



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, FEBRUARY 12, 2024 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

By Phone or GoToMeeting: Members of the media and the public may attend by calling: (Toll Free): 1 877 309 2073 Access Code 145-282-749 or <https://meet.goto.com/145282749> All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated January 22, 2024

3. BUSINESS

A. Review and take action: 1110 S. Tenth Street & 1111 S. Tenth Street – proposed salvage yard/recycling center

B. Review and take action: 1722 S. Church Street – Culver's addition

C. Review and take action: 717 W. Main Street – site plan for two proposed buildings

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
January 22, 2024

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Emily McFarland; Brian Zirbes of Building, Safety & Zoning; Andrew Beyer of Engineering; Maureen McBroom of Stormwater Utility; Stacy Winkelman of the Street Department; Tim Hayden of the Water/Wastewater Department; Kristine Butteris of Park & Rec; Strategic Initiatives and Development Coordinator Mason Becker; Doug Zwieg of Building, Safety & Zoning; and Anthony Rauterberg of the Fire Department. Also in attendance were Nikki Zimmerman, TJ Schlieve, and Mark Zvitkovits.

1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated November 13, 2023

Motion was made by Doug Zwieg and seconded by Anthony Rauterberg to approve the November 13, 2023 Site Plan Review minutes as submitted. Unanimously approved.

3. Business

A. Review and take action: 806R Elm Street – heated storage shed

Applicant TJ Schlieve was present to describe the proposed project. The proposal is for a new 4,992 sf heated storage building which will be the same as the current one on that site.

The following was presented by staff:

Building:	No further requirements.
Fire:	No further requirements.
Engineering:	No further requirements.
Stormwater:	Erosion control permit needed for any land disturbance over 3,000 sf. Post-construction stormwater is being worked on by a contractor. The designer and applicant will get in touch with Maureen McBroom to ensure everything is being completed as needed.
Streets and Solid Waste:	No further requirements.
Water/Wastewater:	No further requirements.
Zoning:	No further requirements.
Parks:	No further requirements.

Motion was made by Doug Zwieg and seconded by Emily McFarland to recommend approval of this proposal to Plan Commission with inclusion of the two conditions identified by Maureen McBroom.

Unanimously approved.

B. Review and take action: 621 Bernard Street – site plan for new fire station

Updated plans were recently submitted for the new fire station. Mark Zvitkovits of SEH was present to answer questions.

The following was presented by staff:

Building:	Final plans will have to be forwarded to the state for review.
Fire:	No comments.
Engineering:	No utility plan was submitted. Please submit one that shows items like grades, depths, materials, etc. for review. The floodway should be delineated before construction begins. There shall be no filling in the floodway. Details on stormwater basins will have be submitted.
Stormwater:	An erosion control and stormwater permit will be required. Anything being turned into the DNR with the NOI will also be required to be submitted to the City of Watertown. Verify what type of stormwater treatment will be used (i.e. infiltration or biofilters with underdrains). This will be required as soon as possible. A copy of the DNR NOI letter will also be required.
Streets and Solid Waste:	No comments.
Water/Wastewater:	Utility specs need to be shared. Suggests the water loop through the property. The sewer

line and size need to be indicated on the plans as well as what size meter. A hydrant meter could be placed on the hydrant that is being used at the site for fire purposes. Would be helpful for the Water Department for water loss logs. The additional meter will be discussed after the plans are submitted.

Section 2, Item A.

Zoning: Structures need to be 20' from residentially zoned property lines. The plans need to state this. A conditional use permit will be required for the exterior of the storage building and training tower. Vehicle access and circulation need further information such as the driving lanes matching code and parking stalls being the correct width. Plans with measurements and details to meet 550-107 need to be submitted. Minimal landscaping requirements are met but it's suggested to increase the landscaping a bit more. The lighting plans will be reviewed and feedback will be provided.

Parks & Forestry: Concerns on availability of different variations of oaks. There are about 20 trees that need to be transplanted from the existing area. 2" trees are needed to be transplanted but there aren't enough there currently. There are many 1" – 1 ½" but not 2". Direction will be needed to see which trees will be kept. A tree protection during construction permit will be needed for those that will be kept in place during construction. The tree needs to be fenced 2' past the drip line (the canopy of the tree). There are multiple options if the 1 – 1 ½" trees. Is the plan to get nicer looking wood chips or use what Parks has? This will be discussed and placed on the final plan. Suggestion of some of the berry bushes at the Towne Square being placed at the fire station.

Motion was made by Doug Zwieg and seconded by Kristine Butteris to recommend approval of this proposal to Plan Commission with inclusion of the above comments.

Unanimously approve with Mayor McFarland abstaining.

4. **Adjournment**

Motion was made by Emily McFarland and seconded by Andrew Beyer to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

EXTERIOR LILGHTING

We will install three (3) exterior lights for security 150 watt metal halide LED lights, two on the south border focused north onto the yard area and one on the east focused west.

NOISE

Operation will only be during daylight hours. Any sound will not be continuous as the only sound is from modern cranes with no Detroit 2 cycle engines . Our modern hydraulic cranes are rated Plus 5 DBA ambient level.

VIBRATION

No equipment that vibrates the ground will be installed.

OFF STREET PARKING

Agreement with Lessor allows access of the .53 acre parking lot adjacent (110 South 19th Street)

LANDSCAPING

The lot is bordered by established trees on three sides with additional perennial plants which currently meets the landscaping requirements additionally the entire fenced lot will be screened.

AIR POLLUTION

As stated in our lease all operations are in compliance with the Environmental, Health, and SFETY Requirements. These include but are not limited to the Clean Air Act, 42 USC & 7401 et seq, the Clean Air Act, 22 USC and 1251 et seq., the Resource Conservation and Recovery Act, 42 USC & 6901 et seq., the Water Pollution Control Act, 33 USC & 1251 et seq., the Comprehensive Environmental Response Compensation and Liability Act., 42 & 9601 et seq.

DRAINAGE

Operations do not generate any water runoff or drainage of any kind.

Brian

Attached please find the landscaping plans for
1111 South Tenth and 1110 S Tenth Street.

The required 15% green space square footage is noted along with **the existing**
square footage and **additional proposed**.

1110 S Tenth Street lot has 2992 sq. ft. of existing green space with the proposed
additional square footage requirement of 408 sq. ft. planned for arborvitae on
the west end of the south side.

1111 S Tenth Street has 16,044 sq. ft. of existing green space; the proposed
additional square footage requirement will be filled with arborvitae on the fence
line on the northerly end of the east side (abutting the school property); a climax
tree will be added to the north side; arborvitae will be planted on the south as
needed to complete the 18,705 sq. ft. requirement.

The *points* needed for street footage has also been determined:

The 1110 S Tenth Street lot has 120 ft. linear street footage requiring 21 points.
The existing trees and shrubs exceed that at 1,509 points.

1111 South Tenth Street has 529 ft. linear street footage requiring 121 points. The
existing trees and shrubs exceed that at 3,964.

Section 3, Item A.

1111

Show search results for 1111

X Q

REQUIRED 3400 sq ft

EXISTING 2992 sq ft

408 sq ft

Proposed
Additional
Arboretum



40ft

Section 3, Item A.

1111

Show search results for 1111

1108

1110

S TENTH ST

1109

1111

x Proposed Climax Tree
Proposed Arborvitae
EXISTING



Landscaping details:

1110 South Tenth

Existing 2080 sq. ft. green on south

528 sq. ft. grass north/east

384 sq. ft. grass/ arborvitae/ash east (street frontage)

2992 sq. ft.

Site contains 26 aspen, 1 maple, 7 ash, 6 American arborvitae, 3 junipers, grass.

Proposed required additional 400 sq. ft. additional arborvitae on south, west end parallel to rail road.

1111 South Tenth

Existing 3200 sq. ft. on east

10700 sq. ft. on south

2000 sq. ft. grass on north

64 sq. ft. in parking area west

80 sq. ft. perennial flowers/grass south & west of office

16044 sq. ft.

Site contains 16 pine, 86+ arborvitae, 3 birch, 8 maple, 11 ash, 2 spruce, 3 privet shrubs, Russian sage, tulips, Rubeckia.

Proposed required additional 2706 sq. ft.: 138 sq. ft. dense arborvitae on north of office, east; a maple north of office; 2600 sq. ft. arborvitae along appx. 350' south, parallel to rail.

ALBANY WATER TOWN OLD VIEWER

1110 5 10 ft

X

Q

Show search results for 1114

EXISTING

528 sq ft

384 "

2080 "

2992 sq ft

Olives
Arboretum
3' diameter
3'

Aspen
Maple
Oak
105.48'

NEEDED

3400 sq ft

408

260'

8' x 260' current green

1110

61.5'

192.90'

1108

62.29'

1104

63.62'S

55.40'

98.21'S

1106

65.29'

123'

12

portunity runs through it.

111

X

Show search results for 1111

2007

16 Pine
8 + 4000

10908

3 Dieck
7 Maple
8-10 Oak
49-51 Oakville

১০ খ্রিঃ

2000 40 0/1000

252

384

w
D
C
M
E

5
4
3
2
1

88
75
35
60

18,750 Required
16,044 existing
2706 Needed

$6 \times 23 = 138$ sq ft

Adding the open
350' on South, $7-8' = 2600'$

Reason for request to change *1111 South Tenth Street, Watertown, Wisconsin*

.

This 2.98 acres is *currently* zoned Heavy Industrial, surrounded by Heavy Industrial zoning; *we cannot move the existing buildings 100' from the lot line.*

This land was a recycling facility for over 50 years licensed by the State of Wisconsin.

It is bordered on all sides by parking lots and a rail road track. The rail line limits its desirable use for anything other than industrial use.

A recycling facility will serve the needs of the citizens of the City of Watertown and surrounding counties paying money for their scrap, saving valuable landfill space not to mention giving new life to the metal itself. **There is a need for a recycling facility and this site fits that need.**

The fact that this site is surrounded by industrial parking lots and the Webster employees' parking lots means no actual activity will occur with 100'.

The proposed facility will be a recycling collection point with daytime hours of operation.

We personally contacted the alderman for this district, Myron Moldenhauer, surrounding neighbors, businesses, and the Webster school principal, Brad Clark, informing them of the proposed return of a recycling facility to the site. Not a person objected -- in fact, they welcomed the return of a recycling facility and active use of the land.

1111 South Tenth Street is completely fenced (with fence to be completely screened) with s four large gates for truck access. It is located on a City truck route. Furthermore, it is bordered completely on its east and south sides with mature trees.

It is not a junkyard. It is a recycling center.



Parcels



Override 1

Parcels



City Limits



THE CITY OF
WATERTOWN
Opportunity runs through it.

City of Watertown Geographic Information System

Scale: 1 inch = 140 feet

SCALE BAR = 1"

