



PLAN COMMISSION MEETING AGENDA

MONDAY, APRIL 28, 2025 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=UXJvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=84417334143or> by call 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 144391

All public participants' devices will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

- A. Review and take action: Plan Commission minutes dated April 14, 2025

3. BUSINESS

- A. Public hearing: 1684 S. Church Street – request for a Conditional Use Permit (CUP) for Indoor Institutional for a licensed adult day care under Section §550-51C
- B. Review and take action: 1684 S. Church Street – request for a Conditional Use Permit (CUP) for Indoor Institutional for a licensed adult day care under Section §550-51C
- C. Review and take action: 1413 & 1415 Grandview Court – Certified Survey Map (CSM) Request
- D. Review public hearing comments and make recommendation to Common Council: 100 E. Division Street Rezoning
- E. *This item has been repealed at the request of the applicant* Review public hearing comments and make recommendation to Common Council: 100 E. Division Street PD Overlay Map Amendment
- F. Review public hearing comments and make recommendation to Common Council: Zoning Ordinance Text Amendment - Central Business Apartments
- G. Review and take action: 1 E. Main Street Site Review of Plaza Phase II ADA Compliant Ramp and Stairs & 112 S. First Street Parking Lot Reconstruction
- H. Review and take possible action: purchase portion of 1020 East Main Street for 2026 Dewey Avenue STP-Urban Reconstruction Project
- I. Review and take action: Offer to Purchase regarding Parcel No.14-291-0915-2132-003 and 14-291-0915-2132-004
 - 1. Convene into closed session per § 19.85(e) to deliberate or negotiate the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session (Parcel No.14-291-0915-2132-003 and 14-291-0915-2132-004)
 - 2. Reconvene into open session
 - 3. Review and take action: Approve or Deny negotiating selling of Parcel No. Parcel No.14-291-0915-2132-003 and 14-291-0915-2132-004

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

PLAN COMMISSION

MINUTES

April 14, 2025

Section 2, Item A.

The Plan Commission met on the above date in the Council Chambers.

The following members were present: Mayor McFarland, Alderman Blanke, Beyer, Kneser, Krueger, Lampe, Talaga, Zirbes

Also in attendance: Keith Kindred of SEH, Brooke Alexander, Dean Gagliano, Eric Kluge, and Mason Becker

1. Call to order

2. Approval of Minutes

A. Site Plan Review minutes March 24, 2025

B. Plan Commission minutes March 24, 2025

Motion to approve both Site Plan Review and Plan Commission minutes was made by Lampe and seconded by Krueger, passed on unanimous voice vote.

3. Business

A. Review and take action: Edge Field Certified Survey Map (CSM)

Brian Zirbes presented the request for a CSM to split an existing home from the parent parcel.

Motion to approve with no conditions was made by Blanke, seconded by Krueger and passed on a unanimous voice vote.

B. Review and take action: Edge Field Subdivision Final Plat

Brian Zirbes presented the Final Plat and the conditions requested for approval for the Edge Field Subdivision. Mayor McFarland wanted to commend the developer for naming two of the streets, Slavney Drive and Harrington Way, after former Watertown city planners.

Motion to recommend approval to the Common Council with the conditions that the appropriate erosion control and stormwater permits, a note be placed on the plat regarding the parkland dedication fees, and any additional corrections identified by the county or state DoA upon their review was made by Blanke, seconded by Kneser and passed on a unanimous voice vote.

C. Initial review and schedule public hearing: Edge Field Rezoning

Brian Zirbes presented the request for a public hearing to change 14 lots from single family to two family in the Edge Field subdivision.

Motion to set the public hearing at the Common Council on May 6th 2025 was made by Lampe, seconded by Beyer and passed on a unanimous voice vote.

D. Recognition

Brian Zirbes presented Mayor McFarland with a certificate of appreciation to recognize her work on the Plan Commission over the last 6 years.

All materials discussed at this meeting can be found at:

https://core-docs.s3.us-east-1.amazonaws.com/documents/asset/uploaded_file/5330/COW/5524972/April_14_2025_Plan_Commission_Meeting_Packet.pdf

4. Adjournment

Motion to adjourn was made by McFarland and seconded by Talaga and passed on a unanimous voice vote. (5:05pm)

Respectfully Submitted,

Alderman Brad Blanke

NOTICE OF PUBLIC HEARING

Section 3, Item A.

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 28th day of April, 2025 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown. This public hearing will be to consider the request of Camp Buckaroos, Inc. (applicant) and Maximo Plaza, Inc. (Property Owner) for a Conditional Use Permit for Indoor Institutional for a licensed adult day care center under Section 550-51C. The property is zoned GB, General Business, and further described as follows:

Parcel 1: Lot 1 of Certified Survey Map No. 3106, recorded in Volume 13 of Certified Survey Maps at Pages 76, 77, and 78, as Document No. 940859, being all of Lot 1 of Certified Survey Map No. 2494, as recorded in Volume 9 of Certified Survey Maps at Pages 79-80 as Document No. 875380, in the Southwest ¼ of Section 9, Township 8 North, Range 15 East. Said land being in the City of Watertown, County of Jefferson, and State of Wisconsin.

Parcel 2: A non-eclusive access easement for the benefit of Parcel 1 as shown on Certified Survey Map No. 1950, Recorded in Volume 6 of Certified Survey Maps at Page 186, as Document No. 821331, and also Certified Survey Map No. 2494, recorded in Volume 9 of Certified Survey Maps at Page 79, as Document No. 875380, and in Easement recorded on October 1, 1986 in Volume 684 of Records at Page 807, as Document No. 821683. Said land being in the City of Watertown, County of Jefferson, and State of Wisconsin. (1684 S. Church Street, PIN: 291-0815-0923-064)

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at nzimmerman@watertownwi.gov.

CITY OF WATERTOWN
Brian Zirbes
Zoning & Floodplain Administrator

BZ/nmz

PUBLISH: April 14, 2025
And
April 21, 2025

(BLOCK AD)

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: April 28th, 2025
SUBJECT: 1684 S Church Street, Conditional Use Permit - CUP

A request by Darcie Wilson, agent for Camp Buckaroos Inc., for a Conditional Use Permit (CUP) for 'Indoor Institutional'. Parcel PIN(s): 291-0815-0923-064

SITE DETAILS:

Acres: 5.0
Current Zoning: General Business (GB)
Existing Land Use: Retail
Future Land Use Designation: Planned Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'Indoor Institutional' to utilize a retail space for a Licensed Adult Day Care (ADCC). The Adult Day Care will utilize the 2,579 S.F. building as it is currently configured with no alteration required.

STAFF EVALUATION:

Land Use and Zoning:

1. Within the General Business (GB) Zoning District, 'Indoor Institutional' is a principal land use permitted as a conditional use [per § 550-33B(2)(b)]. 'Indoor Institutional' includes indoor public facilities and similar land uses among the allowed uses [per § 550-51C].

Applicable regulations for 'Indoor Commercial Entertainment' land uses include the following:

- Shall be located with primary vehicular access on a collector or arterial street [per § 550-51C(1)(a)].
 - Shall provide off-street passenger loading area if the majority of the users will be children (as in the case of a school, church, library or similar land use) [per § 550-51C(1)(b)].
 - All structures shall be located a minimum of 50 feet from any residentially zoned property [per § 550-51C(1)(c)].
2. Parking requirements. One space per three expected patrons at maximum capacity [per § 550-51C(2)]. The proposed facility is located within an established strip mall with adequate parking.
 3. Landscaping requirements. Requirements for on-site landscaping in the General Business (CB) Zoning District include a minimum surface ratio (LSR) of 15% [per § 550-33G(1)(b)]. The proposed facility is located within an established strip mall with adequate established landscaping.

BUILDING SAFETY & ZONING DIVISION

PLAN COMMISSION STAFF REPORT

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.

1. 62.23 (7) (de)(1) *In this paragraph:*
 - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
 - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
 - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
 - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

PLAN COMMISSION DECISION:

Indoor Institutional Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
<i>Shall be located with primary vehicular access on a collector or arterial street.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Shall provide off-street passenger loading area if the majority of the users will be children (as in the case of a school, church, library or similar land use).</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>All structures shall be located a minimum of 50 feet from any residentially zoned property.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
<i>Parking requirements. One space per three expected patrons at maximum capacity.</i>	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit.

ATTACHMENTS:

- Application materials

Camp buckaroos is a daycare for adults with special needs 18+ and provides care for those with special needs.

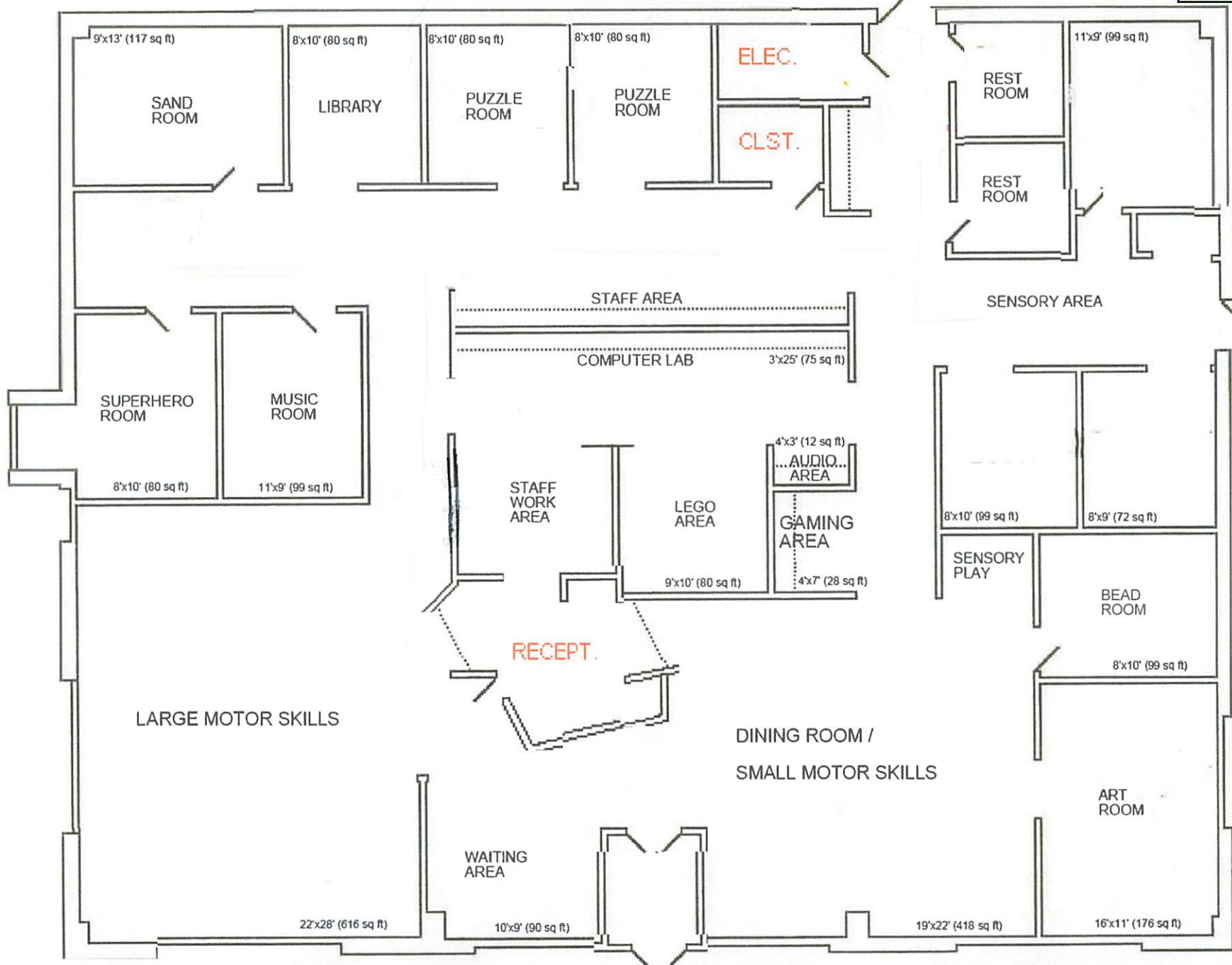
Hours: 7a-6p - M - F

4 staff

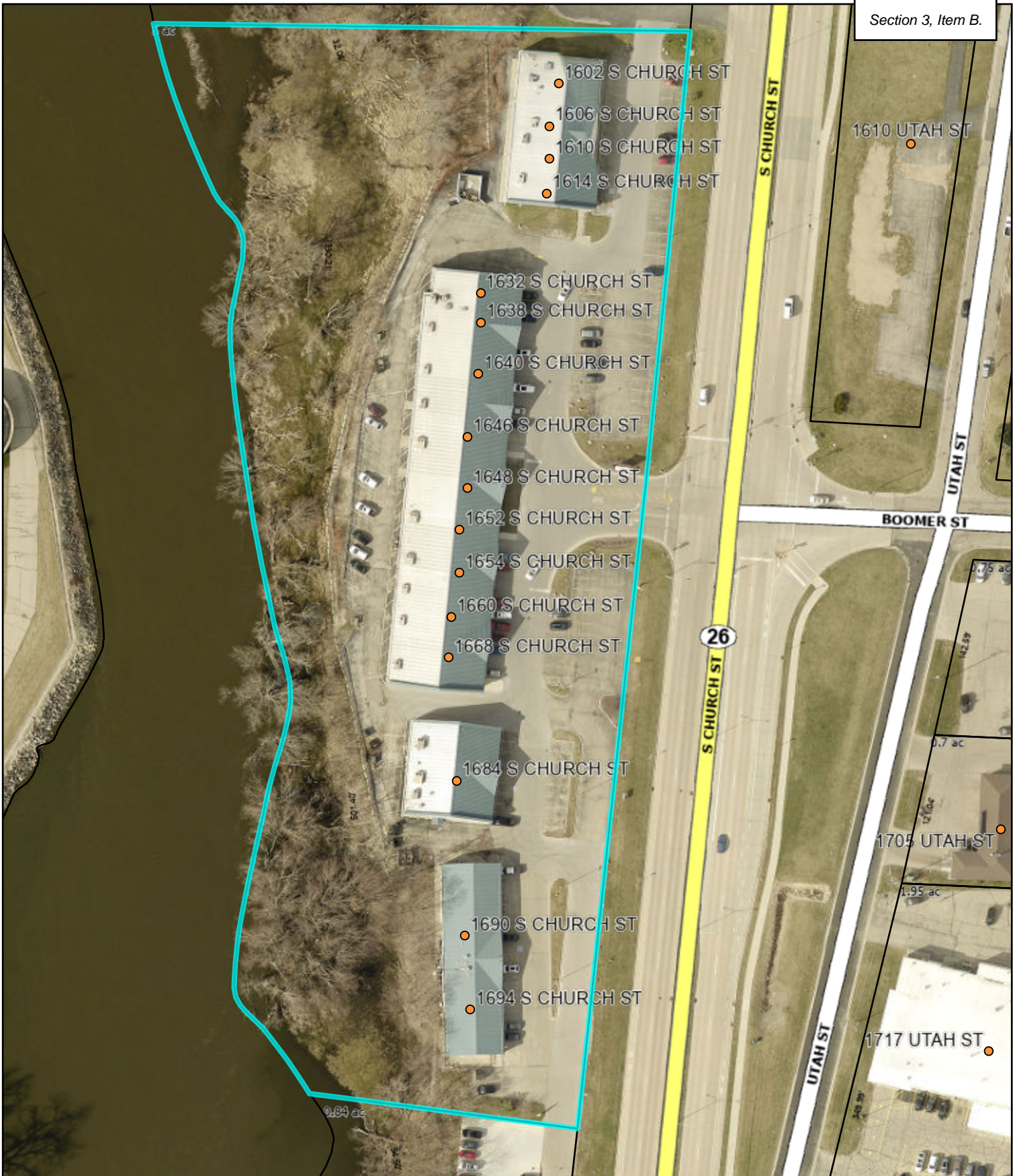
CAMP BUCKAROOS

Floor Plan and Room Utilization Layout

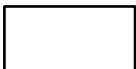
Section 3, Item B.



TOTAL SQ FT = 2579



City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

Scale: 1:1,232

SCALE BAR = 1"

Printed on: April 14, 2015
Author:

9

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

**BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT**

TO: Plan Commission
DATE: April 28th, 2025
SUBJECT: 1413 - 1415 Grandview Ct. – Preliminary Certified Survey Map (CSM)

A request by Richard and Gail Woolley to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-3414-063 & 291-0815-3414-064

SITE DETAILS:

Parent Parcel Acres: 0.32 & 0.42 acres
Proposed Lot Size(s): Lot 1 – 0.74 acres (32,267.5 S.F.)
Jurisdiction: City of Watertown

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to create a one-lot CSM by combining two existing platted lots. The purpose of the lot combination is to construct a home on the new parcel. The proposed lot contains a stormwater drainage easement through the center of the proposed lot that will need to be relocated. The proposed CSM lot is located within the Airport Approach Protection Zone with a maximum elevation of 972 feet above mean sea level for all buildings and vegetation. A note indicating this elevation will need to be added to the CSM. ROW for Grandview Court is adequate in this location - no ROW is being dedicated by the CSM.

PLAN COMMISSION OPTIONS:

The following possible options for the Plan Commission:

1. Deny the CSM.
2. Approve the CSM without conditions.
3. Approve the CSM with other conditions as identified by the City of Watertown Plan Commission:
 - A revised grading plan indicating drainage easement relocations shall be reviewed and approved by the Engineering Division and the revised easements shall be shown on the CSM.
 - Add a note to the CSM indicating drainage easement maintenance responsibilities.
 - Add a note to the CSM indicating the Airport Approach Protection Zone maximum elevation.
 - Correct the signature page on the CSM to include correct signature lines for the Mayor and City Clerk.

STAFF RECOMMENDATION:

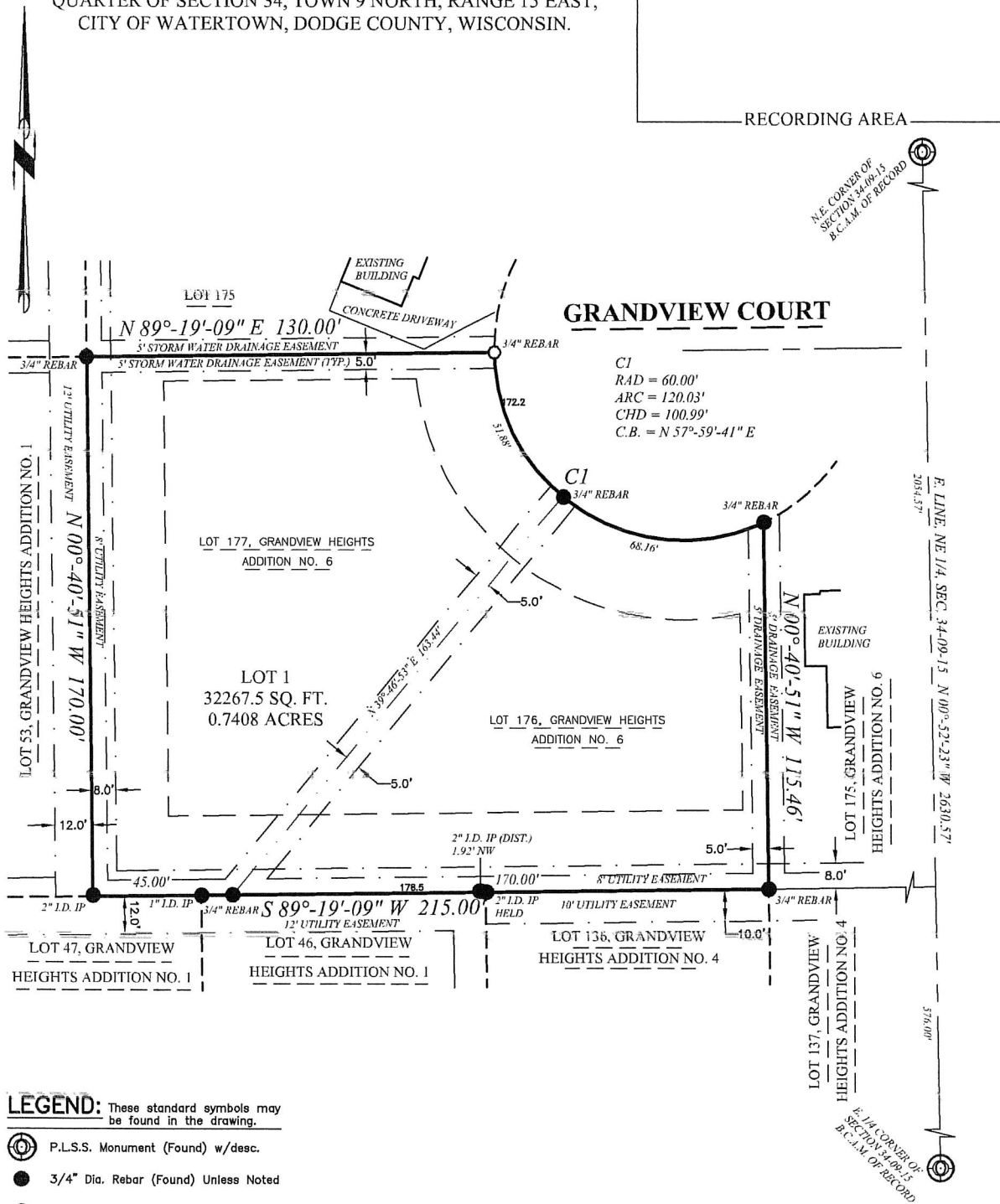
- Staff recommends approval of the CSM with conditions.

ATTACHMENTS:

- Application materials.

CERTIFIED SURVEY MAP No. _____

BEING A RE-DIVISION OF LOTS 176 & 177 OF GRANDVIEW HEIGHTS NO. 6, A SUBDIVISION OF PART OF THE SE 1/4 OF THE NORTHEAST QUARTER OF SECTION 34, TOWN 9 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN.



LEGEND: These standard symbols may be found in the drawing.

- P.L.S.S. Monument (Found) w/desc.
- 3/4" Dia. Rebar (Found) Unless Noted
- 18" Long X 3/4" Dia. Rebar (Set) Unless Noted
- Recorded Easement Boundary
- Building Setback Line
- Recorded Lot Line Removed

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 34-09-15 WHICH IS ASSUMED TO BEAR N 00°-52'-23" W.

