



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, MARCH 24, 2025 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=85934604565> or call: 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated February 24, 2025

3. BUSINESS

A. Review and take action: 100 E. Division Street initial review of site plan for Zoning Map Amendment, Planned Development Overlay Map Amendment, and Zoning Text Amendment

B. Review and take action: 1504 S. Church Street conversion of space to a restaurant and grocery store

C. Review and take action: 116 W. Main Street retail bakery with customer seating

D. Review and take action: 301 E. Main Street bar and grill

E. Review and take action: 1013 S. Fifth Street review of storage building site plan

F. Review and take action: 318 Union Street – Temporary Use

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

**SITE PLAN REVIEW COMMITTEE
February 24, 2025**

The Site Plan Review Committee met on the above date at 130 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Brian Zirbes, Mason Becker, Mike Jacek, Stacy Winkelman, Kristine Butteris, Andrew Beyer, Nathan Williams, Maureen McBroom, Laura Bohlman, Mike Zitelman, Tanya Reynen, Don Dishno, and Thomas Koerner.

Also in attendance were Nikki Zimmerman, Will Wendorff, Tanya Powers, Eric Halbur, Felipe Vasquez, Jacob Norberte, Mike Osowski, Sonia Merkt, Chris Oddo, and Mario Perez.

1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated December 9, 2024

Motion was made by Stacy Winkelman and seconded by Mike Zitelman to approve the minutes as submitted. Unanimously approved.

3. Business

A. Review and take action: 1222 Perry Way site plan review for addition and remodel

Eric Halbur of Abacus Architects was present. Add much needed parking for employees as well as some additional storage and mechanical space.

The following was presented by staff:

- Building: Plan review will have to go to the State of Wisconsin DSPS for review.
- Water/Wastewater: No comments.
- Police: No comments.
- Stormwater: The Stormwater Management Plan and construction plans have been sent in. The Erosion Control and Stormwater Runoff permit still has to be submitted. The projection for that to be submitted is within the next couple of days.
- Engineering: No comments.
- Fire: Fire alarm & fire protection systems have to have applications submitted and approved and don't impede access roads
- Streets: No comments.
- Parks: No comments.

Motion made and seconded to approve this item and forward to Plan Commission contingent upon:

- Erosion Control and Stormwater Runoff permit review and approval
- Fire alarm & fire protection systems must have applications submitted and approved

Unanimously approved.

B. Review and take action: 120 W. Main Street proposed café remodel

Will Windorff was present. This building used to be Watertown Siding with the intention of making it into a café. Remodeling will not affect the upper apartments or load-bearing walls.

The following was presented by staff:

- Building: No comments.
- Water/Wastewater: No comments.
- Police: No comments.
- Stormwater: No comments.
- Engineering: No comments.

- Fire: Hot food would be limited to the panini press. If any additional items would be desired, further approvals would be required.
- Streets: Garbage collection must be obtained privately. Recycling services can be obtained.
- Parks: None.

Motion made and seconded to approve this item and forward to Plan Commission.

Unanimously approved.

C. Review and take action: 300 S. Third Street proposed parking lot

Chris Oddo was present. This is for a proposed 13-stall parking lot with the entrance off Third Street and exit off Jefferson. Signage will depict the entrance and exit only directions. Stormwater, photometrics and signage will be submitted. There will be 2 spaces within the southwest corner of the site for the adjacent owner to the south to have access.

The following was presented by staff:

- Building: No comments.
- Water/Wastewater: No comments.
- Police: No comments.
- Stormwater: Erosion & stormwater runoff control permit is required.
- Engineering: A curb cut permit and sidewalk permit would be required as well as a traffic control plan may be needed if anything affects the parking lane/traffic lane. In 2028
- Fire: Ensure bushes do not obstruct the neighbor's gas meter.
- Streets: No comments.
- Parks: Maintain planting beds

Motion made and seconded to approve this item and forward it to Plan Commission contingent upon:

- Erosion Control and Stormwater Runoff permit review and approval.
- Submittal and approval of a curb cut permit and sidewalk permit.
- Maintenance of planting beds.

Unanimously approved.

4. Adjournment

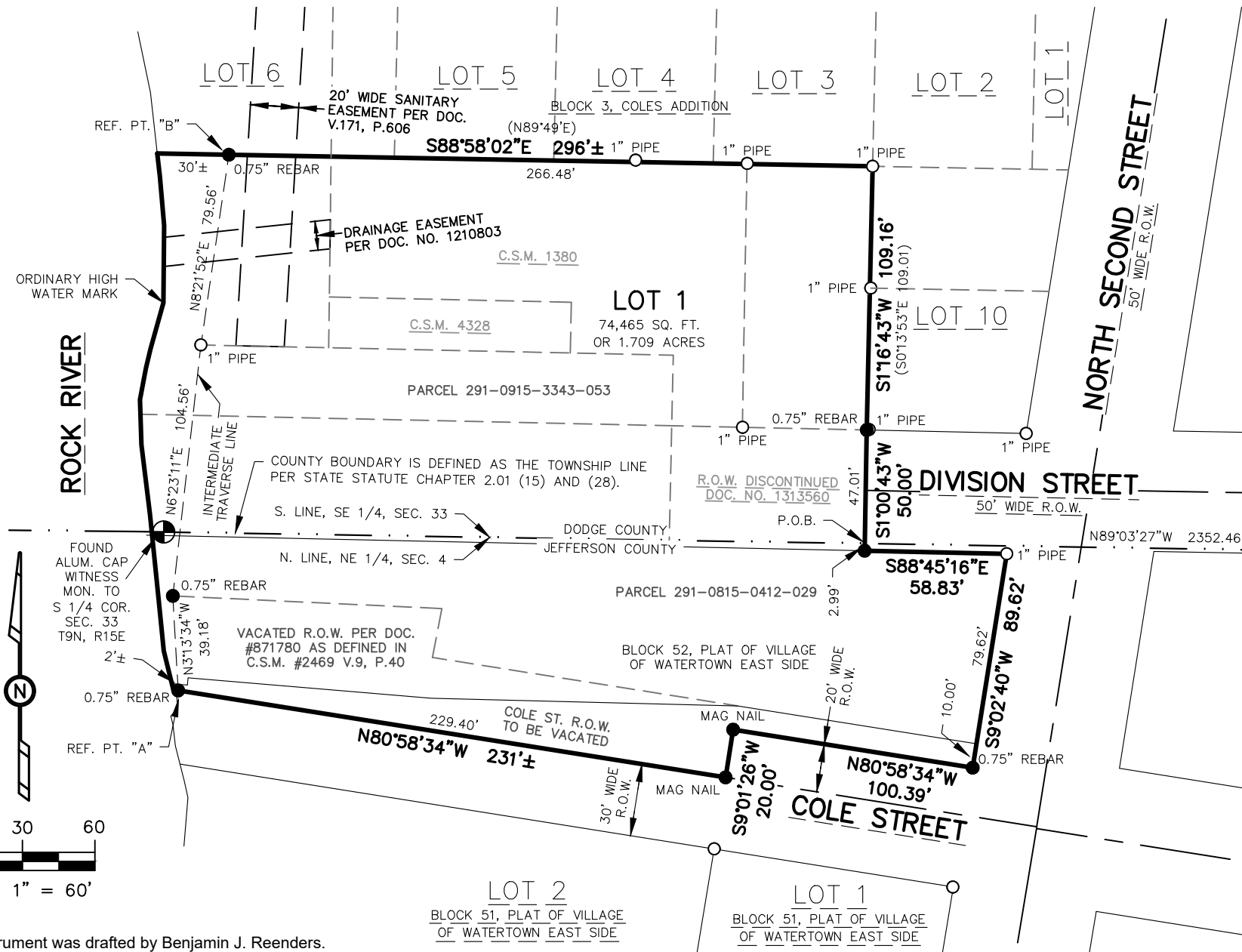
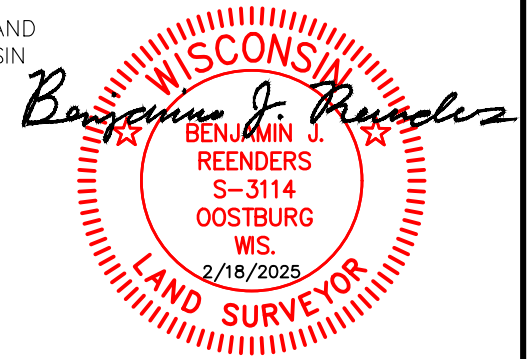
Motion was made and seconded to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

CERTIFIED SURVEY MAP NO. _____

THE SW 1/4 OF THE SE 1/4 OF SECTION 33, T9N, R15E, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN AND THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

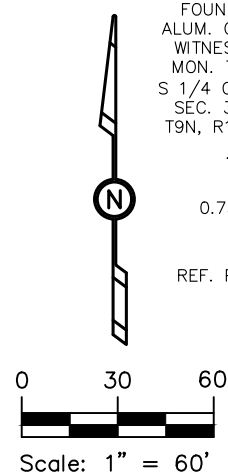


NOTES:

OWNER AND SUBDIVIDER:
CATY EMERALD LLC
BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 33, T9N, R15E, AS BEING N89°03'27"W PER THE DODGE COUNTY COORDINATE SYSTEM.

LEGEND

- = Set 3/4"x18" Rebar min. 1.13 lbs. per foot
- = Found Iron Pipe
- ⊙ = Section Corner Monument
- (##.##) = Recorded Dimension



100 South 10th Street
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
ENGINEERS • SURVEYORS • DRAFTERS
www.cedarcreeksurveying.com

This instrument was drafted by Benjamin J. Reenders.

CERTIFIED SURVEY MAP NO. _____

THE SW 1/4 OF THE SE 1/4 OF SECTION 33, T9N, R15E, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN AND THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Benjamin J. Reenders, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped part of Lots 1, 2, and 3, of C.S.M. No. 1380, Lot 1, C.S.M. 4329, Lot 1, C.S.M. 4328, Outlots 2 and 3 of the Sixth Ward of the City of Watertown, Part of Block 3, Coles Add to the City of Watertown, Part of Block 52 of Cole Bailey Company's Plat of Watertown, Vacated Division Street, and Vacated Cole Street, all located in the Southwest 1/4 of the Southeast 1/4 of Section 33, T9N, R15E, City of Watertown, Dodge County, Wisconsin and the Northwest 1/4 of the Northeast 1/4 of Section 4, T8N, R15E, City of Watertown, Jefferson County, Wisconsin, described as:

Commencing at the Southeast corner of said Section 33; thence N89°03'27"W 2352.46 feet along the South Township Line also being the County Line to the POINT OF BEGINNING of this description; thence S1°00'43"W 2.99 feet along the East line of R.O.W. Discontinued per Document No 1313560; thence S88°45'16"E 58.83 feet along the South R.O.W. line of Division Street; thence S9°02'40"W 89.62 feet along the West R.O.W. line of N. Second Street; thence N80°58'34"W 100.39 feet; thence S9°01'26"W 20.00 feet; thence N80°58'34"W 229.40 feet along the Centerline of Cole Street to Reference Point "A"; thence N80°58'34"W 2 feet more or less to the ordinary high watermark of Rock River; thence Northerly along said ordinary high watermark to its intersection with a line bearing N88°58'02"W from Reference Point "B", Reference Point "B" is located N3°13'34"W 39.18 feet; thence N6°23'11"E 104.56 feet; thence N8°21'52"E 79.56 feet along an intermediate traverse line from said Reference Point "A"; thence S88°58'02"E 30 feet more or less to Reference Point "B"; thence S88°58'02"E 266.48 feet along the North line of Lots 1 and 2 of C.S.M. No. 1380; thence S1°16'43"W 109.16 feet along the East line of said Lot 1 of C.S.M. No. 1380 to the North R.O.W. line of Division Street; thence S1°00'43"W 47.01 feet along the East line of R.O.W. Discontinued per Document No 1313560 to the point of beginning.

This parcel contains 74,465 square feet or 1.709 acres, more or less.

That such map is a correct representation of the exterior boundaries of the land surveyed and the division thereof.

That I have fully complied with provisions of Section 236.34 of the Wisconsin Statutes and the subdivision regulation of the City of Watertown in surveying, dividing and mapping the same.

Benjamin J. Reenders Dated this 18th day of February, 2025
Benjamin J. Reenders PLS S-3114




100 South 10th Street
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
ENGINEERS • SURVEYORS • DRAFTERS
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CERTIFIED SURVEY MAP NO. _____

THE SW 1/4 OF THE SE 1/4 OF SECTION 33, T9N, R15E, CITY OF WATERTOWN, DODGE COUNTY, WISCONSIN AND THE NW 1/4 OF THE NE 1/4 OF SECTION 4, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

Cady Emerald, LLC as owner, does hereby certify they have caused the lands described herein to be surveyed, divided, and mapped as represented on this map. Cady Emerald, LLC further certifies that this map is required by section 236.20 or 236.12 to be submitted to the following for approval or objection: City of Watertown.

Managing Member

WITNESS the hand and seal of said Owner on this ____ day of _____, 2025.

STATE OF _____)
_____ COUNTY) ss

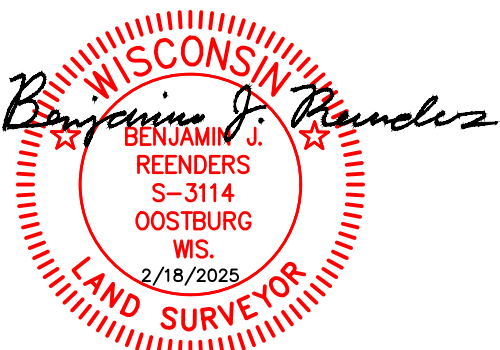
PERSONALLY came before me on this ____ day of _____, 2025
managing member to me known to be the persons who executed the foregoing certificate and
acknowledged the same.

Notary Public My Commission Expires _____

CITY OF WATERTOWN PLANNING COMMISSION APPROVAL

APPROVED by the City of Watertown Planning Commission on this ____ day of _____, 2025.

Planner



100 South 10th Street
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
ENGINEERS • SURVEYORS • DRAFTERS
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GENERAL PLAN DEVELOPMENT

THE OXBOW

A multifamily residential development in
WATERTOWN, WI



A PROPERTY BY
NORTH TOWN
PARTNERS

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INTRODUCTION

NORTH TOWN PARTNER'S DEVELOPMENT EXPERIENCE

North Town Partners started in the automotive business. Van Horn Automotive Group operates 18 new and used car dealerships in Wisconsin and Iowa. While the primary business was selling vehicles, getting that job done required beautiful showrooms in great locations. As the company prospered, the scope of these real estate activities grew. Somewhat unknowingly, Van Horn Automotive developed a strong property management organization.

To take advantage of these newly developed competencies, Chuck Van Horn, CEO of Van Horn Automotive Group, merged these two functions into a business unit, Van Horn Real Estate Development. Van Horn Real Estate Development was renamed to North Town Partners to reflect the businesses' separate focus from the automotive group.

Currently, North Town Partners' portfolio includes \$85M under management with several others under active construction & development. North Town Partners manages and operates all our communities to ensure the on-site Property Management is first-class.

North Town Partners is committed to developing INSPIRED, ENGAGED & DETAILED real estate experiences that provide value to the community. North Town Partners seeks to bring another such experience to the Watertown community with; THE OXBOW



Figure 1: Proposed Community Logo

PROJECT NARRATIVE

Project Introduction

North Town Partners (North Town) has an agreement in place with CADY EMERALD LLC to acquire the old Johnsonville Meat Processing Plant at the intersection of E Division St. & N 2nd St with the intent to build a 68-unit market-rate, luxury apartment & townhome community known as The Oxbow.

Community Overview

North Town’s proposed community includes 68 homes within 2 residential buildings. The primary building will be a 4-story, 65-unit apartment building. A smaller 3-unit, 3-story townhome building will front along 2nd Street, with an attached garage on the lower level. Both buildings will be under single commercial ownership all units are rentable as a singular multifamily community and no unit is individually for sale.

A variety of housing types was a guiding principle of this community. 36 One-bedroom, 18 Two-bedroom, and 14 Three-bedroom homes will be provided as detailed in the table inset at right. However, the Three-bedroom homes will be split amongst traditional apartment style, a hybrid townhome style unit within the apartment building, and a traditional townhome style home along 2nd street.

Type	#	%
3-Bed Townhome	9	13
1-Bedroom Apt	36	53
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

PROPOSED PLANNED DEVELOPMENT DESCRIPTION

General Project Themes and Images



Figure 2: Watertown Public Library

North Town Partners collaborated with Abacus Architects to bring the Oxbow project to life. After several visits to Watertown, the project team was inspired by the Public Library, which served as the foundation for the project’s theme. The design aesthetic of the Oxbow will reflect clean, classic, and simplistic elegance, skillfully blending elements of historic and classical architecture with modern touches.

Along with the design inspiration, the project team also wanted to incorporate a color palette that would stand the test of time and not select a design trend that will fall out of style within a decade. Again, utilizing the library as an example, a warm neutral palette was selected along with a cream-colored masonry which appears to be the predominant masonry theme in Watertown.

Lastly, the team focused on the active open space to provide an enhanced quality of life & a sense of community that encourages community interaction with the natural and surrounding amenities. The obvious aspect of this is the activation and use of the riverfront to tie the community to the surrounding area. However, this also includes balcony and patio spaces for the units including large rooftop patios on the tiered, endcap, hybrid townhome units. This also achieved the desired effect of stepping the building down at the periphery to better blend a higher density building into the surrounding residential areas.



Figure 3: Proposed Color Palette

Below is a rendered exterior elevation of the front of the building. Please see Exhibit A for the complete Architectural renderings of the proposed development and Exhibit B for the Site Plan.



Figure 4: Exterior Rendering

General Mix of Dwelling Unit Types and Land Uses

As mentioned in the Project narrative the general mix of dwelling types is included in the table to the right. Land use will be exclusively Residential (Central Business Apartments).

Type	#	%
3-Bed Townhome	9	13
1-Bedroom Apt	36	53
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

Residential Densities

The residential density of the proposed development is described by the various intensity calculations below:

- Dwelling Units per Acre [38.9]
- Floor Area Ratio [0.36]
- Impervious Surface Area Ratio [0.62]

Natural Features

As alluded to earlier in the narrative the existing site condition is a vacant, partially paved & graveled site that generally slopes from N 2nd Street down to the Rock River. The site was the existing location of a Johnsonville meat processing plant that has since been demolished, filled in, and rough-graded to its current state. Based on Aerial Images and historical records the site was fully improved and impervious to the river except for the NW flag parcel that has since been incorporated into the property.



Figure 5: Aerial of Existing Plant



Figure 6: Current Site Conditions

All wet and dry utilities are already available and stubbed into the property given its existing use. Of note, there is a sewer line that crosses under the Rock River along the direction connecting Rock Street to Cole Street and then a lateral extends north running parallel to the river. The proposed building orientation and setback account for this sewer line to ensure no part of the building is over the sewer line and any easement.

Given the sloping topography of the site, the team is proposing a lower parking level, exposed on the west side and underground on the east side. This will allow the community to be developed with reduced impact on the overall mass grading of the site.

Lastly, it should be noted that this property is bisected by the county line separating Dodge and Jefferson counties. Additional considerations are being made to account for this demarcation as it will affect

municipal reporting, voting districts, zoning requirements, etc.

Relationship to Nearby Properties and Public Streets

The site is bounded by a mix of business & single-family homes to the north, Cole Street to the south, N 2nd Street to the east, and finally by the Rock River to the west. The table to the right notates the various setback information. To better blend the building into the surrounding residential areas, the apartment building will step down on the edges. The Townhome building will front N 2nd Street in a traditional reduced setback nature to provide that sense of urban/suburban living while still providing access to rear-loaded attached garages. A Location Map provided in Exhibit C also provides further details on the surrounding area.

Setback	Feet
North (Side-Residential)	10
South (Side-Street)	0
East (Front-Street)	3
West (Rear)	64

As part of the development process, North Town partners will seek the discontinuance of the northern half of the Cole Street ROW. Vacating this ROW will allow the community to provide additional Townhome units along N 2nd Street, increased setbacks, and better orientation of the overall property. Cole Street will serve as the primary access road to the garage opening to the lower parking level while the main entrance at the surface level will be aligned with the E Division Street extension to the property.

Cohesion to Watertown’s Guiding Principles

The Oxbow will contribute to and reinforce Watertown’s 2040 Vision Statement and its Overarching Plan Recommendations such as:

- Promote high-quality design in any new multi-family, mixed-use, commercial, and industrial development, traditional neighborhood development, and interconnected neighborhoods.
- Facilitate smart growth by utilizing opportunities for redevelopment throughout the city
- Focus investment downtown and along the Rock River
- Encourage redevelopment of brownfield sites

Watertown boasts impressive community assets that enhance its appeal to residential development. Located midway between Milwaukee and Madison, the city sits along the Rock River, featuring an up-and-coming downtown area and a beautiful riverwalk. The Oxbow will seek to tap into these assets and design esthetics, amenities, and connectivity around these features.

The main focus will be the Rock River. The Oxbow will be oriented to maximize views of the Rock River, both to the immediate west and the north. A sanitary sewer line running parallel to the river will inherently create a greenspace that will be activated with public-private features. A promenade, grilling stations, a fire pit, and lounge areas will not only provide great community amenities but will also provide access for sanitary line maintenance if required.

Although not located on the main downtown corridor, the Oxbow aims to enhance the overall downtown area. By redeveloping an underutilized brownfield site, the Oxbow intends to serve as a catalytic development that will draw further investment into this part of Watertown. This site is identified in various downtown planning efforts as a key area for pedestrian connectivity. North Town Partners will collaborate with the City to establish a pedestrian corridor anchor and hopes to bring the envisioned riverwalk to fruition.

According to RINKA’s Downtown River Corridor Opportunity Analysis & Strategic Development Plan, respondents prioritized high-quality public amenities, investment opportunities, and walkability/connectivity. The Oxbow will address these priorities while leveraging residential density to support existing businesses. The spending power of future residents is expected to bolster local businesses and retailers, contributing to economic and employment growth. Exhibit D presents the estimated annual spending by residents of The Oxbow, showing a total estimated spending by households of around \$5,500,000.

Furthermore, housing demand is significantly driven by the need to provide accommodations for a growing population, along with a variety of housing options for a diverse community. The Oxbow offers a range of new housing options that specifically address these needs for current and future residents. With one to three-bedroom apartment units, hybrid apartment townhomes, and traditional townhome units, the proposed community will attract young professionals, provide new opportunities for current City residents, and allow residents to age and thrive in place.

Planned Development Rationale

North Town Partners respectfully requests that the City consider this development, as outlined in the accompanying information and drawings. In alignment with the City’s overarching principles, North Town Partners aims to create inspired, detailed, and engaged communities that feature dynamic, community-oriented amenities. This approach is designed to enhance the area’s character, foster a sense of place, and support future investments. Maximizing the overall density of the community is essential for the financial viability of the project. To ensure a high-quality, well-amenitized, and efficiently managed operation, we are seeking a minimum of 70 to 80 residential units. Achieving this density on a prioritized brownfield redevelopment site of just 1.6 acres presents challenges that conflict with standard zoning regulations. The overall impact of this project is intended to catalyze revitalization in the Downtown River Corridor and fulfill one of the City’s top three priorities as outlined in the Comprehensive Plan. To accomplish this goal, North Town Partners is requesting the proposed PD zoning with requested exemptions as listed below.

Zoning Standards Comparison

Listed below are the zoning standards listed for the Central Business District and how they compare to the proposed Planned Development:

Residential Land Use Standards

Central business apartments (more than 12 dwelling units).	Proposed PD
This dwelling unit type consists of an attached, multifamily residence that takes access from a shared entrance or hallway.	Meets
Dwelling units are allowed on the first floor.	Utilized
A minimum building code required fire-rated wall assembly division, separating living areas from the lowest level to the underside of the roof is required between each dwelling unit.	Meets
No fewer than 12 dwelling units may be located in a building.	Meets
Central business apartments shall only be allowed within the Central Business Zoning District.	Meets
Central business apartments shall not be allowed on a historic site or a contributing property located within a historic district regulated under Chapter 325 of the City of Watertown Municipal Code.	Meets (subsections do not apply)
Central business apartments shall also be required to go through the planned unit development process under § 550-152.	Meets
Access limitation of dwelling unit to commercial uses. No dwelling unit shall open directly into or shall be used in conjunction with a principal or accessory commercial land use.	Meets

Bulk Standards

Zoning District	Minimum Lot Area (sqft)	Minimum Lot Width (ft)	Minimum Setbacks (feet)				Minimum Building Separation (feet)	Maximum Building Height (feet)
			Front / Street; Side	Rear	Side/Rear from Accessory	Pavement		
Central Business	2000	10	Maximum setback of 0 feet or block average, except per Plan Commission as a component of site design; side yard is 10 feet from residential	0/10 ¹	3/5 ²	0 ³	Maximum is 0, except per Plan Commission	50; minimum is 20, except per Plan Commission
Proposed PD	70,567	225	3 Front, 4 side (street), 10 side (residential)	64	NA	14	NA	49'-3" - 59'-3"

Notes:

- 1 Ten feet from residential districts
- 2 Accessory buildings shall be three feet from the property line, five feet from an alley
- 3 Five feet from side and rear lot lines, except where modified along district boundary by required buffer yard; see § 550-99; 10 feet from front or street line.

Regarding the parking and loading standards, it's important to note that "within the Central Business (CB) District, the parking requirements of this chapter are hereby waived" §550-107G(4). Nevertheless, the team aims to comply with the guidelines outlined in this chapter to the best of their ability. The proposed standards related to the code are listed in the table below.

Off-street Parking Layout Dimensions

Description	Parking lot design standards (90-degree parking angle) (feet)					Parking module width (feet)	
	Stall width at parking angle	Stall width parallel to aisle	Stall depth to wall	Stall length (including 1.5-foot curb overhang)	Aisle width	Wall to wall (single-loaded)	Wall to wall (double-loaded)
Code	9	9	18.5	18.5	26	44.5	63
Proposed	9	9	exceeds	19.5	24	42	60

Below are the Density and Intensity standards comparison tables for review:

Density Standards

Zoning District	Development Option	Maximum Gross Density (MGD)	Minimum Lot Area (MLA)	Minimum Zoning District Area	Minimum Landscape Surface Ratio (LSR)
Central Business	Institutional	Up to 50 du/acre per the limits of the conditional use permit	9,000 sf	9,000 sf	0%
Proposed PD	Institutional	38.9 du/acre	70,567 sf	70,567 sf	38%

Non-Residential Intensity Standards

Zoning District	Maximum Number of Floors	Minimum Landscape Surface Ratio (LSR)	Maximum Floor Area Ratio (FAR)	Minimum Lot Area (MLA)	Maximum Building Size (MBS)
Central Business	4	0%	3.00	2,000 sf	NA
Proposed PD	4+1	38%	0.36	70,567 sf	27,798 sf

Requested Exemptions

As shown in the previous section, the project team has designed the Oxbow community to almost all of the standards listed for the Central Business District. The exception is the maximum building height. Due to the sloping nature of the site and the exposed lower parking level the height of the building from the west exceeds the 50 feet maximum, while from the east it is below. Measuring the 1st floor to the highest point is 49'-3" while measuring the garage floor to the highest point is 59'-3". The team requests a maximum height exemption from the Plan Commission.

Lastly, the Team has provided some conceptual landscaping within the architectural renderings but understands that the City of Watertown has robust landscaping calculations and standards listed per code. The Team plans to meet or exceed these requirements upon full buildout of the Site Landscaping Plans.

EXHIBIT A
Architectural Renderings
&
General Conceptual Landscaping









EXHIBIT B
Site Plan
&
General Floor Plans

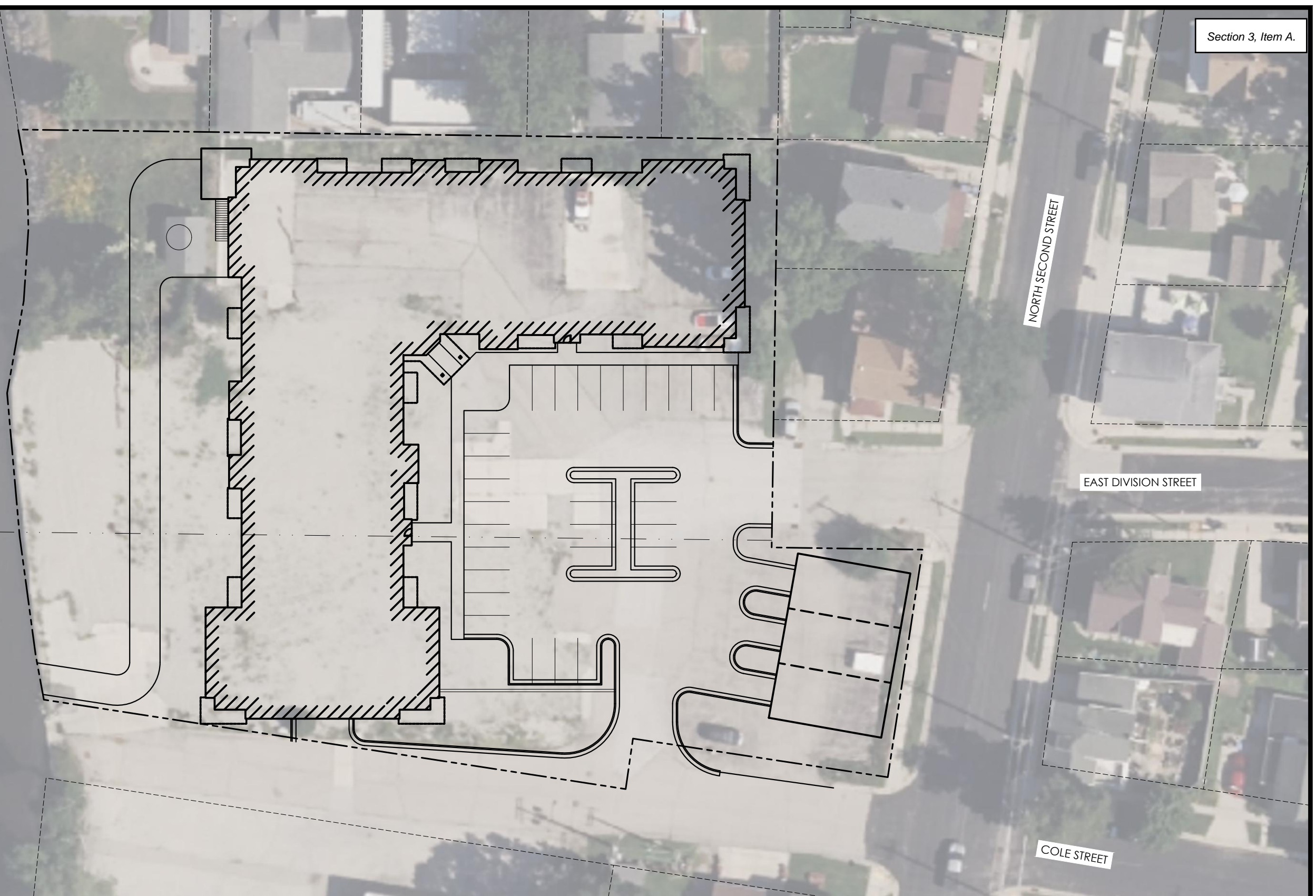
SITE PROPERTIES

PROPOSED BUILDING AREA: 27,798 SQFT (0.64 AC)
 PROPOSED PAVEMENT AREA: 13,736 SQFT (0.31 AC)
 PROPOSED CONCRETE AREA: 5,584 SQFT (0.13 AC)
 PROPOSED GREENSPACE AREA: 29,152 SQFT (0.67 AC)
 TOTAL PROPERTY AREA: 70,567 SQFT (1.75 AC)

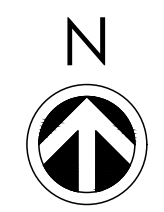
FLOOR AREA RATIO: 0.36
 IMPERVIOUS SURFACE RATIO: 0.62
 LANDSCAPE AREA RATION: 0.38

ZONING - CB

DODGE COUNTY
 JEFFERSON COUNTY



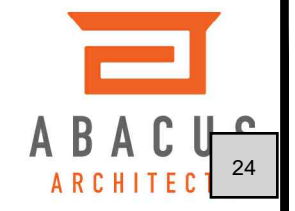
SITE PLAN



SCALE: 1"=40'

February 19, 2025
Watertown Apartments
 Watertown, WI Proj. No.

