



## **SITE PLAN REVIEW COMMITTEE MEETING AGENDA**

**MONDAY, FEBRUARY 24, 2025 AT 1:30 PM**

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,  
WATERTOWN, WI 53094**

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**Virtual Meeting Info:** Members of the media and the public may attend either by visiting <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=8747376916> 5 or call: 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 144391

All public participants' devices will be muted during the meeting except during the public comment period.

### **1. CALL TO ORDER**

### **2. APPROVAL OF MINUTES**

A. Review and take action: Site Plan Review minutes dated December 9, 2024

### **3. BUSINESS**

A. Review and take action: 1222 Perry Way site plan review for addition and remodel

B. Review and take action: 120 W. Main Street proposed Café remodel

C. Review and take action: 300 S. Third Street proposed parking lot

### **4. ADJOURNMENT**

*Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at [cityclerk@watertownwi.gov](mailto:cityclerk@watertownwi.gov) phone 920-262-4000*

*A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only*

**SITE PLAN REVIEW COMMITTEE**  
**December 9, 2024**

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Brian Zirbes, Mason Becker, Mike Jacek, Doug Zwieg, Andrew Beyer, Maureen McBroom, Jeff Meloy, Tanya Reynen, and Tim Hayden.

Also in attendance were Nikki Zimmerman, John Donovan of Bielinski Development, and Cory O'Donnell of Loos Homes.

**1. Call to Order**

The meeting was called to order by Chairperson Brian Zirbes.

**2. Approval of Minutes**

**A. Review and take action: Site Plan Review Minutes Dated November 25, 2024**

Motion was made by Doug Zwieg and seconded by Maureen McBroom to approve the minutes as submitted. Unanimously approved.

**3. Business**

**A. Review and take action: Edge Field Preliminary Plat**

Cory O'Donnell of Loos Custom Homes was present.

The following was presented by staff:

- |                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|-------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Building:         | No comments.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| Water/Wastewater: | The existing house shall have a water/sewer lateral stubbed to the house for potential of future hookup. As this whole area develops it's fed by 1 water main on Perry Way. Asked if there was a plan to eventually loop this where an additional water main could assist in feeding this area. Mr. O'Donnell stated hopefully future development could include a loop with Milford Street.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| Police:           | No comments.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| Stormwater:       | <p>The following items shall be completed:</p> <ol style="list-style-type: none"> <li>1. Drainage easements should be wide enough to facilitate installation/maintenance of storm pipe with field inlets in future.               <ol style="list-style-type: none"> <li>a. Between backyards of lots 41-46 and 38-29</li> <li>b. Between lots 27 and 28-29</li> <li>c. Between lots 54-48, 24 and 23 and Phase 1/Phase 2 lots to the north</li> <li>d. Between lots 46-48 and lots 24-27</li> <li>e. Between lots 39-40 and side yards of 38 and 41</li> </ol> </li> <li>2. Minimum 5-foot wide side and rear yard drainage easements should be shown and described for individual lots.</li> <li>3. Ch. 453, Article III drainage easement restrictions should be listed on the plat.<br/><a href="https://ecode360.com/print/WA3515?guid=44974796">https://ecode360.com/print/WA3515?guid=44974796</a></li> <li>4. Ch. 288-18 basement and groundwater considerations should be listed on the plat.<br/><a href="https://ecode360.com/29260130?highlight=&amp;searchId=13895991985392228#45010462">https://ecode360.com/29260130?highlight=&amp;searchId=13895991985392228#45010462</a></li> <li>5. The preliminary plat approval is contingent on the Erosion Control and Storm Water Runoff Permit review and approval.</li> </ol> |
| Engineering:      | <p>GRAEF had the following comments:</p> <p>Survey Comments:</p> <ol style="list-style-type: none"> <li>1. 545-13B(1)(b), Provide the name, address, and phone number of the property owner, subdivider, and engineer.</li> <li>2. 545-13B(2)(e), Add the pavement type, pavement width, and pavement elevation for that portion of CTH A lying south and adjacent to the plat (outside of city limits).</li> <li>3. 545-13,B(2)(j), Provide the current zoning of lands within the proposed subdivision.</li> <li>4. 545-13,B(3)(a), Provide the road names for the cul-de-sac and the road</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |



- terminating at the South plat line.
5. Confirm the correct vertical datum is listed on the plat, and update accordingly, if needed.

Engineering Comments:

1. 545-13B(2)(g), Provide subsurface soil names, rock, and water conditions, including depth to bedrock and average depth to groundwater table.
2. 545-13B(3)(a), Provide the proposed road widths.
3. 545-13B(3)(c), Provide a draft of proposed covenants, if any, to be imposed.
4. 545-13B(3)(e), Show the required wetland setbacks on the plat.
5. 545-13B(3)(e), Provide a statement from a licensed engineer representing the project that certifies that the technical requirements of City Code § 545 will be met when final engineering design plans (including plans and profiles for public improvements and grading, erosion control, and stormwater management plans) are submitted. Such final engineering design plans shall be submitted and approved by the City Engineer prior to approval of the final plat.
6. 545-13B(2)(h), all final engineering approved plans shall provide the size and invert elevation of any existing sanitary and storm sewers, culverts, or drainpipes and the location and size of any existing water and gas mains on or adjacent to the plat and for proposed use in the development.
7. Show all required drainage easements per City code.
8. Provide information on the plat regarding the location of proposed stormwater best management practices.
9. Provide ownership information about Outlots 1, 2, and 3 on the plat. Indicate if they will be jointly owned by all lots or if a separate entity will own them.

Zoning:

- Clarify where the stormwater BMP(s) will be located. Is Outlot 2 reserved for a park?
- There is no BMP in this location. Add all road names to the plat.
  - Add to the plat a dedication of Milford St / CTH A ROW and a third outlot to include the small remnant property east of the dedicated ROW.
  - Add to the plat notes indicating which lots are paired up for twin homes.
  - Add subsurface soil, rock, and water conditions including depth to bedrock and average depth to groundwater to the plat.
  - Add stormwater BPM locations, drainage easements, drainage restrictions, and basement/groundwater considerations to the plat as detailed at the Site Plan Review Committee.
  - Add Airport Approach Protection Zone maximum elevations to the plat.
  - Obtain Erosion Control and Storm Water Runoff Permit review and approval.
  - Perform a Traffic Impact Analysis on the plat and surrounding area.
  - Include an extension of River Road west to Ryan Ridge on the plat to provide a connection to Milford St/CTH A.
  - Apply for rezoning of Twin Home lots to Two-Family Residential (TR-6) to run concurrently with Final Plat approval.
  - Remove future park designation from Outlot 2.

Fire:

Hydrant sizes and locations in the future will need to be seen.

Motion made by Doug Zwieg and seconded by Andrew Beyer to recommend this item to the Plan Commission with the contingencies listed above. Unanimously approved.

**B. Review and take action: Hunter Oaks Enclave Preliminary Plat**

John Donovan of Bielinski Development was present.

The following was presented by staff:

- Building: No comments.
- Fire: No comments.
- Water/Wastewater: No comments.

Police: No comments.

Stormwater: The following items should be completed:

1. Minimum 5-foot rear and side lot line drainage easements for individual lots should be shown and described on the plat.
  - a. Please confirm/explain if side and rear lot line drainage easements are not necessary.
2. The stormwater ponds north and south of Oakland Avenue were constructed in a temporary/interim condition. Permanent improvements to these ponds to meet current stormwater standards are required as part of development of Phase 2 of the Enclave development.

Engineering: Graef had the following comments:

Survey Comments:

1. There appears to be a bust in the exterior boundary; it does not close by approximately 30+ feet.
2. 545-13B(3)(a), Proposed Road "A" should be given its proper name.
3. 545-13B(1)(b), Provide the name and address of the property owner on the plat.
4. 545-13B(2)(i), Verify the current platting status of lands lying east and northeast of plat. They are shown as CSM lots but county parcel mapping shows them as Condo plats.
5. 545-13B(2)(j), Show the existing land use and current zoning information.

Engineering Comments:

1. 545-13B(3)(c), Provide a draft of proposed covenants, if any, to be imposed.
2. 545-13B(2)(d), label the existing alley adjacent to the preliminary plat.
3. 545-13B(3)(e), Provide a statement from a licensed engineer representing the project that certifies that the technical requirements of City Code § 545 will be met when final engineering design plans (including plans and profiles for public improvements and grading, erosion control, and stormwater management plans) are submitted. Such final engineering design plans shall be submitted and approved by the City Engineer prior to approval of the final plat.
4. 545-13B(2)(h), all final engineering approved plans shall provide the size and invert elevation of any existing sanitary and storm sewers, culverts, or drainpipes and the location and size of any existing water and gas mains on or adjacent to the plat and for proposed use in the development.
5. 545 Attachment 2, The City's minimum right-of-way (ROW) width for Residential (typical) roads is 66 feet. The preliminary plat includes a ROW of 60 feet. Provide a typical cross-section or plan showing the proposed improvements meeting City standards (roadway, curb and gutter, terrace, sidewalk, etc.) will fit within the 60 foot ROW.
6. Show all required drainage easements per City code.

Zoning:

- Add minimum Street Frontage of 45 ft per amended PD-GDP/PIP to 'Site Data Table'.
- Change listed zoning information in 'Development Summary Table' to Single-Family Residential with PD Overlay.
- Add subsurface soil, rock, and water conditions including depth to bedrock and average depth to groundwater to the plat.
- Add drainage easements for individual lots to the plat.
- Add a note to the plat that indicates permanent improvements to the existing stormwater ponds meeting current stormwater standards will be completed as part of Phase 2 of the plat.
- Add Airport Approach Protection Zone maximum elevations to the plat.

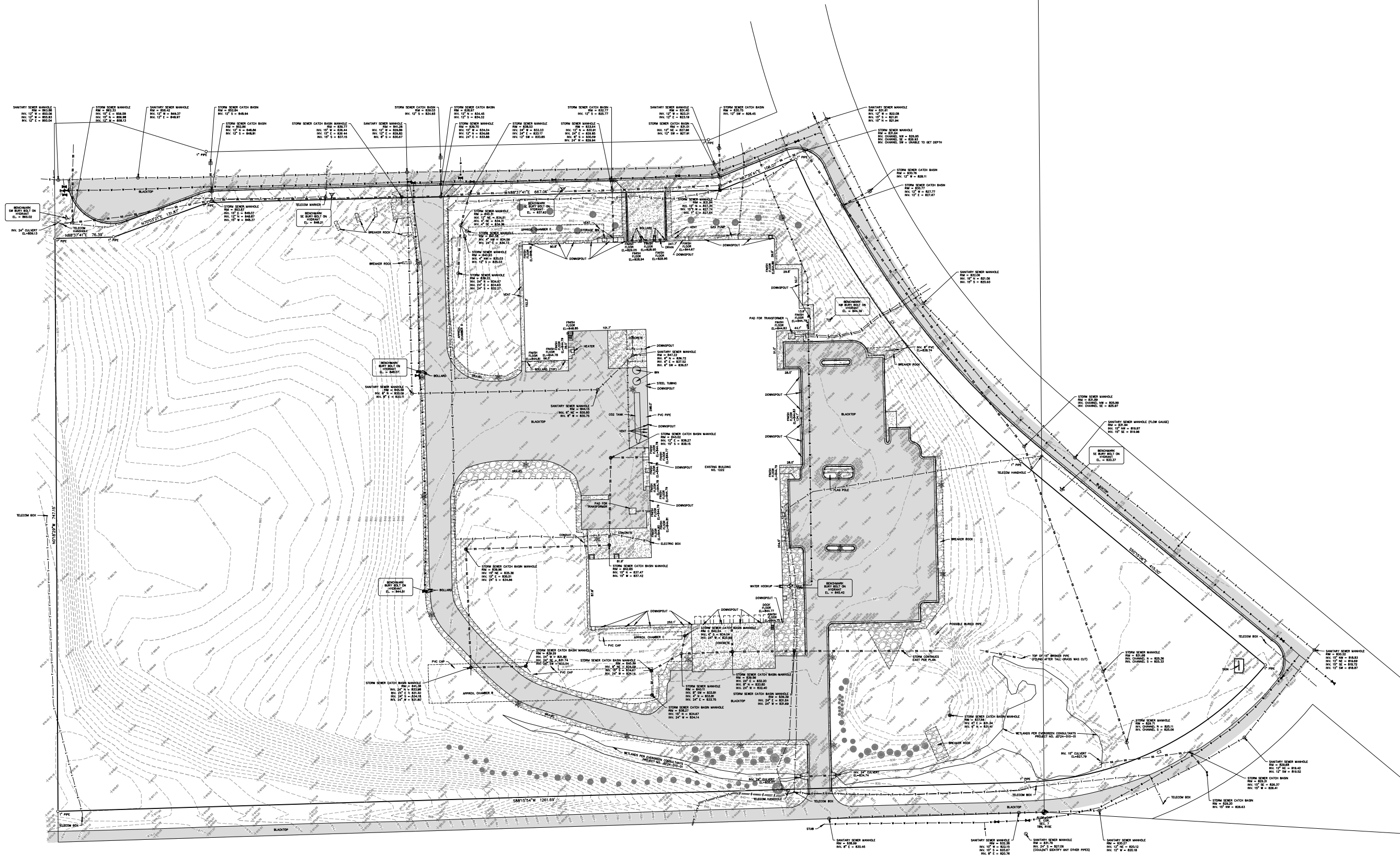
Motion made by Doug Zweg and seconded by Tanya Reynen to recommend this item to the Plan Commission with the contingencies listed above. Unanimously approved.

**C. Adjournment**

Motion was made by Tim Hayden and seconded by Tanya Reynen to adjourn. Unanimously approved.

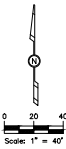
Respectfully submitted,  
Nikki Zimmerman  
Recording Secretary

**NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.**



| Curve # | Station | Radius | Length | Chord |
|---------|---------|--------|--------|-------|
| C1      | 2750+44 | 446.25 | 100.00 | 49.84 |
| C2      | 4820+78 | 204.88 | 42.84  | 14.07 |

NOTES:  
1. UTILITY STRUCTURES MOBILE ON THE GROUND SURFACE HAVE BEEN SHOWN PER ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKED BY UTILITY LOCATORS. THE ONLY UTILITIES IN THIS AREA ARE THOSE SHOWN ON THIS MAP.  
2. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.  
3. COORDINATES ARE BASED ON JEFFERSON COUNTY COORDINATE SYSTEM.  
4. ELEVATIONS ARE NAVD83(2011).



LEGEND

- County Monument
- Iron Stake Found
- Iron Stake GAT
- Light Pole
- Water Valve
- Hydrant
- Manhole
- Catch Basin
- Storm Sewer Manhole
- Electric Line
- Sanitary Sewer Line
- Water Line
- Gas Line
- Telephone Line
- Top of Curb Elevation
- Other Elevation
- Recorded Dimension

TOPOGRAPHIC SURVEY

FOR:  
ABACUS ARCHITECTS  
1135A MICHIGAN AVE  
SHEBOYGAN, WI 53081

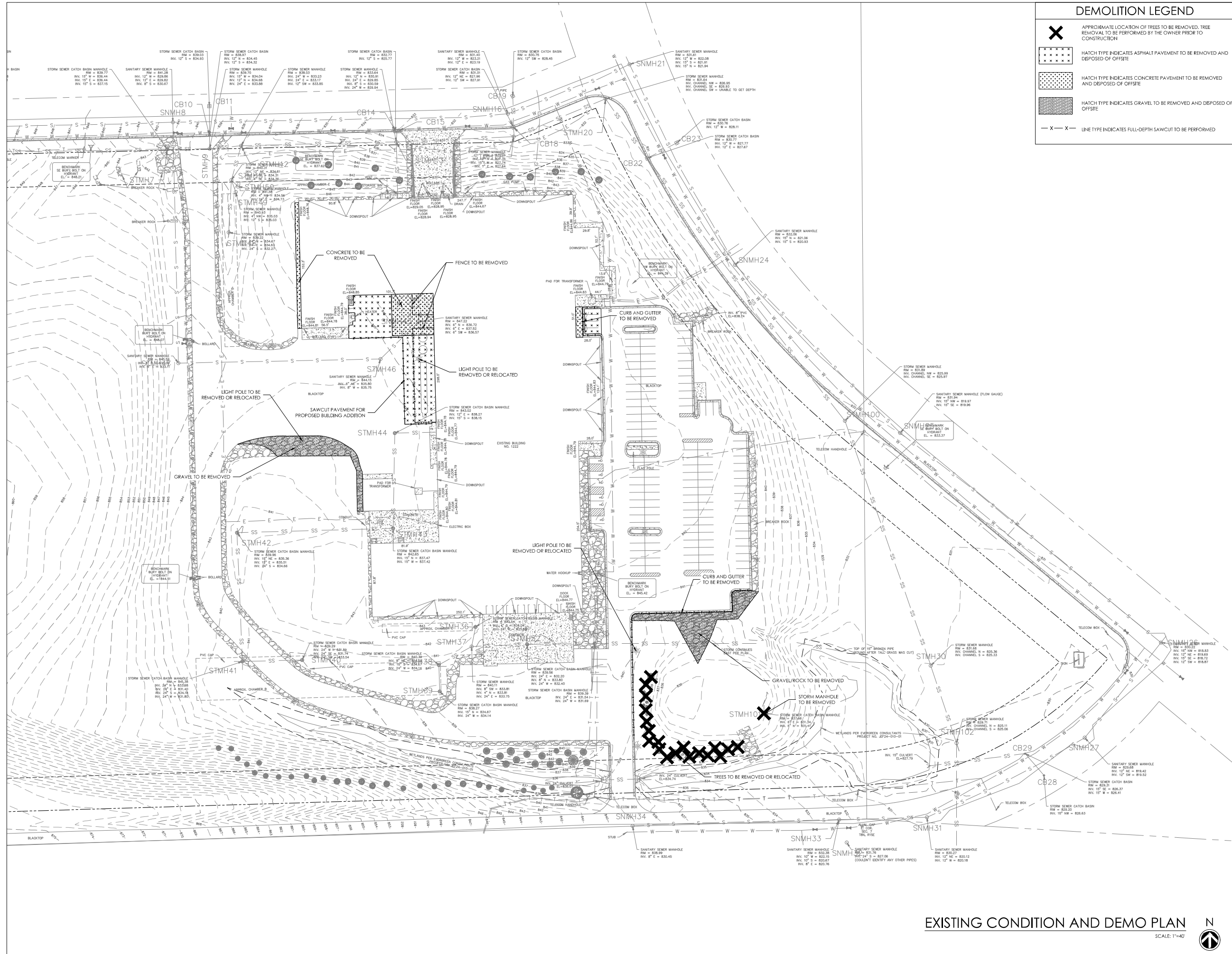
LOT 2, C.S.M. NO. 2009, PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 7 AND PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 8, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN





February 10, 2025

P:\2024-CONTRACTS\2024-110 Johnsonville Perry Way Additions & Remed Phase - 2\Construction Documents\3.3 Site\2024-110 - Base.dwg



DEMOLITION LEGEND

X

APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO CONSTRUCTION

XXXXXX

HATCH TYPE INDICATES ASPHALT PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE

XXXXXX

HATCH TYPE INDICATES CONCRETE PAVEMENT TO BE REMOVED AND DISPOSED OF OFFSITE

XXXXXX

HATCH TYPE INDICATES GRAVEL TO BE REMOVED AND DISPOSED OF OFFSITE

— X — X —

LINE TYPE INDICATES FULL-DEPTH SAWCUT TO BE PERFORMED

Section 3, Item A.

ABACUS

ARCHITECTS

REVISIONS:

DATE

ISSUE

NOTICE TO BIDDERS

BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK

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ISSUE DATE: FEBRUARY 10, 2025

PERRY WAY FOODS | ADDITIONS AND ALTERATIONS

JOHNSONVILLE SAUSAGE, LLC

1222 PERRY WAY, WATERTOWN, WISCONSIN 53094

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 645 N. VILL. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: JMN

CHECKED BY: JRV

EXISTING CONDITION AND DEMO PLAN

A

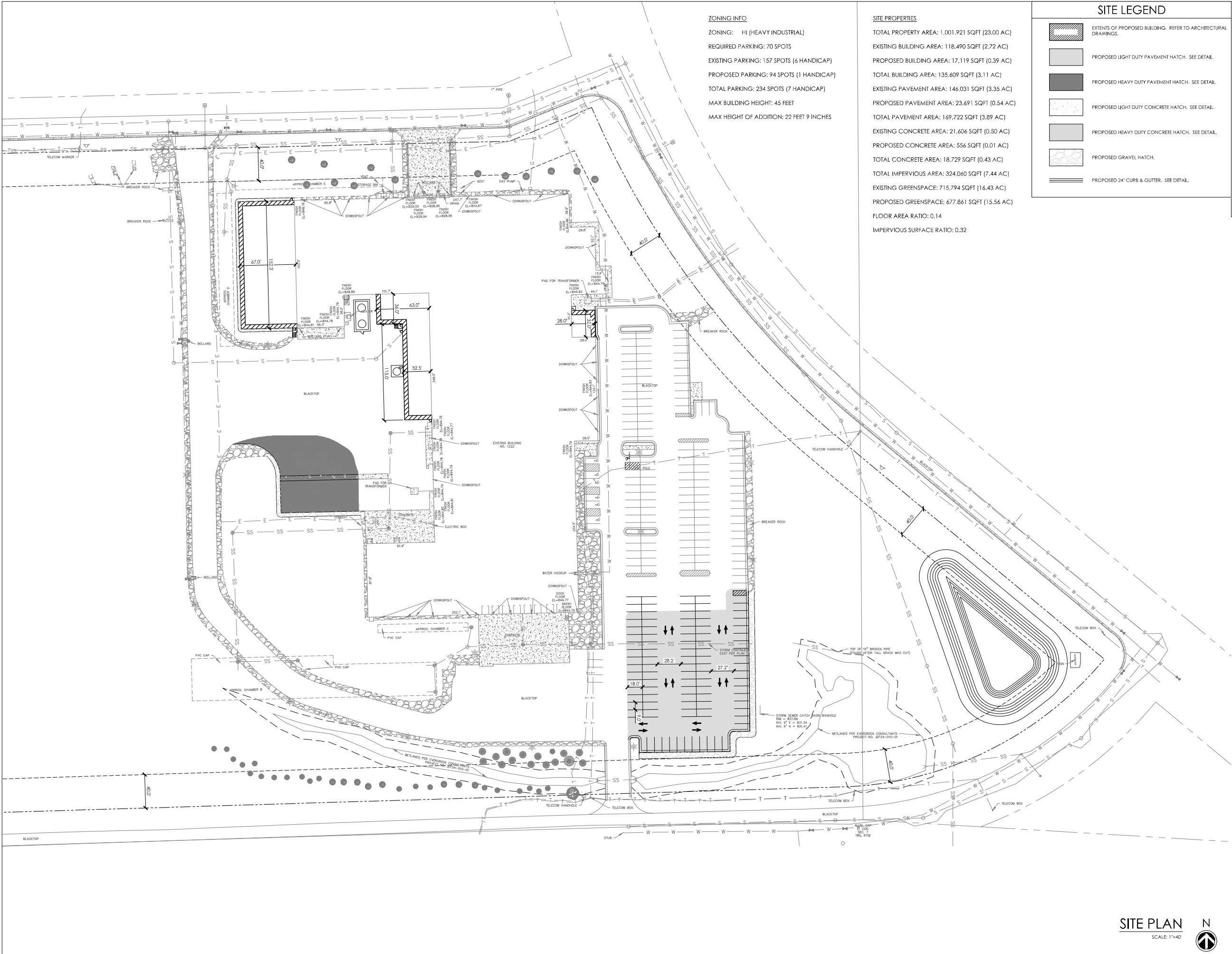
200

PROJ. NO. 2024-110

EXISTING CONDITION AND DEMO PLAN

SCALE: 1"=40'





ZONING INFO

ZONING: HI (HEAVY INDUSTRIAL)  
REQUIRED PARKING: 70 SPOTS  
EXISTING PARKING: 157 SPOTS (6 HANDICAP)  
PROPOSED PARKING: 94 SPOTS (1 HANDICAP)  
TOTAL PARKING: 234 SPOTS (7 HANDICAP)  
MAX BUILDING HEIGHT: 45 FEET  
MAX HEIGHT OF ADDITION: 22 FEET 9 INCHES

SITE PROPERTIES

TOTAL PROPERTY AREA: 1,001.921 SQFT (23.00 AC)  
EXISTING BUILDING AREA: 118,490 SQFT (2.72 AC)  
PROPOSED BUILDING AREA: 17,119 SQFT (0.39 AC)  
TOTAL BUILDING AREA: 135,609 SQFT (3.11 AC)  
EXISTING PAVEMENT AREA: 146,031 SQFT (3.35 AC)  
PROPOSED PAVEMENT AREA: 23,691 SQFT (0.54 AC)  
TOTAL PAVEMENT AREA: 169,722 SQFT (3.89 AC)  
EXISTING CONCRETE AREA: 21,606 SQFT (0.50 AC)  
PROPOSED CONCRETE AREA: 556 SQFT (0.01 AC)  
TOTAL CONCRETE AREA: 18,729 SQFT (0.43 AC)  
TOTAL IMPERVIOUS AREA: 324,060 SQFT (7.44 AC)  
EXISTING GREENSPACE: 715,794 SQFT (16.43 AC)  
PROPOSED GREENSPACE: 677,861 SQFT (15.56 AC)  
FLOOR AREA RATIO: 0.14  
IMPERVIOUS SURFACE RATIO: 0.32

SITE LEGEND

- EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
- PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED HEAVY DUTY PAVEMENT HATCH. SEE DETAIL.
- PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED HEAVY DUTY CONCRETE HATCH. SEE DETAIL.
- PROPOSED GRAVEL HATCH.
- PROPOSED 24" CURB & GUTTER. SEE DETAIL.



