIFICATE

Loeb and Company, LLP, a Wisconsin limited liability partnership organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.
Aforesaid owner, Loeb and Company, LLP, does further certify that this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection: City of Watertown

IN WITNESS WHEREOF, the said Loeb and Company, LLP, has caused these presents to be signed by Bruce Loeb, its Partner, on this 3rd, day of August, 2023.

In the presence of:

Loeb and Company, LLP

Corporate Name

Bruce Loeb Partner
Bruce Loeb, Partner

STATE OF WISCONSIN)

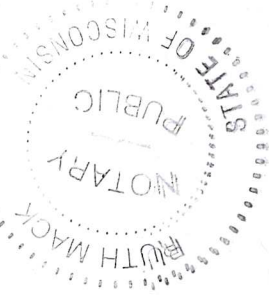
Jefferson (SS
WATKINSHA COUNTY)

Personally came before me this 3rd day of August, 2023, Bruce Loeb, of the above named company, to me known to be the person(s) who executed the foregoing instrument, and to me known to be such Partner of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, by its authority.

Ruth Mack
name

Notary Public: Jefferson, Wisconsin

My commission expires 01-31, 2026



PLAN COMMISSION APPROVAL:

Approved by the Plan Commission of the City of Watertown this _____ day of _____, 2023.

Emily McFarland, Chair



James R. Beaty
James R. Beaty, PLS 1834
DATED: MARCH 13, 2023

THIS INSTRUMENT WAS DRAFTED BY JAMES R. BEATY SHEET 3 OF 3

Main Office 920-262-4060	Brian Zirbes 920-262-4041	Mark Hady 920-342-0986
Nikki Zimmerman 920-262-4045	Dell Zwieg 920-262-4042	
Doug Zwieg 920-262-4062	Dennis Quest 920-262-4061	

TO: Plan Commission
DATE: August 14th, 2023
SUBJECT: Public Hearing Comment Review and Recommendation to Council – Rezoning 621
Bernard Street and 668 Johnson Street.

A rezoning requested by The Watertown Fire Department to change the zoning on parcels located at 621 Bernard St and 668 Johnson St. Parcel PINs: 291-0815-0432-019 & 291-0815-0544-003

SITE DETAILS:

Acres: 2.21 & 5.55
Current Zoning: General Business (GB) and Multifamily Residential-8 (MR-8)
Existing Land Use: Vacant Land
Future Land Use Designation: Central Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to change the zoning designation on approximately 7.76 acres from General Business and Multi-Family (MR-8) Residential Zoning to Central Business Zoning for use as the City's new Fire Station. The 2019 City of Watertown Comprehensive Plan designates the Future Land Use of this area as Central Mixed Use. Central Business Zoning is the associated zoning district for Central Mixed Use per the Comprehensive Plan. Public Services and Utilities is a principle land use permitted by right in the Central Business Zoning District.

STAFF EVALUATION:

Land Use and Zoning:

Nearby Future Land Use designations include Central Mixed Use for all adjacent areas. Planned Neighborhood and Institutional Future Land Use Designations exist further to the west and south.

Nearby Zoning includes General Business District Zoning directly adjacent to the east and north, Multi-Family Zoning to the north and west, and Planned Office Zoning across the street to the south. Single-Family Residential Zoning also exists to the west.

Zoning Code

The zoning code requires the Plan Commission to review rezoning requests and make a recommend to the Common Council.

Per Section § 550-141G:

G. Review and recommendation by the Plan Commission. The Common Council shall not make an amendment to the Official Zoning Map without allowing for a recommendation from the Plan Commission per the provisions of this subsection.

(1) Within 60 days after the public hearing (or within an extension of said period requested in writing by the applicant and granted by the Plan Commission), the Plan Commission shall make a written report to the Common Council stating its findings regarding Subsection **D** above and its recommendations regarding the application as a whole. Said report shall include a formal finding of facts developed and approved by the Plan Commission concerning the requirements of Subsection **D(3)(a)** through **(c)**.

(2) If the Plan Commission fails to make a report within 60 days after the filing of said complete application [and in the absence of an applicant-approved extension per Subsection **G(1)** above], then the Common Council may act on the application within 30

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

days after the expiration of said sixty-day period. Failure to receive said written report from the Plan Commission shall not invalidate the proceedings or actions of the Common Council. Subsection **G(1)** above shall not invalidate the proceedings or actions of the Common Council.

Section 3, Item D.

- (3)** If the Plan Commission recommends approval of an application, it shall state in the minutes or in a subsequent written decision its conclusion and any finding of facts supporting its conclusion as to the following: that the potential public benefits of the proposed amendment outweigh any and all potential adverse impacts of the proposed amendment, as identified in Subsection **D(3)(a)** through **(c)** above, after taking into consideration the proposal by the applicant

PUBLIC HEARING COMMENTS:

No public comments from August 1st, 2023 Public Hearing.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Negative recommendation of the Rezoning to Common Council.
2. Positive recommendation of the Rezoning to Common Council.
3. Positive recommendation of the Rezoning to Common Council, with conditions identified by the Plan Commission:
 - a. Note: The public hearing notice for this rezoning contained a clerical error that erroneously stated the existing zoning to include the Two-Family Residential (TR-6) zoning district rather than the correct zoning district of Multifamily Residential-8 (MR-8).

Figure 7.7 Future Land Use and Existing Zoning Districts Translation

Section 3, Item D.

Future Land Use Category	Associated Zoning District
Agriculture	Outside of the City Limits
Single-Family-Exurban	Countryside Residential-10, Exurban Residential-1, Outside of the City Limits
Single-Family-Urban	Single-Family Residential-4
Two-Family	Two-Family Residential-6
Multi-Family	Multi-Family Residential-8, Multi-Family Residential-10, and Senior Residential
Planned Neighborhood	All Residential Districts, Neighborhood Office, and Neighborhood Businesses
Neighborhood Mixed-Use	Neighborhood Office, Neighborhood Business, and all Residential Districts
Planned Mixed-Use	All Office, Commercial, Institutional, and Multi-Family Residential Districts, plus the Planned Industrial and Planned Development Districts
Riverside Mixed-Use	All Office, Commercial, Institutional, and Residential Districts, plus the Planned Development District
Central Mixed-Use	Central Business
Mixed Industrial	Planned Industrial, General Industrial, and Heavy Industrial
Institutional	All Districts
Airport	Planned Industrial
Parks and Recreation	All Districts
Environmental Corridor	All Districts

Watertown Fire Department New Facility and Site Improvements

SEH is assisting with a new fire station training tower and vehicle cold storage building to be constructed on 6.386 acres in the City of Watertown along Bernard Street to the East and near the intersection of Milford Street and Johnson Street.

The site is currently zoned Central Business (CB) but will be rezoned to Central Business District (CBD) zoning.

The lot area is roughly 6.39 acres (278,174 s.f.)

Floor Area: 31,761 s.f.

Floor area ratio: 0.1141767

Impervious surface area (pavement) 78,949 s.f.

Impervious surface ratio: 0.2838115

Building height: Fire station: 30' Remote training tower 40'

The fire station footprint is 31,761 on the first floor. The total building area will be 37,268 s.f. on 2 floors. There is a remote training tower that will be roughly 5 stories with a footprint of 1,017 s.f. and 40' in height. The cold storage building will be remote from the fire station as well and will occupy nearly 3,500 s.f.

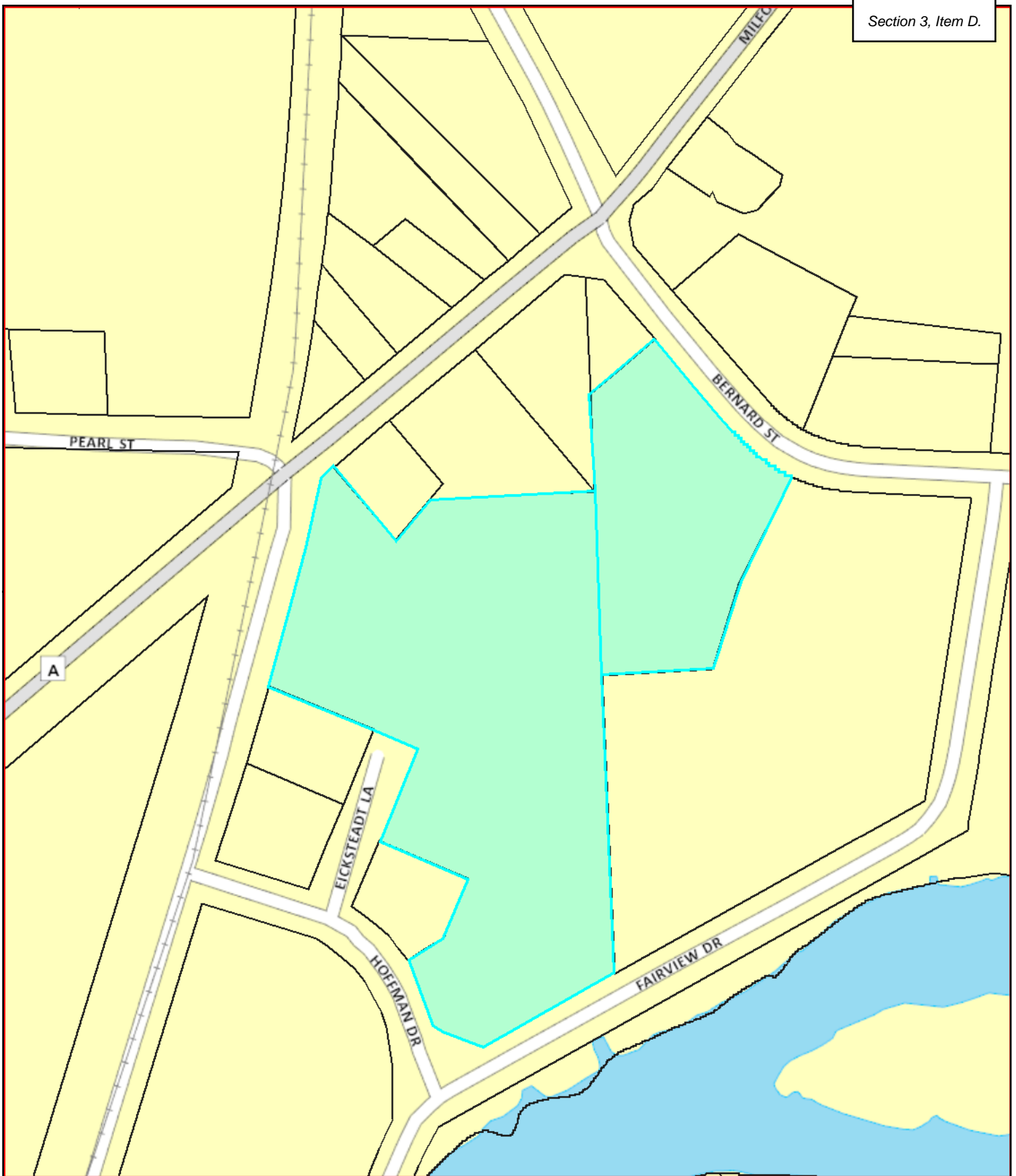
Parking will be contained on site and will accommodate 60 parking stalls. 20 stalls will be used for fire personnel parking of personal vehicles. The remaining 40 stalls will be available to the public who will have access to a public community room resource. The parking lot will be landscaped per City of Watertown zoning requirements.

Pavement at the apparatus bay doors will be concrete and the ramp extension (entry drive) from Bernard Street as well as the parking lot will be heavy duty asphalt.

Stormwater runoff from impervious surfaces will be treated on site for total suspended solids and peak flow reduction. The stormwater infrastructure will be a surface feature located on East end of the site between the fire station and Bernard Street.

The building will be a 2-story facility built of masonry with a combination of red brick and earth tone decorative concrete masonry units. Windows will be thermally broken aluminum frames with low-E glass and each of the office and second floor windows will be outfitted with a solar shade device to reduce the direct solar gain in summer months. The roof will be a fully adhered EPDM rubber membrane roof. The Apparatus Bay will be naturally illuminated with an overhead skylight and the 4-fold and sectional overhead doors will contain glazing to maximize natural daylight.

Sustainable features under consideration include Geothermal heating and cooling, a solar photovoltaic array for on-site electric generation, LED lighting, locally sourced building materials and high recycled content materials.



Parcels



Override 1

Parcels



City of Watertown Geographic Information System

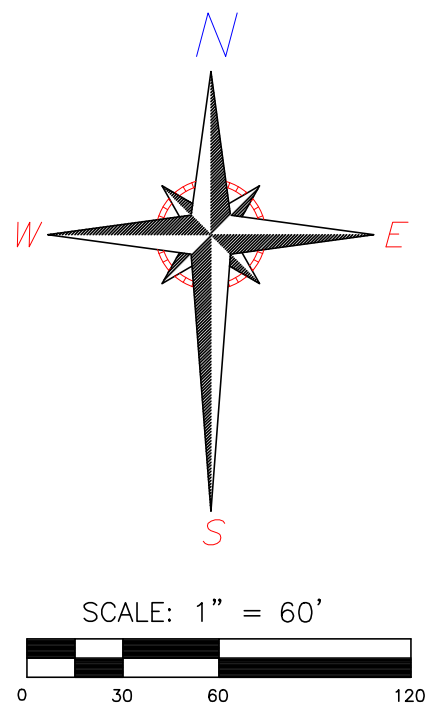
Scale: 1 inch = 180 feet

SCALE BAR = 1"

Printed on: June 15, 2011

Author: Private Use

DISCLAIMER: This map is not a substitute for an actual field survey or on-site investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



BENCHMARK
NGS DISK TOP OF
CONCRETE MONUMENT
ELEV 822.78

LEGEND

- 2.375" O.D. IRON PIPE SET, 18" LONG, WT. = 3.65 LBS./LIN. FT.
1 1/16" REBAR, 18" LONG, WT. = 1.13 LBS./LIN. FT. SET AT ALL
OTHER LOT & OUTLOT CORNERS
- CONCRETE MONUMENT W/ BRASS CAP FOUND
- 2" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

Symbol Legend

- Symbol Denotes
- AC UNIT
- CATCH BASIN
- DECIDUOUS TREE
- ELECTRIC METER
- GAS METER
- GATE VALVE
- HYDRANT
- LIGHT
- MISC PEDESTAL
- POWER POLE
- POWER POLE GUY WIRE
- SANITARY MH
- STORM MH
- TELEPHONE PEDESTAL

SEH Project WATRN 172202
Drawn By DW
Designed By
Checked By KAK

Rev.#

Revision Issue
Description

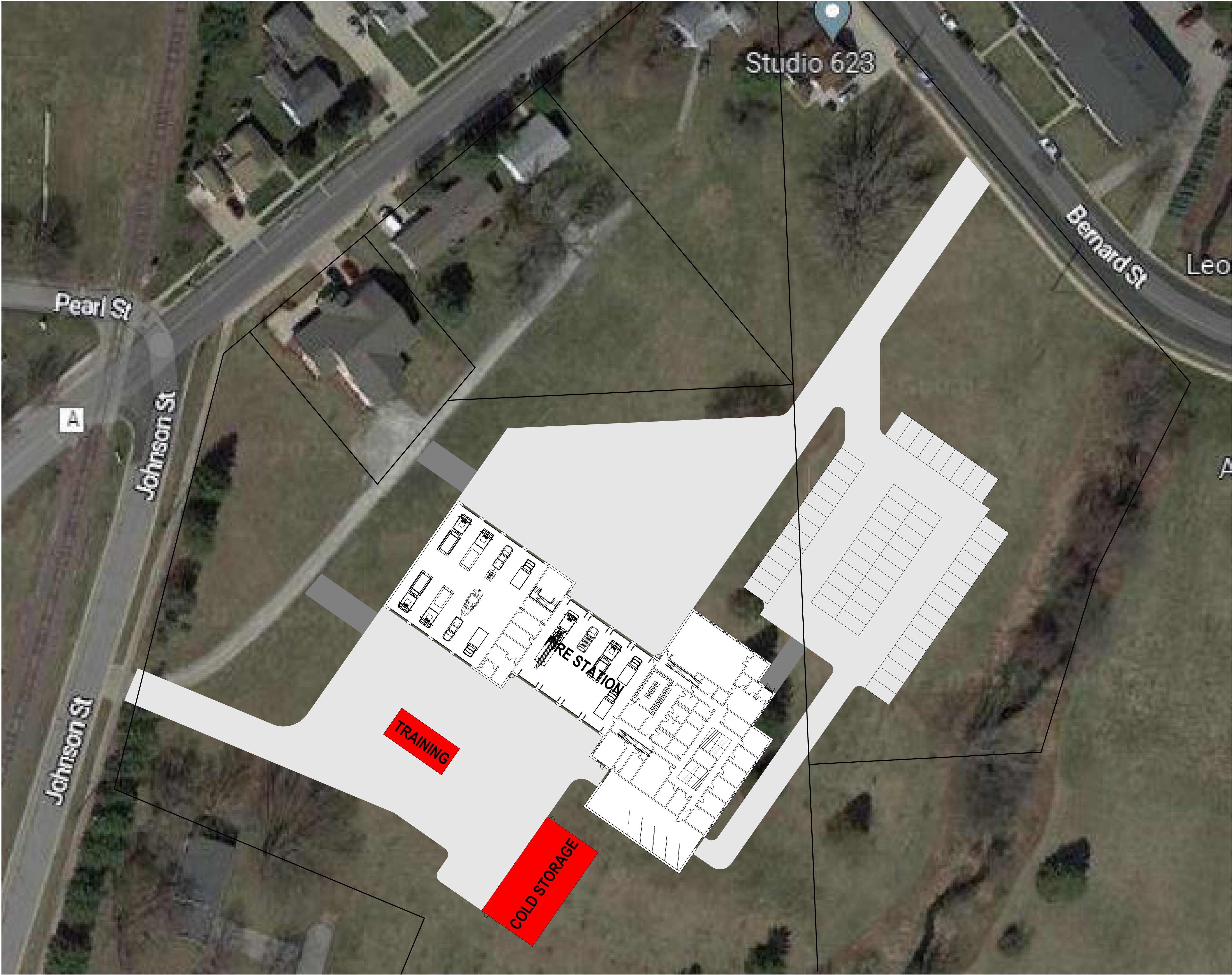
Date

Rev.#

Revision Issue
Description

Date







Section 3, Item D.

NOT FOR CONSTRUCTION

Project Owner

CITY OF WATERTOWN
WATERTOWN FIRE STATION
Enter address here

This drawing is an instrument of service and shall remain the property of Short Elliott Hendrickson, Inc. (SEH). The drawing, concepts and ideas contained herein shall not be used, reproduced, revised, or retained without the express written approval of SEH.

Submission or distribution of this drawing to meet official or regulatory requirements or for purposes in connection with the project is not to be construed as publication in derogation of any of the rights of SEH.

COPYRIGHT © 2022
Short Elliott Hendrickson, Inc.
All Rights Reserved

Project Number
Checked By
Drawn By

Project Status
DRAFT

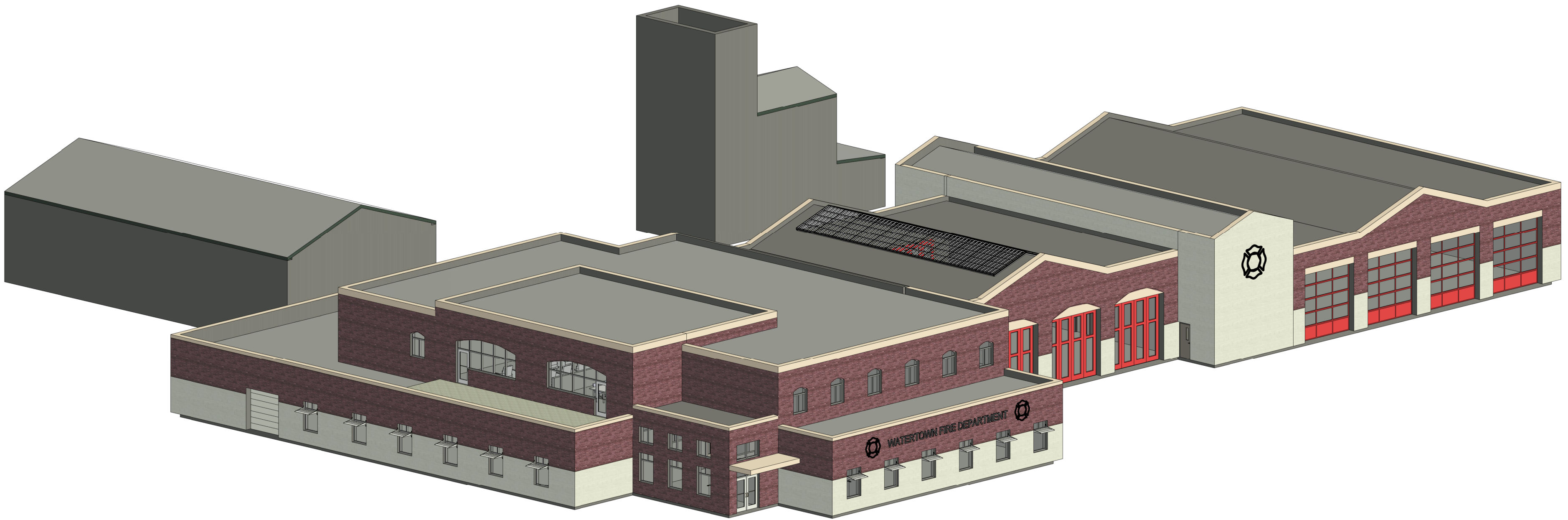
REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
--------	-------------	------

ARCHITECTURAL SITE PLAN

A051

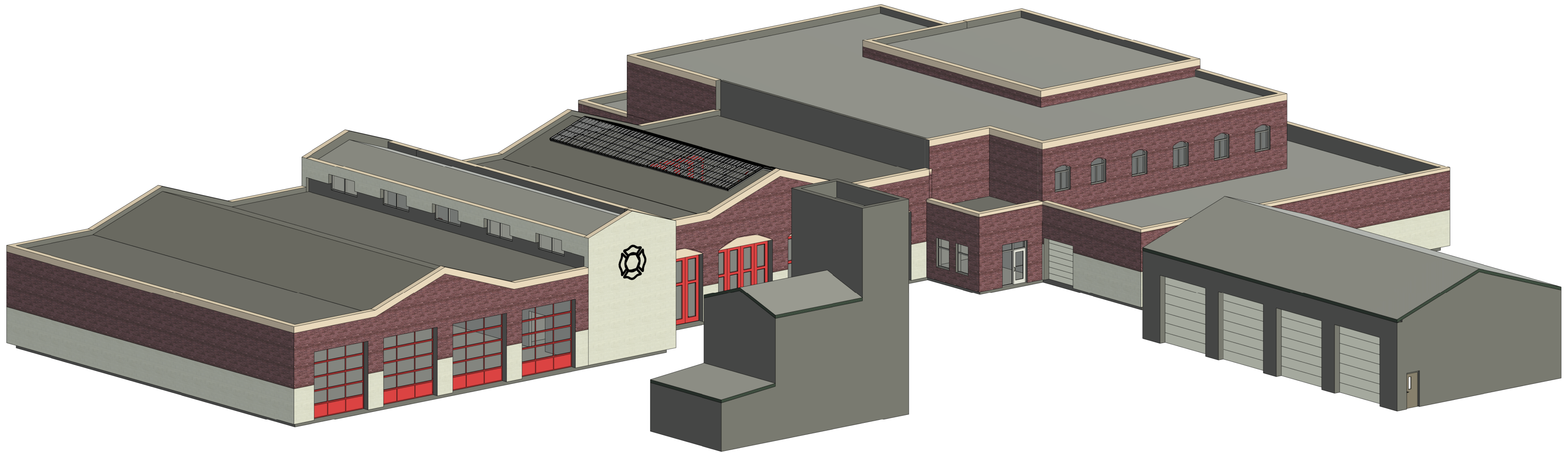
31



1

OVERALL ARCHITECTURAL - EXTERIOR 3D

A703



2

OVERALL ARCHITECTURAL - EXTERIOR 3D

A703

Watertown Fire Department New Facility and Site Improvements

SEH is assisting with a new fire station training tower and vehicle cold storage building to be constructed on 6.386 acres in the City of Watertown along Bernard Street to the East and near the intersection of Milford Street and Johnson Street.

The site is currently zoned Central Business (CB) but will be rezoned to Central Business District (CBD) zoning.

The lot area is roughly 6.39 acres (278,174 s.f.)

Floor Area: 31,761 s.f.

Floor area ratio: 0.1141767

Impervious surface area (pavement) 78,949 s.f.

Impervious surface ratio: 0.2838115

Building height: Fire station: 30' Remote training tower 40'

The fire station footprint is 31,761 on the first floor. The total building area will be 37,268 s.f. on 2 floors. There is a remote training tower that will be roughly 5 stories with a footprint of 1,017 s.f. and 40' in height. The cold storage building will be remote from the fire station as well and will occupy nearly 3,500 s.f.

Parking will be contained on site and will accommodate 60 parking stalls. 20 stalls will be used for fire personnel parking of personal vehicles. The remaining 40 stalls will be available to the public who will have access to a public community room resource. The parking lot will be landscaped per City of Watertown zoning requirements.

Pavement at the apparatus bay doors will be concrete and the ramp extension (entry drive) from Bernard Street as well as the parking lot will be heavy duty asphalt.

Stormwater runoff from impervious surfaces will be treated on site for total suspended solids and peak flow reduction. The stormwater infrastructure will be a surface feature located on East end of the site between the fire station and Bernard Street.

