



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, JANUARY 22, 2024 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 866 899 4679 **Access Code:** 621-359-093 or <https://meet.goto.com/621359093>
All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated November 13, 2023

3. BUSINESS

A. Review and take action: 806 R Elm Street – heated storage shed

B. Review and take action: 621 Bernard Street - site plan for new fire station

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

**SITE PLAN REVIEW COMMITTEE
November 13, 2023**

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Brian Zirbes of Building, Safety & Zoning; Maureen McBroom of Engineering and Stormwater Utility; Stacy Winkelman of the Street Department; Mike Zitelman of the Water/Wastewater Department; Strategic Initiatives and Development Coordinator Mason Becker; Doug Zwieg of Building, Safety & Zoning; and Anthony Rauterberg of the Fire Department. Also in attendance were Nikki Zimmerman, and G. R. Lyons of Lycon, Inc.

1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated September 11, 2023

Motion was made by Doug Zwieg and seconded by Anthony Rauterberg to approve the September 11, 2023 Site Plan Review minutes as submitted. Unanimously approved.

3. Business

A. Review and take action: W6911 Silver Creek Road – Remodel of redi-mix plant and construction of aggregate storage building

G. R. Lyons was present to explain the proposal to the committee members. The current plant is old and needs to be updated. The updates and the addition of an aggregate storage area will assist in meeting DNR standards, keeping items more easily accessible throughout the year, cut down on noise and dust, and will make the site more aesthetically pleasing.

The following was presented by staff:

Building:	Submit a building permit with plans.
Fire:	Ensure a Knox Box is installed.
Eng/Stormwater:	With no new impervious area, there are no requirements that have to be met. Be sure to adhere to post construction stormwater practices.
Streets:	No comments.
Water/Wastewater:	No comments.
Zoning:	Lighting and landscaping plans have been submitted.

Motion was made by Doug Zwieg and seconded by Anthony Rauterberg to recommend approval of this proposal to Plan Commission with inclusion of the above comments.

Unanimously approved.

4. Adjournment

Motion was made by Maureen McBroom and seconded by Mike Zitelman to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

HEATED STORAGE BUILDING

806R ELM STREET

WATERTOWN, WISCONSIN

OUTLINE SPECIFICATION

GENERAL CONDITIONS

THIS PLAN AND SPECIFICATION ARE INTENDED TO GIVE A DESCRIPTION OF THE WORK. HOWEVER, THE ALL CONTRACTORS SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS AND ACCESS TO THE WORK AREA. THERE SHALL BE NO DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR IS TO CLARIFY ANY DISCREPANCIES WITH THE OWNER PRIOR TO BEGINNING WORK.

THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIAL (INCLUDING TAXES) AND EQUIPMENT AS NECESSARY TO COMPLETE THE WORK. THE BUILDING PERMIT SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR. ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, INCLUDING THE REQUIREMENTS ANSI A117.1-2009 ARE HEREBY MADE A PART OF THESE SPECIFICATIONS AND SHALL BE COMPLIED WITH RELATIVE TO WORK UNDER THIS CONTRACT.

CONTACT "DIGGER'S HOTLINE" PRIOR TO ANY EXCAVATION WORK.

REFERENCE TO MATERIALS OR SYSTEMS HEREIN BY NAME MAKE OR CATALOG NUMBER IS INTENDED TO ESTABLISH A STANDARD OF QUALITY AND STYLE, AND NOT TO LIMIT COMPETITION AND THE WORDS "OR APPROVED EQUIVALENT" ARE IMPLIED FOLLOWING EACH BRAND NAME, "OR APPROVED EQUIVALENT" MATERIALS SHALL BE APPROVED BY THE OWNER/DESIGNER PRIOR TO ACCEPTANCE FOR USE.

SHOP DRAWINGS FOR ALL STRUCTURAL ITEMS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW. SHOP DRAWINGS AND SAMPLES FOR FINISHES AND NON-STRUCTURAL ITEMS ARE TO BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO INSTALLATION. ALL SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY THE CONTRACTOR PRIOR TO SUBMITTING FOR APPROVAL.

DESIGN LIVE LOADS:

GROUND SNOW LOAD	30 PSF
WIND LOAD	115 MPH
MAIN FLOOR LIVE LOAD	250 PSF

SITE WORK / EXCAVATION

WORK TO PREPARE THE AREA FOR NEW FOUNDATIONS, CONCRETE APRONS AND FLOORS. NO TOPSOIL IS TO BE LEFT UNDER PAVED AREAS, BUILDING AREAS, OR FUTURE BUILDING AREAS. TOPSOIL IS THE PROPERTY OF THE OWNER; THE DISPOSAL OF SURPLUS IS TO BE DETERMINED BY THE OWNER. ANY OTHER UNSUITABLE MATERIAL WILL BE TRUCKED OFF THE SITE TO A SUITABLE DISPOSAL AREA.

PROVIDE EXCAVATION AND TRENCHING AS REQUIRED FOR FOUNDATION WORK AS SHOWN ON THE PLANS. ANY REQUIRED CUTS OR SUBSOIL EXCAVATION WILL BE ACCOMPLISHED TO MAINTAIN FINISH ELEVATIONS SHOWN. IMPORTED FILL TO BE PLACED IN 8" LIFTS COMPACTED TO 95% PROCTOR. PROVIDE LAST LIFT OF GRANULAR MATERIAL FOR THE INTERIOR FLOOR.

FOUNDATION TRENCH OR PIPING TRENCH BACKFILL INSIDE OF BUILDING OR UNDER DRIVE AND WALK AREAS IS TO BE GRANULAR MATERIAL. INCLUDE ALL ROUGH GRADING OF SITE. ADJACENT PUBLIC ROAD SURFACES ARE TO BE KEPT FREE FROM TRACKED MUD AND DIRT.

CONCRETE

DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

- 1) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR FOOTINGS AND WALLS.
- 2) STRENGTH TO BE MINIMUM 3,500 PSI AT 28 DAYS FOR SLABS ON GRADE.
- 3) STRENGTH TO BE MINIMUM 4,000 PSI AT 28 DAYS FOR COLUMNS, BEAMS AND STRUCTURAL SLABS.
- 4) SLUMP SHALL NOT EXCEED 4 INCHES.
- 5) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF THE DESIGNER.
- 6) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2"
- 7) MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4".

ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1 1/2" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #1 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. IF USED, ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENT OF ASTM A105, AND SHALL BE PLACED IN CENTER OF SLAB UNLESS INDICATED OTHERWISE. SAWCUT FLOOR SLAB AS SOON AS PRACTICABLE. SAWCUT SPACING TO BE NO MORE THAN 30 TIMES THE SLAB THICKNESS, WITH A MAXIMUM OF 15' ON CENTER. SAWCUT TO 1/4" OF SLAB DEPTH UNLESS EMBEDDED ITEMS PRECLUDE SUCH CUTTING DEPTH.

LUMBER

ROUGH LUMBER SHALL BE GRADED AND STAMPED WITH STRUCTURAL DESIGN VALUES. ALL OTHER LUMBER SPF CONSTRUCTION #2 OR BETTER. ALL WOOD BASE PLATES IN CONTACT WITH CONCRETE, MASONRY, GROUND OR EXPOSED TO THE WEATHER TO BE P.P.T. LUMBER (NON-ARSENIC).

CONFORM TO FASTENING SCHEDULE 2304.10.1 IN IBC2015

ENGINEERED WOOD TRUSSES

PROVIDE WOOD TRUSSES DESIGNED BY WISCONSIN LICENSED ENGINEER. INCLUDE STAMPED AND SEALED DRAWINGS LISTING ALL LOADINGS, AND TEMPORARY AND PERMANENT BRACING. PER IBC 2015 SECTION 2302.1.2, THE BRACING OF WOOD TRUSSES SHALL COMPLY TO THEIR APPROPRIATE ENGINEERED DESIGN. IN ADDITION TO IBC 2015 SECTIONS 2303.4.1 AND 2303.4.5, THE DESIGN, MANUFACTURE AND QUALITY ASSURANCE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH TPI-1.

SIDING

FURNISH AND INSTALL 29 GA PRE-FINISHED RIBBED METAL WALL PANEL IN OWNER'S CHOICE OF COLOR(S). PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES.

ROOFING

FURNISH AND INSTALL 29 GA PRE-FINISHED RIBBED METAL PANEL. PROVIDE ALL APPROPRIATE TRIMS AND ACCESSORIES. APPLY COMPATIBLE FLASHING AT CURBS, VENTS, PIPES, AND DRAINS, ETC., AS PER MANUFACTURER. DO NOT USE ASPHALTIC COMPOUNDS.

SEALANTS

CAULK AROUND ALL DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, AROUND PLUMBING FIXTURES, COUNTERTOPS, DOORFRAMES, ETC. AND AS REQUIRED FOR A WATERTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER.

DOORS AND FRAMES

FURNISH AND INSTALL ALL DOOR ASSEMBLIES AS INDICATED ON THE PLANS ALONG WITH ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. ALL DOORS SHALL OPERATE SMOOTHLY WITHOUT BINDING, AND BE INSTALLED PLUMB AND TRUE. ALL HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED.

DOORS AND FRAMES

FURNISH AND INSTALL ALL DOOR ASSEMBLIES AS INDICATED ON THE PLANS ALONG WITH ALL HARDWARE INDICATED AND THAT MAY BE REQUIRED FOR A COMPLETE JOB. ALL DOORS SHALL OPERATE SMOOTHLY WITHOUT BINDING, AND BE INSTALLED PLUMB AND TRUE. ALL HARDWARE SHALL FIT PROPERLY AND BE ADJUSTED AS REQUIRED.

OVERHEAD DOORS

FURNISH AND INSTALL COMMERCIAL GRADE OVERHEAD DOORS WITH ALL ACCESSORIES AND CONTROLS. ADJUST FOR PROPER OPERATION. PROVIDE POWER OPERATORS WITH 3-BUTTON CONTROLS.

FINISH HARDWARE

ALL FINISH HARDWARE SHALL BE AS REQUIRED TO MEET REQUIREMENTS OF ANSI A117.1-2009.

FLOOR FINISHES

EXPOSED CONCRETE FLOOR.

WALL AND CEILING FINISHES

29 GA RIBBED METAL WALL PANEL; AND OSB.

PAINTING

EXTERIOR MATERIALS ARE FACTORY PRE-FINISHED. TOUCH UP AS NECESSARY. PRIME AND PAINT INTERIOR GYPSUM BOARD SURFACES. STAIN, SEAL AND VARNISH INTERIOR WOOD TRIM IF NOT PRE-FINISHED.

FIRE EXTINGUISHERS

FURNISH AND INSTALL EXTINGUISHERS PER N.F.P.A. MOUNT FIRE EXTINGUISHER NO HIGHER THAN 48" ABOVE FINISH FLOORS UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF ANSI A117.1-2009.

PLUMBING WORK

NONE REQUIRED.

HEATING AND VENTILATION WORK

ALL HVAC WORK SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES. HVAC PLANS ARE NOT A PART OF THIS PLAN SET.

ELECTRICAL WORK

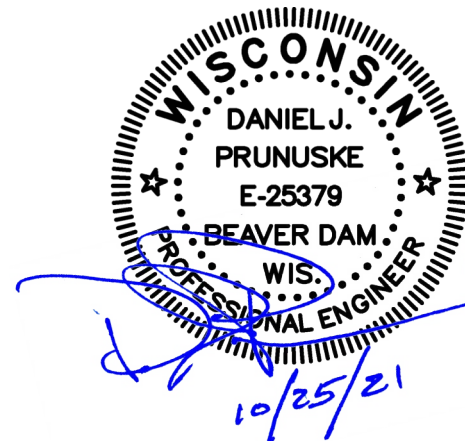
EXIT DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. PROVIDE TYPE WITH 90 MINUTE CONTINUED ILLUMINATION IN EVENT OF LINE POWER LOSS. CONFORM TO IBC1015 1006.4 - PROVIDE ONE (1) STAMPED, SIGNED AND SEALED PHOTOMETRIC CALCULATIONS FOR THE JOBSITE THAT DEMONSTRATE THAT THE PROPOSED EMERGENCY LIGHTING WILL PROVIDE AN INITIAL ILLUMINATION OF AT LEAST AN AVERAGE OF 1.0 FOOT-CANDLE, AND MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE. PHOTOMETRIC CALCULATIONS SHALL BE PROVIDED THAT DEMONSTRATE THE MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40:1 IS NOT EXCEEDED. THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN SET.

PROJECT DATA

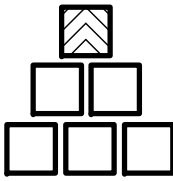
PROJECT	HEATED STORAGE BUILDING, UNOCCUPIED				
OWNER	SCHLIEWE RENTALS, LLC 804 ELM STREET WATERTOWN, WI 53098				
LOCATION	806R ELM STREET WATERTOWN, WI DODGE COUNTY				
A.H.J.	CITY OF WATERTOWN DODGE COUNTY STATE OF WISCONSIN				
PREVIOUS TRANS ID	NONE				
CONTRACTOR	T.B.D.				
ZONING	G2 - COMMERCIAL				
GOVERNING CODE	IBC 2015				
CONSTRUCTION CLASS	VB NON-SPRINKLERED				
USE AND OCCUPANCY	S-1 MODERATE HAZARD STORAGE				
RISK CATEGORY	II BUILDINGS AND OTHER STRUCTURES EXCEPT THOSE LISTED IN RISK CATEGORY I, III AND IV				
EXISTING AREA	0 SF				
NEW AREA	4,992 SF				
TOTAL AREA	4,992 SF < 9,000 SF IBC 2015 TABLE 506.2 4,992 SF <= 5,000 SF IBC 2015 FIGURE 903.2				
CAPACITY	4,992 SF / 500 SF PER OCCUPANT = (10) CALCULATED (0) IN USE; UNOCCUPIED				
PROPERTY AREA	6.367 ACRES (LESS THAN 1 ACRE DISTURBED) BUILDING IS CLEAR OF FLOOD PLAIN				
FLOOR LOADING	SLAB ON GRADE 250 PSF LL				
WIND	LOAD	EXPOSURE	IMP.	GUST	TYPE
	115 MPH	C	1.00	1.02	ENCLOSED
SNOW	LOAD		IMP.	SLOPE	EXP.
	30 PSF GROUND		1.0		0.9
	16.9 PSF ROOF HTD			0.86	1.10
SEISMIC	CATEGORY	USE	IMP.		
	A	I	1.00		
SOILS	BEARING CAPACITY				TYPE
	3000 PSF PRESUMED				D

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T1.0	TITLE SHEET WITH PROJECT DATA AND SPECIFICATIONS
C1.0	SITE OVERVIEW
A1.0	FLOOR PLAN
A1.1	FOUNDATION PLAN
A2.0	ROOF FRAMING PLAN
A3.0	SECTIONS
A3.1	DETAILS
A4.0	ELEVATIONS



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SCHLIEWE RENTALS, LLC
804 ELM STREET
WATERTOWN, WI 53098

PROJECT
HEATED STORAGE BUILDING
806R ELM STREET
WATERTOWN, WI 53098

DATE

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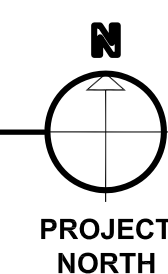
T1.0



PROVIDE (1) 8' X 18' ACCESSIBLE
PARKING STALL WITH ADJACENT
8' X 18' MANEUVERING SPACE.
ROUTE TO PRIMARY ENTRANCE
SHALL NOT HAVE A SLOPE
GREATER THAN 1/4":12" IN ANY
DIRECTION AT ANY LOCATION.

ON ACCESSIBLE ROUTE, PER ANSI A117.1 SEC 303.3, CHANGES IN LEVEL GREATER THAN 1/4", AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT, SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN ELEVATION GREATER THAN 1/2" SHALL BE RAMPED TO COMPLY WITH SEC 405 OR 406. SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT PER 302.1. PROVIDE BUILDING OR POLE MOUNTED SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. BOTTOM OF SIGN TO BE MINIMUM 60" ABOVE FINAL GRADE.

SITE OVERVIEW
NO SCALE



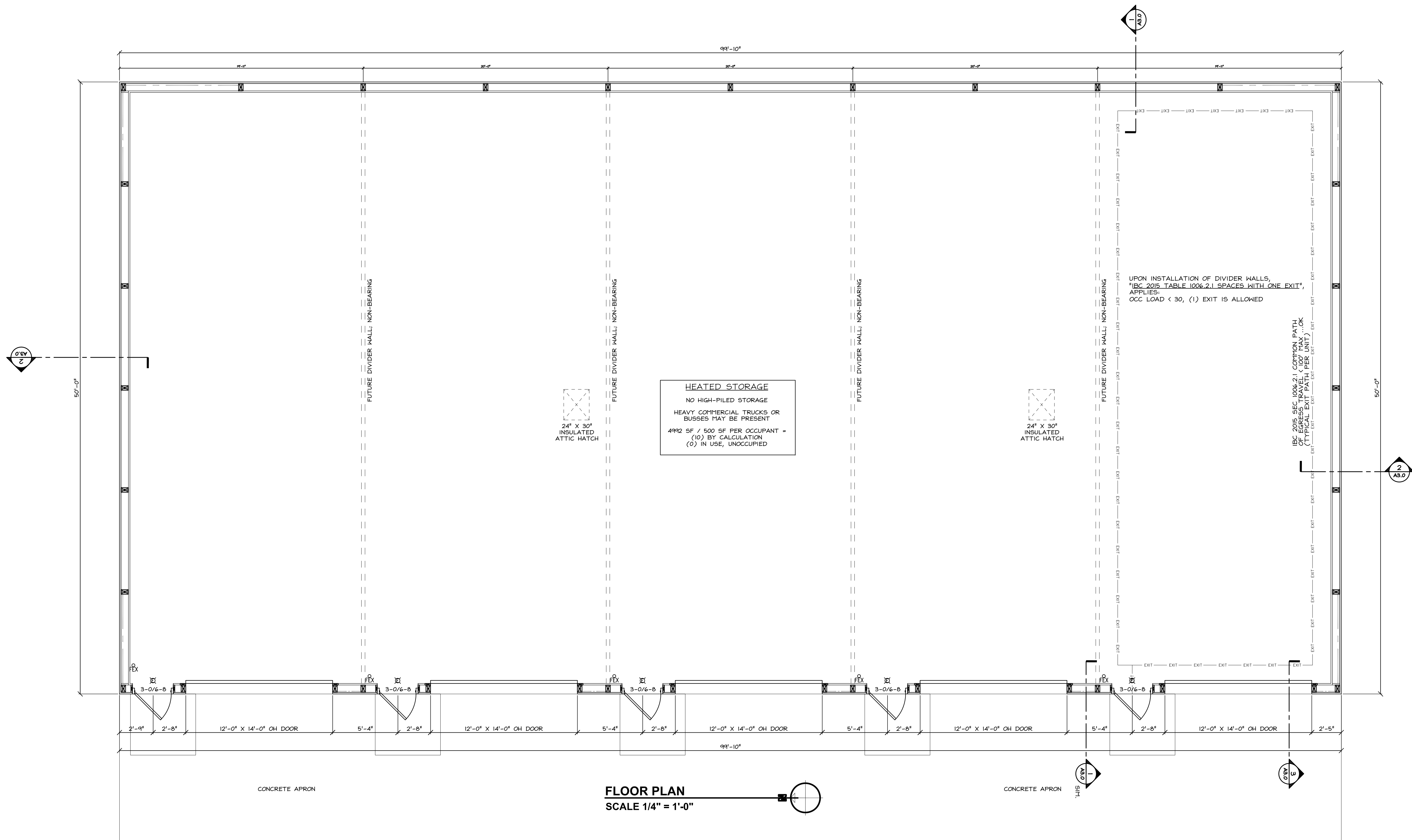
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FLOOR PLAN
SCALE 1/4" = 1'-0"

PER IBC 2015 SEC 2406.4 - PROVIDE SAFETY GLAZING IN ALL WINDOWS AND DOORS AFFECTED BY THIS CODE SECTION.

IBC 2015 SECTION 1809 SHALLOW FOUNDATIONS
1809.5 METHOD 2
SHALLOW FOUNDATION IS DESIGNED IN COMPLIANCE WITH ASCE 32-01, METHOD 5 (SIMPLIFIED FFSF DESIGN METHOD FOR HEATED BUILDINGS WITH SLAB-ON-GROUND FOUNDATIONS).

SPS 362.1809 FROST-PROTECTED SHALLOW FOUNDATIONS
(1) THIS IS A DEPARTMENT RULE IN ADDITION TO THE REQUIREMENTS IN IBC 1809.5 WHERE A FROST-PROTECTED SHALLOW FOUNDATION IS RELIED UPON FOR A HEATED OR SEMI-HEATED STRUCTURE, PERMANENT, LEGIBLE NOTICES SHALL BE POSTED NEAR THE THERMOSTATS OF ALL BUILDING HEATING APPLIANCES THAT INDICATES ALL OF THE FOLLOWING:
(A) THAT THE STRUCTURE IS DESIGNED USING A FROST-PROTECTED SHALLOW FOUNDATION.
(B) THE MINIMUM MONTHLY AVERAGE TEMPERATURE THAT THE STRUCTURE MUST BE MAINTAINED AT TO AVOID FROST DAMAGE TO THE FOUNDATION.

FE PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH IBC2015 TABLE 906.3(1) AND NFPA 10.
IX ILLUMINATED EXIT SIGN

PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH IBC2015 TABLE 906.3(1) AND NFPA 10.

IBC2015 TABLE 906.3 CLASS A FIRE HAZARD AND NFPA 10
PROVIDE (1) CLASS 2-A 5-B FIRE EXTINGUISHER PER UNIT -OR-
ON EXTERIOR @ NO MORE THAN 75' APART

ANSI A117.1 SEC 309
OPERABLE PARTS AND CONTROLS OF DOORS SHALL BE OPERABLE WITH THE USE OF ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THESE PARTS OR CONTROLS SHALL BE OPERABLE WITH NO MORE THAN 5 POUNDS REQUIRED TO ACTIVATE THEM. CLEAR FLOOR SPACE AND REACH RANGES SHALL COMPLY WITH SECTION 305 AND 308.