REVISIONS:

DATE ISSUE

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ISSUE DATE: FEBRUARY 10, 2025  
PERRY WAT FOODS | ADDITIONS AND ALTERATIONS  
JOHNSONVILLE SAUSAGE, LLC  
1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 (P) 452-4444 | 645 N. VILL. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: JMN  
CHECKED BY: JRV

SITE PLAN

A  
201

PROJ. NO. 2024-110

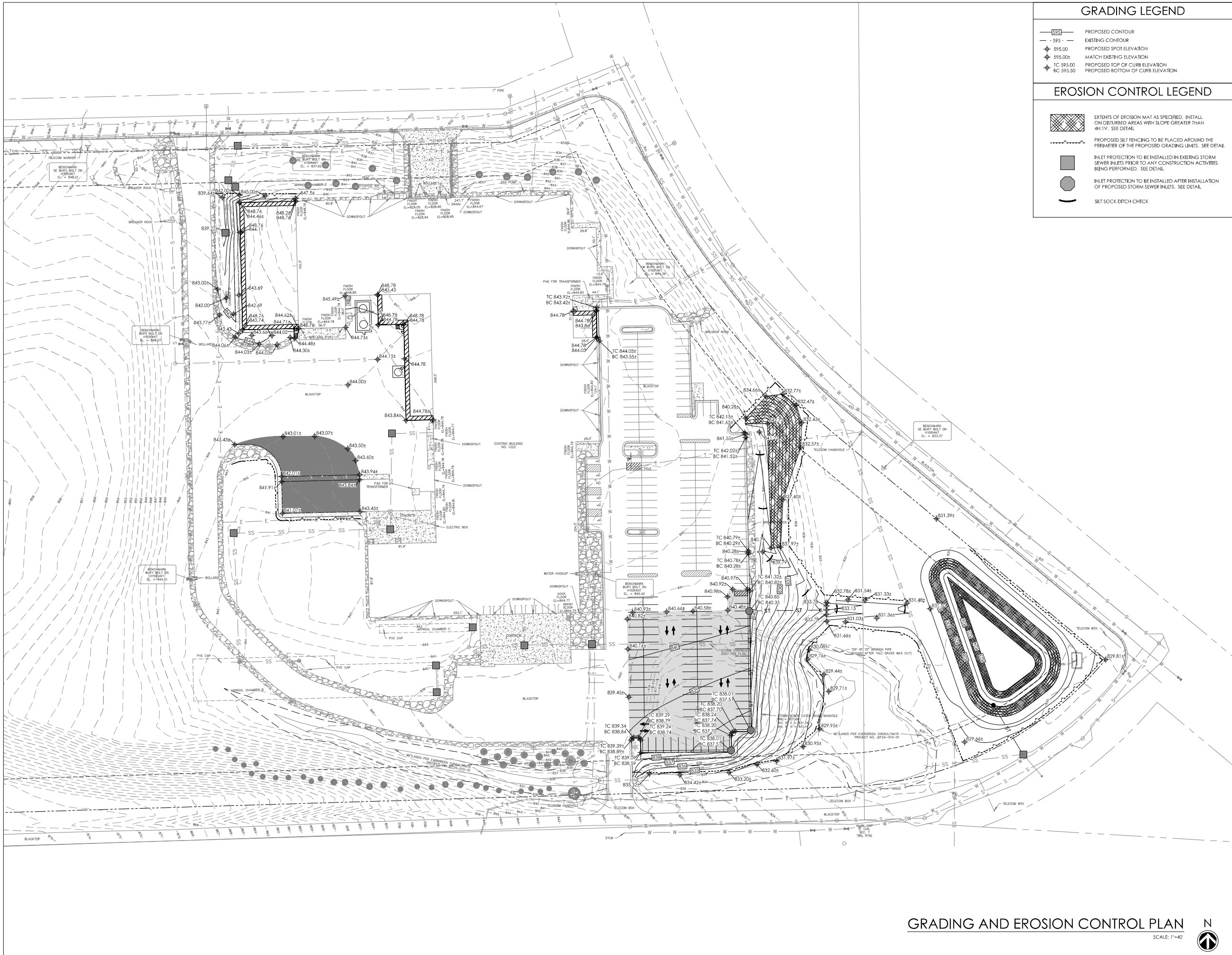
PRELIMINARY - NOT FOR CONSTRUCTION

Section 3, Item A.



February 10, 2023

P:\2024-CONTRACTS\2024-110 Johnsonville Perry Way Additions & Remed Phase - 2\Construction Documents\3.3 Site\2024-110 - Base.dwg



| GRADING LEGEND |                                   |
|----------------|-----------------------------------|
|                | PROPOSED CONTOUR                  |
|                | EXISTING CONTOUR                  |
|                | PROPOSED SPOT ELEVATION           |
|                | MATCH EXISTING ELEVATION          |
|                | PROPOSED TOP OF CURB ELEVATION    |
|                | PROPOSED BOTTOM OF CURB ELEVATION |

| EROSION CONTROL LEGEND |                                                                                                                                   |
|------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
|                        | EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.                        |
|                        | PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.                               |
|                        | INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL. |
|                        | INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL.                                   |
|                        | SILT SOCK DITCH CHECK                                                                                                             |

Section 3, Item A.

REVISIONS:

| DATE | ISSUE |
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|------|-------|

NOTICE TO BIDDERS  
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ISSUE DATE: FEBRUARY 10, 2023

PERRY WAY FOODS | ADDITIONS AND ALTERATIONS

JOHNSONVILLE SAUSAGE, LLC

1222 PERRY WAY, WATERTOWN, WISCONSIN 53094

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 645 N. VILL. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: JMN

CHECKED BY: JRV

GRADING AND EROSION CONTROL PLAN

A  
202

PROJ. NO. 2024-110

GRADING AND EROSION CONTROL PLAN

SCALE: 1"=40'



PRELIMINARY - NOT FOR CONSTRUCTION





REVISIONS:

| DATE | ISSUE |
|------|-------|
|      |       |

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PERRY WAT FOODS | ADDITIONS AND ALTERATIONS  
JOHNSONVILLE SAUSAGE, LLC  
1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 64°N VEL R. PHILLIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

DRAWN BY: JMN  
CHECKED BY: JRV

UTILITY PLAN

A  
203

PROJ. NO. 2024-110

UTILITY PLAN

SCALE: 1"=40'







REVISIONS:

NOTICE TO BIDDERS  
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SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF  
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ISSUE DATE: FEBRUARY 10, 2025  
PERRY WAT FOODS | ADDITIONS AND ALTERATIONS  
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1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VILL. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

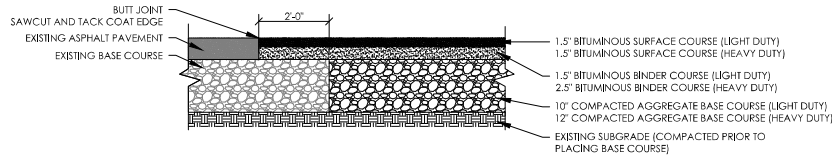
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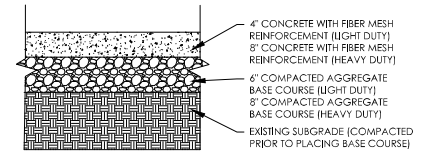
DETAILS

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204

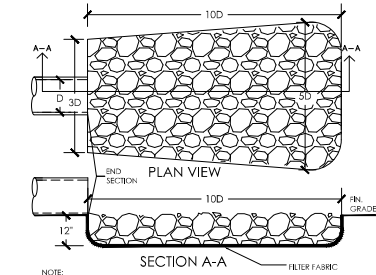
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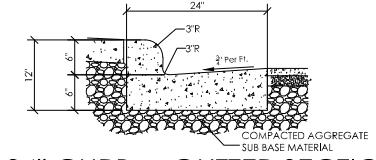
ASPHALT PAVEMENT CROSS SECTION



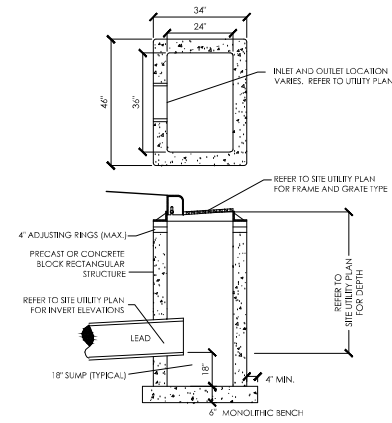
CONCRETE PAVEMENT CROSS SECTION



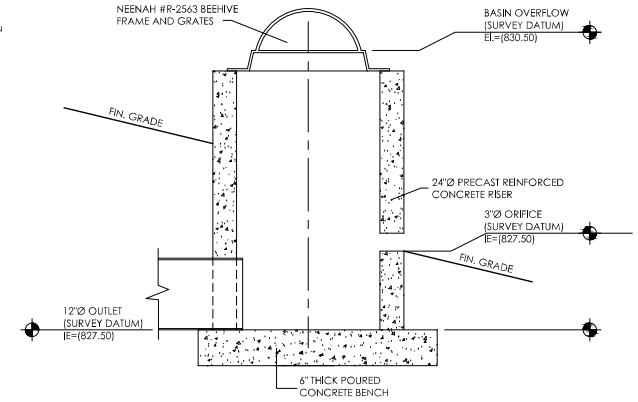
STORM SEWER OUTFALL



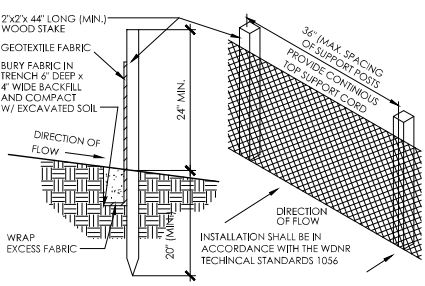
24" CURB & GUTTER SECTION



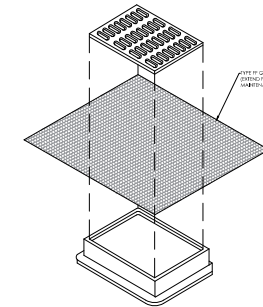
PRECAST REINFORCED CONCRETE ACCEPTABLE CURB INLET SECTION



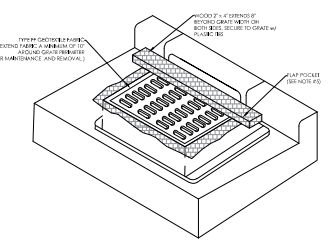
POND OUTLET SECTION



SILT FENCE SECTION & DETAIL

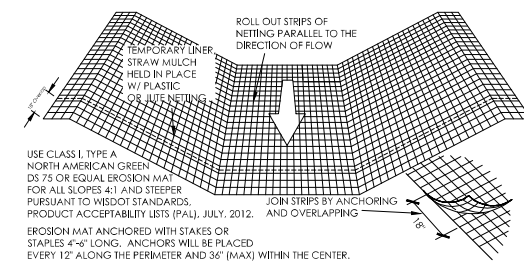


INLET PROTECTION TYPE "B"

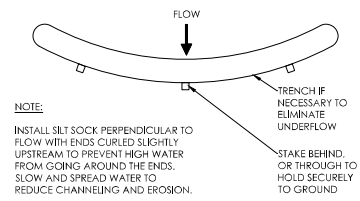


INLET PROTECTION TYPE "C"

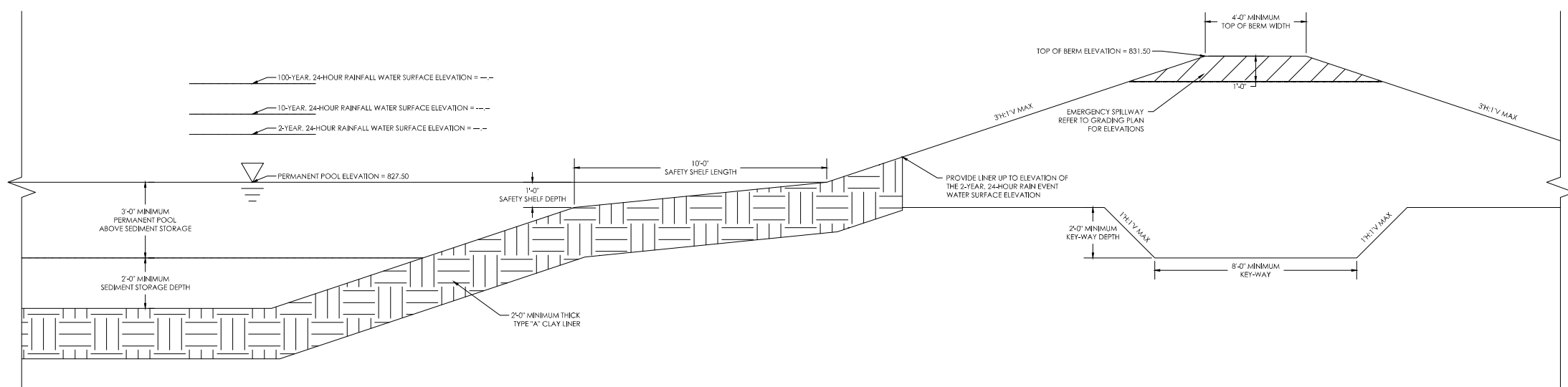
MAINTENANCE NOTES:  
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPED BY THE FABRIC FROM FALLING INTO THE EXISTING DRAINAGE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



SILT SOCK DITCH CHECK

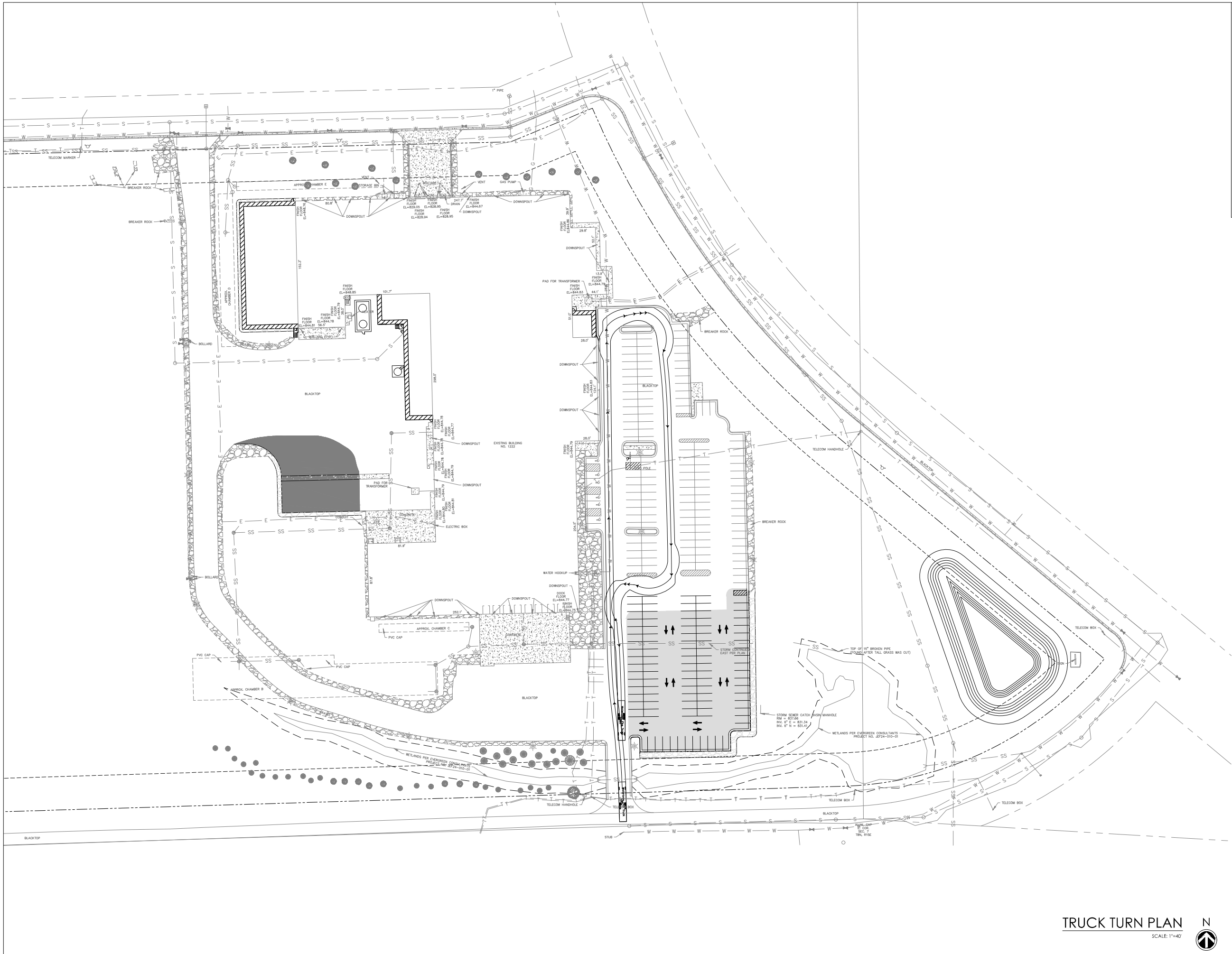


WET DETENTION POND CROSS SECTION

DETAILS

February 11, 2023

P:\2024-CONTRACTS\2024-110 Johnsonville Perry Way Additions & Remed Phase - 2\Construction Documents\3.3 Site\2024-110 - Base.dwg



TRUCK TURN PLAN

SCALE: 1"=40'



DRAWN BY: JMN  
CHECKED BY: JRV

TRUCK TURN PLAN

A  
208

PROJ. NO. 2024-110



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|------------|------|-------|
| Δ          | DATE | ISSUE |
|            |      |       |
|            |      |       |
|            |      |       |

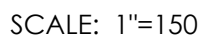
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ISSUE DATE: FEBRUARY 10, 2023  
PERRY WAT FOODS | ADDITIONS AND ALTERATIONS  
JOHNSONVILLE SAUSAGE, LLC  
1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VILL. PHILIPS AVE. SUITE 210 MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

Section 3, Item A.





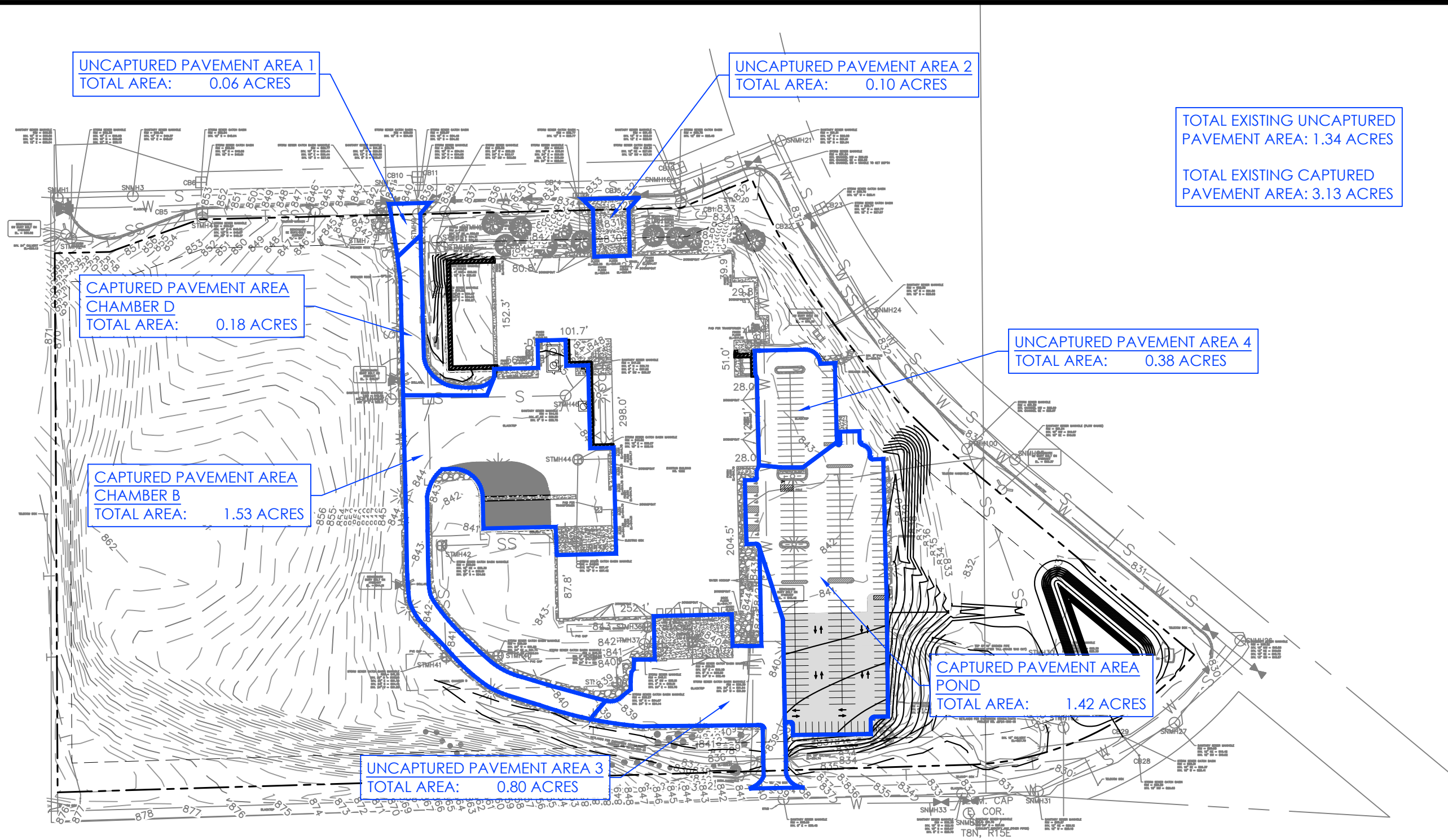
Proj. No. 2024-110



ABACUS  
ARCHITECT

13

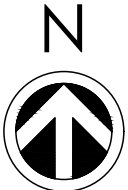




# PROPOSED STORMWATER DRAINAGE MAP

February 10, 2025  
**Johnsonville**  
Watertown, WI

Proj. No. 2024-110



SCALE: 1"=150'

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Section 3, Item A

# JOHNSONVILLE SAUSAGE, LLC

## SITE PLAN / PLANNING COMMISSION SUBMITTAL

PERRY WAY FOODS | ADDITIONS

PROJ. NO. 2024-110

**Project Description:**

Johnsonville operates a business utilizing agricultural services on the premises at 1222 Perry Way, Watertown, WI. Building additions will occur on the front and back sides for storage, mechanical, and wastewater screening improvements.  
Exterior will match existing. An existing, unused dock will be put back into use.  
Parking will be redone and expanded. Surface drainage retention will be relocated on-site.

**Property Legal Description:**

Lot 2 of Certified Survey Map No. 2009, recorded in Volume 6 of Certified Surveys on Page 286, as Document No. 829547 being a part of the Southeast 1/4 of the Northeast 1/4 of Section 7, and a part of Outlot 39 located in the Southwest 1/4 of the Northwest 1/4 of Section 8, all in Township 8 North, Range 15 East, City of Watertown, Jefferson County, Wisconsin.