The building will be a 2-story facility built of masonry with a combination of red brick and earth tone decorative concrete masonry units. Windows will be thermally broken aluminum frames with low-E glass and each of the office and second floor windows will be outfitted with a solar shade device to reduce the direct solar gain in summer months. The roof will be a fully adhered EPDM rubber membrane roof. The Apparatus Bay will be naturally illuminated with an overhead skylight and the 4-fold and sectional overhead doors will contain glazing to maximize natural daylight.

Sustainable features under consideration include Geothermal heating and cooling, a solar photovoltaic array for on-site electric generation, LED lighting, locally sourced building materials and high recycled content materials.

Reflection Stone

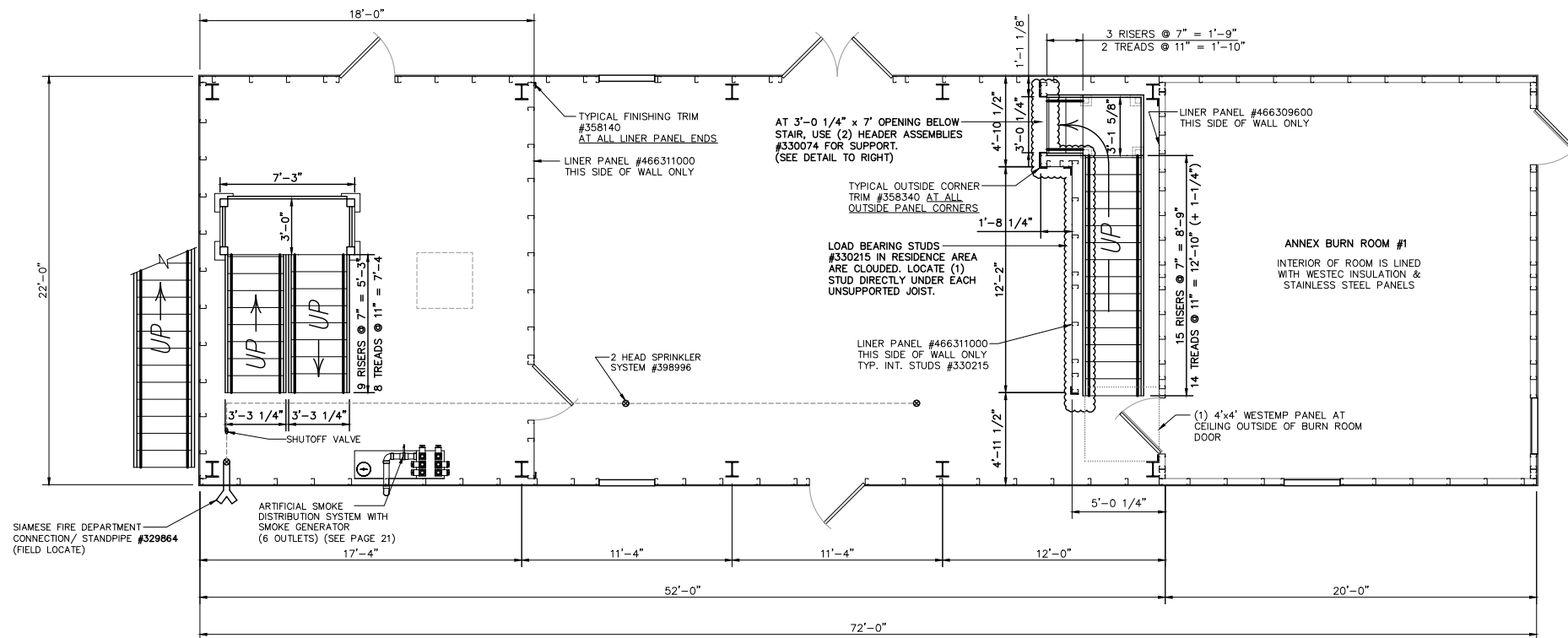
MASONRY UNITS



WHEAT (Custom Color) and VISION, Heritage Collection™ Designer Concrete Brick – 60% SAND CASTLE and 40% TUSCANY VILLA (Custom Blend, Utility Size)

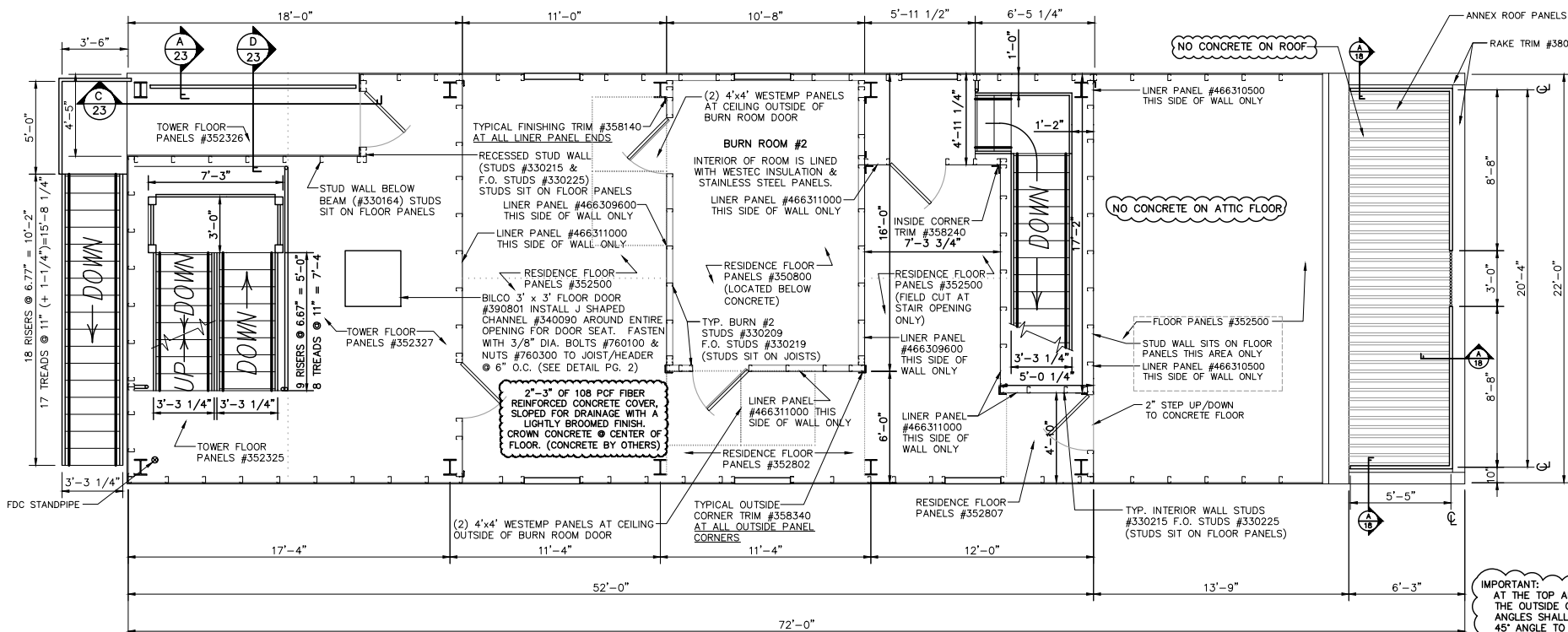
COUNTY MATERIALS CORPORATION

NOTE: ALL SHUTTERS IN TOWER SWING IN (#392100), UNLESS OTHERWISE SHOWN
ALL SHUTTERS IN BURN ROOM (#392300) & ATTIC (#392600) SWING OUT, UNLESS OTHERWISE SHOWN



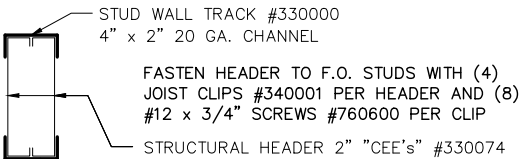
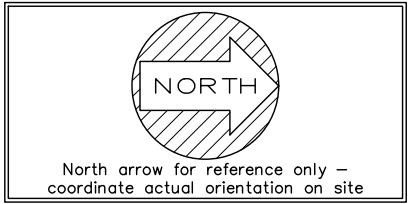
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



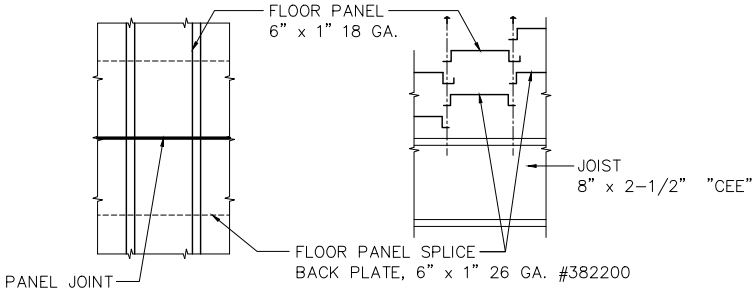
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



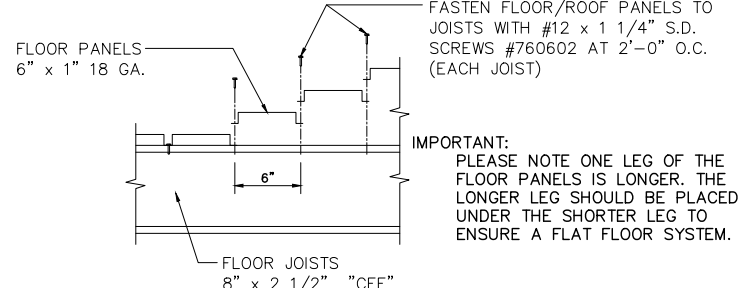
INT. OPENING BELOW STAIR/FRAMED OPENING HEADER

scale: 1 1/2" = 1'-0"



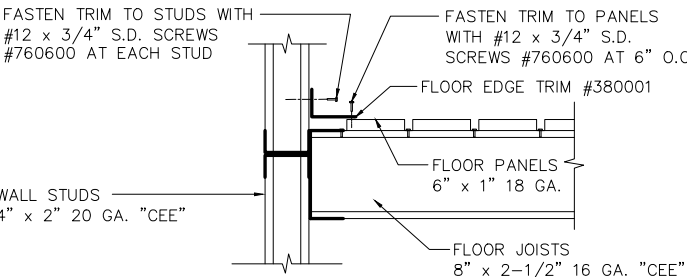
FLOOR PANEL SPLICE PLATE

scale: 1 1/2" = 1'-0"



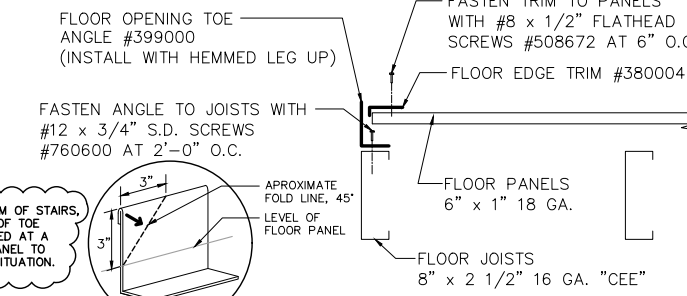
TYPICAL FLOOR PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL FLOOR EDGE TRIM DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL FLOOR OPENING TRIM DETAIL

scale: 1 1/2" = 1'-0"

THIS DRAWING AND ALL PARTS THEREOF IS THE EXCLUSIVE PROPERTY OF FIRE FACILITIES, INC., 314 WILBURN ROAD, SUN PRAIRIE, WI 53590 OFFICE: (608) 327-4100 FAX (608) 834-1843 AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION.

FIRE FACILITIES
STEEL FIRE TRAINING TOWERS

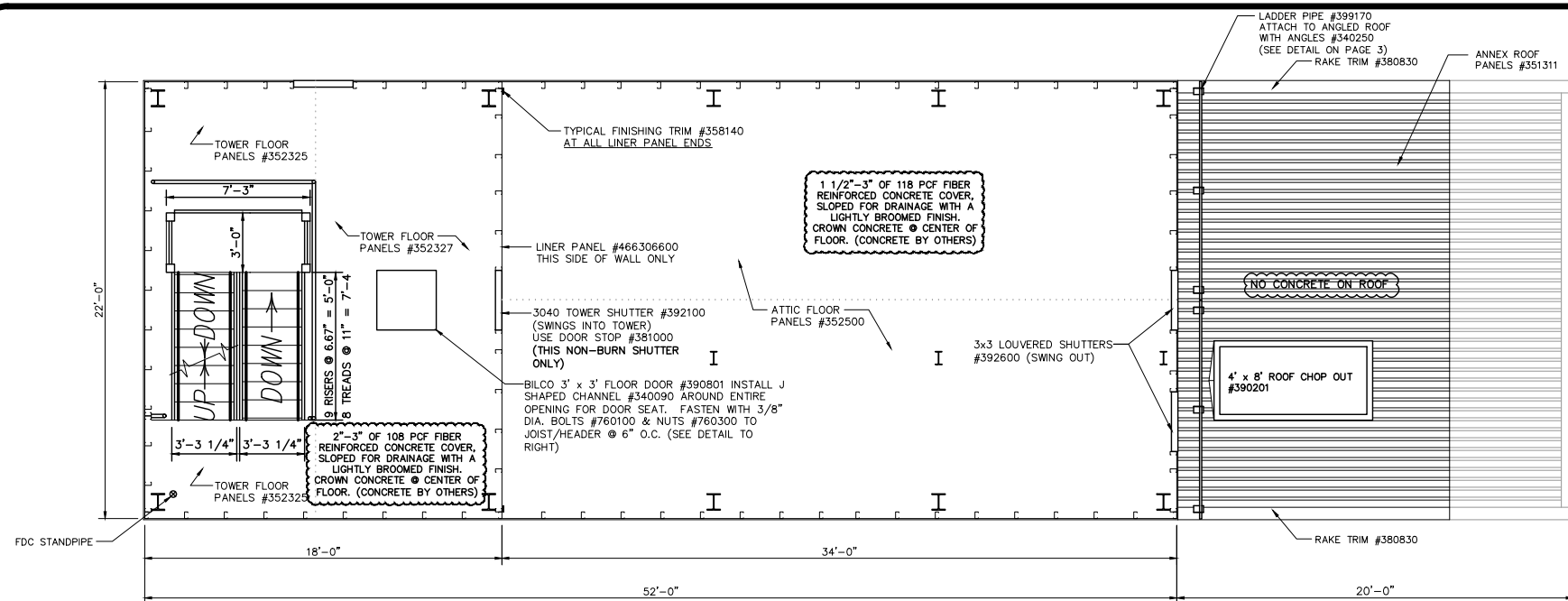


FIRE FACILITIES, INC.
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX: (608) 834-1843
TOLL FREE: (800) 929-3726 TOLL FREE FAX: (866) 639-7012
WWW.FIREFACILITIES.COM; INFO@FIREFACILITIES.COM

WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

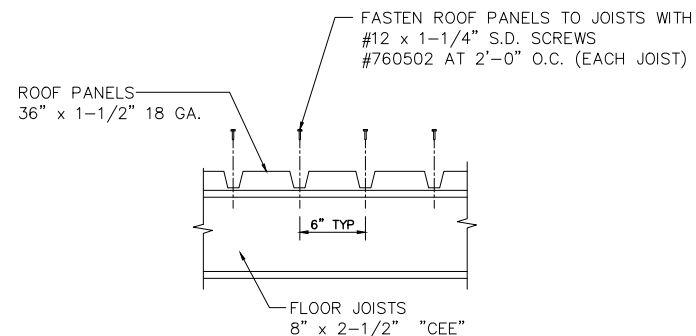
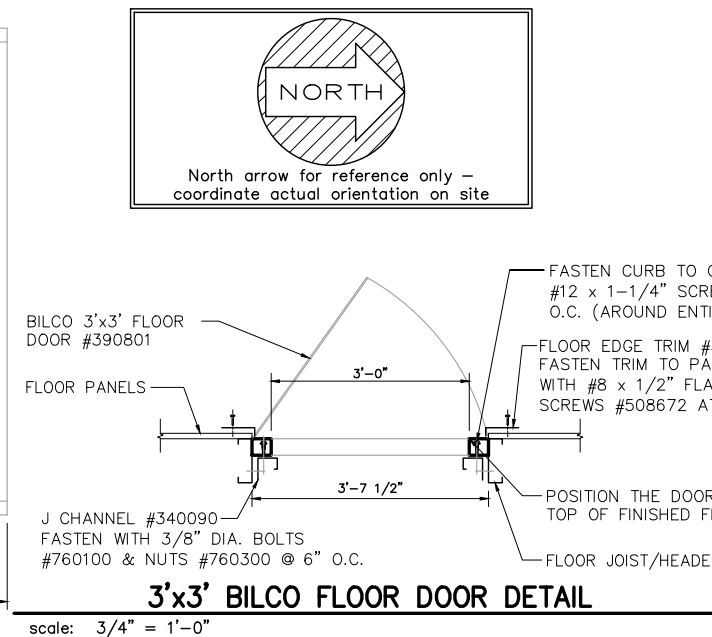
Sheet Title: FLOOR PLANS

Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.



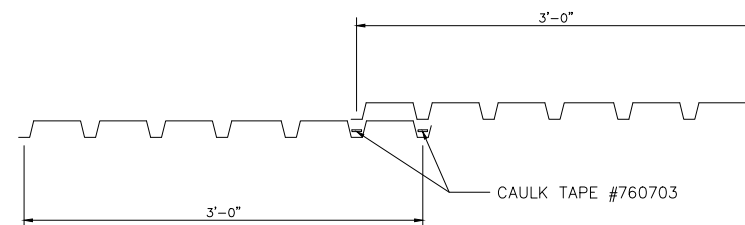
TOWER THIRD FLOOR & ATTIC PLAN

SCALE: 1/4" = 1'-0"



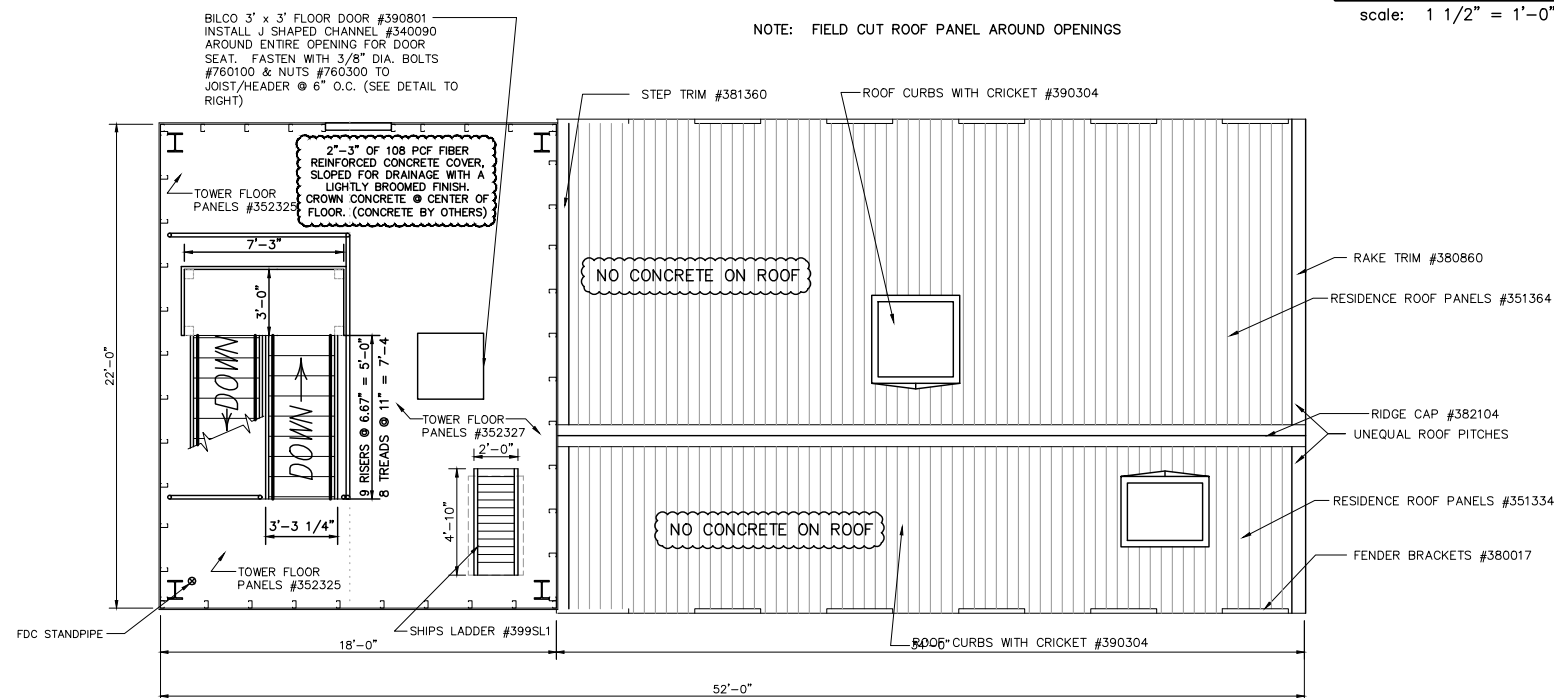
TYPICAL ROOF PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



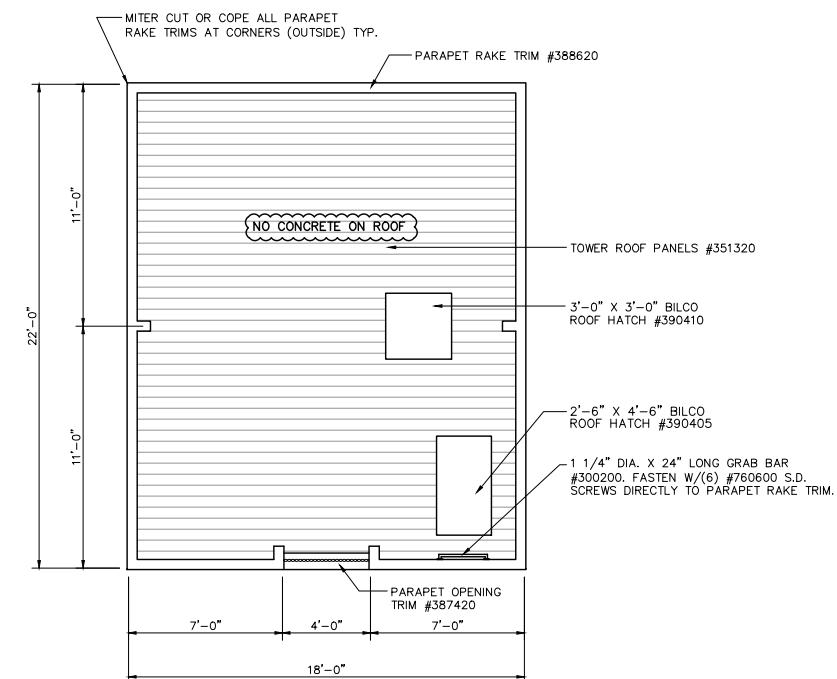
TYPICAL ROOF PANEL OVERLAP

scale: 1 1/2" = 1'-0"



TOWER FOURTH FLOOR AND RESIDENCE ROOF PLAN

SCALE: 1/4" = 1'-0"



TOWER ROOF PLAN

SCALE: 1/4" = 1'-0"

THIS DRAWING AND ALL PARTS THEREOF IS THE EXCLUSIVE PROPERTY OF FIRE FACILITIES, INC.,
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX (608) 834-1843
AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION.

FIRE FACILITIES
STEEL FIRE TRAINING TOWERS



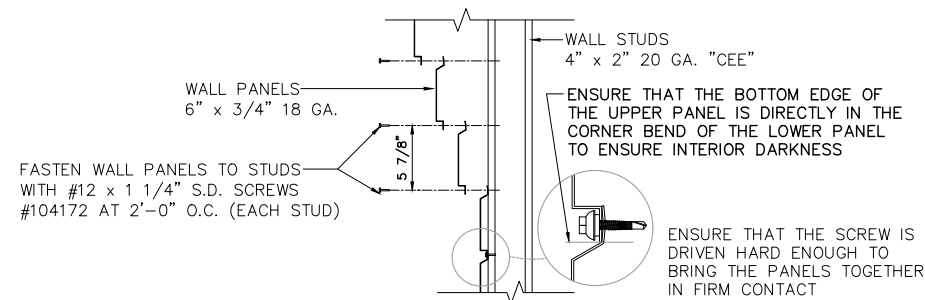
FIRE FACILITIES, INC.
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX: (608) 834-1843
TOLL FREE: (800) 929-3726 TOLL FREE FAX: (866) 639-7012
WWW.FIREFACILITIES.COM; INFO@FIREFACILITIES.COM

WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

Job Description:

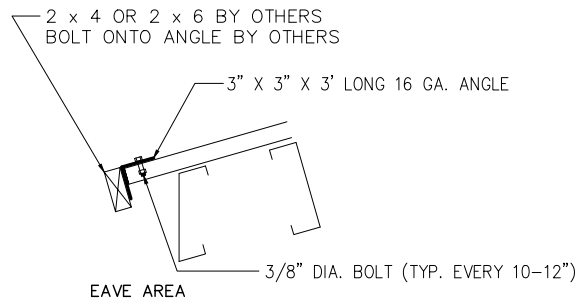
Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.

Sheet Title: FLOOR PLANS CONT.



