SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, AUGUST 11, 2025 AT 1:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET, WATERTOWN, WI 53094

Virtual Meeting
Info: https://us06web.zoom.us/j/2371460557?pwd=BEMd9xKvRtdIbBE9BaUKWV9kCbr96e.1&omn=86988322146 or call 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 53098

All public participants' phones will be muted during the meeting except during the public comment period.

1. **CALL TO ORDER**
2. **APPROVAL OF MINUTES**
   A. Review and take action: Site Plan Review minutes dated June 23, 2025
3. **BUSINESS**
   A. Review site plan and take action: 421 Water Tower Court office remodel and warehouse addition
4. **ADJOURNMENT**

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
June 23, 2025

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Mike Jacek – Building Safety & Zoning, Tanya Reynen – Fire Department, Mike Zitelman – Water/Wastewater Departments, Nathan Williams – Engineering, Andrew Beyer – Engineering, Stacy Winkelman – Streets & Solid Waste, Jon Caucutt – Police Department.

Also in attendance were Nikki Zimmerman of Building Safety & Zoning, Manager of Economic Development and Strategic Initiatives Mason Becker, Sonia Merkt, Chris Oddo, Angela Brzowski, Bob Wolf, Jim Becker, Mario Perez Rivera, and Alondra Perez.

1. **Call to Order**
   The meeting was called to order by Chairperson Brian Zirbes.

2. **Approval of Minutes**
   A. **Review and take action: Site Plan Review Minutes Dated June 9, 2025**
   Nathan Williams noted there is an error in Item 3B whereas it states that Mike Jacek made and seconded the motion. This will be corrected to read "Motion was made and seconded". Motion was made by Mike Zitelman and seconded by Tanya Reynen to approve the minutes with the revision of the motion. Unanimously approved.

3. **Business**
   A. **Review and take action: 309 S. Third Street site plan review for proposed new kitchen and exterior storefront**
   Chris Oddo of Insite Consulting Architects was present to explain the project. This is for an existing restaurant/grocery store. The desire is to replace the paneling with metal paneling and clearer, larger signage. The kitchen will be made larger by using a storage area off the kitchen.

   The following was presented by staff:

Fire:	The NFPA 1 Code should be followed. Questions on the hood system were answered. Will connect to discuss additional items that will be needed. Also, the address numbers shall be placed on the building front no less than 4" in height or 1" in height for every 10 feet from the center of the roadway, whichever is greater.
Building:	Regarding the size of the signage, touch base with staff to verify it matches code.
Police:	No comments.
Mayor:	No comments.
Stormwater:	No comments.
Engineering:	No comments.
Zoning:	No comments.
Parks & Rec:	Absent.
Water/Wastewater:	Would like additional information on the containment for the grease waste. This will be forwarded.
Streets/Solid Waste:	No comments.

   Motion made by Tanyra Reynen, seconded by Mike Jacek, to approve this item contingent upon the Fire Department and Water/Wastewater requirements. Unanimously approved.

   B. **Review and take action: 110 S. Church Street site plan review for St. Bernard proposed parking lot area**
   Angela Brzowski of McGroup, LLC and St. Therese of Lisieux Parish was present to explain this proposed project. There is a need for additional parking and handicap accessibility dropoff at the St. Bernard Church location.

   The following was presented by staff:

Fire:	No comments.
Building:	A demolition has been planned and the application and permit has been submitted for a house and a garage currently on the premises.
Police:	No comments.

Mayor:	No comments.
Stormwater:	A stormwater and erosion control permit will need to be submitted, reviewed, and approved.
Engineering:	No comments.
Zoning:	A lighting plan will have to be submitted.
Parks & Rec:	Absent.
Water/Wastewater:	No comments.
Streets/Solid Waste:	No comments.

Motion made by Tanya Reynen, seconded by Mike Zitelman, to approve this item contingent upon the submittal and approval of a stormwater and erosion control permit and the submittal of a lighting plan. Unanimously approved.

4. **Adjournment**
Motion was made by Tanya Reynen and seconded by Mike Zitelman to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

Richter Heating

Additions & Remodeling

421 Water Tower Court Watertown, WI 53904

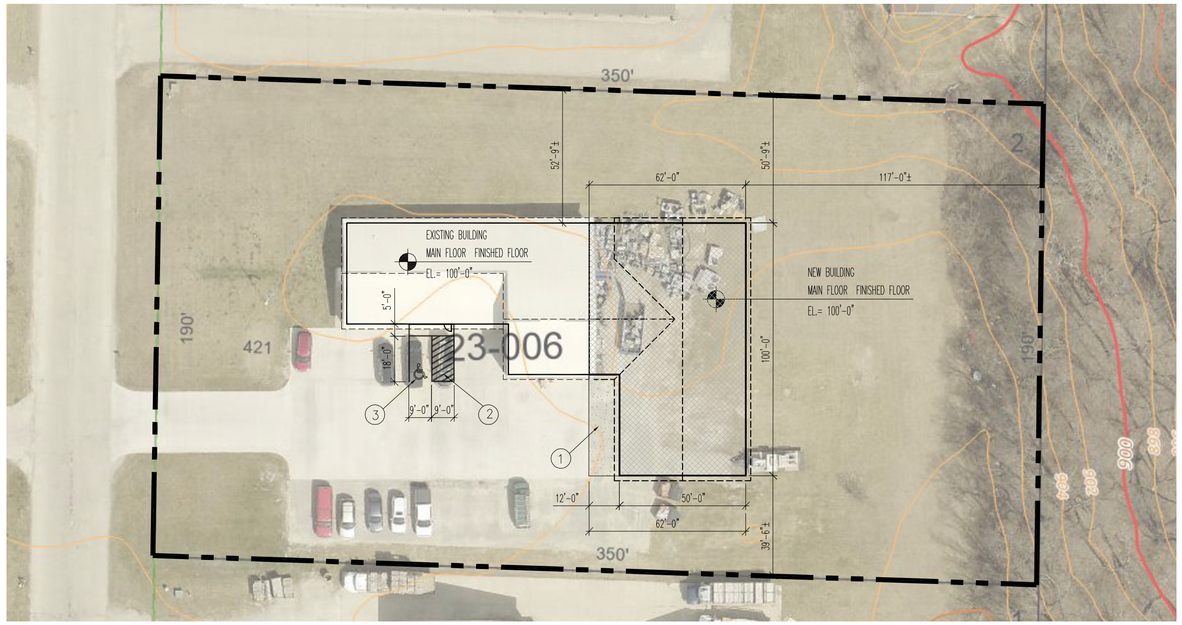
C.D. Review Set

June 30, 2025

Sheet Index:

Architectural

Structural



SITE PLAN GENERAL NOTES (SHEET A1.0)

1. PROPOSED BUILDING ELEVATION SHOWN AS: MAIN FLOOR FINISHED FLOOR EL.= 100'-0"
2. ALL GROUND SHALL PITCH AWAY FROM BUILDING AT A MINIMUM OF 4% +/- UNLESS NOTED OTHERWISE. MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
3. CONCRETE SURFACES SHALL SLOPE @ 1/8" = 1'-0" MINIMUM AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
4. PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:50 MAXIMUM AT HANDICAPPED ACCESSIBLE PARKING STALLS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.
5. PARKING LOT ASPHALT SURFACES SHALL SLOPE @ 1:40 MINIMUM AT ALL OTHER PARKING LOT AREAS AWAY FROM BUILDING UNLESS SPECIFICALLY NOTED OTHERWISE.

Legend

NEW CONCRETE PAVING

NEW BUILDING

NORTH

1 / A0.0 Site Layout Plan

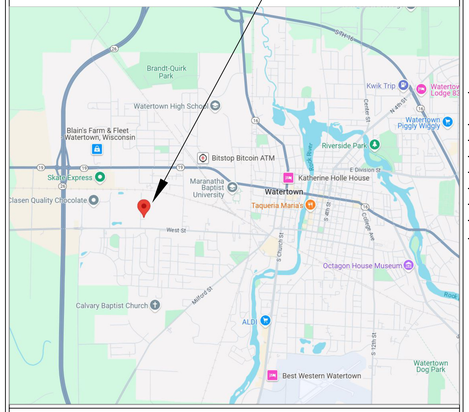
1" = 40'-0"

KEYED NOTES (CONT'D) (SHEET A1.0)

1. NEW CONCRETE PAVING (4000 PSI). WIDTH AS SHOWN. 5" THICK W/ FIBERMESH & W.W.M. OVER 8" COMPACTED CRUSHED LIMESTONE. TOP OF FINISHED SURFACE FLUSH W/ ASPHALT PAVING AND / OR ADJACENT SOIL. INSTALL THICKENED EDGE 12" DEEP x 10" AT ADJACENT PAVING OR BUILDING. INSTALL CONTROL JOINTS PER STANDARD PRACTICE. BROOM & TOOL FINISH. DOWELL ATTACH PAVING INTO ADJACENT BUILDING FOUNDATION- 24" LENGTH #5 DOWELLS @ 24" C/C.
2. WHITE COLORED PARKING LOT PAINT STRIPING
3. VAN ACCESSIBLE HANDICAPPED PARKING STALL PER ADA & CITY REQUIREMENTS W/ REQUIRED POSTED SIGN.

Location Map:

Project Location:
421 Water Tower Ct.
Watertown, WI



Architect:

CASHMAN ASSOCIATES, Inc.
Gregory M. Cashman, AIA

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PH: (608) 237-7443

Sparta, WI 54656
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gcashman@charter.net

Architect Stamp:

Project General Notes:

1. CODE COMPLIANCE: ALL WORK OF ALL TRADES SHALL BE COMPLETED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
2. PERMITS: CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR PERMITS, FEES, AND/ OR LICENCES REQUIRED FOR COMPLETION OF THEIR PORTION OF THE PROJECT.
3. COORDINATION: ALL SUBCONTRACTORS, SHALL COORDINATE WORK WITH THE GENERAL CONTRACTOR, FOR FURTHER COORDINATION WITH THE OWNER'S PROJECT REPRESENTATIVE. ALL PROPOSED CHANGES TO THE WORK MUST BE APPROVED BY WRITTEN AUTHORIZATION PRIOR TO COMMENCEMENT OF WORK.
4. FIELD VERIFICATION: ALL TRADES SHALL FIELD VERIFY AND COORDINATE DIMENSIONS AND EXISTING CONDITIONS ON THE JOB SITE. NEITHER THE OWNER NOR THE ARCHITECT ASSUMES RESPONSIBILITY FOR CONDITIONS SHOWN AS EXISTING.
5. DEMOLITION: CONTRACTOR SHALL INCLUDE NECESSARY DEMOLITION AND/ OR REMOVAL OF ALL MATERIAL RELATED TO HIS TRADE.
6. PENETRATIONS: ALL HOLES FOR PLUMBING, ELECTRICAL, HVAC, OR DUCTWORK ARE TO BE REPAIRED BY THE ASSOCIATED TRADE.
   ALL TRADES SHALL TAKE SPECIAL CARE TO MAKE HOLES AS SMALL AS POSSIBLE AND IN ACCORDANCE WITH FLOOR JOIST MANUFACTURER'S SPECIFICATIONS.
   ALL HOLES SHALL BE NEATLY CUT. DO NOT PUNCH OR POUND HOLES IN WALLS, JOISTS, AND/ OR ROOF DECK.
   ASSOCIATED TRADE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY HOLES LEFT UNREPAIRED.
7. FIRESTOPPING: ALL HOLES OR PENETRATIONS, EXISTING OR NEW, THROUGH FIRE-RATED CONSTRUCTION SHALL BE CLOSED, FIRESTOPPED, DAMPERED, AS REQUIRED BY CURRENT 2015 IBC Code
8. HAZARDOUS MATERIALS: ANY HAZARDOUS MATERIALS ENCOUNTERED AT ANY TIME DURING DEMOLITION OR CONSTRUCTION OF THIS PROJECT MUST BE REPORTED TO THE OWNER IMMEDIATELY. ALL HAZARDOUS SUBSTANCES SHALL BE REMOVED IN ACCORDANCE WITH ALL GOVERNING FEDERAL, STATE, AND LOCAL REGULATIONS.
9. DO NOT SCALE DRAWINGS. IN ALL CASES, NOTED DIMENSIONS AND/ NOTES INDICATING DIMENSIONS OR SIZING SHALL GOVERN. COORDINATE WITH ARCHITECT FOR NECESSARY DIMENSION CLARIFICATION.
10. DIMENSIONING: ALL DIMENSIONS ARE SHOWN FROM FACE OF ROUGH-FRAMED STUD WALL TO FACE OF ROUGH-FRAMED STUD WALL, UNLESS SPECIFICALLY NOTED OTHERWISE. ALL DIMENSIONS FOR CONCRETE OR MASONRY CONSTRUCTION ARE SHOWN FROM FACE OF WALL TO FACE OF WALL, UNLESS SPECIFICALLY NOTED OTHERWISE.

