



**PLAN COMMISSION MEETING AGENDA**

**MONDAY, MARCH 23, 2026 AT 4:30 PM**

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,  
WATERTOWN, WI 53094**

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**1. CALL TO ORDER**

**2. APPROVAL OF MINUTES**

A. Review and take action: Site Plan Review minutes dated March 9, 2026

B. Review and take action: Plan Commission minutes dated March 9, 2026

**3. BUSINESS**

A. Public Hearing: 1727 S. Church Street– request for a Conditional Use Permit (CUP) for In-vehicle sales or service for a carwash under Section §550-33B(2)(f)

B. Review and take action: 1727 S. Church Street– request for a Conditional Use Permit (CUP) for In-vehicle sales or service for a carwash under Section §550-33B(2)(f)

C. Review and take action: 510 S. Second Street Certified Survey Map (CSM)

D. Review and take possible action: 1514 Oconomowoc Avenue Lease Agreement

E. Zoning Code Update - Review and Discuss Parking Standards - Vandewalle

**4. ADJOURNMENT**

*Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at [cityclerk@watertownwi.gov](mailto:cityclerk@watertownwi.gov) phone 920-262-4000*

*A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only*

**SITE PLAN REVIEW COMMITTEE  
March 9, 2026**

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Brian Zirbes – Planning & Zoning, Mike Zitelman – Water/Wastewater, Ben Olsen – Police, Don Dishno – Fire, Stacy Winkelman – Streets & Solid Waste, Nathan Williams – Engineering, Ryan Thurow – Park & Rec, and Manager of Economic Development and Strategic Initiatives Deb Sybell.

Also in attendance were Nikki Zimmerman – Building Safety & Zoning and Kory Anderson of General Engineering.

**1. Call to Order**

The meeting was called to order by Chairperson Brian Zirbes.

**2. Approval of Minutes**

**A. Review and take action: Site Plan Review Minutes Dated January 12, 2026**

Motion was made by Mike Zitelman and seconded by Stacy Winkelman to approve the minutes as submitted. Unanimously approved.

**3. Business**

**A. Review and take action: 1727 S. Church Street – proposed car wash**

Kory Anderson of General Engineering was present. The proposed project is for Tommy's Car Wash. There is a two-lane drive up and the cars are brought through on a conveyor system. A portion of the water gets reused/recycled. There is also an outdoor area with vacuum stalls.

The following was presented by staff:

- Fire: No comment.
- Building: An email from Inspector Mike Jacek was read into record that stated if the building is less than 50,000 cubic feet, the city can complete the plan review in-house. If the building is 50,000 cubic feet or larger, the plans will have to go to the state for review.
- Police: Stated concerns about the area provided for waiting cars. The desire is that the cars will not back up onto S. Church Street. Planning & Zoning Administrator Brian Zirbes stated that the site meets the code requirements.
- Mayor: No comment.
- Stormwater: An Erosion Control & Stormwater Runoff permit will need to be submitted and approved.
- Engineering: A copy of the access easement for the neighboring properties need to be submitted to Engineering staff.
- Zoning: No comment.
- Parks & Rec: The trees are all in compliance.
- Water/Wastewater: For the 4" water line, a representative from the Water Department will need to be present for the inspection of the tap.
- Streets/Solid Waste: Also stated concerns on the potential of traffic backing up. Garbage/recycling will have to be obtained by a private company.
- Econ. Development: No comment.
- Legal: Not present.

Motion was made by Mike Zitelman and seconded by Stacy Winkelman to recommend approval of this item to the Plan Commission contingent upon:

- Submittal and approval of the Erosion Control & Stormwater Runoff permit
- Submittal of the access easement for the neighboring properties.

Unanimously approved.

4. **Adjournment**

Motion was made by Mayor Stocks and seconded by Mike Zitelman to adjourn. Unanimously approved.

Respectfully submitted,  
Nikki Zimmerman, Recording Secretary

**Note: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.**

PLAN COMMISSION

MINUTES

March 09, 2026

Section 2, Item B.

The Plan Commission met at 4:31p.m. on the above date in the Council Chambers.

The following members were present: Mayor Stocks, Alderman Blanke, Beyer, Kneser, Krueger, Lampe, Levi, Zirbes

Also in attendance: Rod Johnson, Tyler Naatz, Maddi Naatz, Nate Peters

1. Call to order (4:34pm)

2. Approval of Minutes

A. Plan Commission minutes February 9, 2026 and February 23, 2026

Motion to approve Plan Commission minutes was made by Levi and seconded by Lampe, passed on unanimous voice vote.

3. Business

A. Review and take action: Gateway Drive Final Plat (PIN: 291-0815-1631-003)

Brian Zirbes presented the Gateway Drive Final Plat. He pointed out that the state Department of Administration has not yet commented on the plat. Staff recommended approval with the following conditions:

- Make any changes or corrections to the plat as identified by the WDOA.
- Obtain Erosion Control and Storm Water Runoff Permit review and approval if land disturbance exceeds one acre.
- Obtain final approval of the Planned Development Overlay Zoning associated with this plat.
- Add a note to the plat pertaining to payment of parkland fees 'in lieu of dedication'.
- Add a note to the plat pertaining to drainage and stormwater requirements

Motion to forward to council with a positive recommendation with the conditions as noted was made by Krueger, seconded by Blanke and passed on a unanimous voice vote.

B. Review and take action: N8493 County Road E Extraterritorial Certified Map

Brian Zirbes presented the request for a CSM for N8493 County Road E. The applicant was present to dispute the right of way requirements of the city. Staff has recommended approval with the following conditions:

- Correct the signature page on the CSM to include Extraterritorial Jurisdiction language.
- Add a note regarding the Airport Approach Protection Zone having a maximum elevation of 968 feet above mean sea level for all buildings and vegetation.
- Dedicate the required expanded ROW for County Highway E.

Motion to approve the CSM with the conditions as noted was made by Beyer, seconded by Kneser and passed on a unanimous roll call vote.

C. Review and take action: N7233 Shade (Saucer) Road Extraterritorial Certified Survey Map

Brian Zirbes presented the request for the CSM for N7233 Shade (Saucer) Road. Staff has recommended approval with the following conditions:

- Correct the signature page on the CSM to include Extraterritorial Jurisdiction language.

Motion to approve the CSM with the condition as noted was made by Blanke, seconded by Lampe and passed on a unanimous voice vote.

All materials discussed at this meeting can be found at:

[https://files-backend.assets.thrillshare.com/documents/asset/uploaded\\_file/5330/Cow/ed5d7864-6c08-4c0b-89bd-ce92109d09de/March-9%2C-2026-Plan-Commission-Meeting-Packet.pdf?disposition=inline](https://files-backend.assets.thrillshare.com/documents/asset/uploaded_file/5330/Cow/ed5d7864-6c08-4c0b-89bd-ce92109d09de/March-9%2C-2026-Plan-Commission-Meeting-Packet.pdf?disposition=inline)

**4. Adjournment**

Motion to adjourn was made by Lampe and seconded by Kneser and passed on a unanimous voice vote.  
(4:50pm)

Respectfully Submitted,

Alderman Brad Blanke

## NOTICE OF PUBLIC HEARING

Section 3, Item A.

In accordance with Wis. Stat. § 62.23(7)(de) and Section § 550-142E(1) of the City of Watertown Municipal Code, a notice is hereby given by the Plan Commission of the City of Watertown, Wisconsin, that a public hearing will be held on the 23<sup>rd</sup> day of March, 2026 at 4:30 P.M., or shortly thereafter, in the Council Chambers of the Municipal Building, 106 Jones Street, Watertown, Wisconsin.

This public hearing will be to consider the request of LSRE Watertown, LLC (applicant) and Nure Enterprises (owner) for a Conditional Use Permit for In-vehicle sales or service under Section § 550-33B(2)(f) for a car wash.

1727 S. Church Street is zoned General Business (GB), and is further described as follows:

Lot Two (2) of Certified Survey Map No. 3288 recorded in the Office of the Register of Deeds for Jefferson County, Wisconsin on June 20, 1996, in Volume 14 of Certified Survey Maps, Page 168 as Document No. 958059, as amended by Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 350 as Document No. 962782 and Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 352 as Document No. 962783, said Certified Survey Map being a redivision of a part of Lot 2 of Certified Survey Map No. 3059, being a redivision of Lot 1 of Certified Survey Map No. 2272, in the Southwest 1/4 of Section 9, Township 8 North, Range 15 East, in the City of Watertown, Jefferson County, Wisconsin.  
(Parcel Number 291-0815-0932-009)

All persons wishing to be heard are invited to be present. Written comments may be submitted to the Building Safety & Zoning Department at [nzimmerman@watertownwi.gov](mailto:nzimmerman@watertownwi.gov).

CITY OF WATERTOWN  
Brian Zirbes  
Planning & Zoning Administrator

BZ/nmz

PUBLISH: March 9, 2026  
and  
March 16, 2026

(BLOCK AD)

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: March 25th, 2026  
SUBJECT: 1727 S Church Street, Conditional Use Permit - CUP

A request by LSRE Watertown LLC, agent for Nure Enterprises LLC, for a Conditional Use Permit (CUP) for 'In-Vehicle Sales or Service'. Parcel PIN(s): 291-0815-0932-009

SITE DETAILS:

Acres: 1.0  
Current Zoning: General Business (GB)  
Existing Land Use: Restaurant  
Future Land Use Designation: Planned Mixed Use

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for 'In-Vehicle Sales or Service' to construct a Tommy's Express Car Wash. The project site includes a car wash building, double payment lanes, self-serve vacuums, and parking for employees. The building is unique with Tommy's signature black, gray, and red colors and two towers at two opposite corners of the building. Building materials include brick, stone veneer, metal composite panels, acrylic roof system, aluminum louvers, clear glass windows, and glass infill panels. A typical Tommy's Car Wash can process up to 180 cars per hour. Employees work on 2 shifts with 4 employees on each shift. The car wash will operate 7 days a week between 7am and 8pm. The existing building on the property will be razed to accommodate this development.

STAFF EVALUATION:

Land Use and Zoning:

1. Within the General Business (GB) Zoning District, 'In-Vehicle Sales or Service' is a principal land use permitted as a conditional use [per § 550-33B(2)(f)]. 'In-Vehicle Sales or Service' includes car washes among the allowed uses [per § 550-52G].

Applicable regulations for 'In-Vehicle Sales or Service' land uses include the following:

- o Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s) [per § 550-52G(1)(a)].
- o The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement or exacerbate the potential for pedestrian/vehicular conflicts [per § 550-52G(1)(b)].
- o In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this section [per § 550-52G(1)(c)].
- o The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street right-of-way lines, a minimum of 20 feet from all residentially zoned property lines, and shall be a minimum of five feet from all other property lines. The total height of any overhead canopy or similar structure shall not exceed 20 feet as measured to highest part of structure [per § 550-52G(1)(d)].
- o All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum four-ton axle load [per § 550-52G(1)(e)].
- o Facility shall provide a bufferyard with a minimum opacity of 0.60 along all property borders abutting residentially zoned property (§ 550-99) [per § 550-52G(1)(f)].
- o Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of six inches high and be of a nonmountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines [per § 550-52G(1)(g)].

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

2. Parking Requirements.
  - One space per 50 square feet of gross floor area – parking space requirements are not applicable for this proposal. Patrons do not leave vehicles except to briefly use vacuum stalls. Proposed parking is adequate for employees.
  - Each drive-up lane shall have a minimum stacking length of 100 feet behind the pass-through window and 40 feet beyond the pass-through window - stacking lengths are adequate for this proposal.
3. Vehicle Access and Circulation Standards.
  - The proposed development meets the aisle width and parking stall dimension requirements specified in the Off-Street Parking and Traffic Circulation Standards [per § 550-107F].
4. Landscaping requirements.
  - Within the General Business (GB) zoning district the minimum landscape surface ratio (LSR) is 15%. The applicant has provided a landscaping plan with a landscape surface ratio (LSR) of 33.7% exceeding the LRS requirements for the General Business (GB) zoning district.
  - The landscaping plan for this proposal also meets or exceeds the required landscaping points.
5. Exterior Lighting Standards.
  - The exterior lighting plan for this proposal meets the Exterior Lighting Standards.
6. Community Entry Corridor Overlay Zoning District.

The location of this development proposal falls within the Community Entry Corridor Overlay Zoning District. The general design theme for non-residential development within the Community Entry Corridor Overlay Zoning District shall be characterized by high-quality building materials, architectural design, site design and on-site landscaping. Prominent urban design elements and architectural details, which are decorative and functional, shall be considered as a required component of each site within the district. Above and beyond such concerns, particular attention shall be devoted to ensuring that selected non-residential design components complement nearby non-residential styles and reflect positively on the character of the community, as becoming an entry corridor, and as determined by the Plan Commission. Where a detailed neighborhood plan has been adopted, it should be used to provide additional guidance in the design review process.

§550-150C Community Entry Corridor Overlay Zoning District Design Standards.

- (1) Building exterior materials shall be of high quality on all sides of the structure, including glass, brick, decorative concrete block or stucco. Decorative architectural metal with concealed fasteners may be approved with special permission from the City.  
**Meets Standard.**
- (2) Building exterior design shall be unified in design and materials throughout the structure and shall be complementary to other structures in the vicinity. However, the development shall employ varying building setbacks, height, roof, treatments, door and window openings, and other structural and decorative elements to reduce the apparent size and scale of the structure. A minimum of 20% of the combined facades of the structure shall employ actual facade protrusions or recesses. A minimum of 20% of the combined linear roof eave or parapet lines of the structure shall employ differences in height of eight feet or more. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective.  
**Meets Standard.**

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

- (3) Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground-level views with materials identical to those used on the building exterior.  
**Meets Standard.**
- (4) Public entryways shall be prominently indicated from the building's exterior design and shall be emphasized by on-site traffic flow patterns. All sides of the building that directly face or abut a public street shall have public entrances.  
**Waiver Requested - The layout of the building on the site does not allow a public entrance to face a public street.**
- (5) Parking lot design shall employ interior landscaped islands with a minimum of 400 square feet at all parking islands, and in addition shall provide a minimum of one landscaped island of a minimum of 400 square feet in each parking aisle for every 20 cars in that aisle. Aisle-end islands shall count toward meeting this requirement. Landscaped medians shall be used to break large parking areas into distinct pods, with a maximum of 100 spaces in any one pod.  
**Waiver Requested – proposal has only 23 proposed parking spaces with a maximum of 14 spaces in one row. 17 of these spaces are the vacuum spaces that are extra wide and have vacuum holsters at each stall.**
- (6) On-site landscaping shall be provided per the landscaping requirements of this chapter, except that building foundation landscaping and paved area landscaping shall be provided at 1.5 times the required landscape points for development in the zoning district.  
**Meets Standard.**
- (7) The entire development shall provide for full and safe pedestrian and bicycle access within the development and shall provide appropriate connections to the existing and planned pedestrian and bicycle facilities in the community and in surrounding neighborhoods, including sidewalk connections to all building entrances from all public streets. The development shall provide secure bicycle parking and pedestrian furniture in appropriate quantities and location. A central pedestrian gathering area shall be provided.  
**Waiver Requested - the proposed car wash is not pedestrian or bicycle oriented, only vehicle oriented.**
- (8) The Plan Commission may waive any of the above standards by a three-fourths' vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project that compensate for the waiver of the particular standard.  
**Waiver Requested – Three (3) Design Standards.**

WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

*Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.*

1. 62.23 (7) (de)(1) In this paragraph:

a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.

b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

2. 62.23 (7) (de)(2)

a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.

b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.

3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.

4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.

5. 62.23 (7) (de)(5)



**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

*If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.*

**PLAN COMMISSION DECISION:**

In-Vehicle Sales or Service Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
	Yes	No	Yes	No	Yes	No
Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s).	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement or exacerbate the potential for pedestrian/vehicular conflicts.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this section	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
The setback of any overhead canopy or similar structure shall be a minimum of 10 feet from all street right-of-way lines, a minimum of 20 feet from all residentially zoned property lines, and shall be a minimum of five feet from all other property lines. The total height of any overhead canopy or similar structure shall not exceed 20 feet as measured to highest part of structure.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum four-ton axle load.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
Facility shall provide a bufferyard with a minimum opacity of 0.60 along all property borders abutting residentially zoned property.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of six inches high and be of a nonmountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
Parking requirements. One space per 50 square feet of gross floor area. Each drive-up lane shall have a minimum stacking length of 100 feet behind the pass-through window and 40 feet beyond the pass-through window.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

*If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.*

**PLAN COMMISSION OPTIONS:**

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.

106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060



**BUILDING SAFETY & ZONING DIVISION  
PLAN COMMISSION STAFF REPORT**

3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:
  - a. Waive Design Standard Sections § 550-150C(4), 550-150C(5), & 550-150C(7) of the Community Entry Corridor Overlay Zoning District.

**STAFF RECOMENDATION:**

- Staff recommends approval of this Conditional Use Permit with conditions.

**ATTACHMENTS:**

- Application materials.

**General Engineering Company**  
P.O. Box 340  
916 Silver Lake Drive  
Portage, WI 53901



608-742-2169 (Office)  
608-742-2592 (Fax)  
[gec@generalengineering.net](mailto:gec@generalengineering.net)  
[www.generalengineering.net](http://www.generalengineering.net)

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**TOMMY'S CAR WASH – SUPPLEMENTAL INFORMATION for  
SITE PLAN and CONDITIONAL USE PERMIT APPLICATIONS  
and COMMUNITY ENTRY CORRIDOR OVERLAY ZONING DISTRICT**

**Site Plan Application Supplemental Information**

- Existing Zoning – GB, General Business
- Land Use Map Designation – Planned Mixed Use
- Current Land Use – Restaurant
- Proposed Land Use – Carwash (In-vehicle sales or service)
- Projected Number of Employees – 2 shifts with 4 employees each.
- Project Number of Daily Customers - A typical Tommy's Car Wash can process up to 180 cars per hour.
- Lot Area – 1.01 Acres or 43,960 SF
- Floor Area/Ratio – 4,612 SF / 10.5%
- Impervious Surface Area/Ratio – 28,922 SF / 65.8%
- Landscape Surface Area/Ratio – 14,835 SF / 33.7%
- Hours of Operation – 7 days a week between the hours of 7am and 8pm.
- Normal and Peak Water Usage – See attached report.
- Sanitary Sewer Flows – See attached report.
- Traffic Generation – No Traffic Study was performed but a typical Tommy's Car Wash can process up to 180 cars per hour.
- Article XI: Performance Standards – Noise: See attached report.
- Article XI: Performance Standards – Light: Refer to the lighting plan provided with the submittal.
- Article XI: Performance Standards – Vibration: The ordinance refers to industrial sites. This site is commercial but we don't anticipate any vibration issues from the car wash operations.
- Article XI: Performance Standards – The proposed development shall comply with all other requirements of Article XI.
- Exterior building and fencing materials – See building elevations for building materials. Fencing materials for garbage enclosure are provided in the civil plan sheets.
- Possible future expansion – none planned
- Access, Parking, Loading - Same access locations and width to site will be utilized off of access road to south and from driveway to motel to the east. No other access is provided. Parking - 17 vacuum stalls, 5 standard parking stalls, and 1 handicap stall are provided.

**Conditional Use Permit Application Supplemental Information**

**Project Themes and Images**

Tommy's Express Car Wash Systems is a national chain of tunnel car washes that utilizes a belt conveyor system to process up to 180 cars per hour. Their innovative approach and design recycles wash water and reuses it in the process, therefore reducing overall water use. The car wash system includes a reverse osmosis purification system and a water reclamation system which minimizes the amount of freshwater use for every wash and the amount that is discharged from the wash. The system also captures suspended solids, oil, and grease and prevents them from entering the sewer system.

The project site includes the car wash building, double payment lanes, self-serve vacuums, and parking for employees. The signature red Tommy ball serves as vacuum holsters and garbage cans for the self-serve vacuum stalls. The building is unique in itself with the signature black, gray, and red colors for

**Portage • Black River Falls • La Crosse**



Consulting Engineering • Structural Engineering • Building Design • Environmental Services • Building Inspection • GIS Services  
Grants & Funding Services • Land Surveying • Zoning Administration • Mechanical, Electrical, & Plumbing Services



Tommy's with two large red towers at two opposite corners of the building. Building materials include brick, stone veneer, metal composite panels, acrylic roof system, aluminum louvers, clear glass windows, and glass infill panels. This project will enhance the surrounding development by providing a high quality, professionally designed facility that offers a convenient service to residents and visitors to the area.



**Community Entry Corridor Overlay Zoning District - Supplemental Information**

**Design Standards for Nonresidential Development**

1. *Building exterior materials shall be of high quality on all sides of the structure, including glass, brick, decorative concrete block or stucco. Decorative architectural metal with concealed fasteners may be approved with special permission from the City.*

Refer to the building elevations and the example photo above for proposed finishes.

2. *Building exterior design shall be unified in design and materials throughout the structure and shall be complementary to other structures in the vicinity. However, the development shall employ varying building setbacks, height, roof, treatments, door and window openings, and other structural and decorative elements to reduce the apparent size and scale of the structure. A minimum of 20% of the combined facades of the structure shall employ actual facade protrusions or recesses. A minimum of 20% of the combined linear roof eave or parapet lines of the structure shall employ differences in height of eight feet or more. Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective.*

Refer to the building elevations and the example photo above for proposed finishes.

3. *Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground-level views with materials identical to those used on the building exterior.*

Refuse containers are enclosed in a fenced in/gated decorative enclosure. Refer to the attached civil plans. Mechanical equipment is either concealed on the rooftop or concealed with decorative landscaping.

4. *Public entryways shall be prominently indicated from the building's exterior design and shall be emphasized by on-site traffic flow patterns. All sides of the building that directly face or abut a public street shall have public entrances.*

Requesting a waiver to this requirement as the proposed business is all in-vehicle sales. The layout of the building on the site does not allow a public entrance to face a public street.

5. *Parking lot design shall employ interior landscaped islands with a minimum of 400 square feet at all parking islands, and in addition shall provide a minimum of one landscaped island of a minimum of 400 square feet in each parking aisle for every 20 cars in that aisle. Aisle-end islands shall count toward meeting this requirement. Landscaped medians shall be used to break large parking areas into distinct pods, with a maximum of 100 spaces in any one pod.*

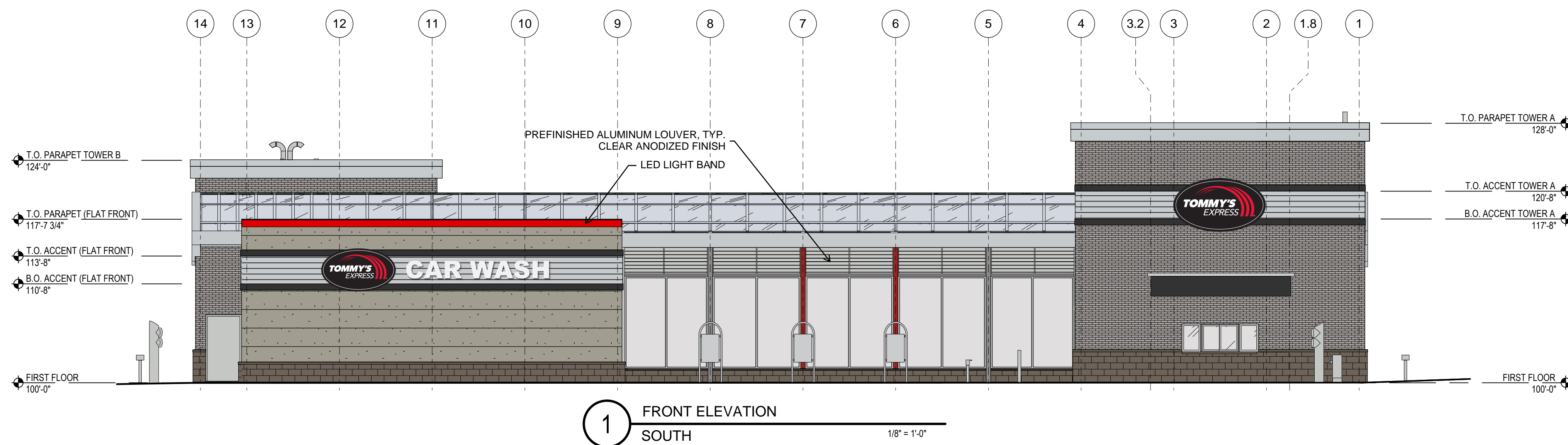
Requesting a waiver to this requirement as we only have 23 proposed parking spaces with a maximum of 14 spaces in one row. Also, 17 of these spaces are the vacuum spaces that are extra wide and have vacuum holsters at each stall.

6. *On-site landscaping shall be provided per the landscaping requirements of this chapter, except that building foundation landscaping and paved area landscaping shall be provided at 1.5 times the required landscape points for development in the zoning district.*

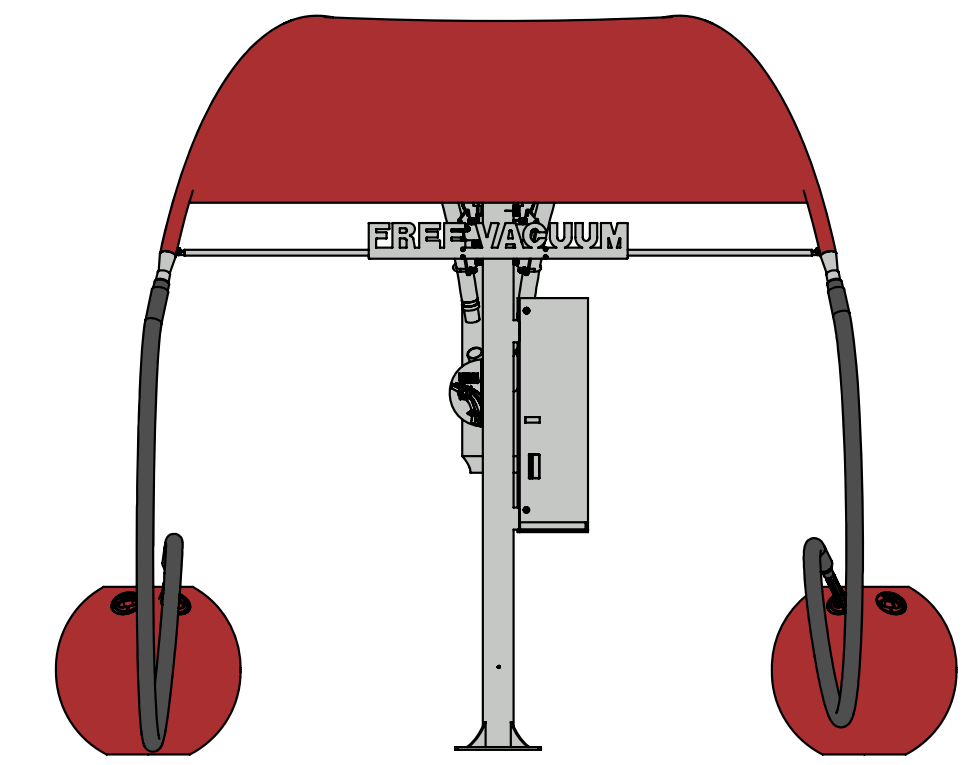
Refer to the attached landscape plan showing these additional requirements are included.

7. *The entire development shall provide for full and safe pedestrian and bicycle access within the development and shall provide appropriate connections to the existing and planned pedestrian and bicycle facilities in the community and in surrounding neighborhoods, including sidewalk connections to all building entrances from all public streets. The development shall provide secure bicycle parking and pedestrian furniture in appropriate quantities and location. A central pedestrian gathering area shall be provided.*

Requesting a waiver to this requirement as the proposed car wash is not pedestrian or bicycle oriented, only vehicle oriented.



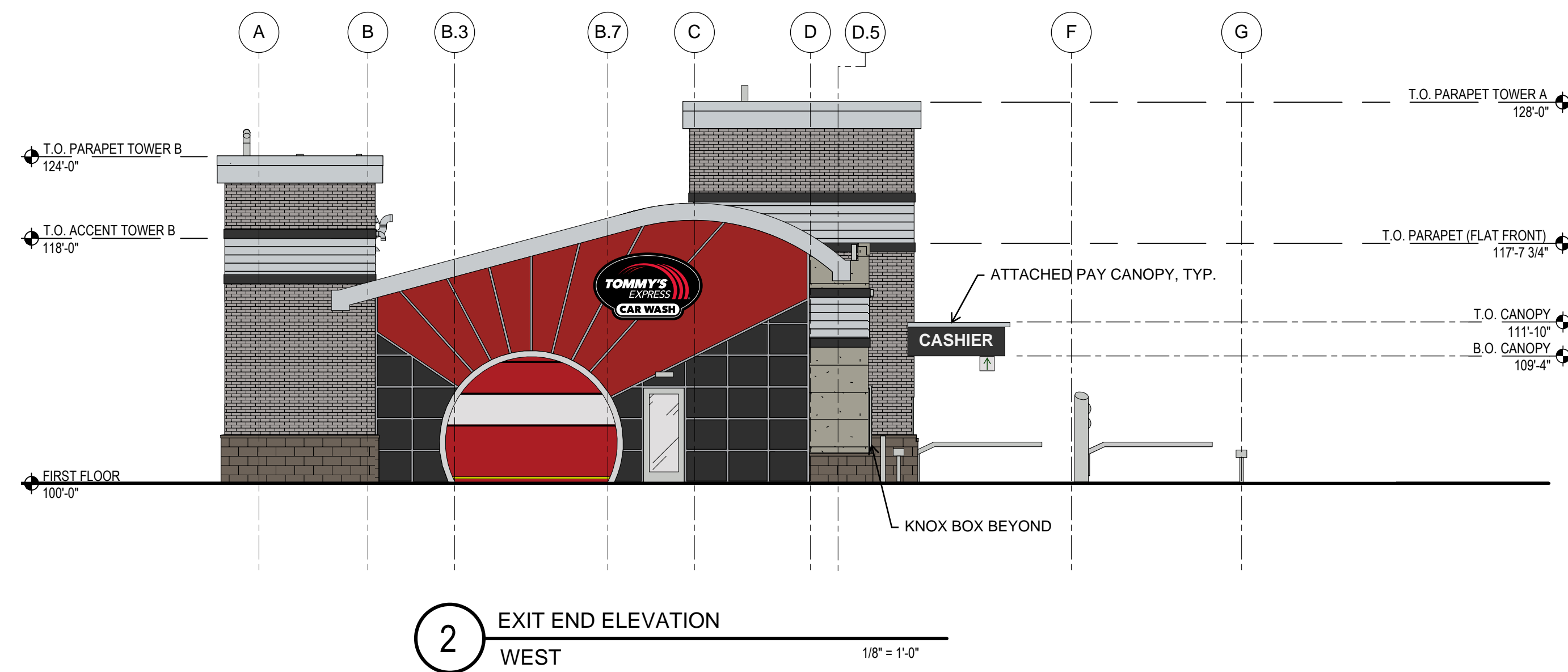
1 FRONT ELEVATION SOUTH  
1/8" = 1'-0"



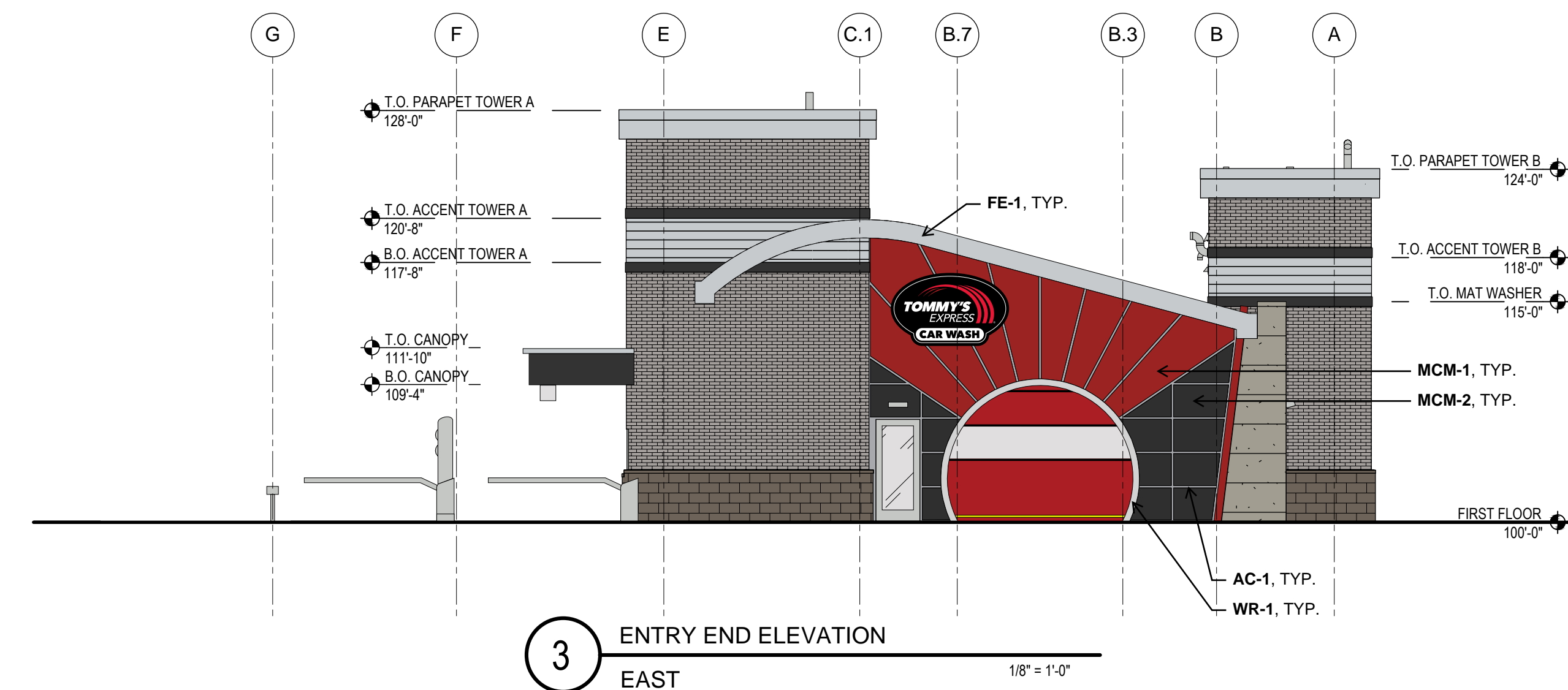
5 TYPICAL VACUUM ELEVATION  
NOT TO SCALE

PERCENTAGES BY EXTERIOR MATERIAL					
BACK ELEVATION			ENTRY END ELEVATION		
MATERIAL	% COVERAGE	AREA (SF)	MATERIAL	% COVERAGE	AREA (SF)
METAL	25%	565	METAL	50%	547
MASONRY	42%	956	MASONRY	41%	529
GLAZING	33%	759	GLAZING	2%	21
			VINYL (GARAGE DOORS)	8%	97
<b>TOTAL</b>	<b>100%</b>	<b>2,290</b>	<b>TOTAL</b>	<b>100%</b>	<b>1,294</b>
FRONT ELEVATION			EXIT END ELEVATION		
MATERIAL	% COVERAGE	AREA (SF)	MATERIAL	% COVERAGE	AREA (SF)
METAL	31%	796	METAL	61%	794
MASONRY	49%	1,249	MASONRY	30%	383
GLAZING	19%	487	GLAZING	2%	21
			VINYL (GARAGE DOORS)	8%	97
<b>TOTAL</b>	<b>100%</b>	<b>2,533</b>	<b>TOTAL</b>	<b>100%</b>	<b>1,295</b>

(ROOF NOT INCLUDED IN AREA CALCULATIONS)

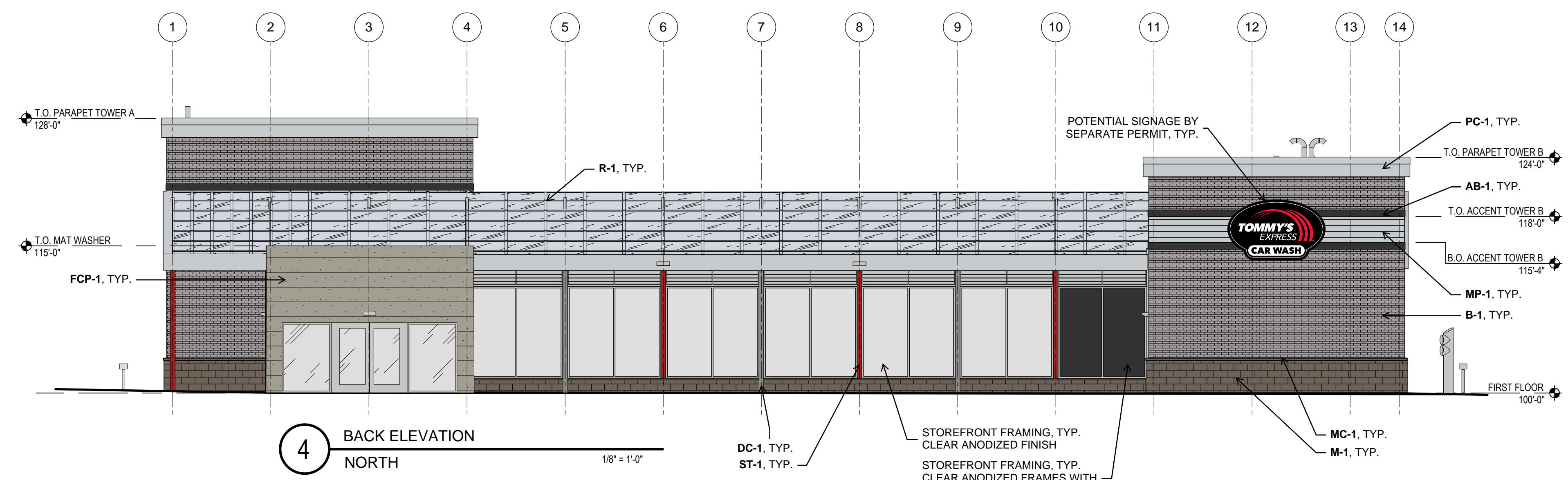


2 EXIT END ELEVATION WEST  
1/8" = 1'-0"



3 ENTRY END ELEVATION EAST  
1/8" = 1'-0"

TAG	MATERIAL	MFR.	DESCRIPTION	MFR. COLOR
ST-1	STRUCTURAL STEEL	PROSPRIANT	5-STAGE POWDER COATED	RAL 3001
MP-1	PREFINISHED PROFILED MCM, TOWER BANDING	ATAS	BELVEDERE 7.2" RIB PANEL	SILVERSMITH
B-1	BRICK, MAIN BUILDING FINISH	GLEN-GARY	GLAZED BRICK, KLAYCOAT	STONE GREY
M-1	CMU BLOCK	CONSUMERS	4" SPLIT FACE VENEER	ASH (MORTAR COLOR TO MATCH)
MC-1	PRECAST STONE		MASONRY CAP	TO MATCH M-1
FCP-1	FIBER CEMENT PANEL	NICHIHA	AWP1818 - ARCH. BLOCK, MODERN SERIES	GRAY
AB-1	PREFINISHED MCM, TOWER BANDING	ATAS	FLAT SHEET AND COIL	BLACK
PC-1	PREFINISHED MCM, TOWER FASCIA	ARCONIC	REYNOBOND COMPOSITE PANEL	BRIGHT SILVER METALLIC
MCM-1	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	MATCH RAL 3001
MCM-2	PREFINISHED MCM, END WALLS	CITADEL	SINOCORE	EBONY
AC-1	PREFINISHED MCM, END WALL REVEALS	TUBELITE	200 SERIES CURTAINWALL	CLEAR ANODIZED
DC-1	PREFINISHED MCM, DOWNSPOUT COVERS	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
WR-1	PREFINISHED MCM, GARAGE DOOR WRAPS	CITADEL	ENVELOPE 2000 SYSTEM	CLEAR SATIN ANODIZED
FE-1	PREFINISHED MCM, ROOF FASCIA	ALPOLIC	4MM PE CORE	TBX METALLIC SILVER
R-1	ACRYLIC ROOF SYSTEM	ACRYLITE	HEATSTOP HIGH IMPACT MULTI-SKIN	WZ011 - COOL BLUE WHITE



4 BACK ELEVATION NORTH  
1/8" = 1'-0"

NOT FOR CONSTRUCTION  
FOR REFERENCE ONLY

Section 3, Item B.  
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REVISION SCHEDULE

VERSION	DATE	DESCRIPTION
1.0 B2	03/02/26	



TOMMY'S EXPRESS CAR WASH  
EXTERIOR ELEVATIONS  
P4845 1727 S Church St.  
Watertown, WI



# TOMMY'S CAR WASH LSRE WATERTOWN LLC CITY SUBMITTAL

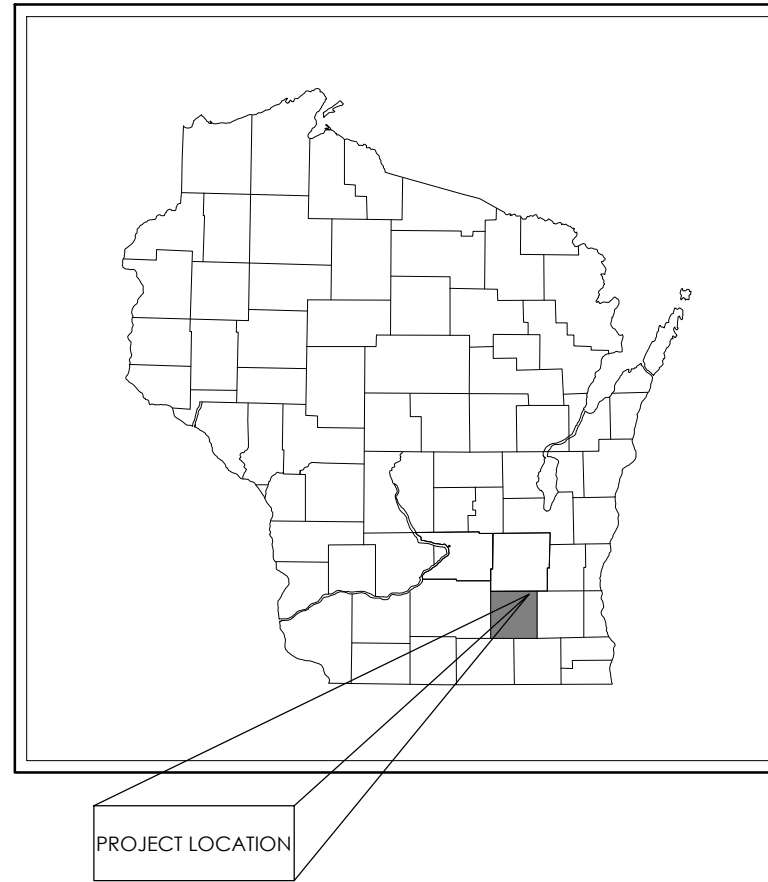
CITY OF WATERTOWN  
JEFFERSON COUNTY, WI

**General Engineering Company**

P.O. Box 340 • 916 Silver Lake Dr. • Portage, WI 53901  
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PROJECT LOCATION



NO SCALE



**CITY OF WATERTOWN**  
LOCATION PLAN

PROJECT LOCATION

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C6.0	PROPOSED UTILITY PLAN
C6.1	PROPOSED STORM SEWER PLAN
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L1.0 - L1.2	LANDSCAPE PLAN

**TITLE PAGE**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
**CITY OF WATERTOWN**  
**JEFFERSON COUNTY, WI**

ENGINEER SEAL:

REVISIONS	NO.	BY	DATE

SCALE	
DRAWN BY	MME
REVIEWED BY	KDA
ISSUE DATE	02/20/2026
GEC FILE NO.	7
SHEET NO.	16

**CONSTRUCTION NOTES**

**GENERAL**

1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED, BY CONTRACTOR, PRIOR TO CONSTRUCTION.
2. ALL ASPHALT REPAIRS/REPLACEMENT SHALL BE SAWCUT TO MATCH EXISTING PAVEMENT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
3. ALL EXISTING ASPHALT AND GRAVEL DRIVEWAY APRONS THAT ARE REQUIRED TO BE RECONSTRUCTED SHALL BE REPLACED WITH 8" OF CRUSHED AGGREGATE BASE COURSE AND 3" OF ASPHALT. ALL EXISTING CONCRETE DRIVEWAY APRONS THAT ARE REQUIRED TO BE RECONSTRUCTED SHALL BE REPLACED WITH 6" CONCRETE.