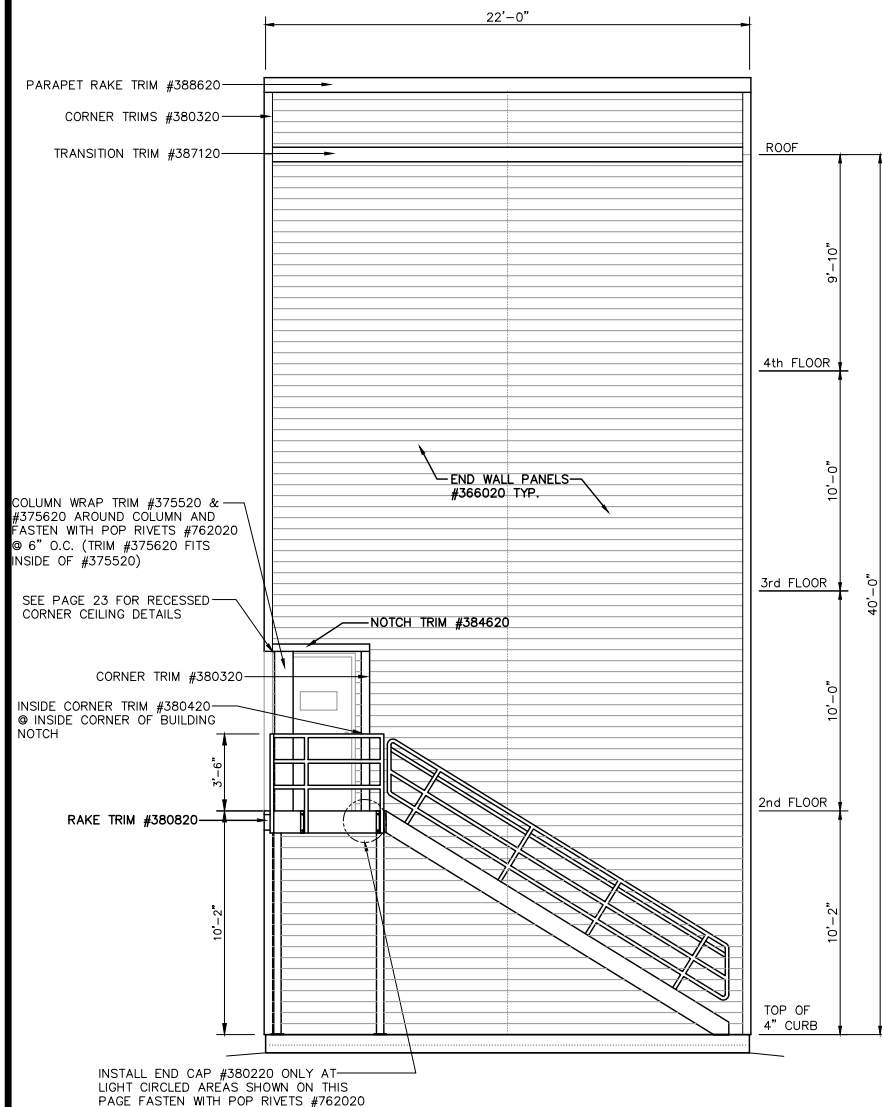
TYPICAL WALL PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



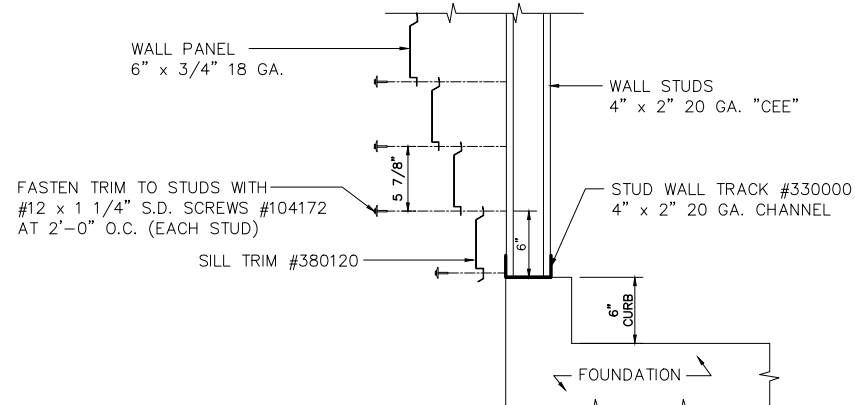
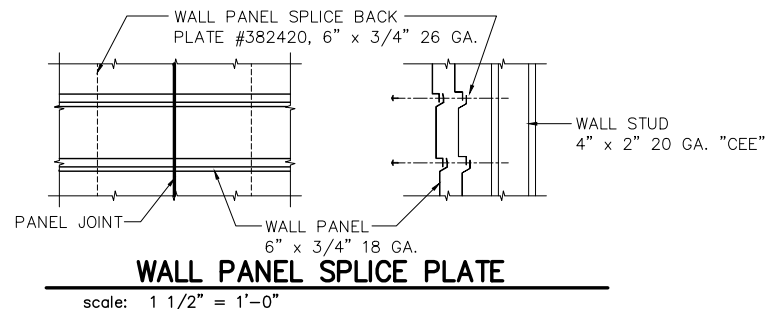
BRACKETS FOR 2X4 FENDER DETAILS

scale: 1 1/2" = 1'-0"



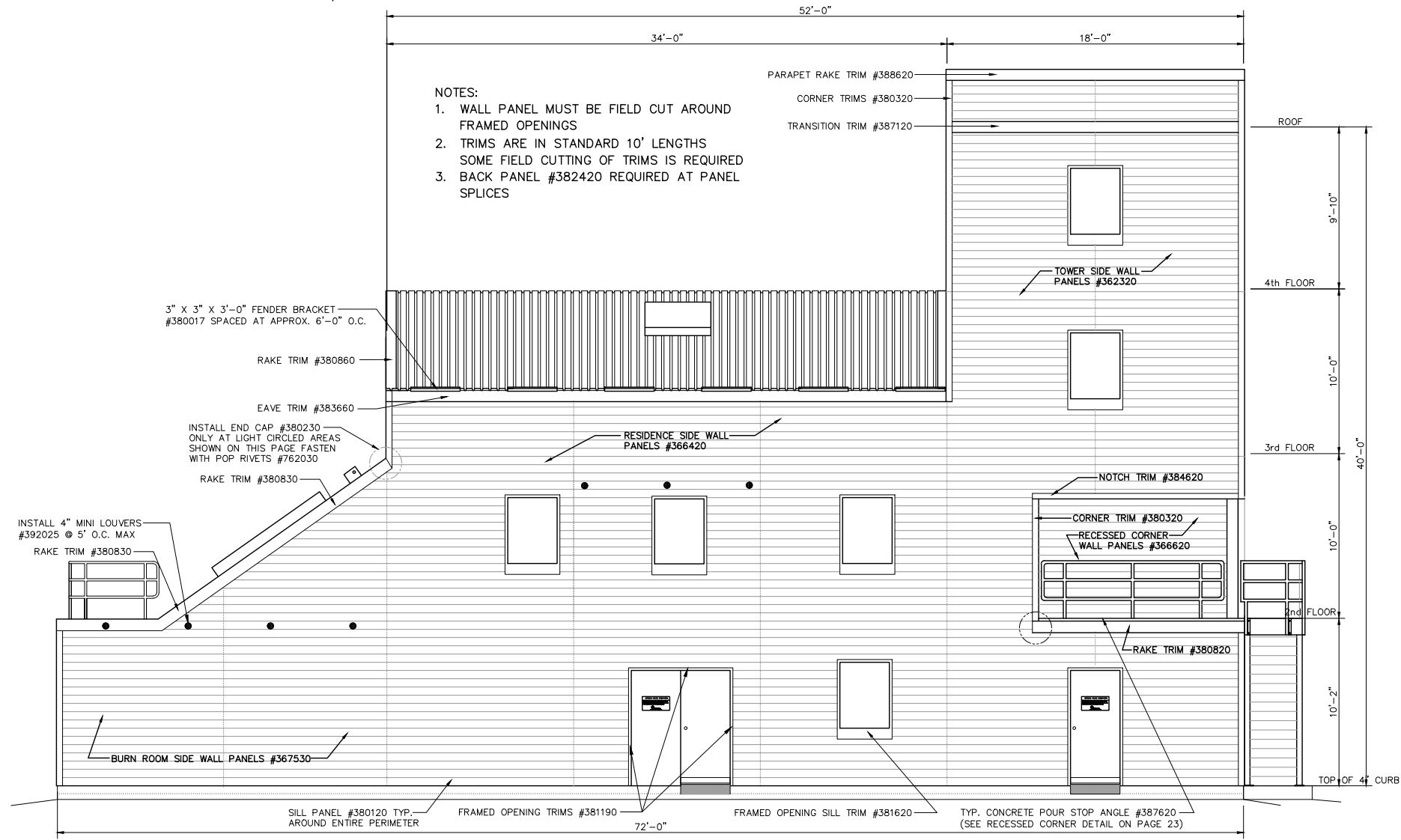
SOUTH END ELEVATION

SCALE: 1/4" = 1'-0"



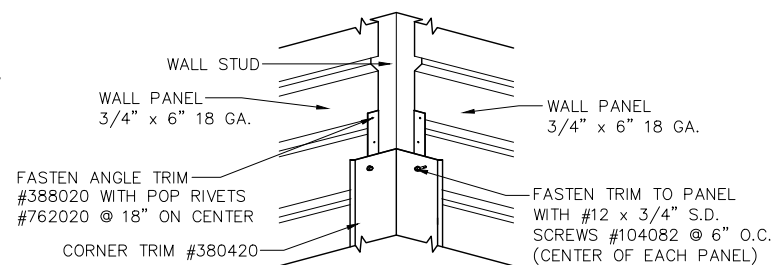
TYPICAL SILL DETAIL

scale: 1 1/2" = 1'-0"



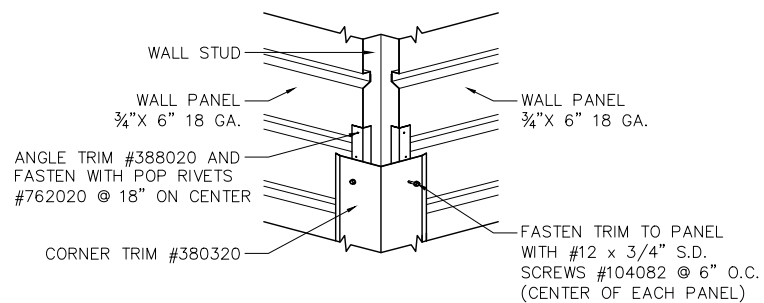
WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL INSIDE CORNER TRIM DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL EXTERIOR CORNER TRIM DETAIL

scale: 1 1/2" = 1'-0"

Section 3, Item D.

THIS DRAWING AND ALL PARTS THEREOF IS THE EXCLUSIVE
PROPERTY OF FIRE FACILITIES, INC.,
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX (608) 834-1843
AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT
WRITTEN PERMISSION.

FIRE FACILITIES
STEEL FIRE TRAINING TOWERS



FIRE FACILITIES, INC.
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX: (608) 834-1843
TOLL FREE: (800) 929-3726 TOLL FREE FAX: (866) 639-7012
WWW.FIREFACILITIES.COM; INFO@FIREFACILITIES.COM

WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

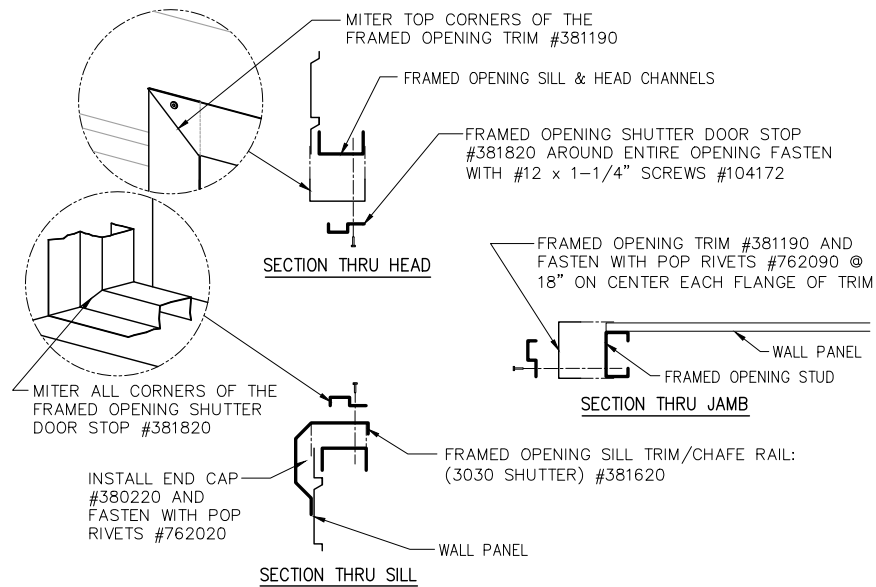
Sheet Title:
ELEVATIONS

Job Description:

Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.

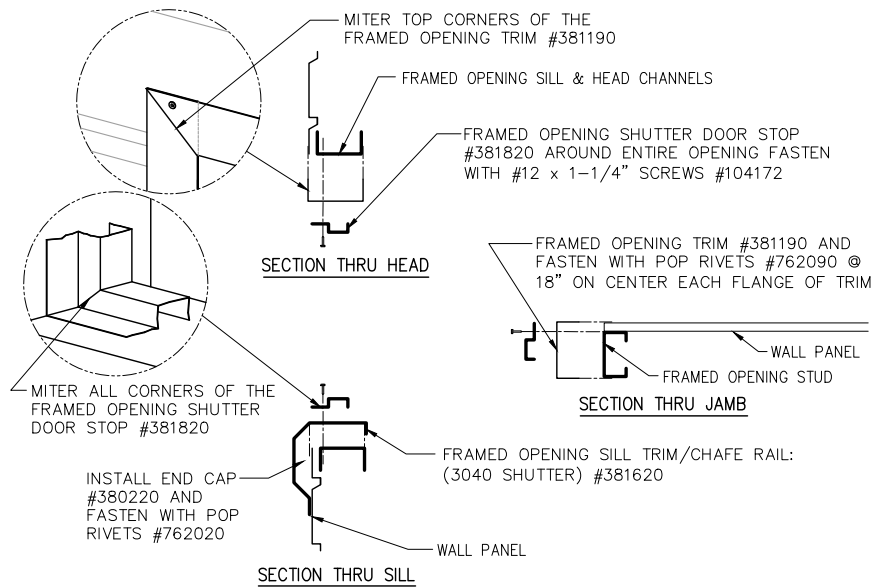
03 of 04

37



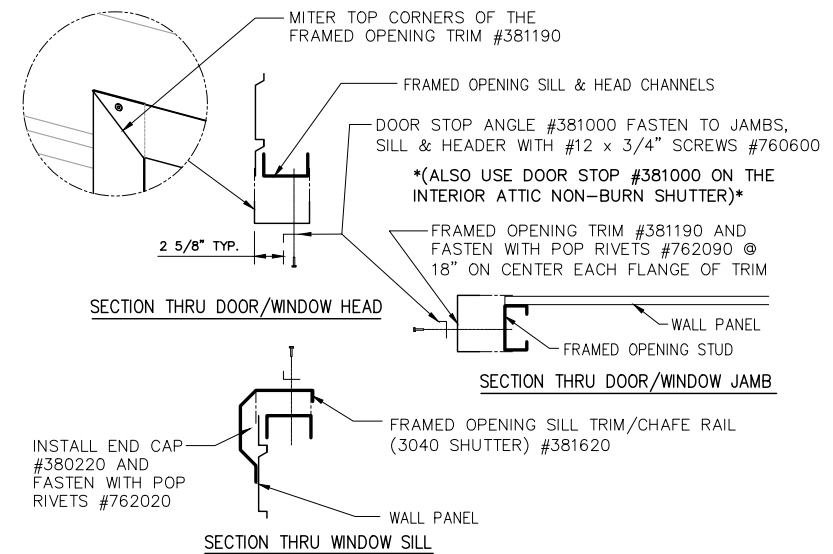
STANDARD SHUTTER TRIM DETAILS (SHUTTERS THAT SWING OUT)

scale: 1 1/2" = 1'-0"



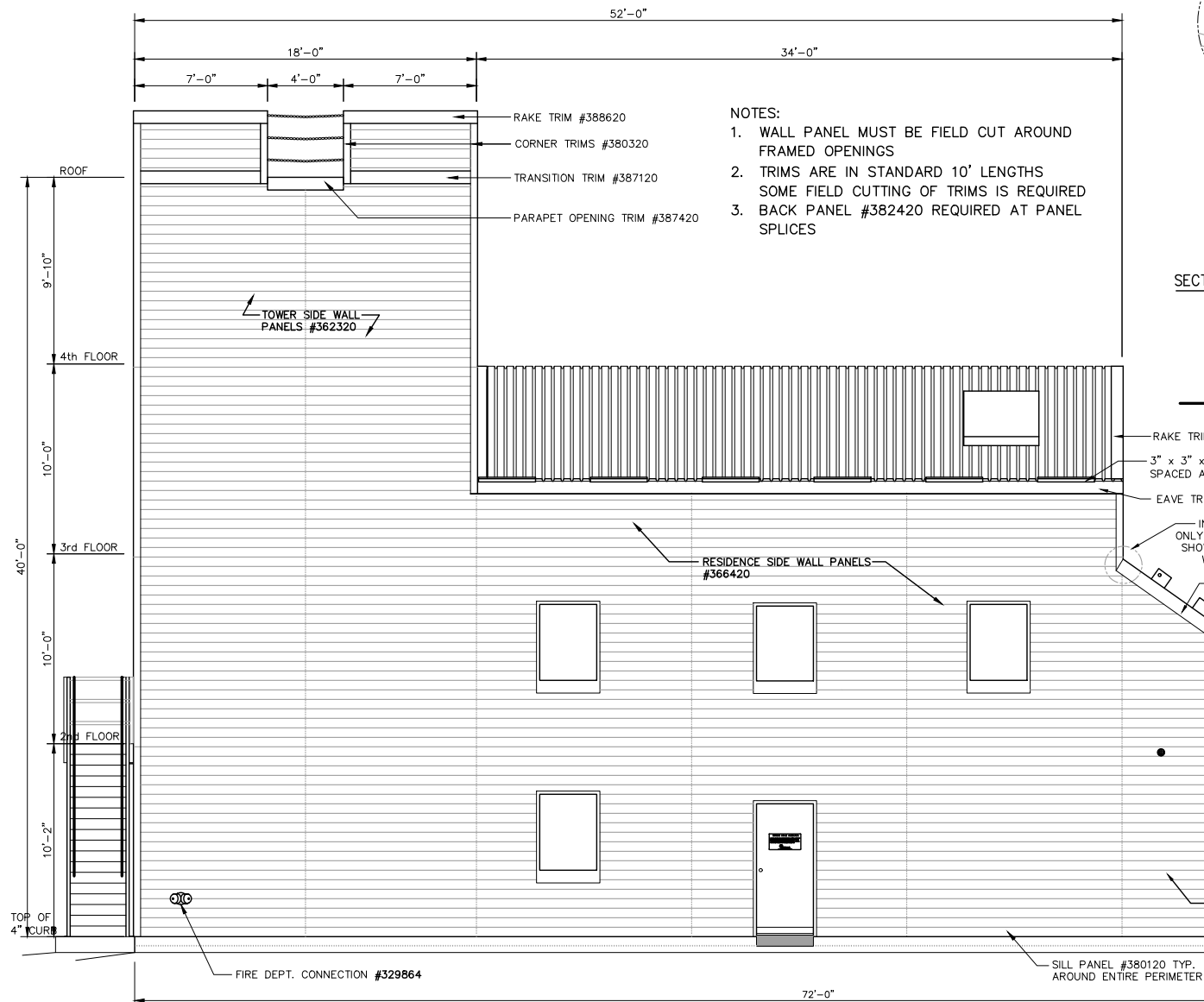
STANDARD SHUTTER TRIM DETAILS (SHUTTERS THAT SWING IN)

scale: 1 1/2" = 1'-0"



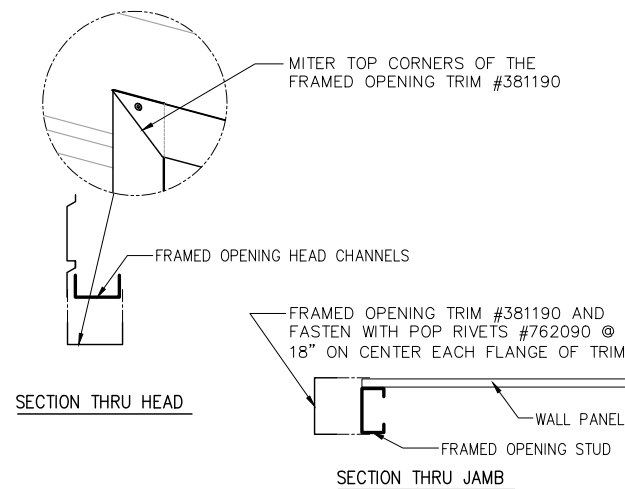
STANDARD BURN ROOM SHUTTER/DOOR TRIM DETAILS

scale: 1 1/2" = 1'-0"



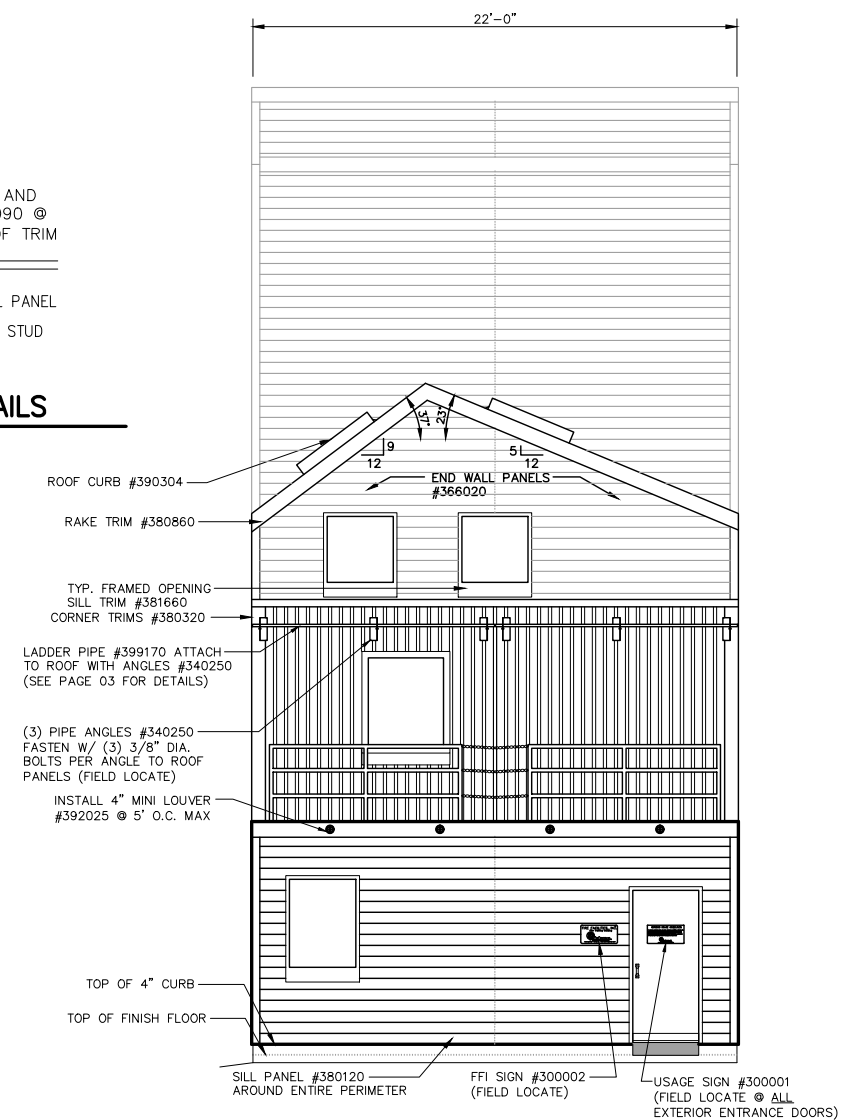
EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"



STANDARD SWING DOOR TRIM DETAILS

scale: 1 1/2" = 1'-0"



NORTH END ELEVATION

SCALE: 1/4" = 1'-0"

Section 3, Item D.

THIS DRAWING AND ALL PARTS THEREOF IS THE EXCLUSIVE PROPERTY OF FIRE FACILITIES, INC.,
314 WILBURN ROAD, SUN PRAIRIE, WI 53590
OFFICE: (608) 327-4100 FAX (608) 834-1843
AND MAY NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION.

FIRE FACILITIES
STEEL FIRE TRAINING TOWERS



WESCO MODEL FM-4
CUSTOM
WATERTOWN, WI

Sheet Title:
ELEVATIONS CONT.

Job Description:

Date: MAY 24, 2023
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5493
Sheet No.

04 of 04

38



Main Office
920-262-4060

Brian Zirbes
920-262-4041

Mark Hady
920-342-0986

Nikki Zimmerman
920-262-4045

Dell Zwieg
920-262-4042

Doug Zwieg
920-262-4062

Dennis Quest
920-262-4061

TO: Plan Commission
DATE: August 14th, 2023
SUBJECT: Public Hearing Comment Review and Recommendation to Council – Text Amendment to Chapter 550 Zoning.

A request by Lora Martinson, agent for Culvers of Watertown, for text amendments to the City of Watertown Zoning Code - Chapter 550-131 & 550-132 Zoning.

BACKGROUND DESCRIPTION:

Amendment #1:

Current zoning code regarding Electronic Message Signs has inconsistencies with the updated sign code adopted in recent years. This text amendment changes or removes inconsistent language and adds references to the updated sign code in § 550-132 Permitted Sign Rules.

