



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, AUGUST 10, 2026 AT 1:30 PM

106 JONES STREET, WATERTOWN, WI 53094 - LOWER LEVEL ROOM 0008

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated July 13, 2026

3. BUSINESS

A. Review and Take Action: 600 Commerce Drive (PIN 291-0815-0823-005) – Site Review for a Multi-Tenant Light Industrial Building

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at cityclerk@watertownwi.gov phone 920-262-4000

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
July 13, 2026

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Mike Jacek – Building Inspection, Laura Bohlman – Police, Don Dishno – Fire Department, Stacy Winkelman – Streets & Solid Waste, Maureen McBroom – Stormwater, Ryan Schmidt – Parks & Rec., Tim Hayden – Water/Wastewater, and Manager of Economic Development and Strategic Initiatives Deb Sybell.

Also in attendance were Jacob Van Domelen and Nathan Sells of SunVest Solar; Doug Herman; and Ryan Wagner of Blackdeer Investment Group. Douglas Herman for 245 S Concord Ave. Ted Herman for 245 S Concord Ave joined virtually.

1. **Call to Order**
The meeting was called to order by Chairperson Brian Zirbes.
2. **Approval of Minutes**
A. Review and take action: Site Plan Review Minutes Dated June 22, 2026
Motion was made and seconded to approve the minutes as submitted. Unanimously approved.

3. **Business**
A. Review and take action: 1224 American Way site plan review – Watertown Hops
Applicants Jacob Van Domelen and Nathan Sells of SunVest Solar were present to discuss this project. The proposal is to construct a Photovoltaic (PV) Solar Array on approximately 10 acres of the Watertown Hops property. We-Energies will lease the property for 25 years with an additional five-year extension option and be responsible for all maintenance and repairs to the array, including vegetation management, and will own, operate, and maintain the solar PV array renewable energy output. The total system size will be 2.5 MW of AC capacity, and all electrical cables will be buried throughout the project area. The array will be built upon the existing contours of the land and seeded in native grasses. A landscape screening of evergreens and shrubs will be located along Perry Way. Site access will be from a driveway on Perry Way.

The following was presented by staff:

Fire:	No concerns.
Building:	A building and electrical permit will be required.
Police:	No concerns.
Mayor:	No concerns.
Stormwater:	Post-development erosion control maintenance will be needed.
Engineering:	Driveway area will need to be paved.
Zoning:	Project meets setbacks and landscaping requirements.
Parks & Rec:	No concerns.
Water/Wastewater:	No concerns.
Streets/Solid Waste:	No concerns.
Econ. Development:	No concerns.

Motion was made and seconded to recommend approval of this item with no conditions.

Unanimously approved.

- B. Discussion & Concept Review: 245 S. Concord Avenue proposed redevelopment**
Doug Herman was present to discuss this concept review. The proposal is to potentially purchase the property and convert the location into a private residence while maintaining the exterior structure.

The following was presented by staff:

- | | |
|----------------------|--|
| Fire: | Not present but had no concerns. |
| Building: | Since the proposal is for single family and not commercial, at this time there are no specific concerns. Further discussion could occur with an updated set of plans. |
| Police: | No concerns. |
| Mayor: | No concerns. |
| Stormwater: | No concerns. |
| Engineering: | Further information on the building connectivity to the existing dam would be needed. In addition, with the dam and the powerhouse being a FERC (Federal Energy Regulatory Commission) licensed facility, DNR and FERC comments would need to be submitted. |
| Zoning: | Confirmation would need to be provided as to if the building is not on or part of the dam or part of the floodway. Further information should also be presented regarding the dam failure shadow area. The Wisconsin DNR has further information regarding this. |
| Parks & Rec: | No concerns at this time. If the project were to move forward, there are abutting properties that would have to be discussed. |
| Water/Wastewater: | There is a sewer pipe on the north side of the structure that has an access road which will need to remain for cleaning and maintenance purposes. |
| Streets/Solid Waste: | No concerns. |
| Econ. Development: | No concerns. |

As this item was presented only for discussion, no action was needed.

C. **Adjournment**

Motion was made and seconded to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman, Recording Secretary

Note: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.