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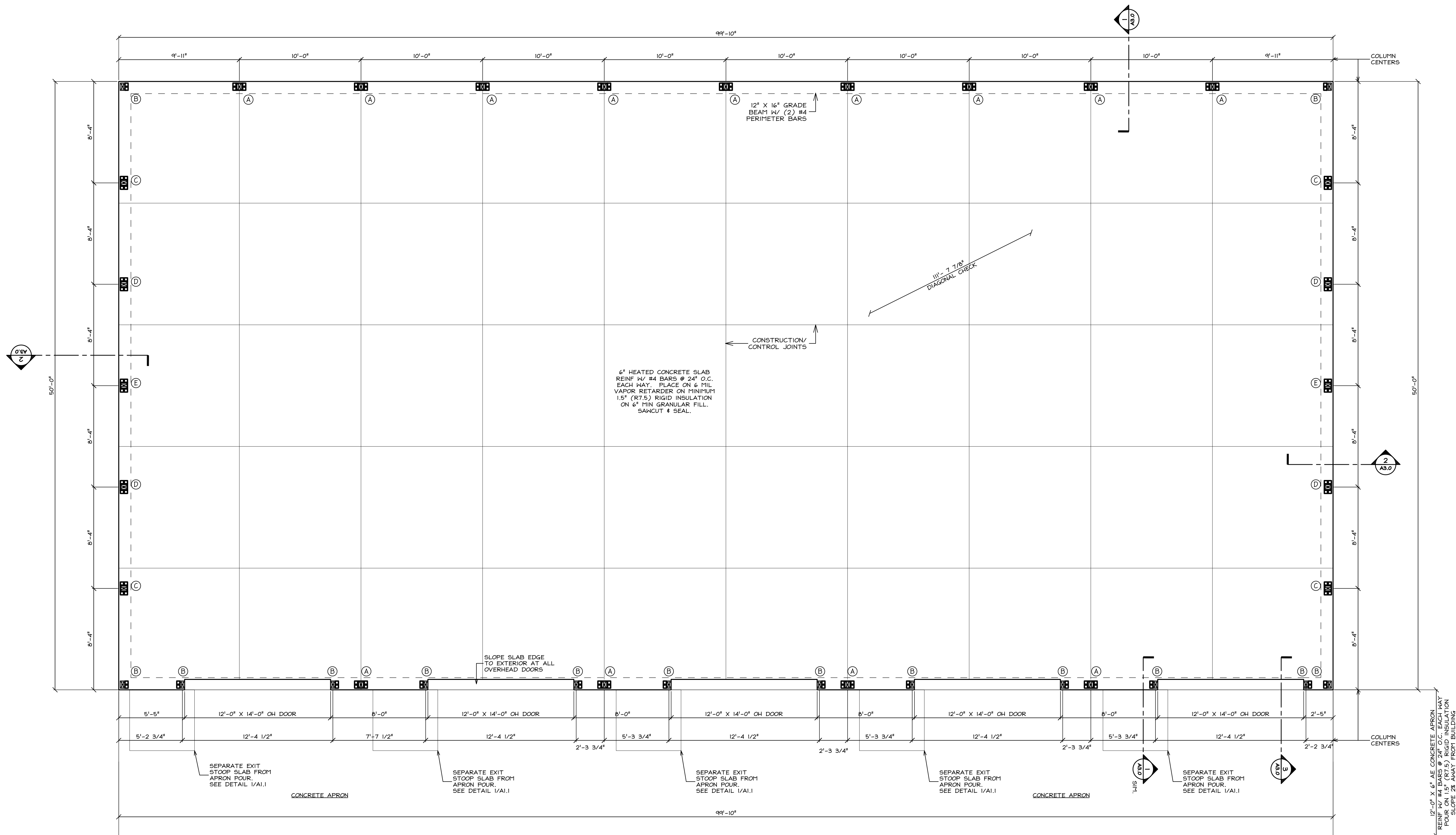
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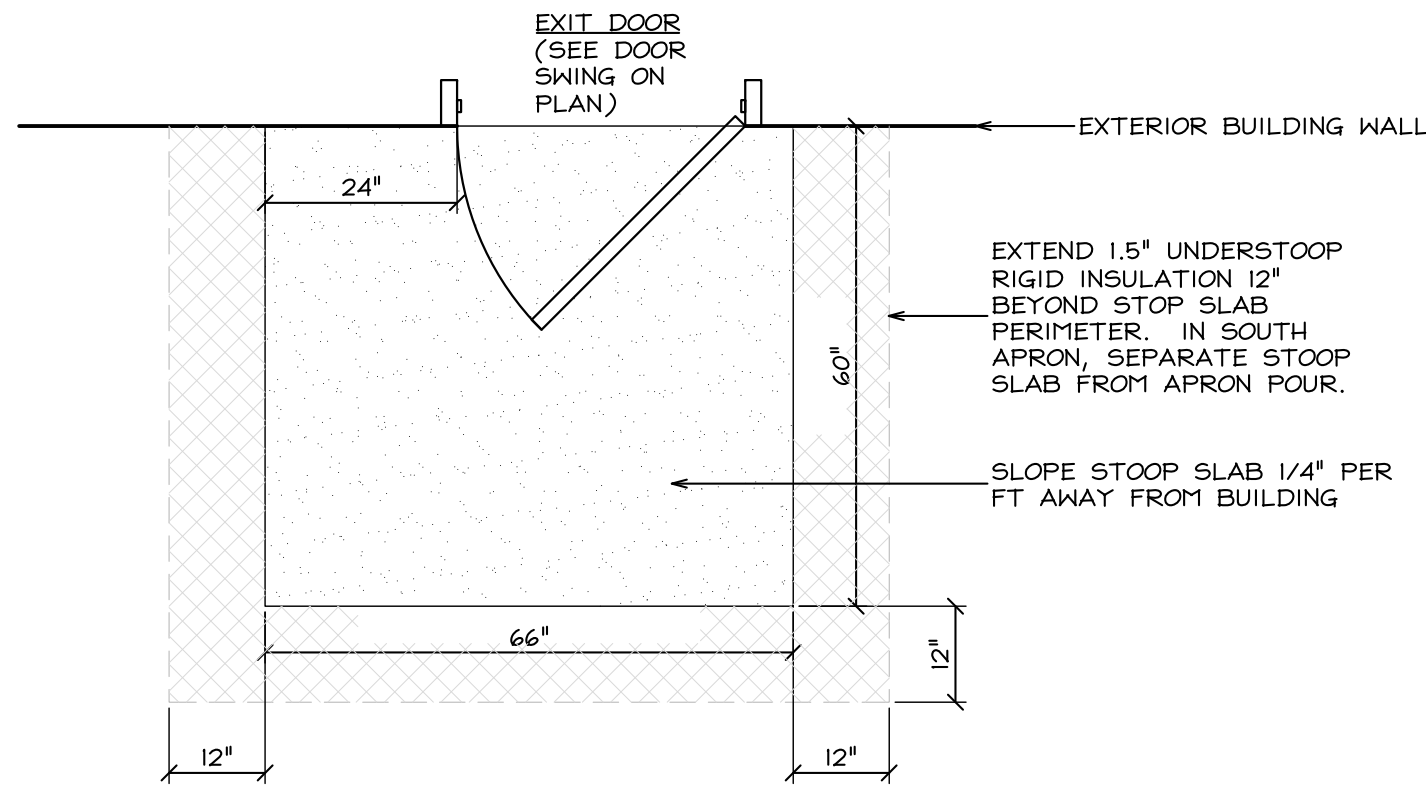
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FOUNDATION PLAN
SCALE 1/4" = 1'-0"

COLUMN & FOOTING SCHEDULE				
COLUMNS:	SIZE: SPF S.S.	BRACKET:	FOOTING:	QTY:
(A)	3-PLY 2x8 x 17'-2"	SW83	12" X 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS	10
(B)	3-PLY 2x8 x 17'-2"	SW80	12" X 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS	14
(C)	3-PLY 2x8 x 19'-10"	SW83	12" X 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS	4
(D)	3-PLY 2x8 x 22'-7"	SW83	12" X 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS	4
(E)	3-PLY 2x8 x 25'-4"	SW83	12" X 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS	2
(F) JACK POST	3-PLY 2x8 x 3'-1 1/2"	N/A	N/A	5



STOOP DETAIL
SCALE 1/2" = 1'-0"

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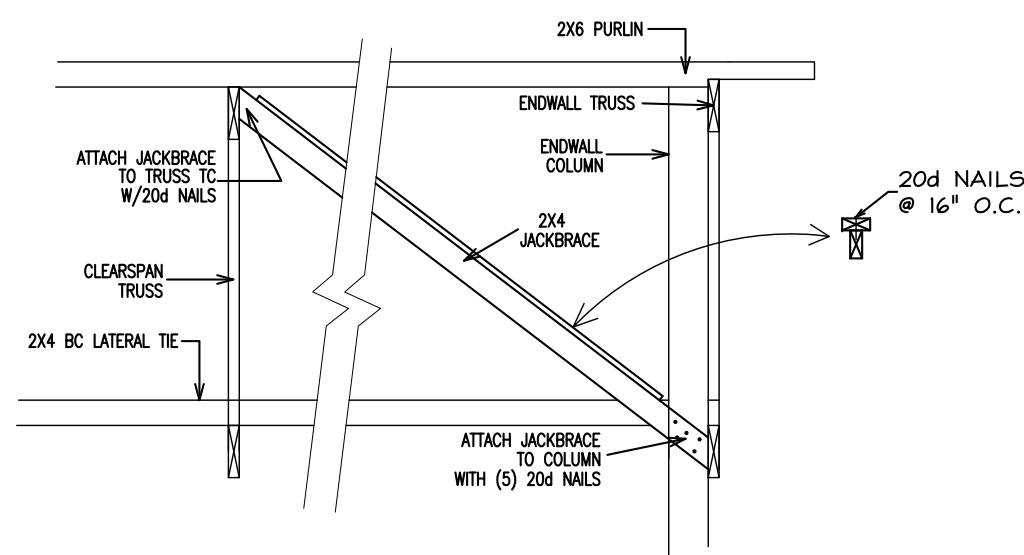
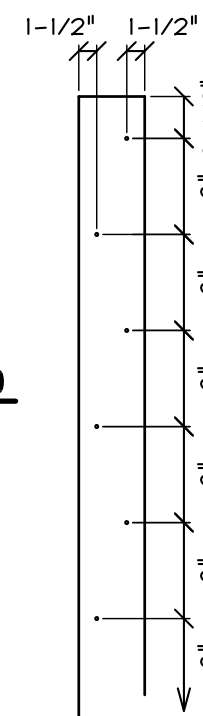
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JACKBRACING DETAIL
@ ENDWALL COLUMNS

COLUMN & FOOTING SCHEDULE					
COLUMNS:	SIZE: SPF S.S.	BRACKET:	FOOTING:		QTY:
(A)	3-PLY 2x8 x 17'-2"	SWB3	12" x 16" POURED CONC. GRADE BEAM W/ (2) #4 BARS		10
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(F) JACK POST	3-PLY 2x8 x 3'-1/2"	N/A	N/A		5

NAIL-LAMINATED COLUMNS
 NDS 2015 SECTION 15.3.3
 FASTENER LAYOUT
 STAGGER LAYOUT ON OPPOSITE FACE OF COLUMN
 FASTEN EACH SIDE OF 3-PLY COLUMNS WITH 30d
 NAILS. REVERSE NAIL PATTERN ON OTHER SIDE
 TO MISS OPPOSING FASTENERS.
 FOR OVER 3-PLYS, ASSEMBLE 3-PLY COLUMN
 FIRST, THEN FASTEN ADDITIONAL PLYS TO EACH
 SIDE USING 30d NAILS AT SIMILAR SPACING.
 THE USE OF CONSTRUCTION ADHESIVE BETWEEN
 PLYS IS ENCOURAGED.

IECC 303.1.1.1
PROVIDE DEPTH MARKERS FOR ATTIC INSULATION AT EACH 300 SF OF ATTIC SPACE. MARKERS SHALL HAVE LETTERS MINIMUM 1" HIGH, AFFIX TO ATTIC FRAMING TO FACE THE ACCESS HATCHES. MARK WITH MINIMUM INSTALLED THICKNESS AND MINIMUM SETTLED THICKNESS. INSTALLED THICKNESS SHALL MEET OR EXCEED THE MINIMUM INSTALLED THICKNESS SHOWN ON THE MARKER.

IECC C303.1.1
THE INSULATION INSTALLER SHALL PROVIDE A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT OF THE BUILDING ENVELOPE, LISTING THE TYPE OF INSULATION INSTALLATIONS IN ROOF/CEILINGS, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN-IN OR SPRAYED INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. THE INSTALLER SHALL POST THE CERTIFICATION IN A CONSPICUOUS PLACE ON THE JOB SITE.

IBC 2015 SEC 718.2.2 FIRE BLOCKING, CONCEALED WALL SPACES

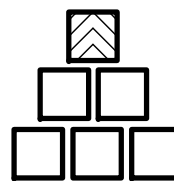
INSTALL VERTICAL 2X WD BLOCKING ON BOTH FACES OF COLUMNS BETWEEN HORIZONTAL GIRTS/NAILERS AT NO MORE THAN 10'-0" O.C. FOR THE LENGTH OF THE WALLS (ESSENTIALLY ALL COLUMN FACES) TO PREVENT UNIMPEDED HORIZONTAL SMOKE/FIRE TRAVEL.

CADREI INC.

design • consult • manage

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DATE

JUN 28, 2021

REVISIONS

10/22/2021

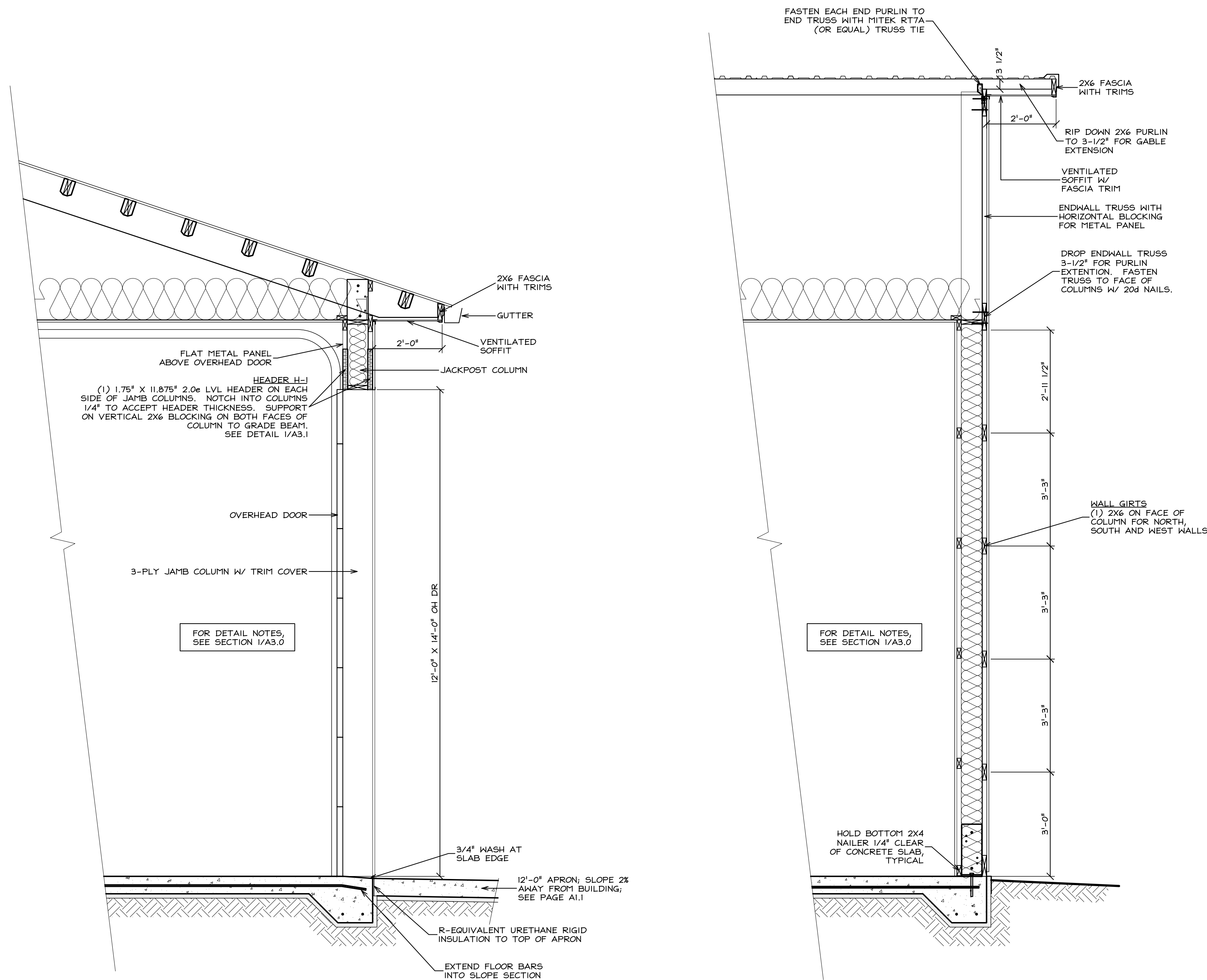
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A3.0



OHD DR SECTION

SCALE 1/2" = 1'-0"

SEE SECTION 1/A3.0 FOR TYPICAL NOTES

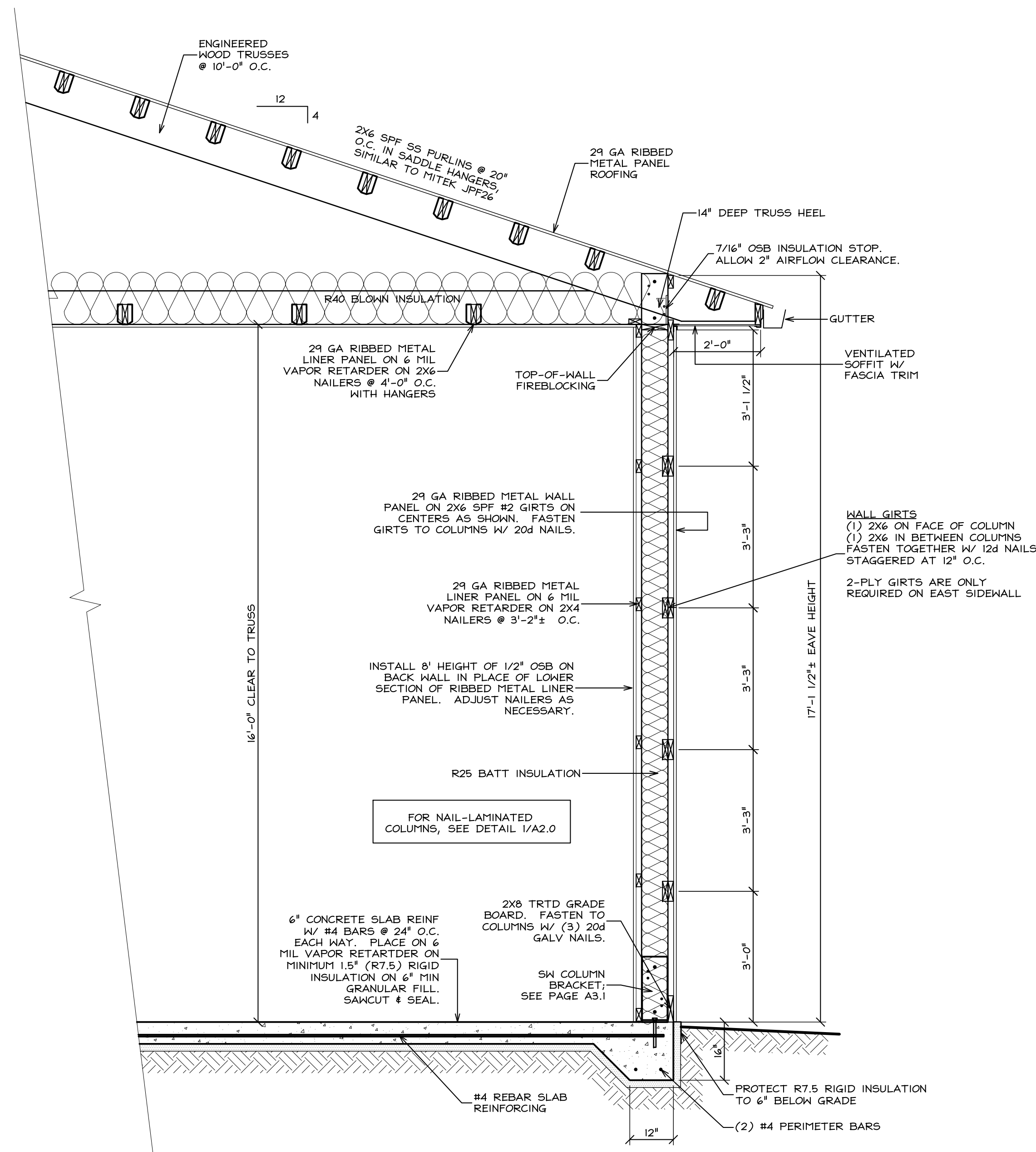
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A3.0

ENDWALL SECTION

SCALE 1/2" = 1'-0"

SEE SECTION 1/A3.0 FOR TYPICAL NOTES

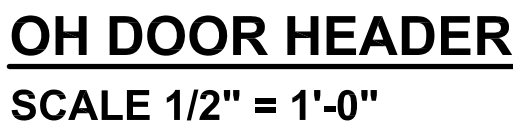
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A3.0



SIDEWALL SECTION

SCALE 1/2" = 1'-0"