40' 0 40'

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305
This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Richard L. & Gail L. Woolley 610 Clyman St. Watertown, WI 53094

SHEET 1 OF 3

CERTIFIED SURVEY MAP No. _____

BEING A RE-DIVISION OF LOTS 176 & 177 OF GRANDVIEW HEIGHTS NO. 6,
A SUBDIVISION OF PART OF THE SE 1/4 OF THE NORTHEAST QUARTER
OF SECTION 34, TOWN 9 NORTH, RANGE 15 EAST, CITY OF
WATERTOWN, DODGE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE AND LEGAL DESCRIPTION:

I, SCOTT D. THOMAS, WISCONSIN LICENSED, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH CHAPTER 236.34 OF WISCONSIN STATUTES, THE SUBDIVISION REGULATIONS OF THE CITY OF WATERTOWN AND UNDER THE DIRECTION OF RICHARD L. AND GAIL L. WOOLLEY, OWNERS, I HAVE SURVEYED, RE-DIVIDED AND MAPPED ALL THAT PART OF GRANDVIEW HEIGHTS ADDITION NO. 6, BEING A RECORDED SUBDIVISION OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHEAST QUARTER OF SECTION 34, TOWN 9 NORTH, RANGE 15 EAST, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS LOTS 176 AND 177 OF THE FOLLOWING:

PER WARRANTY DEED RECORDED AS DOCUMENT NO. 1341754:

LOT 176, GRANDVIEW HEIGHTS ADDITION NO. 6, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN. DATED OCTOBER 10, 2023 AS DOCUMENT NO. 1341754.

AND ALSO INCLUDING:

PER WARRANTY DEED RECORDED AS DOCUMENT NO. 1310558:

LOTS 177, GRANDVIEW HEIGHTS ADDITION NO. 6, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN. DATED JUNE 23, 2021 AS DOCUMENT NO. 1310558.

SUBJECT TO ANY EASEMENTS AND AGREEMENTS, RECORDED AND UN-RECORDED, INCLUDING THOSE EASEMENTS SHOWN ON THE PLAT OF SAID GRANDVIEW HEIGHTS NO. 6.

COMBINED PARCEL CONTAINING 32,267.5 SQUARE FEET, OR 0.7408 ACRE, OF LAND, MORE OR LESS.

I ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE RE-DIVISION OF IT.

SCOTT D. THOMAS - WI REG. NO. 2354
DATED THIS _____ DAY OF _____, 2025.

HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Richard L. & Gail L. Woolley 610 Clyman St. Watertown, WI 53094

SHEET 2 OF 3

CERTIFIED SURVEY MAP No. _____

BEING A RE-DIVISION OF LOTS 176 & 177 OF GRANDVIEW HEIGHTS NO. 6,
A SUBDIVISION OF PART OF THE SE 1/4 OF THE NORTHEAST QUARTER
OF SECTION 34, TOWN 9 NORTH, RANGE 15 EAST, CITY OF
WATERTOWN, DODGE COUNTY, WISCONSIN.

INDIVIDUAL OWNER'S CERTIFICATE:

AS OWNERS WE HEREBY CERTIFY THAT WE HAVE CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, RE-DIVIDED AND MAPPED AS REPRESENTED HEREON. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: CITY OF WATERTOWN.


GAIL L. WOOLLEY - OWNER


RICHARD L. WOOLLEY - OWNER

CITY OF WATERTOWN APPROVAL:

APPROVED BY THE CITY OF WATERTOWN PLAN COMMISSION.

DATE: _____

EMILY MCFARLAND - CHAIRPERSON/MAYOR

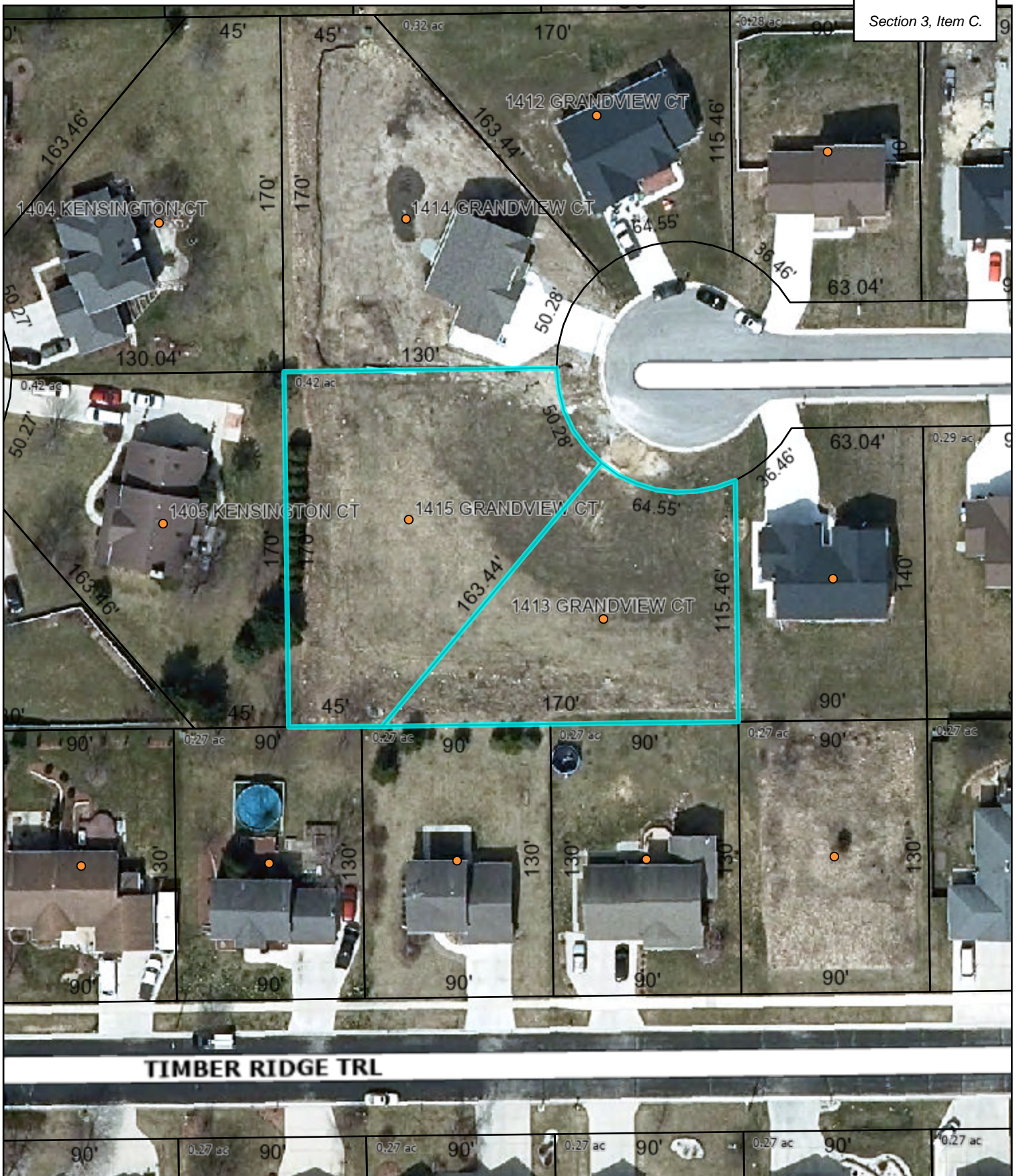
HOLLAND & THOMAS, L.L.C. - LAND SURVEYORS

202 West Street Johnson Creek, WI 53038 (920) 699-3305

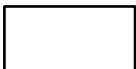
This Instrument prepared by: Scott D. Thomas, S-2354

Owner/Subdivider: Richard L. & Gail L. Woolley 610 Clyman St. Watertown, WI 53094

SHEET 3 OF 3



City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

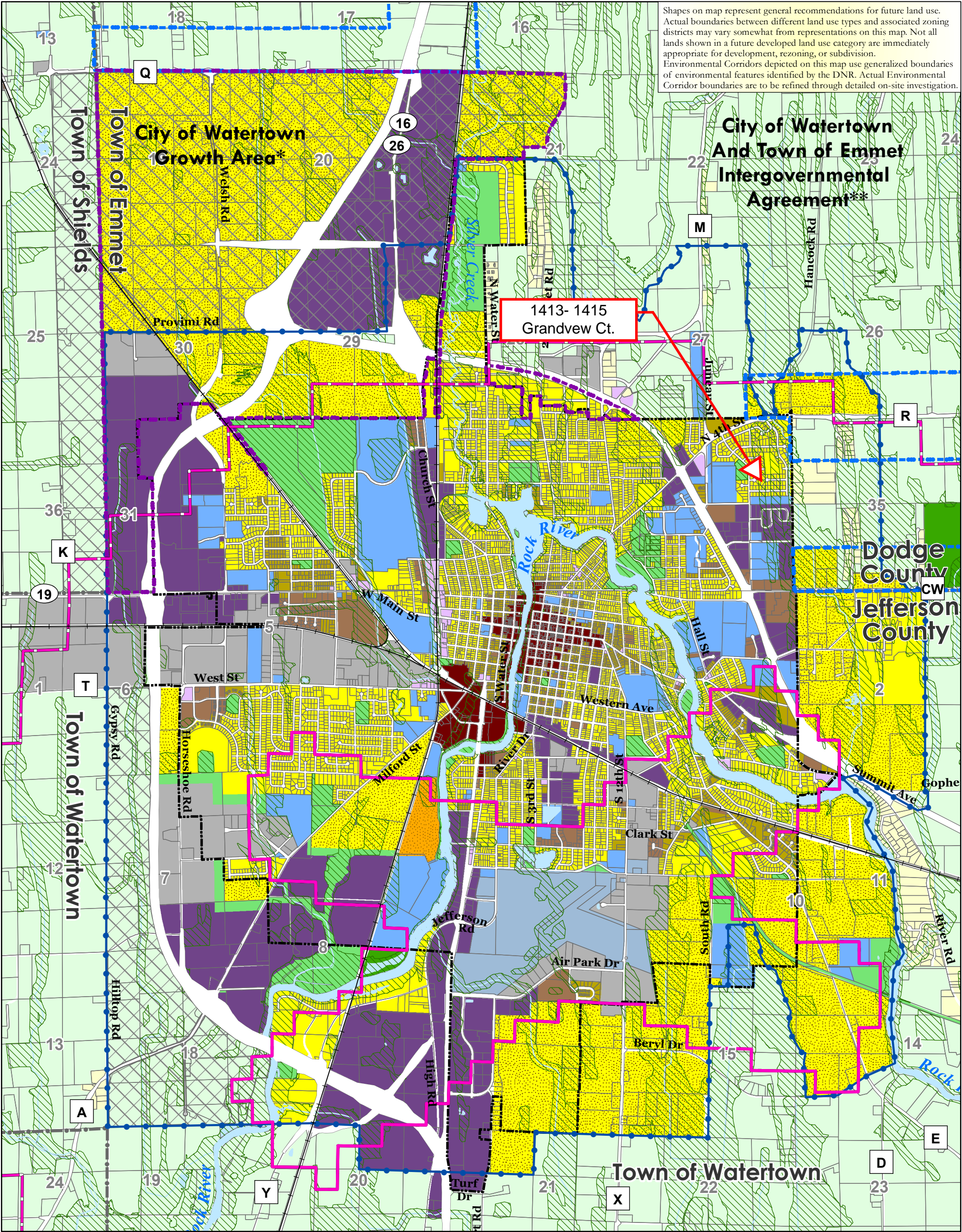
Scale: 1:739

SCALE BAR = 1"

Printed on: April 21,
Author:

15

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inferences may occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

1413- 1415
Grandview Ct.

Dodge
County
Jefferson
County

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



**"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-Family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.
Shaping places, shaping change



0 0.25 0.5 1 Miles

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: April 28th, 2025
SUBJECT: Public Hearing Comment Review and a Recommendation to Council – Rezoning

Public Hearing Comment Review and a Recommendation to Council for a rezoning requested by Northtown Partners LLC, agent for Cady Emerald LLC., on parcels located at 100 and 104 East Division Street, Watertown, WI. Parcel PIN(s): 291-0815-0412-029 & 291-0915-3343-053.

SITE DETAILS:

Acres: 0.52 & 1.10 acres
Current Zoning: General Business (GB) Zoning District
Existing Land Use: Vacant
Future Land Use Designation: Central Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to change the zoning designation from the General Business (GB) Zoning District to Central Business (CB) Zoning District for the development of a multi-family apartment complex. A rezoning to a Planned Development (PD) Overlay Zoning District to allow for flexibilities within the Central Business (CB) Zoning District for the apartment complex proposal is also pending. These parcels were previously the site of the Johnsonville Sausage Plant that was destroyed by a fire. The two parcels involved with this development proposal are located in two different counties, as such the proposed building will be built as two separate buildings with a shared zero lot line wall separation at the county line. A CSM related to this development proposal is also pending. The discontinuance of a portion of Cole Street is also proposed for this development.

STAFF EVALUATION:

Land Use and Zoning:

Nearby Future Land Use designations include Central Mixed Use to the north and south. Two-Family and Multi-Family Future Land Uses exist to the east. The Rock River is located to the west.

Nearby Zoning includes Central Business and Two-Family Residential Zoning to the south. Neighborhood Business Zoning and Two-Family Residential Zoning are located to the north and east. The Rock River is located to the west.

Zoning Code

The zoning code requires the Plan Commission to review rezoning requests and make a recommendation to the Common Council.

Per Section § 550-141G:

G. Review and recommendation by the Plan Commission. The Common Council shall not make an amendment to the Official Zoning Map without allowing for a recommendation from the Plan Commission per the provisions of this subsection.

- (1) Within 60 days after the public hearing (or within an extension of said period requested in writing by the applicant and granted by the Plan Commission), the Plan Commission shall make a written report to the Common Council stating its findings regarding Subsection D above and its recommendations regarding the application as a whole. Said report shall include a formal finding of facts developed and approved by the Plan Commission concerning the requirements of Subsection D(3)(a) through (c).*
- (2) If the Plan Commission fails to make a report within 60 days after the filing of said complete application [and in the absence of an applicant-approved extension per Subsection G(1) above], then the Common Council may act on the application within 30 days after the expiration of said sixty-day period. Failure to receive said written report from the Plan Commission per Subsection G(1) above shall not invalidate the proceedings or actions of the Common Council.*
- (3) If the Plan Commission recommends approval of an application, it shall state in the minutes or in a subsequently issued written decision its conclusion and any finding of facts supporting its conclusion as to the following: that the potential public benefits of the proposed amendment outweigh any and all potential adverse impacts of the proposed amendment, as identified in Subsection D(3)(a) through (c) above, after taking into consideration the proposal by the applicant*

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

PUBLIC HEARING COMMENT:

Public comments from the April 15th, 2025 Public Hearing before the Common Council, if any, are attached.

OPTIONS:

The following are possible options for the Plan Commission:

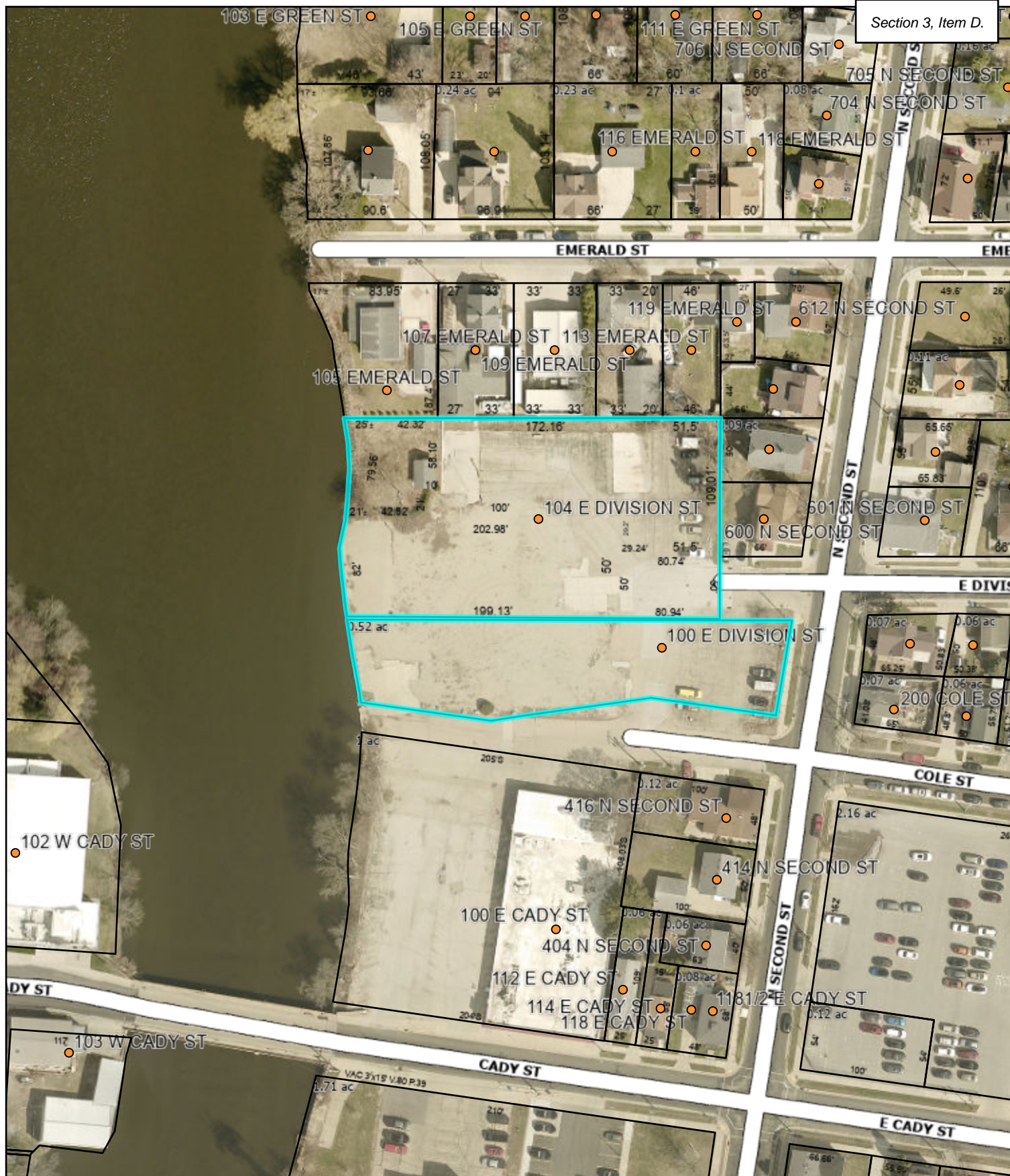
1. Negative recommendation of the Rezoning to Common Council.
2. Positive recommendation of Rezoning to Common Council.
3. Positive recommendation of the Rezoning to Common Council, with conditions identified by the Plan Commission:
 - The pending rezoning of these parcels to a Planned Development Overlay (PD) Zoning GDP/PIP is approved by the Common Council.
 - The pending vacation of a portion of Cole St is approved by the Common Council.
 - The pending CSM associated with these parcels is approved by the Plan Commission.

STAFF RECOMMENDATION:

- Staff recommends a positive recommendation of the rezoning to the Common Council with conditions.

ATTACHMENTS:

- Application materials.



City Boundary



Parcel Boundary



Address Points



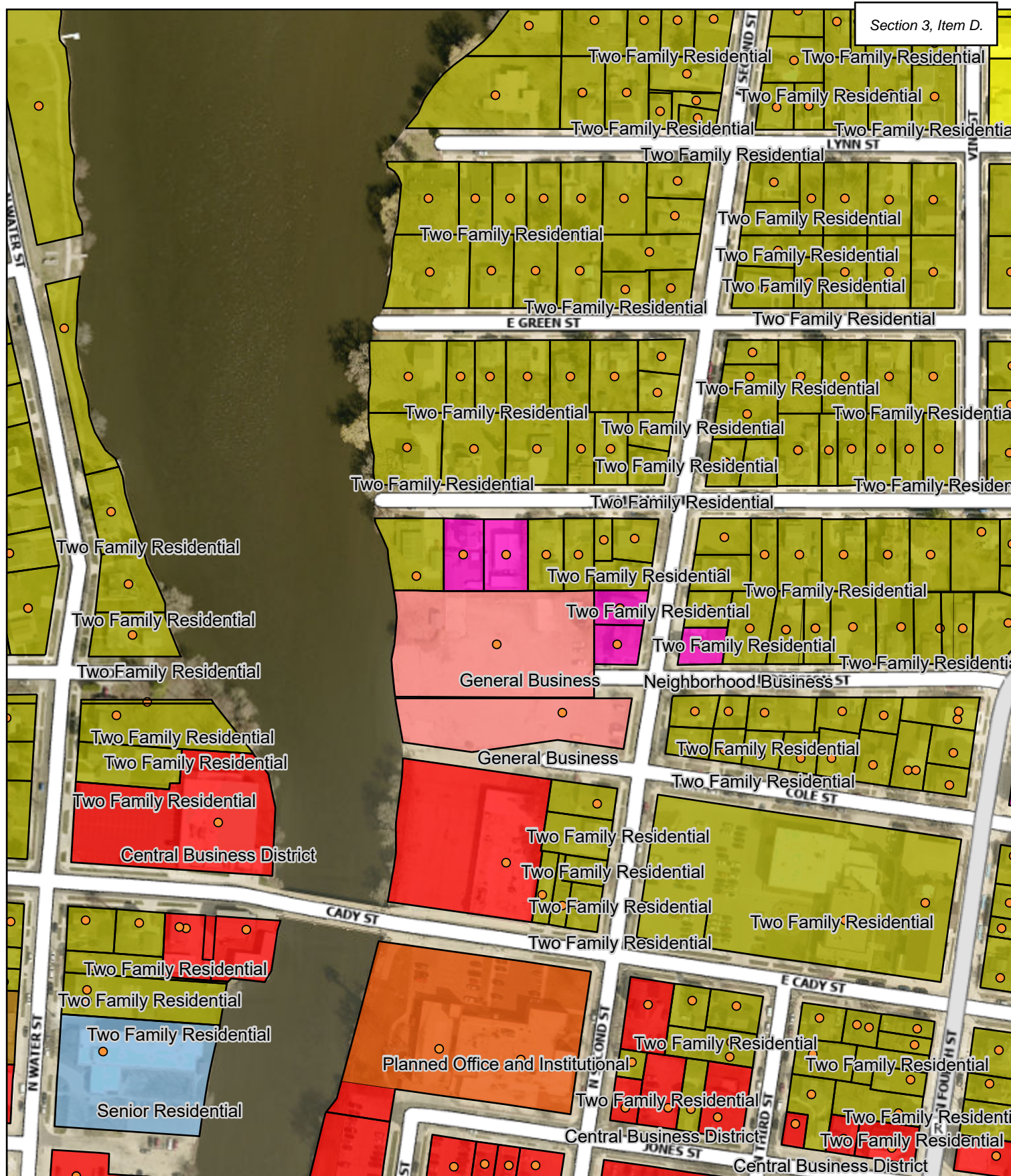
City of Watertown Geographic Information System






