**WATER MAIN**

1. EXISTING WATER MAIN LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
2. UNLESS OTHERWISE INDICATED BY DESIGN GRADE, MAINTAIN A 7.0' MINIMUM DEPTH OF COVER OVER PROPOSED WATER MAIN AND WATER MAIN LATERALS.
3. UNLESS OTHERWISE INDICATED FOR WATER MAIN CROSSINGS BELOW STORM SEWER & SANITARY SEWER PIPES CONTRACTOR SHALL MAINTAIN A MINIMUM 18" OF SEPARATION FROM EDGE OF PIPE TO EDGE OF PIPE.
4. LATERALS SHALL BE 4" DUCTILE IRON UNLESS OTHERWISE INDICATED.

**SANITARY SEWER**

1. EXISTING SANITARY SEWER LOCATIONS, SIZES, AND TYPES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO MAKING ANY CONNECTIONS.
2. LATERALS SHALL BE 6" PVC UNLESS OTHERWISE INDICATED.

**STORM SEWER**

1. STORM SEWER PIPE LENGTHS ARE SHOWN MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.

**GRADING & EROSION CONTROL NOTES**

1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
2. SILT FENCE & ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING & GRUBBING.
3. ALL STORM SEWER INLETS SHALL HAVE INLET PROTECTION TYPE-D INSTALLED UPON INLET INSTALLATION.
4. ADDITIONAL EROSION CONTROL MEASURES MAY BE ADDED ON AN AS-NEEDED BASIS.
5. ANY AREAS WHERE GRADING IS COMPLETE SHALL BE STABILIZED WITH FERTILIZER, SEED, & MULCH AS SOON AS POSSIBLE.
6. A COPY OF THIS EROSION CONTROL PLAN SHALL BE KEPT ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
7. STOCKPILES LEFT INACTIVE FOR 7 DAYS SHALL BE SEEDED AND SURROUNDED BY SILT FENCE.
8. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO RECEIVING CHANNEL.
9. STREETS SHALL BE SWEEPED AT THE END OF EACH WORK DAY OR AS DIRECTED BY THE MUNICIPALITY.
10. TRACKING PADS SHALL BE USED AT THE CONSTRUCTION ENTRANCE AND EXITS.
11. ALTHOUGH ROCK CONSTRUCTION TRACKING PADS MAY NOT BE SHOWN ON THE PLANS, THE CONTRACTOR SHALL INSTALL THEM AS NECESSARY OR AS DIRECTED BY THE ENGINEER TO MINIMIZE TRACKING ONTO ADJACENT STREETS. THESE PADS ARE CONSIDERED INCIDENTAL TO THE WORK AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
12. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DUST CONTROL.
13. POSITIVE DRAINAGE AWAY FROM THE BUILDING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE CONFIRMED BY THE ENGINEER.
14. DOWN SPOUTS SHALL BE DIRECTED IN A SAFE MANNER AND COMPLY WITH ALL LOCAL AND STATE REGULATIONS.
15. SEDIMENT WILL BE REMOVED FROM BEHIND SEDIMENT FENCES AND BARRIERS BEFORE IT REACHES A DEPTH THAT IS EQUAL TO HALF THE BARRIER'S HEIGHT.
16. BREAKS AND GAPS IN SEDIMENT FENCES AND BARRIERS WILL BE REPAIRED IMMEDIATELY.
17. ALL SEDIMENT THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS WILL BE CLEANED UP BEFORE THE END OF THE SAME WORKDAY.
18. ALL INSTALLED EROSION CONTROL PRACTICES WILL BE MAINTAINED UNTIL THE DISTURBED AREAS THEY PROTECT ARE STABILIZED.