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A3.0



DATE _____

JUN 28, 2021

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10/22/2021

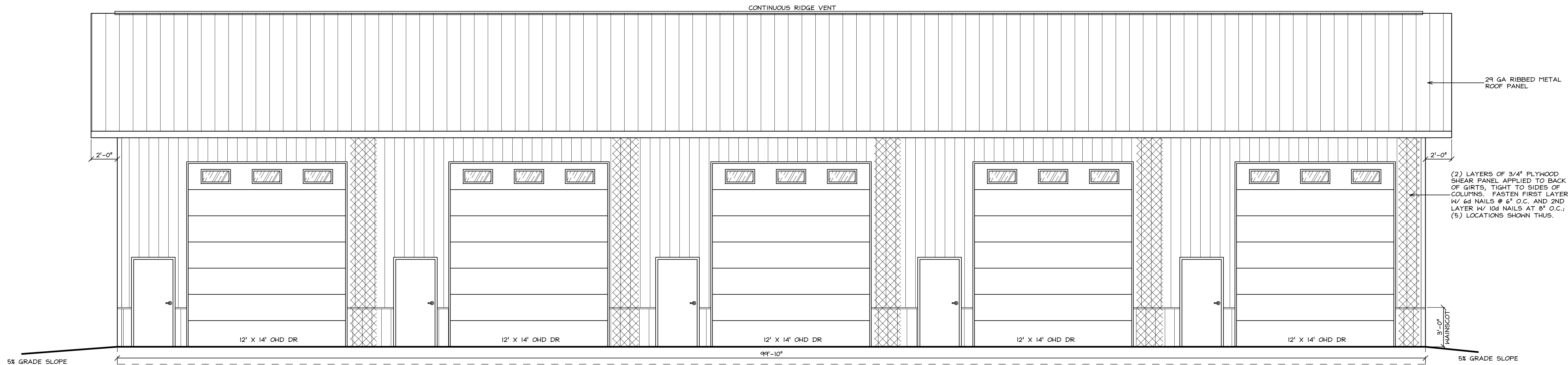
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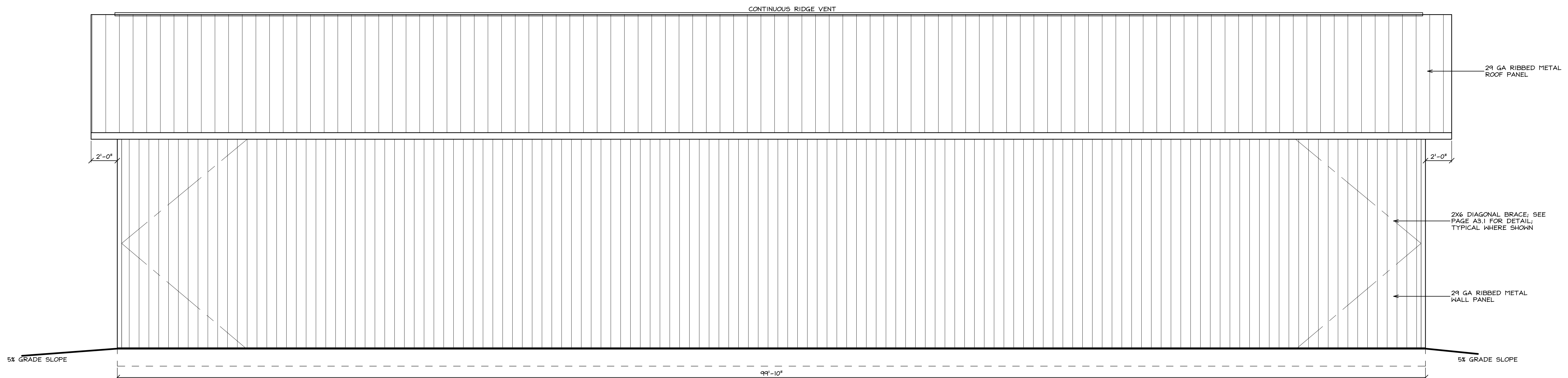
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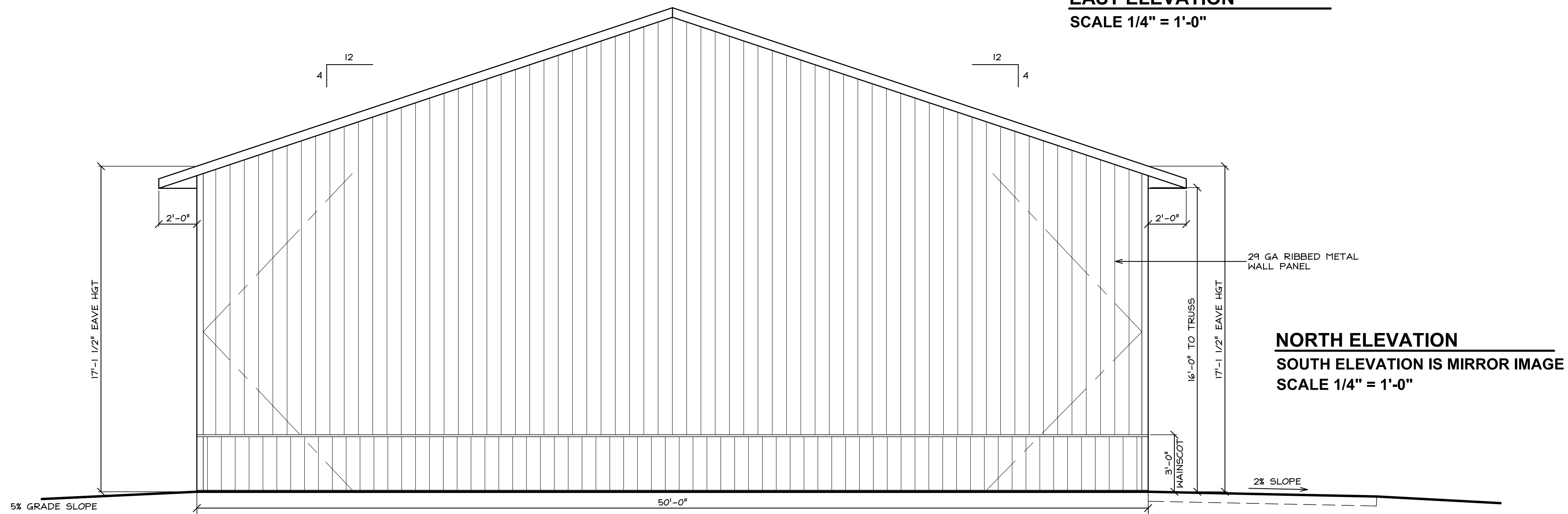
A3.1



WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SOUTH ELEVATION IS MIRROR IMAGE
SCALE 1/4" = 1'-0"

IBC2015 1804.4
THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

CADRE INC.
design • consult • manage
po box 983 fond du lac, wi 54936
phone: 920-924-0110 fax: 920-924-0227

OWNER
SCHLIEWE RENTALS, LLC
804 ELM STREET
WATERTOWN, WI 53098

PROJECT
HEATED STORAGE BUILDING
806R ELM STREET
WATERTOWN, WI 53098

DATE
JUN 28, 2021

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10/22/2021

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PROJECT
21139

PAGE
A4.0

805 R Elm Street

Section 3, Item A.

Location of Non-Residential Accessory Structure



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January 17, 2024

Site Plan Review / Plan Commission
Watertown Fire Station Project

As part of the Site Plan Review application, below is a brief description of the project. In addition, we were forwarded a letter describing the necessary documentation for site plan review and plan commission approval for the proposed Watertown Fire Station project. A 'draft' set of documents had been sent January 8, 2024, with plans to update the set as they were further developed. Below we have attempted to address the issues noted in your letter. Thank you for your patience regarding this submission as we developed the necessary documentation.

Project Description

The proposed project is for a new Fire Station facility for the City's Fire Department. The plan is comprised of three separate buildings (Fire Station, Cold Storage, Training Tower) on the currently vacant 6.39 acre site. The fire station is planned to be a 34,787 square foot, two-story building housing the City's Fire Department. This building is designed to have a masonry exterior with varying heights and façade to break up the mass of the building. The cold storage building is planned to be a 3500 square foot, non-heated outbuilding constructed with a masonry material matching the fire station as well as metal panel of complementary color. This building will be used for housing additional equipment the Fire Department operates. The Training Tower is a 40' tall training amenity for the Fire Department. The building has a base footprint of 1116 square feet, and will reduce in floor area on the upper floors. Due to the use of the tower, it is planned to have a metal panel exterior.

Land Use and Zoning

There is no planned outdoor storage on the site adjacent to residential zoned properties.

Attached with this submission are the proposed Civil plans which show the buildings set back from the adjacent residential properties.

The proposed exterior materials for the fire station are an architectural concrete stone base coursing (wainscot) with concrete brick above. There is an alternate being built into the project to replace the concrete stone material with a decorative split-face CMU material if costs dictate, however, the preference will be to stick with the concrete stone if possible. A sample board of the concrete stone and brick will be made available to the review committee.

Exterior Construction and Materials Standards

As part of this submission is the application for a Conditional-Use Permit regarding the building materials for the Cold Storage building (Building B on plans) and the Training Tower.

The proposed materials for the Cold Storage building is an architectural concrete stone material wainscot coursing (roughly 3' high), matching the material being used on the adjacent fire station. Above this

would be metal panel. As the manufacturer of this building has yet to be selected, the color for the metal panel is not finalized. This color would be chosen from the manufacturer's standard colors, with the intent for it colors to be muted and complementary to the adjacent fire station.

The proposed materials for the Training Tower would be a metal panel. Similar to the metal panel use on the Cold Storage Building, the color selected will be muted and complementary to the fire station.

Vehicle Access and Circulation

Attached with this submission is a site plan showing the ingress and egress for vehicular travel on the site. The main entrance and exit for the public will be off Bernard Street. This will also serve as the exit for responding fire apparatus. Returning apparatus will enter the site from Johnson Street. There is a planned connection between these two entrances to allow for vehicular circulation through the site.

Landscaping

Attached with this submission is the proposed landscaping plan.

Parking

The building is planned to hold (12) employees 24 hours a day, with an additional (5) employees working normal business hours. The office space of the facility makes up 7781 square feet of the building which would amount to an additional 16 parking spaces. The proposed site plan has 63 parking spaces shown.

Lighting

Attached with this submission is the proposed site plan photometrics along with lighting cutsheets.

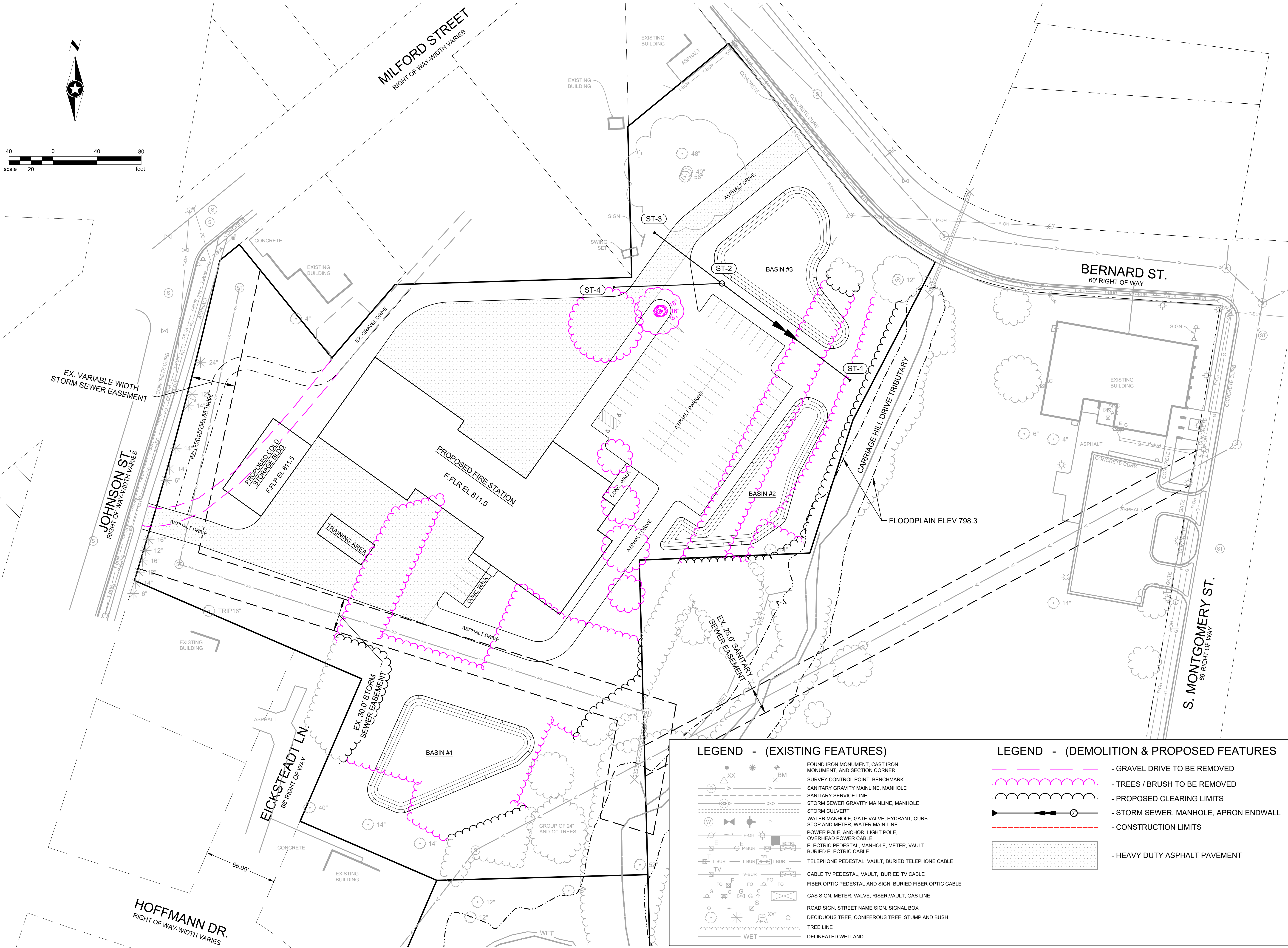
Sincerely,



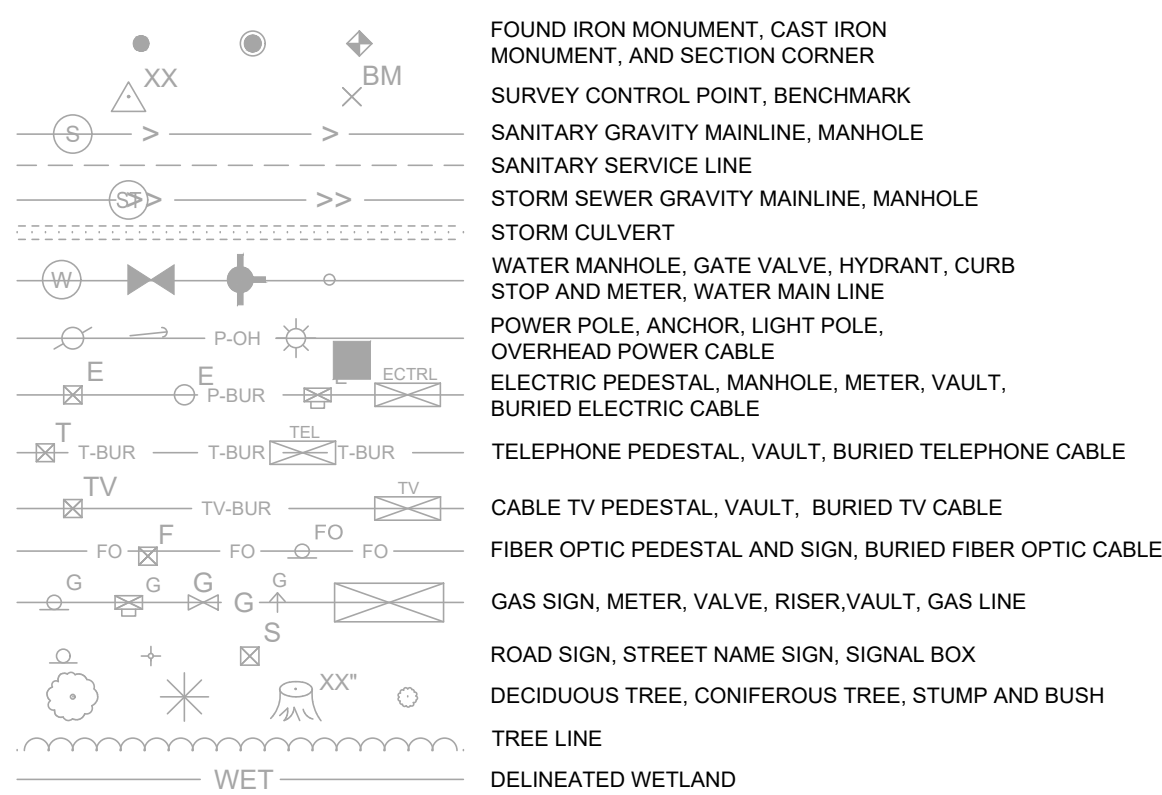
Mark Zvitkovits, AIA
(Lic. WI)

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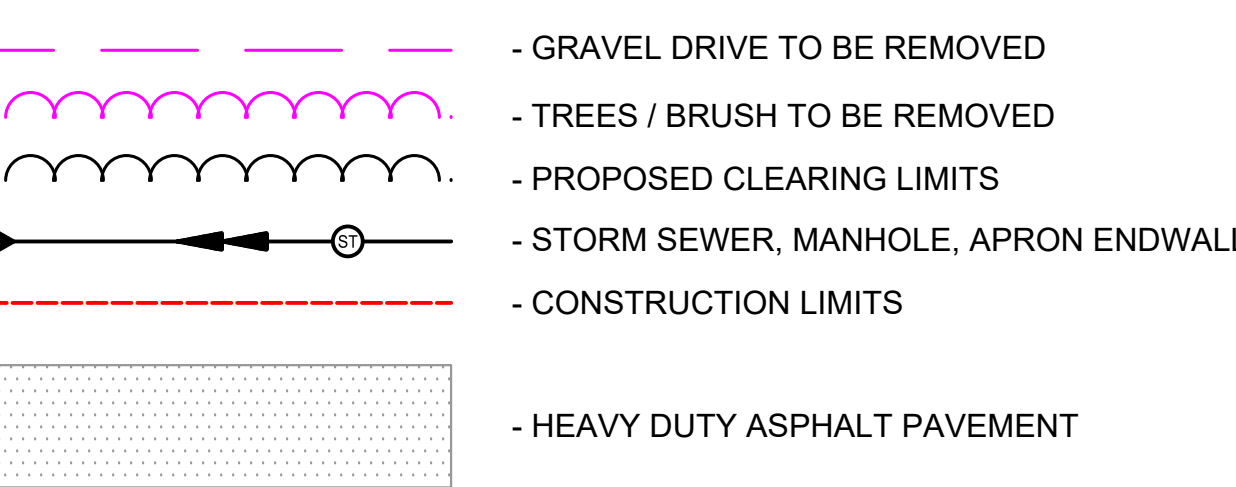
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LEGEND - (EXISTING FEATURES)



LEGEND - (DEMOLITION & PROPOSED FEATURES)





Section 3, Item B.

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Project Owner

City of Watertown
WATERTOWN FIRE STATION
ADDRESS

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KB
PAL

Project Status
CONST. DOC.