Scale: 1:1,232

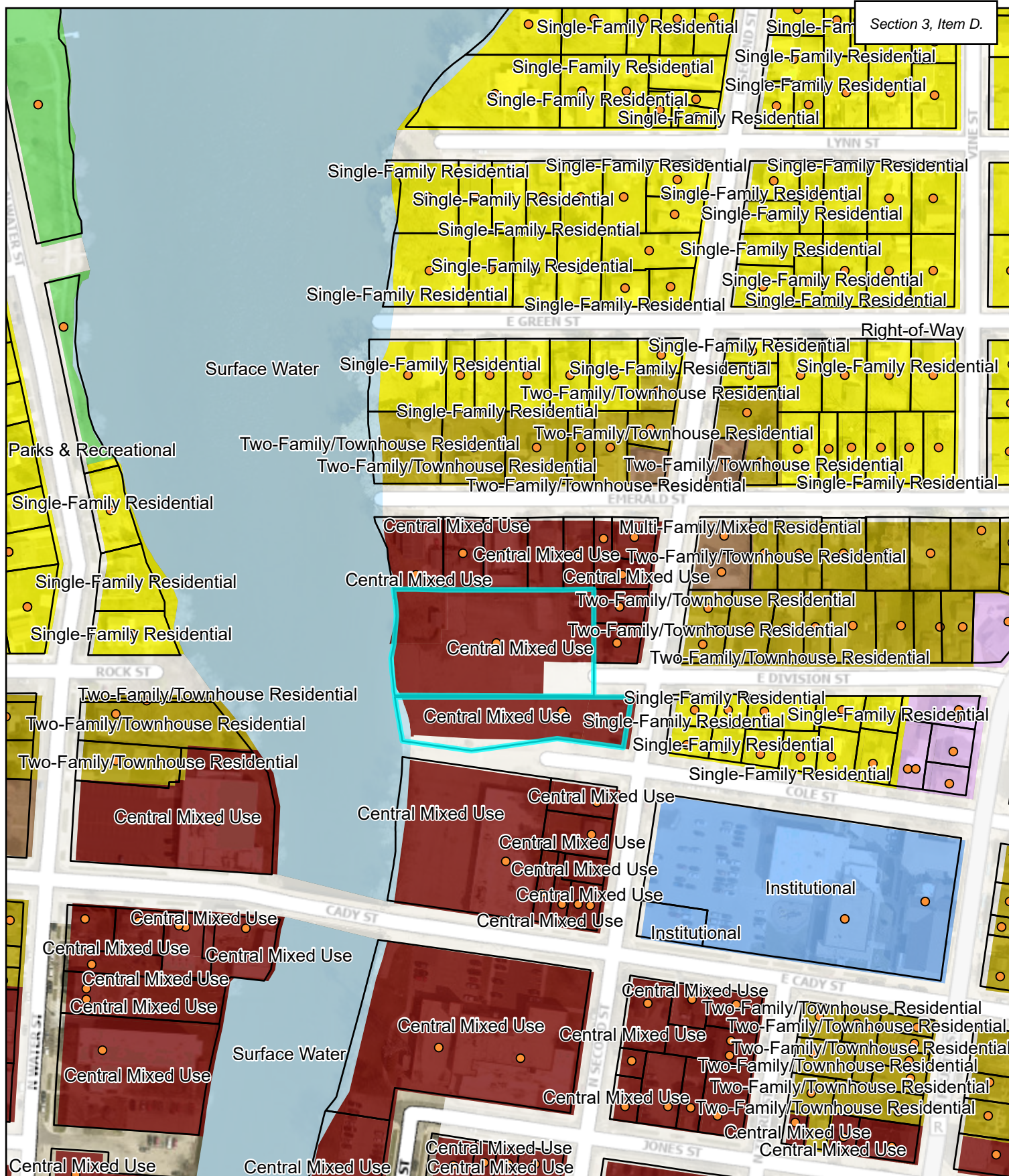
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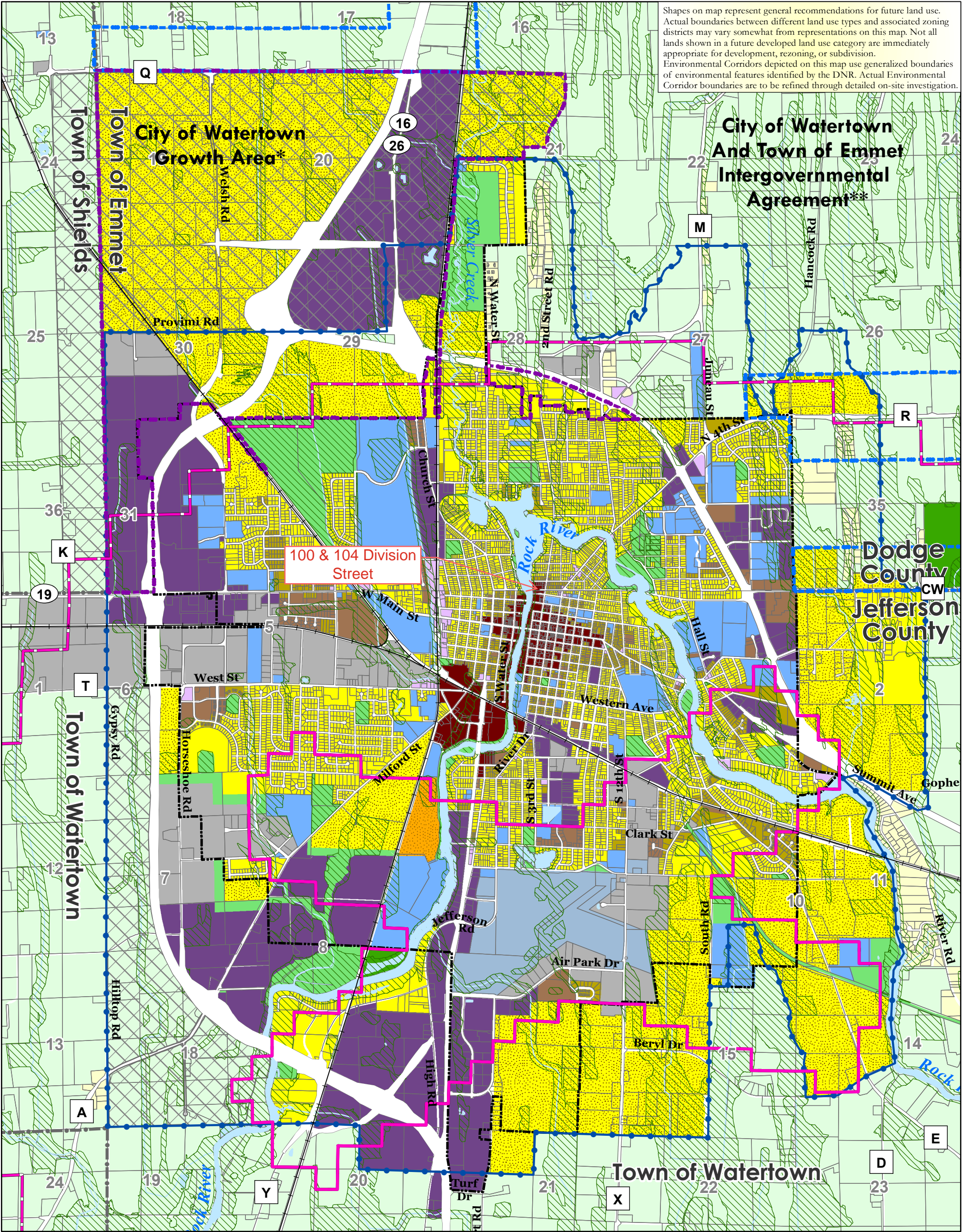
Printed on: April 21,
Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other interest inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



	City Boundary		Multi-Family Residential-8		Neighborhood Business		Heavy Industrial
	Parcel Boundary		Multi-Family Residential-10		Planned Business		Conditional Use
	Address Points		Senior Residential		General Business		Multiple Zoning
Base Zoning					Central Business District		Unknown
	Single-Family Residential-4		Rural Holding		Planned Industrial		
	Two-Family Residential-6		Planned Office And Institutional		General Industrial		
			Neighborhood Office				





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Watertown
And Town of Emmet
Intergovernmental
Agreement****

**Dodge
County
Jefferson
County**

**Future Land Use
Urban Area**

**Map
6b**

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-Family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation

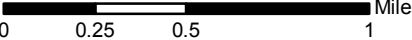


- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations
Maximum Building Elevation
b/t 865 and 968 ft
Maximum Building Elevation
b/t 968 and 1005 ft

Draft: August 7, 2019
Source: WisDNR, FEMA,
City of Watertown,
Dodge Co. LIO &
Jefferson Co. LIO, V&A

**VANDEWALLE &
ASSOCIATES INC.**
Shaping places. shaping change



**ORDINANCE TO
AMEND CHAPTER 550
OFFICIAL ZONING MAP OF THE CITY OF WATERTOWN**

**SPONSOR: MAYOR STOCKS
FROM: PLAN COMMISSION WITH POSITIVE RECOMMENDATION**

THE COMMON COUNCIL OF THE CITY OF WATERTOWN DOES ORDAIN AS FOLLOWS:

SECTION 1. The following described property, City of Watertown, Jefferson County, Wisconsin is hereby altered and changed from a General Business (GB) Zoning District to Central Business (CB) Zoning District classifications as follows (Exhibit A):

A part of Block 52, according to the map or plat of the Village (now City) of Watertown, Jefferson County, Wisconsin, on the East side of the Rock River, as laid out by Luther A. Cole et al., surveyed by Milo Jones in May 1847, and recorded, bounded and described as follows, to-wit:

Commencing at the Northeast corner of said Block 52, thence South 83° 10' West, along the North line of said Block, 101.04 feet to a point; thence South 1° 25' West, to a point on the South line of said Block 52, 100 feet West to the Southeast corner thereof; thence East along the South line of said Block, 100 feet to said Southeast corner of Block 52; thence North 1° 25' East, along the East line of said Block, 79.80 feet to the point of beginning.

AND

A part of Block 52 according to the map or plat of the Village (now City) of Watertown, on the East side of Rock River, as laid out by Luther A. Cole, et al., surveyed by Milo Jones in May, 1847, and recorded, bounded and described as follows, to-wit: Commencing at the Northeast corner of said Block 52; thence South 83° 10' West, along the North line of said block, 101.04 feet to the place of beginning; thence continuing South 83° 10' West, along the North line of said Block, 238.41 feet to a meander line on the East bank of Rock River; thence South 9° 45' East, along said meander line, 27.72 feet to an iron bar meander post; thence North 83° 10' East, 105.77 feet; thence South 1° 25' West, 20.60 feet to the South line of said Block 52; thence North 89° 30' East, along the South line of said Block, 128 feet; thence North 1° 25' East, 66.10 feet to the point of beginning, including all lands lying between the meander line and the East shore of Rock River.

AND

A part of Block 52, according to the map or plat of the Village (now City) of Watertown, on the East side of Rock River, as laid out by Luther A. Cole, et al., surveyed by Milo Jones in May, 1847 and recorded, bounded as follows: Commencing in the South line of said Block 52, at a point 228 feet West from the Southeast corner of the same; thence running North and parallel with the East line of said Block to the North line thereof; thence West along said North line to Rock River; thence South along said River to the South line of said Block; thence East along said South line to the place of beginning.

AND

Lot 1 of Certified Survey Map No. 2469, recorded in the office of the Register of Deeds for Jefferson County, Wisconsin, on May 6, 1991, in Volume 9 of Certified Survey Maps, on page 40, as Document No. 872842, being part of Cole Street adjacent to Block 52 of the Original Plat of Watertown East-side, in the City of Watertown, Jefferson County, Wisconsin.(100 E. Division Street; Parcel No. 291-0815-0412-029)

SECTION 2. The following described property, City of Watertown, Dodge County, Wisconsin is hereby altered and changed from a General Business (GB) Zoning District to Central Business (CB) Zoning District classifications as follows (Exhibit A):

A part of the Southwest 1/4 of Southeast 1/4 of Section 33, Town 9 North, Range 15 East, City of Watertown, Dodge County, Wisconsin being more particularly described as follows: Commencing at the Southeast corner of said Section 33; thence N.89° 19'22"W. along south line of the NE 1/4 of said Section 33, 2352.59 feet; thence N.0°59'22"E., 8.11 feet to the Point of Beginning; thence continuing N.0°59'22"E., 50.00 feet to the southeast corner of Lot 1 of Certified Survey Map No. 1380 and the north right-of-way line of E. Division St.; thence N.88°46'45"W. along the south line of Lot 1 and Lot 2 of said Certified Survey Map No. 1380 and said north right-of-way line of E. Division St., 80.74 feet; thence S.1 ° 13'15"W., 50.00 feet to the south right-of-way line of E. Division St.; thence S.88°46'45"E. along said south right-of-way line of E. Division St., 80.94 feet to the Point of Beginning. Said parcel contains 4,042 square feet or 0.093 acres more or less. (Parcel No. 291-0915-3343-053)

SECTION 3. All ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed.

SECTION 4. This ordinance shall take effect and be in force the day after its passage and publication.

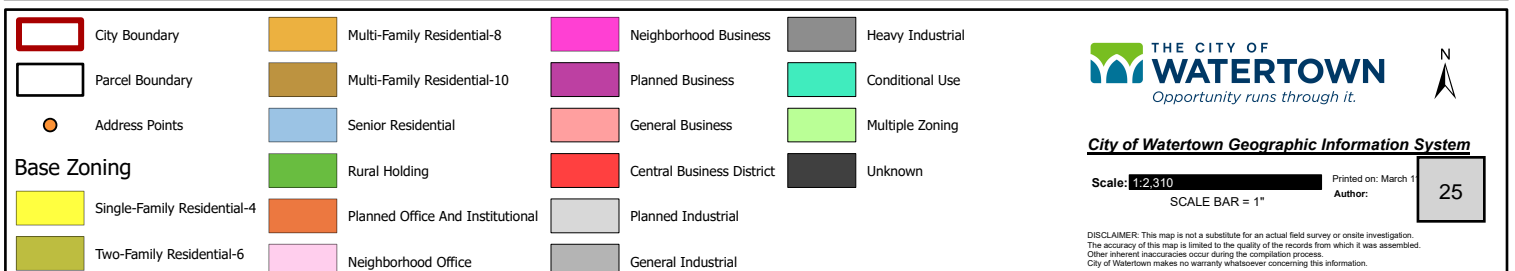
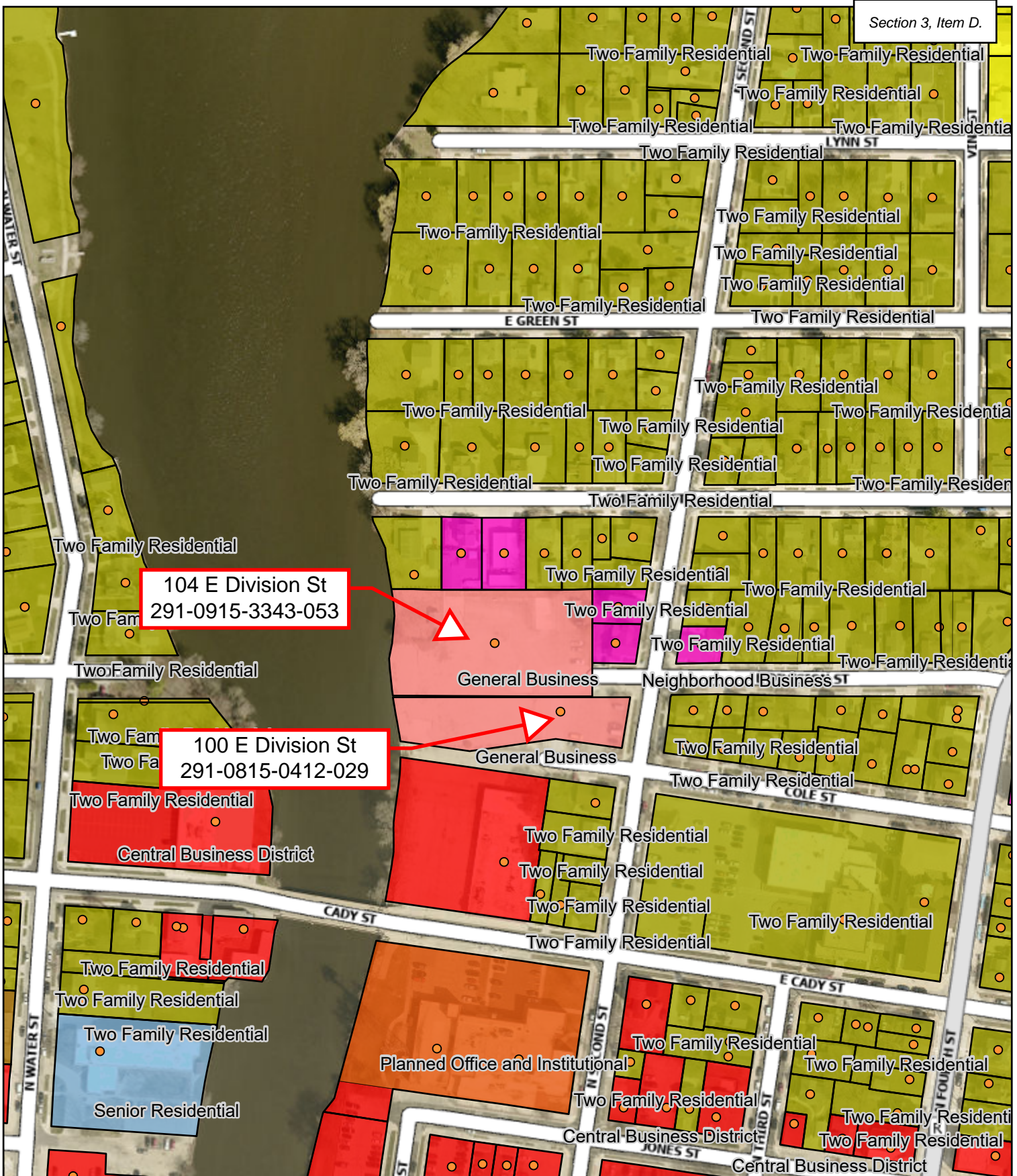
DATE:	May 6, 2025		May 20, 2025	
READING:	1ST		2ND	
	YES	NO	YES	NO
DAVIS				
LAMPE				
BERG				
BARTZ				
BLANKE				
SMITH				
ARNETT				
WETZEL				
MOLDENHAUER				
MAYOR STOCKS				
TOTAL				

ADOPTED _____

CITY CLERK

APPROVED _____

MAYOR



Comments received from Pat Werner of 200 Cole St. with concerns of space and parking in this area. Karah Pugh spoke on the lack of housing in the area and that this development would bring people in that would support local business. Sandra Trego spoke in favor of the concept but would like to see the layout of the building looked at further. – concern of block daylight and overlooking the meat market.

Karah Pugh – pugh.Karah@gmail.com

Pat Wener – patsweeneywerner@gmail.com 200 Cole Street

Sandra Trego – no contact info given

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: April 28th, 2025
SUBJECT: Review of Public Hearing Comments and a Recommendation to Common Council – Text Amendments to Chapter 550 Zoning

A request by the City of Watertown, for text amendments to the City of Watertown Zoning Code - Chapter 550.

BACKGROUND DESCRIPTION:

Proposed Amendment:

A recently proposed multi-family development has brought to light some concerns with the Central Business Apartments land use as it is currently written within the Zoning Ordinance. The current Zoning Ordinance allows Central Business Apartments with the approval of a Conditional Use Permit (CUP) in the Central Business (CB) Zoning District. One of the required conditions of a Central Business Apartments CUP is approval of a Planned Development (PD) Overlay Zoning District for any proposed apartment developments. In light of recent State law changes (Act 67 and Act 16) that require CUPs and permitted uses to be approved if the associated regulations can be met, a CUP that requires an additional rezoning action for approval makes this CUP requirement problematic and possibly a violation of these recent state law changes. In addition, there are also concerns about the consistency of the 'Central Business Apartments' land use with the 2019 Comprehensive Plan in regard to the allowance of first floor residential.

After consultation with Vandewalle and Associates regarding these concerns, it was determined the best resolution at this time would be to remove Central Business Apartments land use from the Zoning Ordinance via a text amendment. This change would allow the currently proposed multi-family development in the Central Business Zoning District (and future similar proposed developments) to proceed with just approval of a Planned Development (PD) Overlay Zoning District that allows multi-family development as a granted flexibility. Used in this manner, the Planned Development (PD) Overlay Zoning District approval process will give the City the proper level of project oversight while removing unnecessary burdens on developers as well as remove concerns with State Law and Comprehensive Plan consistency. The existing language in § 550-152B of the Zoning Code states that Planned Developments may consider flexibility in land uses, which would allow a development to propose ground floor residential in the Central Business (CB) Zoning District. In evaluating such requests, the Plan Commission and Common Council would consider whether the Planned Development zoning action, through negotiating the location and parameters of the development, is substantially consistent with the goals of the Comprehensive Plan.

The Planned Development (PD) Overlay Zoning District (formerly known as a PUD) is the process by which previous apartment complex developments were approved within the Central Business (CB) Zoning District prior to the addition of the Central Business Apartments land use category in 2021 (e.g. the Globe and River Mill Apartments). No apartment complexes have been developed using the Central Business Apartments land use category since its addition to the Zoning Ordinance. The topic of multi-family development in the Central Business Zoning District will be revisited and reviewed in the City's upcoming Zoning Ordinance rewrite and will include a review of the 'Central Mixed Use' Future Land Use category within the Comprehensive Plan.

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

PROPOSED TEXT AMENDMENT LANGUAGE:

Amendment - §550-15

~~CENTRAL BUSINESS APARTMENTS~~

~~See § 550-49G.~~

~~[Added 6-1-2021 by Ord. No. 21-23]~~

Amendment - §550-34B(2)(K)

§ 550-34B(2) Central Business (CB) District - Principal Land Uses Permitted as Conditional Use

(2) Principal land uses permitted as conditional use (per § 550-45B):

- (a) Clear-cutting.
- (b) Indoor institutional.
- (c) Outdoor institutional.
- (d) Institutional residential.
- (e) In-vehicle sales or service.
- (f) Indoor commercial entertainment.
- (g) Outdoor commercial entertainment.
- (h) Commercial indoor lodging.
- (i) Bed-and-breakfast establishments.
- (j) Group day-care center (nine or more children).[1]

[1] Editor's Note: Former Subsection B(2)(k), Boardinghouse, which immediately followed, was repealed 6-19-2018 by Ord. No. 18-4.

