



## **SITE PLAN REVIEW COMMITTEE MEETING AGENDA**

**MONDAY, JUNE 09, 2025 AT 1:30 PM**

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,  
WATERTOWN, WI 53094**

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### **Virtual Meeting**

**Info:** <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=88021158642or> call: 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

### **1. CALL TO ORDER**

### **2. APPROVAL OF MINUTES**

A. Review and take action: Site Plan Review minutes dated May 19, 2025

### **3. BUSINESS**

A. Review and take action: 1901 Market Way fireworks sales

B. Review and take action: 510 Cole Street: Lift vestibule

### **4. ADJOURNMENT**

*Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at [cityclerk@watertownwi.gov](mailto:cityclerk@watertownwi.gov) phone 920-262-4000*

*A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only*



**SITE PLAN REVIEW COMMITTEE**  
**May 19, 2025**

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Brian Zirbes – Building Safety & Zoning, Mike Jacek – Building Safety & Zoning, Tanya Reynen – Fire Department, Nathan Williams – Engineering, Maureen McBroom – Stormwater, Stacy Winkelman – Streets, Laura Bohlman – Police Department.

Also in attendance were Nikki Zimmerman of Building Safety & Zoning and Mason Becker, Gary Stueber, Stephen Zillmer, and Ryan Hepp.

**1. Call to Order**

The meeting was called to order by Chairperson Brian Zirbes.

**2. Approval of Minutes**

**A. Review and take action: Site Plan Review Minutes Dated April 28, 2025**

Motion was made by Mike Jacek and seconded by Tanya Reynen to approve the minutes as submitted. Unanimously approved.

**3. Business**

**A. Review and take action: 907 Boomer Street – 917 Boomer Street – Proposed Vietnam Wall Project**

Gary Stueber, Stephen Zillmer, and Ryan Hepp were present to explain the proposed mobile Vietnam Wall at 907 – 917 Boomer Street (Aero Park). The hope is to have this completed and in place by Veterans Day in November. This is about 80% of the size of the original in Washington, D.C. The maximum height is roughly 8' and there will be a fence around the wall as well. This has been approved at Airport Commission on Wednesday, May 14, 2025.

The following was presented by staff:

Building:	Verified that the measurement on the drawing of 39' is from the back of the curb on "new Boomer Street" to the wall.
Police:	No comments.
Mayor:	No comments.
Stormwater:	An erosion control permit will be required for this project.
Engineering:	An encroachment approval will be needed from Public Safety & Welfare because the old Boomer Street has not been vacated. This will happen on June 4 <sup>th</sup> at 5 p.m. Staff verified that the wall will not reduce any visibility. There is likely a water lateral and an electrical line that will be running under the wall to be aware of. There would be a contingency of approval of the Bureau of Aeronautics approval of the wall height.
Zoning:	Boomer Street has been moved, shown as "new Boomer Street" on the map. The minimum setback should be 58' back from the centerline of the road to the wall.
Fire:	No comments.
Streets:	No comments.

Motion made and seconded to approve this item and forward to Plan Commission contingent upon the following conditions:

1. Obtain ROW encroachment approval from Public Safety & Welfare Committee.
2. Wall shall be setback at least 58 feet from the centerline of Boomer Street.
3. Obtain Bureau of Aeronautics approval of the wall placement and height.
4. Obtain approval of an Erosion Control Permit.

Unanimously approved.

**4. Adjournment**

Motion was made by Tanya Reynen and seconded by Mayor Stocks to adjourn. Unanimously approved.

Respectfully submitted,  
Nikki Zimmerman  
Recording Secretary

**NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.**





2608 SE J Street, Suite 8  
Bentonville, AR 72716  
Jimmy.Buchanan@walmart.com

August 2<sup>nd</sup>, 2024

To Whom It May Concern,

American Promotional Events, Inc. dba TNT Fireworks is an approved National Supplier to conduct fireworks promotions on our Walmart parking lots where this type of promotion is legal. All stores have been researched and approved by the Walmart Realty Department. Approximate time frame for the select stores approved for additional selling date promotions are:

- New Year's December 26<sup>th</sup>, 2024 to January 12<sup>th</sup>, 2025
- May 20<sup>th</sup>, 2025 to July 12<sup>th</sup>, 2025 with the exception of Utah which has an additional selling period through the end of July for Pioneer Days.

American Promotional Events, Inc. dba TNT Fireworks is authorized to sign for and obtain all necessary permits and/or licenses for the promotion and must display such permits and/or licenses at each stand/tent. Walmart grants permission for all patrons of the sale to utilize the restroom facilities at each participating store.

An American Promotional Events, Inc. dba TNT Fireworks representative will call you to introduce the company and discuss your participation in the event. Participation is encouraged and does add additional income to your other income account. Store Management must approve the store's participation and placement on the parking lot.

Thank you in advance for your cooperation in this matter and if you have any questions, please contact TNT Fireworks at 256-767-7142.

Best Regards,

A handwritten signature in black ink, appearing to read "Jimmy Buchanan", with a long horizontal line extending to the right.

Jimmy Buchanan  
Senior Manager  
Walmart Retail Services



WAL-MART #1776 – 1901 MARKET WAY, WATERTOWN, WI

FWI 0028



TNT Fireworks Contact:

Name: Matt Sokol

Email Address: sokolm@tntfireworks.com

Phone Number: 715-797-6885

Date: 3/15/2023

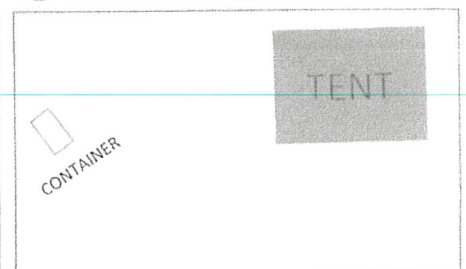
Store Manager spoke with:

Name: \_\_\_\_\_

Site Map reviewed: Yes / No (Circle)