Code Information

DESCRIPTION:
- New Office & Warehouse Addition to the existing building (B) & (S-1)
- Level 2 remodeling to the existing building
- Insulated, Conditioned Building

APPLICABLE CODES:
- State of Wisconsin Department of Safety and Professional Services Administrative Code- Chapters 361, 362, 363, 364, 365
- 2015 International Building Code and SPS 362
- 2015 International Energy Conservation Code and SPS 363
- 2015 International Mechanical Code and SPS 364
- 2015 International Fuel Gas Code and SPS 365
- SPS Chapter 316 which adopts the 2017 National Electrical Code (NEC)
- SPS Plumbing Chapters 381-387 as based on SPS 362.2901
- 2015 International Fire Code
- Accessibility: ICC/ANSI A117.1-2009 as based on IBC Chapter 35

OCCUPANCY CLASSIFICATION:

BUSINESS (B)	Office Area	*IBC Section 304.1*
STORAGE (S-1)	Moderate Hazard Storage	*IBC Section 311.2*

Building Gross SF Areas:

***Single -Occupancy, One-Story Building* *IBC Section 506.2.2*

Building Level	Existing Building	Addition (S-1) Occupancy		TOTAL Main Floor GSF B & S-1
First Floor	4,500 GSF	5,720 GSF		10,220 GSF

Building Height: *IBC Section 504.3*
Ridge: 25'-6" height (40'-0" Allowable) *IBC Section 504.3*

No. of Levels: One

No. of Stories: One (1 allowed) *IBC Section 504.4*

Construction Type: *IBC Section 601*

- Type VB- Combustible Not Protected Construction

Struct. Frame	Bearing Walls Ext.	Bearing Walls Int.	Non-Bearing Ext.	Non-Bearing Int.	Floor Const.	Roof Const.
0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.	0- hr.

BUILDING HEIGHT & AREA:

IBC Table 506.2- Non-Sprinklered, 1-story; A_t = 9,000 SF

IBC Table 506.2:
-Non-Sprinklered Construction

IBC 506.2.2: Mixed-Occupancy, One-Story Building: Allowable Area

$A_a = A_t + (NS \times I_f) = 9{,}000 + 9{,}000\ (0.75) = 15{,}750\ SF > 10{,}100\ sf$

$I_f = [F/P - 0.25]\ W / 30 = 0.75$ (Minimum 30'-0" clear on all sides of building)

FIRE PROTECTION:

NON-Sprinklered Construction *IBC 903*

Fire Alarm System not required *IBC 907*

Interior Finish Flame Spread Ratings-

Interior Wall & Ceiling Finish Requirements: *IBC 803.11*

Interior Floor Finish Requmt *IBC 804.4*

	Exit Passages	Corridors	Rooms/ Enclosed Spaces	All Floor Finishes
Finish Rating	A*	B**	C***	Class II

CLASS A FLAME SPREAD: Flame Spread Index: 0-25 / Smoke Index: 0-450
CLASS B FLAME SPREAD: Flame Spread Index: 26-75 / Smoke Index: 0-450
CLASS C FLAME SPREAD: Flame Spread Index: 76-200 / Smoke Index: 0-450
(IBC 803.1.1)

IBC Sec. 1004- Occupant Load: See Plan

14 occupants

IBC Sec. 1005.1.- Egress Width:

14 Occupants x 0.2 in. / occ. = 9.2 in. required. (144 in. provided)

IBC Table 1017.2.- Exit Access Travel Distance:

(B) / (S-1) Occupancy - Not Sprinklered: 200'-0"

IBC Table 2902.1: Plumbing Fixtures:

Building TOTAL Occupant Load: 46 persons

IBC Table 2902.2: Separate Facilities: Not Required

1 Toilets Required (total): 2 Provided
1 Lavatory Required (total): 2 Provided
1 Drinking Facility Required: 1 Provided
1 Service Sink Required: 1 Provided

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REVISIONS

NO.	TITLE	DATE

PROJECT OWNER: AG Contractors, LLC N8241 County Rd. X Watertown, WI 53094

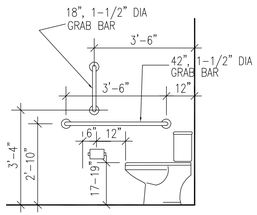
LOCATION: 421 Water Tower Ct. Watertown, WI 53094 Jefferson County

DATE: June 30, 2025

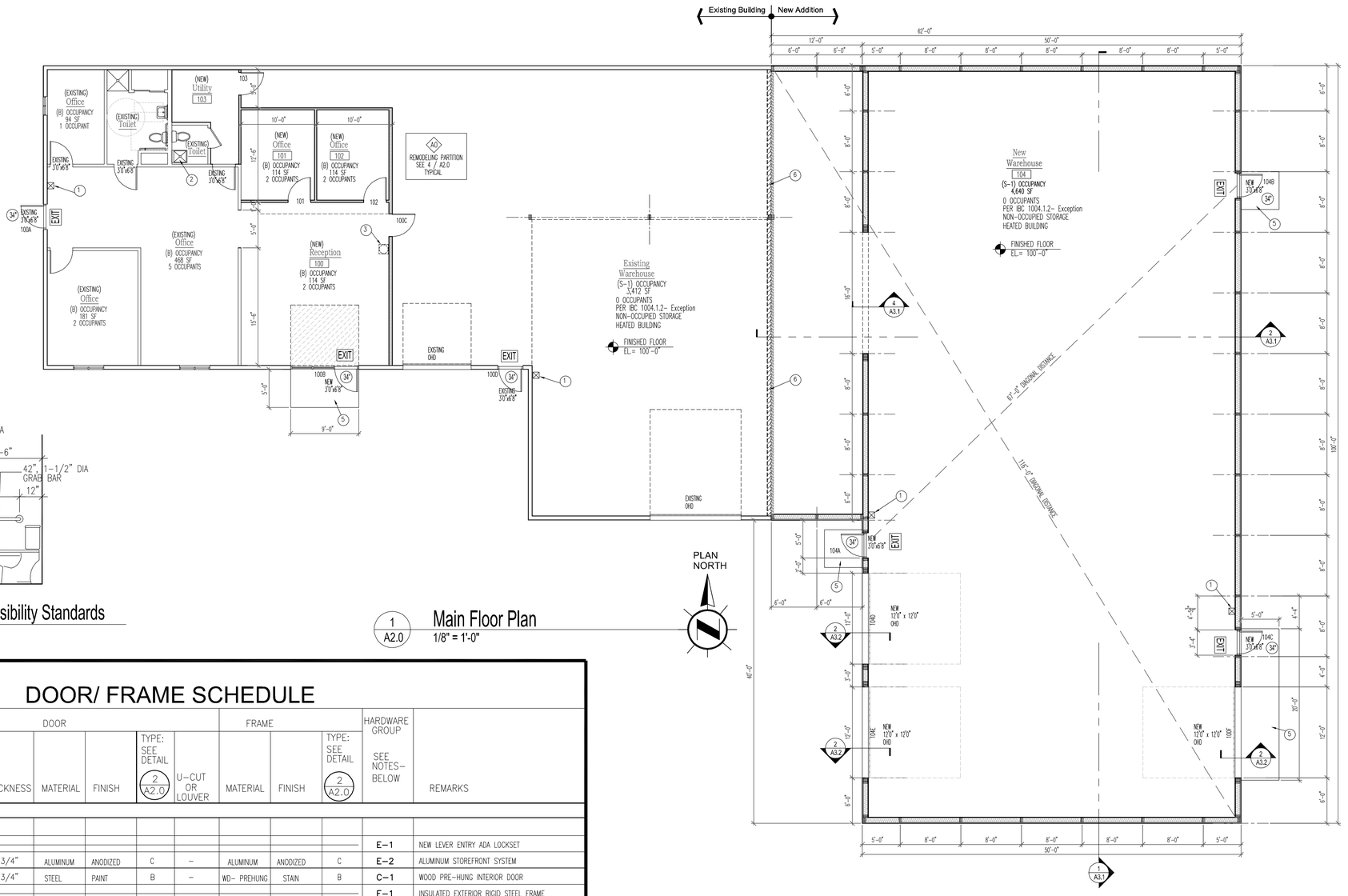
PROJECT: Richter Heating Additions and Remodeling 421 Water Tower Ct. Watertown, WI 53094

SHEET TITLE: Title Sheet / Code Info

SHEET NUMBER: A0.0



3 A2.0 **Toilet Room Accessibility Standards**
3/8" = 1'-0"



1 A2.0 **Main Floor Plan**
1/8" = 1'-0"

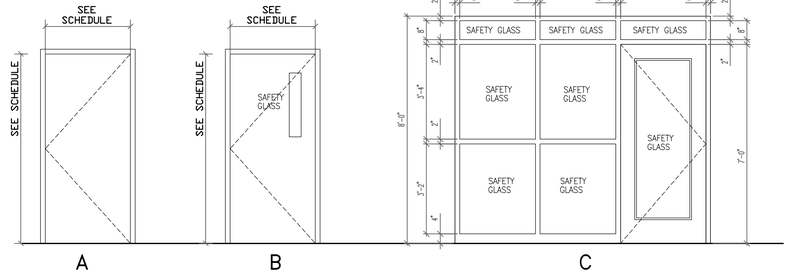
DOOR/ FRAME SCHEDULE

DOOR NO.	DOOR SIZE	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	DOOR TYPE: SEE DETAIL 2/A2.0	DOOR U-CUT OR LOUVER	FRAME MATERIAL	FRAME FINISH	FRAME TYPE: SEE DETAIL 2/A2.0	HARDWARE GROUP SEE NOTES-BELOW	REMARKS
EXISTING BUILDING											
100A	EXISTING 3'0" x 6'8"									E-1	NEW LEVER ENTRY ADA LOCKSET
100B	3'-0" x 6'-8"	1-3/4"	ALUMINUM	ANODIZED	C	-	ALUMINUM	ANODIZED	C	E-2	ALUMINUM STOREFRONT SYSTEM
100C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	-	WD- PREHUNG	STAIN	B	C-1	WOOD PRE-HUNG INTERIOR DOOR
100D	EXISTING 3'0" x 6'8"									E-1	INSULATED EXTERIOR RIGID STEEL FRAME
101	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	-	WD- PREHUNG	STAIN	B	O-1	WOOD PRE-HUNG INTERIOR DOOR
102	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	B	-	WD- PREHUNG	STAIN	B	O-1	WOOD PRE-HUNG INTERIOR DOOR
103	3'-0" x 6'-8"	1-3/4"	SC-WD	STAIN	A	-	WD- PREHUNG	STAIN	A	C-1	WOOD PRE-HUNG INTERIOR DOOR
104A	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	-	STEEL	PAINT	B	E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104B	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	-	STEEL	PAINT	B	E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104C	3'-0" x 6'-8"	1-3/4"	STEEL	PAINT	B	-	STEEL	PAINT	B	E-1	INSULATED EXTERIOR RIGID STEEL FRAME
104D	12'w X 12'h										INSULATED SECTIONAL OVERHEAD DOOR
104E	12'w X 12'h										INSULATED SECTIONAL OVERHEAD DOOR
100F	12'w X 12'h										INSULATED SECTIONAL OVERHEAD DOOR

HARDWARE GROUPS

(AS NOTED ON DOOR/ HARDWARE SCHEDULE)

EXIT		TOILET	CLASSROOM	OFFICE	
E-1 EXTERIOR DOOR	E-2 EXTERIOR DOOR	T-1 TOILET	C-1	O-1	
ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL BUTTS (3) CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP	ADA LEVER ENTRANCE LOCKSET- BOTH SIDES DEAD BOLT SECURITY ASTRAGAL CONTINUOUS HINGE CLOSER H/C-ACCESS THRESHOLD WEATHER SEAL/ SWEEP	PRIVACY LEVER LOCKSET BUTTS (3) DOOR STOP	CLASSROOM LEVER LOCKSET BUTTS (3) WALL BUMPER	OFFICE LEVER LOCKSET DEAD BOLT BUTTS (3) WALL BUMPER	