~~(k) Central business apartments (greater than 12 dwelling units).~~

~~[Added 6-1-2021 by Ord. No. 21-24]~~

Amendment - §550-49G

~~G. Central business apartments (more than 12 dwelling units). Description: This dwelling unit type consists of an attached, multifamily residence that takes access from a shared entrance or hallway. Dwelling units are allowed on the first floor. A minimum building code required fire-rated wall assembly division, separating living areas from the lowest level to the underside of the roof is required between each dwelling unit. No fewer than 12 dwelling units may be located in a building. Central business apartments shall only be allowed within the Central Business Zoning District.~~

~~[Added 6-1-2021 by Ord. No. 21-22]~~

BUILDING SAFETY & ZONING DIVISION

PLAN COMMISSION STAFF REPORT

~~(1) Regulations.~~

~~(a) Central business apartments shall not be allowed on a historic site or a contributing property located within a historic district regulated under Chapter 325 of the City of Watertown Municipal Code.~~

~~[1] Central business apartments located on a noncontributing property located within a historic district shall go before the Historic Preservation and Downtown Design Commission for a certificate of appropriateness.~~

~~[2] Central business apartments may be built on a historic site or a contributing property within a historic district if a certificate of appropriateness was approved by the Historic Preservation and Downtown Design Commission under § 325-7D(3). The resulting new construction shall require a certificate of appropriateness from the Historic Preservation and Downtown Design for a property within an historic district.~~

~~(b) Central business apartments shall also be required to go through the planned unit development process under § 550-152.~~

~~(c) Access limitation of dwelling unit to commercial uses. No dwelling unit shall open directly into or shall be used in conjunction with a principal or accessory commercial land use.~~

PUBLIC HEARING COMMENTS:

- No comments at the public hearing on April 15th, 2025.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Negative recommendation of the Chapter 550 Text Amendments to Common Council.
2. Positive recommendation of the Chapter 550 Text Amendments to Common Council.
3. Positive recommendation of the Chapter 550 Text Amendments to Common Council, with conditions identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends a positive recommendation to the Common Council for the Chapter 550 Text Amendments.

AN ORDINANCE
TO AMEND CHAPTER 550: ZONING CODE, THROUGH THE AMENDMENTS OF
LANGUAGE TO SECTIONS §550-15, §550-34B(2)(K), and §550-49G

SPONSOR: MAYOR STOCKS, CHAIR
FROM: PLAN COMMISSION WITH POSITIVE RECOMMENDATION

THE COMMON COUNCIL OF THE CITY OF WATERTOWN DOES ORDAIN AS
FOLLOWS:

SECTION 1. Section § 550-15 is hereby amended to remove the definition of Central Business Apartments as follows:

* * *

~~CENTRAL BUSINESS APARTMENTS~~
~~See § 550-49G.~~
~~[Added 6-1-2021 by Ord. No. 21-23]~~

* * *

SECTION 2. Section § 550-34B(2)(K) is hereby amended to read:

* * *

§ 550-34B(2) Central Business (CB) District - Principal Land Uses Permitted as Conditional Use

- (2) Principal land uses permitted as conditional use (per § 550-45B):
- (a) Clear-cutting.
 - (b) Indoor institutional.
 - (c) Outdoor institutional.
 - (d) Institutional residential.
 - (e) In-vehicle sales or service.
 - (f) Indoor commercial entertainment.
 - (g) Outdoor commercial entertainment.
 - (h) Commercial indoor lodging.
 - (i) Bed-and-breakfast establishments.
 - (j) Group day-care center (nine or more children).[1]
- [1] Editor's Note: Former Subsection B(2)(k), Boardinghouse, which immediately followed, was repealed 6-19-2018 by Ord. No. 18-4.
- ~~(k) Central business apartments (greater than 12 dwelling units).~~
~~[Added 6-1-2021 by Ord. No. 21-24]~~

SECTION 3. Section § 550-49G is hereby repealed.

SECTION 4. All ordinances or parts of ordinances inconsistent with the provisions of this ordinance are hereby repealed.

SECTION 5. This ordinance shall take effect and be in force the day after its passage and publication.

(, 2025) Ord. #25-

DATE:	May 6, 2025		May 20, 2025	
READING:	1ST		2ND	
	YES	NO	YES	NO
DAVIS				
LAMPE				
BERG				
BARTZ				
BLANKE				
SMITH				
ARNETT				
WETZEL				
MOLDENHAUER				
MAYOR STOCKS				
TOTAL				

ADOPTED _____

CITY CLERK

APPROVED _____

MAYOR

BUILDING SAFETY & ZONING DIVISION
PLAN COMMISSION STAFF REPORT

TO: Plan Commission
DATE: April 28th, 2025
SUBJECT: 1 E Main St and 112 S First St - Site Plan Review

Site Plan Review requested by the City of Watertown for an ADA ramp/stairs and reconstruction of a parking lot.
Parcel PIN(s): 291-0815-0421-113 & 291-0815-0421-107

SITE DETAILS:

Acres: 0.05 and 0.32 Acres
Current Zoning: Central Business (CB)
Existing Land Use: Vacant (for River Walk) and Parking Lot
Future Land Use Designation: Central Mixed Use

BACKGROUND & APPLICATION DESCRIPTION:

The applicant is proposing to construct stairs and an ADA compliant ramp to connect the riverwalk to Main Street and reconstruct the adjacent 1st Street parking lot. Lighting of the stairs/ramp is also proposed. Railings on the stairs and ramp are designed to match similar railings on the riverwalk. The parking lot will contain 18 parking stalls, two of which will be ADA compliant. The parking lot will also utilize permeable pavers in select locations on the lot.

STAFF EVALUATION:

Land Use and Zoning:

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

Within the Central Business (CB) Zoning District 'Passive Outdoor Public Recreation' and 'Off-site Parking Lots' are principal land uses permitted by right. 'Passive Outdoor Public Recreation' land uses include hiking and biking trails. 'Off-site Parking Lots' land uses include any areas used for the temporary parking of vehicles. [per § 550-51A § 550-54A]

Regulations for 'Passive Outdoor Public Recreation' include:

- Parking requirements. One space per four expected patrons at maximum capacity for any use requiring over five spaces.

Regulations for 'Off-site Parking Lots' include:

- Access to an off-site parking lot shall only be permitted to a collector or arterial street.
- Access and vehicular circulation shall be designed so as to discourage cut-through traffic.

Regulations for 'Passive Outdoor Public Recreation' and 'Off-site Parking Lots' are met by the site plan proposal.

Site Layout and Design:

Within the Central Business (CB) Zoning District the minimum paved surface setback is zero feet [per § 550-34G(2)(e)]. The proposed uses within the site plan exceed the pavement setbacks for the Central Business (CB) Zoning District.

Vehicle Access and Circulation

The proposed driveway and parking stalls meet aisle width and parking stall dimension requirements specified in the Off-Street Parking and Traffic Circulation Standards [per § 550-107F].

BUILDING SAFETY & ZONING DIVISION

PLAN COMMISSION STAFF REPORT

Landscaping:

The Central Business (CB) Zoning District has a minimum landscape surface ratio (LSR) of 0% and minimal landscaping point requirements for paved areas only. The applicant has provided a plan that includes maintaining two existing trees and other vegetation along South 1st Street which meets the minimal landscaping standards for the Central Business (CB) Zoning District.

Lighting:

The lighting for the proposed stairs and an ADA compliant ramp will utilize two pole lights to illuminate the ramp and stairs. The applicant has submitted a photometric plan that meets ordinance illumination standards [per§ 550-110]. The parking lot will utilize existing lighting.

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:

STAFF RECOMENDATION:

- Staff recommends approval of this Site Plan.

ATTACHMENTS:

- Application materials.

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:
CITY OF WATERTOWN

PROJECT TITLE:
PLAZA PHASE II - ADA COMPLIANT
CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

ISSUE:
01 2025-03-24 ADDENDUM #02

PROJECT INFORMATION:
PROJECT NUMBER: 2023-0158
DATE: 2025-03-24
DRAWN BY: RMG
CHECKED BY: CWH
APPROVED BY: CWH
SCALE: AS NOTED

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:

G-001

34

CITY OF WATERTOWN

PLAZA PHASE II - ADA COMPLIANT CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

SHEET INDEX

TITLE SHEET

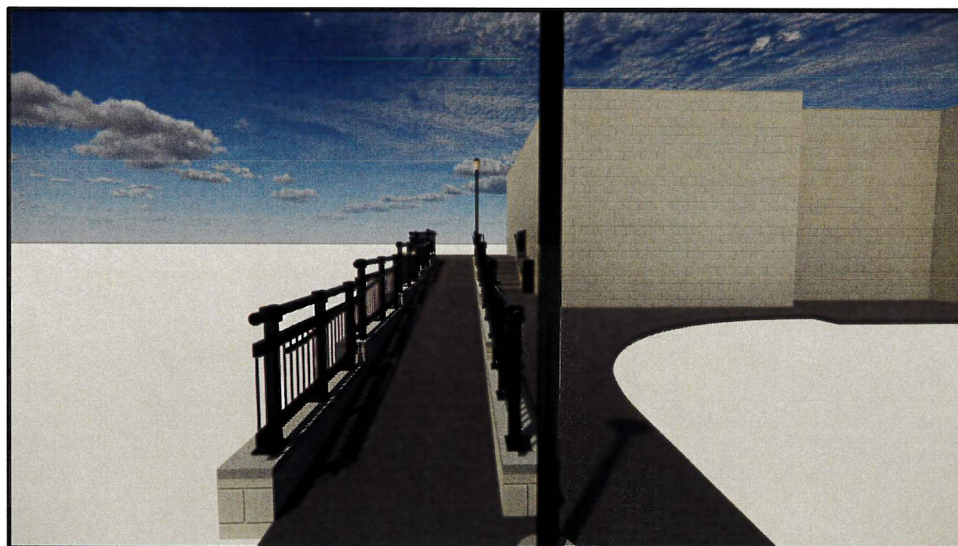
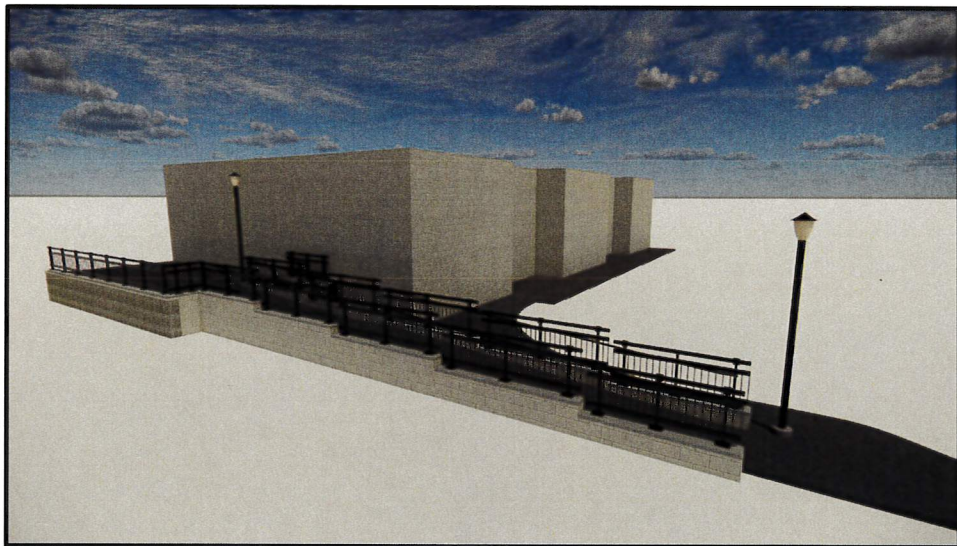
G-001 TITLE SHEET

COMBINED ARCHITECTURAL-STRUCTURAL

A-100 ADA RAMP SITE PLAN
A-101 ADA RAMP AND STAIR PLANS AND DETAILS

ELECTRICAL

E-100 ADA RAMP SITE PLAN - ELECTRICAL
E-101 ADA RAMP SITE PLAN - PHOTOMETRIC
E-601 ELECTRICAL SCHEDULES
E-901 ELECTRICAL SPECIFICATIONS



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EXISTING PROJECT CONDITIONS

INFORMATION PERTAINING TO EXISTING PROJECT CONDITIONS, SUCH AS LOCATIONS OF ARCHITECTURAL AND STRUCTURAL BUILDING COMPONENTS, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ROUGHINS AND OTHER MISCELLANEOUS CONSTRUCTION, APPEARS ON PROJECT DRAWINGS. THIS INFORMATION IS BASED ON AVAILABLE RECORDS AS WELL AS INFORMATION COLLECTED WITH REASONABLE CARE AT THE PROJECT SITE. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR VERIFYING DIMENSIONS AND RELATED INFORMATION AT THE PROJECT SITE PRIOR TO PROCURING ANY MATERIALS, PRODUCTS OR EQUIPMENT TO PERFORM THEIR WORK.

STRUCTURAL



ARCHITECTURAL



275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:
CITY OF WATERTOWN

PROJECT TITLE:
PLAZA PHASE II - ADA COMPLIANT
CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

ISSUE:
01 2025-03-24 ADDENDUM #02

PROJECT INFORMATION:
PROJECT NUMBER: 2023-0158
DATE: 2025-03-24
DRAWN BY: RMG/GRC
CHECKED BY: CWH/RGC
APPROVED BY: CWH/GRC
SCALE: AS NOTED

SHEET TITLE:
ADA RAMP SITE PLAN

SHEET NUMBER:

A-100

35

RAMP DESIGN REQUIREMENTS

ADA ACCESSIBLE RAMPS AND STAIRS SHALL COMPLY WITH
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

SECTION 405 REQUIREMENTS AS FOLLOWS:

RAMP SLOPE

- SLOPE REQUIREMENTS $\geq 1:20 \leq 1:12$
- SLOPE PROVIDED $= 1:12$
- CROSS SLOPE REQUIREMENTS $\leq 1:48$
- CROSS SLOPE PROVIDED $= 1:48$

FLOOR SURFACES

- SURFACE REQUIREMENTS $=$ SLIP RESISTANT
- SURFACE PROVIDED $=$ CONCRETE WITH BROOM FINISH

RAMP RUN AND LANDING REQUIREMENTS

- RAMP RUN RISE REQUIREMENTS $= 30"$ MAXIMUM RISE HEIGHT
- RAMP RUN RISE PROVIDED $= 24"$ RISE HEIGHT
- CLEAR RUN WIDTH REQUIREMENT $= 36"$ CLEAR
- CLEAR RUN WIDTH PROVIDED $= 48"$ CLEAR
- LANDING WIDTH REQUIREMENTS $=$ MINIMUM WIDTH OF RAMP RUN
- LANDING WIDTH PROVIDED $= 48"$ CLEAR
- LANDING CLEAR LENGTH REQUIRED $= 60"$ MINIMUM
- LANDING CLEAR LENGTH PROVIDED $= 60"$ CLEAR
- LANDINGS REQUIRED AT BOTTOM AND TOP OF EACH RAMP RUN.

HANDRAILS

- HANDRAILS AND HANDRAIL SUPPORTS MUST BE OUTSIDE OF THE CLEAR WIDTH.
- RAMP RUNS WITH A RISE GREATER THAN 6 INCHES SHALL HAVE HANDRAILS COMPLYING WITH SECTION 505 OF A117.1
- HANDRAILS NEED TO BE PROVIDED ON BOTH SIDES OF RAMPS AND STAIRS.
- HANDRAILS NEED TO BE CONTINUOUS WITHIN THE FULL LENGTH OF EACH RAMP RUN OR STAIR FLIGHT.
- HANDRAIL HEIGHT TO TOP OF GRABBING SURFACE:
 - HEIGHT FROM RAMP SURFACE $= 34" - 38"$
 - HEIGHT FROM STAIR NOSING $= 34" - 38"$
- HANDRAILS SHALL BE AT A CONSISTENT HEIGHT
- CLEARANCE BETWEEN HANDRAIL SURFACE AND ADJACENT SURFACES SHALL BE 1 1/2" MINIMUM.
- TOP AND BOTTOM EXTENSIONS SHALL BE 12" MINIMUM AND EXTEND OUT IN THE SAME DIRECTION OF TRAVEL AND SHALL TURN DOWN EITHER TO THE GROUND OR BACK INTO THE LAST RAIL POSTS. SEE SECTION 505.10 OF THE 2010 ADA STANDARDS FOR HANDRAIL EXTENSION REQUIREMENTS.

STRUCTURAL DESIGN SPECIFICATIONS

1. DESIGN IS IN ACCORDANCE WITH THE STATE OF WISCONSIN AND THE 2015 INTERNATIONAL BUILDING CODE.

2. MINIMUM 28 DAY CONCRETE CYLINDER STRENGTH SHALL BE:

FOOTINGS	3000 PSI
FOUNDATION WALLS	4000 PSI
SLABS ON GRADE	4000 PSI

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.

4. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90 NORMAL WEIGHT UNITS. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE $f_m = 2000$ PSI.

5. MORTAR SHALL CONFORM TO ASTM C270 TYPE S.

6. MASONRY GROUT SHALL CONFORM TO ASTM C486. MINIMUM COMPRESSIVE STRENGTH SHALL BE $f_g = 2000$ PSI.

7. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE MASONRY CONSTRUCTION SHALL BE $f_m = 2000$ PSI.

8. STRUCTURAL STEEL PLATES SHALL CONFORM TO THE FOLLOWING:

THICKNESS $\geq 1/8"$	ASTM A1011 CS TYPE B (OR APPROVED EQUAL)
3/16" \leq THICKNESS $\leq 1/2"$	ASTM A572 GRADE 50
THICKNESS $\leq 1/4"$	ASTM A36

9. ASSUMED BEARING CAPACITY FOR SPREAD FOOTINGS IS 1500 PSF.

10. DESIGN LOADS:

FLOOR LIVE LOAD	100 PSF
STAIRS AND EXIT WAYS	

EARTHWORK

1. FOOTINGS SHALL BE CAST ON UNDISTURBED SUBSOIL. IF DESIGN CAPACITY IS NOT ENCOUNTERED AT THE ELEVATIONS SHOWN, FOOTINGS MUST BE LOWERED. CONSULT ENGINEER BEFORE PROCEEDING.

2. NO HOLES, TRENCHES OR DISTURBANCES OF THE SOIL SHALL BE ALLOWED WITHIN THE VOLUME DESCRIBED BY 45 DEGREE LINES SLOPING FROM THE BOTTOM EDGE OF THE FOOTING. IF SUCH ARE REQUIRED, FOOTINGS MUST BE LOWERED.

3. BACKFILL EVENLY ON EACH SIDE OF FOUNDATION WALLS AND RETAINING WALLS.

4. TOPSOIL AND FILL BELOW SLABS ON GROUND SHALL BE REMOVED. AGGREGATE BASE COURSE UNDER SLABS ON GROUND SHALL BE COMPACTED TO 5-INCH LAYERS (EXCEPT WHERE LOOSE FILL IS INDICATED ON DRAWINGS).

5. BACKFILL AGAINST EXTERIOR FOUNDATION WALLS SHALL BE COMPACTED TO MAXIMUM 6-INCH LAYERS.

CONCRETE

1. FORMWORK SHALL BE DESIGNED IN ACCORDANCE WITH THE ACI "MANUAL OF CONCRETE PRACTICE", LATEST EDITION.

2. REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH THE ACI "MANUAL OF CONCRETE PRACTICE", LATEST EDITION, UNLESS OTHERWISE NOTED.

3. LAP ALL WALL BARS 30 DIAMETERS UNLESS OTHERWISE DETAILED. LAP WELDED WIRE MESH 6 INCHES.

4. PROVIDE COLUMN AND WALL DOWELS OF THE SAME SIZE AND NUMBER AS THE RESPECTIVE COLUMN AND WALL REINFORCING UNLESS OTHERWISE DETAILED.

5. CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ACI 318-14.

6. SLABS ON GRADE SHALL BE CAST ALLOWING A SUFFICIENT NUMBER OF JOINTS TO ADEQUATELY CONTROL SHRINKAGE CRACKING. SAWCUTTING SHALL BE DONE AS SOON AS SAWCUT WILL NOT RAVEL CONCRETE OR WITHIN 24 HOURS MAXIMUM OF INITIAL POURING OPERATION. MAXIMUM SIZE OF PANELS SHALL BE 15 FEET BY 15 FEET FOR 6-INCH SLAB ON GRADE.

7. EXTERIOR SLABS ON GRADE SHALL BE 6 INCHES THICK AND REINFORCED WITH 6#4-W2 1W/2 1 WELDED WIRE FABRIC.

8. ALLOW AT LEAST 24 HOURS BEFORE POURING ADJACENT WALL SECTIONS BETWEEN CONSTRUCTION JOINTS. MAXIMUM LENGTH OF POUR TO BE 40 FEET. UNLESS CRACK INDUCERS ARE USED AS DETAILED ON THE DRAWINGS.

9. CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO PLACING CONCRETE.

10. CONSTRUCTION JOINTS IN BEAMS, JOISTS OR SLABS TO BE LOCATED BETWEEN THE 1/4 POINT AND CENTERLINE OF SPAN, OR AS DIRECTED BY THE ENGINEER.

11. DO NOT PLACE OR CUT HOLES IN CONCRETE SLABS, BEAMS, WALLS OR COLUMNS WITHOUT PRIOR APPROVAL OF THE ENGINEER.

12. EXTERIOR EXPOSED CONCRETE SHALL BE AIR-ENTRAINED. AIR CONTENT SHALL BE 6 PERCENT (± 1 1/2 PERCENT).

13. PIPES AND CONDUITS EMBEDDED IN OR PASSING THROUGH STRUCTURAL MEMBERS MUST BE APPROVED BY THE STRUCTURAL ENGINEER. PIPE AND CONDUITS EMBEDDED IN CONCRETE SHALL NOT BE LARGER THAN 2 INCHES IN OUTSIDE DIAMETER AT THEIR WIDEST POINT OR FITTING OR 1/3 OF THE THICKNESS OF THE SLAB, BEAM OR WALL.

14. ELECTRICAL CONDUIT OR PIPES EMBEDDED IN OR PASSING THROUGH SLABS, BEAMS OR WALLS SHALL BE LOCATED AND PLACED SO THAT:

1. THEY ARE NOT CLOSER THAN THREE DIAMETERS ON CENTER.
2. THE CONCRETE COVER IS NOT LESS THAN 2 INCHES.
3. THEY RUN BETWEEN REINFORCING AND DO NOT DISPLACE IT IN ANY MANNER.

15. ALUMINUM CONDUITS SHALL NOT BE PLACED IN CONCRETE.

16. CHAMFER ALL EXPOSED CONCRETE CORNERS. SEE ARCHITECTURAL/STRUCTURAL DRAWINGS FOR REQUIREMENTS.

17. CONCRETE SHALL BE TESTED BY THE OWNER'S TESTING LAB. REFER TO SPECIFICATIONS FOR REQUIREMENTS.

18. PROPER CURING PROCEDURES SHALL BE USED FOR SLAB ON GRADE TO PREVENT CURLING.

19. CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE MIXES.

20. PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS BELOW THE WATER TABLE AND AS SHOWN ON DRAWINGS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONCRETE MASONRY

1. PRODUCTION AND CONSTRUCTION OF CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", ACI 530-13, AND THE NCM "TEK MANUAL FOR CONCRETE MASONRY DESIGN AND CONSTRUCTION", LATEST EDITION.

2. HOT AND COLD WEATHER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE IMAC (INTERNATIONAL MASONRY INDUSTRY ALL-WEATHER COUNCIL) "RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR HOT AND COLD WEATHER MASONRY AND CONSTRUCTION".

3. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.

4. MASONRY WALLS SHALL BE ADEQUATELY BRACED TO RESIST WIND FORCES UNTIL PERMANENT DESIGN SUPPORTS ARE IN PLACE AND FUNCTIONAL. BRACING SHALL BE DESIGNED BY THE CONTRACTOR.