**EXISTING LINETYPES LEGEND**

- San ——— SANITARY SEWER
- ST ——— STORM SEWER
- WM ——— WATER MAIN
- FM ——— FORCE MAIN
- E ——— ELECTRIC
- OE ——— OVERHEAD ELECTRIC
- GAS ——— GAS
- FO ——— FIBER OPTIC
- T ——— TELEPHONE
- TV ——— TV
- X — X — X — X — FENCE
- O — O — O — O — GUARD RAIL
- GL — GL — GL — GRADING LIMITS
- SF — SF — SF — SILT FENCE
- DB — DB — DB — DOUBLE SEDIMENT BARRIER
- ||||| TRAIN TRACKS
- ~~~~~ TREELINE

**SYMBOLS LEGEND**

- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING HYDRANT
- PROPOSED HYDRANT
- VALVE
- CURB STOP
- TRACER WIRE TERMINAL BOX
- WELL
- PROPERTY CORNER
- LIGHT POLE
- POWER / TELEPHONE POLE
- GUY WIRE
- UTILITY PEDESTAL
- SIGN
- SOIL BORING
- MONITORING WELL
- MAILBOX
- POTENTIAL HAZARD
- BENCHMARK
- CONTROL POINT
- DECIDUOUS TREE
- CONIFEROUS TREE
- HANDICAP SYMBOL

**ABBREVIATION LIST**

- B-B = BACK TO BACK
- BOC = BACK OF CURB
- BOP = BOTTOM OF PIPE
- BOW = BOTTOM OF WALL
- C-C = CENTER TO CENTER
- CL = CENTERLINE
- CP = CONTROL POINT
- DIA = DIAMETER
- ELEV = ELEVATION
- EOG = EDGE OF GRAVEL
- EOP = EDGE OF PAVEMENT
- EX = EXISTING
- FL = FLOW LINE
- FM = FORCE MAIN
- HC = HORIZONTAL CURVE
- HP = HIGH POINT
- IE = INVERT ELEVATION
- INL = INLET
- INV = INVERT
- IOS = INSIDE OF STRUCTURE
- L = LENGTH
- LN = LINE
- LP = LOW POINT
- MH = MANHOLE
- MIN = MINIMUM
- MP = MIDPOINT
- PC = POINT OF CURVE
- PI = POINT OF INTERSECTION
- PRO = PROPOSED
- PT = POINT OF TANGENT
- PVC = POINT OF VERTICAL CURVE
- PVI = POINT OF VERTICAL INTERSECTION
- PVMT = PAVEMENT
- PVT = POINT OF VERTICAL TANGENT
- R = RADIUS
- ROW = RIGHT OF WAY
- S = SANITARY SEWER SERVICE LATERAL
- SAN = SANITARY SEWER
- SE = SPOT ELEVATION
- ST = STORM SEWER
- STA = STATION
- STD = STANDARD
- TC = TOP OF CURB
- TOP = TOP OF PIPE
- TOW = TOP OF WALL
- TYP = TYPICAL
- UOS = UNLESS OTHERWISE SPECIFIED
- VC = VERTICAL CURVE
- W = WATER MAIN SERVICE LATERAL
- WM = WATER MAIN

**DIGGERS HOTLINE**

DIAL 811 or 1-800-242-8511

To Obtain Location of Participating Underground Facilities Before You Dig in Wisconsin

Wis Statute 182.0175 (1974) Requires Min. 3 Work Days Notice Before You Excavate

**OWNER**

**LSRE WATERTOWN LLC**  
1727 S CHURCH STREET,  
WATERTOWN, WI 53094

**UTILITIES**

- 1. ELECTRIC**  
**WE ENERGIES**  
315 WILLIAMS STREET  
WATERTOWN, WI 53094  
PHONE: (920) 262-6832
- 2. TELEPHONE**  
**SBC BUSINESS COMM. SERVICES**  
2005 PEWAUKEE RD  
WAUKESHA, WI 53188  
PHONE: (800) 480-8088
- 3. GAS**  
**WE ENERGIES**  
315 WILLIAMS STREET  
WATERTOWN, WI 53094  
PHONE: (920) 262-6832
- 4. CABLE TV**  
**CHARTER COMMUNICATIONS**  
2701 DANIELS STREET  
MADISON, WI 53718  
PHONE: (608) 274-3822
- 5. WATER**  
**WATERTOWN WATER DEPARTMENT**  
800 HOFFMAN DRIVE  
WATERTOWN, WI 53094  
PHONE: (608) 837-5500
- 6. MUNICIPALITY**  
**CITY OF WATERTOWN**  
106 JONES STREET P.O. BOX 477  
WATERTOWN, WI 53094  
PHONE: (920) 262-4000

**General Engineering Company**

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**LEGEND & NOTES**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**

CITY OF WATERTOWN  
JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE

SCALE

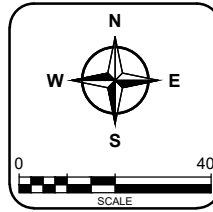
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GEC FILE NO.	7
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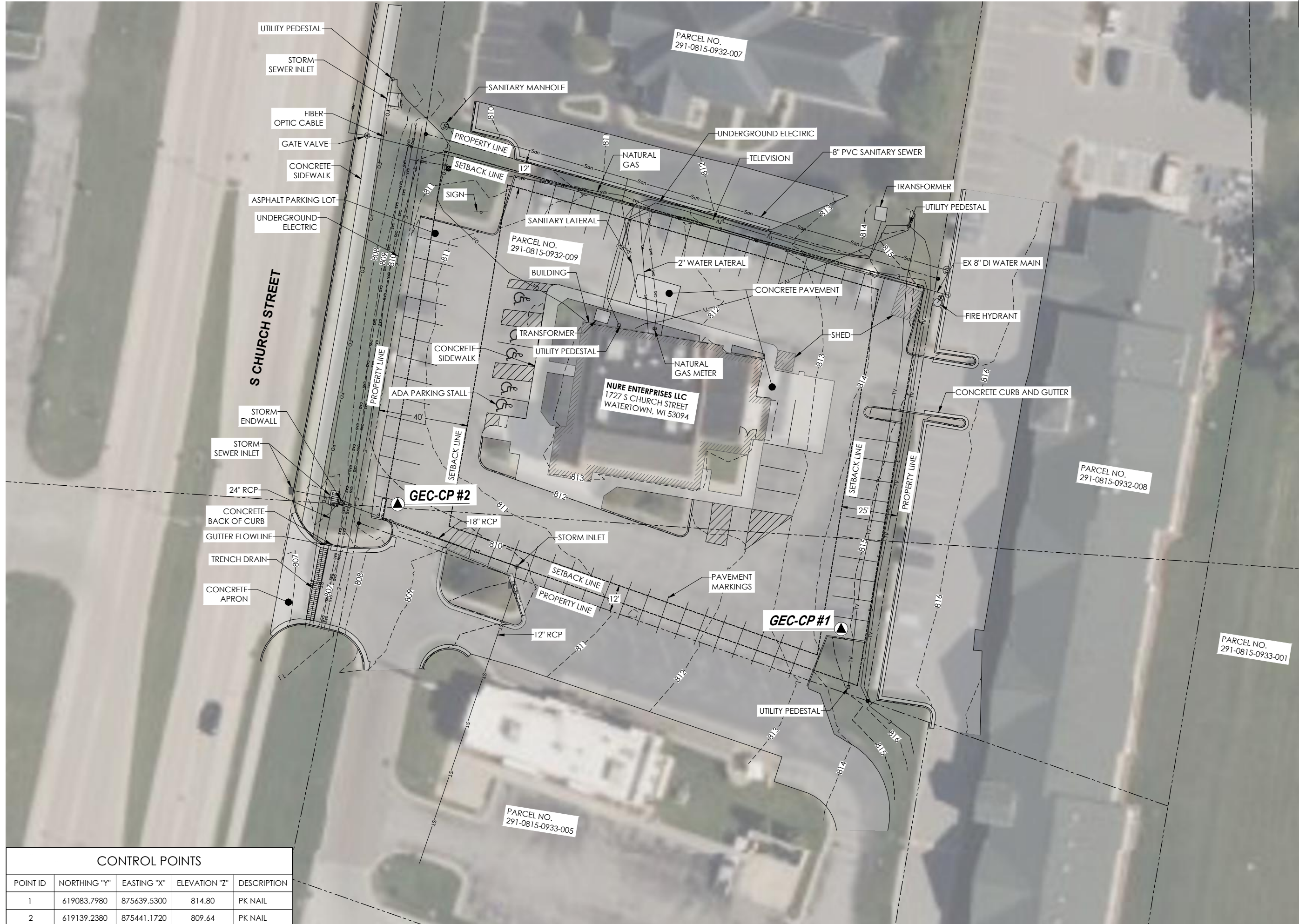
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**EXISTING SITE PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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DRAWN BY: MME  
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 SHEET NO.: 18



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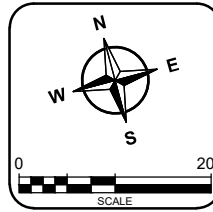
CONTROL POINTS				
POINT ID	NORTHING "Y"	EASTING "X"	ELEVATION "Z"	DESCRIPTION
1	619083.7980	875639.5300	814.80	PK NAIL
2	619139.2380	875441.1720	809.64	PK NAIL

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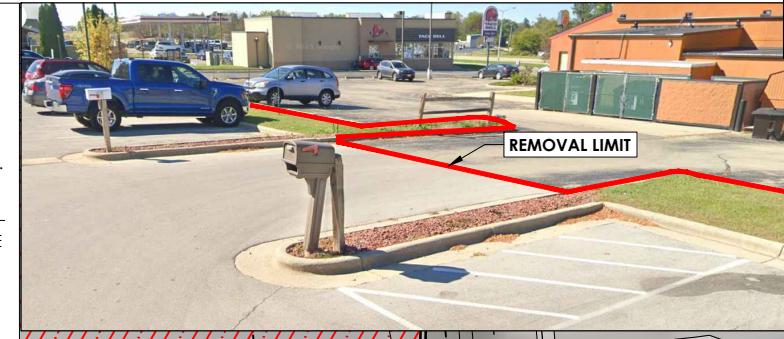
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**REMOVAL PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE

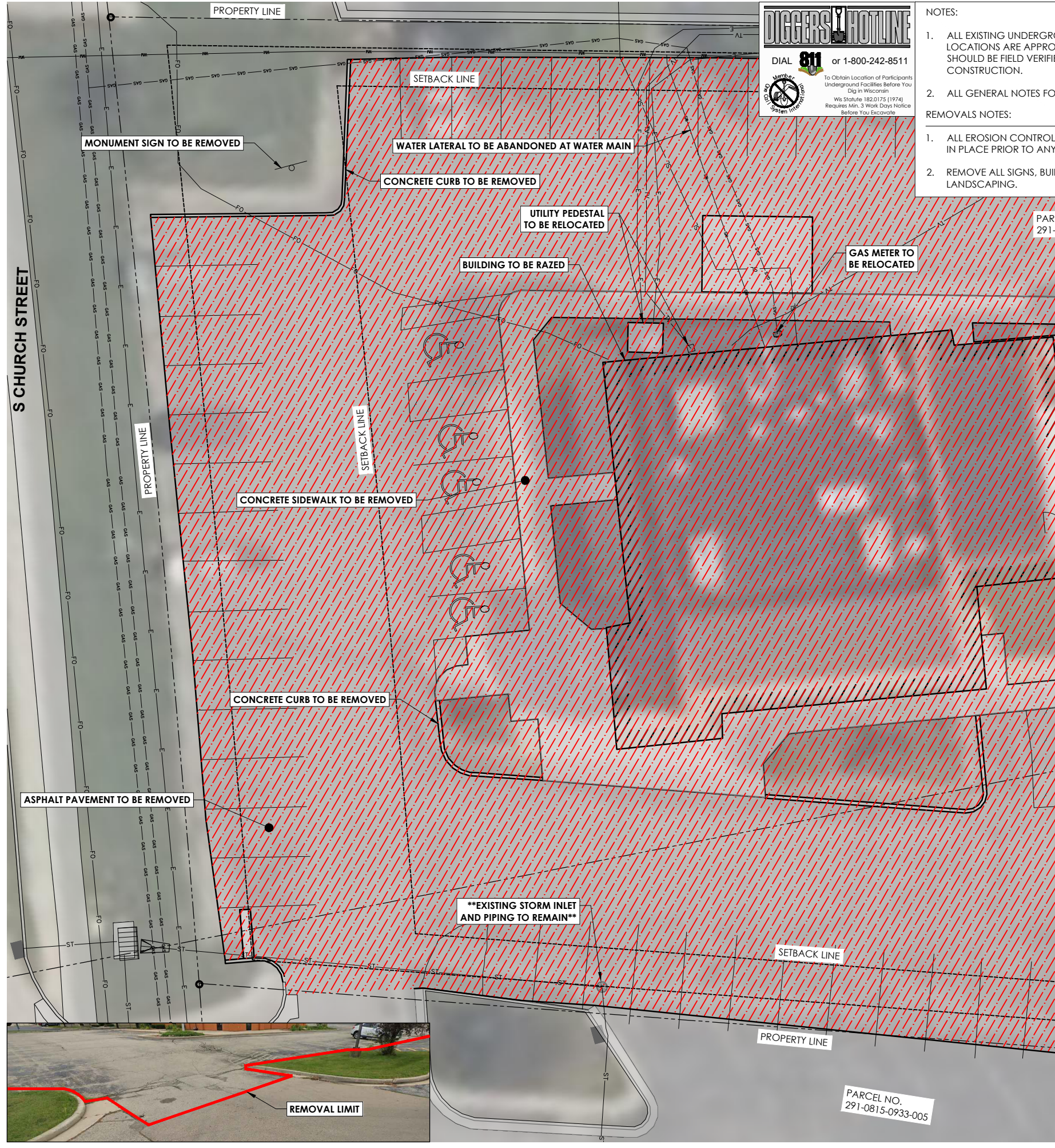


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 REVIEWED BY: KDA  
 ISSUE DATE: 02/20/2026  
 GEC FILE NO.: 19  
 SHEET NO.: 19  
**C2.0**



**DIGGERS HOTLINE**  
 DIAL 811 or 1-800-242-8511  
 To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin  
 Wis Statute 182.0175 (1974)  
 Requires Min. 3 Work Days Notice Before You Excavate

- NOTES:
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL GENERAL NOTES FOUND ON SHEET G1.1.
- REMOVALS NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION.
  2. REMOVE ALL SIGNS, BUILDINGS, AND LANDSCAPING.



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**SURFACE LEGEND:**

- PRO TYPE B CONCRETE
- PRO TYPE C CONCRETE
- PRO TYPE 2 ASPHALT PAVEMENT

**PARKING STALL COUNT:**  
 17 VACUUM STALLS  
 6 STANDARD PARKING STALLS  
 1 ADA ACCESSIBLE PARKING STALL  
 24 TOTAL PARKING STALLS

PARCEL NO.  
291-0815-0932-007

**NOTES:**

1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

**CITY SUBMITTAL**

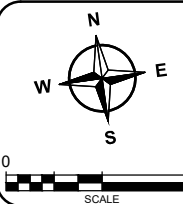
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Section 3, Item B.

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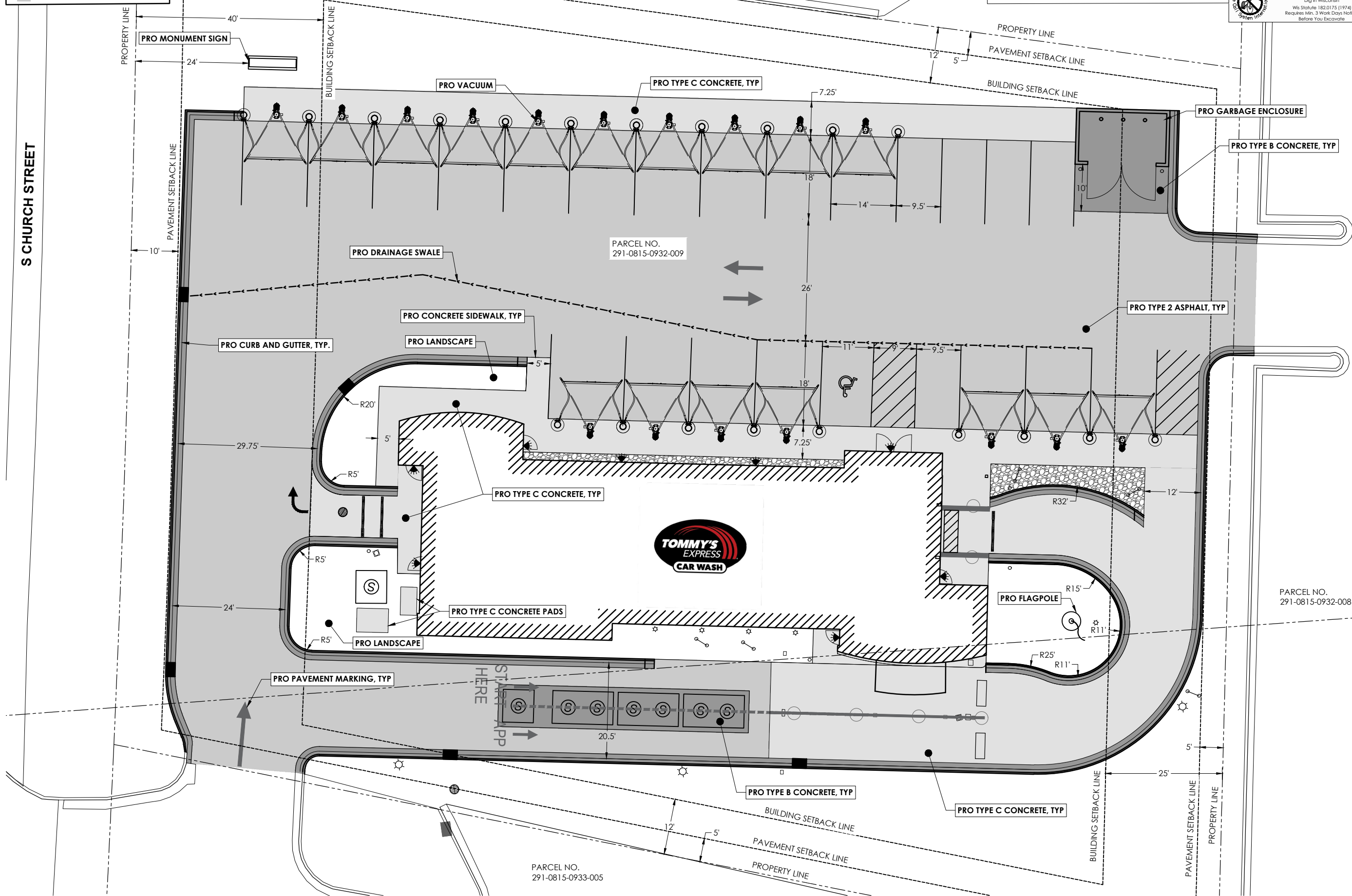
**PROPOSED SITE PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE



DRAWN BY	MME
REVIEWED BY	KDA
ISSUE DATE	02/20/2026
GEC FILE NO.	17
SHEET NO.	20

**C3.0**



PARCEL NO.  
291-0815-0932-009

PARCEL NO.  
291-0815-0932-008

PARCEL NO.  
291-0815-0933-005





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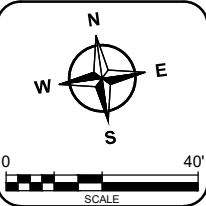
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**PROPOSED SITE PLAN  
TOMMY'S CAR WASH  
LSRE WATERTOWN LLC**

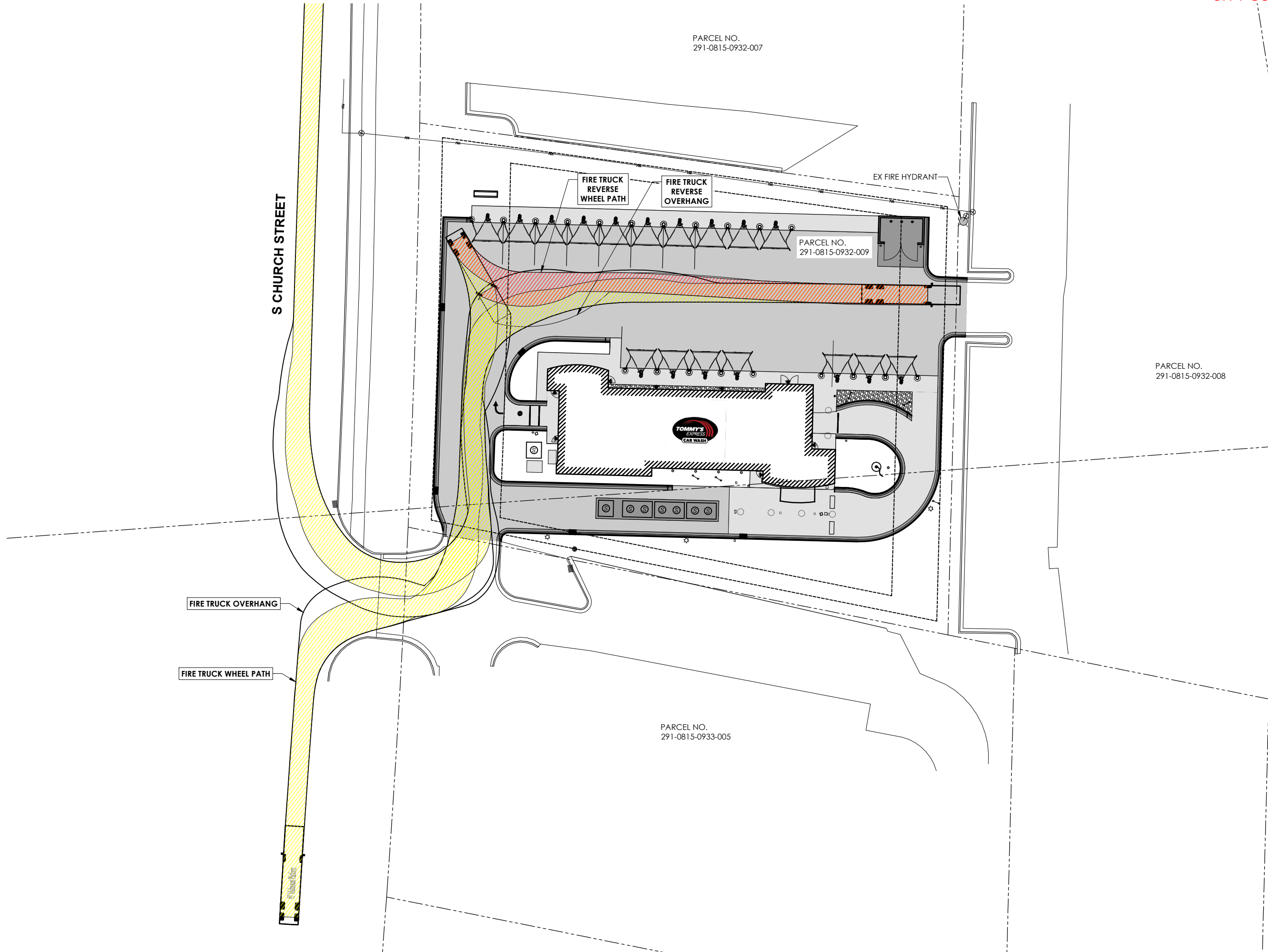
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JEFFERSON COUNTY, WI

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REVIEWED BY	KDA
ISSUE DATE	02/20/2026
GEC FILE NO.	7
SHEET NO.	21

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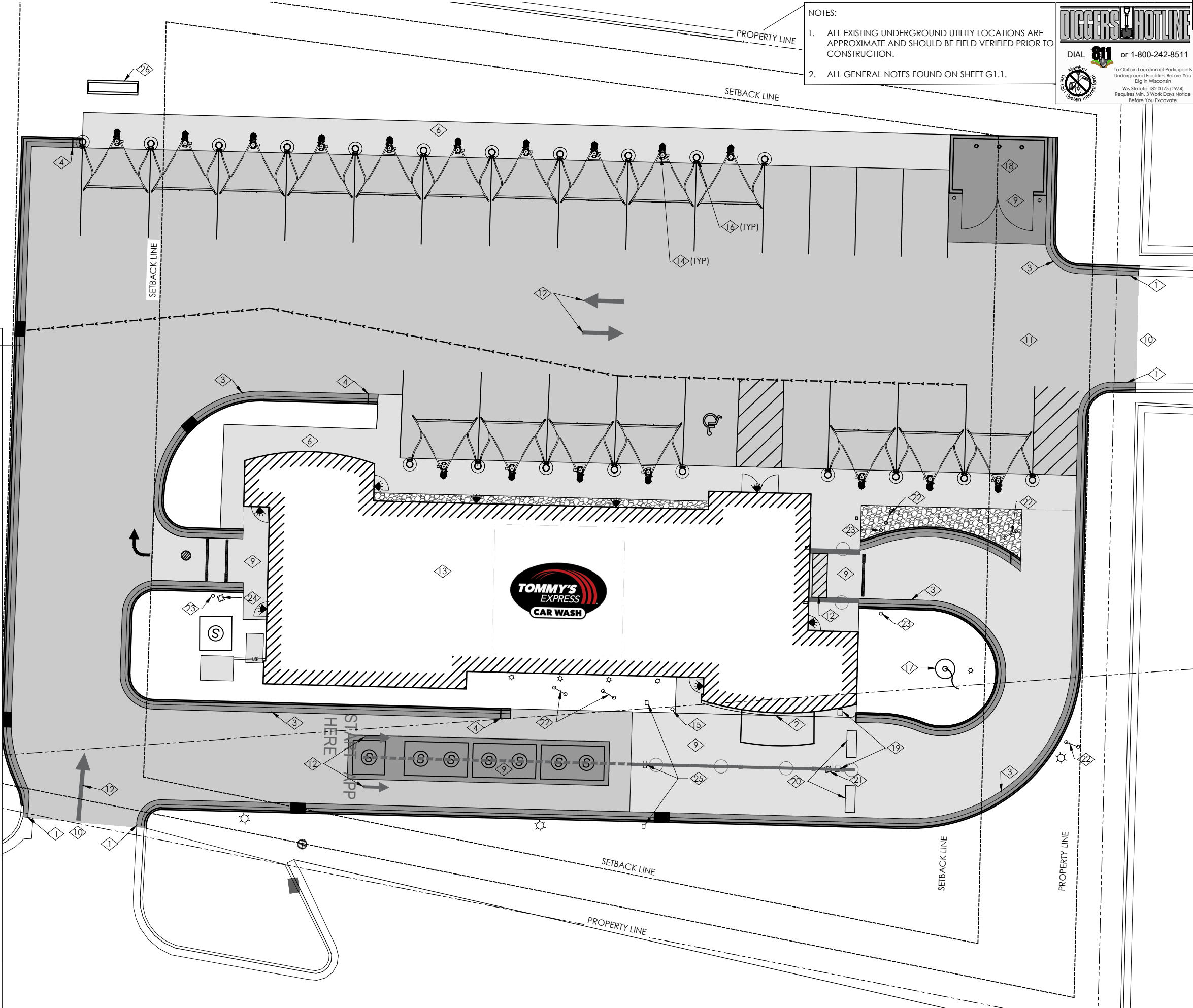


DIAL 811 or 1-800-242-8511  
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 Wis Statute 182.0175 (1974)  
 Requires Min. 3 Work Days Notice Before You Excavate

- NOTES:
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  2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

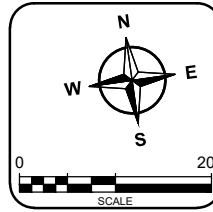
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- SITE NOTES:
1. MATCH EXISTING CONCRETE CURB.
  2. 6" CHAMFERED CONCRETE CURB, TYP.
  3. 24" CONCRETE CURB, TYP. (SEE GRADING PLAN FOR TYPES AND LOCATIONS)
  4. CURB TAPER, TYP.
  5. MATCH EXISTING CONCRETE SIDEWALK.
  6. CONCRETE SIDEWALK, TYP. (SEE PLAN FOR WIDTHS)
  7. THICKENED EDGE SIDEWALK, TYP. (SEE PLAN FOR WIDTHS)
  8. MATCH EXISTING CONCRETE PAVING.
  9. CONCRETE PAVING, TYP.
  10. MATCH EXISTING ASPHALT PAVING.
  11. ASPHALT PAVING, TYP.
  12. PAVEMENT MARKING.
  13. PROPOSED BUILDING.
  14. VACUUM & CANOPY STANCHION. (PROVIDED BY OWNER AND INSTALLED BY G.C.)
  15. CRASH BOLLARD, TYP.
  16. RED BALL VACUUM HOSE HOLDER (PROVIDED BY OWNER AND INSTALLED BY G.C.)
  17. FLAGPOLE.
  18. DUMPSTER ENCLOSURE w/CRASH BOLLARDS. (SEE ARCHITECTURAL PLANS)
  19. GATE (SEE ARCHITECTURAL PLANS)
  20. GATE SENSING LOOP (COORDINATE WITH ELECTRICIAN.)
  21. SIGNAGE - APPROVE / GO LIGHT (SEE ARCHITECTURAL PLANS)
  22. SIGNAGE - U-SHAPED SNAP SIGN (SEE ARCHITECTURAL PLANS)
  23. CAMERA POLE (SEE ARCHITECTURAL PLANS)
  24. SIGNAGE - RELAX / GO LIGHT (SEE ARCHITECTURAL PLANS)
  25. LICENSE PLATE READER (SEE ARCHITECTURAL PLANS)
  26. MONUMENT SIGN



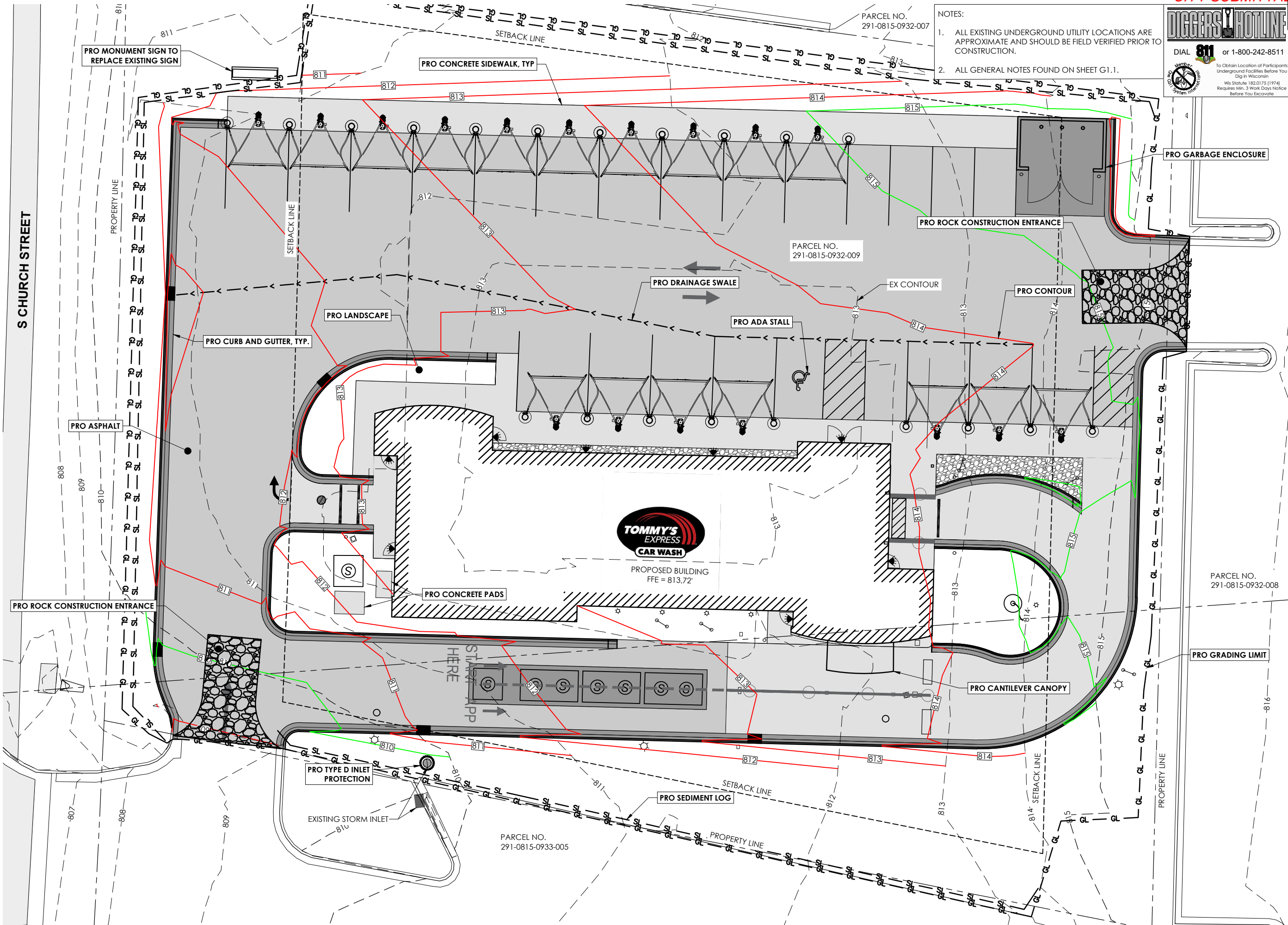
**PROPOSED SITE PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE



DRAWN BY	MME
REVIEWED BY	KDA
ISSUE DATE	02/20/2025
GEC FILE NO. 01-	22
SHEET NO.	22

**C3.1**



- NOTES:
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

**DIGGERS HOTLINE**  
 DIAL 811 or 1-800-242-8511  
 To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin  
 Wis Statute 182.0175 (1974)  
 Requires Min. 3 Work Days Notice Before You Excavate

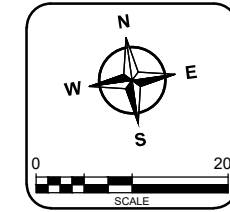
Section 3, Item B.

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**PROPOSED GRADING PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE



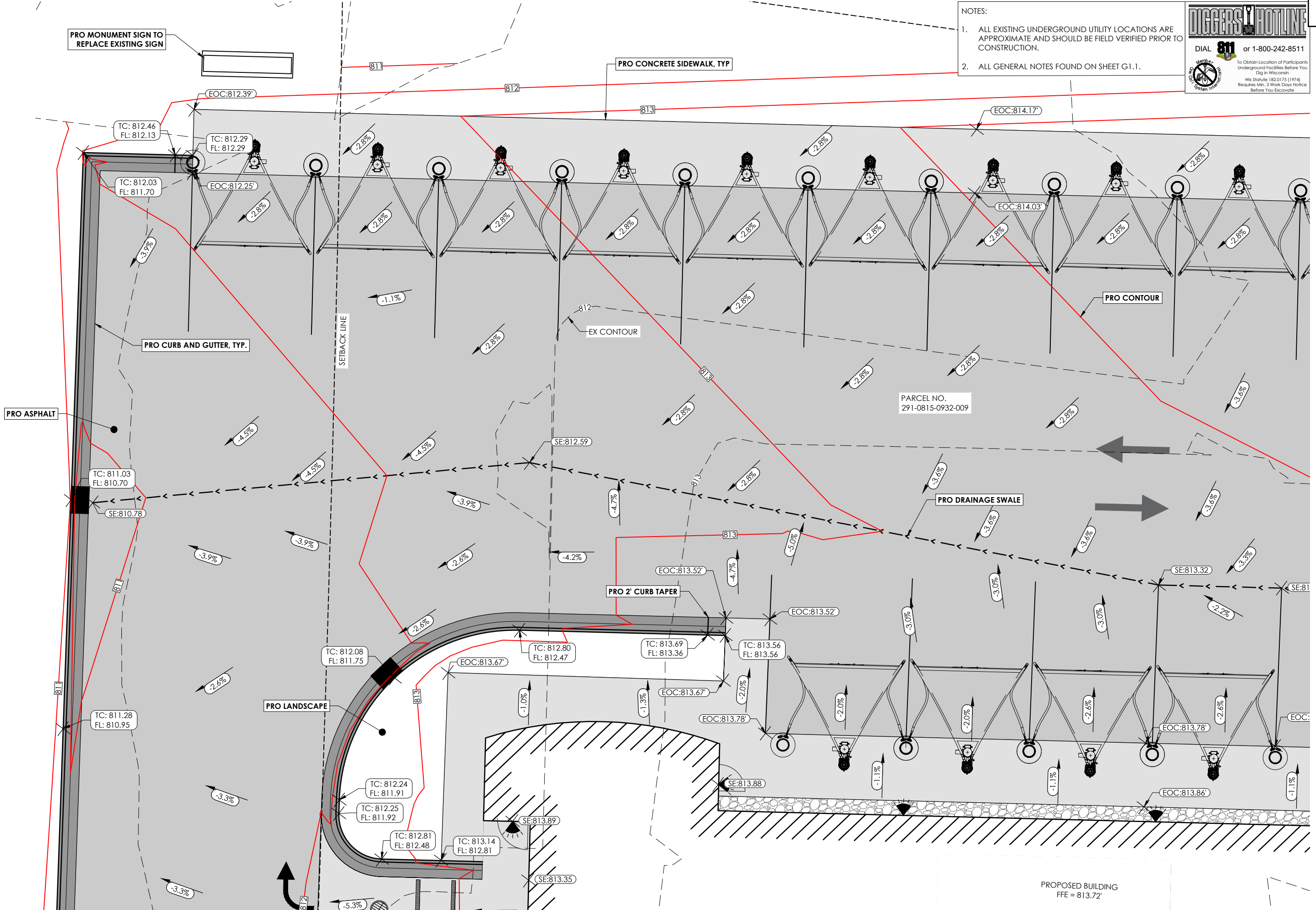
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REVIEWED BY	KDA
ISSUE DATE	02/20/2025
GEC FILE NO.	77
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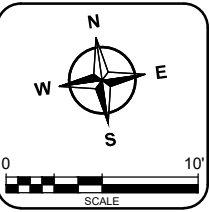
NOTES:  
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.  
2. ALL GENERAL NOTES FOUND ON SHEET G1.1.



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**PROPOSED SPOT ELEVATION PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
CITY OF WATERTOWN  
JEFFERSON COUNTY, WI

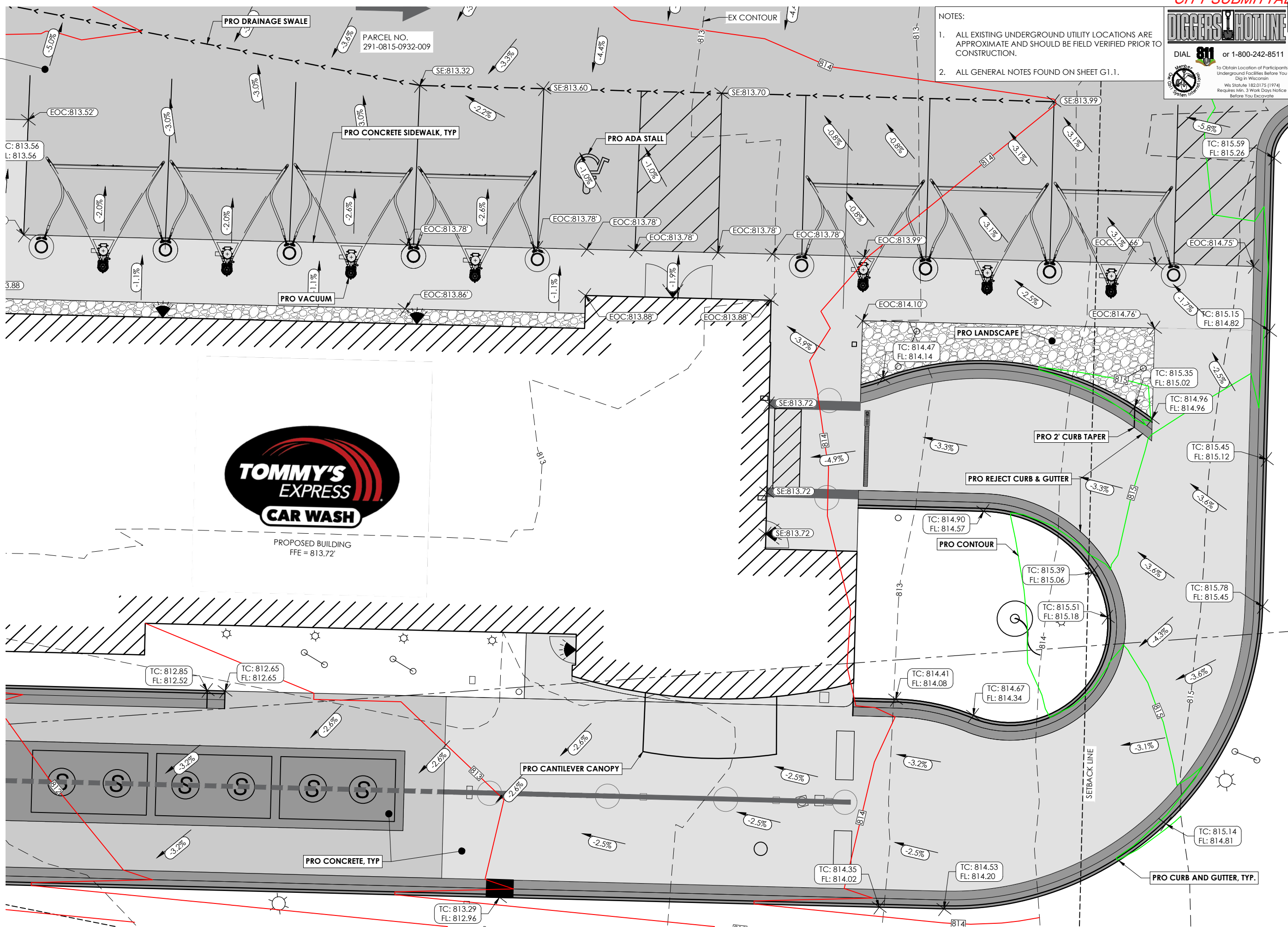
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REVIEWED BY: KDA  
ISSUE DATE: 02/20/2025  
GEC FILE NO.: 77  
SHEET NO.: 25  
**C5.1**



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NOTES:  
 1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.  
 2. ALL GENERAL NOTES FOUND ON SHEET G1.1.

**DIGGERS HOTLINE**  
 DIAL 811 or 1-800-242-8511  
 To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin  
 Wis Statute 182.0175 (1974)  
 Requires Min. 3 Work Days Notice Before You Excavate

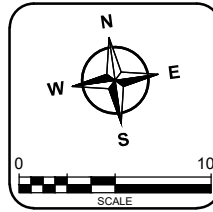


PROPOSED BUILDING  
 FFE = 813.72'

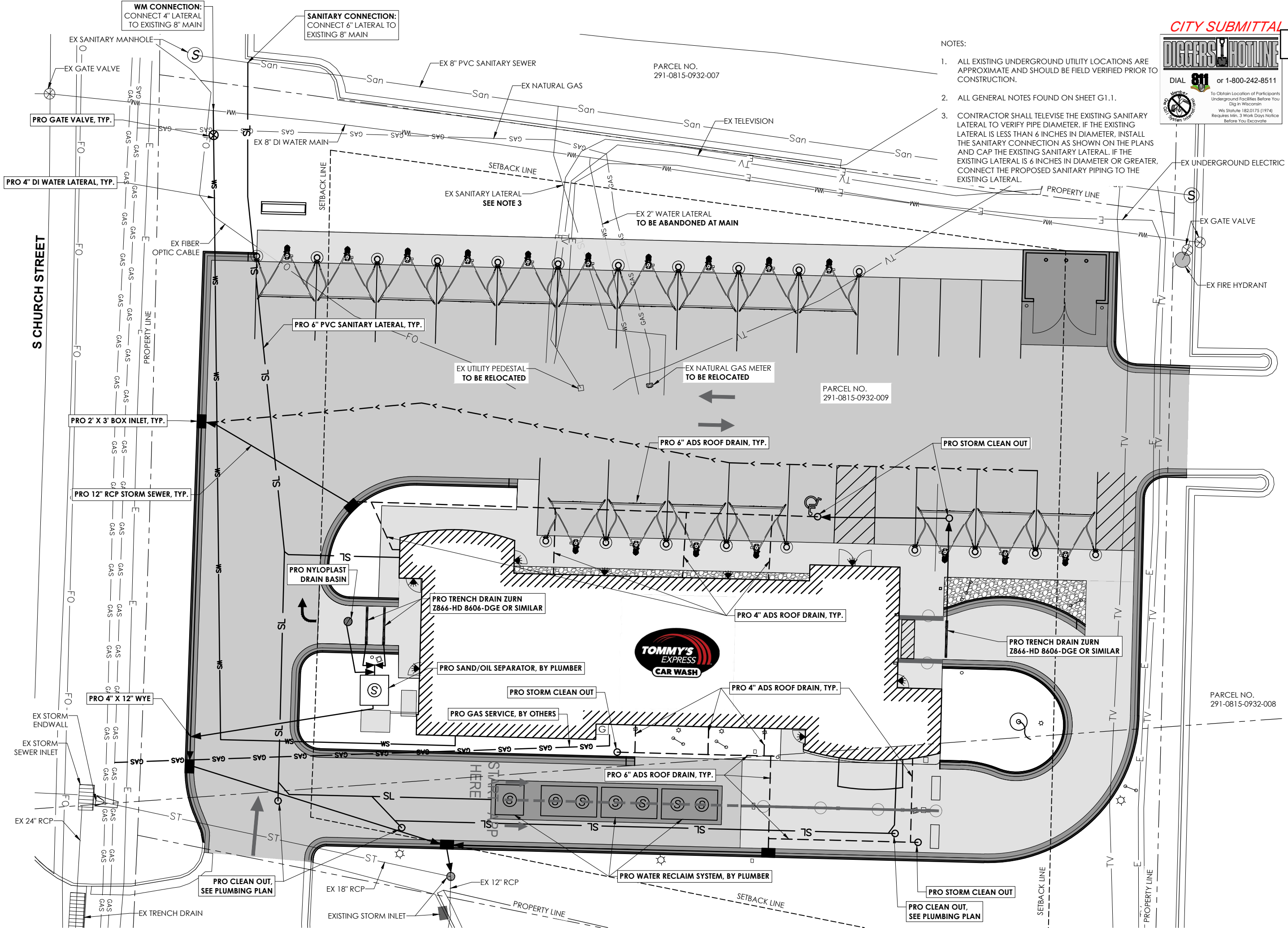
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**PROPOSED SPOT ELEVATION PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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 ISSUE DATE: 02/20/2025  
 GEC FILE NO.: 17  
 SHEET NO.: 27



- NOTES:
1. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL GENERAL NOTES FOUND ON SHEET G1.1.
  3. CONTRACTOR SHALL TELEVIEW THE EXISTING SANITARY LATERAL TO VERIFY PIPE DIAMETER. IF THE EXISTING LATERAL IS LESS THAN 6 INCHES IN DIAMETER, INSTALL THE SANITARY CONNECTION AS SHOWN ON THE PLANS AND CAP THE EXISTING SANITARY LATERAL. IF THE EXISTING LATERAL IS 6 INCHES IN DIAMETER OR GREATER, CONNECT THE PROPOSED SANITARY PIPING TO THE EXISTING LATERAL.

**CITY SUBMITTAL**

**DIGGERS HOTLINE**

DIAL 811 or 1-800-242-8511

To Obtain Location of Participants Underground Facilities Before You Dig in Wisconsin  
Wis Statute 182.0175 (1974)  
Requires Min. 3 Work Days Notice Before You Excavate

Section 3, Item B.

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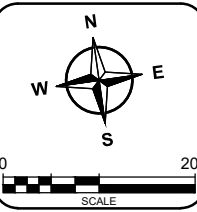
**PROPOSED UTILITY PLAN**

**TOMMY'S CAR WASH**

**LSRE WATERTOWN LLC**

CITY OF WATERTOWN  
JEFFERSON COUNTY, WI

NO.	DATE	BY	REVISIONS



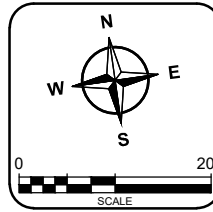
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REVIEWED BY: KDA  
ISSUE DATE: 02/20/2025  
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SHEET NO.: 28

**C6.0**

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**PROPOSED STORM SEWER PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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ISSUE DATE	02/20/2025
GEC FILE NO.	17
SHEET NO.	29

- NOTES:
- ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - ALL GENERAL NOTES FOUND ON SHEET G1.1.

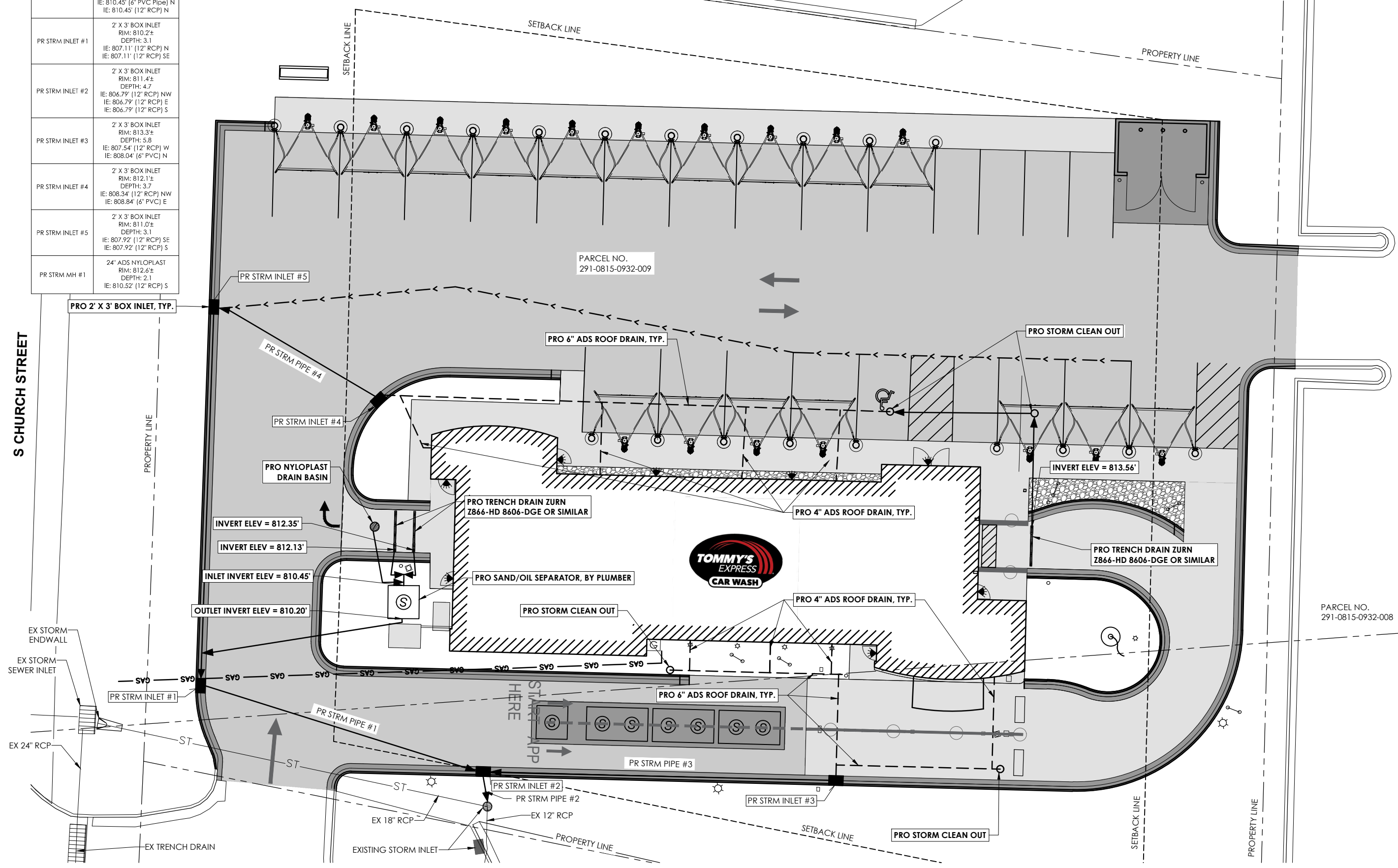
STRUCTURE TABLE		PIPE TABLE						
STRUCTURE NAME	STRUCTURE DETAILS	PIPE NAME	TYPE	SIZE	LENGTH	SLOPE	INVERT 1	INVERT 2
EX STRM MH	4' ID PRECAST RIM: 809.4'± DEPTH: 2.7' IE: 806.68' (12" RCP) N IE: 806.68' (12" RCP) S IE: 806.68' (18" RCP) W	PR STRM PIPE #1	RCP	12"	63.8'	0.50%	807.11	806.79
		PR STRM PIPE #2	RCP	12"	6.5'	1.70%	806.79	806.68
		PR STRM PIPE #3	RCP	12"	74.7'	1.00%	806.79	807.54
		PR STRM PIPE #4	RCP	12"	41.9'	1.00%	808.34	807.92
MH - 25	Null Structure RIM: 812.9'± DEPTH: 9.9' IE: 810.45' (6" PVC Pipe) N IE: 810.45' (6" PVC Pipe) N IE: 810.45' (12" RCP) N	PR STRM PIPE #5	RCP	12"	80.2'	1.00%	807.92	807.11
PR STRM INLET #1	2' X 3' BOX INLET RIM: 810.2'± DEPTH: 3.1' IE: 807.11' (12" RCP) N IE: 807.11' (12" RCP) SE							
PR STRM INLET #2	2' X 3' BOX INLET RIM: 811.4'± DEPTH: 4.7' IE: 806.79' (12" RCP) NW IE: 806.79' (12" RCP) E IE: 806.79' (12" RCP) S							
PR STRM INLET #3	2' X 3' BOX INLET RIM: 813.3'± DEPTH: 5.8' IE: 807.54' (12" RCP) W IE: 808.04' (6" PVC) N							
PR STRM INLET #4	2' X 3' BOX INLET RIM: 812.1'± DEPTH: 3.7' IE: 808.34' (12" RCP) NW IE: 808.84' (6" PVC) E							
PR STRM INLET #5	2' X 3' BOX INLET RIM: 811.0'± DEPTH: 3.1' IE: 807.92' (12" RCP) SE IE: 807.92' (12" RCP) S							
PR STRM MH #1	24" ADS NYLOPLAST RIM: 812.6'± DEPTH: 2.1' IE: 810.52' (12" RCP) S							

PARCEL NO.  
291-0815-0932-007

PARCEL NO.  
291-0815-0932-009

PARCEL NO.  
291-0815-0932-008

S CHURCH STREET



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**INSTALLATION:**  
 PLACE 4" OF BEDDING MATERIAL BENEATH PIPE. PLACE BEDDING MATERIAL AROUND THE PIPE TO THE SPRING LINE. WORK THE MATERIAL IN AND AROUND THE PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. PLACE COVER MATERIAL CAREFULLY TO A LEVEL 6" ABOVE THE PIPE.

**BEDDING AND COVER:**  
 CLASS IA - CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
NO. 4	0-10
NO. 8	0-5

CLASS IB - CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	85-100
NO. 4	10-30
NO. 200	0-5

CLASS II - CLEAN COARSE-GRAINED SOILS CLASSIFIED IN ASTM D2487 AS GW, GP, SW, SP.  
 CLASS III - COARSE-GRAINED SOILS WITH FINES CLASSIFIED IN ASTM D2487 AS GM, GC, SM, SC.

**PIPE BEDDING AND TRENCH**

**STANDARD GATE VALVE BOX SETTING**

**STANDARD GATE VALVE BOX SETTING**

**WATER MAIN DETAILS**

**BEDDING AND COVER MATERIAL:**  
 CLASS IA: CRUSHED STONE OR GRAVEL CONFORMING TO FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
NO. 4	0-10
NO. 8	0-5

CLASS IB: CRUSHED STONE OR GRAVEL CONFORMING TO FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	85-100
NO. 4	10-30
NO. 8	0-5

CLASS II: SAND, GRAVELS, AND SAND-GRAVEL MIXTURES WITH LITTLE OR NO FINES. SOIL TYPES GW, GP, SW, AND SP.  
 CLASS III: SILTY OR CLAYEY SANDS, GRAVELS, AND SAND-GRAVEL MIXTURES WITH FINES. SOIL TYPES GM, GC, SM, AND SC.

**INSTALLATION:**  
 PLACE AND COMPACT BEDDING AND COVER IN MAXIMUM 6" LAYERS. WORK MATERIAL IN AND AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. COMPACT CLASS IB WITH HAND TAMPER OR VIBRATORY COMPACTOR TO 85% STANDARD PROCTOR, COMPACT CLASS II WITH VIBRATORY COMPACTOR TO 85% STANDARD PROCTOR, COMPACT CLASS III WITH VIBRATORY COMPACTOR TO 90% STANDARD PROCTOR.

**FLEXIBLE (PVC) PIPE**

**PIPE BEDDING AND TRENCH**

**TRACER WIRE TERMINAL BOX**

**TRACER WIRE TERMINAL BOX**

**SANITARY SEWER DETAILS**

**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE

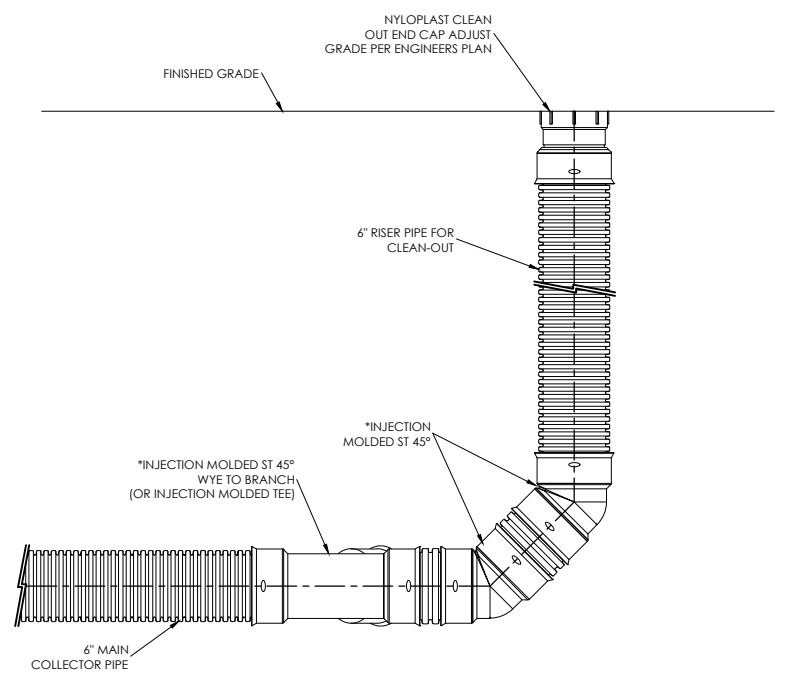
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DRAWN BY: MME  
 REVIEWED BY: KDA  
 ISSUE DATE: 02/20/2026  
 GEC FILE NO.: 77  
 SHEET NO.: 30

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**ADS STANDARD DETAILS DISCLAIMER:**  
 "ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS STANDARD DETAIL TO DEMONSTRATE ADS' RECOMMENDED INSTALLATION OF ITS PRODUCTS FOR THE DEPICTED APPLICATION. IN ADDITION TO ADS' RECOMMENDATIONS, THERE MAY BE OTHER NATIONAL, STATE OR LOCAL SPECIFICATIONS THAT ARE PERTINENT TO THIS APPLICATION. ADS' STANDARD DETAIL IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS, AND ADS RECOMMENDS THAT THOSE REQUIREMENTS BE REVIEWED AND CONSULTED PRIOR TO THE INSTALLATION OF ADS' PRODUCTS. ADS HAS NOT AUTHORIZED, AND IT BEARS NO RESPONSIBILITY FOR, ANY REVISIONS, ALTERATIONS OR DEVIATIONS FROM THIS STANDARD DETAIL."



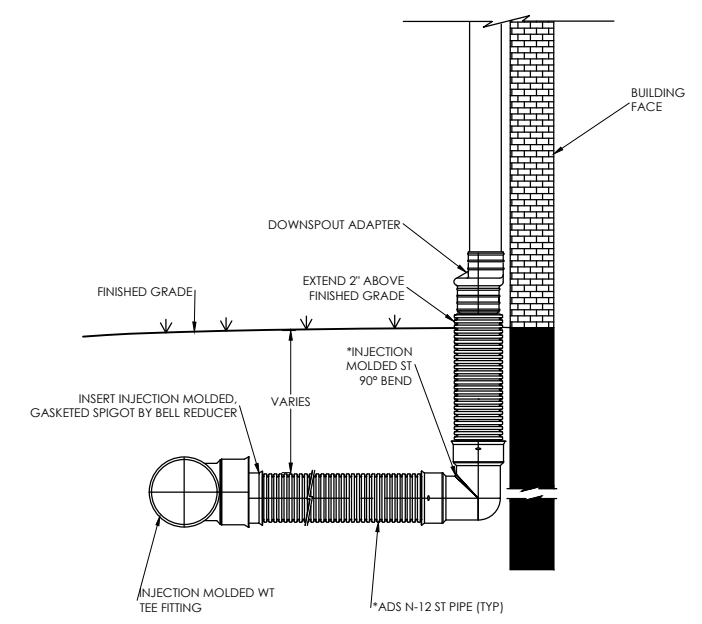
**ADS CLEAN-OUT DETAIL**

**NOTES:**  
 \* INJECTION MOLDED FITTINGS ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS.  
 \* WT INJECTION MOLDED FITTINGS AND WT PIPE CAN BE SUBSTITUTED FOR WATER TIGHT APPLICATIONS

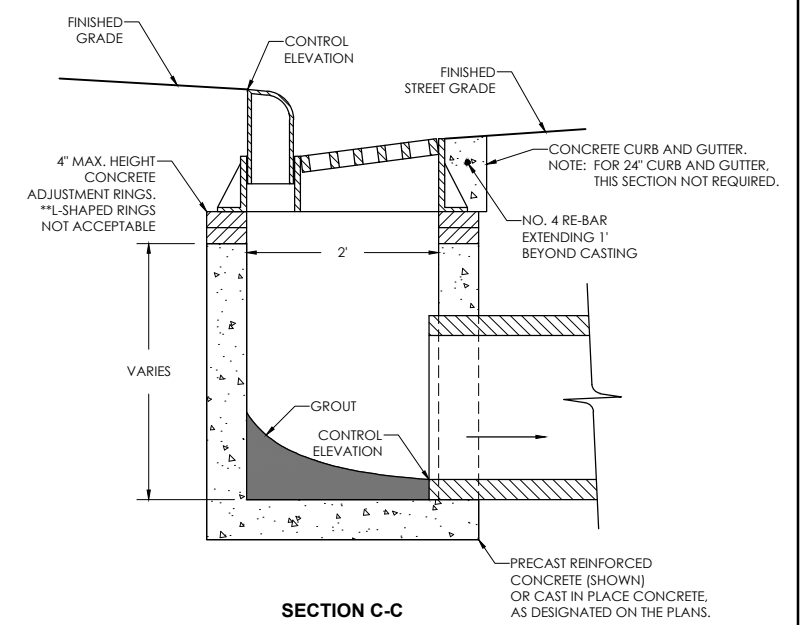
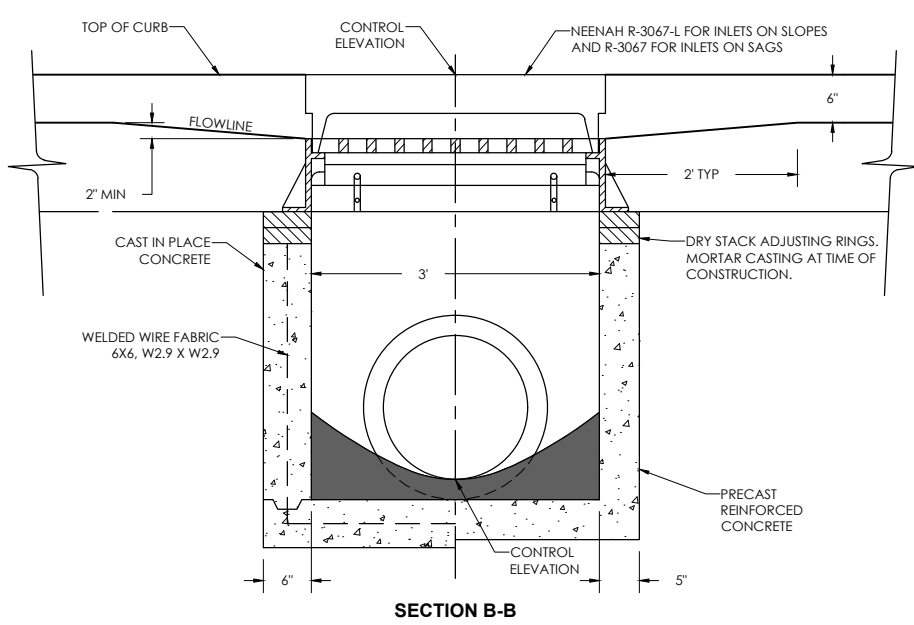
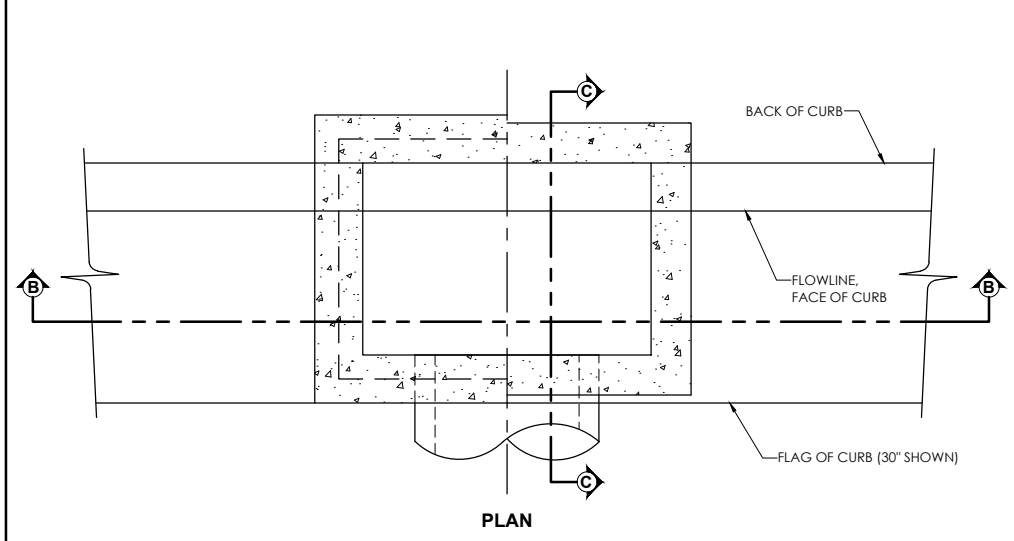
**CONSTRUCTION NOTES:**  
 \* BUILDING DOWNSPOUTS SHALL BE CONNECTED TO THE COLLECTION SYSTEM ABOVE GRADE.  
 \* DOWNSPOUT COLLECTORS SHALL DOUBLE AS CLEAN OUTS & SHALL BE SPACED NO MORE THAN 100' APART.



**ADS STANDARD DETAILS DISCLAIMER:**  
 "ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS STANDARD DETAIL TO DEMONSTRATE ADS' RECOMMENDED INSTALLATION OF ITS PRODUCTS FOR THE DEPICTED APPLICATION. IN ADDITION TO ADS' RECOMMENDATIONS, THERE MAY BE OTHER NATIONAL, STATE OR LOCAL SPECIFICATIONS THAT ARE PERTINENT TO THIS APPLICATION. ADS' STANDARD DETAIL IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS, AND ADS RECOMMENDS THAT THOSE REQUIREMENTS BE REVIEWED AND CONSULTED PRIOR TO THE INSTALLATION OF ADS' PRODUCTS. ADS HAS NOT AUTHORIZED, AND IT BEARS NO RESPONSIBILITY FOR, ANY REVISIONS, ALTERATIONS OR DEVIATIONS FROM THIS STANDARD DETAIL."



**ADS DOWNSPOUT COLLECTION DETAIL**



**2'x3' CURB INLET**

**BEDDING AND COVER MATERIAL:**

CLASS IA: CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

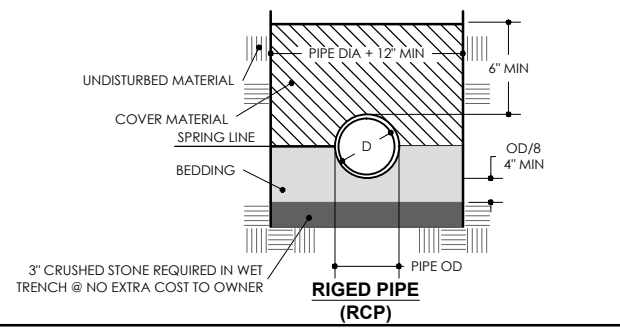
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
NO. 4	0-10
NO. 8	0-5

CLASS IB: CLEAN, ANGULAR CRUSHED STONE, CRUSHED ROCK, OR CRUSHED GRAVEL CONFORMING TO THE FOLLOWING GRADATION:

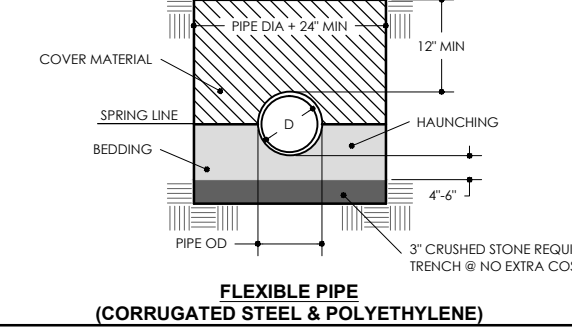
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	85-100
NO. 4	10-30
NO. 200	0-5

CLASS II: CLEAN COARSE-GRAINED SOILS CLASSIFIED IN ASTM D2487 AS GW, GP, SW, SP.  
 CLASS III: COARSE-GRAINED SOILS WITH FINES CLASSIFIED IN ASTM D2487 AS GM, GC, SM, SC.

**INSTALLATION:**  
 PLACE 4" OF BEDDING MATERIAL BENEATH PIPE. PLACE BEDDING MATERIAL AROUND THE PIPE TO THE SPRING LINE. WORK THE MATERIAL IN AND AROUND THE PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. PLACE COVER MATERIAL CAREFULLY TO A LEVEL 6" ABOVE THE PIPE.



**INSTALLATION:**  
 PLACE AND COMPACT BEDDING MATERIAL AND COVER IN MAXIMUM 6" LAYERS. WORK MATERIAL IN AND AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. COMPACT CLASS IB WITH HAND TAMPER OR VIBRATORY COMPACTOR TO 85% STANDARD PROCTOR.



**BEDDING AND COVER MATERIAL:**

CLASS IA: CRUSHED STONE OR GRAVEL CONFORMING TO FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
NO. 4	0-10
NO. 8	0-5

CLASS IB: CRUSHED STONE OR GRAVEL CONFORMING TO FOLLOWING GRADATION:

SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	85-100
NO. 4	10-30
NO. 8	0-5

**PIPE BEDDING AND TRENCH**

**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**

NO.	DATE	BY

AS NOTED  
 SCALE

DRAWN BY: MME  
 REVIEWED BY: KDA  
 ISSUE DATE: 02/20/2026  
 GEC FILE NO.: 17  
 SHEET NO.: 31  
**C7.1**

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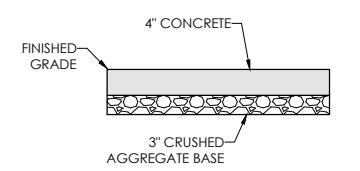
**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

REVISIONS	NO.	BY	DATE

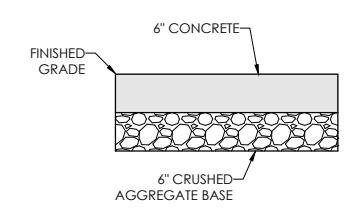
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SCALE

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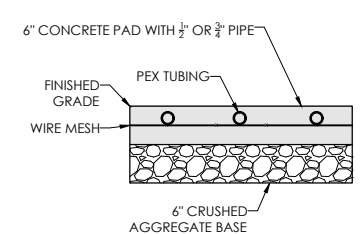
**C7.3**



**TYPE - A**



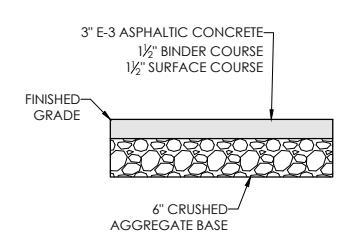
**TYPE - B**



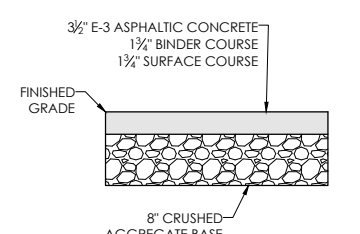
**TYPE - C**

TYPE C NOTES:  
 1. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR SNOW MELT CONCRETE INSTALLATION. PROVIDE WIRE MESH OR REINFORCEMENT AS REQUIRED AND SUPPORT AND SECURE PEX TUBING TO THE MESH TO MAINTAIN PROPER LOCATION WITHIN THE CONCRETE SLAB DURING PLACEMENT. FINAL LOCATION OF PEX TUBING AND REINFORCEMENT SHALL BE COORDINATED BY CONTRACTOR AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND PROJECT REQUIREMENTS.

**TYPICAL CONCRETE PAVING DETAIL**

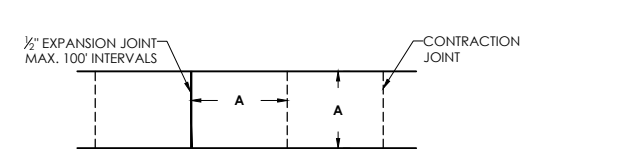


**TYPE - 1**



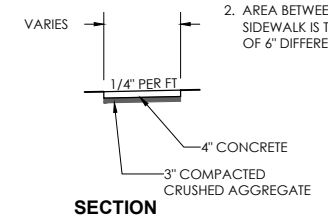
**TYPE - 2**

**TYPICAL ASPHALT PAVING**



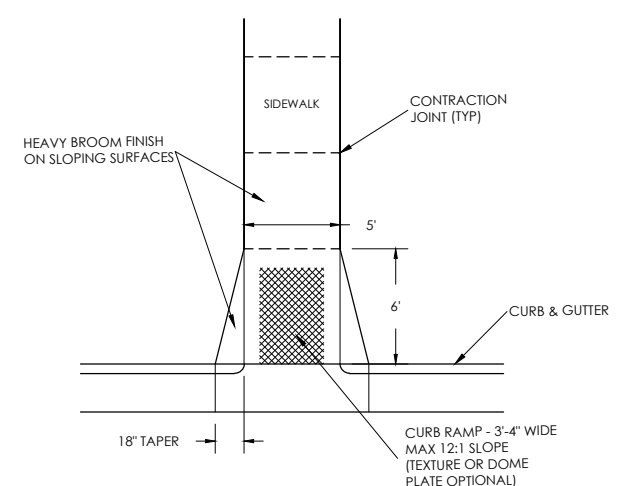
**PLAN**

NOTES:  
 1. A = 4' OR 5' TYPICALLY (SEE PLANS FOR PROPOSED WIDTH)  
 2. AREA BETWEEN CURB AND SIDEWALK IS TO HAVE A MINIMUM OF 6" DIFFERENCE IN ELEVATION.

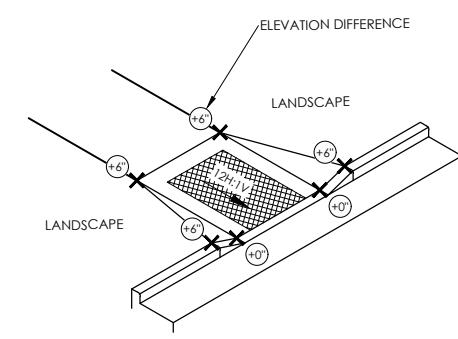


**SECTION**

**TYPICAL SIDEWALK DETAIL**



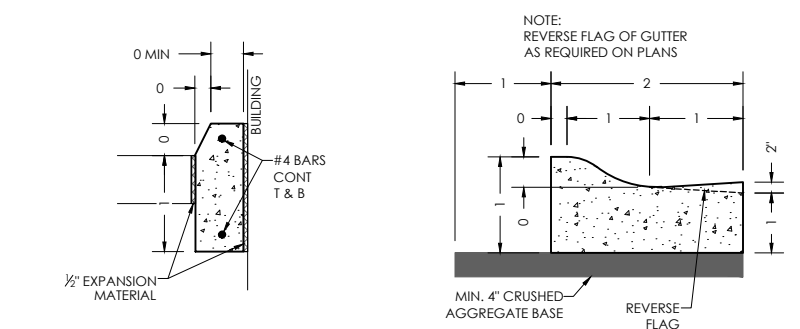
**PLAN**



**ISOMETRIC**

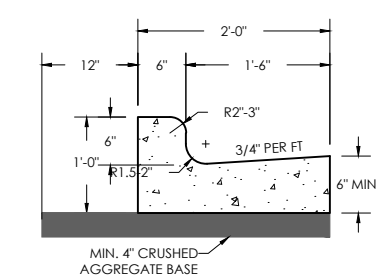
NOTES:  
 1. RAMP SLOPES SHALL NOT BE STEEPER THAN 12H:1V.  
 2. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.

**TYPICAL SIDEWALK ADA RAMP DETAIL**

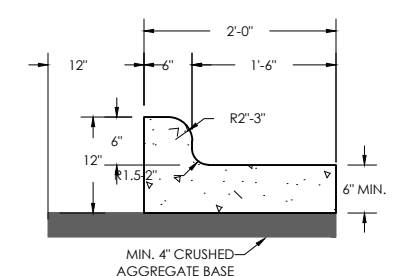


**TOMMY'S CHAMFERED CURB 6"**

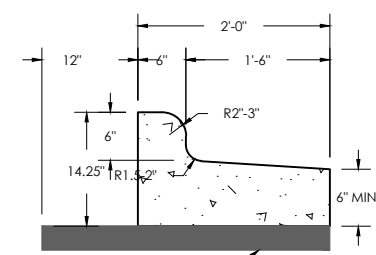
**TOMMY'S ROLL CURB 24"**



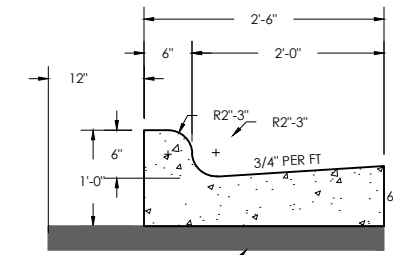
**STANDARD 24"**



**FLAT 24"**

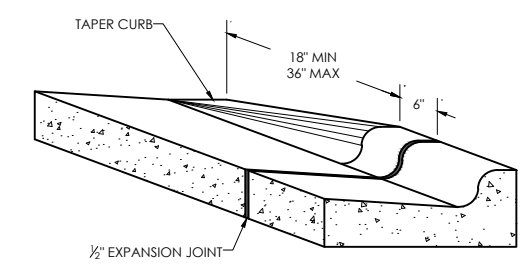


**REVERSE FLAG 24"**

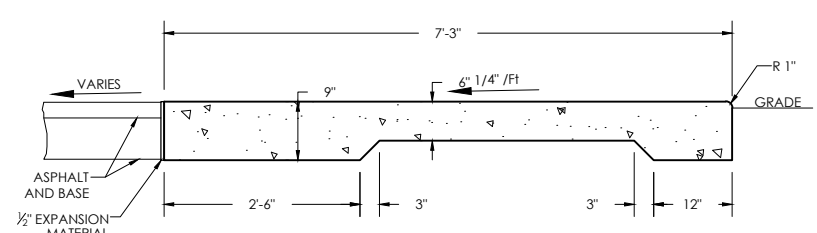


**STANDARD 30"**

**TYPICAL CURB DETAILS**

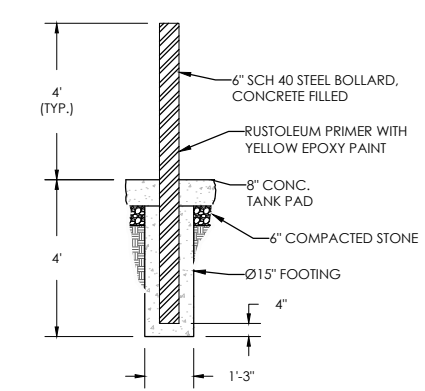


**TYPICAL CURB TERMINI DETAIL**



**TOMMY'S EXPRESS STANDARD SECTION**

**TYPICAL THICKENED EDGE SIDEWALK DETAIL**



**TYPICAL BOLLARD DETAIL**

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## WEHD1000 GREASE INTERCEPTOR TANK SPECIFICATIONS

**DIMENSIONS:**  
 WALL: 3 1/2"  
 BOTTOM: 5"  
 COVER: 6"  
 MANHOLE: 24" I.D. PRECAST CONCRETE RISER  
 HEIGHT: 72 1/2" O.D.  
 OUTSIDE DIMAETER: 7'-2 1/2"  
 BELOW INLET: 54 5/8" O.D.  
 LIQUID LEVEL: 46 5/8"  
 WEIGHT: TANK 7,000 LBS.  
 WEIGHT: COVER 3,000 LBS.

**INLET AND OUTLET:**  
 4" CAST-A-SEAL BOOT OR EQUAL GASKET

**INLET AND OUTLET BAFFLES:**  
 AS SHOWN

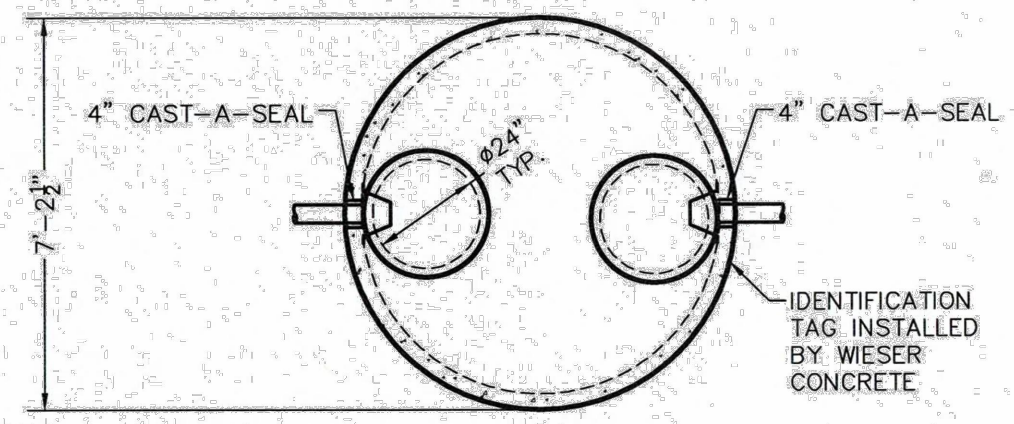
**LIQUID CAPACITY:** 21.50 GAL/IN

**LOADING DESIGN:** 12'-0" UNSATURATED SOIL / HS-20

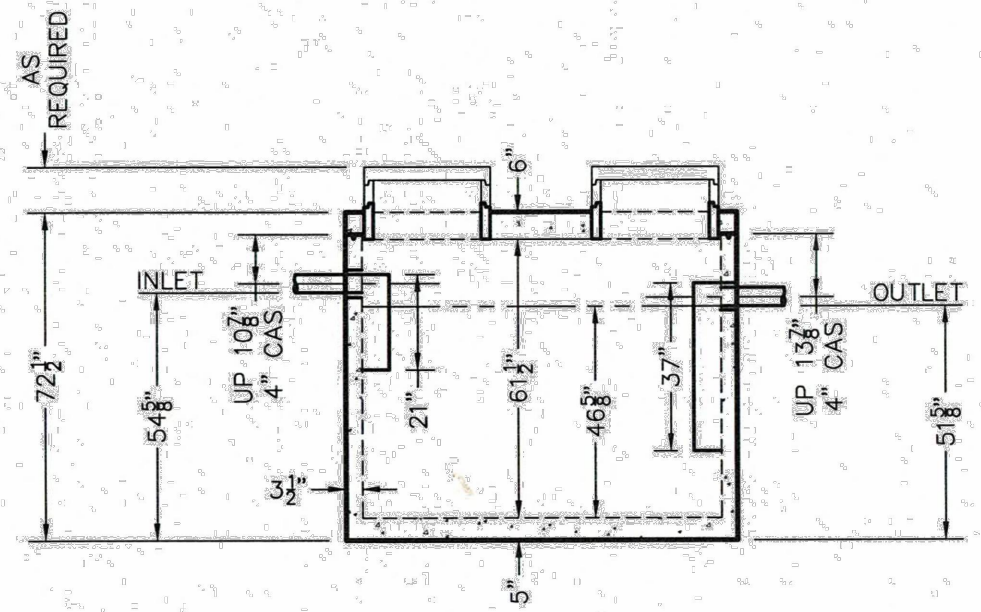
**TANK CAN BE USED AS:**  
 EXTRA HEAVY DUTY GREASE INTERCEPTOR

**COVER:** MIX DESIGN #8 (NO FIBER)  
**TANK:** MIX DESIGN #8 (NO FIBER)

**CUSTOMIZED TANKS:**  
 FOR CUSTOM TANKS CONTACT WIESER CONCRETE



TOP VIEW



TYPICAL SAND/OIL SEPARATOR DETAIL

**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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 GEC FILE NO.: 77  
 SHEET NO.: 35

**TEMPORARY DITCH CHECKS**

**PURPOSE & OPERATION**

PRODUCTS IN THIS CATEGORY ARE INTENDED FOR USE AT THE BOTTOM OF FILL SLOPES AND IN CHANNELS TO INTERCEPT AND POND SEDIMENT-LADEN RUNOFF. PONDING THE WATER REDUCES THE VELOCITY OF THE INCOMING FLOW AND ALLOWS MOST OF THE SEDIMENTS TO SETTLE OUT. WATER EXITS THE CHECK BY EITHER FILTERING THROUGH OR FLOWING OVER THE TOP.

**CONSTRUCTION METHODS**

THIS WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION, AND THE STANDARD DETAIL DRAWING IN THE WISDOT FACILITY DEVELOPMENT MANUAL. IN ADDITION TO THE ABOVE, TEMPORARY DITCH CHECKS SHALL BE PLACED PERPENDICULAR TO THE FLOW LINE OF THE DITCH AND SHALL EXTEND FAR ENOUGH SO THAT THE GROUND LEVEL AT THE ENDS OF THE CHECKS ARE HIGHER THAN THE LOW POINT ON THE CREST OF THE CHECK. THE INSTALLED MATERIAL SHALL HAVE A MINIMUM HEIGHT OF 10 INCHES ABOVE THE FLOW LINE IN THE INSTALLED CONDITION. ALL PRODUCTS SHALL BE ENTRENCHED A MINIMUM OF 2.0 INCHES ON BARE SOIL. DITCH CHECKS INSTALLED IN A CHANNEL THAT IS CONTINUOUSLY LINED WITH EROSION MAT NEED NOT BE ENTRENCHED IF INSTALLED OVER THE TOP OF THE EROSION MAT. INSTALLATIONS SHALL HAVE STAKES ON THE DOWNSTREAM SIDE OF THE TEMPORARY DITCH CHECK AND SHALL NOT REDUCE THE HEIGHT OF THE TEMPORARY DITCH CHECK. FABRIC TYPE PRODUCTS MAY BE ENTRENCHED WITH A NARROW CHECK SLOT ON THE UPSTREAM SIDE.

APPROVED MANUFACTURED ALTERNATIVES TO THE DEPARTMENTS' DETAILS ARE LISTED BELOW.

**APPROVED TEMPORARY DITCH CHECKS**

PRODUCT	MANUFACTURER
CURLEX 12 INCH SEDIMENT LOG	AMERICAN EXCELSIOR
CURLEX 20 INCH SEDIMENT LOG	AMERICAN EXCELSIOR
AEC PREMIER 12 INCH WATTLE	AMERICAN EXCELSIOR
AEC PREMIER 20 INCH WATTLE	AMERICAN EXCELSIOR
STENLOG 12	Erosion Control Blanket.com
TRIANGULAR SILT DIKE	TRIANGULAR SILT DIKE
ASPEN XCEL EXCELSIOR LOG	WESTERN EXCELSIOR
DITCH CHEXX	FILTREXX
BIO-D SILT CHECK	RO LANKA
WS-12	NORTH AMERICAN GREEN

**INSTALLATION INSTRUCTIONS - LOGS AND WATTLES:**

**STEP 1 - SITE PREPARATION**

PREPARE SITE TO DESIGN PROFILE AND GRADE. REMOVE DEBRIS, ROCKS, CLODS, ETC. GROUND SURFACE SHOULD BE SMOOTH PRIOR TO INSTALLATION TO ENSURE LOG REMAINS IN CONTACT WITH SLOPE.

**STEP 2 - STAPLE SELECTION**

AT A MINIMUM, 1" LONG BY 1" BY 24", STAKES ARE TO BE USED TO SECURE THE LOG TO THE GROUND SURFACE. INSTALLATION IN ROCKY, SANDY OR OTHER LOOSE SOIL MAY REQUIRE LONGER STAKES.

**SLOPE INSTALLATION**

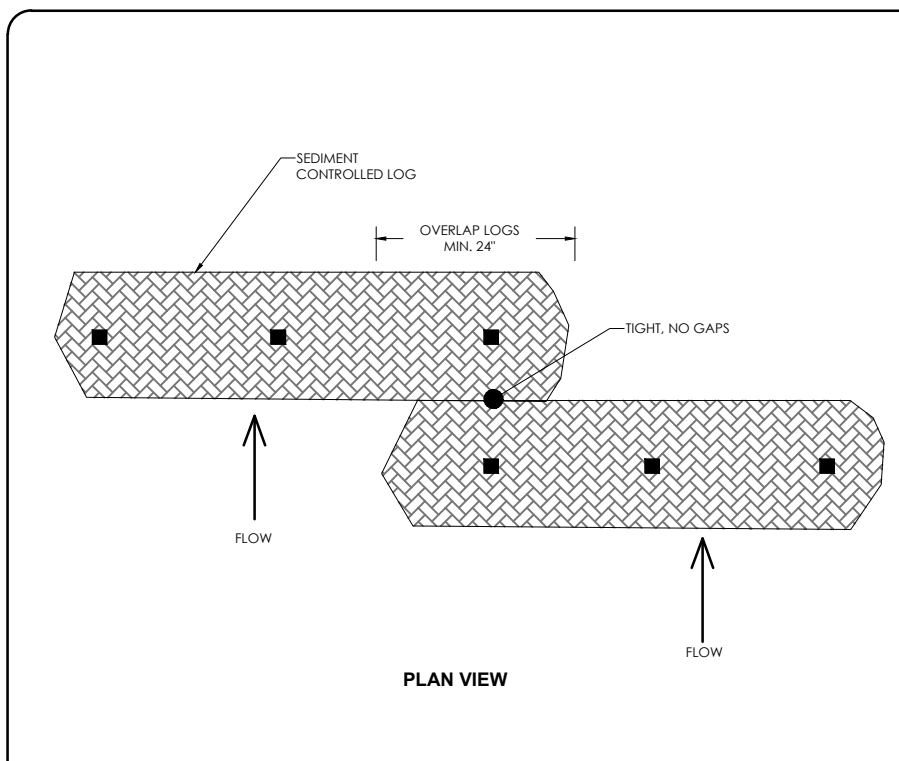