Notes: \_\_\_\_\_

\_\_\_\_\_

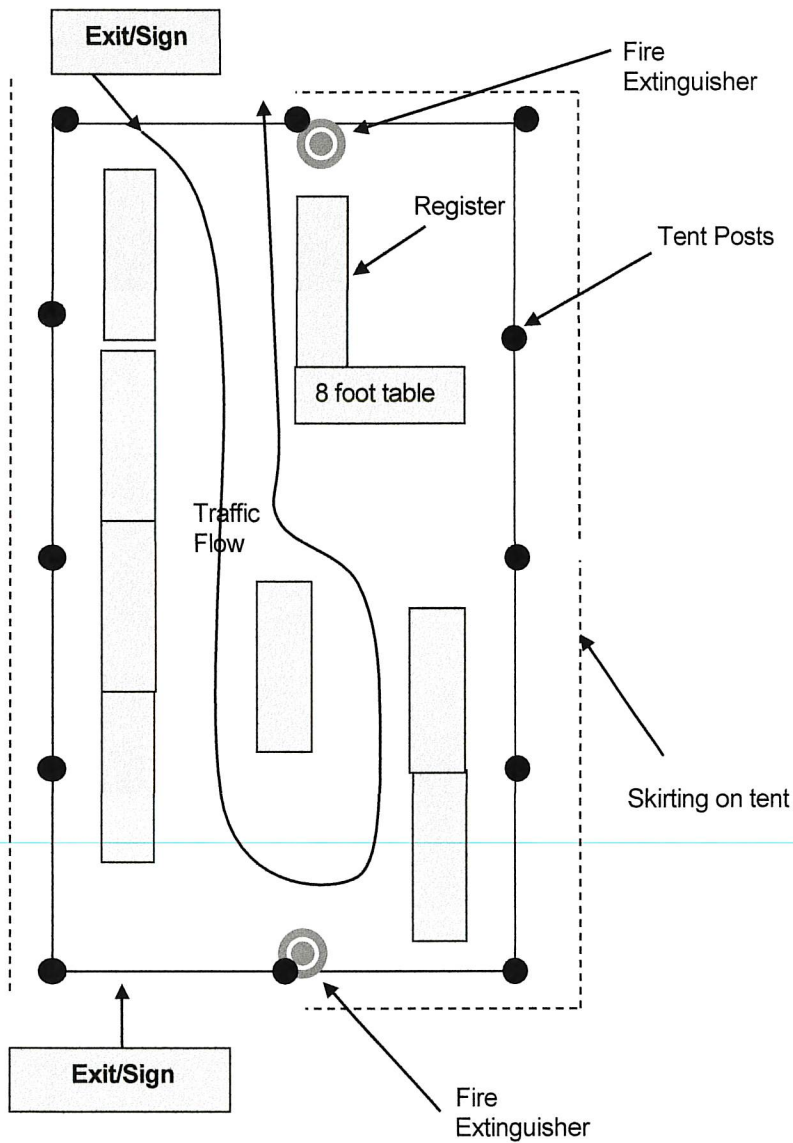




Tent Floor Plan and Layout Sketch



20' x 40' Tent



< Notes on Next Page >



**List of Notes for Floor Plan**

- \* 20' x 40' = 800 square feet in area
- \* 8 foot tables are used for displays
- \* All aisles will be at least 4 feet wide in shopping floor space
- \* 2 remote exits will have Lighted EXIT combo signs above them –
- \* Tent openings/doorways will be at least 7 feet wide
- \* Since all fireworks are 'packaged', the packaged fireworks act as a flame breaks (Code: 7.3.15.3.4) along with the 4 foot spaces between aisles
- \* Exits will be available within the 35 foot requirement of each other (less than 35 feet from any point within the tent)
- \* Fire extinguishers will be present - one pressurized water type and a dry chemical with rating of at least 2A (10 lb)
- \* Display area will not exceed 50% of the square footage of tent
- \* "Fireworks – No Smoking" signs will be posted near entrances/exits and visible from within the tent (minimum of 3)
- \* "No Fireworks Discharge Within 300 Feet" signs will be posted on all four sides of the tent (facing outside)
- \* Flame Certificates will be available on the tent – showing flame resistance
- \* Merchandise displayed within the perimeter of the sales area will not exceed 6 feet in height.
- \* Evacuation Plan will be posted along with permits and sales tax license

**List of Notes for Site Plan**

- \* Any generator used would be placed 20 feet away from tent when in operation
- \* Parked Vehicles will be at least 10 feet away
- \* Nearest gas station or retail propane-dispensing stations will be over 50 feet away
- \* No flammable gas bulk dispensers will be within 300 feet
- \* No other buildings or cfrs will be located within 20 feet
- \* Extra storage of fireworks other than inside inventory, will be no less than 20 feet away
- \* Fire department vehicle access is readily available





# CERTIFICATE OF LIABILITY INSURANCE

11/1/2025

Section 3, Item A.

11/14/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Lockton Companies, LLC DBA Lockton Insurance Brokers, LLC in CA CA license #0F15767 3280 Peachtree Rd. NE, Ste. 1000 Atlanta GA 30305 (404) 460-3600	<b>CONTACT NAME:</b>	
	<b>PHONE (A/C, No, Ext):</b> <b>FAX (A/C, No):</b>	
<b>INSURED</b> 1359629 American Promotional Events, Inc. DBA TNT Fireworks, Inc. P.O. Box 1318 4511 Helton Drive Florence AL 35630	<b>E-MAIL ADDRESS:</b>	
	<b>INSURER(S) AFFORDING COVERAGE</b>	
	<b>INSURER A : Century Surety Company</b>	
	<b>NAIC #</b> 36951	
	<b>INSURER B :</b>	
	<b>INSURER C :</b>	
	<b>INSURER D :</b>	
<b>INSURER E :</b>		
<b>INSURER F :</b>		

**COVERAGES****CERTIFICATE NUMBER:** 13495768**REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:	Y	N	CCP1219465	12/1/2024	11/1/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY			NOT APPLICABLE			COMBINED SINGLE LIMIT (Ea accident) \$ XXXXXXXX BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX \$ XXXXXXXX
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> OCCUR <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$			NOT APPLICABLE			EACH OCCURRENCE \$ XXXXXXXX AGGREGATE \$ XXXXXXXX \$ XXXXXXXX
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		N/A	NOT APPLICABLE			PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ XXXXXXXX E.L. DISEASE - EA EMPLOYEE \$ XXXXXXXX E.L. DISEASE - POLICY LIMIT \$ XXXXXXXX

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES** (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

ADDITIONAL INSURED: FWI0028; PROPERTY LOCATED AT WALMART 1901 MARKET WAY WATERTOWN, WI 53094; WALMART STORES, INC. 702 SW 8TH STREET BENTONVILLE, AR 72716; GABRIEL MCPIKE AND GROUP;

Certificate holder is an additional insured on the General Liability as required by written contract subject to policy terms, conditions, and exclusions.

**CERTIFICATE HOLDER**13495768  
CITY OF WATERTOWN  
106 JONES STREET  
WATERTOWN WI 53094**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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WISCONSIN DEPARTMENT OF REVENUE  
PO BOX 8902  
MADISON, WI 53708-8902

**Contact Information:**

2135 RIMROCK RD PO BOX 8902  
MADISON, WI 53708-8902  
ph: 608-266-2776 fax: 608-327-0235  
email: DORBusinessTax@wisconsin.gov  
website: revenue.wi.gov

Section 3, Item A.