5. PROVIDE DOWELS INTO FOUNDATION THE SAME SIZE AND NUMBER AS WALL REINFORCING.

5. LAP REINFORCING BARS 48 DIAMETERS.

7. CONCRETE MASONRY WALLS SHALL BE REINFORCED AT EVERY OTHER BED JOINT WITH 3/16-INCH TRUSS TYPE JOINT REINFORCEMENT.

8. VERTICAL BARS SHOWN ON THE DESIGN DRAWINGS SHALL BE PLACED IN A CONTINUOUS UNOBSTRUCTED CELL OF NOT LESS THAN 3 INCHES BY 4 INCHES.

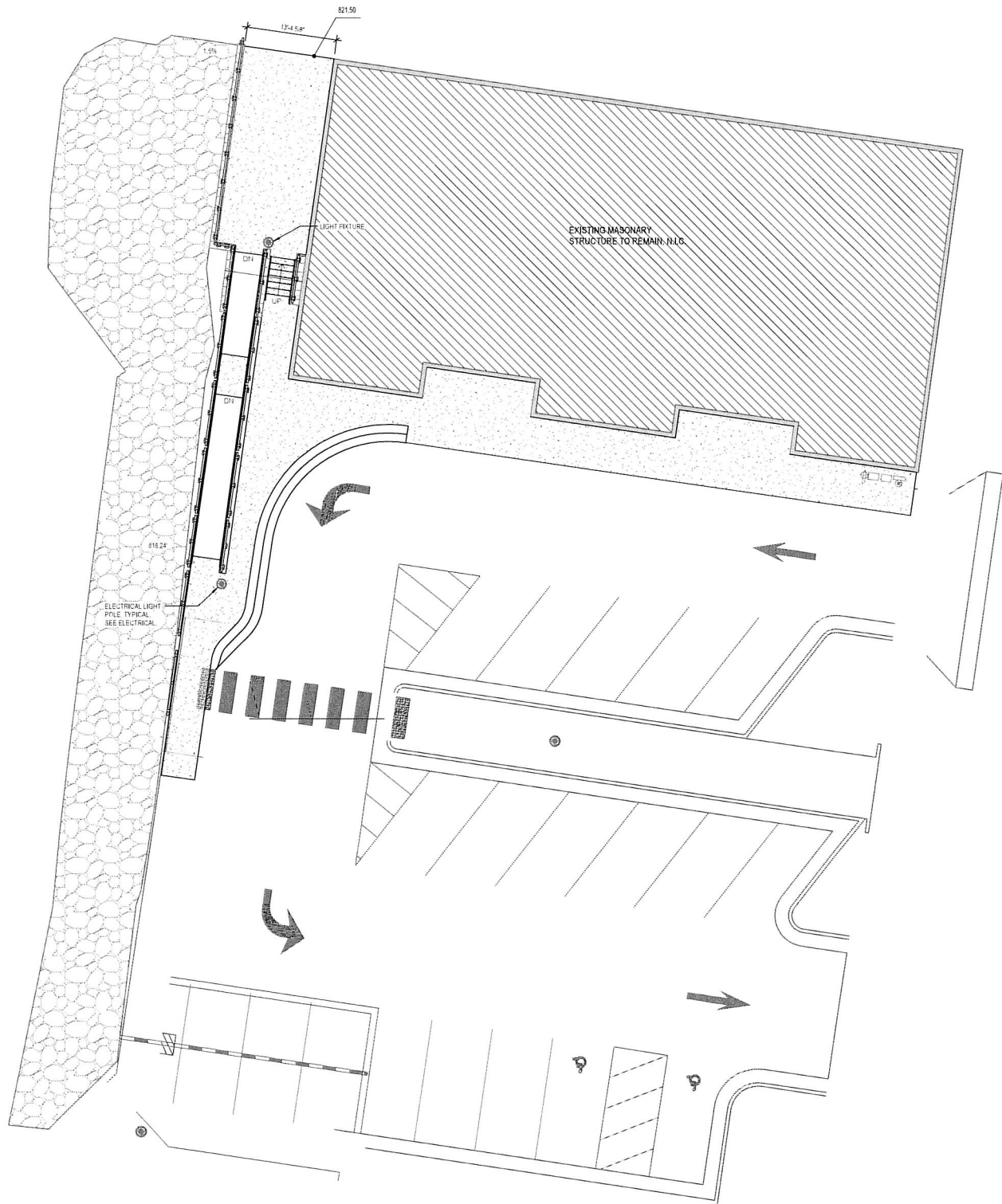
9. ALL BOND BEAMS AND PLASTERS SHALL BE REINFORCED AS SHOWN ON THE DESIGN DRAWINGS AND FILLED WITH GROUT.

MISCELLANEOUS

1. DIMENSIONS OF EXISTING CONSTRUCTION OR CONSTRUCTION IN PROGRESS SHALL BE VERIFIED AND COORDINATED PRIOR TO FABRICATION OF STRUCTURAL COMPONENTS.

2. VERIFY AND COORDINATE WITH ALL CONTRACTORS THE LOCATION OF ALL ARCHITECTURAL AND MECHANICAL APURTENANCES AND OPENINGS.

3. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE FOLLOWING ITEMS PRIOR TO FABRICATION: REINFORCING BARS.



A3

ADA RAMP SITE PLAN

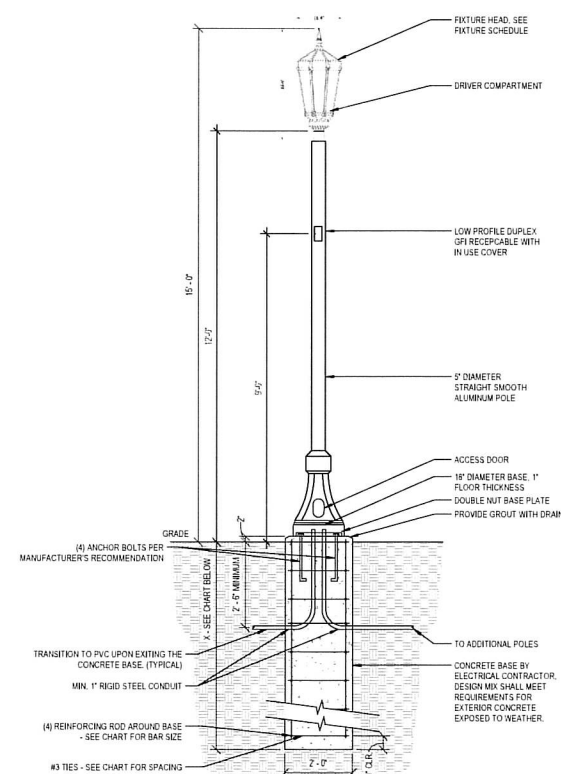
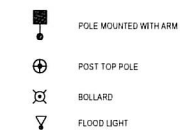
1/8" = 1'-0"



SHEET KEYNOTES

- 01 CIRCUIT NEW LIGHTS TO EXISTING PANEL LABELED "SOUTH PANEL". UTILIZE CIRCUIT
BREAKER CURRENTLY USED FOR ADJACENT EXISTING LIGHT FIXTURES. PROVIDE NEW
CONDUIT AND WIRE FROM PANEL TO POLES. USE 3#10 IN 1" CONDUIT.
- 02 EXISTING ELECTRICAL EQUIPMENT TO REMAIN. ELECTRICAL METER STACK/METER
ELECTRICAL LOAD CENTER "SOUTH PANEL". ELECTRICAL JUNCTION BOX. WEATHER-PROOF
DUPLEX RECEPTACLE.

LIGHTING FIXTURES



NOT

1. A DRILLED 2'-0" DIA. HOLE SHALL BE USED AS THE FORM FOR THE CONCRETE BASE IN UNDISTURBED EARTH, EXCLUDING FILL MATERIAL.
2. BACKFILL AROUND CONCRETE BASE WITH COMPACTED GRANULAR BASE A MINIMUM OF 2'-0" IN ALL DIRECTIONS IN EXCAVATED AREAS OR IN EXISTING SOIL CONTAINING FILL OF OBJECTIONABLE MATERIAL.
3. DESIGN BASE ON IRC 205
100 MPH WIND SPEED - EXPOSURE C (1609.4.3)
150 PSF (FT - LATERAL SOIL PRESSURE (1610)
OCCUPANCY CATEGORY B (1604.5)
IMPORTANCE FACTOR 1.0 (ASCE 7 TABLE 1-1.1)

POLE HEIGHT	X	REBAR SIZE	#3 TIE SPACING
12'-0"	7'3"	#5	10"

A1 LIGHT FIXTURE POLE BASE DETAIL FLUSH

NT

A3 ELECTRICAL SITE PLAN

$$1/8^* = 1/8$$

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275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:
CITY OF WATERTOWN

PROJECT TITLE:
PLAZA PHASE II - ADA COMPLIANT
CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

ISSUE:
01 2025-03-24 ADDENDUM #02



PROJECT INFORMATION:
PROJECT NUMBER: 2023-0158
DATE: 2025-03-24
DRAWN BY: JO
CHECKED BY: ES
APPROVED BY: ES
SCALE: AS NOTED

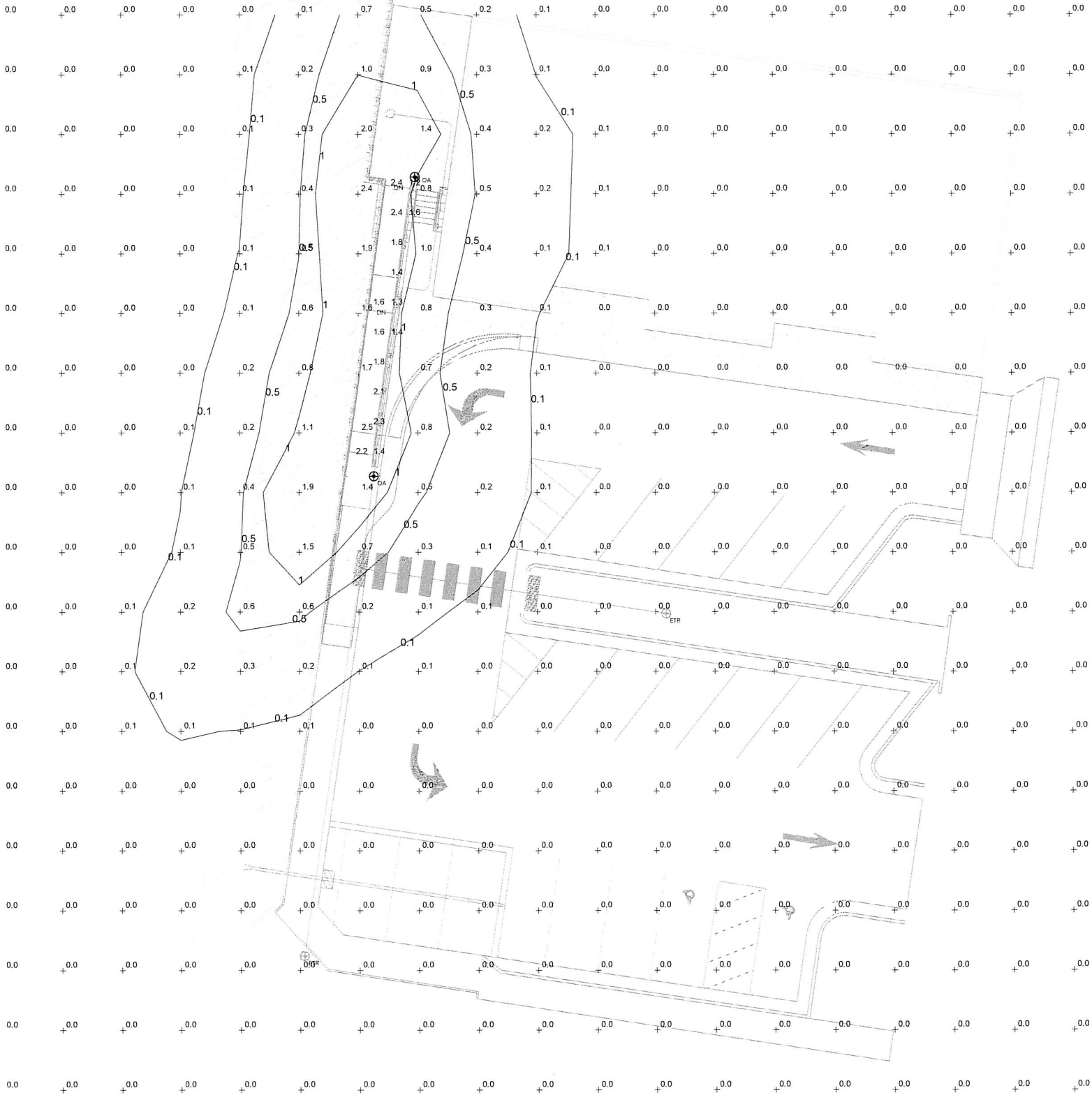
SHEET TITLE:
ADA RAMP SITE PLAN -
PHOTOMETRIC

SHEET NUMBER:

E-101

GENERAL SHEET NOTES

1. THE CALCULATIONS SHOWN ON THIS SHEET DO NOT INCLUDE CONTRIBUTIONS FROM EXISTING ADJACENT LIGHT FIXTURES.



Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Ramp	1.8 fc	2.4 fc	1.2 fc	2.0:1	1.5:1

A3 ELECTRICAL PHOTOMETRIC PLAN

1/8" = 1'-0"

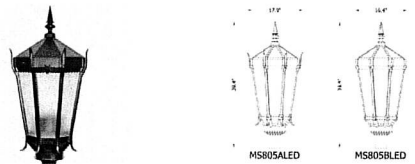
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LIGHT FIXTURE SCHEDULE											
GENERAL NOTES:											
A. SEE SPECIFICATION SECTION FOR ADDITIONAL INFORMATION REGARDING FIXTURE AND INSTALLATION REQUIREMENTS.											
B. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PARTS AND PIECES FOR A COMPLETE INSTALLATION.											
C. ALL REMOTE DRIVERS SHALL BE LOCATED IN AN ACCESSIBLE LOCATION THAT MEETS THE AMBIENT TEMPERATURE REQUIREMENTS OF THE DRIVER. ELECTRICAL CONTRACTOR SHALL VERIFY WITH SUBMITTED SHIP DRAWING WIRING DIAGRAMS THAT ALL DRIVER LOCATIONS ARE WITHIN MANUFACTURER'S RECOMMENDED DISTANCE REQUIREMENTS.											
NOTES:											
1. PROVIDE LIGHT FIXTURE WITH LOW PROFILE DUPLEX GFI RECEPTACLE WITH IN USE COVER.											
2. PROVIDE 18" DIAMETER BASE AS SHOWN ON OUTSHEET ON THIS PAGE.											
TAG	PERFORMANCE & ELECTRICAL DATA				LIGHT FIXTURE PROPERTIES			OPTIONS & ACCESSORIES		MOUNTING	
	LUMENS	KELVIN TEMP	LOAD	FIXTURE VOLTAGE	DESCRIPTION	MANUFACTURER	CATALOG SERIES	DEPTH OR HEIGHT	ACCESSORIES / DOOR / REFLECTOR / TRIM TYPE	COLOR / FINISH	SEE NOTE
0A	2670	4000	27 VA	120-277V	DECORATIVE POST TOPLED WITH PHOT-CONTROL	STERNBERG	PTA6565BLLED-8DS-12L-40-T3-MDL008-SV1-PEC-BKT	15 - 0'		BLACK	1 2

Configured Specification Sheet

Project Name: PLAZA PHASE II ADA COMPLIANT CONCRETE RAMP AND STAIR

Type: ADA Catalog / Part Number: PTA6565BLLED-8DS-12L-40-T3-MDL008-SV1-PEC-BKT Qty: 2



Certifications

Mounting Configuration

Features

Mounting Configuration

Optional Control Receptacle

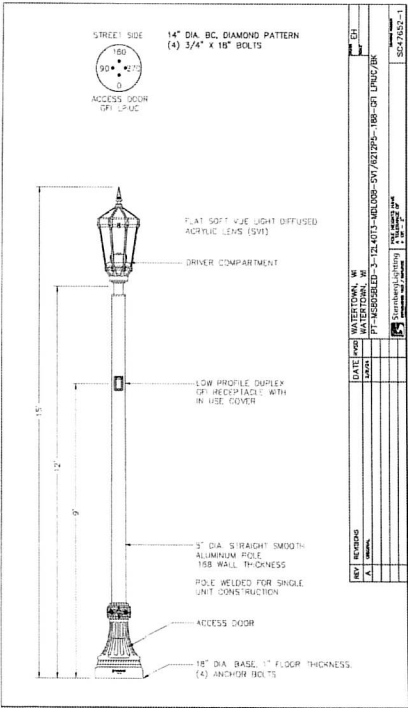
Optional Control

Description

This MS805ALED or MS805BLED Main Street luminaire is a large scale modern replica of a popular street lighting fixture. Available with apertures (A) or with no apertures (B). The color temperature (measured in Kelvin) is dependent on the selected fixture. The luminaire includes individual tapered lenses oriented in a variety of ways.

PTA-2-44 (PT) - HEIGHT: 88 IN

1W - 1W Mount
1A - 1 Arm Mount
1AP1 - 1 Arm Mount
2A - 2 Arm Mount
2AP1 - 2 Arm Mount
3A - 3 Arm Mount
3AP1 - 3 Arm Mount
4A - 4 Arm Mount
4AP1 - 4 Arm Mount
5A - 5 Arm Mount
5AP1 - 5 Arm Mount
6A - 6 Arm Mount
6AP1 - 6 Arm Mount
7A - 7 Arm Mount
7AP1 - 7 Arm Mount
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98AP1 - 98 Arm Mount
99A - 99 Arm Mount
99AP1 - 99 Arm Mount
100A - 100 Arm Mount
100AP1 - 100 Arm Mount



LIGHT FIXTURE SCHEDULE ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS INDICATED HERE ARE USED IN THE SCHEDULE AND MAY NOT APPLY TO CURRENT PROJECT.

ACCESSORIES / DOOR / REFLECTOR / TRIM TYPE

AS = ASYMMETRIC
B = Baffle Reflector
CR = CONTINUOUS RUN
D = DIRECT
DIR = DIRECT / INDIRECT
DG = DOUBLE GASKETED DOOR FRAME
EM = REMOTE EMERGENCY DRIVER
ID = INDIRECT
S = SYMMETRIC
SG = SINGLE GASKETED DOOR FRAME
SS = STAINLESS STEEL TRIM AND DOOR FRAME
SR = STANDARD REFLECTOR
TG = TRIPLE GASKETED DOOR FRAME, LENS AND BODY
VR = VANDAL RESISTANT
WG = WIRE GUARD
WW = WALL WASH

COLOR / FINISH

B = BLACK
BZ = BRONZE
C = CLEAR
CU = COPPER
CUS = CUSTOM PAINTED FINISH - COLOR AS SELECTED BY ARCHITECT
DBZ = DARK BRONZE
G = GOLD
GL = GLOSS
M = MATTE
NA = NATURAL ALUMINUM
RALN = RAL NUMBER
S = SILVER
SSP = SEMI-SPECULAR / HAZE
W = WHITE

DIMMING TYPE

0-10-0-1 = 0-10 V 0-1%
0-10-1 = 0-10 V 1%
0-10-5 = 0-10 V 5%
0-10-10 = 0-10 V 10%
BL = BLEND / STEP
E = ELUCID
FF = FORWARD PHASE
D = DALI
DM = DIM
L = LUTRON
N = NONE
O = OSRAM
P = PHASE
RP = REVERSE PHASE

DRIVER LOCATION

I = INTEGRAL
N = NONE
R = REMOTE

LENS TYPE

C = CLEAR
D = DROP DOWN
F = FLUSH
N = NONE
R = RECESSED
O = ORAL
P = POP UP
PA = PATTERN 12 ACRYLIC LENS - .125\"/>

REQUIRED LISTINGS

= IP # RATED
AT = AER TIGHT
COW = CLASS # DIVISION #
DL = DAMP LOCATION
F = FIRE RATED
IC = IC RATED
IR = IMPACT RESISTANT
LR = LIGATURE RESISTANT
SL = SHOWER LIGHT
TR = TAMPER RESISTANT
VR = VANDAL RESISTANT
WL = WET LOCATION

MOUNTING MATERIAL

B = BRICK
C = CONCRETE
CB = CONCRETE BASE
DR = DRYWALL
ES = EXPOSED STRUCTURE
G = GROUND
LG = LAY-IN GRID
M = METAL
PL = PLASTER
S = STONE
T = TILE
V = VARIES
W = WOOD

MOUNTING TYPE

C = COVE
CR = CHAIN - PROVIDE ACCESSORY KIT
CA = CATENARY
MP = MONOPOINT
MPC = MULTIPORT CANOPY
PC = PENDANT - CABLE
PCH = PENDANT - CHAIN
PRS = PENDANT - RIGID STEM
PS = PENDANT - SWAG
PO = POLE
R = RECESSED
S = SURFACE
TC = TRACK - CABLE
TMC = TRACK - MONORAIL - CURVED
TMF = TRACK - MONORAIL - FLEXIBLE
TMS = TRACK - MONORAIL - STRAIGHT
W = WALL

SENSOR TYPE

D = DAYLIGHT SENSOR
MO = MULTILEVEL OCCUPANCY SENSOR
N = NONE
O = OCCUPANCY SENSOR
P = PHOTOCELL

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:

CITY OF WATERTOWN

PROJECT TITLE:

PLAZA PHASE II - ADA COMPLIANT
CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

ISSUE:

01 2025-03-24 ADDENDUM #02



PROJECT INFORMATION:

PROJECT NUMBER: 2023-0158

DATE: 2025-03-24

DRAWN BY: JO

CHECKED BY: ES

APPROVED BY: ES

SCALE: AS NOTED

SHEET TITLE:

ELECTRICAL SCHEDULES

SHEET NUMBER:

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D

C

B

A

GENERAL ELECTRICAL PROVISIONS

WORK INCLUDED IN CONTRACT
VENTION OF ANY ARTICLE, OPERATION OR METHOD REQUIRES THAT CONTRACTOR SHALL PROVIDE SAME AND PERFORM EACH OPERATION IN COMPLETE ACCORDANCE WITH CONDITIONS STATED. CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT, AND TRANSPORTATION AS NECESSARY TO COMPLETE PROJECT IN COMPLIANCE WITH CONTRACT DOCUMENTS. IN GENERAL, WORK INCLUDES EVERYTHING ESSENTIAL FOR COMPLETE ELECTRICAL SYSTEM IN OPERATING ORDER AS SHOWN ON DRAWINGS AND INDICATED IN SPECIFICATIONS.

ALL MATERIALS SHALL BE SUITABLY STORED AND PROTECTED PRIOR TO INSTALLATION AND ALL WORK SHALL BE PROTECTED AFTER INSTALLATION DURING CONSTRUCTION AND PRIOR TO ACCEPTANCE.