CITY OF WATERTOWN, WISCONSIN

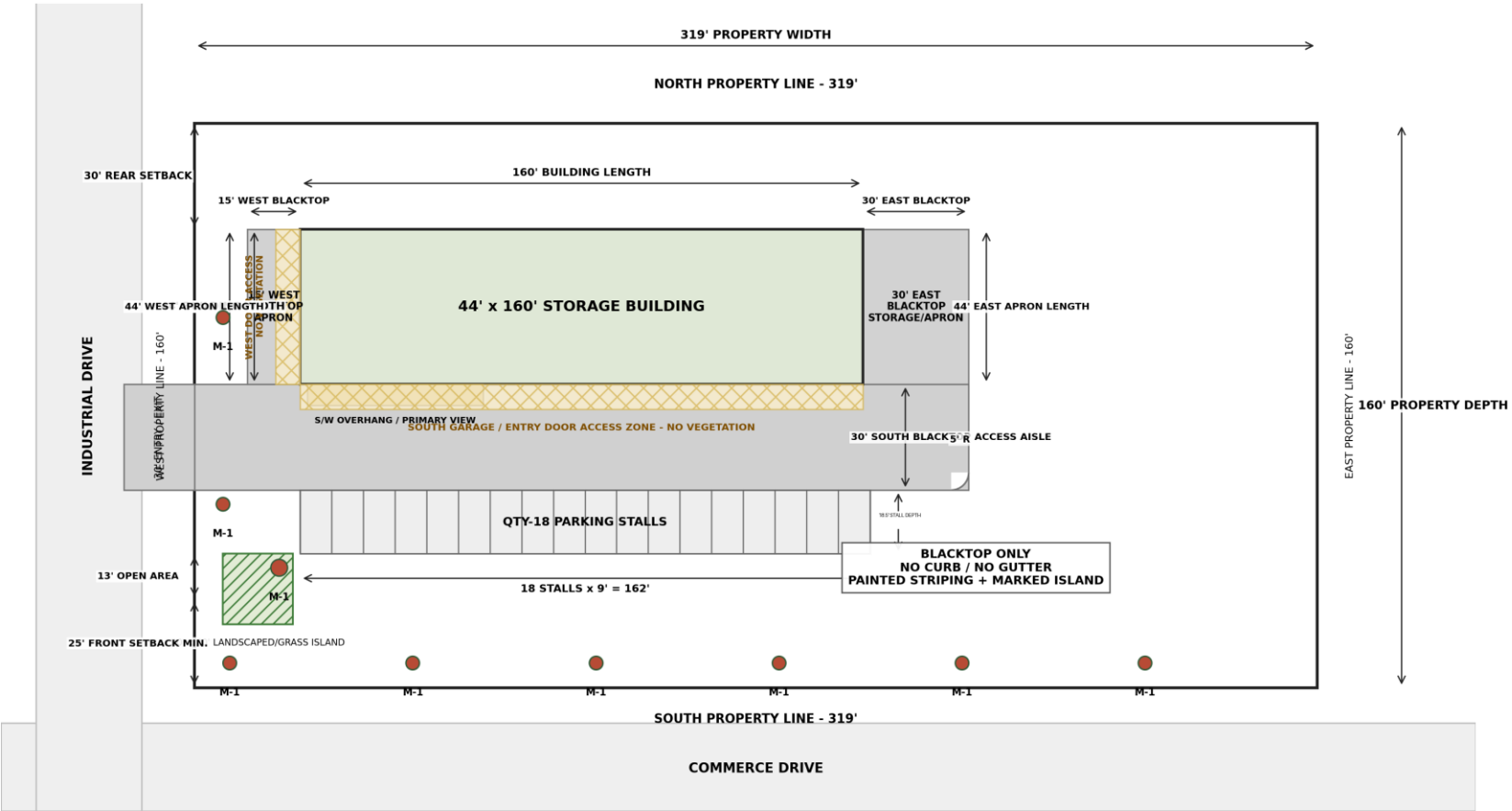
Site & Building Plan Review

600 Commerce Drive

Lighting • Landscaping • Site Layout • Building Exhibits

Prepared by Max Clouse for the City of Watertown

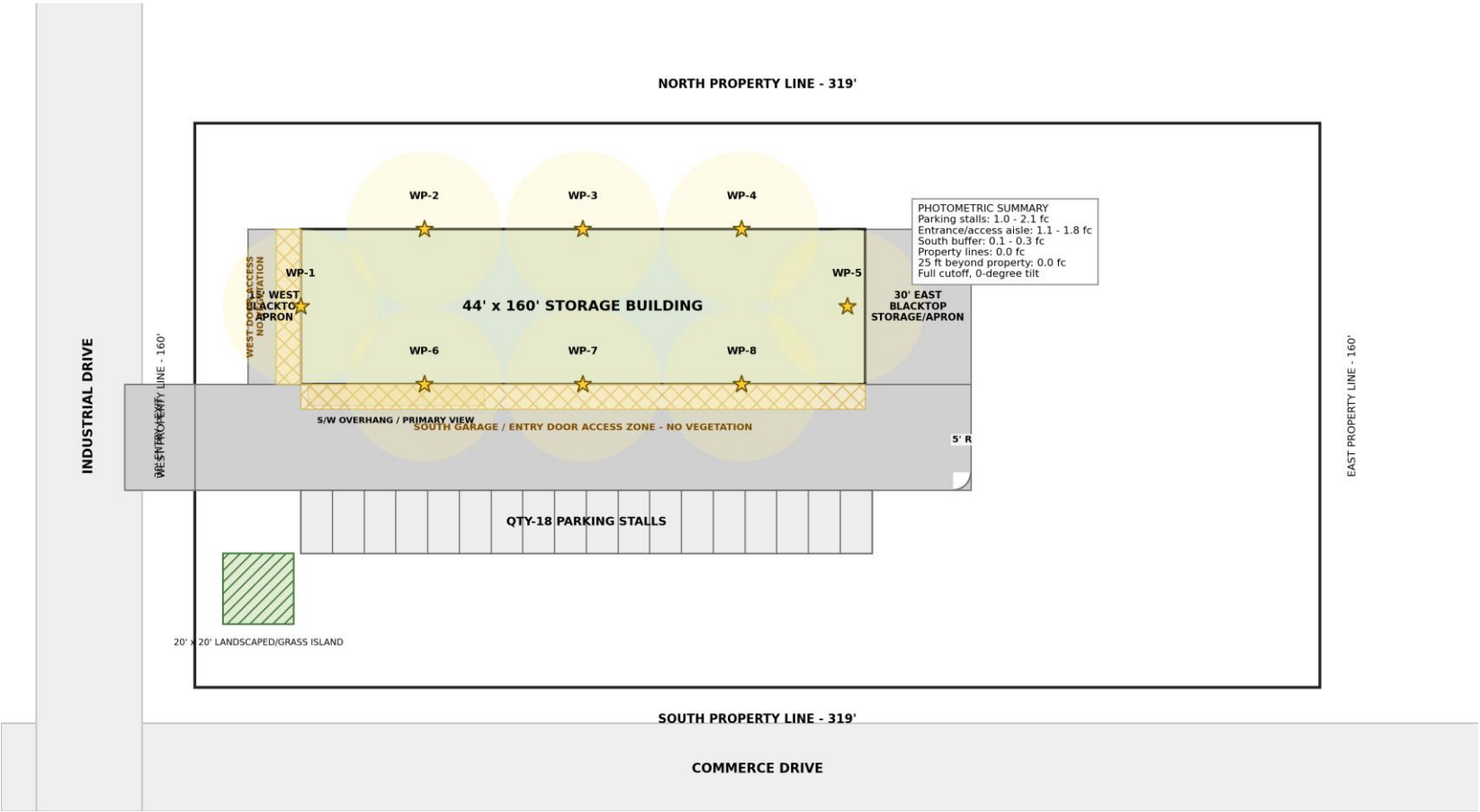
C1 SITE LAYOUT - FULL DIMENSIONS / BLACKTOP AREAS / NO CURB



Dimension	Value
Building	160 ft x 44 ft
South access aisle	30 ft, stops at east apron
SE aisle corner	5 ft radius
East apron	30 ft x 44 ft
West apron	15 ft x 44 ft
Parking	18 @ 9 ft x 18.5 ft

No curbs or gutters are shown or proposed. Blacktop limits now stop at the 30 ft east apron.