**Tax Key No.:**

28-291-0815-0714-005

**Address:**

1222 Perry Way, Watertown, WI 53094

**SITE LOCATION MAP**



**SHEET INDEX:**

- COVER PAGE
- A-901 - EAST AND WEST COLORED RENDERINGS
- A-701 - ANNOTATED ROOF PLAN
- A-501 - ANNOTATED ELEVATIONS
- EXISTING SITE SURVEY
- A-200 - EXISTING SITE CONDITION AND DEMO PLAN
- A-201 - SITE PLAN
- A-202 - GRADING AND EROSION CONTROL PLAN
- A-203 - UTILITY PLAN
- A-204 - DETAILS
- A-205 - EXISTING STORMWATER DRAINAGE MAP
- A-206 - PROPOSED STORMWATER DRAINAGE MAP
- E-1.0 - EXISTING SITE PLAN - ELECTRICAL
- A-207 - PROPOSED SITE LIGHTING PLAN
- A-207A - PROPOSED SITE LIGHTING PHOTOMETRIC PLAN
- A-208 - TRUCK TURN PLAN
- L-101 - LANDSCAPE PLAN

REVISED PER CITY COMMENTS ON 2/17/25

SUBMITTAL DATE: 2/10/2025



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**ADDITION C**

EAST FACADE - PARKING LOT/ MAIN ENTRANCE



**ADDITION A**

**ADDITION B**

WEST FACADE - LOADING DOCKS

ISSUED DATE: FEBRUARY 10TH, 2025  
PERRY WAY FOODS | ADDITIONS AND ALTERATIONS  
**JOHNSONVILLE SAUSAGE, LLC**  
1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 452-4444 | 640 VEL R. PHILLIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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DRAWN BY: AK  
CHECKED BY: KS

CITY RENDERINGS

**A  
901**

PROJ. NO. 2024-110

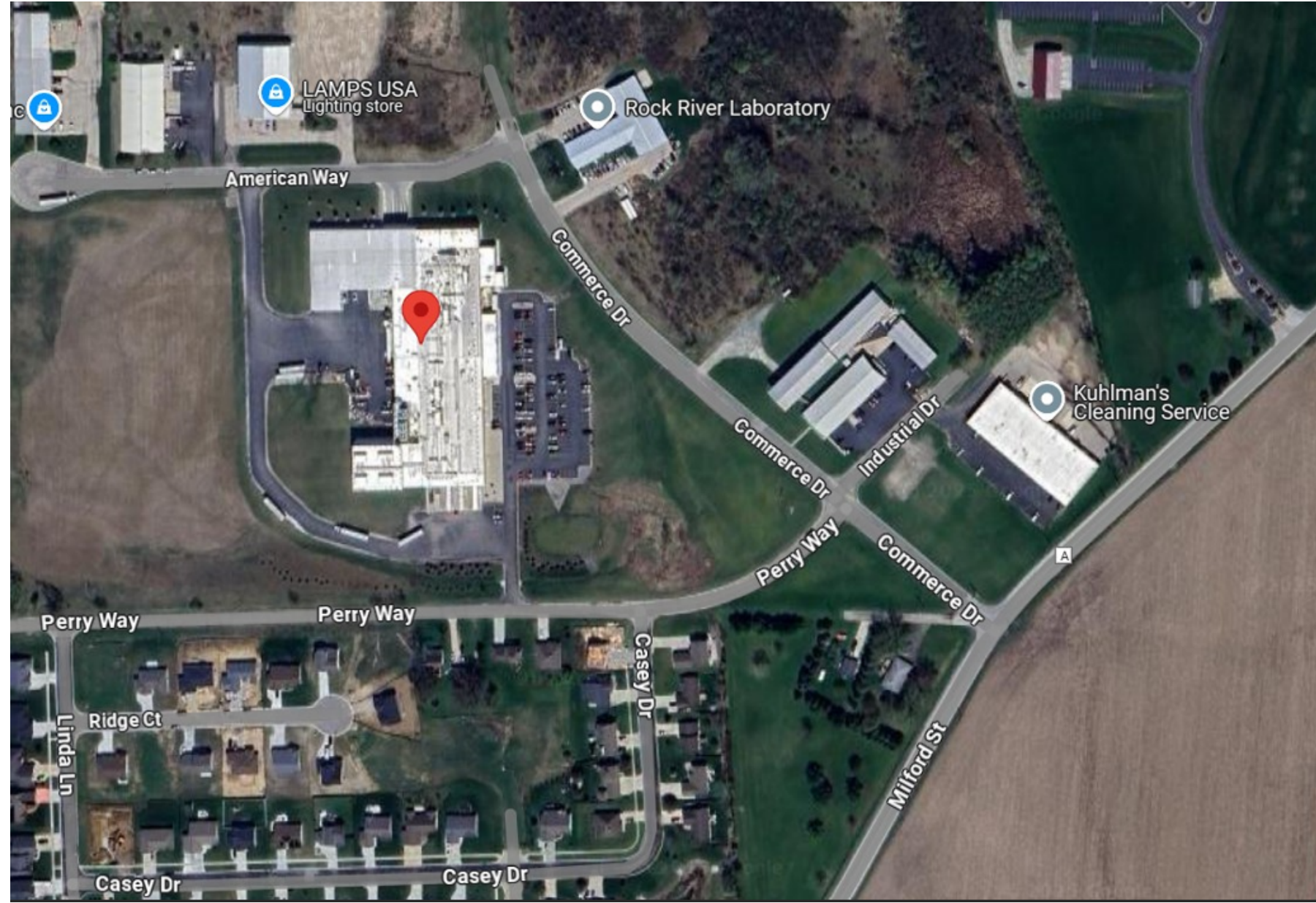


GENERAL ROOF NOTES

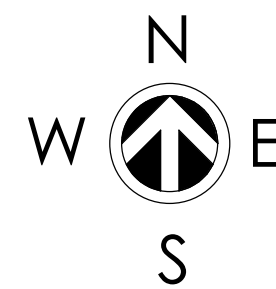
- ROOF CONTRACTOR IS RESPONSIBLE FOR ROOF DRAINAGE INCLUDING TAPERED INSULATION LAYOUT, CRICKETS & SADDLES. SEE STRUCTURAL PLANS AND COORDINATE WITH PLUMBING, HVAC AND ELECTRICAL CONTRACTORS FOR ROOF TOP PENETRATIONS. PROVIDE WATER TIGHT INTEGRITY AT ALL ROOF PENETRATIONS AND EQUIPMENT PER FSR MANUFACTURERS REQUIREMENTS AND CURRENT NRCA STANDARDS.
- TAPERED INSULATION SLOPE TO BE 1/8" PER 1'-0" MINIMUM.

ROOF SYMBOLS

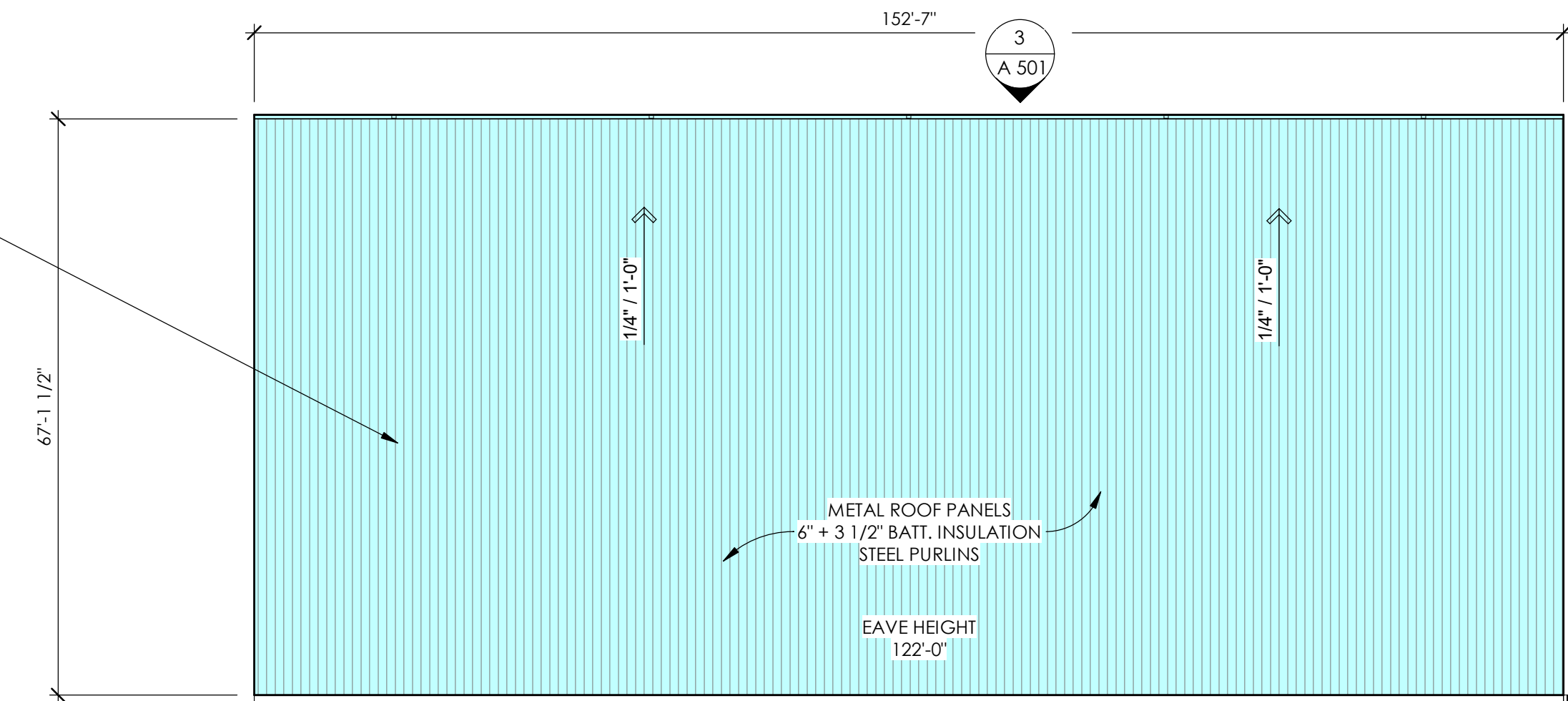
- THERMOPLASTIC SINGLE-PLY MEMBRANE  
POLYISO INSULATION OVER (SEE PLAN)  
1 1/2" METAL DECK  
SLOPED STRUCTURE
- METAL ROOF PANELS  
6" x 3 1/2" FIBERGLASS BATT INSULATION  
SLOPED STRUCTURE
- ▨ TAPERED INSULATION SADDLE / EDGE STRIP



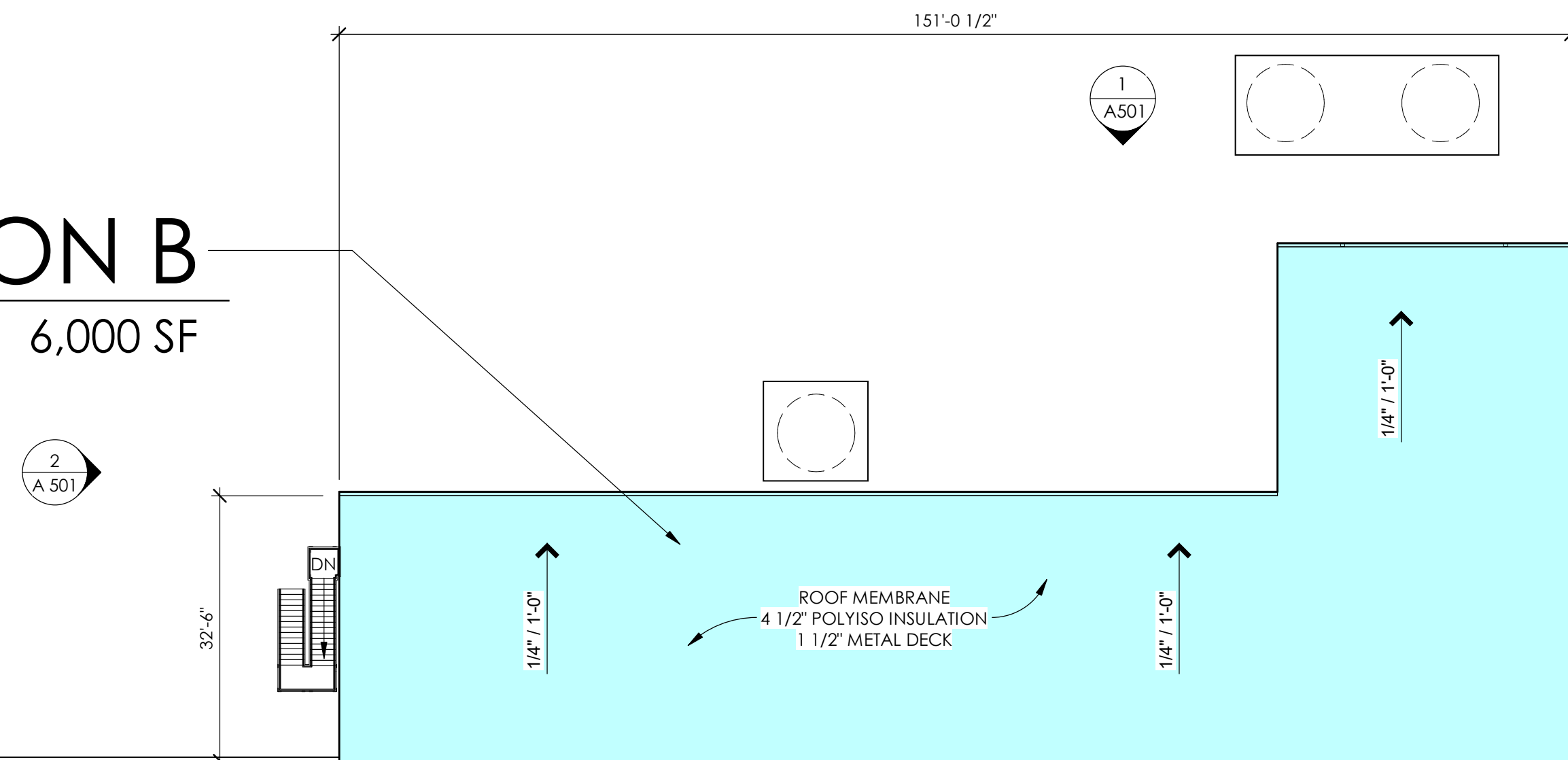
SITE LOCATION MAP  
NOT TO SCALE



ADDITION A  
10,243 SF

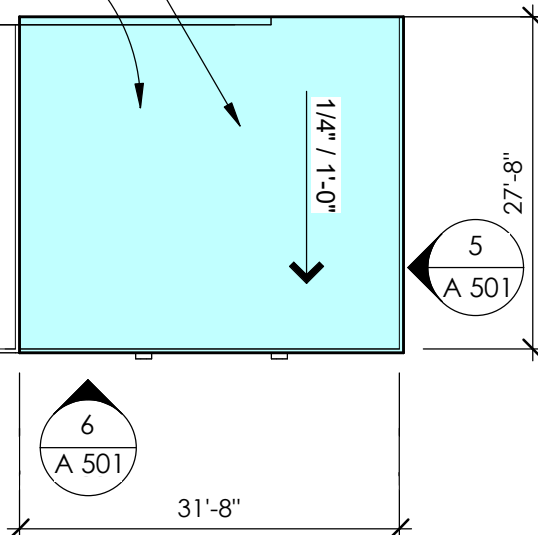


ADDITION B  
6,000 SF



ADDITION C  
876 SF

ROOF MEMBRANE  
4 1/2" POLYISO INSULATION  
1 1/2" METAL DECK



OVERALL ROOF PLAN  
SCALE: 1/16" = 1'-0"



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PERRY WAY FOODS | ADDITIONS AND ALTERATIONS

JOHNSONVILLE SAUSAGE, LLC

1222 PERRY WAY, WATERTOWN, WISCONSIN 53094

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (202) 452-4444 | 640 VEL R. PHILLIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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AK

CHECKED BY:

KS

OVERALL ROOF PLAN

A  
701

PROJ. NO. 2024-110



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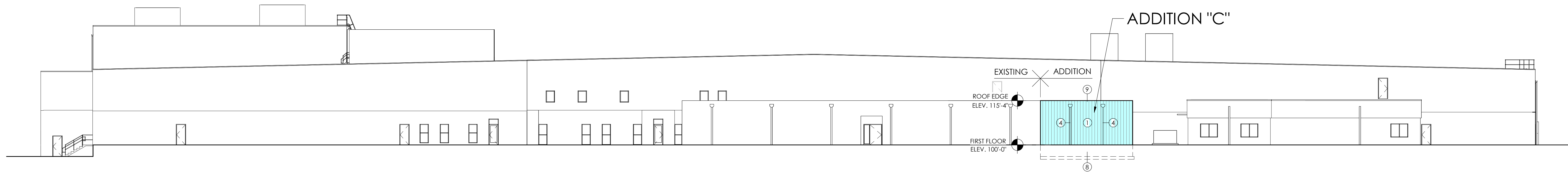
DRAWN BY: AK

CHECKED BY: KS

OVERALL EXTERIOR  
ELEVATIONS

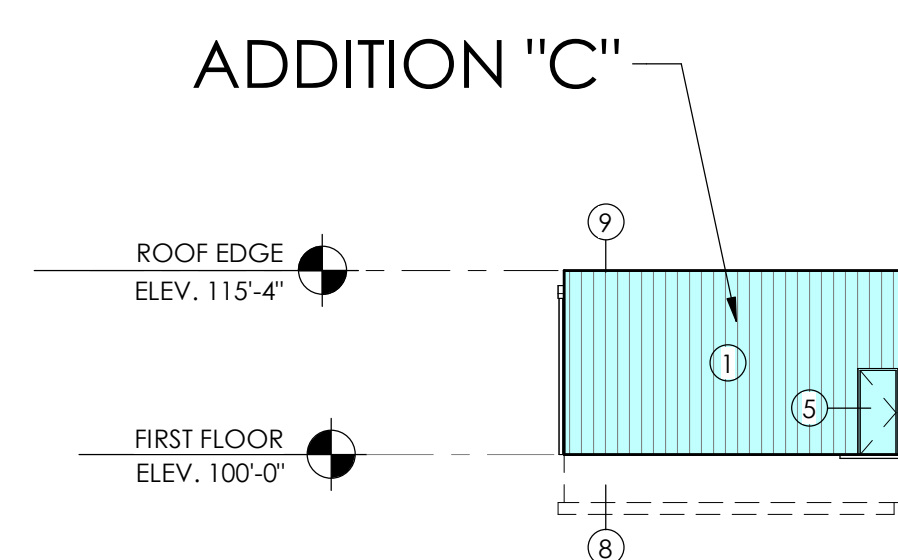
**A**  
**501**

PROJ. NO. 2024-110



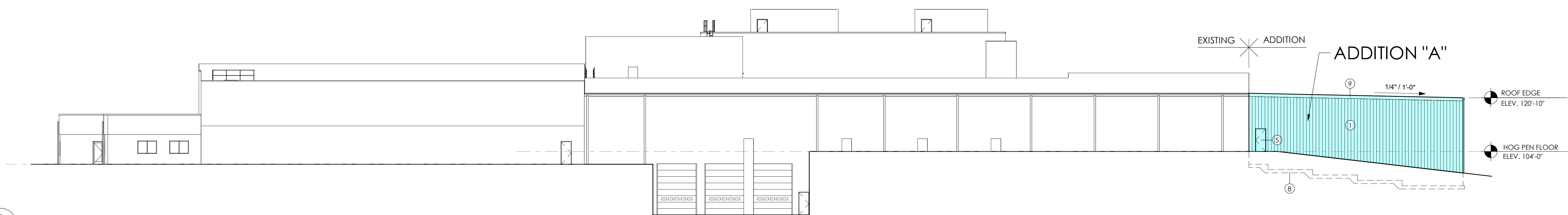
**EAST ELEVATION**

SCALE: 1/16" = 1'-0" A 501



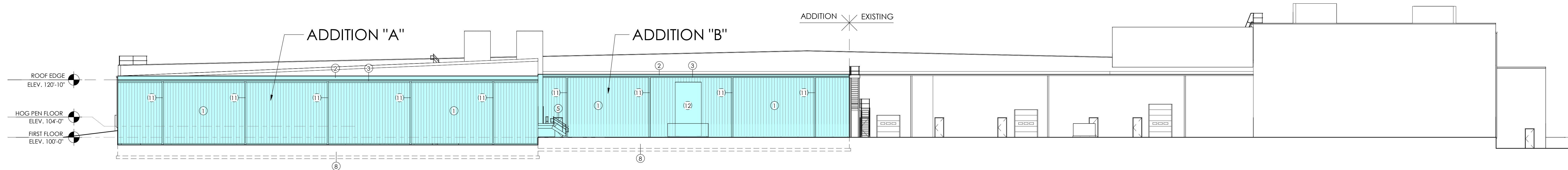
**NORTH ELEVATION**

SCALE: 1/16" = 1'-0" A 501



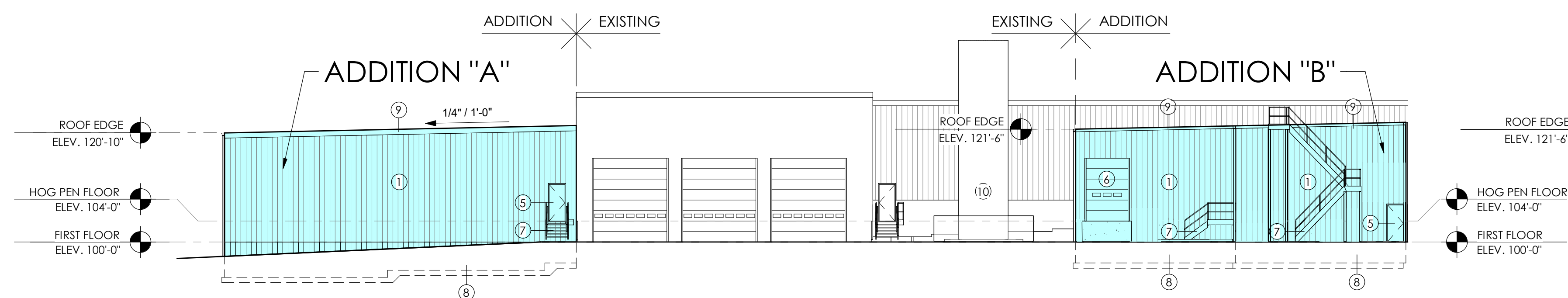
**NORTH ELEVATION**

SCALE: 1/16" = 1'-0" A 501



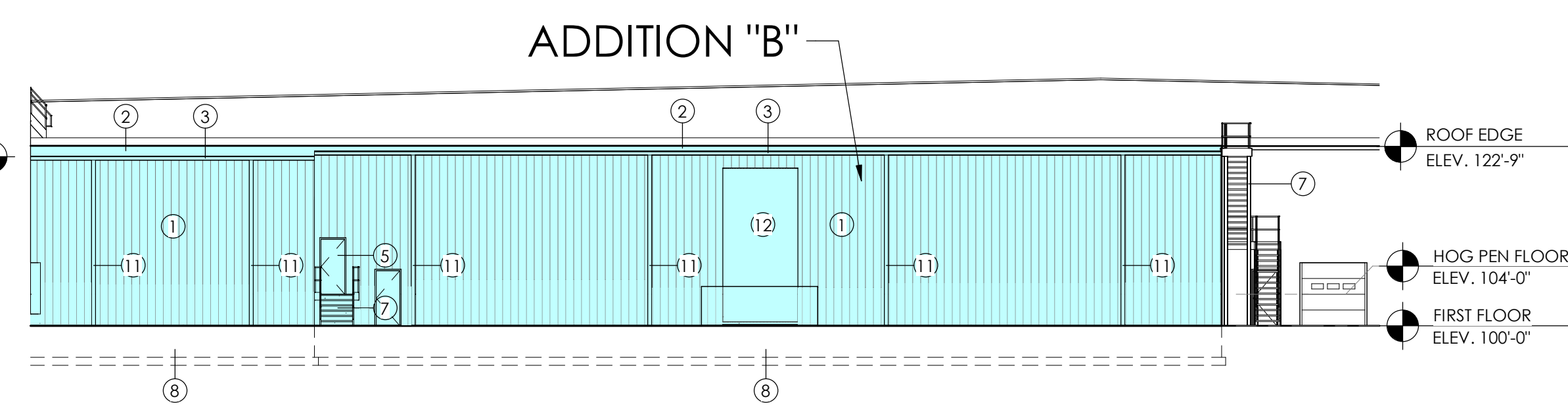
**WEST ELEVATION**

SCALE: 1/16" = 1'-0" A 501



**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0" A 501



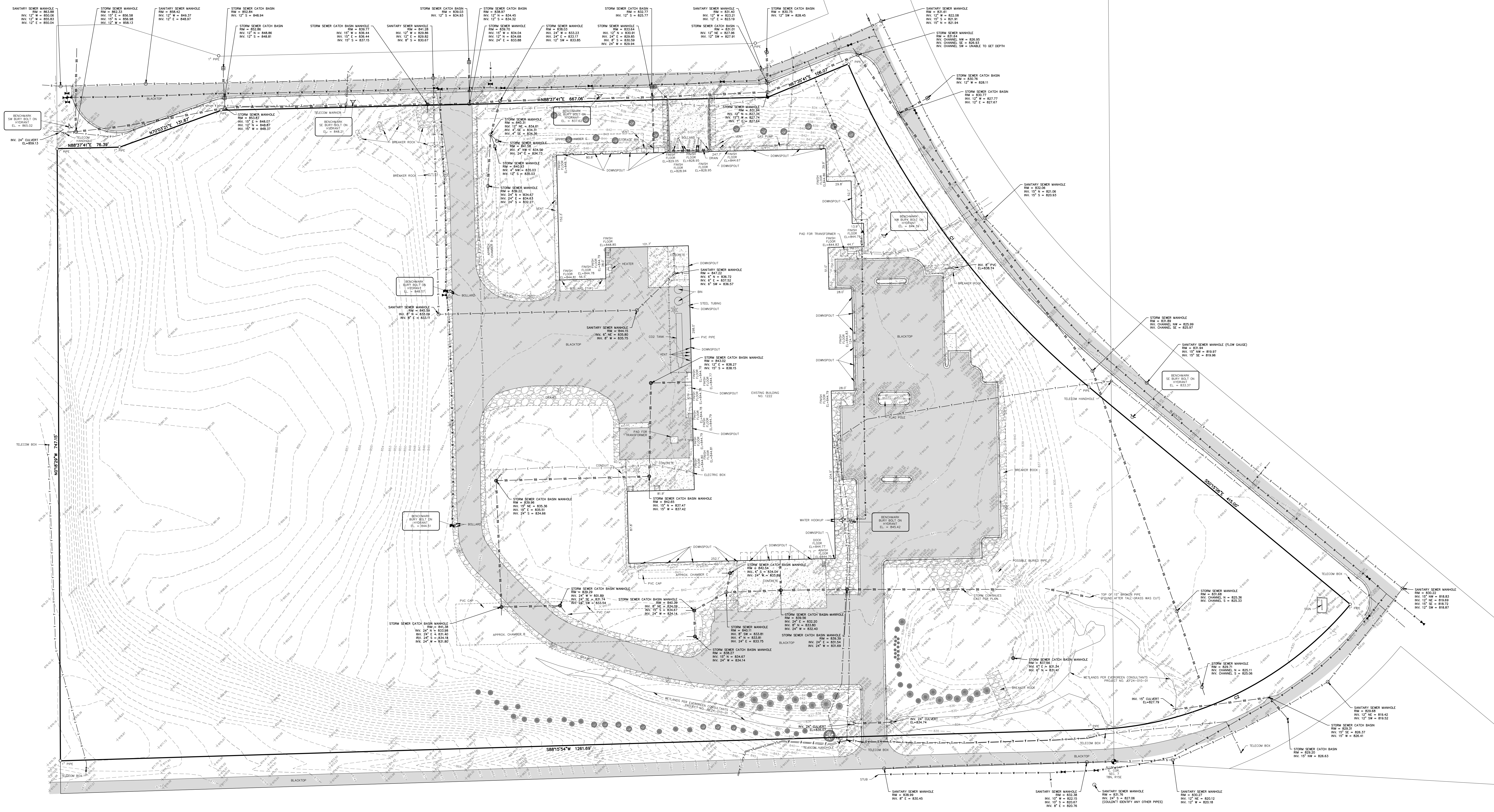
**WEST ELEVATION**

SCALE: 1/16" = 1'-0" A 501

## ELEVATION KEYNOTES

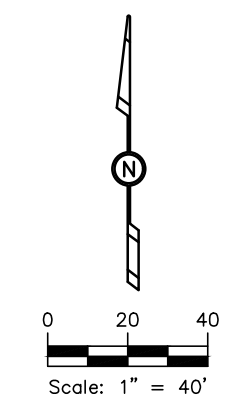
| NO. | DESCRIPTION                                                                               |
|-----|-------------------------------------------------------------------------------------------|
| 1   | METAL WALL PANEL - MATCH EXISTING                                                         |
| 2   | METAL ROOF PANEL - MATCH EXISTING                                                         |
| 3   | METAL GUTTER                                                                              |
| 4   | METAL SCUPPER WITH OPEN FACE DOWNSPOUT TO STORM LINE - MATCH EXISTING. SEE CIVIL DRAWINGS |
| 5   | INSULATED HOLLOW METAL DOOR AND FRAME                                                     |
| 6   | INSULATED OVERHEAD DOOR                                                                   |
| 7   | STEEL STAIR WITH NON-SLIP PLATFORM AND TREADS                                             |
| 8   | FOUNDATION - SEE STRUCTURAL DRAWINGS                                                      |
| 9   | METAL ROOF EDGE TO MATCH EXISTING                                                         |
| 10  | CO2 STORAGE TANKS                                                                         |
| 11  | OPEN FACE DOWNSPOUT TO STORM LINE - SEE CIVIL DRAWINGS                                    |
| 12  | CORN SYRUP TANK                                                                           |





| Curve Table |         |         |            |           |
|-------------|---------|---------|------------|-----------|
| Curve #     | Date    | Asc.    | Radius     | Length    |
| C1          | 2/24/24 | 486.20' | 526'42.47" | 181.64'   |
| C2          | 4/20/24 | 358.96' | 423.84'    | 98'40.24" |

NOTES:  
1. UTILITY STRUCTURES VISIBLE ON THE GROUND SURFACE HAVE BEEN SHOWN FOR ACTUAL MEASUREMENTS. UNDERGROUND UTILITY LINES HAVE BEEN SHOWN PER AVAILABLE RECORDS AND MARKINGS BY DIGGERS. HOTLINE AND SHOULD NOT BE INTERPRETTED AS THE EXACT LOCATION NOR THE ONLY UTILITIES IN THIS AREA.  
2. PARCEL MAY BE SUBJECT TO EASEMENTS AND RIGHTS NOT SHOWN THAT A COMPLETE TITLE SEARCH MAY DISCLOSE.  
3. COORDINATES ARE BASED ON WISCONSIN COUNTY COORDINATE SYSTEM.  
4. ELEVATIONS ARE NAVD83(GEOID83).