Amendment #2:

Current zoning code allows for a maximum area of 24 square feet for drive-through signs. Culver's of Watertown is requesting that the maximum square footage be increased to 40 square feet. Staff has also included additional changes to clarify and simplify signage requirements in drive-through situations. The text amendments to Table 550-132A(1) provide more flexibility to the different types of requested drive-through signage arrangements.

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment #1 - § 550-131.1A(2) & § 550-131.1A(3)(a)

§ 550-131.1 Electronic message signs.

A. Electronic message sign. A type of sign that displays a message which may be changed electronically to provide different information, and which includes computer signs, electronic reader boards, video screens, LCD signs, electronic time and temperature signs, and other signs with electronically-controlled changing or moving displays.

(1) Electronic message signs shall be permitted only with a nonresidential land use.

(2) ~~No more than one electronic message sign shall be permitted per site.~~ [The number of permitted electronic message signs shall be in accordance with § 550-132 Permitted Sign Rules.](#)

(3) Electronic message signs may be integrated into the design of the following sign types:
monument signs, wall signs, or drive-through signs.

~~(a) Drive-through signs: no more than 33% of a sign's actual area shall contain an electronic message sign.~~

~~(b)~~ (a) Electronic message signs shall count toward the site's maximum permitted signage.

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060

Opportunity Runs Through It

Table 550-132A(1): Permanent Sign Group ¹								
D. Permanent Changeable Sign Category:*						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
1. Wall-Mounted Changeable Sign	Sign permit required for each new sign.	Limit of 1 permanent Wall-Mounted Changeable Sign for each tenant.	None needed. Use max area limit.	On-building. Maximum 4 inches from wall.	Ambient only	Not allowed.	8 feet maximum area per sign.	
2. Freestanding Changeable Sign		<u>Limit of 1 permanent Freestanding Changeable Sign for each tenant unless used in conjunction with a Drive-Through.</u> <u>Drive-Through use limit of 1 permanent Freestanding Changeable Sign per Drive-Through lane.</u>		<u>Freestanding. Within 10 feet of public entrance.</u> <u>When used in conjunction with a Drive-Through per C.U.P.</u>	<u>Standard</u>		8 feet maximum height per sign. 12 <u>15</u> square feet maximum area per sign. <u>8 feet maximum height per sign.</u>	
3. Drive-Through Sign		<u>Limit of 1 Drive-Through Sign per Drive-Through lane.</u>		Per C.U.P.			Not allowed.	24 <u>40</u> square feet maximum area per sign. 8 feet maximum height per sign.

PUBLIC HEARING COMMENTS:

No public comments from August 1st, 2023 Public Hearing.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Negative recommendation of the Chapter 550 Text Amendments to Common Council.
2. Positive recommendation of the Chapter 550 Text Amendments to Common Council.
3. Positive recommendation of the Chapter 550 Text Amendments to Common Council, with conditions identified by the Plan Commission.



ADDRESS
 4825 E Kearney St
 Springfield, MO 65803
CONTACT US
 800.845.9927
 springfieldsign.com

Culver's of Watertown, WI
1722 S Church St.
Watertown, WI 53094

Zoning Ordinance Text Amendment – Responses

Proposed Changes

Existing Article XII Table 550-132A(1)(D)(3) **Drive Through Sign Requirements**
 24 square feet maximum area per sign. 8 feet maximum height per sign.

Proposed Change to Article XII Table 550-132A(1)(D)(3) **Drive Through Sign Requirements** (shown in Blue and Bold)
40 square feet maximum area per sign. 8 feet maximum height per sign

When a city has a vision, the goal, and result often is to attract new opportunities (commercial, residential, recreational, and the like) to their community, from a commercial perspective this comes with many different branded/franchised entities across all walks of life. The change is success and new opportunity that comes to town so-to-speak. The request is driven for the needs of the community as a whole and governing entities must quantify and define many aspects of development <codes> to be successful for, and to align to, their visions and goals. However, to the overall needs of the community (private citizens and businesses alike) some areas of any ordinance can be overly specific creating incompatibility or inflexible specifications, a somewhat "one-size-fits-all" limitation. The specific amendment proposed herein allows another "flexible" solution while actually having a side benefit of limiting the number and sizing of this particular type of sign (menu board). Menu boards in general are as unique as each and every business is, this simple and minor amendment allows for one more way for the next unique business to fit in.

The proposed request provides a community need. Additionally, and specifically from a Culver's (petitioner's) point of view, hardships are reduced and specific limitations of not having a brand standard menu board are alleviated, some of these hardships/issues are:

- (a) The entire Culver's system (approximately 900 locations) is based upon one menu board and only one option is available to franchisees as described herein.
- (b) Without the brand standard menu board this location would be incompatible and not cohesive with franchising standards, point of purchase (POP) information available and marketing ties-ins such as TV and radio broadcast.
- (c) In general, items would have to be eliminated from the menu board display, the POP panels are standard throughout the entire system and custom panels are not available. A custom size menu board cabinet is not available.
- (d) Sales for any eliminated product would be significantly and negatively impacted.



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

- (e) Lower sales volumes create higher per piece purchase costs for the consumer and is harmful from a cost-of-living point of view for the general public.
- (f) Increased costs, especially those not similarly experienced by competitors, leads to less competitive selling and could ultimately compromise the integrity of the business model.
- (g) Of the items that would not be able to be displayed, salads would be one. This is also a detriment to the general health of the public, it is well known that there are many arguments on the limited availability for quality and health balanced meals for the general public, this would add to that general concern and negative pressure.
- (h) The efficient operation of the drive-thru is impacted as marketing messages and general consumer education/understanding with respect to menu board items are not being aligned, creating longer times for order placement and increasing the amount of time to utilize the drive-thru ordering system and therefore often times creating congestion and lane back-up.

As previously mentioned we have approximately a little over 900 locations and growing. We recently received full permit approval at two locations; Portage, WI (Exhibit 1) & Oregon, WI (Exhibit 2) that share the same ordinances as Watertown with no issues. It was recently mentioned that the local McDonald's met code requirements by installing (3) three menu boards at each ordering position (Exhibit 3). This option causes distraction, clutter, causes confusion for customers trying to look at (3) three different menu boards, provides deleted/incomplete product identification carries through to education of the consumer, which can translate to longer times in the drive thru due to more time spent per order due to questions and lack of clarity causing potential traffic congestion. Culver's existing menu board (Exhibit 4) "overall size" is 79" x 87" = 47.72 sq. ft. Culver's current Brand Standard menu board "overall size" 5' 2 3/4" x 8' 10 1/4" = 46.29 sq. ft. with an overall "sign area" of 38.39 sq. ft. which is less than what is currently existing. Granting the text amendment will improve consumer product education, while enhancing movement in an efficient clean *clutter free* drive thru, improving the implementation of signage.

I think when this is looked at objectively, we satisfy the standards required for a Text Amendment request and that the proposed amendment will be found to be consistent with the spirit, purpose and intent of the sign ordinances governing Watertown while offering some new advantages. The granting of our request will not adversely affect the public's health, safety, or general welfare in which this property is located. Granting of this request will improve community appearance as Culver's offers reasonable control over the character of design and advances the aesthetic goals of the City throughout the community and ensures the effectiveness in the design without creating a detriment to the public.

Springfield Sign has over 40+ years of experience and have sat on a lot of local/national review committees with the specific purpose of modification or development of codes and ordinances for unified development. This proposal is consistent with many other communities we have been involved in. I truly thank you for your insight and time to this issue, thanks as always.



ADDRESS
4825 E Kearney St
Springfield, MO 65803

CONTACT US
800.845.9927
springfieldsign.com

Kind Regards,

Lora Martinson

Lora Martinson
Springfield Sign
4825 E Kearney St.
Springfield, MO 65803
417-862-2454
loram@springfieldsign.com

NOTE: ANY DEVIATION GREATER THAN TOLERANCES GIVEN IN THE TABLE MUST BE APPROVED BY SPRINGFIELD SIGN & NEON IN WRITING. SSN WILL SEEK OUT C.F.S.I. APPROVAL FOR CHANGE.

MENU BOARD FOOTING TO BE LOCATED PER G.C./ SURVEYOR OF RECORD, BALANCE OF FOOTINGS SIMILARLY LOCATED OR PER THE D1-D6 TABLE GIVEN. EITHER METHOD MUST CONFIRM TOLERANCES AND DIMENSIONS ABOVE.

LAYOUT

NOTE: SURVEYOR/ G.C. OF RECORD SHALL STAKE ALL FOOTING CENTER LOCATIONS. IF THIS CANNOT BE DONE, USE LAYOUT SEQUENCE GIVEN BELOW.

WITH EITHER METHOD, EITHER BY SURVEYOR OR LAYOUT SEQUENCE, THE DIMENSIONS WITH ABOVE STATED TOLERANCES MUST BE CONFIRMED BY SIGN INSTALLER. ANY DEVIATIONS MUST BE PRESENTED TO SPRINGFIELD SIGN & NEON IN WRITING, SPRINGFIELD SIGN & NEON WILL RESOLVE THE CONFLICT SO THAT INSTALLER CAN PROCEED.

LAYOUT SEQUENCE

VERIFY GENERAL FIELD (AS-BUILT) CONDITIONS TO MATCH PROVIDED DRAWINGS. DON'T GUESS-CALL WITH ANY QUESTIONS.

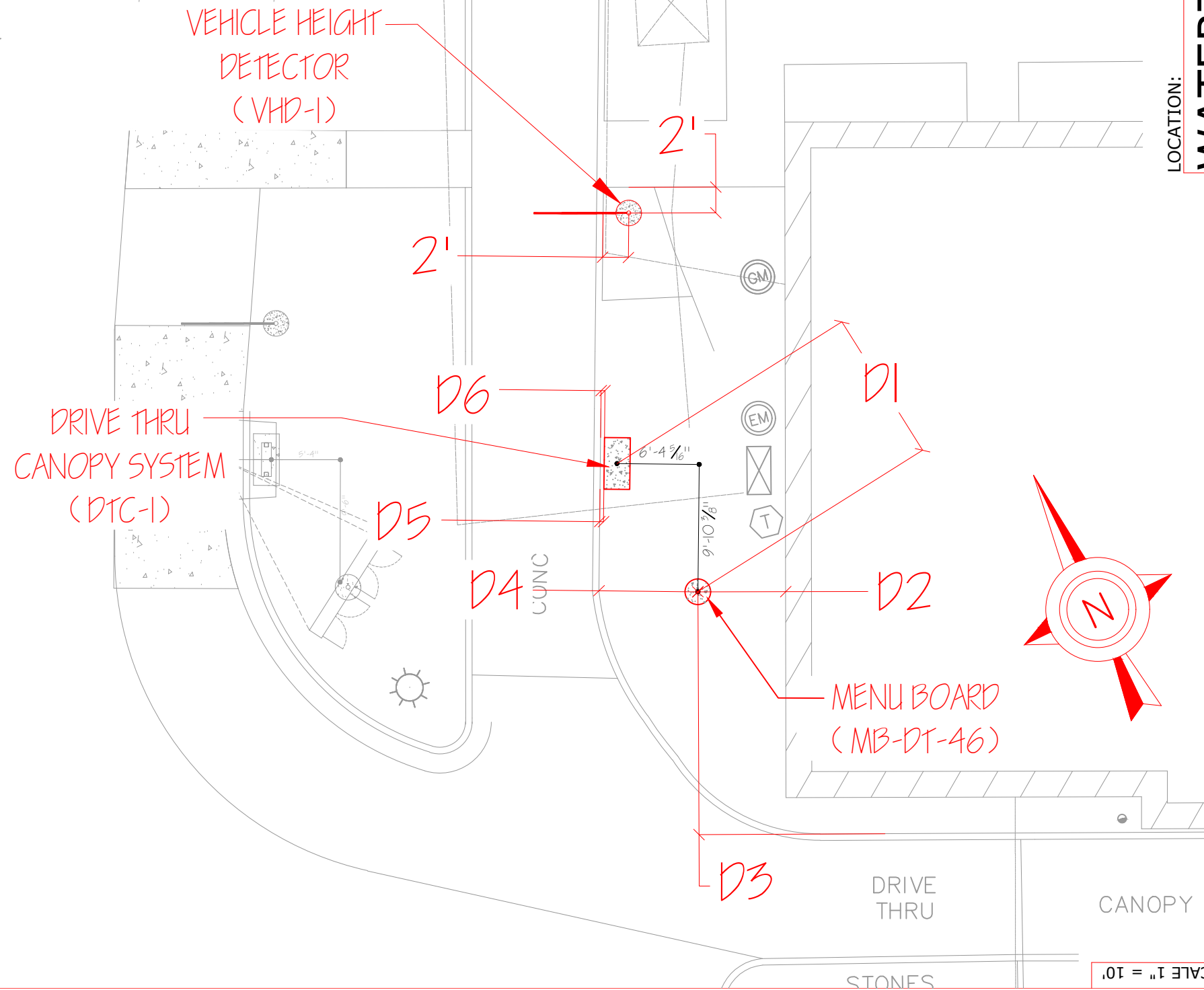
-LOCATE THE CENTER POINT OF THE PRIMARY MENU BOARD FOOTING WITH DIMENSIONS D2 & D3

-USE DIMENSIONS D1 & D5 TO POSITION THE OTHER FOOTING, (CANOPY) RELATIVE TO THE MENU BOARD FOOTING

-ROTATE THE PLACEMENT (USING D1 & D5) AROUND THE MENU BOARD FOOTING UNTIL DIMENSIONS D4 & D6 ARE CONFIRMED. ALL POINTS SHOULD BE STAKED AND READY TO LAY OUT.

* DIMENSION	MEASUREMENT	DEVIATION ALLOWED (TOLERANCE)
D1	11'-8 7/8"	+ / - 2" MAXIMUM
D2	6'-9 5/8"	+ / - 2" MAXIMUM
D3	18'-9 5/8"	+ / - 2" MAXIMUM
D4	7'-7 7/8"	+ / - 1" MAXIMUM
D5	3 1/2"	+ / - 2" MAXIMUM
D6	3 1/2"	+ / - 2" MAXIMUM

ASPHALT SURFACE



LOCATION:

WATERTOWN, WI.

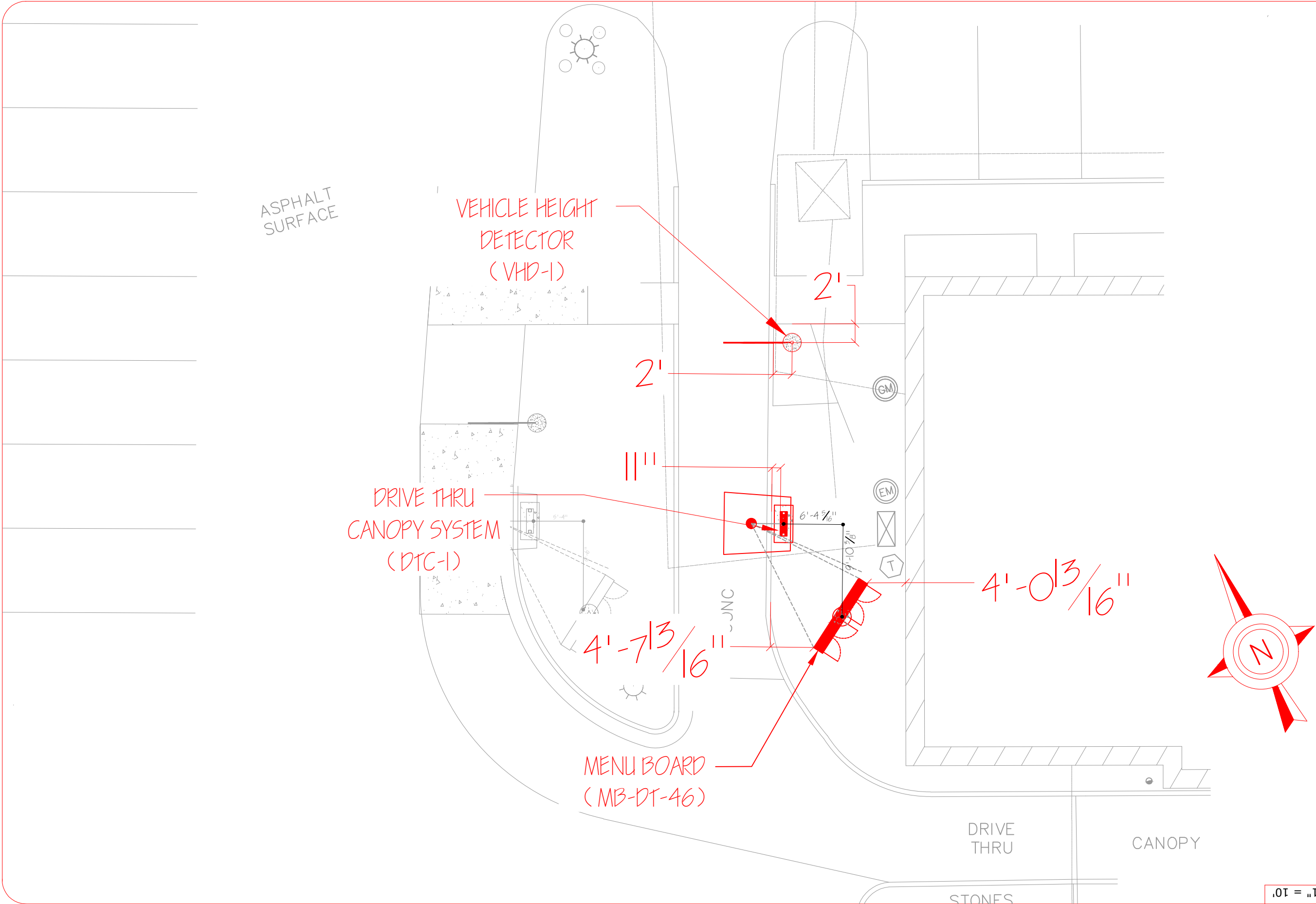
Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23
Sheet Number: 1 OF 6



SCALE 1" = 10'

LOCATION:

WATERTOWN, WI.

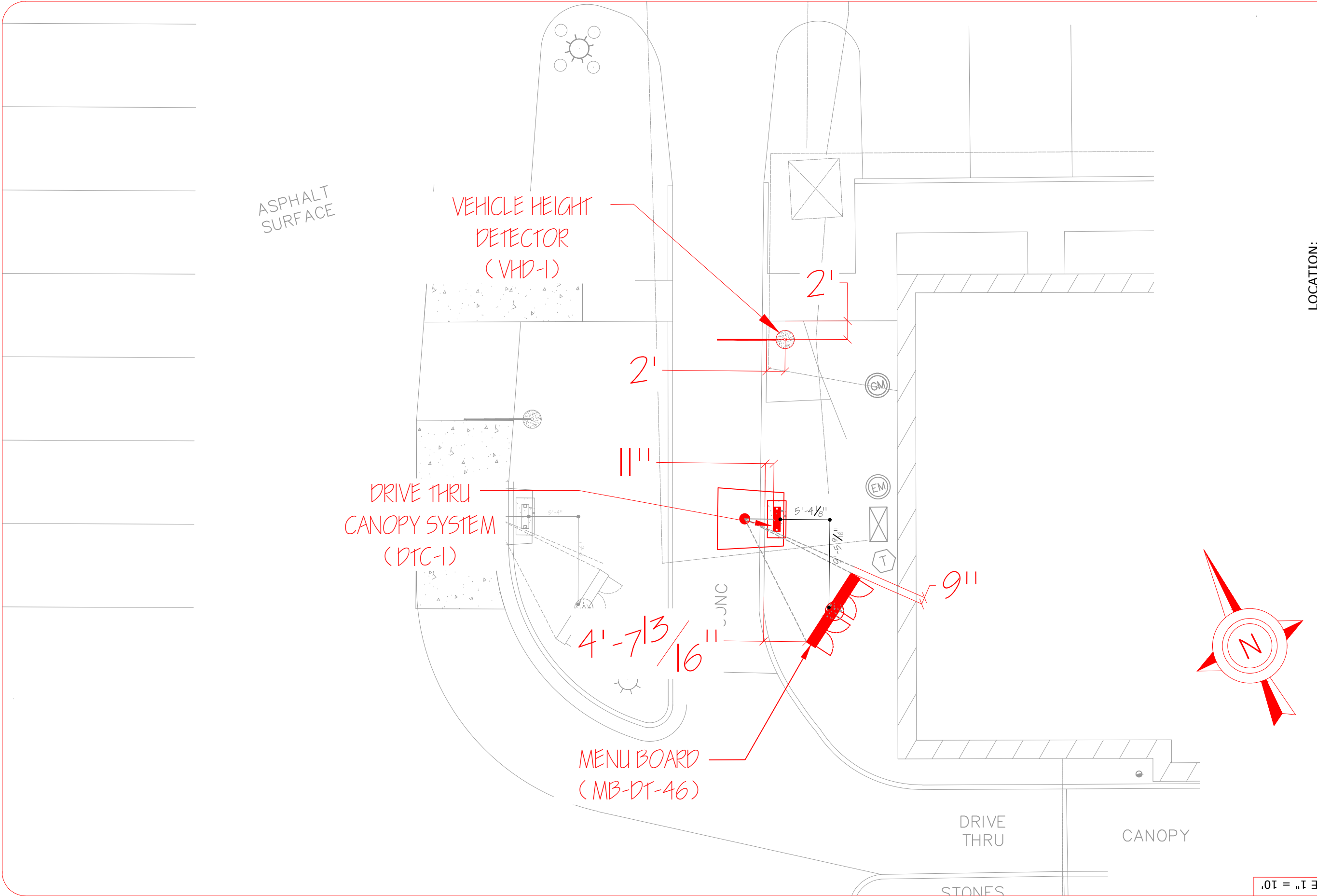
Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

Sheet Number:
2 OF 6



SCALE 1" = 10'

LOCATION:

WATERTOWN, WI.

Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
**DRIVE THROUGH/MENU BOARD
VIEWING ANGLE**

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

Sheet Number:
3 OF 6

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

NOTE: ANY DEVIATION GREATER THAN TOLERANCES GIVEN IN THE TABLE MUST BE APPROVED BY SPRINGFIELD SIGN & NEON IN WRITING. SSN WILL SEEK OUT C.F.S.I. APPROVAL FOR CHANGE.

MENU BOARD FOOTING TO BE LOCATED PER G.C./ SURVEYOR OF RECORD, BALANCE OF FOOTINGS SIMILARLY LOCATED OR PER THE D1-D6 TABLE GIVEN. EITHER METHOD MUST CONFIRM TOLERANCES AND DIMENSIONS ABOVE.

LAYOUT

NOTE: SURVEYOR/ G.C. OF RECORD SHALL STAKE ALL FOOTING CENTER LOCATIONS. IF THIS CANNOT BE DONE, USE LAYOUT SEQUENCE GIVEN BELOW.

WITH EITHER METHOD, EITHER BY SURVEYOR OR LAYOUT SEQUENCE, THE DIMENSIONS WITH ABOVE STATED TOLERANCES MUST BE CONFIRMED BY SIGN INSTALLER. ANY DEVIATIONS MUST BE PRESENTED TO SPRINGFIELD SIGN & NEON IN WRITING, SPRINGFIELD SIGN & NEON WILL RESOLVE THE CONFLICT SO THAT INSTALLER CAN PROCEED.

LAYOUT SEQUENCE

VERIFY GENERAL FIELD (AS-BUILT) CONDITIONS TO MATCH PROVIDED DRAWINGS. DON'T GUESS-CALL WITH ANY QUESTIONS.

-LOCATE THE CENTER POINT OF THE PRIMARY MENU BOARD FOOTING WITH DIMENSIONS D2 & D3

-USE DIMENSIONS D1 & D5 TO POSITION THE OTHER FOOTING, (CANOPY) RELATIVE TO THE MENU BOARD FOOTING

-ROTATE THE PLACEMENT (USING D1 & D5) AROUND THE MENU BOARD FOOTING UNTIL DIMENSIONS D4 & D6 ARE CONFIRMED. ALL POINTS SHOULD BE STAKED AND READY TO LAY OUT.

* DIMENSION	MEASUREMENT	DEVIATION ALLOWED (TOLERANCE)
D1	11'-8 7/8"	+ / - 2" MAXIMUM
D2	9'-1 1/6"	+ / - 2" MAXIMUM
D3	12'-4 15/16"	+ / - 2" MAXIMUM
D4	5'-10 11/16"	+ / - 1" MAXIMUM
D5	3 1/2"	+ / - 2" MAXIMUM
D6	3 1/2"	+ / - 2" MAXIMUM

ASPHALT SURFACE

VEHICLE HEIGHT DETECTOR (VHD-1)

DRIVE THRU CANOPY SYSTEM (DTC-1)

D5

D4

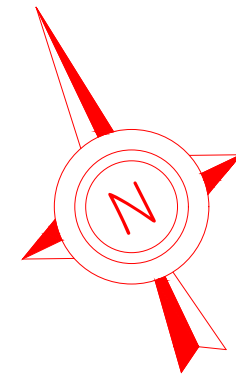
D1

D2

D4

D3

MENU BOARD (MB-DT-46)



LOCATION:

WATERTOWN, WI.