A — STEEL OR SOLID-CORE WOOD (SC-WD) FLUSH DOOR

B — STEEL OR SOLID-CORE WOOD (SC-WD) HALF LITE

C — ALUMINUM ANODIZED THERMALLY BROKEN FRAME FULL-LITE DOOR

2 A2.0 **DOOR/ FRAME TYPES**
3/8" = 1'-0"

GENERAL NOTES

SHEET A2.0

1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ALL SIGNIFICANT DISCREPANCIES
2. DIMENSIONS TYPICAL: DIMENSION LINES ARE LOCATED FROM
3. FACE-OF-STUD -OR- TO FACE-OF-MASONRY- TYPICAL.
4. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL FOOTINGS, FOUNDATION WALLS, BEAMS, AND HEADERS.
5. PROPOSED AND EXISTING ELEVATIONS ARE SHOWN AS: MAIN LEVEL F.F.E. EL.= 100'-0"
6. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
7. ALL DOORS TO BE EQUIPPED WITH ADA-LEVERSET HARDWARE
8. ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
9. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO START OF FABRICATION/CONSTRUCTION.
10. PROVIDE 5/8" GYPSUM BOARD AT ALL LOCATIONS UNLESS OTHERWISE NOTED. PROVIDE 5/8" MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'- 0" OF ALL PLUMBING FIXTURES. PROVIDE CEMENT PLASTER BOARD AS BACK-UP AT ALL CERAMIC WALL TILE LOCATIONS.
11. HOLD 5/8" CLEARANCE BETWEEN FLOOR AND GYPSUM BOARD. FILL GAP BETWEEN BOTTOM EDGE OF GYPSUM BOARD AND FLOOR WITH MOISTURE RESISTANT MASTIC CAULKING. STRIKE COMPOUND SMOOTH AND FLUSH WITH FACE OF PARTITION. REMOVE EXCESS MASTIC CAULKING FROM PARTITION AND FLOOR.
12. ALL VINYL OR FABRIC WALL COVERING AT CORRIDOR CORNER LOCATIONS TO RECEIVE A CLEAR PLASTIC CORNER GUARD TO A HEIGHT OF 8' - 0" A.F.F. (IPC INSTITUTIONAL PRODUCTS CORP #8118 OR APPROVED EQUAL) UNLESS OTHER PROTECTION IS SPECIFIED.
13. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
14. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
15. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
16. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
17. ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
18. ALL PENETRATIONS OF FIRE-RATED WALLS TO BE FIRE-STOPPED WITH CODE COMPLIANT / U.L. LISTED FIRE CAULK AND/OR FIRESTOPPING
19. ALL PENETRATIONS OF EXTERIOR WALL ARE TO BE MADE AIR TIGHT.
20. PUBLIC RESTROOMS SHALL BE COVERED WITH SMOOTH, HARD, NONABSORBENT MATERIALS EXTENDING A MINIMUM OF 6" ABOVE FLOOR LEVEL. WALLS WITHIN 2 FT. OF URINALS OR WATER CLOSETS SHALL BE COVERED A MINIMUM OF 4 FT. ABOVE FLOOR LEVEL.
21. ROOM(S) WITH A MOP BASIN OR UTILITY SINK SHALL HAVE AN EXHAUST FAN WHICH RUNS CONTINUOUSLY WHILE THE BUILDING IS OCCUPIED.
22. ALL EXTERIOR DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2" IN HEIGHT.
23. CHANGES IN FLOOR MATERIALS SHALL BE LOCATED AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE.
24. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.

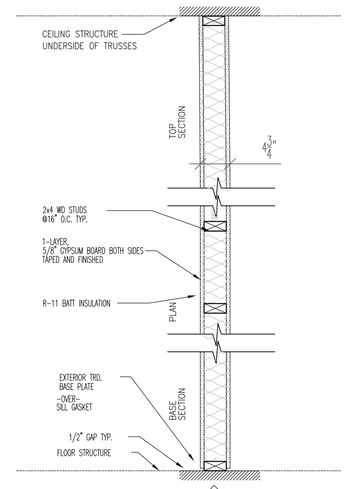
REFERENCE NOTES

1. SEE DETAIL 1 / A2.1 FOR PARTITION TYPES
2. SEE THIS SHEET FOR DOOR SCHEDULE
3. REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1 FOR ADA MOUNTING HEIGHT DETAILS.
4. REFER TO ELEVATIONS FOR EXTERIOR WINDOW TYPES AND LOCATIONS.

KEYED NOTES

SHEET A2.0

1. FIRE EXTINGUISHER CABINET, SURFACE-MOUNTED FIRE EXTINGUISHER: ORDINARY HAZARD- 2-A-B-C RATED WALL MOUNTING: TOP-OF-EXTINGUISHER @ 42" ABOVE FINISHED FLOOR
2. 24 x 24 FLOOR-MOUNTED SERVICE SINK (EXISTING)
3. WATER COOLER WATER DRINKING FACILITY
4. ADD VERTICAL-ORIENTED ADA GRAB BAR IN EXISTING TOILET ROOM REFER TO STANDARD MOUNTING HEIGHTS, DET 2 / A2.1
5. CONCRETE STOOP. SEE STRUCTURAL
6. EXISTING GABLE-END WALL TO BE REMOVED. SEE WALL SECTIONS & STRUCTURAL.



4 A2.0 **Remodeling Partition**
1" = 1'-0"

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4798 County Road I Sparta, WI 54656 gcashman@charter.net Gregory M. Cashman, AIA

PROJECT: **Richter Heating Additions and Remodeling**
421 Walter Tower Ct. Watertown, WI 53094

SHEET TITLE: **Floor Plan / Details**

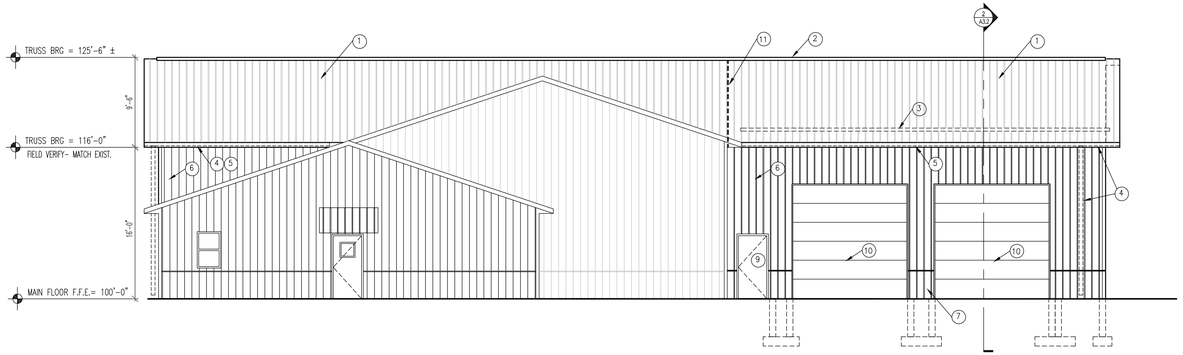
SHEET NUMBER: **A2.0**

NO.	REVISIONS TITLE	DATE

PROJECT OWNER: AG Contractors, LLC N8241 County Rd. X Watertown, WI 53094

LOCATION: 421 Walter Tower Ct. Watertown, WI 53094 Jefferson County

DATE: June 30, 2025



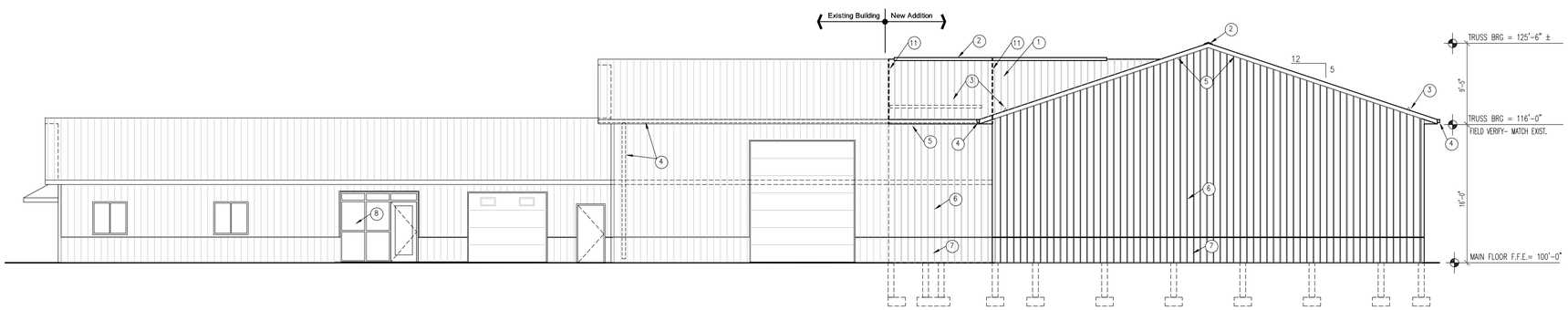
1 A3.0 West Elevation

1/8" = 1'-0"

Keyed Notes- Exterior Elevations

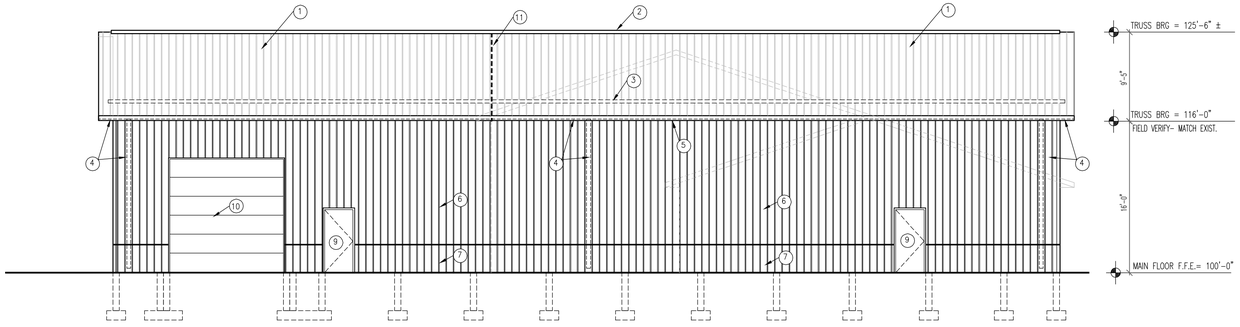
SHT. A3.0

1. 26 GA. PAINTED, EXPOSED FASTENER CORRUGATED METAL ROOFING
2. RIDGE VENT, TYPICAL
3. CONTINUOUS SNOW GUARDS
4. PAINTED METAL GUTTER & DOWNSPOUT
5. PAINTED METAL FASCIA & VENTED SOFFIT
6. 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #1
7. 26 GA. RIBBED / CORRUGATED METAL PANEL SIDING- VERTICALLY ORIENTED- COLOR #2
8. ALUMINUM STOREFRONT ENTRANCE SYSTEM. SEE SCHEDULE
9. INSULATED STEEL DOOR (TYPICAL)
   U= 0.33 (R=3.0) MINIMUM
10. INSULATED O.H.D. W/ THERMAL BREAK- U= 0.143 (R=7.0)
    OVERHEAD DOOR CO.- THERMACORE SECTIONAL STEEL DOOR-599 SERIES
11. DRAFTSTOPPING PER IBC 718.4.3-
    ONE LAYER 1/2" GYP BOARD -OR- ONE LAYER 1/2" O.S.B.
    SECURELY FASTENED TO ONE SIDE OF TRUSS / BUTT JOINTS TIGHTLY TO FORM
    A CONTINUOUS SEAL / EXTEND FROM FASCIA TO FASCIA



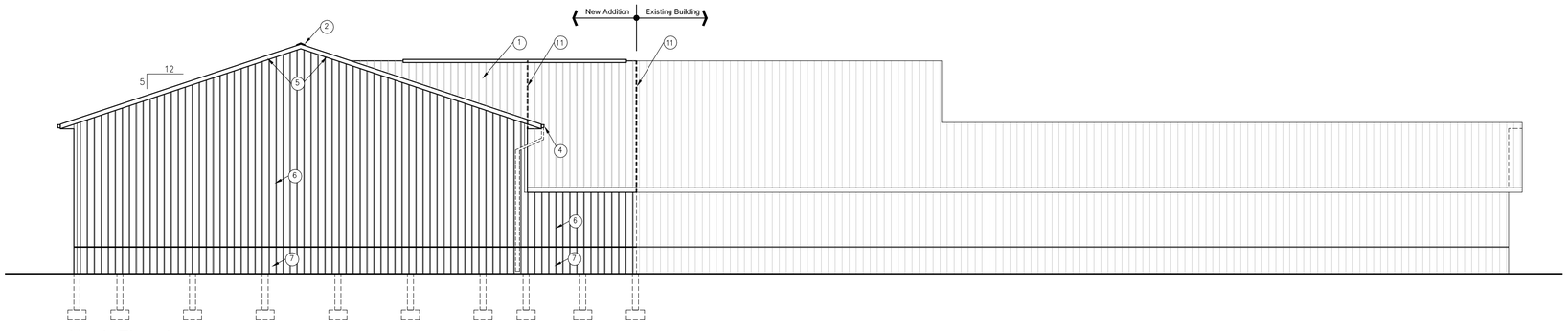
2 A3.0 South Elevation

1/8" = 1'-0"