PLACE RECP ALONG SLOPE TO PROVIDE UPSTREAM APRON FOR LOG. SECURE RECP ACCORDING TO STANDARD SLOPE INSTALLATION INSTRUCTIONS INCLUDING UPSTREAM ANCHOR TRENCH. SECURE LOG TO BLANKET, ENSURING LOG REMAINS IN INTIMATE CONTACT WITH THE RECP OVER THE LENGTH OF THE INSTALLATION. A MINIMUM ONE FOOT UPSTREAM APRON AND TWO FOOT DOWNSTREAM APRON ARE REQUIRED FOR INSTALLATION. SUBSEQUENT, DOWNSLOPE ROWS OF LOGS SHOULD BE SPACED APPROPRIATELY FOR SITE CONDITIONS TO MINIMIZE ACCELERATION OF FLOW. FURTHER, LOG SEAMS ARE TO BE OFFSET TO ENSURE CONTINUOUS FILTRATION. FIGURE A PRESENTS A SCHEMATIC OF A SLOPE INSTALLATION IN PROFILE VIEW.

**CHANNEL INSTALLATION**

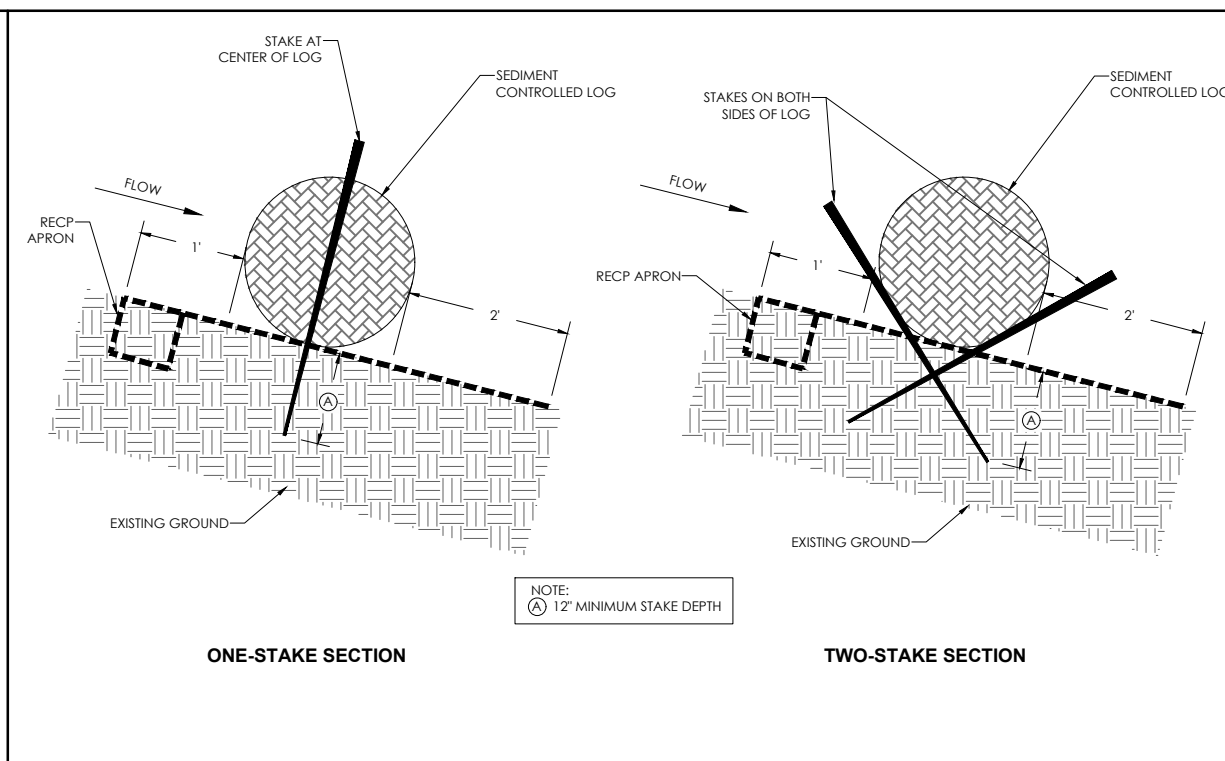
PLACE RECP ALONG CHANNEL TO PROVIDE UPSTREAM AND DOWNSTREAM APRON FOR LOG IDENTICALLY TO SLOPE INSTALLATION. SECURE LOG TO BLANKET, ENSURING LOG REMAINS IN INTIMATE CONTACT WITH THE RECP OVER THE LENGTH OF THE INSTALLATION. A MINIMUM OF ONE FOOT UPSTREAM APRON AND TWO FOOT DOWNSTREAM APRON ARE REQUIRED FOR INSTALLATION. SUBSEQUENT, DOWNSLOPE ROWS OF LOGS SHOULD BE SPACED APPROPRIATELY FOR SITE CONDITIONS TO MINIMIZE ACCELERATION OF FLOW. FURTHER, LOG SEAMS ARE TO BE OFFSET TO ENSURE CONTINUOUS FILTRATION. FIGURE A AND FIGURE C PRESENT A SCHEMATIC OF A CHANNEL INSTALLATION.

**DRAIN FILTER INSTALLATION**

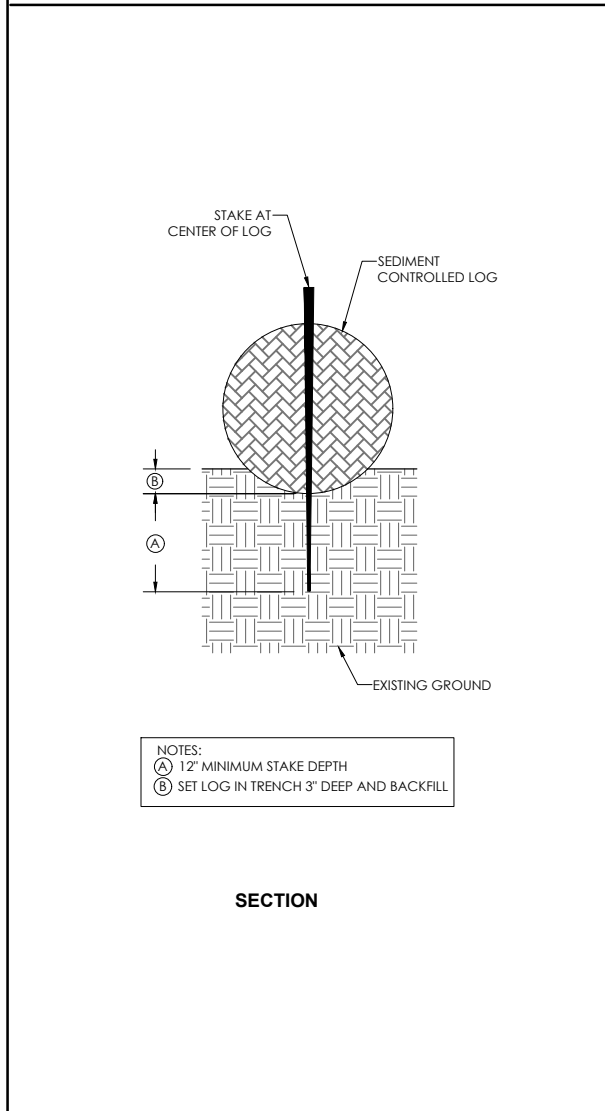
SURROUND DRAIN INLET TO BE PROTECTED WITH LOG, ENSURING SEAMS ARE OVERLAPPING TO MINIMIZE FLOW CIRCUMVENTING LOG. SECURE LOGS TO GROUND SURFACE ENSURING THE LOG REMAINS IN INTIMATE CONTACT WITH THE GROUND SURFACE OVER THE ENTIRE INSTALLATION. PROVIDE RECP APRON SECURED TO THE GROUND SURFACE BETWEEN DRAIN AND LOG.



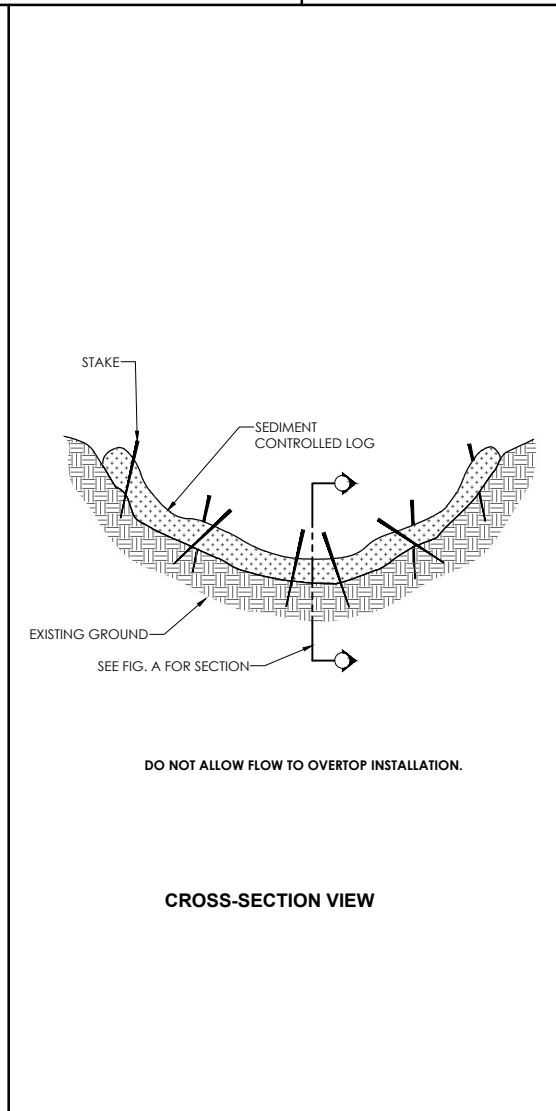
**LOG OVERLAP DETAIL**



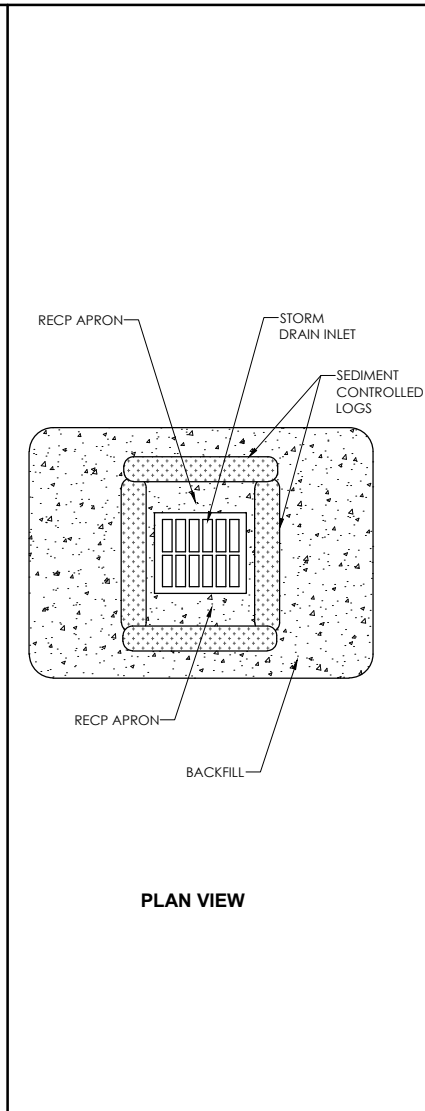
**SLOPE/CHANNEL INSTALLATION (FIG. A)**



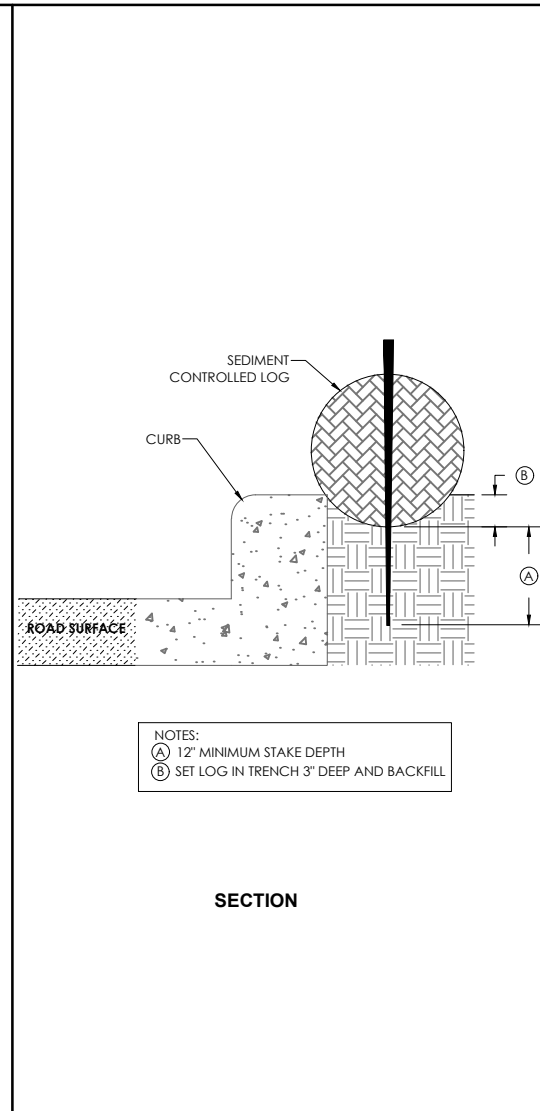
**FLAT GROUND INSTALLATION (FIG. B)**



**CHANNEL INSTALLATION (FIG. C)**



**DRAIN FILTER (FIG. D)**



**CURBSIDE INSTALLATION (FIG. E)**

**NOTES**



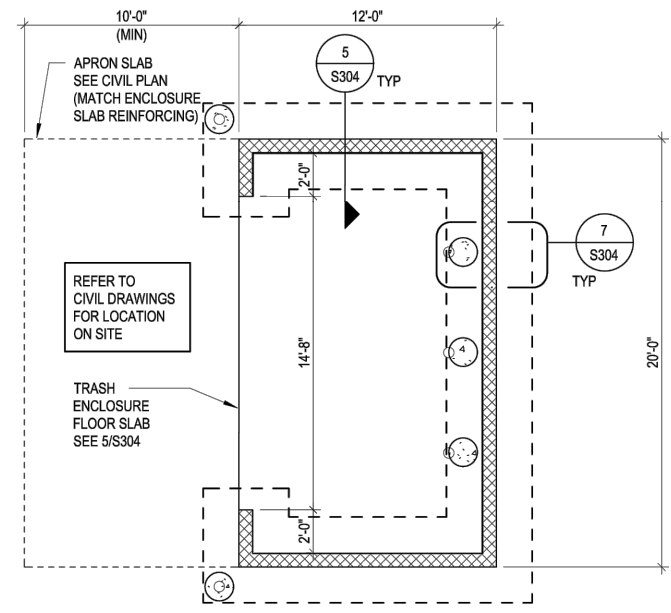
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**CONSTRUCTION DETAILS**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

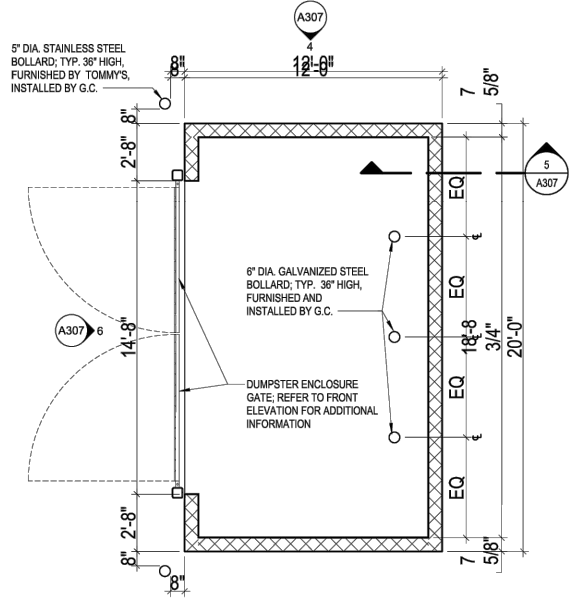
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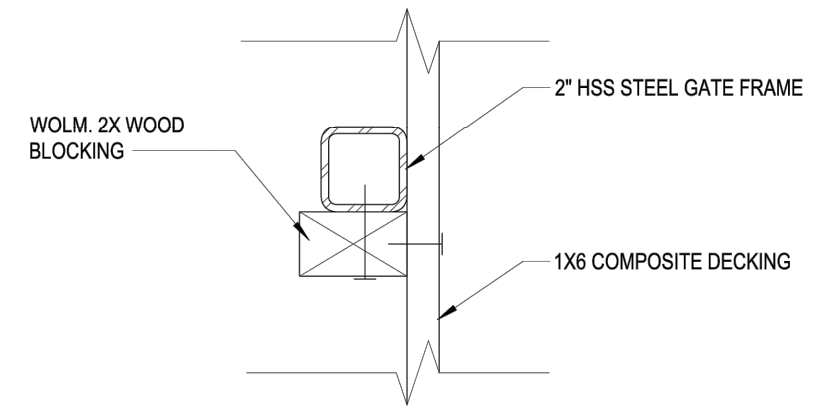
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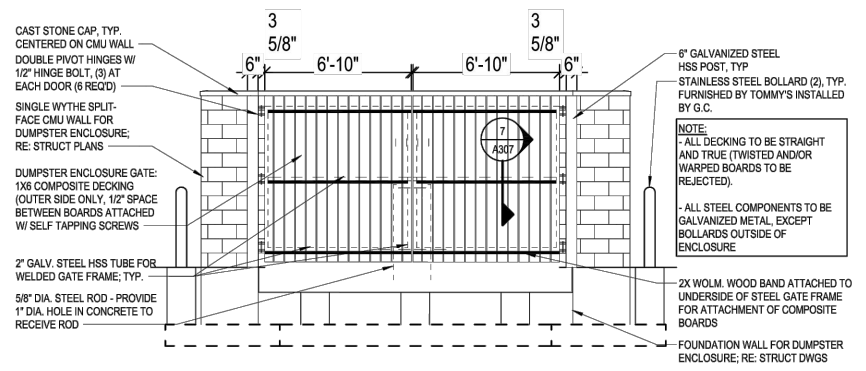
**1** DUMPSTER ENCLOSURE PLAN  
 A301 1/4" = 1'-0"



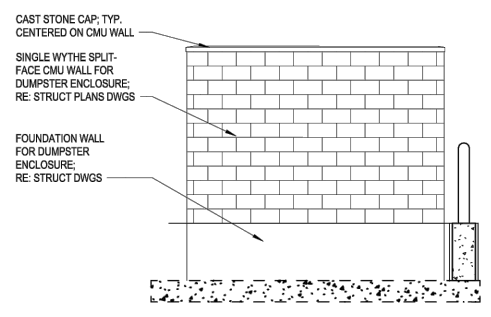
**2** DUMPSTER ENCLOSURE PLAN  
 A307 1/4" = 1'-0"



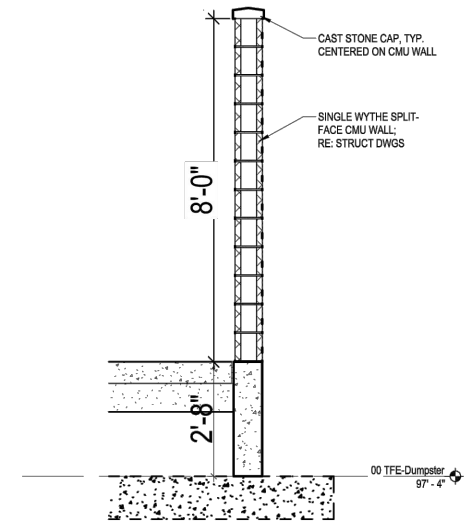
**3** SECTION AT DUMPSTER FRAME  
 A307 6" = 1'-0"



**4** DUMPSTER ENCLOSURE - FRONT ELEVATION  
 A307 1/4" = 1'-0"



**5** DUMPSTER ENCLOSURE - SIDE ELEVATION  
 A307 1/4" = 1'-0"



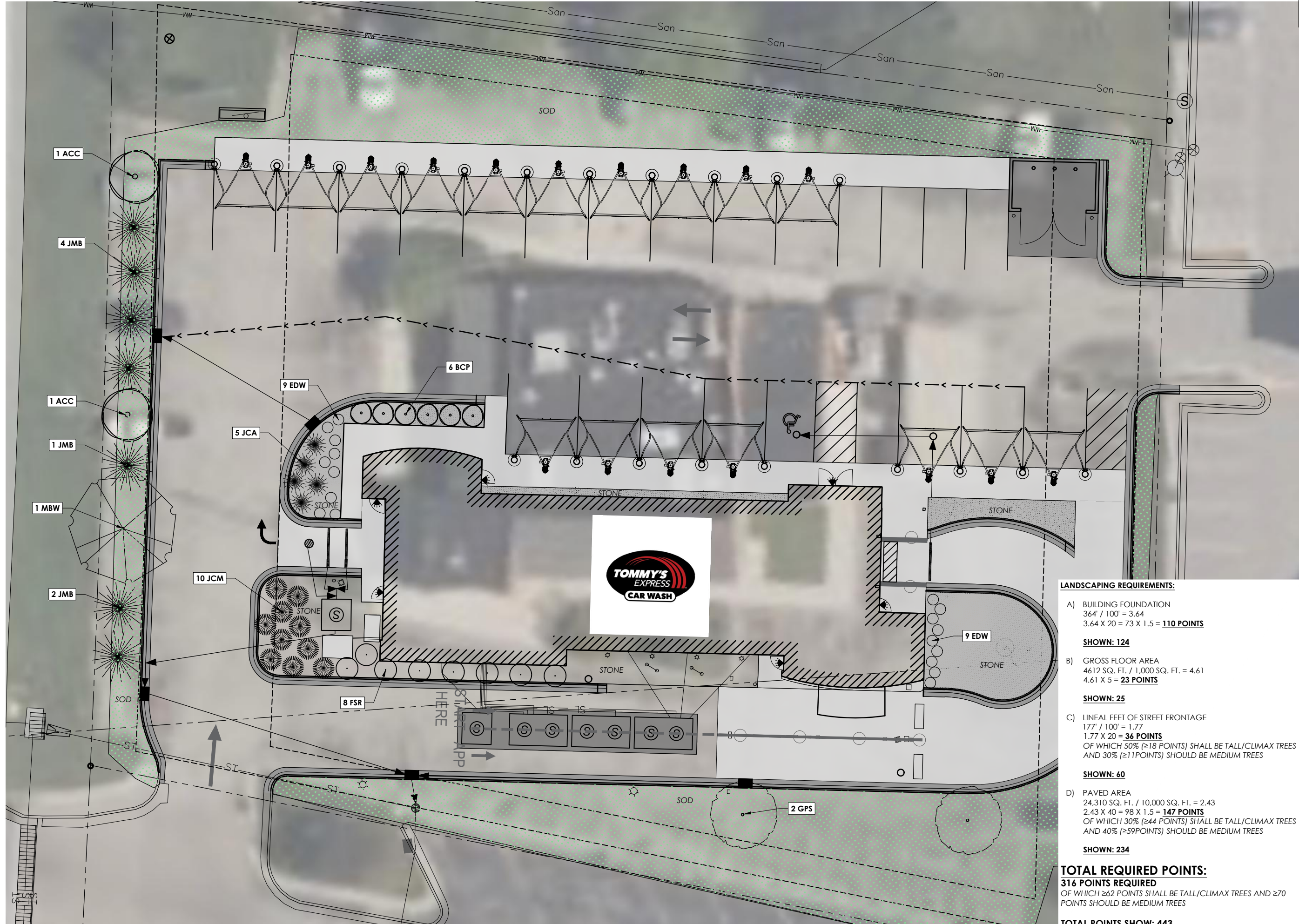
**6** DUMPSTER ENCLOSURE - WALL SECTION  
 A307 1/2" = 1'-0"

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**LANDSCAPE PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

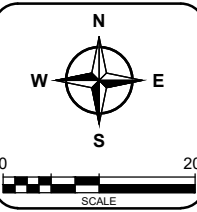


- LANDSCAPING REQUIREMENTS:**
- A) BUILDING FOUNDATION  
 $364' / 100' = 3.64$   
 $3.64 \times 20 = 73 \times 1.5 = 110 \text{ POINTS}$   
**SHOWN: 124**
  - B) GROSS FLOOR AREA  
 $4612 \text{ SQ. FT.} / 1,000 \text{ SQ. FT.} = 4.61$   
 $4.61 \times 5 = 23 \text{ POINTS}$   
**SHOWN: 25**
  - C) LINEAL FEET OF STREET FRONTAGE  
 $177' / 100' = 1.77$   
 $1.77 \times 20 = 36 \text{ POINTS}$   
 OF WHICH 50% ( $\approx 18 \text{ POINTS}$ ) SHALL BE TALL/CLIMAX TREES  
 AND 30% ( $\approx 11 \text{ POINTS}$ ) SHOULD BE MEDIUM TREES  
**SHOWN: 60**
  - D) PAVED AREA  
 $24,310 \text{ SQ. FT.} / 10,000 \text{ SQ. FT.} = 2.43$   
 $2.43 \times 40 = 98 \times 1.5 = 147 \text{ POINTS}$   
 OF WHICH 30% ( $\approx 44 \text{ POINTS}$ ) SHALL BE TALL/CLIMAX TREES  
 AND 40% ( $\approx 59 \text{ POINTS}$ ) SHOULD BE MEDIUM TREES  
**SHOWN: 234**

**TOTAL REQUIRED POINTS:**  
**316 POINTS REQUIRED**  
 OF WHICH  $\geq 62$  POINTS SHALL BE TALL/CLIMAX TREES AND  $\geq 70$  POINTS SHOULD BE MEDIUM TREES

**TOTAL POINTS SHOW: 443**

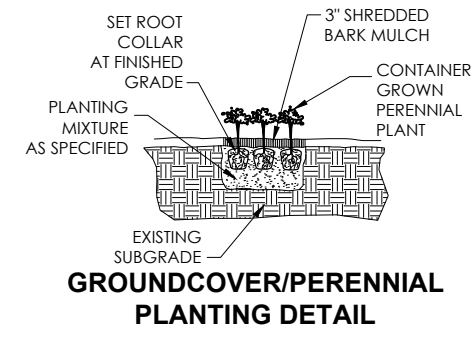
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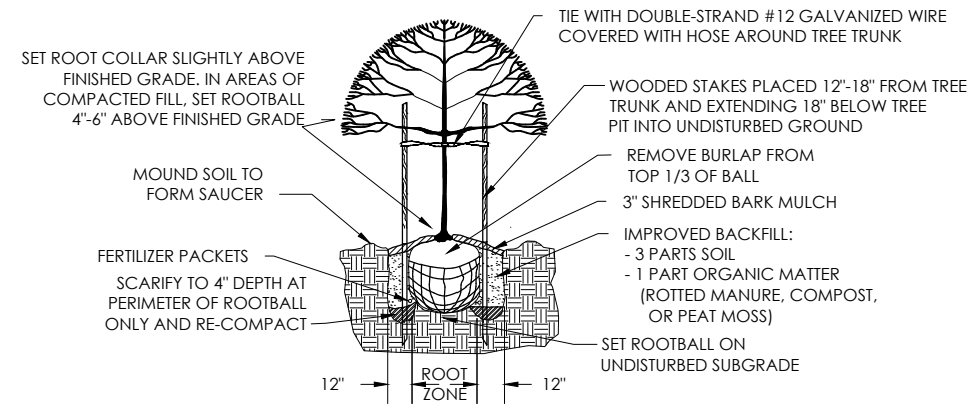
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REVIEWED BY	KDA
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SHEET NO.	37



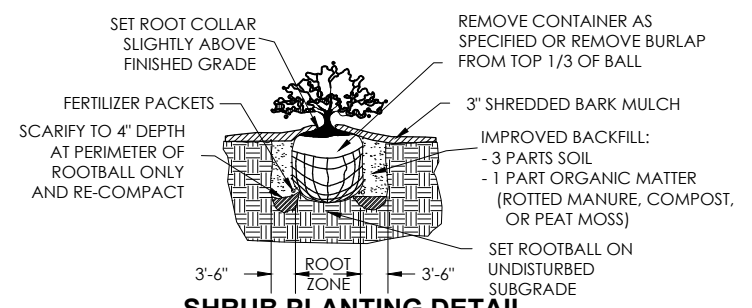
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**GROUND COVER/PERENNIAL PLANTING DETAIL**



**SHADE TREE PLANTING DETAIL**



**SHRUB PLANTING DETAIL**

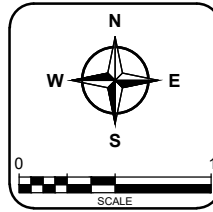
**PLANT LIST**

KEY	COMMON NAME	(BOTANICAL NAME)	PLANTING SIZE (Inches)	COMMENTS
<b>SHRUBS</b>				
BCP	'CRIMSON JAPANESE BARBERRY (CRIMSON PYGMY)		18-24	3'-4' O/C (3'-6' HT)
EDW	DWARF WINGED EUONYMUS (EUONYMUS ALATUS 'COMPACTUS')		24-30	FALL COLOR
JCA	COMPACT ANDORRA JUNIPER - 'YOUNGSTOWN' (JUNIPERUS HORIZONTALIS 'YOUNGSTOWN')		18-24	BRIGHT GREEN FOLIAGE TURNS PLUM IN WINTER.
FSR	EARLY FORSYTHIA (FORSYTHIA OVATA)		18-24	EARLIER YELLOW FLOWERS
<b>*All woody shrubs shown in container root condition at time of planting.</b>				
<b>TREES</b>				
ACC	AMUR CHOKECHERRY (PRUNUS MAACKII)		1 1/2"-2"-CAL	WHITE SPRING FLOWERS
GPS	GINKGO 'PRINCETON SENTRY' (MALE CULTIVAR) (GINKGO BILOBA var. 'PRINCETON SENTRY')		2 1/2"-CAL.	GOLD-YELLOW FALL COLOR, NARROW UPRIGHT
JCM	"MANEY" (MANEY JUNIPER)		2 1/2"-CAL	BLUISH GREEN FOLIAGE
JMB	MOUNTBATTER JUNIPER (JUNIPERUS CHINNENSIS MOUNTBATTER)		2"-CAL	
MBW	"AUTUMN FLAME" (RED MAPLE)		2"-CAL	EARLY SCARLET FALL COLOR

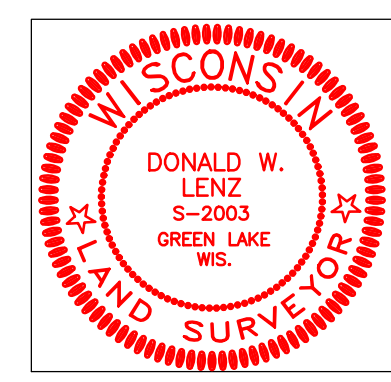
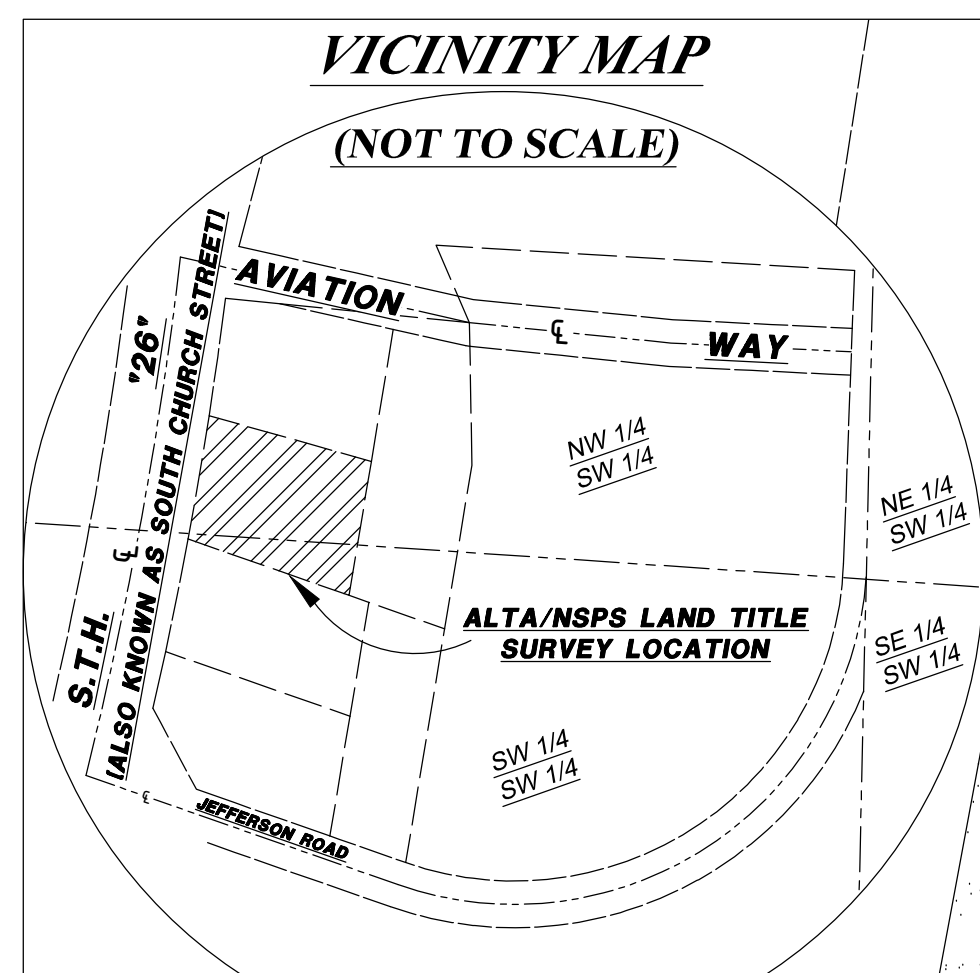
• **All trees shown in B&B (Balled & Burlapped) root condition at time of planting.**

**LANDSCAPE PLAN**  
**TOMMY'S CAR WASH**  
**LSRE WATERTOWN LLC**  
 CITY OF WATERTOWN  
 JEFFERSON COUNTY, WI

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SHEET NO.	38



**Donald W. Lenz**  
 Donald W. Lenz WI PLS No. 2003  
 Dated this 9th Day of December, 2025

**GEC**  
 General Engineering Company  
 P.O. Box 340 916 Silver Lake Dr. Portage, WI 53901  
 608-742-2149 (Portage Office) 920-294-4666 (Green Lake Office)  
 www.generalengineering.net

Client: LSRE Watertown LLC  
 Site Address: 1727 South Church Street, Watertown, WI 53094

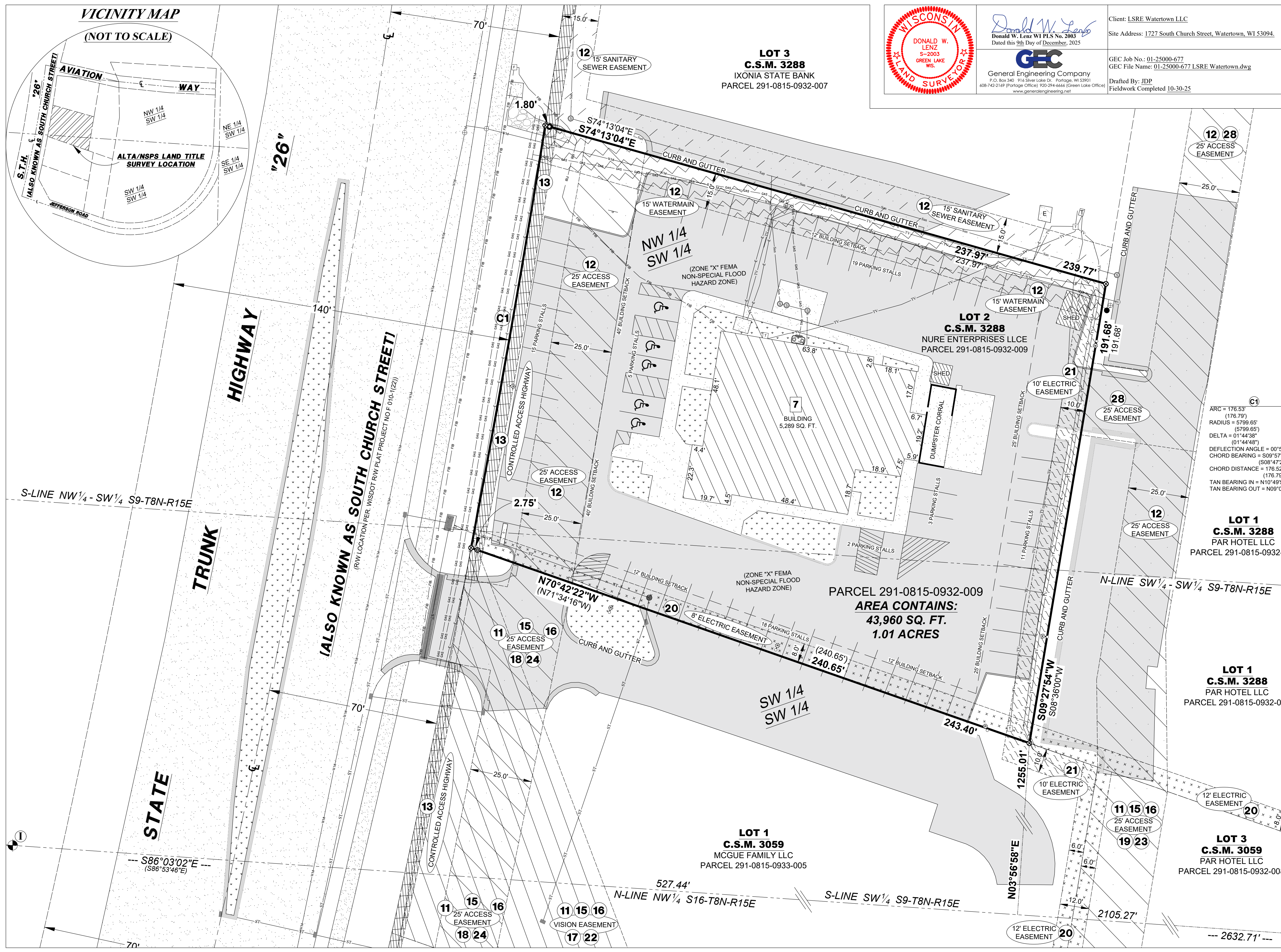
GEC Job No.: 01-25000-677  
 GEC File Name: 01-25000-677 LSRE Watertown.dwg

Drafted By: JDP  
 Fieldwork Completed 10-30-25

**ALTA/NSPS LAND TITLE SURVEY**

ALTA/NSPS LAND TITLE SURVEY FOR LSRE WATERTOWN LLC. DESCRIPTION OF LANDS BEING TWO (2) OF CERTIFIED SURVEY MAP NO. 3288 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR JEFFERSON COUNTY, WISCONSIN ON JUNE 28, 1996, IN VOLUME 14 OF CERTIFIED SURVEY MAPS, PAGE 168 AS DOCUMENT NO. 958059, AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED ON SEPTEMBER 25, 1996 IN VOLUME 966, PAGE 350 AS DOCUMENT NO. 962782 AND AFFIDAVIT OF CORRECTION RECORDED ON SEPTEMBER 25, 1996 IN VOLUME 966, PAGE 352 AS DOCUMENT NO. 962783, SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF A PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3059, BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2272, IN THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

Bearings are referenced to the South line of the Southwest 1/4 of Section 09, Township 08 North, Range 15 East, per the Wisconsin County Coordinate System, Jefferson County Zone, with a bearing of South xx°xx'xx" West, NAD 83(91).



**Surveyor's Section Corner Notes:**

I. South West 1/4 Corner - Section 9 - Township 8 North - Range 15.  
 - Per Jefferson County Coordinates.

II. South Corner - Section 9 - Township 8 North - Range 15 East.  
 - Could not Occupy Section Corner Due to Chain Link Fence,  
 - Used Jefferson County Coordinates.

**FEMA Non-Special Flood Hazard Areas are moderate-to-low risk areas:**

- The risk of flooding is reduced, but not completely removed.
- Moderate-to-low-risk areas are shown on flood maps as zones beginning with the letters "B", "C" or "X" (or a shaded X).
- These areas submit more than 20 percent of National Flood Insurance Program claims and receive one-third of federal disaster assistance for flooding.

Flood insurance isn't federally required in moderate-to-low-risk areas, but it is recommended for all property owners and renters.

**Note:**  
 The Title Policy Provided to General Engineering Company, was Completed by First American Title Insurance Company Nation Commercial Services, as Agent LSRE Watertown LLC, on July 10th, 2025 as File No. NCS-126795-MAD.

**Note: 14**  
 Distance from Access Drive From S.T.H. "26" to Nearest Intersecting Street is 340± Southwesterly to Jefferson Road.

**LEGEND**

SECTION LINE	---
RIGHT-OF-WAY LINE	---
ROADWAY CENTERLINE	---
EASEMENT LINE	---
PROPERTY LINE	---
OWNER'S PROPERTY LINE	---

**VERTICAL DATUM**  
 NORTH AMERICAN VERTICAL DATUM NAVD88

**Parking Note: 9**  
 68 - Regular Parking Stalls  
 5 - Handicap Parking Stalls  
 73 - Total Parking Stalls

**LEGEND:**

SECTION CORNER MONUMENT	●
1" IRON PIPE FOUND	○
3" IRON FOUND	○
3" X 12" REBAR SET	○
5" IRON REBAR	○
SANITARY MANHOLE	○
SEPTIC CLEANOUT	○
GAS VALVE	○
STORM DRAIN	○
WATERMAIN VALVE	○
ENDWELL	○
SEWER	○
LIGHTPOLE	○
CALL DIGGERS HOTLINE	○
1-800-242-8511	○
TOLL FREE	○
RECTANGLE INLET	○
GAS METER	○
ELECTRIC PEDESTAL	○
CABLE PEDESTAL	○
TELEPHONE PEDESTAL	○
FIBEROPTIC PEDESTAL	○
FENGLINE	○
ST - STORM SEWER	○
SANITARY SEWER	○
WATERMAIN	○
PAVEMENT	○
CONCRETE	○
LANDSCAPING	○
GRAVEL	○
25' EXISTING INGRESS & EGRESS ACCESS EASEMENT	○
CONTROLLED ACCESS HIGHWAY	○
15' SANITARY SEWER EASEMENT	○
15' WATERMAIN EASEMENT	○
VISION CORNER EASEMENT	○
15' ELECTRIC EASEMENT	○
8-12' ELECTRIC EASEMENT	○

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM FIELD DATA ACQUISITION THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

**Note:**  
 The Location and Size of the Underground Structures and Utilities Shown Hereon have been Located to a Reasonable Degree of Accuracy, but the Engineer or Surveyor does not Guarantee their Exact Location of Others not Shown. Contact Diggers Hotline In., Etc.

**Digger's Hotline Notes: 11**  
 Diggers Hotline Ticket No. 2025432624 was used October 29th, 2025 11:00:00 a.m. Contractor/Owner Should Contact Diggers Hotline Phone No. 1-800-242-8511 to Remark the Property Before any Excavation or Demolition.

Site Location = Lot 2 of Certified Survey Map 3288 Utility Locations were Marked by Diggers Hotline and Maps were Furnished by:

SBC01 = AT&T Distribution SBC01 [Phone: (262) 446-9821

CHC01 = Charter Communications CHC01 [Coms: (262) 446-9821

WAT01 = City of Watertown WAT01 [San Sewer: (262) 446-9821

WAT01 = City of Watertown WAT01 [Facility Owner: (262) 446-9821

WAT01 = City of Watertown WAT01 [Storm Sewer: (262) 446-9821

WAT01 = City of Watertown WAT01 [Water: (262) 446-9821

TDM19 = TDS Metrocom TDM19 [Coms: (262) 446-9821

UCL01 = U.S. Cellular UCL01 [Coms: (712) 363-4291

WOWEB = WOWEB We Energies-Ele and We Gas-WOWEB [Gas: (262) 446-9821

WOWEB = Sun Prairie Utilities SUN01 [Electric: (262) 466-9821

ALTA/NSPS LAND TITLE SURVEY

ALTA/NSPS LAND TITLE SURVEY FOR LSRE WATERTOWN LLC. DESCRIPTION OF LANDS BEING LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 3288 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR JEFFERSON COUNTY, WISCONSIN ON JUNE 20, 1996, IN VOLUME 14 OF CERTIFIED SURVEY MAPS, PAGE 168 AS DOCUMENT NO. 958059, AS AMENDED BY AFFIDAVIT OF CORRECTION RECORDED ON SEPTEMBER 25, 1996 IN VOLUME 966, PAGE 350 AS DOCUMENT NO. 962782 AND AFFIDAVIT OF CORRECTION RECORDED ON SEPTEMBER 25, 1996 IN VOLUME 966, PAGE 352 AS DOCUMENT NO. 962783. SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF A PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 3059, BEING A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 2272, IN THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 15 EAST, IN THE CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

PROVIDED PARCEL DESCRIPTION (Per Commitment for Title Insurance File No.: NCS-1267945-MAD; Dated: July 10th, 2025):

Lot Two (2) of Certified Survey Map No. 3288 recorded in the Office of the Register of Deeds for Jefferson County, Wisconsin on June 20, 1996, in Volume 14 of Certified Survey Maps, Page 168 as Document No. 958059, as amended by Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 350 as Document No. 962782 and Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 352 as Document No. 962783, said Certified Survey Map being a revision of a part of Lot 2 of Certified Survey Map No. 3059, being a redivision of Lot 1 of Certified Survey Map No. 2272, in the Southwest 1/4 of Section 9, Township 8 North, Range 15 East, in the City of Watertown, Jefferson County, Wisconsin.

METES AND BOUNDS DESCRIPTION:

Commencing at the Southwest corner of said Section 9; thence South 86°03'02" East, along the South line of the Southwest 1/4 of said Section 9, 527.44 feet; thence North 03°56'58" East, 1255.01 feet to the Southerly line of Lot 2 of said Certified Survey Map 3288 and the Point of Beginning; thence North 70°42'22" West, along said Southerly line, 243.40 feet to the Westerly line of said Lot 2 of said Certified Survey Map 3288 and the Easterly line of State Trunk Highway "26"; thence along said Weseerly line and said Easterly line, along an arc of a 176.53 foot curve to the left, said curve having a radius of 5799.65 feet a delta angle of 01°44'38", and whose long chord bears North 09°57'32" East for 176.52 feet to the Northerly line of said Lot 2 of said Certified Survey Map 3288; thence South 74°13'04" East, along said Northerly line, 239.77 feet to the Easterly line of said Lot 2 of said Certified Survey Map 3288; thence South 09°27'54" West, along said Easterly line, 191.68 feet to the Point of Beginning.

Said described area contains 43,960 sq. ft. or 1.01 acres.

SURVEYOR'S CERTIFICATE:

To: LSRE Watertown LLC and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-4, 5, 6a, 6b, 7a, 8, 9, 11, 13, 14 and 17 of Table A thereof. The fieldwork was completed on October 30th, 2025.

I further certify that I have surveyed the property described herein, and that the map shown on this ALTA Survey is a true representation thereof, and shows the size and location of visible structures and dimensions of all buildings thereon and apparent easements, if any, to the best of my knowledge and belief. This survey is made for the use of the presents owners of the property, also for those who purchase, mortgage or guarantee the title thereto, as of the date hereon.

I have made such survey under the direction of LSRE Watertown LLC, 1727 South Church Street, Watertown, WI 53094.

Donald W. Lenz WI PLS No. 2003 Dated this 9th Day of December, 2025



TABLE A OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS EXAMPLE: 1

NOTE: Whether any of the nineteen (19) items of Table A are to be selected, and the exact wording of and fee for any selected item, may be negotiated between the surveyor and client. Any additional items negotiated between the surveyor and client must be identified as 20(a), 20(b), etc. Any additional items negotiated between the surveyor and client, and any negotiated changes to the wording of a Table A item, must be explained pursuant to Section 6.D.ii.(g). Notwithstanding Table A Items 5 and 11, if an engineering design survey is desired as part of an ALTA/NSPS Land Title Survey, such services should be negotiated under Table A, Item 20. If checked, the following optional items are to be included in the ALTA/NSPS LAND TITLE SURVEY, except as otherwise qualified (see note above):

- 1. Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the surveyed property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
2. Address(es) of the surveyed property if disclosed in documents provided to or obtained by the surveyor, or observed while conducting the fieldwork.
3. Flood zone classification (with proper annotation based on federal Flood Insurance Rate Maps or the state or local equivalent) depicted by scaled map location and graphic plotting only.
4. Gross land area (and other areas if specified by the client).
5. Vertical relief with the source of information (e.g., ground survey, aerial map), contour interval, datum, with originating benchmark, when appropriate.
6. (a) If the current zoning classification, setback requirements, the height and floor space area restrictions, and parking requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, list the above items on the plat or map and identify the date and source of the report or letter.
(b) If the zoning setback requirements specific to the surveyed property are set forth in a zoning report or letter provided to the surveyor by the client or the client's designated representative, and if those requirements do not require an interpretation by the surveyor, graphically depict those requirements on the plat or map and identify the date and source of the report or letter. Setback information obtained by the City of Sun Prairie Zoning Departments.
7. (a) Exterior dimensions of all buildings at ground level.
(b) Square footage of:
(1) exterior footprint of all buildings at ground level.
(2) other areas as specified by the client.
(c) Measured height of all buildings above grade at a location specified by the client. If no location is specified, the point of measurement shall be identified.
8. Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse).
9. Number and type (e.g., disabled, motorcycle, regular and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots and in parking structures. Copyright 2021. All rights reserved. Page of 9 11 American Land Title Association and National Society of Professional Surveyors American Land Title Association® (ALTA®) Minimum Standard Detail Requirements National Society of Professional Surveyors (NSPS) For ALTA/NSPS Land Title Surveys Striping of clearly identifiable parking spaces on surface parking areas and lots.
10. As designated by the client, a determination of the relationship and location of certain division or party walls with respect to adjoining properties.
11. Evidence of underground utilities existing on or serving the surveyed property (in addition to the observed evidence of utilities required pursuant to Section 5.E.iv.) as determined by:
(a) plans and/or reports provided by client (with reference as to the sources of information)
(b) markings coordinated by the surveyor pursuant to a private utility locate request
Note to the client, insurer, and lender - With regard to Table A, Item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
12. As specified by the client, Governmental Agency survey-related requirements (e.g., HUD surveys, surveys for leases on Bureau of Land Management managed lands). The relevant survey requirements are to be provided by the client or clients designated representative.
13. Names of adjoining owners according to current tax records. If more than one owner, identify the first owner's name listed in the tax records followed by "et al."
14. As specified by the client, distance to the nearest intersecting street.
15. Rectified orthophotography, photogrammetric mapping, remote sensing, airborne/mobile laser scanning and other similar products, tools or technologies as the basis for showing the location of certain features (excluding boundaries) where ground measurements are not otherwise necessary to locate those features to an appropriate and acceptable accuracy relative to a nearby boundary. The surveyor must (a) discuss the ramifications of such methodologies (e.g., the potential precision and completeness of the data gathered thereby) with the insurer, lender, and client prior to the performance of the survey, and (b) place a note on the face of the survey explaining the source, date, precision, and other relevant qualifications of any such data.
16. Evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
17. Proposed changes in street grid of way lines, if such information is made available to the surveyor by the controlling jurisdiction. Evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
18. If there has been a field delineation of wetlands conducted by a qualified specialist hired by the client, the surveyor shall locate any delineation markers observed in the process of conducting the fieldwork and show them on the face of the plat or map. If no markers were observed, the surveyor shall so state.
19. Pursuant to Sections 5 and 6 (and applicable selected Table A items, excluding Table A Item 1), include as part of the survey any plottable offsite (i.e., appurtenant) easements disclosed in documents provided to or obtained by the surveyor.
20. Professional liability insurance policy obtained by the surveyor in the minimum amount of \$\_\_\_\_\_ to be in effect throughout the contract term. Certificate of insurance to be furnished upon request, but this item shall not be addressed on the face of the plat or map
21. \_\_\_\_\_

BUILDING, SAFETY & ZONING DEPARTMENT
Main Office: 920-262-4000
Brian Zirbes: 920-262-4041
Mark Hady: 920-342-6986
Nikki Zimmerman: 920-262-4045
Dell Zwieg: 920-262-4042
Mike Jacok: 920-262-4062
Marty Kurzynski: 920-262-4061
November 20, 2025

Jackson Pargman General Engineering Company PO Box 340 Portage, WI 53091
Re: Tax Parcel No.: 291-0815-0932-009 1727 S. Church Street, Watertown, WI
1. The current zoning classification for the subject property is: GB, General Business
2. The height restriction for the subject zoning classification is: 40 feet
3. Building setbacks for the subject property are: Minimum setbacks: Building to front or street side lot line: 25 feet, 40 feet for a lot adjacent to a street with an officially mapped right-of-way equal to or exceeding 100 feet. Building to residential side lot line: 12 feet. Building to residential rear lot line: 25 feet. Building to nonresidential side lot line: 12 feet or zero feet on zero lot line side. Building to nonresidential rear lot line: 25 feet. Side lot line to accessory structure: three feet from property line; 10 feet from alley right-of-way. Rear lot line to accessory structure: three feet from property line; 10 feet from alley right-of-way.
4. Additional information on the zoning classification in question can be found at: https://codes390.com/292587187highlight=gb&searchid=402981055553777929258718
This information was researched on November 20, 2025, by the undersigned per a public records request. The undersigned certifies that the above information is believed to be accurate and was obtained from public records, which may be inspected during regular business hours.
Please let me know if I can be of further assistance.
Sincerely, Brian Zirbes Zoning Administrator 106 Jones Street • P.O. Box 477 • Watertown, WI 53094-0477 • Phone 920.262.4060 Opportunity Runs Through It

Commitment No.: NCS-1270415-MAD

Schedule B, Part I Requirements

- All of the following Requirements must be met:
1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Record a Deed in fulfillment of Land Contract from Charden Properties LLC to NURE Enterprises LLC.
6. In regard to Charden Properties LLC, we require the following:
A) Furnish a copy of the Articles of Organization and the Operating Agreement.
B) Furnish a Certificate of Good Standing from the originating Secretary of State's office.
C) Furnish a resolution of the members authorizing the proposed transaction.
D) The proposed transaction should be executed by all the members of the LLC unless provided otherwise in the operating agreement. If the members of the above referenced limited liability company are entities other than individuals, additional requirements will be made.
Upon review of these items we reserve the right to make further requirements.
7. Deed from NURE Enterprises LLC to LSRE Watertown LLC, a Wisconsin limited liability company.
8. In regard to NURE Enterprises LLC, we require the following:
A) Furnish a copy of the Articles of Organization and the Operating Agreement.
B) Furnish a Certificate of Good Standing from the originating Secretary of State's office.
C) Furnish a resolution of the members authorizing the proposed transaction.