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2/19/2025

F:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3.3 Site\2024\171 - Site Base.dwg

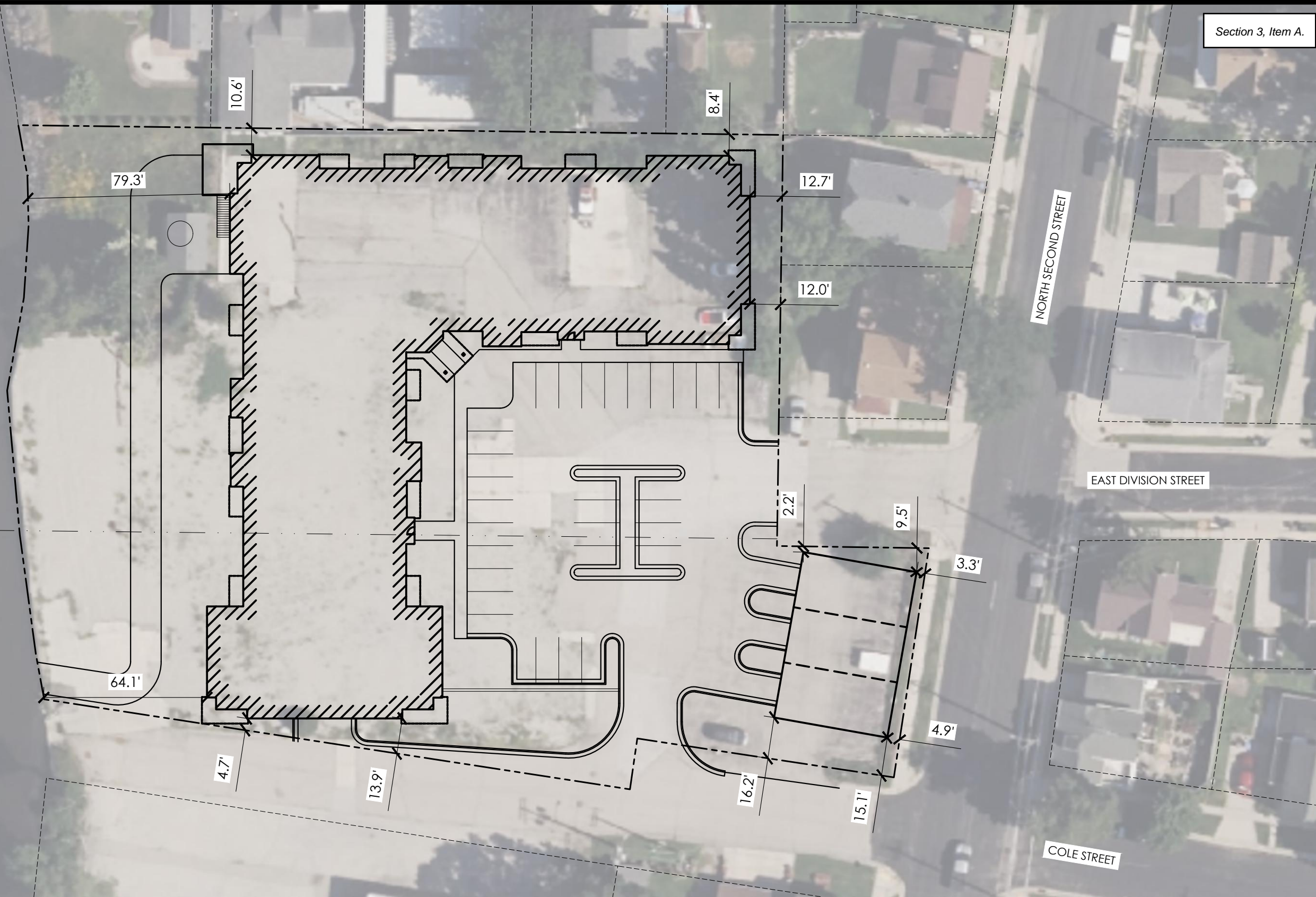
SITE PROPERTIES

PROPOSED BUILDING AREA: 27,798 SQFT (0.64 AC)
 PROPOSED PAVEMENT AREA: 13,736 SQFT (0.31 AC)
 PROPOSED CONCRETE AREA: 5,584 SQFT (0.13 AC)
 PROPOSED GREENSPACE AREA: 29,152 SQFT (0.67 AC)
 TOTAL PROPERTY AREA: 70,567 SQFT (1.75 AC)

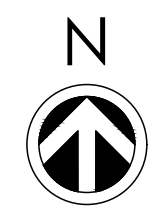
FLOOR AREA RATIO: 0.36
 IMPERVIOUS SURFACE RATIO: 0.62
 LANDSCAPE AREA RATION: 0.38

ZONING - CB

DODGE COUNTY
 JEFFERSON COUNTY



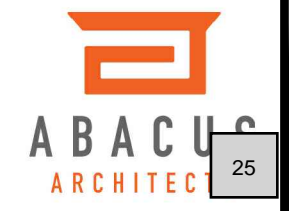
SITE PLAN



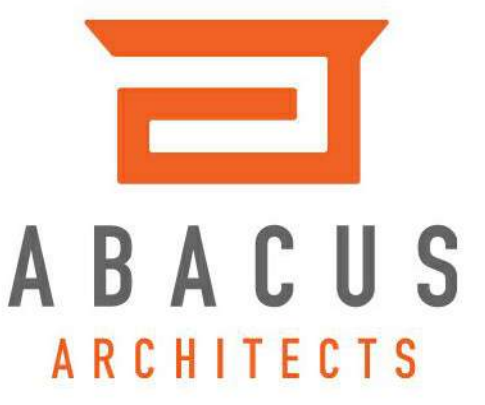
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February 19, 2025
Watertown Apartments
 Watertown, WI Proj. No.

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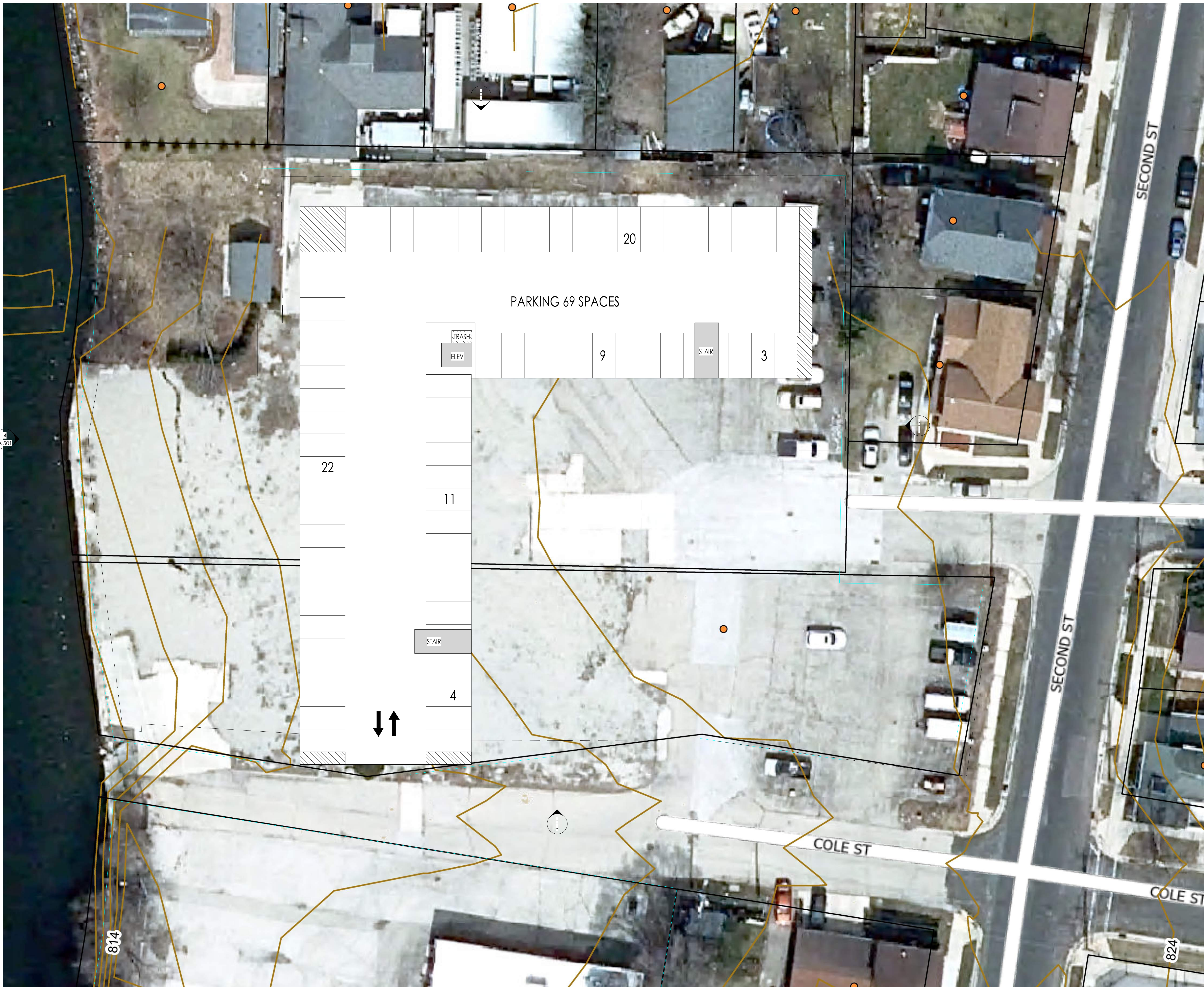
2/19/2025
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REVISIONS:

DATE	ISSUE

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 BIDDERS SHALL REVIEW ALL DRAWINGS AND SPECIFICATION SECTIONS TO DETERMINE THE IMPACT OF OTHER SECTIONS OF WORK ON THEIR OWN WORK
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68 UNITS WITH 71 INDOOR PARKING SPACES
 9 - TOWN HOMES (3 BEDS)
 5 - 3 BEDS
 18 - 2 BEDS
 36 - 1 BEDS

ISSUE DATE: MONTH/DAY/YEAR
 PROJECT DESCRIPTION
PROJECT NAME
 STREET ADDRESS, CITY, STATE, ZIP

1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 720.452.4444 | 640 VEL. R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

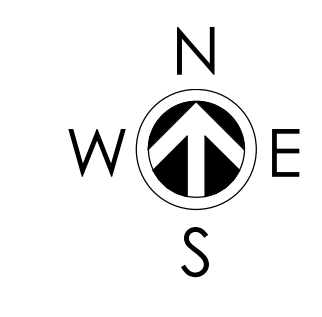
DRAWN BY: Author
 CHECKED BY: Checker

LOWER LEVEL

A
300

PROJ. NO. XXXX-XX

LOWER LEVEL
 SCALE: 1/16" = 1'-0"

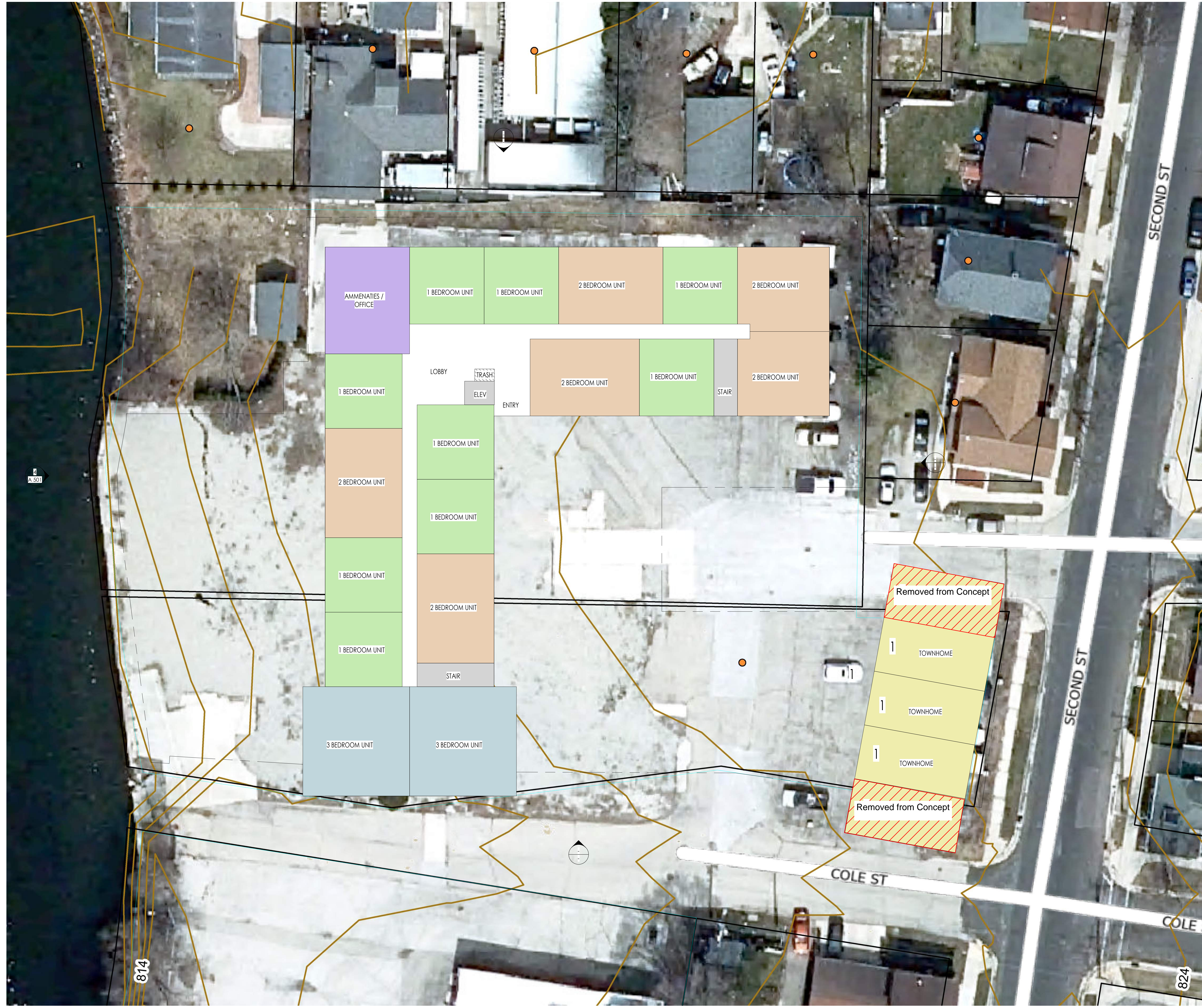




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- 20 UNITS
- 3 - TOWN HOMES (3 BEDS)
- 2 - 3 BEDS
- 6 - 2 BEDS
- 9 - 1 BEDS

ISSUE DATE: MONTH/DAY/YEAR
 PROJECT DESCRIPTION
PROJECT NAME
 STREET ADDRESS, CITY, STATE, ZIP
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 720.452.4444 | 640 VILLE PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

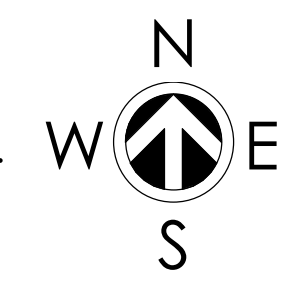
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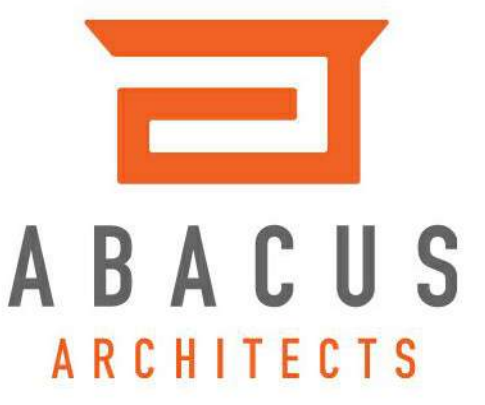
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 CHECKED BY: Checker

FIRST FLOOR
A
301

PROJ. NO. XXXX-XX

FIRST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

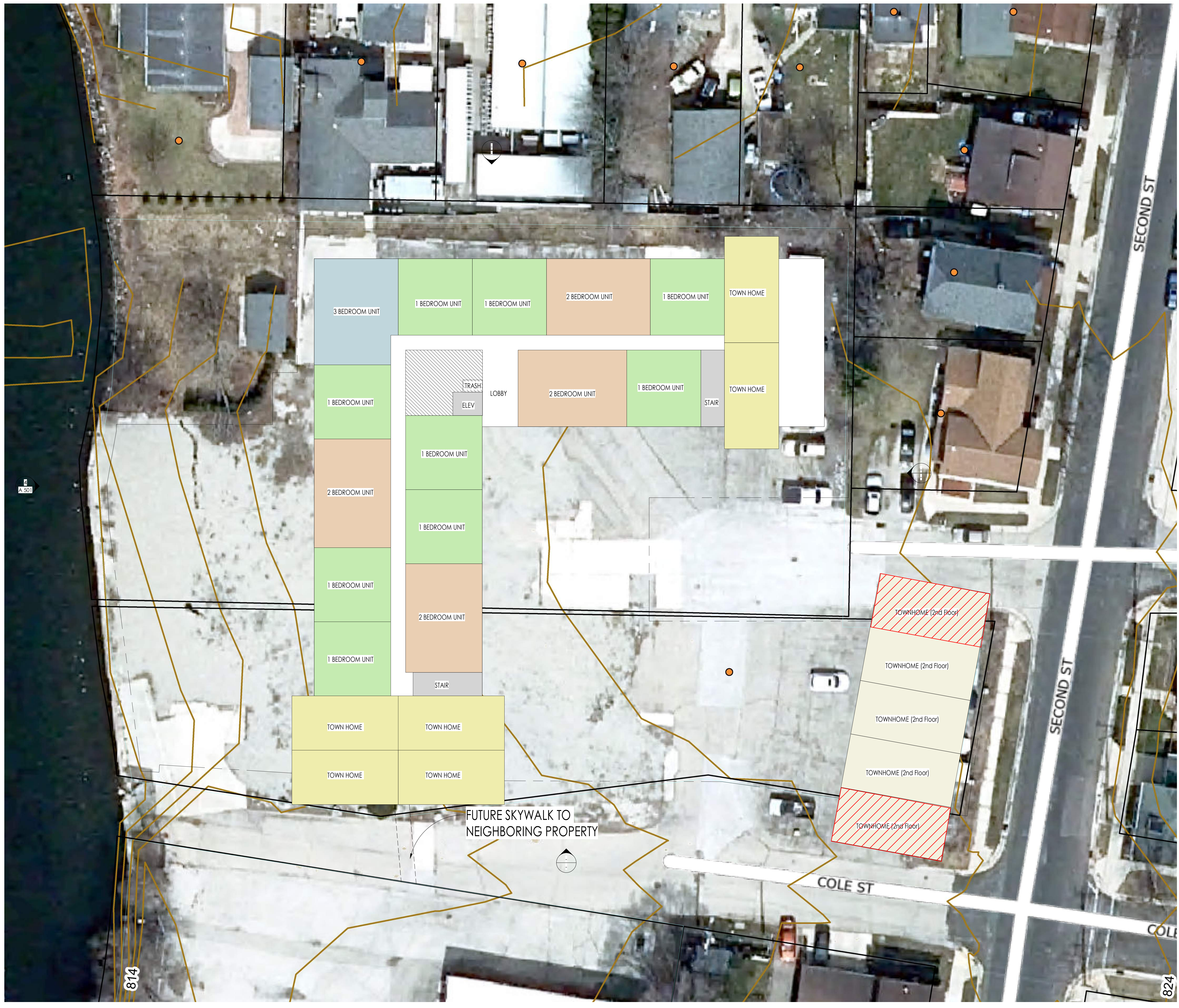




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- 20 UNITS
- 6 - TOWN HOMES (3 BEDS)
- 1 - 3 BEDS
- 4 - 2 BEDS
- 9 - 1 BEDS

ISSUE DATE: MONTH/DAY/YEAR
 PROJECT DESCRIPTION
PROJECT NAME
 STREET ADDRESS, CITY, STATE, ZIP
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 9201 452-4444 | 640 VEL. R. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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 CHECKED BY: Checker

SECOND FLOOR

A
302

PROJ. NO. XXXX-XX

SECOND FLOOR
 SCALE: 1/16" = 1'-0"





REVISIONS:

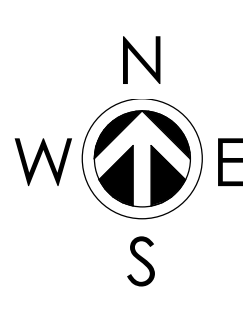
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14 UNITS
 1 - 3 BEDS
 4 - 2 BEDS
 9 - 1 BEDS

THIRD FLOOR
 SCALE: 1/16" = 1'-0"



ISSUE DATE: MONTH/DAY/YEAR
 PROJECT DESCRIPTION
PROJECT NAME
 STREET ADDRESS, CITY, STATE, ZIP
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 729/452-4444 | 640 VILLE PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

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THIRD FLOOR
A
303

PROJ. NO. XXXX-XX



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14 UNITS
 1 - 3 BEDS
 4 - 2 BEDS
 9 - 1 BEDS

FOURTH FLOOR
 SCALE: 1/16" = 1'-0"



ISSUE DATE: MONTH/DAY/YEAR
 PROJECT DESCRIPTION
PROJECT NAME
 STREET ADDRESS, CITY, STATE, ZIP
 1135A MICHIGAN AVE. SHEBOYGAN, WI 53081 | 720/452-4444 | 640 VET. DR. PHILIPS AVE. SUITE 210, MILWAUKEE, WI 53203

PRELIMINARY - NOT FOR CONSTRUCTION

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FOURTH FLOOR

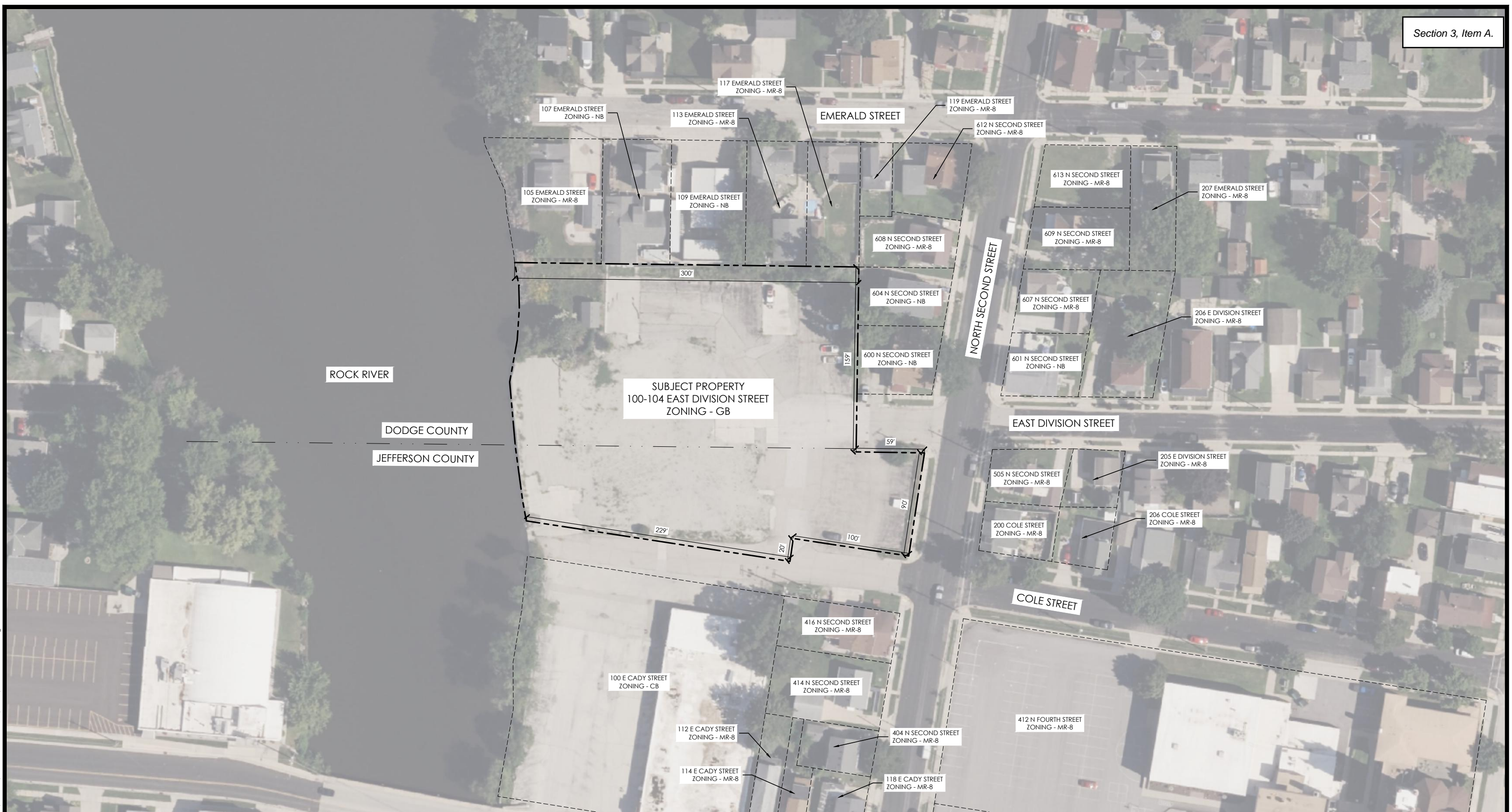
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PROJ. NO. XXXX-XX

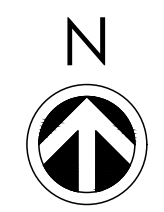
EXHIBIT C
Location Map

2/19/2025

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LOCATION MAP



SCALE: 1"=80'

February 19, 2025
Watertown Apartments
 Watertown, WI Proj. No. 2024-171

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EXHIBIT D
Estimated Annual Spending by Residents

Estimated Annual Spending by Residents

The Oxbow
Watertown, WI

February-25

<i>Cataorgy</i>	<i>Avg. Annual Expenditure</i>
Food	\$ 10,100
Alcoholic beverages	\$ 626
Housing	\$ 25,758
Apparel and services	\$ 2,036
Transportation	\$ 13,310
Healthcare	\$ 6,263
Entertainment	\$ 3,680
Personal care products and services	\$ 940
Reading	\$ 157
Education	\$ 1,644
Tobacco products and smoking supplies	\$ 391
Miscellaneous	\$ 1,253
Cash contributions	\$ 2,427
Personal insurance and pensions	\$ 9,708
Total Average Annual Expenditures per HH	\$ 78,292

LESS "Homeowner Expenses"	
Mortgage Payment & Basics	\$ 13,811
Maintenance & Remodeling Services	\$ 4,639
Maintenance & Remodeling Materials	\$ 752
Lawn & Garden	\$ 662
Subtotal	\$ 19,864

SUBTOTAL - Annual Expenditures per Renter Household Excluding Rent \$ **58,428**

Average monthly rent at The Oxbow	\$ 2,030
PLUS Ave. Annual Rent	\$ 24,360
TOTAL - Annual Expenditures per Oxbow Household	\$ 82,788

Total Homes in the Oxbow Community	69
Adjusted for (95% occupancy)	66
Total Residents (avg. household size of 2.4)	158

TOTAL Annual Expenditures by The Oxbow Households \$ **5,500,000**

Source: North Town Partners analysis, Bureau of Labor Statistics & ESRI "Retail Goods & Services Expenditures" report

EXHIBIT E
General Signage Plan



A Qty: 1
Double Sided
Aluminum Monument Sign



Marshall Sign
920.526.3100 • marshallsign.com

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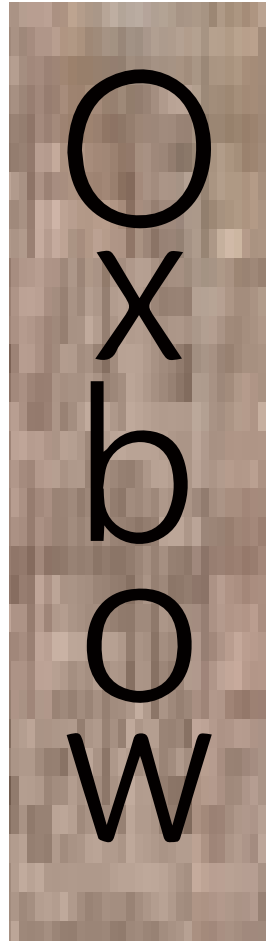
ACCOUNT: The Oxbow
LOCATION: _____
ACCT. REP: Jim Marshall
DATE: 2-19-24

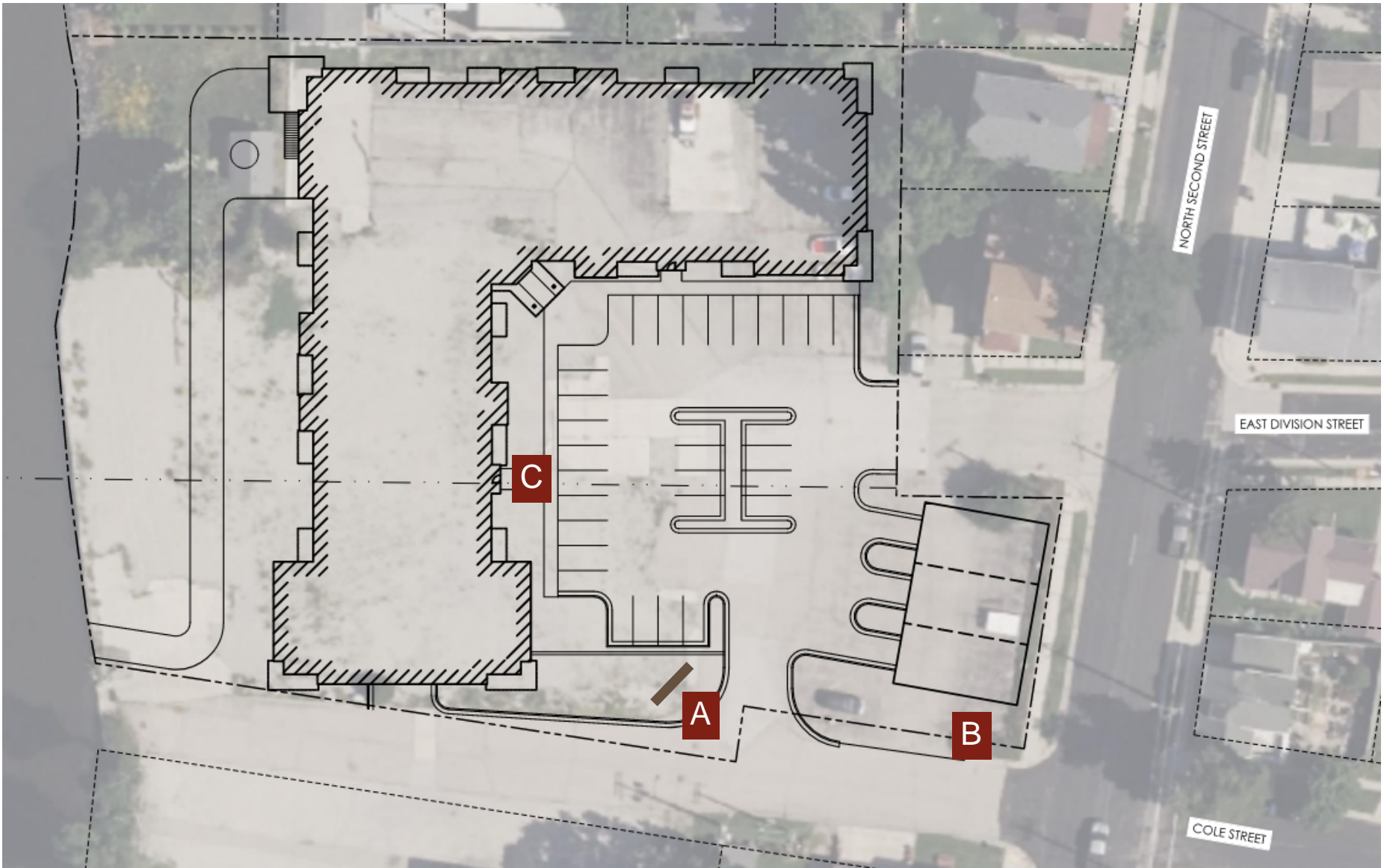
REVISIONS	
1	_____
2	_____
3	_____
4	_____
5	_____

B Qty: 1
Single Sided
Address Sign



C Qty: 1
Halo Illuminated Letters





PLANNED UNIT DEVELOPMENT OVERLAY

THE OXBOW – GDP & PIP NARRATIVE

A multifamily residential development in
WATERTOWN, WI



A COMMUNITY BY
NORTH TOWN
PARTNERS

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INTRODUCTION

NORTH TOWN PARTNER’S DEVELOPMENT EXPERIENCE

North Town Partners started in the automotive business. Van Horn Automotive Group operates 18 new and used car dealerships in Wisconsin and Iowa. While the primary business was selling vehicles, getting that job done required beautiful showrooms in great locations. As the company prospered, the scope of these real estate activities grew. Somewhat unknowingly, Van Horn Automotive developed a strong property management organization.

To take advantage of these newly developed competencies, Chuck Van Horn, CEO of Van Horn Automotive Group, merged these two functions into a business unit, Van Horn Real Estate Development. Van Horn Real Estate Development was renamed to North Town Partners to reflect the business's separate focus from the automotive group.

Currently, North Town Partners’ portfolio includes \$85M under management with several others under active construction & development. North Town Partners manages and operates all our communities to ensure the on-site Property Management is first-class.

North Town Partners is committed to developing INSPIRED, ENGAGED & DETAILED real estate experiences that provide value to the community. North Town Partners seeks to bring another such experience to the Watertown community with *THE OXBOW*



Figure 1: Proposed Community Logo

PROJECT NARRATIVE

Project Introduction

North Town Partners (North Town) has an agreement in place with CADY EMERALD LLC to acquire the old Johnsonville Meat Processing Plant at the intersection of E Division St. & N 2nd St with the intent to build a 68-unit luxury apartment & townhome community known as The Oxbow.

Community Overview

North Town’s proposed community includes 68 homes within 3 residential buildings (2 of which share a zero-lot line). The primary buildings will be 4-story apartment buildings (14 units in the south & 51 units in the north). A smaller 3-unit, 3-story townhome building will front along 2nd Street, with an attached garage on the lower level. All buildings will be under single commercial ownership, all units are rentable as a singular multifamily community, and no unit is individually for sale.

A variety of housing types was a guiding principle of this community. 4 Studio, 32 one-bedroom, 18 two-bedroom, and 14 three-bedroom homes will be provided, as detailed in the table inset on the right. However, the Three-bedroom homes will be split amongst traditional apartment style, a hybrid townhome style unit within the apartment building, and a traditional townhome style home along 2nd street.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

PROPOSED PLANNED DEVELOPMENT DESCRIPTION

General Project Themes and Images



Figure 2: Watertown Public Library

North Town Partners has engaged Abacus Architects to bring the Oxbow project to life. After several visits to Watertown, the project team was inspired by the Public Library, which served as the foundation for the project's theme. The design aesthetic of the Oxbow will reflect clean, classic, and simplistic elegance, skillfully blending elements of historic and classical architecture with modern touches.