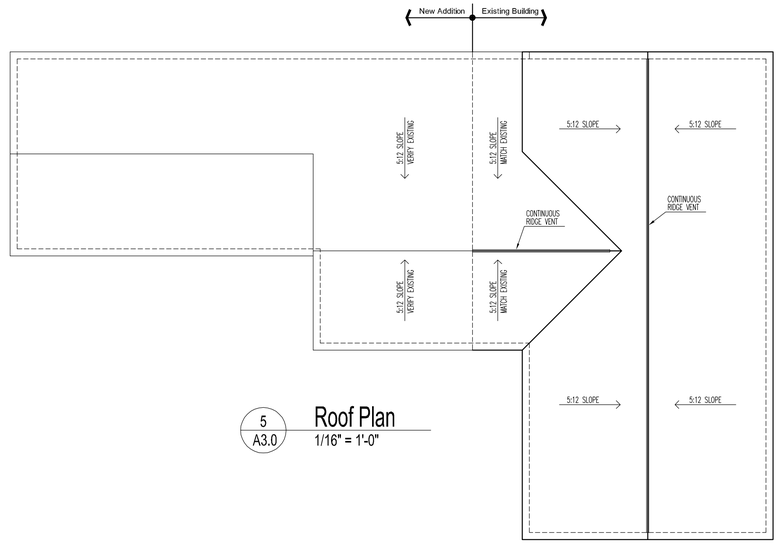
3 A3.0 East Elevation

1/8" = 1'-0"



4 A3.0 North Elevation

1/8" = 1'-0"



5 A3.0 Roof Plan

1/16" = 1'-0"

CASHMAN ASSOCIATES, Inc. PH: (608) 237-7443 FAX: (608) 237-7444
4798 County Road I Sparta, WI 54656 gcashman@charter.net Gregory M. Cashman, AIA

REVISIONS

NO.	TITLE	DATE

LOCATION:
421 Water Tower Ct.
Watertown, WI 53094
Jefferson County

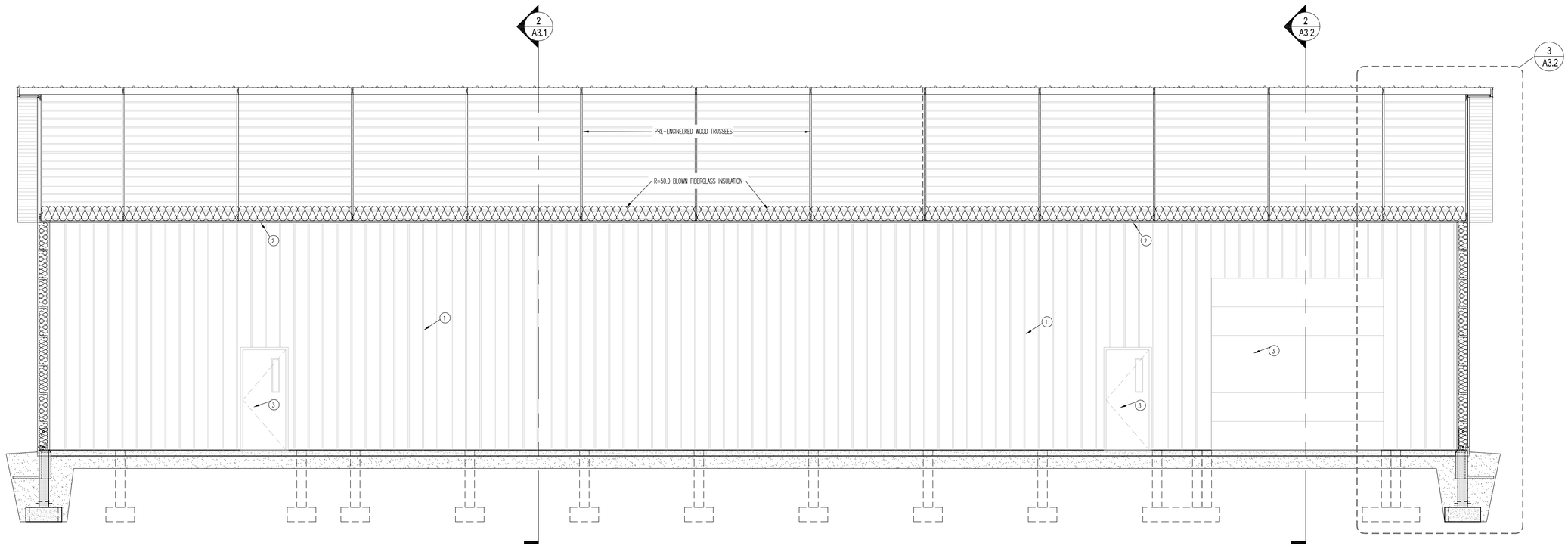
PROJECT OWNER:
AG Contractors, LLC
N8241 County Rd. X
Watertown, WI 53094

DATE: June 30, 2025

PROJECT:
Richter Heating
Additions and Remodeling
421 Water Tower Ct. Watertown, WI 53094

SHEET TITLE:
Exterior Elevations

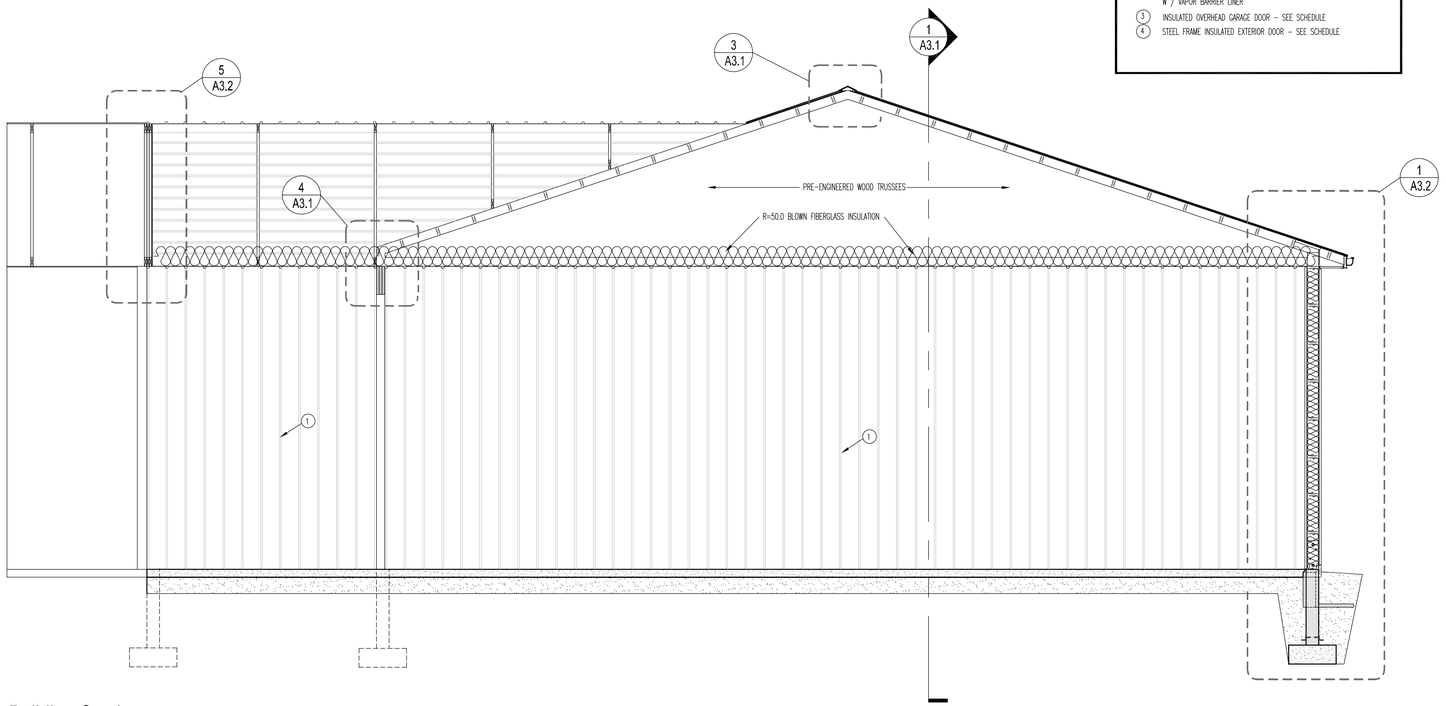
SHEET NUMBER:
A3.0



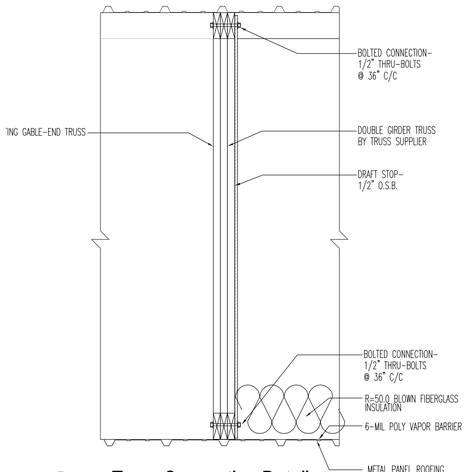
1 A3.1 **Building Section**
1/4" = 1'-0"

Keyed Notes- Building Sections

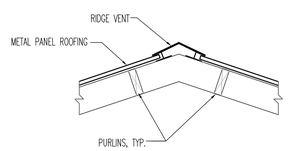
1. 26 GA. PAINTED METAL PANEL INTERIOR WALL FINISH
2. ROOF-CEILING FINISHED WITH 29 GA. KYNAR FINISH PAINTED METAL PANEL W / VAPOR BARRIER LINER
3. INSULATED OVERHEAD GARAGE DOOR - SEE SCHEDULE
4. STEEL FRAME INSULATED EXTERIOR DOOR - SEE SCHEDULE



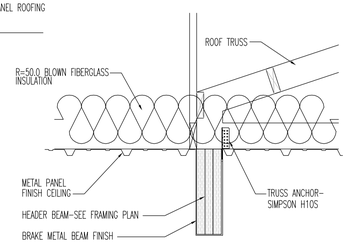
2 A3.1 **Building Section**
1/4" = 1'-0"



5 A3.1 **Truss Connection Detail**
3/4" = 1'-0"



3 A3.1 **Ridge Vent**
3/4" = 1'-0"



4 A3.1 **Detail @ Opening**
3/4" = 1'-0"

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Richter Heating
Additions and Remodeling
421 Water Tower Ct. Watertown, WI 53094