- LEGEND**
- County Monument
  - Iron Stake Found
  - Iron Stake Set
  - Light Pole
  - Water Valve
  - Hydrant
  - Manhole
  - Catch Basin
  - Catch Basin Manhole
  - Electric Line
  - Sanitary Sewer Line
  - Storm Sewer Line
  - Water Line
  - Telephone Line
  - Gas Line
  - Fence
  - Top of Curb Elevation
  - Outer Elevation
  - Recorded Dimension

**TOPOGRAPHIC SURVEY**  
FOR: ARACUC ARCHITECTS  
1135A MICHIGAN AVE  
SHEBOYGAN, WI 53081

LOT 2, C.S.M. NO. 2009, PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 7 AND PART OF THE SW 1/4 OF THE NW 1/4 OF SECTION 8, TEN, R1SE, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

**REVISIONS**

| NO. | DATE      | DESCRIPTION       |
|-----|-----------|-------------------|
| 1   | 5/19/2024 | ISSUED FOR PERMIT |

**CEDAR CREEK SURVEYING, LLC**  
ENGINEERS • SURVEYORS • DRAFTERS  
www.cedarcreeksurveying.com  
FILE NO.: 2204125 DATE: 5/19/2024 PAGE: 1 OF 1





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CHECKED BY: JRV

EXISTING SITE  
CONDITION AND  
DEMO PLAN

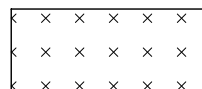
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200

PROJ. NO. 2024-110

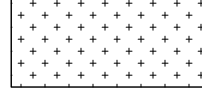
## DEMOLITION LEGEND



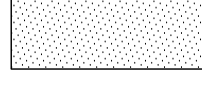
APPROXIMATE LOCATION OF TREES TO BE REMOVED. TREE  
REMOVAL TO BE PERFORMED BY THE OWNER PRIOR TO  
CONSTRUCTION



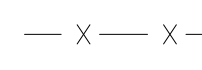
HATCH TYPE INDICATES ASPHALT PAVEMENT TO BE REMOVED AND  
DISPOSED OF OFFSITE



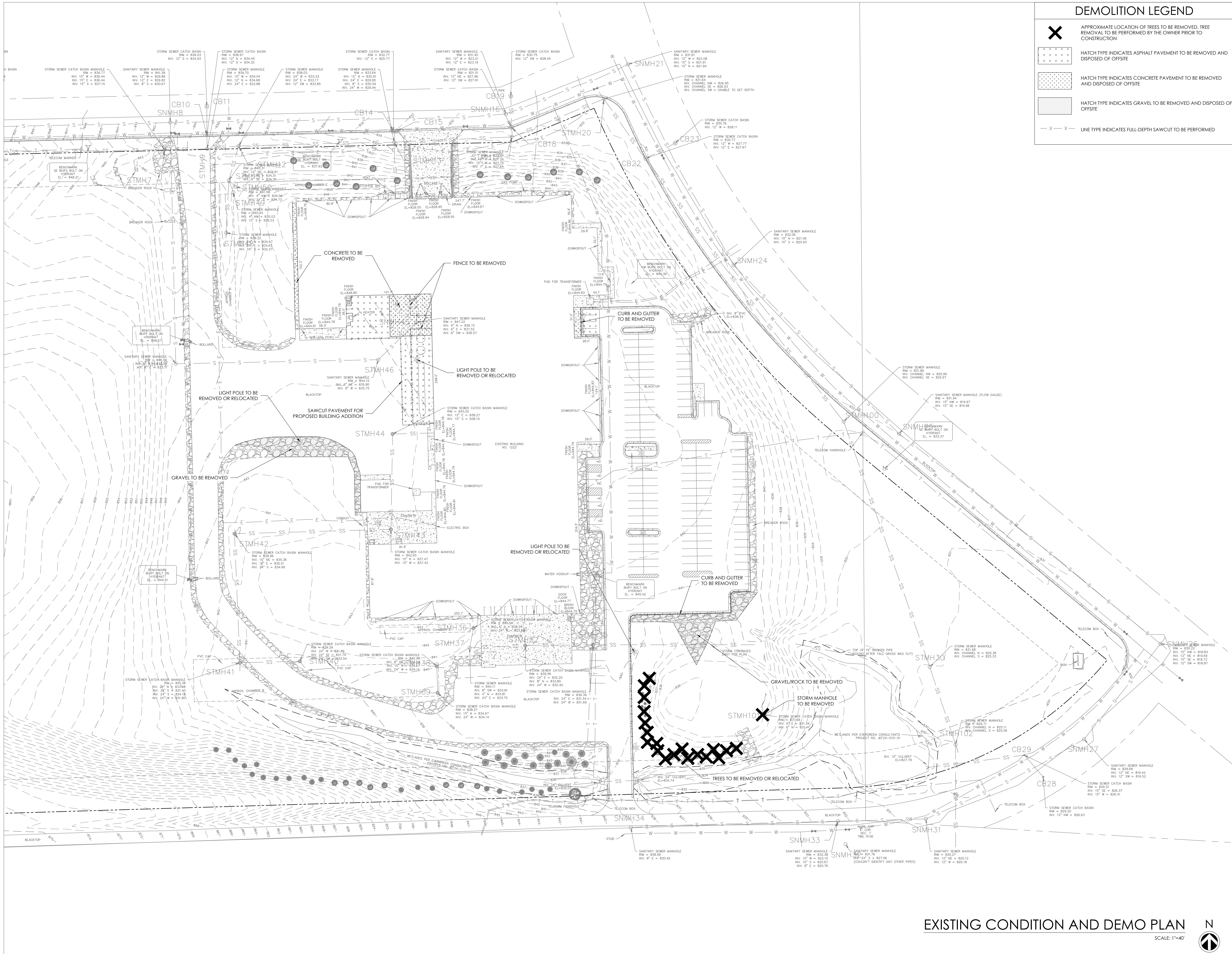
HATCH TYPE INDICATES CONCRETE PAVEMENT TO BE REMOVED  
AND DISPOSED OF OFFSITE



HATCH TYPE INDICATES GRAVEL TO BE REMOVED AND DISPOSED OF  
OFFSITE



LINE TYPE INDICATES FULL-DEPTH SAWCUT TO BE PERFORMED

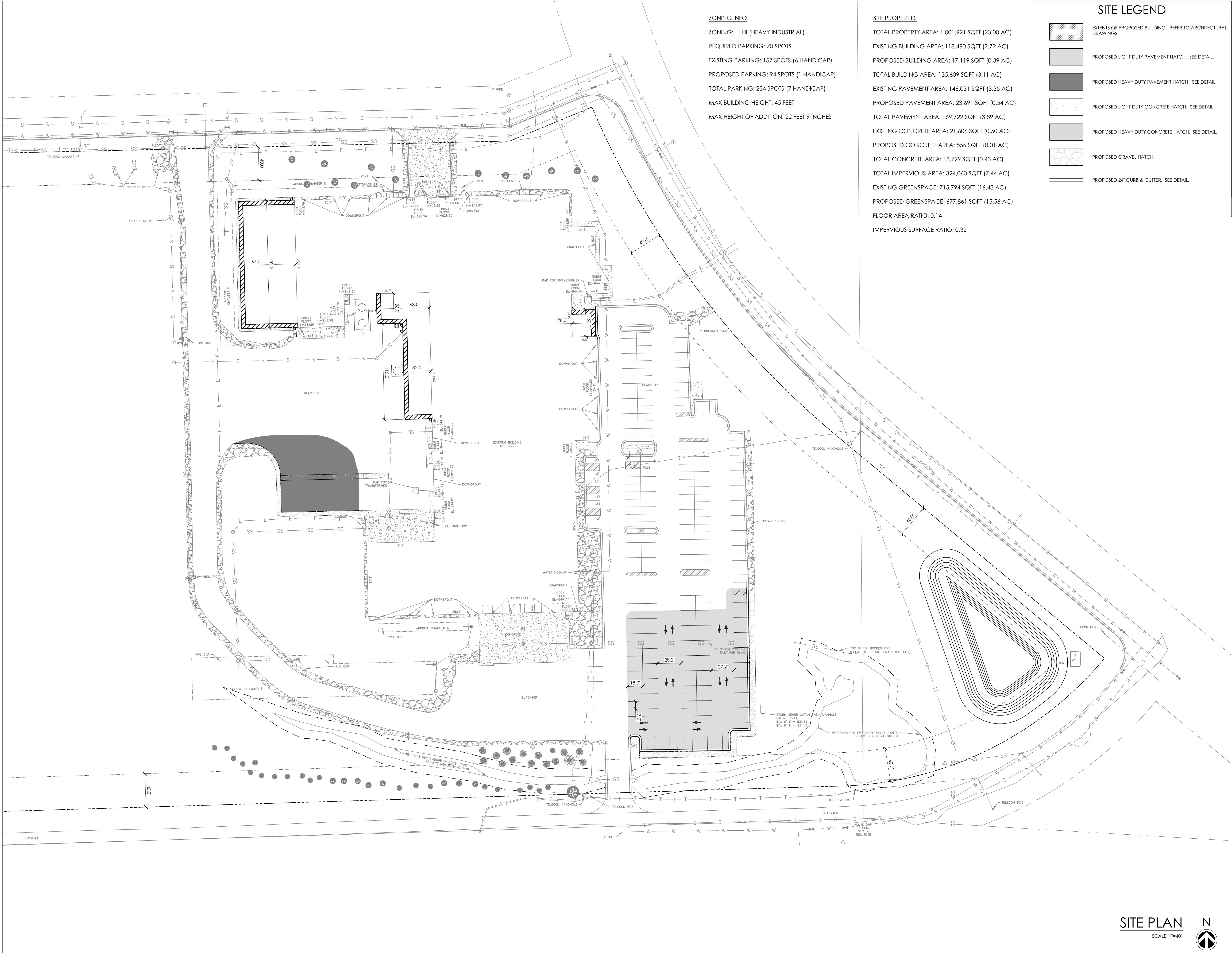


EXISTING CONDITION AND DEMO PLAN

SCALE: 1"=40'







**ZONING INFO**

ZONING: HI (HEAVY INDUSTRIAL)

REQUIRED PARKING: 70 SPOTS

EXISTING PARKING: 157 SPOTS (6 HANDICAP)

PROPOSED PARKING: 94 SPOTS (1 HANDICAP)

TOTAL PARKING: 234 SPOTS (7 HANDICAP)

MAX BUILDING HEIGHT: 45 FEET

MAX HEIGHT OF ADDITION: 22 FEET 9 INCHES

**SITE PROPERTIES**

TOTAL PROPERTY AREA: 1,001,921 SQFT (23.00 AC)

EXISTING BUILDING AREA: 118,490 SQFT (2.72 AC)

PROPOSED BUILDING AREA: 17,119 SQFT (0.39 AC)

TOTAL BUILDING AREA: 135,609 SQFT (3.11 AC)

EXISTING PAVEMENT AREA: 146,031 SQFT (3.35 AC)

PROPOSED PAVEMENT AREA: 23,691 SQFT (0.54 AC)

TOTAL PAVEMENT AREA: 169,722 SQFT (3.89 AC)

EXISTING CONCRETE AREA: 21,606 SQFT (0.50 AC)

PROPOSED CONCRETE AREA: 556 SQFT (0.01 AC)

TOTAL CONCRETE AREA: 18,729 SQFT (0.43 AC)

TOTAL IMPERVIOUS AREA: 324,060 SQFT (7.44 AC)

EXISTING GREENSPACE: 715,794 SQFT (16.43 AC)

PROPOSED GREENSPACE: 677,861 SQFT (15.56 AC)

FLOOR AREA RATIO: 0.14

IMPERVIOUS SURFACE RATIO: 0.32

| SITE LEGEND |                                                                |
|-------------|----------------------------------------------------------------|
|             | EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS. |
|             | PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.                |
|             | PROPOSED HEAVY DUTY PAVEMENT HATCH. SEE DETAIL.                |
|             | PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.                |
|             | PROPOSED HEAVY DUTY CONCRETE HATCH. SEE DETAIL.                |
|             | PROPOSED GRAVEL HATCH.                                         |
|             | PROPOSED 24" CURB & GUTTER. SEE DETAIL.                        |

REVISIONS:

| DATE | ISSUE |
|------|-------|
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DRAWN BY: JMN

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SITE PLAN

A

201

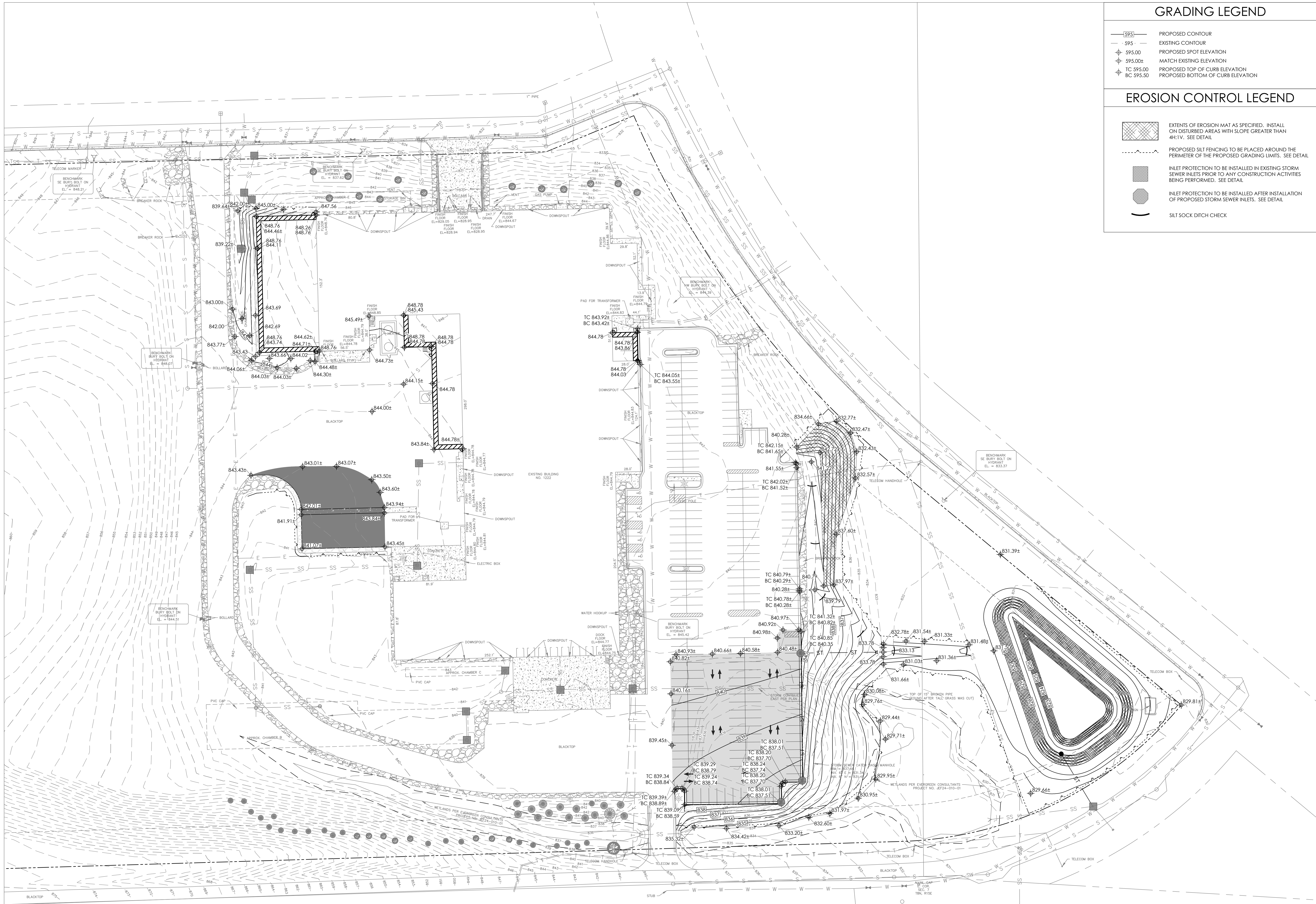
PROJ. NO. 2024-110

**SITE PLAN**

SCALE: 1"=40'

N





GRADING LEGEND

- 595 — PROPOSED CONTOUR
- 595 - EXISTING CONTOUR
- + 595.00 PROPOSED SPOT ELEVATION
- + 595.00± MATCH EXISTING ELEVATION
- TC 595.00 PROPOSED TOP OF CURB ELEVATION
- BC 595.50 PROPOSED BOTTOM OF CURB ELEVATION

EROSION CONTROL LEGEND

- [Hatched Box] EXTENTS OF EROSION MAT AS SPECIFIED. INSTALL ON DISTURBED AREAS WITH SLOPE GREATER THAN 4H:1V. SEE DETAIL.
- [Dashed Line] PROPOSED SILT FENCING TO BE PLACED AROUND THE PERIMETER OF THE PROPOSED GRADING LIMITS. SEE DETAIL.
- [Stippled Box] INLET PROTECTION TO BE INSTALLED IN EXISTING STORM SEWER INLETS PRIOR TO ANY CONSTRUCTION ACTIVITIES BEING PERFORMED. SEE DETAIL.
- [Circle with X] INLET PROTECTION TO BE INSTALLED AFTER INSTALLATION OF PROPOSED STORM SEWER INLETS. SEE DETAIL.
- [Line with Tick] SILT SOCK DITCH CHECK



REVISIONS:

| △                                                                                                                                                                                        | DATE | ISSUE |
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DRAWN BY: JMN

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GRADING AND  
EROSION CONTROL  
PLAN

A  
202

PROJ. NO. 2024-110

GRADING AND EROSION CONTROL PLAN

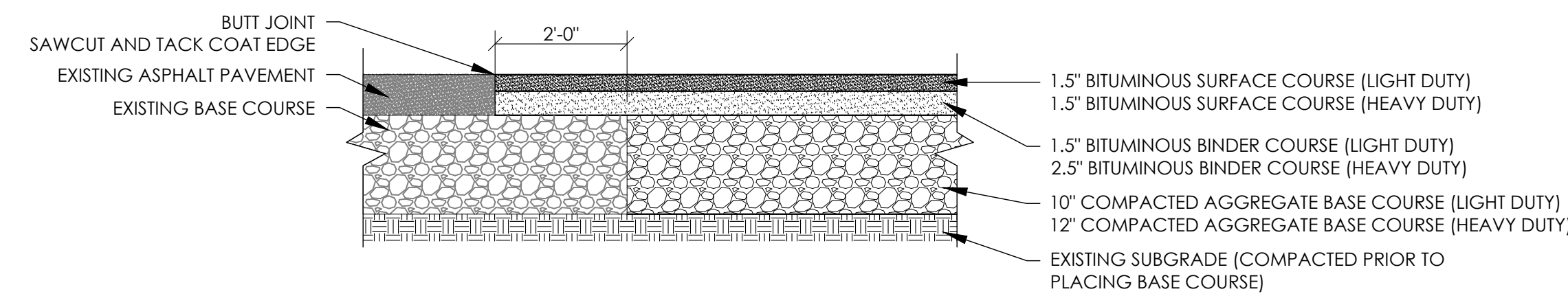
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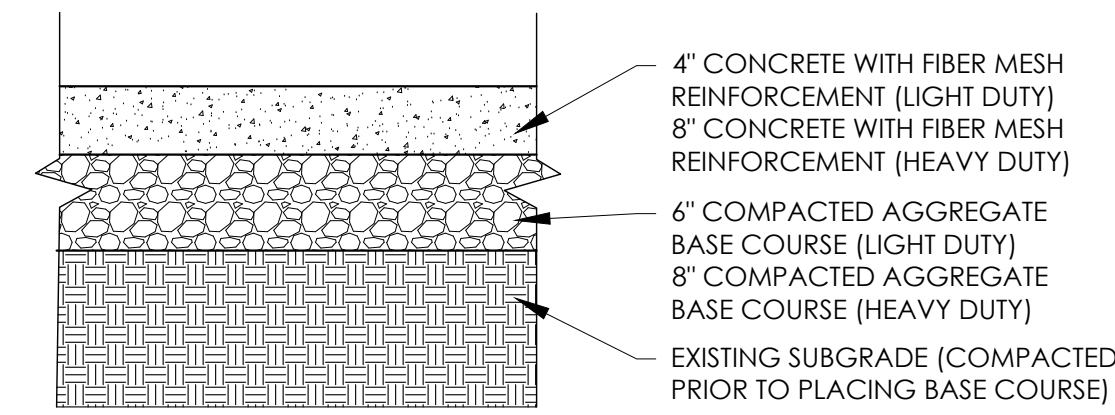