D) The proposed transaction should be executed by all the members of the LLC unless provided otherwise in the operating agreement. If the members of the above referenced limited liability company are entities other than individuals, additional requirements will be made.

NFIP PANEL 0086F 3 FIRM FLOOD INSURANCE RATE MAP JEFFERSON COUNTY, WISCONSIN AND INCORPORATED AREAS PANEL 86 OF 500 (SEE MAP INDEX FOR FIRM PANEL LAYOUT) CONTAINS COMMUNITY NUMBER PANEL SUFFIX JEFFERSON COUNTY 86018 0086 F WATERTOWN, CITY OF 86017 0086 F
Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.
MAP NUMBER 5505C0086F MAP REVISED FEBRUARY 4, 2015 Federal Emergency Management Agency

Commitment No.: NCS-1270415-MAD

Schedule B, Part II Exceptions EXAMPLE: 2

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

- 1. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land.
2. Easements, claims of easements or encumbrances that are not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
4. Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein.
5. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the Public Records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. Special taxes, assessments or charges, if any.
NOTE: Said exception will be removed only if the Company receives written evidence from the municipality that there are no special assessments against the land, or that all such items have been paid in full within 30 days of closing.
6. Taxes, general and special for the year 2025, not now due and payable. Tax Parcel No. 291-0815-0932-009.
7. General taxes for the year 2024 in the amount of \$15,119.65 are being paid on a payment plan. Balance due \$5,039.87.
8. Public or private rights in such portion of the subject premises as may be presently used, laid out or dedicated in any manner whatsoever, for street, highway, and or alley purposes.
9. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 2042 recorded on August 25, 1987 in Volume 6 of Certified Survey Maps, Page 341 as Document No. 833779 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. As amended by Certified Survey Map No. 2272 recorded on July 27, 1989 in Volume 8 of Certified Survey Maps, Page 47 as Document No. 853206. As amended by Correction Affidavit recorded on March 12, 1991 in Volume 768 of Records, Page 463 as Document No. 871030. (No Easements indicated on Certified Survey Map(s) 2042 and 2272)
11. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 3059 recorded on March 24, 1995 in Volume 12 of Certified Survey Maps, Page 235 as Document No. 936859 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. As amended by Affidavit of Correction recorded on November 06, 1995 in Volume 931, Page 325 as Document No. 946854.
12. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 3288 recorded on June 20, 1996 in Volume 14 of Certified Survey Maps, Page 168 as Document No. 958059 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. As amended by Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 350 as Document No. 962782. As amended by Affidavit of Correction recorded on September 25, 1996 in Volume 966, Page 352 as Document No. 962783.
13. Controlled Access Highway - All existing, future or potential common law or statutory easements or rights of access between any traveled way to the highway designated as Highway 26 (S. Church St.) and all of the abutting remaining real property of the insured is relinquished to the City of Watertown, Jefferson County, Wisconsin, in accordance with the Instrument recorded on November 24, 1959 in Volume 317 of Records on Page 390 as Document No. 567183. Controlled Access Highway - All existing, future or potential common law or statutory easements or rights of access between any traveled way to the highway designated as Highway 26 (S. Church St.) and all of the abutting remaining real property of the insured is relinquished to the City of Watertown, Jefferson County, Wisconsin, in accordance with the Quit Claim Deed recorded on July 11, 1996 in Volume 958 of Records on Page 400 as Document No. 959075.
14. Utility Easement to Wisconsin Electric Power Company, dated July 14, 1992, recorded/ filed July 29, 1992 in Volume 810 of Records, Page 164 as Document No. 891387. (This Easement Does not Affect this Property)
15. Easements as set forth in Warranty Deed recorded on February 07, 1995 in Volume 906 of Records, Page 161 as Document No. 935256.
16. Easements as set forth in Warranty Deed recorded on February 08, 1995 in Volume 906 of Records, Page 255 as Document No. 935312.
17. Vision Easement to Convenience Store Investments, a Wisconsin limited partnership, dated January 31, 1995, recorded on February 08, 1995 in Volume 906 of Records, Page 257 as Document No. 935313.
18. Highway 26 Access Easement recorded on February 08, 1995 in Volume 906 of Records, Page 263 as Document No. 935314.
19. Jefferson Road Access Easement recorded on February 08, 1995 in Volume 906 of Records, Page 270 as Document No. 935315.
Modification and/or amendment by instrument: Amendment to Jefferson Road Access Easement Recording Information: December 17, 1999 in Volume 1132, Page 540 as Document No. 1030364
20. Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc., d/b/a Ameritech- Wisconsin, dated November 07, 1995, recorded/ filed November 21, 1995 in Volume 932, Page 989 as Document No. 947600.
Partial Release of Easement recorded on September 30, 2019 as Document No. 1414907.
Partial Release of Easement Rights recorded on October 07, 2019 as Document No. 1415258.
21. Utility Easement to Wisconsin Electric Power Company, Wisconsin Bell Inc. d/b/a Ameritech-Wisconsin and Marcus Cable Partners, L.P., dated September 03, 1996, recorded/ filed October 29, 1996 in Volume 970, Page 175 as Document No. 964514.
22. Vision Easement to J. D. Development I, LLC, a Wisconsin limited liability company, dated September 12, 1997, recorded on September 26, 1997 in Volume 1006, Page 293 as Document No. 979956.
23. Jefferson Road Access Easement recorded on September 26, 1997 in Volume 1006, Page 297 as Document No. 979957.
24. Reservation of Access Easement recorded on September 26, 1997 in Volume 1006, Page 301 as Document No. 979958.
25. Covenants, conditions, restrictions and easements in the document recorded September 26, 1997 in Volume 1006, Page 304 as Document No. 979959 of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, national origin, sexual orientation, marital status, ancestry, source of income or disability, to the extent such covenants, conditions or restrictions violate Title 42, Section 3604(c), of the United States Codes. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.
26. Storm Sewer Easement and Maintenance Agreement:
Dated: September 12, 1997
Parties: Watertown Lodging, L.L.C., a Wisconsin limited liability company and J. D. Development I, LLC, a Wisconsin limited liability company
Recorded: September 26, 1997 in Volume 1006, Page 307
Instrument No.: 979960
27. Conditional Use Permit by the City of Watertown Planning Commission recorded on May 13, 1998 in Volume 1039, Page 106 as Document No. 993107. Successor Conditional Use Extension Form recorded on October 09, 2018 as Document No. 1402299.
28. Access Easement recorded on September 13, 2007 as Document No. 1227050.
29. Land Contract and the terms, covenants and conditions thereof between Charden Properties LLC, as Vendor and NURE Enterprises LLC, as Vendee, recorded September 16, 2021 in/as Document No. 1451949 of Jefferson County Records.
Assignment of Contract Rights and Payments recorded on March 25, 2024 as Document No. 1482495.
30. Mortgage dated March 20, 2024 and recorded March 25, 2024 as Document No. 1482496, made by Charden Properties LLC, a Wisconsin limited liability company, assignor, as vendor, as to their interest under the Land Contract with NURE Enterprises LLC, as Purchaser, dated September 21, 2021, to Oak Bank, organized and existing under the laws of Wisconsin, to secure an indebtedness in the amount of \$300,000.00, and the terms and conditions thereof.
31. Assignment of Rents made by Charden Properties LLC, a Wisconsin limited liability company, as vendor, as to their interest under the Land Contract with NURE Enterprises LLC, as Purchaser, dated September 21, 2021 to Oak Bank, organized and existing under the laws of Wisconsin recorded March 25, 2024 as document no. 1482497.
32. Rights of tenants in possession under unrecorded leases.



# ABD Engineering & Design

Architectural Acoustics • AV Design • Noise & Vibration

July 24, 2024

Izabella Welling  
Tommy Car Wash Systems  
240 E 8<sup>th</sup> St  
Holland, MI 49423  
[izabellaw@tommycarwash.com](mailto:izabellaw@tommycarwash.com) | (616) 212-7886

## Re: Tommy Car Wash – Hudsonville – Noise Study Report

### Introduction

ABD Engineering & Design, Inc., (ABD) was asked to complete a noise study at the existing Tommy Car Wash located at 4665 32<sup>nd</sup> Ave, Hudsonville, MI. As part of this noise study, long-term (24-hour) noise measurements were completed at the site and along the property line of adjacent commercial properties from Thursday morning on May 30, 2024, to Friday morning on May 31, 2024.

The primary goal for this report is to capture the Tommy Car Wash noise levels during operation at the site and nearby commercial property lines. These noise levels have been compared to the Code of Ordinances of Hudsonville, Michigan (COHM) and the existing noise levels measured at the site during times the car wash was not operating. The following report details relevant acoustical concepts and the results of our long-term acoustical measurements.

### Acoustical Terminology and Concepts

When dealing with sound, the physical quantity is expressed as sound pressure level (SPL), while the perceived level is expressed as loudness. Sound pressure level is measured in units called decibels (abbreviated dB), which are power ratios quantified using logarithmic units. Using the logarithmic scale, an increase of 10 dB corresponds to a doubling of the perceived loudness; therefore, an increase of 20 dB is considered 4 times as loud, and an increase of 30 dB is considered 8 times as loud. Table 1 describes the subjective evaluation of how humans perceive a change in sound level.


**Table 1: Subjective Effects of Changes in Sound Levels**

Change in Sound Level	Change in Apparent Loudness
3 dB	Just perceptible
5 dB	Clearly noticeable
10 dB	Twice or half as loud
20 dB	Much louder or quieter

Adapted from Table 12.2 in *Engineering Principles of Acoustics* by Douglas D. Reynolds (1981)

Audible sound occurs over a wide frequency range, from approximately 20 Hertz (Hz) to 20,000 Hz. Human hearing does not respond equally to sounds at different frequencies (or pitches) – low-frequency noise (bass/rumble) is perceived as quieter than high-frequency noise (treble/hiss) of the same decibel level. To accommodate this variation in frequency sensitivity of human hearing, a frequency weighting can be applied to sound level measurements. When the weighting is applied, the resulting sound level measurements are said to be “A-weighted,” and the decibel level is abbreviated dBA. Table 2 lists some commonly encountered noises, their A-weighted sound pressure levels, and associated subjective evaluations.

**Table 2: Noise Source Comparison**

Subjective Evaluation	A-weighted Decibels		Examples
Deafening	140 dBA		Near Jet Engine
	130 dBA		Threshold of Pain
	120 dBA		Threshold of Feeling – Hard Rock Band
Very Loud	100 dBA		Loud Auto Horn (at 10 ft)
	90 dBA		OSHA 8 Hour Noise Exposure Limit
Loud	80 dBA		Shouting at 1m (3 ft)
	70 dBA		Busy Office
Moderate	60 dBA		Conversational Speech at 1m (3 ft)
	50 dBA		Average Office
Faint	40 dBA		Soft Radio Music in Apartment
	30 dBA		Average Residence without Stereo Playing
Very Faint	20 dBA		Average Whisper
	10 dBA		Human Breathing
Threshold of Hearing	0 dBA		Threshold of Audibility

Adapted from *Concepts in Architectural Acoustics* by M. David Egan (1972) and *Architectural Acoustics: Principles and Design* by M. Mehta, J. Johnson, and J. Rocafort (1999)

While the decibel or A-weighted decibel are the basic units used for noise measurement, other indices are also used. One common index, the equivalent sound level (abbreviated as  $L_{eq}$ , or  $LA_{eq}$  when A-weighted), is commonly used to indicate the average sound level over a period of time. The  $L_{eq}$  represents the steady level of sound which would contain the same amount of sound energy as does the actual time varying sound level. Although it is an average, it is strongly influenced by the loudest events occurring during the time period because these loudest events contain most of the sound energy.

Other common metrics indicate the sound level exceeded a certain percentage of time. The  $L_{90}$  is the sound level that is exceeded 90% of the time and is representative of average continuous noise without influence from short-term noise events.

### **Noise Ordinance**

The section of Code of Ordinances of Hudsonville, Michigan (COHM) addressing noise is regarding disturbances of the peace. Below is an excerpt from Article V of the COHM. Note that normal conversation levels between people are around 60 dBA on average.

#### **Sec. 16-49. Disturbance of the peace.**

It shall be unlawful for any person to:

- (4) Willfully create any noise originating from a residence or business between the hours of 9:00 p.m. and 7:00 a.m. which is unreasonably loud under the circumstances. Such noise will be considered unreasonably loud under the circumstances if:
  - a. Such noise is clearly audible at a distance of fifty (50) feet from the property line of that residence or business;
  - b. At a distance of fifty (50) feet from the property line such noise is louder than that of a normal conversation between two (2) people; and
  - c. Such noise would be unreasonably loud and disturbing to the average member of the community under the circumstances.

It is important to note that the time period specified in the COHM falls outside of the Tommy Car Wash normal operating hours (7 a.m. to 9 p.m.). Additionally, these types of qualitative descriptions do not provide any quantitative acoustical criteria for comparison or enforcement. However, based on Table 2, we can quantify the noise levels of normal conversation between two people as typically ~60 dBA.

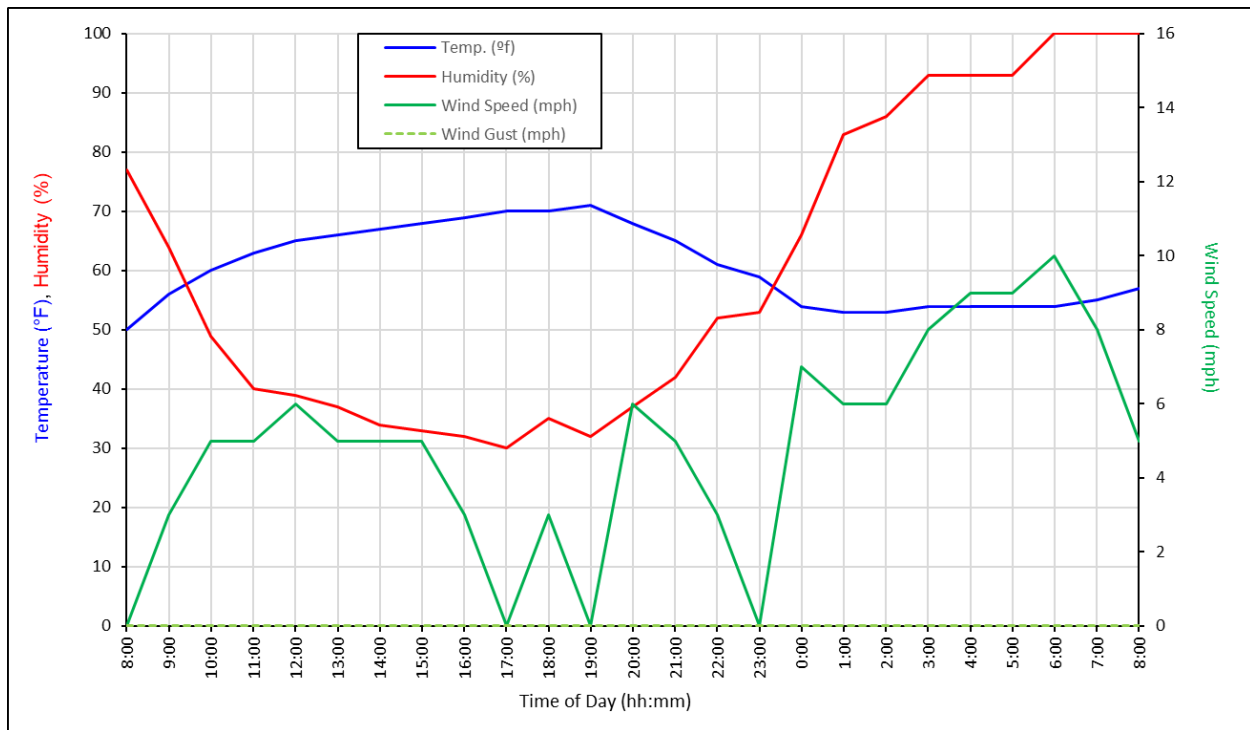
### **Noise Study**

To determine the existing sound levels at the Hudsonville Tommy Car Wash site, ABD performed long-term sound level measurements over a 24-hour period. The noise study was started on May 30, 2024, at 8:00 a.m. and was concluded on May 31, 2024, at 8:00 a.m. This time frame was chosen to capture ambient data during and outside of the Tommy Car Wash operating hours of 7 a.m. to 9 p.m. We have presented the hourly, 1-minute, and in some cases, 1-second  $LA_{eq}$  depending on the variability of the noise source.

### Atmospheric Conditions

ABD performs noise measurements within the weather limitations specified in ANSI S12.9 *Quantities and Procedures for Description and Measurement of Environmental Sound* and S12.18 *Outdoor Measurement of Sound Pressure Level* for environmental noise measurements. Data measured during higher wind speeds risk reliability contamination due to wind noise on the microphone, and repeatability limitations due to the directionality of the receiver relative to the noise source. High wind speeds were only present for a one-hour period before business hours on May 31, 2024 during the measurement period.

The environmental conditions were obtained from [www.wunderground.com](http://www.wunderground.com) for the Gerald R. Ford International Airport Weather Station (KMIGRAND151), in Grand Rapids, MI. Figure 1 summarizes the weather parameters during the measurement period.



**Figure 1: Environmental Conditions During Noise Study on May 30, 2024**

### Long Term Measurements

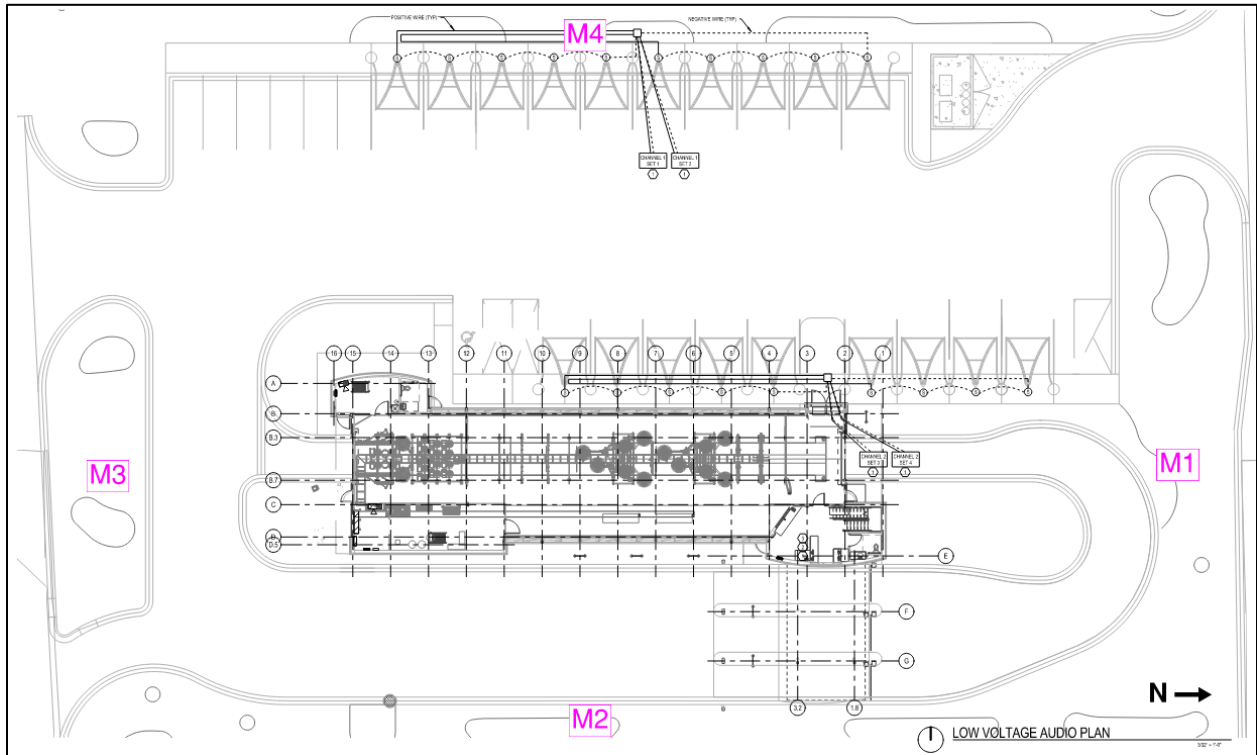
To determine the existing outdoor noise levels at the site, ABD conducted long term sound level measurements at three locations as seen in Figure 2 and described below:

**Location M1:** east property line, near entrance to car wash

**Location M2:** south, along 32<sup>nd</sup> Ave

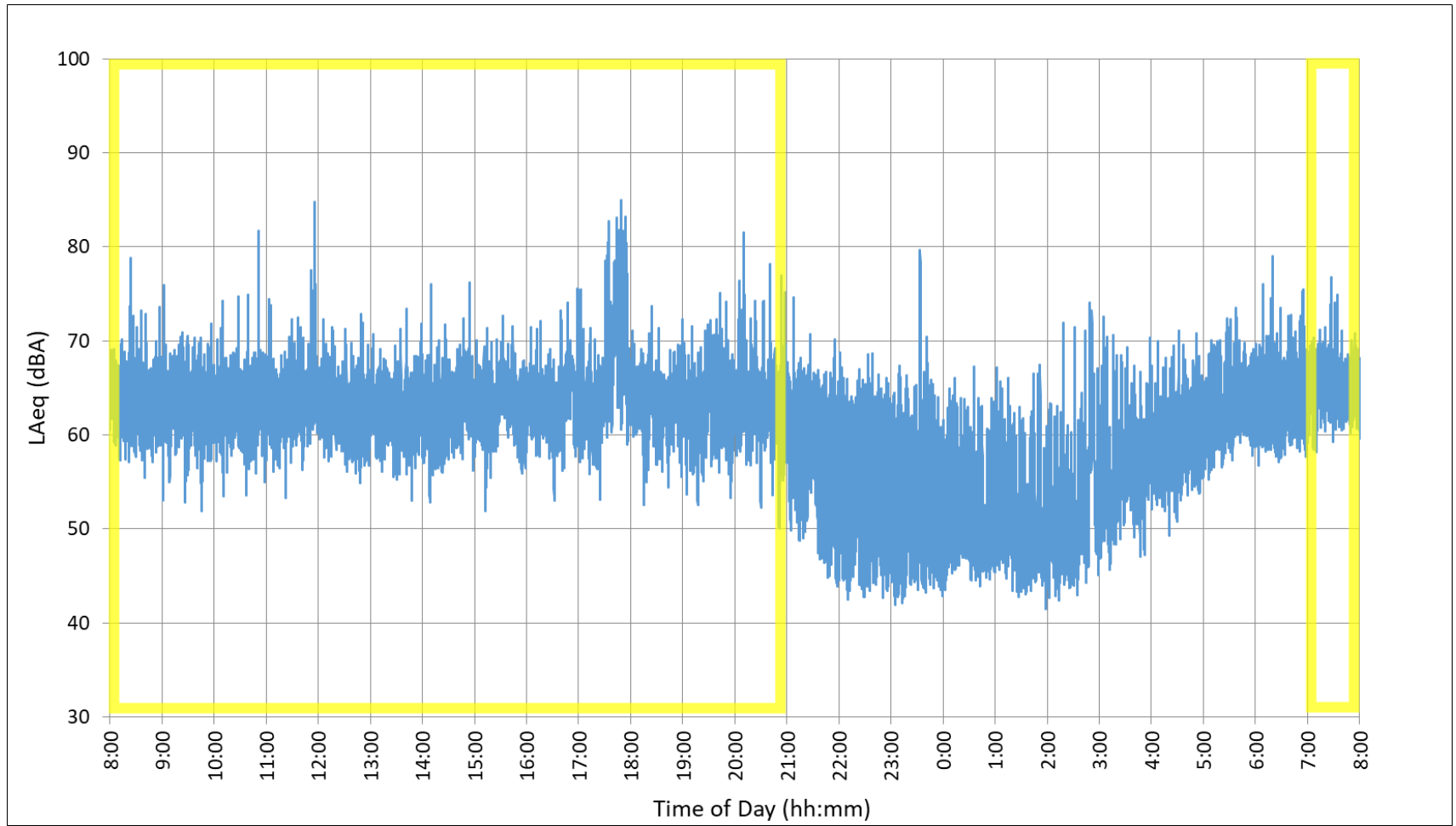
**Location M3:** west property line, near exit of car wash

**Location M4:** north, near vacuums

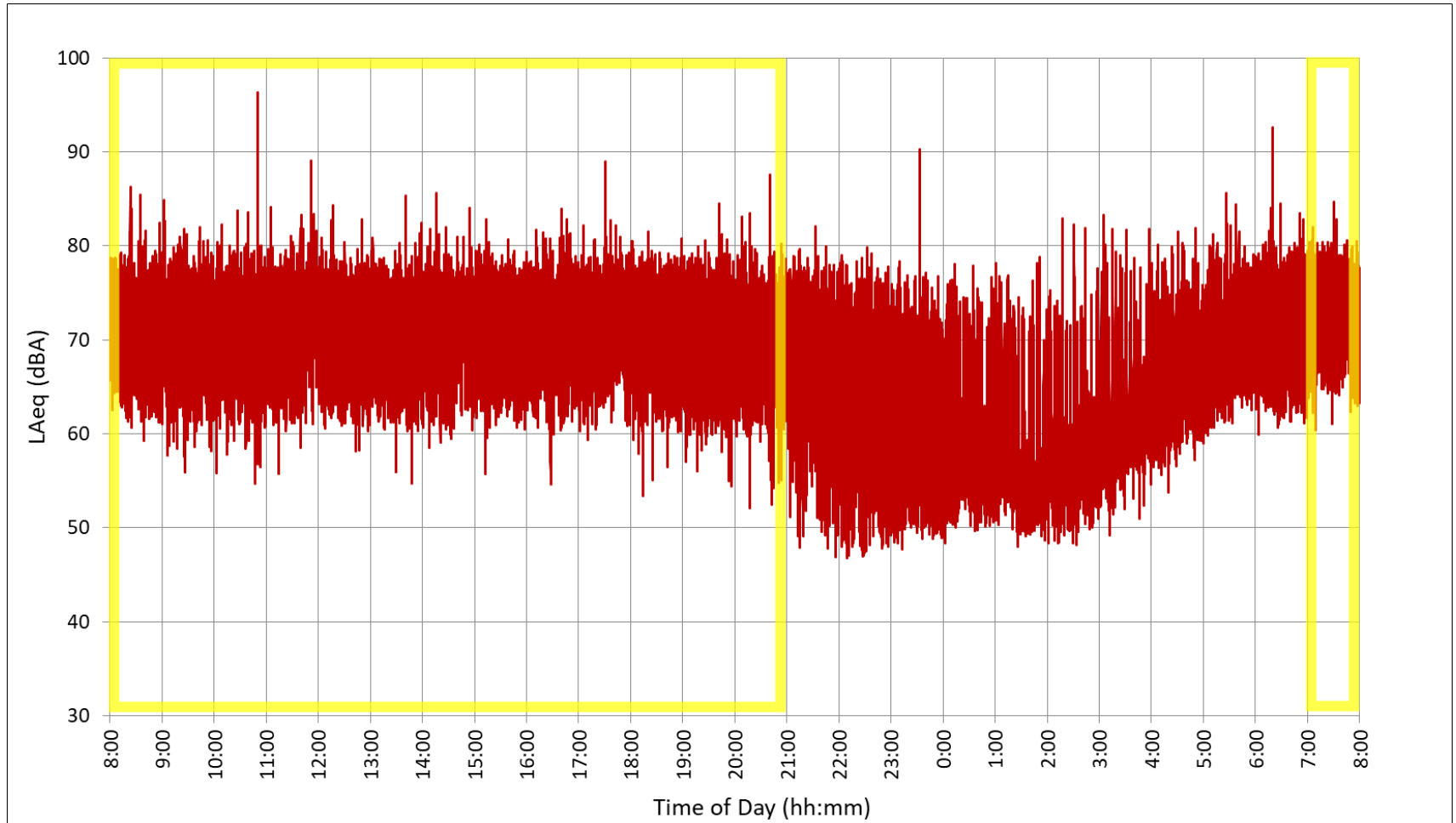


**Figure 2: Hudsonville Site Plan with Long-Term Measurement Locations**

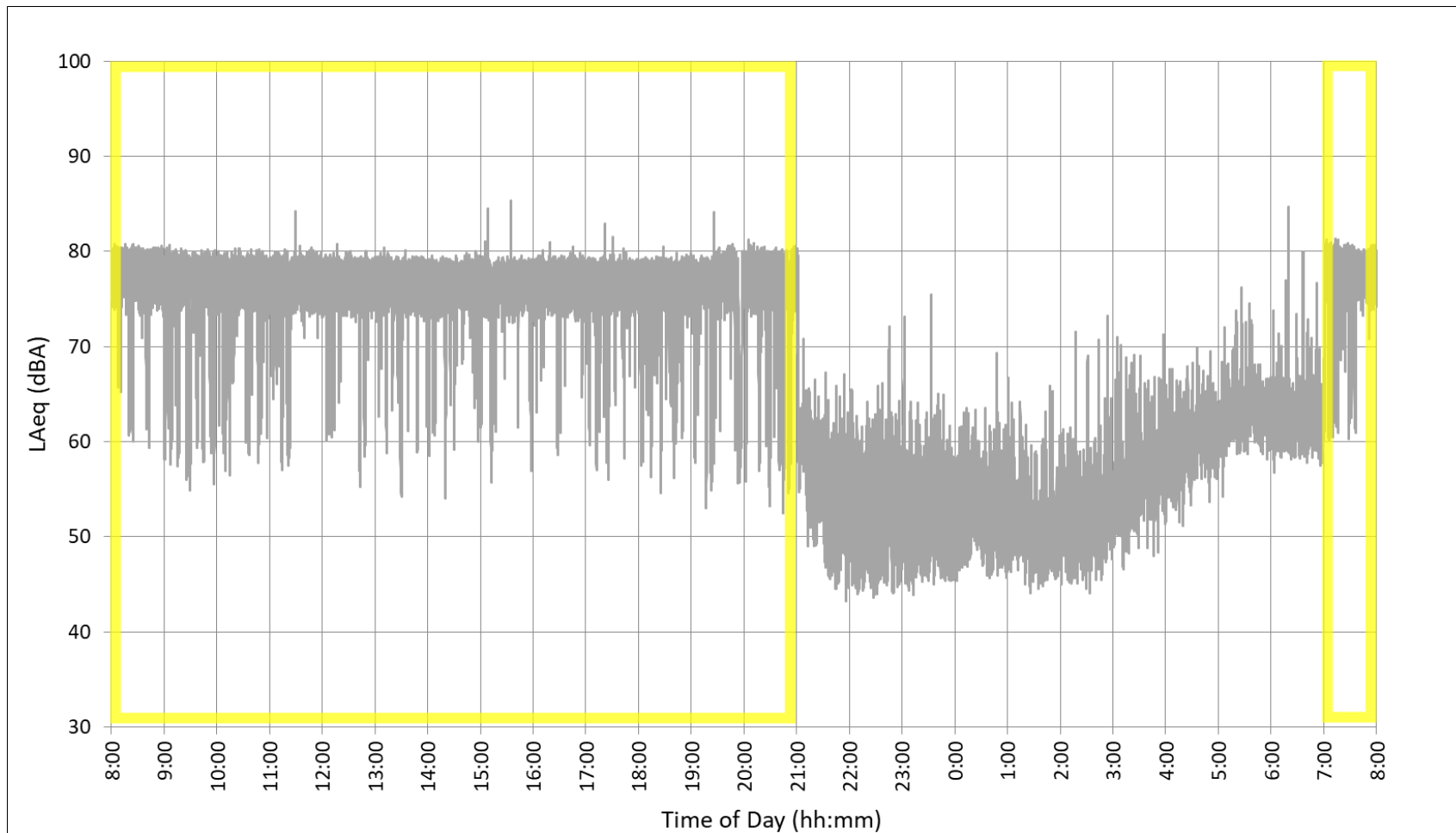
The long-term measurements (M1 – M4) were taken using the Soft dB Piccolo II sound level meters located at the four sides of the car wash (shown in magenta in Figure 2). All meters were set to run with a 1-second sampling interval and using exponential (slow) detector integration. The time-history results of these long-term measurements are shown in Figures 3 through 6 in terms of 1-second  $LA_{eq}$  sound levels over the 24-hour measurement period. The operating hours of the TCW are highlighted by the yellow box.



**Figure 3: Location M1 (Car Wash Entrance) – 1-Second LAeq Sound Levels**



**Figure 4: Location M2 (32<sup>nd</sup> Ave) – 1-Second LAeq Sound Levels**



**Figure 5: Location M3 (Car Wash Exit) – 1-Second LAeq Sound Levels**

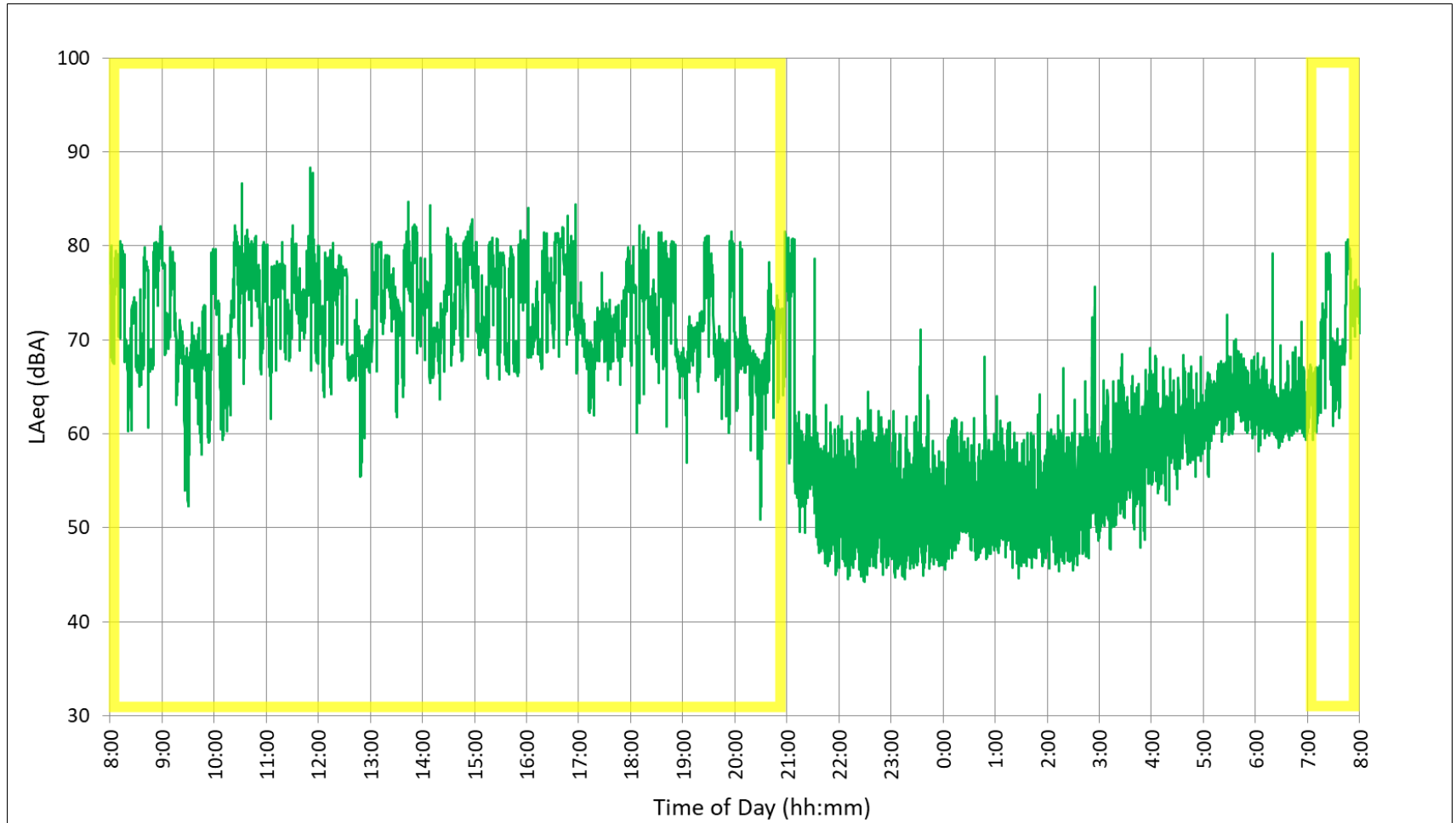


Figure 6: Location M4 (Vacuums) – 1-Second LAeq Sound Levels

As the figures above show, noise levels were significantly higher during the daytime while the car wash is in operation. Locations M1, M2, and M3 are close to 32<sup>nd</sup> Ave and influenced by traffic noise, with M2 being closest. Despite the noise from 32<sup>nd</sup> Ave, all measurement locations show noticeable noise impact during the car wash operation. Location M4 is located by the vacuums on the north side of the Tommy Car Wash and is shielded from traffic noise by the building. The maximum peaks in noise levels throughout the day are identifiable as emergency vehicles, and the elevated levels at M1 between 5 pm and 6 pm on May 30<sup>th</sup> are likely caused by activity near the Piccolo II meter M1 and unrelated to normal TCW operations.

Figure 3 shows the car wash noise levels at the entrance of the TCW. While the noise from inside the car wash generates significant noise levels at the entrance, the noise levels at M1 are not consistent. Noise levels at the car wash exit, shown in Figure 5, are consistently higher, around 77 to 80 dBA during operating hours, due to the blowers. Noise levels at M1 and M3 drop to nighttime ambient levels once TCW is closed, showing direct correlation between the heightened noise levels and operating hours.

Figure 5 shows the impact of traffic noise near 32<sup>nd</sup> Ave to the south of TCW and shows daytime levels between 55-80 dBA during operating hours, depending on traffic volume throughout the day.

Figure 6 shows the measured noise levels near the vacuums to the north of the TCW building at the M4 position. Traffic noise is largely absent at this position, and the measured noise levels vary significantly due to inconsistent vacuum usage by customers. Noise from the car wash building is also much lower at M4, and noise drops to ambient nighttime levels once TCW is closed.

### Short Term Measurements

In 2020, ABD completed measurements at this TCW location to capture short term measurements of the main noise-generating equipment. These measurements captured the frequency content of each of these noise sources and overall A-weighted noise levels (dBA) of the car wash operation.

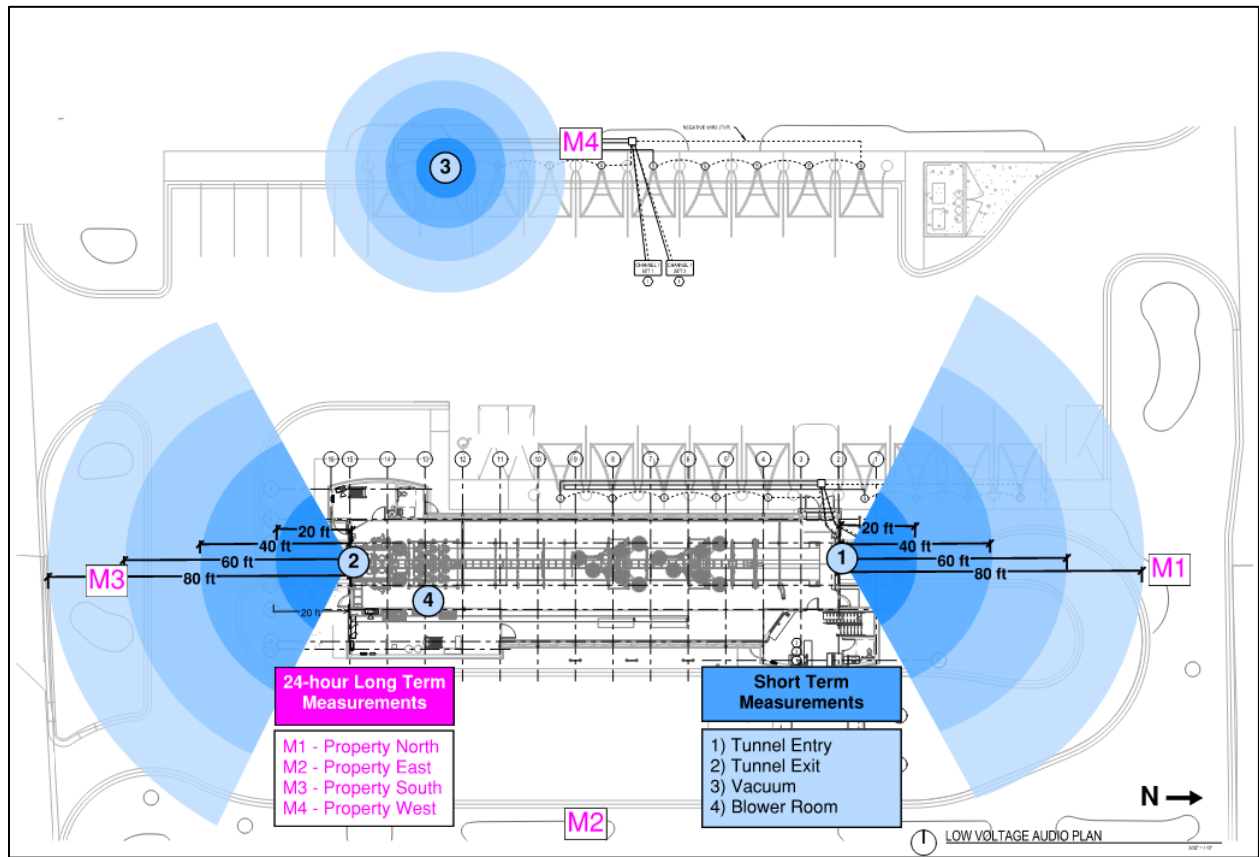
The blowers and vacuums have been updated at the Hudsonville location and will be the new basis of design for future TCW locations. To determine the noise levels of this updated equipment at the site, ABD conducted sound level measurements using Larson Davis 831 sound level meters at the locations described and seen in Figure 7 below:

**Location 1:** Tunnel Entry

**Location 2:** Tunnel Exit

**Location 3:** Vacuums

**Location 4:** Blower Room



**Figure 7: Site Plan with Short Term Measurement Locations**

The main contributors of noise are the blowers, which generate significant noise at the exit of the car wash; the vacuums, which operate outside the car wash and can collectively add significant noise in the parking lot; and the entry where cars are being washed and announcements are taking place. The exit noise created by the blowers is the primary noise source and generates noise far above the ambient background noise when the car wash is not in operation.

Table 3 below shows the short-term measurement results at key areas during the 2020 and 2024 measurements.

**Table 3: Short-Term Measurement Comparison 2020 vs 2024**

#	Location	2020 Measured Sound Pressure Level (dBA)	2024 Measured Sound Pressure Level (dBA)
1a	Tunnel Entry (0 ft)	86	84
1b	Tunnel Entry (40 ft)	70	69
1c	Tunnel Entry (80 ft)	n/a	65
2a	Tunnel Exit (0 ft)	95	101
2b	Tunnel Exit (40 ft)	83	86
2c	Tunnel Exit (80 ft)	79	78
3a	Vacuum	81	78
3b	Vacuum (60 ft)	73	69
4	Blower Room	106	104
5	Ambient at Exit (80 ft)	n/a	53

As the table indicates, the noise levels at the car wash entry are slightly lower, but a 1-2 dBA difference is not noticeable to an average listener. The 2024 blower noise levels at the tunnel exit are 5-6 dBA higher than 2020 measured noise levels. As stated by Table 1 in the Acoustical Terminology section, this increase in noise level is clearly noticeable. However, as indicated by the 40 ft and 80 ft measurements, the blower noise levels decrease with distance to 78 dBA, which is close to the 2020 noise levels. We note that 15 of the total 18 blowers were active during measurements. If all 18 blowers are operating simultaneously, we predict a 1 dB increase in the noise levels at the exit, which is not a noticeable increase but may be impactful for meeting noise level limits set by local noise ordinances.

Although these noise levels at 80 ft are similar, they are still 20-25 dBA louder than the measured background noise levels. For the 2024 Hudsonville ambient noise levels, we measured 53 dBA with no car wash operation and only light traffic. During this early morning condition, the resulting increase in noise level with the operating blowers is significantly louder and exceeds some noise limits of city noise ordinances, such as the Byron Center noise ordinance.

**Conclusion**

Since the COHM does not specify quantifiable limits on noise levels at property lines during daytime hours, it is not possible to confirm if the measured noise levels would constitute a violation of the ordinance. Note that the COHM specifies that noise levels are not to exceed normal conversation levels between the hours of 9 p.m. and 7 a.m., when TCW is closed.

While the COHM may not technically apply, the noise levels at the TCW exit are significantly high, with the blowers being the main source. During car wash operation, the blowers consistently generate approximately 80 dBA at the property line. Due to the high level of noise generated by the blowers, we recommend providing mitigation to reduce the noise level at the property line, so that there are fewer disturbances to neighboring properties. Possible mitigation strategies include noise barriers, adding absorptive materials at the blower area, modifying how the blowers are utilized, or installing quieter blowers. If it is desired to analyze and develop these mitigation strategies, we will analyze potentially achievable noise reductions in Phase 2: Mitigation Recommendations upon approval.

Finally, note that our comments only apply directly to acoustics; we cannot comment on such things as local codes, ordinances, electrical systems, fire suppression systems, or any other non-acoustic issues. Our recommendations should be reviewed by the appropriate design professionals for code compliance before they are implemented.

If you have any questions, please contact us.

Sincerely,

ABD Engineering & Design, Inc.

Per:



John Kramer  
*Acoustical Consultant*



Quincey Smail, INCE Bd. Cert.  
*Senior Acoustical Consultant*

cc: Melinda Miller, Marci Boks – ABD Engineering & Design