Issue Date
02/14/2024

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PROPOSED SITE PLAN

C 100

14

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WATERTOWN FIRE STATION
ADDRESS

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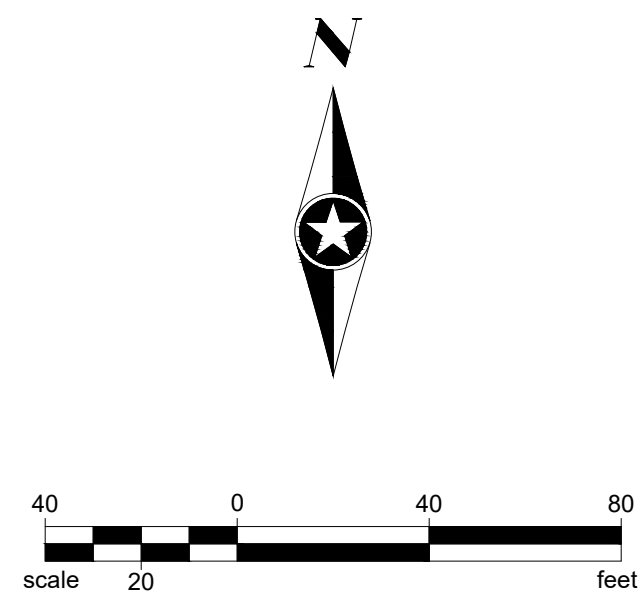
SEH Project WATRN_172202
Checked By KB
Drawn By PAL

Project Status Issue Date
CONST. DOC. 02/14/2024

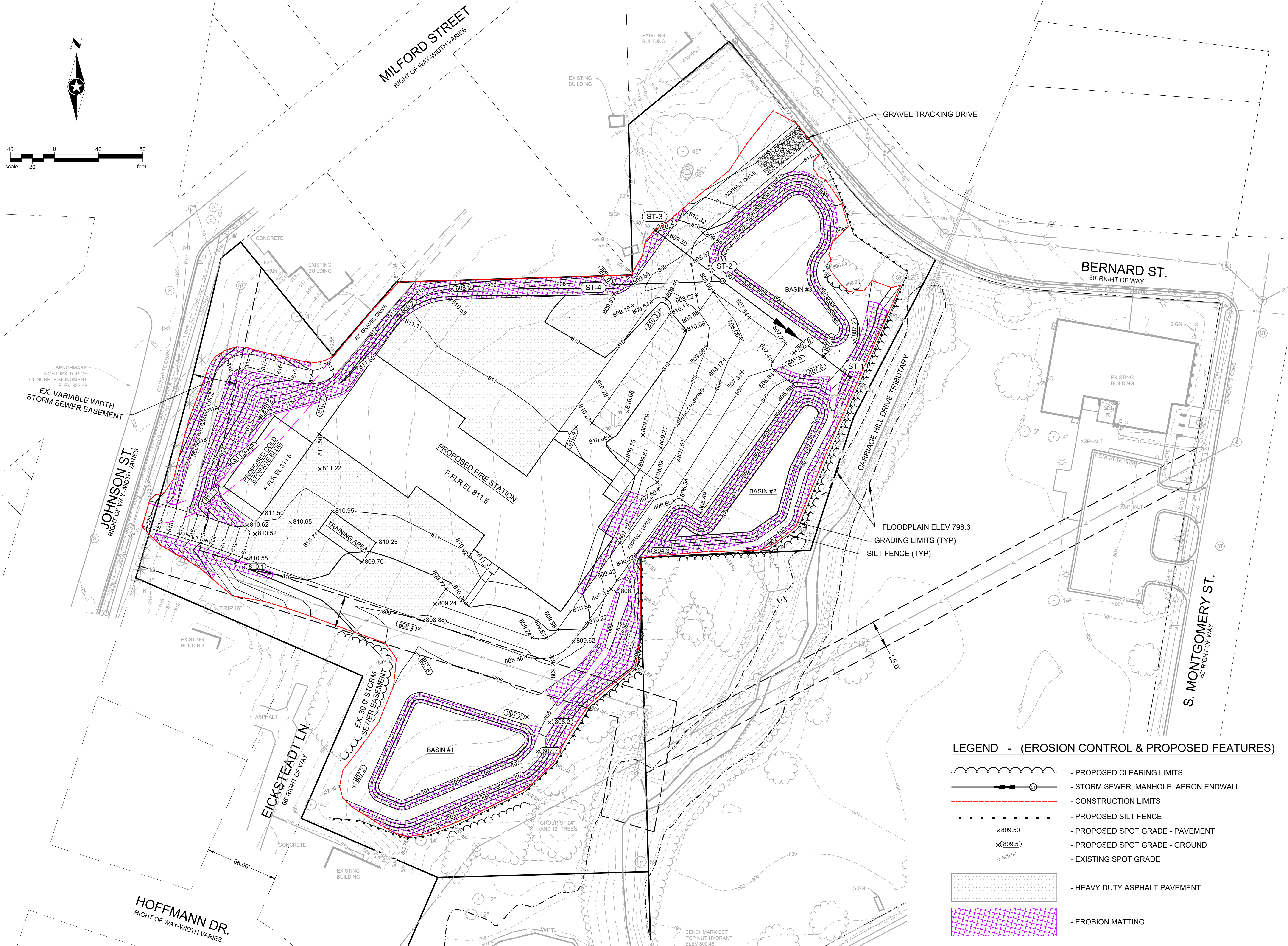
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**PROPOSED GRADING &
EROSION CONTROL PLAN**



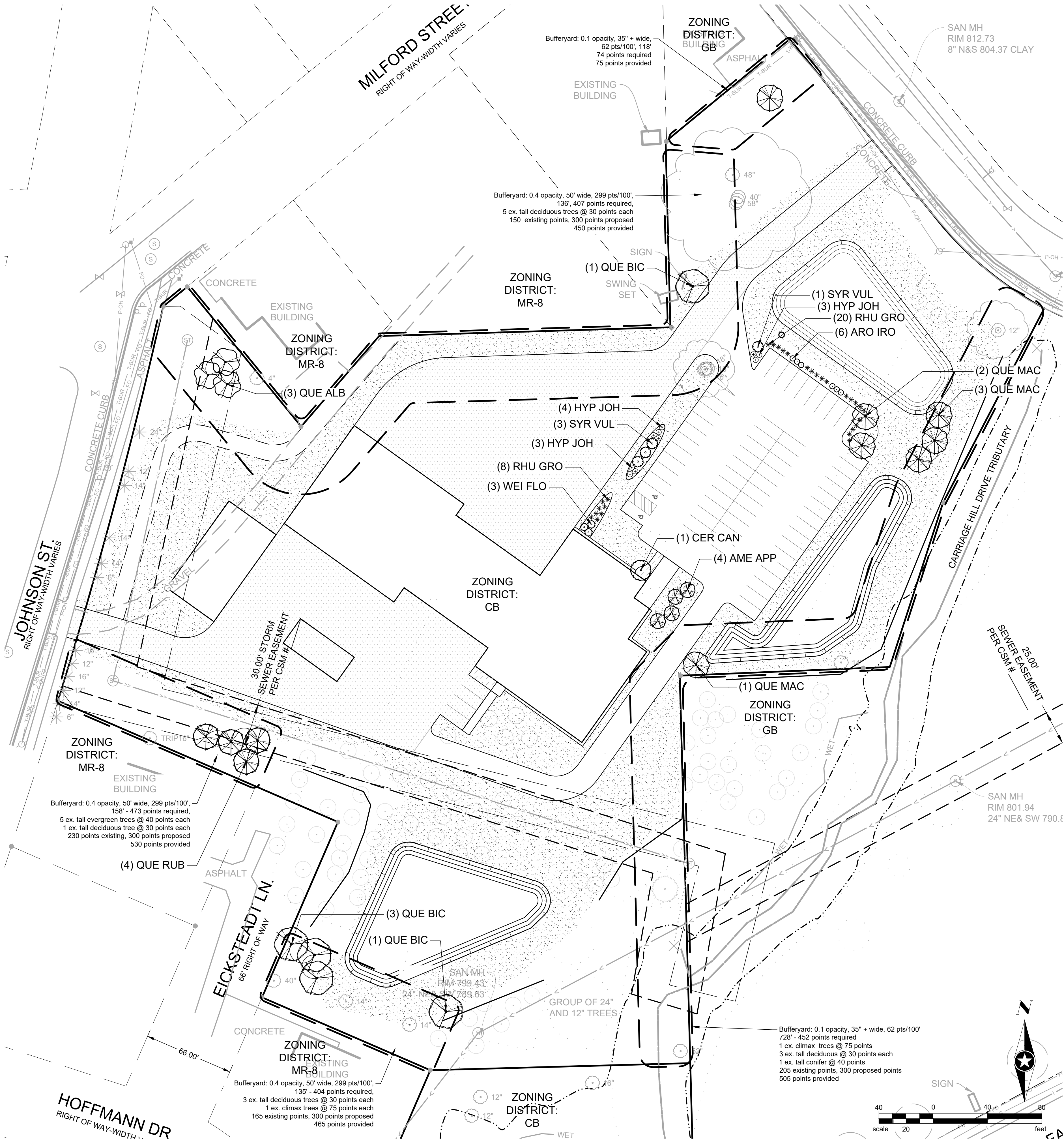
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PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
CLIMAX DECIDUOUS TREE: 75 POINTS EA					
	QUE ALB	QUERCUS ALBA / WHITE OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	3	
	QUE BIC	QUERCUS BICOLOR / SWAMP WHITE OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	5	
	QUE MAC	QUERCUS MACROCARPA / BURR OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	7	
	QUE RUB	QUERCUS RUBRA / RED OAK TRANSPLANTED FROM EXISTING SITE	2" CAL	4	
LOW DECIDUOUS TREES: 10 POINTS EA					
	AME APP	AMELANCHIER X GRANDIFLORA / APPLE SERVICEBERRY	6' TALL MULTISTEM	4	
	CER CAN	CERCIS CANADENSIS / EASTERN REDBUD	2" CAL	1	
TREES					
		EXISTING 2 - 8" CALIPER OAK		79	
		EXISTING EVERGREEN		1	
LOW DECIDUOUS SHRUB: 1 POINT EA					
	ARO IRO	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' TM / BLACK CHOKEBERRY	5 GAL.	6	
	HYP JOH	HYPERICUM KALMIANUM / KALM ST. JOHNSWORT	5 GAL.	10	
	RHU GRO	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.	28	
MEDIUM DECIDUOUS SHRUB: 3 POINTS EA					
	WEI FLO	WEIGELA FLORIDA / OLD FASHIONED WEIGELA	5 GAL.	3	
TALL DECIDUOUS SHRUB: 5 POINTS EA					
	SYR VUL	SYRINGA VULGARIS / COMMON LILAC	5 GAL.	4	
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS					
		PERENNIALS			531 SF
		LAWN			71,859 SF

LANDSCAPE POINTS - CB CENTRAL BUSINESS ZONING DISTRICT				
	Building Foundation	Street Foundation	Paved Areas	Developed Lots
Requirement	N/A	N/A	20 points per 20 parking stalls or 10,000 SF of parking area	N/A
Measurement	N/A	N/A	79,281 SF total area paved for vehicles	N/A
Points Required	N/A	N/A	158 points required, 64 points as shrubs, remainder as tall/climax trees, within 10' of pavement	N/A
Points Provided	N/A	N/A		N/A



Section 3, Item B.

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WATERTOWN FIRE STATION
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SEH Project
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172202
MGW

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LANDSCAPE PLAN

L101

16

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City of Watertown
WATERTOWN FIRE STATION
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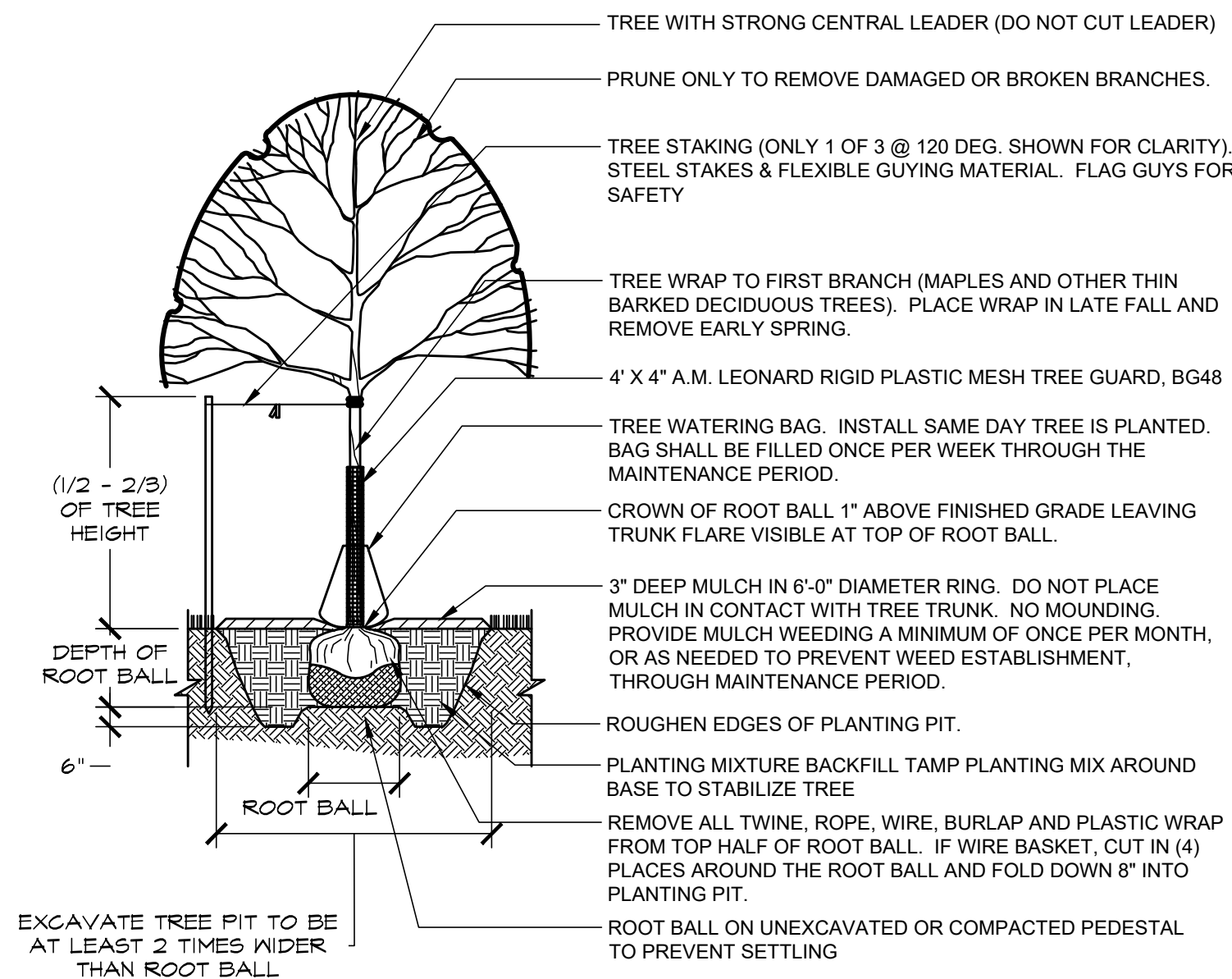
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**LANDSCAPE SCHEDULE,
DETAIL, NOTES**

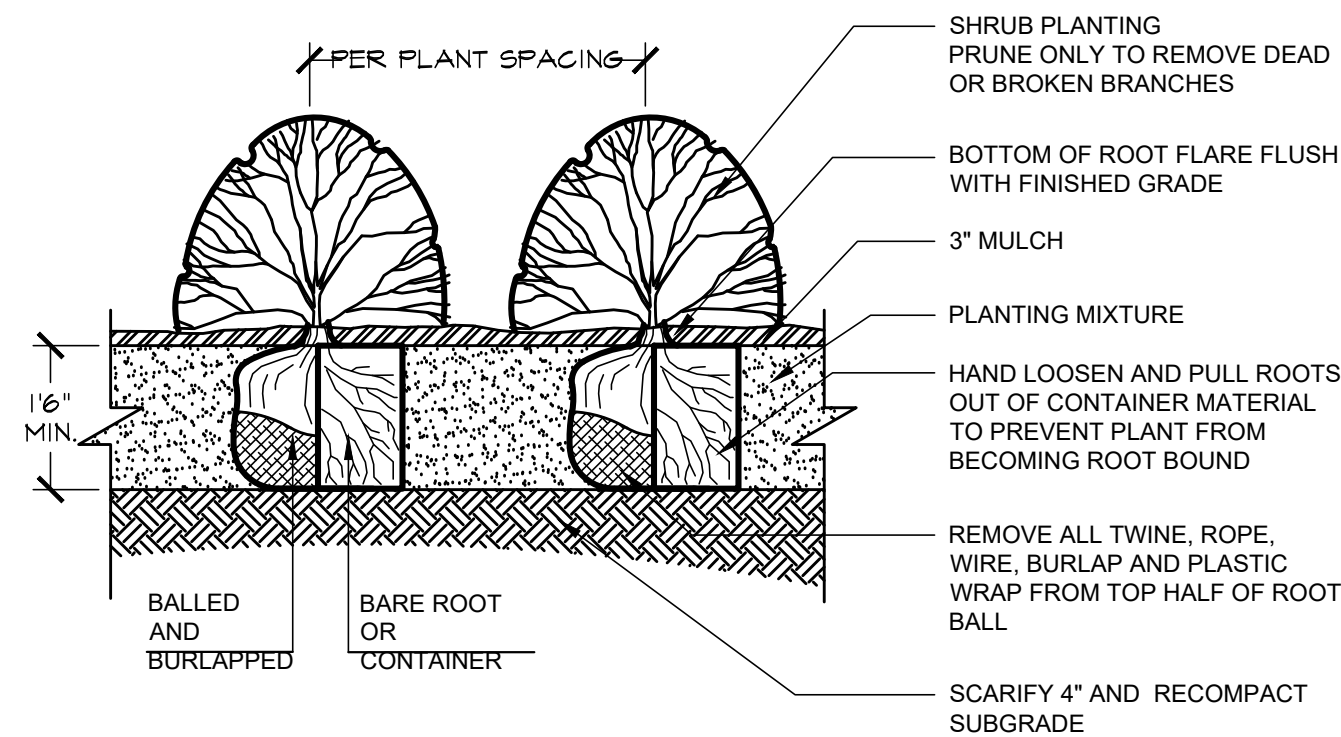
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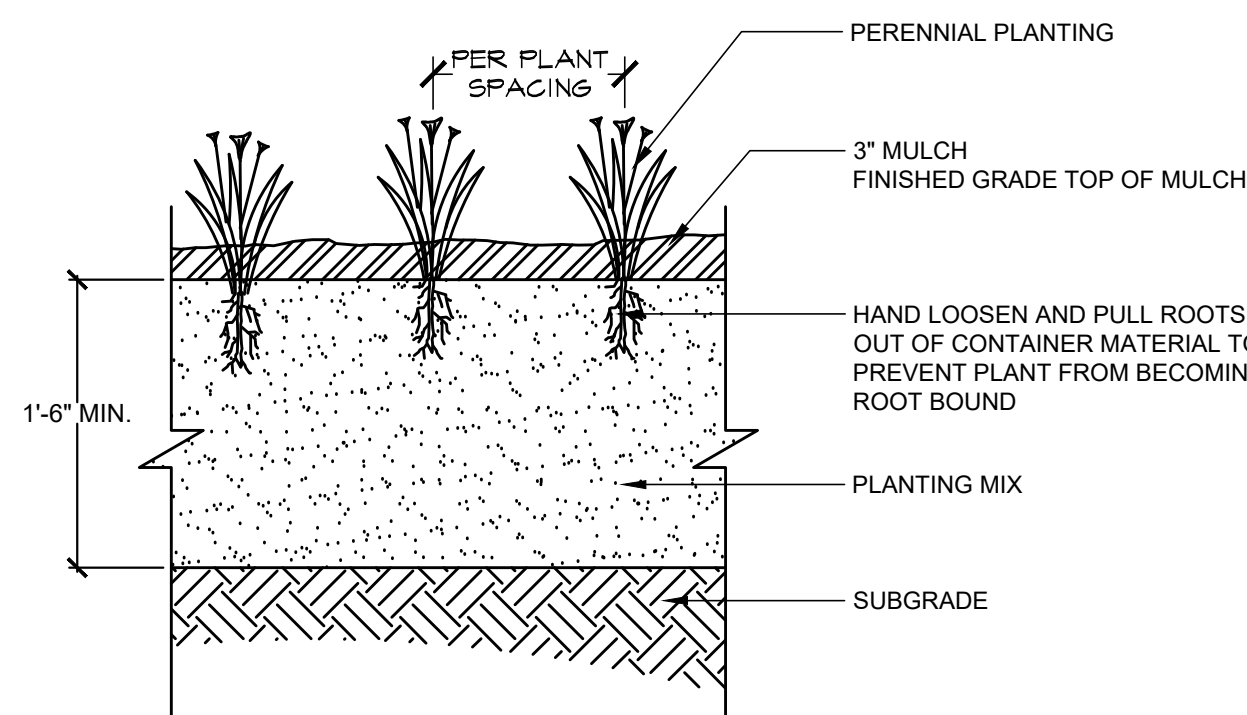
1. EXISTING TREES FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
2. THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
4. SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE AND/OR AS DIRECTED BY LANDSCAPE ARCHITECT AND STOCKPILE FOR REUSE IN LOCATION APPROVED BY OWNER.
5. AREAS UNDER PLANTING BEDS SHALL NOT CONTAIN COMPACTED AGGREGATE TO ALLOW FOR PROPER DRAINAGE AND GROWTH OF PLANT MATERIAL. REMOVE AGGREGATE AND PERFORM SUBSOILING AS NECESSARY TO OBTAIN LOOSE, FREE DRAINING SUBGRADE BELOW PLANTING BEDS. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
6. CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
7. ALL SEED & SOD AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL.
8. ALL PLANTING BEDS SHALL RECEIVE 18" DEPTH OF PREPARED SOIL.
9. SEED AND PLUG PLANTING SHALL OCCUR IN DESIGNATED PLANTING WINDOWS, SEE SPECIFICATIONS.
10. PAINT OR STAKE LIMITS OF SEEDING FOR REVIEW BY LANDSCAPE ARCHITECT & OWNER PRIOR TO SEEDING.
11. NEW SEEDED AREAS TO BE TREATED WITH HERBICIDE TO KILL ALL EXISTING GROUNDCOVER THERE SHALL BE A MINIMUM OF TWO (2) APPLICATIONS SEPARATED BY 10 DAYS. IF ALL EXISTING GROUNDCOVER VEGETATION IS NOT KILLED WITHIN 10 DAYS OF 2ND APPLICATION, A 3RD APPLICATION IS REQUIRED.
12. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
13. ALL PLANTING BEDS SHALL HAVE A SHOVEL CUT EDGE, UNLESS OTHERWISE SPECIFIED.
14. ALL PLANTING BEDS AND PLANTED TREES SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH PER PLANTING DETAILS. MULCH SHALL BE CONSIDERED INCIDENTAL TO PLANT MATERIALS.
15. LAWN SEED SHALL BE ESTABLISHED BY THE CONTRACTOR TO A DENSE, GREEN CONSISTENT LAWN VOID OF ANY BARE OR PATCHY AREAS LARGER THAN 3" X 3".
16. SEED PRIOR TO OCT. 15. IF SEEDED AFTER OCT. 15, MAINTAIN AND ESTABLISH LAWN UNTIL SPRING REVIEW.
17. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL AND SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION.
18. CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