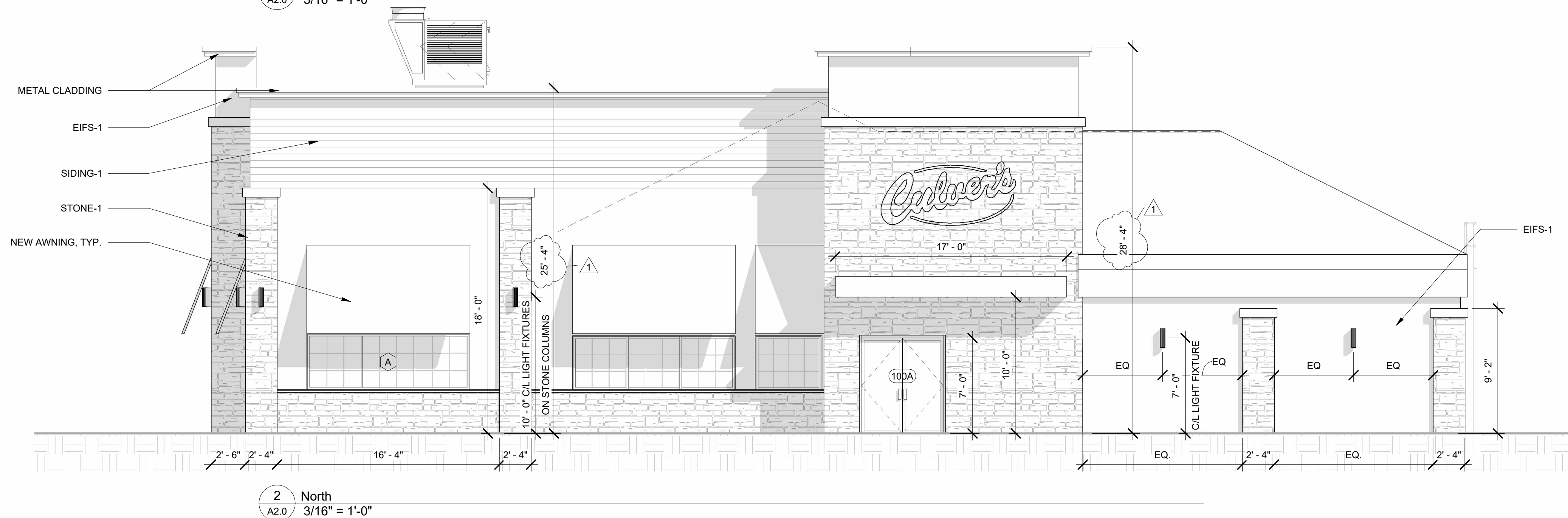
Printed on: November 1, 2017

Author: Private User

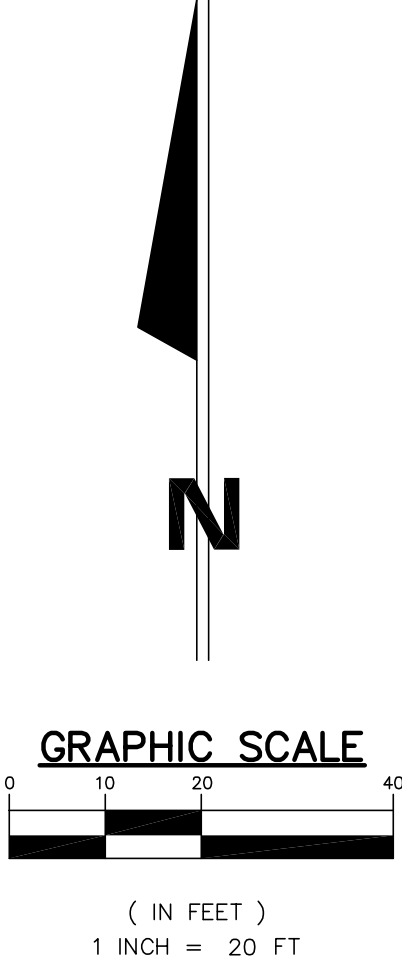
DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



EXTERIOR WALL PACK: RAB LIGHTING BRONZE WALL PACK
MFR# - SLIM17FA15ADJ
CRESCENT ELECTRIC ITEM# - 128558



Project number M74210	Sheet number A2.0
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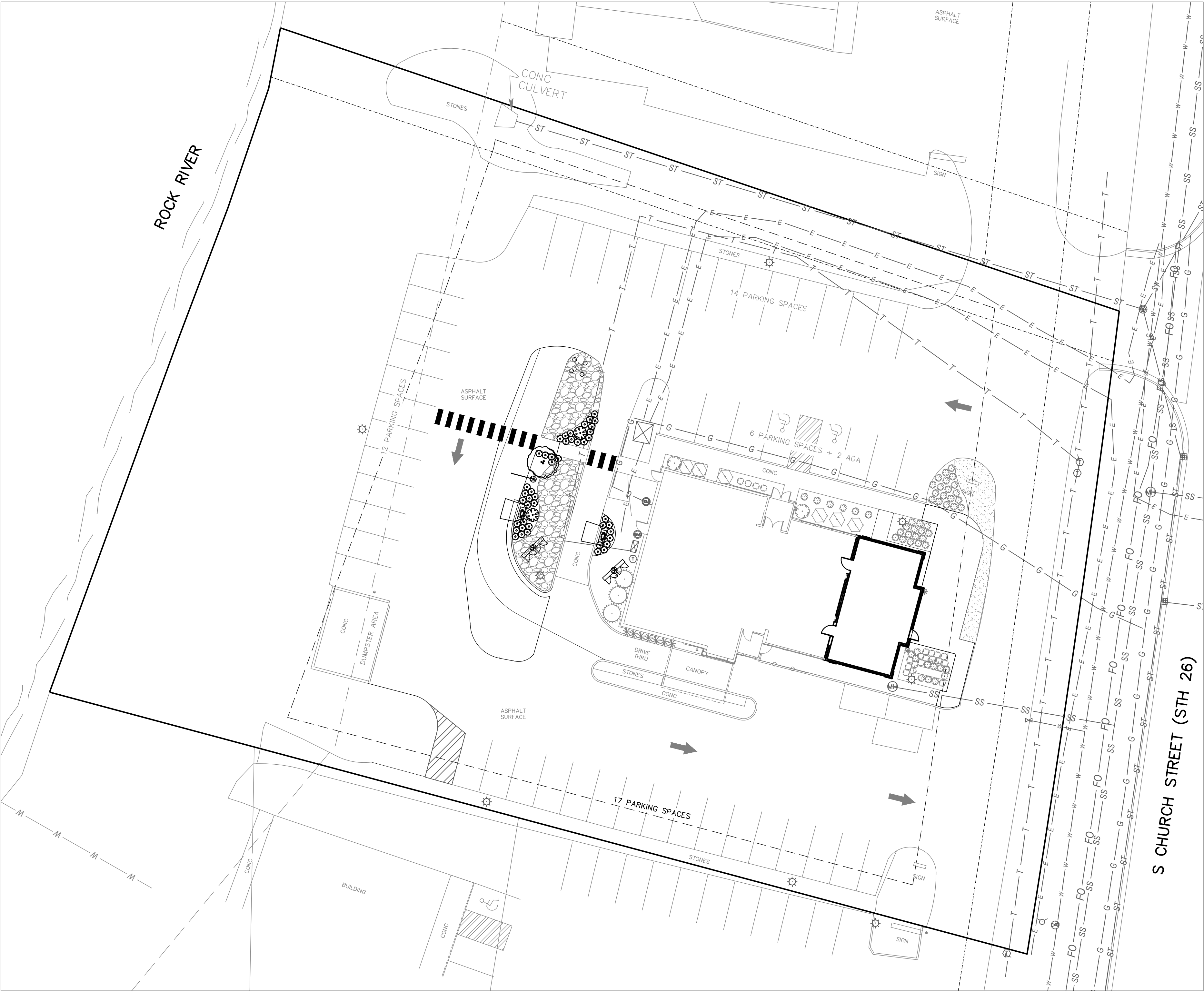
- # TABULATED SITE DATA
1. ACREAGE OF SITE (#48,287 SFT) ±1.11 Acres
2. LAND COVERAGE:
- AREA TO IMPERVIOUS = 916 SFT
AREA TO PERVIOUS = 915 SFT
- IMPERVIOUS: NET GAIN OF 1 SFT
3. SITE PARKING
- | | TOTAL SPACES |
|----------------------------------|--------------------|
| A. EXISTING PARKING SPACES | 60 INCLUDING 3 ADA |
| B. PROPOSED PARKING SPACES | 50 INCLUDING 2 ADA |
4. MAXIMUM CAPACITY RATIO
- | | |
|---------------------------------------|-------------|
| A. BUILDING MAXIMUM CAPACITY | 103 PERSONS |
| B. CAPACITY RATIO PER ORDINANCE | 1:3 |
| C. PARKING SPACES REQUIRED | 35 SPACES |
5. SURFACE RUN-OFF AND DRAINAGE TO CONTINUE TO BE COLLECTED ON-SITE IN THE SAME MANNER AS CURRENT.

1. DRIVE--THRU LANE STACKING
 -- FROM PASS--THROUGH WINDOW
 - A. 132'
 - B. 152'
 - C. 72'
2. KIOSKS AND CLEARANCE BARS TO HAVE A CLEARANCE OF 9.5' AND A MAXIMUM HEIGHT OF 9.7" (BY OTHERS)
3. UTILITY LOCATIONS ARE APPROXIMATE & ARE TO BE FIELD VERIFIED BY CONTRACTOR

CONCRETE PAVEMENT REQUIREMENTS:
FOR BOTH CONCRETE PAVEMENT AND CONCRETE ORDERING PADS:
6' HIGH/EARLY HIGHWAY MIX CONCRETE WITH #4 FIBRE REBAR
2' ON-CENTER - BOTH DIRECTIONS

EXISTING EXTERIOR LIGHT POLES ARE TO REMAIN.

C201	SCALE:	1" = 20'	
	JOB NUMBER:	2022-0168	
	DATE:	MAY 2023	
	DRAWN BY:	MM	
	DESIGNED BY:	MM	
	WATERTOWN, WIDD 1723 S CHURCH ST. WATERTOWN, WI 53094		
PRELIMINARY FOR REVIEW PURPOSES ONLY			
ELKHART, IN South Bend, IN Fort Wayne, IN p: 574.232.4388 p: 260.422.2522			
JONES PETRIE RAFINSKI			
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C101 REV.	DESCRIPTION	BY	DATE



PLANT MATERIAL LIST

ID	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ROOT	POINTS
EXISTING PLANTS						
PERENNIALS						
GRASSES						
SHRUBS						
PROPOSED PLANTS						
AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" CAL		B & B	
AM	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2 1/2" CAL		B & B	
CA	CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	NO. 5, 36" SPREAD MIN.		CONT.	
CH	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	NO. 5 36" SPREAD MIN.		CONT.	
JC	JUNIPERUS CHINENSIS 'PFITZER'	CHINESE JUNIPER	NO. 5 36" SPREAD MIN.		CONT.	
HP	HEMEROCALLIS 'PURPLE DE. ORO'	PURPLE DE ORO DAYLILY	NO. 1 CONT.		CONT.	
				TOTAL POINTS		