Tommy Car Wash Systems | 581 Ottawa Ave. | Holland, MI 49423 | [tommycarwash.com](http://tommycarwash.com)

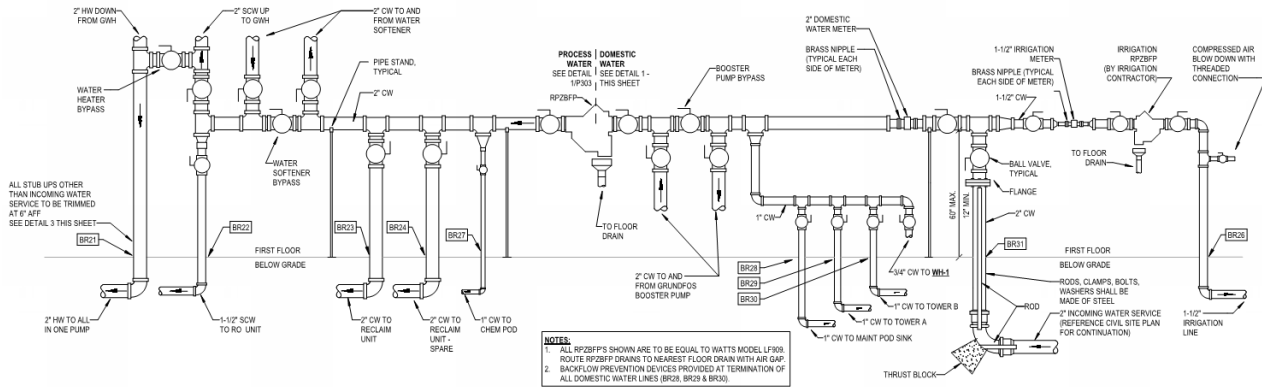
### Tommy Car Wash Systems – Water Usage and Discharge Report

The following information is based on a study conducted at a standard 130’ Tommy Express facility over the course of a six-month period from 7/1/20 to 12/31/20 at our Tommy’s Express Hudsonville, MI location. This site uses the typical reverse osmosis water purification system and water reclamation system (reclaim) used in all our sites. The belt speed during this study was set to 72Hz which has the capacity to process 223 vehicles per hour. The test site is a “busier” site with high process speed.

#### Water used

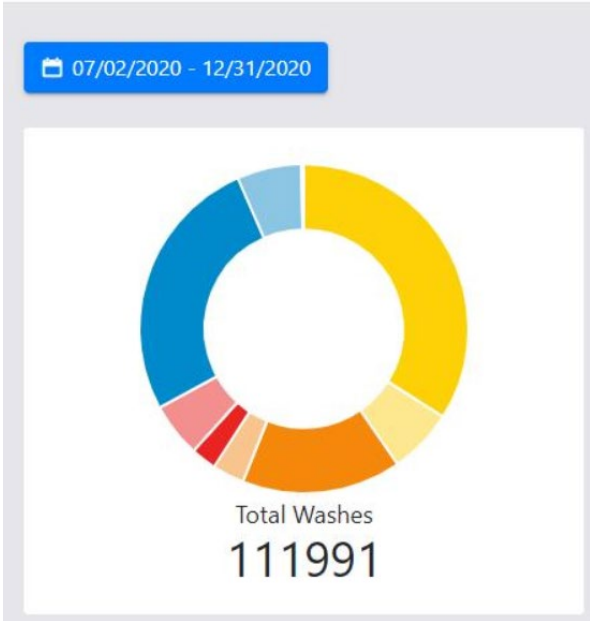


The average gallons used at this site per month is 336,040. This information was recorded directly from the process water flow meter consistently over the six-month period from July 1 through December 31 of 2020. Our design isolates the irrigation system from car wash process water. Domestic water is included in the flow measurements.



2 DOMESTIC WATER ENTRANCE NOT TO SCALE

**The total cars washed**



This report is directly from our site point of sale system on site. While showing several different wash packages, it projects the typical averages seen at other sites over the same period.

**Reverse Osmosis & RO Reject Water Usage**

City water is fed into our reverse osmosis system to remove contaminants and provide spot-free water with very low Total Dissolved Solids (TDS). This water is used for the final Spot-Free Rinse and is stored in a tank. Reject water from the RO system is used in the High-Pressure Rinse earlier in the Tommy Tunnel. This water is also stored in a tank.

Our per vehicle application volume factors these applications into total.

**Reclaim Water Usage**

The reclaim system in the Tommy Tunnel collects, treats, and reuses water that enters the pit below the tunnel. This water is reused in the Tommy Tunnel for Pre-Blasters, High Pressure Wheel Blasters, and Conveyor Flush. The Conveyor Flush reclaim water goes right back into the pit and reclaim system so is not included. The following table outlines reclaim usages in the tunnel with 13.81-gallons of reclaim water used per vehicle. The total number was verified with a flow meter.

Function	Flow Rate (GPM)	PLC Timing Information			Application Time (seconds)	Water Amount Used (Gallons)		
		START Front	STOP Rear	Application Length (inches)				
Pre-Blasters	24				10.9	4.36		
High Pressure Pump 1	15	29	30	281	19.2	4.81		
High Pressure Pump 2	15	24	23	271	18.6	4.64		
						<b>13.81</b>	<b>= Total Reclaim Water</b>	

**Attrition – Carryout and Evaporation**

Studies\* have been done nationally on what the carwash industry calls carryout and evaporation (C&E). The consistent C&E average is 20% nationwide and is not shown to be environmentally biased. This factor is applied to the total water usage per vehicle.

---

## Conclusions

Based on the previous data, the **average city water usage** per vehicle is **18 gallons per vehicle = 2,016,239 gallons / 111,991 vehicles**. This includes RO/Reject water due to these functions feeding from prefilled tanks which are filled in the first day of operation.

Additionally, we use 13.81 gallons per vehicle of **reclaim water**. This brings our **total water per vehicle** to **31.81 gallons per vehicle = 18 city water + 13.81 reclaim**. Reclaim water is used for 43% of our car washing.

Reclaim water is constantly in rotation in our system with tanks filled in first day of operation. The city water usage is higher than the reclaim so it is appropriate to conclude the city water is a proper pass-through volume per car less the effect of attrition. With attrition (C&E) applied to total water volume used per vehicle, the **reclaimed volume per vehicle** is then **25.45 gallons per vehicle = 18 city + 13.81 reclaim x 0.80 percent**. 13.81 gallons of the reclaimed water refills the tanks which leaves **total discharge per vehicle** at **11.59 gallons per vehicle = 24.45 reclaimed – 13.81 reclaim replaced**.

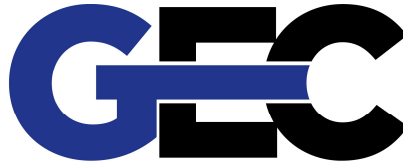
## Summary

City water used per vehicle = **18 gallons**

Discharge water per vehicle = **11.59 gallons**

[\\*Brown, Chris. 2018. Water Use, Evaporation and Carryout – ICA 2018](#)

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Portage, WI 53901



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[www.generalengineering.net](http://www.generalengineering.net)

*Engineers • Consultants • Inspectors*

February 20, 2026

**VIA EMAIL**

City of Watertown  
Maureen McBroom, Stormwater Project Manager  
106 Jones Street  
Watertown, WI 53094

Re: Site Stormwater Management  
Proposed Tommy's Car Wash  
Tax Parcel 291-0815-0932-009  
City of Watertown  
GEC # 01-25000-677

The proposed development involves redevelopment of the existing Scrambled Yolk restaurant site in the City of Watertown, WI. The current site consists of a restaurant building, associated parking, sidewalks, and accessory storage sheds. All existing improvements will be razed to allow construction of a new car wash facility and related site improvements.

The proposed site layout includes approximately 24,310 square feet of paved area and 4,612 square feet of building area. The redevelopment results in an approximate reduction of 8,000 square feet of impervious surface compared to existing conditions. Given the net decrease in impervious area, the proposed development is not expected to increase stormwater runoff from the site.

Total land disturbance associated with this redevelopment is less than one acre; therefore, the project is not subject to state or municipal post-construction stormwater management requirements. Stormwater runoff from the majority of the site will be conveyed via overland flow to proposed inlets located throughout the development. A small portion of the site will continue to drain toward the S. Church Street entrance, consistent with existing drainage patterns. An existing trench drain at this location currently captures runoff and, based on its performance under existing conditions and the overall reduction in impervious area, is expected to remain adequate for the proposed redevelopment.

Collected stormwater will discharge via storm sewer to the existing storm manhole located along the south side of the site. Based on available information, no known downstream capacity concerns exist. With the overall reduction in impervious surface, the existing storm infrastructure is expected to adequately convey runoff from the redeveloped site.

Overall, the proposed redevelopment maintains existing drainage patterns, reduces total impervious area, and continues to utilize the existing storm sewer infrastructure without adversely impacting surrounding properties.

Yours truly,

**GENERAL ENGINEERING COMPANY**

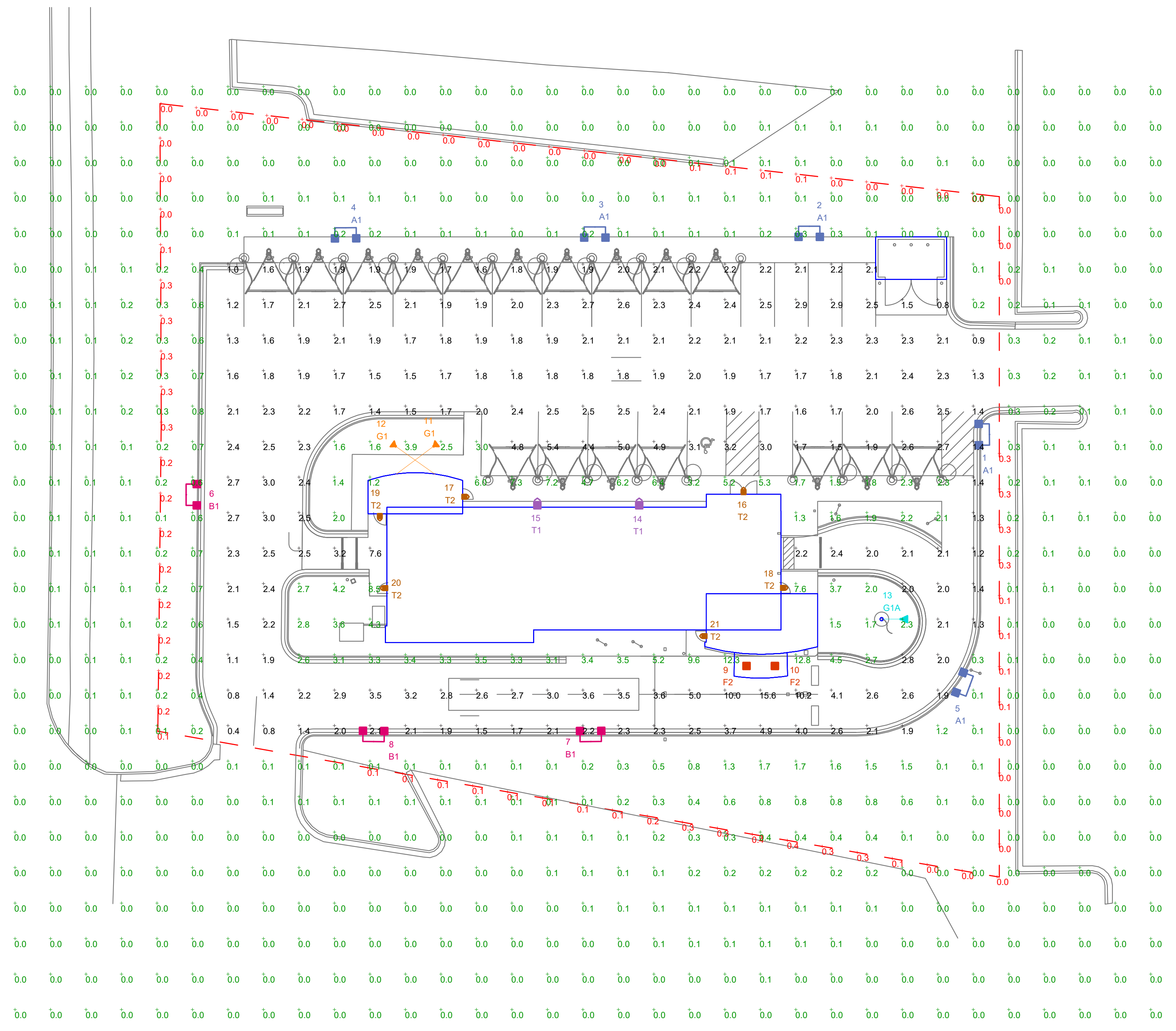
Kory D. Anderson, P.E  
Project Engineer

**Portage • Black River Falls • La Crosse**



Consulting Engineering • Structural Engineering • Building Design • Environmental Services • Building Inspection • GIS Services  
Grants & Funding Services • Land Surveying • Zoning Administration • Mechanical, Electrical, & Plumbing Services





THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

NOTE:  
 - AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES  
 - FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE.

LUMINAIRE LOCATION SUMMARY				
LUM NO.	LABEL	MTG. HT.	Tilt	
1	A1	20	0	
2	A1	20	0	
3	A1	20	0	
4	A1	20	0	
5	A1	20	0	
6	B1	20	0	
7	B1	20	0	
8	B1	20	0	
9	F2	15	0	
10	F2	15	0	
11	G1	1	130.179	
12	G1	1	129.228	
13	G1A	1	169.608	
14	T1	15	0	
15	T1	15	0	
16	T2	9	0	
17	T2	9	0	
18	T2	9	0	
19	T2	9	0	
20	T2	9	0	
21	T2	9	0	

CALCULATION SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	2.39	15.6	0.4	5.98	39.00
PROPERTY LINE	0.11	0.4	0.0	N.A.	N.A.
UNDEFINED	0.41	12.8	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	DIMMING FACTOR	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	5	A1	Twin	8523	1.040	0.370	B0-U0-G3	28	280	Lithonia Lighting	DSX0-LED-P4-50K-BLC4-70CRI-MVOLT-MA-FAO-XX (SETTING 2)
	3	B1	Twin	8964	1.040	0.370	B0-U0-G2	28	168	Lithonia Lighting	DSX0-LED-P4-50K-BLC3-70CRI-MVOLT-MA-FAO-XX (SETTING 2)
	2	F2	Single	6337	1.040	1.000	B2-U0-G1	38.54	77.08	Lithonia Lighting	PCNY LED ALO2 SWW2 50K FPCL MVOLT DWHXD M3 (SETTING 2)
	2	G1	SINGLE	5011	1.000	1.000	B2-U0-G0	34.31	68.62	Lithonia Lighting	ESXF1-ALO-5,000L-SWW2-5000K-KY-DDB
	1	G1A	SINGLE	7170	1.040	1.000	B2-U0-G2	51.34	51.34	Lithonia Lighting	RSXF1-LED-P1-50K-WFL-MVOLT-IS-DNAXD
	2	T1	SINGLE	4152	1.040	1.000	B1-U0-G1	29.4252	58.85	Lithonia Lighting	ARC2-LED-P4-50K-MVOLT-DNAXD
	6	T2	SINGLE	1598	1.040	1.000	B0-U0-G1	10.6112	63.667	Lithonia Lighting	ARC2-LED-P1-50K-MVOLT-E4WH-DNAXD

QTY	LABEL	DESCRIPTION
5	A1	DSXO-LED-P4-50K-BLC4-70CRI-MVOLT-MA-FAO-XX (SETTING 2)
3	B1	DSXO-LED-P4-50K-BLC3-70CRI-MVOLT-MA-FAO-XX (SETTING 2)

ADDITIONAL FIXTURE INFO

### D-Series Size 0 LED Area Luminaire

**Specifications**

EPA: 0.44 ft<sup>2</sup> (0.041 m<sup>2</sup>)  
 Length: 18.1" (457 mm)  
 Width: 14.6" (370 mm)  
 Height H1: 2.26" (57 mm)  
 Height H2: 7.42" (188 mm)  
 Weight: 23.65 (541 lbs)

**Introduction**

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA NLJARD PIRHN DBX0

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Height	Accessories
DSX0	P1 P2 P3 P4 P5 P6	40K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None

### Ordering Information

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA NLJARD PIRHN DBX0

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Height	Accessories
DSX0	P1 P2 P3 P4 P5 P6	40K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None

QTY	LABEL	DESCRIPTION
2	F2	PCNY LED AL02 SSW22 50K FPCL MVOLT DWHXD M3 (SETTING 2)

ADDITIONAL FIXTURE INFO

### PCNY LED LED Canopy/Ceiling Luminaire

**Specifications**

Width: 19.4"  
 Height: 15.2"  
 Weight: 10.67 lbs

**Introduction**

The all-new PCNY LED luminaire is designed to provide exceptional energy savings and versatility in one package. Features such as Adjustable Lumen Output (ALCO) and replaceable decorative cover make PCNY LED suitable for a wide variety of applications.

**Ordering Information**

EXAMPLE: PCNY LED AL01 50K FPCL MVOLT DWHXD M3

Casting	Lumens	CT	CR	CRF	PC	Flt	Wt/Lgt	Color	Code	SPC	SPC	SPC	SPC	SPC
PCNY LED AL01 50K FPCL MVOLT DWHXD M3	7,500-13,000	50K	90CRI	PC	Flt <td>Flt</td> <td>15.2" / 19.4"</td> <td>White</td> <td>Master-Pak 3</td> <td>20780A</td> <td>19079919488</td> <td>36</td> <td></td> <td></td>	Flt	15.2" / 19.4"	White	Master-Pak 3	20780A	19079919488	36		

### Ordering Information

EXAMPLE: PCNY LED AL01 50K FPCL MVOLT DWHXD M3

Casting	Lumens	CT	CR	CRF	PC	Flt	Wt/Lgt	Color	Code	SPC	SPC	SPC	SPC	SPC
PCNY LED AL01 50K FPCL MVOLT DWHXD M3	7,500-13,000	50K	90CRI	PC	Flt <td>Flt</td> <td>15.2" / 19.4"</td> <td>White</td> <td>Master-Pak 3</td> <td>20780A</td> <td>19079919488</td> <td>36</td> <td></td> <td></td>	Flt	15.2" / 19.4"	White	Master-Pak 3	20780A	19079919488	36		

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QTY	LABEL	DESCRIPTION
2	G1	ESXF1-ALO-5,000L-SWW2-5000K-KY-DDB

ADDITIONAL FIXTURE INFO

### Contractor Select ESXF LED Floodlights

**Specifications**

Depth (D1): 2.1" (52 mm)  
 Length: 20.7" (526 mm)  
 Width: 13.3" (338 mm)  
 Height: 3.0" (76 mm) Main Body  
 Weight: 25 lbs (11.3 kg)

**Introduction**

The Lithonia Select ESXF LED floodlight is a general purpose flood that offers a wide selection of options and flexibility. Easy access to adjustable lumen output, color switching, and a selectable photometric beam from the ESXF allow the fixture you need for the job. With a wide field (74°) distribution and a 5000K color temperature, the ESXF is a cost-effective solution, great for illuminating yards, driveways, storage, utility, and security applications.

### Ordering Information

EXAMPLE: ESXF LED P4 40K WFL MVOLT IS DBX0

Series	Performance Package	Color Temperature	Distribution	Height	Options
ESXF LED	P1 P2 P3 P4 P5	40K	WFL	15.0'	None
		50K	WFL	15.0'	None
		50K	WFL	15.0'	None

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QTY	LABEL	DESCRIPTION
1	G1A	RSXF1-LED-P1-50K-WFL-MVOLT-IS-DNAXD

ADDITIONAL FIXTURE INFO

### RSXF1 LED Floodlight

**Specifications**

Depth (D1): 2.1" (52 mm)  
 Length: 20.7" (526 mm)  
 Width: 13.3" (338 mm)  
 Height: 3.0" (76 mm) Main Body  
 Weight: 25 lbs (11.3 kg)

**Introduction**

The new RSXF LED Flood family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSXF1 delivers 7,000 to 23,000 lumens allowing it to replace 70W to 400W HID floodlights.

### Ordering Information

EXAMPLE: RSXF1 LED P4 40K WFL MVOLT IS DBX0

Series	Performance Package	Color Temperature	Distribution	Height	Options
RSXF1 LED	P1 P2 P3 P4 P5	40K	WFL	15.0'	None
		50K	WFL	15.0'	None
		50K	WFL	15.0'	None

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QTY	LABEL	DESCRIPTION
2	T1	ARC2-LED-P4-50K-MVOLT-DNAXD
6	T2	ARC2-LED-P1-50K-MVOLT-E4WH-DNAXD

ADDITIONAL FIXTURE INFO

### ARC2 LED Architectural Wall Luminaire

**Specifications**

Depth (D1): 9.25"  
 Depth (D2): 7.5"  
 Height: 5"  
 Width: 14"  
 Weight: (without options) 11 lbs

**Introduction**

The Lithonia Lighting ARC2 LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

### Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DBX0

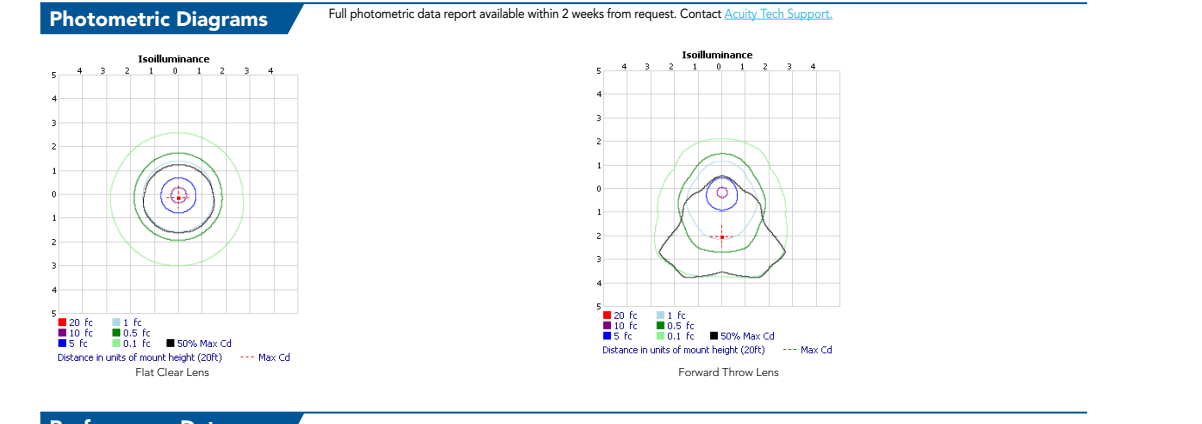
Series	Package	Color Temperature	Height	Options	Finish
ARC2 LED	P1 P2 P3 P4 P5	40K	15.0'	None	Black
		50K	15.0'	None	White
		50K	15.0'	None	White

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### Ordering Information

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA NLJARD PIRHN DBX0

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Height	Accessories
DSX0	P1 P2 P3 P4 P5 P6	40K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None
		50K	90CRI	T3M	15.0'	None



### Performance Data

Temperature	System Watts	Lumens/Wattage	Footcandle	Footcandle	Footcandle	Footcandle
0°C / 32°F	1.4	1.4	100%	100%	100%	100%
10°C / 50°F	1.41	1.41	100%	100%	100%	100%
20°C / 68°F	1.43	1.43	100%	100%	100%	100%
30°C / 86°F	1.46	1.46	100%	100%	100%	100%
40°C / 104°F	1.49	1.49	100%	100%	100%	100%

### Lumen Output Flat Polycarbonate Clear Lens (FPCL)

System Watts	System Watts	System Watts	System Watts	System Watts	System Watts
1000	1000	1000	1000	1000	1000

### Lumen Output Forward Three Lens (FTL)

System Watts	System Watts	System Watts	System Watts	System Watts	System Watts
1000	1000	1000	1000	1000	1000

### Contractor Select ESXF LED Floodlights

**Included mounting options by size**

- ESXF 100W mount (pole mount)
- ESXF 150W mount (pole mount)
- ESXF 200W mount (pole mount)
- ESXF 250W mount (pole mount)
- ESXF 300W mount (pole mount)
- ESXF 350W mount (pole mount)
- ESXF 400W mount (pole mount)
- ESXF 450W mount (pole mount)
- ESXF 500W mount (pole mount)

### Electrical Performance Tables

Lumens Output	Input Voltage	CT/Color	Delivered Lumens	Lumens Per Watt (LPW)
10,000	110V	5000K	10,000	100

### External Shields

**UVB UV - Top Mounted**  
**UVB UV - Bottom Mounted**  
**Full Visor - 360°**

**Pole/Mounting Information**

Accessories including ball joints, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to visit Accessories.

### Handhole Orientation

**Round Tenon Mount - Pole Top Slitters**

**Drill Site Location by Configuration Type**

**Minimum Size Pole by Mounting and Configuration Type**

**RSX Pole Drilling**

**RSXF Adjustable Arm**

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### Ordering Information

EXAMPLE: RSXF1 LED P4 40K WFL MVOLT IS DBX0

Series	Performance Package	Color Temperature	Distribution	Height	Options
RSXF1 LED	P1 P2 P3 P4 P5	40K	WFL	15.0'	None
		50K	WFL	15.0'	None
		50K	WFL	15.0'	None

### Performance Data

Temperature	System Watts	Lumens/Wattage	Footcandle	Footcandle	Footcandle	Footcandle
0°C / 32°F	1.4	1.4	100%	100%	100%	100%

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configuration shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Watts	Lumens	100'	50'	0'	0'	0'	0'	0'	0'	0'	0'	0'	
P1	17W	1,952	0.42	0	0	1	3,587	100	0	1	3,586	101	0	1

### Electrical Load

Performance Package	System Watts	120V	277V	347V
P1	17W	0.08	0.05	0.08

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### Performance Data

Temperature	System Watts	Lumens/Wattage	Footcandle	Footcandle	Footcandle	Footcandle
0°C / 32°F	1.4	1.4	100%	100%	100%	100%

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Performance Package	System Watts	Lumens
ESXF	605	1,413

### Lumen Ambient Temperature (LAT) Multiplier

Use these factors to determine relative lumen output for average ambient temperatures from 0°C (32°F) to 40°C (104°F).

Ambient	Lumen Multiplier
0°C	1.04
10°C	0.99
20°C	0.95
30°C	0.91
40°C	0.87

### Photometric Diagrams

**ARC2 LED P3 40K**

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 513-674-9500 | redleonard.com

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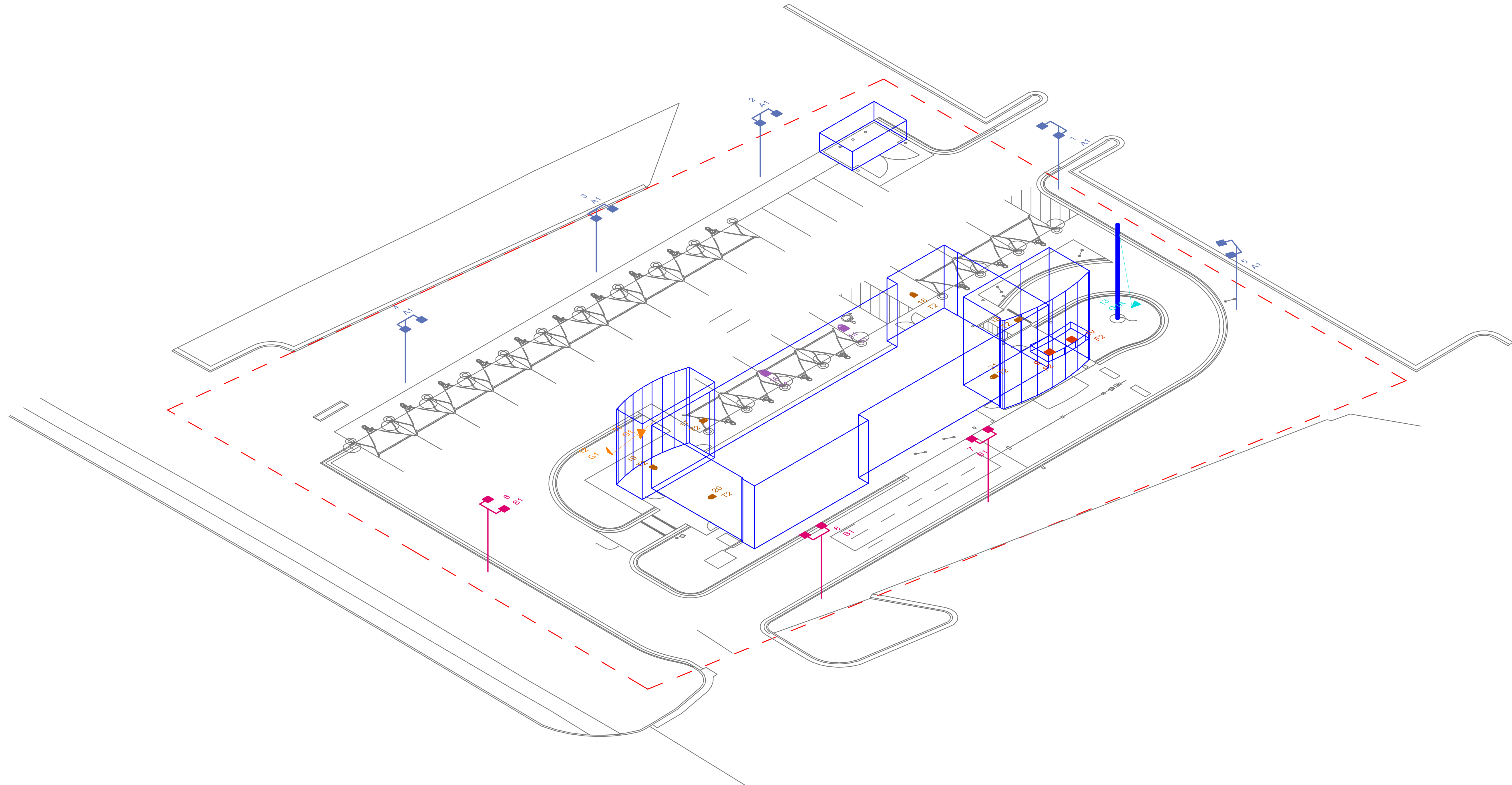
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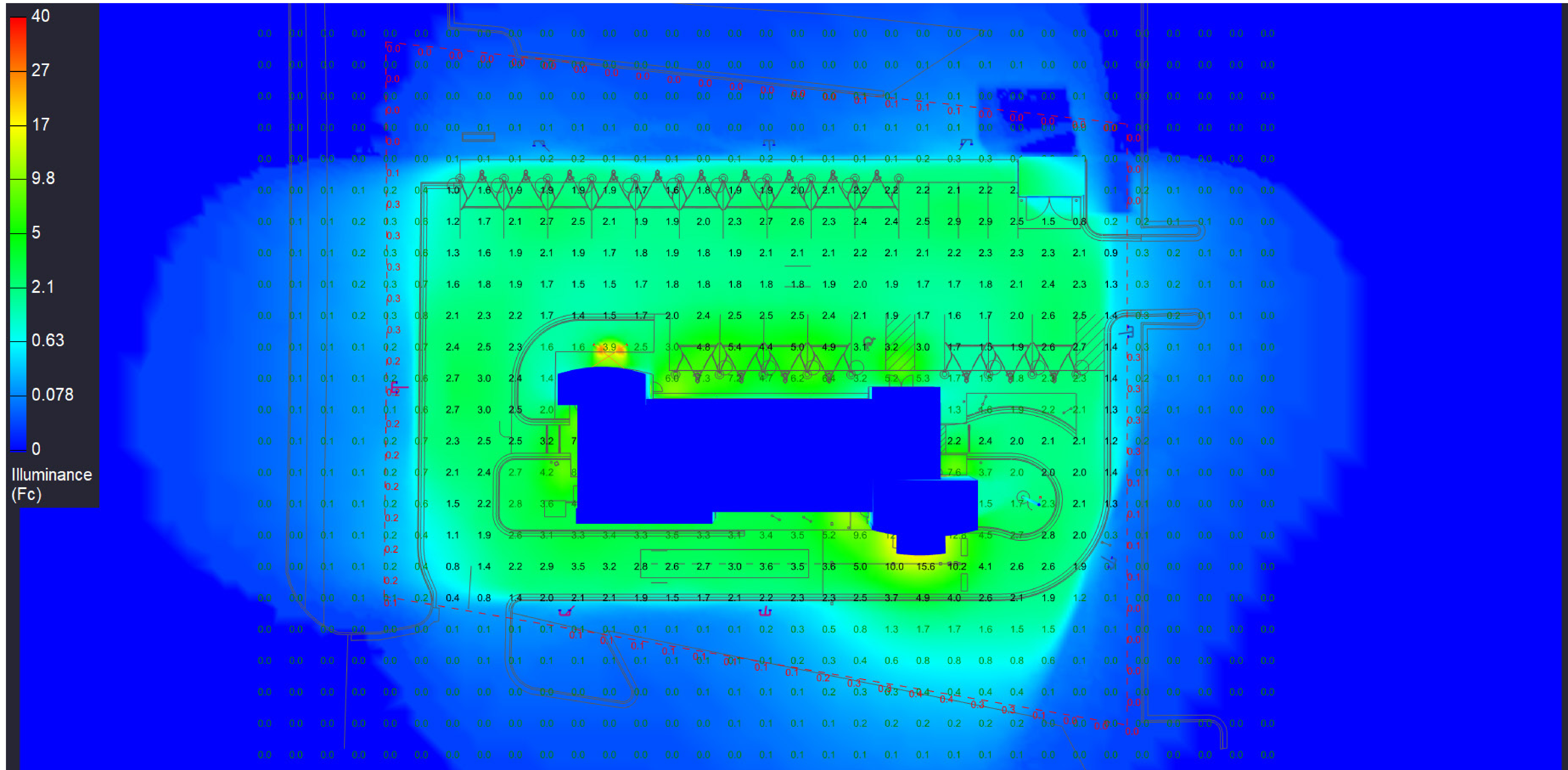
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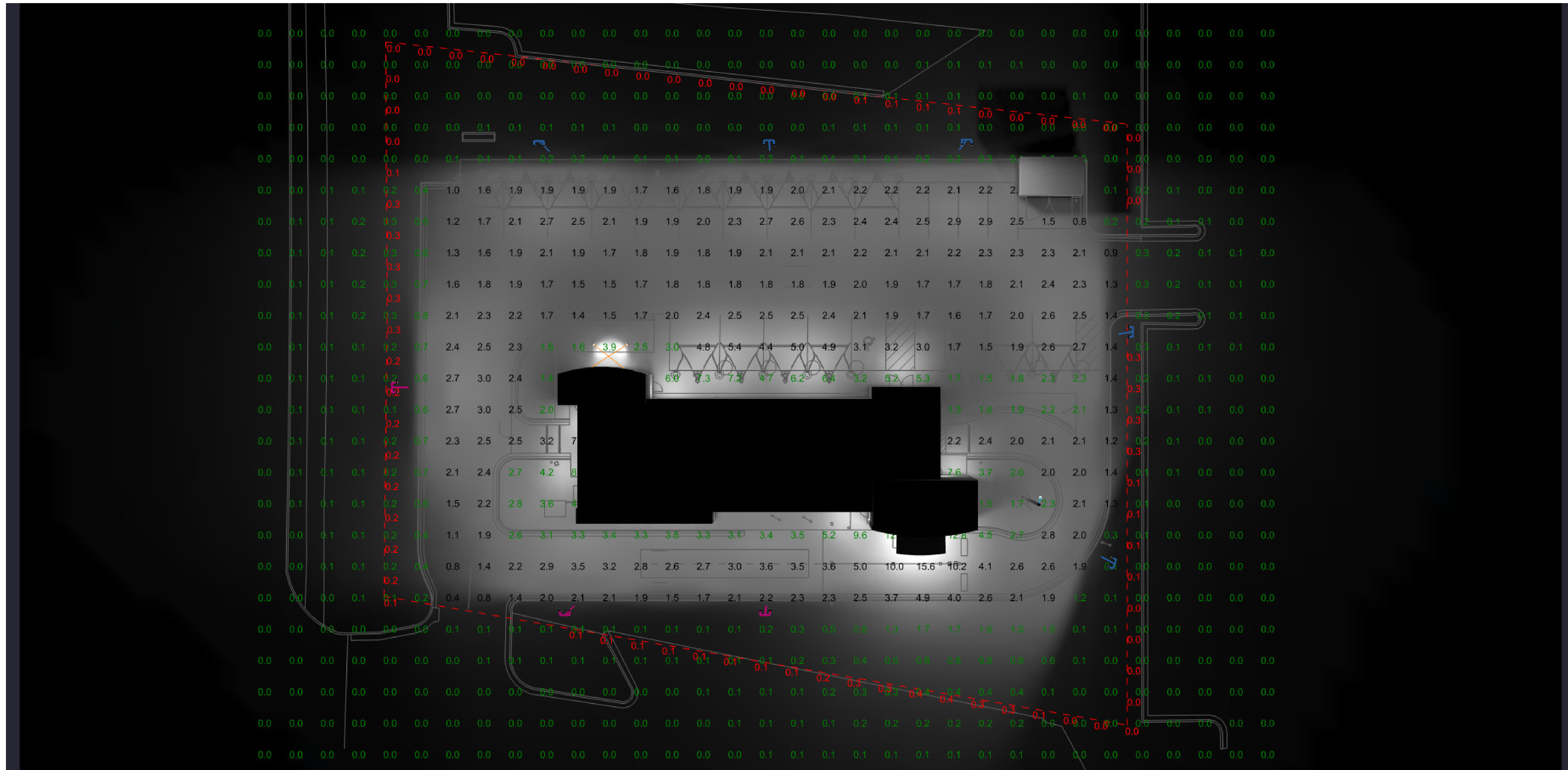
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PROJECT NAME: **TOMMY CAR WASH P4885**  
 WATERTOWN, WI  
 DRAWING NUMBER: **RL-11008-S1**






AREA	
	
CANOPY	
	
FLOOD	
	
FLOOD	
	
WALL MOUNTED	
	










	Municipal Boundary		Addresses
	Parcels Boundaries		Address Labels
	Common Areas		Parcel Acreage



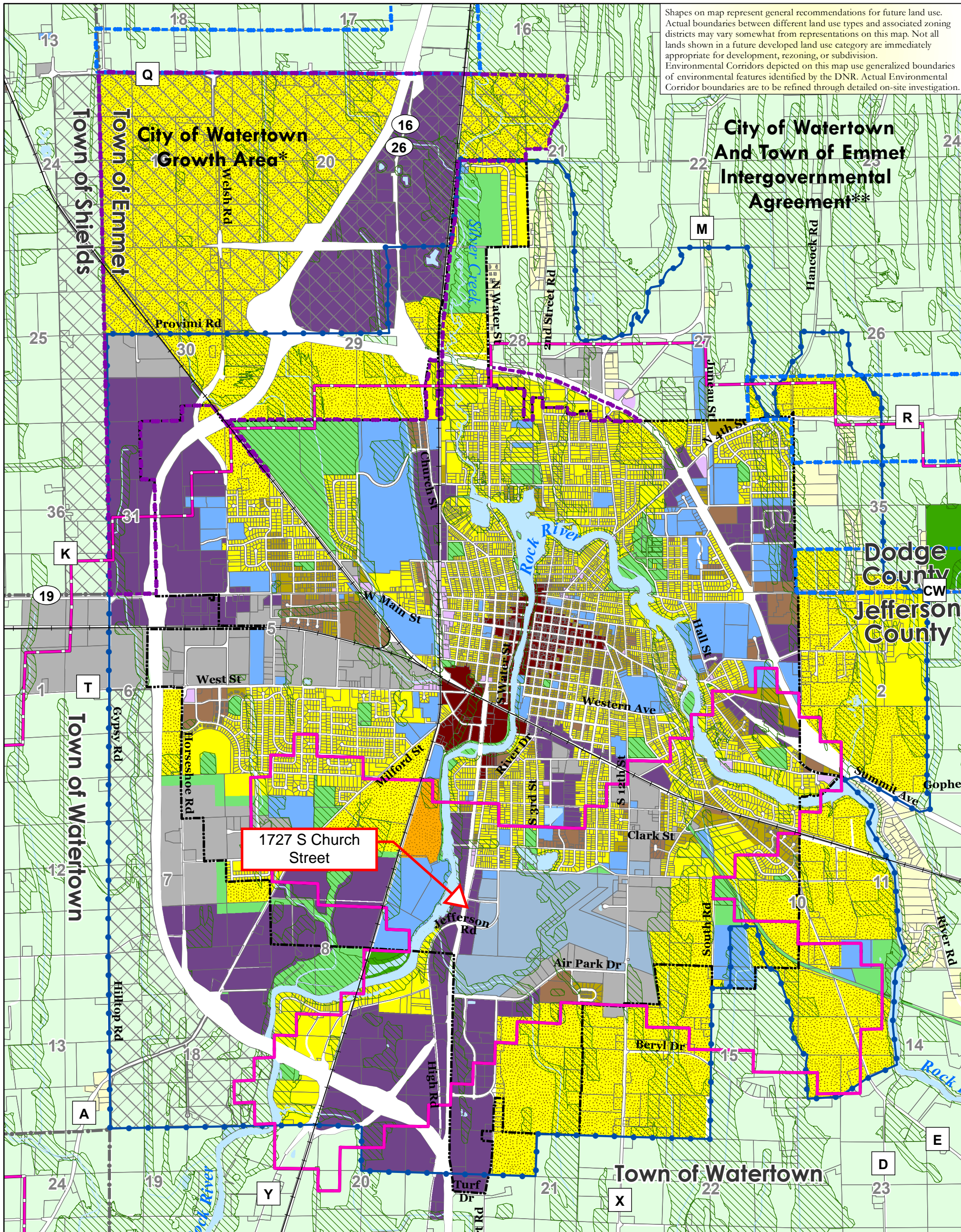
**THE CITY OF**  
**WATERTOWN**  
*Opportunity runs through it.*

**City of Watertown Geographic Information System**

Scale: 1:1,037      Printed on: February  
SCALE BAR = 1"      Author: 64

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.



# Future Land Use Urban Area

## Map 6b

City/Town IGA\*\*  
 City Growth Area  
 City Periphery Areas

### City of Watertown Comprehensive Plan

- Land Use Categories**
- Agricultural
  - Single-Family Residential - Unsewered
  - Single-Family Residential - Sewered
  - Two-Family Residential
  - Multi-Family Residential
  - Planned Neighborhood\*\*
  - Institutional
  - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

- \*Each "Planned Mixed Use Area" may include mix of:
1. Office
  2. Multi-Family Residential
  3. Mixed Industrial
  4. Commercial Services/Retail
  5. Institutional
  6. Parks & Recreation
- \*\*\*"Planned Neighborhoods" should include a mix of the following:
1. Single-Family - Sewered (predominant land use)
  2. Two-family Residential
  3. Multi-Family Residential
  4. Institutional
  5. Neighborhood Mixed Use
  6. Parks & Recreation
- \*\*\*Each "Riverside Mixed Use Area" may include mix of:
1. Office
  2. Single-Family - Sewered
  3. Two-Family Residential
  4. Multi-Family Residential
  5. Commercial Services/Retail
  6. Institutional
  7. Parks & Recreation

City of Watertown  
 Town Boundary  
 Parcel  
 Railroad  
 Watertown Urban Service Area  
 Watertown Long Range Growth Area

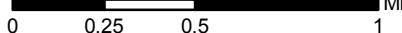
**Airport Height Limitations**

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019  
 Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

**THE CITY OF WATERTOWN**  
 Opportunity runs through it.

**VANDEWALLE & ASSOCIATES INC.**  
 Shaping places, shaping change





**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
 DATE: March 23<sup>rd</sup>, 2026  
 SUBJECT: 510 S Second Street – Preliminary Certified Survey Map (CSM)

A request by Watertown Department of Public Health to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0424-042, 291-0815-0424-043, & 291-0815-0424-040.

**SITE DETAILS:**

Existing Parcel(s) Acres: 0.24 acres, 0.13 acres, and 0.14 acres.  
 Proposed Lot Size(s): Lot 1 – 0.52 acres (22,682 S.F)  
 Jurisdiction: City of Watertown

**BACKGROUND & APPLICATION DESCRIPTION:**

The applicant is proposing to create a one-lot CSM by combining three existing parcels. The new combined lot will facilitate the construction of a Non-Residential Accessory Building for the Watertown Department of Public Health. The proposed CSM lot is located within the Airport Approach Protection Zone with a maximum elevation of 968 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. The ROWs for S First Street and S Second Street are adequate in this location. No ROW dedication is required.

**PLAN COMMISSION OPTIONS:**

The following possible options for the Plan Commission:

1. Deny the CSM.
2. Approve the CSM without conditions.
3. Approve the CSM with other conditions as identified by the City of Watertown Plan Commission:

**STAFF RECOMMENDATION:**

- Staff recommends approval of the CSM.

**ATTACHMENTS:**

- Application materials.

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING LOTS 3,5,6,7 AND A PART OF LOT 8 OF BLOCK 29 OF CITY OF WATERTOWN EAST SIDE ALL LOCATED IN GOVERNMENT LOT 2 OF SECTION 4, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

## LEGEND

- ⚡ 3/4" IRON REBAR FOUND
- 1" I.D. IRON PIPE FOUND
- 1 1/4" I.D. IRON PIPE FOUND
- 3/4"x18" IRON REBAR (1.502 lbs/lin ft) w/ORANGE PLASTIC CAP STAMPED 'J.C. KANNARD P.L.S. S-2248' SET
- ⊙ SECTION CORNER FOUND AS NOTED
- △ MAG NAIL SET
- ▲ 1" IRON ROD FOUND
- UTILITY PEDESTAL (APPARENT EASEMENT)
- ⊙ GAS VALVE
- LP ⊙ LIGHT POLE
- (R) RECORDED AS

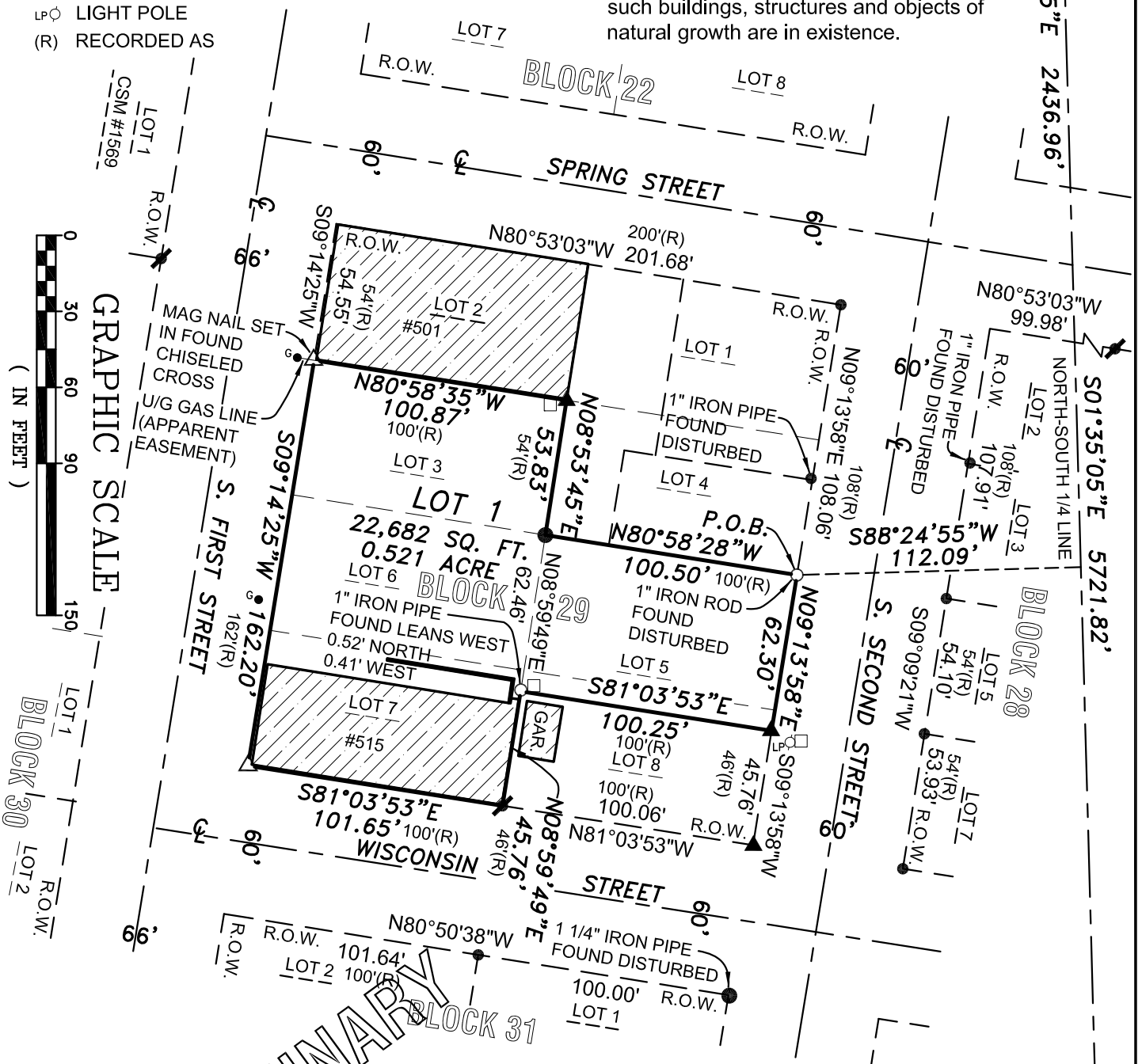


## BEARING BASIS:

ALL BEARINGS REFER TO THE NORTH-SOUTH 1/4 LINE OF RECORD WHICH HAS AN ASSUMED BEARING OF S01°35'05"E

## NOTE:

Lot 1 has an Airport Protection Zone elevation limit of 968 feet above sea mean level for all buildings, structures and objects of natural growth; whether or not such buildings, structures and objects of natural growth are in existence.



PRELIMINARY

## SOUTHWEST

SURVEYING & ASSOCIATES, Inc.

W1065 COUNTY ROAD CI, HELENVILLE, WI. 53137  
 262-495-4910  
 920-674-4884

SE CORNER, SW 1/4  
 MAG NAIL  
 OF RECORD

JOB No.: W-225259  
 DATE: MARCH 13, 2026  
 SHEET 1 OF 2

**CERTIFIED SURVEY MAP No. \_\_\_\_\_**

BEING LOTS 3,5,6,7, AND A PART OF LOT 8 OF BLOCK 29 OF CITY OF WATERTOWN EAST SIDE ALL LOCATED IN GOVERNMENT LOT 2 OF SECTION 4, T8N, R15E, CITY OF WATERTOWN, JEFFERSON COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE**

I, John C. Kannard, Professional Land Surveyor No. 2248, hereby certify:

That I have surveyed, divided, mapped this Certified Survey Map being Lots 3, 5, 6, 7, and a part of Lot 8 of Block 29 of City of Watertown East Side, all located in Government Lot 2 of Section 4, T8N, R15E, City of Watertown, Jefferson County, Wisconsin, bounded and described as follows:

Commencing at the Aluminum Monument that marks the Northeast corner of the NW 1/4 of said Section 4; Thence S01°35'05"E, along the North-South 1/4 line, a distance of 2436.96 feet; Thence S88°24'55"W, a distance of 112.09 feet, to the Northeast corner of Lot 5 of Block 29 of City of Watertown East Side (a recorded subdivision) and to a Set 3/4"x18" Iron Rebar (1.502 lbs/ lin ft) with an orange plastic cap stamped "J.C. Kannard P.L.S. S-2248" (Set 3/4" Rebar) that marks the POINT OF BEGINNING of the lands to be described; Thence N80°58'28"W, along the North line of said Lot 5, a distance of 100.50 feet, to a Found 1 1/4" I.D. Iron Pipe, that marks the Southeast corner of Lot 3 of said Block 29; Thence N08°53'45"E, along the East line of said Lot 3, a distance of 53.83 feet, to a found 1" Iron Rod that marks the Northeast corner of said Lot 3; Thence N80°58'35"W, along the North line of said Lot 3, a distance of 100.87 feet, to a found Chiseled Cross with a Set Mag Nail that marks the Northwest corner of said Lot 3; Thence S09°14'25"W, along the West line of Lots 3, 6 and 7, a distance of 162.20 feet, to the Southwest corner of said Lot 7 and to a Set Mag Nail; Thence S81°03'53"E, along the South line of said Lot 7, a distance of 101.65 feet, to a Found 3/4" Rebar that marks the Southeast corner of said Lot 7; Thence N08°59'49"E, along the East line of said Lot 7, a distance of 45.76 feet, to a Set 3/4" Rebar; Thence S81°03'53"E, parallel with the South line of Lot 8, a distance of 100.25 feet, to the East line of Lot 8 and to a Found 1" Iron Rod; Thence N09°13'58"E, along the East line of Lots 8 and 5, a distance of 62.30 feet, to the POINT OF BEGINNING, containing 22,682 square feet or 0.521 acre of land, more or less.