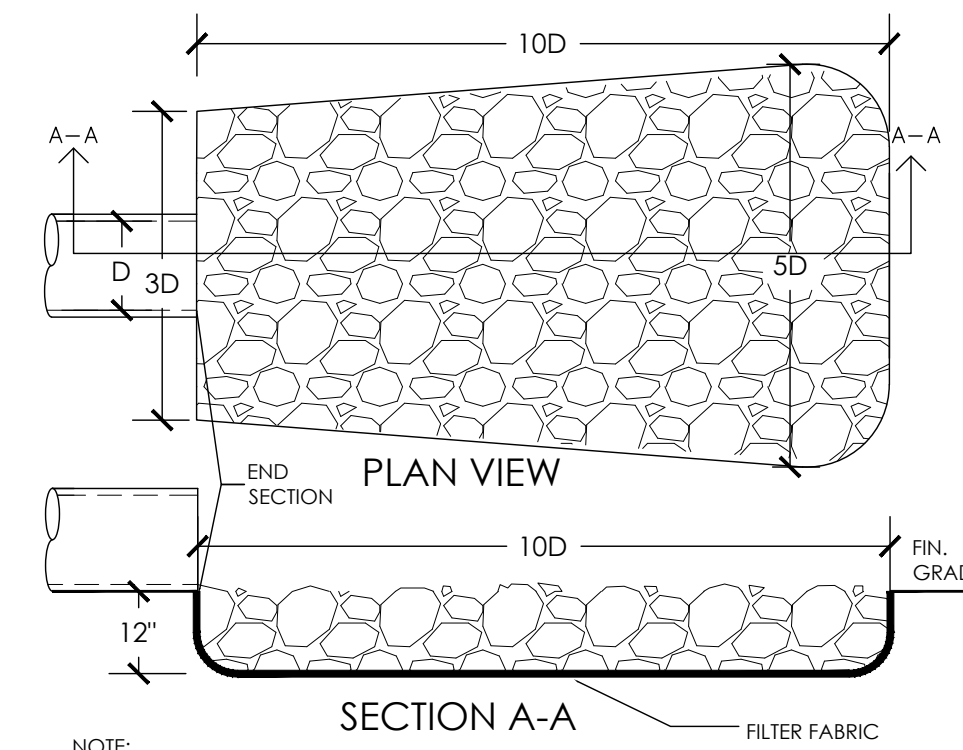




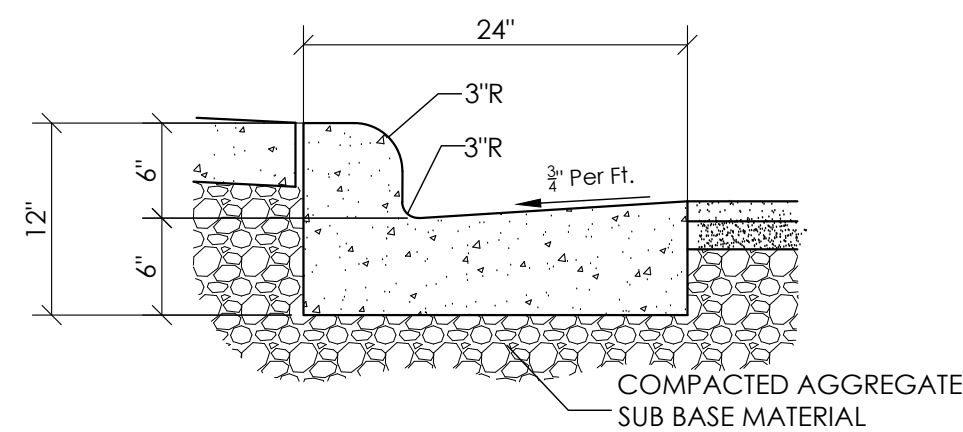
### ASPHALT PAVEMENT CROSS SECTION



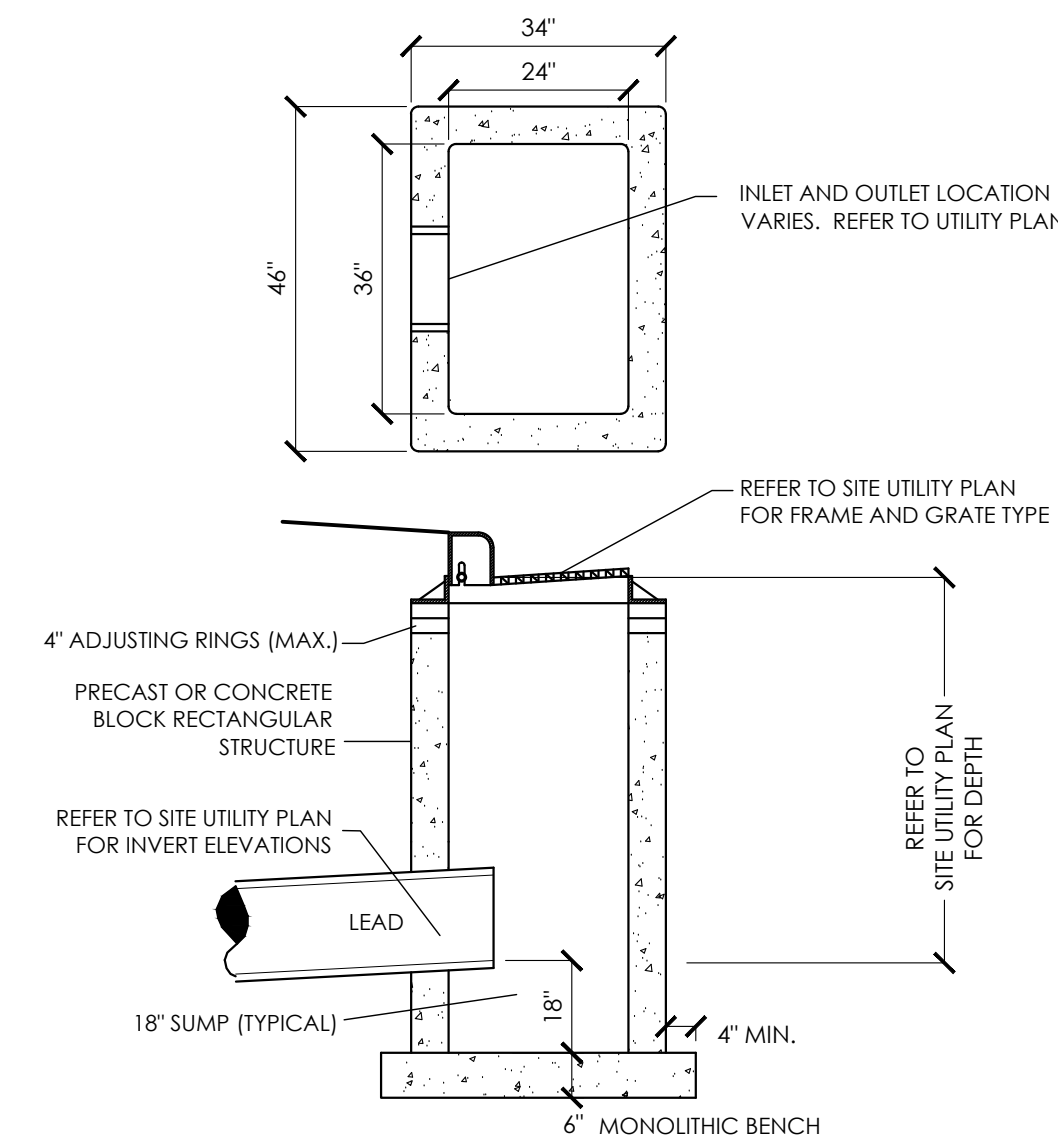
### CONCRETE PAVEMENT CROSS SECTION



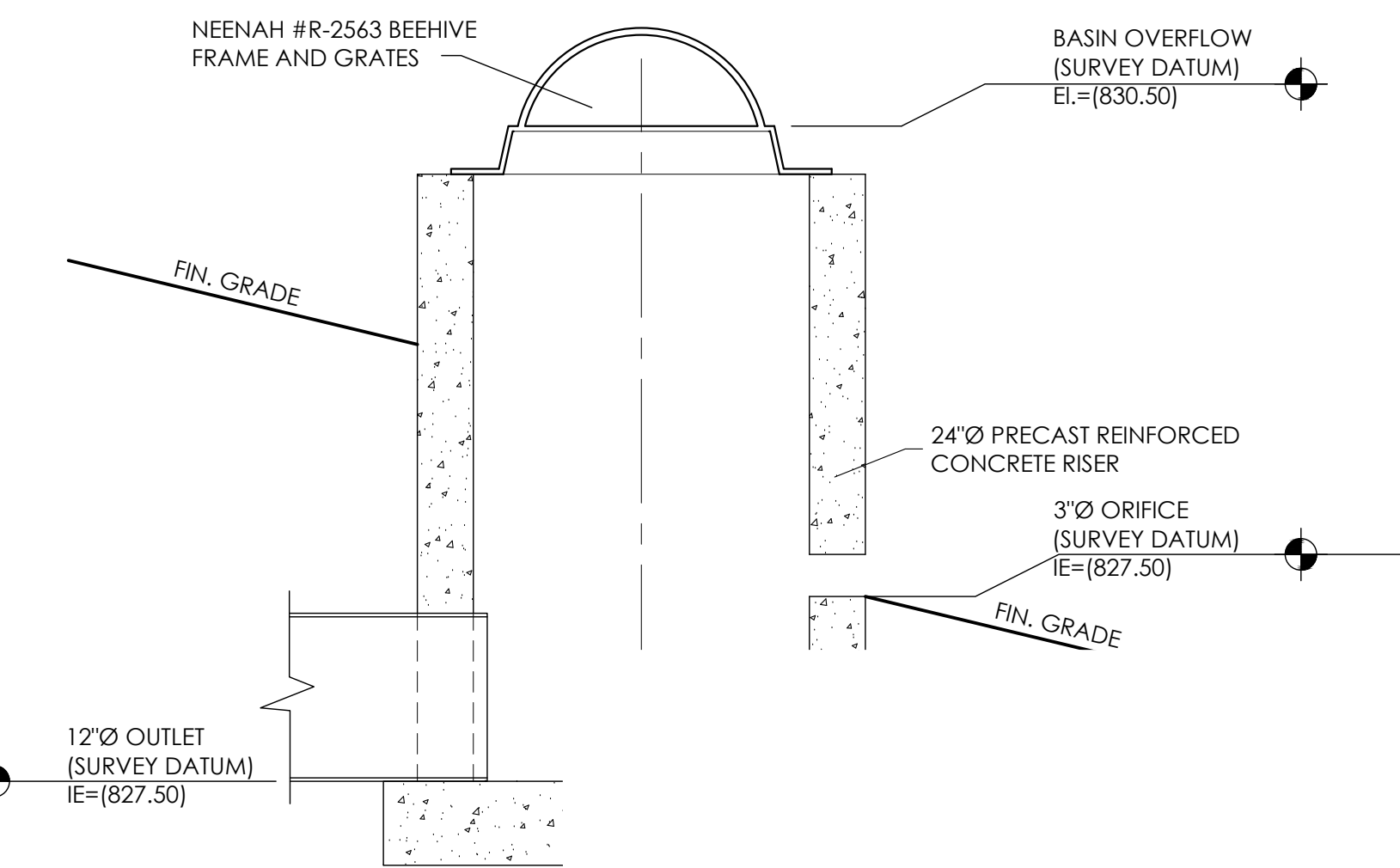
### STORM SEWER OUTFALL



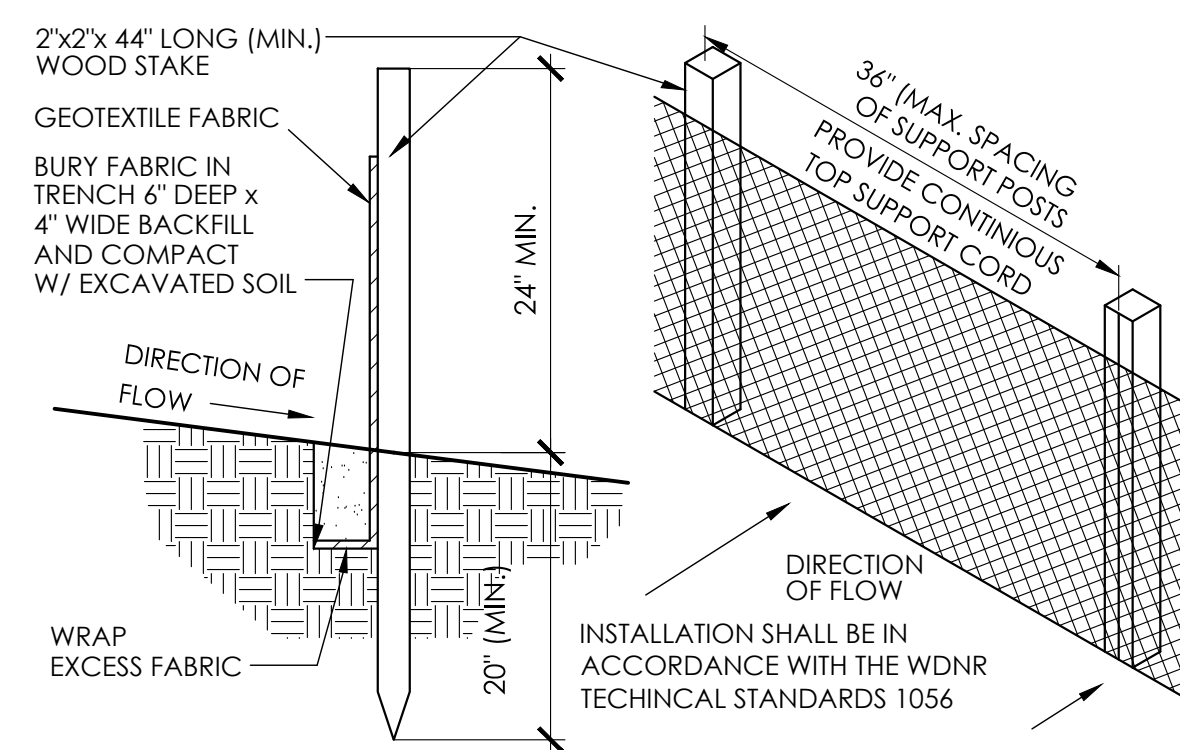
### 24" CURB & GUTTER SECTION



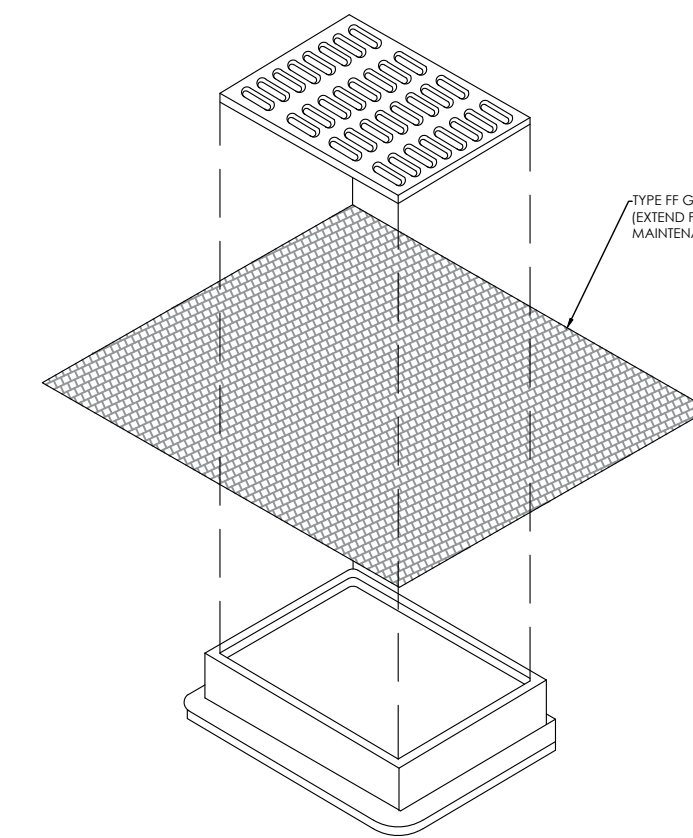
### PRECAST REINFORCED CONCRETE ACCEPTABLE CURB INLET SECTION



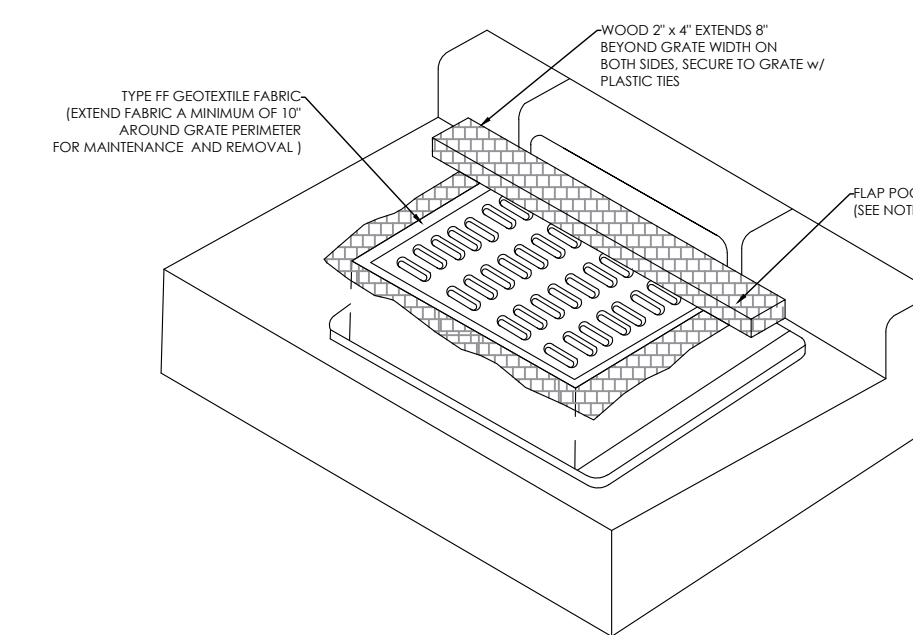
### POND O1



### SILT FENCE SECTION & DETAIL



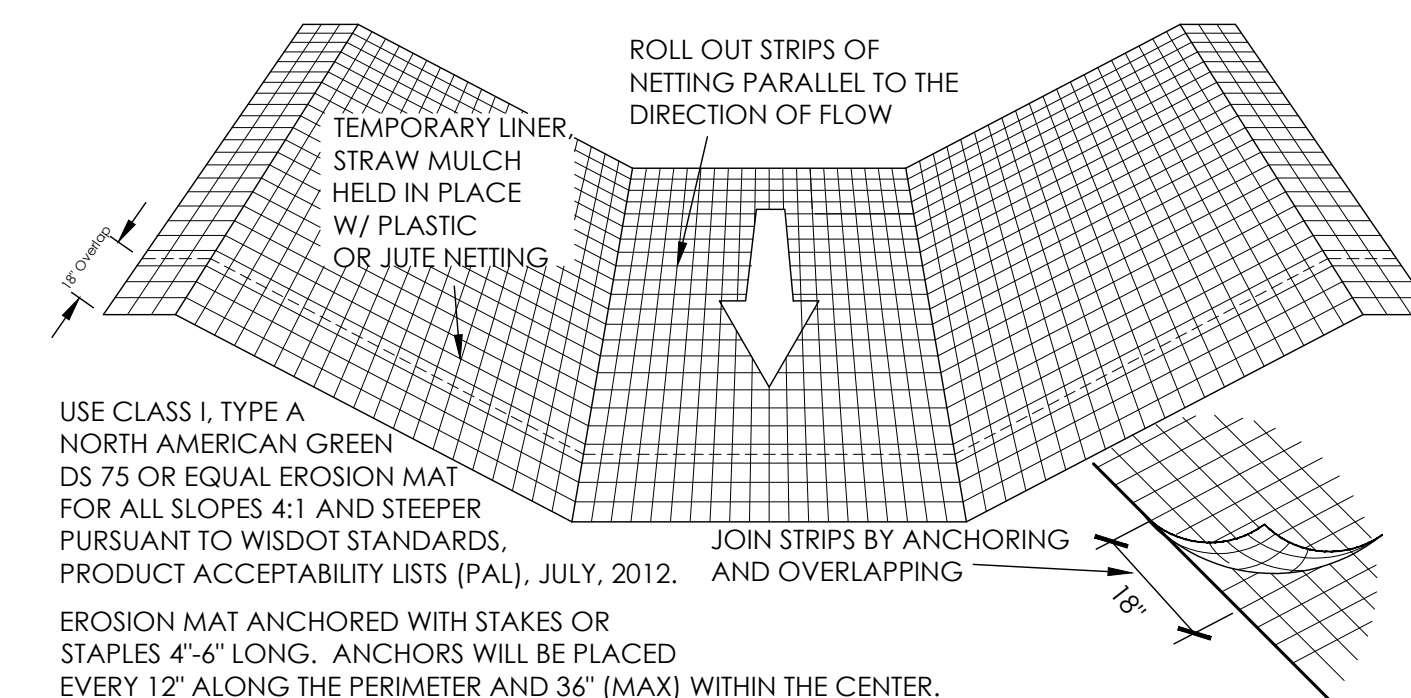
### INLET PROTECTION TYPE "B"



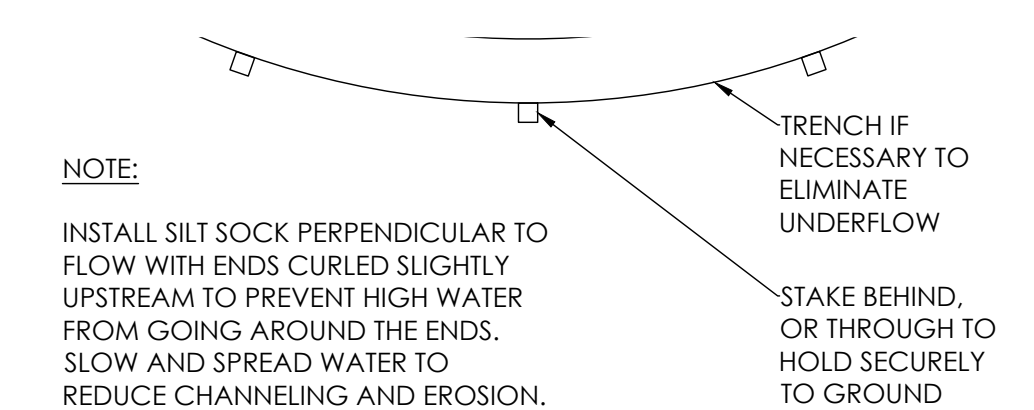
### INLET PROTECTION TYPE "C"

**MAINTENANCE NOTES:**

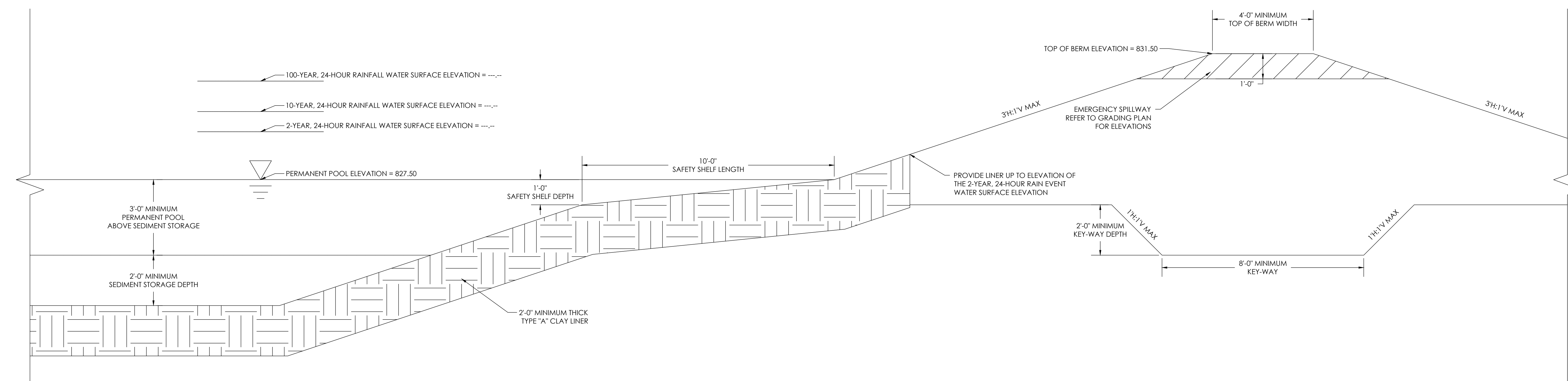
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN TO PREVENT THE SEDIMENT TRAPPING IN THE FENCE FROM FALLING INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



### EROSION MATTING DETAIL (FOR SIDE SLOPES ONLY - NOT FOR CHANNELIZED FLOW)



### SILT SOCK DITCH CHECK



### WET DETENTION POND CROSS SECTION

DETAILS



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PERRY WAT FOODS | ADDITIONS AND ALTERATIONS

JOHNSONVILLE SAUSAGE, LLC

1222 PERRY WAY, WATERTOWN, WISCONSIN 53094

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 6401 N. VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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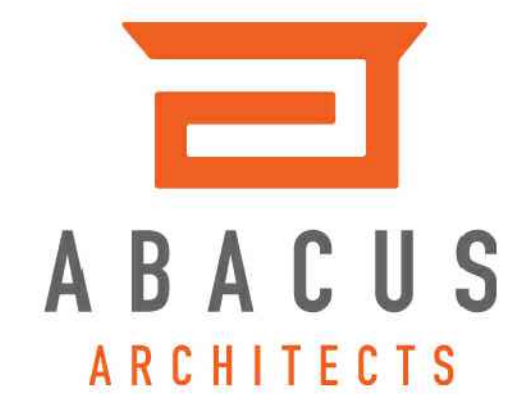
CHECKED BY: JRV

DETAILS

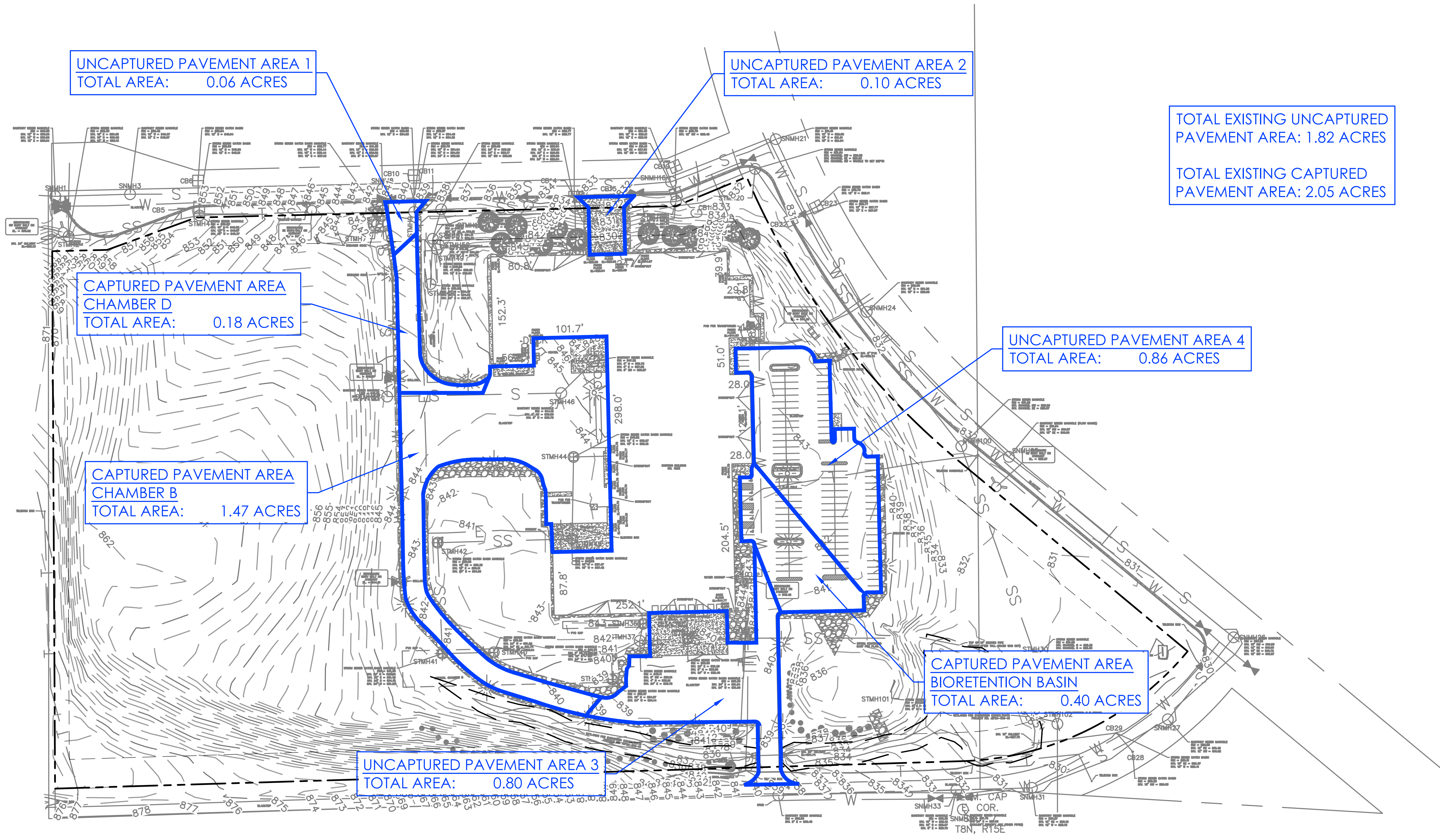
A  
204

PROJ. NO. 2024-110

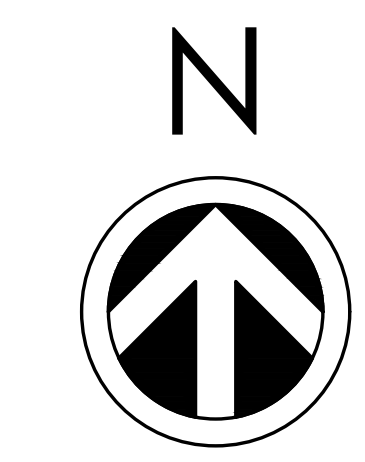




| REVISIONS:                                                                                                                                                                               |      |       |
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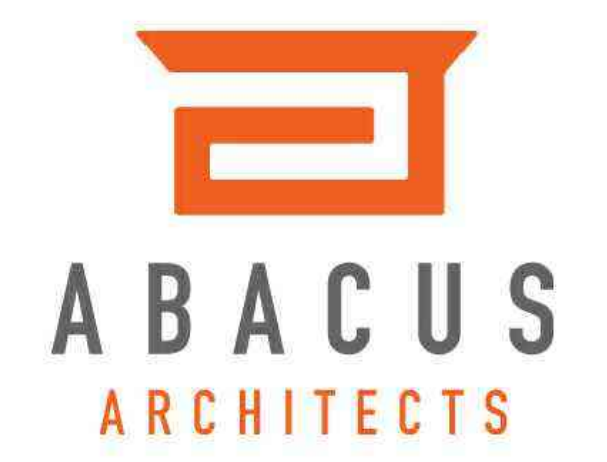