Client: SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23

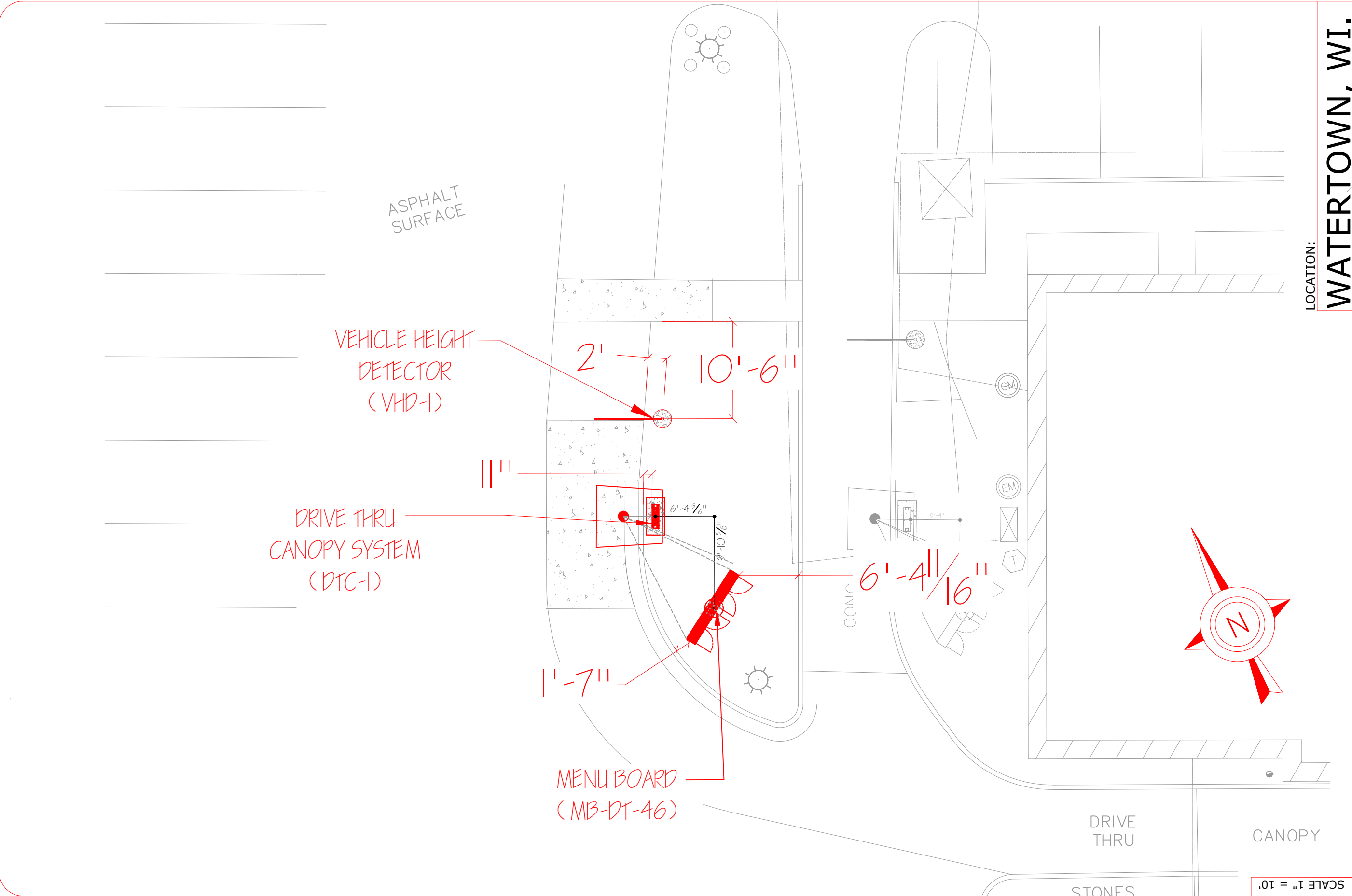
Sheet Number: 4 OF 6

SCALE 1" = 10'

DRIVE THRU

CANOPY

STONES



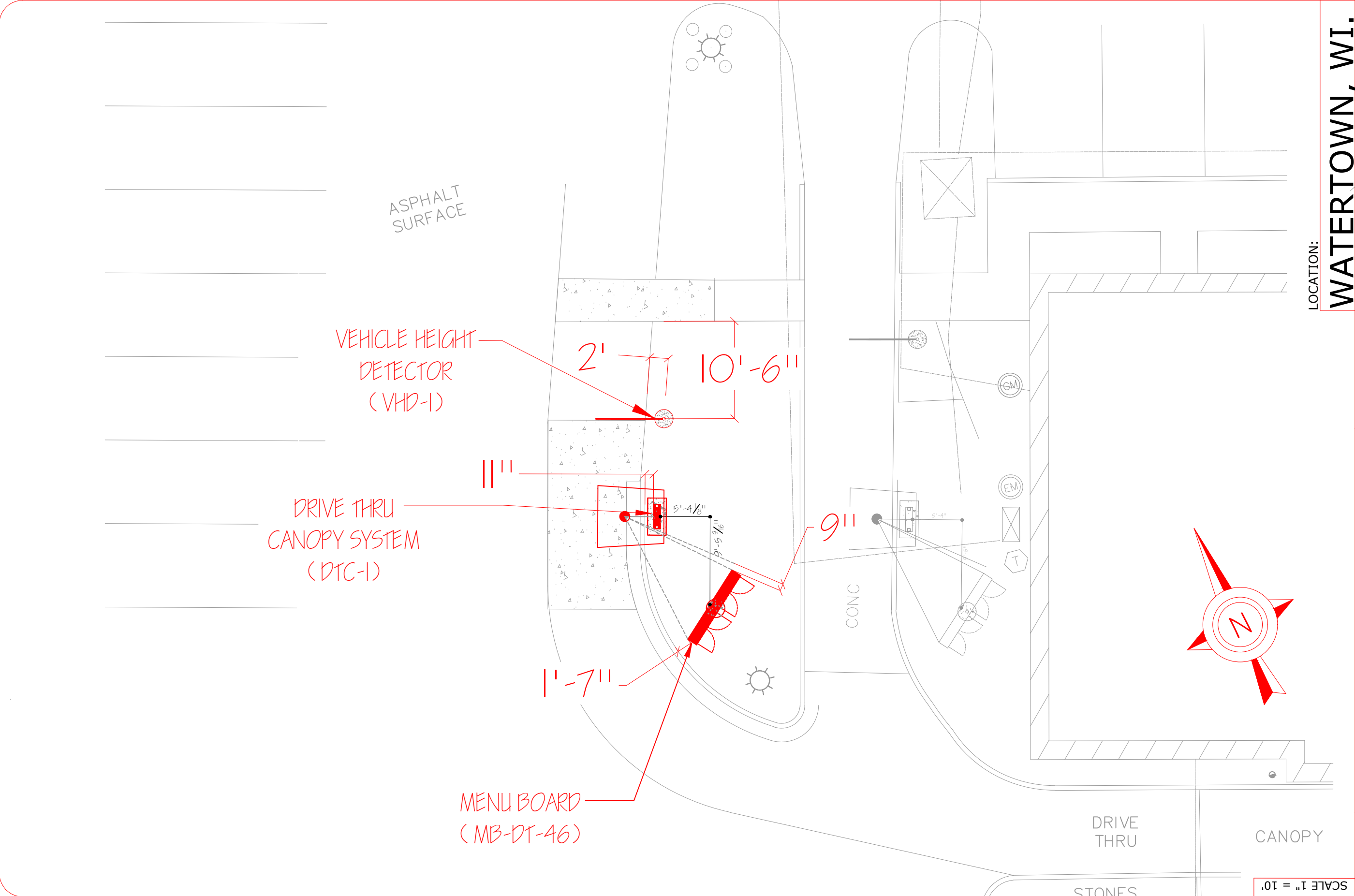
LOCATION: **WATERTOWN, WI.**

Client: **SPRINGFIELD SIGN**
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE THRU/MENU BOARD
LAYOUT

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23
Sheet Number: **5 OF 6**



LOCATION:
WATERTOWN, WI.

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney
Springfield, MO 65803
(417) 862-2454

CULVER FRANCHISING SYSTEM, INC.
**DRIVE THROUGH/MENU BOARD
VIEWING ANGLE**

Project No.: 44907
Drawn By: CLH
Reviewed By: MW
Date: 5-23-23
Sheet Number:
6 OF 6

MB-DT-46 EXTERIOR MENU BOARD

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)

Culver's

FRONT



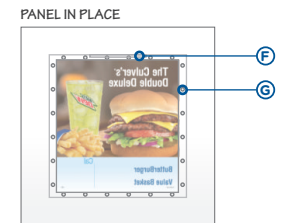
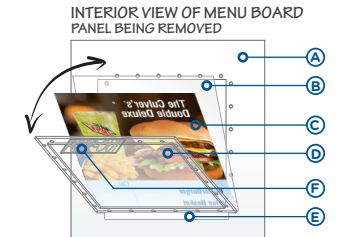
REAR



SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

POPP-Out Point Of Purchase Panel System

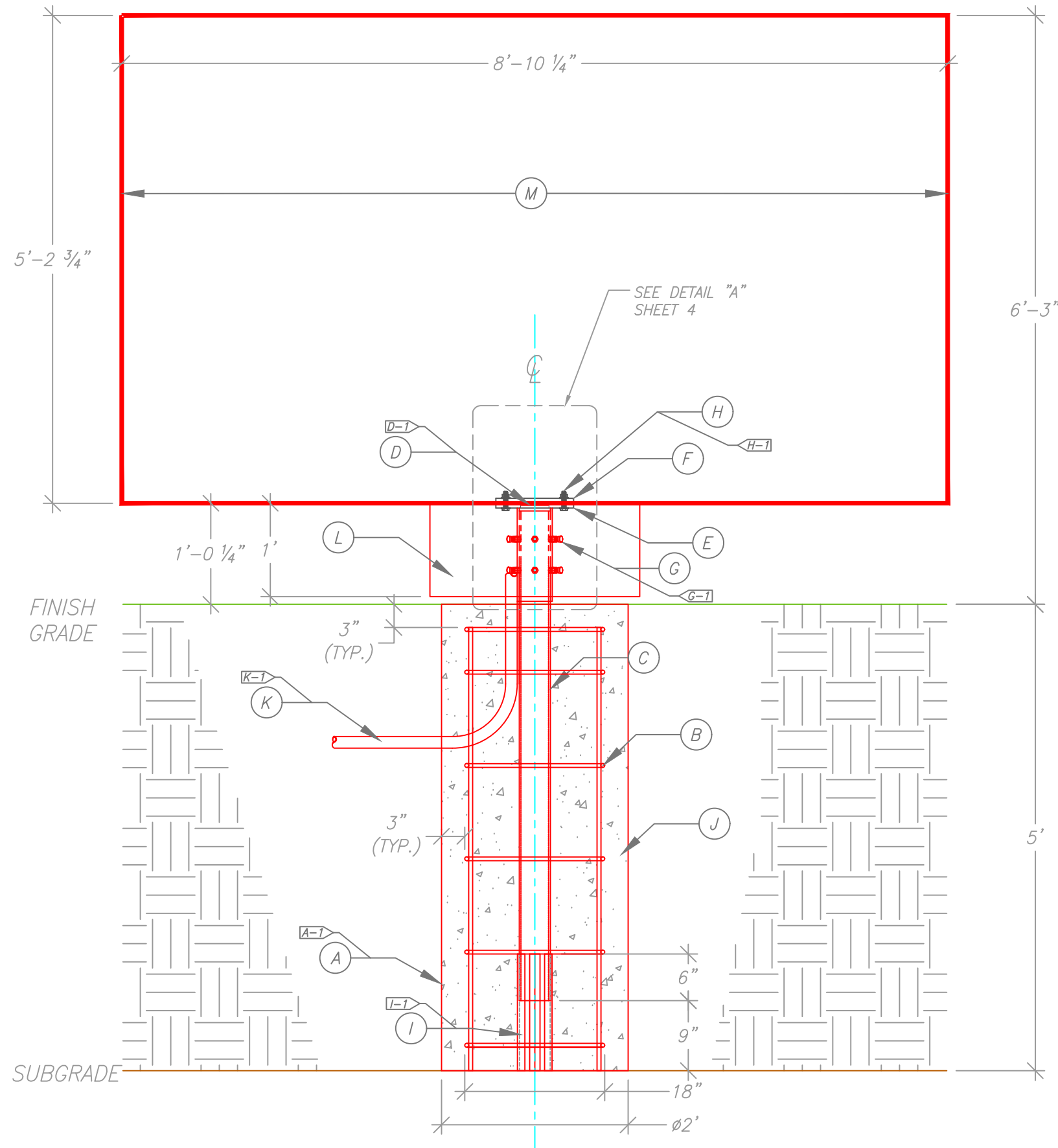


- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POPP-Out PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POPP-Out TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-Out PANEL & BACK OF MENU BOARD)

SALES PERSON:	DESIGNED BY:	AO:

DATE CREATED / REVISION HISTORY	

FILE PATH: M:\Art Assets\Culver's\Permitting



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:

CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

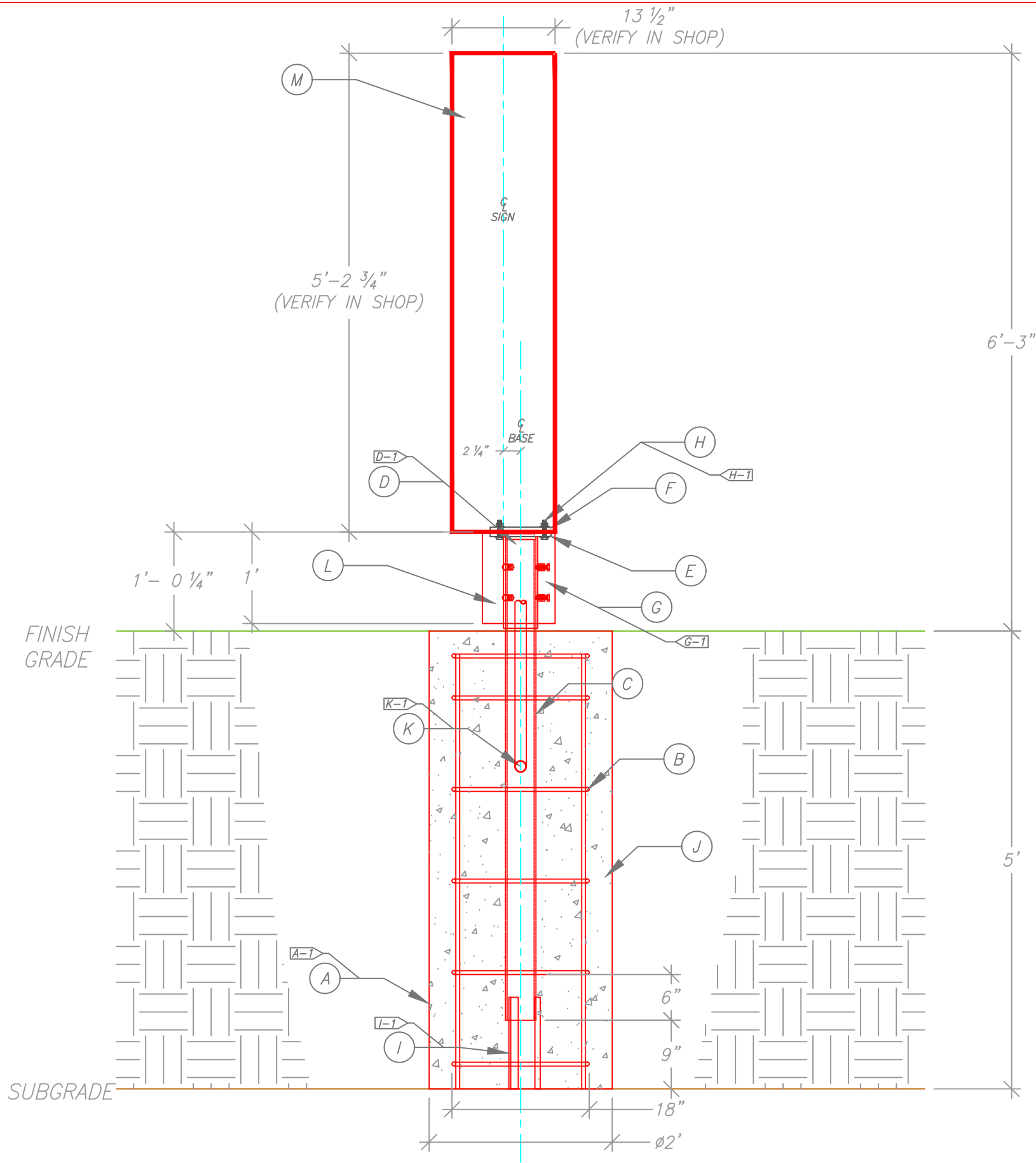
Client:

Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Project Number: CULVERS
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21

Sheet Number:
1 OF 5



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓖ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21
Sheet Number:
2 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
A	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
B	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
C	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER

D	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
E	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
F	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
G	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES

H	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
I	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
J	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
K	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
L	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
M	MAIN MENU BOARD	
	PART #:	MB-DT-46

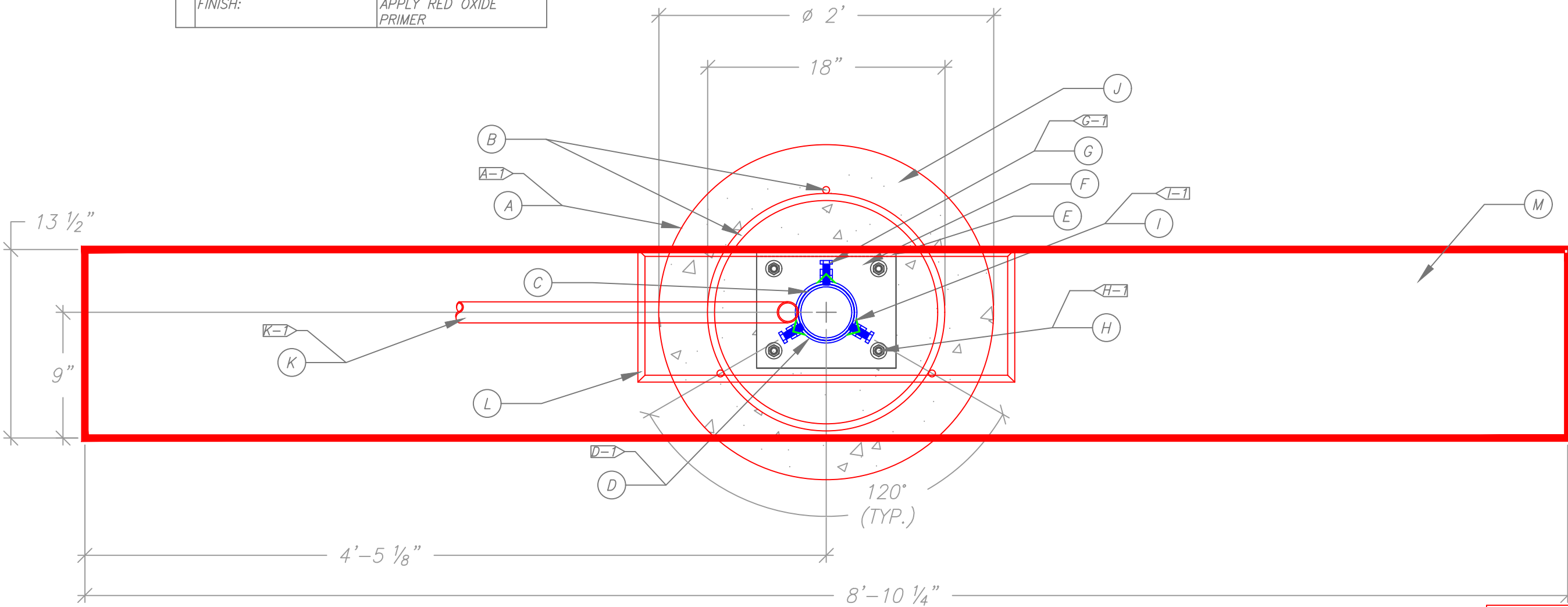
LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

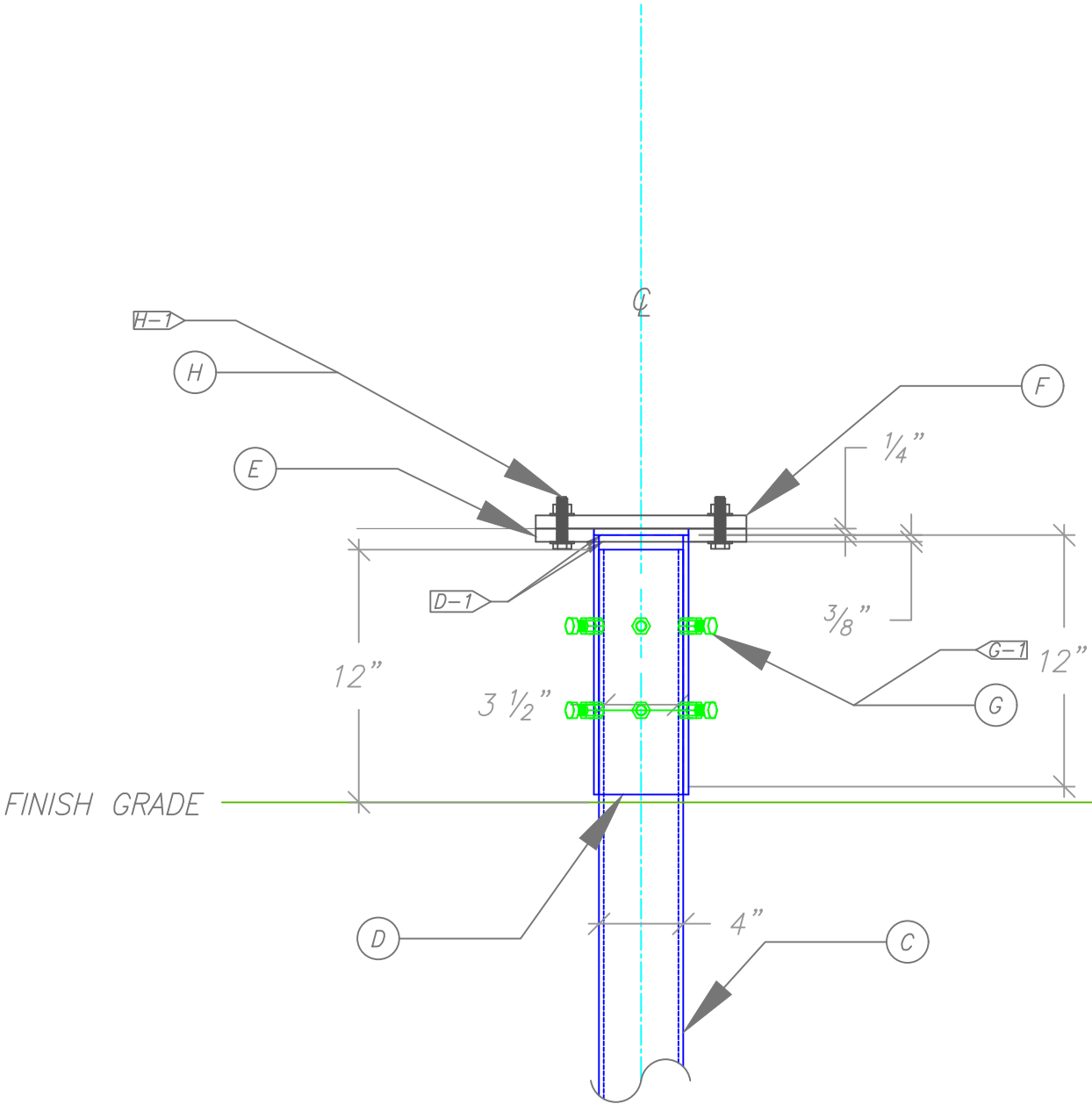
Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21
Sheet Number:
3 OF 5



SCALE 1 1/2" = 1'



DRIVE-THROUGH/MAIN MENU BOARD	
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES

SCALE 1 1/2" = 1'

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Project Number: CULVER'S
Drawn By: CLH
Reviewed By: MW
Date: 4-16-21