E1 LIGHTING PLAN - FIXTURE LOCATIONS AND PHOTOMETRIC SUMMARY

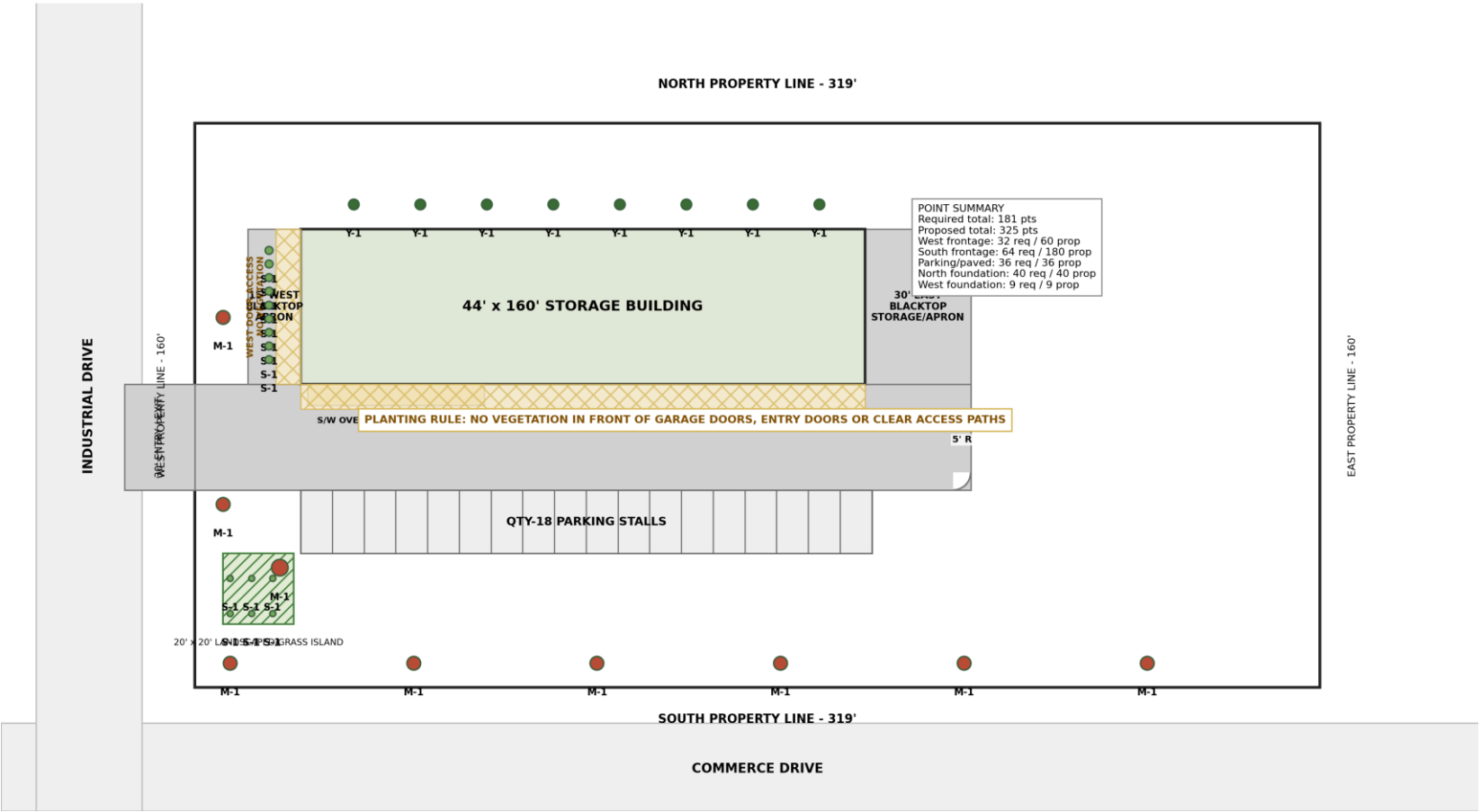


Location	Plan value
Parking stalls	1.0 to 2.1 fc
Access aisle	1.1 to 1.8 fc
Property lines	0.0 fc
Fixtures	Full cutoff, 0-degree tilt
WP-5	East building wall, directed toward east apron

Fixture	Location	Mounting	Optics	Output
WP-1	West elevation/access	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-2 to WP-4	North elevation	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-5	East building wall/elevation	12-14 ft AFG	Full cutoff, 0 deg tilt	30W / 3,800 lm
WP-6 to WP-8	South parking/access	12-14 ft AFG	Full cutoff, 0 deg tilt	45W / 5,500 lm

Reference	How addressed
550-107.F(3)	Parking/circulation lighting shown for safe and efficient use
550-110	Shielding, property-line spill and glare control referenced
E1 drawing	Fixture plan and photometric summary shown; WP-5 corrected