1/4" 1'-0"D 329343-01

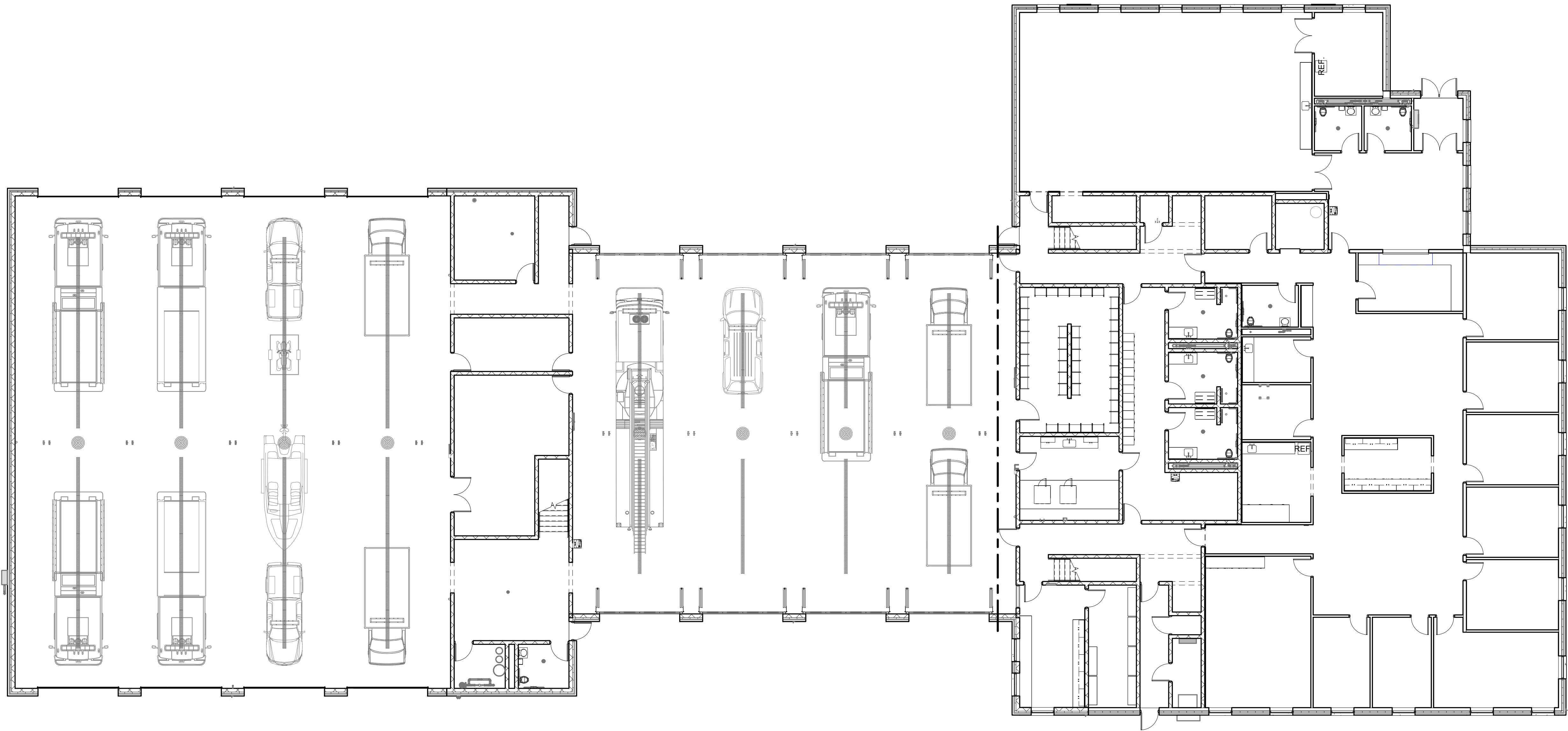


1/2" 1'-0" D 329333-04



1" 1'-0" 3293-01

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1 FLOOR PLAN - LEVEL 1
A100 3/32" = 1'-0"

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Project Owner

CITY OF WATERTOWN
WATERTOWN FIRE STATION
621 BERNARD STREET
WATERTOWN, WISCONSIN

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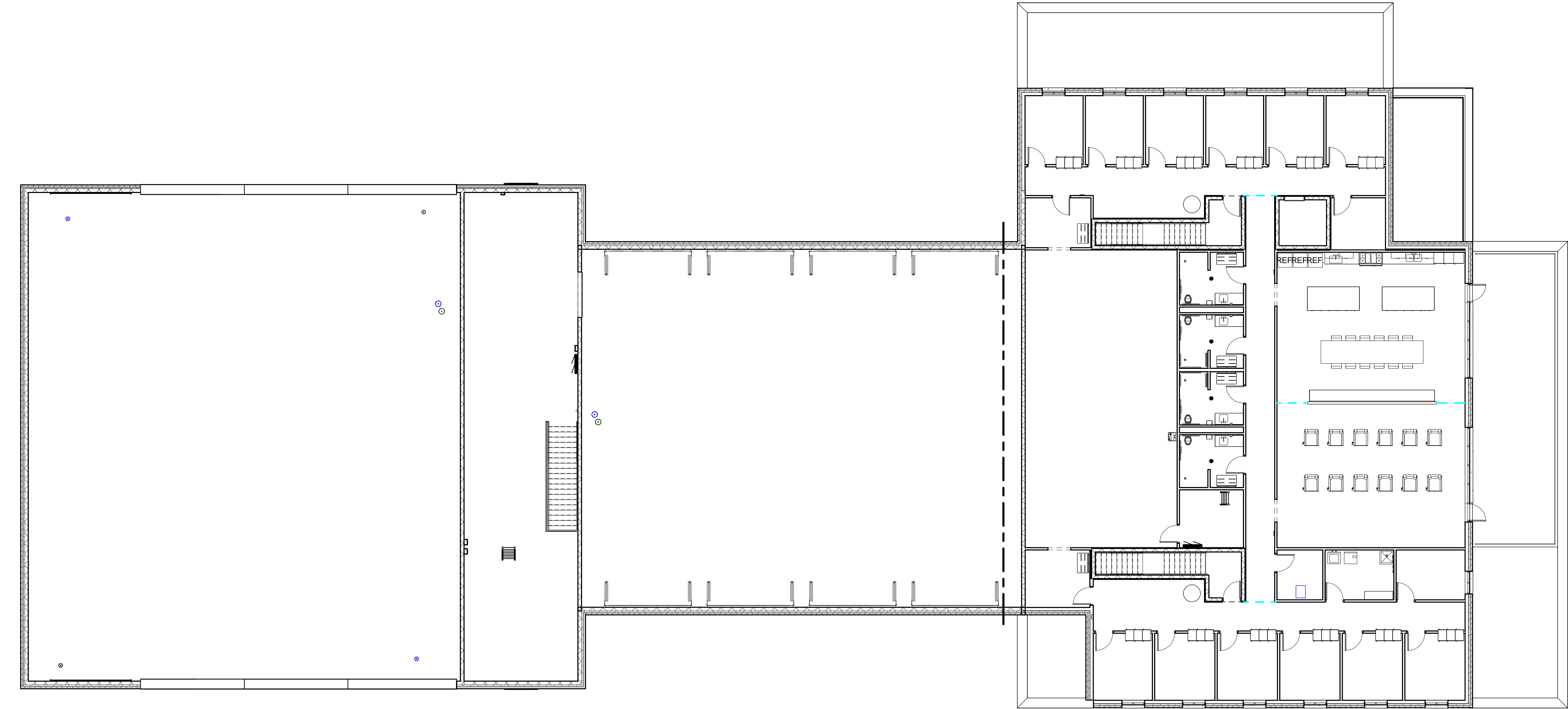
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CONSTRUCTION DOCUMENTS 2/14/2024

REVISION SCHEDULE		
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OVERALL PLAN - BUILDING A
- LEVEL 1



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A101
LEVEL 2
3/32" = 1'-0"



OVERALL PLAN - BUILDING A
- LEVEL 2

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CITY OF WATERTOWN
WATERTOWN FIRE STATION
621 BERNARD STREET
WATERTOWN, WISCONSIN

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621 BERNARD STREET
WATERTOWN, WISCONSIN

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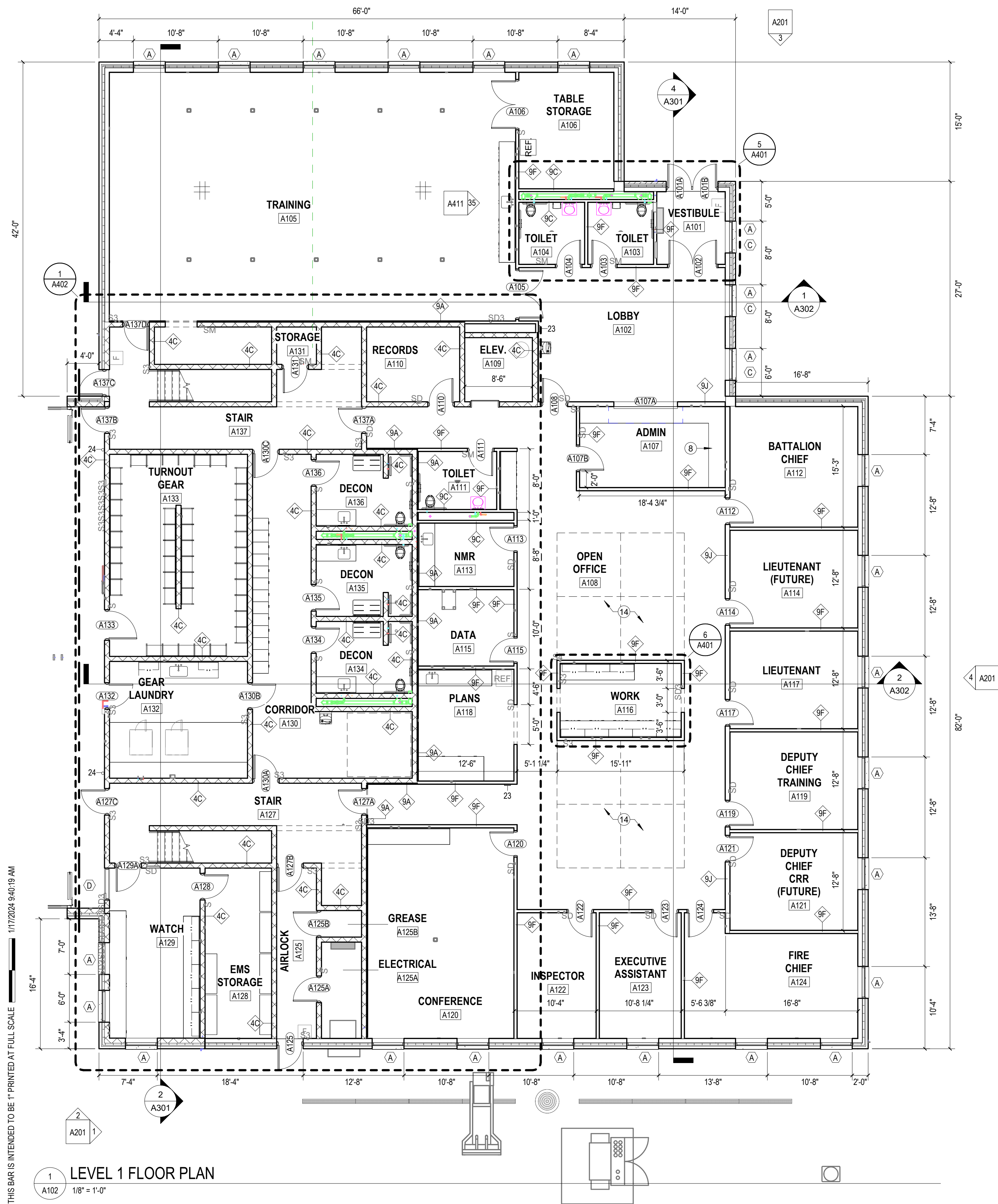
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FLOOR PLAN - BUILDING A -
LEVEL 1

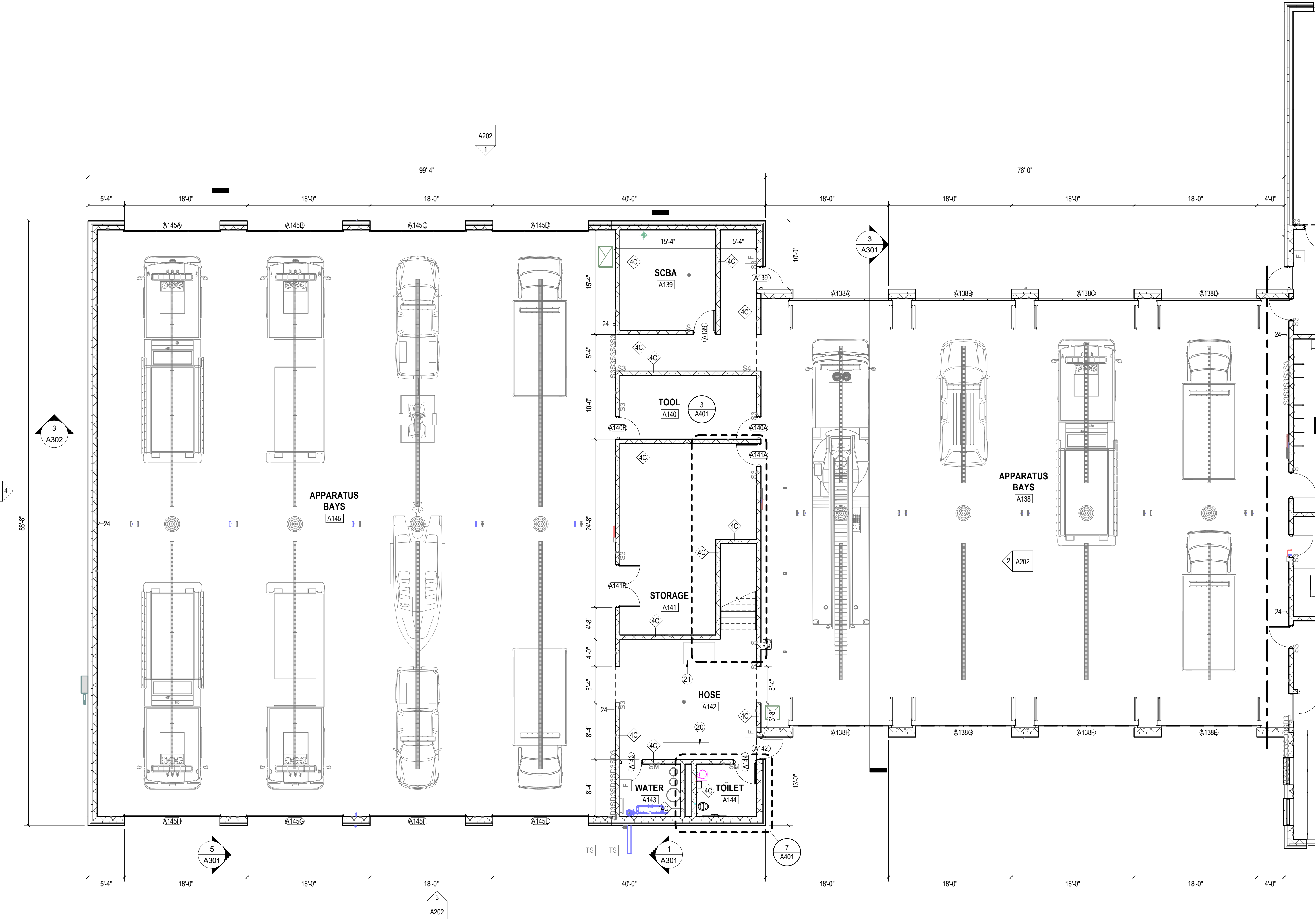
CONSTRUCTION KEYNOTE LEGEND

- 1 CONCRETE FILLED METAL PAN STAIR
- 2 STEEL PIPE HANDRAIL, MOUNTED TO WALL
- (3) THRU-WALL, PASS-THRU LOCKERS, SEE 9 / A503xxxxxxx FOR DETAILS
- 4 TILE SHOWER, SEE xxxxxxxx FOR THRESHOLD DETAIL
- 5 INSTALL GRAB BARS IN SHOWERS WITH TOP OF GRIPPING SURFACE AT 34" A.F.F.
- 6 WALL-MOUNTED WIRE SHELF, ULINE H-6723 OR EQUAL
- 7 PROVIDE BLOCKING IN THIS WALL, 4 STUD CAVITIES W/ (2) 8" TALL BLOCKS EACH. VERIFY LOCATIONS W/ OWNER
- 8 SOLID SURFACE COUNTERTOP W/ 4 GROMMETS, VERIFY GROMMET LOCATIONS W/ OWNER, SEE 3 / A503
- 9 BULLNOSE ALL OUTSIDE CORNERS OF CMU WALL
- 10 WALL MOUNTED STEEL SHIPS LADDER, SEE xxxxxxxx
- 11 ROOF HATCH, LOCATE BETWEEN STEEL JOISTS
- 12 REMOVABLE RAILING, SEE xxxxxx FOR DETAIL
- 13 FIRE POLE, BASIS OF DESIGN: MCINTIRE BRASS WORKS, INC. MODEL 23, WWW.SLIDEPOLE.COM
- 14 CUBICLES, N.I.C.
- 15 ROOF PAVERS, TYPICAL
- 16 PRECAST CONCRETE ROOF PAVERS ON PEDESTAL SUPPORTS
- 17 STAINLESS STEEL GUARDRAIL, SEE xxxxxxxx
- 18 FURNITURE - N.I.C.
- 19 PIPE BOLLARD, SEE STRUCTURAL FOR DETAIL
- 20 HOSE WASHER - N.I.C.
- 21 GEAR DRYER - N.I.C.
- 22 PROVIDE DOOR BUMPER TO PROTECT ADJACENT WALL FROM PASS-THRU LOCKER DOOR, TYP.
- 23 48" HIGH MIRROR ALONG ENTIRE WALL MOUNTED @ 36" A.F.F.
- 24 31" DIAMETER MANHOLE COVER & RIM (NEENAH FOUNDRY MODEL R-1581-A), ENSURE THAT LOCATIONS ON BOTH LEVELS ARE ALIGNED
- 25 METAL PLATE TO COVER OPENING ABOVE STRINGER, WELD TO WIDE FLANGE, SEE 9 / A503
- 26 EQUIPMENT PAD, SEE STRUCTURAL FOR DETAILS
- 27 PROVIDE BLOCKING IN THIS WALL FOR FUTURE WALL-MOUNTED SHOWER SEAT, PROVIDED BY OWNER
- 28 SEE 7 / A504 FOR WALL RECESS DETAIL FOR UNDERCOUNTER DISHWASHER
- 29 SUMP GUARD RAIL, SEE 14 / A507
- 30 REFERENCE STRUCTURAL FOR INSULATION THICKNESS



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1
A103 1/8" = 1'-0"



CONSTRUCTION KEYNOTE LEGEND

- 1 CONCRETE FILLED METAL PAN STAIR
- 2 STEEL PIPE HANDRAIL, MOUNTED TO WALL
- 3 (3) THRU-WALL, PASS-THRU LOCKERS, SEE 9/A503xxxxxx FOR DETAILS
- 4 TILE SHOWER, SEE xxxxxxxx FOR THRESHOLD DETAIL
- 5 INSTALL GRAB BARS IN SHOWERS WITH TOP OF GRIPPING SURFACE AT 34" A.F.F.
- 6 WALL-MOUNTED WIRE SHELF, ULINE H-6723 OR EQUAL
- 7 PROVIDE BLOCKING IN THIS WALL, 4 STUD CAVITIES W/ (2) 8" TALL BLOCKS EACH. VERIFY LOCATIONS W/ OWNER
- 8 SOLID SURFACE COUNTERTOP W/ 4 GROMMETS, VERIFY GROMMET LOCATIONS W/ OWNER, SEE 3/A503
- 9 BULLNOSE ALL OUTSIDE CORNERS OF CMU WALL
- 10 WALL MOUNTED STEEL SHIPS LADDER, SEE XXXXXXX
- 11 ROOF HATCH, LOCATE BETWEEN STEEL JOISTS
- 12 REMOVABLE RAILING, SEE XXXXXX FOR DETAIL
- 13 FIRE POLE, BASIS OF DESIGN: MCINTIRE BRASS WORKS, INC. MODEL 23. WWW.SLIDEPOLE.COM
- 14 CUBICLES, N.I.C.
- 15 ROOF PAVERS, TYPICAL
- 16 PRECAST CONCRETE ROOF PAVERS ON PEDESTAL SUPPORTS
- 17 STAINLESS STEEL GUARDRAIL, SEE XXXXXXX
- 18 FURNITURE - N.I.C.
- 19 PIPE BOLLARD, SEE STRUCTURAL FOR DETAIL
- 20 HOSE WASHER - N.I.C.
- 21 GEAR DRYER - N.I.C.
- 22 PROVIDE DOOR BUMPER TO PROTECT ADJACENT WALL FROM PASS-THRU LOCKER DOOR, TYP.
- 23 48" HIGH MIRROR ALONG ENTIRE WALL MOUNTED @ 36" A.F.F.
- 24 31" DIAMETER MANHOLE COVER & RIM (NEENAH FOUNDRY MODEL R-1581-A), ENSURE THAT LOCATIONS ON BOTH LEVELS ARE ALIGNED
- 25 METAL PLATE TO COVER OPENING ABOVE STRINGER, WELD TO WIDE FLANGE, SEE 9/A503
- 26 EQUIPMENT PAD, SEE STRUCTURAL FOR DETAILS
- 27 PROVIDE BLOCKING IN THIS WALL FOR FUTURE WALL-MOUNTED SHOWER SEAT, PROVIDED BY OWNER
- 28 SEE 7/A504 FOR WALL RECESS DETAIL FOR UNDERCOUNTER DISHWASHER
- 29 SUMP GUARD RAIL, SEE 14/A507
- 30 REFERENCE STRUCTURAL FOR INSULATION THICKNESS



NOT FOR
CONSTRUCTION

Project Owner

CITY OF WATERTOWN
WATERTOWN FIRE STATION
621 BERNARD STREET
WATERTOWN, WISCONSIN

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FLOOR PLAN - BUILDING A -
LEVEL 1