SEEDED TURF

LANDSCAPE EDGING

GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION OF ALL PRIVATE AND PUBLIC UTILITY LINES WHICH AFFECT THIS SITE. CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
- CONTRACTOR SHALL REVIEW PLANTING SPECIFICATIONS AND PLANTING DETAILS BEFORE BEGINNING WORK.
- CONTRACTOR SHALL VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH CONDITIONS UNDER WHICH WORK SHALL BE IMPLEMENTED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER OF ANY DISCREPANCIES IN THE EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING WORK.
- PLANTING BEDS SHALL HAVE FINISHED GRADES SMOOTHED TO ELIMINATE PONDING OR STANDING WATER. CONTRACTOR SHALL MAINTAIN A MINIMUM 2% DRAINAGE AWAY FROM BUILDINGS AND PAVING INTO DRAINAGE STRUCTURE OR TO STREET. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONFLICTS IN MAINTAINING DRAINAGE. IRRIGATION SYSTEM SHALL BE DESIGNED TO ELIMINATE OVERSPRAY ONTO BUILDINGS, STRUCTURES AND MONUMENT SIGNS.
- CONTRACT OFFICER SHALL APPROVE ALL FINISH GRADING PRIOR TO PLACEMENT OF ANY PLANT MATERIAL.
- CONTRACTOR SHALL IMMEDIATELY, UPON THE AWARD OF THE CONTRACT, LOCATE, ORDER AND PURCHASE (OR HAVE HELD) ALL PLANT MATERIAL REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY CONTRACT OFFICER FOR OBSERVATION AT THE FOLLOWING TIMES:
 - IRRIGATION MAINLINE AND LATERALS - PRIOR TO BACKFILL AND PRESSURE TEST
 - TREE LOCATIONS - PRIOR TO PLANTING
 - IRRIGATION COVERAGE - PRIOR TO PLANT PLACEMENT
 - PLANT APPROVAL AND SPOTTING - PRIOR TO PLANTING
 - PRE-MAINTENANCE APPROVAL
 - POST-MAINTENANCE / FINAL APPROVAL
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REPAIRS MADE NECESSARY THROUGH THE ACTIONS/NEGLIGENCE OF THEIR CREW.
- SHRUB AND GROUNDCOVER MASS QUANTITIES ARE SHOWN ON PLANS. UNDERPLANT ALL TREES WITH THE ADJACENT SHRUB AND/OR GROUNDCOVER AS INDICATED BY THE PLANS. PLANTS SHALL BE INSTALLED WITH TRIANGULAR SPACING. PLANT GROUNDCOVERS TO WITHIN 36" OF TREE TRUNK OR 12" OF SHRUB STEMS.
- PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED. WHERE SHRUB SYMBOLS ARE MASSED, CONTRACTOR SHALL MAINTAIN A CONSISTENT ON CENTER, TRIANGULAR SPACING AS SPECIFIED IN LEGEND. CONTRACTOR SHALL VERIFY PLANT TOTALS FOR BID PURPOSES.
- ALL ROCKS AND DEBRIS ONE INCH (1") AND LARGER SHALL BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 1'-0" AND THEN FROM THE SITE TO A LEGAL SITE OF DISPOSAL. WHERE GRASS IS TO BE PLANTED, ALL ROCKS AND DEBRIS ONE HALF INCH (1/2") AND LARGER SHALL BE REMOVED.
- PLANTING SOIL SHALL BE A THOROUGHLY GROUND AND BLENDED MIXTURE OF EQUAL PARTS OF THE FOLLOWING MATERIALS: ONE THIRD (1/3) TOPSOIL, ONE THIRD (1/3) PEAT MOSS AND ONE THIRD (1/3) SAND. ALL PLANTED AREAS SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL.
- PRIOR TO PLANT INSTALLATION, CONTRACTOR SHALL IRRIGATE ALL PLANTING AREAS NORMALLY FOR TWO WEEKS TO GERMINATE WEEDS. CONTRACTOR SHALL THEN APPLY CONTACT HERBICIDE TO WEEDS ONLY PER MANUFACTURER, MONSANTO 'ROUND-UP' OR APPROVED EQUAL.
- PLANT MATERIAL MAY BE REJECTED AT ANY TIME BY CONTRACT OFFICER DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING.
- ALL PLANT MATERIAL TO BE PLANTED WITH PLANTING TABLETS ACCORDING TO THE MANUFACTURER'S INSTRUCTION AND AS FOLLOWS:
 - BALLED & BURLAPPED PLANT MATERIAL, USE TWO (2) 21 GRAM TABLETS PER EACH 1 1/2" CALIPER
 - 7 GALLON CONTAINER PLANT MATERIAL, USE THREE (3) 21 GRAM TABLETS PER PLANT
 - 5 GALLON CONTAINER PLANT MATERIAL, USE TWO (2) 21 GRAM TABLETS PER PLANT
 - 3.2, AND 1 GALLON CONTAINER PLANT MATERIAL, USE ONE (1) 21 GRAM TABLETS PER PLANT
 - PLANTING TABLETS SHALL BE AGRIFORM 20-10-5, PLANTING TABLETS PLUS MINORS STOCK NO. 90026 (21 GRAMS) OR APPROVED EQUAL.
- ALL PLANT MATERIAL SHALL RECEIVE GRANULAR PLANT FOOD TO THE SURFACE OF THE PLANT BEDS INCLUDING GROUND COVER BEDS WHICH DO NOT CONTAIN MANURE OR PLANTING TABLETS. THE PLANT FOOD SHALL BE SPREAD OVER THE ROOT AREA STARTING 6" FROM THE TRUNK AND EXTENDING TO THE DRIP LINE OF EACH PLANT OR TO THE OUTER EDGE OF THE PLANT BED, WHICHEVER LARGER, AT THE RATE OF 2 POUNDS PER 100 SQ FT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL LANDSCAPE PLANT MATERIAL TO THE LATEST HORTICULTURAL PRACTICE STANDARDS.
- ALL PLANTING BEDS SHALL HAVE A 3 INCH (3") DEPTH OF SHREDDED HARDWOOD MULCH APPLIED AFTER INSTALLATION OF PLANT MATERIAL. MULCH SHALL BE PEST & DISEASE FREE PLANT MATERIAL AND BE FREE OF TWIGS, LEAVES, STONES, CLAY OR OTHER FOREIGN MATERIAL. CONTRACTOR SHALL SUBMIT SAMPLE OF MULCH TO CONTRACT OFFICER FOR APPROVAL PRIOR TO INSTALLATION.
- ALL DESIGNATED PERIMETER PLANTING AREAS SHALL HAVE 4 INCHES (4") PROFESSIONAL GRADE BLACK ANODIZED ALUMINUM EDGING INSTALLED PER MANUFACTURE'S SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM ONE (1) YEAR GUARANTEE TIME FOR THE REPLACEMENT OF ANY PLANT MATERIAL WHICH DIES AFTER THE DATE OF INSTALLATION ON SITE. THE REPLACEMENT PLANT MATERIAL SHALL BE EQUAL IN SIZE AND QUALITY TO THE PLANT MATERIAL SHOWN ON THE LANDSCAPE PLANS. ALL COSTS FOR THE REMOVAL OF DEAD PLANTS AND THEIR REPLACEMENTS SHALL BE BORNE BY THE CONTRACTOR.
- SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED UPON WRITTEN SUBMISSION THAT SPECIFIED PLANT(S) ARE UNAVAILABLE OR UNACCEPTABLE DUE TO HARDINESS. SUBSTITUTE PLANT MATERIAL SHALL BE EQUAL IN SIZE, CHARACTERISTICS AND CONDITION OF MATERIAL BEING REPLACED. OWNER SHALL BE NOTIFIED AND APPROVE ALL SUBSTITUTIONS PRIOR TO THEIR INSTALLATION.
- PRIOR TO PLANTING, CONTRACTOR SHALL SUBMIT IRRIGATION DESIGN DRAWINGS FOR REVIEW. IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL, AND ALL LANDSCAPE AREAS SHALL BE IRRIGATED, UNLESS DIRECTED OTHERWISE. IRRIGATION CONTRACTOR SHALL INSTALL ALL REQUIRED IRRIGATION STRUCTURES, PIPES, VALVES, ETC. WHICH ARE TO BE PLACED UNDER ANY PAVED AREAS PRIOR TO PAVEMENT INSTALLATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED IF IRRIGATION EQUIPMENT IS REQUIRED TO BE INSTALLED AFTER PAVEMENT IS PLACED ON SITE. IRRIGATION CONTRACTOR SHALL HAVE ALL IRRIGATION PLANS APPROVED BY OWNER PRIOR TO ANY INSTALLATION. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE UTILITY CONTRACTOR FOR LOCATION OF IRRIGATION CONNECTION TO WATER SYSTEM.
- CONTRACTOR SHALL INSPECT BACKFILL AND PLACEMENT OF TOPSOIL TO DETERMINE WHETHER OR NOT A "HARDPAN" SITUATION EXISTS OR COULD EXIST DUE TO PREVIOUS SOIL CONDITIONS, PLACEMENT OF AND COMPACTION OF FILL DURING CONSTRUCTION, OR ANY OTHER CONTRIBUTING FACTOR PRIOR TO INSTALLATION OF PLANT MATERIALS. IF SUCH A SITUATION IS FOUND OR ANTICIPATED, IT SHOULD BE BROUGHT TO THE ATTENTION OF JPR AND/OR OWNER IMMEDIATELY, AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL, FOR A REMEDY. CONTRACTOR RESPONSIBLE FOR PLANT REPLACEMENT IF PLANT MATERIAL IS PLANTED IN A "HARDPAN" SITUATION.
- DIMENSIONS FOR HEIGHTS, SPREAD AND CALIPER OF TREES SPECIFIED ON THE PLANT LIST ARE GENERAL GUIDES FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL WHICH FAILS TO CONFORM TO THE SPECIFICATIONS IS SUBJECT TO REJECTION BY OWNER/JPR.

SEEDING NOTES

- ALL DISTURBED AREAS TO BE DRILL SEEDDED WITH THE FOLLOWING GRASS SEED MIXTURE:

TYPE	% BY WEIGHT	% BY PURITY	% BY GERMINATION
KENTUCKY BLUE GRASS	36	85	80
RED FESCUE	30	98	85
MANHATTAN PERENNIAL RYE	17	98	90
NORLEA PERENNIAL RYE	17	98	90
- TURF SEED INSTALLATION: SOW SEED WITH DRILL SEEDING MACHINE. EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
 - DO NOT USE WET SEED OR SEED THAT IS MOLDY OR OTHERWISE DAMAGED.
 - DO NOT SEED AGAINST EXISTING TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SAUCER.
 - SOW SEED AT A TOTAL RATE OF 4 LB/1000 SQ FT.
 - RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
 - PROTECT SEEDDED AREAS WITH SLOPES EXCEEDING 1:3 WITH EROSION-CONTROL BLANKETS INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECT SEEDDED AREAS WITH SLOPES NOT EXCEEDING 1:3 BY HYDROMULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 1 1/2 TONS/ACRE TO FORM A CONTINUOUS BLANKET OVER SEEDDED AREAS.
- SATISFACTORY SEEDDED TURF: AT END OF MAINTENANCE PERIOD (90 DAYS), A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ FT AND BARE SPOTS NOT EXCEEDING 3 INCHES BY 3 INCHES (3" X 3").

PLANT MATERIAL NOTES

- ALL PLANT MATERIAL TO MEET AMERICAN STANDARDS FOR NURSERY STOCK, 1990 EDITION/ HORTIS THIRD 1076 CORNELL UNIVERSITY.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- PLANT CONTAINER SIZES ARE SHOWN AS GUIDELINES ONLY (MINIMUM HEIGHT AND SPREAD REQUIREMENTS RULE). PLANT HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUMS, ON CENTER (O.C.) SPECIFICATIONS ARE MAXIMUMS.

WATERTOWN, WI DDT

1722 S CHURCH ST.

MCCON BUILDING CORPORATION

1039 CIRCLE DRIVE P.O. BOX 247

SITE LANDSCAPE PLAN

DESIGNED BY:

MM

DRAWN BY:

MM

DATE:

MAY 2023

JOB NUMBER:

2022-0168

SCALE:

1" = 20'

C601

JONES
PETRIE
RAFINSKI

1722 S CHURCH ST.
WATERTOWN, WI 53094

1039 CIRCLE DRIVE P.O. BOX 247
HIGHLAND, WI 53543

Site: 1722 S CHURCH ST.
WATERTOWN, WI 53094

Project: 1039 CIRCLE DRIVE P.O. BOX 247
HIGHLAND, WI 53543

Client: MCCON BUILDING CORPORATION

Contract: 2022-0168

Scale: 1" = 20'

Sheet: C601

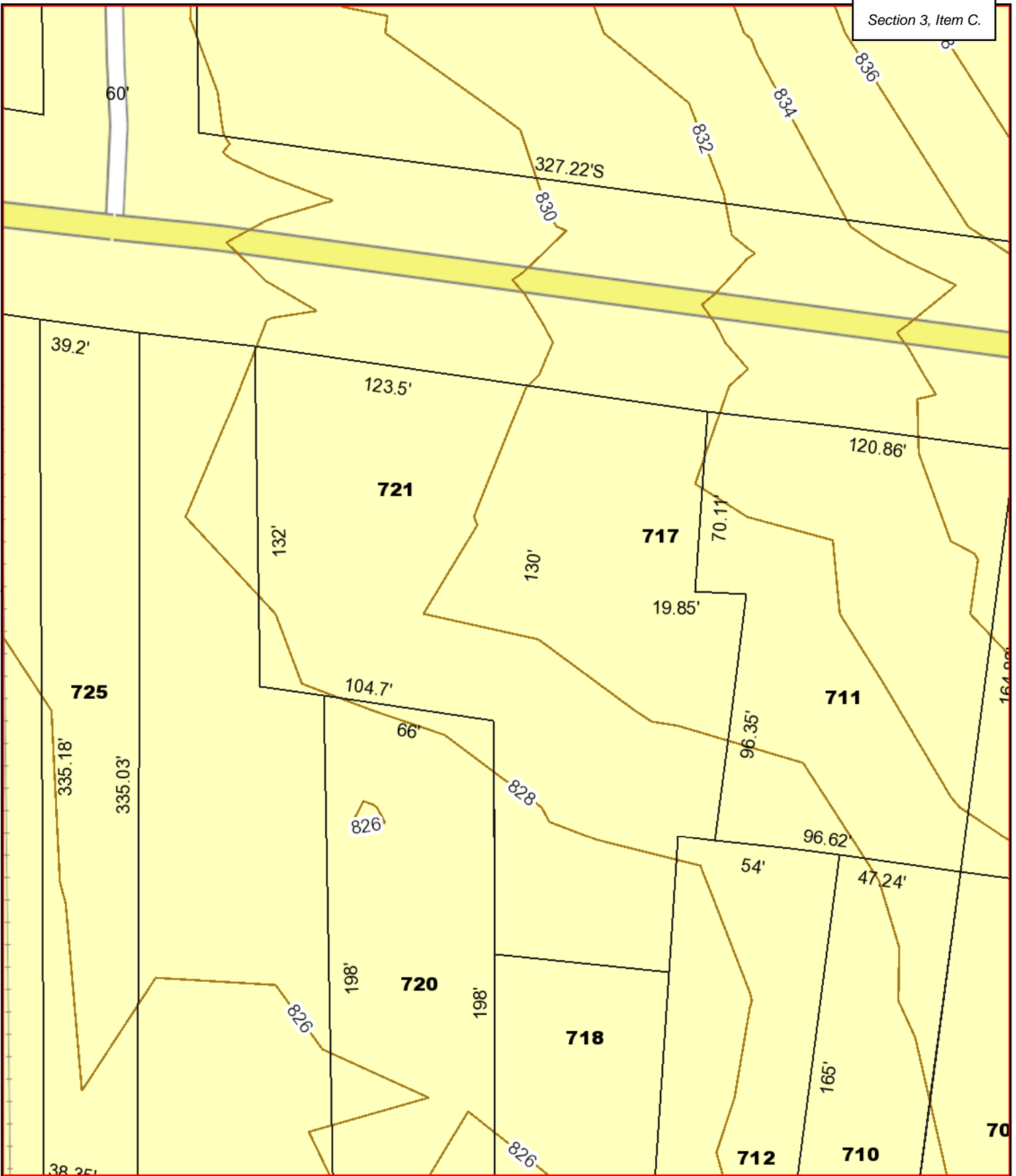
DESCRIPTION

REV

DATE

BY

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Parcels

City Limits

Contours (2ft)

THE CITY OF WATERTOWN
Opportunity runs through it.