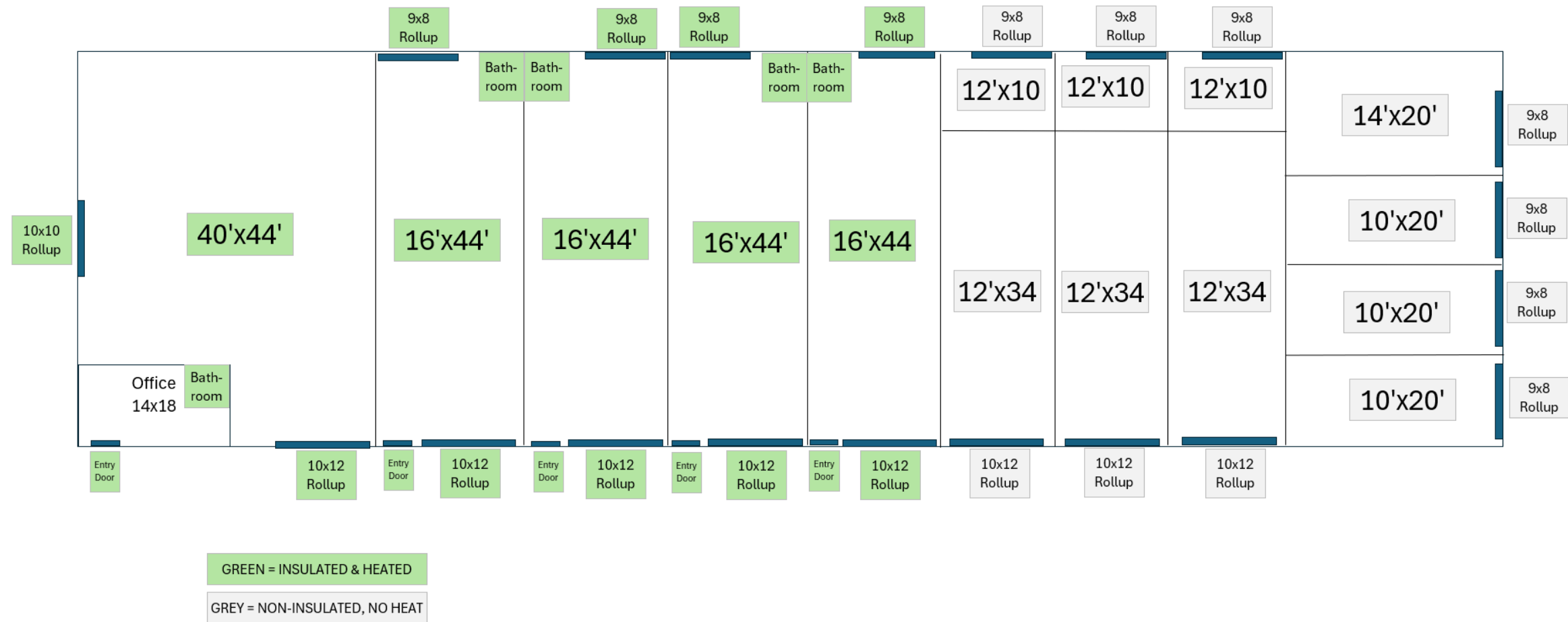
L1 LANDSCAPING PLAN - REQUIRED VS PROPOSED POINT AREAS



Category	Required	Proposed
West frontage	32	60
South frontage	64	180
Parking/paved	36	36
North foundation	40	40
West foundation	9	9
Total	181	325

Symbol	Plant type	Botanical/common name	Qty	Pts/plant	Function
M-1	Tall deciduous tree	Acer rubrum / Red Maple	9	30	Street frontage and island
Y-1	Medium evergreen shrub	Taxus x media / Dense Yew	8	5	North foundation
S-1	Low deciduous shrub	Spiraea japonica / Little Princess Spirea	15	1	West foundation and island shrubs

Reference	Compliance note
550-95	Uses point method and point values
550-96.A-C	Foundation, street frontage and paved-area plantings addressed
550-100 / Appendix F	Red Maple, Yew/Taxus and Spirea aligned to listed plant classifications
550-101 to 550-103	Installation, maintenance, calculation and site-plan depiction acknowledged



Building layout is included for site review context. C1/L1/E1 plan sheets control site dimensions and exterior features.



This image is generated as a design concept for the purpose of visualizing your finished project and may not be an exact representation of final construction. Final results may vary in price, materials, and specifications



This image is generated as a design concept for the purpose of visualizing your finished project and may not be an exact representation of final construction. Final results may vary in price, materials, and specifications

Primary south/west rendering with overhang

Alternate/back/east rendering for reference

Renderings are visual context only. Plan sheets control pavement limits, landscaping locations and lighting.

Request / issue	Included in final package
Parking dimensions and counts	C1 drawing and tables show stall size, count, row length and access aisle width
Lighting plan and schedule	E1, Luminaire Schedule, mounting specs, photometric summary and code notes
Landscaping species and points	Plant Schedule, Appendix F notes, required/proposed point calculations
Building exhibits	Building layout and renderings included
Blacktop budget approach	No curb/gutter; blacktop limits stop at east apron; island shown as grass/landscape

SITE & BUILDING DEVELOPMENT PLAN:

LIGHTING, LANDSCAPING, SITE LAYOUT & BUILDING EXHIBITS

600 Commerce Drive, Watertown, WI 53094

44 ft x 160 ft Commercial Storage / Multi-Tenant Light Industrial Building

Prepared by Max Clouse July 25, 2026

for City of Watertown Site / Building Plan Review

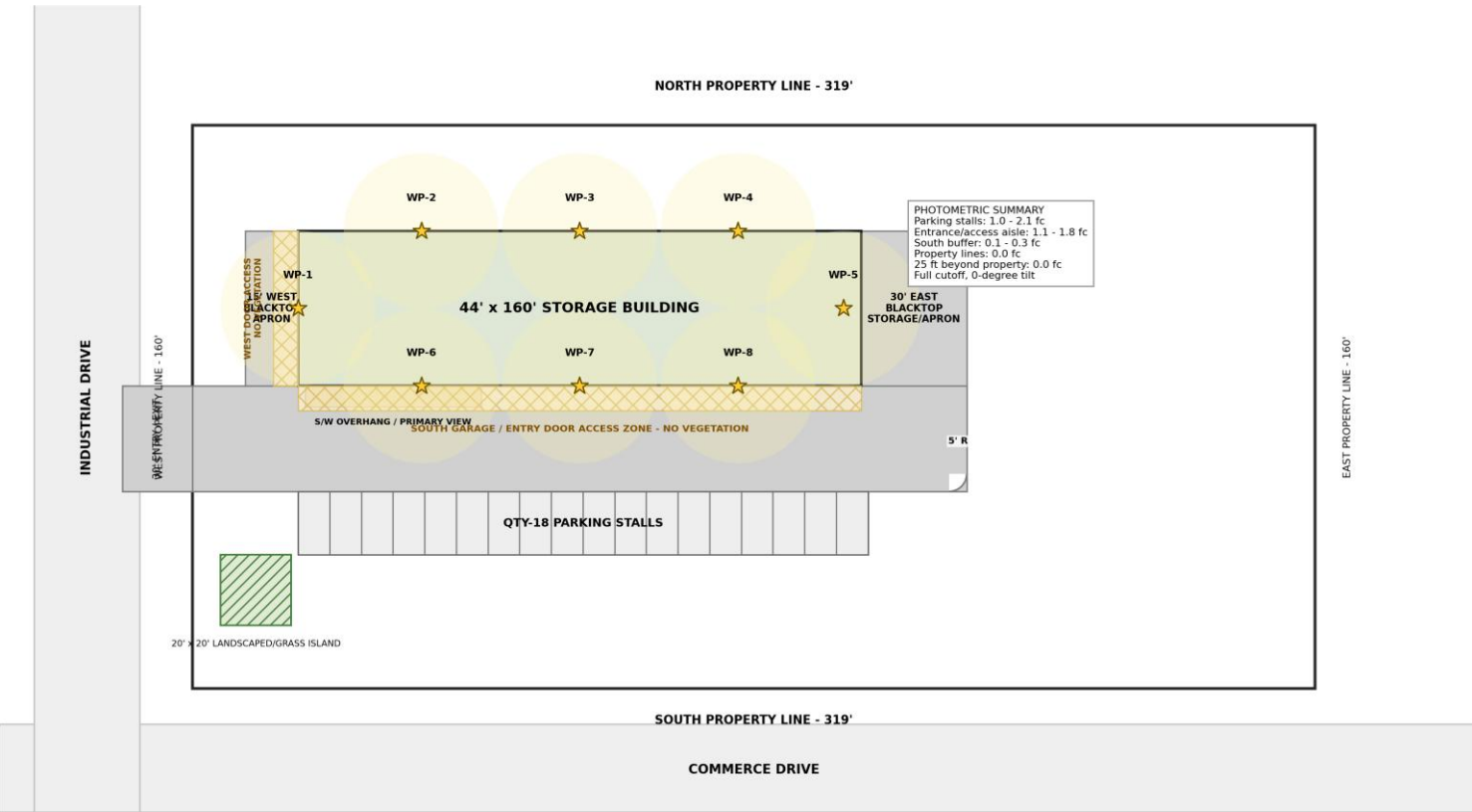


Project / Review Item	Final Package Treatment
Submittal basis	City correspondence requested parking dimensions/counts, lighting plan with photometric information, landscaping details/species, and required/proposed landscaping point totals.
Code / guidance references used	Watertown Zoning Code Article X Landscaping and Bufferyard Regulations; §550-107 Off-street parking and traffic circulation standards; §550-110 exterior lighting standards as provided in the project reference files; City of Watertown website for public municipal reference.
No-curb/gutter approach	Blacktop only is shown. No curb or gutter is proposed. The parking island is shown as a grass/landscape island adjacent to the blacktop.
Door clearance rule	No vegetation shall be placed in front of garage doors, entry doors, or clear access paths. Final building door layout controls exact field placement.
East light correction	WP-5 is shown on the east building wall/elevation and directed toward the east storage apron, not at the outer edge of the apron.

PART 1: EXTERIOR LIGHTING & PHOTOMETRIC PLAN

This section follows the lighting-plan format from the prior lighting and landscaping document with a luminaire schedule, mounting specifications, photometric summary, and code-reference notes. Fixture locations are conceptual for site plan review and should be verified with final manufacturer photometric files if required during permit review.

E1 LIGHTING PLAN - FIXTURE LOCATIONS AND PHOTOMETRIC SUMMARY



1.1 Luminaire Schedule and Mounting Specifications

Fixture	Location	Mounting Height	Optics / Orientation	Lamp / Output	Notes
WP-1	West elevation / access drive side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Shielded to limit glare and property-line spill.
WP-2	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-3	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-4	North elevation	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	North perimeter coverage.
WP-5	East building wall / east elevation, directed toward east storage apron	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	30W LED / approx. 3,800 lumens	Corrected location: mounted on building wall, not at outer apron edge.
WP-6	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-7	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.
WP-8	South parking/access side	12 ft to 14 ft A.F.G.	Full cutoff wall pack, 0-degree tilt	45W LED / approx. 5,500 lumens	Primary parking/access illumination.

1.2 Photometric Summary and Lighting Code Notes

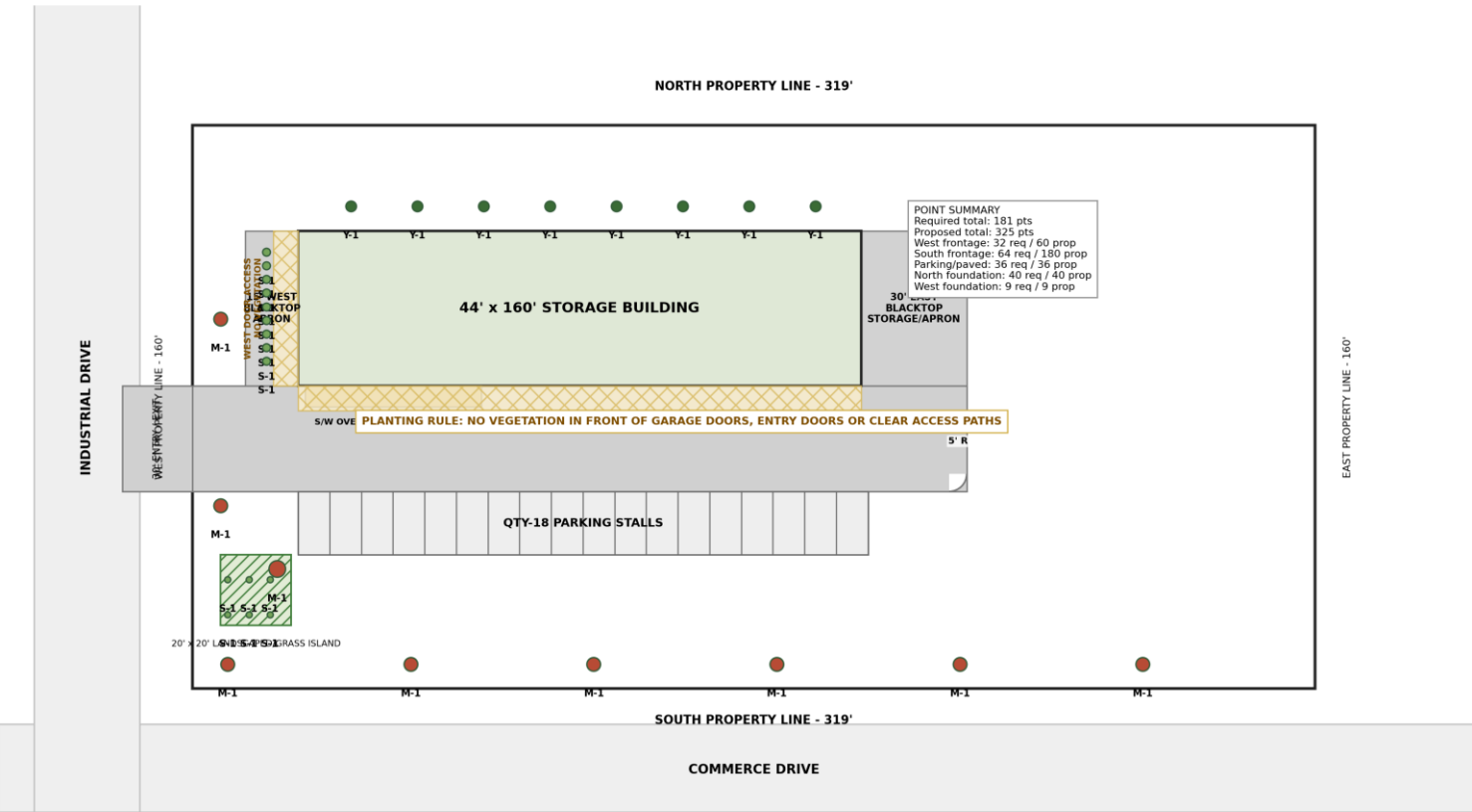
Measurement / Topic	Plan Value	Compliance / Intent Note
Parking stalls	1.0 to 2.1 fc	Meets/exceeds site parking illumination target used for review.
Entrance / access aisle	1.1 to 1.8 fc	Meets/exceeds site circulation illumination target used for review.
South buffer	0.1 to 0.3 fc	Transition area near frontage landscaping.
Property lines	0.0 fc	Below 0.50 fc property-line light-trespass limit used in review.
25 ft beyond property lines	0.0 fc	No modeled spillover beyond site boundary.
Fixture shielding	Full cutoff, 0-degree tilt	Specified to minimize glare and limit visibility of lighting element from off site.