# EXISTING STORMWATER DRAINAGE MAP



SCALE: 1"=150'

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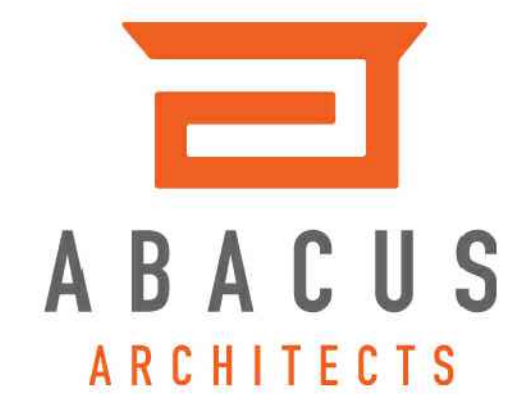
February 10, 2025  
**Johnsonville**  
Watertown, WI Proj. No. 2024-110

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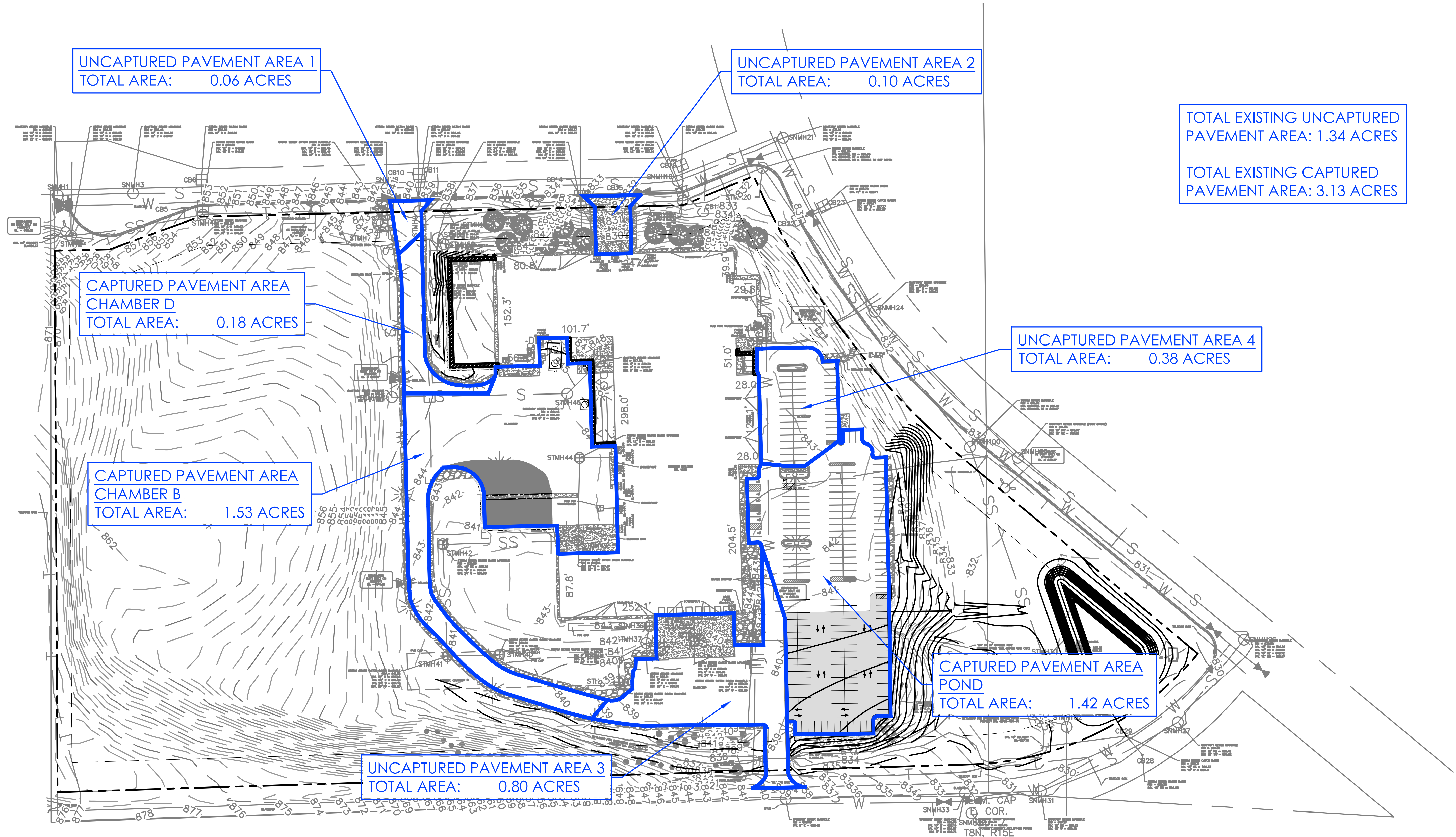
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|                                  |     |
|----------------------------------|-----|
| DRAWN BY:                        | JMN |
| CHECKED BY:                      | JRV |
| EXISTING STORMWATER DRAINAGE MAP |     |
| A<br>205                         |     |
| PROJ. NO. 2024-110               |     |

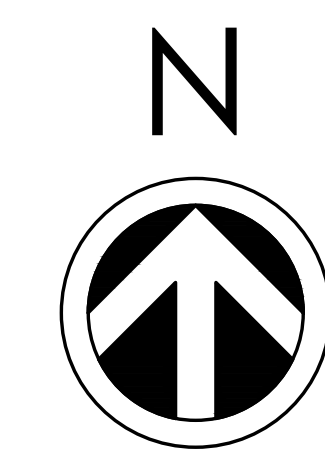




| REVISIONS:                                                                                                                                                                               |      |       |
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# PROPOSED STORMWATER DRAINAGE MAP



SCALE: 1"=150'

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February 10, 2025  
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| PROPOSED STORMWATER DRAINAGE MAP |     |
| A<br>206                         |     |
| PROJ. NO. 2024-110               |     |





Project  
PROJECT  
PHOENIX -  
ADDITIONS  
AND  
ALTERATIONS

1222 PERRY WAY,  
WATERTOWN,  
WISCONSIN 53094

Project Number  
2015191

Owner  
JOHNSONVILLE  
SAUSAGE, LLC

Seal/Signature

Issued for

Item Date

Drawn by: DAC

Checked by: RJJ

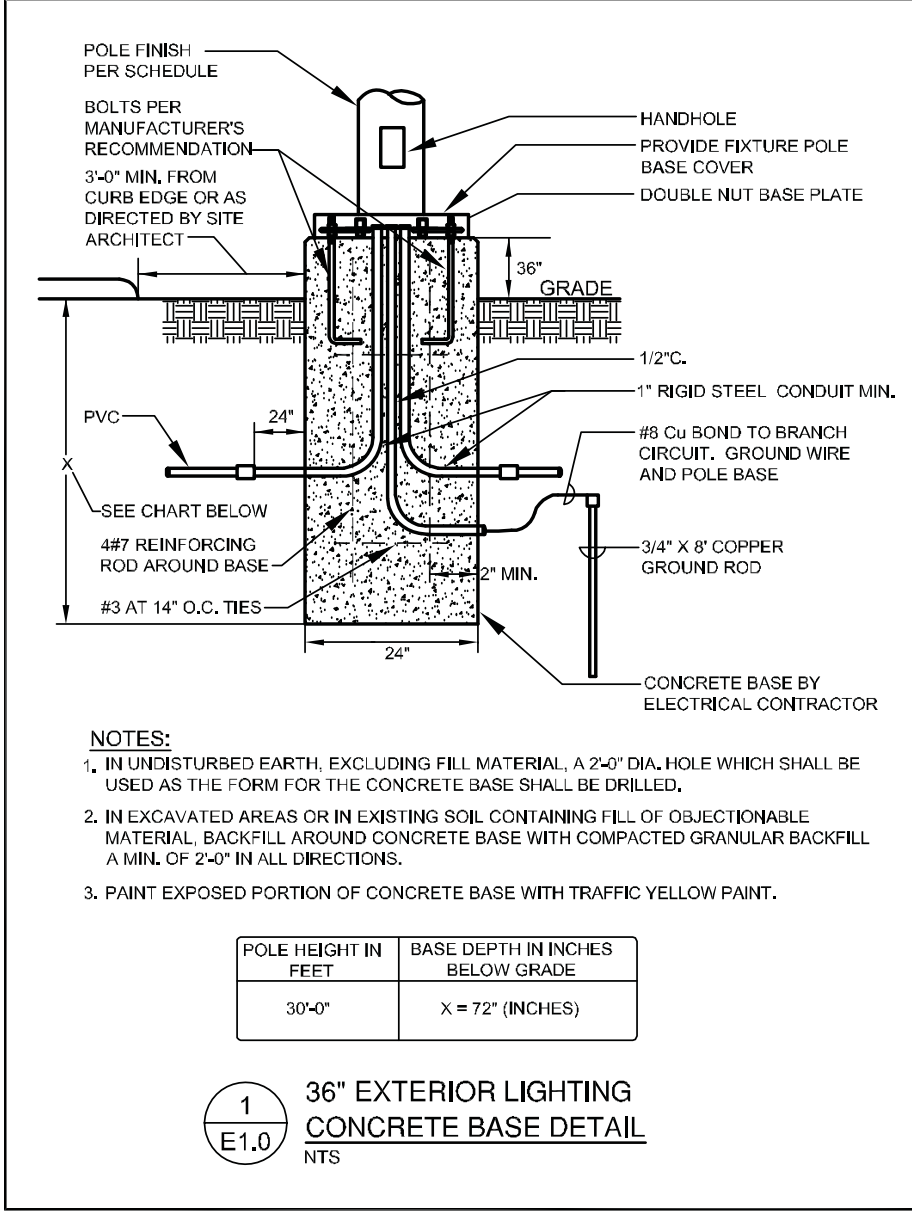
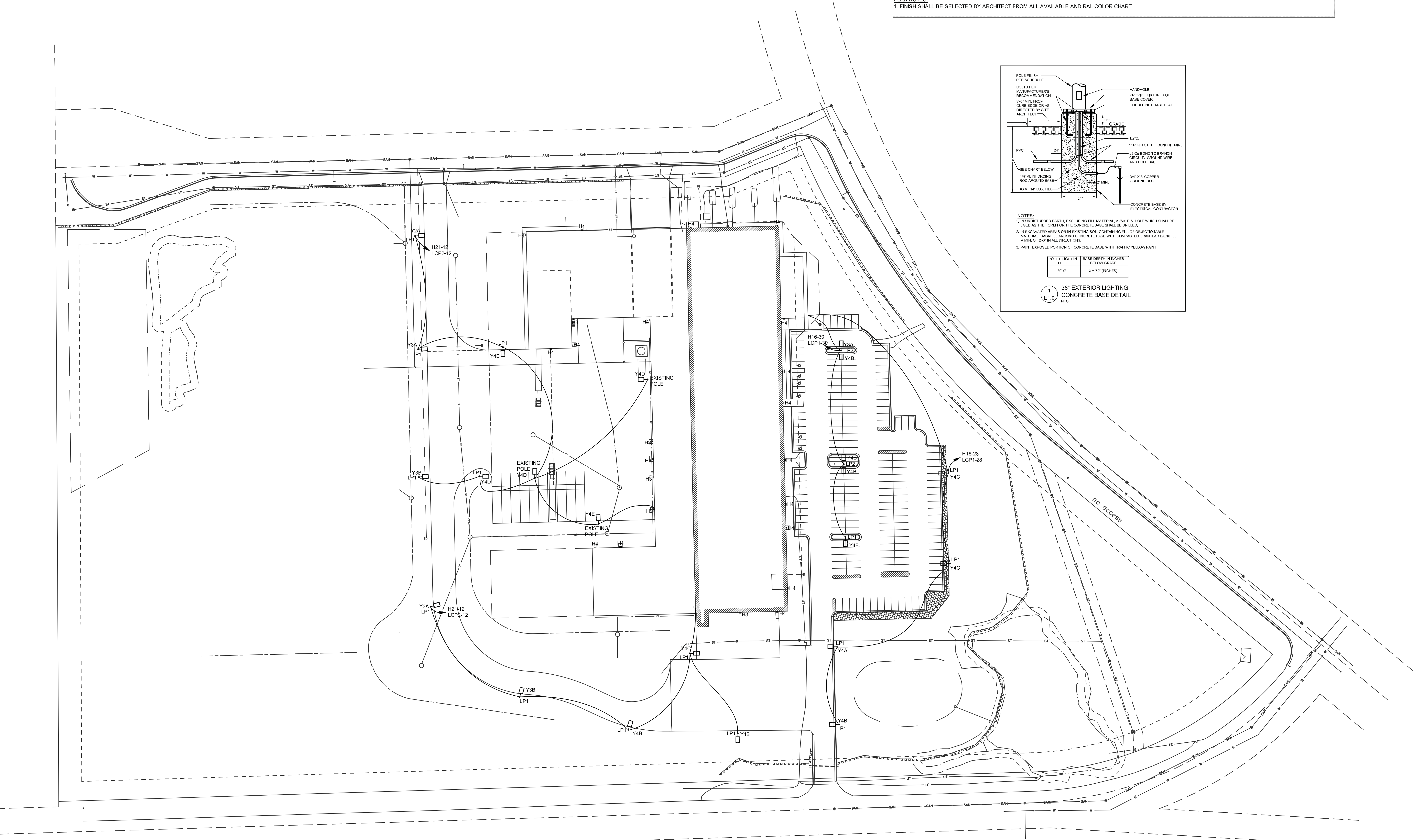
Sheet Title  
EXISTING SITE  
PLAN  
-ELECTRICAL

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING.  
0 1"

Sheet Number

E1.0

| SITE FIXTURE SCHEDULE                                                                           |                                                              |                |           |               |                         |
|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------|----------------|-----------|---------------|-------------------------|
| TYPE                                                                                            | DESCRIPTION                                                  | LAMP TYPE      | LAMP QTY. | MANUFACTURER  | CATALOG NUMBER          |
| H3                                                                                              | EXTERIOR LED WALL PACK - TYPE III DISTRIBUTION               | 51W LED/4000K  | W/ UNIT   | McGRAW-EDISON | IST-E01-LED-E1-BL3-XX   |
| H4                                                                                              | EXTERIOR LED WALL PACK - TYPE IV DISTRIBUTION                | 51W LED/4000K  | W/ UNIT   | McGRAW-EDISON | IST-E01-LED-E1-BL4-XX   |
| Y2A                                                                                             | LED AREA FIXTURE - TYPE II W/ SPILL CONTROL - LIGHT LEVEL 2  | 107W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-02-LED-E1-SL2  |
| Y3A                                                                                             | LED AREA FIXTURE - TYPE III W/ SPILL CONTROL - LIGHT LEVEL 1 | 56W LED/4000K  | W/ UNIT   | McGRAW-EDISON | GLEON-AE-01-LED-E1-SL3  |
| Y3B                                                                                             | LED AREA FIXTURE - TYPE III W/ SPILL CONTROL - LIGHT LEVEL 2 | 107W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-02-LED-E1-SL3  |
| Y4A                                                                                             | LED AREA FIXTURE - TYPE IV W/ SPILL CONTROL - LIGHT LEVEL 1  | 56W LED/4000K  | W/ UNIT   | McGRAW-EDISON | GLEON-AE-01-LED-E1-SL4  |
| Y4B                                                                                             | LED AREA FIXTURE - TYPE IV W/ SPILL CONTROL - LIGHT LEVEL 2  | 107W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-02-LED-E1-SL4  |
| Y4C                                                                                             | LED AREA FIXTURE - TYPE IV FORWARD THROW - LIGHT LEVEL 2     | 107W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-02-LED-E1-T4FT |
| Y4D                                                                                             | LED AREA FIXTURE - TYPE IV W/ SPILL CONTROL - LIGHT LEVEL 3  | 157W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-03-LED-E1-SL4  |
| Y4E                                                                                             | LED AREA FIXTURE - TYPE IV FORWARD THROW - LIGHT LEVEL 3     | 157W LED/4000K | W/ UNIT   | McGRAW-EDISON | GLEON-AE-03-LED-E1-T4FT |
| LP1                                                                                             | 30' STRAIGHT SQUARE STEEL 5" POLE - SINGLE                   | -              | -         | COOPER        | SSSSM30S-XN-1           |
| LP2                                                                                             | 30' STRAIGHT SQUARE STEEL 5" POLE - DOUBLE @ 180°            | -              | -         | COOPER        | SSSSM30S-XN-2           |
| GENERAL NOTES:<br>1. ALL POLE MOUNTED FIXTURES SHALL BE SAME FINISH.                            |                                                              |                |           |               |                         |
| PLAN NOTES:<br>1. FINISH SHALL BE SELECTED BY ARCHITECT FROM ALL AVAILABLE AND RAL COLOR CHART. |                                                              |                |           |               |                         |







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PERRY WAT FOODS | ADDITIONS AND ALTERATIONS  
**JOHNSONVILLE SAUSAGE, LLC**  
1222 PERRY WAY, WATERTOWN, WISCONSIN 53094  
1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N. VEL R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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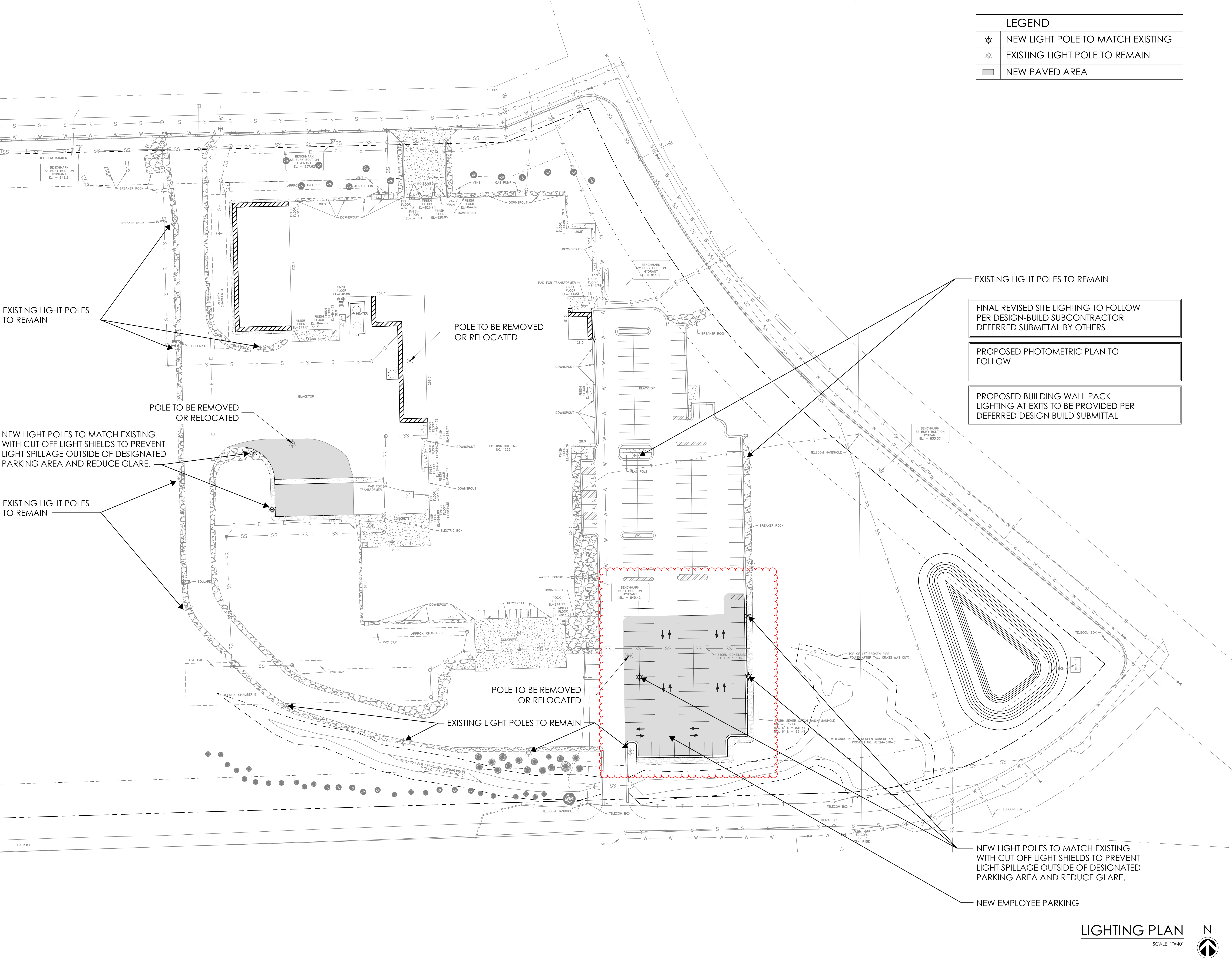
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PROPOSED  
SITE LIGHTING  
PLAN

**A  
207**

PROJ. NO. 2024-110

| LEGEND |                                  |
|--------|----------------------------------|
|        | NEW LIGHT POLE TO MATCH EXISTING |
|        | EXISTING LIGHT POLE TO REMAIN    |
|        | NEW PAVED AREA                   |



EXISTING LIGHT POLES TO REMAIN

FINAL REVISED SITE LIGHTING TO FOLLOW  
PER DESIGN-BUILD SUBCONTRACTOR  
DEFERRED SUBMITTAL BY OTHERS

PROPOSED PHOTOMETRIC PLAN TO  
FOLLOW

PROPOSED BUILDING WALL PACK  
LIGHTING AT EXITS TO BE PROVIDED PER  
DEFERRED DESIGN BUILD SUBMITTAL

NEW LIGHT POLES TO MATCH EXISTING  
WITH CUT OFF LIGHT SHIELDS TO PREVENT  
LIGHT SPILLAGE OUTSIDE OF DESIGNATED  
PARKING AREA AND REDUCE GLARE.