City of Watertown Geographic Information System

Scale: 1 inch = 50 feet
SCALE BAR = 1"

Printed on: January 2, 2016
Author: Private Use

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

16

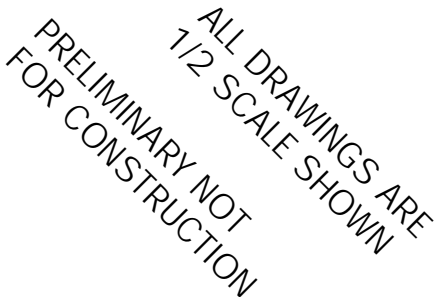
717 WEST MAIN STREET
WATERTOWN, WI 53094

SP-1	SITE PLAN, DRAWING, INDEX, SITE CALC'S
SP-2	EROSION CONTROL DETAILS
SP-3	LANDSCAPE PLAN & SCHEDULE
SP-4	SITE LIGHTING PLAN
	EXISTING SITE PLAN
A-1	BLDG. 'A' MAIN FLOOR & ROOF PLANS
A-2	BLDG. 'A' ELEVATIONS
A-3	BLDG. 'A' ELEVATIONS
A-4	BLDG. 'B' MAIN FLOOR & ROOF PLANS
A-5	BLDG. 'B' ELEVATIONS
A-6	BLDG. 'B' ELEVATIONS

DEVELOPE SITE WITH TWO NEW BUILDINGS AND EXPANDED PARKING.

LOT 1, CSM 5807-33-098, DOC 1384903

SITE AREA:	30,285 S.F.	(0.69 ACRE)
BUILDING FOOTPRINT AREA:	5,774 S.F.	(19.1%)
PARKING AREA:	15,921 S.F.	(52.6%)
SIDEWALK AREA:	918 S.F.	(3.0%)
GREEN SPACE AREA:	7,672 S.F.	(25.3%)
IMPERVIOUS AREA:	22,613 S.F.	(74.7%)
BUILDING HEIGHT:		25'-8"
NOTED:	GB - GENERAL BUSINESS	



DRAWING NAMES

SITE PLAN

DRAWING INDEX

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

CKED BY: P.W.

SHEET NO.

SP-1

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE
PRELIMINARY NOT
FOR CONSTRUCTION

WEST MAIN STREET

PROPERTY LINE ±132'

LOT 1
GENERAL BUSINESS (GB)

EXISTING BUILDING #1

PAVEMENT

GREENSPACE

PROPERTY LINE ±70'

EXISTING BUILDING

NEIGHBORHOOD
BUSINESS (NB)

P.L. ±20'

PROPERTY LINE ±96'

P.L. ±15'

PROPERTY LINE ±92'

EXISTING BUILDING

GENERAL
INDUSTRIAL (GI)

EXISTING BUILDING

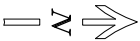
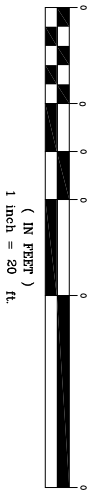
LOT 2
GENERAL BUSINESS (GB)

EXISTING BUILDING

TWO-FAMILY
RESIDENTIAL (TR-6)

TWO-FAMILY
RESIDENTIAL (TR-6)

GRAPHIC SCALE



EXISTING SITE PLAN

SCALE: 1" = 20'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

theDesign
Alliance
Architects, Inc.

1003 Madison Avenue
Fort Atkinson, WI

(920) 563-3404

HAYES FAMILY AUTO
SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES

EXISTING SITE PLAN

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

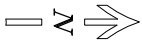
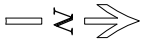
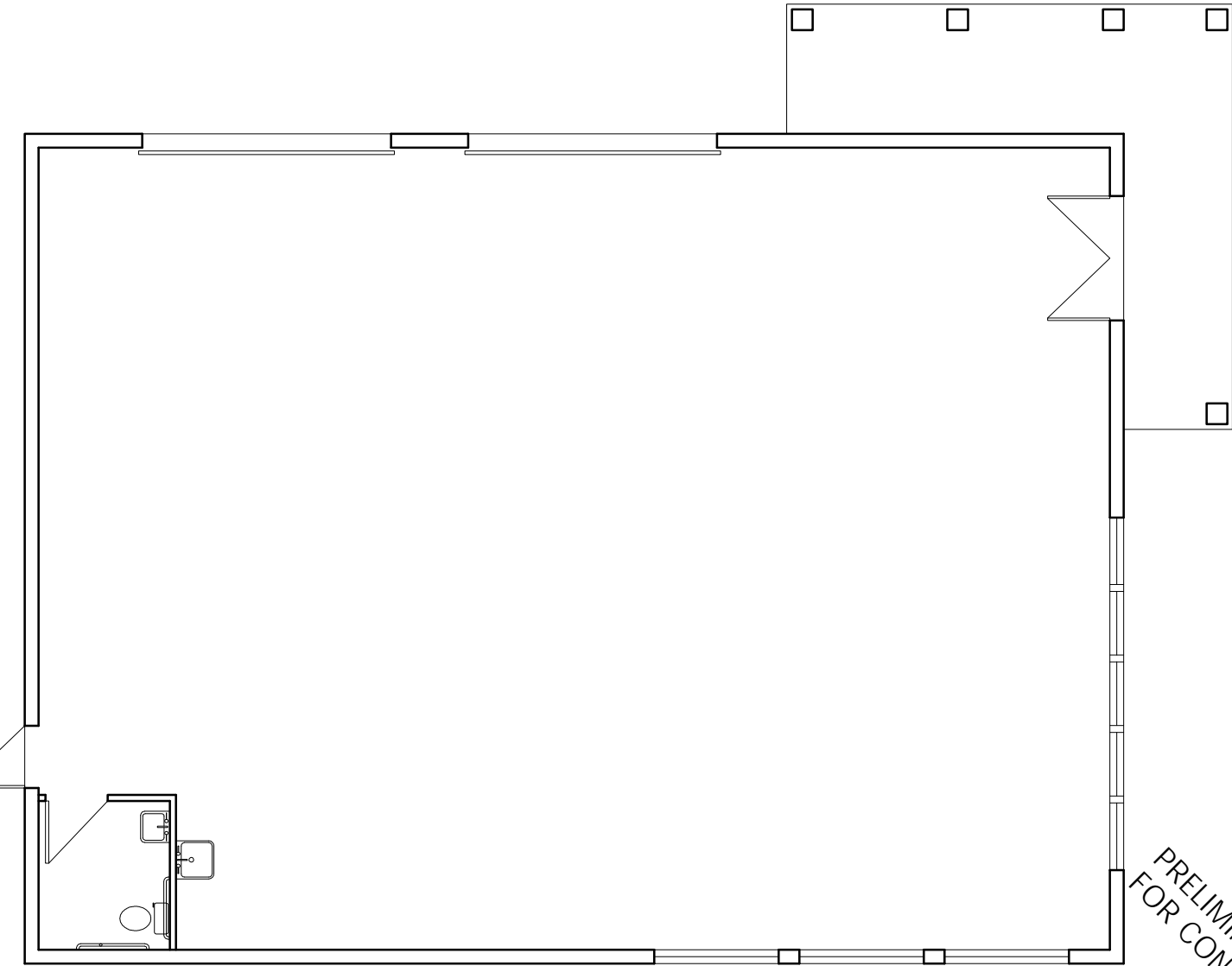
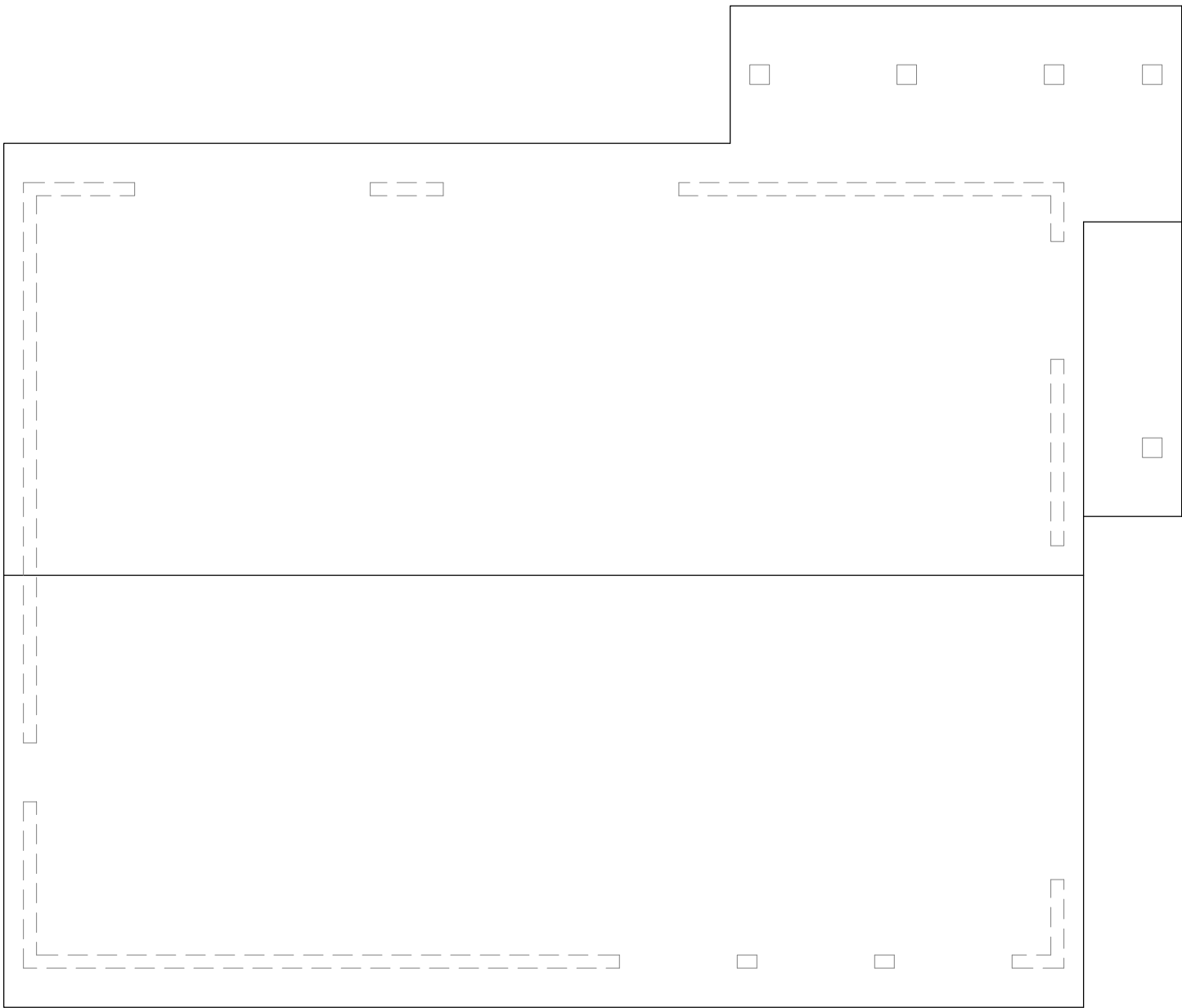
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SP-4

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE
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18
A1

BUILDING "A" ROOF PLAN

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

20
A1

BUILDING "A" MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

HAYES FAMILY AUTO
SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES
BUILDING "A" PLANS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

CHECKED BY: P.W.

SHEET NO.