SHALL ANY CONFLICTS OCCUR WITHIN OR BETWEEN SPECIFICATIONS, DRAWINGS, OR OTHER DOCUMENTS, CONTRACTOR SHALL INCLUDE THE MORE EXPENSIVE ALTERNATIVE.

BIDDING PROCEDURES
BASE BID SHALL INCLUDE ALL LABOR, MATERIALS AND EQUIPMENT AS SHOWN ON CONSTRUCTION DRAWINGS AND AS REQUIRED AND SPECIFIED.

BASE BID SHALL NOT INCLUDE ANY CONDITIONS OR QUALIFYING STATEMENTS SHALL BE IN STRICT ACCORDANCE WITH SPECIFICATION REQUIREMENTS AND SHALL BE BASED UPON INSTALLATION OF MATERIALS AND EQUIPMENT AS SPECIFIED.

PERMITS AND LICENSES
CONTRACTOR SHALL PREPARE AND SUBMIT REQUIRED APPLICATIONS AND DRAWINGS FOR ALL CONSTRUCTION PERMITS AND APPROVALS TO AUTHORITIES HAVING JURISDICTION OVER PROJECT. ALL LICENSES AND PERMITS REQUIRED SHALL BE SECURED AND PAID FOR BY CONTRACTOR AND SHALL BE SECURED BY THE CONTRACTOR BEFORE STARTING WORK.

STANDARDS AND CODES
WORK SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL CODES, ORDINANCES, LAWS, AND REGULATIONS. COMPLY WITH ALL APPLICABLE OSHA REGULATIONS.

MATERIALS SHALL HAVE UL OR ETL LABEL WHERE UL OR ETL STANDARD AND / OR TEST EXISTS.

ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS AND SHALL FOLLOW EQUIPMENT MANUFACTURER'S PUBLISHED INSTRUCTIONS.

MATERIALS AND EQUIPMENT
MATERIALS AND EQUIPMENT REQUIRED SHALL BE NEW, UNLESS OTHERWISE INDICATED.

EQUIPMENT SUPPLIED SHALL BE BASED ON MATERIALS AND EQUIPMENT OF MANUFACTURERS SPECIFIED. NO SUBSTITUTIONS WILL BE ALLOWED.

SUBMITTALS
THE FOLLOWING EQUIPMENT SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ENGINEER:
LIGHTING CONTROL DEVICES

LIGHTING FIXTURES

CLEANING AND PAINTING
RUBBER RESULTING FROM WORK SHALL BE REMOVED AND DISPOSED OF ON DAILY BASIS IN SUCH MANNER AS TO BE ACCEPTABLE TO OWNER.

CONTRACTOR SHALL CLEAN ALL EXPOSED IRON WORK, INTERIOR AND EXTERIOR OF CABINETS AND PULL BOXES, ETC.

WHERE PAINTED SURFACES OF EQUIPMENT HAVE BEEN DAMAGED OR RUSTED DURING CONSTRUCTION, CONTRACTOR SHALL PAINT SAME TO MATCH FINAL.

TESTS AND ACCEPTANCE
OPERATION OF EQUIPMENT AND ELECTRICAL SYSTEMS DOES NOT CONSTITUTE ACCEPTANCE OF WORK BY OWNER. FINAL ACCEPTANCE IS TO BE MADE AFTER CONTRACTOR HAS ADJUSTED HIS EQUIPMENT AND DEMONSTRATED THAT IT FULFILLS REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS.

UPON COMPLETION OF INSTALLATION, CONTRACTOR SHALL FURNISH CERTIFICATES OF APPROVAL AND OCCUPANCY PERMITS FROM AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL DEMONSTRATE THAT ALL WORK IS COMPLETE AND IN PERFECT OPERATING CONDITION, WITH RACEWAY AND CONDUIT SYSTEM PROPERLY GROUNDED, WIRING FREE FROM GROUNDS AND SHORTS, AND ENTIRE INSTALLATION IS FREE FROM ANY PHYSICAL DEFECTS.

IN PRESENCE OF ENGINEER AND OWNER, CONTRACTOR SHALL DEMONSTRATE PROPER OPERATION OF ALL SYSTEMS.

UNLESS OTHERWISE INDICATED, ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR AFTER DATE OF FINAL ACCEPTANCE.

DEFINITIONS
A/E - ARCHITECT AND / OR ENGINEER

PROVIDE - FURNISHED, INSTALLED, AND COMPLETELY WIRED AND CONNECTED BY ELECTRICAL CONTRACTOR.

NEC - NATIONAL ELECTRICAL CODE

CONTRACTOR - PERSON OR GROUP RESPONSIBLE FOR PROJECT CONSTRUCTION.

ELECTRICAL SERVICE AND DISTRIBUTION

REUSE EXISTING LOAD-CENTER PANELBOARD

EXECUTION
PROVIDE TEMPORARY SERVICE IN AREAS OF CONSTRUCTION FOR ALL TRADES. INCLUDE LIGHTING AND 120 VOLT POWER. COSTS TO PROVIDE AND TO REMOVE TEMPORARY SERVICE ELECTRICAL EQUIPMENT AND POWER DISTRIBUTION SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID. UTILITY ENERGY COSTS FOR TEMPORARY POWER SHALL BE PAID BY OWNER.

EXISTING PERMANENT SERVICE SHALL REMAIN IN PLACE. NEW FEEDERS AND CIRCUIT BREAKER SHALL BE PROVIDED IN ACCORDANCE WITH DRAWINGS.

GROUNDING SHALL BE IN ACCORDANCE WITH ALL CODES.

CONTRACTOR TO PROVIDE ALL IMC FLASH LABELING ON ELECTRICAL EQUIPMENT AS REQUIRED BY NFPA 70E, STANDARD FOR ELECTRICAL SAFETY IN THE WORKPLACE.

GROUNDING

PRODUCTS
ALL GROUNDING CONDUCTORS SHALL BE COPPER.

GROUND RODS SHALL BE COPPER-CLAD STEEL, 1/2" DIAMETER, 10' LONG.

MECHANICAL CONNECTIONS SHALL BE MADE WITH EXOTHERMIC WELDS OR WITH MECHANICAL CONNECTORS AT THE CONTRACTOR'S OPTION. MECHANICAL CONNECTORS SHALL BE BROUZE AND SHALL BE REVERSIBLE.

GROUND BUSSES SHALL BE 1/4" THICK BY 2" HIGH IN CROSS SECTION. LENGTHS AS INDICATED ON THE PLANS.

EXECUTION
REMOVE SURFACE CONTAMINANTS AT ALL CONNECTION POINTS.

GROUND ELECTRICAL SYSTEMS AND EQUIPMENT AS REQUIRED BY THE NEC, THE LOCAL UTILITY, AND LOCAL ORDINANCES.

PROVIDE SEPARATE GROUNDING CONDUCTOR WITH EACH FEEDER CONDUIT AND BRANCH CIRCUIT CONDUIT. DO NOT RELY ON METAL RACEWAY AS THE SOLE EQUIPMENT GROUND FOR ELECTRICAL CIRCUITS. BOND GROUND CONDUCTOR AT BOTH ENDS OF RACEWAYS WITH BOLTED GROUNDING LUGS.

SIZE GROUNDING CONDUCTORS IN ACCORDANCE WITH THE NEC.

FIRMLY ATTACH GROUNDS BEFORE CIRCUITS ARE ENERGIZED.

ELECTRICAL WIRING METHODS

ACCEPTABLE WIRING METHODS SHALL BE INDIVIDUAL CONDUCTORS IN CIRCULAR RACEWAYS. EXCEPTIONS ARE AS FOLLOWS:
CONDUCTORS FOR SYSTEMS RATED 30 VOLTS AND LESS AND ROUTED 1/2" AFF OR HIGHER, MAY BE INSTALLED IN FREE AIR WITHOUT RACEWAYS IN UNFINISHED MECHANICAL ROOMS, ELECTRICAL ROOMS, TELECOM CLOSETS. CONDUCTORS INSTALLED UNDER THIS EXCEPTION SHALL HAVE INSULATION RATINGS COMPLIANT WITH THE NEC, APPROPRIATE TO THE CONDITIONS WHERE THE CONDUCTORS ARE LOCATED.

CONDUCTORS FOR SYSTEMS RATED 30 VOLTS AND LESS AND ROUTED ABOVE ACCESSIBLE CEILINGS CONCEALED FROM VIEW, MAY BE INSTALLED IN FREE AIR WITHOUT RACEWAYS AT THE CONTRACTOR'S OPTION.

REVIEW PLANS OF OTHER TRADES AND IDENTIFY ANY AIR-HANDLING PLenums. CONDUCTORS INSTALLED UNDER THIS EXCEPTION SHALL HAVE INSULATION RATINGS COMPLIANT WITH THE NEC, APPROPRIATE TO THE CONDITIONS WHERE THE CONDUCTORS ARE LOCATED.

WHERE SPECIFICALLY INDICATED OTHERWISE ON THE DRAWINGS

BUILDING WIRE AND CABLE

PRODUCTS
SINGLE CONDUCTOR INSULATED WIRE

SOLID OR STRANDED CONDUCTOR FOR #10 AWG AND SMALLER. CONDUCTOR #8 AWG AND LARGER SHALL BE STRANDED.

COPPER CONDUCTORS ONLY.

INSULATION VOLTAGE RATING: 60V VOLTS, RATED 75° CELSIUS, UNLESS OTHERWISE INDICATED.

ACCEPTABLE INSULATION TYPES:
CONCEALED OR EXPOSED DRY INTERIOR LOCATIONS: USE ONLY BUILDING WIRE TYPE THW, THWN, THWN OR XHHW INSULATION.

WET OR DAMP INTERIOR LOCATIONS: USE ONLY BUILDING WIRE TYPE THW, OR USE INSULATION.

EXTERIOR LOCATIONS: USE ONLY BUILDING WIRE TYPE THW, OR USE INSULATION.

UNDERGROUND LOCATIONS: USE ONLY BUILDING WIRE TYPE THW, OR USE INSULATION.

WIRING CONNECTORS FOR CONDUCTORS #10 AWG AND SMALLER: 3M SCOTCH-LOK COMPRESSION TYPE SOLDERLESS CONNECTORS WITH PLASTIC OUTER SHELL.

WIRING CONNECTORS FOR CONDUCTORS #8 AWG AND LARGER: SOLDERLESS COMPRESSION TYPE CONNECTORS, TOOL AND DIE APPLIED, OF TYPE THAT WILL NOT LOOSEN UNDER VIBRATION OR NORMAL STRAINS. BUNDLY 1/4" GENT TYPE OR EQUIVALENT. SPLIT BOLT CONNECTORS ARE NOT ACCEPTABLE.

RUBBER INSULATING ELECTRICAL TAPE: SCOTCH 3M MODEL 23, 36-MIL TAPE.

EXECUTION
CONDUCTOR SHALL NOT BE SMALLER THAN #12 AWG FOR POWER AND LIGHTING CIRCUITS.

CONDUCTOR SHALL NOT BE SMALLER THAN #14 AWG FOR CONTROL CIRCUITS.

ALL WIRES SHALL BE NEW, DELIVERED TO SITE IN UNOPENED CARTONS, AND SHALL BE LESS THAN ONE YEAR OLD OUT OF MANUFACTURER'S STOCK.

DO NOT DRAW CONDUCTORS INTO CONDUITS UNTIL BUILDING IS ENCLOSED AND WATER-TIGHT AND UNTIL WORK THAT MAY CAUSE CONDUCTOR DAMAGE HAS BEEN COMPLETED.

EACH JUNT, OR SPLICE, IN CONDUCTORS #8 AWG AND LARGER SHALL BE TAPED WITH TWO HALF-LAP LAYERS OF VINYL PLASTIC ELECTRICAL TAPE AND FINISH WRAP OF COLOR CODING TAPE, WHERE REQUIRED BY THE NEC OR LOCAL CODES.

CABLE SPLICES SHALL BE MADE ONLY IN DISTRIBUTION AND JUNCTION BOXES.

NEATLY TRAIN AND BUNDLE WIRING INSIDE BOXES, EQUIPMENT, AND PANELBOARDS.

SIZE CONDUIT, OUTLET BOXES, AND OTHER RACEWAY SYSTEM COMPONENTS IN ACCORDANCE WITH NEC REQUIREMENTS AS MINIMUM.

MULTIPLE BRANCH CIRCUITS ARE NOT PERMITTED. EACH BRANCH CIRCUIT SHALL CONTAIN A DEDICATED NEUTRAL CONDUCTOR FOR EACH PHASE CONDUCTOR. A SINGLE NEUTRAL SHARED BETWEEN MULTIPLE PHASE CONDUCTORS ARE NOT PERMITTED.

INSTALL WIRE COLORS IN ACCORDANCE WITH FOLLOWING:
BLACK AND RED FOR SINGLE PHASE CIRCUITS AT 120/240 VOLTS.
BLACK, RED, AND BLUE FOR CIRCUITS AT 120/120/208 VOLTS SINGLE OR THREE-PHASE.

NEUTRAL CONDUCTORS: WHITE. WHEN TWO OR MORE NEUTRALS ARE LOCATED IN ONE CONDUIT, INDIVIDUALLY IDENTIFY EACH WITH PROPER CIRCUIT NUMBER.

RACEWAYS AND BOXES

PRODUCTS
METAL CONDUIT:
RIGID METAL CONDUIT (RMC)

INTERMEDIATE METAL CONDUIT (IMC)

ELECTRICAL METALLIC TUBING (EMT)

METAL CONDUIT FITTINGS: BOX TERMINATIONS AND COUPLINGS;
STEEL OR MALLEABLE IRON, ZINC GALVANIZED, OR CADMIUM PLATED.

SET SCREW STYLE FASTENERS.

BOX CONNECTORS SHALL HAVE NON-METALLIC INSULATED THROATS.

DO NOT USE ALUMINUM OR DIE CAST FITTINGS.

LIQUID-TIGHT FLEXIBLE METAL CONDUIT (LFMC):
INTERLOCKED STEEL CONSTRUCTION WITH PVC SUNLIGHT RESISTANT JACKET.

FITTINGS: NEMA F81 LIQUID-TIGHT, SUITABLE FOR GROUNDING, SUITABLE FOR WET LOCATIONS, TAPERED THREADED HUB, NON-METALLIC MATERIALS.

NON-METALLIC CONDUIT:
PRODUCT DESCRIPTION: NEMA TC 1, SCHEDULE 40 OR 80 PVC, UL LISTED, AND AS REQUIRED BY NEC, SUNLIGHT RESISTANT.

RATED FOR 90° CELSIUS CABLE.

FITTINGS AND CONDUIT BODIES: NEMA TO 3, SCHEDULE 40 OR 80, TO MATCH CONDUIT.

OUTLET BOXES:
INTERIOR OUTLET BOXES SHALL BE GALVANIZED STAMPED STEEL WITH PRE-PUNCHED KNOCK OUTS. SIZE SHALL BE 4-11/16" SQUARE, 2-1/2" DEEP MINIMUM.

EXTERIOR OUTLET BOXES SHALL BE CAST FERRALLOY, TYPE FID, CAST FERRALLOY, FURNISH GASKETED COVER BY BOX MANUFACTURER.

EXECUTION
MINIMUM RACEWAY SIZE: 3/4" UNLESS OTHERWISE INDICATED.

SPLIT, CRUSHED, OR SCARFED CONDUIT IS NOT ACCEPTABLE.

WELDED CONDUIT IS NOT ACCEPTABLE.

RACEWAY AND BOXES LOCATED AS INDICATED ON DRAWINGS, AND AT OTHER LOCATIONS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS, AND COMPLIANCE WITH REGULATORY REQUIREMENTS. RACEWAY AND BOXES ARE SHOWN IN APPROPRIATE LOCATIONS UNLESS DIMENSIONED. PROVIDE RACEWAY TO COMPLETE WIRING SYSTEM.

UNDERGROUND (OUTSIES) MORE THAN 5'-0" OUTSIDE FOUNDATION WALL: PROVIDE SCHEDULE 40 NON-METALLIC CONDUIT, UNLESS OTHERWISE INDICATED.

UNDERGROUND (OUTSIES) WITHIN 5'-0" FROM FOUNDATION WALL TO INSIDE OF BUILDING: PROVIDE RIGID STEEL CONDUIT. ONCE INSIDE BUILDING PROVIDE STEEL CONDUIT. PROVIDE INTERLOCKING RUBBER GASKETS AROUND RACEWAYS PASSING BELOW GRADE THROUGH BUILDING FOUNDATION WALLS. UTILIZE UNISEAL TYPE GASKETS OR EQUIVALENT.

WET, DAMP, AND OUTDOOR LOCATIONS: PROVIDE RIGID STEEL CONDUIT. PROVIDE CAST METAL JUNCTION AND PULL BOXES.

DRY LOCATIONS: PROVIDE METAL CONDUIT (RMC, IMC, OR EMT) UNLESS OTHERWISE INDICATED. PROVIDE STAMPED STEEL, OR SHEET METAL, BOXES.

SUPPORT RACEWAY USING TWO-HOLE MALLEABLE IRON STRAPS, LAY-IN ADJUSTABLE HANGERS, CLEVIS HANGERS, OR SPLIT HANGERS. PROVIDE LIGHT GAUGE STEEL BRACING FOR RACEWAY TRAPPEZ-HANGERS OR FOR OTHER RACEWAY SUPPORT AS REQUIRED.

SECURE CONDUITS IN PLACE WITH MALLEABLE CORROSION-PROOF-ALLOY STRAPS OR HANGERS. CONDUIT STRAPS USED IN CORROSION AREAS SHALL BE PVC COATED.

DO NOT SUPPORT RACEWAY WITH WIRE OR PERFORATED PIPE STRAPS. REMOVE WIRE USED FOR TEMPORARY SUPPORTS.

ROUTE INTERIOR RACEWAYS PARALLEL WITH OR PERPENDICULAR TO WALLS, CEILINGS, AND OTHER PRIMARY ARCHITECTURAL AND STRUCTURAL ELEMENTS.

CUT CONDUIT SQUARE USING SAW OR PIPE CUTTER. DE-BURR CUT ENDS. BRING CONDUIT TO SHOULDER OF FITTING. FASTEN SECURELY.

JOIN NON-METALLIC CONDUIT USING CEMENT AS RECOMMENDED BY MANUFACTURER. WIRE NON-METALLIC CONDUIT DRY AND CLEAN BEFORE JOINING. APPLY FULL EVEN COAT OF CEMENT TO ENTIRE AREA INSERTED IN FITTING. ALLOW JOINT TO CURE FOR MINIMUM 20 MINUTES.

INSTALL CONDUIT HUBS TO FASTEN CONDUIT TO CAST BOXES IN DAMP AND WET LOCATIONS.

INSTALL NO MORE THAN EQUIVALENT OF THREE (3) 90 DEGREE BENDS BETWEEN BOXES.

INSTALL CONDUIT BODIES TO MAKE SHARP CHANGES IN DIRECTION, AS AROUND BENDS.

INSTALL HYDRAULIC ONE-SHOT BENDER TO FABRICATE OR FACTORY ELBOWS FOR BENDS IN METAL CONDUIT LARGER THAN 2" SIZE.

AVOID MOISTURE TRAPS. INSTALL JUNCTION BOX WITH DRAIN FITTING AT LOW POINTS IN CONDUIT SYSTEM.

PROVIDE WATER-TIGHT CONDUIT SYSTEM WHERE INSTALLED IN WET LOCATIONS SUCH AS UNDERGROUND, OR WHERE EMBEDDED IN CONCRETE.

CONDUIT RUNS THAT EXTEND THROUGH AREAS OF DIFFERENT TEMPERATURE OR ATMOSPHERIC CONDITIONS OR THAT ARE PARTLY INDOORS AND PARTLY OUTDOORS SHALL BE SEALED, DRAINED, AND INSTALLED IN A MANNER THAT WILL PREVENT DRAINAGE OF CONDENSED OR ENTRAPPED MOISTURE INTO CABINETS, MOTORS, OR EQUIPMENT ENCLOSURES.

CONDUIT CONNECTIONS AT MOTORS AND OTHER EQUIPMENT THAT VIBRATES: PROVIDE LIQUID-TIGHT FLEXIBLE METAL CONDUIT.

USE DOUBLE LOCKNUTS AND INSULATED BUSHINGS WITH THREADS FULLY ENGAGED.

ENTER OR UNDERGROUND DIRECT BURIED CONDUITS SHALL BE BURIED AT DEPTH OF NOT LESS THAN 30" BELOW GRADE. UNDERGROUND CONDUITS SHALL SLOPE 1/8" PER FOOT FOR PROPER DRAINAGE. CONDUITS SHALL DRAIN TOWARD MANHOLES AND JUNCTION BOXES. CONDUITS SHALL NOT FITCH TO ELECTRICAL EQUIPMENT.

INSTALL KNOCKOUT CLOSURES IN UNUSED OPENINGS IN BOXES.

CLEAN EXPOSED SURFACES AND RESTORE FINISH.

ELECTRICAL RECEPTACLES

PRODUCTS
PROVIDE ALL WIRING DEVICE TYPES FROM A SINGLE MANUFACTURER.

FOR BIDDING PURPOSES, DEVICE COLOR AND DEVICE COVER PLATES IN FINISHED AREAS SHALL BE WHITE. VERIFY COLOR AND MATERIAL OF EXISTING DEVICES AND COVER PLATES AND PROVIDE NEW PLATES TO MATCH EXISTING.

ACCEPTABLE MANUFACTURERS ARE:
HUBBELL

LEVITON

ARROW-HART, INC.

PASS & SEYMOUR/LEGRAND

RECEPTACLES

GENERAL USE DUPLEX CONVENIENCE RECEPTACLE: HEAVY DUTY SPECIFICATION GRADE, 20 AMP, 125 VOLT, NEMA 5-20R, UL 2006 COMPLIANT, HUBBELL CAT. NO. HBL502.

WEATHER-RESISTANT CORROSION RESISTANT HEAVY DUTY, SPECIFICATION GRADE, 20 AMP DUPLEX, 125 VOLT, NEMA 5-20P, HBL502M2 (COLOR-YELLOW).

GFI RECEPTACLE: HEAVY DUTY, SPECIFICATION GRADE, SELF-TESTING, 20 AMP, 125 VOLT, NEMA 5-20R, UL 2006 COMPLIANT, HUBBELL CAT. NO. GF5010.

WEATHER-RESISTANT GFI, EXTRA-HEAVY-DUTY GRADE, 20 AMP DUPLEX, 125 VOLT, NEMA 5-20R, UL 2006 COMPLIANT, HUBBELL CAT. NO. GF5010Z.

WEATHER-PROOF COVER PLATE: GASKETED DIE CAST METAL PLATE WITH HINGED AND GASKETED DEVICE COVERS. COVER SHALL ALLOW CORDS TO BE PLUGGED IN AND COVER CLOSED. PROVIDE INTERMEDIATE OPTIMISTIC FOR SINGLE DUPLEX RECEPTACLES OR WP105M2C FOR DOUBLE (QUAD) DUPLEX RECEPTACLES.