NEW EMPLOYEE PARKING

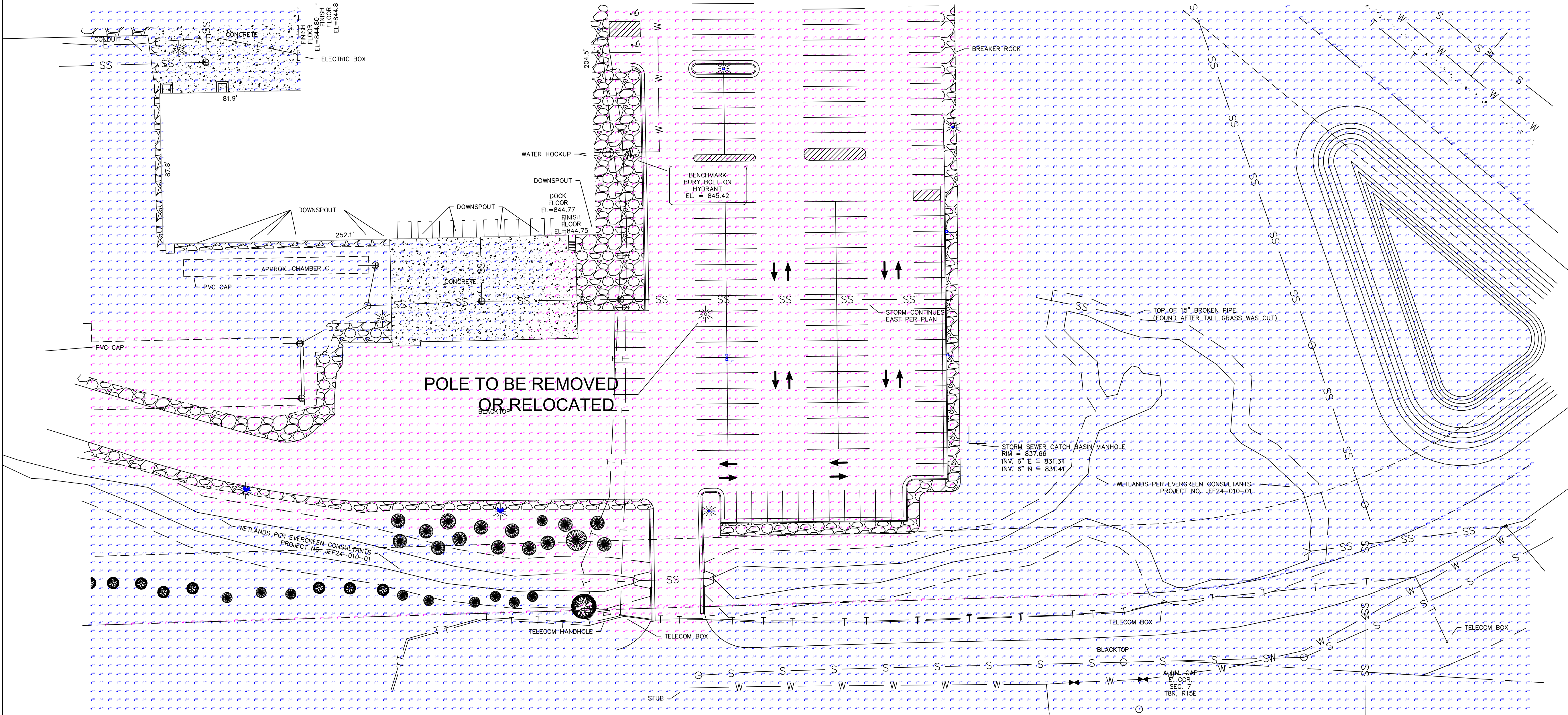
**LIGHTING PLAN**  
SCALE: 1"=40'





NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
  - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
  - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



| Schedule |       |     |                   |                                                                    |             |      |             |
|----------|-------|-----|-------------------|--------------------------------------------------------------------|-------------|------|-------------|
| Symbol   | Label | QTY | Manufacturer      | Catalog                                                            | Lamp Output | LLF  | Input Power |
|          | OA4   | 2   | Lithonia Lighting | DSX1 LED P4 XXK XXCRI T4M XXXX + 25 FT POLE (ASSUMES 3FT BASE)     | 14930       | 0.95 | 123.94      |
|          | OA5   | 1   | Lithonia Lighting | (2) DSX1 LED P4 XXK XXCRI T5W XXXX + 25 FT POLE (ASSUMES 3FT BASE) | 15610       | 0.95 | 247.88      |

| Statistics                     |        |         |         |         |         |         |
|--------------------------------|--------|---------|---------|---------|---------|---------|
| Description                    | Symbol | Avg     | Max     | Min     | Max/Min | Avg/Min |
| New Parking and Drive_At Grade |        | 1.38 fc | 2.60 fc | 0.37 fc | 7.0:1   | 3.7:1   |
| S Property Line_At Grade       |        | 0.04 fc | 0.46 fc | 0.00 fc | N/A     | N/A     |
| E Property Line_At Grade       |        | 0.02 fc | 0.19 fc | 0.00 fc | N/A     | N/A     |

PROPOSED  
SITE LIGHTING  
PHOTMETRIC PLAN

A  
207A

COMMENTS

DATE

#

REVISIONS

DRAWN BY : CAS

FEBRUARY 17, 2025

SCALE : 1/32" = 1'-0"

JOHNSONVILLE SAUSAGE

WATERTOWN, WI

EXTERIOR LAYOUT





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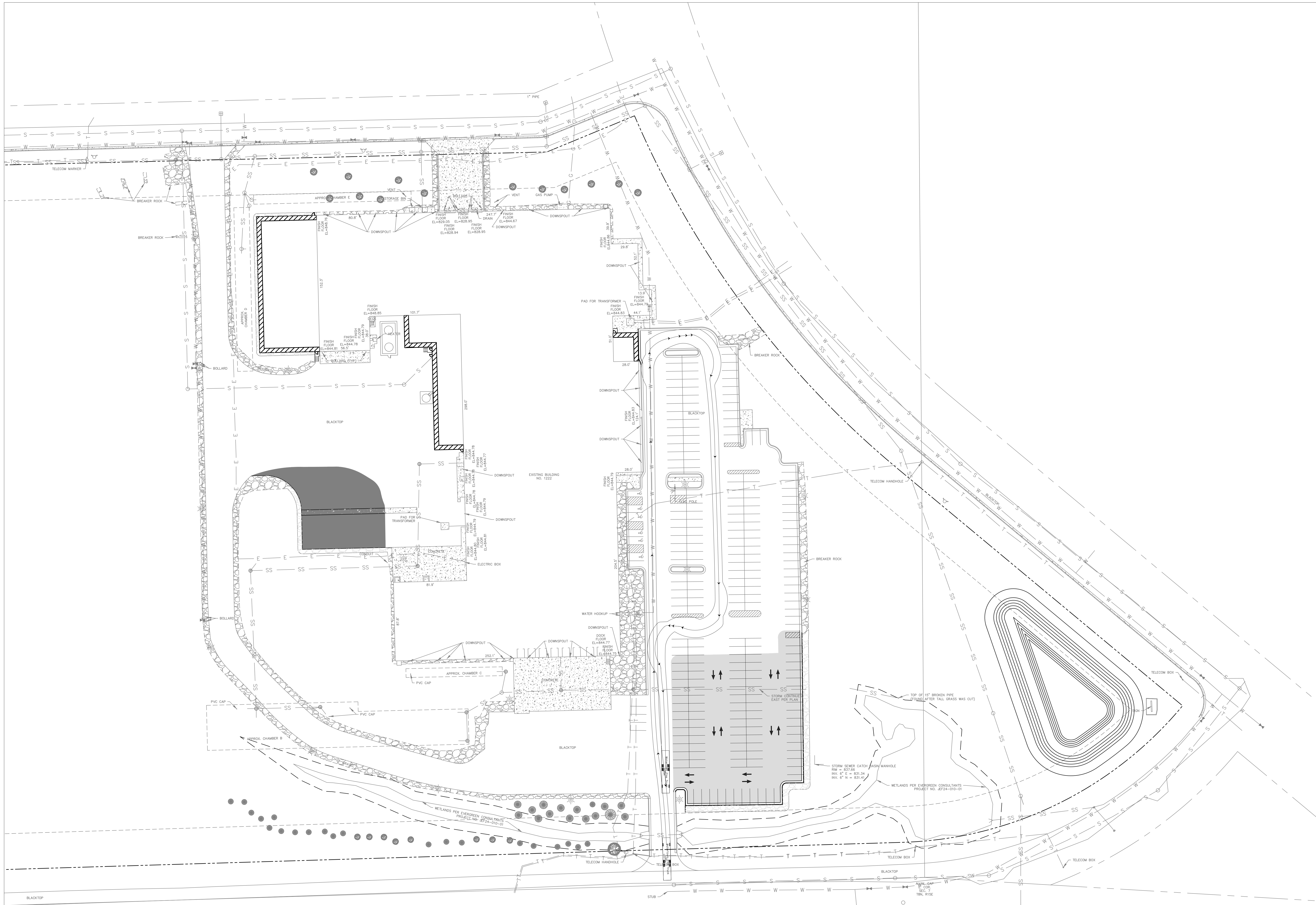
TRUCK TURN PLAN

A  
208

PROJ. NO. 2024-110

TRUCK TURN PLAN

SCALE: 1"=40'





PROJECT #: 3319-25  
DATE: 10 FEBRUARY 2025  
12 FEBRUARY 2025

SCALE: 1" = 40' - 0"  
PAGES: 1 OF 1  
DRAWN BY:  
K. BAHRIS #336-14

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LANDSCAPE PLAN FOR:

ISSUE DATE: FEBRUARY 17, 2025  
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LANDSCAPE PLAN

L  
101

PROJ. NO. 2024-110

## LANDSCAPE PLANT SCHEDULE

| KEY                        | BOTANICAL NAME            | COMMON NAME  | QTY | SIZE | R.C. | MATURE HT. | WD. | FRUIT COLOR | TYPE  | POINTS PER PLANT | POINTS TOTAL |
|----------------------------|---------------------------|--------------|-----|------|------|------------|-----|-------------|-------|------------------|--------------|
| <b>BUILDING FOUNDATION</b> |                           |              |     |      |      |            |     |             |       |                  |              |
| A                          | Cercidiphyllum Japonicum  | Katsuratree  | 7   | 2"   | B&B  | 40'        | 20' | berry       | br    | 7@15 points      | 105          |
| B                          | Cercidiphyllum Japonicum  | Katsuratree  | 3   | 2"   | B&B  | 40'        | 20' | berry       | br    | 3@15 points      | 45           |
| <b>TOTAL</b>               |                           |              |     |      |      |            |     |             |       |                  | <b>150</b>   |
| <b>PAVED AREA</b>          |                           |              |     |      |      |            |     |             |       |                  |              |
| C                          | Ginkgo biloba             | Ginkgo       | 3   | 3"   | B&B  | 50'        | 50' | no fruit    |       | 3@75 points      | 225          |
| <b>TOTAL</b>               |                           |              |     |      |      |            |     |             |       |                  | <b>225</b>   |
| <b>DEVELOPED LOTS</b>      |                           |              |     |      |      |            |     |             |       |                  |              |
| D                          | Spiraea betulifolia 'Tor' | Tor Spiraea  | 13  | 18"  | cont | 3'         | 3'  | capsul      | brown | 13@1 point       | 13           |
| E                          | Cercidiphyllum Japonicum  | Katsuratree  | 1   | 2"   | B&B  | 40'        | 20' | berry       | br    | 1@15 points      | 15           |
| F                          | Acer x freemanii          | Autumn Blaze | 2   | 3"   | B&B  | 40'        | 40' | samara      | tan   | 2@30 points      | 60           |
| <b>TOTAL</b>               |                           |              |     |      |      |            |     |             |       |                  | <b>88</b>    |
| G                          | Picea Glauca              | White Spruce | 3   | 6"   | B&B  | 50'        | 30' | tan         | cone  | 3@30 points      | 90           |

### LANDSCAPING POINT REQUIREMENTS

ZONING CLASSIFICATION: Heavy Industrial (HI)

#### 1. Landscaping Requirements for Building Foundations

20 points per 100 linear feet of building foundation

Addition A 286 L.F.

Addition B 215 L.F.

Addition C 60 L.F.

TOTALS 561 L.F.

#### 2. Landscaping requirements for Paved Area

20 points per 1,000 square feet of gross floor area

TOTAL 24,650 S.F.

#### 3. Landscape requirements for Developed Areas

5 points per 1,000 square feet of building area

Addition A 10184 S.F.

Addition B 6444 S.F.

Addition C 2432 S.F.

TOTALS 17525 S.F.

#### DETENTION BASIN-BIOSWALE SEED MIX

This mix is designed for planting in basins that are flooded for 24-48 hours, and then drain dry. This mix is particularly well adapted to loamy and clay soils. The species in this mix grow naturally in medium-moist prairies, making them the perfect for temporarily flooded areas that also dry out in summer. This mix is designed by Prairie nursery

#### Wildflowers

Nodding pink Onion

Red Milkweed

New England aster

White false indigo

Pale Indian Plantain

Wild Senna

Canada Tick Trefoil

Joe Pye Weed

Boneset

Dogtooth Daisy

Ox Eye Sunflower

Wild Iris

Blue Flag Iris

Prairie Blazingstar

Dense Blazingstar

Great Blue Lobelia

Bergamot

Yellow Coneflower

Black Eyed Susan

Sweet Black Eyed Susan

Brown eyed Susan

Rosinweed

#### Grasses

Big Bluestem

Bebb's Sedge

Bottlebrush Sedge

Porcupine Sedge

Awl Fruited Sedge

Fox Sedge

Canada Wild Rye

Virginia Wild Rye

Switchgrass

Dark Green Bulrush

Indiangrass

Prairie Cordgrass

Annual Rye

### Plan Key

Key  
Landscape Plant Schedule

Quantity

Trees

Shrubs

AMERICAN WAY

NEW ADDITION

NEW ADDITION

JOHNSONVILLE SAUSAGE

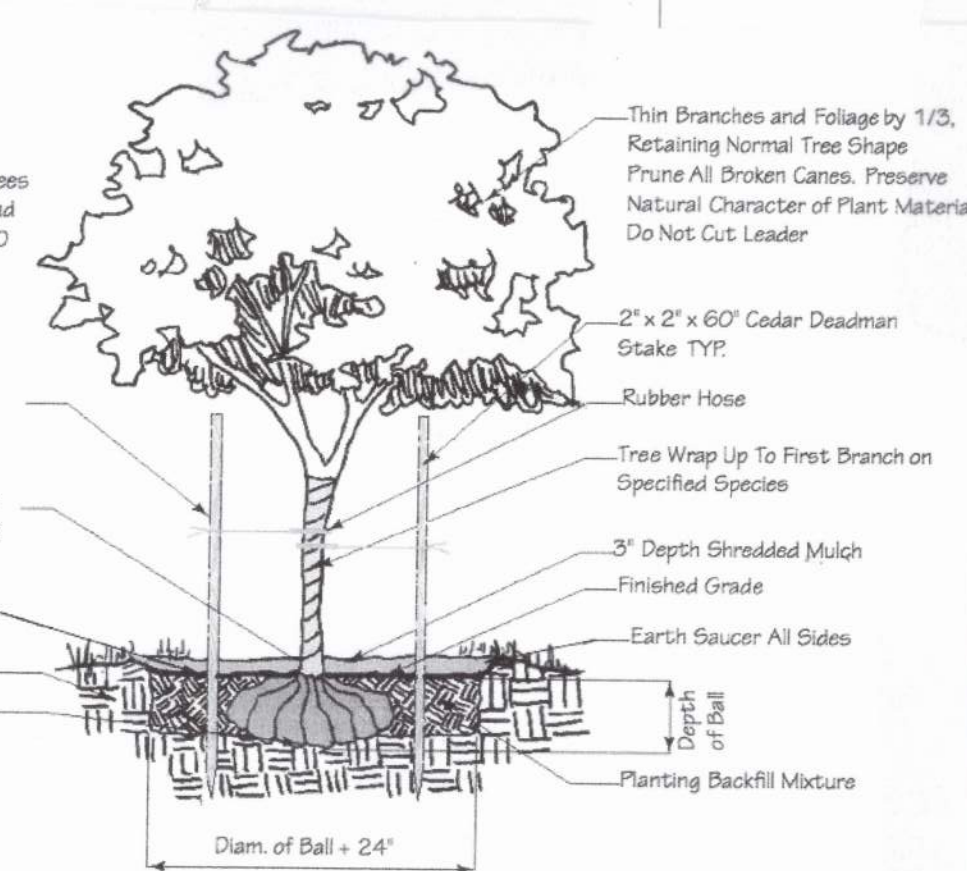
NEW ADDITION

STD. TREE PLANTING

NOTE:

Use 3 Deadman Guye on Trees  
Where Wind Conditions and  
Exposure Warrant at 120  
Degree Intervals

Guywire Double Stranded 14  
Gauge Galvanized Wire Twisted  
Together  
Remove Burlap from Top 1/3 of  
Ball Cover of Root Ball 3" Above  
Finished Grade  
Weed Barrier  
Undisturbed Soil  
Set Ball to Prevent Rocking



Thin Branches and Foliage by 1/3,  
Retaining Normal Tree Shape  
Prune All Broken Canes. Preserve  
Natural Character of Plant Material.  
Do Not Cut Leader

2" x 2" x 60" Cedar Deadman  
Stake TYP.

Rubber Hose

Tree Wrap Up To First Branch on  
Specified Species

3" Depth Shredded Mulch

Finished Grade

Earth Saucer All Sides

Planting Backfill Mixture

Diam of Ball = 24"

### LANDSCAPING POINT REQUIREMENTS

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Addition B 215 L.F.

Addition C 60 L.F.

TOTALS 561 L.F.

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TOTAL 24,650 S.F.

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Addition B 6444 S.F.

Addition C 2432 S.F.

TOTALS 17525 S.F.

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Porcupine Sedge

Awl Fruited Sedge

Fox Sedge

Canada Wild Rye

Virginia Wild Rye

Switchgrass

Dark Green Bulrush

Indiangrass

Prairie Cordgrass

Annual Rye

### Plan Notes

- Field Verify all dimensions, elevations and grades in the field.
- Patio to be concrete and installed by the sidewalk contractor.
- Turf to be in areas as shown.
- Install plants at the correct elevation and according to the specifications.
- All plantings away from the building to be mulched with twice-shredded hardwood. Color as dark as possible. Apply 4" thick.
- Areas around the building to have a 2" stone mulch area where there is no hard surfaces.
- All plantings near the building to be installed in stone mulch. Apply 3/4" in size, 2" thick over weed barrier.
- See specifications for fence installation.
- Seed bio-retention pond with seed mixture specified for this area.
- Seed sloped areas with No-mow grass seed as specified.
- Seed mowed areas with turf specification.
- Seed areas outside the bio-retention pond with prairie specification.
- See landscape and perennial schedule for the trees, shrubs, evergreens and perennials to be installed.

## LANDSCAPE PLAN

SCALE: 1" = 40' - 0"

PERRY WAY

NORTH

EXISTING TREES TO BE  
REMOVED AND TRANSPORTED  
TO LOCATION SHOWN

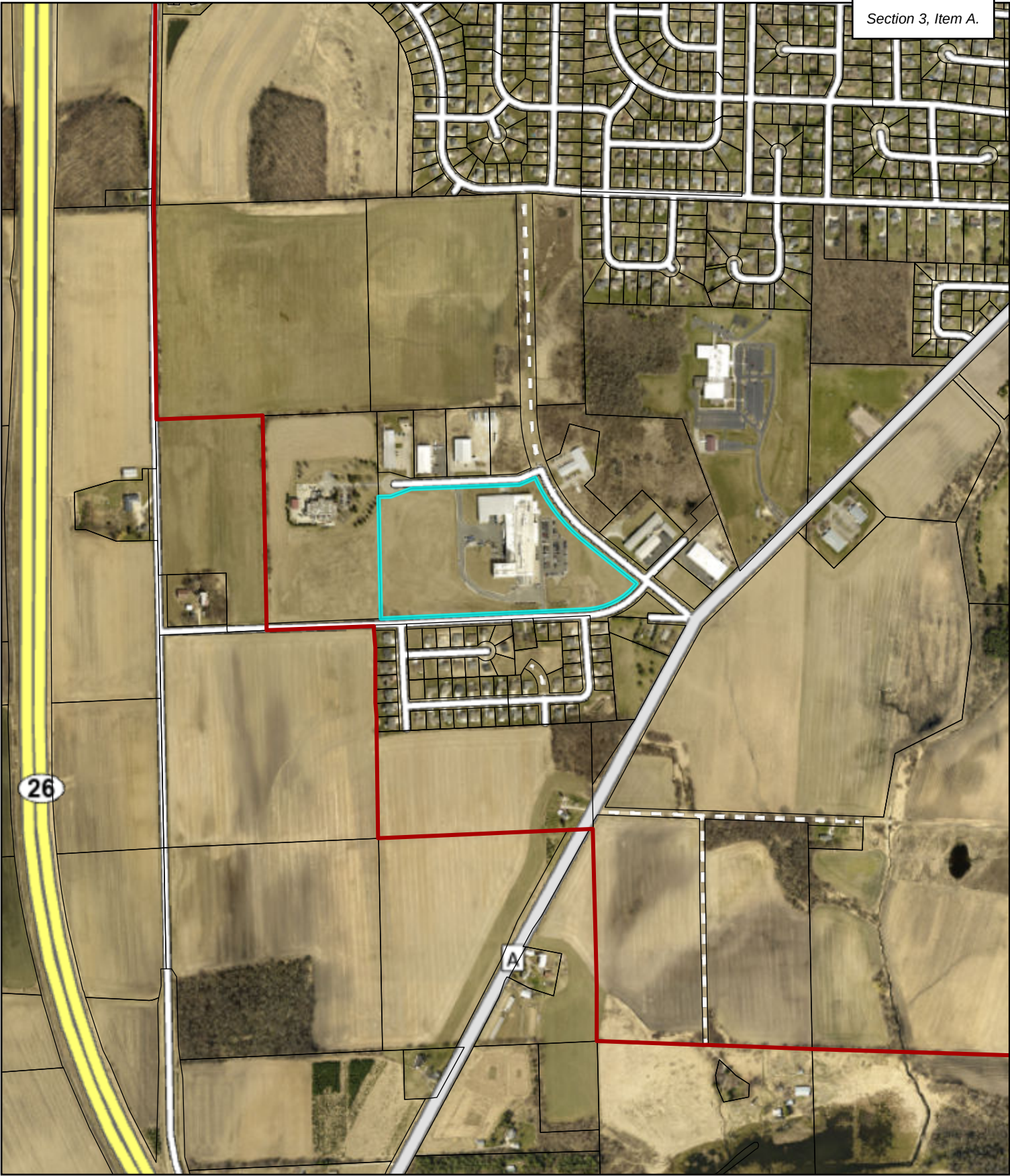
REPLACE ANY PLANTS  
THAT CANNOT BE  
TRANSPORTED

LANDSCAPE  
ARCHITECT

Kelly's  
Landscape  
Design

920-918-2613 (cell)  
Website: kellyslandscape  
design.com  
E-mail: kellyslandscape  
design@yahoo.com





City Boundary

Parcel Boundary



THE CITY OF

**WATERTOWN**

Opportunity runs through it.

**City of Watertown Geographic Information System**

Scale: 1:9,504      Printed on: February 2024  
SCALE BAR = 1"      Author: [Redacted]

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

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Brief Description of proposed project:

Café Remodel at 120 W Main St.

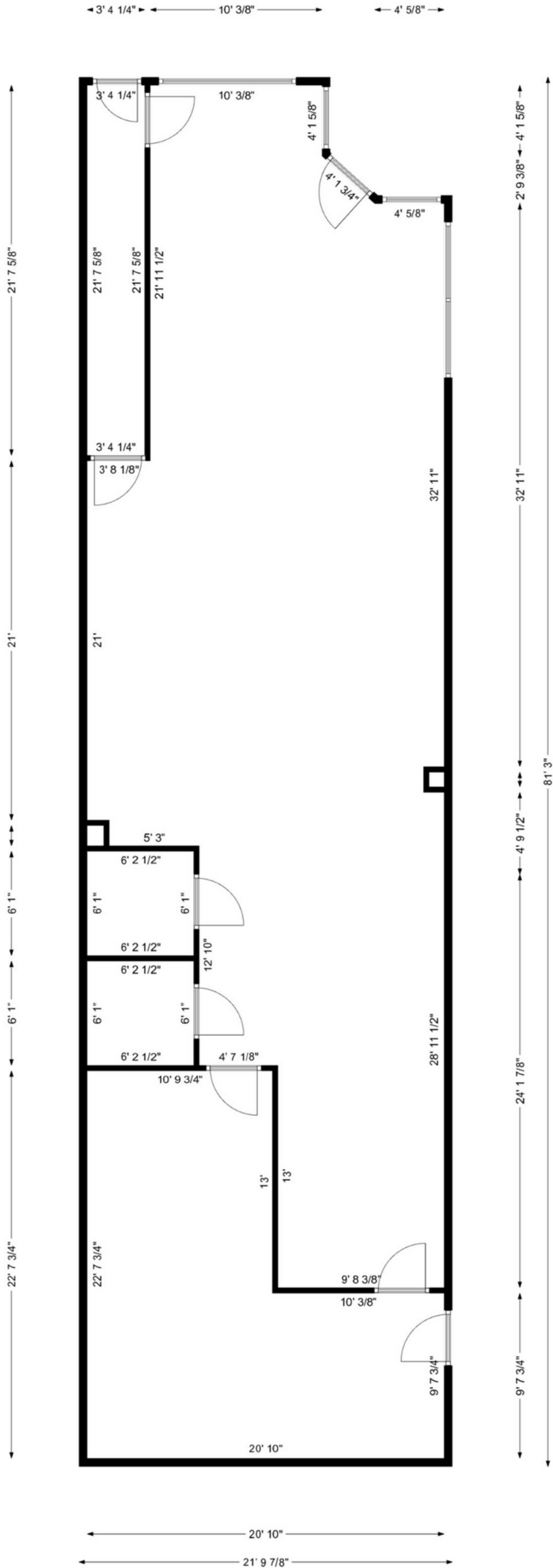
Existing first floor modifications to allow for Acai/Smoothie Bowl and Coffee Café. Remodeling will not affect construction, electrical, HVAC or plumbing of second floor apartments. Remodeling will not affect load-bearing walls (only loadbearing walls are exterior walls). Will be adding 10ft interior walls (ceiling is 14 ft) to create a second room and keeping footprint of backroom as is. Bathroom construction/layout will stay as is or modified per Food/Health/ADA inspection if needed. Will be adding a bulkhead to cover ceiling pipes in front east corner and a serving bar. Will extend run of current existing ceiling-hung furnace vent with a spiral down middle of building at ceiling height. Electrical and plumbing modifications needed to support food business. Only hot food served will be done with panini press.