Sheet Number:
4 OF 5

LOCATION: **CULVER'S**

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

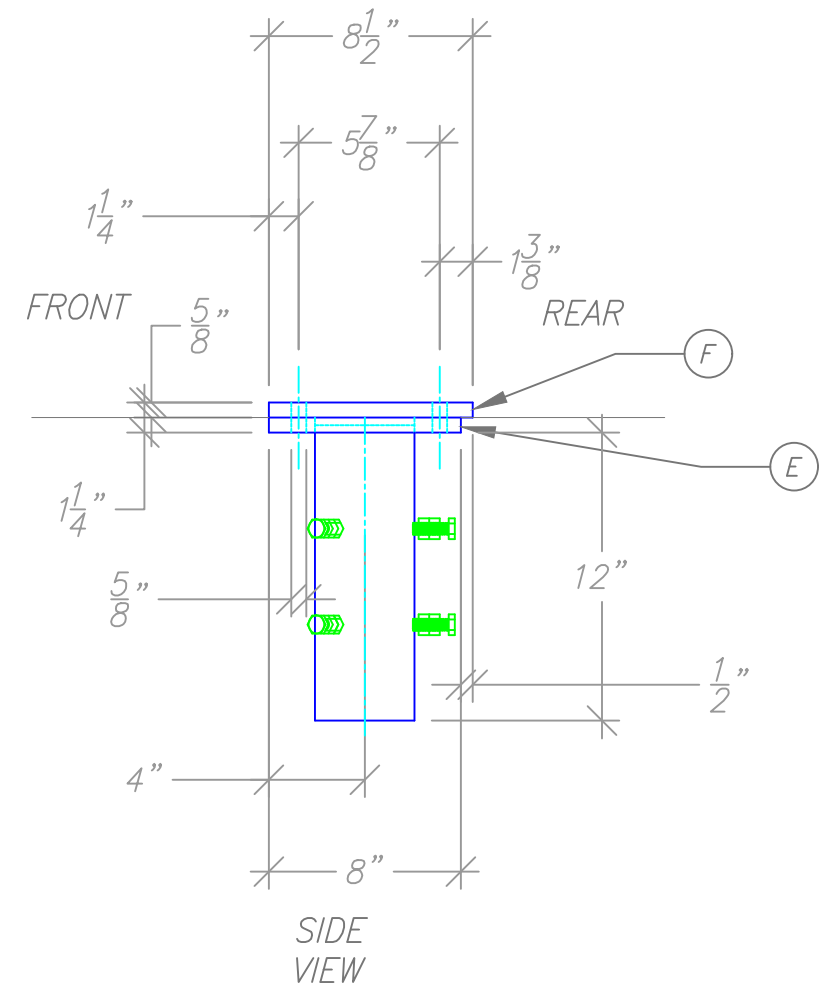
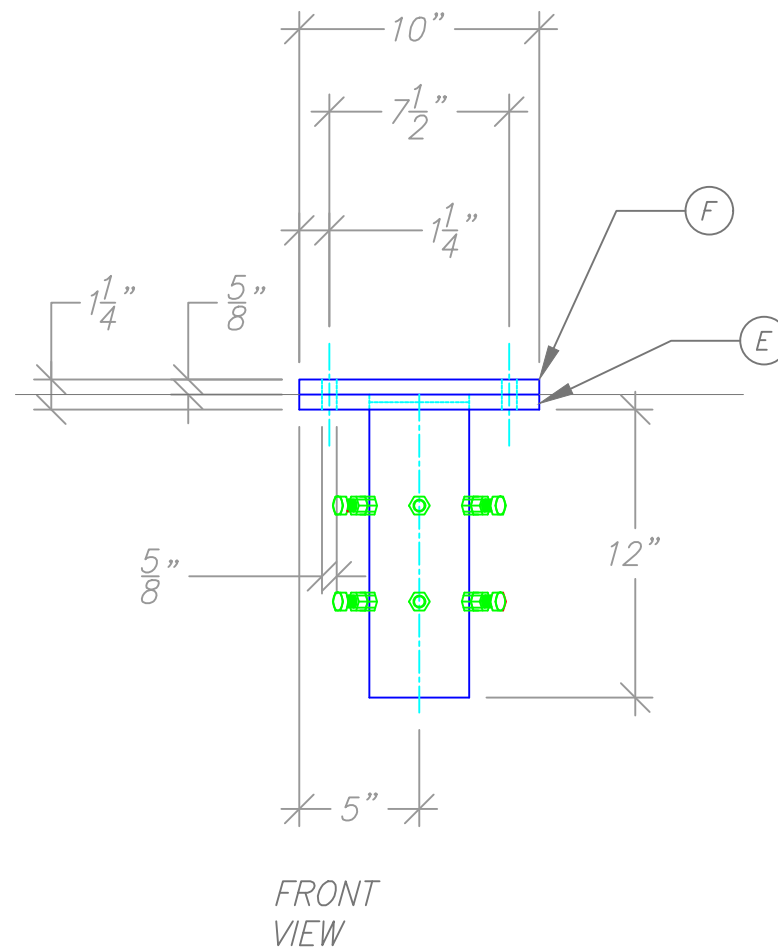
Client: Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL

Project Number: CULVERS
 Drawn By: CLH
 Reviewed By: MW
 Date: 4-16-21

Sheet Number:
5 OF 5

5 OF 5



SCALE 1 1/2" = 1'

EXHIBIT 1

FOR INSPECTIONS CALL (608) 697-1206		GENERAL BUILDING PERMIT APPLICATION GENERAL ENGINEERING COMPANY P.O. BOX 340 PORTAGE, WI 53901 OFFICE: (608) 745-4070				PERMIT # Section 3, Item E.	
Parcel number : 3092.05		City of Portage, Columbia County, WI				Mun. Number 11-271	
PROJECT DESCRIPTION (Submit Building Plans & Site Plan) SIGN					Does this project require any additional approvals or permits? No		
Building Address 2733 NEW PINERY			Responsible Party Email			Finished Project Value \$5,735	
Zoning District(s):	Zoning Permit No:	Corner Lot Yes No	Bldg. Height	Setbacks:	Front:	Rear:	Left: Right:
Owner's Name Address S&L PROPERTIES		2733 NEW PINERY , PORTAGE , WI,				Phone & email	
Construction contractor WI Lic. No & Exp. Date Address TWO RIVER SIGNS		204	1316 WAUONA TRAIL, PORTAGE, WI, 53901			Phone & email (608) 745-4242	
Dwelling constr. qualifier WI Lic. No & Exp. Date Address						Phone & email	
HVAC contractor WI Lic. No & Exp. Date Address						Phone & email	
Electrical contractor WI Lic. No & Exp. Date Address						Phone & email	
Master electrician WI Lic. No & Exp. Date Address						Phone & email	
Plumbing contractor WI Lic. No & Exp. Date Address						Phone & email	
RESIDENTIAL Single Family/Duplex	Addition: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Erosion Control <input type="checkbox"/> Construction						
	Detached Accessory Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction						
	Remodel: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction						
	Other: <input type="checkbox"/> Fence <input type="checkbox"/> Plumbing <input type="checkbox"/> Removal of Structure (Raze) <input type="checkbox"/> Electrical Service Upgrade <input type="checkbox"/> Erosion Control <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Construction						
COMMERCIAL	New Commercial Building: <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> HVAC <input type="checkbox"/> Construction <input type="checkbox"/> Erosion Control						
	Commercial Addition/Alteration: <input type="checkbox"/> Electrical <input type="checkbox"/> HVAC <input type="checkbox"/> Erosion Control <input checked="" type="checkbox"/> Sign <input type="checkbox"/> Building Sq. Ft. <input type="checkbox"/> Plumbing <input type="checkbox"/> Construction <input type="checkbox"/> Fence <input type="checkbox"/> Removal of Structure (Raze)						
	State of Wisconsin Plan Approval Needed: Yes <input checked="" type="checkbox"/> No (Approved plans must be submitted with permit application)						
Zoning – When applicable, must obtain a copy of setback information regarding height, lot coverage, etc.							
<small>I agree to comply with all applicable codes, statutes and ordinances and with the conditions of this permit; understand that the issuance of the permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If I am an owner applying for an erosion control or construction permit, I have read the cautionary statement regarding contractor financial responsibility on the reverse side of the last ply of this application. I expressly grant the building inspector or the inspector's authorized agent permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done. It is the Owner/Contractors Responsibility to Call in ALL INSPECTIONS to the Inspector.</small>							
APPLICANT'S SIGNATURE				DATE SIGNED			
APPROVAL CONDITIONS This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. See attached for conditions of approval.							
FEES:		PERMIT(S) ISSUED			PERMIT ISSUED BY:		
Construction Plumbing Electrical HVAC Zoning Other Administrative Total Permit Fee		Constr. HVAC Electric Plumbing Erosion Control Other			Name MIKE BORTZ Date 11/10/2020 Telephone (608) 697-1206 Cert. No 667132		

SCALE 1" = 10'

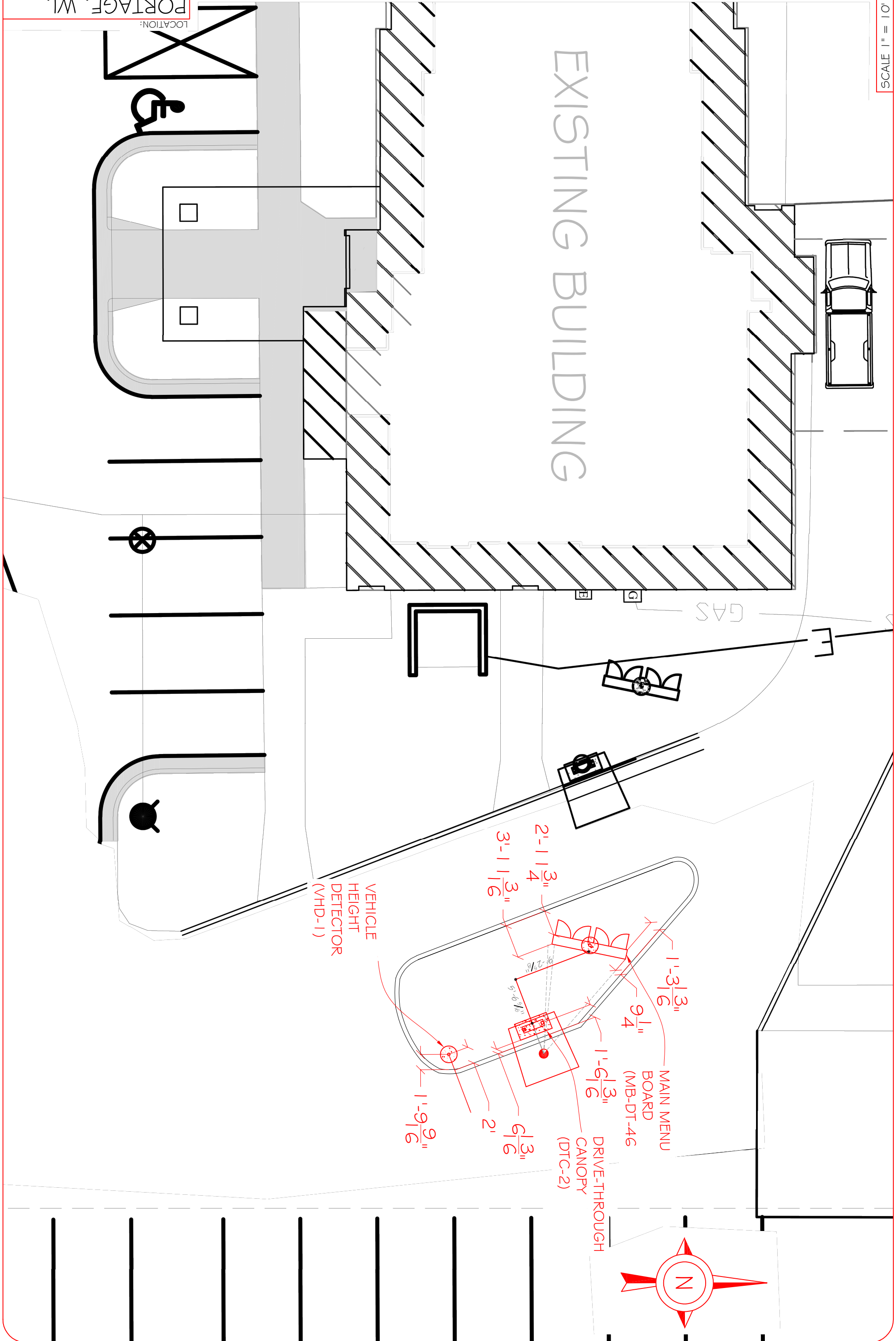
Project Number: 22099
Drawn By: CLH
Reviewed By: MM
Date: 11-5-20

CULVER FRANCHISING SYSTEM, INC.
NEW CULVERS-SIGNAGE
2733 NW PINERY ROAD
PORTAGE, I. 53901
SIGN PLACEMENT PLAN

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
P (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

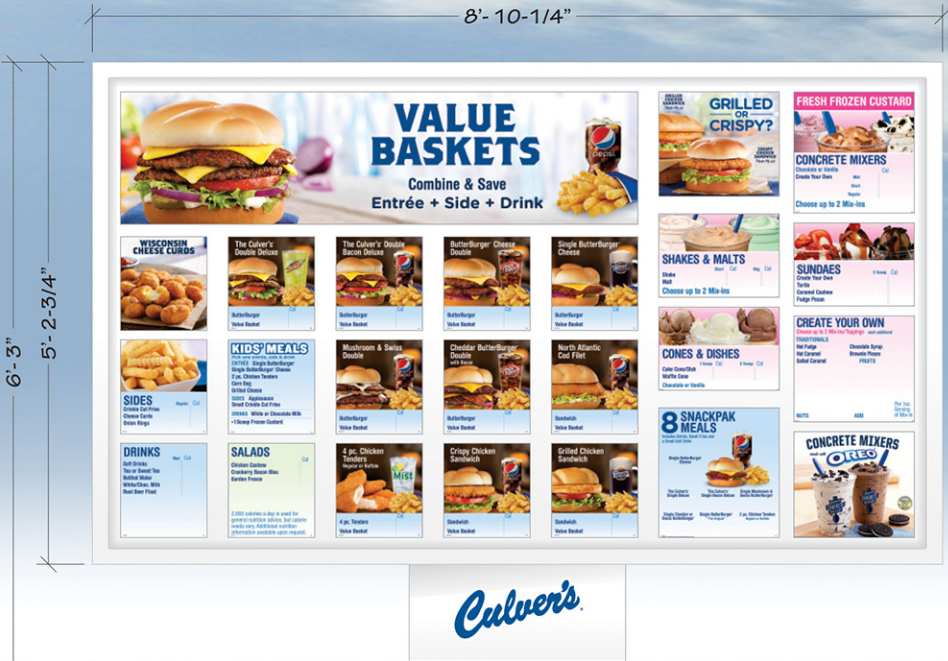
LOCATION:
PORTAGE, WI.



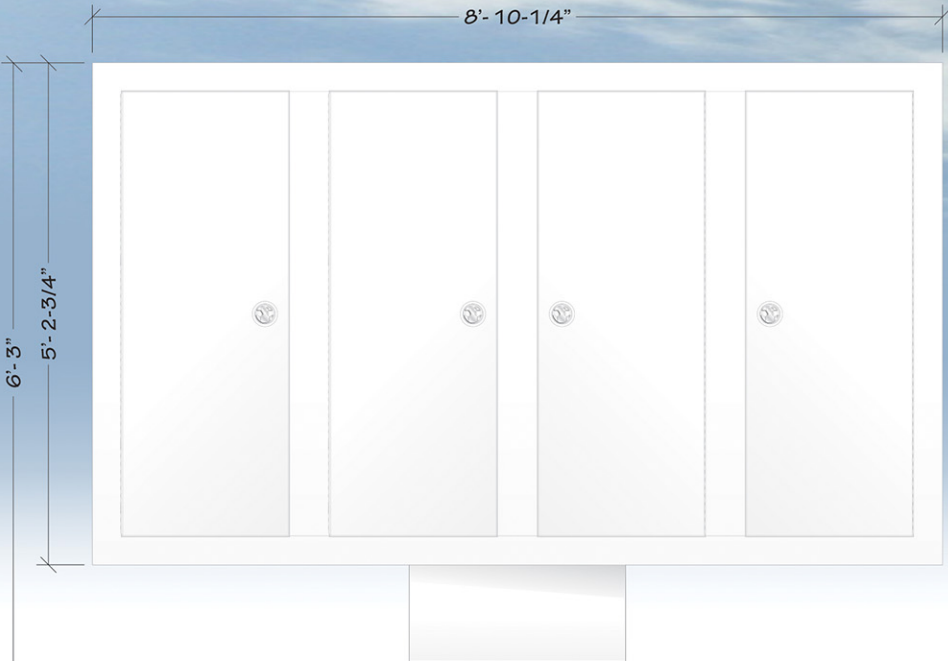
MENU BOARDS

Blue Outdoor Drive-Thru Menu Board

FRONT



REAR



SCALE: 1/2" = 1'

MB-DT-46

IF COASTAL STANDARD: MB-DT-46-CS

MB-DT-46

Blue Outdoor Drive-Thru Menu Board

SIGN DETAILS:

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

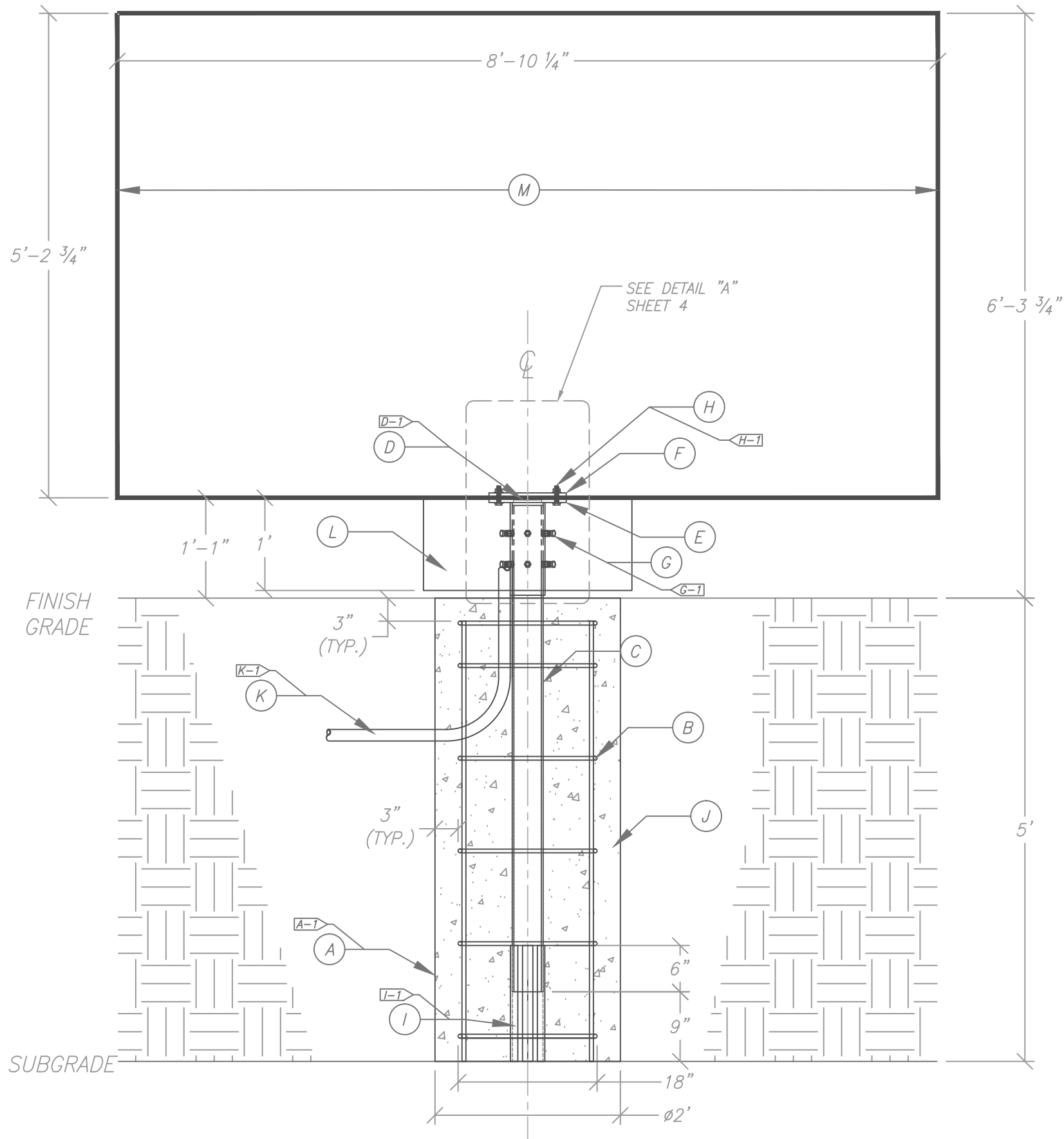
POPP-Out magnet access panels included for easy in & out of POP panels

"-CS" option for 160mph coastal wind standards available

Locking rear access doors (4)

Culver's®

SIGN & MENU BOARD BRAND STANDARDS WITH TECHNICAL SPECIFICATIONS



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓜ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S

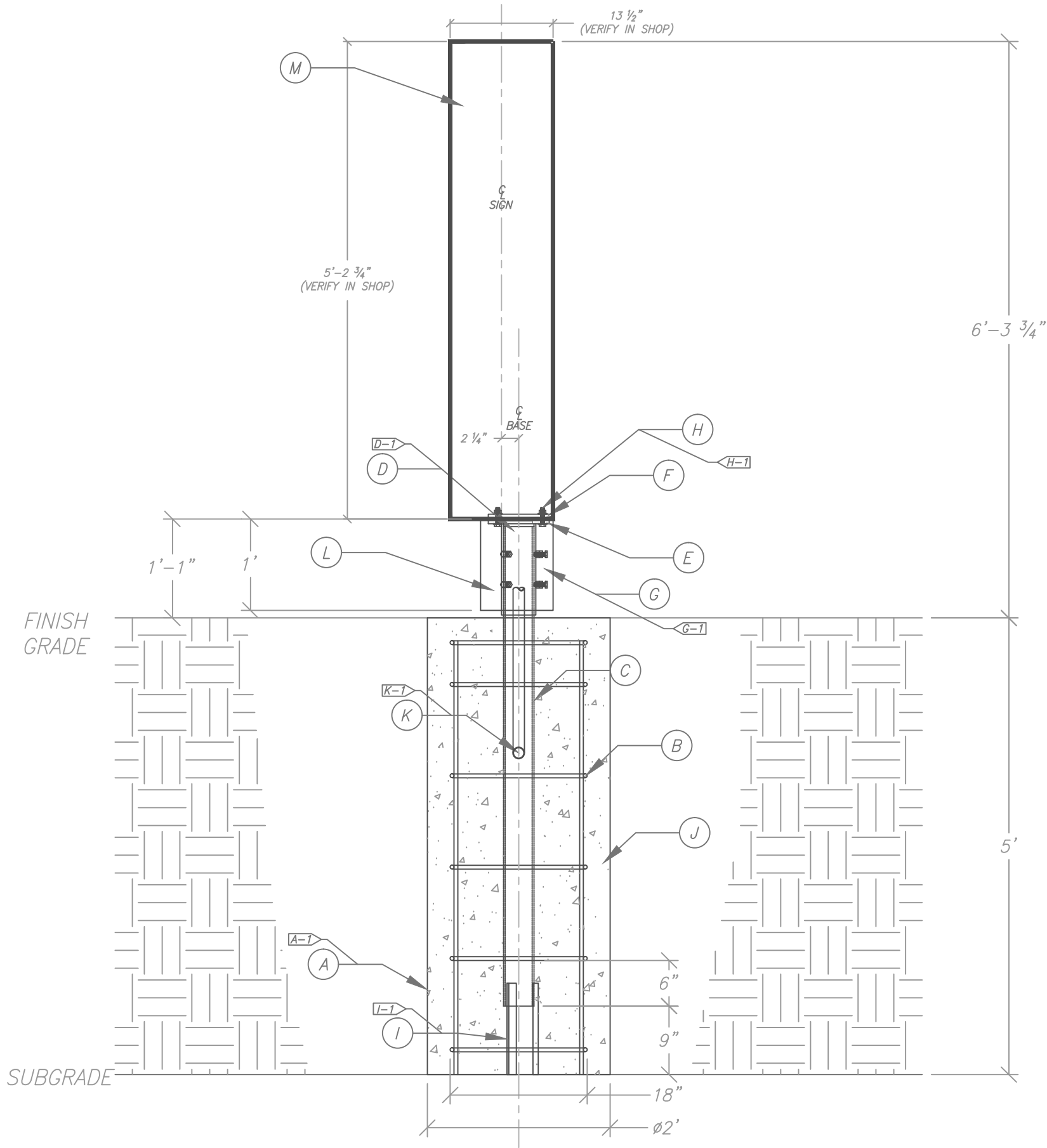
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:

1 OF 5



DRIVE-THROUGH MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES
Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓛ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
Ⓢ	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓐ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

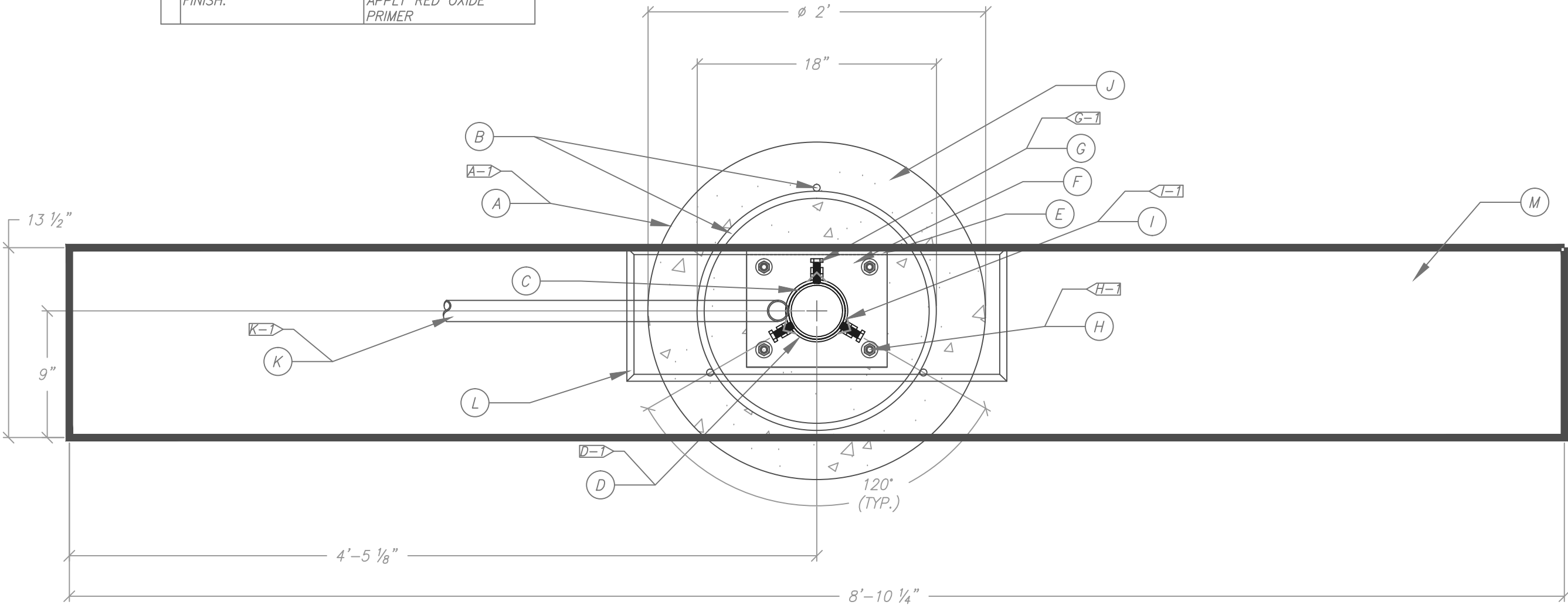
Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:

2 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
Ⓐ	AUGER	
	SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ	REBAR REINFORCING	
	SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
	SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ	STEEL PIPE	
	MATERIAL:	3 1/2" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER

Ⓓ	STEEL PIPE	
	MATERIAL:	4" SCHEDULE 40
	FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
	D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓕ	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	5/8" PLATE STEEL
Ⓖ	PIPE BOLTS	
	MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
	G-1	6 PLACES

Ⓗ	MOUNTING PLATE BOLTS	
	MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
	H-1	4 PLACES
Ⓘ	BASE PIPE SUPPORT	
	MATERIAL:	1" STEEL ANGLE-3 PLACES
	I-1	WELDED TO BASE PIPE
⓵	BACKFILL	
	MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ	ELECTRICAL PRIMARY	
	K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ	SIGN SKIRT	
	MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ	MAIN MENU BOARD	
	PART #:	MB-DT-46



SCALE 1/8" = 1"

LOCATION:
CULVER'S

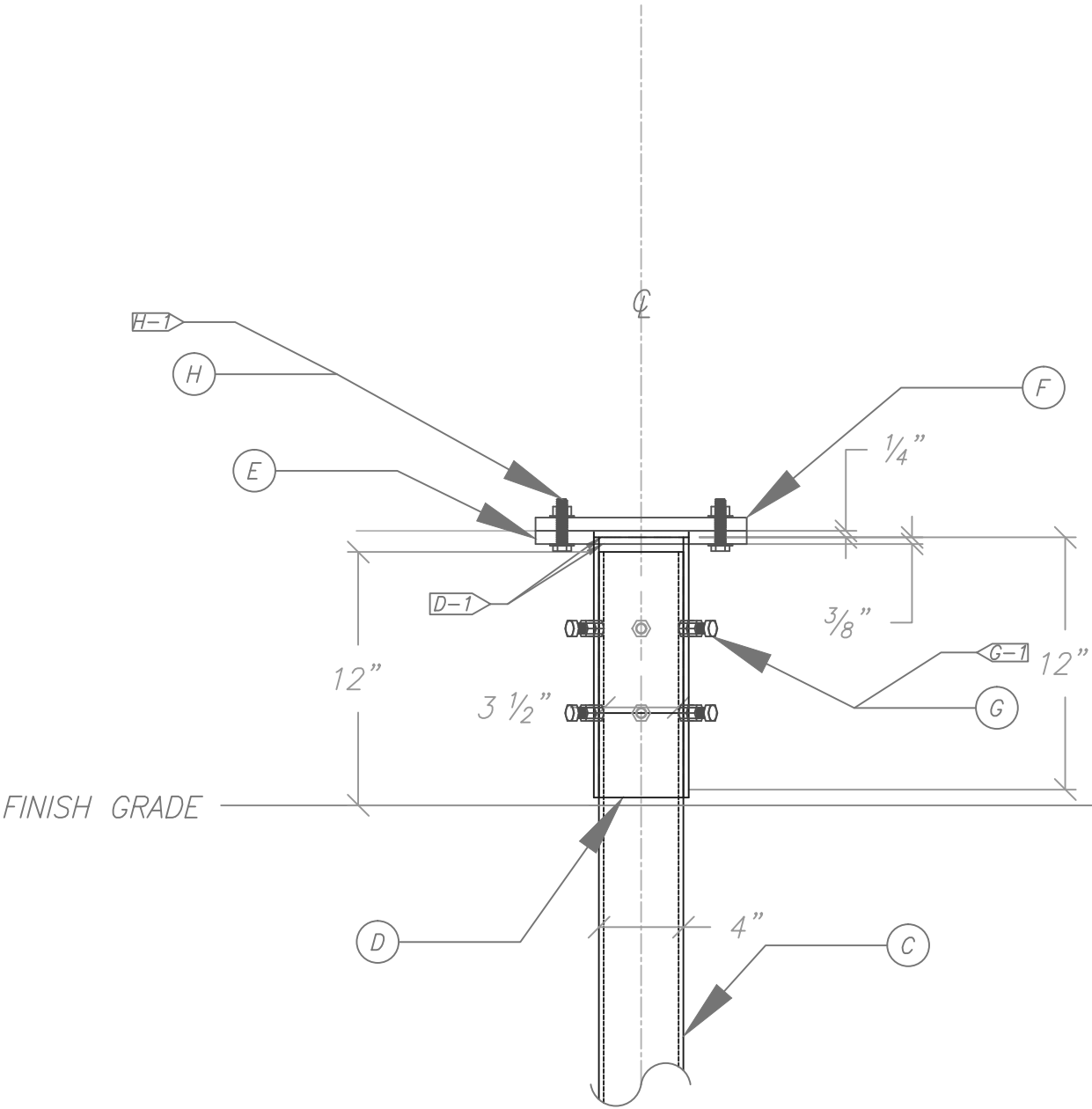
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:

3 OF 5



DRIVE-THROUGH/MAIN MENU BOARD	
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES

SCALE 1/8" = 1"

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17

Sheet Number:
4 OF 5

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

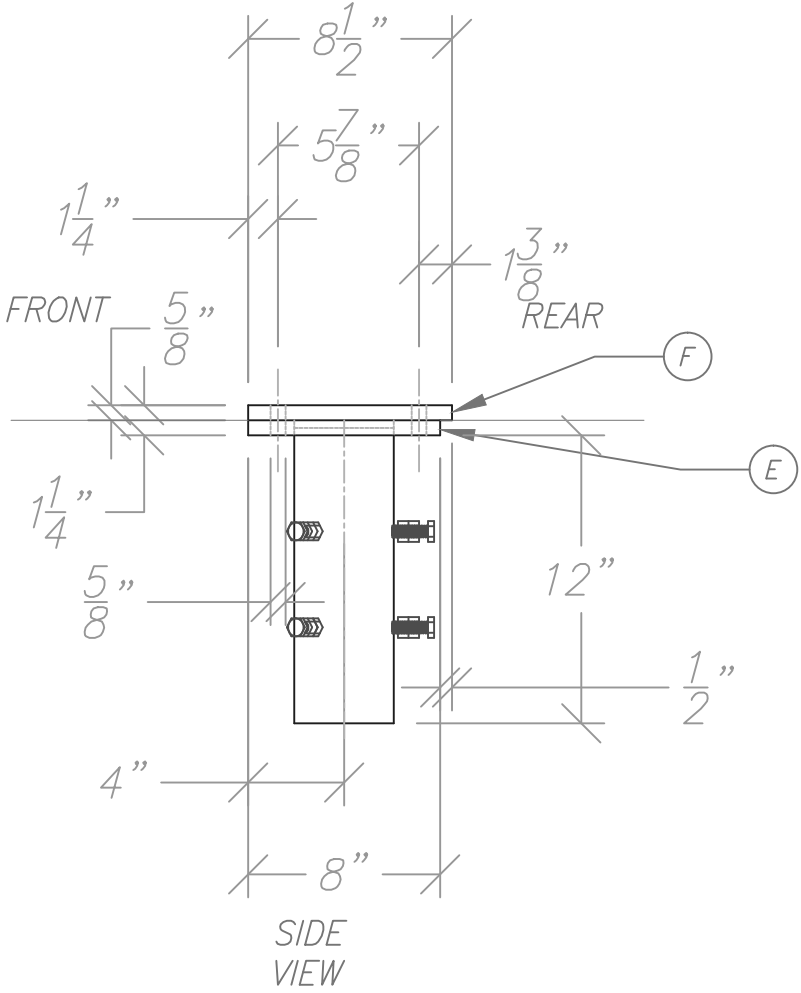
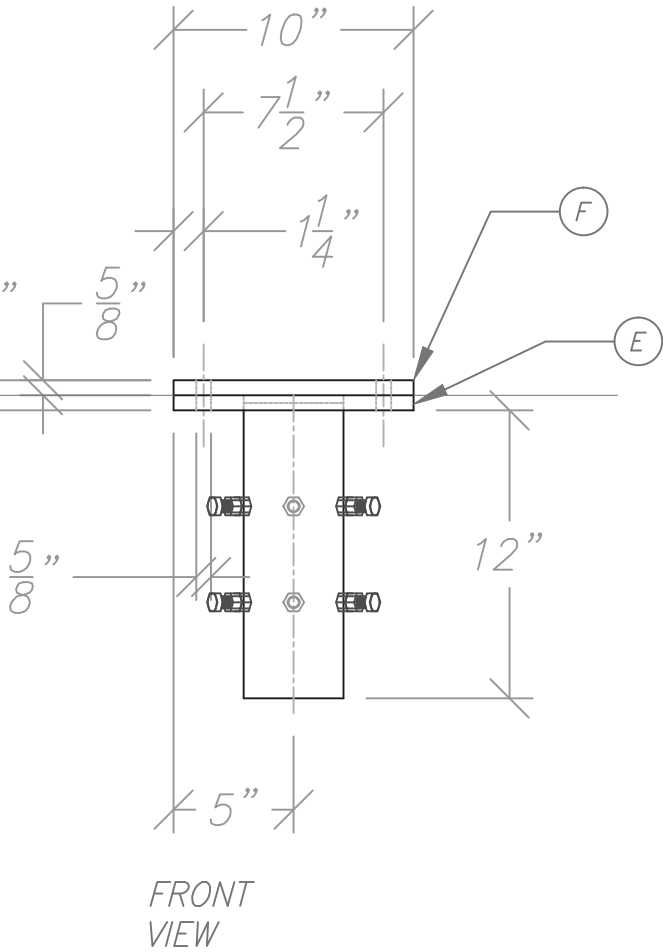
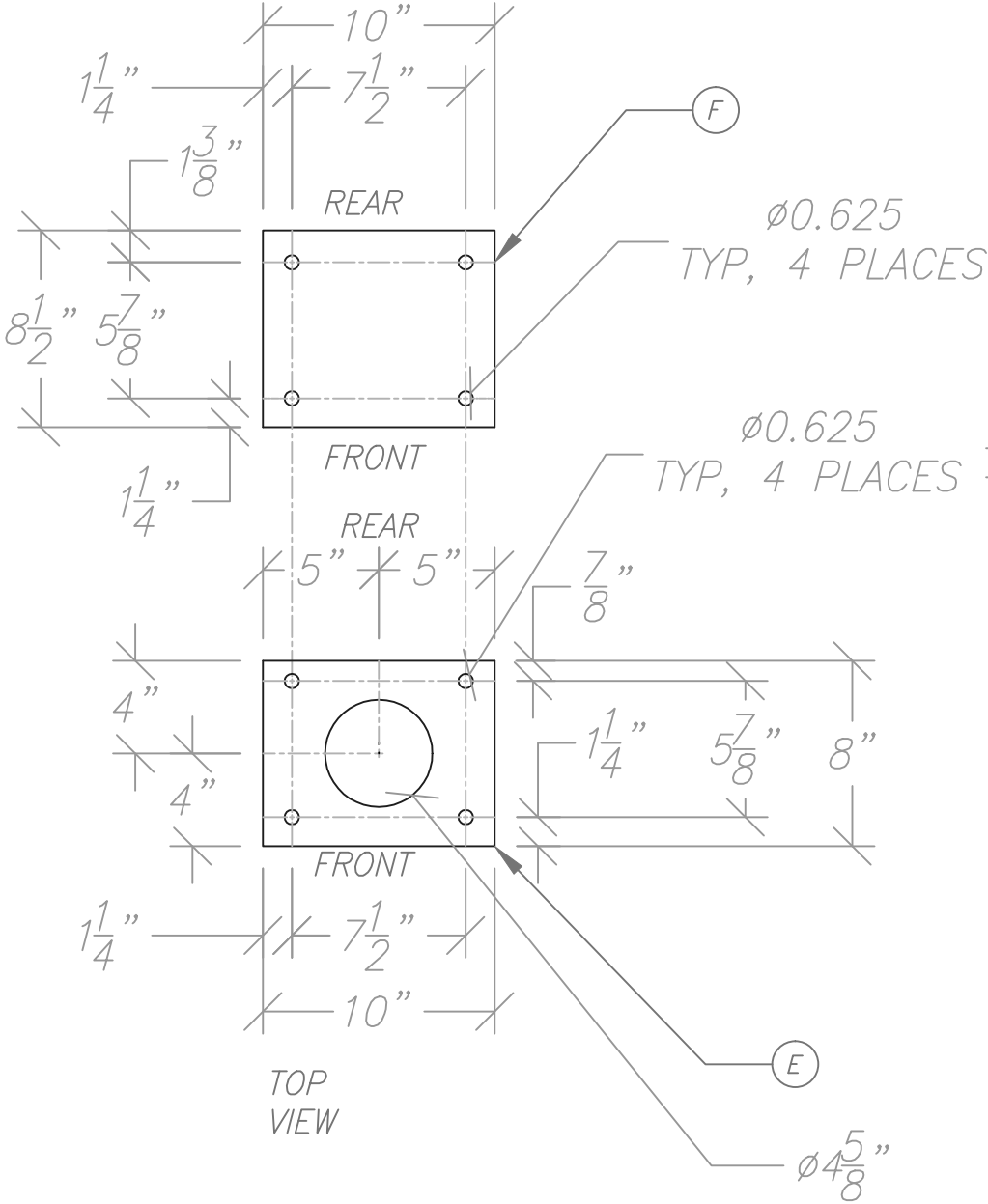
CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17

Sheet Number:
5 OF 5

SCALE 1/8" = 1"

DRIVE-THROUGH/MAIN MENU BOARD		
(E)	OUTSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL
(F)	INSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL



**APPLICATION FOR SIGN PERMIT
VILLAGE OF OREGON
117 SPRING STREET
OREGON, WI 53575**

DATE: 8/30, 2022
PERMIT NO. _____

FEE \$ 438.69
RECEIPT NO. 1.090327

FEES: RESIDENTIAL OR COMMERCIAL
\$25.00 for the first 20 square feet and \$.50/square foot thereafter.

PROPERTY ADDRESS: 117 Spring Street 1075 Park St.
OREGON, WI

BOND ATTACHED _____
(FOR COST OVER \$1,000.00)

TO THE ZONING INSPECTOR:

The undersigned hereby applies for a permit to build, construct, remove or install according to the following statement and as more fully described in the plans herewith filed as required under Sec. 17.27.

OWNER Village of Oregon ADDRESS 117 Spring Daytime Tel No. _____
Craig Culver *1075 Park St.*

PARCEL NO. 050912202441 LOT 10 BLOCK 2 SUBDIVISION _____

OCCUPATION _____ ZONE OR DISTRICT: EBB ☐ RES: ☒ COMM: ☐ IND: ☐ AGR:

TYPE OF CONSTRUCTION: ☐ WOOD ☐ METAL ☐ OTHER _____

TYPE OF SIGN: ☒ LIGHTED ☐ NON-LIGHTED: ☐ TEMP: ☒ PERMANENT
☒ GROUND: ☒ HANGING ON FACADE OR BUILDING

FEET WIDE: See FEET LONG: attached SQUARE FEET: breakdown

ESTIMATED COST: \$55627.70

****A DETAILED SITE PLAN IS REQUIRED. BUILDING ELEVATIONS ARE ALSO REQUIRED IF THIS APPLICATION INCLUDES A FAÇADE SIGN.****

DATE APPLICATION APPROVED: September 7, 2022

APPROVED BY: _____
ZONING INSPECTOR

IT IS HEREBY AGREED between the undersigned as owner, his agent or servant, and the Village of Oregon, that for and in consideration of the premises and of the permit to construct, erect, remove or install as above described, to be issued and granted by the Zoning Inspector, and that the work thereon will be done in accordance with the description herein set forth in this statement and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, remove or install in strict compliance with the Sign Ordinance of the Village of Oregon; and to obey any and all lawful orders of the Zoning Inspector, made or issue by virtue of the provisions of said ordinance.

DATE: 8/30/2022 200 _____

BY: Alicia Walton, AGENT/OWNER

ADDRESS: 4825 Kearney St Springfield MO 65803

shared (G:/admin/permit application/sign permit application



ADDRESS
4825 E Kearney St
Springfield, MO 65803
CONTACT US
800.845.9927
springfieldsign.com

Culver's Signage Breakdown
117 Spring Street
Oregon, WI 53575

North Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

West Elevation

SL-45 LED Illuminated Channel Letters 56" x 120" = 46.67

\$38.34

South Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

East Elevation

SL-30 LED Illuminated Channel Letters 44.37" x 94.50" = 29.12

\$29.56

BB-1 NON Illuminated 17.67" x 27.88" = 3.42

\$25.00

Directional Signs

DIR 1 LED Illuminated 27 7/8" x 16 3/4" = 3.2 *no permit required for directional signs*

Vehicle Height Detector

NON Illuminated Clearance Panel – 40" x 5" = 1.39

\$25.00

Drive Thru Canopy

Please see attached artwork 



Menu Boards

MB-DT-46 106 1/4" x 62 3/4" = 46.29 (TWO TOTAL)

\$38.15

\$38.15



SPRINGFIELD SIGN

design | build | install | service

ADDRESS

4825 E Kearney St
Springfield, MO 65803

CONTACT US

800.845.9927
springfieldsign.com

Freestanding Sign

ME-35 Oval LED Illuminated 4'6" x 7' 6" = **26.51** (mathematical)

\$37.02

PE-80 EMC Electronic Message Center 2'5" x 7' 3" = **17.52** (mathematical)

Wall Mural

384.0" x 80.0" = **213.33**

\$121.50

SPT-1 Slim Push Thru Cabinet sign

284.50 x 12" = **23.70**

\$24.85

TOTAL = \$438.69



SIGN PACKAGE PROPOSAL
NEW BUILD

PRESENTED TO:
Culver's
117 Spring Street
Oregon, WI 53575

DATE PREPARED:
4/7/22 - Preliminary
4/22/22 - REV - Update elevations, add slim cabinets, add new VHD-2
8/11/22 - REV - Elevation update



MB-DT-46 EXTERIOR MENU BOARD

OREGON, WI

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

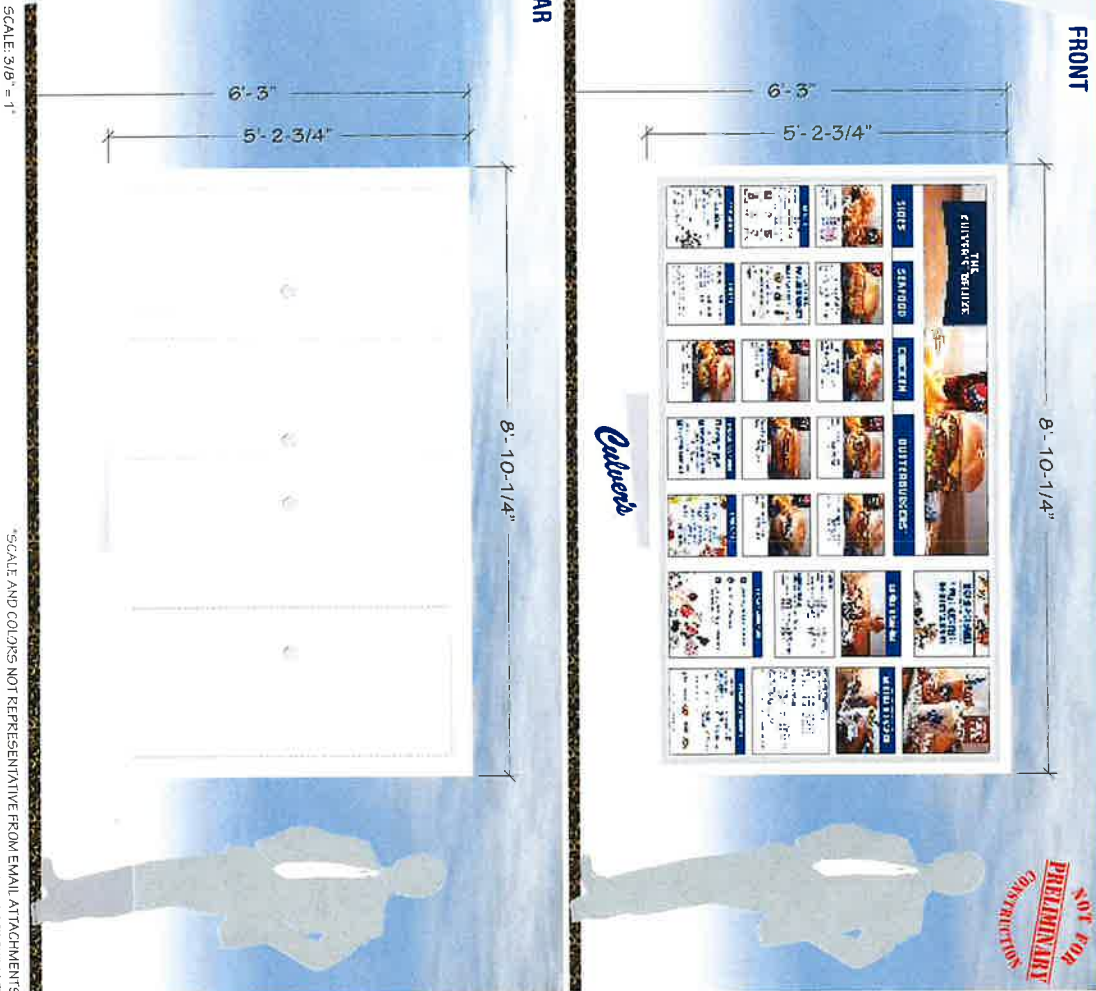
LED Internal Illumination

POP Graphic panels must be purchased separately

POP-Out magnet access panels included for easy in & out of POP panels

"-GS" option for 160mph coastal wind standards available

Locking rear access doors (4)



SCALE: 3/8" = 1"

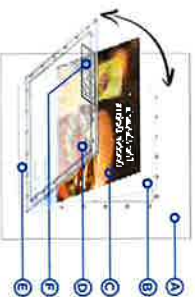
*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
ALL MEASUREMENTS ARE APPROXIMATE

© 2020 Springfield Sign & Graphics Inc. Springfield Sign
This drawing is Copyrighted material. It remains the property of Springfield Sign unless otherwise agreed upon in writing. It is unlawful to use this drawing for
bidding purposes, nor can it be reproduced, copied or used in the production of a sign without written permission from Springfield Sign & Graphics.
This is an artistic rendering and final colors & sizes may vary from that depicted here to.