EXECUTION

INSTALL RECEPTACLES WITH GROUNDING POLE ON TOP.

CONNECT WIRING DEVICE GROUNDING TERMINAL TO OUTLET BOX WITH BONDING JUMPER AND BRANCH CIRCUIT EQUIPMENT GROUNDING CONDUCTOR.

INSTALL GALVANIZED STEEL PLATES ON OUTLET BOXES AND JUNCTION BOXES IN UNFINISHED AREAS ABOVE ACCESSIBLE CEILINGS, AND ON SURFACE MOUNTED OUTLETS.

DO NOT USE TERMINALS ON WIRING DEVICES (NOT OR NEUTRAL FOR FEED-THROUGH CONNECTIONS). LOOPED OR OTHERWISE MAKE CIRCUIT CONNECTIONS VIA WIRE CONNECTORS AND PIGTAILS.

PROVIDE A LAYER OF ELECTRICAL TAPE AROUND PERIMETER SIDES OF EACH WIRING DEVICE SO THAT TERMINATIONS ARE INSULATED.

WHERE GFI PROTECTED RECEPTACLES ARE INDICATED ON DRAWINGS, EACH RECEPTACLE INDICATED SHALL BE A GFI RECEPTACLE. STANDARD RECEPTACLES PROTECTED WITH AN UPSTREAM GFI RECEPTACLE SHALL NOT BE APPROVED.

VERIFY EACH RECEPTACLE DEVICE IS ENERGIZED.

TEST EACH RECEPTACLE DEVICE FOR PROPER POLARITY.

TEST EACH GFI RECEPTACLE DEVICE FOR PROPER OPERATION. MARK PANEL AND CIRCUIT NUMBER SERVING DEVICE ON BACKSIDE OF DEVICE PLATE WITH A PERMANENT MARKING SYSTEM THAT DOES NOT SHOW THROUGH FRONT OF PLATE.

LIGHTING FIXTURES

PRODUCTS
REFER TO PLANS AND/OR TO LIGHTING FIXTURE SCHEDULE.

LIGHT FIXTURES WITH INTEGRAL LED'S SHALL BE PROVIDED WITH THE FOLLOWING COLOR CHARACTERISTICS: SEE LIGHTING FIXTURE SCHEDULE FOR ANY EXCEPTIONS.

LED'S WITH A COLOR RENDERING INDEX OF 80 OR HIGHER.

PROVIDE LED LIGHT FIXTURES WITH 0-10 VDC DIMMING CAPABILITY WITH INTEGRAL DRIVERS UNLESS NOTED OTHERWISE IN THE LIGHTING FIXTURE SCHEDULE.

EXECUTION
WHERE LAMPS ARE NEEDED, PROVIDE FIXTURES COMPLETE WITH INITIAL FILL OF LAMPS AS SCHEDULED. PROVIDE BALLASTS AS SPECIFIED.

CONTRACTOR SHALL VERIFY CEILING CONSTRUCTION PRIOR TO ORDERING FIXTURES. PROVIDE RECESS FIXTURES WITH TRIM CHARACTERISTICS COMPATIBLE WITH CEILING TYPES (WHERE FIXTURES ARE TO BE INSTALLED).

DEMOLITION

CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING CODE VIOLATIONS OBSERVED DURING THE COURSE OF PERFORMING HIS WORK. THE ENGINEER WILL DECIDE IF CORRECTIVE ACTION NEEDS TO BE TAKEN. CORRECTIVE ACTIONS THAT CHANGE THE SCOPE OF THE WORK WILL BE CONSIDERED A CHANGE ORDER AND WILL BE PROCESSED ACCORDINGLY.

EXISTING BUILDINGS SHALL REMAIN IN SERVICE DURING CONSTRUCTION.

PRIOR TO DEMOLITION OR ALTERATION OF STRUCTURES, THE FOLLOWING SHALL BE ACCOMPLISHED:

OWNER RELEASE OF SUCH STRUCTURE.

DISCONNECTION OF ELECTRICAL POWER TO EQUIPMENT AND CIRCUITS REMOVED OR AFFECTED BY DEMOLITION WORK.

ELECTRICAL SERVICES REROUTED OR SHUT OFF OUTSIDE AREA OF DEMOLITION.

COORDINATE SEQUENCING WITH OWNER AND OTHER CONTRACTORS.

SURVEY AND RECORD CONDITION OF EXISTING FACILITIES TO REMAIN IN PLACE THAT MAY BE AFFECTED BY DEMOLITION OPERATIONS.

POWER OUTAGES AND INTERRUPTIONS IN BUILDING SYSTEMS SHALL BE HELD TO A MINIMUM AND SHALL BE DONE AT A TIME CONVENIENT TO OWNER. TIME OF ALL OUTAGES SHALL BE SCHEDULED WITH OWNER AND ALL OTHER TRADES AFFECTED BY OUTAGE AT LEAST TEN WORKING DAYS IN ADVANCE.

IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER. OWNER MAY KEEP ANY EQUIPMENT IN DEMOLITION AREAS. CONTRACTOR SHALL DELIVER EQUIPMENT OWNER WANTS SALVAGED TO AREA IN BUILDING DESIGNATED BY OWNER. CONTRACTOR SHALL REMOVE ALL MATERIALS IN DEMOLISHED AREA NOT SALVAGED FROM SITE. CONTRACTOR SHALL OBTAIN RELEASE OF ALL MATERIALS BEFORE DEPOSITION.

AFTER DEMOLITION OPERATIONS ARE COMPLETED, SURVEY CONDITIONS AND RESTORE EXISTING FACILITIES TO THEIR PRE-DEMOLITION CONDITION.

REMOVE ABANDONED CONDUIT, INCLUDING ABANDONED CONDUIT ABOVE ACCESSIBLE CEILINGS. CUT CONDUIT CAST INTO CONCRETE STRUCTURES. FLUSH WITH WALLS AND FLOORS. PATCH SURFACES AROUND CONDUITS.

REMOVE CONDUIT, WIRE, BOXES, AND FASTENING DEVICES TO AVOID ANY INTERFERENCE WITH NEW INSTALLATION.

DE-ENERGIZE AND DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS SCHEDULED FOR REMOVAL.

DISCONNECT OR SHUT OFF POWER TO AREAS WHERE ELECTRICAL WORK IS TO BE REMOVED. REMOVE ELECTRICAL FIXTURES, EQUIPMENT AND RELATED SWITCHES, OUTLETS, CONDUIT AND WIRING WHICH ARE NOT PART OF FINAL PROJECT.

REMOVE, RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION.

REMOVE ABANDONED GROUNDING AND BONDING COMPONENTS, FASTENERS AND SUPPORTS, AND ELECTRICAL IDENTIFICATION COMPONENTS, INCLUDING ABANDONED COMPONENTS ABOVE ACCESSIBLE CEILINGS.

CUT EMBEDDED SUPPORT ELEMENTS FLUSH WITH WALLS AND FLOORS.

FEEDERS, BRANCH CIRCUITS, AND OTHER SYSTEM WIRING WHICH ARE TO REMAIN IN SERVICE BUT WHICH ARE PRESENTLY ROUTED THROUGH AREAS BEING DEMOLISHED SHALL BE REROUTED AROUND DEMOLITION AREA.

WHERE EXISTING BRANCH CIRCUITS ARE TO BE EXTENDED OR MODIFIED, EXISTING CONDUIT THAT HAS NOT BEEN REMOVED MAY BE REUSED AT CONTRACTOR'S DISCRETION. EXISTING CONDUITS THAT ARE REMOVED FROM THEIR EXISTING LOCATION SHALL NOT BE REUSED.

EXISTING WIRING MAY BE SPLICED AND USED TO EXTENT THAT IT WAS NOT REMOVED. EXISTING CONDUCTORS THAT HAVE BEEN REMOVED SHALL NOT BE RE-USED.

REMOVE AND PROTECT ITEMS REQUESTED BY OWNER TO BE SALVAGED AND TRANSPORT TO LOCATION ON SITE DESIGNATED BY OWNER.

CONTRACTOR SHALL TOUR DEMOLITION AREAS WITH OWNER TO DETERMINE STATUS OF ALL EQUIPMENT TO BE REMOVED DURING DEMOLITION.

ALL EQUIPMENT THAT IS TO BE SALVAGED FOR REUSE BY THE OWNER SHALL BE REMOVED BY CONTRACTOR AND TRANSPORTED TO AN OWNER DESIGNATED STORAGE AREA ON SITE.

RACEWAY, BOXES, AND SUPPORTING DEVICES SHALL BECOME PROPERTY OF CONTRACTOR AND SHALL BE REMOVED FROM SITE AND DISPOSED OF BY THE CONTRACTOR.

REMOVED EQUIPMENT SHALL BE DISPOSED OF BY CONTRACTOR UNLESS SPECIFICALLY OTHERWISE INDICATED ON DRAWINGS OR REQUESTED BY OWNER. CONTRACTOR SHALL PROVIDE TRANSPORT FOR DISPOSAL.

ANY HAZARDOUS MATERIALS REMOVED FROM SERVICE AS PART OF THIS PROJECT SHALL BE DISPOSED OF BY THE ELECTRICAL CONTRACTOR IN COMPLETE COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS. EXAMPLES OF SUCH MATERIALS WOULD INCLUDE LIGHT FIXTURE LAMPS AND LIGHT FIXTURE BALLASTS THAT CONTAIN REGULATED ELEMENTS.

REFER TO ARCHITECTURAL DEMOLITION PLANS FOR ADDITIONAL WORK, SUCH AS PAINTING, THAT WOULD REQUIRE THE ELECTRICAL CONTRACTOR TO MASK TAPE, OR OTHERWISE PROTECT EXISTING ELECTRICAL ITEMS NOT SCHEDULED FOR DEMOLITION.

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Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graeel-usa.com

CLIENT:

CITY OF WATERTOWN

PROJECT TITLE:

PLAZA PHASE II - ADA COMPLIANT
CONCRETE RAMP AND STAIR

1 EAST MAIN STREET
WATERTOWN, WISCONSIN 53094

ISSUE:

01 2025-03-24 ADDENDUM #02

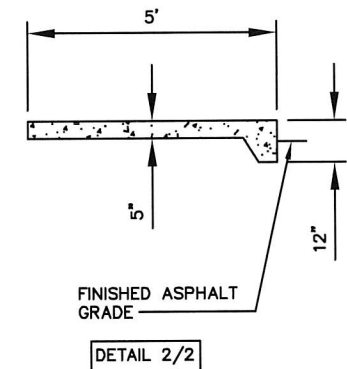
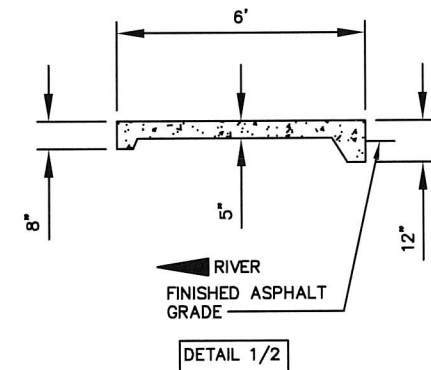
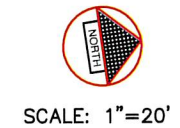


PROJECT INFORMATION:

PROJECT NUMBER: 2023-0158

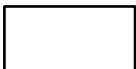
DATE: 2025-03-24

ROCK RIVER





City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

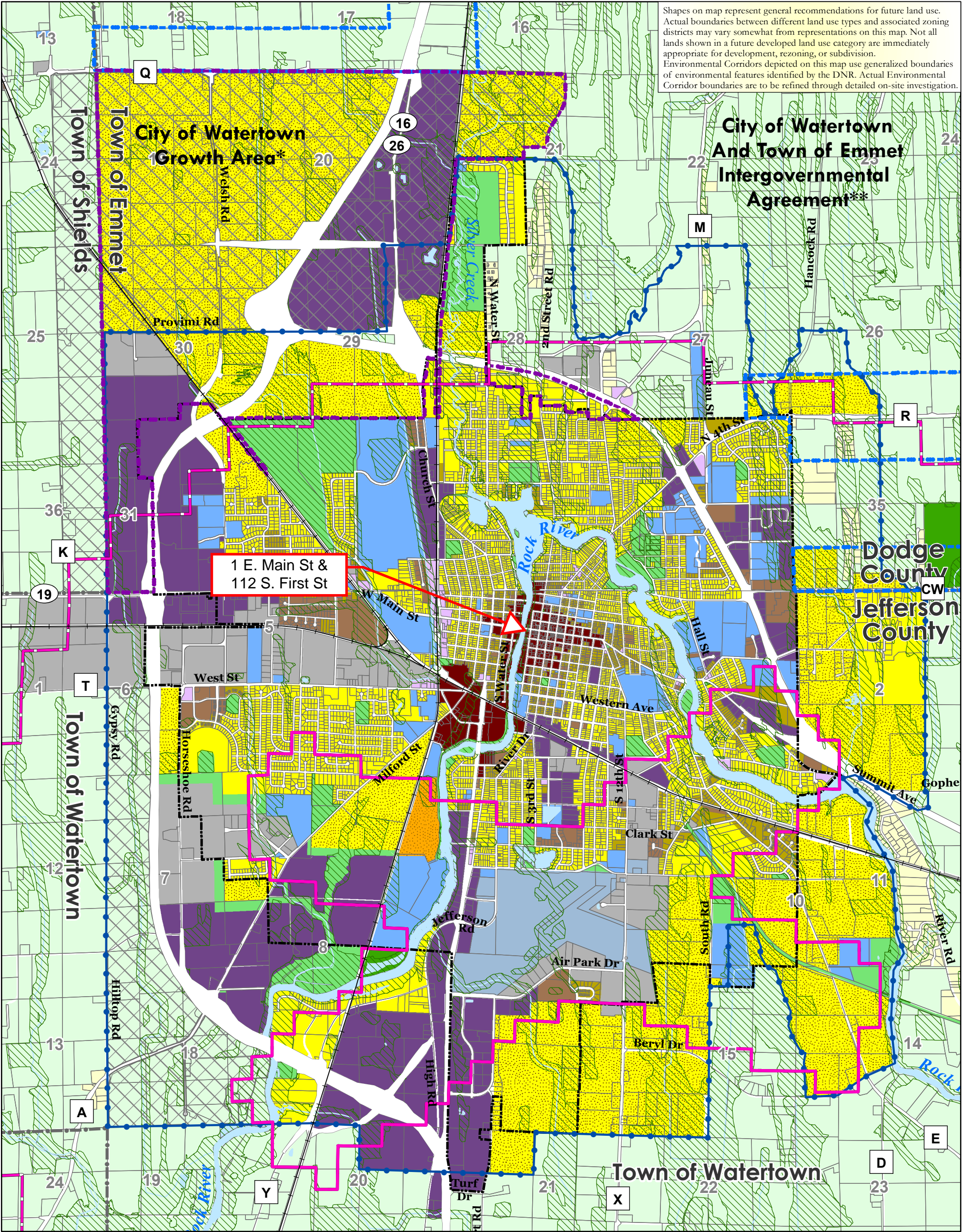
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SCALE BAR = 1"

Printed on: April 21,
Author:

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DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

City of Watertown And Town of Emmet Intergovernmental Agreement**

Dodge
County
Jefferson
County

Future Land Use Urban Area

Map 6b

City/Town IGA**
City Growth Area
City Periphery Areas

City of Watertown Comprehensive Plan

Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood**
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use*
- Central Mixed Use
- Riverside Mixed Use***
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

*Each "Planned Mixed Use Area" may include mix of:
1. Office
2. Multi-Family Residential
3. Mixed Industrial
4. Commercial Services/Retail
5. Institutional
6. Parks & Recreation



***"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
2. Two-family Residential
3. Multi-Family Residential
4. Institutional
5. Neighborhood Mixed Use
6. Parks & Recreation



***Each "Riverside Mixed Use Area" may include mix of:
1. Office
2. Single-Family - Sewered
3. Two-Family Residential
4. Multi-Family Residential
5. Commercial Services/Retail
6. Institutional
7. Parks & Recreation



Draft: August 7, 2019
Source: WisDNR, FEMA,
City of Watertown,
Dodge Co. LIO &
Jefferson Co. LIO, V&A

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

Airport Height Limitations
Maximum Building Elevation
b/t 865 and 968 ft
Maximum Building Elevation
b/t 968 and 1005 ft



0 0.25 0.5 1 Miles

MEMO

Engineering Division of the Public Works Department

To: Mayor Stocks and Commission Members

From: Andrew M. Beyer P.E., Director of Public Works/City Engineer

Date: April 22, 2025

Subject: Plan Commission Meeting of April 28, 2025

Review and take possible action: Land Acquisition at 1020 E. Main Street

Background

Agenda Item:

Review and take possible action: Land acquisition at 1020 E. Main Street

BACKGROUND:

The City of Watertown and the Wisconsin Department of Transportation (WisDOT) have entered into a State/Municipal Agreement for a State-Let STP-Urban Project and as part of the agreement the City of Watertown shall provide Real Estate Plat and Nominal Payment Parcel Report to the State.

The Real Estate Plat and Nominal Payment Parcel Report prepared by the City's design consultant, R.E. Lee & Associates and their subconsultant, Steigerwaldt Land Services, Inc. describe a land acquisition from 1020 East Main, LLC, Tax Parcel 291-0815-0411-202, shown as Parcel 1 on the Real Estate Plat necessary to facilitate the construction of an ADA Compliant Curb Ramp.

It is recommended that the proper City Officials be authorized to purchase 45 square feet from 1020 East Main, LLC, Tax Parcel 291-0815-0411-202, shown as Parcel 1 on said Real Estate Plat for the Total Amount: \$1,000.00. Said money is to be taken out of the #05-58-11-69, Annual Street Reserve Account. The property owner has agreed to the sale of the 45 square feet of real estate to the City for \$1,000.00.

MEMO

Budget Goal

1. Proactively maintains and improves our parks and infrastructure to ensure safety, quality, and equity
4. Maintains a safe and healthy community, with an eye toward future needs and trends

Financial Impact

The total estimated cost of \$1,000.00 will be charged to the Annual Street Reserve Account (05-58-11-69).

Recommendation

The Engineering Division of the Public Works Department recommends the purchase of 45 square feet from 1020 East Main, LLC for the aforementioned cost.

Motion: Motion to forward a Resolution to the May 6, 2025 Common Council meeting with a favorable recommendation for the purchase of 45 square feet from 1020 East Main, LLC for \$1,000.00.

Attachments:

- Draft Resolution
- Plat of Right of Way, Dewey Avenue
- Administrative Revision Form

2025 Operational Goals

2. Proactively maintains and improves our parks and infrastructure in an effort to ensure quality, safety and compliance
3. Maintains a safe and healthy community, and expands community education on safety and health

**DRAFT RESOLUTION TO
PURCHASE ADDITIONAL RIGHT OF WAY REQUIRED FOR CITY OF
WATERTOWN, DEWEY AVENUE, E MAIN STREET TO E DIVISION
STREET RECONSTRUCTION PROJECT**

**SPONSOR: MAYOR STOCKS
FROM: PLAN COMMISSION WITH POSITIVE RECOMMENDATION**

WHEREAS, the City of Watertown and the Wisconsin Department of Transportation (WisDOT) did enter into a State/Municipal Agreement for a State-Let STP-Urban Project of Dewey Avenue between E. Main Street & E. Division Street; and,

WHEREAS, the City of Watertown shall provide Real Estate Plat and Nominal Payment Parcel Report to the State; and,

WHEREAS, said Real Estate Plat and Nominal Payment Parcel Report describe a land acquisition from 1020 East Main, LLC, Tax Parcel 291-0815-0411-202, shown as Parcel 1 on said Real Estate Plat, attached hereto, necessary to facilitate the construction of an ADA Compliant Curb Ramp; and,

WHEREAS, the City of Watertown’s contracted consultant has negotiated the successful purchase price of 45 square feet for additional right of way from 1020 East Main, LLC, Tax Parcel 291-0815-0411-202, shown as Parcel 1 on said Real Estate Plat for the construction of said ADA Compliant Curb Ramp.

NOW, THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF WATERTOWN, WISCONSIN: that the proper City Officials be and hereby authorized to purchase 45 square feet from 1020 East Main, LLC, Tax Parcel 291-0815-0411-202, shown as Parcel 1 on said Real Estate Plat for the Total Amount: \$1,000.00. Said money is to be taken out of the #05-58-11-69, Annual Street Reserve Account.

	YES	NO
DAVIS		
LAMPE		
BERG		
BARTZ		
BLANKE		
SMITH		
ARNETT		
WETZEL		
MOLDENHAUER		
MAYOR STOCKS		
TOTAL		

ADOPTED May 6, 2025

CITY CLERK

APPROVED May 6, 2025

MAYOR

SECTION LINE

QUARTER LINE

SIXTEENTH LINE

NEW REFERENCE LINE

NEW R/W LINE

EXISTING R/W OR HE LINE

PROPERTY LINE

LOT, TIE & OTHER MINOR LINES

SLOPE INTERCEPT

CORPORATE LIMITS

UNDERGROUND FACILITY (COMMUNICATIONS, ELECTRIC, ETC.)

NEW R/W (FEE OR HE) (HATCHING VARIES BY OWNER)

TEMPORARY LIMITED EASEMENT AREA

EASEMENT AREA (PERMANENT LIMITED OR RESTRICTED DEVELOPMENT)

TRANSMISSION STRUCTURES

BUILDING

BRIDGE

TO BE REMOVED

CULVERT

SECTION CORNER SYMBOL

GEODETIC SURVEY MONUMENT

SIXTEENTH CORNER MONUMENT

SIGN

ELECTRIC POLE

TELEPHONE POLE

PEDESTAL (LABEL TYPE) (TV, TEL, ELEC, ETC.)

ACCESS RESTRICTED BY ACQUISITION

NO ACCESS (BY STATUTORY AUTHORITY)

ACCESS RESTRICTED (BY PREVIOUS PROJECT OR CONTROL)

NO ACCESS (NEW HIGHWAY)

PARCEL NUMBER

UTILITY NUMBER

PARALLEL OFFSETS

R/W MONUMENT (TO BE SET)

NON-MONUMENTED R/W POINT

FOUND IRON PIN (1-INCH UNLESS NOTED)

OFF-PREMISE SIGN

COMPENSABLE

NON-COMPENSABLE

SECTION CORNER MONUMENT

SIXTEENTH CORNER MONUMENT

SIGN

ELECTRIC POLE

TELEPHONE POLE

PEDESTAL (LABEL TYPE) (TV, TEL, ELEC, ETC.)