Reference	How Addressed
§550-107.F(3)	Off-street parking and traffic circulation areas serving six or more cars shall be lit for safe and efficient use; provided plan uses wall-mounted fixtures and modeled photometric levels.
§550-110	Exterior lighting standards are referenced for property-line spill, fixture shielding, and glare control.
Project drawing E1	Fixture positions, mounting ranges, and photometric summary are depicted on E1. WP-5 is corrected to the east building wall.

PART 2: LOW-MAINTENANCE LANDSCAPING PLAN

This section follows the prior landscaping-document style and lists the plant schedule, Appendix F compatible plant classifications, required/proposed point totals, and placement notes. Plantings are kept simple and budget-conscious while avoiding garage doors, entry doors, and access paths.

L1 LANDSCAPING PLAN - REQUIRED VS PROPOSED POINT AREAS



2.1 Plant Schedule and Appendix F Compliance

Symbol	Type	Botanical / Common Name	Qty	Points / Plant	Location / Function	Appendix F Compliance Note
M-1	Tall Deciduous Tree	Acer rubrum / Red Maple	9	30 pts	Street frontages and northeast area of landscape island	Listed under Appendix F tall deciduous trees; red maple is an accepted 30-point tree type.
Y-1	Medium Evergreen Shrub	Taxus x media / Dense Yew	8	5 pts	North foundation wall	Yew/Taxus is listed in evergreen shrub classifications and is appropriate for foundation planting credit.
S-1	Low Deciduous Shrub	Spiraea japonica / Little Princess Spirea	15	1 pt	West foundation and parking/paved-area island shrubs	Spirea is listed under low deciduous shrubs; used where low foundation or island plantings are preferred.

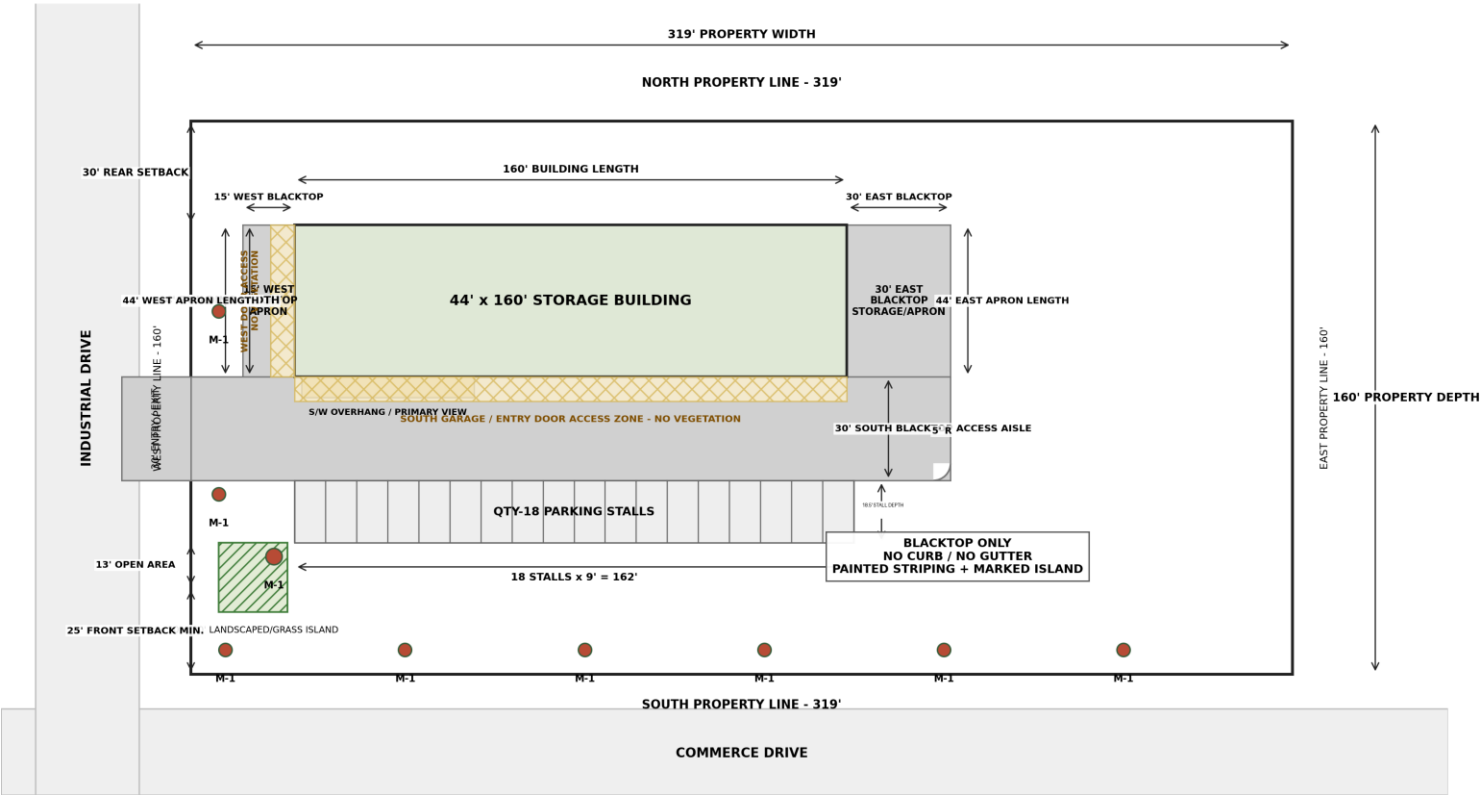
2.2 Required vs Proposed Landscaping Points