000844

AMERICAN PROMOTIONAL EVENTS INC  
PO BOX 1318  
FLORENCE AL 35631-1318

Letter ID L1841472048



## Wisconsin Business Tax Registration Certificate

**Expiration date:** March 31, 2026

**Legal/real name:** AMERICAN PROMOTIONAL EVENTS INC

- This certificate confirms that you are registered with the Wisconsin Department of Revenue for the tax types shown below.
- This registration certificate is not a seller's permit, and should not be used as proof that you hold a seller's permit.
- You may not transfer this certificate to any other individual or business.

<b>Tax Type</b>	<b>Account Type</b>	<b>Number</b>
Sales & Use Tax	Sales & Use Tax	456-0000426277-02







**COMcheck Software Version 4.1.5.5**  
**Envelope Compliance Certificate**

**Project Information**

Energy Code:	2015 IECC	
Project Title:	Building Addition at lift	
Location:	Watertown, Wisconsin	
Climate Zone:	6a	
Project Type:	Addition	
Vertical Glazing / Wall Area:	22%	
Construction Site:	Owner/Agent:	Designer/Contractor:
510 Cole St	Moravian Church	Boyd Coleman
Watertown, WI 53094	510 Cole St	StruckRite, Inc.
	Watertown, WI 53094	707 N. Grand Ave - Suite 102
		Waukesha, WI 53186
		262-549-3222
		boydc@srinc.biz

Building Area	Floor Area
1-Accessible Lift Entrance (Religious Building) : Nonresidential	135

**Envelope Assemblies**

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sub>req</sub>
Floor 1: Slab-On-Grade/Unheated, Vertical 4 ft., [Bldg. Use 1 - Accessible Lift Entrance] (d)	34	---	10.0	0.480	0.540
Roof 1: Other Insulation Above Deck, [Bldg. Use 1 - Accessible Lift Entrance] (b)	280	---	---	0.040	0.032
<b>NORTH</b> Exterior Wall 1: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	68	19.0	0.0	0.109	0.064
<b>SOUTH</b> Exterior Wall 3: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	80	19.0	0.0	0.109	0.064
Door: Glass (> 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	20	---	---	0.450	0.770
Sidelight: Glass (> 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	12	---	---	0.450	0.770
<b>WEST</b> Exterior Wall 2: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	128	19.0	0.0	0.109	0.064
Window: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	28	---	---	0.300	0.360

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.  
(b) 'Other' components require supporting documentation for proposed U-factors.

Project Title:	Building Addition at lift	Report date:	04/16/25
Data filename:	G:\SRD Job Files\24191 Watertown Moravian Church Lift & Vestibule\Project Data\Code Info\Moravian_ComCheck.cck	Page	1 of 9

(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.  
(d) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

**Envelope PASSES: Design 3% better than code**

**Envelope Compliance Statement**

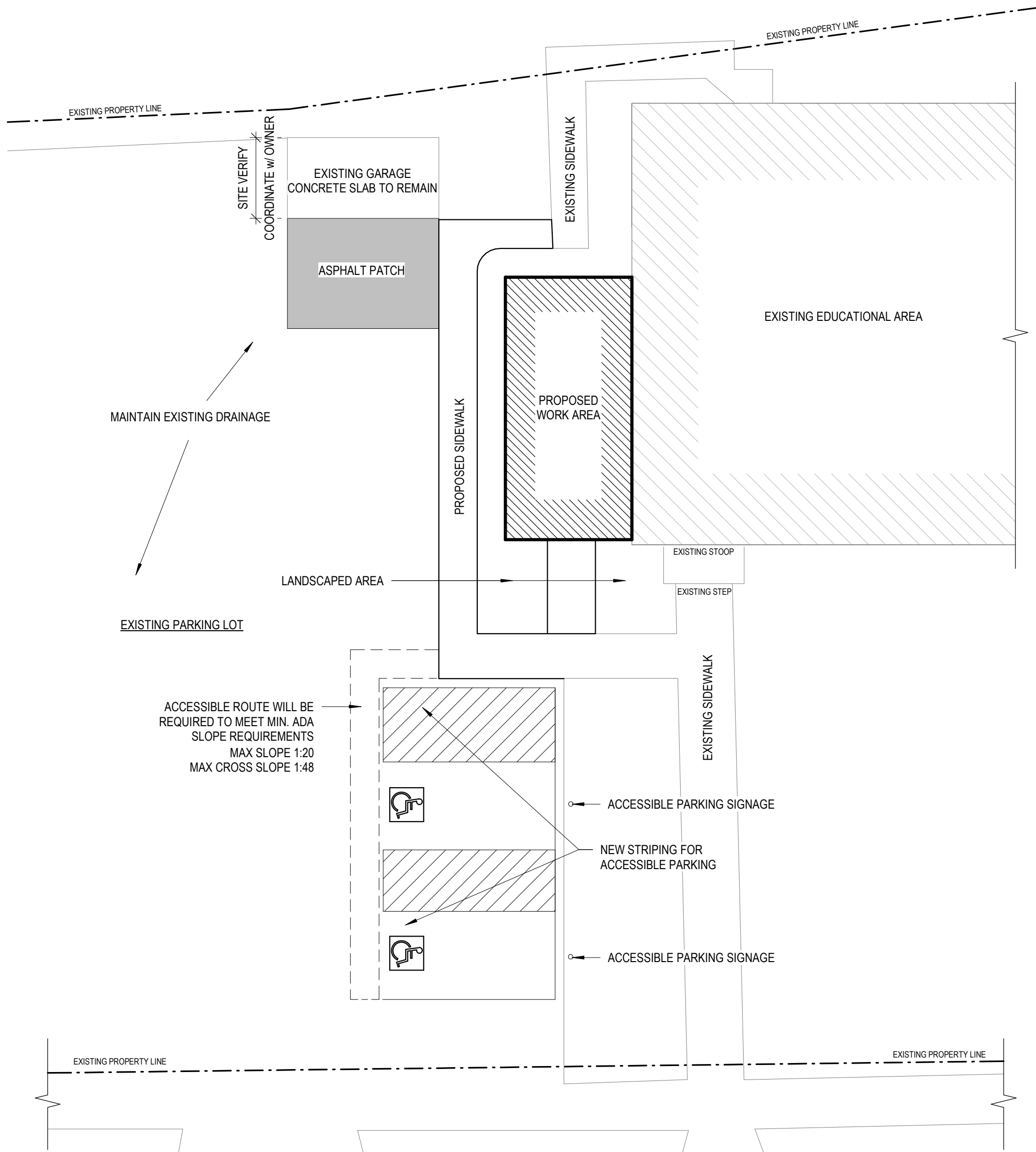
**Compliance Statement:** The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

Project Title:	Building Addition at lift	Report date:	04/16/25
Data filename:	G:\SRD Job Files\24191 Watertown Moravian Church Lift & Vestibule\Project Data\Code Info\Moravian_ComCheck.cck	Page	2 of 9