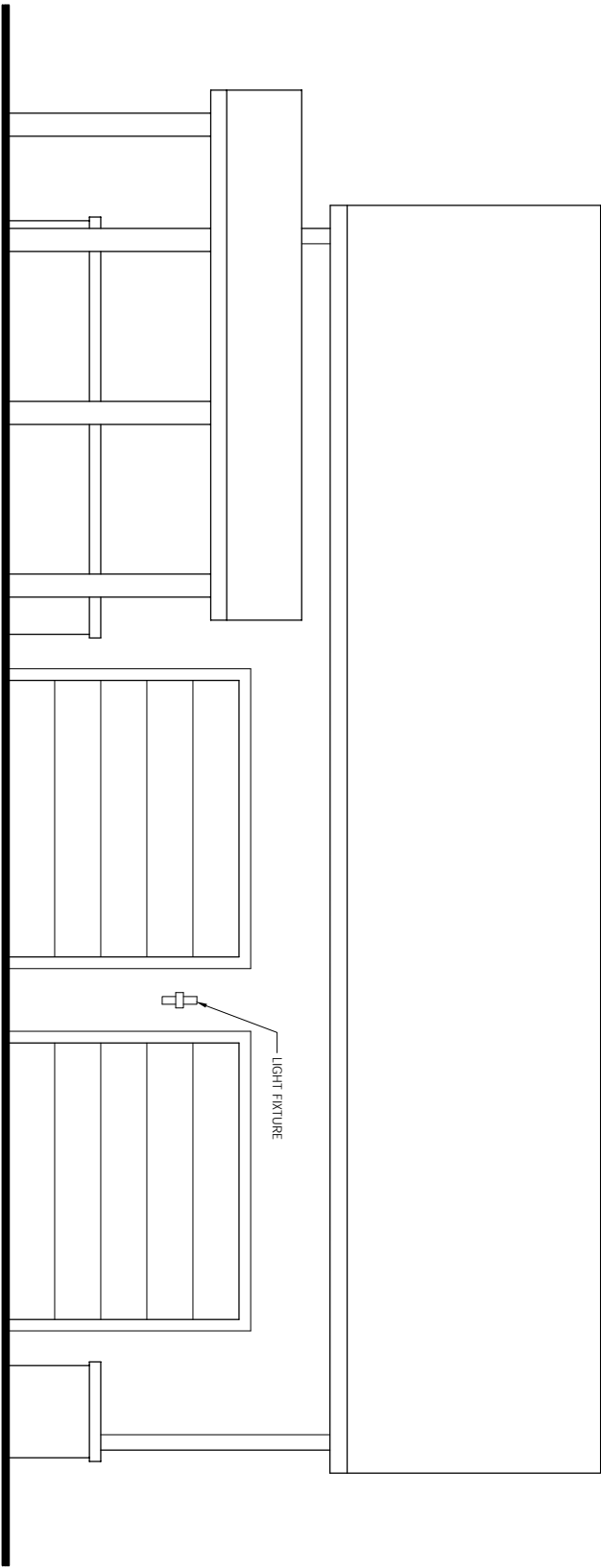
A-1

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VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.



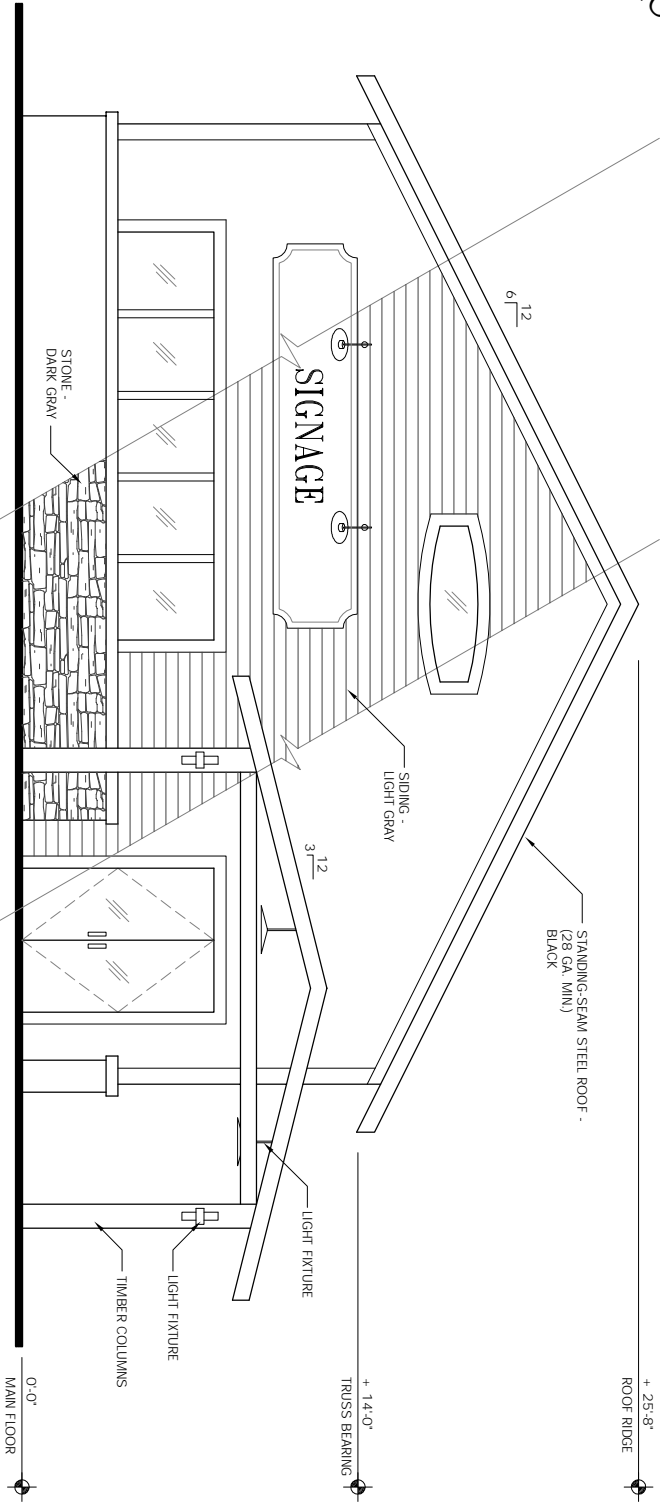
WEST ELEVATION



BUILDING "A" WEST ELEVATION

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

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PRELIMINARY NOT
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NORTH ELEVATION



BUILDING "A" NORTH ELEVATION

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

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SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES
BUILDING "A" ELEVATIONS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

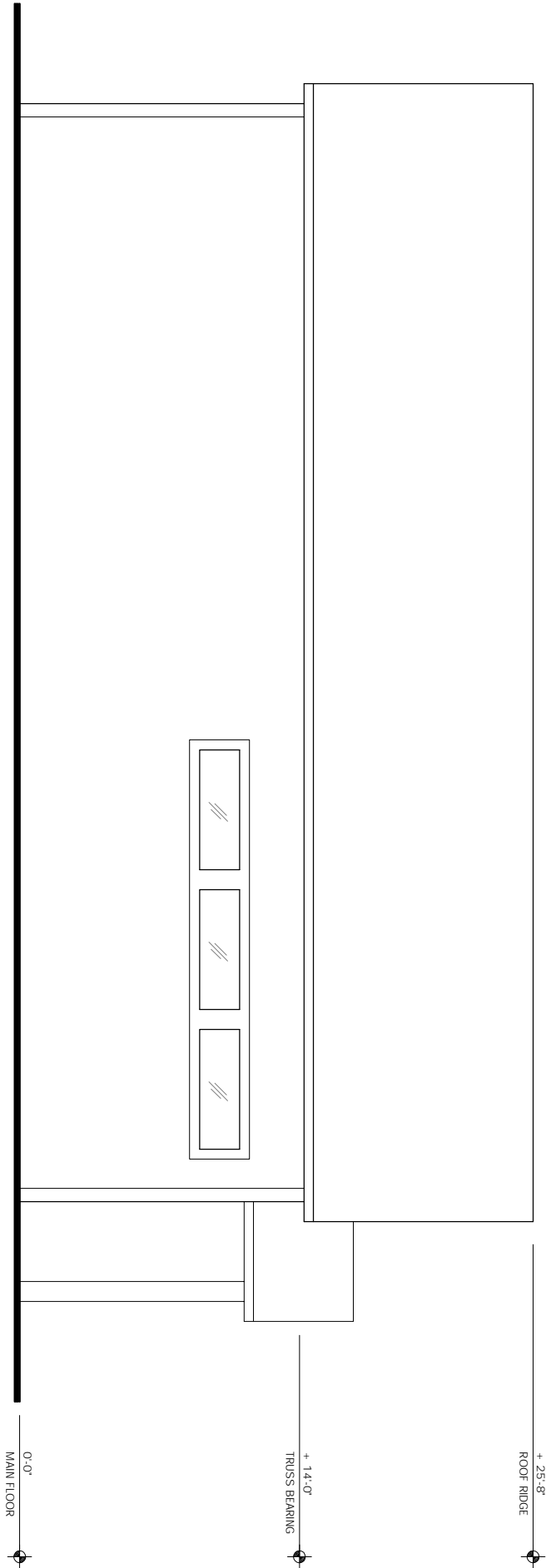
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CHECKED BY: P.W.

SHEET NO.

A-2

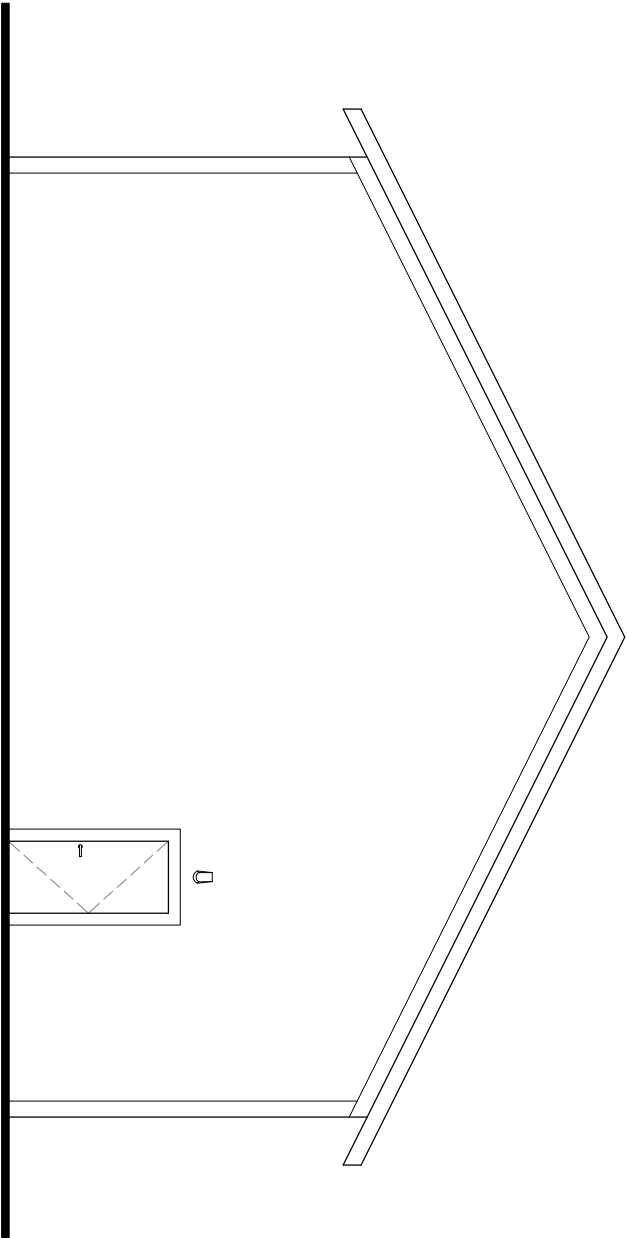
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EAST ELEVATION

20
A3
BUILDING "A" EAST ELEVATION
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

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SOUTH ELEVATION

20
A3
BUILDING "A" SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

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SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES

BUILDING "A" ELEVATIONS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

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SHEET NO.