Subject to all rights, reservations, restrictive covenants and easements of record.

I further certify that I have made this survey and map under the direction of the City of Watertown, owner of said lands, and that this Certified Survey Map is a correct representation of all exterior boundaries of the land surveyed and the division of that land and that I have complied fully with the provisions of Chapter 236.34 of the State of Wisconsin Statutes, and the Subdivision Ordinance of Jefferson County, Wisconsin in surveying and mapping the same.

Certified this 13th day of March, 2026

\_\_\_\_\_  
John C. Kannard, P.L.S. 2248

PRELIMINARY

**CITY OF WATERTOWN PLAN COMMISSION APPROVAL:**

This Certified Survey Map, in the City of Watertown, is hereby approved by the Plan Commission of the City of Watertown.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Robert Stocks, Mayor








I hereby certify that the foregoing is a true and correct copy of Certified Survey Map adopted by the Plan Commission of the City of Watertown.


Dated this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Megan Dunneisen, City Clerk

Section 3, Item C.



	Municipal Boundary		Addresses	<b>DodgeCo</b>
	Parcels Boundaries		Address Labels	<b>RGB</b>
	Common Areas		Parcel Acreage	 Red: Band_1
				 Green: Band_2
				 Blue: Band_3



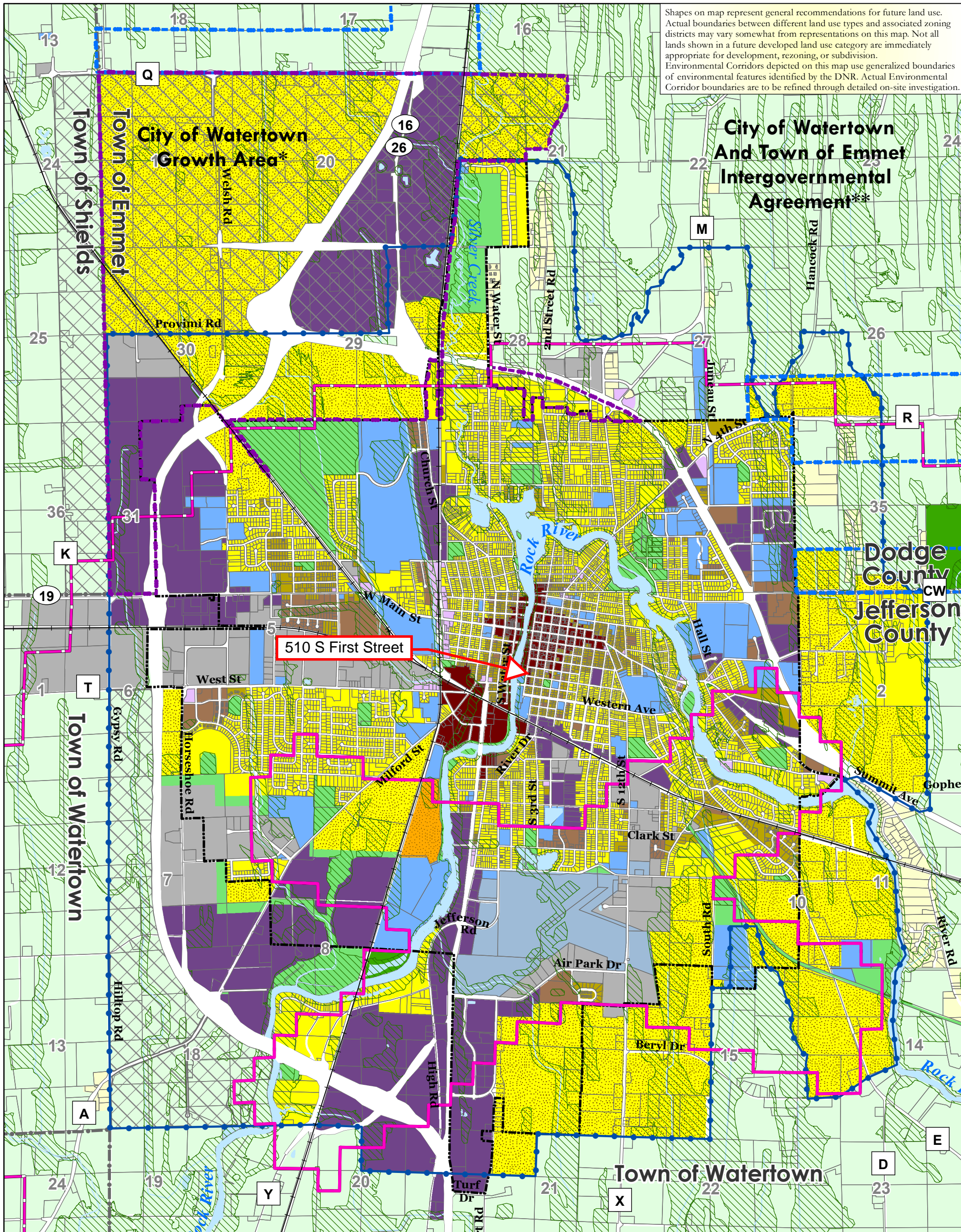
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**City of Watertown Geographic Information System**

Scale: 1:906      Printed on: March 1, 2018  
 SCALE BAR = 1"      Author: 69

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# Future Land Use Urban Area

## Map 6b

- City/Town IGA\*\*
- City Growth Area
- City Periphery Areas

### City of Watertown Comprehensive Plan

- Land Use Categories**
- Agricultural
  - Single-Family Residential - Unsewered
  - Single-Family Residential - Sewered
  - Two-Family Residential
  - Multi-Family Residential
  - Planned Neighborhood\*\*
  - Institutional
  - Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

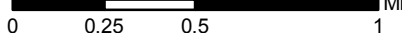
- \*Each "Planned Mixed Use Area" may include mix of:
- Office
  - Multi-Family Residential
  - Mixed Industrial
  - Commercial Services/Retail
  - Institutional
  - Parks & Recreation

- \*\*\*"Planned Neighborhoods" should include a mix of the following:
- Single-Family - Sewered (predominant land use)
  - Two-family Residential
  - Multi-Family Residential
  - Institutional
  - Neighborhood Mixed Use
  - Parks & Recreation

- \*\*\*Each "Riverside Mixed Use Area" may include mix of:
- Office
  - Single-Family - Sewered
  - Two-Family Residential
  - Multi-Family Residential
  - Commercial Services/Retail
  - Institutional
  - Parks & Recreation

- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

- Airport Height Limitations**
- Maximum Building Elevation b/t 865 and 968 ft
  - Maximum Building Elevation b/t 968 and 1005 ft



Draft: August 7, 2019  
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

**VANDEWALLE & ASSOCIATES INC.**  
Shaping places. shaping change



# MEMO

## Engineering Division of the Public Works Department

To: Mayor Stocks and Commission Members  
From: Andrew Beyer, P.E., Public Works Director  
Date: March 18, 2026  
Subject: Plan Commission Meeting of March 23, 2026

### Review and take possible action: 1514 Oconomowoc Avenue Lease Agreement

#### Background

At its March 16, 2026 meeting, the Park, Recreation, and Forestry Commission reviewed and approved a proposed lease agreement for the use of a portion of City owned property at 1514 Oconomowoc Avenue (Kolata Park).

A resident adjacent to the property has requested permission to utilize a portion of the site for vegetable cultivation. The request involves an open field area within the approximately 10 acre parcel.

The proposed lease area is approximately one acre in size and is located within the field portion of the property, set back roughly 15 feet from the property line. A map delineating the lease area is included as Exhibit A to the agreement.

Through discussions with City staff, the resident indicated that the area would be used for gardening and vegetable cultivation. As part of the arrangement, the lessee would maintain the leased area, reducing the need for routine mowing by City staff in that portion of the park property.

The City Attorney's Office has prepared a lease agreement outlining the terms and conditions for use of the property, including insurance requirements and limitations on use. The potential lessee has indicated they are able to meet the required insurance coverage limits and will obtain coverage upon final approval of the agreement.

The Park, Recreation, and Forestry Commission recommended approval of the lease agreement to the Plan Commission, Finance Committee, and Common Council.

## Budget Goal

2. Proactively maintains and improves our parks and infrastructure to ensure safety, quality, and equity
4. Fosters community growth by assessing opportunities, stakeholder input, environmental needs, and modern code and policy priorities

## Financial Impact

The proposed lease would allow a portion of the field at Kolata Park to be maintained by the lessee for gardening and vegetable cultivation. As a result, the City would see a minor reduction in operational costs associated with routine mowing and maintenance of that portion of the property.

No City funds are required to implement the agreement, and the lease does not obligate the City to provide improvements or ongoing maintenance within the leased area.

## Recommendation

Staff recommends that the Plan Commission and Finance Committee review the proposed lease agreement and forward a recommendation to the Common Council regarding approval.

Attachments:

- Draft Lease Agreement

**LEASE AGREEMENT BETWEEN  
THE CITY OF WATERTOWN  
AND  
TIMOTHY MIELKE**

This Lease Agreement (“Agreement”) is made by and between the City of Watertown, a Wisconsin municipal corporation, (“City”) and Timothy Mielke (“Mielke”).

**WHEREAS**, City owns property located at 1514 Oconomowoc Avenue, Watertown, WI, (the “Leased Premises”), which is currently zoned Single Family Residential and is vacant; and

**WHEREAS**, Mielke has expressed interest in leasing a portion of the Leased Premises for personal recreational and gardening purposes; and

**NOW, THEREFORE, BE IT RESOLVED**, that City and Mielke mutually agree on the following terms and conditions for use of the site.

**1. Premises & Use.**

- a. In consideration of the covenants contained herein and other valuable consideration, the City hereby leases to Mielke the Leased Premises as shown in Exhibit A.
- b. Mielke shall limit his use of the Leased Premises to his personal recreational and gardening purposes.
- c. Mielke shall not utilize the Leased Premises for any commercial or other business endeavor, or for any other purpose not set forth in this Agreement without the express written consent of the City.

**2. Rents.** In lieu of rent payments, Mielke shall mow the Leased Premises and ensure full compliance with all City ordinances, state and federal laws for the Leased Premises. This includes, but is not limited to, the following City ordinances:

- Weeds
- Exterior Property Maintenance

**3. Mielke’s Obligations.**

- a. Mielke shall permit City or its duly authorized agents to enter upon the Leased Premises at all times for any reason.
- b. The Leased Premises shall be maintained in a neat, clean, and attractive condition at all times.
- c. Mielke shall not permit the Leased Premises to be used for any immoral or unlawful purpose or purpose that will injury the reputation of the City. Mielke’s use of the Leased Premises shall not extend to any other public property.

**4. City’s Obligations.**

- a. City shall not be liable for any damage to any property of Mielke, at any time, that is stored or kept on the Leased Premises.
- b. City shall have the right to dispose of any property left on the Leased Premises, without liability, thirty (30) days after Mielke vacates or abandons the Leased Premises, in accordance with the laws of Wisconsin.

- c. **Snow Storage.** The Parties acknowledge that the Leased Premises has historically been utilized by the City for municipal snow storage as part of its winter maintenance operations. The City retains the right to deposit, store, move, and remove snow and ice onto the Leased Premises at any time as reasonably necessary without notice to Mielke for municipal operations. Mielke acknowledges that such activities may occur during the term of this Agreement and may disturb or damage soil conditions, garden areas, vegetation, or other improvements on the Leased Premises. The City shall not be responsible for any such disturbance or damage resulting from snow storage or snow removal operations.
5. **Term of Lease.** Mielke shall have and hold said Leased Premises for a term of one (1) year, commencing on the 1st day of April, 2026, and expiring on the 31<sup>st</sup> day of March, 2027, subject to the renewal term set out below. This Agreement will renew on a one (1) year basis upon the same terms for five (5) additional renewals. Any party wishing not to renew this lease shall give notice of such intention in writing to the other party on or at least ninety (90) days prior to the expiration of the lease term.
6. **Insurance.** Mielke shall provide proof of insurance with general liability coverage of \$1,000,000.00 per occurrence, \$2,000,000.00 general aggregate; umbrella liability of \$2,000,000.00 per occurrence and aggregate. A certificate naming City as an additional insured shall be provided to City annually.
7. **Indemnification.** Mielke shall be liable to and hereby agrees to indemnify, defend and hold harmless the City, and its officers, officials, agents, and employees against all loss or expense (including liability costs and attorney's fees) by reason of any claim or suit, or of liability imposed by law upon the City or its officers, officials, agents or employees for damages because of bodily injury, including death at any time resulting therefrom, sustained by any person or persons or on account of damages to property, including loss of use thereof, arising from, in connection with, caused by or resulting from Mielke's acts or omissions in the performance of this Agreement, whether caused by or contributed to by the negligence of the City, its officers, officials, agents, or its employees.
8. **Revocation of Lease.**
- a. This Agreement shall be revocable if Mielke neglects or fails to perform or observe any of the covenants of this Agreement. If City learns of any such defect, City shall provide written notice to Mielke that specifies the defect. Mielke shall have thirty (30) days after City has given written notice to cure such defect.
  - b. After any revocation, Mielke shall immediately quit and surrender possession of the Leased Premises.
  - c. After any revocation, City shall have the right to re-enter and take possession of the Leased Premises forthwith. Neither City nor its agents or employees, shall be liable for any damages because of such revocation.
9. **No Assignment or Sublease.** The rights provided to Mielke under this Agreement may not be assigned, transferred, subleased, hypothecated, or otherwise disposed of, nor shall the control of the Leased Premises or any interest therein, or any part thereof, be granted by Mielke to any other person or entity.

- 10. **Third Party Beneficiary.** This Agreement including, but not limited to, indemnification provisions, is for the benefit of the Parties only and does not create, nor is it intended to create any benefit or liability to third parties.
- 11. **Relationship of the Parties.** It is understood that this is an Agreement by and between independent contractor(s) and is not intended to, and will not be construed to, create the relationship of agent, servant, employee, partnership, joint venture or association, or any other relationship whatsoever other than that of independent contractor.
- 12. **Notices.** All notices, statements, demands, requests, consents, approvals, authorizations, appointments or designations hereunder by either Party to the other will be in writing and will be deemed given and served upon the Party if delivered personally or via U.S. mail, addressed as follows:

**To City:**  
City of Watertown  
City Clerk  
106 Jones Street  
Watertown, WI 53094

**With copies to:**  
City of Watertown  
Director of Public Works/City Engineer  
106 Jones Street  
Watertown, WI 53094  
[abeyer@watertownwi.gov](mailto:abeyer@watertownwi.gov)

City of Watertown  
Director of Parks, Recreation and Forestry  
514 South 1<sup>st</sup> Street  
Watertown, WI 53094

**To Mielke:**  
Timothy Mielke  
435 East Water Street  
Watertown, WI 53094

- 13. **Non-Waiver.** The failure of any Party to insist upon the strict performance of any of the terms, conditions or covenants in this Agreement will not be deemed a waiver of any right or remedy that any Party may have and will not be deemed a waiver of any right or remedy for a subsequent breach or default of the terms, conditions or covenants herein contained.
- 14. **Authority.** The Parties each warrant and represent to the other that they have the full legal authority to enter into this Agreement.

- 15. **Entire Agreement.** This Agreement sets forth all the covenants, promises, agreements, conditions, and understandings between City and Mielke. There are no covenants, promises, agreements, conditions, or understandings, either oral or written, between the Parties other than as herein set forth. No alteration, amendment, change, or addition to this Agreement shall be binding upon the Parties unless in writing and signed by both Parties.
- 16. **Jurisdiction and Venue.** Any action at law or in equity brought under this Agreement for the purpose of enforcing a right or rights provided for by this Agreement will be tried in a court of competent jurisdiction in Jefferson County, Wisconsin, and the Parties waive all provisions of law providing for a change of venue in these proceedings to any other county.
- 17. **Paragraph Headings.** Paragraph headings as used herein are for convenience only and will not be deemed to be a part of such paragraphs and will not be construed to change the meaning thereof.
- 18. **Limitation of Municipal Liability.** Nothing contained within this Agreement is intended to be a waiver or estoppel of Watertown or its insurer, to rely upon the limitations, defenses, and immunities contained within Sections 345.05 and 893.80, Wis. Stats. To the extent that indemnification is available and enforceable, City or its insurer, shall not be liable in indemnity, contribution, or otherwise for an amount greater than the limits of liability of municipal claims established under Wisconsin law.
- 19. **Counterparts.** This Agreement may be executed in two (2) or more counterparts, each of which is deemed to be an original.
- 20. **Severability.** If any term of this Agreement is held unenforceable by a court having jurisdiction, then to the extent the unenforceable term can be severed from the remainder of this Agreement without affecting the enforceability of the remainder of this Agreement or substantially frustrating its purpose, it will be so severed, and the remainder of this Agreement will remain in effect and enforceable.

**IN WITNESS WHEREOF**, the Parties hereto have caused this Agreement to be executed the day, and year first written below.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

CITY OF WATERTOWN

BY: \_\_\_\_\_  
Robert Stocks, Mayor

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2026.







\_\_\_\_\_  
Timothy Mielke




**EXHIBIT A**  
**MAP OF LEASED PREMISES**

Section 3, Item D.



	Municipal Boundary		Addresses
	Parcels Boundaries		Address Labels
	Common Areas		Parcel Acreage



**THE CITY OF WATERTOWN**  
Opportunity runs through it.

*City of Watertown Geographic Information System*

Scale: 1:1,110      Printed on: February 14, 2024  
SCALE BAR = 1"      Author: [Redacted]

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

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# City of Watertown Zoning Code Rewrite

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**Plan Commission  
March 23, 2026**



# What are Parking Ratios?

- Provides the minimum or maximum number of parking spaces required by land use
- Minimizes the chance of new development providing too much or too little parking on-site
- Examples:
  - Parking spaces per dwelling unit
  - Parking spaces per square feet of gross floor area
  - Parking spaces per employee on the largest work shift
  - Parking spaces per person at the maximum capacity

# General Approach of Reducing Parking Rat

Section 3, Item E.

- Reduce costs of new construction and development delays
- Address housing affordability issues
- Addresses equity issues across different housing types
- Promotes walkability
- Reduces impervious surfaces, runoff and stormwater issues
- Increases tax base
  - Parking lots are among the lowest taxable value in the Village
- Reflects national best practices

# Parking Maximums

- Many communities are adding parking maximums; Watertown currently has none.
- Draft Zoning Code allows up to 50% above the minimum and lets the Plan Commission adjust based on data (e.g., parking studies).
- Provides a tool to ensure right-sized parking for projects.
- Consideration: Creating a range of allowance may be seen as too restrictive by some. Banks often require certain parking amounts for financing.

## Should we...?

- Keep the proposed approach
- Remove proposed approach
- Modify the approach

# Residential Parking Standards

# Residential Parking Standards

Land Uses	Existing Standards	Proposed Minimum Standards	Proposed Maximum Standards
<b>Multifamily</b>	2 per studio, one-bedroom, two-bedroom, 2.5 per three-bedroom+	1 per studio/1-bedroom, 2 per 2+ bedroom	None
<b>Single-Family/ Two-Family</b>	3 spaces per unit	2 per dwelling unit	None

**Should we...?**

- Keep the proposed approach
- Remove proposed approach
- Modify the approach

# MF-Residential Parking Example: Watertown Park Apt

Section 3, Item E.

Category	Amount
Estimated Number of Units	72
Existing Parking Requirement	Minimum: 144 spots
Existing Parking On Site	214 spots
New Parking Requirement	Minimum: 144 spots Maximum: None

146 surface spots  
72 garage spaces



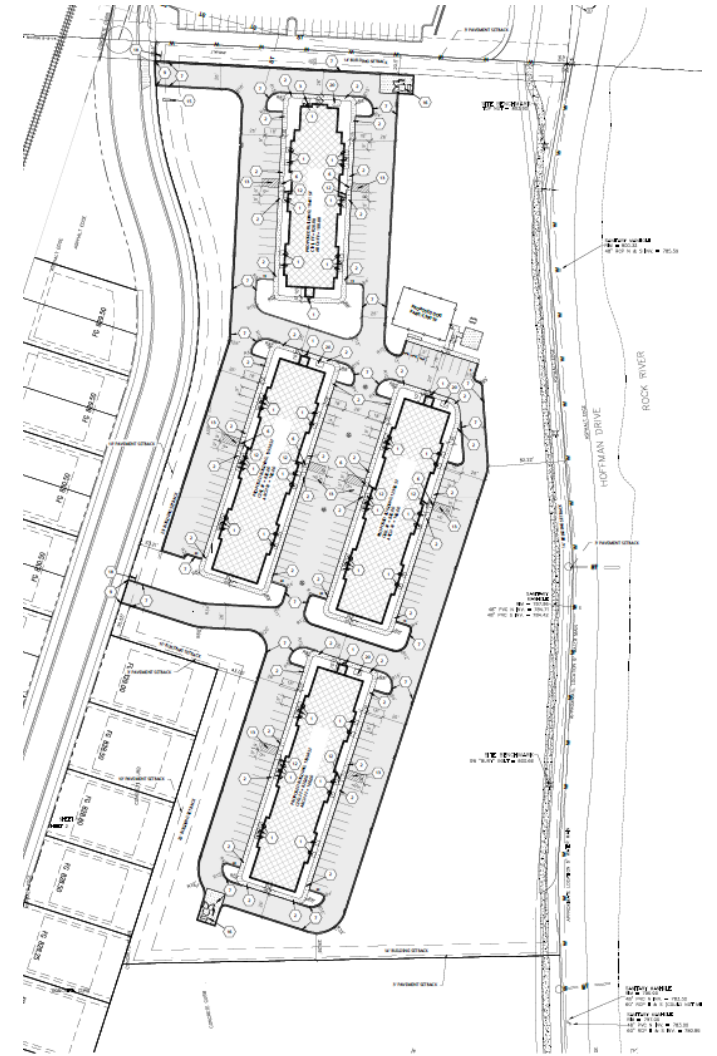
Existing: 2 per studio, one-bedroom, two-bedroom, 2.5 per three-bedroom+  
 \* Assumes all units are 2 bedroom  
 Min: 1 per studio/1-bedroom, 2 per 2+ bedroom  
 Max: none

# MF-Residential Parking Example: Lumin Te

Section 3, Item E.

Category	Amount
Estimated Number of Units	92
Existing Parking Requirement	Minimum: 196 spots
Existing Parking On Site	186 spots
New Parking Requirement	Minimum: 148 spots Maximum: None

Existing: 2 per studio, one-bedroom, two-bedroom, 2.5 per three-bedroom+  
 Min: 1 per studio/1-bedroom, 2 per 2+ bedroom  
 Max: none  
 Based on 10/15/24 Site Plan (36 one-beds, 32 two-beds, 24 three-beds)



# Commercial Parking Standards

# Commercial Parking Standards (examples)

Land Uses	Existing Standards	Proposed Minimum Standards	Proposed Maximum Standards
<b>Indoor Commercial Entertainment</b>	1 space per 3 seats or 1 space per 3 persons at maximum capacity, whichever is greater	1 space for every 5 persons at the maximum capacity	1.5 space for every 5 persons at the maximum capacity
<b>Indoor Maintenance Service, Indoor Sales or Services, Office, Personal or Professional Services</b>	1 space per 300 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area

- Should we...?**
- Keep the proposed approach
  - Remove proposed approach
  - Modify the approach

# Commercial Parking Example: Culvers

Category	Amount
Estimated Square Footage	5,000 sf
Existing Parking Requirement	Minimum: 39 spots
Existing Parking On Site	51 spots
New Parking Requirement	Minimum: 23 spots Maximum: 35 spots



Existing: 1 space per 3 seats or 1 space per 3 persons at maximum capacity, whichever is greater (115 seats)

Min: 1 space for every 5 persons at the maximum capacity

Max 1.5 spaces for every 5 persons at the maximum capacity

# Commercial Parking Example: Aldi

Category	Amount
Estimated Square Footage	18,955 sf
Existing Parking Requirement	Minimum: 63 spots
Existing Parking On Site	89 spots
New Parking Requirement	Minimum: 38 spots Maximum: 57 spots

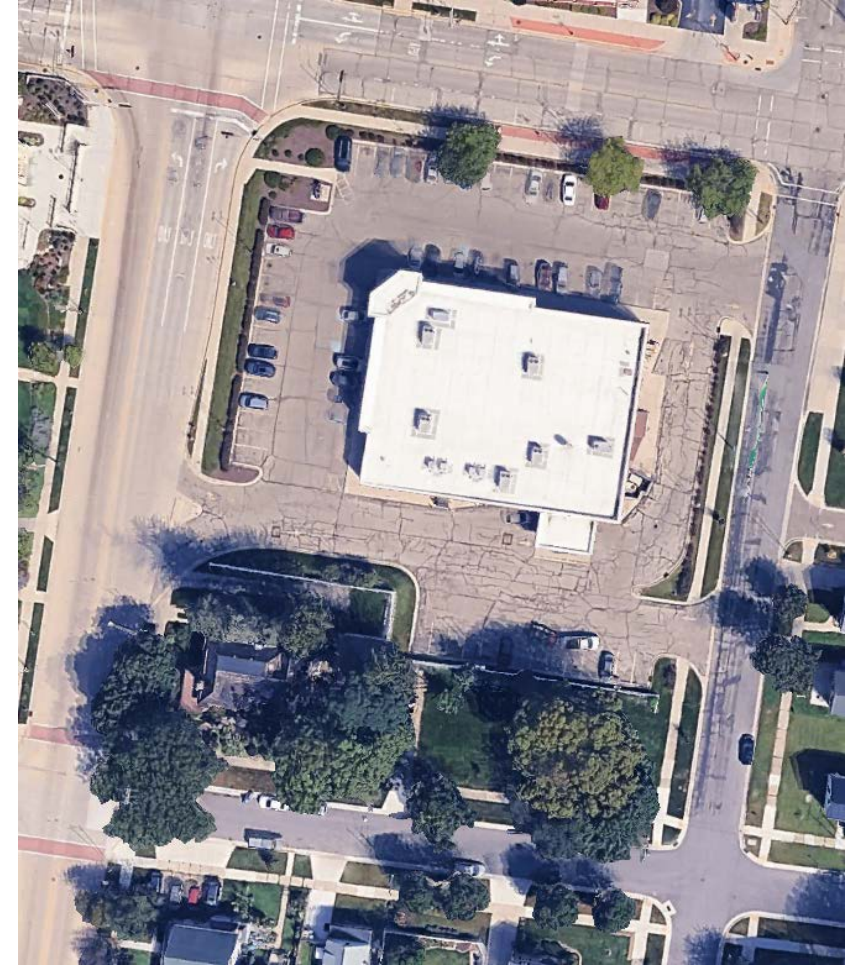


Existing: 1 space per 300 sf of gross floor area  
Min: 1 space per 500 square feet of gross floor area  
Max 1.5 spaces per 500 square feet of gross floor area

# Commercial Parking Example: Walgreens

Category	Amount
Estimated Square Footage	14,423
Existing Parking Requirement	Minimum: 48 spots
Existing Parking On Site	81 spots
New Parking Requirement	Minimum: 28 spots Maximum: 43 spots

Existing: 1 space per 300 sf of gross floor area  
Min: 1 space per 500 square feet of gross floor area  
Max 1.5 spaces per 500 square feet of gross floor area



# Commercial Parking Example: State Bank of Reeseville

Section 3, Item E.

Category	Amount
Estimated Square Footage	3,000 sf
Existing Parking Requirement	Minimum: 10 spots
Existing Parking On Site	23 spots
New Parking Requirement	Minimum: 6 spots Maximum: 9 spots

Existing: 1 space per 300 sf of gross floor area  
Min: 1 space per 500 square feet of gross floor area  
Max 1.5 spaces per 500 square feet of gross floor area



# Industrial Parking Standards

# Industrial Parking Standards

Land Uses	Existing Standards	Proposed Minimum Standards	Proposed Maximum Standards
<b>Industrial Land Uses</b>	1 space per each employee on the largest work shift	1 space per each employee on the largest work shift. <b>(no change)</b>	1.5 spaces per each employee on the largest work shift.

# Employee Parking Example: Glory Global

Category	Amount
Estimated Square Footage	170,173 sf
Existing Parking Requirement	Minimum: 100 spots
Estimated Existing Parking On Site	253 spots
New Parking Requirement	Minimum: 100 spots Maximum: 150 spots

Based 100 employees on largest shift (this is an applied assumption, not verified actual conditions)



# Employee Parking Example: MetalTek

Category	Amount
Estimated Square Footage	75,312 sf
Existing Parking Requirement	Minimum: 40 spots
Existing Parking On Site	123 spots
New Parking Requirement	Minimum: 40 spots Maximum: 60 spots



Based on 40 employees on largest shift (this is an applied assumption, not verified actual conditions)

# Downtown Parking Standards

# Downtown Parking Standards

Land Uses	Existing Standards	Proposed Minimum Standards	Proposed Maximum Standards
<b>All Land Uses in the DMU Zoning District</b>	None*	None	None

- Downtown does not have any existing parking standards. Proposed code is **no change**.
- This is the typical approach across most comparable communities in a downtown setting.
- Benefits of this approach include:
  - Greater flexibility for infill development
  - Better walkability for downtown
  - Lower cost for new housing development
  - Higher tax base
- New development can include parking based on market needs.

**Should we...?**

- Keep the proposed approach
- Remove proposed approach
- Modify the approach

Per Section 550-107(G)(4)\*

# Downtown Residential Parking Standards

Section 3, Item E.

Should projects located within the Downtown and Riverfront Residential (DRR) District that exceed a certain number of dwelling units be required to provide a minimum amount of on-site parking?

This would only apply to residential projects outside of the downtown core.

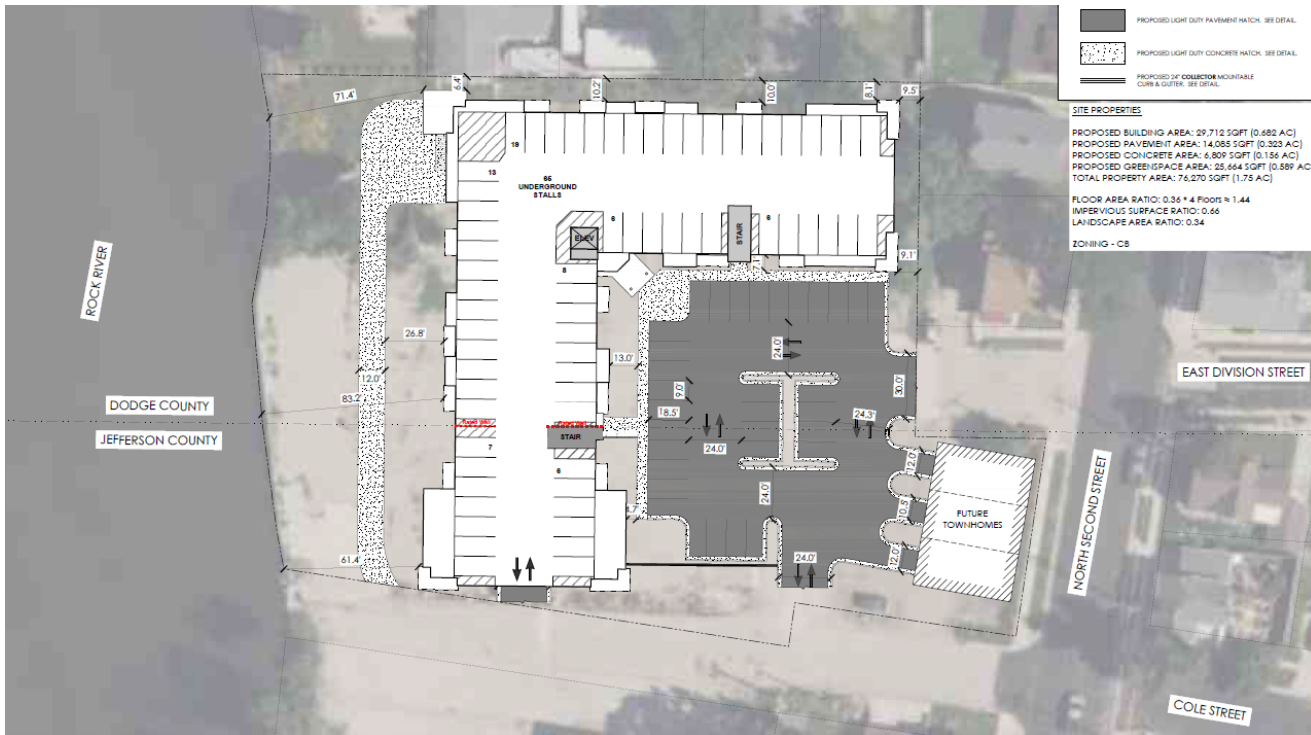
Should we...?

- Keep the proposed approach
- Remove proposed approach
- Modify the approach

# Downtown/Riverfront Parking Example: Oxbow

The Oxbow Apartments are exempt from multifamily parking requirements in the Central Business District; the proposed parking exceeds the new minimum parking requirements.