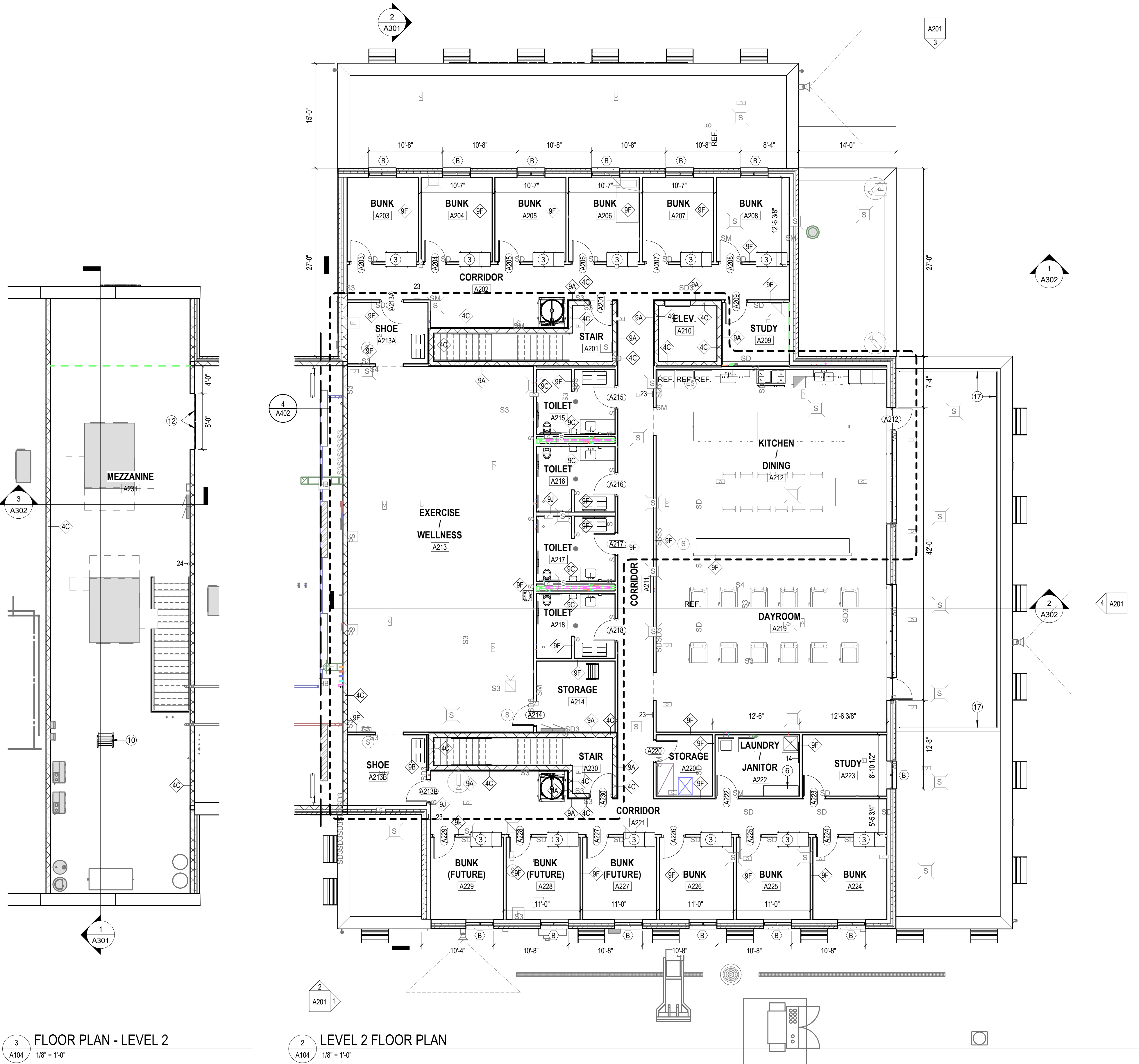


A103

THIS BAR IS INTENDED TO BE 1" PRINTED AT FULL SCALE 11/7/2024 9:41:08 AM

3 FLOOR PLAN - LEVEL 2
A104 1/8" = 1'-0"

2 LEVEL 2 FLOOR PLAN
A104 1/8" = 1'-0"



- CONSTRUCTION KEYNOTE LEGEND
- 1 CONCRETE FILLED METAL PAN STAIR
 - 2 STEEL PIPE HANDRAIL, MOUNTED TO WALL
 - 3 (3) THRU-WALL, PASS-THRU LOCKERS, SEE 9 / A503xxxxxx FOR DETAILS
 - 4 TILE SHOWER, SEE xxxxxxxx FOR THRESHOLD DETAIL
 - 5 INSTALL GRAB BARS IN SHOWERS WITH TOP OF GRIPPING SURFACE AT 34" A.F.F.
 - 6 WALL-MOUNTED WIRE SHELF, ULINE H-6723 OR EQUAL
 - 7 PROVIDE BLOCKING IN THIS WALL, 4 STUD CAVITIES W/ (2) 8" TALL BLOCKS EACH. VERIFY LOCATIONS W/ OWNER
 - 8 SOLID SURFACE COUNTERTOP W/ 4 GROMMETS, VERIFY GROMMET LOCATIONS W/ OWNER, SEE 3 / A503
 - 9 BULLNOSE ALL OUTSIDE CORNERS OF CMU WALL
 - 10 WALL MOUNTED STEEL SHIPS LADDER, SEE xxxxxxxx
 - 11 ROOF HATCH, LOCATE BETWEEN STEEL JOISTS
 - 12 REMOVABLE RAILING, SEE xxxxxx FOR DETAIL
 - 13 FIRE POLE, BASIS OF DESIGN: MONTIRE BRASS WORKS, INC. MODEL 23, WWW.SLIDEPOLE.COM
 - 14 CUBICLES, N.I.C.
 - 15 ROOF PAVERS, TYPICAL
 - 16 PRECAST CONCRETE ROOF PAVERS ON PEDESTAL SUPPORTS
 - 17 STAINLESS STEEL GUARDRAIL, SEE xxxxxxxx
 - 18 FURNITURE - N.I.C.
 - 19 PIPE BOLLARD, SEE STRUCTURAL FOR DETAIL
 - 20 HOSE WASHER - N.I.C.
 - 21 GEAR DRYER - N.I.C.
 - 22 PROVIDE DOOR BUMPER TO PROTECT ADJACENT WALL FROM PASS-THRU LOCKER DOOR, TYP.
 - 23 48" HIGH MIRROR ALONG ENTIRE WALL MOUNTED @ 36" A.F.F.
 - 24 31" DIAMETER MANHOLE COVER & RIM (NEENAH FOUNDRY MODEL R-1581-A), ENSURE THAT LOCATIONS ON BOTH LEVELS ARE ALIGNED
 - 25 METAL PLATE TO COVER OPENING ABOVE STRINGER, WELD TO WIDE FLANGE, SEE 9 / A503
 - 26 EQUIPMENT PAD, SEE STRUCTURAL FOR DETAILS
 - 27 PROVIDE BLOCKING IN THIS WALL FOR FUTURE WALL-MOUNTED SHOWER SEAT, PROVIDED BY OWNER
 - 28 SEE 7 / A504 FOR WALL RECESS DETAIL FOR UNDERCOUNTER DISHWASHER
 - 29 SUMP GUARD RAIL, SEE 14 / A507
 - 30 REFERENCE STRUCTURAL FOR INSULATION THICKNESS

CITY OF WATERTOWN
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621 BERNARD STREET
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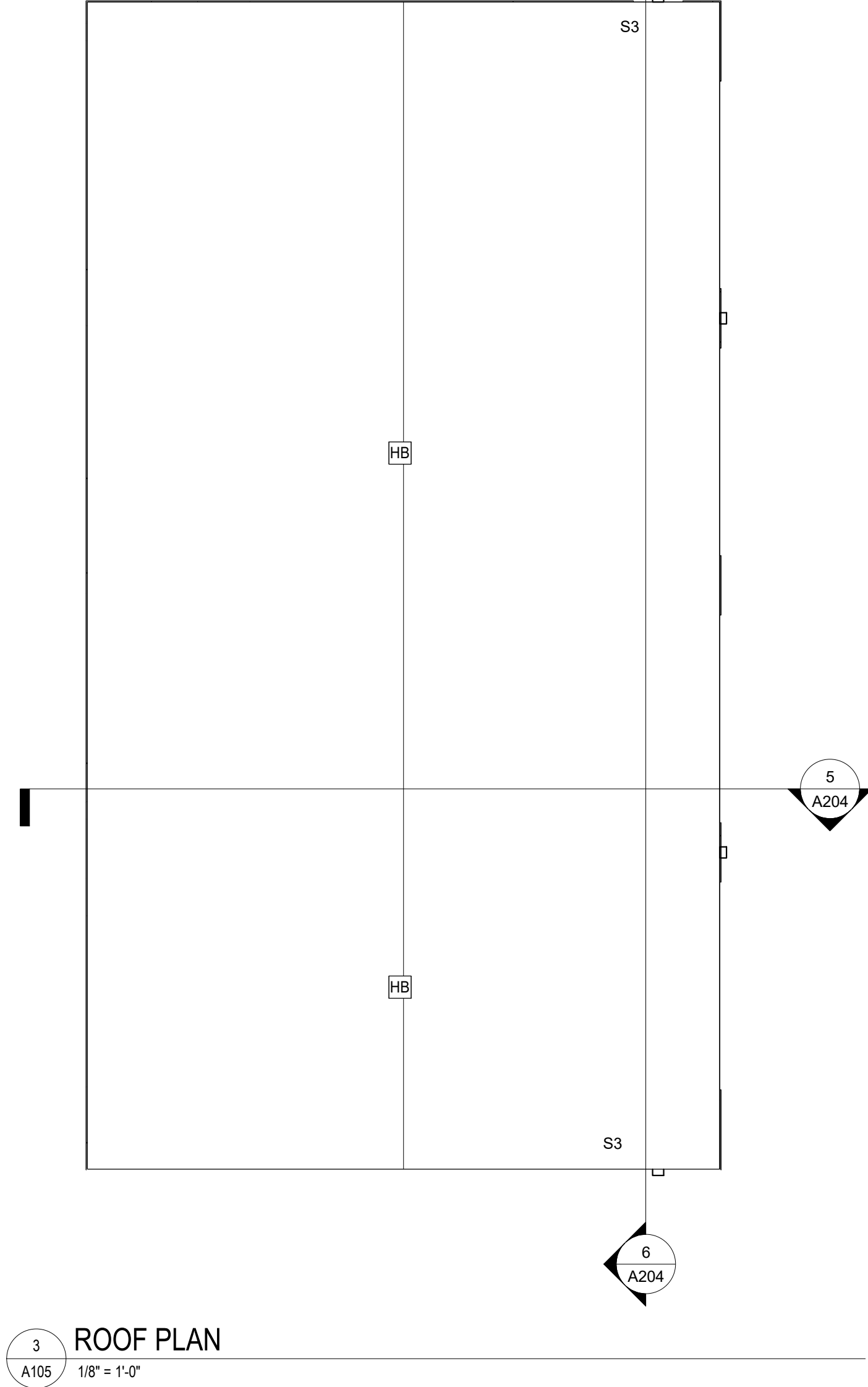
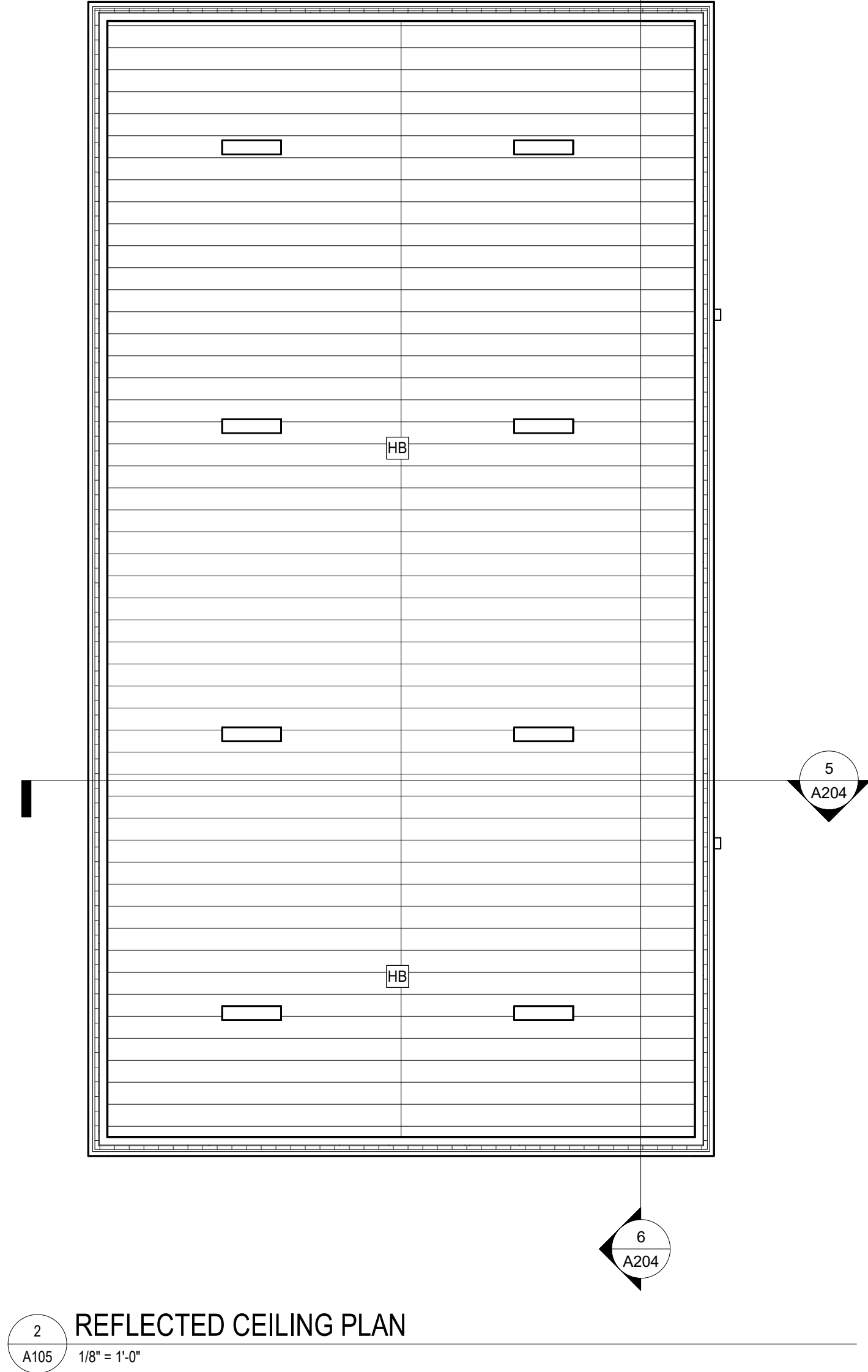
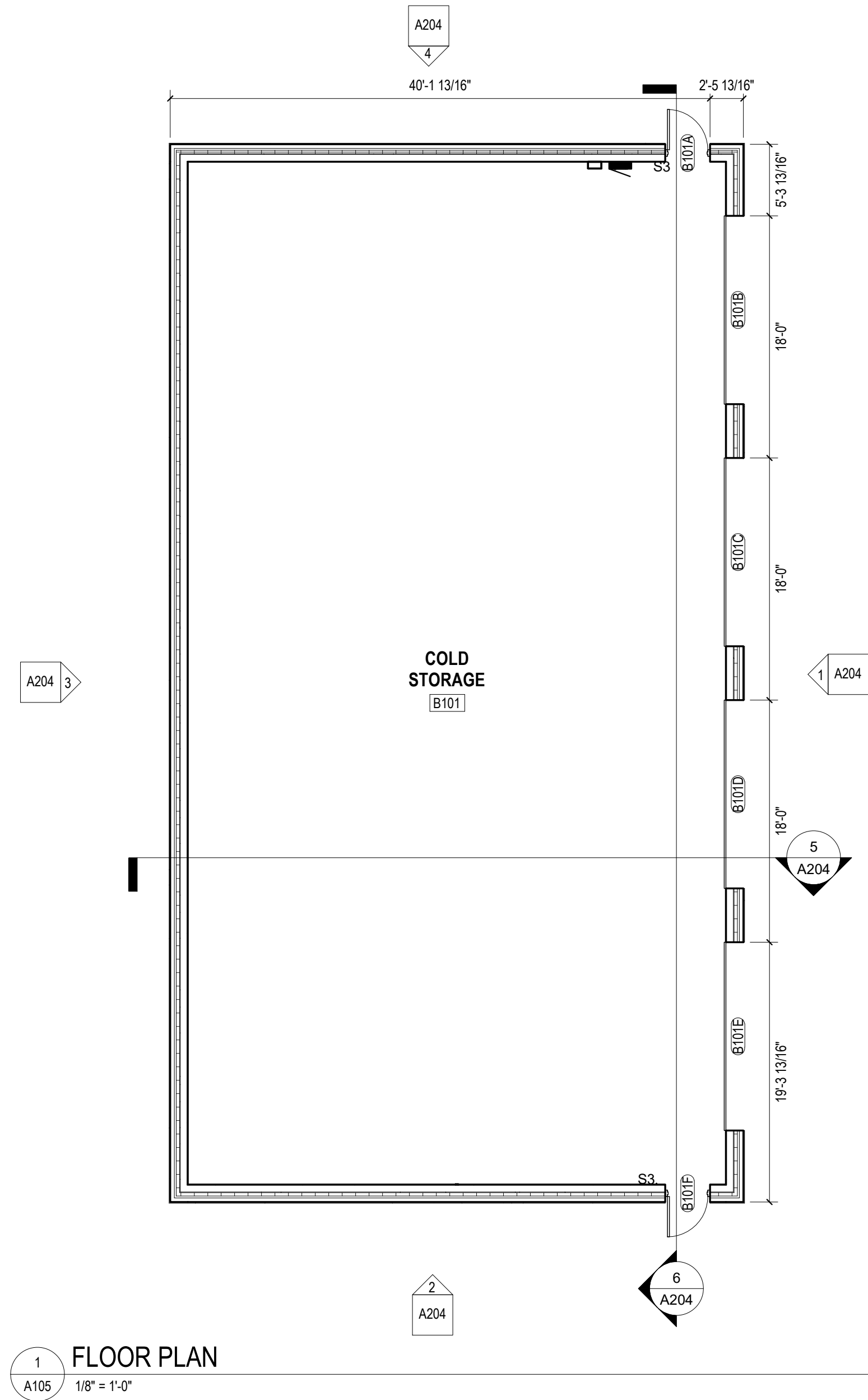
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FLOOR PLAN - BUILDING A -
LEVEL 2

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FLOOR PLAN - BUILDING B -
LEVEL 1

A105

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EXTERIOR ELEVATIONS -
BUILDING A

A201

24



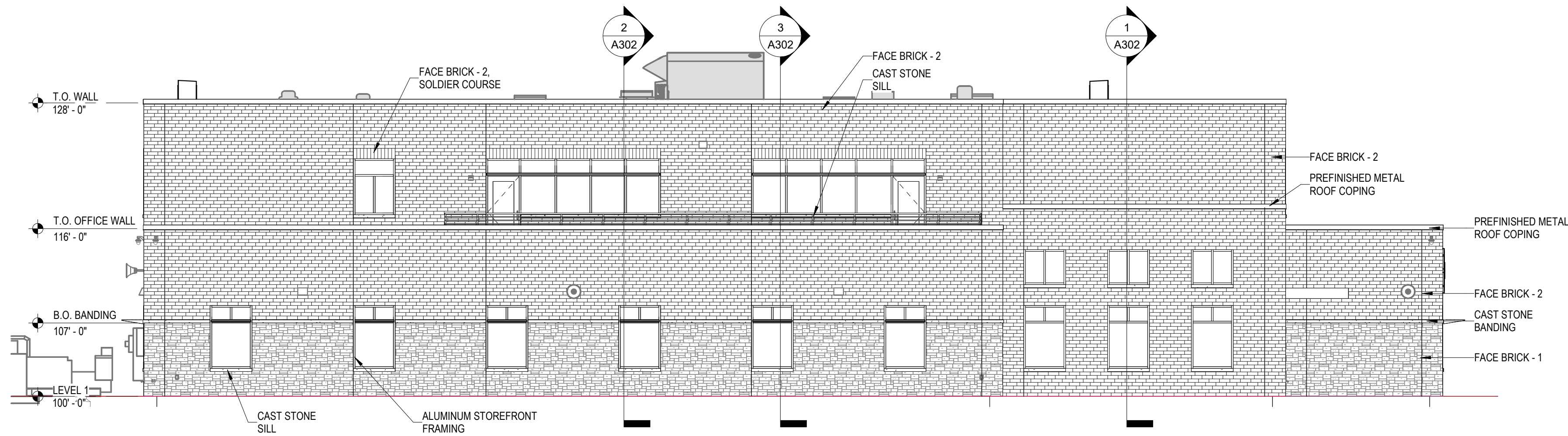
3
A201
EXTERIOR ELEVATION - PARTIAL NORTH

1/8" = 1'-0"



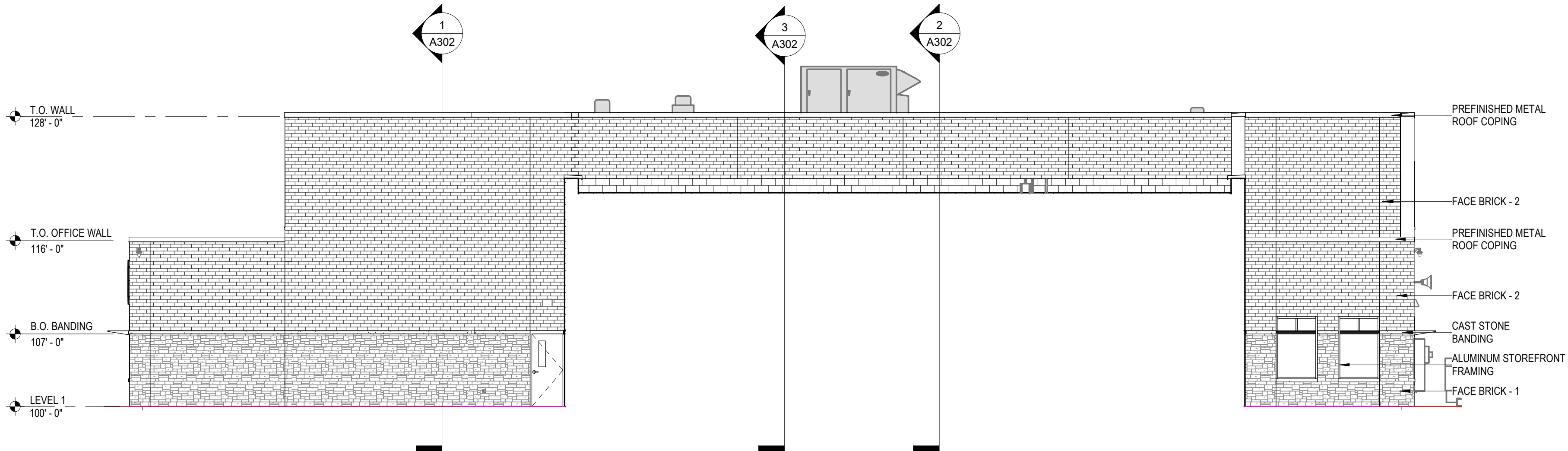
2
A201
EXTERIOR ELEVATION - PARTIAL SOUTH

1/8" = 1'-0"



4
A201
EXTERIOR ELEVATION - EAST

1/8" = 1'-0"



1
A201
EXTERIOR ELEVATION - PARTIAL WEST

1/8" = 1'-0"