SHEET TITLE:
Building Sections

SHEET NUMBER:
A3.1

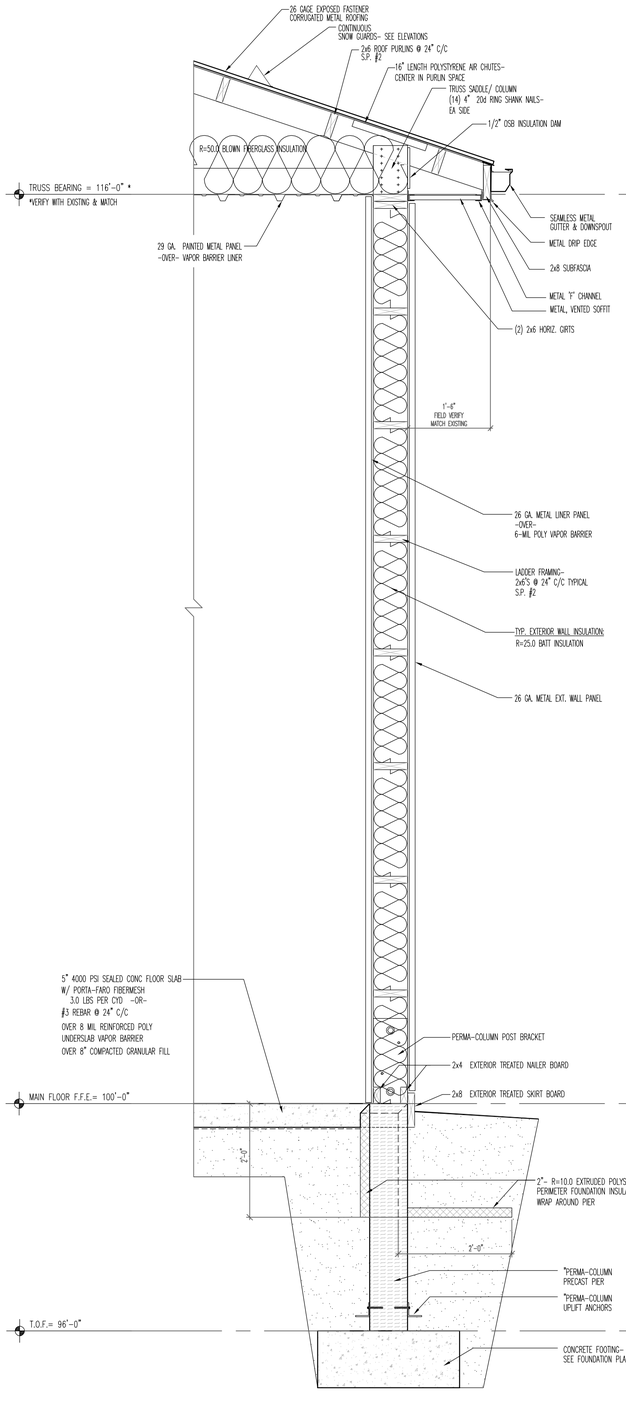
REVISIONS

NO.	TITLE	DATE

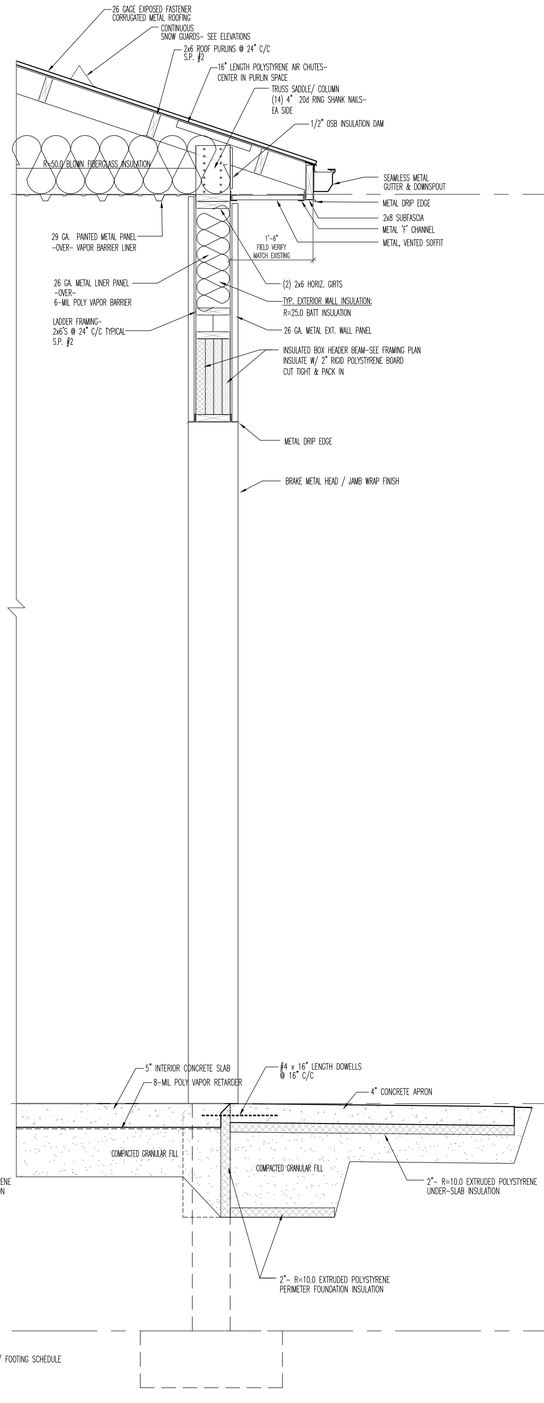
LOCATION:
421 Water Tower Ct.
Watertown, WI 53094
Jefferson County

PROJECT OWNER:
AG Contractors, LLC
N8241 County Rd. X
Watertown, WI 53094

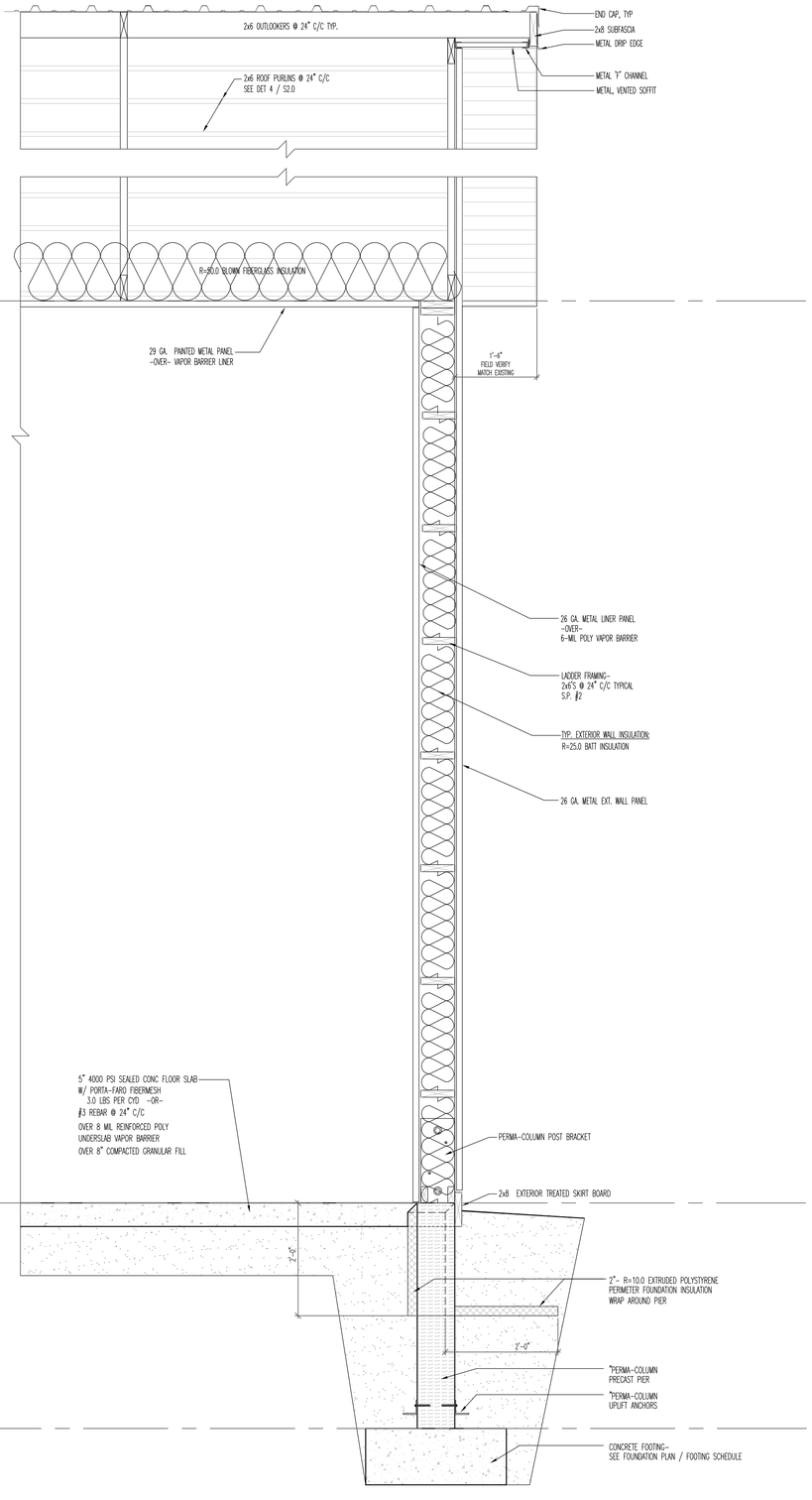
DATE: June 30, 2025



1 A3.1 **Wall Section**
3/4" = 1'-0"



2 A3.1 **Wall Section**
3/4" = 1'-0"



3 A3.1 **Wall Section**
3/4" = 1'-0"

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REVISIONS

NO.	TITLE	DATE

PROJECT OWNER:
AG Contractors, LLC
N8241 County Rd. X
Watertown, WI 53094

LOCATION:
421 Walter Tower Ct.
Watertown, WI 53094
Jefferson County

DATE: June 30, 2025

PROJECT:
Richter Heating
Additions and Remodeling
421 Walter Tower Ct. Watertown, WI 53094

SHEET TITLE:
Wall Sections

SHEET NUMBER:
A3.2

STRUCTURAL DESIGN DATA:

DESIGN CODE:

2015 INTERNATIONAL BUILDING CODE (IBC)

SOIL LOAD:

ALLOWABLE NET SOIL BEARING PRESSURE (ASSUMED)	2,000 PSF
SOILS REPORT AVAILABLE	NO

***SEISMIC LOAD:**

SEISMIC USE GROUP / RISK CATEGORY	IV
SEISMIC LOAD IMPORTANCE FACTOR (I_e)	1.5
SEISMIC SITE CLASS	D (ASSUMED)
MAPPED SPECTRAL RESPONSE ACCELERATION (S_s)	0.057
MAPPED SPECTRAL RESPONSE ACCELERATION (S_1)	0.037
SPECTRAL RESPONSE COEFFICIENT (Sds)	0.061
SPECTRAL RESPONSE COEFFICIENT (Sd1)	0.059
SEISMIC DESIGN CATEGORY	A

***WIND LOAD:**

BASIC WIND SPEED	120 MPH
WIND LOAD IMPORTANCE FACTOR (I_w)	1.0
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENTS	± 0.18

ROOF DESIGN LOAD:

ROOF LIVE LOAD	20 PSF
ROOF DEAD LOAD	15 PSF

***SNOW LOAD:**

DESIGN SNOW LOAD	34 PSF
GROUND SNOW LOAD	40 PSF
SNOW EXPOSURE FACTOR (C_e)	1.0
SNOW IMPORTANCE FACTOR (I_s)	1.0
THERMAL FACTOR (C_t)	1.0
UNBALANCED LOAD:	
WINDWARD	10.1 PSF
LEEWARD	47.8 PSF
DRIFT LOADS	N/A

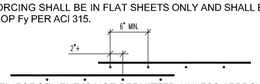
*** SEISMIC, WIND, AND SNOW LOAD CALCULATIONS AND DESIGN DATA SHALL BE PERFORMED AND SUPPLIED BY THE TRUSS MANUFACTURER.**

CONCRETE CAST-IN-PLACE NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (MOST CURRENTLY ADOPTED EDITION)
2. CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS PRIOR TO PLACING CONCRETE TO FACILITATE ON-SITE OBSERVATION OF REBAR.
3. WHEN THE AVERAGE TEMPERATURE FROM MIDNIGHT IS EXPECTED TO DROP BELOW 40 DEGREES FAHRENHEIT FOR THREE SUCCESSIVE DAYS, COLD WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED, REFER TO ACI 306R.
4. WHEN AMBIENT AIR OR CONCRETE TEMPERATURE EXCEEDS 90 DEGREES FAHRENHEIT, STEEL REINFORCING AND/OR FORMING SURFACES ARE ABOVE 120 DEGREES FAHRENHEIT, OR WHEN WIND VELOCITY, HUMIDITY, OR SOLAR RADIATION CREATE CONDITIONS OF ACCELERATED MOISTURE LOSS AND INCREASE RATE OF HYDRATION, HOT WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED. REFER TO ACI 305R.
5. ALL CONCRETE SURFACES SHALL BE FORMED OR APPROVED BY ENGINEER.
6. CONCRETE COLUMNS OR PIERS SHOWN INTEGRAL WITH CONCRETE WALLS SHALL BE POURED MONOLITHICALLY WITH ADJACENT CONCRETE WALLS.
7. CONTROL JOINTS SHALL BE CUT USING A SOFF-CUT SAW OR EQUAL AS SOON AS POSSIBLE AFTER PLACING, PREFERABLY THE SAME DAY AS THE POUR, BUT IN NO CASE SHALL THE CONTROL JOINTS BE CUT MORE THAN 24 HOURS AFTER PLACING THE CONCRETE.
8. PROVIDE WALL CONSTRUCTION JOINTS AS SHOWN IN DETAILS. ALLOW AT LEAST 24 HOURS BETWEEN POURING ADJACENT WALL SECTIONS AT CONSTRUCTION JOINTS.
9. PROVIDE ISOLATION JOINTS WHERE SLABS ABUT VERTICAL SURFACES AS SHOWN.
10. SLEEVES, CONDUITS, OR PIPES THROUGH SLABS AND WALLS SHALL BE PLACED AT THREE DIAMETERS O.C., OR 4" MINIMUM.
11. ALUMINUM CONDUIT OR PIPING SHALL NOT BE CAST IN CONCRETE.