A-3

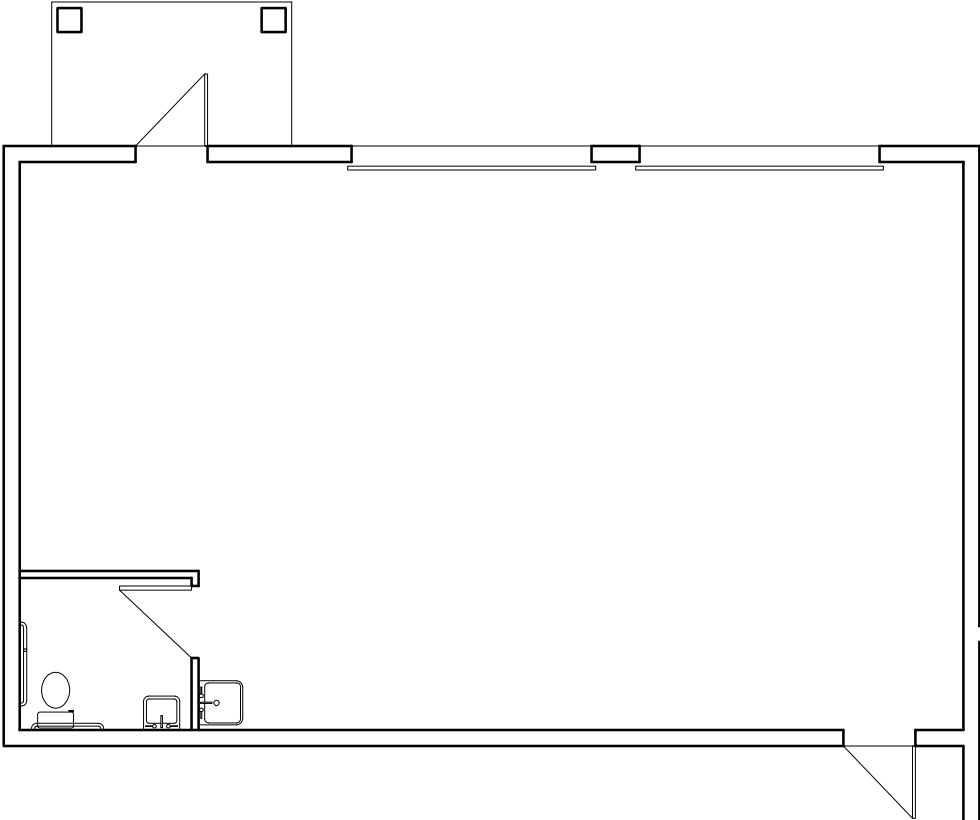
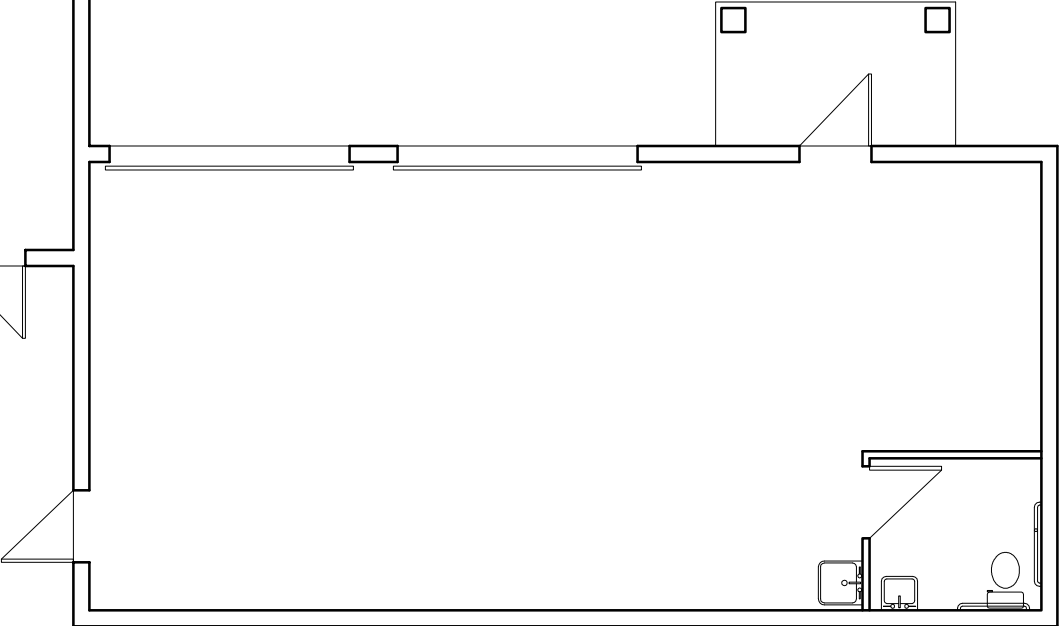
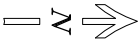
VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.



18
A4

BUILDING "B" ROOF PLAN

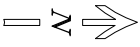
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023



20
A4

BUILDING "B" MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023



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HAYES FAMILY AUTO
SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES

BUILDING "B" PLANS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

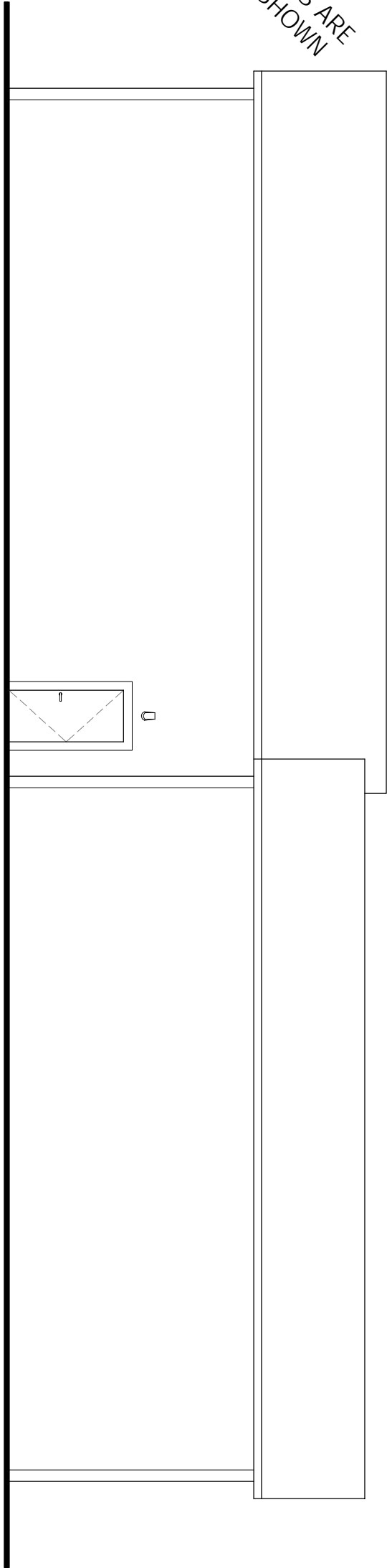
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SHEET NO.

A-4

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE
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EAST ELEVATION

20

A5

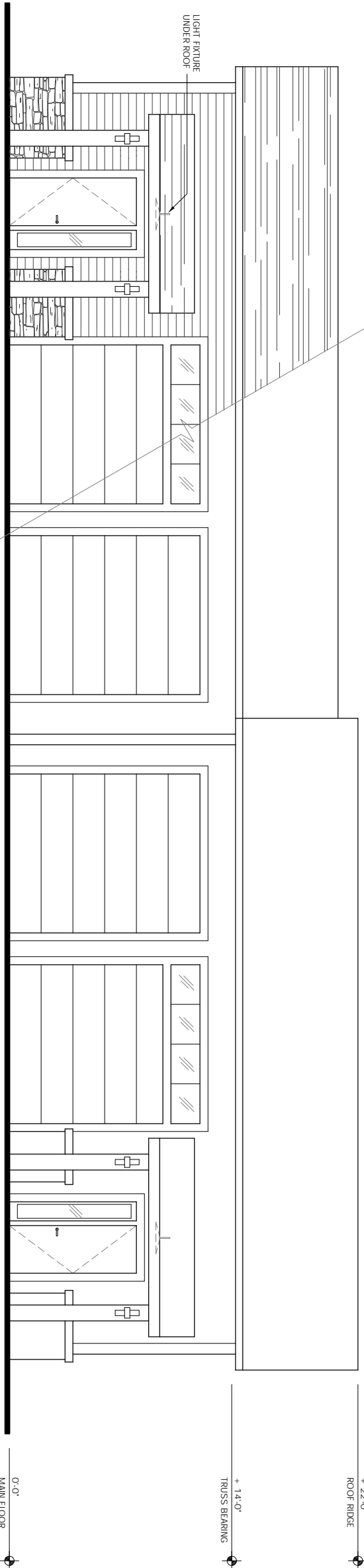
BUILDING "B" EAST ELEVATION

SCALE: 1/4" = 1'-0"

2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG

DATE: 10/4/2023

PRELIMINARY NOT
FOR CONSTRUCTION



WEST ELEVATION

20

A5

BUILDING "B" WEST ELEVATION

SCALE: 1/4" = 1'-0"

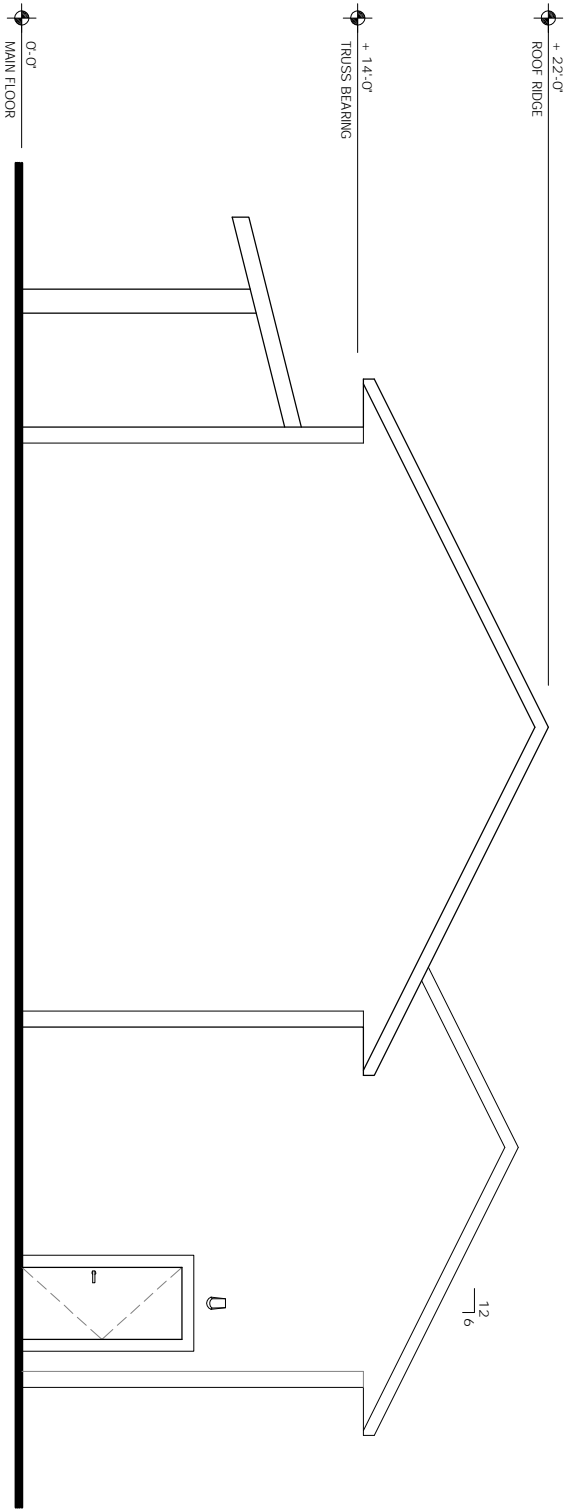
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG

DATE: 10/4/2023

<div><div>theDesignAllianceArchitects, Inc.</div><div>1003 Madison Avenue Fort Atkinson, WI</div><div>(920) 563-3404</div></div>			<div>HAYES FAMILY AUTO SITE DEVELOPMENT 717 W MAIN STREET WATERTOWN, WI 53094</div>		
<div>DRAWING NAMES</div>			<div>BUILDING "B" ELEVATIONS</div>		
<div>REVISIONS</div>			<div>PROJECT DATA</div>		
<div></div>			<div>DATE: 2/5/2024</div>		
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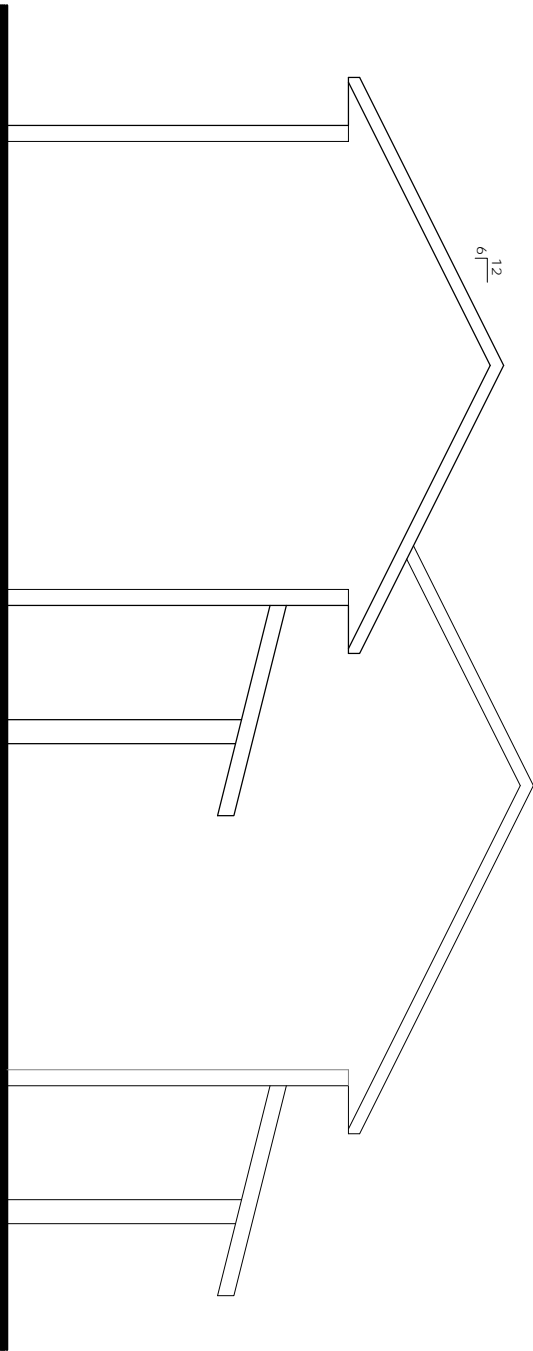
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SOUTH ELEVATION