Thanks,  
Will Wendorff  
414-610-3311

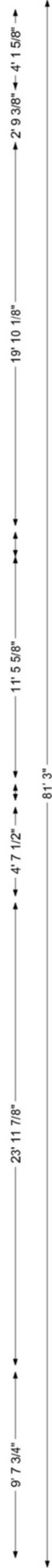
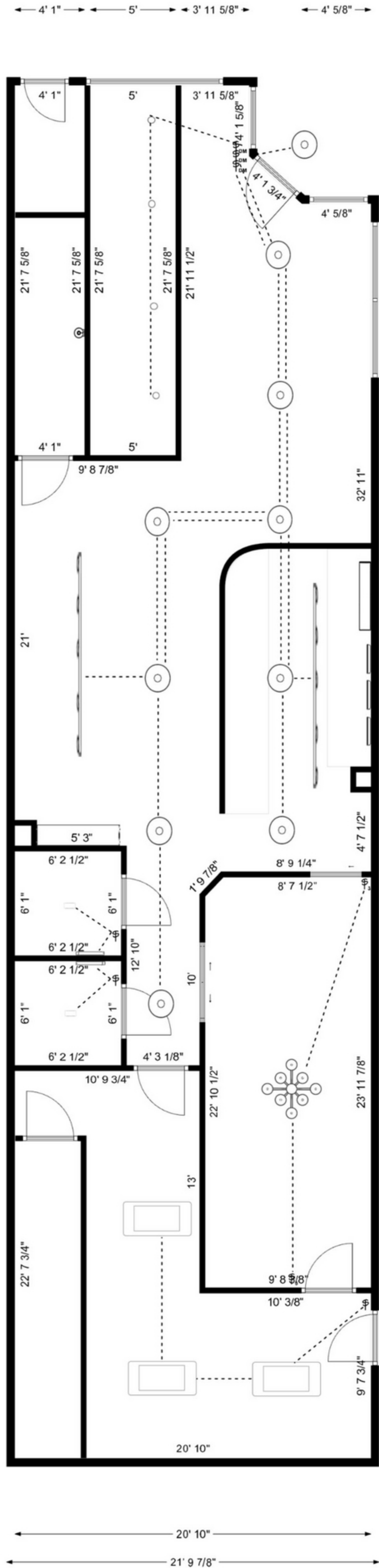
















February 17, 2025

City of Watertown

Building, Safety & Zoning

ATTN: Brian Zirbes, Zoning Administrator

RE: City of Watertown site Plan Review and Approval Application  
Proposed Parking Lot at 300 South 3<sup>rd</sup> Street, Watertown, Wisconsin

Dear Mr Zirbes,

Please accept the attached graphic support material and the following written description of the intended use for our Site Plan Approval Application Submittal Packet.

1. Existing zoning district:
  - a. **Central Business District**
2. Land use plan map designation(s).
  - a. **Per Table of Land Use – Transportation Uses (550-54) – A. Off-Site Parking Lot is permitted use within the Central Business District (CB).**
3. Current land uses present on the subject property:
  - a. **Prior to building razing, the lot had a small commercial building.**
  - b. **The site is currently cleared of all structures and has a level grade with gravel.**
4. Proposed land uses for the subject property (per Chapter 550, Article IV):
  - a. **Parking Lot for patrons of Los Perez grocery store located at South 3<sup>rd</sup> Street.**
5. Projected number of residents, employees, and daily customers.
  - a. **Thirteen parking stalls – estimated daily customers is (200).**
6. Proposed amount of:
  - a. **impervious surface area: 4,537 sf**
  - b. **landscape surface area: 631 sf**



- c. **impervious surface area ratio: 88 %**
- d. **landscape surface area ratio: 12 %**
- 7. Operational considerations relating to:
  - a. hours of operation
    - i. **Existing grocery store hours: 8:30 am to 9:00 pm**
  - b. projected normal and peak traffic generation
    - i. **Peak traffic is between 3:00 pm and 6:00 pm**
- 8. Operational considerations relating to potential nuisance creating pertaining to noncompliance with the performance standards addressed in Article XI: Performance Standards.
  - a. **No anticipated nuisances with the proposed development. The proposed development shall comply with all requirements of Article XI.**
  - b. **Note - Proposed parking lot lighting will be on timer and correlate to store hours.**
- 9. Exterior building and fencing materials (Sections § 550-121 & § 550-123).
  - a. **The proposed fencing will be wood, cedar boards.**
- 10. Possible future expansion and related implications for the points above.
  - a. **There is no plan to extend the existing store's hours of operation.**
- 11. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
  - a. **It is the intent of the proposed project to follow all City ordinances.**
  - b. **It is also the intent of the Architect/Engineer firm to submit detailed documentation to meet the City's approval process.**

If you have any questions or need further information, please contact me at (608) 445-9594 or [chris@icsarc.com](mailto:chris@icsarc.com).

Thank You,



**Chris A. Oddo, AIA**

Principal

InSite Consulting Architects, LLC

ATTACHMENTS:

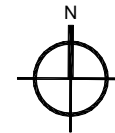


InSite Architects



**Proposed New Parking Lot**  
- 13 New Parking Stalls

Existing Grocery Store  
- 6 Existing Parking Stalls



**PROPOSED PARKING LOT**

**300 South 3<sup>rd</sup> Street**



InSite Architects



EXISTING LOT – PHOTO FROM NORTH-EAST CORNER



InSite Architects



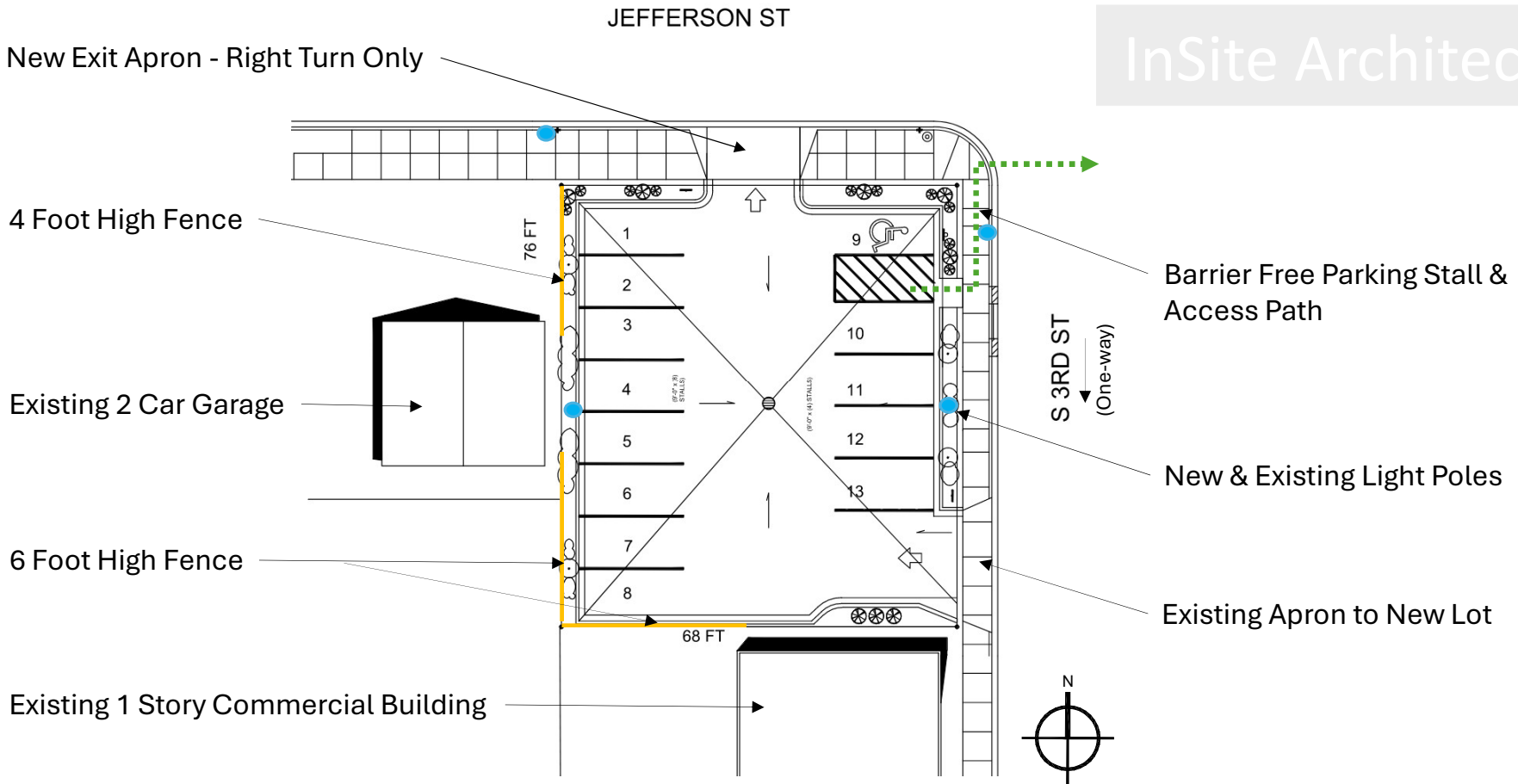
EXISTING LOT – PHOTO FROM NORTH-EAST CORNER





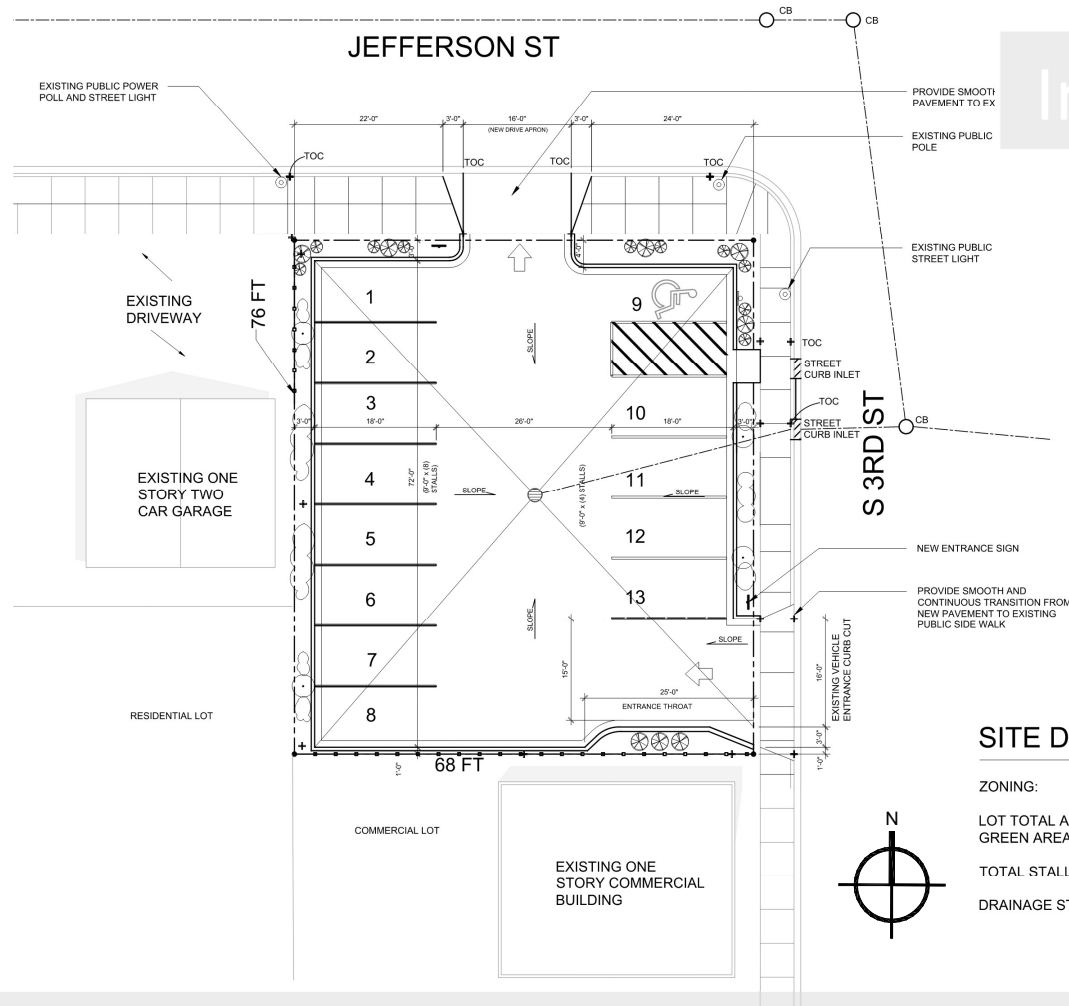
EXISTING LOT – PHOTO FROM NORTH-EAST CORNER





## PROPOSED PARKING LOT LAYOUT





## SITE DATA

|                        |                           |
|------------------------|---------------------------|
| ZONING:                | CENTRAL BUSINESS DISTRICT |
| LOT TOTAL AREA :       | 5,168 S.F.                |
| GREEN AREA:            | 631 S.F.                  |
| TOTAL STALLS PROVIDED: | (13)                      |
| DRAINAGE STANDARDS:    | 550-120                   |

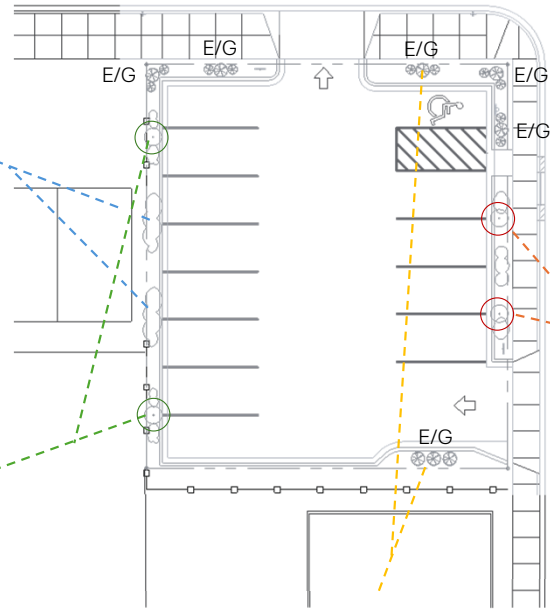
# PROPOSED PARKING LOT LAYOUT



InSite Architects



JEFFERSON ST



A DWARF ARBORVITAE BUSH

B RIVER BIRCH TREE

C DWARF ENGLISH BOXWOOD

D GOLDEN MOCK ORANGE

E WEIGELA RED PRINCE

F BUTTERSCOTCH JAPANESE MAPLE

ALL PLANTING ALIGNS WITH CITY OF WATERTOWN ORDINANCE 550-95: LANDSCAPING POINTS AND MINIMUM INSTALLATION SIZES

# LANDSCAPE PROPOSAL





InSite Consulting Architects  
744 William Street / Suite 101  
Madison, Wisconsin 53703  
608-204-0825  
608-531-1533 (fax)  
info@iscarc.com

LOS PEREZ - PROPOSED PARKING LOT PROJECT  
300 S 3RD ST.  
WATERTOWN, WI 53094

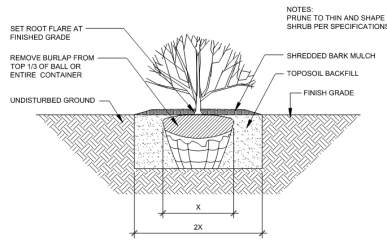
NOTE: ALL DIMENSIONS GIVEN  
SHALL BE CONSIDERED TO BE  
"A.F.F." OR VERIFY-IN-FIELD

24-11-01

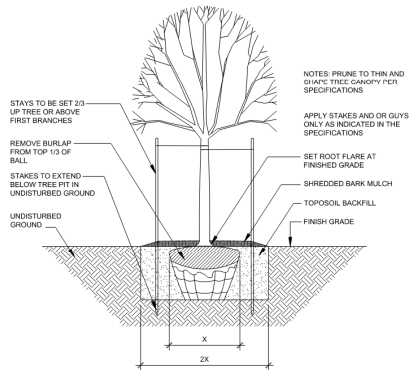
LANDSCAPE PLAN  
& DETAILS

L1.1

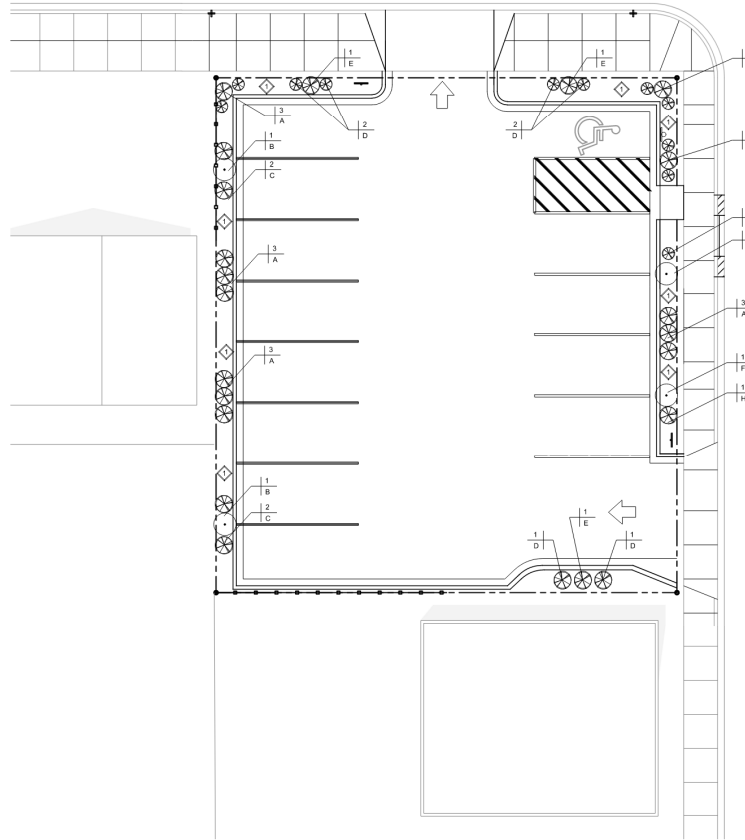
## JEFFERSON ST



3 SHRUB PLANTING  
SCALE: 1/2" = 1'-0"



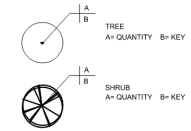
2 TREE PLANTING  
SCALE: 1/2" = 1'-0"



1 LANDSCAPE PLAN  
SCALE: 1/8"=1'-0" (22x34)

| LANDSCAPE PLANTINGS |                               |      |      |
|---------------------|-------------------------------|------|------|
| KEY                 | COMMON NAME<br>BOTANICAL NAME | QTY. | SIZE |
| A                   | DWARF ARBORVITAE BUSH         | 6    | #2   |
| B                   | RIVER BIRCH TREE              | 2    | #3   |
| C                   | DWARF ENGLISH BOXWOOD         | 4    | #1   |
| D                   | GOLDEN MOCK ORANGE            | 4    | #2   |
| E                   | WEIGELA RED PRINCE            | 2    | #4   |
| F                   | BUTTERSCOTCH JAPANESE MAPLE   | 4    | #2   |

### SYMBOLS:



### LANDSCAPE PLAN NOTES:

- ALL SHRUB BEDS, PERENNIAL / GROUND COVER BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 3" SHREDDED HARDWOOD BARK MULCH.
- OWNER TO PROVIDE AND INSTALL ALL PLANTS AND MULCH.

### SPECIFIC PLAN NOTES:

- PROVIDE NEW LANDSCAPE BED WITH GROUND COVER (MULCH OVER TOP SOIL - OWNER TO PROVIDE AND INSTALL MULCH) IN ENTIRE PLANT BED AREA.

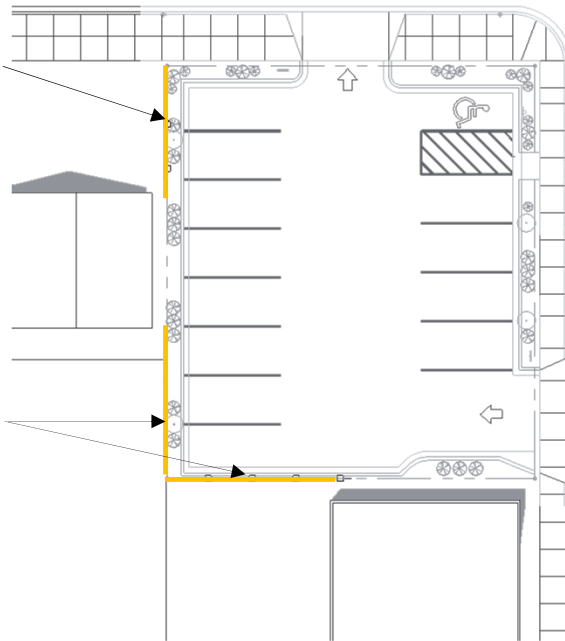


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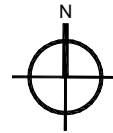


4 Foot High Wood Fence

6 Foot High Wood Fence



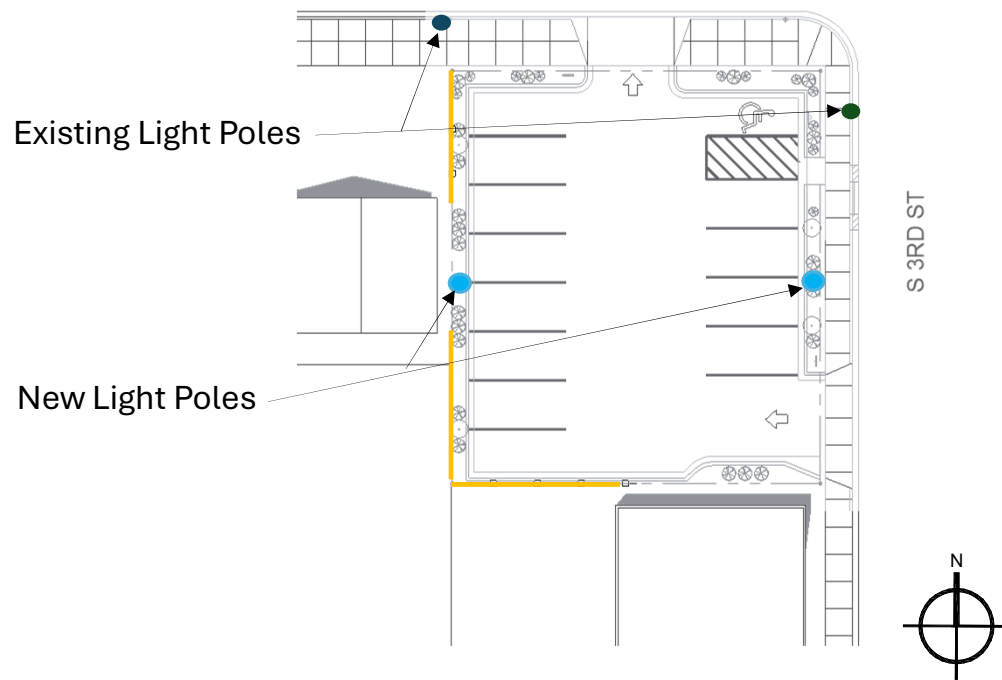
S 3RD ST



PROPOSED FENCE



InSite Architects

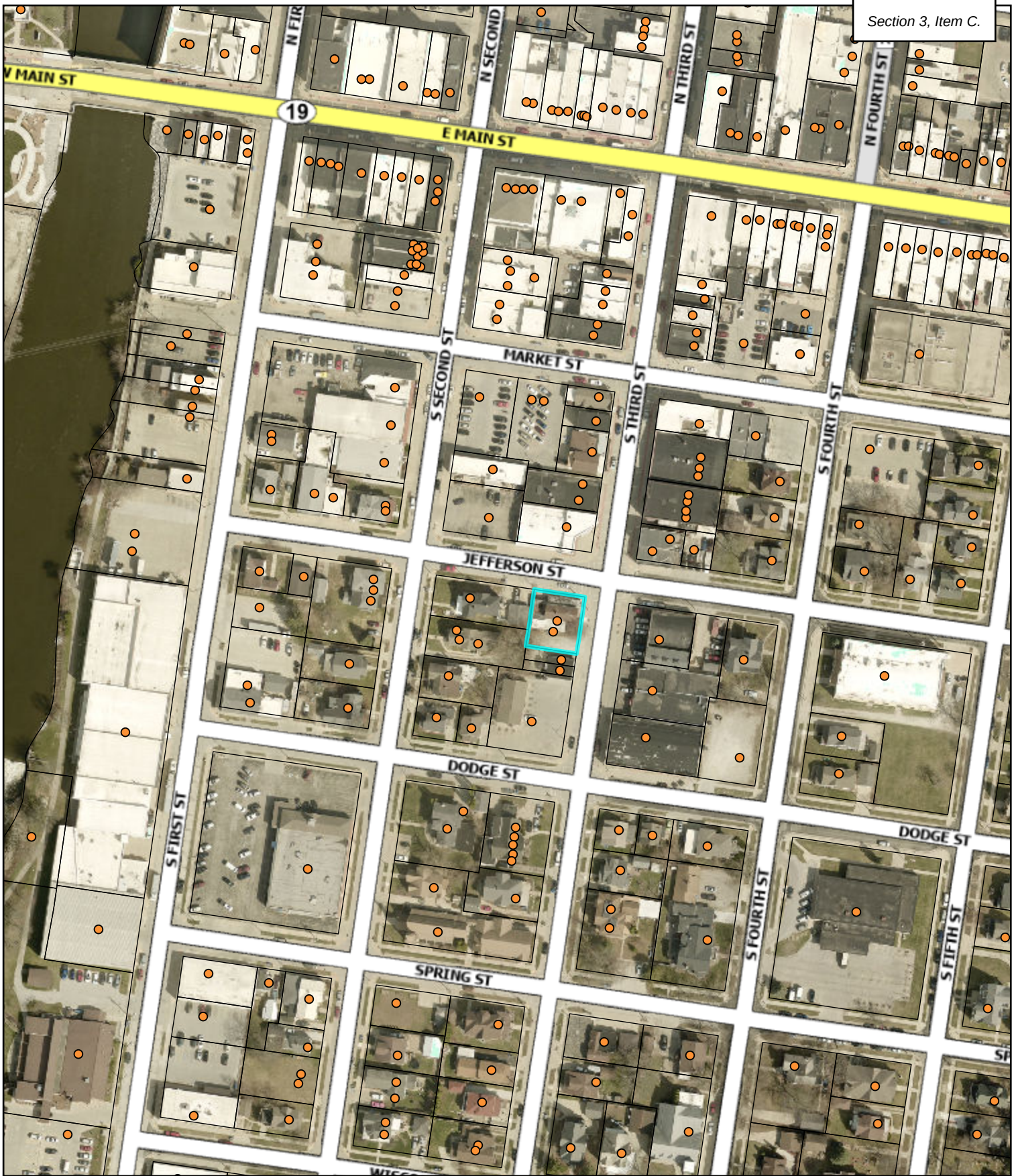


550-110 Exterior Lighting Standards



## PROPOSED & EXISTING LIGHT POLES & FIXTURES





City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

Scale: 1:2,057

SCALE BAR = 1"

Printed on: February  
Author:

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DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.