Along with the design inspiration, the project team also wanted to incorporate a color palette that would stand the test of time and not select a design trend that would fall out of style within a decade. Again, utilizing the library as an example, a warm neutral palette was selected along with a cream-colored masonry which appears to be the predominant masonry theme in Watertown.

Lastly, the team focused on the active open space to provide an enhanced quality of life & a sense of community that encourages community interaction with the natural and surrounding amenities. The obvious aspect of this is the activation and use of the riverfront to tie the community to the surrounding area. However, this also includes balcony and patio spaces for the units, including large rooftop patios on the tiered, endcap, hybrid townhome units. This also achieved the desired effect of stepping the building down at the periphery to better blend a higher density building into the surrounding residential areas.



Figure 3: Proposed Color Palette

Below is a rendered exterior elevation of the front of the building. Please see Exhibit A for the complete Architectural renderings and material selections of the proposed development and Exhibit B for the Site Plan.



Figure 4: Exterior Rendering

General Mix of Dwelling Unit Types and Land Uses

As mentioned in the Project narrative the general mix of dwelling types is included in the table to the right. Land use will be exclusively Multifamily Residential.

Type	#	%
3-Bed Townhome	9	13
Studio Apt	4	6
1-Bedroom Apt	32	47
2-Bedroom Apt	18	26
3-Bedroom Apt	5	7

Residential Densities

The residential density of the proposed development is described by the various intensity calculations below:

- Dwelling Units per Acre [38.9]
- Floor Area Ratio [1.44]
- Impervious Surface Area Ratio [0.62]

Natural Features

As alluded to earlier in the narrative the existing site condition is a vacant, partially paved & graveled site that generally slopes from N 2nd Street down to the Rock River. The site was the existing location of a Johnsonville meat processing plant that has since been demolished, filled in, and rough-graded to its current state. Based on Aerial Images and historical records the site was fully improved and impervious to the river except for the NW flag parcel that has since been incorporated into the property.



Figure 5: Aerial of Existing Plant



Figure 6: Current Site Conditions

All wet and dry utilities are already available and stubbed into the property given its existing use. Of note, there is a sewer line that crosses under the Rock River along the direction connecting Rock Street to Cole Street and then a lateral extends north running parallel to the river. The proposed building orientation and setback account for this sewer line to ensure no part of the building is over the sewer line and any easement.

Given the sloping topography of the site, the team is proposing a lower parking level, exposed on the west side and underground on the east side. This will allow the community to be developed with reduced impact on the overall mass grading of the site.

Lastly, it should be noted that this property is bisected by the county line separating Dodge and Jefferson counties. Additional considerations are being made to account for this demarcation as it will affect

municipal reporting, voting districts, zoning requirements, etc.

Relationship to Nearby Properties and Public Streets

The site is bounded by a mix of business & single-family homes to the north, Cole Street to the south, N 2nd Street to the east, and finally by the Rock River to the west. The table to the right notates the various setback information. To better blend the building into the surrounding residential areas, the apartment building will step down on the edges. The Townhome building will front N 2nd Street in a traditional reduced setback nature to provide that sense of urban/suburban living while still providing access to rear-loaded attached garages. A Location Map provided in Exhibit C also provides further details on the surrounding area.

Setback	Feet
North (Side-Residential)	6.4
South (Side-Street)	0
East (Front-Street)	3
West (Rear)	61.4

As part of the development process, North Town partners will seek the discontinuance of the northern half of the Cole Street ROW. Vacating this ROW will allow the community to provide additional Townhome units along N 2nd Street, increased setbacks, and better orientation of the overall property. Cole Street will serve as the primary access road to the garage opening to the lower parking level while the main entrance at the surface level will be aligned with the E Division Street extension to the property.

Cohesion to Watertown’s Guiding Principles

The Oxbow will contribute to and reinforce Watertown’s 2040 Vision Statement and its Overarching Plan Recommendations such as:

- Promote high-quality design in any new multi-family, mixed-use, commercial, and industrial development, traditional neighborhood development, and interconnected neighborhoods.
- Facilitate smart growth by utilizing opportunities for redevelopment throughout the city
- Focus investment downtown and along the Rock River
- Encourage redevelopment of brownfield sites

Watertown boasts impressive community assets that enhance its appeal to residential development. Located midway between Milwaukee and Madison, the city sits along the Rock River, featuring an up-and-coming downtown area and a beautiful riverwalk. The Oxbow will seek to tap into these assets and design esthetics, amenities, and connectivity around these features.

The main focus will be the Rock River. The Oxbow will be oriented to maximize views of the Rock River, both to the immediate west and the north. A sanitary sewer line running parallel to the river will inherently create a greenspace that will be activated with public-private features. A promenade, grilling stations, a fire pit, and lounge areas will not only provide great community amenities but will also provide access for sanitary line maintenance if required.

Although not located on the main downtown corridor, the Oxbow aims to enhance the overall downtown area. By redeveloping an underutilized brownfield site, the Oxbow intends to serve as a catalytic development that will draw further investment into this part of Watertown. This site is identified in various downtown planning efforts as a key area for pedestrian connectivity. North Town Partners will collaborate with the City to establish a pedestrian corridor anchor and hopes to bring the envisioned riverwalk to fruition.

According to RINKA’s Downtown River Corridor Opportunity Analysis & Strategic Development Plan, respondents prioritized high-quality public amenities, investment opportunities, and walkability/connectivity. The Oxbow will address these priorities while leveraging residential density to support existing businesses. The spending power of future residents is expected to bolster local businesses and retailers, contributing to economic and employment growth. Exhibit D presents the estimated annual spending by residents of The Oxbow, showing a total estimated spending by households of around \$5,500,000.

Furthermore, housing demand is significantly driven by the need to provide accommodations for a growing population, along with a variety of housing options for a diverse community. The Oxbow offers a range of new housing options that specifically address these needs for current and future residents. With one to three-bedroom apartment units, hybrid apartment townhomes, and traditional townhome units, the proposed community will attract young professionals, provide new opportunities for current City residents, and allow residents to age and thrive in place.

Planned Development Rationale

North Town Partners respectfully requests that the City consider this development, as outlined in the accompanying information and drawings. In alignment with the City's overarching principles, North Town Partners aims to create inspired, detailed, and engaged communities that feature dynamic, community-oriented amenities. This approach is designed to enhance the area's character, foster a sense of place, and support future investments. Maximizing the overall density of the community is essential for the financial viability of the project. To ensure a high-quality, well-amenitized, and efficiently managed operation, we are seeking a minimum of 70 to 80 residential units. Achieving this density on a prioritized brownfield redevelopment site of just 1.6 acres presents challenges that conflict with standard zoning regulations. The overall impact of this project is intended to catalyze revitalization in the Downtown River Corridor and fulfill one of the City’s top three priorities as outlined in the Comprehensive Plan. To accomplish this goal, North Town Partners is requesting the proposed PD zoning with requested exemptions as listed below.

Zoning Standards Comparison

Listed below are the zoning standards listed for the Central Business District and how they compare to the proposed Planned Development:

Residential Land Use Standards

Land Use Standards	Central Business (CB) Zoning	Proposed PD
Multifamily Residential	Not Permitted without a PD	Flexibility Requested
Dwelling units are allowed on the first floor.	Not Permitted without a PD	Flexibility Requested
Landscaping Regulations	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Performance Standards	See Below & Requested Flexibilities	See Below & Requested Flexibilities
Signage Requirements	Flexibility Requested	Flexibility Requested
MR-10: Minimum zoning district area (13,100 sqft)	-	Meets (76,270 sqft)
MR-10: Maximum gross density (10.00 du/acre)	-	Flexibility Requested (38.9 du/acre)
MR-10: Minimum landscape surface ratio (50%)	-	Flexibility Requested (38%)
MR-10: Maximum building coverage (40%)	-	Meets (39%)
MR-10: Maximum accessory building coverage (10%)	-	Meets (4%)
MR-10: Minimum Lot Area (4,350sqft/du = 295,800 sqft)	-	Flexibility Requested (76,270 sqft)
MR-10: Minimum Lot Width (100 feet)	-	Meets (239 feet min)
MR-10: Minimum Street Frontage (50 feet)	-	Meets (50'-6" min)
MR-10: Minimum Setbacks	-	See Below & Requested Flexibilities
MR-10: Required Bufferyard	-	Flexibility Requested
MR-10: Minimum paved surface setback (3 feet from side or rear; 10 feet from street)	-	Meets (20'-8" side; 11'-7" street)

PARTNERS

MR-10: Minimum dwelling unit separation (20 feet or 0 feet along common wall)	-	Meets (0' along common wall)
MR-10: Maximum height of dwelling unit (35 feet)	-	Meets (29'-2" townhome top of 3 rd floor)
MR-10: Maximum height of accessory structure (18 feet)	-	Flexibility Requested (~41'-6" top of townhome)
MR-10: Minimum number of off-street parking spaces (143)	-	Flexibility Requested (103)
MR-10: Minimum dwelling core dimensions: 24' x 40'	-	Flexibility Requested (18'-6" x 28'-8" min)
Regulations applicable to nonresidential uses.	-	Not Applicable

Bulk Standards

Zoning District	Minimum Lot Area (sqft)	Minimum Lot Width (ft)	Minimum Setbacks (feet)				Minimum Building Separation (feet)	Maximum Building Height (feet)
			Front / Street; Side	Rear	Side/Rear from Accessory	Pavement		
Central Business	2000	10	Maximum setback of 0 feet or block average, except per Plan Commission as a component of site design; side yard is 10 feet from residential	0/10 ¹	3/5 ²	0 ³	Maximum is 0, except per Plan Commission	50; minimum is 20, except per Plan Commission
Proposed PD	70,567	225	3 Front, 4 side (street), 10 side (residential)	64	NA	14	NA	49'-3" - 59'-3"

Notes:

- 1 Ten feet from residential districts
- 2 Accessory buildings shall be three feet from the property line, five feet from an alley
- 3 Five feet from side and rear lot lines, except where modified along district boundary by required buffer yard; see § 550-99; 10 feet from front or street line.

Regarding the parking and loading standards, it's important to note that "within the Central Business (CB) District, the parking requirements of this chapter are hereby waived" §550-107G(4). Nevertheless, the team aims to comply with the guidelines outlined in this chapter to the best of their ability. The proposed standards related to the code are listed in the table below.

Off-street Parking Layout Dimensions

Description	Parking lot design standards (90-degree parking angle) (feet)					Parking module width (feet)	
	Stall width at parking angle	Stall width parallel to aisle	Stall depth to wall	Stall length (including 1.5-foot curb overhang)	Aisle width	Wall to wall (single-loaded)	Wall to wall (double-loaded)
Code	9	9	18.5	18.5	26	44.5	63
Proposed	9	9	exceeds	19.5	24	42	60

Below are the Density and Intensity standards comparison tables for review:

Density Standards

Zoning District	Development Option	Maximum Gross Density (MGD)	Minimum Lot Area (MLA)	Minimum Zoning District Area	Minimum Landscape Surface Ratio (LSR)
Central Business	Conventional	Up to 50 du/acre per the limits of the conditional use permit	9,000 sf	9,000 sf	0%
Proposed PD	Conventional	38.9 du/acre	70,567 sf	70,567 sf	38%

Non-Residential Intensity Standards

Zoning District	Maximum Number of Floors	Minimum Landscape Surface Ratio (LSR)	Maximum Floor Area Ratio (FAR)	Minimum Lot Area (MLA)	Maximum Building Size (MBS)
Central Business	4	0%	3.00	2,000 sf	NA
Proposed PD	4+1	38%	1.44	70,567 sf	27,798 sf

Requested Flexibilities

Given the unique nature of the property and the development proposed, North Town Partners is requesting the following flexibilities listed in the table below within the Planned Development Overlay:

PD OVERLAY REQUESTED FLEXIBILITIES

Flexibility Request	Proposed
Multifamily Residential Use in CB District	Multifamily Residential
Allow 1 st Floor Residential	17 units on the first floor above lower parking level
Total Dwelling Units (Apartment Building)	(2) Apartment Buildings of 12 units or more on 2 separate lots; 14-unit building & 51-unit building (65 units total)
Total Dwelling Units (Freestanding Townhomes)	(1) 3-unit townhome building
Maximum Gross Density	38.9 du /acre
Landscaping Requirements & Minimum Landscape Surface Ratio	Landscaping per the proposed landscaping plan (38% LSR)
MR-10 Minimum Lot Area	76,270 sqft
MR-10 Minimum Setbacks	Please see the Attached Site Plan
MR-10 Required Buffer Yard	No buffer yard proposed
MR-10 Maximum Height of Accessory Structure	~41'-6" top of townhome
MR-10 Minimum Number of Off-street Parking Spaces	103 stalls
MR-10 Minimum Core Dimensions	18'-6" x 28'-8" min (Studio)
Direct Access to a residential local or collector street	The lower parking level will have direct access off of Cole St.
Off-street Driveway Widths	24'
Parking Module Widths	42' Single Loaded & 60' Double Loaded
Floor Area Ratio	1.44
Building Height	Currently ranging from 49'-3" to 59'-3"
Waterway Overlay District Setback Requirement	61.4'
Zero Lot Line	(2) MF apartment buildings with zero lot line wall
Zero Lot Line Access Points	Internal Access points between 2 zero lot line buildings (hallways on resident levels and within the parking level)
*Assuming State Variance Approval	
Fire Curtain in the parking level	Eliminate the need for an additional fire curtain in the parking level given the fire rating of the proposed floor system (spancrete)
Signage	Signage per the proposed Signage plan. Given the 2 building, 2 addresses, & 2 building entryways nature of this development, additional signage is being requested

EXHIBIT A
Architectural Renderings
&
Material Selections





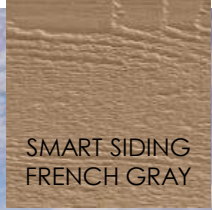




WATERTOWN APARTMENTS – EXTERIOR MATERIALS



SMART SIDING
WHITE



SMART SIDING
FRENCH GRAY



EXTERIOR
METALS
BLACK



MANUFACTURED
STONE
CASA DI SASSI
BOLZANO



LUX IRONWOOD
HORIZONTAL
METAL SIDING



1. LUX
CHARWOOD
VERTICAL METAL
SIDING



WATERTOWN APARTMENTS – EXTERIOR MATERIALS



WATERTOWN APARTMENTS – EXTERIOR MATERIALS



WATERTOWN APARTMENTS – EXTERIOR MATERIALS

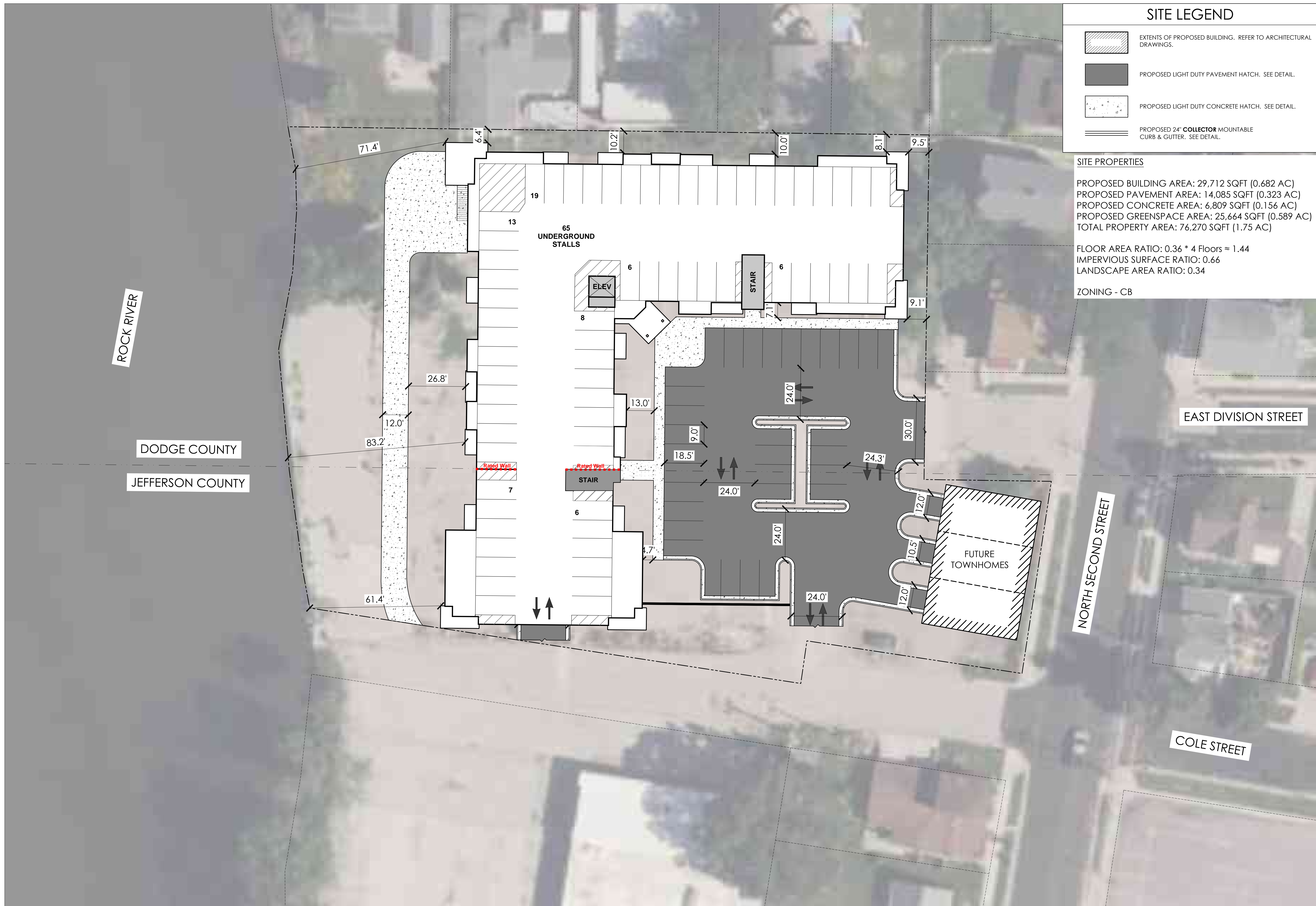


WATERTOWN APARTMENTS – EXTERIOR MATERIALS



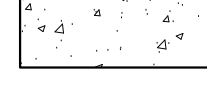
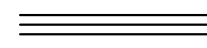


EXHIBIT B
Site Plan with Unit Layouts
&
Landscaping Plan

March 12, 2025
P:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3 Site\2024-171 - Base.dwg



SITE LEGEND

-  EXTENTS OF PROPOSED BUILDING. REFER TO ARCHITECTURAL DRAWINGS.
-  PROPOSED LIGHT DUTY PAVEMENT HATCH. SEE DETAIL.
-  PROPOSED LIGHT DUTY CONCRETE HATCH. SEE DETAIL.
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 IMPERVIOUS SURFACE RATIO: 0.66
 LANDSCAPE AREA RATIO: 0.34

ZONING - CB

REVISIONS:

DATE	ISSUE

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 1135A MICHIGAN AVE., SHEBOYGAN, WI 53081 | (920) 452-4444 | 640 N VEL R, PHILLIPS AVE, SUITE 210 MILWAUKEE, WI 53203

DRAWN BY: MBS

CHECKED BY: JRV

LOWER LEVEL PLAN

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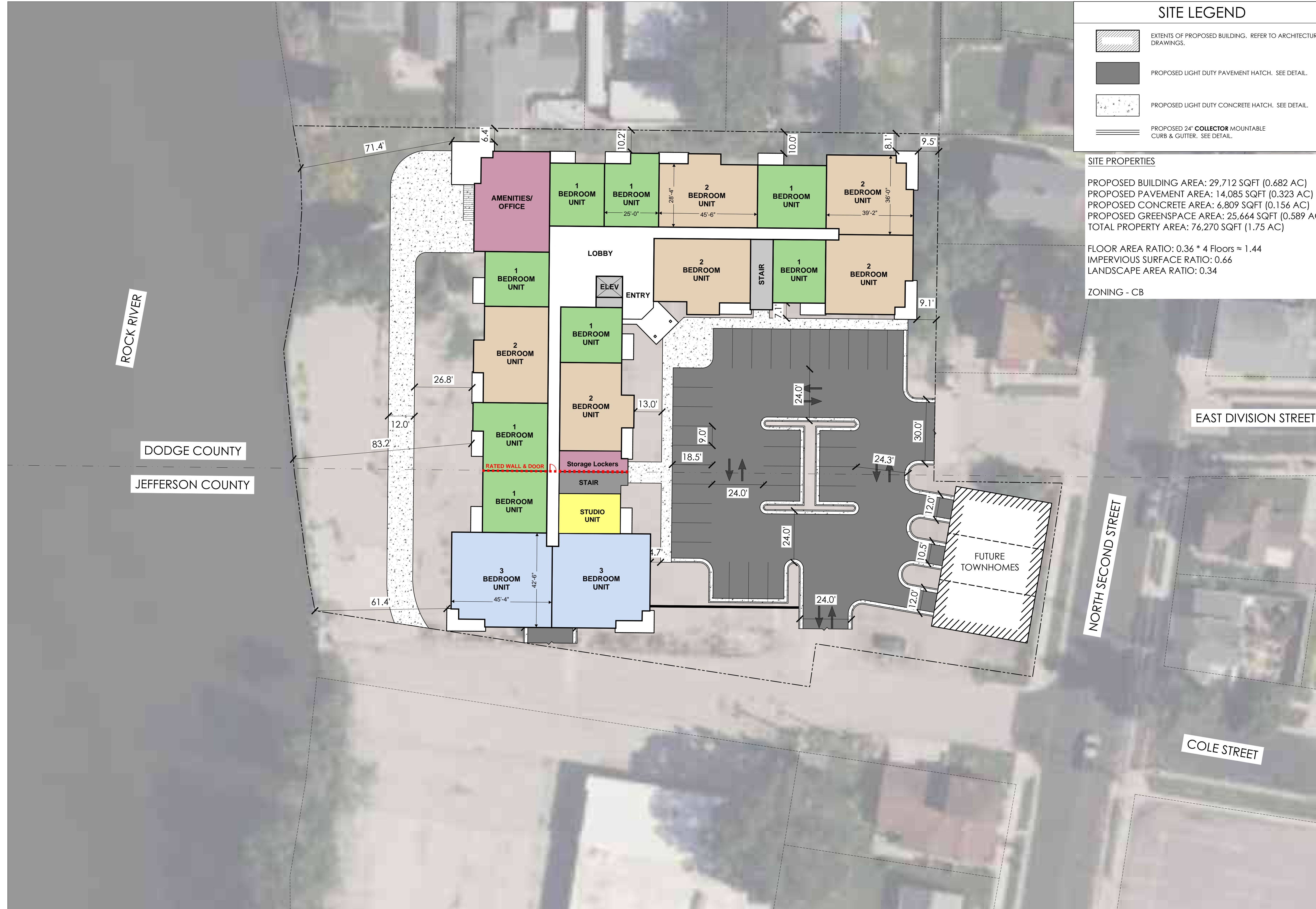
PROJ. NO. 2024-171

LOWER LEVEL PLAN



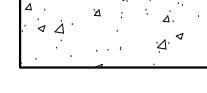
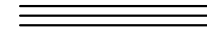
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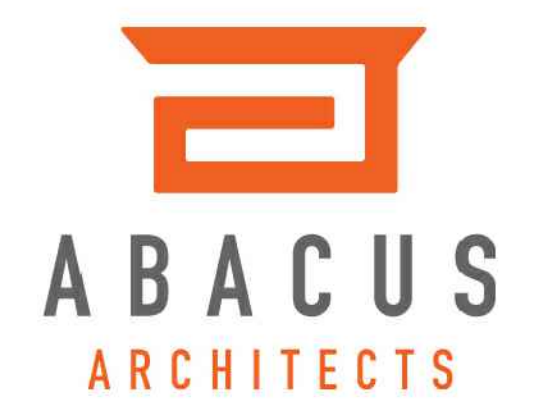
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ROCK RIVER

DODGE COUNTY

JEFFERSON COUNTY

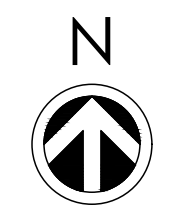
EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

FUTURE TOWNHOMES

FIRST FLOOR PLAN



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DRAWN BY: MBS

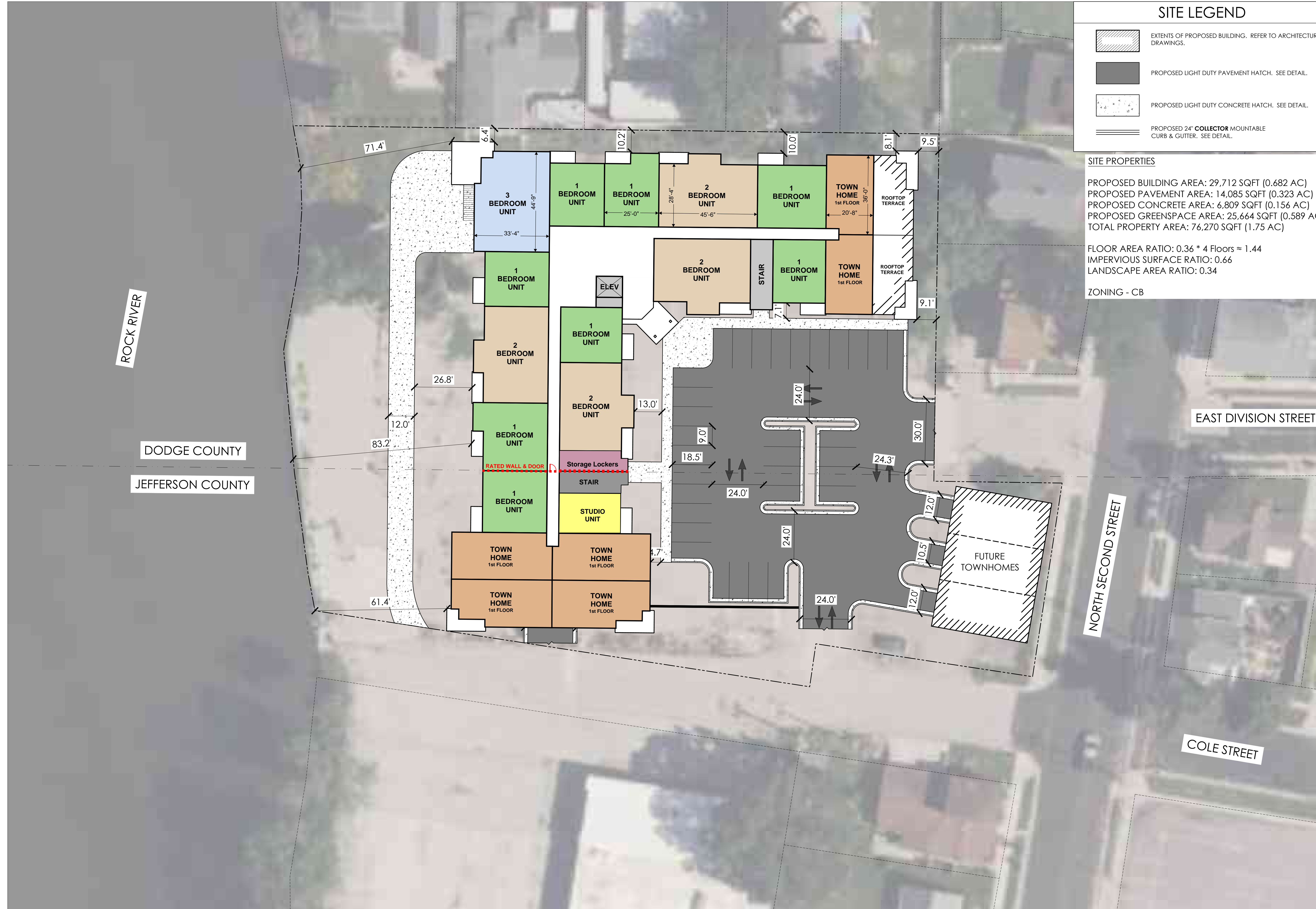
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FIRST FLOOR PLAN

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PROJ. NO. 2024-171

March 12, 2025
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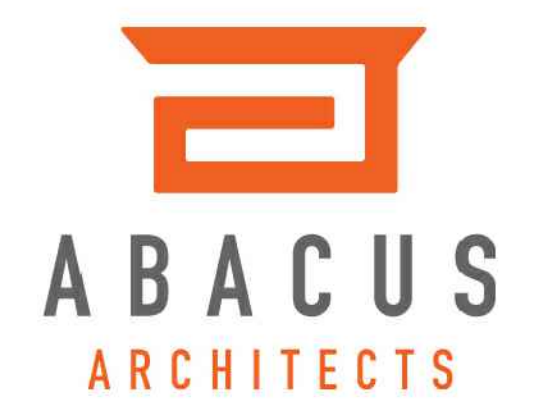
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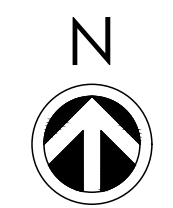
SECOND FLOOR PLAN

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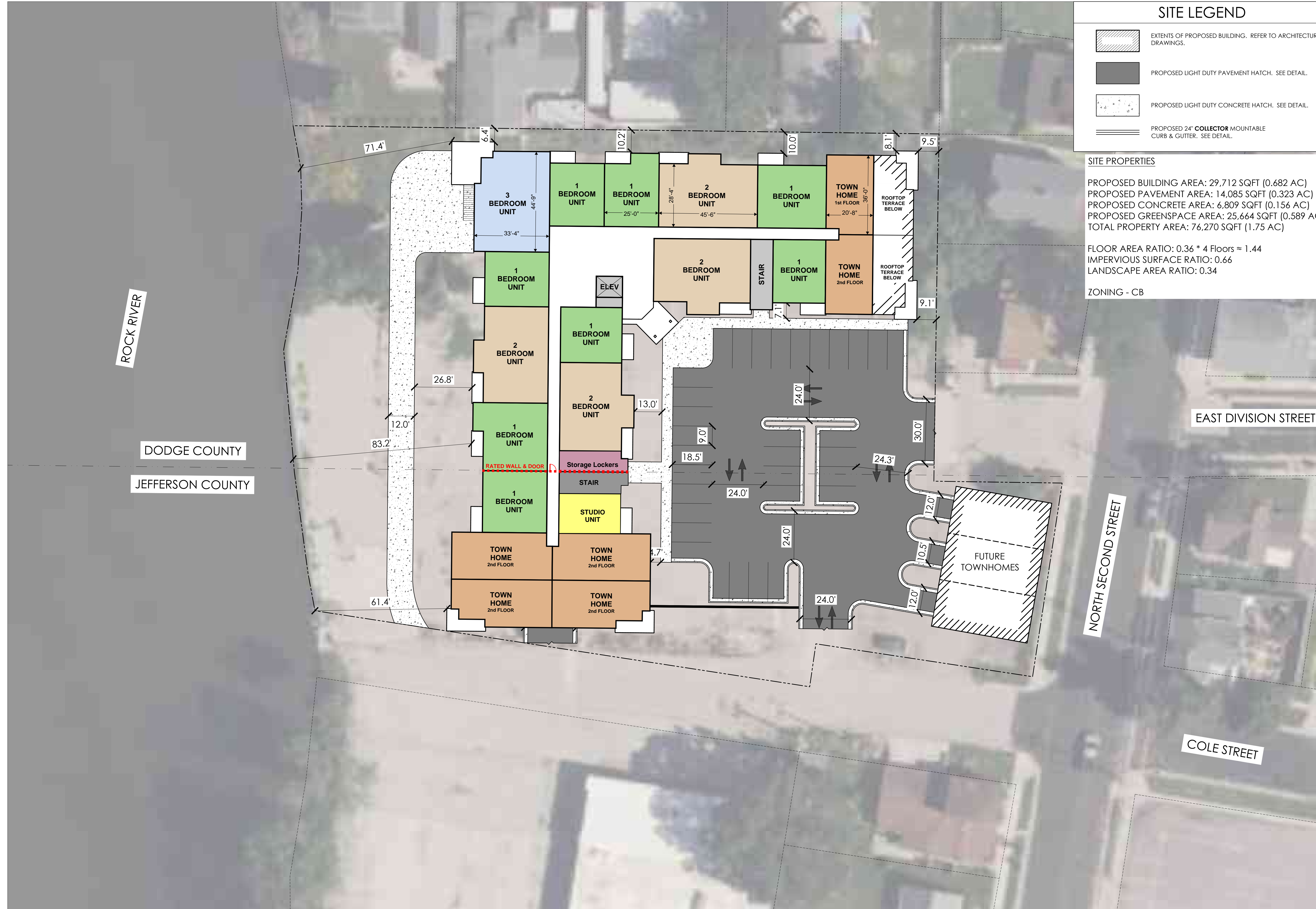
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SECOND FLOOR PLAN



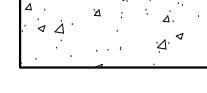
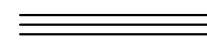
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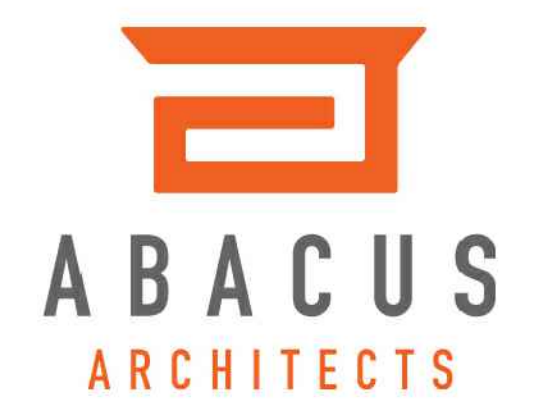
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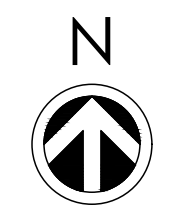
THIRD FLOOR PLAN

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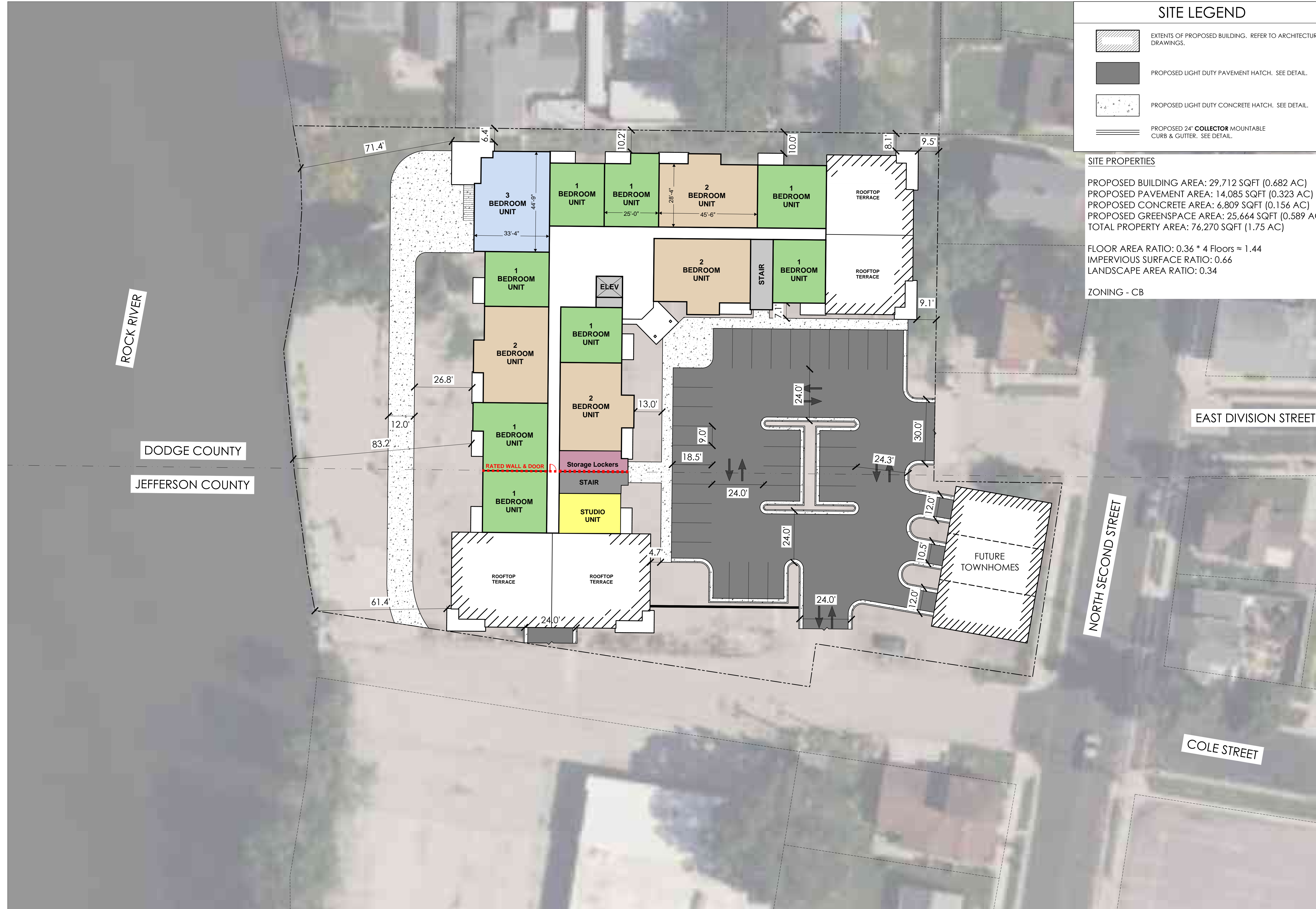
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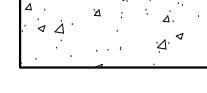
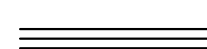
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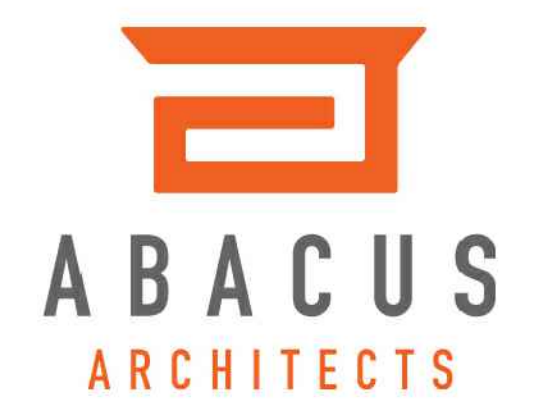
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ROCK RIVER

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EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

FUTURE TOWNHOMES

FOURTH FLOOR PLAN

N.T.S.