CONCRETE REINFORCEMENT NOTES:

1. REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (MOST CURRENTLY ADOPTED EDITION)
2. PROVIDE MINIMUM COVER PER ACI 318, 7.7.1 ALSO SEE MILD STEEL PROTECTION NOTES
3. WIRE SPACERS, CHAIRS, TIES, ETC. FOR SUPPORT OF STEEL REINFORCING SHALL BE PROVIDED BY THE CONCRETE CONTRACTOR TO ENSURE REINFORCING IS PLACED AND MAINTAINED IN THE PROPER POSITION DURING CONCRETE PLACEMENT.
4. ALL HOOKS IN STEEL REINFORCING SHALL BE ACI STANDARD HOOKS.
5. TERMINATE NON-CONTINUOUS STEEL REINFORCING WITH AN ACI STANDARD HOOK IF REQUIRED EMBEDMENT SHOWN ON DRAWINGS CANNOT BE OBTAINED.
6. ALL LAPS SHALL BE CLASS "B " PER ACI 318 ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TO BAR LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 " DEEP.
7. STEEL REINFORCING SPLICES OF ADJACENT BARS SHALL BE STAGGERED SUCH THAT SPLICES ARE MINIMUM 4 FEET APART.
8. CORNER BARS WITH CLASS "B" LAP PER ACI 318 SHALL BE PROVIDED AT ALL WALL CORNERS AND ALL INTERSECTIONS.
9. PROVIDE STEEL REINFORCING AROUND OPENINGS IN CONCRETE WALLS AND SLABS.
10. PROVIDE STEEL REINFORCING AT FOOTING STEPS.
11. WELDED WIRE REINFORCING SHALL BE IN FLAT SHEETS ONLY AND SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 315.



12. WELDING OF STEEL REINFORCEMENT IS NOT PERMITTED, UNLESS APPROVED BY ENGINEER.
13. BEND REINFORCING STEEL AROUND ALL CORNERS AND LAP A MINIMUM OF 33 BAR DIAMETERS (UNO).
14. MINIMUM STEEL TENSILE STRENGTH SHALL BE 60 KSI.
15. CLEAR DISTANCE BETWEEN BARS OR LAYERS OF BARS SHALL BE ONE FLEXURAL BAR DIAMETER BUT NOT LESS THAN 1" OR LESS THAN 1 1/3 TIMES THE MAXIMUM SIZE OF COURSE AGGREGATE WHICH EVER IS GREATER.
16. ANCHOR BOLTS SHALL BE A MINIMUM 1/2" DIAMETER ASTM F1554 (A307) BOLTS, EMBEDDED A MINIMUM OF 7" INTO CONCRETE, SPACED A MAXIMUM OF 6' (72") OC (UNO) AND LOCATED WITHIN 4"-12" FROM ENDS OF WALL PLATES. ALL INDIVIDUAL WALL PLATE SECTIONS SHALL HAVE A MINIMUM OF TWO ANCHOR BOLTS. ALL ANCHOR BOLTS SHALL INCLUDE A PROPERLY SIZED NUT AND WASHER ATOP WALL PLATES.

STRUCTURAL STEEL:

1. ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO THE AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"
2. SHOP DRAWINGS PREPARED IN ACCORDANCE WITH THE "STRUCTURAL STEEL DETAILING MANUAL" OF THE AISC SHALL BE SUBMITTED FOR APPROVAL. NO FABRICATION SHALL BEGIN UNTIL SHOP DRAWINGS ARE COMPLETED AND APPROVED.
3. UNLESS NOTED OTHERWISE, STRUCTURAL STEEL WIDE FLANGES AND TEES SHALL CONFORM TO A992, GRADE 50. ROUND, SQUARE AND RECTANGULAR HSS SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. ROUND PIPES SHALL CONFORM TO ASTM A53, GRADE B. ALL OTHER SHAPES SHALL CONFORM TO ASTM A36 OR A572, GRADE 50.
4. STEEL FRAMING CONNECTIONS SHALL BE BOLTED OR WELDED.
   A. BOLTED JOINTS SHALL CONFORM TO AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM F3125 (A325 OR A490) BOLTS". BOLTS SHALL CONFORM TO ASTM F3125, AND SHALL BE MINIMUM 3/4" DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE CONSIDERED BEARING TYPE WITH BOLTS PRE-TENSIONED, UNLESS OTHERWISE NOTED. PROVIDE DIRECT TENSION INDICATORS (LOAD INDICATING WASHERS) IN ACCORDANCE WITH ASTM F959 OR TENSION CONTROL BOLTS (TWIST OFF BOLTS) IN ACCORDANCE WITH ASTM F1852 FOR ALL HIGH STRENGTH BOLTS.
   B. WELDS SHALL CONFORM TO THE "STRUCTURAL WELDING CODE" OF THE AMERICAN WELDING SOCIETY, AWS D1.1. USE E70XX ELECTRODES. WELDING PROCESSES AND OPERATORS SHALL BE QUALIFIED IN ACCORDANCE WITH AWS "STANDARD QUALIFICATIONS PROCEDURES". WELDERS SHALL CARRY PROOF OF QUALIFICATIONS IN THEIR PERSONS.
5. ANCHOR RODS SHALL CONFORM TO ASTM F1554, GR 55, S1, (WELDABLE) UNLESS NOTED OTHERWISE. THE END OF THE ANCHOR ROD INTENDED TO PROJECT FROM THE CONCRETE SHALL BE STEEL DIE STAMPED WITH THE GRADE INDENTIFICATION AS REQUIRED BY SUPPLEMENT S3.
6. DO NOT USE GAS CUTTING TORCHES FOR CORRECTING FABRICATION ERRORS IN THE STRUCTURAL FRAMING.
7. UNLESS NOTED OTHERWISE BEAM END CONNECTIONS SHALL BE PROPORTIONED AS FOLLOWS:
   A. MINIMUM 3/8" THICK X 4" WIDE X FULL DEPTH WEB OF BEAM SHEAR TAB CONNECTION. ATTACH SHEAR TAB TO CONNECTION MEMBER WITH MINIMUM 3/16" FILLET WELD CONTINUOUS AT BOTH SIDES. ATTACH BEAM END TO SHEAR TAB WITH 3/4" DIAMETER BOLTS WITH WASHERS AT MINIMUM 2" O.C. SPACING, AND
   B. WHERE BEAM REACTIONS ARE SHOWN, CONNECTIONS SHALL DEVELOP THE REACTION GIVEN, OR
   C. WHERE BEAM REACTIONS ARE NOT SHOWN, CONNECTIONS SHALL BE PROPORTIONED TO SUPPORT 60% OF THE TOTAL UNIFORM LOAD CAPACITY (ULC) SHOWN IN THE UNIFORM LOAD TABLES OF THE AISC MANUAL, FOR THE SPECIFIED BEAM SIZE, SPAN, AND GRADE OF STEEL SPECIFIED. FOR COMPOSITE BEAMS, PROPORTION CONNECTORS FOR 90% OF THE ULC. CONNECTIONS SHALL BE PROPORTIONED FOR THE ECCENTRICITY BETWEEN THE CONNECTION CENTROID AND THE CENTROID OF THE SUPPORTING MEMBER.
8. PLACE NON-SHRINK, HIGH STRENGTH GROUT (MINIMUM 6,000 PSI) UNDER BASE PLATES AFTER SETTING AND LEVELING, AND PRIOR TO PLACING ELEVATED SLAB CONCRETE.
9. STEEL CONSTRUCTION SHALL BE INSPECTED BY A QUALIFIED STEEL INSPECTOR. SEE SCHEDULE OF SPECIAL INSPECTIONS FOR ADDITIONAL INFORMATION.
   A. BOLTED CONNECTIONS SHALL BE INSPECTED IN ACCORDANCE WITH AISC 348 "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS".
   B. ALL FILLET WELDS SHALL BE VISUALLY INSPECTED.
   C. ALL PENETRATION WELDS SHALL BE TESTED IN ACCORDANCE WITH ASTM E164.
   D. WELDING OF HEADED STUD CONCRETE ANCHORS AND DBA'S SHALL BE INSPECTED IN ACCORDANCE WITH AWS D1.1.
   E. TEST 15% OF ALL STUDS. RETEST ALL STUDS AND DBA'S ON ANY MEMBER WHERE STUDS FAILED INITIAL TESTING.
   F. WRITTEN REPORTS SHALL BE SUBMITTED DESCRIBING ALL INSPECTIONS AND INDICATING ANY NON-CONFORMING WORK. RE-INSPECT NON-CONFORMING WORK AFTER IT IS CORRECTED.
10. PROVIDE TEMPORARY BRACING OF STRUCTURAL FRAMING UNTIL ALL PERMANENT BRACING, MOMENT CONNECTIONS AND FLOOR AND ROOF DECKS (DIAPHRAGMS) ARE COMPLETELY INSTALLED. THE STRUCTURAL ELEMENTS ARE UNSTABLE UNTIL THE STRUCTURE IS COMPLETED IN ACCORDANCE WITH THE PLANS.
11. SHEAR CONNECTORS: PROVIDE AWS D1.1, TYPE B, 3/4" DIAMETER, SOLID FLUXED HEADED SHEAR CONNECTOR STUDS AUTOMATICALLY END WELDED THROUGH THE METAL DECK AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
   A. WHERE THE THICKNESS OF THE BEAM FLANGE IS LESS THAN 0.3", STUDS SHALL BE LOCATED DIRECTLY OVER THE WEB.
   B. THE MINIMUM CENTER-TO-CENTER SPACING OF STUDS SHALL BE 4.5" ALONG THE LONGITUDINAL AXIS OF THE BEAM AND 3" TRANSVERSE TO THE LONGITUDINAL AXIS OF THE BEAM. THE MINIMUM DISTANCE TO THE EDGE OF THE BEAM FLANGE SHALL BE 1 1/4" WHERE STUDS ARE PLACED IN PAIRS.
12. DEFORMED BAR ANCHORS (DBA'S): FLUX FILLED BARS AUTOMATICALLY WELDED TO STRUCTURAL STEEL IN ACCORDANCE WITH THE RECOMMENDATION OF THE MANUFACTURER. PROVIDE MATERIAL WITH MINIMUM YIELD STRENGTH OF 50 KSI.
13. PROVIDE CAP PLATES AT ALL COLUMNS, AT BEARING CONDITIONS, PROVIDE 3/4" MINIMUM THICKNESS, AT NON-BEARING CONDITIONS, PROVIDE 1/4" THICKNESS. WELD CAP PLATES ALL AROUND TO COLUMNS.
14. UNLESS NOTED OTHERWISE, ALL EXPOSED STRUCTURAL AND MISCELLANEOUS STEEL, PLATES, BOLTS, AND ANCHORS SHALL BE GALVANIZED OR PAINTED WITH APPROVED RUST INHIBITING PRIMER.
15. THE STRUCTURAL DESIGN OF STEEL STAIRS, LANDINGS AND GUARDRAILS (INCLUDING EMBEDS) SHALL BE PERFORMED BY A STRUCTURAL ENGINEER REGISTERED IN THE PROJECT STATE. CALCULATIONS AND SHOP DRAWINGS WITH THE ENGINEER'S SEAL SHALL BE SUBMITTED FOR APPROVAL. NO FABRICATION SHALL BEGIN UNTIL THE SUBMITTAL IS APPROVED. DESIGN LOADS SHALL BE AS SPECIFIED BY THE CONTRACT DOCUMENTS AND/OR THE APPLICABLE CODES WHICHEVER IS MORE STRINGENT. THE CONTRACTOR SHALL MAKE APPROVED SHOP DRAWINGS AVAILABLE TO THE INSPECTOR AT THE JOB SITE PRIOR TO SPECIAL INSPECTION.