20 BUILDING "B" SOUTH ELEVATION
A6
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023



NORTH ELEVATION

20 BUILDING "B" NORTH ELEVATION
A6
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

<div style="text-align: center;">  <p>Architects, Inc.</p> </div>						1003 Madison Avenue Fort Atkinson, WI 53094 (920) 563-3404					
<div style="text-align: center;"> <h2>HAYES FAMILY AUTO SITE DEVELOPMENT</h2> <h3>717 W MAIN STREET WATERTOWN, WI 53094</h3> </div>											
DRAWING NAMES											
LANDSCAPE PLAN & SCHEDULE											
REVISIONS											
PROJECT DATA											
DATE: 2/5/2024											
DRAWN BY: CL											
CHECKED BY: P.W.											
SHEET NO.											
<h1>SP-2</h1>											



Planting Schedule				
Type	Description	Planting Size	Mature Size	Quantity
A	Existing Landscaping			
B	Existing trees to be removed			
C	Black Maple	1 1/2" Cal	40' Dia	1
D	Amur chokecherry	1 1/2" Cal	30' Dia	2
E	Arbor vitae 'Pyramidal'	4' H	6' Dia	15
F	'North Pole' Arborvitae	15-18'H	4' Dia	24
G	Viburnum carlesii	24'H	3' Dia	3
H	Tamarix savin juniper	18'H	4' Dia	6
J	Taxus tauntoni	12'H	4' Dia	13
K	Korean Spice Viburnum	18'H	3' Dia	21
			Total	489

LANDSCAPE REQUIREMENTS:

STREET TREES: 20 PTS PER 100' -- 177' / 100' = 1.8 x 20 = 36 POINTS
PROVIDED: 1 TALL DECIDUOUS TREE AT 30 PTS = 30 POINTS
1 MEDIUM DECIDUOUS TREE AT 15 PTS = 15 POINTS
TOTAL 45 POINTS

PAVEMENT: 40 PTS PER 10 000 S.F. -- 16,028 S.F. / 10 000 S.F. = 1.6 x 40 PTS = 64 PTS x 1.5 = 96 POINTS
PROVIDED: 12 MEDIUM EVERGREEN SHRUBS AT 5 PTS = 60 POINTS
8 MEDIUM DECIDUOUS SHRUBS AT 3 PTS = 24 POINTS
3 MEDIUM DECIDUOUS SHRUBS AT 3 PTS = 30 POINTS
10 LOW EVERGREEN TREES AT 11 PTS = 110 POINTS
TOTAL 114 POINTS

FOUNDATION: 20 PTS PER 100' --
BLDG "A": 186' / 100' = 1.9 x 20 PTS = 38 PTS x 1.5 = 57 POINTS
PROVIDED: 9 MEDIUM EVERGREEN SHRUBS AT 5 PTS = 45 POINTS
1 MEDIUM DECIDUOUS SHRUBS AT 3 PTS = 3 POINTS
3 LOW EVERGREEN SHRUBS AT 3 PTS = 9 POINTS
TOTAL 57 POINTS

BLDG "B": 242' / 100' = 2.4 x 20 PTS = 48 PTS x 1.5 = 72 POINTS
PROVIDED: 3 MEDIUM EVERGREEN SHRUBS AT 5 PTS = 15 POINTS
15 MEDIUM DECIDUOUS SHRUBS AT 3 PTS = 45 POINTS
3 LOW EVERGREEN SHRUBS AT 3 PTS = 9 POINTS
TOTAL 78 POINTS

BUFFER YARD: TR-6 = 0.4 10W + 53 PTS PER 100' -- 681/100' = 6.8 x 53 PTS = 37 POINTS
NB - 0.1 10W + 91 PTS PER 100' -- 186/100' = 1.86 x 91 PTS = 170 POINTS
PROVIDED AT NB: 6 LOW EVERGREEN TREES AT 12 PTS = 72 POINTS
PROVIDED AT NB: 9 LOW EVERGREEN TREES AT 12 PTS = 108 POINTS
TOTAL 180 POINTS

7
SP2

LANDSCAPE SCHEDULE & CALCS

SCALE: N.T.S.
2023\HAYES FAMILY AUTO\HFA-DRAWINGS.DWG
DATE: 10/4/2023

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

PRELIMINARY NOT
FOR CONSTRUCTION

Watertown, WI 53094

Designer
CL
Date
02/05/2024
Scale





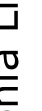
Revision No.

Summary

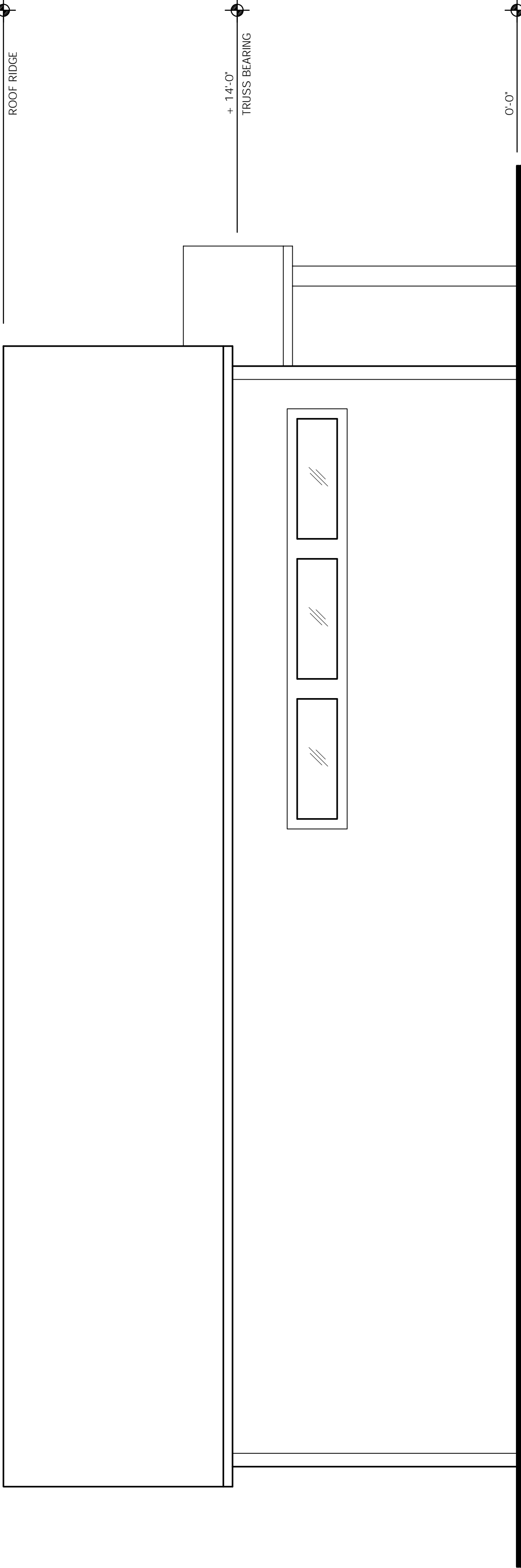
M-P-S



Statistics					
Description	Symbol	Avg	Max	Min	Max/Min Avg/Min
Calc Zone #1	+	3.5 fc	22.4 fc	0.2 fc	112.0:1 17.5:1

Schedule										
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	
	A	3	Lithonia Lighting			Existing Light Fixture on Utility Pole	1	Absolute	0.87	180
	B	1	Lithonia Lighting			Existing Light on Building	1	5819	0.87	42.159
	C	7	Lithonia Lighting			OUTDOOR LED WALL CYLINDER DOWN LIGHT & 4000K NICHIA 219C	1	576	0.87	9.02
	D	4	Lithonia Lighting			ASL EML25. LARGE BELL SHAPE CAST ALUMINUM HSG. ,WITH LED MODULE, TYPE 2, 4000K, 480VOLT DRIVERS.	1	8201	0.87	111.4
	E	2	C-Lite			CONFIGURED FROM C-Lite LED Gooseneck without Shade, Selectable Wattage (27W), 5000K	1	Absolute	0.87	27

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.