ACCESS RESTRICTED BY ACQUISITION

NO ACCESS (BY STATUTORY AUTHORITY)

ACCESS RESTRICTED (BY PREVIOUS PROJECT OR CONTROL)

NO ACCESS (NEW HIGHWAY)

PARCEL NUMBER

UTILITY NUMBER

PARALLEL OFFSETS

CONVENTIONAL UTILITY SYMBOLS

WATER

GAS

TELEPHONE

OVERHEAD TRANSMISSION LINES

ELECTRIC

CABLE TELEVISION

FIBER OPTIC

SANITARY SEWER

STORM SEWER

ELECTRIC TOWER

CONVENTIONAL ABBREVIATIONS

ACCESS RIGHTS

ACRES

AHEAD

ALUMINUM

AND OTHERS

BACK

BLOCK

CENTERLINE

CERTIFIED SURVEY MAP

CONCRETE

COUNTY

COUNTY TRUNK HIGHWAY

DISTANCE

CORNER

DOCUMENT NUMBER

EASEMENT

EXISTING

GAS VALVE

GRID NORTH

HIGHWAY EASEMENT

IDENTIFICATION

LAND CONTRACT

LEFT

MONUMENT

NATIONAL GEODETIC SURVEY

NUMBER

OUTLOT

PAGE

POINT OF TANGENCY

PERMANENT LIMITED EASEMENT

POINT OF BEGINNING

POINT OF CURVATURE

CONVENTIONAL ABBREVIATIONS

POINT OF COMPOUND CURVE

POINT OF INTERSECTION

PROPERTY LINE

RECORDED AS

REEL / IMAGE

REFERENCE LINE

REMAINING

RESTRICTIVE DEVELOPMENT

RIGHT

RIGHT OF WAY

SECTION

SEPTIC VENT

SQUARE FEET

STATE TRUNK HIGHWAY

STATION

TELEPHONE PEDESTAL

TEMPORARY LIMITED EASEMENT

TRANSPORTATION PROJECT PLAT

UNITED STATES HIGHWAY

VOLUME

CONVENTIONAL ABBREVIATIONS

LONG CHORD

LONG CHORD BEARING

RADIUS

DEGREE OF CURVE

CENTRAL ANGLE

LENGTH OF CURVE

TANGENT

DIRECTION AHEAD

DIRECTION BACK

CONVENTIONAL ABBREVIATIONS

LONG CHORD

LONG CHORD BEARING

RADIUS

DEGREE OF CURVE

CENTRAL ANGLE

LENGTH OF CURVE

TANGENT

DIRECTION AHEAD

DIRECTION BACK

END RELOCATION ORDER

40.18 FT NORTH AND 8.04 FT WEST OF THE NORTHEAST CORNER OF SEC. 4, T8N, R15E

STA 30+00

Y=439,099.242

X=2,311,445.677

BEGIN RELOCATION ORDER

1344.88 FT NORTH AND 71.26 FT WEST OF THE EAST 1/4 CORNER OF SEC. 4, T8N, R15E

STA 10+00.00

Y=437,102.365

X=2,311,557.402

NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN STATE PLANE COORDINATE (SPC) SYSTEM, SOUTH ZONE, NAD83 (2011) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE PLANNING UNIT OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION OFFICE IN MADISON/SOUTHWEST REGION.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE DETAIL PAGES.

LAYOUT

SCALE

0

500

TOTAL NET LENGTH OF CENTERLINE =

1,957.54 FEET

THIS PLAT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. DEEDS MUST BE CHECKED TO DETERMINE PROPERTY BOUNDARIES AND ACCESS RIGHTS.

R/W PROJECT NUMBER

N/A

FEDERAL PROJECT NUMBER

N/A

PLAT OF RIGHT OF WAY REQUIRED FOR

CITY OF WATERTOWN, DEWEY AVENUE

E MAIN STREET TO E DIVISION STREET

DEWEY AVENUE

JEFFERSON COUNTY

CONSTRUCTION PROJECT NUMBER

3997-01-79

A TEMPORARY LIMITED EASEMENT (TLE) IS A RIGHT FOR CONSTRUCTION PURPOSES, AS DEFINED HEREIN, INCLUDING THE RIGHT TO OPERATE NECESSARY EQUIPMENT THEREON, THE RIGHT OF INGRESS AND EGRESS, AS LONG AS REQUIRED FOR SUCH PUBLIC PURPOSE, INCLUDING THE RIGHT TO PRESERVE, PROTECT, REMOVE, OR PLANT THEREON ANY VEGETATION THAT THE HIGHWAY AUTHORITIES MAY DEEM DESIRABLE. ALL (TLEs) ON THIS PLAT EXPIRE AT THE COMPLETION OF THE CONSTRUCTION PROJECT FOR WHICH THIS INSTRUMENT IS GIVEN.

A PERMANENT LIMITED EASEMENT (PLE) IS A RIGHT FOR CONSTRUCTION AND MAINTENANCE PURPOSES, AS DEFINED HEREIN, INCLUDING THE RIGHT TO OPERATE NECESSARY EQUIPMENT THEREON AND THE RIGHT OF INGRESS AND EGRESS, AS LONG AS REQUIRED FOR SUCH PUBLIC PURPOSE, INCLUDING THE RIGHT TO PRESERVE, PROTECT, REMOVE, OR PLANT THEREON ANY VEGETATION THAT THE HIGHWAY AUTHORITIES MAY DEEM DESIRABLE, BUT WITHOUT PREJUDICE TO THE OWNER'S RIGHTS TO MAKE OR CONSTRUCT IMPROVEMENTS ON SAID LANDS OR TO FLATTEN THE SLOPES, PROVIDING SAID ACTIVITIES WILL NOT IMPAIR OR OTHERWISE ADVERSELY AFFECT THE HIGHWAY FACILITIES.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

ACCEPTED FOR

CITY OF WATERTOWN

DATE:

(Signature and Title of Official)

ORIGINAL PLANS PREPARED BY

REL Robert E. Lee & Associates, Inc.

1250 Centennial Centre Blvd | P.O. Box 1111 | 920-662-9641 | releeinc.com

WISCONSIN LAND SURVEYOR

SCOTT M. DEBAKER

S-2483

GREEN BAY WI

DATE:

(Professional Land Surveyor Signature)

Section 3, Item H.

SHEET NUMBER

4.01

SHEETS

4

FILE NAME : R:\5300\5364\5364088\39970179\SHEETS\040100-TI.DWG

PLOT DATE : 10/7/2024 2:14 PM

PLOT BY : SCOTT M. DEBAKER

PLOT NAME :

48

NOTE: OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY OF WATERTOWN

4

SCHEDULE OF LANDS & INTERESTS REQUIRED				
PARCEL NUMBER	OWNER(S)	INTEREST REQUIRED	R/W NEW SF	TLE SF
1	1020 East Main, LLC	FEE & TLE	45	812
2	Kenneth W. Matson and Penelope R. Matson	TLE		534
3	Patricia A. Caldwell	TLE		216
4	Jason Castillo	TLE		225
5	Orlando Nevarez and Carrie Buller	TLE		458
6	Matthew D. Allickson	TLE		474
7	Ryan Gutzdorf and Angellica Gutzdorf	TLE		290
8	J. Jesus Aranda Gomez & Aidhe Aranda	TLE		489
9	Franklin & Edris A. Hrasky, Christopher & Kaye Pitrowski	TLE		1170
10	Anthony F. Scola and Margaret M. Scola Joint Revocable Living Trust	TLE		744
11	Tory J. Schlender, a single person	TLE		627
12	SLR Investments LLC	TLE		343
13	Richard C. Ebert, Jr. and Patrice M. Ebert	TLE		250
14	Angela R. Douglas	TLE		250
15	Benjamin L. Peterson and Janet K. Peterson	TLE		336
16	Michael L Herro	TLE		511
17	Sandy Creek LLC	TLE		898
18	Justin W. Helser and Jamie L. Helser	TLE		841
19	William R. Snodie and Pamela J. Snodie	TLE		975
20	Dalia Villarreal	TLE		1133
21	Vince Wayda a/k/a Vincent Wayda and Joleen Wayda	TLE		982
22	Victor K. Herschi and Antonette Herschi	TLE		949
23	Allies Properties Corporation	TLE		667
24	Aaron J. Borchardt a/k/a Aaron John Borchardt	TLE		731

SCHEDULE OF LANDS & INTERESTS REQUIRED				
PARCEL NUMBER	OWNER(S)	INTEREST REQUIRED	R/W NEW SF	TLE SF
25	Michael S. Rogars and Theresa K. Rogars	TLE		665
26	Sandra L. Wakeman and Robert W. Amis, III, as joint tenants	TLE		251
27	Robert Wolfgram	TLE		373
28	Jacob Luebke	TLE		380
29	Sarah Chartier	TLE		366
30	FJ Winter Enterprises, LLC	TLE		413
31	Mark D. Moretti, Jr.	TLE		414
32	Bryan R. Paulsen	TLE		542
33	Ericka M. Niemann	TLE		394
34	Christi M. Schroeder	TLE		458
35	John P. Richter	TLE		337
36	Cody R. Heiden	TLE		269
37	Christopher S. Bahn and Tami S. Bahn	TLE		273
38	Joseph L. Rivera	TLE		996
39	John W. Freepartner and Kay M. Freepartner	TLE		521
40	Chad Witte	TLE		259
41	Dehnert & Company Contractors LLC, Edward Breunig	TLE		254
42	Matthew Kayser	TLE		422
43	Jordan Davids and Jennifer L. Davids	TLE		328
44	Becky Iadicicco and Steve Iadicicco	TLE		362
45	Michael R. Friedl and Laurel L. Friedl Revocable Trust	TLE		358
46	Allies Properties Corporation	TLE		496
47	LuAnn M.H. Weihert	TLE		289
48	Laurette E. Knope	TLE		332
49	Barbara Ann Agasie	TLE		315
50	Thomas Lulewicz and Bernadette Lulewicz	TLE		325
51	Joseph M. Dietrich (husband) and Debra K. Rothe	TLE		277
52	James N. Mork	TLE		373
53	Faustino Herrera	TLE		402
54	D & J Venture Rentals, LLC	TLE		474

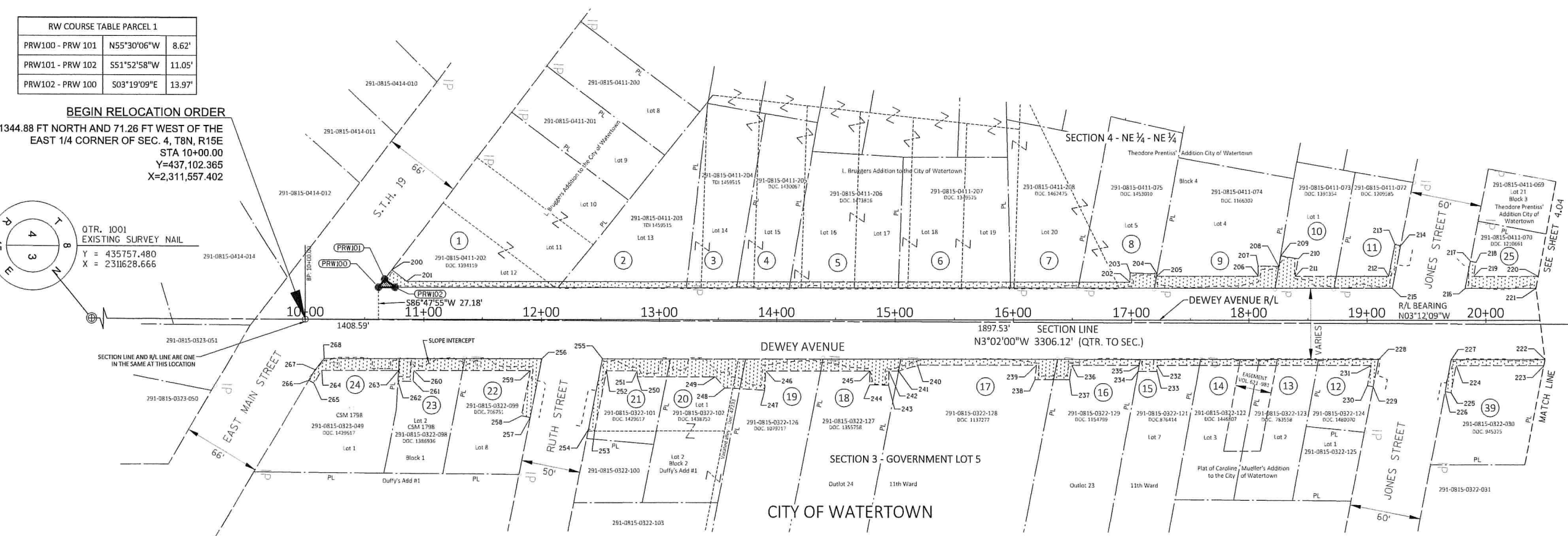
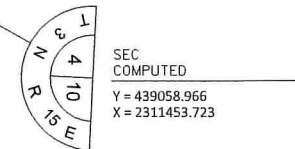
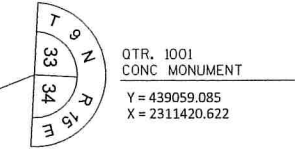
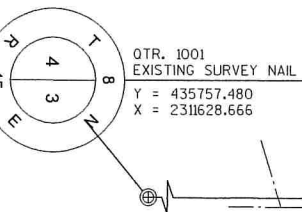
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NOTE: OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY OF WATERTOWN

STATION & OFFSET TABLE				
POINT	STATION	OFFSET	Y COORDS	X COORDS
100	10+61.82	27.00 LT	437162.579	2311526.994
101	10+67.09	33.82 LT	437167.463	2311519.887
102	10+75.79	27.00 LT	437176.527	2311526.214

RW COURSE TABLE PARCEL 1			
PRW100 - PRW 101	N55°30'06"W	8.62'	
PRW101 - PRW 102	S51°52'58"W	11.05'	
PRW102 - PRW 100	S03°19'09"E	13.97'	

BEGIN RELOCATION ORDER
1344.88 FT NORTH AND 71.26 FT WEST OF THE
EAST 1/4 CORNER OF SEC. 4, T8N, R15E
STA 10+00.00
Y=437,102.365
X=2,311,557.402



TLE POINTS STATION OFFSET TABLE				
POINT	STATION	OFFSET	Y COORDS	X COORDS
200	10+73.24'	41.69'LT	437173.164	2311511.693
201	10+85.63'	32.00 LT	437186.072	2311520.672
202	16+98.73	32.00 LT	437798.217	2311486.421
203	16+98.97	39.80 LT	437798.017	2311478.624
204	17+21.89	39.10 LT	437820.944	2311478.035
205	17+21.49	37.00 LT	437820.664	2311480.158
206	18+08.21	37.00 LT	437907.248	2311475.313
207	18+08.06	45.75 LT	437906.606	2311466.582
208	18+25.59	45.34 LT	437924.129	2311466.013
209	18+27.14	54.28 LT	437925.179	2311457.004
210	18+41.98	51.70 LT	437940.140	2311458.749
211	18+39.45	37.00 LT	437938.442	2311473.568
212	19+18.37	37.00 LT	438017.231	2311469.159
213	19+23.72	63.88 LT	438021.071	2311442.019
214	19+28.62	62.91 LT	438026.022	2311442.719
215	19+21.47	27.00 LT	438020.892	2311478.970
216	19+82.65	27.07 LT	438081.968	2311475.482
217	19+87.18	49.85 LT	438085.223	2311452.484

TLE POINTS STATION OFFSET TABLE				
POINT	STATION	OFFSET	Y COORDS	X COORDS
218	19+92.10	48.87 LT	438090.188	2311453.187
219	19+89.74	37.00 LT	438088.492	2311465.172
220	20+45.20	37.00 LT	438143.861	2311462.074
221	20+43.32	27.07 LT	438142.540	2311472.097
222	20+50.61	32.93 RT	438153.176	2311531.597
223	20+49.60	38.00 RT	438152.453	2311536.711
224	19+74.81	38.00 RT	438077.778	2311540.889
225	19+70.29	60.73 RT	438074.530	2311563.838
226	19+65.31	59.74 RT	438069.502	2311563.126
227	19+70.62	32.93 RT	438073.314	2311536.059
228	19+09.53	33.00 RT	438012.320	2311539.544
229	19+04.97	55.94 RT	438009.042	2311562.708
230	19+00.06	54.97 RT	438004.092	2311562.007
231	19+03.44	38.00 RT	438006.516	2311544.876
232	17+21.57	38.00 RT	437824.930	2311555.036
233	17+21.57	43.00 RT	437825.209	2311560.028
234	17+05.44	43.00 RT	437809.101	2311560.930
235	17+06.39	38.00 RT	437809.771	2311555.884

TLE POINTS STATION OFFSET TABLE				
POINT	STATION	OFFSET	Y COORDS	X COORDS
236	16+49.61	38.00 RT	437753.084	2311559.056
237	16+47.58	50.03 RT	437751.730	2311571.184
238	16+18.17	50.09 RT	437722.367	2311572.883
239	16+19.54	38.00 RT	437723.057	2311560.736
240	15+18.96	38.00 RT	437622.640	2311566.355
241	15+02.84	43.00 RT	437606.820	2311572.248
242	14+94.45	43.00 RT	437598.448	2311572.716
243	14+94.29	54.80 RT	437598.949	2311584.511
244	14+78.35	54.55 RT	437583.013	2311585.149
245	14+78.53	43.00 RT	437582.551	2311573.606
246	13+90.41	43.00 RT	437494.567	2311578.529
247	13+89.51	59.16 RT	437494.571	2311594.713
248	13+55.50	57.21 RT	437460.505	2311594.663
249	13+47.07	48.00 RT	437451.573	2311585.942
250	12+80.95	48.00 RT	437385.557	2311589.636
251	12+80.95	43.00 RT	437385.278	2311584.643
252	12+54.67	43.00 RT	437359.039	2311586.112
253	12+44.69	93.20 RT	437351.878	2311636.794

TLE POINTS STATION OFFSET TABLE				
POINT	STATION	OFFSET	Y COORDS	X COORDS
254	12+39.36	92.14 RT	437346.494	2311636.034
255	12+51.23	33.00 RT	437355.045	2311576.319
256	12+00.23	33.00 RT	437304.127	2311579.168
257	11+90.31	82.39 RT	437296.986	2311629.038
258	11+82.90	80.92 RT	437289.497	2311627.980
259	11+90.44	43.00 RT	437294.906	2311589.700
260	10+91.59	43.00 RT	437196.218	2311595.222
261	10+91.16	52.00 RT	437196.288	2311604.227
262	10+78.22	52.00 RT	437183.371	2311604.950
263	10+78.78	43.00 RT	437183.421	2311595.938
264	10+13.60	43.00 RT	437118.345	2311599.579
265	10+07.08	53.89 RT	437112.443	2311610.814
266	10+02.79	51.32 RT	437108.016	2311608.489
267	10+08.13	42.40 RT	437112.852	2311599.284
268	10+15.57	33.00 RT	437119.754	2311589.484

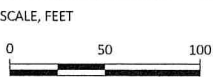
EXISTING MONUMENT STATION & OFFSET TABLE					
POINT	STATION	OFFSET	Y COORDS	X COORDS	MON. TYPE
10733	0+00.00	0.00	437029.157	2311617.707	IP / 0.25
10732	0+00.00	0.00	437066.335	2311687.999	IP
10731	10+14.69	34.09 RT	437118.940	2311590.625	IP
10730	10+79.24	33.62 RT	437183.363	2311586.551	IP
10729	11+35.05	32.79 RT	437239.033	2311582.596	IP/IRON ROD
1554	11+45.74	136.52 LT	437240.252	2311412.959	IP / 1.25
10728	11+80.71	130.22 RT	437290.070	2311677.328	IP
10735	13+22.77	27.37 LT	437423.107	2311512.049	IP
10726	14+39.15	32.04 RT	437542.618	2311564.863	IP / 0.25
8154	18+97.92	93.89 RT	438004.127	2311600.989	IP
10725	15+04.83	32.97 RT	437608.251	2311562.121	IP

EXISTING MONUMENT STATION & OFFSET TABLE					
POINT	STATION	OFFSET	Y COORDS	X COORDS	MON. TYPE
10736	15+97.68	26.95 LT	437697.607	2311497.110	IP/IRON ROD
10724	16+37.34	32.86 RT	437740.544	2311554.613	IP
10737	16+54.88	26.81 LT	437754.722	2311494.052	IP/IRON ROD
4374	16+54.88	26.81 LT	437754.722	2311494.058	IP/IRON ROD
10738	17+19.47	26.04 LT	437819.252	2311491.211	IP/IRON ROD
10723	17+59.12	32.88 RT	437862.136	2311547.827	IP
10739	18+22.25	26.17 LT	437921.874	2311485.345	IP/IRON ROD
10740	18+72.09	26.01 LT	437971.642	2311482.720	IP / 0.25
8154	18+97.92	93.89 RT	438004.127	2311600.989	IP
10741	19+39.96	115.95 LT	438034.377	2311389.131	IP

EXISTING RIGHT-OF-WAY FOR
DEWEY AVENUE IS BASED
UPON COUNTY RECORDS AND
ASSOCIATED FOUND SURVEY
MONUMENTATION

REVISION DATE			

DATE 10/7/2024



HWY: DEWEY AVE
COUNTY: JEFFERSON

STATE R/W PROJECT NUMBER N/A
CONSTRUCTION PROJECT NUMBER 3997-01-79

PLAT SHEET 4.03
PS&E SHEET

Section 3, Item H.



EXISTING RIGHT-OF-WAY FOR
DEWEY AVENUE IS BASED
UPON COUNTY RECORDS AND
ASSOCIATED FOUND SURVEY
MONUMENTATION

ADMINISTRATIVE REVISION Wisconsin Department of Transportation

RE1592 1/2023

Property Type Commercial	Property Net Size 10,977.12 Sq. Ft. / 0.252 Acres	Fee Acquired 45.00 sq. ft.	Other Interests
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Brief description of size, shape, effect of acquisition on property

The City is purchasing 45.00 sq. ft of Fee acquisition for the reconstruction of Dewey Avenue. Fee acquisition area is located on the front corner of the lot which provides the highest visibility to the commercial lot. The lot is currently a used car lot.

COMPARISON OF DAMAGES

ITEM	OFFERING PRICE	OWNER APPRAISAL	ADMIN REVISION
Appraiser Name			
Before Value	\$0.00	\$0.00	
After Value	\$0.00	\$0.00	
Fee	\$123.75		\$123.75
Temporary Limited Easement (TLE)	\$154.28		\$154.28
			\$500.00
TOTAL DAMAGES (Rounded to)	\$500.00		\$1,000.00

Justification for administrative increase (Attach additional pages if necessary.)

Landowner negotiated increase for additional compensation for fee acquisition of 45 square feet of front corner of commercial lot in the amount of an additional \$500.00. Current use is a used car lot and front corner provides highest visibility for inventory. Landowner referenced adjacent residential lot purchased in 2022 is assessed much higher per square foot than the offer he received.

Administrative Revision \$500.00	
Approved Offering Price \$1,000.00	
Variance Amount \$500.00	Percent Increase 100.00 %


 Negotiator
 Jason Saari

4/2/2025
 Date

Approving Authority _____ Date _____