**LIFE SAFETY ANALYSIS**

SUBMITTAL TYPE		ADDITION				MAXIMUM EXIT DISTANCE		MAXIMUM	200'-0"	ACTUAL	12'-0"	Ⓢ PROPOSED ADDITION ↑	
TYPE OF CONSTRUCTION		IIB				MAXIMUM COMMON PATH		MAXIMUM	75'-0"	ACTUAL	12'-0"		
NUMBER OF STORIES		2				MAXIMUM DEAD-END CORRIDOR		MAXIMUM	25'-0"	ACTUAL	12'-0"		
SPRINKLED		NO				TOTAL NUMBER OF EXITS		REQUIRED	1	ACTUAL	1		
SPRINKLER TYPE		-				REQUIRED STAIR WIDTH		REQUIRED	ETR	ACTUAL	ETR	↓ Ⓢ PROPOSED ADDITION	
FIRE SUPPRESSION		-				REQUIRED EGRESS WIDTH		REQUIRED	32"	ACTUAL	36"		
FIRE ALARM		YES				MAIN OCCUPANCY TYPE		A-3					
ALARM TYPE		MANUAL				ALL OCCUPANCY TYPES		E, A-3					
WATER CLOSET-MALE		REQUIRED	ETR	PROVIDED	ETR	OCCUPANCY SEPARATIONS		1 HR FIRE RATED SHAFT ENCLOSURE					
WATER CLOSET-FEMALE		REQUIRED	ETR	PROVIDED	ETR	INCIDENTAL USES							
LAVATORIES		REQUIRED	ETR	PROVIDED	ETR	ALLOWABLE AREA							
TUBS/SHOWERS		REQUIRED	ETR	PROVIDED	ETR	(ADDITION) ACTUAL AREA FOR		295 SQFT (INCLUDING ROOF OVERHANG)					
DRINKING FOUNTAINS		REQUIRED	ETR	PROVIDED	ETR	ACTUAL AREA FOR		135 SQFT (ADDITION INTERIOR)					
OTHER						ACTUAL AREA FOR							
						TOTAL ACTUAL AREA		295 SQFT					
						TOTAL OCCUPANT LOAD		7 (AT ADDITION)					