Landscaping Category	Required Points	Proposed Plantings	Proposed Points	Status
West Street Frontage	32 pts required	2 Red Maple	60 pts proposed	Meets
South Street Frontage	64 pts required	6 Red Maple	180 pts proposed	Meets
Parking / Paved Area	36 pts required	1 Red Maple + 6 Low Shrubs	36 pts proposed	Meets
North Foundation	40 pts required	8 Dense Yew	40 pts proposed	Meets
West Foundation	9 pts required	9 Little Princess Spirea	9 pts proposed	Meets
Total	181 pts required	Combined planting schedule	325 pts proposed	Meets

Code Reference	How Addressed
\$550-95	Uses the landscaping point method and plant point values by category.
\$550-96.A	Foundation plantings use shrubs; tall/climax trees are not credited to foundation landscaping.
\$550-96.B	Street frontage plantings are located along the public street frontage, within the property, and arranged to avoid visibility hazards.
\$550-96.C	Paved-area landscaping includes a 20 ft x 20 ft landscaped island and plantings within/near the paved area.
\$550-100 / Appendix F	Plant species are selected from or aligned with the listed classification groups: Red Maple, Yew/Taxus, and Spirea.
\$550-101 to \$550-103	Plant installation, maintenance, calculation, and depiction requirements are acknowledged in the submittal notes.

Placement Topic	Final Direction
South property line trees	First south frontage Red Maple starts approximately 10 ft east of the southwest corner, with remaining trees evenly spaced toward the east.
Landscape island tree	Island Red Maple is placed toward the northeast corner of the 20 ft x 20 ft grass/landscape island to avoid crowding the nearby southwest frontage tree and support signage/corner landscaping.
West property line trees	West frontage trees remain inside the property line and outside pavement/door access areas.
Foundation plantings	Dense Yew and Spirea shrubs shall be field located in solid wall segments only and shall not block doors or access paths.

PART 3: SITE LAYOUT, PARKING & TRAFFIC CIRCULATION **C1 SITE LAYOUT - FULL DIMENSIONS / BLACKTOP AREAS / NO CURB**



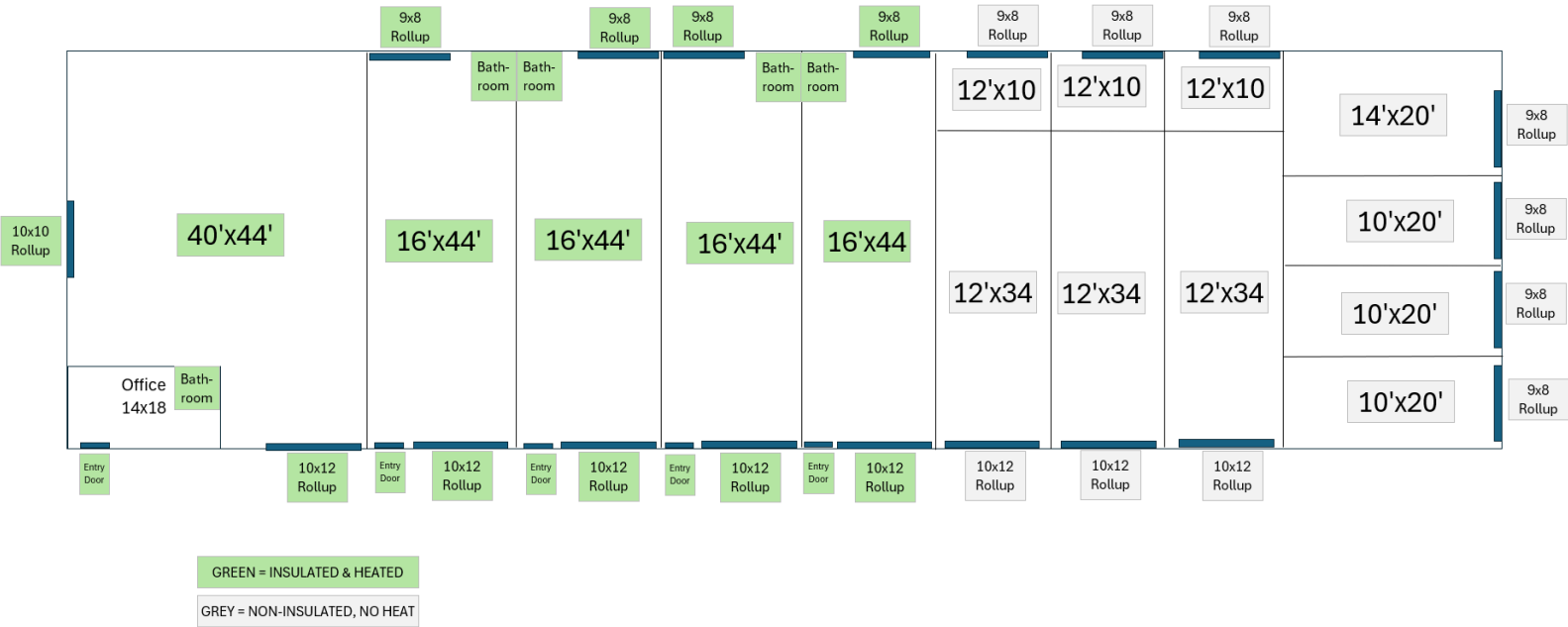
Site Layout Item	Dimension / Requirement	Notes
Overall property	319 ft x 160 ft	Shown on C1.
Building footprint	160 ft x 44 ft	Commercial storage / multi-tenant light industrial building.
South blacktop access aisle	30 ft wide	Stops at east edge of 30 ft x 44 ft east apron; includes 5 ft southeast radius.
East storage apron	30 ft x 44 ft	Blacktop apron on east building side.
West blacktop apron	15 ft x 44 ft	Blacktop apron on west building side.
Parking stalls	18 stalls at 9 ft x 18.5 ft	Parking row = 162 ft.
Grass/landscape island	20 ft x 20 ft	Uncurbed landscape island near corner/signage area.
Pavement approach	Hard-surfaced blacktop with striping	No curb or gutter proposed.
Setbacks noted	30 ft rear/north; 25 ft front/street-side minimum noted in City correspondence	Final survey/engineering plan should confirm.

Parking / Traffic Reference	Requirement Summary	Plan Response
§550-107.F(1)	Paved hard all-weather surface and clear markings for lots with six or more spaces.	Proposed blacktop and striped stalls.
§550-107.F(4)	Parking stalls must open onto an aisle/driveway wide enough for safe access.	30 ft aisle provided along south side.
§550-107.F(7) and Table 550-107F(9)	90-degree stall width = 9 ft; stall length and wall-to-wall module standards noted.	Plan shows user-confirmed 9 ft x 18.5 ft stalls; revise to show 18.5 ft effective/overhang if City asks.
§550-107.F(8)	Required parking/circulation areas not used for snow storage.	Note included for operations/maintenance.