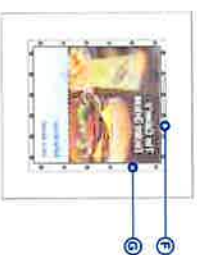


POP-Out Point of Purchase Panel System

INTERIOR VIEW OF MENU BOARD
PANEL BEING REMOVED



PANEL IN PLACE



- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL - FITTED WITH POP-OUT PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POP-OUT TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POP-OUT PANEL & BACK OF MENU BOARD)

SALES PERSON: MARK WESSELL
DESIGNED BY: JKROEGER
AO: 30505

DATE CREATED / REVISION HISTORY
4/17/22 - NEW



www.springfieldsign.com

MB-DT-46 EXTERIOR MENU BOARD

OREGON, WI

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

"CS" option for 160mph coastal wind standards available

Locking rear access doors (4)



SCALE 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

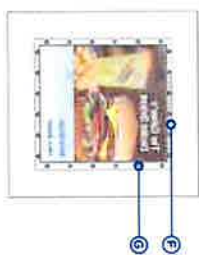


POPP-Out Point Of Purchase Panel System

INTERIOR VIEW OF MENU BOARD
PANEL BEING REMOVED



PANEL IN PLACE



- A - INSIDE BACK OF MENU BOARD FACE (ONLY ONE PANEL SHOWN FOR CLARITY)
- B - FRONT PANEL IS ANTI-GLARE (CLEAR) FOR INCREASED VISIBILITY
- C - POP PANEL - PRODUCT GRAPHIC
- D - REAR PANEL FITTED WITH POPP-OUT PANEL
- E - SUPPORTING "TIP TRAY" FOR PANELS (SELF ALIGNING)
- F - POPP-OUT TAB HANDLE
- G - PAIRED MAGNETIC "LATCH" (MAGNETS EMBEDDED IN POPP-OUT PANEL & BACK OF MENU BOARD)

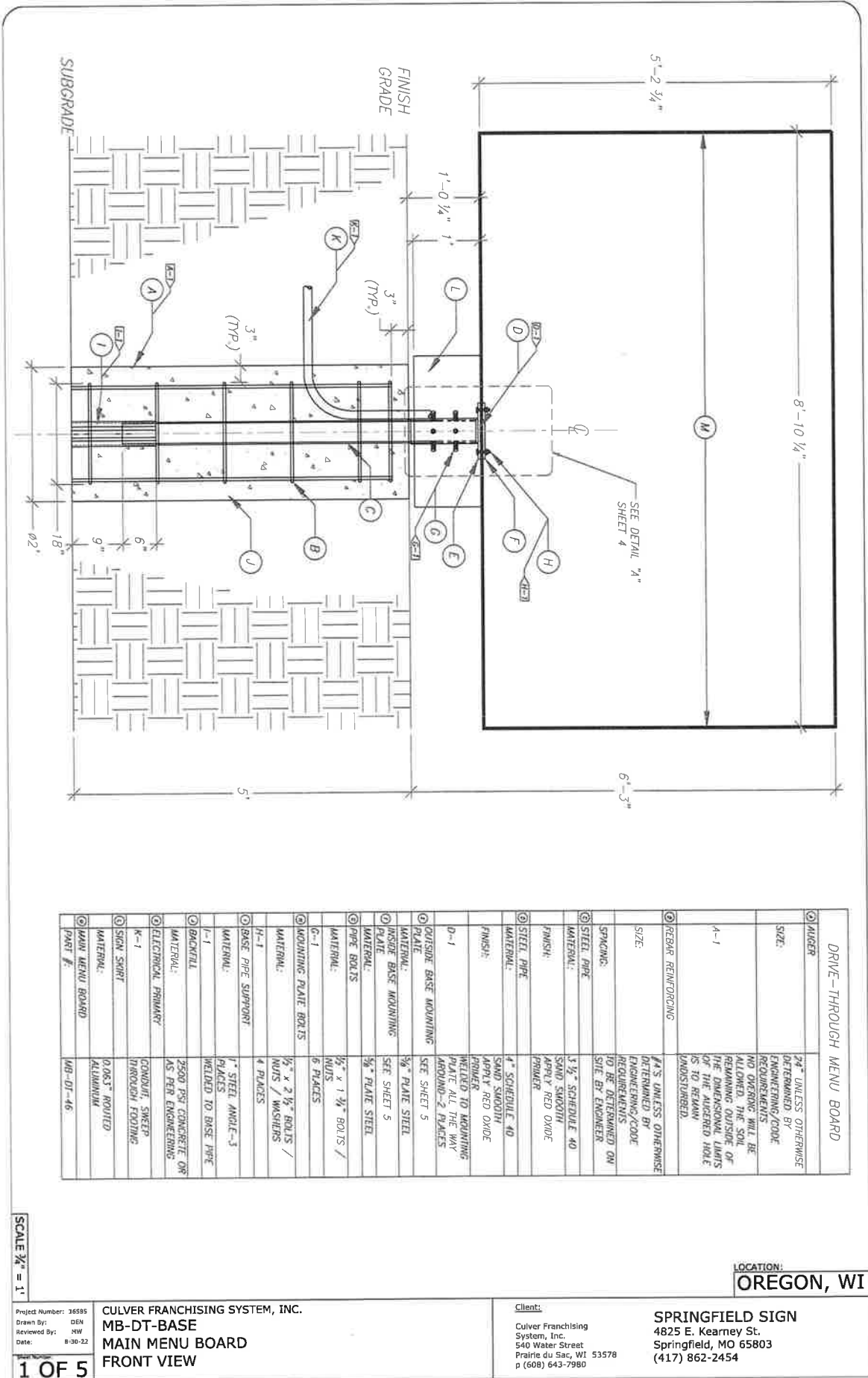
SALES PERSON: MARK WESSLELL
DESIGNED BY: J. KROEGER
AO: 36565

DATE CREATED / REVISION HISTORY
4/17/22 - NEW

© 2020 Springfield Sign & Graphics Inc., Springfield Sign

This drawing is Copyrighted material. It remains the property of Springfield Sign unless otherwise agreed upon in writing. It is unlawful to use this drawing for advertising purposes, nor can it be reproduced, copied or used in the production of a sign without written permission from Springfield Sign & Graphics. This is an artistic rendition and final colors / sizes may vary from what is depicted herein.





SCALE 3/8" = 1'

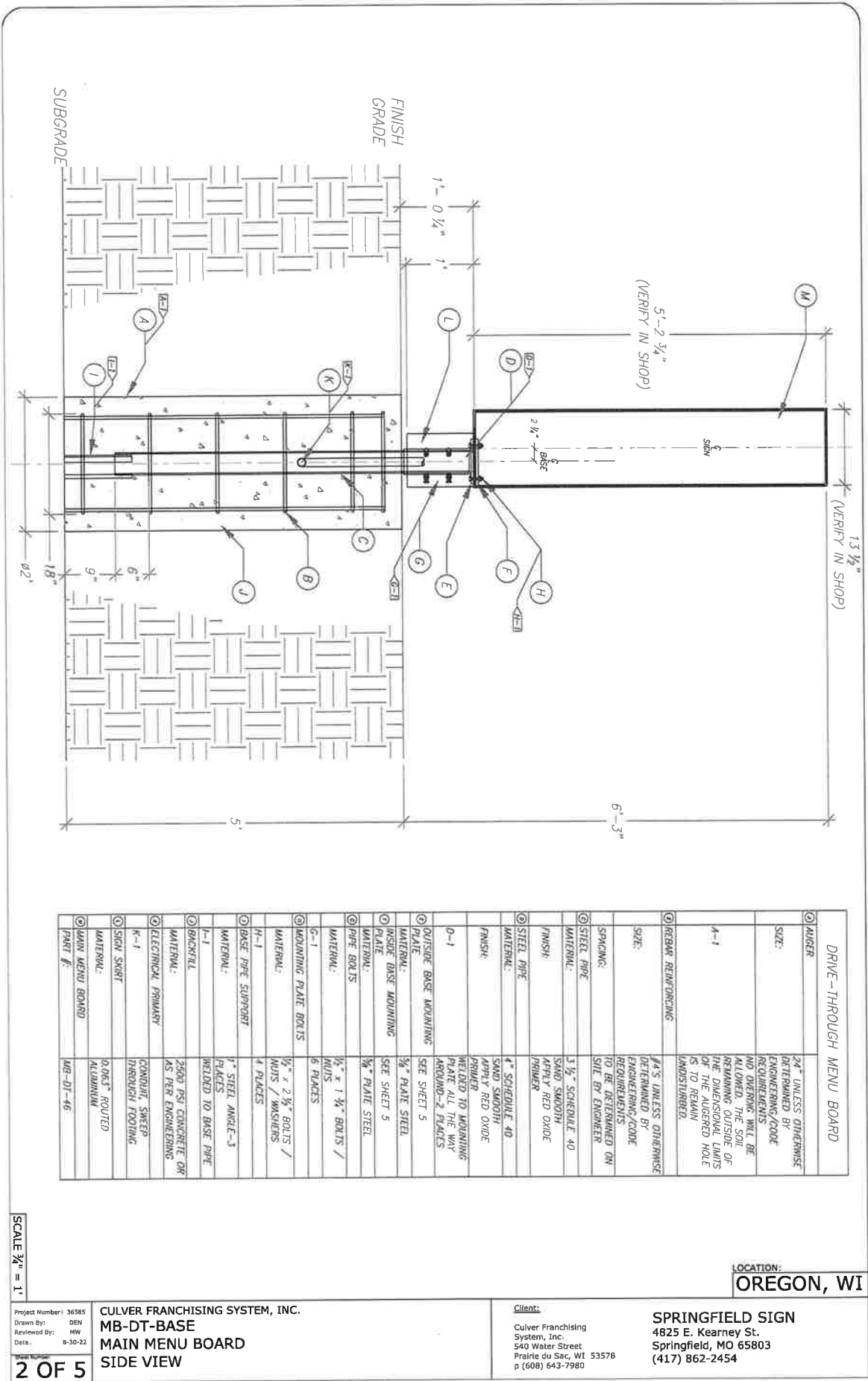
LOCATION:
OREGON, WI

Project Number: 36595
Drawn By: DEN
Reviewed By: NW
Date: 8/30/22
1 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



SCALE 3/4" = 1'

LOCATION:
OREGON, WI

Project Number: 36585
Drawn By: DEN
Reviewed By: MW
Date: 8-30-22
2 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

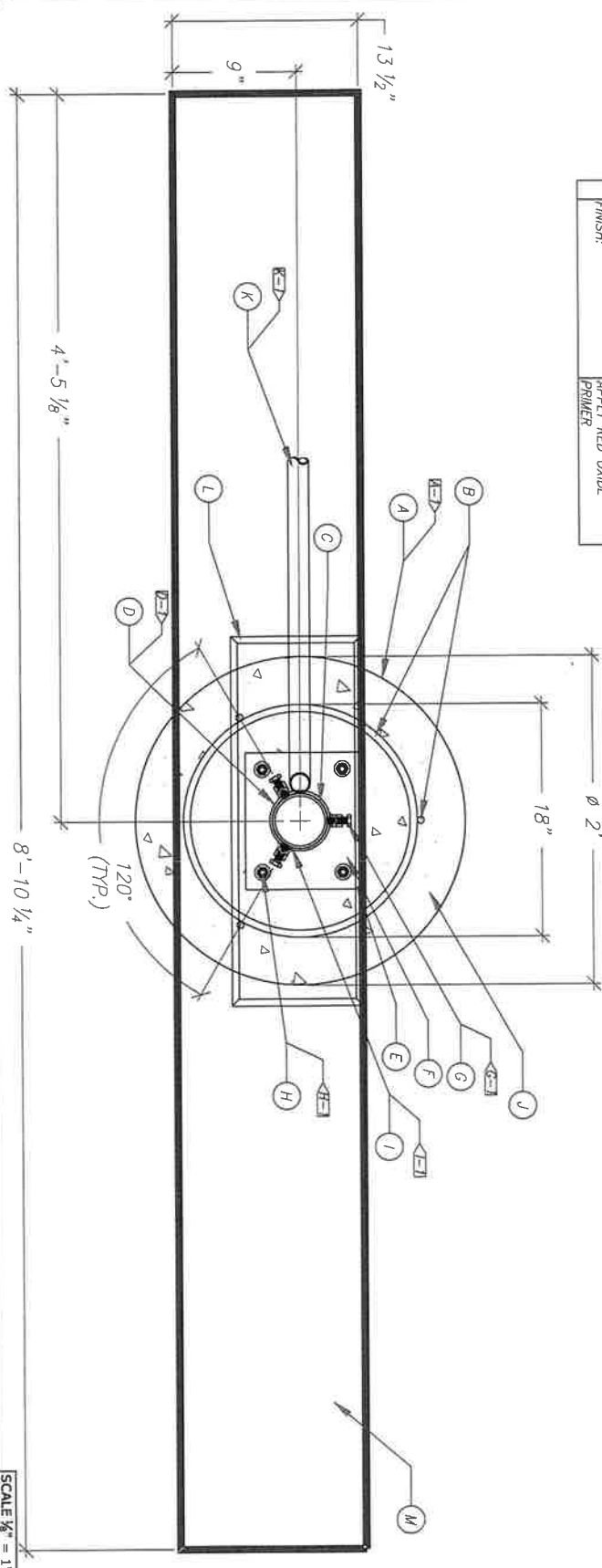
Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

DRIVE-THROUGH/MAIN MENU BOARD	
③ AUGER	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
A-1	
③ REBAR REINFORCING	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SIZE:	TO BE DETERMINED ON SITE BY ENGINEER
SPACING:	
③ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAUND SMOOTH APPLY RED OXIDE PRIMER

④	STEEL T L	4" SCHEDULE 40
③	MATERIAL:	SAND SMOOTH APPLY RED OXIDE PRIMER
	FINISH:	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
②	OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	$\frac{3}{8}$ " PLATE STEEL
①	INSIDE BASE MOUNTING PLATE	SEE SHEET 5
	MATERIAL:	$\frac{3}{8}$ " PLATE STEEL
①	PIPE BOLTS	
	MATERIAL:	$\frac{1}{2}$ " x 1 $\frac{3}{4}$ " BOLTS / NUTS
	G-1	6 PLACES

③	WATER-STOP	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
③	MATERIAL:	
③	H-1	4 PLACES
③	BASE PIPE SUPPORT	
③	MATERIAL:	1" STEEL ANGLE-3 PLACES
③	H-1	WELDED TO BASE PIPE
③	BACKFILL	
③	MATERIAL:	2500 PSI CONCRETE ON AS PER ENGINEERING
③	ELECTRICAL PRIMARY	
③	K-1	CONDUIT, SWEET THROUGH FOOTING
③	SIGN SKIRT	0.063" ROUTED
③	MATERIAL:	ALUMINUM
③	MAIN MENU BOARD	
③	PART #:	MB-DT-46



LOCATION:
OREGON, WI

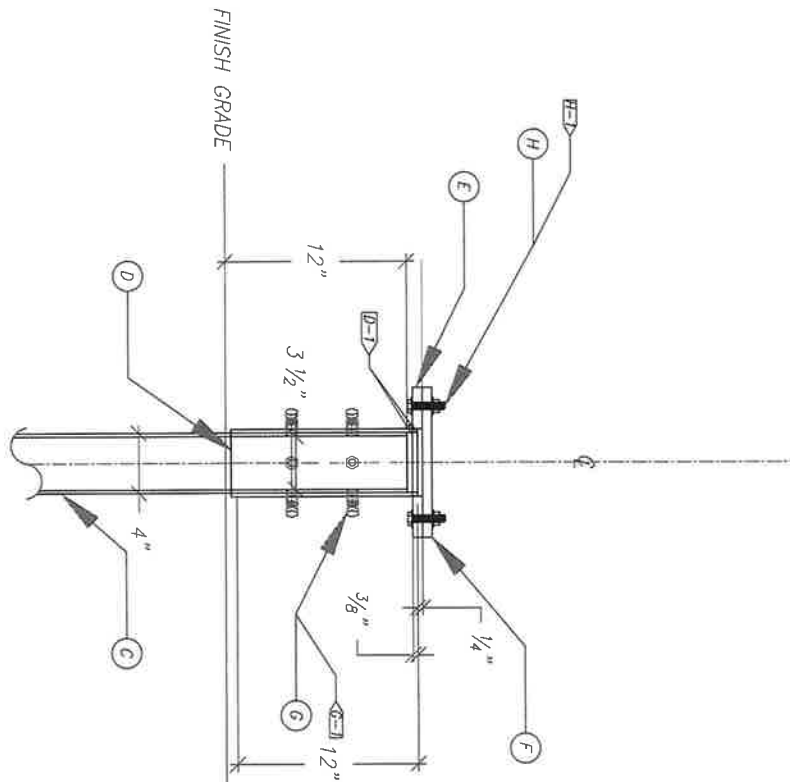
Project Number: 36585
 Drawn By: DEN
 Reviewed By: MW
 Date: 8-30-22

3 OF 5

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



DRIVE-THROUGH/MAIN MENU BOARD	
STEEL PIPE	3 1/2" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE
FINISH:	PRIMER
STEEL PIPE	4" SCHEDULE 40
MATERIAL:	SAND SMOOTH
FINISH:	APPLY RED OXIDE
FINISH:	PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	3/8" PLATE STEEL
PIPE BOLTS	3/8" x 1 1/2" BOLTS / NUTS
MATERIAL:	6 PLACES
MOUNTING PLATE BOLTS	3/8" x 2 1/2" BOLTS / NUTS / WASHERS
MATERIAL:	4 PLACES

SCALE 1/8" = 1"

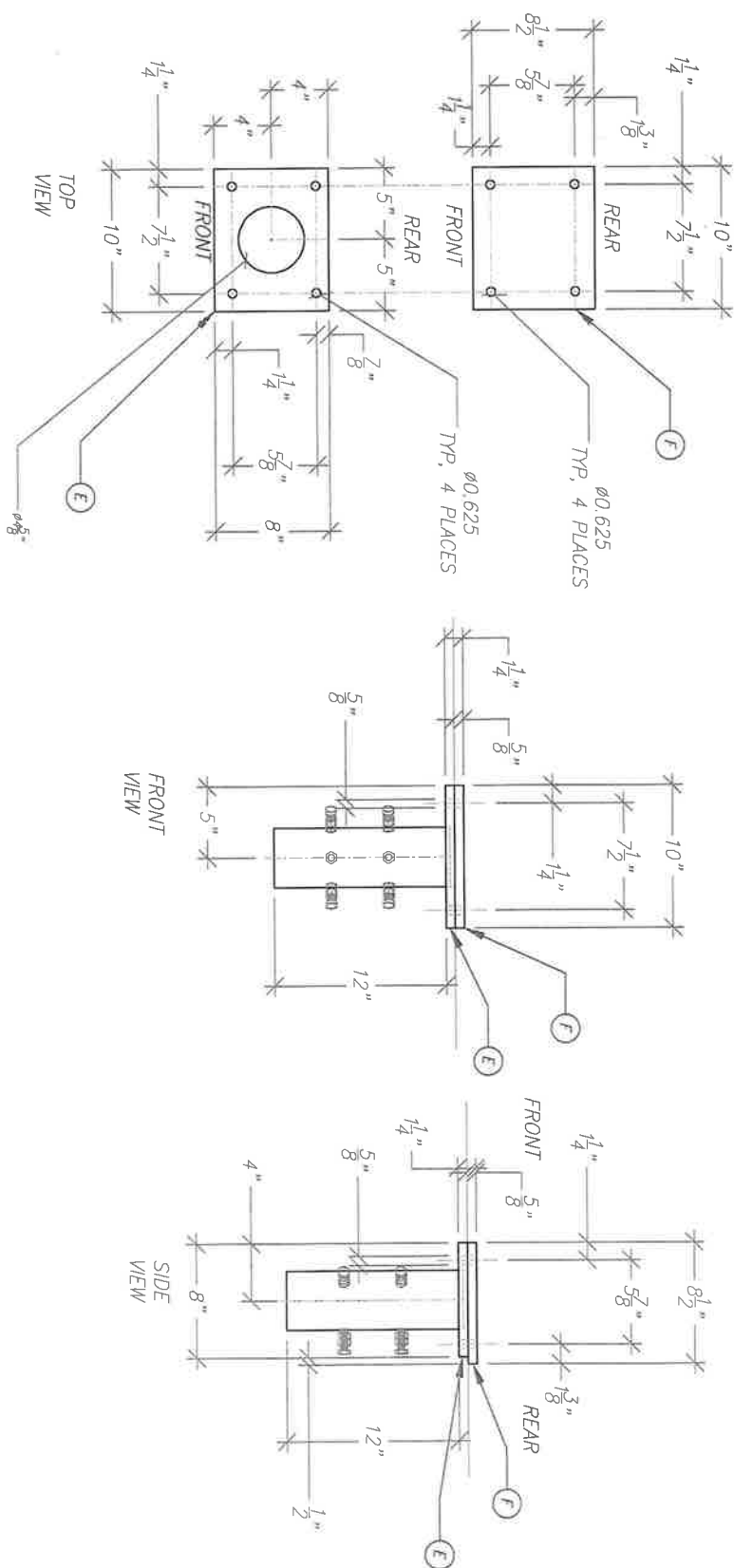
LOCATION:
OREGON, WI

Project Number: 35585
Drawn By: DEN
Reviewed By: HW
Date: 8-30-22
Sheet Number:
4 OF 5

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



DRIVE-THROUGH/MAN MENU BOARD	
① OUTSIDE BASE MOUNTING PLATE	
MATERIAL:	% PLATE STEEL
② INSIDE BASE MOUNTING PLATE	
MATERIAL:	% PLATE STEEL

LOCATION: OREGON, WI

SCALE $\frac{1}{8}" = 1'$

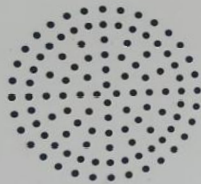
Project Number: 36585
 Drawn By: DEN
 Reviewed By: MW
 Date: 8-30-22

5 OF 5

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



Customers With Speech
Or Hearing Difficulties
Please Pull Up To The
Next Open Window For
Assistance In Ordering.

**Food
Allergy?**

Please be advised that any of our
products may contain, or may have
come in contact with food allergens
including eggs, fish, milk, peanuts,
shellfish, soy, tree nuts and wheat.
For ingredient information please
visit McDonalds.com.



Drive Thru Code
12 34

**Provide your
code now
to earn free food**

**ORDER
HERE**

Customers With
Speech Or Hearing
Difficulties Please
Pull Up To The Next
Open Window For
Assistance In
Ordering.

Thank you.

Clientes con
dificultades
auditivas o del habla
favor de pasar a la
siguiente ventanilla
abierta para ayudarle
con su orden.
Gracias.

Grab a McCrispy™ meal

McCRISPY
meal \$10.99-10.99 Cal.

Combo Meals

1 **Big Mac®**
\$10.99-10.99 Cal.
\$10.99-10.99 Cal.

2 **Quarter Pounder™**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

3 **Double Cheeseburger**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

4 **McCrabby™**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

5 **10 pc. Chicken McNuggets™**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

6 **Filet-O-Fish®**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

7 **2 Cheeseburgers**
\$8.99-8.99 Cal.
\$8.99-8.99 Cal.

McCafé®

Cinnamon Roll
\$2.99-2.99 Cal.
Iced Coffee
\$2.99-2.99 Cal.

Frappé
\$2.99-2.99 Cal.
Smoothie
\$2.99-2.99 Cal.

Premium Roast Coffee
\$2.99-2.99 Cal.
Apple Fritter
\$2.99-2.99 Cal.

Sides & More

Double Cheeseburger
\$2.99-2.99 Cal.
6 pc. Chicken McNuggets™
\$2.99-2.99 Cal.
Fries
\$2.99-2.99 Cal.
Ranch
\$2.99-2.99 Cal.
McDouble®
\$2.99-2.99 Cal.

Sweets & Treats

Sundae
\$2.99-2.99 Cal.
McFurry™
\$2.99-2.99 Cal.
Shakes
\$2.99-2.99 Cal.
Cakes
\$2.99-2.99 Cal.

\$1 \$2 \$3 Dollar Menu

Any Size Soft Drink
\$1.00-1.00 Cal.
McFurry™
\$1.00-1.00 Cal.
4 pc. Chicken McNuggets™
\$1.00-1.00 Cal.
Iced Coffee
\$1.00-1.00 Cal.
Small Fries
\$1.00-1.00 Cal.
McDouble®
\$1.00-1.00 Cal.

Happy Meal®

4 pc. Chicken McNuggets™
\$4.99-4.99 Cal.
6 pc. Chicken McNuggets™
\$5.99-5.99 Cal.
Hamburger
\$4.99-4.99 Cal.

Fan Favorite

Medium Caramel Frappé
\$4.99-4.99 Cal.
Filet-O-Fish® Meal
\$8.99-8.99 Cal.
Medium Iced Latte
\$4.99-4.99 Cal.













**AN ORDINANCE
TO AMEND CHAPTER 550: ZONING CODE, THROUGH THE REMOVAL & ADDITION
OF LANGUAGE TO SECTIONS § 550-131.1A(2), § 550-131.1A(3)(a), and § 550-132
Table 550-132A(1)**

**SPONSOR: MAYOR MCFARLAND, CHAIR
FROM: PLAN COMMISSION WITH POSITIVE RECOMMENDATION**

THE COMMON COUNCIL OF THE CITY OF WATERTOWN DOES ORDAIN AS
FOLLOWS:

SECTION 1. Amend Section § 550-131.1A(2) through removal and addition of language:

* * *

(2) ~~No more than one electronic message sign shall be permitted per site.~~ The number of permitted
electronic message signs shall be in accordance with § 550-132 Permitted Sign Rules.

* * *

SECTION 2. Amend Section § 550-131.1A(3)(a) through removal of language:

* * *

~~(a) Drive-through signs: no more than 33% of a sign's actual area shall contain an electronic
message sign.~~

~~(b)~~ (a) *Electronic message signs shall count toward the site's maximum permitted signage.*

* * *

SECTION 3. Amend Section § 550-132 Table 550-132A(1) through removal and
addition of language:

* * *

Table 550-132A(1): Permanent Sign Group ¹								
D. Permanent Changeable Sign Category:*						Sign Area and Height Maximums for Zoning Districts		
Sign Categories and Sign Types	Sign Permit Needed	Number of Signs Allowed	Sign Area Formula (each side)	Sign Location Requirements	Sign Lighting Allowed	ER, CR, SR, TR	MR, SNR, RH, NO, NB	PO, PB, GB, CB, PI, GI, HI
1. Wall- <u>M</u> ounted <u>C</u> hangeable <u>S</u> ign	Sign permit required for each	Limit of 1 permanent <u>W</u> all- <u>M</u> ounted <u>C</u> hangeable	None needed. Use max area limit.	On-building. Maximum 4 inches from wall.	Ambient only	Not allowed.	8 feet maximum area per sign.	

(September 5, 2023) Ord. #

	new sign.	<u>Sign for each tenant.</u>					
2. Freestanding <u>Changeable</u> Sign		<u>Limit of 1 permanent Freestanding Changeable Sign for each tenant unless used in conjunction with a Drive- Through.</u> <u>Drive- Through use limit of 1 permanent Freestanding Changeable Sign per Drive- Through lane.</u>		Freestanding. Within 10 feet of public entrance. <u>When used in conjunction with a Drive- Through per C.U.P.</u>	<u>Standard</u>		8 feet maximum height per sign. 12 15 square feet maximum area per sign. <u>8 feet maximum height per sign.</u>
3. Drive- <u>Through Sign</u>		<u>Limit of 1 Drive- Through Sign per Drive- Through lane.</u>		Per C.U.P.		Not allowed.	24 40 square feet maximum area per sign. 8 feet maximum height per sign.

SECTION 4. All ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed.

SECTION 5. This ordinance shall take effect and be in force the day after its passage and publication.

DATE:				
READING:	1ST		2ND	
	YES	NO	YES	NO
DAVIS				
LAMPE				
BOARD				
BARTZ				
BLANKE				
SMITH				
SCHMID				
WETZEL				
MOLDENHAUER				
MAYOR MCFARLAND				
TOTAL				

ADOPTED _____

CITY CLERK/TREASURER

APPROVED _____

MAYOR