ISSUE DATE: 03/12/2025
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DRAWN BY: MBS

CHECKED BY: JRV

FOURTH FLOOR PLAN

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PROJ. NO. 2024-171



PROJECT # 3321-25
DATE: 10 MARCH 2024

SCALE: 1" = 20' - 0"
PAGES: 1 OF 1
DRAWN BY: K. BAHRS #336-14

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LANDSCAPE PLAN FOR:
NEW CONSTRUCTION FOR:
WATERTOWN APARTMENTS

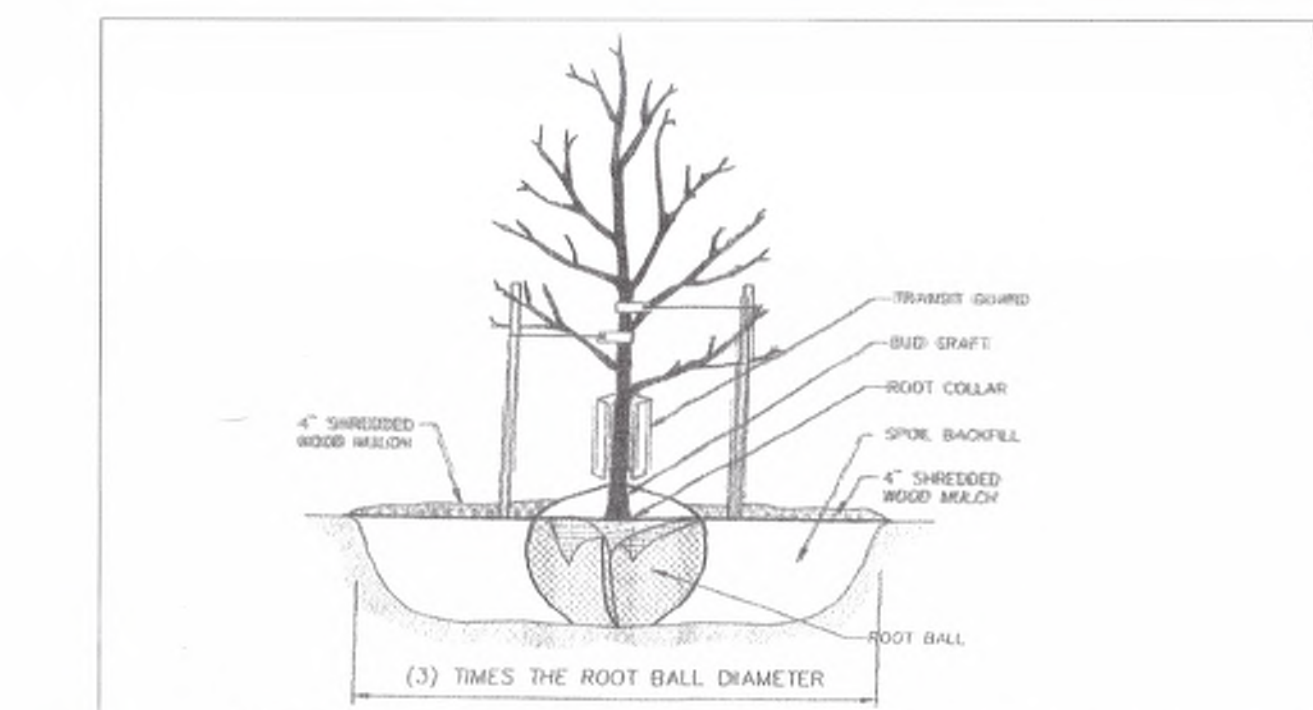
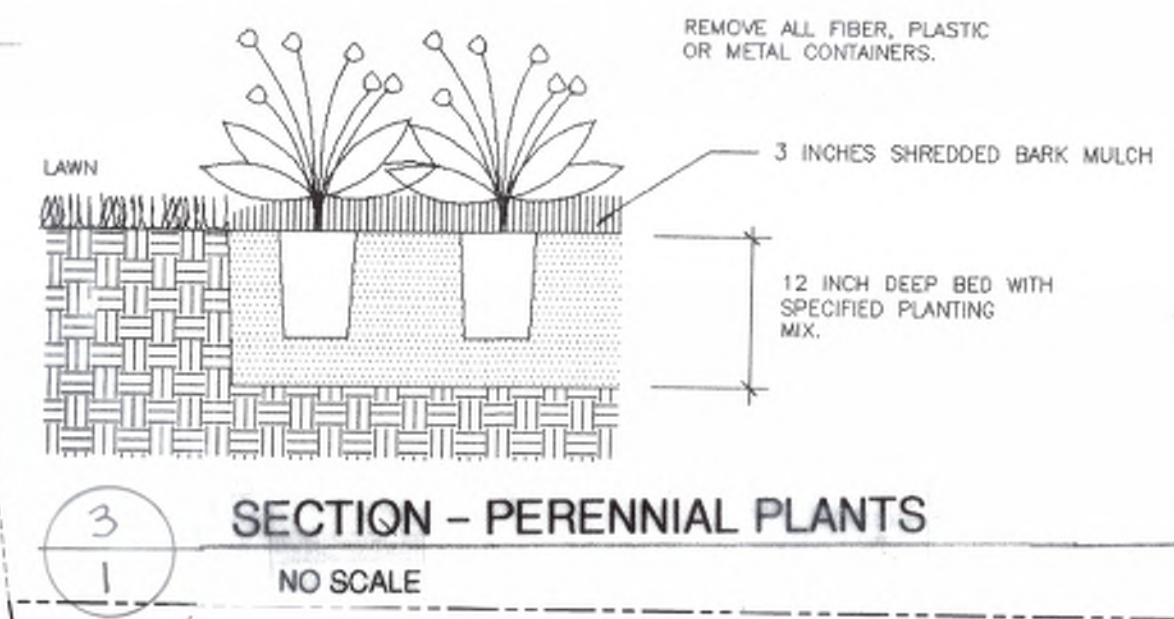
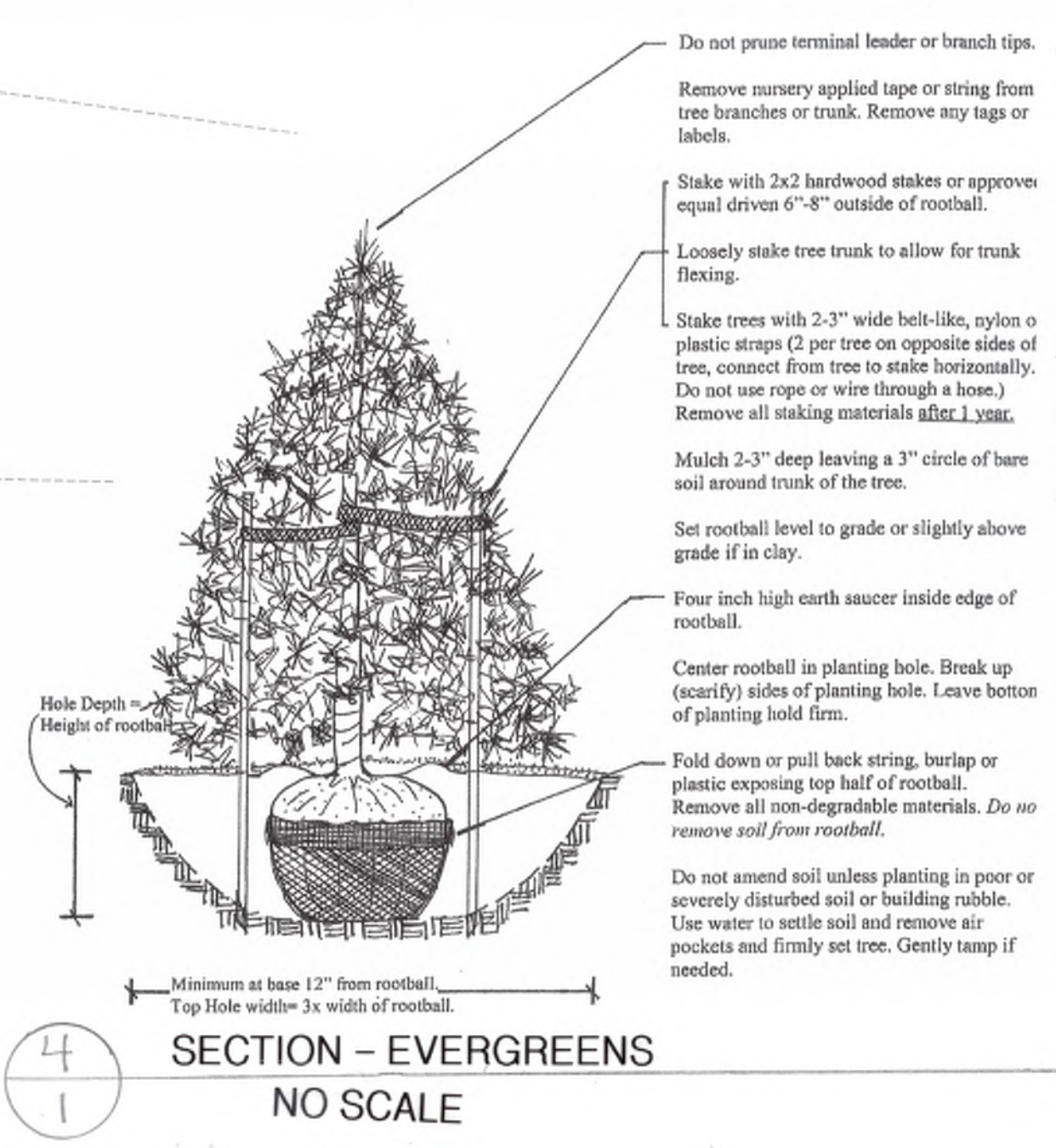
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LANDSCAPE PLAN

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201

PROJ. NO. 2024-171



INSTALLATION SEQUENCING:
1. DIG HOLE 3 TIMES BIGGER THAN ROOT BALL. ROUGHEN THE SIDES OF THE HOLE TO PREVENT GLAZING IN CLAY SOIL.
2. PLACE TREE IN HOLE, BACKFILL WITH EXISTING SOIL AND REMAINING TRANSFER GUARD, BURLAP AND WIRE BASKET.
3. GENTLY TAMP TO HELP SETTLE THE SOIL AND REMOVE ANY AIR POCKETS.
4. CREATE A WATER GAUGER TO COLLECT THE WATER UNTIL IT SEEPS INTO THE SOIL.
5. PROVIDE 4" DEEP SHREDDED WOOD MULCH (10' FOOT DIAMETERS). KEEP THE MULCH AWAY FROM THE TRUNK.
6. REMOVE ONLY BROKEN OR DAMAGED BRANCHES.

PLANTING SPECIFICATION
SCOPE OF WORK
A. The Landscape Contractor shall provide all materials, labor and equipment to complete all landscape work as shown on the plans and specifications.
B. The total number of plants shall be drawn on the landscape plan. The Landscape Contractor shall state the total number of each plant with the Contract price. The plant list submitted with the bid will automatically become part of the Contract Documents. NOTE: If the Contractor bids according to the Plant Schedule, he/she should thoroughly check the plant schedule quantities with the symbols drawn on the plan. Be sure the plant count is correct on both the plan and the plant schedule, if used. Each plant grouping shall be labeled with the total number of plants per grouping by the Landscape Architect.

STANDARDS
A. All plant material will conform to the current issue of the American Standard for Nursery Stock published by the American Nursery & Landscape Association (ANLA).
B. Plant material must be selected from nurseries that have been inspected and certified by State Plant Inspectors.
C. Collected material may be used only when approved by Owner's representative.
D. Nomenclature will be in accordance with *Hortus III* by L.H. Bailey.

SUBMITTALS
A. When requested by the Owner or Owner's representative, samples of all materials other than plants shall be submitted to the Owner's designated representative for approval.

APPROVALS
A. All approvals will be in writing.
UTILITIES AND UNDERGROUND FEATURES
A. The Landscape Contractor shall notify utility companies and/or General Contractor in advance of Contract to locate utilities (Wisconsin Diggers Hotline: 1-800-242-8511).
B. Street lighting and other private utilities, including cable TV, communication lines, etc., shall be located by the Owner or General Contractor.
C. If there is a conflict with the utilities and the planting, the Landscape Architect shall be responsible for relocating plants prior to the planting process. Any cost due to relocating after planting shall be borne by the Owner.
D. Underground features including but not limited to existing irrigation, septic system, drain systems, invisible pet fencing, landscape lighting, and underground natural gas and security systems shall be located by the Owner or General Contractor.

WATER
A. The Owner shall supply water on site at no cost. If the Landscape Contractor has to supply water to the site, there will be at an additional cost. All plants to be watered at installation for a minimum of 10 minutes on a slow trickle. Water should come to the surface around the root ball.

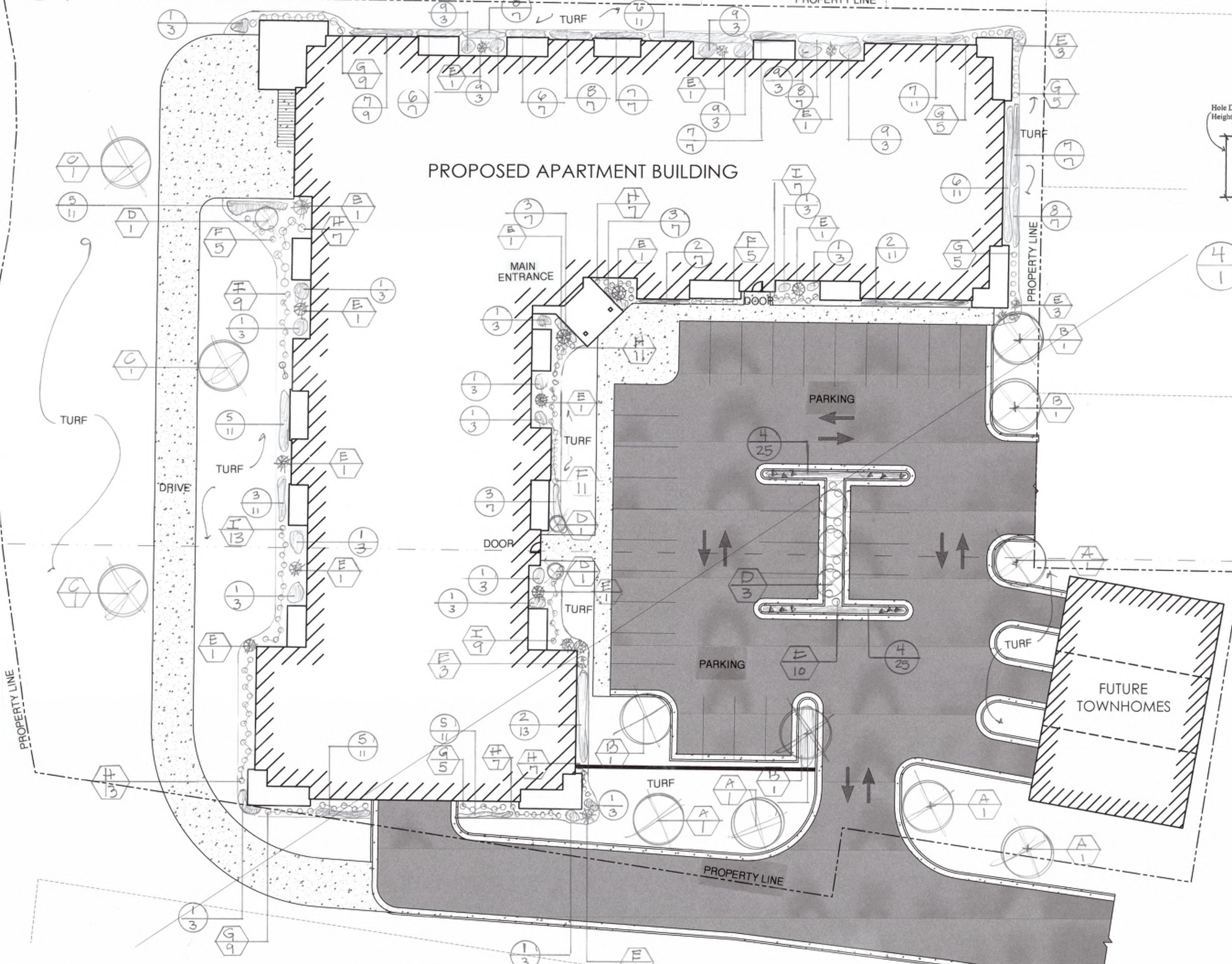
WARRANTY
A. The standard warranty is for a one (1) year period, commencing on the date of initial acceptance. All plants shall be alive and in satisfactory growth at the end of the guarantee period.
B. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or 25% of the crown is dead.
C. Warranty may be void if proper care, by Owner or Owner's maintenance contractor, is not maintained.
D. The Landscape Contractor shall be responsible for a one-time replacement only.
E. Replacement shall be of the same type, size, and quality as original species unless otherwise negotiated.
F. The Landscape Contractor shall be responsible for furnishing and installing all plant material shown on the drawings and plant schedule, as submitted with the Contract. The Landscape Contractor shall have investigated the sources of supply and satisfied himself/herself that he/she can supply all the plants specified on the drawings in the size, variety, and quality noted before submitting the bid. Failure to take this precaution will not relieve the successful bidder from the responsibility for furnishing and installing all the plant material in strict accordance with the Contract requirements.

PLANT FERTILIZER
A. Slow-release fertilizer should be the preferred type. The technical data sheet or label on the fertilizer
1. Trees: Use 1 to 3 pounds of actual nitrogen contained in a complete fertilizer
2. Shrubs: 1/2 Pound of actual nitrogen containing in a complete fertilizer

MULCH
A. Mulch in the planting bed to be 1-1/2" blue slate installed 2" thick. Install over Weed Barrier.

WEED BARRIER
A. Weed Barrier to be DeWitt P3 commercial Landscape 5 Ounce.
B. Weed Barrier to be installed on weed and grass free flat ground thru out the planting bed.
C. Roll out the landscape fabric so it is parallel to the long dimension of the area. Overlap pieces of fabric 6" where needed.
D. Secure the fabric with landscape staples every 10' along seams and edges. Mulch will hold down a majority of the fabric.
E. When adding plants make an X-shaped incision in the landscape fabric for each plants with a scissors or utility knife. Make incision just big enough for digging a hole for the root ball of the plants.
F. Pull the flaps aside to dig the hole. Place the soil in a wheelbarrow rather than onto the surrounding fabric.
G. Install the plant, back-fill around the root ball with soil and lightly tamp the soil to eliminate air pockets. Lay four flaps of fabric against the base of the plant to cover the soil.
H. Mulch with 2" of stone.

ROCK RIVER



PERENNIAL PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	FLOWER COLOR	TIME OF BLOOM	MATURE HEIGHT	SPAC
1	Calamagrostis 'Karl Foester'	Karl Foester Reed Grass	45	gal	tan	J,A,S	4'	24"
2	Calamagrostis brachytricha	Fall Reed Grass	31	gal	white	J,A,S	3'	24"
3	Echinacea p. 'Magnus Superior'	Magnus Superior Purple Coneflower	32	gal	dark purple	J,A,S	24"	15"
4	Salvia nemorosa 'May Nights'	May Nights Salvia	50	gal	dark blue	J,J,A,S,A	18"	18"
5	Rudbeckia 'Gldstrum'	Goldstrum Coneflower	44	gal	yellow	J,J,A,S	24"	18"
6	Hosta Sum and Substance	Sum and Substance Hosta	36	gal	white	J,A	36"	24"
7	Hosta Sieboldiana Elegans	Elegans Hosta	41	gal	white	J,J	32"	24"
8	Hosta Guacamole	Guacamole Hosta	35	gal	white	J,A	29"	24"
9	Ligularia 'Britt Marie Crawford'	Britt Marie Crawford ligularia	18	gal	yellow	J,A	30-35"	18"

LANDSCAPE PLAN
SCALE: 1" = 20' - 0"

LANDSCAPE PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	MATURE HT.	MATURE WD.	FRUIT COLOR	FRUIT TYPE	FLOWER COLOR	FALL COLOR
A	Acer x f. 'Autumn Fantasy'	Autumn Fantasy Maple	5	3"	50'	40'	few br	samara	green	ruby re
B	Cercidiphyllum japonicum	Katsuratree	4	2.5"	40'	20'	brown	tiny pod	insignificant	yellow
C	Magnolia 'Royal Star'	Royal Star Magnolia	3	10'	15'	10'	brown	pod	white/pink	yellow
SINGLE STEM SPECIMEN										
D	Hydrangea p. 'Quick Fire'	Quick Fire Hydrangea	6	5'	8'	5'	brown	capsule	white to pink	yellow
ON STANDARD SPECIMEN										
E	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	24	5'	15'	3'	brown	capsule	none	green
F	Hydrangea pani. 'Ilvobo'	Bobo Hydrangea	21	18"	3'	3'	brown	capsule	white	yellow
G	Hydrangea p. 'Quick Fire'	Quick Fire Hydrangea	38	5'	8'	5'	brown	capsule	white to pink	yellow
H	Buxus x 'Green Velvet'	Green Velvet Boxwood	41	18"	3'	3'	green	capsule	Fragrant yellow green	
I	Rosa x Noa168098	Flower Carpet Pink	49	18"	2-3'	3-4'	red	hips	deep pink	none



CALL DIGGERS' HOTLINE
1-800-242-8511

TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND BEFORE YOU DIG. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

LANDSCAPE ARCHITECT

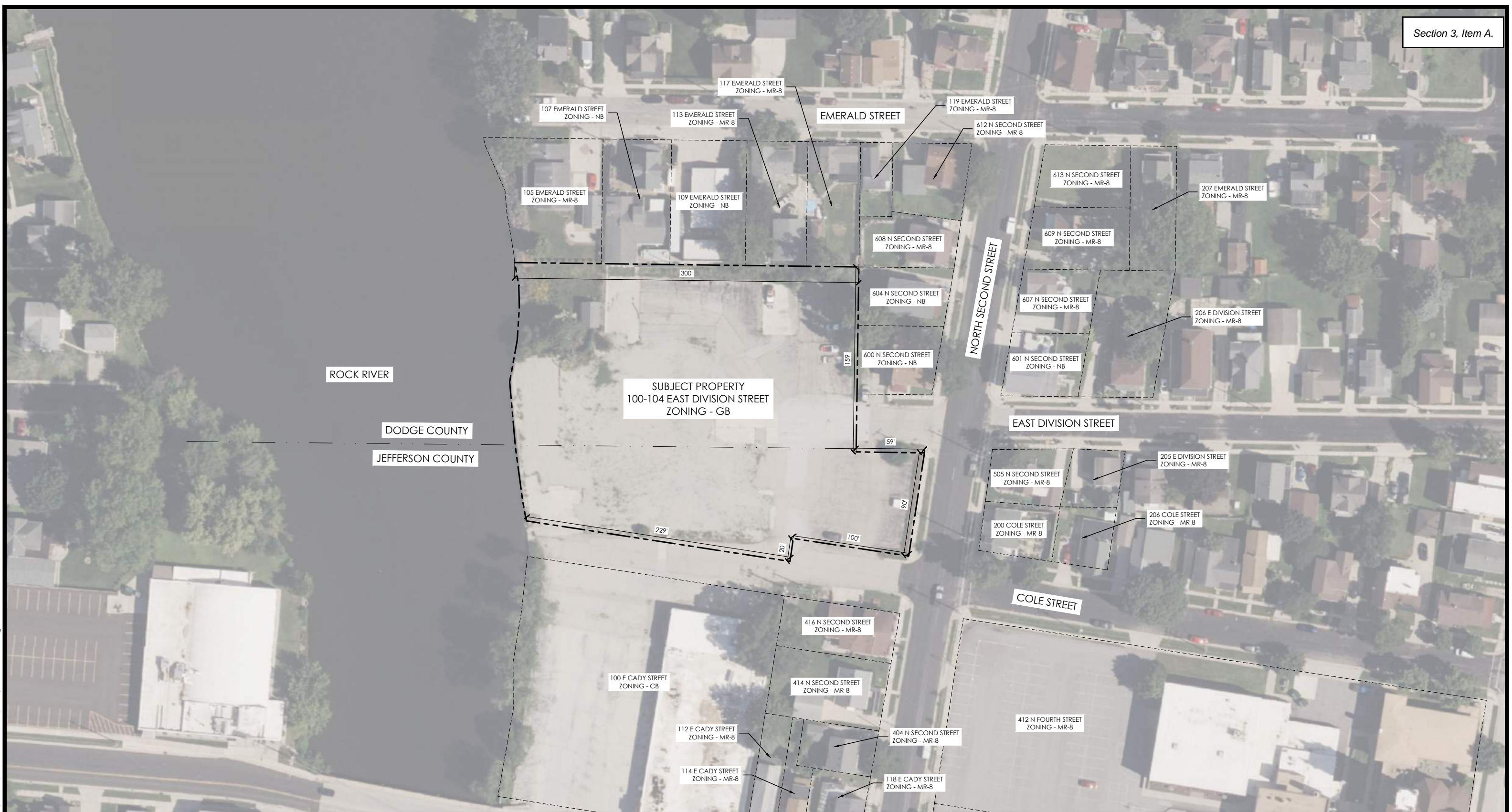
Kelly's Landscape Design

920-918-2613 (cell)
Website: kellyslandscape.com
E-Mail: kellyslandscape@yahoo.com

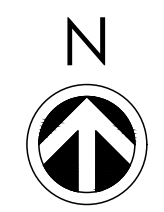
EXHIBIT C
Location Map

2/19/2025

F:\2024-CONTRACTS\2024-171 Watertown Apartments Phase 1\Phase - 2\Construction Documents\3.3 Site\2024-171 - Site Base.dwg



LOCATION MAP



SCALE: 1"=80'

February 19, 2025
Watertown Apartments
 Watertown, WI Proj. No. 2024-171

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EXHIBIT D
Estimated Annual Spending by Residents

Estimated Annual Spending by Residents

The Oxbow
Watertown, WI

February-25

<i>Cataorgy</i>	<i>Avg. Annual Expenditure</i>
Food	\$ 10,100
Alcoholic beverages	\$ 626
Housing	\$ 25,758
Apparel and services	\$ 2,036
Transportation	\$ 13,310
Healthcare	\$ 6,263
Entertainment	\$ 3,680
Personal care products and services	\$ 940
Reading	\$ 157
Education	\$ 1,644
Tobacco products and smoking supplies	\$ 391
Miscellaneous	\$ 1,253
Cash contributions	\$ 2,427
Personal insurance and pensions	\$ 9,708
Total Average Annual Expenditures per HH	\$ 78,292

LESS "Homeowner Expenses"	
Mortgage Payment & Basics	\$ 13,811
Maintenance & Remodeling Services	\$ 4,639
Maintenance & Remodeling Materials	\$ 752
Lawn & Garden	\$ 662
Subtotal	\$ 19,864

SUBTOTAL - Annual Expenditures per Renter Household Excluding Rent \$ **58,428**

Average monthly rent at The Oxbow	\$ 2,030
PLUS Ave. Annual Rent	\$ 24,360
TOTAL - Annual Expenditures per Oxbow Household	\$ 82,788

Total Homes in the Oxbow Community	69
Adjusted for (95% occupancy)	66
Total Residents (avg. household size of 2.4)	158

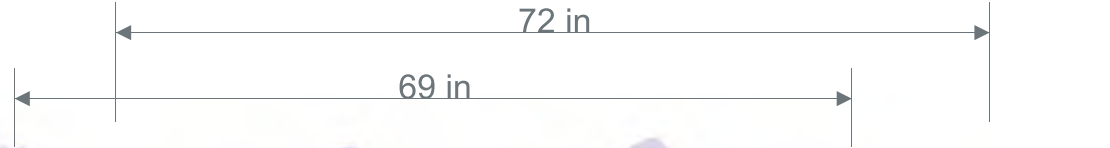
TOTAL Annual Expenditures by The Oxbow Households \$ **5,500,000**

Source: North Town Partners analysis, Bureau of Labor Statistics & ESRI "Retail Goods & Services Expenditures" report

EXHIBIT E
General Signage Plan



A Qty: 1
Double Sided
Aluminum Monument Sign



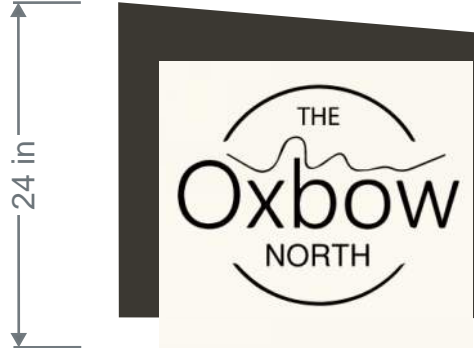
Marshall Sign
920.526.3100 • marshallsign.com

This is an original unpublished drawing submitted for use in connection with a project being planned for you by Marshall Sign. It is not to be re-produced, copied or exhibited in any fashion without the written permission of Marshall Sign.