REINFORCED MASONRY:

1. ALL MASONRY UNITS ARE PLACED IN RUNNING BOND FASHION. CORNERS SHALL HAVE A STANDARD BOND BY OVERLAPPING UNITS.
2. SPECIAL SHAPES SHALL BE PROVIDED FOR JAMBS, COLUMNS, PILASTERS, CONTROL JOINTS, CORNERS, AND LINTELS.
3. ALL MASONRY WALLS SHALL HAVE HORIZONTAL JOINT REINFORCING SPACED AT 16 " O.C. HORIZONTAL JOINT REINFORCING SHALL BE LADDER-TYPE OR TRUSS-TYPE AND FABRICATED WITH GALVANIZED NINE-GAUGE WIRE AND SHALL INCLUDE CORNER AND INTERSECTING WALL PIECES. PROVIDE MINIMUM 6" LAPS AT ALL SPLICES.
4. VERTICAL REINFORCING SHALL BE HELD IN PLACE BY REBAR POSITIONERS, CROSSTIES, CHAIRS, OR TYING TO EVERY OTHER LAYER OF HORIZONTAL REINFORCING STEEL. REFER TO THE DETAIL IN THE DRAWINGS FOR VERTICAL REINFORCING BAR LOCATION IN A CORE.
5. PROVIDE CONCRETE COVER OF MINIMUM 1/2" TO FACE SHELL.
6. REFER TO DETAIL IN THE DRAWINGS FOR REINFORCING BAR LAP LENGTHS.
7. EXTEND VERTICAL REINFORCING FROM FOOTINGS TO 2" CLEAR TOP OF WALL OR TO BEAM BEARING. EXTEND VERTICAL REINFORCING INTO THE NEXT LEVEL OF CONSTRUCTION AND LAP IN ACCORDANCE WITH THE LAP SCHEDULE.
8. WHEN TYPICAL VERTICAL WALL REINFORCING IS INTERRUPTED BY LONG WALL OPENINGS, PROVIDE TYPICAL VERTICAL WALL REINFORCING ABOVE AND BELOW OPENING, AND EXTEND INTO HORIZONTAL BOND BEAMS. REFER TO THE SCHEDULE ON THE DRAWINGS, FOR MASONRY WALL OPENING LINTELS. REFER TO THE DETAIL IN THE DRAWINGS FOR MASONRY OPENINGS MINIMUM JAMB REINFORCING.
9. PROVIDE VERTICAL REINFORCING AT THE ENDS OF WALLS AND AT WALL INTERSECTIONS TO MATCH SPECIFIED REINFORCING. RUN REINFORCING FULL HEIGHT OF WALLS.
10. ALL MASONRY UNITS SHALL BE PLACED WITH FULL FACE SHELL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS SHALL ALSO HAVE FULL MORTAR COVERAGE AROUND ALL GROUTED CELLS.
11. FILL BLOCK CORE AT VERTICAL REINFORCING WITH CONCRETE GROUT. FILLING CORES WITH MORTAR IS NOT ALLOWED. VIBRATE IN PLACE. RODING AND PUDDLING ARE NOT ALLOWED.
12. SEE TABLE 7 OF TMS 402/ACI 530/ ASCE 5 FOR GROUT SPACE REQUIREMENTS FOR MAXIMUM GROUT POUR HEIGHTS. FOR CONCRETE CORE FILL POUR HEIGHT ABOVE 5 '-0" PROVIDE CLEANOUTS.
13. MASONRY CEMENT MORTAR IS NOT ALLOWED.
14. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDE SHALL NOT BE USED IN MORTAR OR GROUT.
15. FOR REINFORCED MASONRY BOND BEAMS, PROVIDE BENT CORNER BARS AT CORNERS AND INTERSECTIONS THAT MATCH REINFORCING. STEP BOND BEAMS AS NECESSARY TO MATCH ROOF SLOPES. LAP REINFORCING BARS PER SCHEDULE.
16. FOR CONSTRUCTION OF MASONRY CONTROL JOINTS REFER TO DETAIL IN DRAWINGS.
17. UNLESS NOTED OTHERWISE ON THE DRAWINGS PLACE CONTROL JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF WALL EXCEEDS 24'-0" AND WITHIN 4'-0" OF CORNERS. DO NOT PLACE CONTROL JOINTS WITHIN 4'-0" OF A MASONRY OPENING JAMB OR A STEEL BEARING PLATE.
18. PLACE BOND BEAM REINFORCING CONTINUOUSLY THROUGH CONTROL JOINTS. DO NOT SPLICE BOND BEAM REINFORCING WITHIN 6'-0" OF A CONTROL JOINT.
19. PROVIDE BOND BEAM WITH REINFORCING AT ALL FLOOR LINES, ROOF LINES, AND TOP OF WALLS. REFER TO DETAILS IN THE DRAWINGS.
20. GROUT BELOW STEEL BEARING PLATE AND REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION.
21. REFER TO DRAWINGS FOR REINFORCING SCHEDULE, TOP OF WALL BRACING, THICKENED BEARING SLAB AND LINTEL SCHEDULE FOR NON-BEARING MASONRY WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT.

MASONRY BEAMS (HIGH-LOW BOND BEAMS):

1. FOR ALL MASONRY BEAMS USE LINTEL BLOCKS.
2. MASONRY BEAMS ARE TO BEAR 8 " MINIMUM AT JAMBS. EXTEND VERTICAL REINFORCING THROUGH MASONRY BEAM BEARING.
3. EXTEND HORIZONTAL REINFORCING FULL LENGTH. REFER TO DETAIL IN THE DRAWINGS FOR STIRRUP CONFIGURATION.
4. GROUT MASONRY BEAMS SOLID. MECHANICALLY VIBRATE GROUT IN PLACE.
5. PROVIDE BRICK EXPANSION JOINT VERTICALLY AT THE EDGE OF THE MASONRY OPENING. STOP BRICK ANGLE AT EXPANSION JOINT. REFER TO PLAN FOR WALL ELEVATION DETAIL. LOCATE OTHER BRICK EXPANSION JOINTS PER ARCHITECTURAL DRAWINGS.

MATERIAL DESIGN PROPERTIES:

CONCRETE PROPERTIES:

USE	28 DAY PSI STRENGTH	MAX. RATIO H_2O : CEMENT	SLUMP (INCHES)	MAX. SIZE AGGREGATE	MIN. AIR ENTRAINMENT
WALLS	3,500	.62	3 ± 1	3/4"	4%
FOOTINGS	3,500	.62	3 ± 1	1-1/2"	0%
PIERS	3,500	.62	3 ± 1	3/4"	0%
INTERIOR FLOORS	3,500	.62	3 ± 1	3/4"	0%
EXTERIOR FLOORS	4,000	.48	3 ± 1	3/4"	6%
RETAINING WALLS/FTGS.	4,000	.48	3 ± 1	3/4"	6%

REINFORCING STEEL STRENGTHS:

BARS (ASTM A615, GRADE 60)	fy = 60,000 PSI
WELDED WIRE MESH (ASTM A 185)	fy = 65,000 PSI

STRUCTURAL STEEL STRENGTHS:

STEEL SUPPLIED BY METAL BUILDING MANUFACTURER	PER MTL BLDG SPECS
OTHER:	
W SHAPES (ASTM A992, GR50)	fy = 50,000 PSI
ANGLES, CHANNELS,PLATES, & BARS (ASTM A36)	fy = 36,000 PSI
SQUARE & RECTANGULAR TS OR HSS SECTIONS (ASTM A500 ,GR B)	fy = 42,000 PSI
HIGH STRENGTH BOLTS (ASTM F3125: A325 OR A490)	

MISCELLANEOUS STRUCTURAL NOTES:

1. ENGINEER ASSUMES PIN BASED COLUMNS.
2. **CONNECTORS:**
   A. FOR EXTERIOR AND INTERIOR APPLICATIONS WHERE EXPOSED TO MOISTURE, WHERE PRESSURE TREATED WOOD IS USED, AND FOR INTERIOR CORROSIVE ENVIRONMENTS ALL CONNECTORS SHALL BE HOT DIPPED GALVANIZED PER ASTM A 153A / 153M, OR STAINLESS STEEL, INCLUDING EXPANSION BOLTS, ANCHOR BOLTS, JOIST HANGERS, AND NAILS.
   B. CONNECTION DESIGN TO WOOD OR STEEL FRAMING AND EVALUATION OF STRUCTURAL MEMBERS ADEQUACY BY A REGISTERED PROFESSIONAL ENGINEER SHALL BE PROVIDED BY ALL SUBCONTRACTORS.
   C. INSTALLER OF ANCHORS OR CONNECTIONS TO STRUCTURE IS RESPONSIBLE FOR ANCHOR DESIGN AND DETERMINATION OF STRUCTURAL COMPONENT ADEQUACY. DO NOT CUT REINFORCING BARS OR DAMAGE OTHER EMBEDMENTS.
3. **WORK BY OTHERS:**
   A. ALL SUPPORTS, FRAMING, SUB-FRAMING, LIGHT GAUGE FRAMING, MISCELLANEOUS STEEL FRAMING, METAL FABRICATIONS, BRACING BRACKETS, HANGERS, CONNECTORS, EMBEDMENTS, FASTENERS, AND ATTACHMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS ARE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE ENGINEERED AND PROVIDED BY THE CONTRACTOR REQUIRING THE ITEM, COMPLY WITH GOVERNING CODES.
   B. CONSTRUCTION MEANS AND METHODS ARE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE ENGINEERED AND PROVIDED BY THE CONTRACTOR REQUIRING SUCH, WORK INCLUDES, BUT IS NOT LIMITED TO:
      1. EVALUATION OF STRUCTURE FOR CONSTRUCTION EQUIPMENT LOADS SUCH AS FORKLIFTS, MATERIAL STOCKPILES, ETC.
      2. EVALUATION OF STRUCTURE FOR INSTALLATION OF ANY NECESSARY SHORING FOR MOVING LOADS DURING INSTALLATION OF HEAVY EQUIPMENT.
4. WHERE DIMENSIONS OR WEIGHTS OF EQUIPMENT OR SYSTEMS ARE VARIABLE FROM MANUFACTURER TO MANUFACTURER, VERIFY DIMENSIONS AND WEIGHTS SHOWN ON DRAWINGS WITH SELECTED MANUFACTURER PRIOR TO ORDERING MATERIALS, NOTIFY ENGINEER OF DISCREPANCIES.
5. DO NOT SUSPEND POINT LOADS FROM ROOF SHEATHING OR ROOF PURLINS UNLESS APPROVED BY THE ENGINEER. POINT LOADS INCLUDE, BUT ARE NOT LIMITED TO: HANGERS FOR CEILINGS, PIPES, DUCTS, STEEL STUDS, EQUIPMENT, ETC. CONTRACTOR INSTALLING SUCH POINT LOADS SHALL PROVIDE SUB-FRAMING TO TRANSFER LOAD TO THE STRUCTURE SUPPORTING DECK.
6. TEMPORARY LATERAL RESTRAINT AND DIAGONAL BRACING SHALL BE INSTALLED ACCORDING TO THE PROVISIONS OF BCSI CHAPTERS B1, B2, B7 AND/OR B10 (BUILDING COMPONENT SAFETY INFORMATION, BY TPI AND SBCA

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE YEAR SPECIFIC INTERNATIONAL BUILDING CODE (IBC) WITH STATE AMENDMENTS (IF ANY) AS NOTED IN THE "STRUCTURAL DESIGN DATA" TABLE ON THIS SHEET. REFERENCE TO OTHER STANDARD SPECIFICATIONS OR CODES SHALL MEAN THE BUILDING CODE ADOPTED EDITION OR THE NOTED EDITION, IF NOT BUILDING CODE ADOPTED.
2. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AFFECTING NEW CONSTRUCTION BEFORE STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
3. NOTIFY THE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN IN THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, TEMPORARY BRACING, ETC. THE STRUCTURAL SYSTEM AND ITS ELEMENTS SHALL NOT BE CONSIDERED STABLE UNTIL THE STRUCTURE IS COMPLETE.
5. COORDINATE STRUCTURAL CONTRACT DOCUMENTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DOCUMENTS. NOTIFY THE ARCHITECT OF ANY CONFLICT AND/OR OMISSION.
6. COORDINATE AND VERIFY FLOOR AND ROOF OPENING SIZES AND LOCATIONS WITH ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. FOR ADDITIONAL OPENINGS, INSERTS, SLEEVES, CURBS, PADS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS SEE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DIMENSIONS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. NOTIFY THE ARCHITECT OF ANY DISCREPANCY BEFORE STARTING SHOP DRAWINGS OR ANY WORK. FOR DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
8. REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS BEFORE SUBMITTAL. THE CONTRACTOR REMAINS SOLE RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTRACTOR IS ALSO RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

MILD REINFORCING STEEL PROTECTION NOTES:

THE FOLLOWING MINIMUM DIMENSIONS SHALL BE PROVIDED AS A CLEAR COVER FOR REINFORCING BARS IN STRUCTURAL MEMBERS:

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH:	
FOOTINGS	3"
CONCRETE PERMANENTLY EXPOSED TO EARTH, MOISTURE OR WEATHER:	
WALLS, COLUMNS, PIERS:	
UP THROUGH #5 BARS	1-1/2"
#6 THROUGH #18 BARS	2"
CONCRETE NOT EXPOSED TO EARTH, MOISTURE OR WEATHER:	
SLABS, WALLS, AND JOISTS:	
UP THROUGH #11 BARS	3/4"
#14 AND #18 BARS	1-1/2"
BEAMS, GIRDERS, AND COLUMNS:	
PRINCIPAL REINFORCEMENT, TIES, STIRRUPS, OR SPIRALS	1-1/2"

CASHMAN ASSOCIATES, Inc. PH: (608) 237-7443 FAX: (608) 237- 7444
4798 County Road I Sparta, WI 54656 gcashman@charter.net Gregory M. Cashman, AIA

Section 3, Item A.