**Moravian Church - Lift Vestibule**  
510 Cole St.  
Watertown, WI 53094

**REVISIONS**

No.	DATE	DESCRIPTION
-----	------	-------------

**CONSTRUCTION DOCUMENTS**

SHEET TITLE:	BUILDING INFORMATION
JOB NUMBER:	24191
ISSUED DATE:	05.30.2025
DRAWN BY:	JJR
SHEET NUMBER:	G1.1



1 Local Site Plan  
1" = 10'-0"



**Moravian Church - Lift Vestibule**  
510 Cole St.  
Watertown, WI 53094

REVISIONS		
No.	DATE	DESCRIPTION

## CONSTRUCTION DOCUMENTS

SHEET TITLE:  
DEMOLITION PLANS

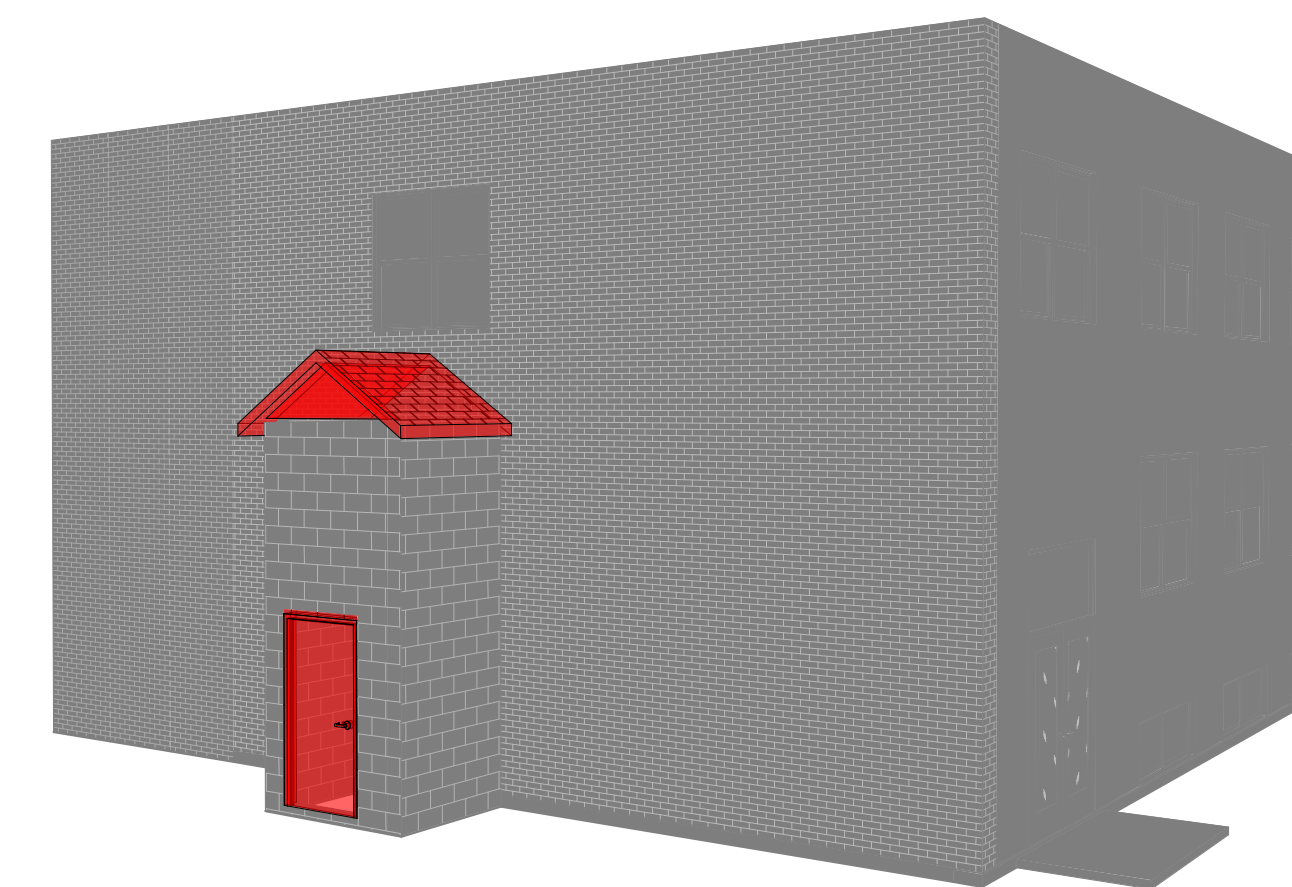
JOB NUMBER: 24191

ISSUED DATE:	05.30.2025
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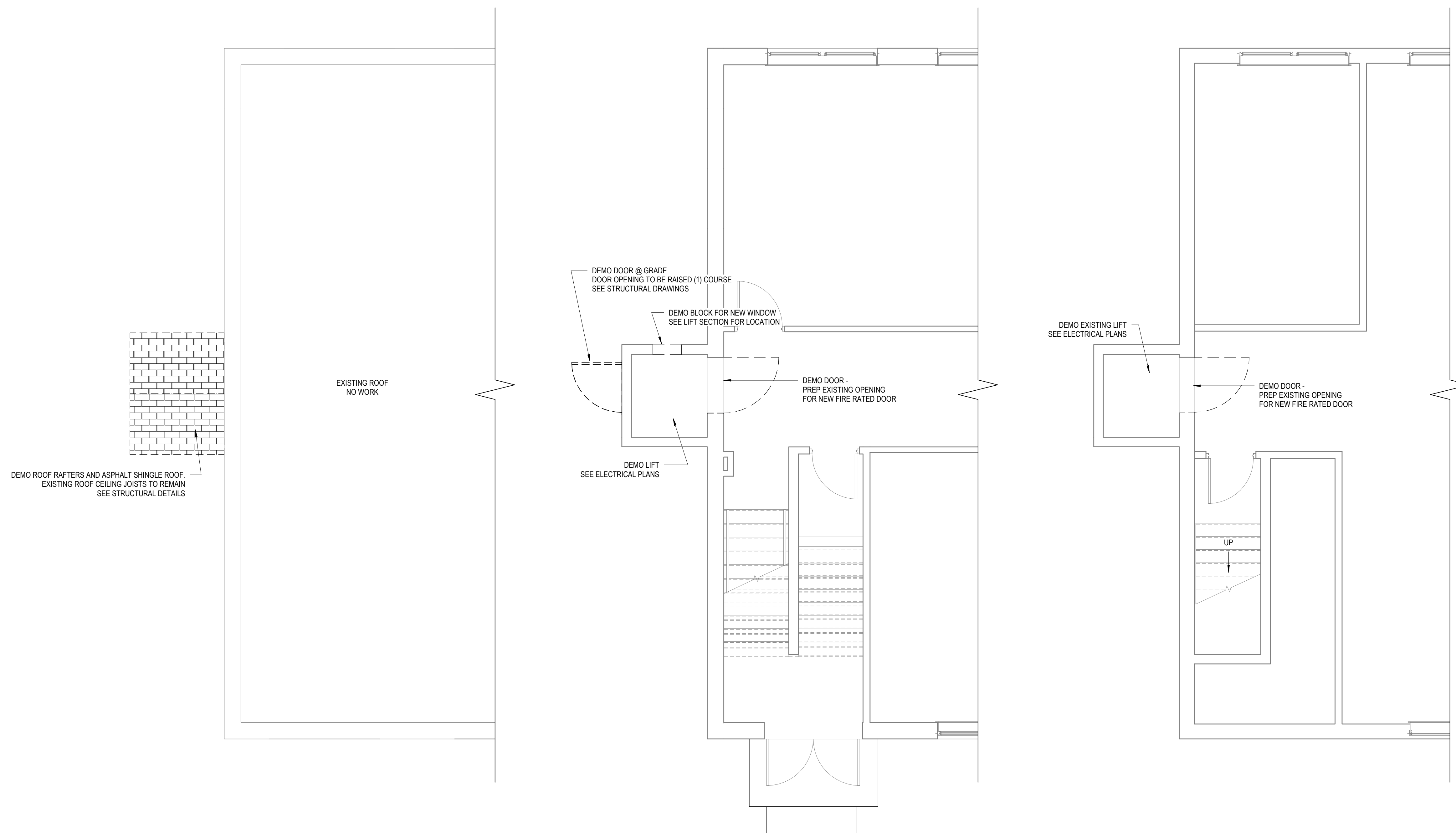
DRAWN BY: JJR

SHEET NUMBER:

# AD1.0



#### 4 PERSPECTIVE - DEMO VIEW



3 EXISTING / DEMO ROOF PLAN  
1/4" = 1'-0"



2 1st FLOOR - EXISTING / DEMO PLAN  
1/4" = 1'-0"



1 BASEMENT - EXISTING / DEMO PLAN  
1/4" = 1'-0"





Moravian Church - Lift Vestibule

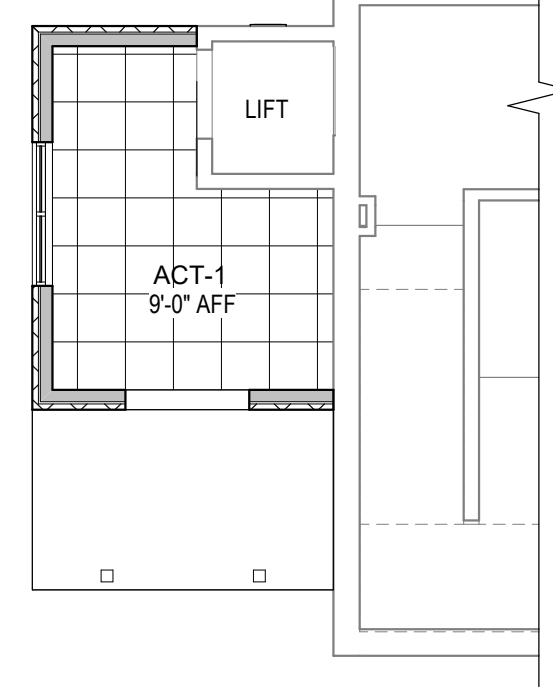
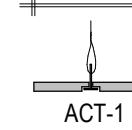
510 Cole St.  
Watertown, WI 53094

REVISIONS		
No.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS		
SHEET TITLE: FLOOR PLANS		
JOB NUMBER:	24191	
ISSUED DATE:	05.30.2025	
DRAWN BY:	JJR	
SHEET NUMBER:	A1.1	

SUSPENDED CEILING ASSEMBLIES:

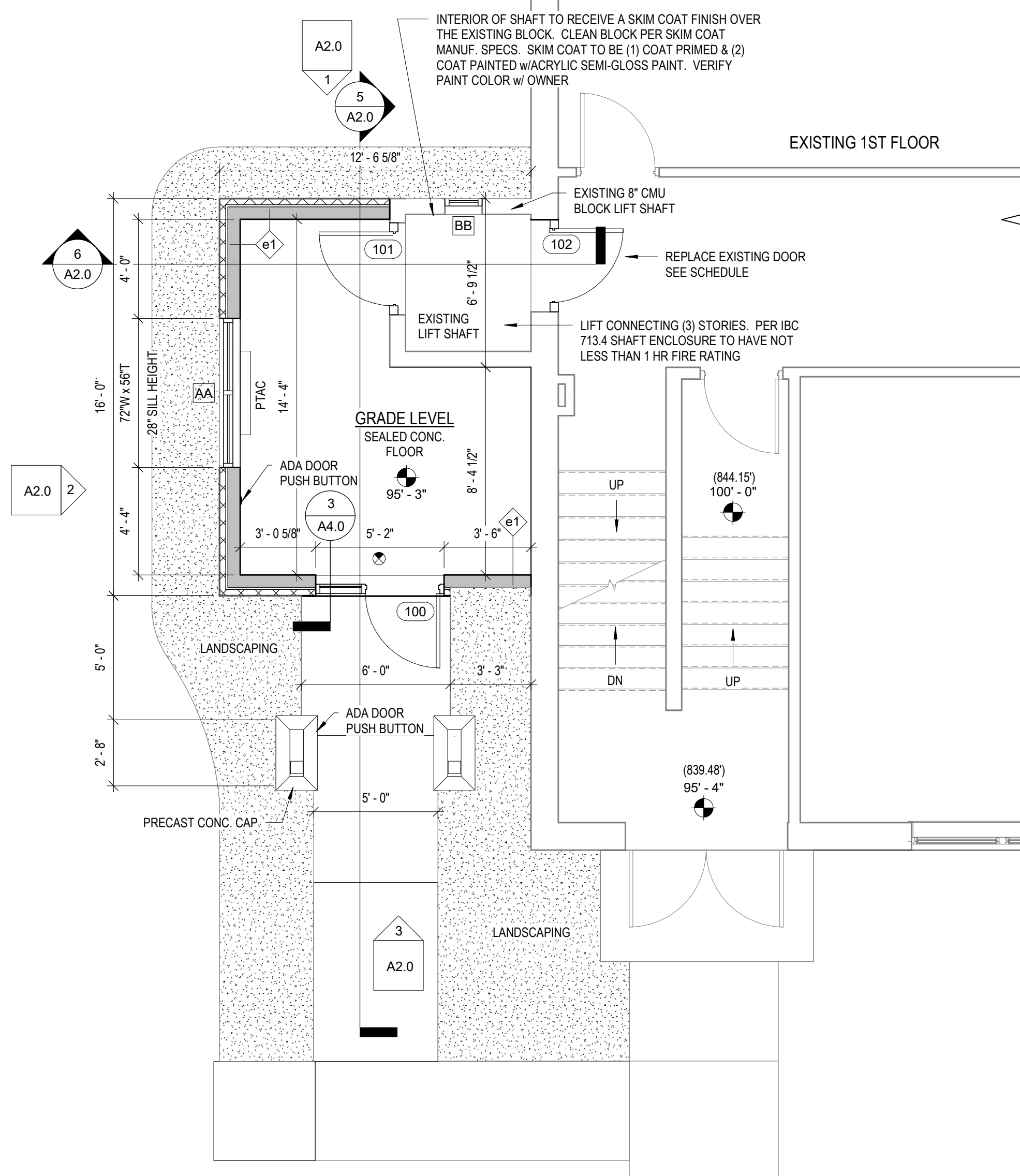
24" x 24" LAY-IN TILES: USG ECLIPSE CLIMA PLUS, PROFILE FL  
w/ USG CENTRICITEE DXT GRID, COLOR: FLAT WHITE



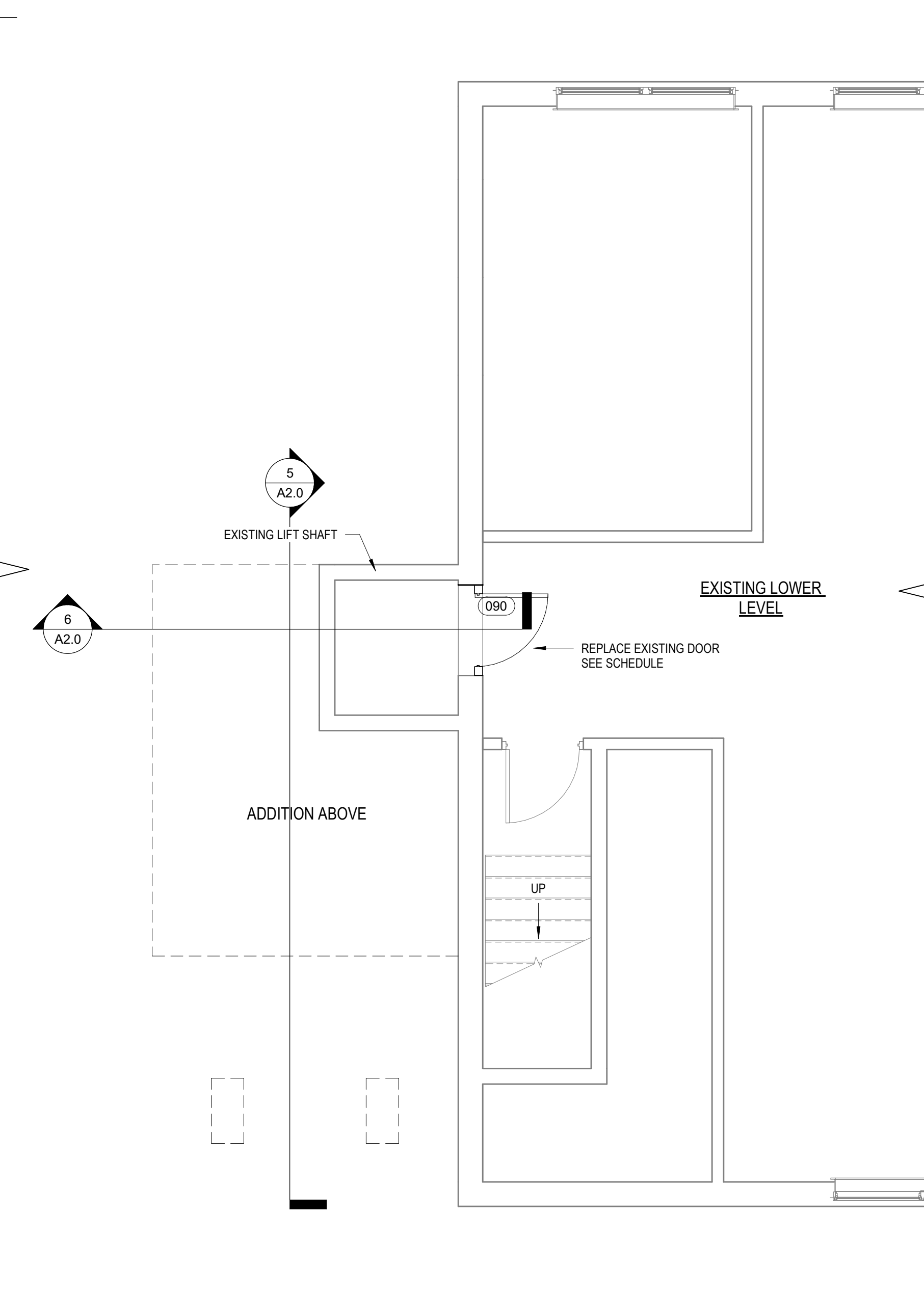
4 GRADE - RCP PLAN  
1/8" = 1'-0"