ACCOUNT: The Oxbow
LOCATION: _____
ACCT. REP: Jim Marshall
DATE: 2-19-24

REVISIONS	
1	_____
2	_____
3	_____
4	_____
5	_____

48 in



1234
E. Division St.

B Qty: 1
Single Sided
Address Sign



1234
Cole St.

C Qty: 1
Single Sided
Address Sign



PARKING

D Qty: 1
Single Sided
Wayfinding Sign

24 in
24 in
24 in
60 in

E Qty: 1
Single Sided
Address Sign



F Qty: 1
Halo Illuminated Letters



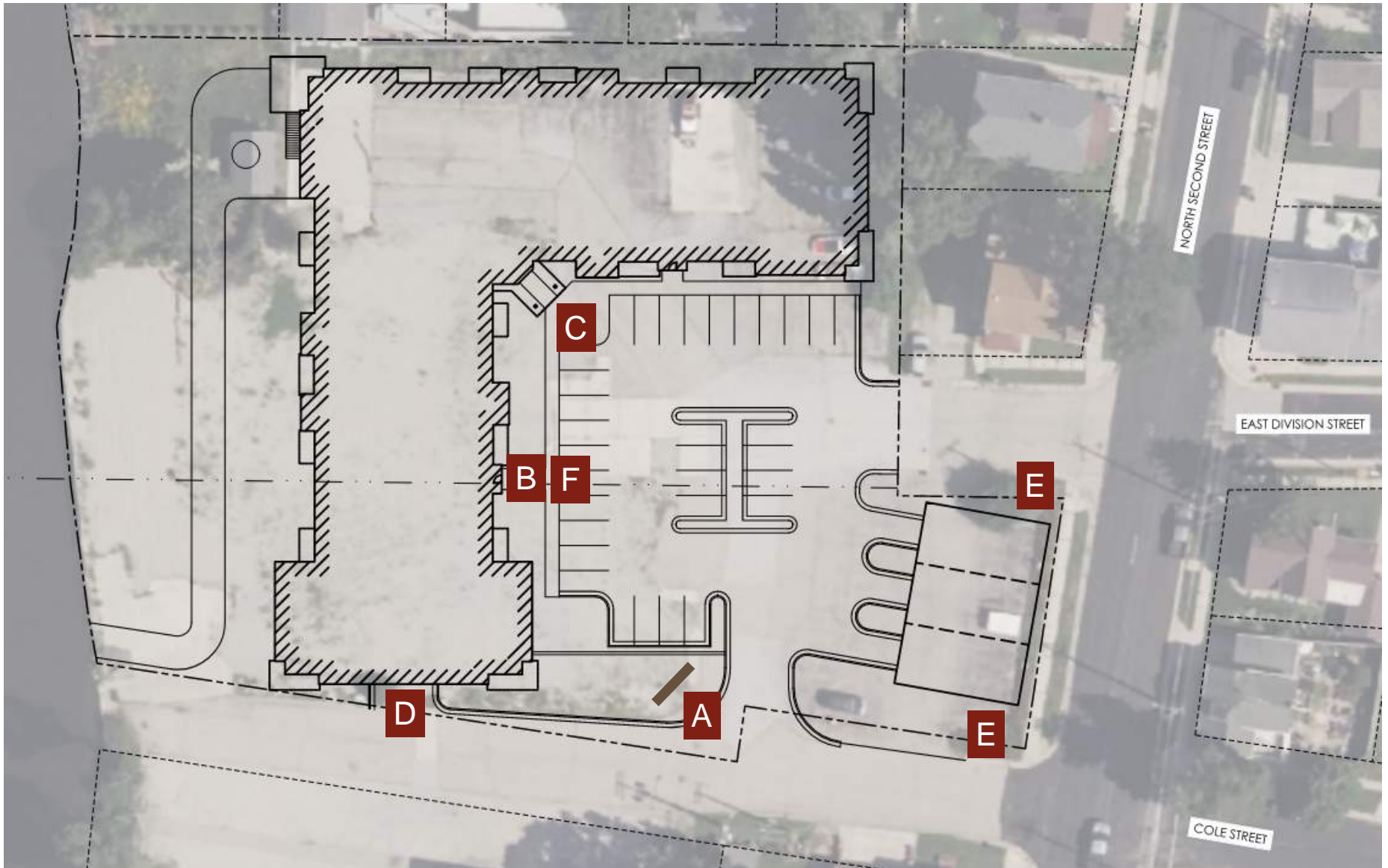
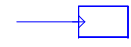


EXHIBIT F
Lighting Plan

Luminaire Schedule							Luminaire Lumens	Luminaire Watts	Total Watts	LLF
Symbol	Qty	Tag	Arrangement	Label	Description					
	3	S1	Single	ALW_LS210_T5_G2_FSK-6500Lm-40	ALW LS210 T5 G1 FSK-6500Lm-40K	6827	40.94	122.82	0.950	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Lot Line	Illuminance	Fc	0.04	0.5	0.0	N.A.	N.A.
Site Calcs	Illuminance	Fc	0.11	2.1	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	0.88	1.9	0.1	8.80	19.00



Vertical Lighting + Controls
558 Plate Dr. Ste. 1
East Dundee IL 60118



Watertown Apartments

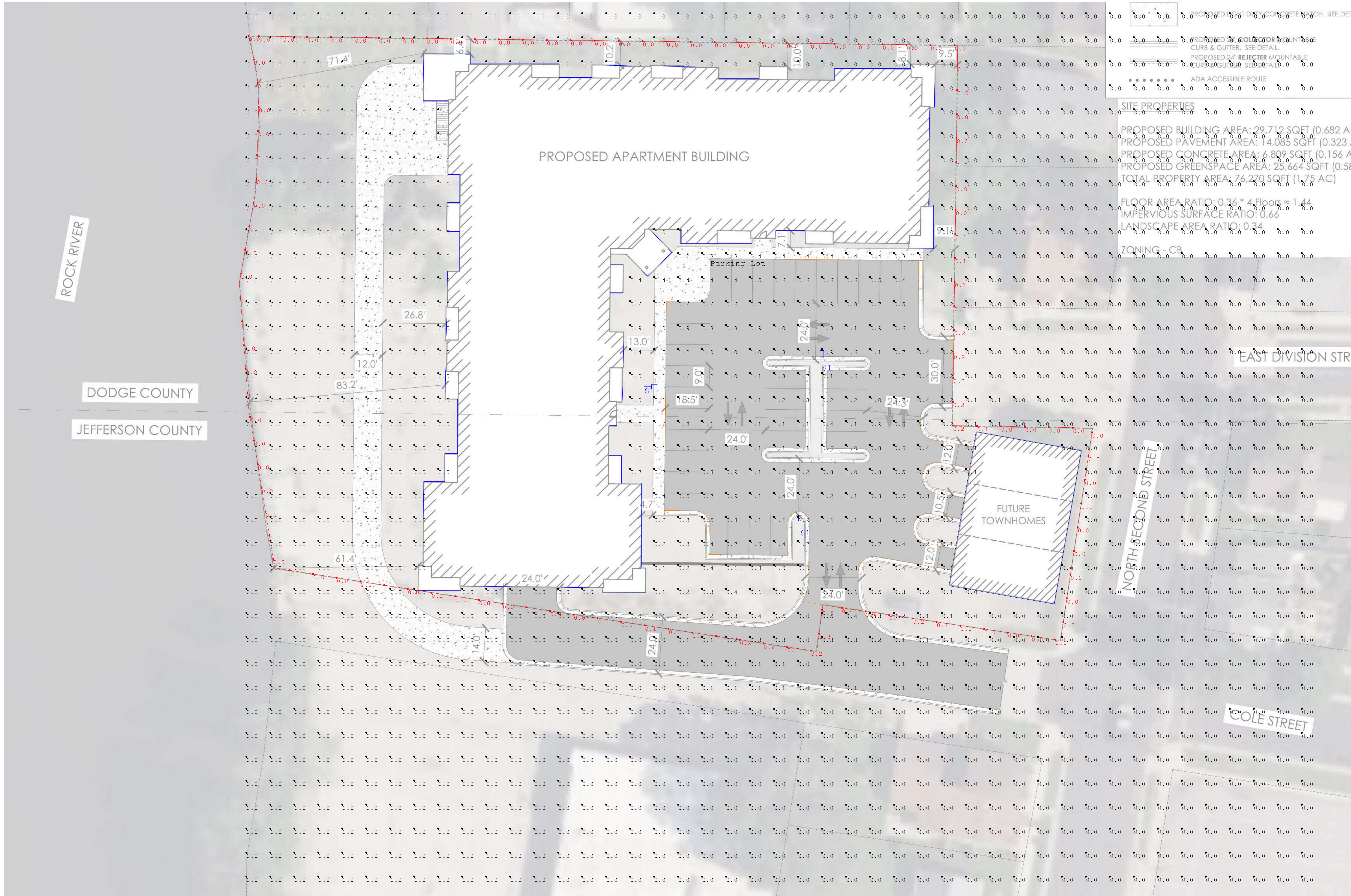
Watertown, WI

REVISIONS	
#	Date

FILE NAME	Watertown Apartments - Watertown WI Elevator Lobby
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025
LIGHTING PHOTOMETRIC ANALYSIS	

PAGE NO.	BID PKG.
1	

DISCLAIMER BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED PHOTOMETRIC ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION, TOLERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED WHEN THIS PHOTOMETRIC REPORT WAS CREATED. IT IS THE RESPONSIBILITY OF THE OWNER OR PROJECT ENGINEER TO ENSURE COMPLIANCE OF ALL STANDARDS IN EFFECT. THIS PHOTOMETRIC LAYOUT IS THE PROPERTY OF VERTICAL LIGHTING + CONTROLS AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED. THE DRAWING IS FOR INFORMATION PURPOSES ONLY. FINAL CONSTRUCTION DRAWINGS, LIGHTING LAYOUTS AND CALCULATIONS ARE THE RESPONSIBILITY OF A LICENSED PROFESSIONAL ENGINEER. IN NO EVENT SHALL VERTICAL LIGHTING + CONTROLS BE LIABLE FOR ANY DIRECT, INDIRECT, CONSEQUENTIAL, PUNITIVE, SPECIAL OR INCIDENTAL DAMAGES INCLUDING, WITHOUT LIMITATION, DAMAGES FOR LOSS OF PROFITS, BUSINESS INTERRUPTION, OR LOSS OF INFORMATION ARISING OUT OF THE USE OR INABILITY TO USE THIS DOCUMENT OR ITS CONTENT, EVEN IF VERTICAL LIGHTING + CONTROLS HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. VERTICAL LIGHTING + CONTROLS MAKES NO REPRESENTATIONS OR WARRANTIES WITH RESPECT TO THE ACCURACY OR COMPLETENESS OF THE CONTENTS OF THIS DOCUMENT. IN ALL INSTANCES, IT IS RECOMMENDED HAVE A PILOT INSTALLATION IN PLACE TO VERIFY LIGHT LEVELS AND APPEARANCE ARE WHAT IS EXPECTED PRIOR TO COMPLETING A TOTAL INSTALLATION AND LAYOUT OF THE PRODUCT(S).



- PROPOSED HEIGHT DUTY CONCRETE MATCH. SEE DATA
- PROPOSED 24" COLLECTOR MOUNTABLE CURB & GUTTER. SEE DETAIL
- PROPOSED 24" REJECTER MOUNTABLE CURB & GUTTER. SEE DETAIL
- ADA ACCESSIBLE ROUTE

SITE PROPERTIES

PROPOSED BUILDING AREA: 29,712 SQFT (0.682 AC)
 PROPOSED PAVEMENT AREA: 14,085 SQFT (0.323 AC)
 PROPOSED CONCRETE AREA: 6,809 SQFT (0.156 AC)
 PROPOSED GREENSPACE AREA: 25,664 SQFT (0.587 AC)
 TOTAL PROPERTY AREA: 76,270 SQFT (1.75 AC)

FLOOR AREA RATIO: 0.36 * 4 Floors ≈ 1.44
 IMPERVIOUS SURFACE RATIO: 0.66
 LANDSCAPE AREA RATIO: 0.34

ZONING - CB

ROCK RIVER

DODGE COUNTY

JEFFERSON COUNTY

EAST DIVISION STREET

NORTH SECOND STREET

COLE STREET

PROPOSED APARTMENT BUILDING

Parking Lot

FUTURE TOWNHOMES

SITE PLAN
 SCALE: 1"=20'

Scale: 1 inch= 15 Ft.

DISCLAIMER: BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE PROJECT ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS. THE LIGHTING DATA REPRESENTS ILLUMINATION LEVELS TAKEN FROM A LABORATORY SETTING UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED PHOTOMETRIC DATA. ACTUAL PERFORMANCE MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, INSTALLATION, TOYERANCE LEVELS, BUILDINGS, OTHER LIGHTING, AND OTHER VARIABLES THAT WERE NOT CONSIDERED HEREIN. THIS PHOTO METRIC REPORT HAS BEEN PREPARED BY THE PROJECT ENGINEER AND IS THE PROPERTY OF VERTICAL LIGHTING + CONTROLS AND IT CANNOT BE USED FOR INSTALLATION OF PRODUCTS OTHER THAN SPECIFIED. THE OWNER OR PROJECT ENGINEER IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND LUMINAIRE LOCATIONS. VERTICAL LIGHTING + CONTROLS IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. CONSEQUENTIAL, SPECIAL OR INCIDENTAL DAMAGES (INCLUDING WITHOUT LIMITATION, DAMAGES FOR LOSS OF PROFITS, BUSINESS INTERRUPTION, OR LOSS OF INFORMATION ARISING OUT OF THE USE OR INABILITY TO USE THIS DOCUMENT OR ITS CONTENT, EVEN IF VERTICAL LIGHTING + CONTROLS HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES). VERTICAL LIGHTING + CONTROLS MAKES NO REPRESENTATIONS OR WARRANTIES WITH RESPECT TO THE ACCURACY OR COMPLETENESS OF THE CONTENTS OF THIS DOCUMENT. IN ALL INSTANCES, IT IS RECOMMENDED HAVE A PILOT INSTALLATION IN PLACE TO VERIFY LIGHT LEVELS AND APPEARANCE ARE WHAT IS EXPECTED PRIOR TO COMPLETING A TOTAL INSTALLATION AND LAYOUT OF THE PRODUCTS.

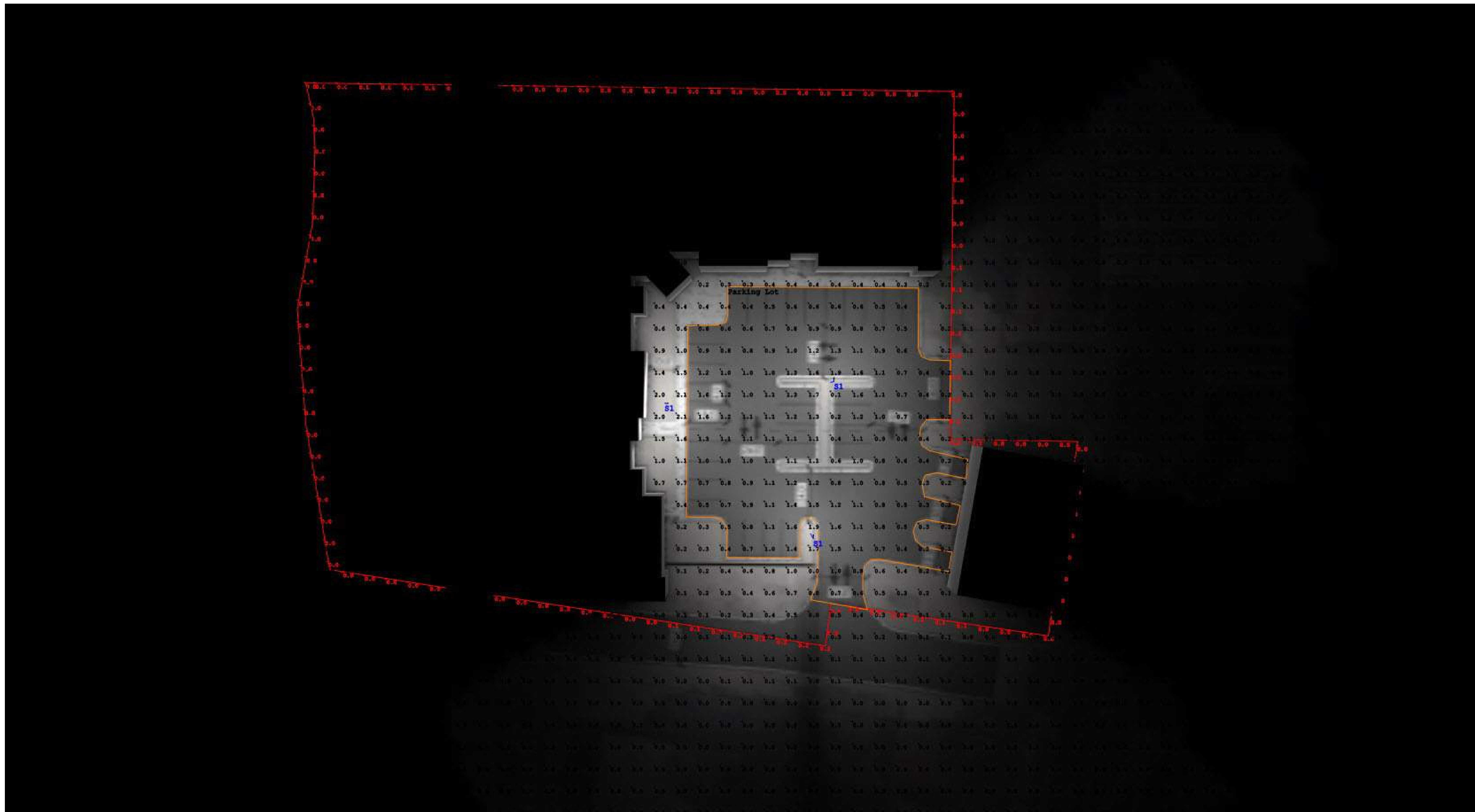
Vertical Lighting + Controls
 558 Plate Dr. Ste. 1
 East Dundee IL 60118

VERTICAL
 LIGHTING + CONTROLS

Watertown Apartments
 Watertown, WI

#	REVISIONS	Description	Date

FILE NAME	Watertown Apartments - Watertown, WI - Electrical Layout
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025
LIGHTING PHOTOMETRIC ANALYSIS	
PAGE NO.	BID PKG.
2	



Vertical Lighting + Controls
 558 Plate Dr. Ste. 1
 East Dundee IL 60118



Watertown Apartments

Watertown, WI

REVISIONS

#	Description	Date

FILE NAME	Watertown Apartments - Watertown WI Exterior Lit Layout
MADE BY	ALEC
CHECKED	ALEC
DATE	3/14/2025
LIGHTING PHOTOMETRIC ANALYSIS	

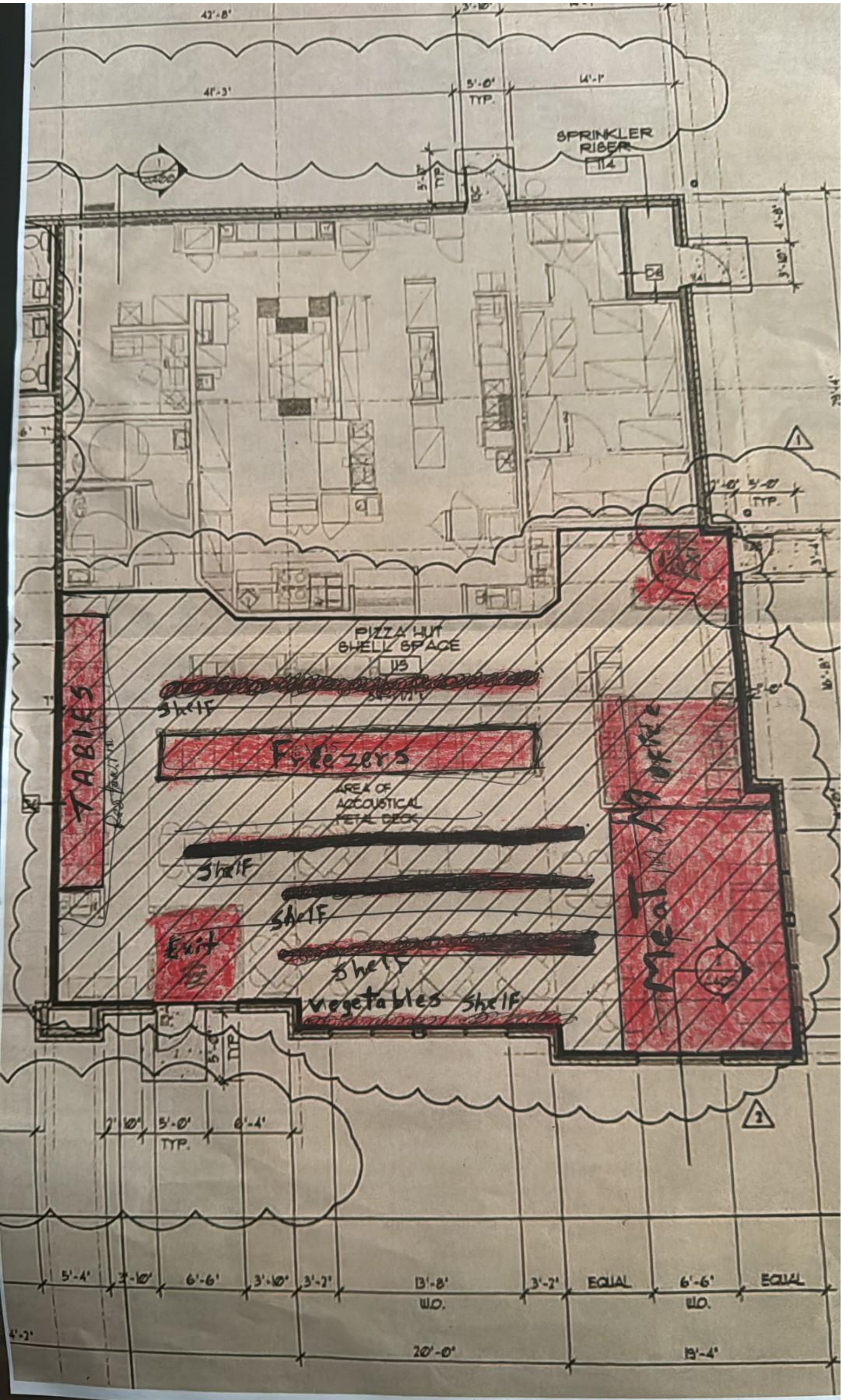
PAGE NO.	BID PKG.
3	

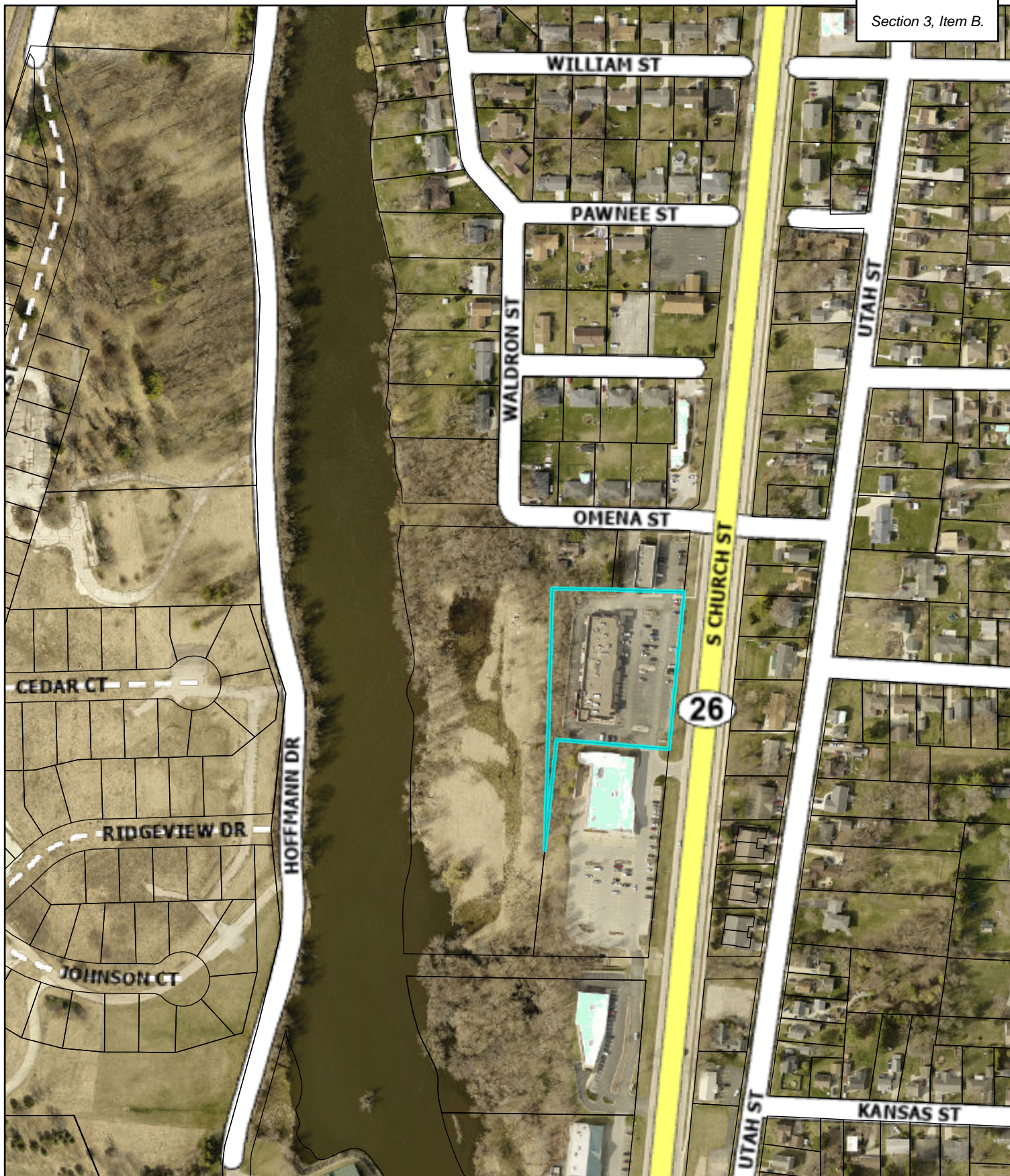
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02/27/2025

Re: 1504 S. Church Street

We will have a grocery store and a restaurant. At the main entrance we have tables for our customers. On one side we have a line of 6 doors of coolers in front of the butcher wall and vegetables side.





City Boundary



Parcel Boundary



City of Watertown Geographic Information System

Scale: 1:3,421

Printed on: March 3, 2015
Author:

SCALE BAR = 1"

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

WATERTOWN FIRE DEPARTMENT (WI)

INSPECTION REPORT

LATINO SUPER MARKET, 1504 S CHURCH ST, BLDG UNNAMED, WATERTOWN WI 53094

Section 3, Item B.



DETAILS

Inspection Date: 12/18/2024 | Inspection Type: Annual | Inspection Number: 3703 | Shift: N/A | Station: N/A | Unit: N/A |
Lead Inspector: Don Dishno | Other Inspectors: N/A

VIOLATIONS AND COMPLIANCES

Showing only violations and images for this inspection. Please reach out to the lead inspector for more details.
Resolved Violations: 0 | Passed Codes: 41 | Violations: 5 | N/A Codes: 0

STATUS	CODE	DESCRIPTION
FAIL	0.13 - Suppression system	Annual inspections up to date on suppression system? Location: Kitchen Original Comment: Current type two hood on location does not have a suppression system. When the type one hood is properly installed, a fire suppression system shall Also be Design, installed, and tested prior to any cooking taking place.
FAIL	32.4.11.1.5 - Extinguishment Requirements	Portable fire extinguishers shall be installed and maintained in accordance with Section 13.6. [140:4.11.1.5] Location: GENERAL Original Comment: An ABC fire extinguisher must be placed at each of the exterior doors.
FAIL	32.4.11.1.5 - Extinguishment Requirements	Portable fire extinguishers shall be installed and maintained in accordance with Section 13.6. [140:4.11.1.5] Location: Kitchen Original Comment: A Class K kitchen fire extinguisher must be placed in the kitchen.

STATUS **CODE** **DESCRIPTION**

FAIL 50.2.2.1 - Clearance Where enclosures are not required, hoods, grease removal devices, exhaust fans, and ducts shall have a clearance of at least 18 in. (457 mm) to combustible material, 3 in. (76 mm) to limited-combustible material, and 0 in. (0 mm) to noncombustible material. [96:4.2.1]

Location: Kitchen

Original Comment: All appliances must fit properly underneath a type one hood. Currently, the type two hood in place is not large enough for all of the equipment below it. The cooking shall take place until all violations are remedied.

FAIL 50.4.4.7.3 - Modifications to Existing Hood Systems The addition of obstructions to spray patterns from the cooking appliance nozzle(s) such as baffle plates, shelves, or any modification shall not be permitted. [96:10.2.7.3]

Location: Kitchen

Original Comment: The current type two hood system is not designed for fryers, grills, charbroiler, or stoves. Have a qualified hood contractor evaluate the hood and duct system, and either properly design and modify existing hood or replace with the proper hood. No cooking shall take place until all violations are remedied.

REINSPECTION DATE

01/17/2025

FEE

Invoice Date: N/A | Inspection Fee: N/A | Date Paid: N/A | Amount Paid: N/A | Invoice Number: N/A | Check Number: N/A | Transaction Number: N/A

CONTACT SIGNATURE

Felisa Corona Forte
Signed on: 12/18/2024 @ 16:02

INSPECTOR SIGNATURE

Don Dishno
Signed on: 12/18/2024 @ 16:03

A handwritten signature in black ink, appearing to read 'Don Dishno', written over a horizontal line.

QUESTIONS ABOUT YOUR INSPECTION?

Don Dishno
ddishno@watertownwi.gov
No phone number available

David Johnsen

From: Don Dishno
Sent: Wednesday, December 18, 2024 9:18 PM
To: Lumos Dei Consulting Services LLC; notification@esosolutions.com
Cc: David Johnsen
Subject: Re: Inspection Report for your occupancy

Felisa,

I want to make sure we all understand that there shall be NO COOKING on site until the proper hood and suppression systems are in. Doing so could cause a fire or potentially activate the building fire sprinkler system, causing water damage and possibly injury.

Please contact me with any questions or concerns. Thank you.

Don A. Dishno

City of Watertown Fire Inspector
E: ddishno@watertownwi.gov
P: 920.261.3610
C: 920.285.8095



From: Lumos Dei Consulting Services LLC <lumosdeiconsultingservices@gmail.com>
Sent: Wednesday, December 18, 2024 4:17:47 PM
To: notification@esosolutions.com <notification@esosolutions.com>
Cc: David Johnsen <DJohnsen@watertownwi.gov>; Don Dishno <DDishno@watertownwi.gov>
Subject: Re: Inspection Report for your occupancy

Thank you for the report



FELISA CORONA-FORTE
BUSINESS CONSULTANT

608-333-4167

WWW.lumosdeiconsultingservices.com

Section 3, Item B.

On Wed, Dec 18, 2024 at 4:04 PM <notification@esosolutions.com> wrote:

Attached is the inspection report recently completed on your occupancy. Information about contacting your inspector is within the inspection report.

Please do not reply to this email.