99 Parking spots are provided  
(65 covered and 32 surface parking)



Existing: 2 per studio, one-bedroom, two-bedroom, 2.5 per three-bedroom+  
 Min: 1 per studio/1-bedroom, 2 per 2+ bedroom  
 Max: none  
 Ignored townhomes as they were removed from the plans

Dwelling Type	Number of Units by Type	Existing Parking Requirement (if using Residential Standards)	New Parking Requirement (if using Residential standards)
Studio	4	8	4
1 Bed	32	64	32
2 Bed	18	36	36
3 Bed	5	13	10
<b>Total</b>	<b>68</b>	<b>134</b>	<b>92</b>

The DRR District could use a different residential parking approach such as 1 per unit overall regardless of unit type

# Bicycle Parking

Incorporating bicycle infrastructure can provide several community benefits, including:

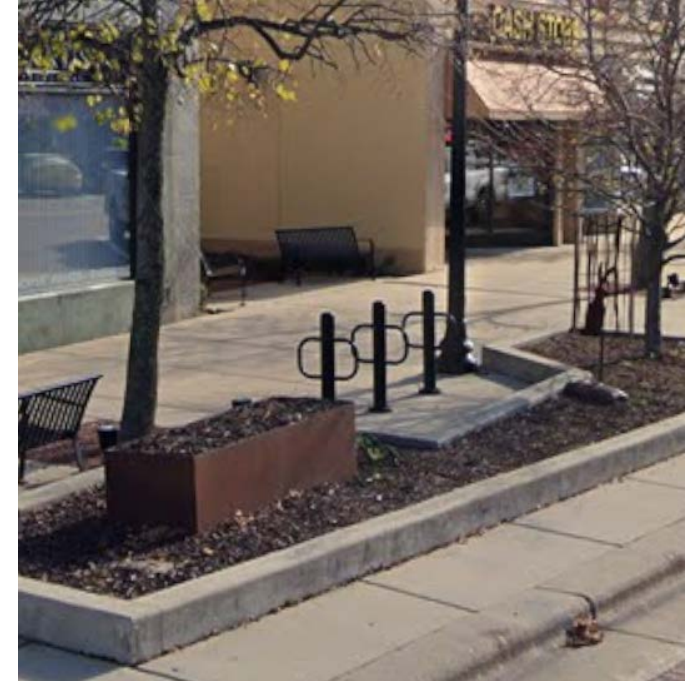
- Supporting local businesses through increased accessibility
- Improving access for residents, employees, and visitors
- Reducing vehicle trips and overall parking demand
- Encouraging physical activity and promoting public health



# Bicycle Parking – Multi-Family

Choose one of the following:

- Require bicycle parking for multi-family, at least 1 bicycle space per unit and guest
- Require per unit parking, but not guest
- Do not require minimum bicycle parking for multi family



# Bicycle Parking – Commercial & Other Use

Section 3, Item E.

Choose one or both of the following:

- Require 4 spaces flat per commercial, industrial, and institutional uses
- Require more bicycle parking for larger lots (like 1 bicycle space for every 10 parking stalls)



**Based on your review of the Draft Parking Tables, is there anything else you'd like to discuss?**

## **Next Steps**

- Future Plan Commission Working Meetings:
  - Sign Ordinance
  - Zoning Map
  - Part 2

# City of Watertown Zoning Code Rewrite Overview of Draft Parking Requirements Table

## Content Included in the Draft Parking Requirements Table

The draft Zoning Code provides parking requirements based on land uses. The first draft of the new parking standards has been completed and will be discussed during the Plan Commission meeting.

- Column A lists the Land Uses within the draft Zoning Code where the parking requirements apply.
- Column B lists the comparable existing parking requirements for each land use.
- Columns C and D list the proposed new minimum and maximum parking requirements for each land use.

The proposed new parking standards are designed to generally require less parking than today (lower minimums) and potentially provide a cap on the amount of parking that can be provided (maximums).

The parking requirements generally fall into one of the following types of ratios. These ratios were chosen to reduce the administrative burden of calculating overcomplicated formulas:

- Parking spaces per dwelling unit
- Parking spaces per square feet of gross floor area
- Parking spaces per employee on the largest work shift
- Parking spaces per person at the maximum capacity

This memo contains four big picture topics for Plan Commission discussion to obtain feedback on the approach to these requirements.

## Topics for Discussion

### **1. Creating Parking Maximums**

Wisconsin communities have begun to adopt parking maximums in addition to minimum requirements. Watertown’s existing Zoning Code does not require maximums. This leaves the City with no mechanism to prevent a project from having excessive parking. The draft Zoning Code generally allows 50% more parking than the required minimum and also includes language that allows the Plan Commission to reduce minimums or exceed maximums depending on additional data being provided such as a parking study. This approach gives the City another tool to make sure the parking provided on site is right-sized for the project. A potential downside to this approach is that minimums and maximums together create a narrow window associated with how much parking is permitted for a given land use, which some communities view as too restrictive.

Please circle your opinion on the following approach:

Keep Approach

Remove Approach

Need To Modify Approach

Comments: \_\_\_\_\_  
\_\_\_\_\_



Keep Approach

Remove Approach

Need To Modify Approach

Comments: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Should projects located within the **Downtown & Riverfront Residential (DRR)** District that exceed a certain number of dwelling units be required to provide a minimum amount of on-site parking?

Please circle your opinion on the following approach:

Keep Approach

Remove Approach

Need To Modify Approach

Comments: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

#### 4. Bicycle Parking

Bicycling serves both as a mode of transportation and a recreational activity for residents. As part of future development considerations, the community may wish to evaluate whether bicycle parking should be required for new multi-family, commercial, industrial, or institutional projects. The intent is not simply to introduce an additional regulation, but to ensure that individuals who choose to bike have access to safe, convenient, and functional parking options. Incorporating bicycle infrastructure can provide several community benefits, including:

- Supporting local businesses through increased accessibility
- Connecting regional and city-wide recreational and business assets
- Improving access for residents, employees, and visitors
- Reducing vehicle trips and overall parking demand
- Encouraging physical activity and promoting public health

Choose one of the following (multi-family)

- Require bicycle parking for multi-family, at least 1 bicycle space per unit and guest parking
- Require per unit parking, but not guest
- Do not require minimum bicycle parking for multi family

Choose one or both of the following (other uses)

- Require 4 spaces flat per commercial, industrial, and institutional uses
- Require more bicycle parking for larger lots such as: 1 space per 10 vehicle parking stalls up to a total of 20 bicycle spaces

Comments: \_\_\_\_\_

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Additional Comments:

Do you have any additional questions or concerns about the draft Parking Requirements?

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Use
Lodging room
Efficiency unit
One-bedroom unit
Two-bedroom unit
Three-or-more bedroom unit
Single-Family Residential
Mobile Home
Office, Personal or Professional Services, Indoor sales or services, Outdoor
In-vehicle sales or service
Indoor commercial entertainment.
Outdoor commercial entertainment
Commercial animal boarding
Commercial indoor lodging
Bed-and-breakfast establishment
Group day-care center (nine or more children)
Campground
Boardinghouse
Sexually oriented business
Vehicle repair and maintenance service, Artisan studio or artisan production
Convenient cash businesses
Passive Outdoor Public Recreational and Active outdoor public recreational
Churches, synagogues, or other religious meeting places
Community or Recreation Center
Funeral Home
Hospital
Libraries or museums
Schools, elementary and junior high
Senior High
College or Trade School
Cemetery
Golf Course
Swimming Pool
Public Services and Utilites
Tennis Court
Monastery or Convent
Nursing Home

Domitory
Community living arrangement (one to eight residents)
Community living arrangement (nine to 15 residents)
Community living arrangement (16 or more residents)
Light industrial
Heavy industrial
Communication tower
Extraction use
Cultivation, Husbandary, Intensive Agriculture & Agricultural Service
On-Site Agriculture Retail
Indoor storage or wholesaling
Outdoor storage or wholesaling
Personal storage facility, Waste disposal facility, & Composting operation
Junkyard or salvage yard
Airport/heliport
Freight terminal and Distribution center
Commercial apartment

<b>Watertown Standard</b>	
<b>Residential</b>	
	2
	2
	2
	2
	2.5
	3
	2
<b>Commercial</b>	
One space per 300 square feet of gross floor area	
One space per 50 square feet of gross floor area. Each drive-up lane shall have a minimum stacking length of 100 feet behind the pass-through window and 40 feet beyond the pass-through window	
One space per every three patron seats or lockers (whichever is greater) or one space per three persons at the maximum capacity of the establishment (whichever is greater)	
One space for every three persons at the maximum capacity of the establishment	
One space per every 1,000 square feet of gross floor area	
One space per bedroom, plus one space for each employee on the largest work shift	
One space per each bedroom	
One space per five students, plus one space for each employee on the largest work shift	
One and 1/2 spaces per campsite	
One space per room for rent, plus one space per each employee on the largest work shift	
One space per 300 square feet of gross interior floor area of all buildings on the premises or one space per four patron seats at the maximum capacity of any building on the premises, whichever number of	
One space per 300 square feet of gross floor area. Adequate on-site parking is required for all	
One parking space per 300 square feet of gross floor area of the business	
<b>Institutional</b>	
One space per four expected patrons at maximum capacity for any use requiring over five spaces	
One space for each five seats in main sanctuary	
One space per 250 square feet of gross floor area, or one space per four patrons to the maximum capacity, whichever is greater, plus one space per employee on the largest work shift	
One space per three patron seats at the maximum capacity, plus one space per employee on the largest	
Two spaces per three patient beds, plus one space per staff doctor and each other employee on the larg	
One space per 250 square feet of gross floor area or one space per four seats to the maximum capacity, whichever is greater, plus one space per employee on the largest work shift	
One space per teacher and per staff member, plus one space per two classrooms	
One space per teacher and staff member, plus one space per five non-bused students	
One space per staff member on the largest work shift, plus one space per two students of the largest	
One space per employee, plus one space per three patrons to the maximum capacity of all indoor	
36 spaces per nine holes, plus one space per employee on the largest work shift, plus 50% of spaces otherwise required for any accessory uses (e.g., bars, restaurants)	
One space per 75 square feet of gross water area	
One space per employee on the largest work shift, plus one space per company vehicle normally stored or parked on the premises, plus one space per 500 square feet of gross square feet of office area	
Three spaces per court	
One space per six residents, plus one space per employee on the largest work shift, plus one space per five chapel seats if the public may attend	
One space per six patient beds, plus one space per employee on the largest work shift, plus one space per staff member and per visiting doctor	

One space per three residents or dorm apartment units (whichever requires the larger amount of parking), not including residents subject to on-campus ownership prohibitions imposed by the institution

Three spaces

Four spaces

One space per every three residents

**Industrial**

One space per each employee on the largest work shift

One space per each employee on the largest work shift

One space per employee on the largest work shift

One space per each employee on the largest work shift

**Agricultural**

One space per employee on the largest work shift

A minimum of one parking space shall be required for every 200 square feet of product display area.

One space per employee on the largest work shift and four spaces for customers.

**Storage or Disposal Land Use**

One space per 2,000 square feet of gross floor area

One space for every 10,000 square feet of gross storage area, plus one space per each employee on the

One space for each employee on the largest work shift

One space for every 20,000 square feet of gross storage area, plus one space for each employee on the

**Transportation Land Uses**

One space per each employee on the largest work shift, plus one space per every five passengers, base

One space per each employee on the largest work shift

**Accessory Land Uses**

A minimum of one off-street parking space shall be provided for each bedroom within a commercial apartment. Parking spaces provided by nonresidential land uses on the site may be counted for this

: work shift  
est work shift

the largest work shift.

the largest work shift

based on average daily ridership

**Existing and Proposed Parking Standards**

Land Uses	Existing Standards	Proposed Minimum Standards	Proposed Maximum Standards
<b>Residential Land Uses</b>			
Apartments/Multiplex, Townhouse	2 per studio, one-bedroom, two-bedroom, 2.5 per three-bedroom+	1 per studio/one-bedroom, 2 per two-bedroom+	None
Boarding Housing	1 space per room for rent plus one space per each employee on the largest work shift.	1 space per room for rent	None
Duplex, Twin House, Two-Flat	3 spaces	2 per dwelling unit	None
Single Family Dwelling Unit, Manufactured Home, Manufactured Home Park	3 spaces per single-family unit 2 spaces per mobile home unit	2 per dwelling unit	None
<b>DMU Zoned Lots (Downtown Mixed Use)</b>			
All Land Uses in the DMU Zoning District	None	None	None
<b>Mixed-Use Land Uses</b>			
Mixed Use Building, Live/Work Unit	Per the minimum of each individual land use	Per the minimum of each individual land use	Per the maximum of each individual land use
<b>Commercial Land Uses</b>			
All Commercial Land Uses, Unless Specified Below		1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Adult-Oriented Entertainment Business	1 per 300 sf of gross floor area or one space per four patron seats, whichever is greater	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Artisan Production Shop	One space per 300 square feet of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Bed and Breakfast	1 space per bedroom	1 space per each bedroom, plus 1 per dwelling unit	1.5 space per each bedroom, plus 1 per dwelling unit
Campground	1.5 space per campsite	1 space per campsite	None
Commercial Animal Boarding	1 space per 1,000 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Commercial Animal Daycare	n/a	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Commercial Indoor Lodging	0 space per room for rent, plus 1 space for each employee on the largest work shift	1 space per room for rent, plus 1 space for each employee on the largest work shift	1.5 spaces per room for rent, plus 1 space for each employee on the largest work shift
Commercial Kitchen	n/a	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Convenient Cash Business	One parking space per 300 square feet of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Drive-Through & In-Vehicle Sales or Service	1 space per 50 sf of gross floor area	Refer to the parking requirements of the other land use activities on the site, such as Indoor Sales and Service land uses for a gas station/convenience store, or Office land uses for a bank.	Refer to the parking requirements of the other land use activities on the site, such as Indoor Sales and Service land uses for a gas station/convenience store, or Office land uses for a bank.
Golf Course	36 spaces per nine holes, plus one space per employee on the largest work shift, plus 50% of spaces otherwise required for any accessory uses (e.g., bars, restaurants).	1 per 500 square feet of gross floor area, 1 space for each employee on the largest shift	None
Group Daycare Center (9+ children)	1 space per 5 students, plus one space per employee on the largest shift	1 space for each employee on the largest work shift	1.5 spaces for each employee on the largest work shift
Indoor Commercial Entertainment	1 space per 3 seats or 1 space per 3 persons at maximum capacity, whichever is greater	1 space for every 5 persons at the maximum capacity	1.5 space for every 5 persons at the maximum capacity
Indoor Maintenance Service	1 space per 300 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Indoor Sales or Services	1 space per 300 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Indoor Shooting Range	n/a	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Intensive Outdoor Activity	n/a	1 space per 5 persons at maximum capacity	1.5 spaces per 5 persons maximum capacity
Office	1 space per 300 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Outdoor Commercial Entertainment	1 space per 3 seats or 1 space per 3 persons at maximum capacity, whichever is greater	1 space for every 5 persons at the maximum capacity	1.5 space for every 5 persons at the maximum capacity
Outdoor Sales and Display	1 space per 300 sf of gross floor area	1 space per 1,000 square feet of gross outdoor display area	1.5 space per 1,000 square feet of gross outdoor display area
Outdoor Maintenance Service	1 space per 300 sf of gross floor area	1 space for each employee on the largest work shift	1 space for each employee on the largest work shift
Personal or Professional Service	1 space per 300 sf of gross floor area	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
Vehicle & Boat Sales	n/a	1 space per employee on the largest work shift	None
Vehicle Service and Repair	1 space per 300 sf of gross floor area, plus adequate space for all customers and employees	1 space per employee on the largest work shift	None
Water Related Recreation	n/a	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
<b>Institutional Land Uses</b>			
Active Outdoor Recreation, Passive Outdoor Recreation	1 space per 4 patrons at maximum capacity, for any use requiring over 5 spaces	Determined by the Plan Commission	Determined by the Plan Commission
Community Living Arrangement 1-8, 9-15, 16+	3 spaces, 4 spaces, 1 space per 3 residents	1 space per employee on the largest work shift	1.5 spaces per employee on the largest work shift
Small Scale Public Services and Utilities	none	none	none
Indoor Institutional	unique requirements for libraries, museums, schools, community center, churches, places of assembly, and funeral homes	Determined by the Plan Commission	Determined by the Plan Commission
Institutional Residential	unique requirements for monastery or covenant, nursing home, and dormitory	Determined by the Plan Commission	Determined by the Plan Commission
Large Scale Public Services and Utilities	1 space per employee on the largest shift, plus 1 space per company vehicle, plus 1 space per 500 sf of gross office floor area	1 space per employee on the largest work shift	1.5 spaces per employee on the largest work shift
Outdoor Open Space Institutional	unique requirements for cemetery, golf course, swimming pool, tennis courts	none	none
<b>Industrial Land Uses</b>			
All Industrial Land Uses		1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Data Center	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Heavy Industrial	1 space per each employee on the largest work shift.	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Indoor Food Production and Processing	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Light Industrial	1 space per each employee on the largest work shift.	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Medium Industrial	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Production Greenhouse	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
<b>Storage Land Uses</b>			
All Storage Land Uses		1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Indoor Storage and Wholesaling	1 space per 2,000 sf of gross floor area	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.

Outdoor Storage and Wholesaling	1 space per 10,000 sf of gross storage area, plus 1 space per employee on the largest shift	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Personal Storage Facility	1 space for each employee on the largest work shift.	1 space for each employee on the largest work shift.	1.5 spaces for each employee on the largest work shift.
<b>Transportation Land Uses</b>			
Airport	1 space per employee on the largest shift, plus 1 space per every 5 passengers based on average daily ridership	Determined by the Plan Commission	Determined by the Plan Commission
Distribution Center	1 space per each employee on the largest work shift	1 space per each employee on the largest work shift	1.5 spaces per each employee on the largest work shift
Freight Terminal	1 space per each employee on the largest work shift	1 space per each employee on the largest work shift	1.5 spaces per each employee on the largest work shift
Heliport	1 space per employee on the largest shift, plus 1 space per every 5 passengers based on average daily ridership	none	none
Off-Site Parking Lot	none	none	none
Off-Site Structured Parking	none	none	none
Transit Center	n/a	Determined by the Plan Commission	Determined by the Plan Commission
<b>Telecommunications Land Uses</b>			
Communication Tower	1 space per each employee on the largest work shift.	none	none
<b>Extraction and Disposal Land Uses</b>			
All Extraction and Disposal Land Uses		1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Composting	1 space per each employee on the largest work shift.	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Extraction	1 space per each employee on the largest work shift.	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Indoor Recycling Facility	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Salvage or Junkyard	1 space per 20,000 sf of gross storage area, plus 1 space per employee on the largest shift	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Sand and Mineral Processing	n/a	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Waste Disposal/Landfill	1 space per each employee on the largest work shift.	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
<b>Energy Production Land Uses</b>			
Large Solar Energy System, Large Wind Energy System	n/a	none	none
<b>Agricultural Land Uses</b>			
Agricultural Services	1 space per employee on the largest shift	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Community/Market Garden	none	none	none
Cultivation	1 space per employee on the largest shift	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
Husbandry	1 space per employee on the largest shift	1 space per each employee on the largest work shift.	1.5 spaces per each employee on the largest work shift.
On-Site Agricultural Retail	A minimum of one parking space shall be required for every 200 square feet of product display area. One space per employee on the largest work shift and four spaces for customers.	1 space per 500 square feet of gross floor area	1.5 spaces per 500 square feet of gross floor area
<b>Accessory and Temporary Uses</b>			
Accessory Dwelling Units	n/a	none	none
Home Occupation	n/a	1 space per non-resident employee	none
Short-Term Residential Rental	1 space per bedroom	2 spaces per rental unit, 1 space per 3+ bedrooms within each rental unit	none
All Other Accessory Uses	None, except as required for the principal land use	None, except as required for the principal land use	None, except as required for the principal land use
All Temporary Uses	None, except as required for the principal land use	None, except as required for the principal land use	None, except as required for the principal land use
<b>Bicycle Parking Standards</b>			
Multi-Family and Nonresidential Land Uses	none	1 space per 10 parking stalls, up to 20 total bicycle parking spaces or a flat number such as 4 stalls per commercial/industrial/institutional use	none
<b>Notes</b>			
1. Minimum parking requirements may be reduced by the Plan Commission through the Conditional Use, Planned Development, or Site Plan review process based on a Parking Study.			
2. Maximum parking requirements may be exceeded by the Plan Commission through the Conditional Use process based on a Parking Study and meeting defined criteria such as use requires greater parking demand, etc.			
3. Joint parking facilities may be approved by the Plan Commission to reduce the minimum required parking on-site.			
4. Additional bicycle parking may be approved by the Plan Commission to reduce the minimum required parking on-site.			