LIFE SAFETY GENERAL NOTES:

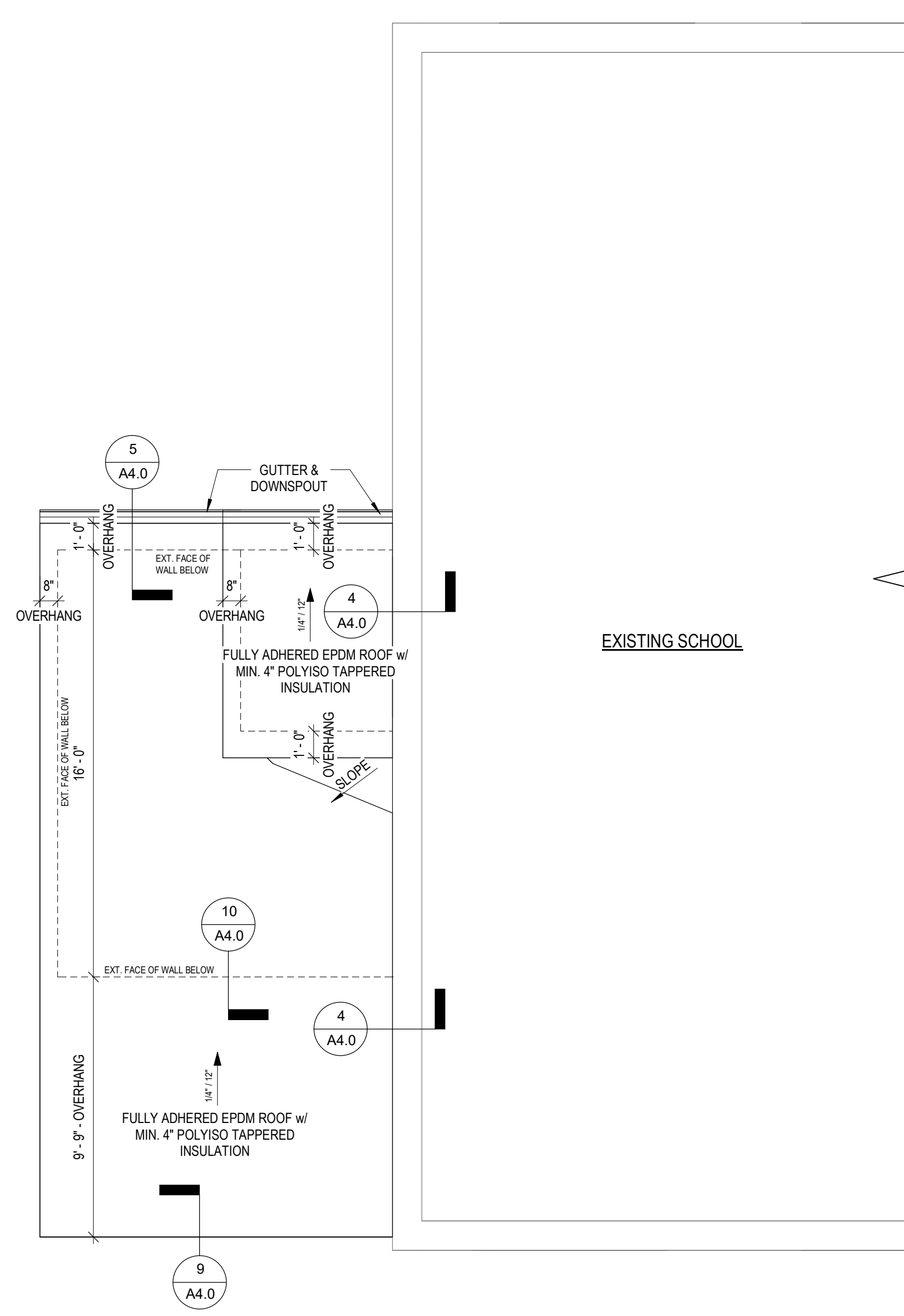
- MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED TO MEET CURRENT CODES. ELECTRICAL CONTRACTOR RESPONSIBLE FOR DESIGN AND SUBMITTAL TO STATE.
- AN EXTERIOR LIGHT SHALL BE PROVIDED AT EXIT DOORS AND BE PROVIDED WITH EMERGENCY POWER PER CURRENT CODES AND BE INCLUDED IN EGRESS ILLUMINATION PLANS.
- FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS NOTED ON PLANS BELOW. EXTINGUISHERS ARE TO BE MOUNTED TO ADJACENT WALL OR COLUMN USING STANDARD MANUFACTURES BRACKETS OR EQUIVALENT. FOR WALL MOUNT LOCATIONS ATTACH BRACKET TO STUDS OR BLOCKING ONLY. EXTINGUISHERS TO MEET CURRENT BUILDING CODE AND NFPA 10.