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000728	0	WCD-2500004	25-0000723	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/24/2025	20:36:34		Emergency		86 86 Investigate		
Incident Type							
711	711 Municipal alarm system, malicious false alarm						
Incident Type Plus One					Aid Given or Received: None		

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
20:36:43	20:38:08	20:40:57	21:18:19	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm at the listed address. This was our third call within nine hours for a fire alarm at this location. Upon arrival found the 2 occupants outside and all the doors propped open. When we made entry interior we found a light haze of smoke throughout the location. The alarm was reset prior to our arrival. Further investigations found that they were cooking and the ventilation hood system is not properly working. There is no active fire or hazards. The manager stated that they know the hood system is not working and they are working with the owner of the property to get it fixed. We informed them that they can no longer cook until the hood/ventilation system is serviced and fixed. We also informed them that we would be sending out a fire inspector at 10 am tomorrow to inspect the hood system. All units cleared the scene and returned to quarters.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
PRE-INCIDENT VALUES	Property Use
Property	519 519 Food and beverage sales, grocery store
Contents	Mixed Property Use
LOSSES (If no loss, leave blank)	HazMat Release
Property	
Contents	Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	20:38:20	20:38:22	20:41:34	21:18:19	1
4154 - Ambula	4154	20:36:43	20:38:08	20:40:57	21:18:19	2
4161 - Engine	4161	20:36:44	20:38:16	20:41:33	21:18:19	4

Authorization

Member Making Report

Member Making Report Matthew Pieper	Member Making Assignment Battalion Chief	Report Completed Date 2/24/2025 9:25:56 PM
---	--	--

Officer In Charge

Officer In Charge Matthew Pieper	Officer In Charge Assignment Battalion Chief
--	--

Review

Report Reviewed By	Report Reviewed Date
---------------------------	-----------------------------



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000723	0	WCD-2500004	25-0000718	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/24/2025	14:07:40		Emergency		86 86 Investigate		
Incident Type							
735 735 Alarm system sounded due to malfunction							
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
14:08:44	14:09:29	14:12:35	14:33:44	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm. While en route dispatch notified us that they received a call from the property stating there was no fire and they wanted to cancel the response. 4110 continued to the scene. Upon arrival there was no smoke or flames showing. 4110 made contact with 2 occupants inside that stated there were no hazards and that the alarm did not sound in the building. The manager stated he thinks there are issues with the alarm system. I informed him to call a technician to fix the alarm, and if they need to take the alarm offline they need to have a fire watch. I walked the building and found no hazards. 4110 cleared the scene. While enroute back to the station dispatch notified me over the radio that they got another call from the alarm company in regard to a fire alarm at the listed address so I responded back to the scene. I found no hazards and re informed the manager that they should get a service technician out to service the fire alarm. I also informed him that if they need to take the alarm offline they have to contact the fire department and have a firewatch. 4110 cleared the scene and returned to quarters

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	14:09:30	14:09:33	14:12:35	14:33:44	1

Authorization

Member Making Report

Member Making Report

Matthew Pieper

Member Making Assignment

Deputy Chief

Report Completed Date

2/24/2025 2:58:10 PM

Officer In Charge

Officer In Charge

Matthew Pieper

Officer In Charge Assignment

Deputy Chief

Review

Report Reviewed By

Report Reviewed Date



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000650	0	WCD-2500004	25-0000645	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
2/17/2025	9:09:07		Emergency		86 86 Investigate		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
9:09:31	9:10:01	9:13:57	9:18:59	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

WFD dispatched 911 to above location for a fire alarm. While enroute 4110 and 4161 advised by dispatch that alarm company had called back to cancel the alarm. 4161 continued in non-emergent to verify. Upon arrival no alarms were present. Spoke with a person inside who stated the alarm was due to burnt food and he had reset the alarm prior to FD arrival. FD advised the gentleman he should not be resetting the alarm. FD confirmed the burnt food and no other hazards present. FD cleared and went to another call for service. A name was not taken due to multiple runs.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4161 - Engine	4161	9:10:59	9:11:02	9:13:57	9:18:59	4

Authorization

Member Making Report

Member Making Report

Brandon Wojnowski

Member Making Assignment

Company Officer

Report Completed Date

2/17/2025 10:14:49 AM

Officer In Charge

Officer In Charge

Brandon Wojnowski

Officer In Charge Assignment

Company Officer

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

#####



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000615	0	WCD-2500003	25-0000610	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
02/14/25	13:03:38		Emergency		86 86 Investigate		
Incident Type							
740	740 Unintentional transmission of alarm, other						
Incident Type Plus One					Aid Given or Received: None		

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
13:04:14	13:04:21	13:08:42	13:15:29	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
02- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm; while en route, dispatch advised that it was a false alarm and no response was not needed. 4110 On scene single-story strip mall, nothing showing, investigating. Investigation showed that the smoke alarm was due to burnt food; no hazards were noted. The alarm system was in normal operation. E61 cancelled, and 4110 returned to service.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	13:04:25	13:04:27	13:08:42	13:15:29	1
4161 - Engine	4161	13:04:16	13:04:21		13:09:43	4

Authorization

Member Making Report

Member Making Report

Chad Butzine

Member Making Assignment

Battalion Chief

Report Completed Date

02/14/25 20:42:09

Officer In Charge

Officer In Charge

Chad Butzine

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

02/23/25 13:07:28



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000482	0	WCD-2500002	25-0000477	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
1/30/2025	14:02:15		Emergency		86 86 Investigate		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
14:02:32	14:03:39	14:07:12	14:11:19	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address		Property ID
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched to the listed address for a fire alarm. While en route dispatch notified us that the store called them and wanted to cancel the alarm. We continued non emergent. We made contact with the store owner and walked through the store. There was no alarm and no hazards. 4110 and Engine 61 cleared the scene.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

519 519 Food and beverage sales, grocery store

Mixed Property Use

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	14:02:32	14:04:12	14:07:37	14:11:19	1
4154 - Ambula	4154	14:03:05	14:04:15	14:07:12	14:07:45	2
4161 - Engine	4161	14:03:03	14:03:39	14:07:43	14:11:10	4

Authorization

Member Making Report

Member Making Report

Matthew Pieper

Member Making Assignment

Battalion Chief

Report Completed Date

1/30/2025 5:00:40 PM

Officer In Charge

Officer In Charge

Matthew Pieper

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

2/3/2025 7:32:15 PM



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000211	0	WCD-2500001	25-0000207	Station One	C

Incident Date	Event / Call Time	Emergency / Non Emergency	Incident Action
01/20/25	10:28:21	Emergency	86 86 Investigate

Incident Type
745 745 Alarm system activation, no fire - unintentional

Incident Type Plus One Aid Given or Received: None

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
10:28:34	10:29:22	10:32:30	10:53:41	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a smoke duct detector alarm, while enroute advised by dispatch that they received a call stating no hazards alarm was due to smoke from cooking no fire asking to cancel. Advised dispatch that we would follow in. Upon arrival found two story strip mall restaurant nothing showing alarms present partial evacuation. Confirmed that there were no hazards in the building and attempted system reset. System would not reset and building occupants were advised of the issue that they would need a alarm co to look at the system. No hazards present all WFD units returned to service.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
PRE-INCIDENT VALUES	Property Use
Property	161 161 Restaurant or cafeteria
Contents	Mixed Property Use
	51 - Row of stores
LOSSES (If no loss, leave blank)	HazMat Release
Property	
Contents	Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	10:28:34	10:29:22	10:32:30	10:53:41	1
4161 - Engine	4161	10:28:39	10:30:13	10:33:03	10:53:13	3

Authorization

Member Making Report		
Member Making Report	Member Making Assignment	Report Completed Date
Chad Butzine	Battalion Chief	01/20/25 21:43:51

Officer In Charge	
Officer In Charge	Officer In Charge Assignment
Chad Butzine	Battalion Chief

Review	
Report Reviewed By	Report Reviewed Date
David Johnsen	01/24/25 21:40:35



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000126	0	WCD-2500001	25-0000124	Station One	A
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
01/12/25	15:25:35		Emergency		86 86 Investigate 63 63 Restore fire alarm system		
Incident Type							
745 745 Alarm system activation, no fire - unintentional							
Incident Type Plus One				Aid Given or Received: None			

Times				
Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
15:25:48	15:27:18	15:29:56	15:59:58	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General			
Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
01- Watertown Ci	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway	Apt./Suit/Room	
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched 911 for an automatic fire alarm at 1504 S. Church St. at the Latinos Supermarket. On arrival entrance was made into the Latinos Supermarket and no smoke, no fire, and no alarms were going off. There was also no evacuation in progress. The fire alarm panel indicated trouble alarm and WFD was able to reset the alarm system back to normal. The owner of the business, Melissa Olampo, was spoken to with her daughter as an interpreter. This is approximately the 4th trouble alarm or false alarm in the past few weeks and the owner was told she needed to contact the alarm company tomorrow morning when the alarm company opens to try and get a technician out to trouble shoot and fix the alarm system. The remaining strip mall occupancies were inspected, and no hazards were found. All units were released by 4110 (Command).

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
<p>PRE-INCIDENT VALUES</p> <p style="padding-left: 20px;">Property</p> <p style="padding-left: 20px;">Contents</p> <p>LOSSES (If no loss, leave blank)</p> <p style="padding-left: 20px;">Property</p> <p style="padding-left: 20px;">Contents</p>	<p>Property Use</p> <p>519 519 Food and beverage sales, grocery store</p> <p>Mixed Property Use</p> <p>HazMat Release</p> <p>Detector Status</p> <p>1 - Detector alerted occupants</p>

Response						
Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	15:25:48	15:27:34	15:29:56	15:59:58	1
4154 - Ambula	4154	15:25:49	15:27:18	15:30:04	15:59:58	2
4161 - Engine	4161	15:25:51	15:27:32	15:30:43	15:59:58	4

Authorization		
Member Making Report		
Member Making Report John Duvernell	Member Making Assignment Company Officer	Report Completed Date 01/12/25 16:23:12
Officer In Charge		
Officer In Charge Brandon Wojnowski	Officer In Charge Assignment Incident Command	
Review		
Report Reviewed By David Johnsen	Report Reviewed Date 01/15/25 09:44:59	



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000117	0	WCD-2500001	25-0000115	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency	Incident Action			
01/11/25	20:43:33		Emergency	86	86 Investigate		
Incident Type				63	63 Restore fire alarm system		
735	735 Alarm system sounded due to malfunction			84	84 Refer to proper authority		
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
20:43:39	20:44:58	20:47:22	21:32:32	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address	Property ID	
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm no zone. Upon arrival found strip mall single story nothing showing alarms active. Panel shows communication error no alarm system in trouble mode. Remote panels would not reset the system. Contacted building manager and reset the system from the main panel in rear of building. Advised the manager Josh that the system should be inspected by the alarm company due to the number of false alarms recently. All occupancies check by FD personnel no hazards found and building turned back over to tenants. All fire units returned to service.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses	Property Use / HazMat / Detector Status
PRE-INCIDENT VALUES	Property Use
Property	161 161 Restaurant or cafeteria
Contents	Mixed Property Use
	51 - Row of stores
LOSSES (If no loss, leave blank)	HazMat Release
Property	
Contents	Detector Status

Response						
Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	20:44:53	20:44:58	20:48:48	21:32:32	1
4154 - Ambula	4154	20:43:40	20:45:17	20:47:22	21:32:32	2
4161 - Engine	4161	20:43:39	20:46:09	20:48:45	21:32:32	4

Owner /Involved Person and Entities				
Owner Full Name	Owner / Involved	Person / Entity	Phone Number	Entity Name
Anderson, josh	2 - Involved	1 - Person	608-712-5544	
Birth Date:				<input type="checkbox"/> Is Responsible Party
E-Mail:				
Mail Address: 1504 S Church ST Watertown WI 53094				

Authorization		
Member Making Report		
Member Making Report	Member Making Assignment	Report Completed Date
Chad Butzine	Battalion Chief	01/11/25 23:18:33
Officer In Charge		
Officer In Charge	Officer In Charge Assignment	
Chad Butzine	Battalion Chief	
Review		
Report Reviewed By	Report Reviewed Date	
David Johnsen	01/12/25 08:22:45	



Watertown Fire Department

Section 3, Item B.

106 Jones Street, Watertown, WI 53094

Phone: 920-261-3610 | Fax: 920-261-7527

FDID	State	Incident #	Exposure	CAD #	Internal Incident #	Station	Shift
28090	WI	250000012	0	250000012	25-0000012	Station One	C
Incident Date	Event / Call Time		Emergency / Non Emergency		Incident Action		
1/2/2025	9:00:20		Emergency		86 86 Investigate 63 63 Restore fire alarm system		
Incident Type							
745	745 Alarm system activation, no fire - unintentional						
Incident Type Plus One				Aid Given or Received: None			

Times

Alarm Time	En Route	Arrival	Last Unit Cleared	Time Controlled
9:00:45	9:01:39	9:02:22	10:01:11	
EMS Unit	EMS Dispatch	EMS En Route	EMS Arrival	With Patient

General

Location Type	Address		Property ID
1 - Street address	1504 S Church ST Watertown, Jefferson County		
District/Box	State	City	Zip Code
03-Watertown Cit	WI - Wisconsin	Watertown, Jefferson County	53094
Number/Milepost	Street or Highway		Apt./Suit/Room
1504	S Church ST		
Number/Milepost	Crossing street		

Narrative

Dispatched for a fire alarm zone 31 nothing specific (old pizza hut). Upon arrival found strip mall mixed use with nothing showing. Crew made contact with occupants in (old Pizza hut) at address stated they were cooking in the kitchen and set off smoke detector. No Hazards found with investigation. Gained entry via knox box located at 1512 S. Church St. where the alarm panel is located. Engine crew confirmed no hazards in entire building system was reset and 1512 resecured. No other assistance needed all units returned to service.

Property

Section 3, Item B.

Is Residential Number of Residential Units: 1

Estimated Dollar Value and Losses

PRE-INCIDENT VALUES

Property

Contents

LOSSES (If no loss, leave blank)

Property

Contents

Property Use / HazMat / Detector Status

Property Use

161 161 Restaurant or cafeteria

Mixed Property Use

51 - Row of stores

HazMat Release

Detector Status

Response

Apparatus ID	CAD App ID	Dispatch (DP)	Enroute (ER)	Arrival (AR)	Cleared	# of Personnel
4110 - Comma	4110	9:01:20	9:01:39	9:04:04	10:01:11	1
4154 - Ambula	4154	9:00:50	9:02:30	9:05:06	10:01:11	2
4161 - Engine	4161	9:00:45	9:02:43	9:05:04	10:01:11	4
4181 - Brush T	4181	9:02:19	9:02:22	9:02:22	10:01:11	1

Owner /Involved Person and Entities

Owner Full Name Owner / Involved Person / Entity Phone Number Entity Name

Roblers, Alex

2 - Involved

Birth Date:

Is Responsible Party

E-Mail:

Mail Address: 1504 S Church ST Watertown WI 53094

Authorization

Member Making Report

Member Making Report

Chad Butzine

Member Making Assignment

Battalion Chief

Report Completed Date

1/2/2025 6:46:37 PM

Officer In Charge

Officer In Charge

Chad Butzine

Officer In Charge Assignment

Battalion Chief

Review

Report Reviewed By

David Johnsen

Report Reviewed Date

2/3/2025 8:56:15 PM

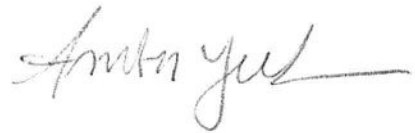
Monday, February 24, 2025

Watertown Planning Commission,

My name is Amber Yelk and I am the owner of Sassy Sweets Bakery, LLC in Watertown and I will be opening up a retail location at 116W. Main Street, by spring. I have currently been in business for nearly 10 years and will finally have a downtown business location. I am currently baking out of Watertown Farm Market Kitchen, an incubator kitchen, on Main Street here in town and have been selling at Farmers Markets in Pewaukee and Oconomowoc for the past 8 years. I also specialize in dessert bars and cupcakes for weddings in the surrounding areas.

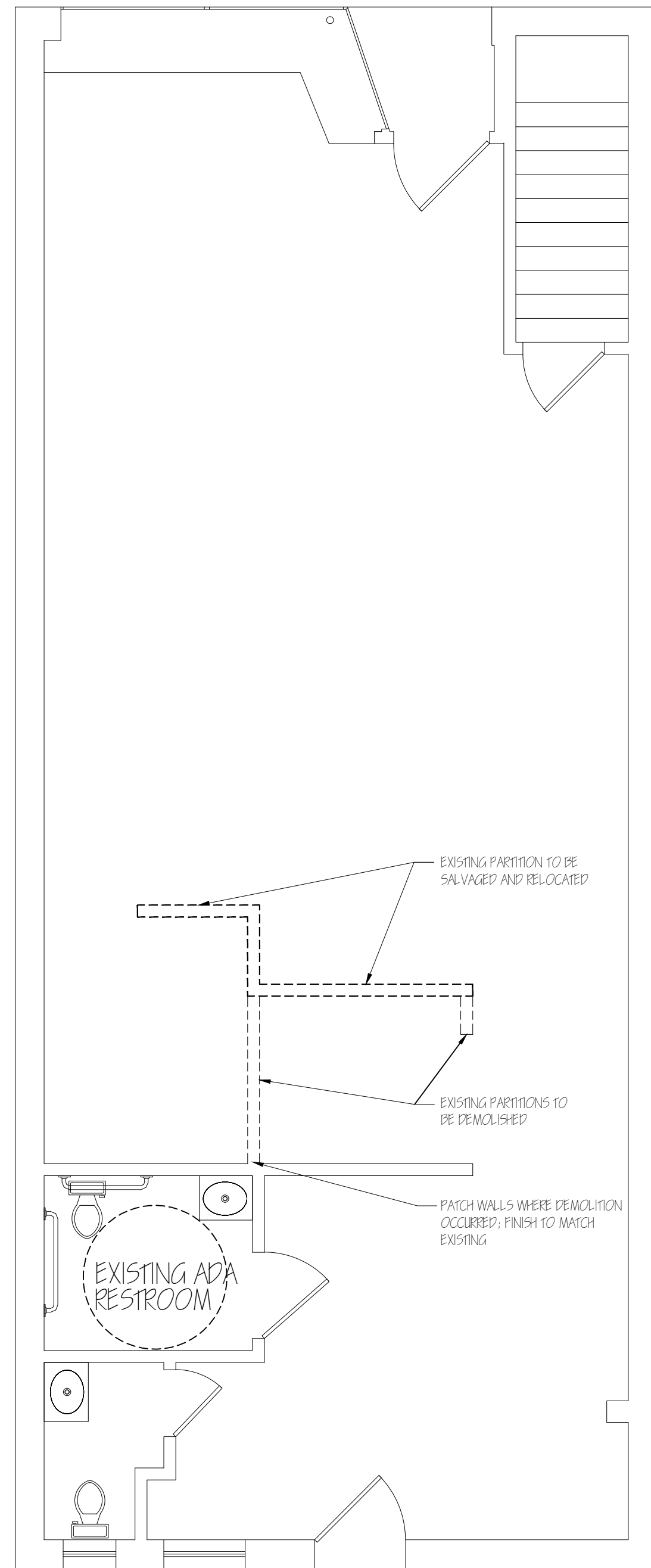
While providing bakery retail options to new and existing customers, I want to add table and chairs to the front of the bakery so customers can either enjoy their treats in-house, or to-go if they chose. I plan to offer many different cakes, scones, muffins, cheesecakes, and many more grab-n-go options to my customers. I feel I have an optimal location across from the Square and feel like my bakery can add to our thriving downtown.

I am very excited for this opportunity and hope you will allow for the added dine-in seating area in the front of the bakery. Thank you for the consideration,

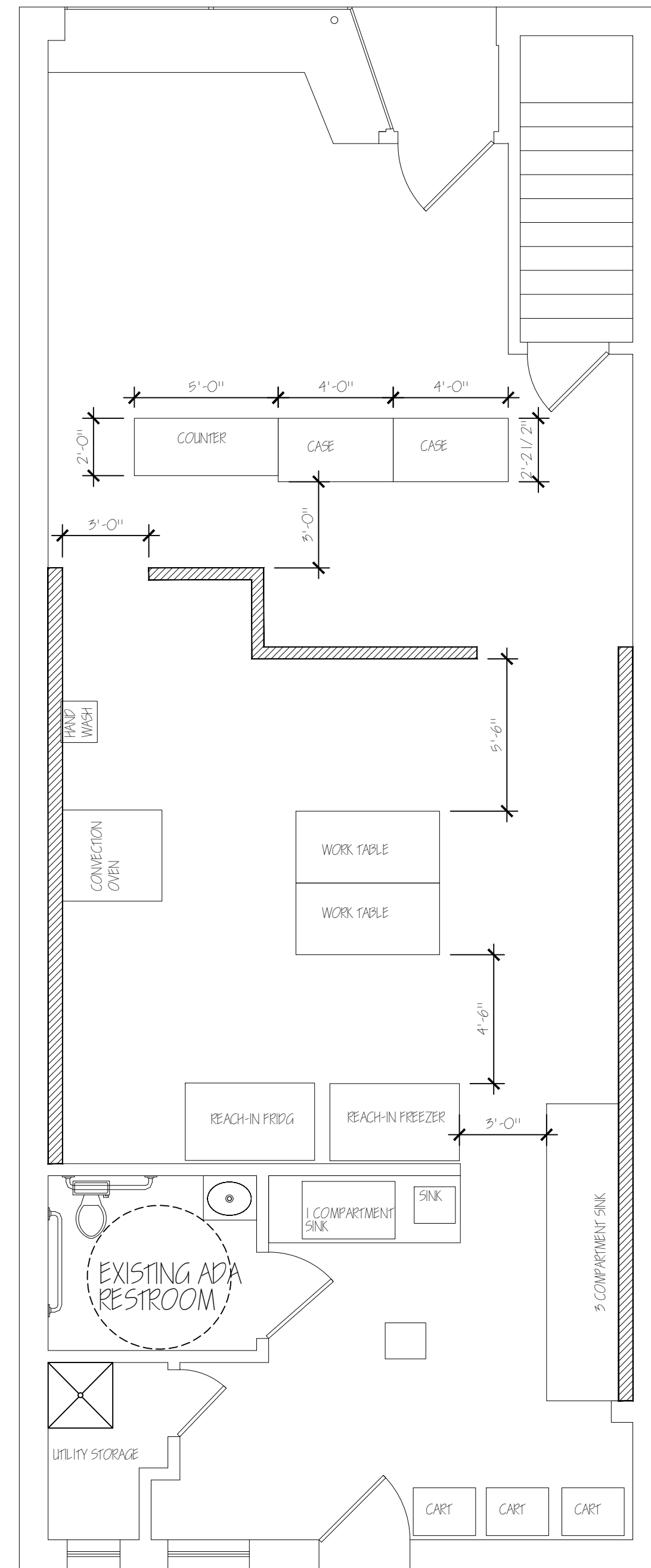
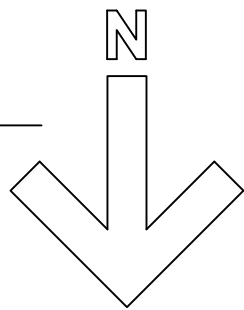


Amber Yelk

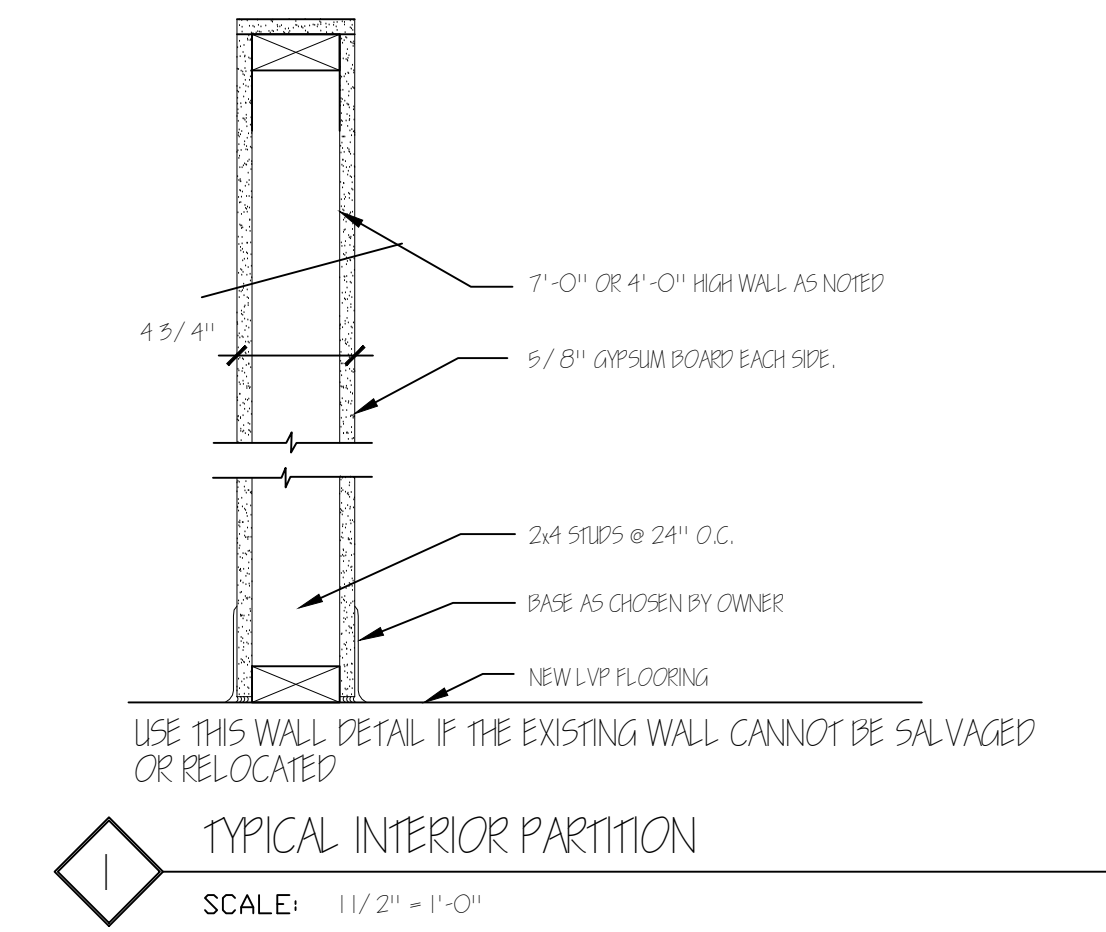
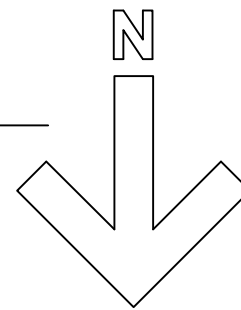
Owner/Baker



1 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN AND EQUIPMENT
SCALE: 1/4" = 1'-0"



**SASSY SWEETS BAKERY
EQUIPMENT LAYOUT
116 WEST MAIN STREET
WATERTOWN, WI 53094**

ARCHITECT:
SchultzWerk
Architecture, Inc.
2515 NORTH 66TH STREET
WAUWATOSA, WI 53213
414.322.7374
swerk@juno.com

ARCHITECT:
KEITH SCHULTZ, ALA, ASID

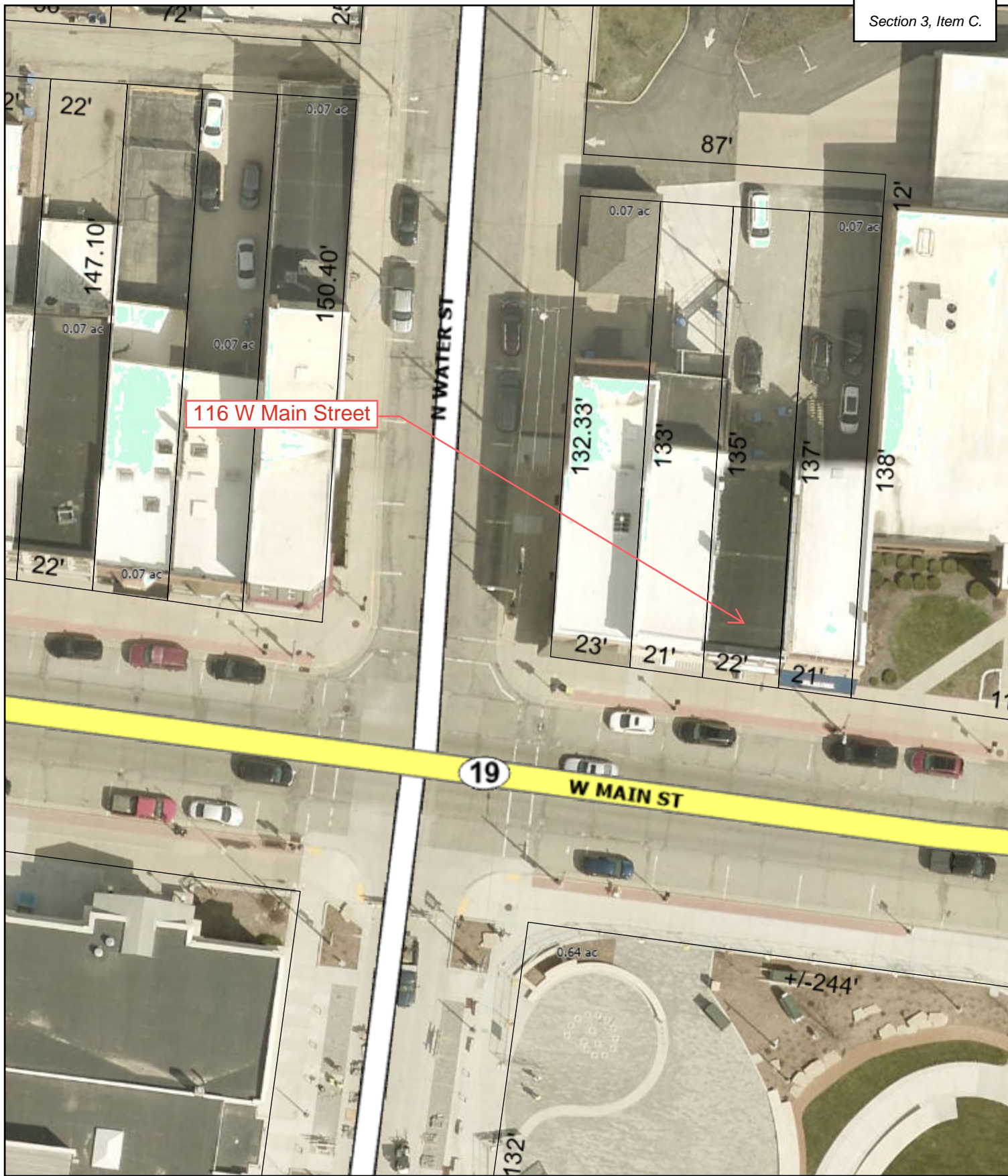


REVISIONS

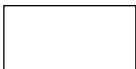
PROJECT NO. 24028.00
DATE 04/08/2024
DRAWN BY KJS
CHECKED BY KJS

SHEET CONTENTS
FLOOR PLANS
AND DETAIL





City Boundary



Parcel Boundary



City of Watertown Geographic Information System

Scale: 1:443

SCALE BAR = 1"

Printed on: February 11, 2014
Author:

112

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

D&J Sports Bar & Grill
 301 E Main St.
 Watertown, WI 53094

We are going to continue what we have been doing for the last 5 years. Which is Dart & Pool Leagues, Dart Tournaments, having Green Bay Packer signings, live music, DJs & Karaoke and Latin Nights.

Like to be adding a Comedy Nights, Bag Leagues/Tournaments, Pool Tournaments, weekend long Dart Tournaments, this would bring in people from out of town to stay for the weekend.

We would like to do Fundraisers for the Humane Society, Veterans, food drives.

Kitchen

As we become busier we'd like to increase our kitchen to be able to do Fish Fry's, Breakfast (start on weekends).

We will be looking to do more hiring. Looking forward to be moving to Historic Main Street.

Thank you,
 Jerry & Deb Heltzer

Main St

exit hallway back

average deck

seating area

video games

entry

seating area

Dart boards

pool tables

pool table

Table Table
Dart board

Bar

Table Table

gaming

3rd St

table

Dance or
seating area

Stage

Kitchen

Restrooms

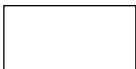
Restrooms

Hallway
Up stairs

Section 3, Item D.



City Boundary



Parcel Boundary



City of Watertown Geographic Information System

Scale: 1:739

SCALE BAR = 1"

Printed on: March
Author:

115

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



To whom it may concern:

Lakeside Construction proposes to construct a 45'x72'x16' post frame structure at 1013 S. Fifth St in the City of Watertown. The purpose of this building is to provide the Owner (Heritage Military Music Foundation) a storage facility to keep vehicles, trailers, and other equipment in an enclosed space out of site of the public eye. This facility will be used for storage only and no intent for anyone being on-site for the purposes of employment.

The primary function of the building will be to house the truck and trailer used as a parade float for the Owner. Additional band related equipment will be stored within the facility as well as a lawn mower and other minor yard maintenance equipment for use on-site. Additional space has been provided for future storage of additional vehicles and equipment when the need for expansion arises.

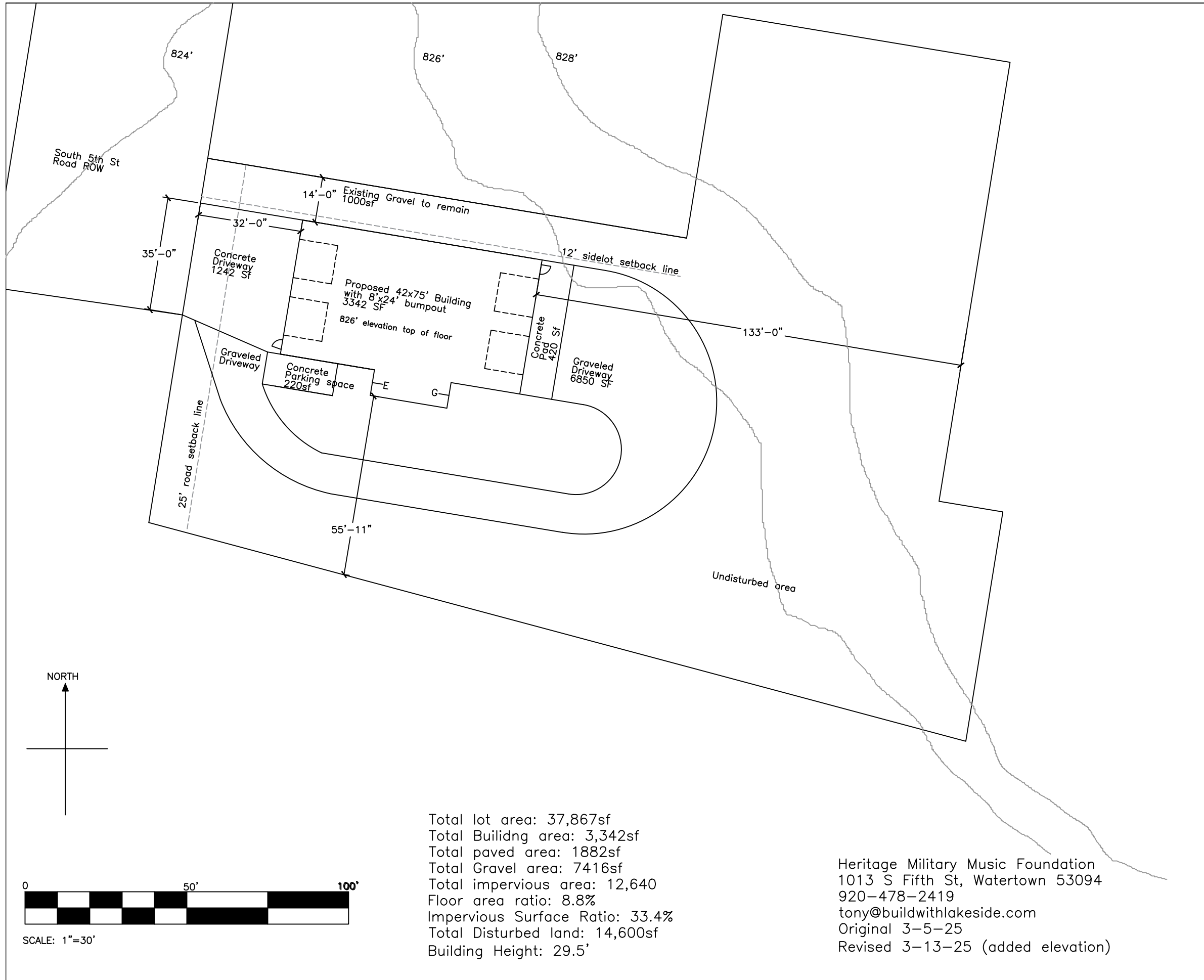
The exterior of the building will be covered in a ribbed steel roofing and siding at all points. The trims and 36" wainscot will be black in color, and the balance of the walls and the roof will be white. All overhead and service doors will be white steel.