REVISIONS

NO.	TITLE	DATE

PROJECT:
Richter Heating
Additions and Remodeling
421 Walter Tower Ct. Watertown, WI 53094

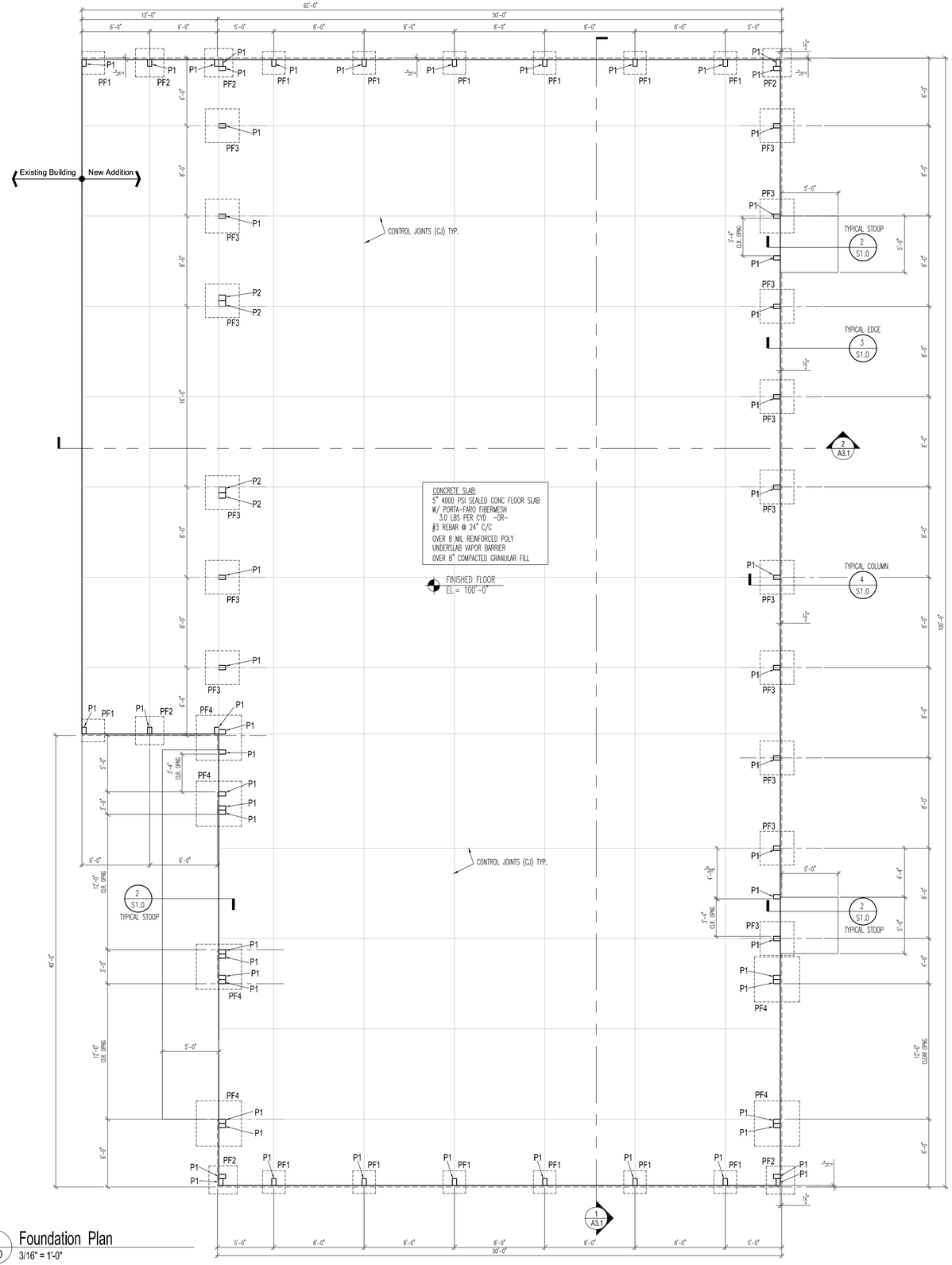
PROJECT OWNER:
AG Contractors, LLC
N8241 County Rd. X
Watertown, WI 53094

LOCATION:
421 Walter Tower Ct.
Watertown, WI 53094
Jefferson County

DATE: June 30, 2025

SHEET TITLE:
Structural Notes

SHEET NUMBER:
S0.0



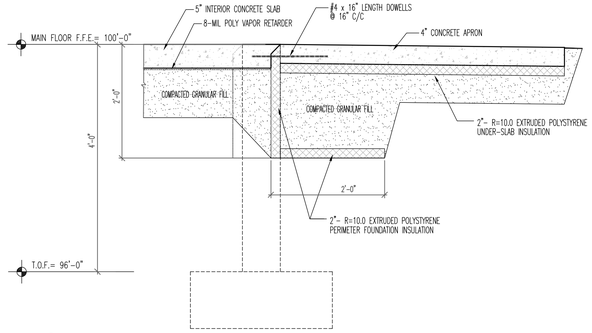
1 S1.0 **Foundation Plan**
3/16" = 1'-0"

FOOTING SCHEDULE

MARK	DIMENSIONS			REINFORCEMENT	REMARKS
	WIDTH	LENGTH	DEPTH		
PF1	24"	24"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF2	30"	30"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF3	36"	36"	12"	#5 @ 12" O.C.E.W	PIER FOOTING
PF4	48"	48"	12"	#5 @ 12" O.C.E.W	PIER FOOTING

PERMA-COLUMN PIER SCHEDULE

MARK	DIMENSIONS	PERMA-COLUMN MODEL ID
P1	3-PLY 2" x 8" NOMINAL	PC 8300
P2	4-PLY 2" x 8" NOMINAL	PC 8400



2 S1.0 **Typical Stoop Detail**
3/4" = 1'-0"

3 S1.0 **Typical Edge Detail**
3/4" = 1'-0"

4 S1.0 **Typical Edge Detail**
3/4" = 1'-0"

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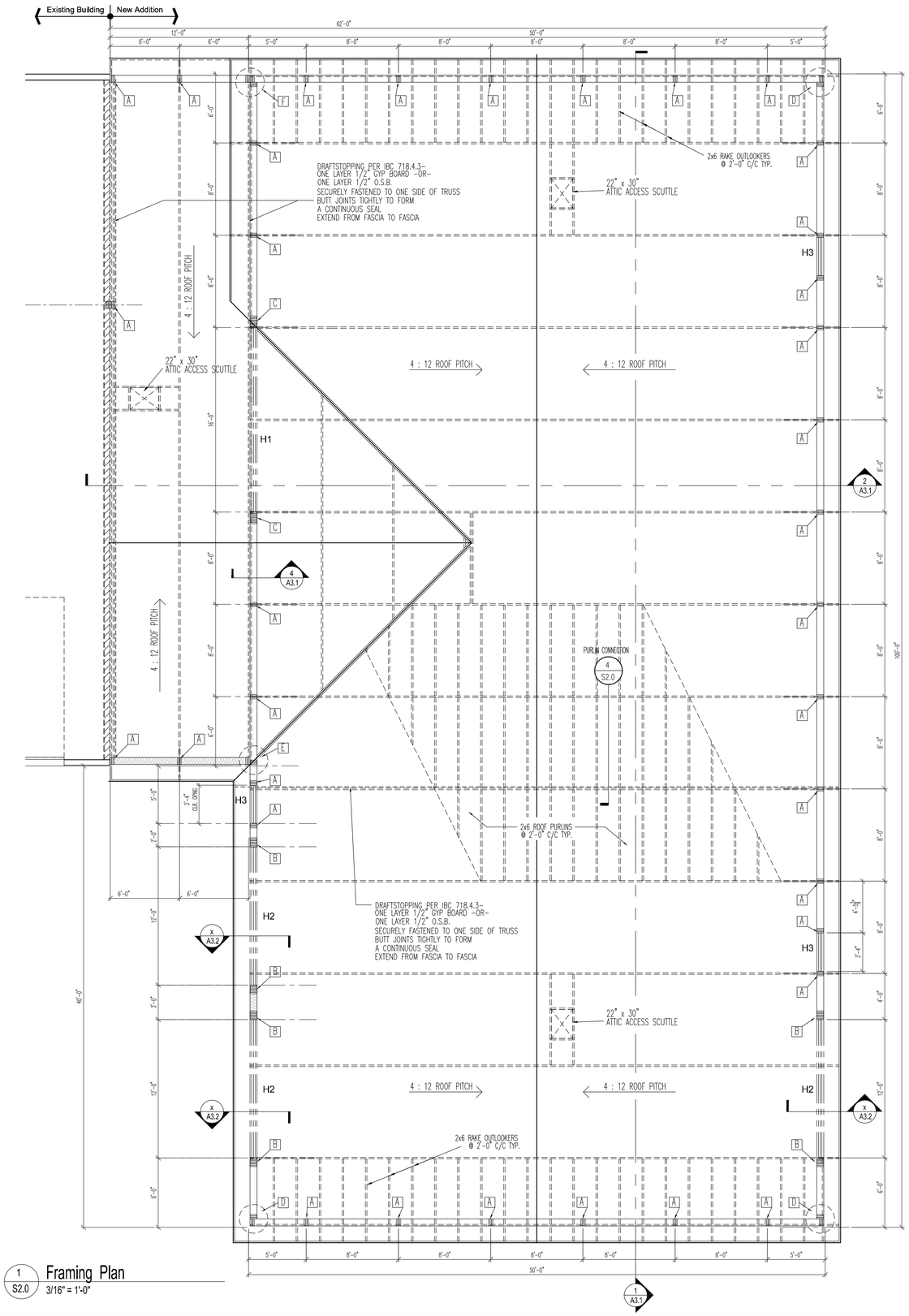
SHEET TITLE:
Foundation Plan

SHEET NUMBER:
S1.0



1 S2.0 **Framing Plan**
3/16" = 1'-0"

STRUCTURAL SCHEDULES:

COLUMN SCHEDULE:

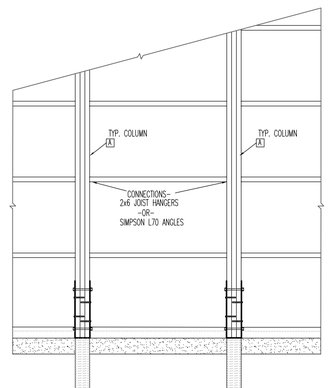
- A 3-PLY MSR LUMBER COLUMN
- B 6-PLY SPF#2 COLUMN
- C 8-PLY SPF#2 COLUMN
- D SEE DETAIL 5/S1.0
- E SEE DETAIL 6/S1.0
- F SEE DETAIL 4/S1.0

HEADER / BEAM SCHEDULE

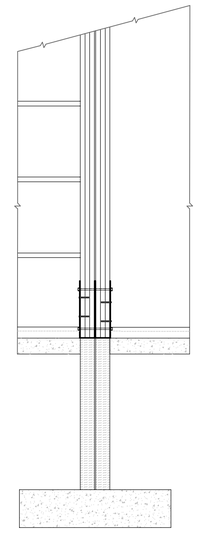
H1: (3) 1.75 x 18" - 2.0E Microllam LVL
W/ (2)- 2x8 Shoulder Studs and
(6) continuous 2x8 studs
Typ. each end

H2: (3) 1.75 x 16" - 2.0E Microllam LVL
W/ (2)- 2x8 Shoulder Studs and
(4) continuous 2x8 studs
Typ. each end

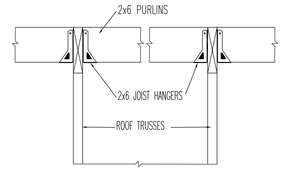
H3: (2) 2x8's
W/ (1)- 2x8 Shoulder Studs and
(2) continuous 2x8 studs
Typ. each end



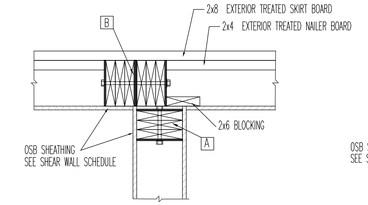
2 S2.0 **Ladder Framing Detail**
1/2" = 1'-0"



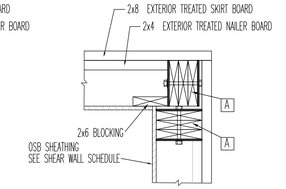
3 S2.0 **Double Column Detail**
1/2" = 1'-0"



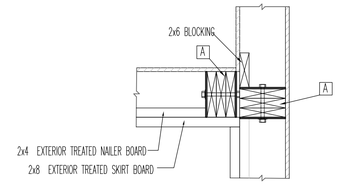
4 S2.0 **Roof Purlin Connection**
1" = 1'-0"



5 S2.0 **Corner Column Detail** F
1" = 1'-0"



6 S2.0 **Corner Column Detail** D
1" = 1'-0"



7 S2.0 **Corner Column Detail** E
1" = 1'-0"

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