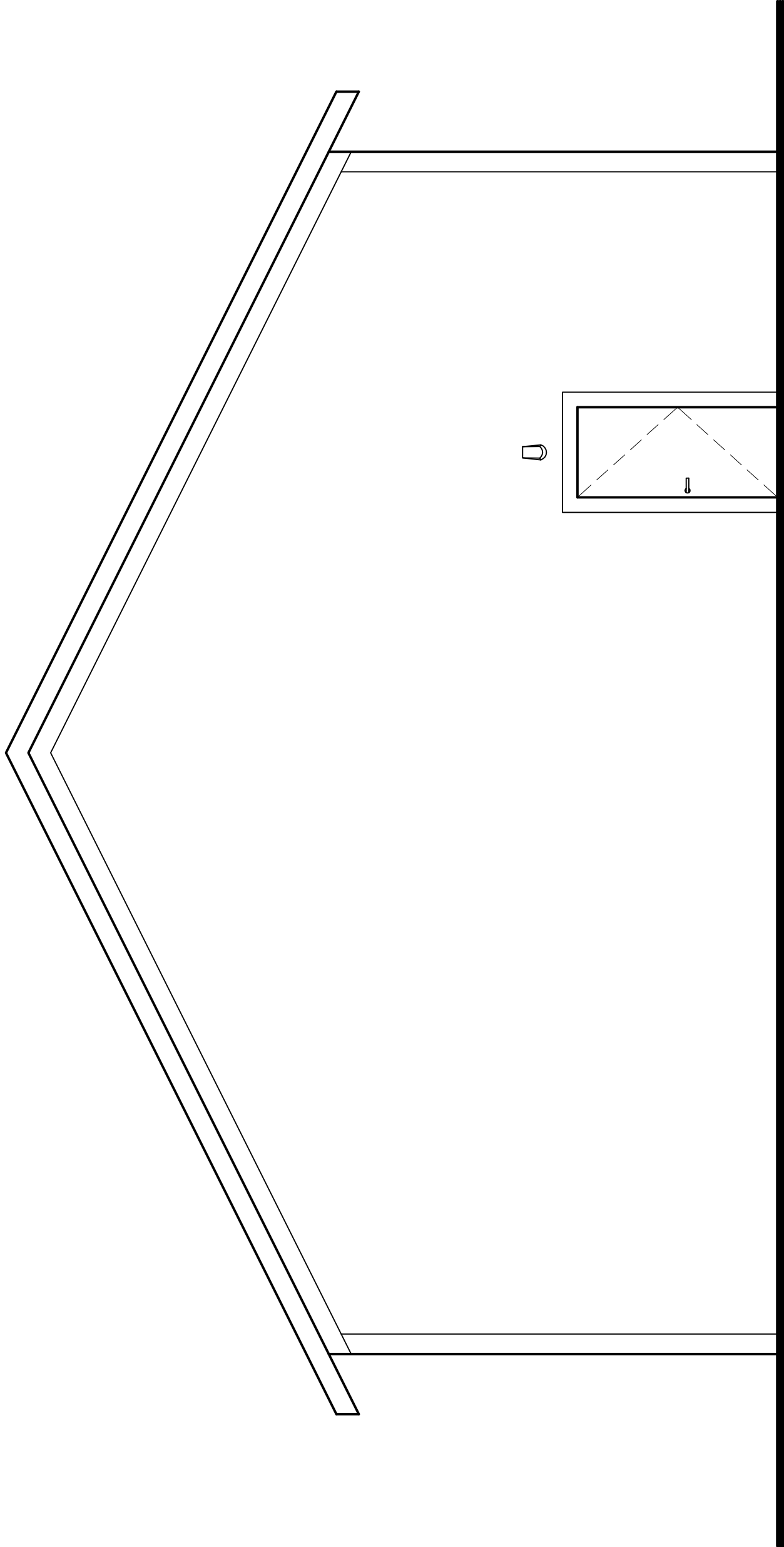
EAST ELEVATION

20
A3

BUILDING "A" EAST ELEVATION

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

PRELIMINARY NOT
FOR CONSTRUCTION



SOUTH ELEVATION

20
A3

BUILDING "A" SOUTH ELEVATION

SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

HAYES FAMILY AUTO
SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES

BUILDING "A" ELEVATIONS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

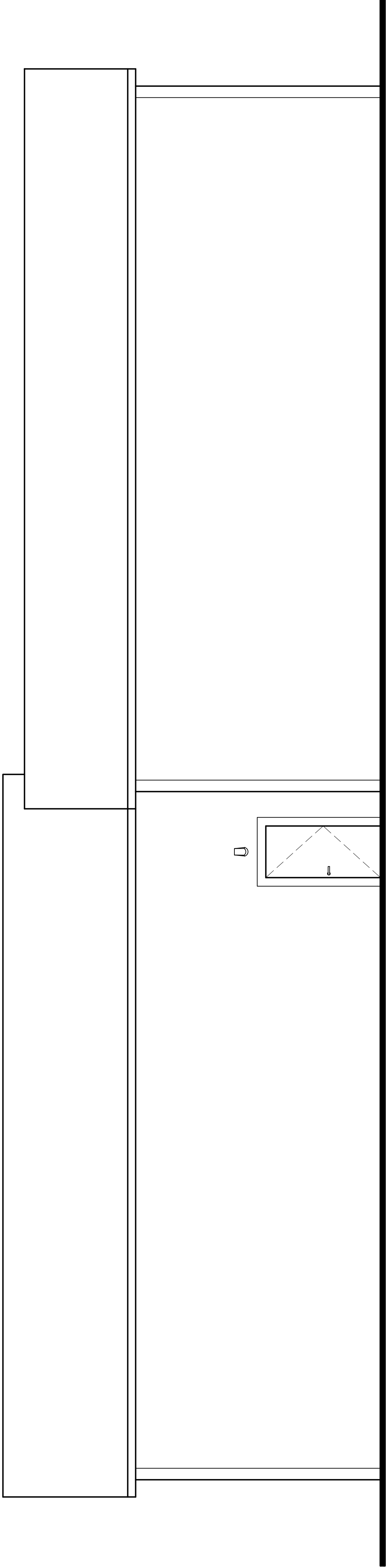
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SHEET NO.

A-3

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Architects, Inc.
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Fort Atkinson, WI
(920) 563-3404

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EAST ELEVATION

BUILDING "B" EAST ELEVATION
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023

HAYES FAMILY AUTO
SITE DEVELOPMENT
717 W MAIN STREET
WATERTOWN, WI 53094

DRAWING NAMES

BUILDING "B" ELEVATIONS

REVISIONS

PROJECT DATA

DATE: 2/5/2024

DRAWN BY: CL

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SHEET NO.

A-5

PRELIMINARY NOT
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+ 22'-0"
ROOF RIDGE

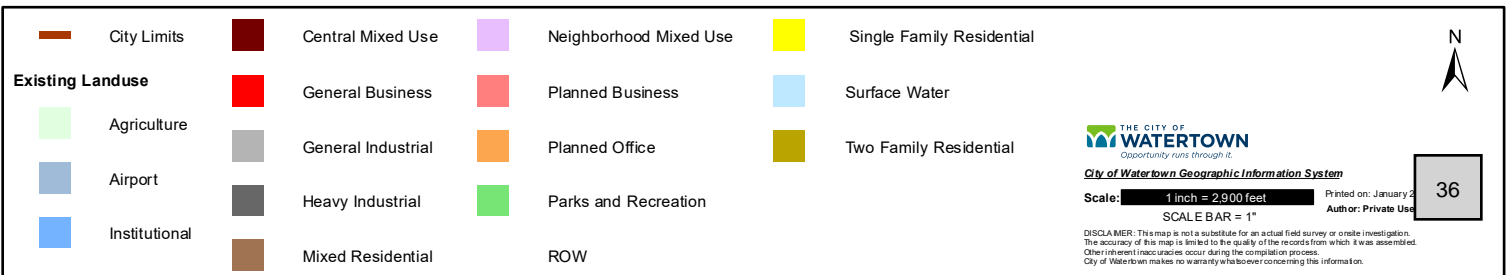
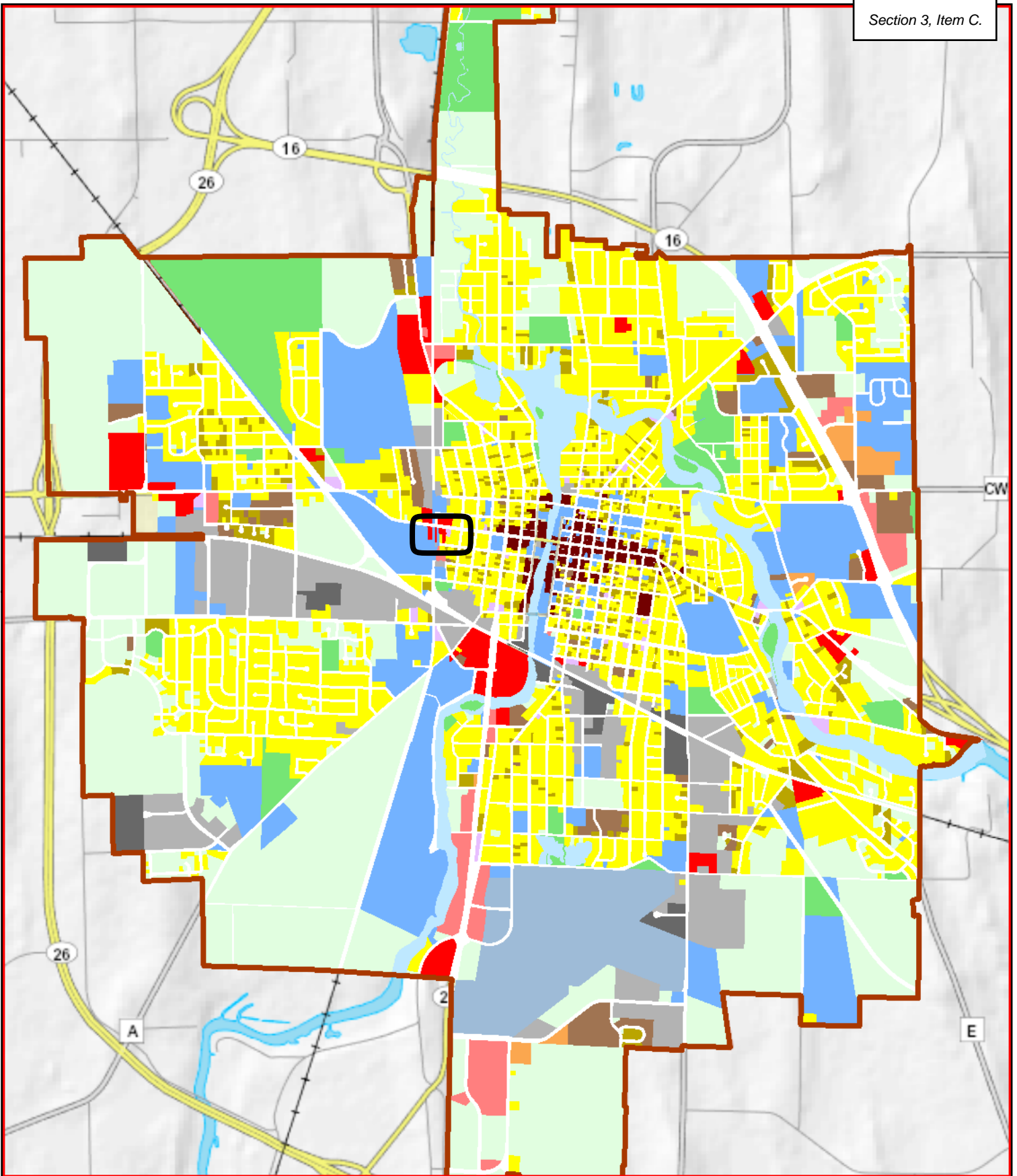
+ 14'-0"
TRUSS BEARING

0'-0"
MAIN FLOOR

LIGHT FIXTURE
UNDER ROOF

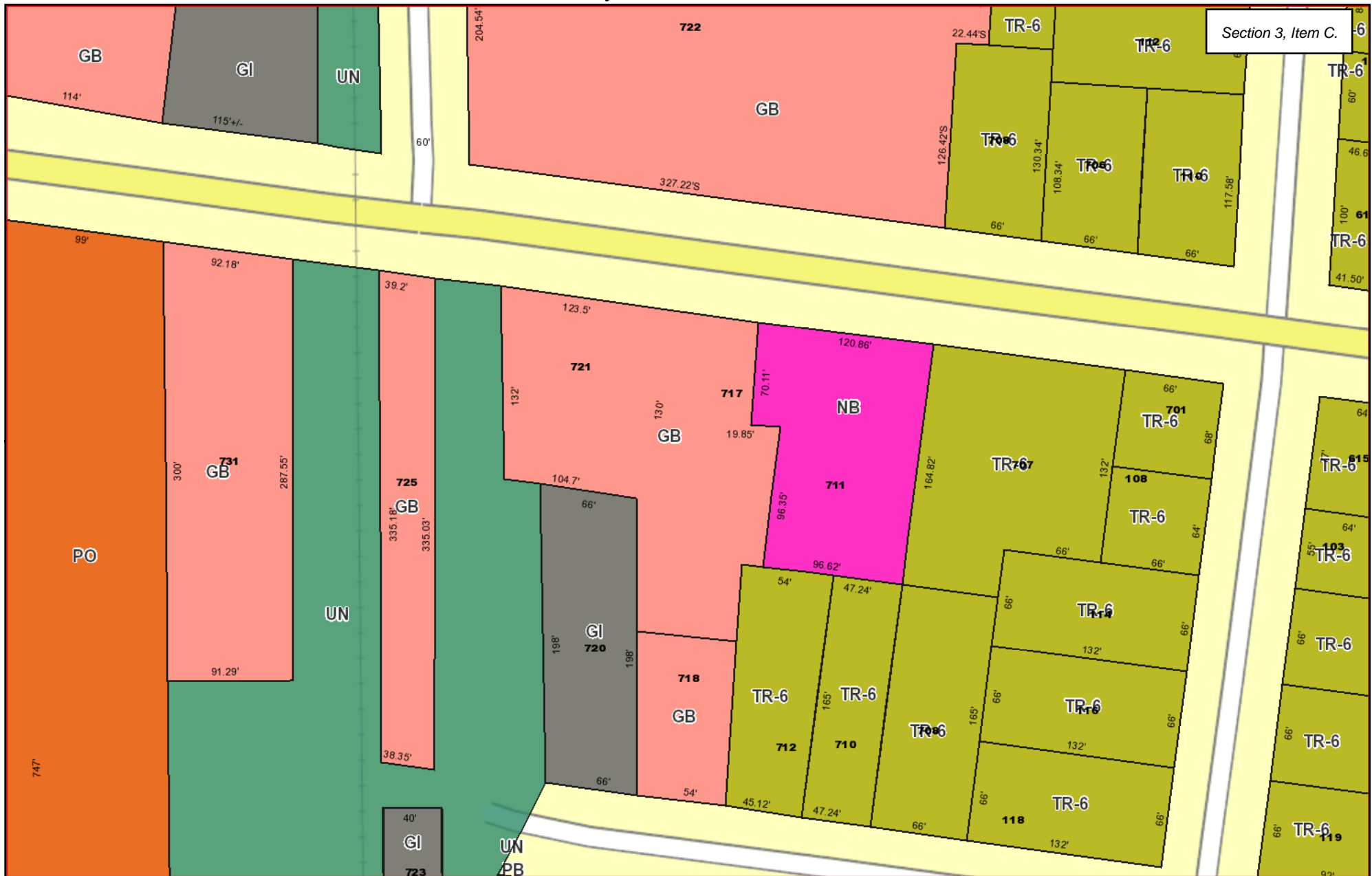
WEST ELEVATION

BUILDING "B" WEST ELEVATION
SCALE: 1/4" = 1'-0"
2023HAYES FAMILY AUTOHFA-DRAWINGS.DWG
DATE: 10/4/2023



City of Watertown

Section 3, Item C.



Parcels	Multi-Family Residential-10 (MR-10)	Planned Business (PB)	Planned Unit Development (PUD)
City Limits	Senior Residential (SNR)	General Business (GB)	Conditional Zoning / Mixed Uses (COND)
Zoning	Rural Holding (RH)	Central Business District (CB)	Multiple / Mixed Zoning (MULTI)
Single-Family Residential (SR-4)	Planned Office and Institutional (PO)	Planned Industrial (PI)	Unknown (UN)
Two-Family Residential (TR-6)	Neighborhood Office (NO)	General Industrial (GI)	
Multi-Family Residential-8 (MR-8)	Neighborhood Business (NB)	Heavy Industrial (HI)	

City of Watertown Geographic Information System

 Scale: 1 inch = 90 feet

 SCALE BAR = 1"

 Printed on: January 1, 2024

 Author: Private Use

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