PART 4: BUILDING LAYOUT & RENDERINGS

Building layout and renderings are included for site plan review context. The south/west view remains the primary public-facing view. Formal C1/L1/E1 drawings control site dimensions, pavement limits, landscaping locations, and lighting locations.

4.1 Building Layout



4.2 Building Renderings



This image is generated as a design concept for the purpose of visualizing your finished project and may not be an exact representation of final construction. Final results may vary in price, materials, and specifications.



This image is generated as a design concept for the purpose of visualizing your finished project and may not be an exact representation of final construction. Final results may vary in price, materials, and specifications.

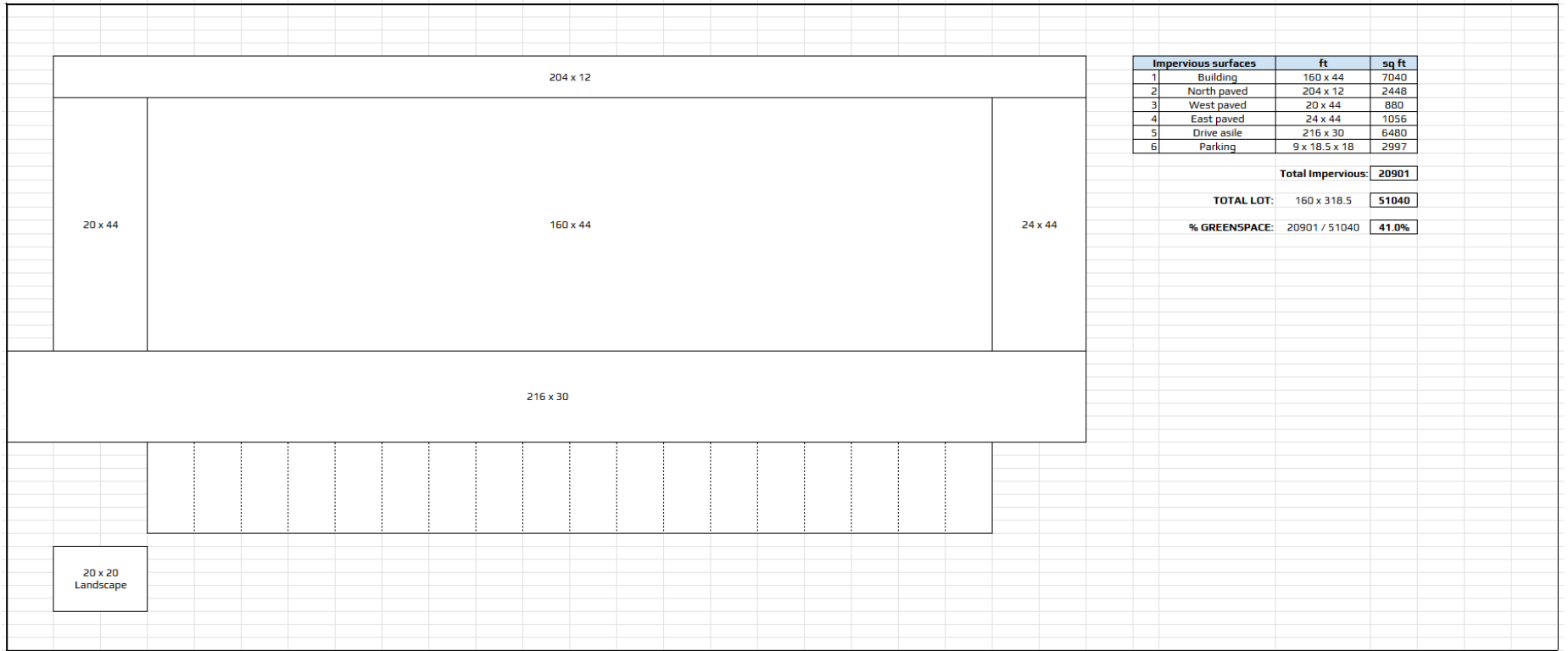
PART 5: CITY CORRESPONDENCE RESPONSE MATRIX

Date	Topic	Response in Final Package
June 25, 2026	Setback feedback	Document notes 30 ft rear/north setback and 25 ft front/street-side minimum from City correspondence.
July 13, 2026	Site plan review details requested	Includes parking dimensions, lighting plan/photometric summary, and landscaping species/points.
July 19, 2026	Parking stall count and size	Shows QTY-18 at 9 ft x 18.5 ft.
July 21, 2026	Required/proposed landscaping points requested	Required and proposed point table is included in Word, Excel, and PowerPoint.

PART 6: REFERENCES AND FINAL REVIEW NOTES

Reference / Source	Use in Final Package
City of Watertown website	Public municipal reference for City departments, meetings, visitors/business information, notices, and resources.
Watertown Zoning Code §550-107	Off-street parking and traffic circulation standards.
Watertown Zoning Code §550-95 to §550-103	Landscaping point values, regular development landscaping, species classifications, installation/maintenance, calculations, and required site-plan depiction.
Project email correspondence with Brian Zirbes	Used as the checklist for requested parking dimensions/counts and required/proposed landscape point totals.
Clouse_StorageUnit_070726 workbook and images	Used for building layout, renderings, and project exhibits.
SITE DEVELOPMENT PLAN_LIGHTING & LANDSCAPING_072526	Used as layout/style basis for the lighting and landscaping tables.

Open Item	Action / Reason
Final engineered/site construction drawings	Confirm exact survey dimensions, final grading, stormwater, erosion control, and pavement design.
Final door layout	Controls exact foundation shrub placement; no vegetation may block doors/access paths.
Final photometric/fixture submittal	Use final selected fixture IES files if required by City at permit stage.
Parking stall depth label	Updated plan directly shows the 18.5 ft parking stall depth.



Impervious surfaces	ft	sq ft
1 Building	160 x 44	7040
2 North paved	204 x 12	2448
3 West paved	20 x 44	880
4 East paved	24 x 44	1056
5 Drive aisle	216 x 30	6480
6 Parking	9 x 18.5 x 18	2997

Total Impervious: 20901

TOTAL LOT: 160 x 318.5 51040

% GREENSPACE: 20901 / 51040 41.0%