Exterior lighting will be provided by gooseneck wall sconces. 60w dimmable bulbs will be used with motion sensors to provide the lighting. Each of the 4 overhead doors will have a light centered above the door. The service doors will be located next to the overhead doors and have lighting provided by the same lights.

There will be a concrete driveway poured during construction that leads from the lot line to the building as shown on the site plan. An additional 10' wide apron will be poured at the back of the building the full width of the building.

The lot line to the North of the proposed building location currently has the neighbors gravel driveway crossing the lot line. In the interest of being good neighbors the Owner does not intend to remove this gravel or disturb it in any way during construction. This graveled area is included in the site plans graveled area calculation.

Thank you,
Tony Stenzel
Lakeside Construction
920-478-2419





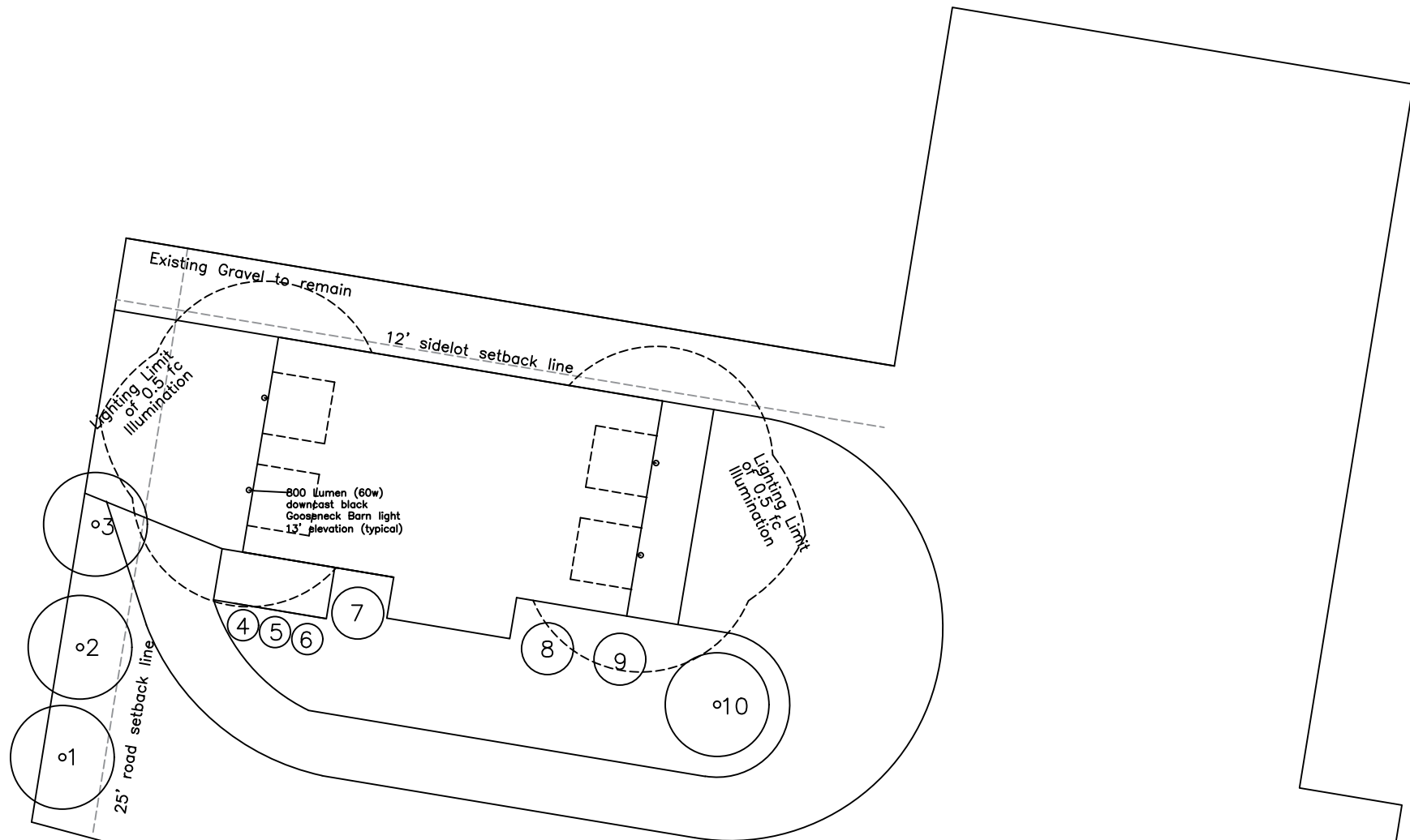
PROPOSED BUILDING FOR:
 LAKESIDE CONSTRUCTION
 WATERLOO, WI

BUILDING COLORS:
 ROOF: PRO-RIB CHARCOAL GRAY
 WALLS: PRO-RIB WHITE
 WAINSCOT: PRO-RIB CHARCOAL GRAY
 TRIMS: CHARCOAL GRAY



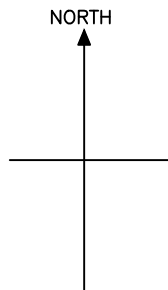
FILE NAME:
 R00325A2025

FOR QUESTIONS PLEASE CONTACT BUILDING
 DESIGNER AT THE FOLLOWING:
 POSTFRAME@MIDWESTMANUFACTURING.COM



Species	Size/Type	Location	Points
1 Birch: Paper	Medium Deciduous Tree	Developed Lot	15
2 Birch: Paper	Medium Deciduous Tree	Developed Lot	15
3 Linden: Basswood	Tall Deciduous Tree	Street Foundation	30
4 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
5 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
6 Lilac: hyacinth	Tall deciduous Shrub	Paved area	5
7 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
8 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
9 American Arborvitae	Medium Evergreen Tree	Building Foundation	20
10 Linden: Basswood	Tall Deciduous Tree	Paved Area	30

Area	Required points	Proposed points
Building Foundation	50	60
Street Foundation	20	30
Paved Areas	40	45
Developed Lots	15	30
Total Points	125	165



SCALE: 1"=30'

Heritage Military Music Foundation
 1013 S Fifth St, Watertown 53094
 920-478-2419
 tony@buildwithlakeside.com
 Original 3-5-25
 Revised 3-13-25 (removed tree)

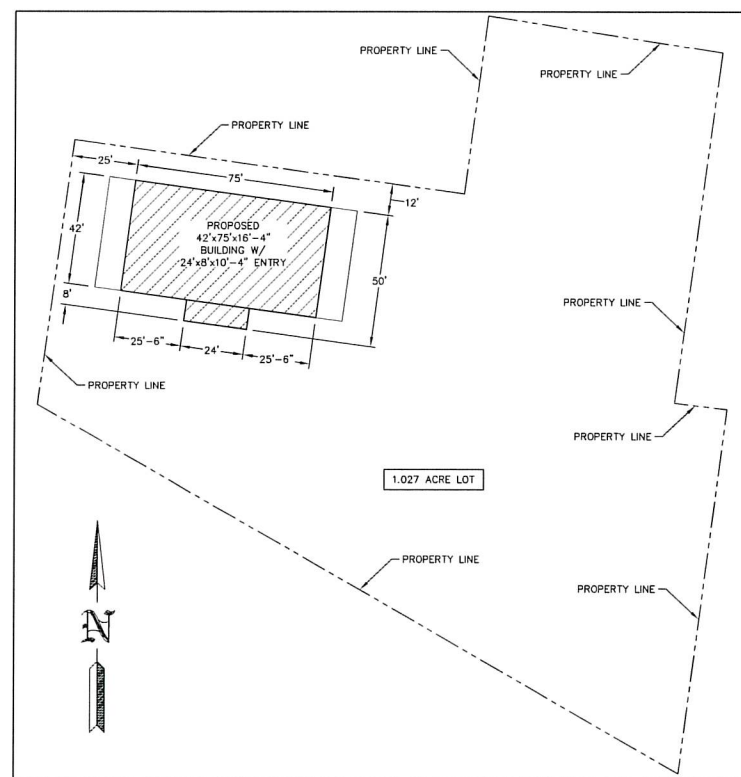


(BULBS INCLUDED)

SPECIFICATIONS	
Voltage	120V
Base Type	E26
Wattage	60W
Power Type	Hardwired
Finish	Matte Black
Warranty	36 Months

HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI



SITE PLAN
SCALE: 1"=30'

NOTE: THE OWNER SHALL PROVIDE AN ALL WEATHER HARD SURFACE AREA 30 FEET OR MORE IN WIDTH EXTENDING AT LEAST ONE SIDE OF THE LENGTH OF ONE SIDE OF THE PROPOSED STRUCTURE AND MUST BE ACCESSIBLE TO FIRE FIGHTING EQUIPMENT.

96" MIN
96" MIN
96" MIN

NOTE: PARKING LOT REQUIRES HANDICAP ACCESSIBLE PARKING STALLS. (ANSI A117.1.5.02) FOR NUMBER OF STALLS REQUIRED, SEE WISCONSIN CODE SECTION 1106.

NOTE: THE OWNER SHALL PROVIDE DESIGNATED SPACE WITHIN OR ADJACENT TO STRUCTURE FOR THE COLLECTION OF RECYCLABLE MATERIALS AS PER SPS 362.0400(2).

NOTE: THE OWNER/CONTRACTOR SHALL VERIFY ALL BUILDING SETBACKS WITH LOCAL OFFICIALS PRIOR TO CONSTRUCTION. ADJUST BUILDING LOCATION TO COMPLY, IF REQUIRED.

NOTE: FLOOR ELEVATION @ ALL SERVICE DOORS SHALL BE LEVEL AND FLUSH WITH ADJACENT INSIDE AND OUTSIDE FLOORS AS PER IBC 1010.1.5

NOTE: CURB RAMPS COMPLYING W/ ADAAG 4.7 ARE REQUIRED WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.

NOTE: IF MORE THAN ONE ACRE OF LAND IS DISTURBED BY BUILDING ERECTION AND/OR PARKING AND ACCESS DRIVE SURFACE, THEN THE OWNER/CONTRACTOR SHALL SUBMIT A WATER RESOURCES APPLICATION FOR PROJECT PERMITS (WRAPP) AS PER NR 216.

NOTE: OWNER/CONTRACTOR SHALL PROVIDE A PLAT SURVEY WITH PROPOSED BUILDING LOCATIONS AND VERIFY ALL PROPOSED BUILDING SETBACKS AND LOCATION ON PROPERTY WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION AND MAKE ADJUSTMENTS ACCORDINGLY.

BUILDING INFORMATION:
NAME: HERITAGE MILITARY MUSIC FOUNDATION
PARCEL #: 291-0815-0442-084
CITY: WATERTOWN
STATE: WI
ZIP: 53094
COUNTY: JEFFERSON

OWNERS INFORMATION:		BUILDING DESIGN INFORMATION:		BUILDING DESIGN LOADS:	
- NAME:	HERITAGE MILITARY	- DESIGN CODE:	2018 WI COM. BLDG. CODE (2015 IBC)	- SHOW:	
- ADDRESS:	504 SOUTH 4TH STREET	- USE OF BUILDING:	STORAGE	- (Ps) =	30.0 PSF
- CITY:	WATERTOWN	- OCCUPANCY CLASSIFICATION:	GROUP (S-1)	- (Cs) =	0.80
- STATE:	WI	- CONSTRUCTION TYPE:	2B	- (Is) =	1.00
- ZIP:	53094	- RISK CATEGORY:	2	- (Cl) =	1.20
		- FIRE SUPPRESSION SYSTEM:	N0	- (Pl) =	22.68 PSF
				- (Cs) =	1.00
				- (Ps) =	22.68 PSF
				- (Lr) =	20.00 PSF
				*WITH UNBALANCED AND DRIFT LOADS AS REQUIRED	
				WIND	
				- B.W.S.	= 115 MPH
				- EXPOSURE	= C
				SEISMIC	
				- SEISMIC IMPORTANCE FACTOR:	1.00
				- SPECTRA RESPONSE	
				- COEFFICIENT SDS:	0.089
				- SPECTRA RESPONSE	
				- COEFFICIENT SDI:	0.072
				- SITE CLASSIFICATION:	L
				- SEISMIC DESIGN CATEGORY:	II
				TRUSS DEAD LOADS	
				- DLTC	= 1 PSF
				- DLBC	= 10 PSF

MAJOR STRUCTURAL COMPONENTS	
MIDWEST MANUFACTURING STRUCTURAL COMPONENTS (COLUMNS, TRUSSES, AND STEEL) ARE USED IN THE DESIGN OF THIS BUILDING. ANY DEVIATIONS OR SUBSTITUTIONS OF THESE MATERIALS REQUIRE A CHANGE ORDER DUE TO THE DESIGN VALUES OF THE MATERIALS SPECIFIED.	
*A CHANGE ORDER CAN BE OBTAINED FROM ENGINEERING@MIDWESTMANUFACTURING.COM AND IS REQUIRED FOR ANY STRUCTURAL, LAYOUT, OR MATERIAL CHANGES.	
COLUMNS:	- ALL LAMINATED COLUMNS SHALL BE MIDWEST MANUFACTURING'S, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.
TRUSSES:	- DESIGNED IN ACCORDANCE TO 2015 IBC - TPI APPROVED - THIRD PARTY INSPECTED - MIDWEST MANUFACTURING TRUSS QUOTE NUMBER: QTRC0695945 - LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.
STEEL PANEL:	- MIDWEST MANUFACTURING'S PRO-RIB STEEL PANEL - 0142" MINIMUM THICKNESS BEFORE PAINTING - 0165" NOMINAL THICKNESS AFTER PAINTING - 060 GALVANIZED COATING PLUS ZINC PHOSPHATE - 40 YEAR PAINT WARRANTY - STRUCTURAL STRENGTH ASIM-A653 GRADE 80 (FULL HARD STEEL) - 82000 PSI MINIMUM TENSILE STRENGTH

SHEET INDEX	
SHEET #	SHEET DESCRIPTION
S1	SITE PLAN AND BUILDING SPECIFICATIONS
S2	ELEVATIONS
S3	FLOOR PLAN
S4	ROOF FRAMING PLAN
S5	SIDEWALL SECTION AND SECTION DETAILS
S6	ENDWALL SECTION, SECTION DETAILS AND OVERHEAD DOOR DETAILS
S7	WALL SECTIONS @ ENTRY AND SECTION DETAILS
S8	STEEL APPLICATION DETAILS AND GENERAL NOTES



ENGINEERING SERVICES

3511 KANE RD. EAU CLAIRE, WI 54703 (715) 878-3660
FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

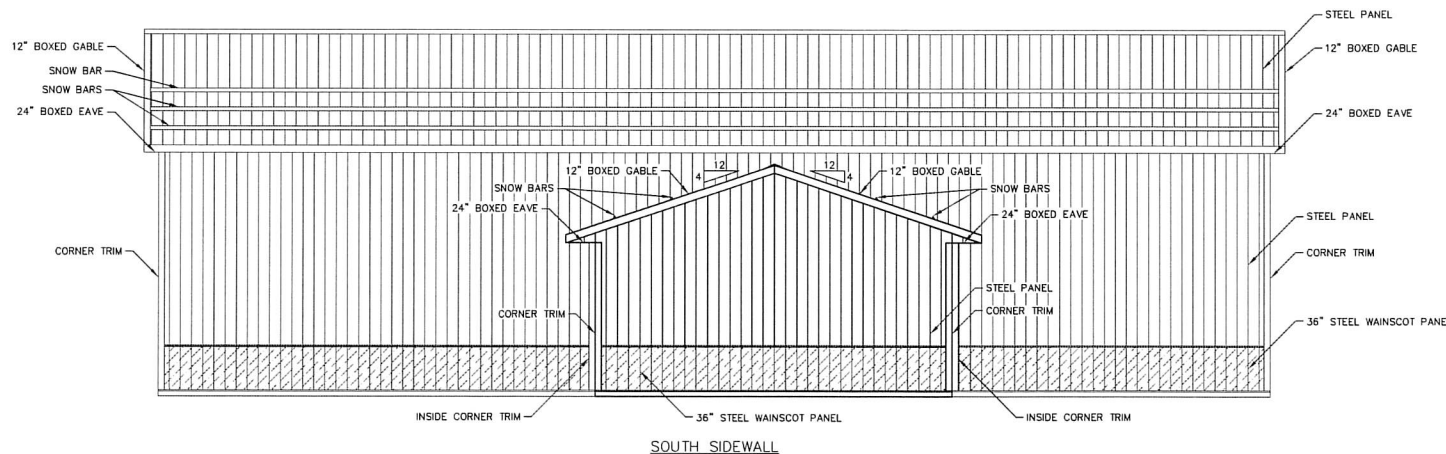
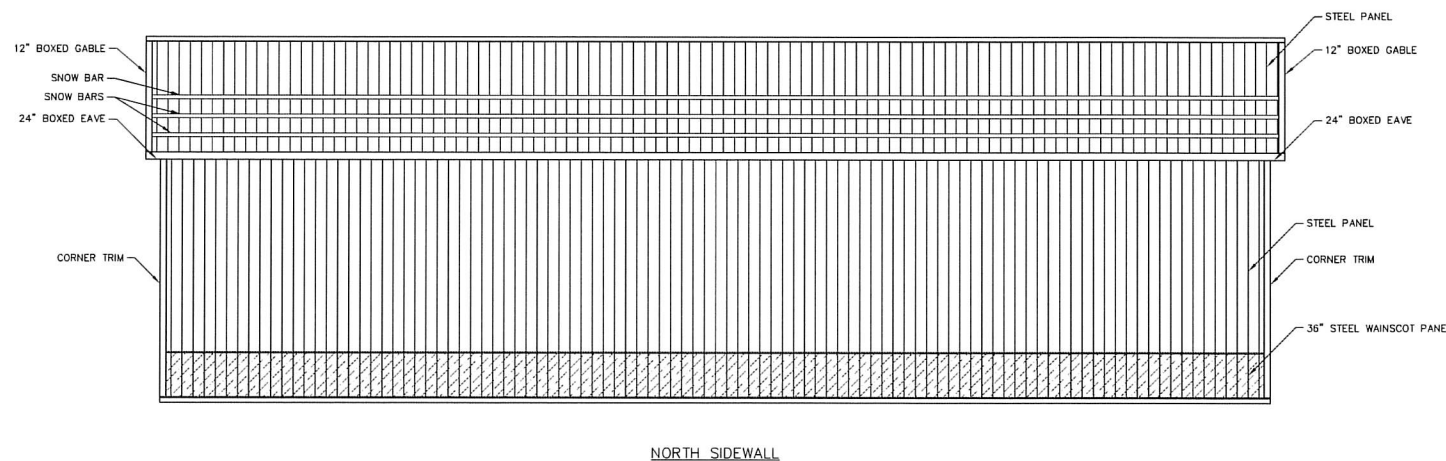
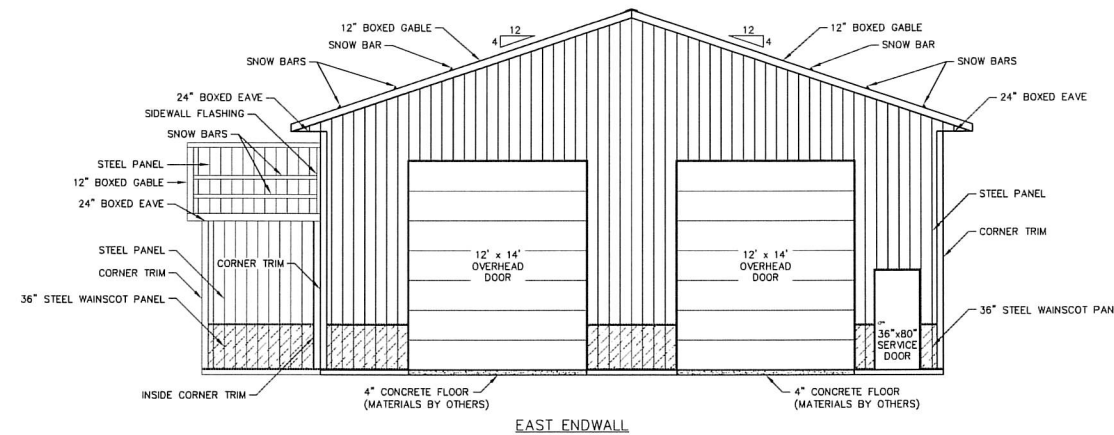
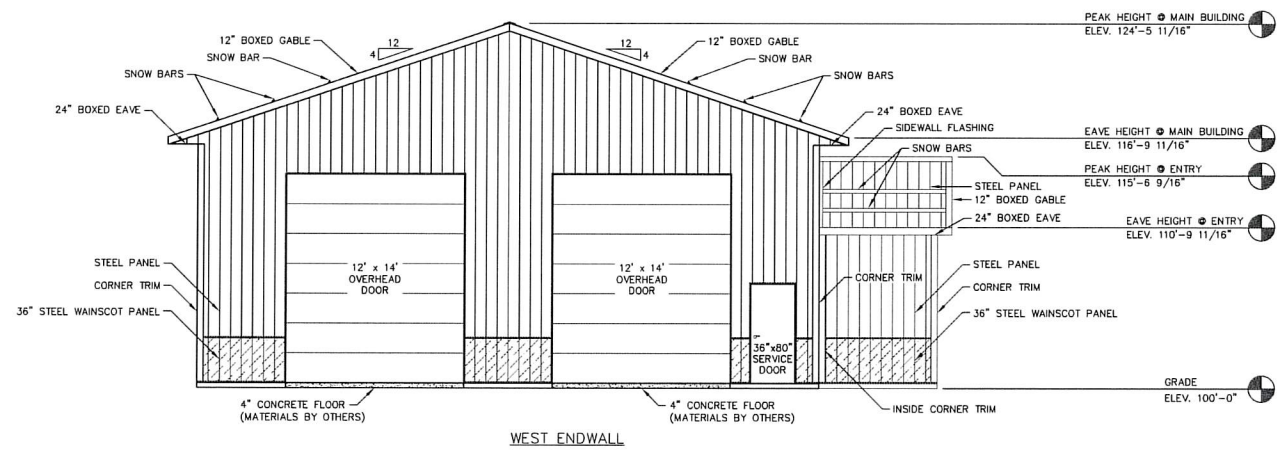
PROJECT TITLE:
**HERITAGE MILITARY
MUSIC FOUNDATION**
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
SITE PLAN AND
BUILDING SPECIFICATIONS
FILE NAME: S00525WI
SHEET NO.

S1



ELEVATIONS
SCALE: 3/16"=1'-0"



ENGINEERING SERVICES
5501 KANE RD. EAU CLAIRE, WI 54601 (715) 878-5885

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE

PLAN DESIGNER: MATT BUSHEE

DRAWN BY: DAS

DATE: 2/6/2025

SCALE: AS NOTED

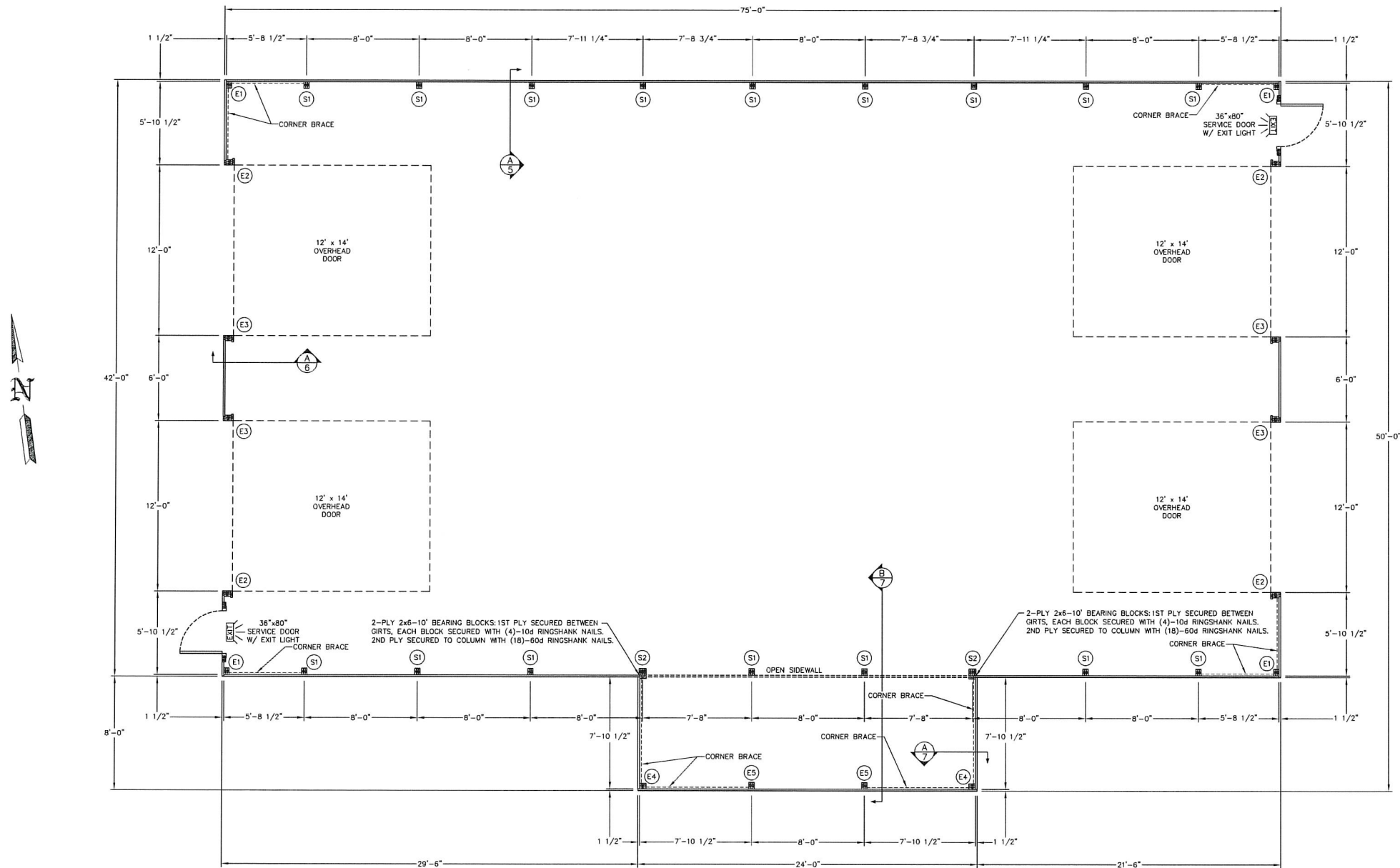
REVISIONS		
NO	DATE	DESCRIPTION
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2		

SHEET TITLE:
ELEVATIONS

FILE NAME: S00525WI

SHEET NO.

S2



NOTE:
ALL DIMENSIONS ARE TO CENTERLINE OF COLUMNS EXCEPT FOR CORNERS AND OVERHEAD DOOR JAMBS OR UNLESS NOTED OTHERWISE.

FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
CORNER BRACE SHALL BE A TREATED 2x6 EXTENDING FROM THE GRADEBOARD AT THE INTERIOR COLUMN TO THE TOP OF THE CORNER COLUMN. CORNER BRACE SHALL BE PLACED ON THE INSIDE FACE OF FRAMING MEMBERS. CORNER BRACE SHALL BE SECURED TO THE GRADEBOARD W/ (3)-10d RINGSHANK NAILS AND TO THE SOKFIT NALES/ENDFRAME BOTTOM CHORD W/ (3)-10d RINGSHANK NAILS. EACH BRACE TO GIRT LOCATION SHALL BE SECURED W/ (1)-10d RINGSHANK NAIL.

COLUMN & FOOTING SCHEDULE				
COLUMN LOCATION	COLUMN DESCRIPTION	EMBEDMENT	NUMBER OF COLUMNS	FOOTING DESCRIPTION
S1	3-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	16	20"x6" CONCRETE FOOTING
S2	4-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	26"x6" CONCRETE FOOTING
E1	3-PLY (24")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	4	14"x4" CONCRETE FOOTING
E2	3-PLY (26")-2x6 2400I MSR SYP LAMINATED COLUMN	4'-11"	4	14"x4" CONCRETE FOOTING
E3	3-PLY (30")-2x6 2400I MSR SYP LAMINATED COLUMN	4'-11"	4	14"x4" CONCRETE FOOTING
E4	3-PLY (18")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	14"x4" CONCRETE FOOTING
E5	3-PLY (20")-2x6 #1 SYP LAMINATED COLUMN	4'-11"	2	14"x4" CONCRETE FOOTING

NOTE:
IF CONCRETE FOOTINGS ARE POURED ON SITE, THEN FOOTINGS MUST BE A MINIMUM OF 8" THICK.



ENGINEERING SERVICES
5301 KANE RD. EAU CLAIRE, WI 54703 (715) 878-5005

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM
PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

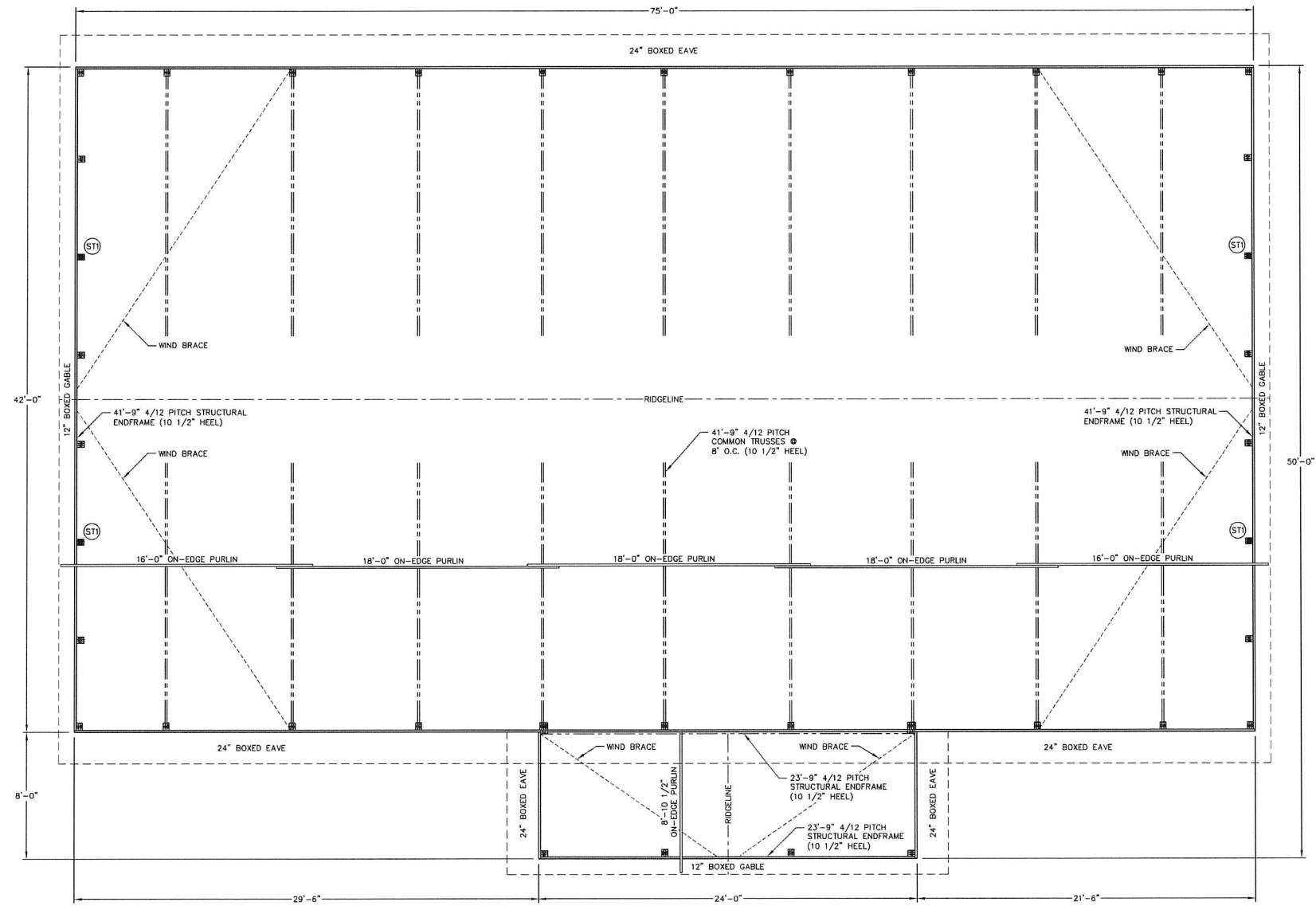
PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO.	DATE	DESCRIPTION
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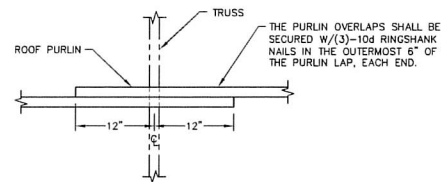
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FLOOR PLAN

FILE NAME: S00525WI
SHEET NO.

S3



ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



PURLIN OVERLAP DETAIL
SCALE: 1"=1'-0"

NOTE: (42'x75' MAIN BUILDING)
2x4 ROOF PURLINS (ON-EDGE) AT 24" O.C. ROOF PURLINS ARE TO BE SECURED TO THE TRUSS W/(1)-50d RINGSHANK NAIL AT EACH PURLIN TO TRUSS LOCATION.