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1/17/2024 9:41:47 AM

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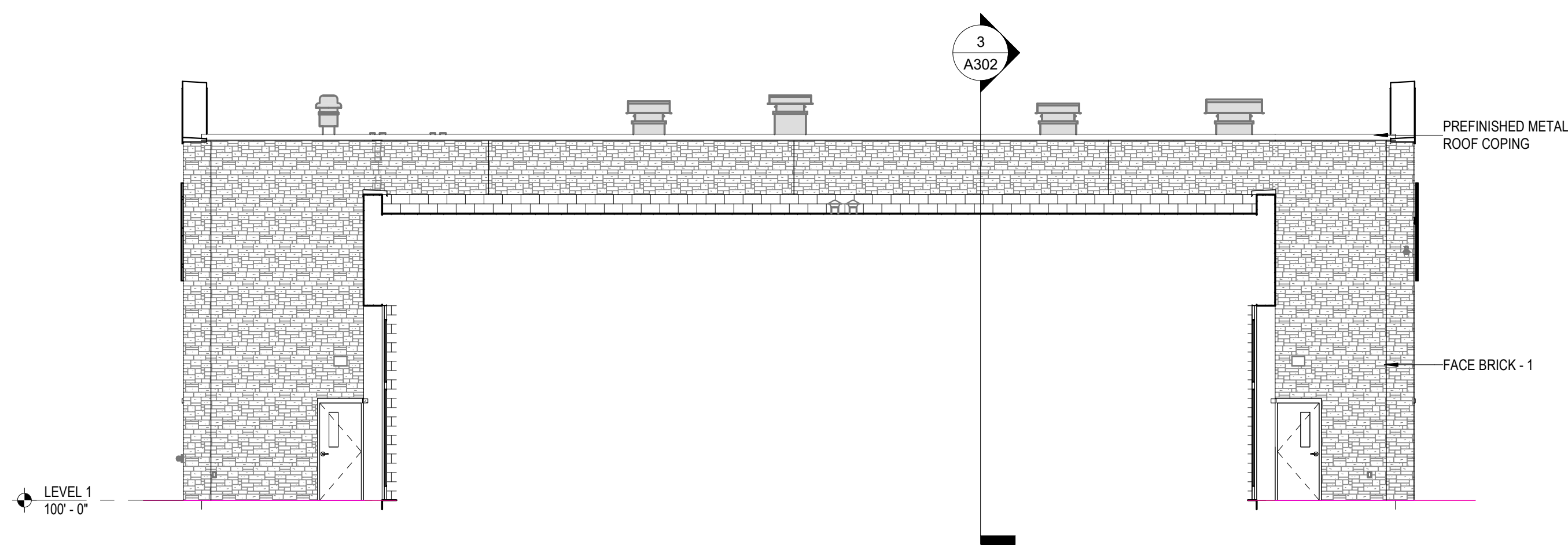
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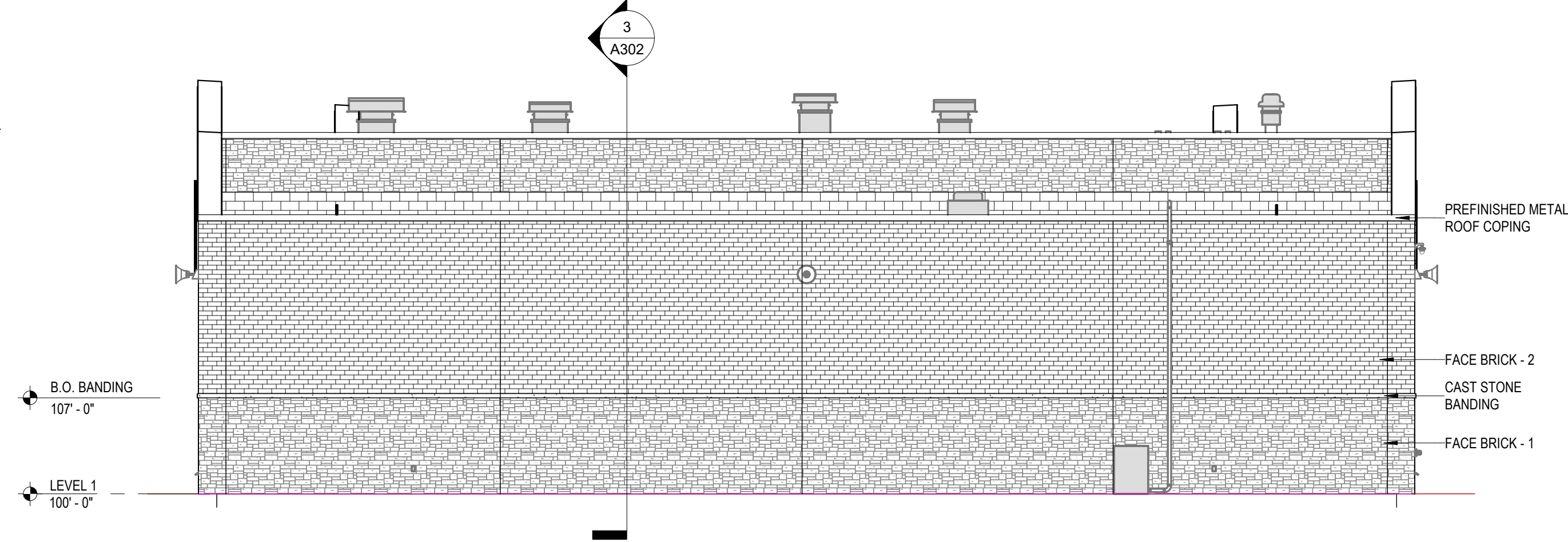
EXTERIOR ELEVATIONS -
BUILDING A

A202

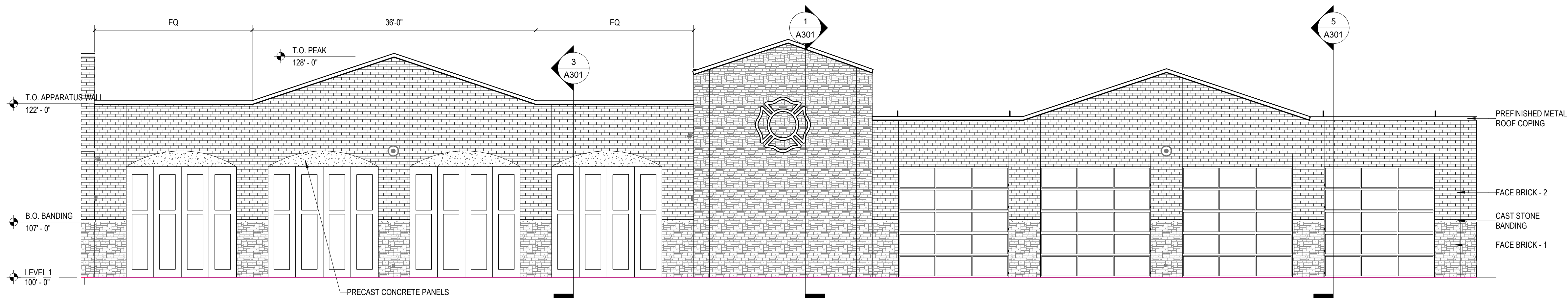
25



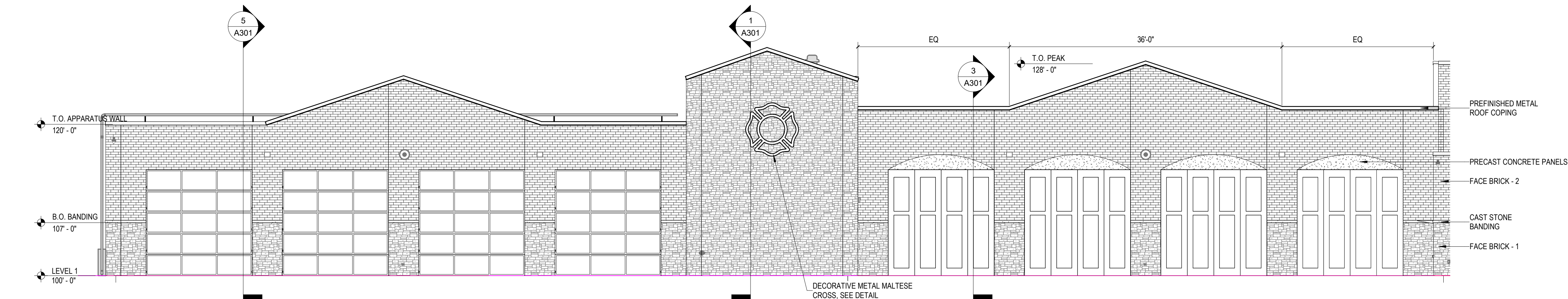
2
A202
EXTERIOR ELEVATION - PARTIAL EAST
1/8" = 1'-0"



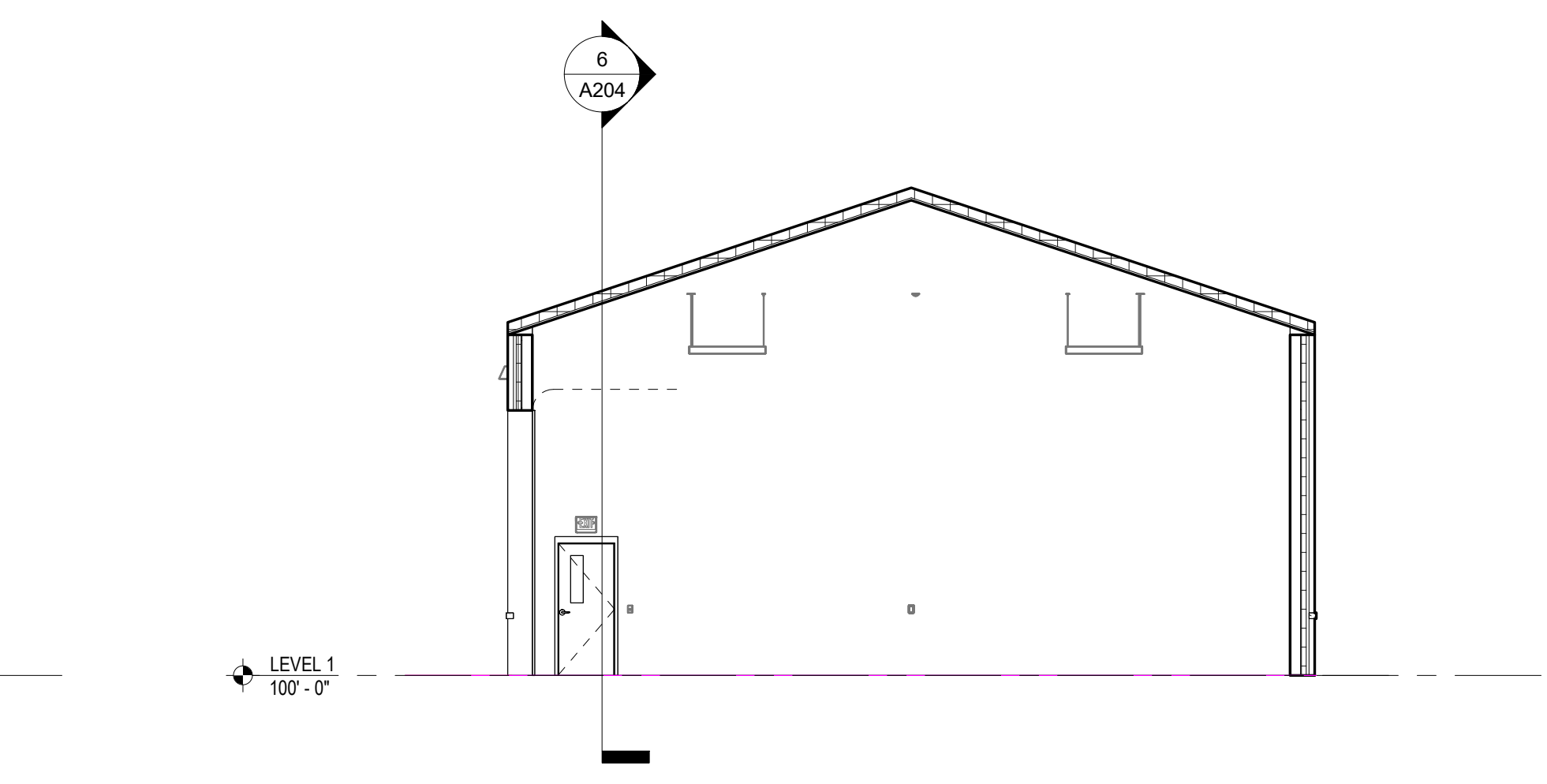
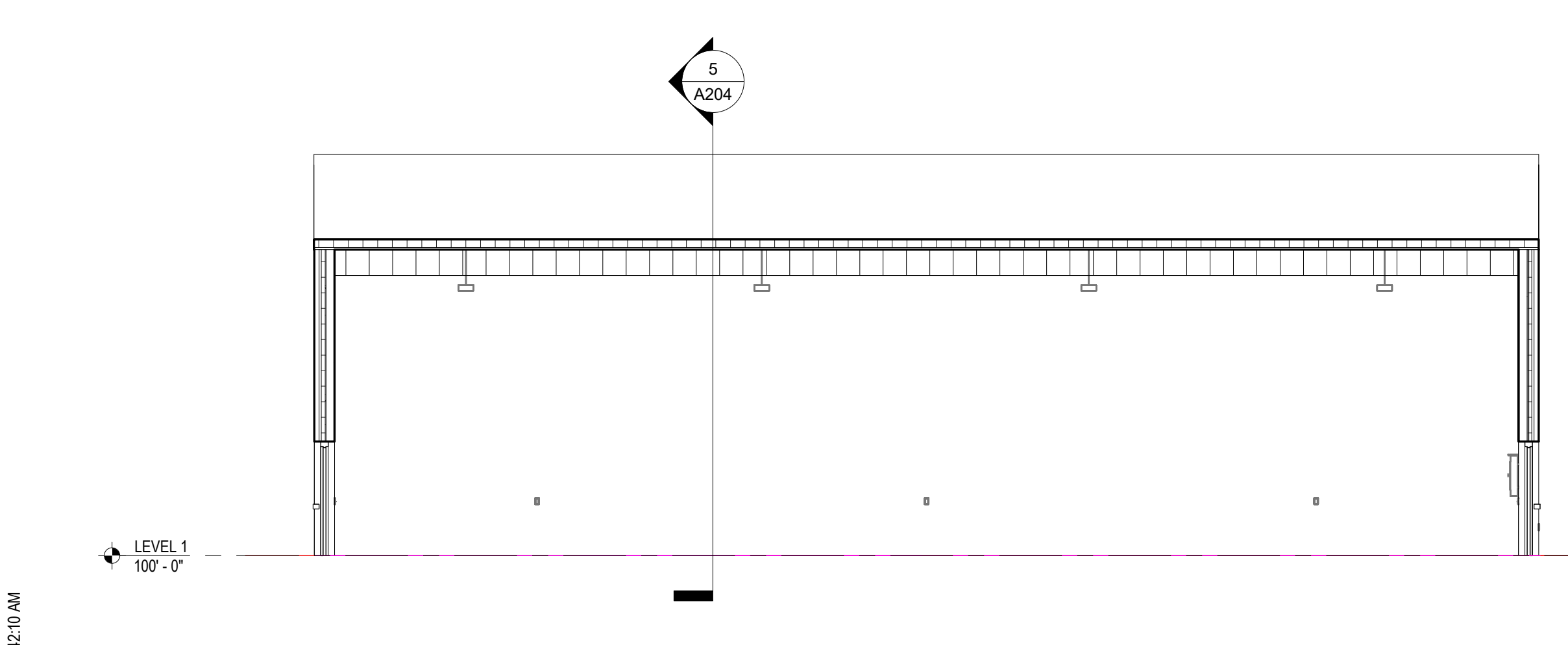
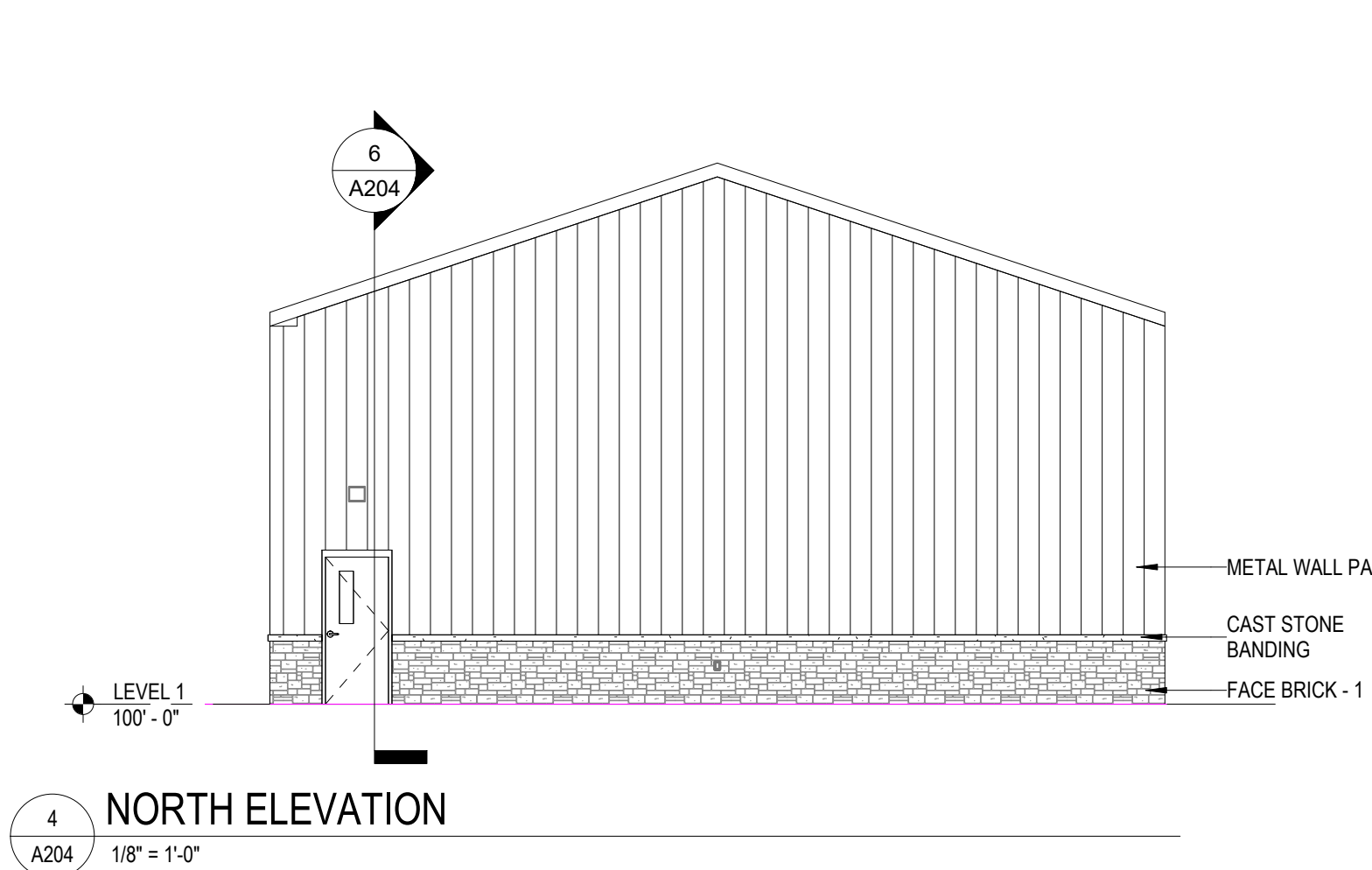
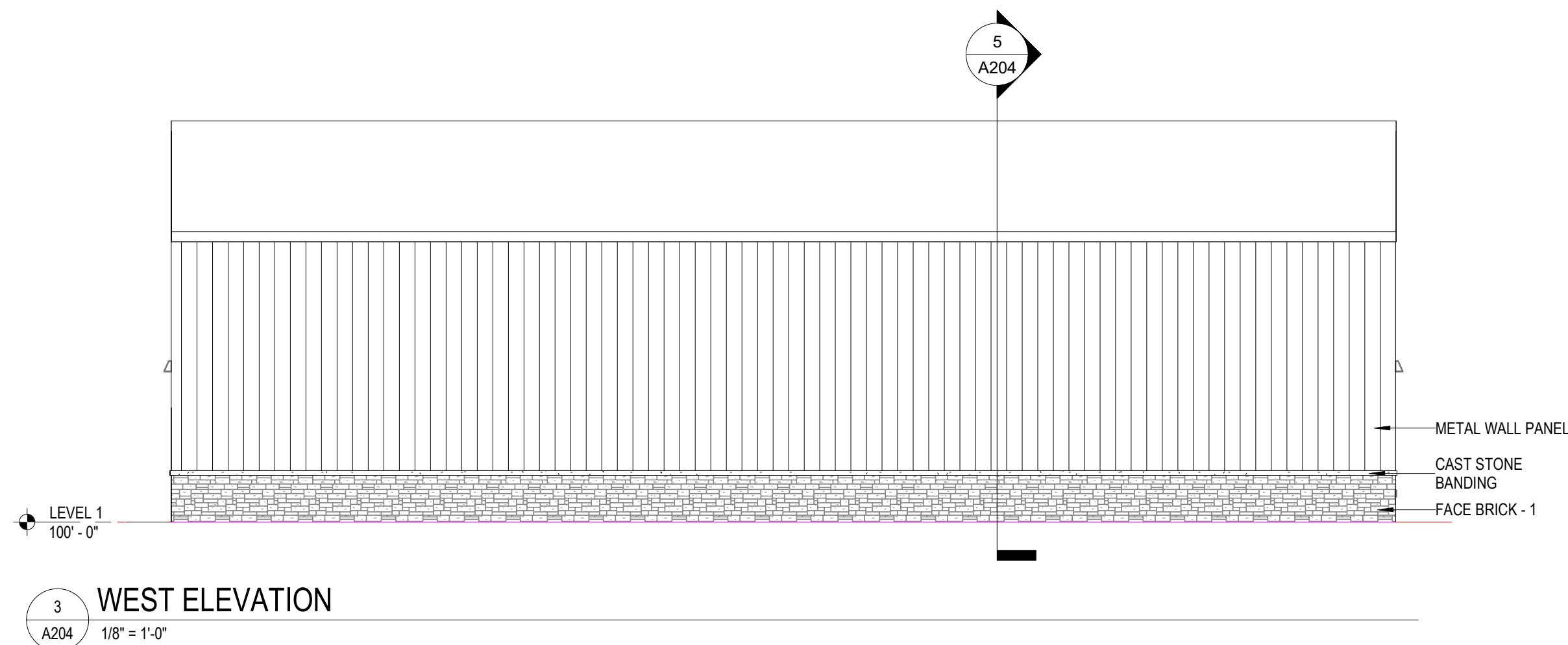
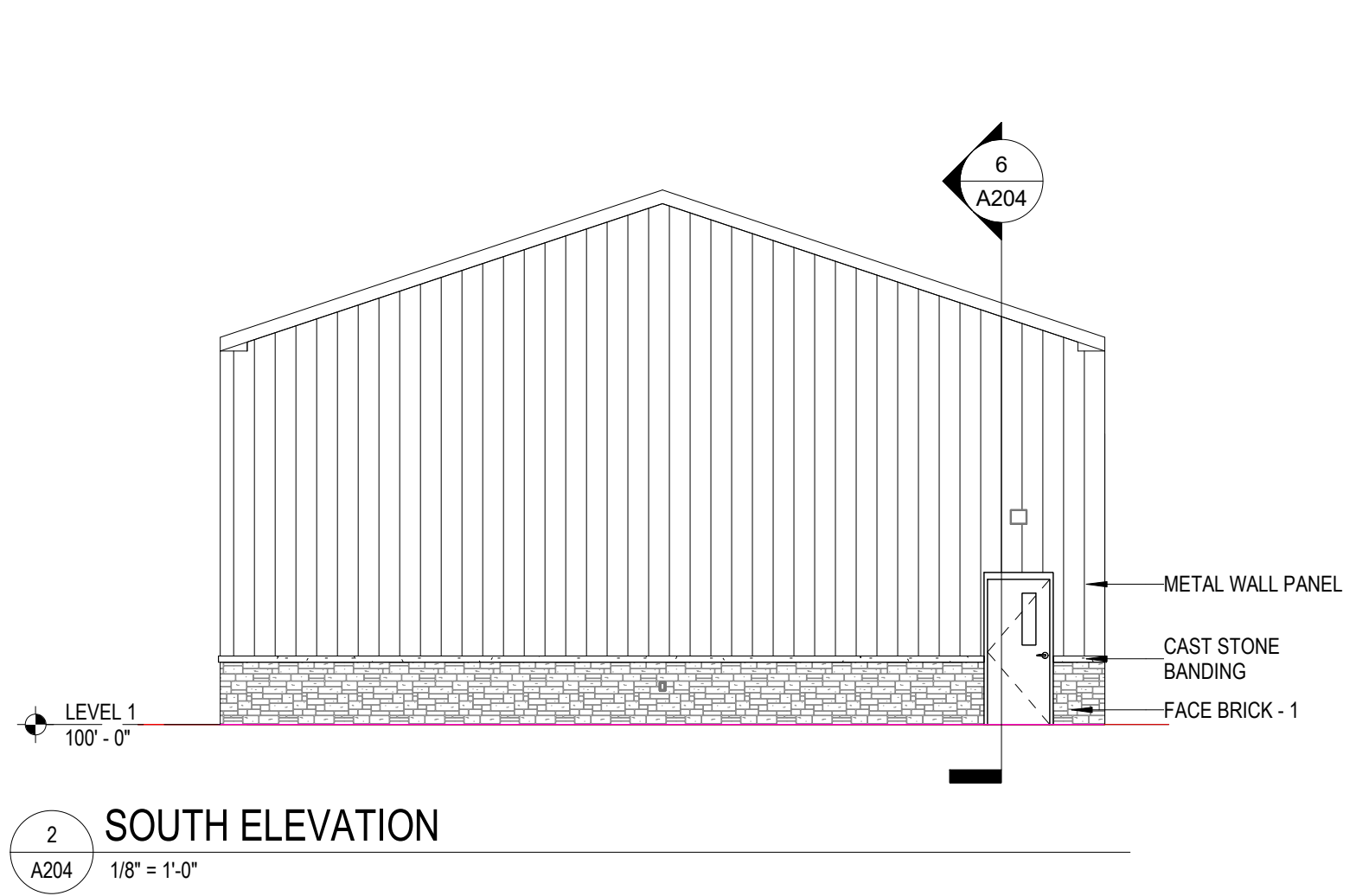
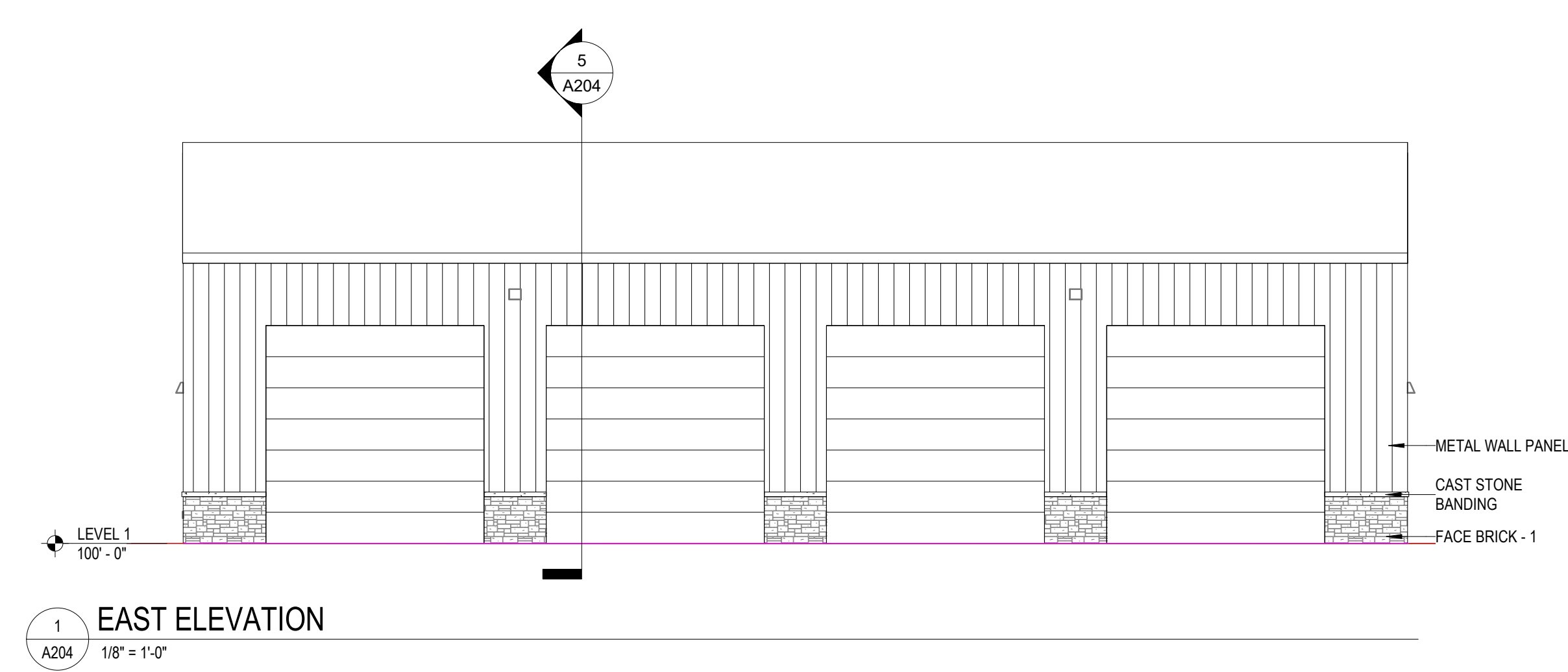
4
A202
EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



1
A202
EXTERIOR ELEVATION - PARTIAL NORTH
1/8" = 1'-0"



3
A202
EXTERIOR ELEVATION - PARTIAL SOUTH
1/8" = 1'-0"



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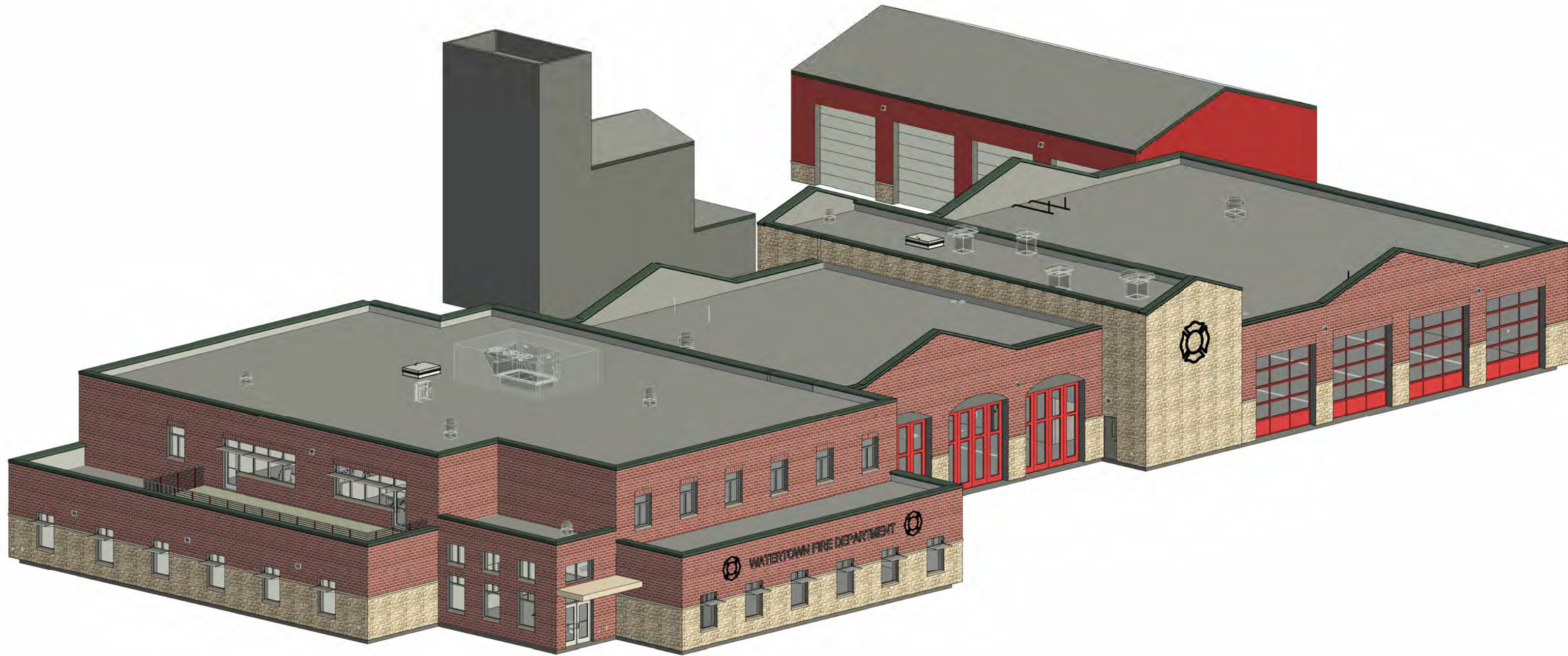
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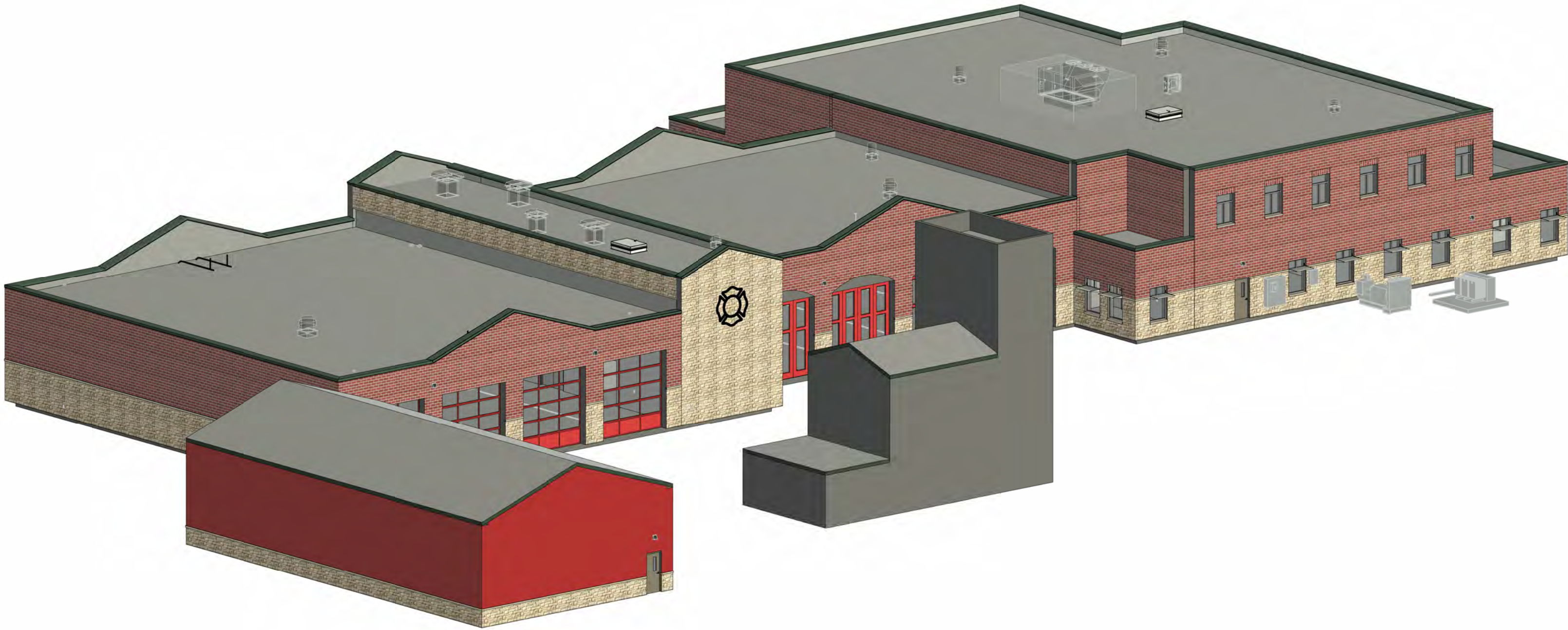
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EXTERIOR ELEVATIONS -
BUILDING B

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1 OVERALL ARCHITECTURAL - EXTERIOR 3D
A703



2 OVERALL ARCHITECTURAL - EXTERIOR 3D
A703

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3D LOW-RES VIEW

Blended (with Flashing) Color Options

Smooth

Winter Blend (B)

Sand Castle Blend (B)

Cedar Blend (A)

Tuscany Villa Blend (A)

Harvard Blend (A)

Coffee Blend (A)

Smooth

Savanna Stone Blend (A)

Granite Rose Blend (A)

Amber Rose Blend (A)

Cardinal Blend (A)

Regency Red Blend (A)

Brandywine Blend (A)

Smooth

Ash Blend (A)

Letter following color names denote pricing levels.
"A" indicates lowest price level;
"C" is highest price level.

Colors, product data, and availability are subject to change without notice. Please confirm all details with a County Materials representative for availability in your area. Colors shown may vary from actual hues and should only be used as a guide. Refer to actual product samples for final color selection.

Facing Options (for Blended and NF)

**Burnished

Smooth

Splitface

Tumbled

**See page 23 for burnished color options.

Note: Bough Estate is no longer a Facing Option for Heritage Collection Designer Concrete Brick.

NF (No Flashing) Color Options

Smooth

Harvard (A)

Amber Rose (A)

Cinnabar (A)

Cardinal (A)

Regency Red (A)

Brandywine (A)

Smooth

Winter (A)

Graystone (A)

Smokey Mountain (A)

Coffee (A)

Sable (A)

Slate (B)

*PREMIUM COLORS – NF (No Flashing)

Smooth

* White (C)

*Dove Gray (B)

*Reunion (C)

*Sienna Cream (C)

* Denotes product manufactured in Janesville, WI.
All other Heritage colors are manufactured in Marathon, WI.

Note: All colors shown above are also available in Tumbled finish.

Vision

Clarity

Enchantment

Slate



CLARITY

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EXTERIOR MATERIALS

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NORTHEAST PERSPECTIVE



SOUTHWEST AERIAL

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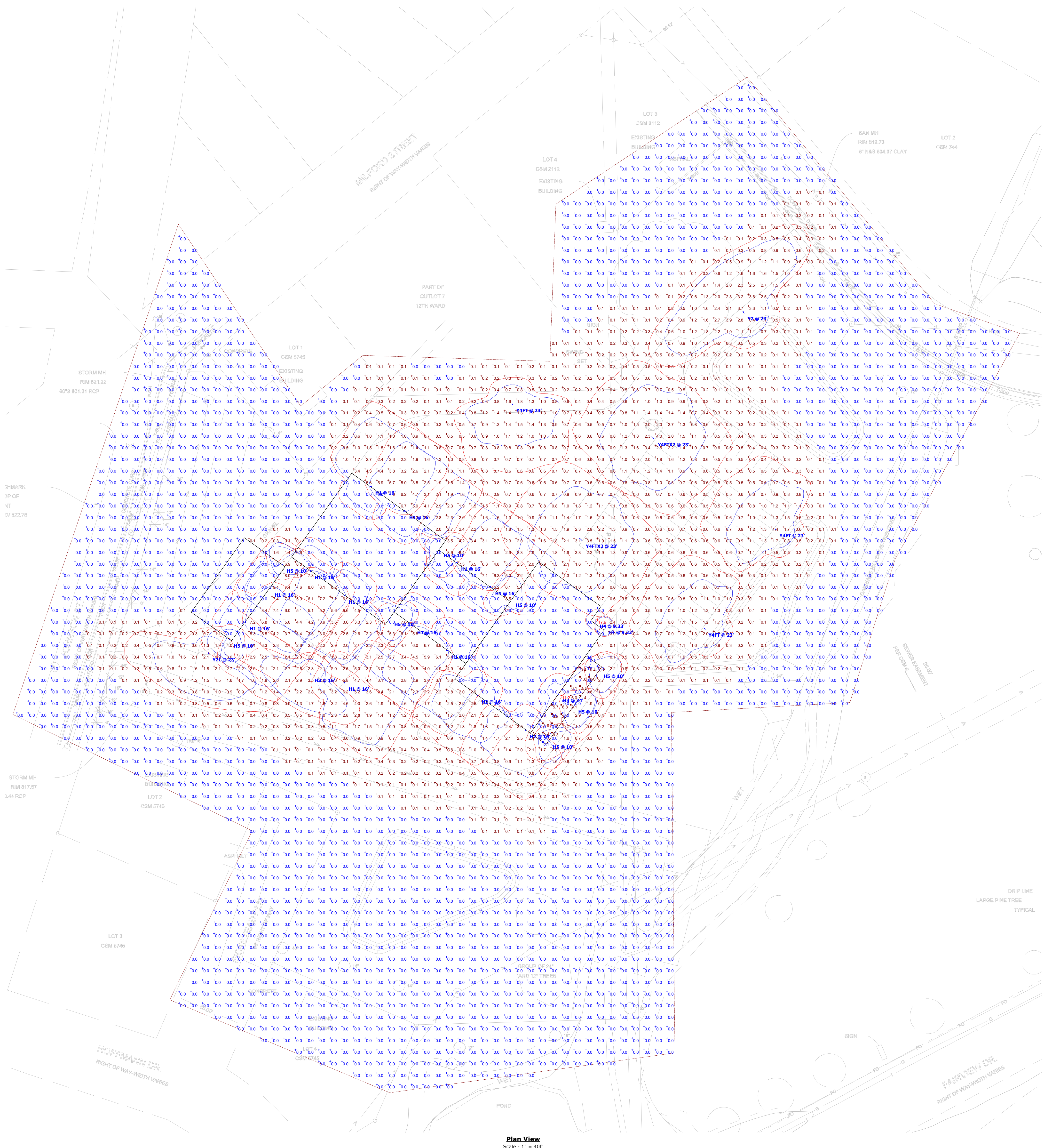
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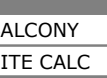
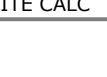
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RENDERINGS



Plan View
Scale - 1" = 40'

Distribution									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	Lumen Multiplier	Wattage
	H1	11	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA2B-740-U-T4FT	GALLEON WALL LUMINAIRE (2) 70 CRI, 4000K, 800mA LIGHTSQUARES WITH 16 LEADS EACH AND TYPE IV FORWARD THROW OPTICS	32	375	1	86
	H2	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1B-740-U-T4FT	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 800mA LIGHTSQUARE WITH 16 LEADS AND TYPE IV FORWARD THROW OPTICS	16	384	1	44
	H3	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GWC-SA1A-740-U-T2	GALLEON WALL LUMINAIRE (1) 70 CRI, 4000K, 415mA LIGHTSQUARE WITH 16 LEADS AND TYPE II OPTICS	16	305	1	34
	H4	2	Gotham Architectural Lighting	EVO6 40/15 AR MD LD	EVO 6IN ROUND, 80 CRI, 4000K, 1500LM, MED DIST, CLEAR, MATTE DIFFUSE	1	1307	1	14.7
	H5	8	Lithonia Lighting	WPX1 LED PL 40K Mvlt	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	1	1568	1	11.47
	Y2	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA2C-740-U-T2	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEADS EACH AND TYPE II OPTICS	32	444	1	113
	Y2L	1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T2	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEADS AND TYPE II OPTICS	16	454	1	59
	Y4FT	3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEADS AND TYPE IV FORWARD THROW OPTICS	16	466	1	59
	Y4FTX2	2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-SA1C-740-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 4000K, 1050mA LIGHTSQUARE WITH 16 LEADS AND TYPE IV FORWARD THROW OPTICS	16	466	1	118

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BALCONY		2.5 f.c.	11.2 f.c.	0.1 f.c.	112.0:1	25.0:1
SITE CALC		6.4 f.c.	17.6 f.c.	0.0 f.c.	N/A	N/A