NOTE: (24'x8' ENTRY)
2x4 ROOF PURLINS (ON-EDGE) AT 11" O.C. ROOF PURLINS ARE TO BE SECURED TO THE TRUSS W/(1)-60d RINGSHANK NAIL AT EACH PURLIN TO TRUSS LOCATION.

STUB COLUMN SCHEDULE		
COLUMN LOCATION	COLUMN DESCRIPTION	NUMBER OF COLUMNS
ST1	3-PLY 2x6-(8") STUB COLUMN (CUT TO FIT)	4

NOTE:
STUB COLUMNS TO BE PLACED AT CENTER OF ENDWALL DOOR OPENINGS UNLESS NOTED OTHERWISE.

NOTE:
WIND BRACE SHALL BE A 2x4 PLACED ON THE UNDERSIDE OF THE ROOF PURLINS. WIND BRACE SHALL BE SECURED W/(2)-30d RINGSHANK NAILS AT EACH END AND W/(1)-10d RINGSHANK NAIL AT EACH BRACE TO PURLIN LOCATION.

NOTE:
LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.



ENGINEERING SERVICES

5011 KAMR RD. EAU CLAIRE, WI 54601 (715) 878-8888

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION

WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE

PLAN DESIGNER: MATT BUSHEE

DRAWN BY: DAS

DATE: 2/6/2025

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

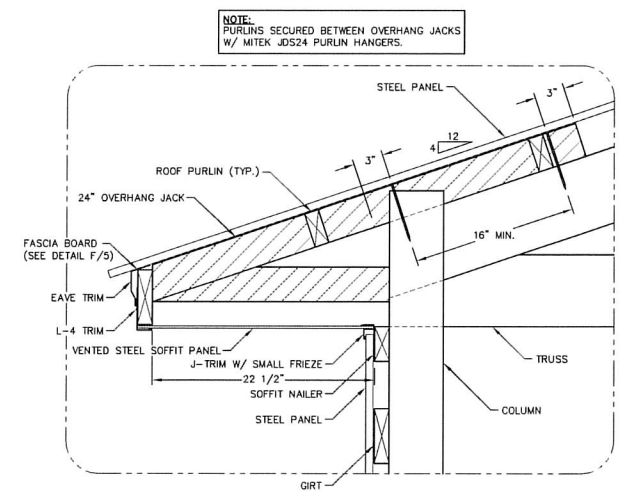
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ROOF FRAMING PLAN

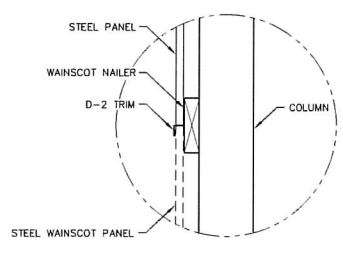
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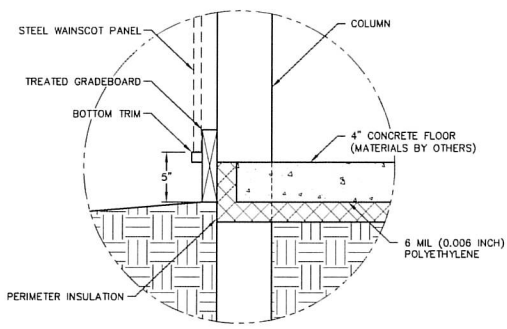
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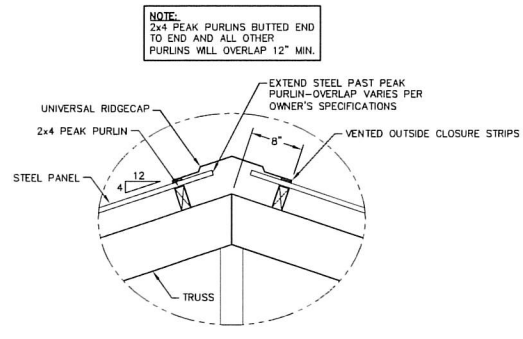
D 24" BOXED EAVE DETAIL
SCALE: 1 1/2"=1'-0"



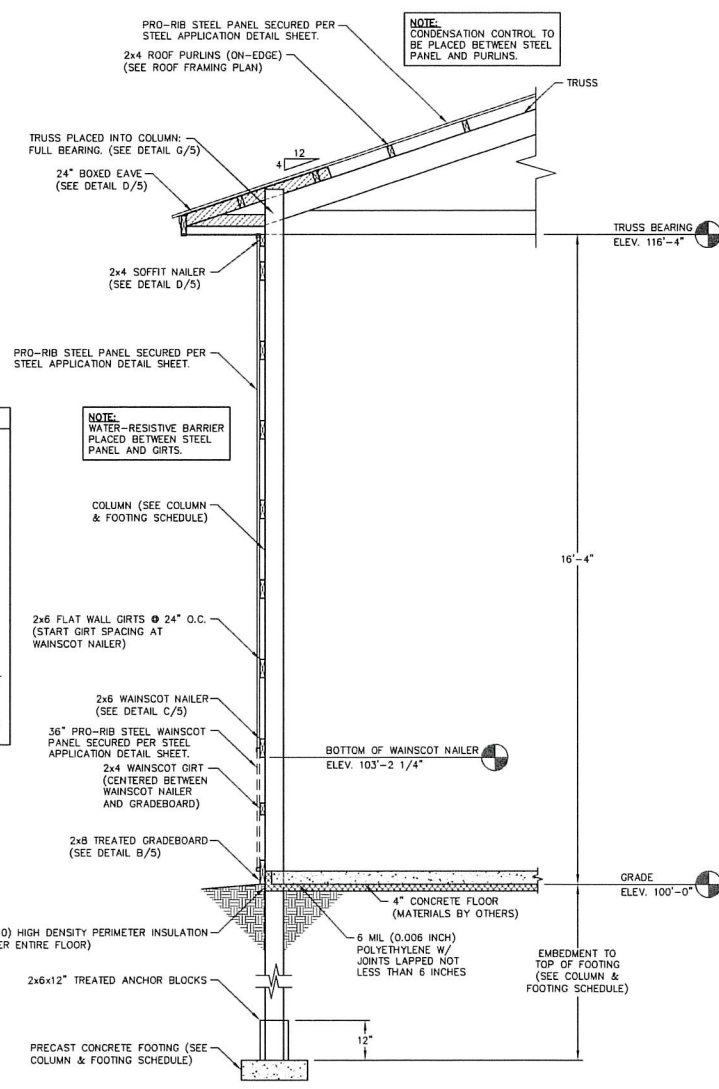
C D-2 TRIM DETAIL
SCALE: 1 1/2"=1'-0"



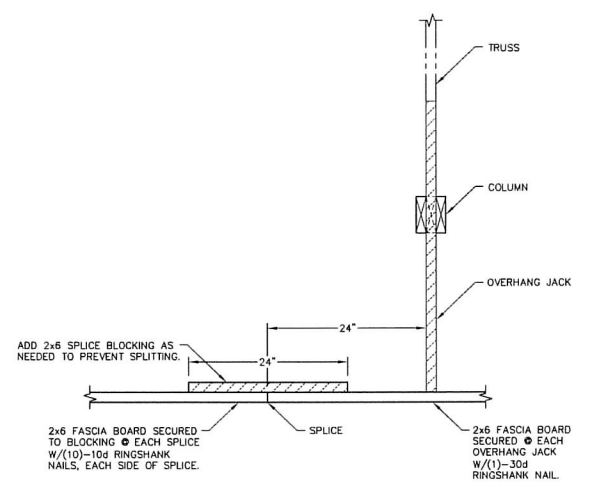
B GRADE DETAIL
SCALE: 1 1/2"=1'-0"



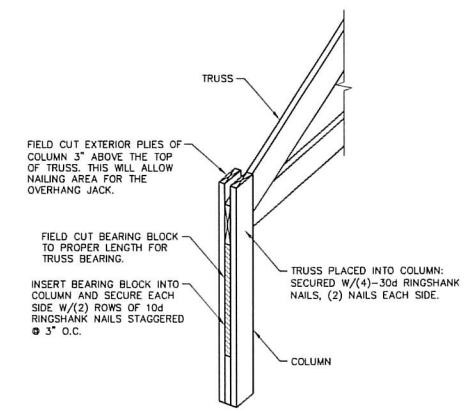
E PEAK PURLIN DETAIL
SCALE: 1"=1'-0"



A SIDEWALL SECTION
SCALE: 1/2"=1'-0"



F FASCIA BOARD DETAIL
SCALE: 1"=1'-0"



G TRUSS INSTALLATION DETAIL
SCALE: NOT TO SCALE

SIDEWALL SECTION FASTENER NOTES

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS, 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH SOFFIT NAILER TO COLUMN LOCATION.

WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.

WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

WAINSCOT GIRTS:
WAINSCOT GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRTS TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



ENGINEERING SERVICES
5201 KANE RD. EAU CLAIRE, WI 54601 (715) 878-3555
FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
SIDEWALL SECTION AND SECTION DETAILS
FILE NAME: S00525WI
SHEET NO.

S5

ENDWALL SECTION FASTENER NOTES

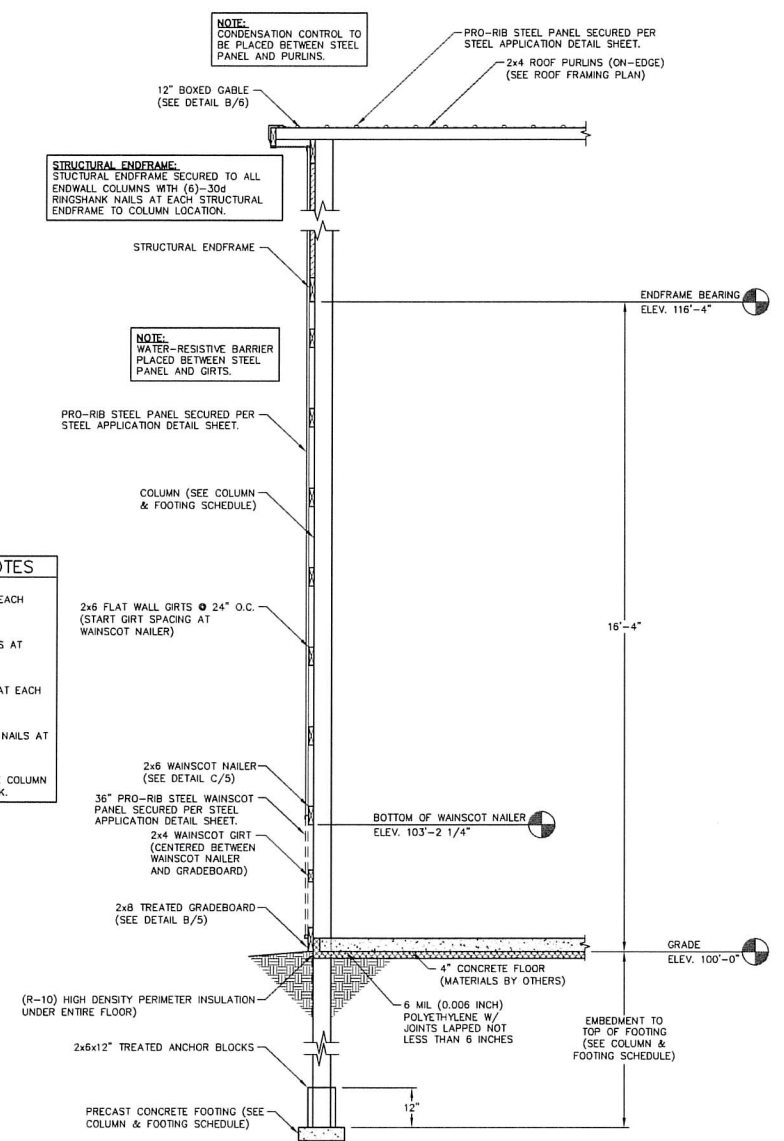
WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.

WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

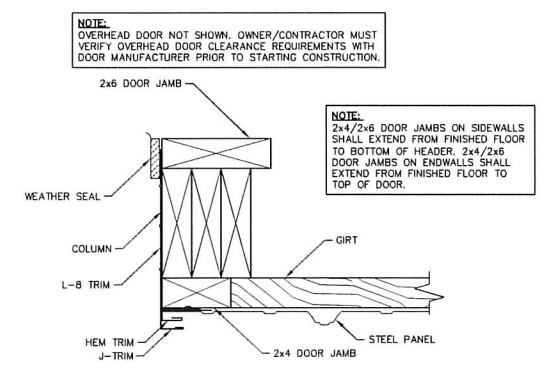
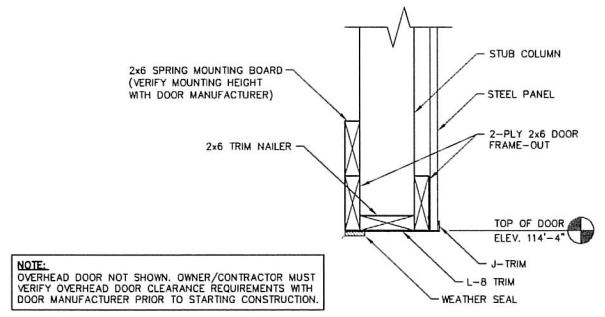
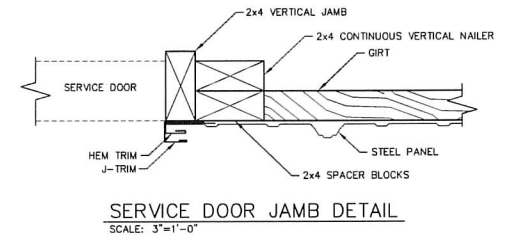
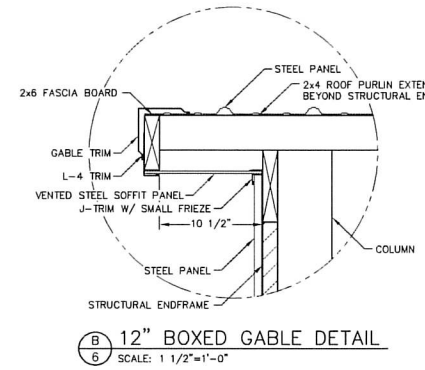
WAINSCOT GIRTS:
WAINSCOT GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRTS TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



A ENDWALL SECTION
SCALE: 1/2"=1'-0"



ENGINEERING SERVICES
5311 KANE RD. EAU CLAIRE, WI 54703 (715) 879-2666

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:
HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

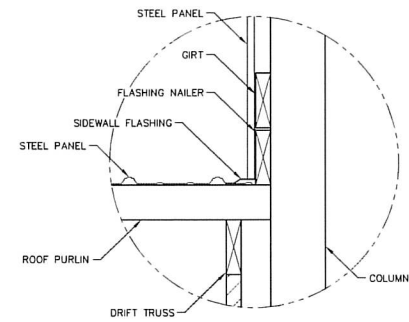
PROF. ENGINEER: MATT BUSHEE
PLAN DESIGNER: MATT BUSHEE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
ENDWALL SECTION, SECTION DETAILS AND OVERHEAD DOOR DETAILS
FILE NAME: S00525WI
SHEET NO.

S6



C SIDEWALL FLASHING DETAIL
SCALE: 1/2"=1'-0"

SECTION FASTENER NOTES

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS, 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH SOFFIT NAILER TO COLUMN LOCATION.

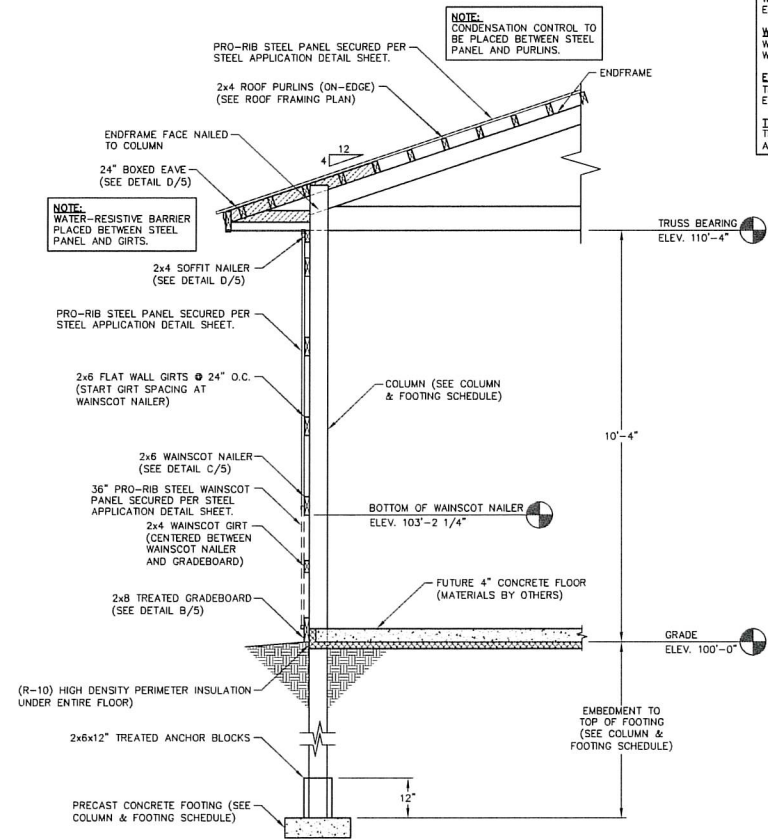
WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.

WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

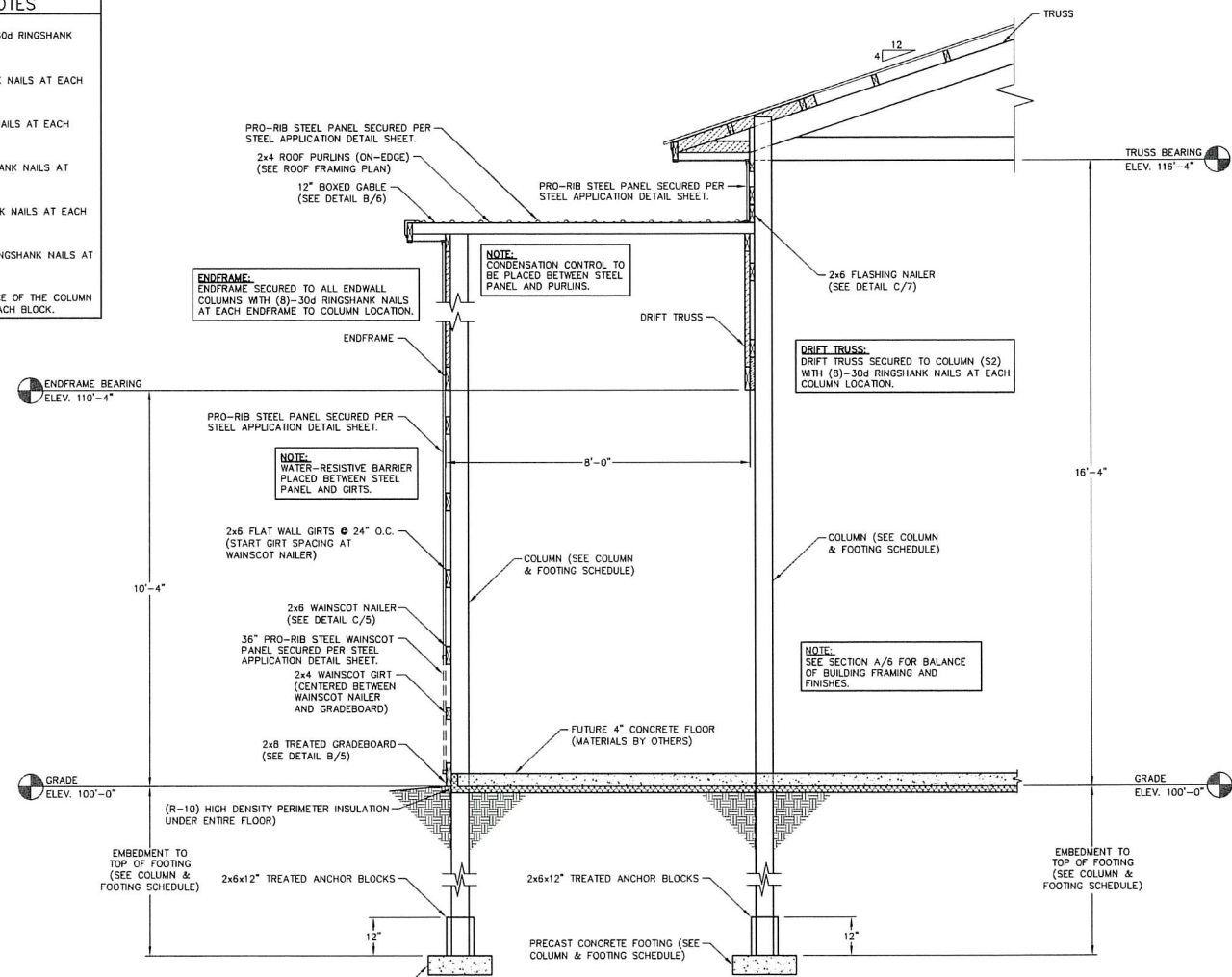
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EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



A SIDEWALL SECTION @ ENTRY
SCALE: 1/2"=1'-0"



B ENDWALL SECTION @ ENTRY
SCALE: 1/2"=1'-0"



ENGINEERING SERVICES
9301 KANAWA RD. WAUKESHA, WI 53186 (262) 979-2555

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MMWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHEE

PLAN DESIGNER: MATT BUSHEE

DRAWN BY: DAS

DATE: 2/6/2025

SCALE: AS NOTED

REVISIONS

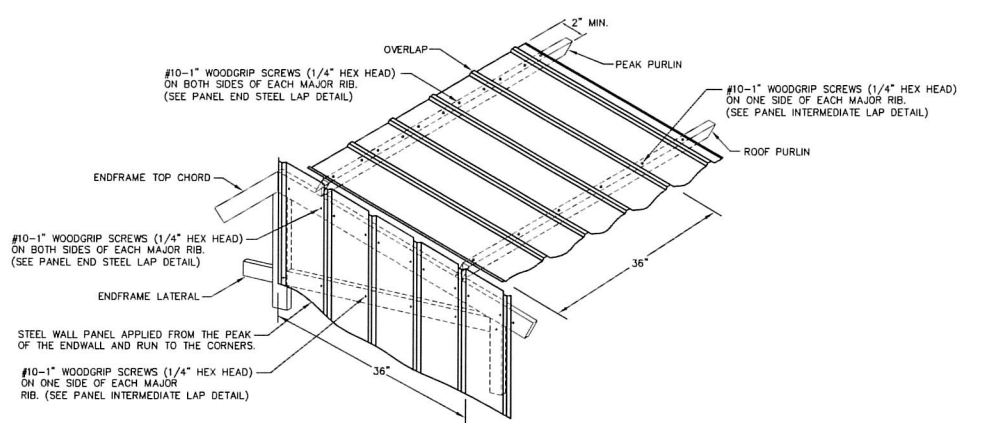
NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE: WALL SECTIONS @ ENTRY AND SECTION DETAILS

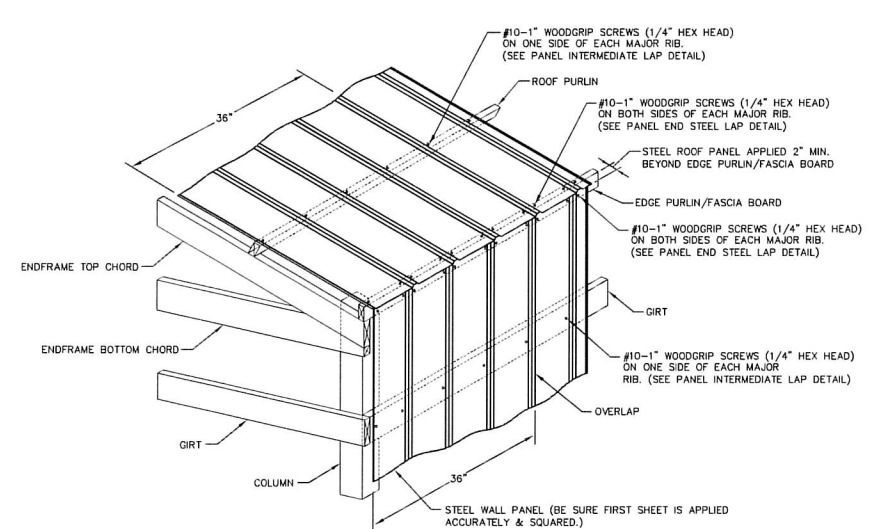
FILE NAME: S00525WI

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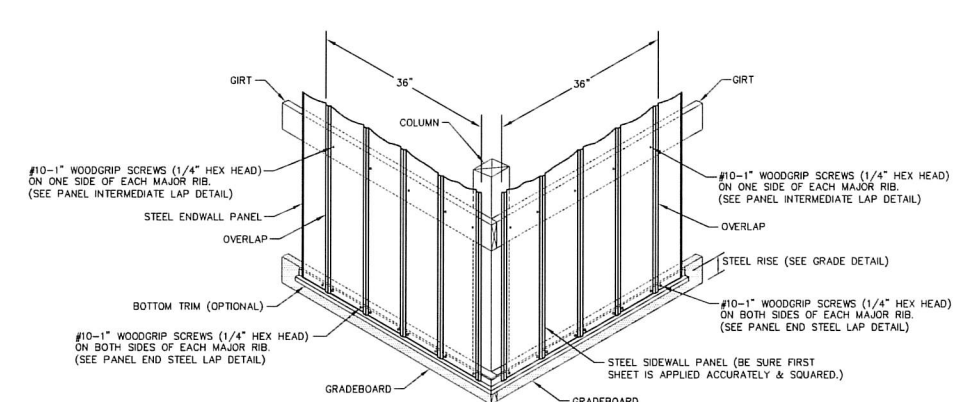
S7



ROOF & ENDWALL STEEL APPLICATION @ GABLE PEAK & INTERMEDIATE



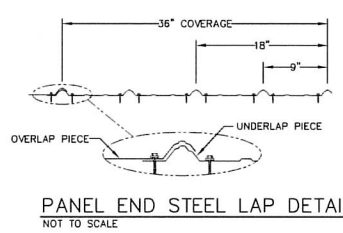
ROOF & SIDEWALL STEEL APPLICATION @ EAVE



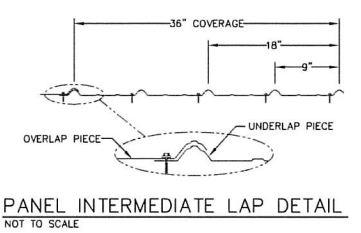
WALL STEEL APPLICATION @ GRADEBOARD

STEEL APPLICATION DETAILS

- STEEL PANEL INSTALLATION GENERAL NOTES:**
1. PROPER LAPPING OF STEEL PANEL IS VERY IMPORTANT IN THE PANEL'S ABILITY TO PREVENT LEAKING. OVERSEATING AND UNDERSEATING OF LAP IS NOT PERMITTED.
 2. FASTENER TIGHTNESS IS CRITICAL IN THE LONGEVITY OF THE FASTENER'S ABILITY TO HELP PREVENT LEAKS AND STRUCTURAL LOAD CARRYING CAPACITY. OVER-TORQUING OF SCREWS WILL REDUCE THE SCREWS WITHDRAWAL CAPACITY, REGARDLESS OF THE CONSTRUCTION MATERIALS INVOLVED. UNDER-TORQUING OF SCREWS WILL INCREASE THE POTENTIAL OF ROOF LEAKS.
 3. FASTENER LOCATION IS CRITICAL FOR INSTALLERS TO MINIMIZE THE POTENTIAL OF OIL CANNING, DIMPLES, AND OTHER APPEARANCE RELATED ISSUES.
 4. THE ANTI-SYPHON DRAIN CHANNEL MUST BE CLEAR OF DEBRIS AND OBSTRUCTIONS FOR THE PANEL'S ABILITY TO MINIMIZE THE POTENTIAL OF CAPILLARY ACTION OF WATER FROM GETTING UNDER THE STEEL PANEL.



PANEL END STEEL LAP DETAIL
NOT TO SCALE



PANEL INTERMEDIATE LAP DETAIL
NOT TO SCALE

GENERAL NOTES

PLEASE NOTE:

- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- IMPORTANT! THIS BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP TRIM BEAM) TO TRANSFER SIDEWALL AND ROOF WIND LOADS TO THE ENDWALL SHEAR WALLS. STEEL PANELS ARE AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS MADE MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE.

SOIL:

- OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY.
- ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 32.
- FOOTINGS TO BE ABOVE THE WATER TABLE
- ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- SOIL DESIGN BASED ON IBC CHAPTER 18 (CHAPTERS 16, 19, 21, 22 AND 23)
- PRESUMPTIVE SOIL TYPE FROM WEB SOIL SURVEY, USDA AND NRCS: (CLASS OF MATERIAL: SW, SP, SM, AND SC).
- SOIL CONSISTENCY: MEDIUM
- A SOIL BEARING PRESSURE AT GRADE ASSUMED AT A MINIMUM 2000 PSF.

CONCRETE:

- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL DEFORMED REBAR SHALL MEET A615 GRADE 60 OR BETTER.

LUMBER:

- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.
- ALL 2x4, 2x6, 2x8 LUMBER SHALL BE #2 SPF OR BETTER UNLESS NOTED OTHERWISE. ALL 2x10 & 2x12 LUMBER SHALL BE AS SPECIFIED ON THE BUILDING PRINT.
- FOR LUMBER REQUIRED TO BE PROTECTED FROM DECAY AND/OR INSECTS, SEE MOST CURRENT AMPA U1 FOR USE CATEGORIES AND EXPOSURE CONDITIONS.

STEEL TRIMS:

- COLOR MATCHED STEEL TRIMS
- CERAM-A-STAR 1050 PAINT SYSTEM

FRAMING FASTENERS:

- ALL FASTENERS SHALL BE AS LISTED BELOW UNLESS OTHERWISE NOTED.
- ALL FASTENERS SHALL BE EXTERIOR RATED FINISH UNLESS NOTED OTHERWISE.

PRIMARY FASTENERS (POST FRAME NAILS):

- 16d RINGSHANK NAILS (145°)
- 30d RINGSHANK NAILS (177°)
- 60d RINGSHANK NAILS (200°)

SECONDARY FASTENERS (POST FRAME NAILS):

- 10d RINGSHANK NAILS (135°)
- 16d RINGSHANK NAILS (145°)
- 30d RINGSHANK NAILS (177°)

- ALL MITEX PRODUCTS, I.E. JOIST HANGERS, TRUSS TIES, FRAMING ANGLES, ETC., SHALL BE SECURED PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE.

PANEL FASTENERS:

- COLOR MATCHED GALVANIZED WOODGRIP SCREWS, #10 DIAMETER, 1/4" HEX HEAD.

HANDLING AND STORING:

- ALL STEEL PANELS AND TRUSS PRODUCTS SHOULD BE HANDLED AND STORED PER MANUFACTURER SPECIFICATIONS.

GRADE:

- ALL FINISHED GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 5% GRADE FOR PROPER DRAINAGE (2% FOR PREVIOUS SURFACES) (IBC 1804).

CONSTRUCTION BRACING:

- TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS' RESPONSIBILITY. REFER TO BCSI-B1 AND/OR B10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).

HVAC:

- HEATING, VENTING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE APPROVED BY LOCAL OFFICIALS.

PLUMBING:

- PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.

ELECTRICAL:

- ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.

EXIT LIGHTS:

- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE ICC ELECTRICAL CODE.

ACCESSIBLE PARKING:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5.

ACCESSIBLE ROUTE:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4.

ACCESSIBLE DOOR HARDWARE:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPENED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR. THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR WITH 1:2 SLOPE IF GREATER THAN 1/4".

FIRE EXTINGUISHERS:

- SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).



ENGINEERING SERVICES
5031 KANE RD. EAU CLAIRE, WI 54703 (715) 879-2556

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING: ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

HERITAGE MILITARY MUSIC FOUNDATION
WATERTOWN, WI

PROF. ENGINEER: MATT BUSHÉE
PLAN DESIGNER: MATT BUSHÉE
DRAWN BY: DAS
DATE: 2/6/2025
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

SHEET TITLE:
STEEL APPLICATION DETAILS AND GENERAL NOTES

FILE NAME: S00525WI

SHEET NO.

S8

318 Union Street Temporary Use Explanation

I am Daniel Benninger and I am a 10 year resident and home owner in Watertown, WI. On March 8th 2025 I experienced a devastating kitchen fire. Luckily, my residence is still standing but everything inside needs to be gutted out and replaced. I am partially disabled from a neck surgery and have a service dog to help with my PTSD. My insurance company has put me up at the Best Western however, it has come to my attention that my service dog is barking when I am not around which I feel is due to unfamiliar surroundings. If it keeps up they have implied that I will need to find a new place to stay essentially leaving me homeless. The company supplying my tech needs at my residence has a camper that he rents out and I would like to have it setup at my residence. My contractor is fine with it being there and will keep debris away from the camper. This will also help me oversee the reclamation and give my service dog familiar surroundings. The camper is a 3 season camper with heat, A/C, full kitchen and bathroom, and all the necessities are included. Thank you for your consideration on this.

Daniel Benninger

318 Union Street

Watertown, WI

318 Union Street Temporary Use Plan

33'x 8' camper parked in driveway of residence

Heated drinking water hose rated to -20 degrees connected to hose bib.

Water regulator installed on camper to regulate pressure.

Temporary power to be installed in the house by licensed electrician which will power the camper.

Waste removal to be handled weekly by Environmental Services of Watertown


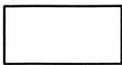

Propane refilled weekly by Tractor Supply of Watertown

Setup and removal of camper to be handled by Northern Elite Productions

Camper rental not to exceed 6 months for temporary use

Section 3, Item F.



-  City Boundary
-  Parcel Boundary
-  Address Points



City of Watertown Geographic Information System

Scale: 1:211 Printed on: March 20, 2025
SCALE BAR = 1" Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.