2 PROPOSED GRADE / 1ST FLOOR  
1/4" = 1'-0"



1 PROPOSED LOWER LEVEL  
1/4" = 1'-0"



3 PROPOSED ROOF PLAN  
1/4" = 1'-0"



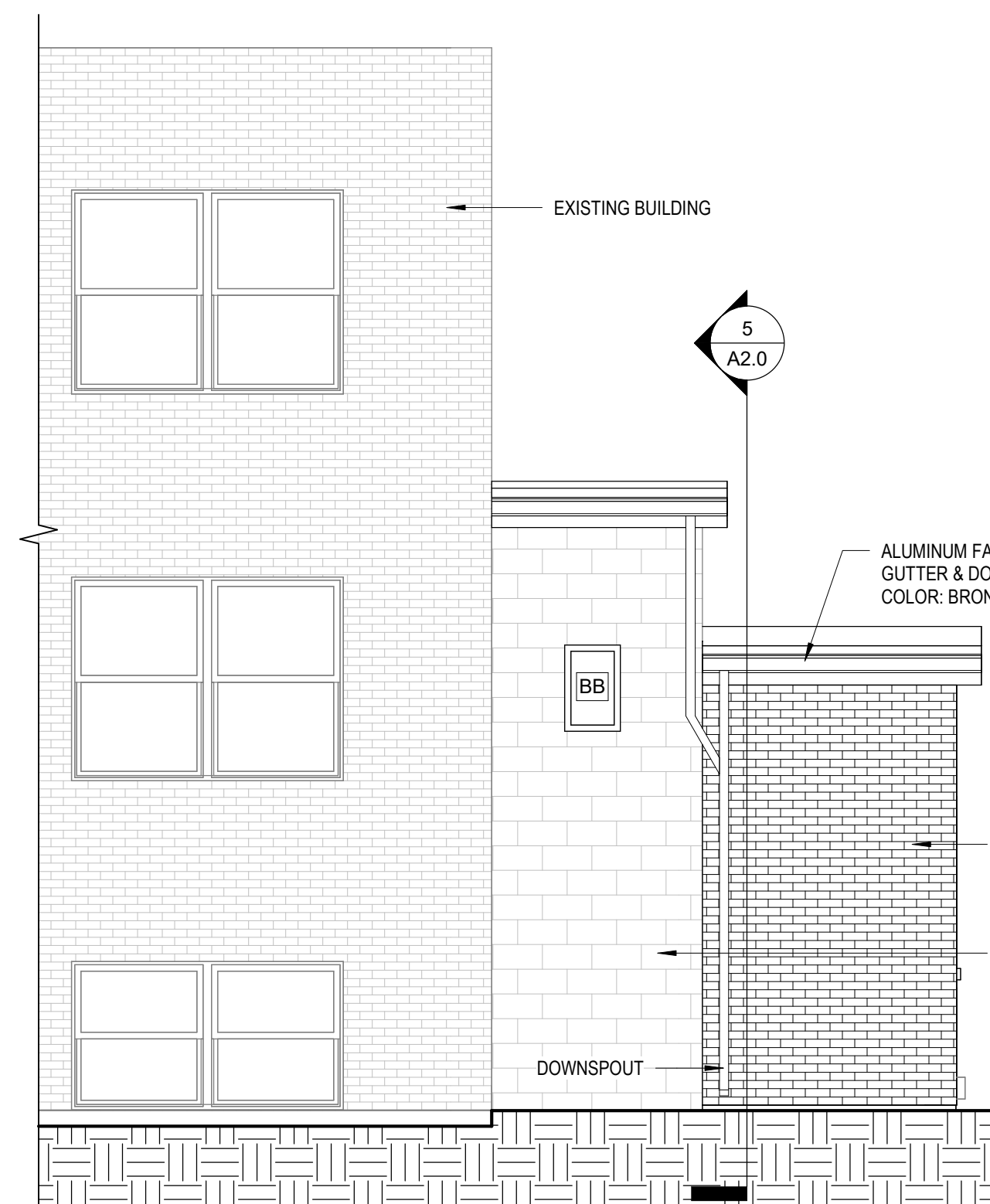
**Moravian Church - Lift Vestibule**  
510 Cole St.  
Watertown, WI 53094

REVISIONS		
No.	DATE	DESCRIPTION

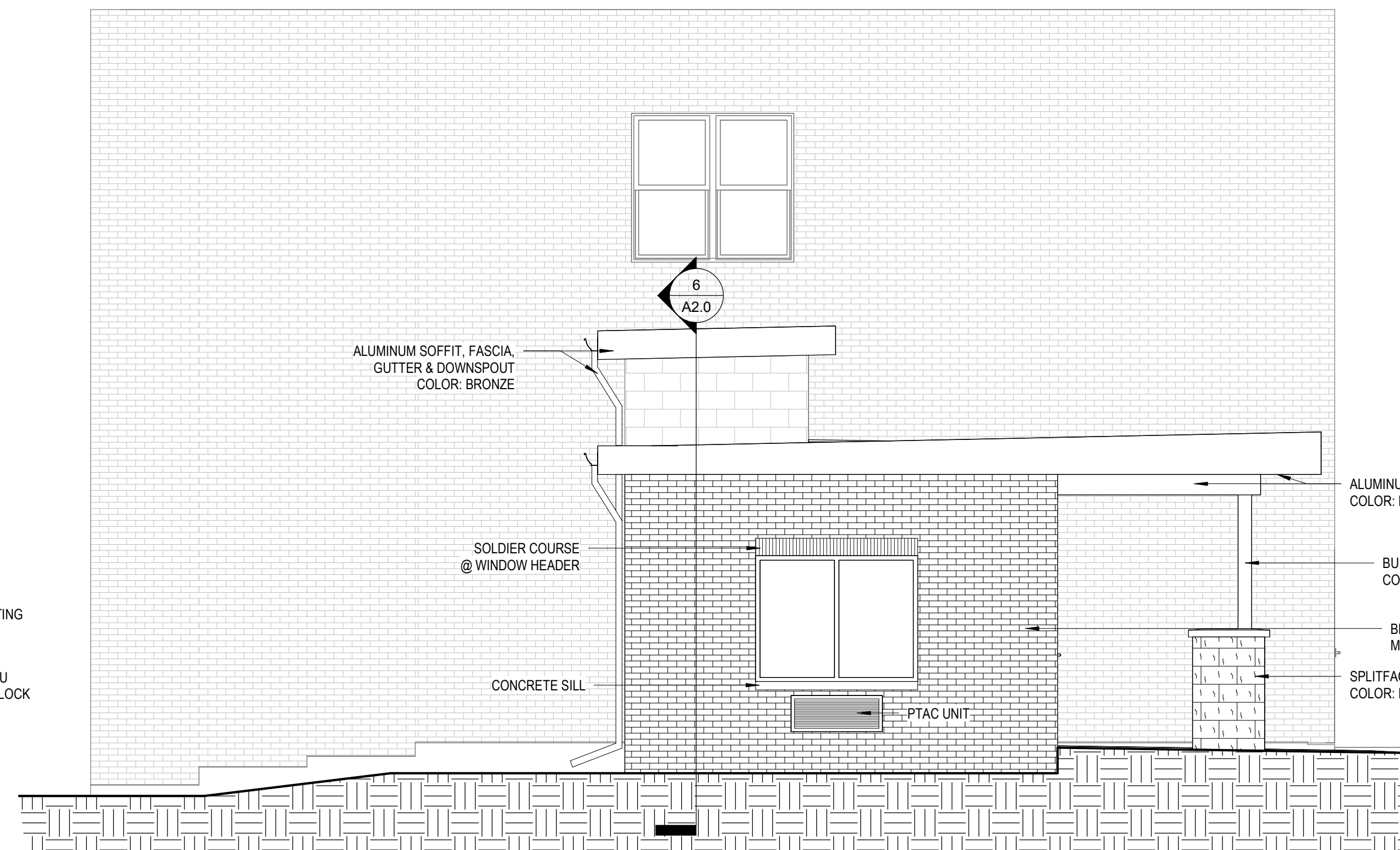
## CONSTRUCTION DOCUMENTS

SHEET TITLE:	ELEVATIONS & SECTIONS
JOB NUMBER:	24191
ISSUED DATE:	05.30.2025
DRAWN BY:	JJR
SHEET NUMBER:	

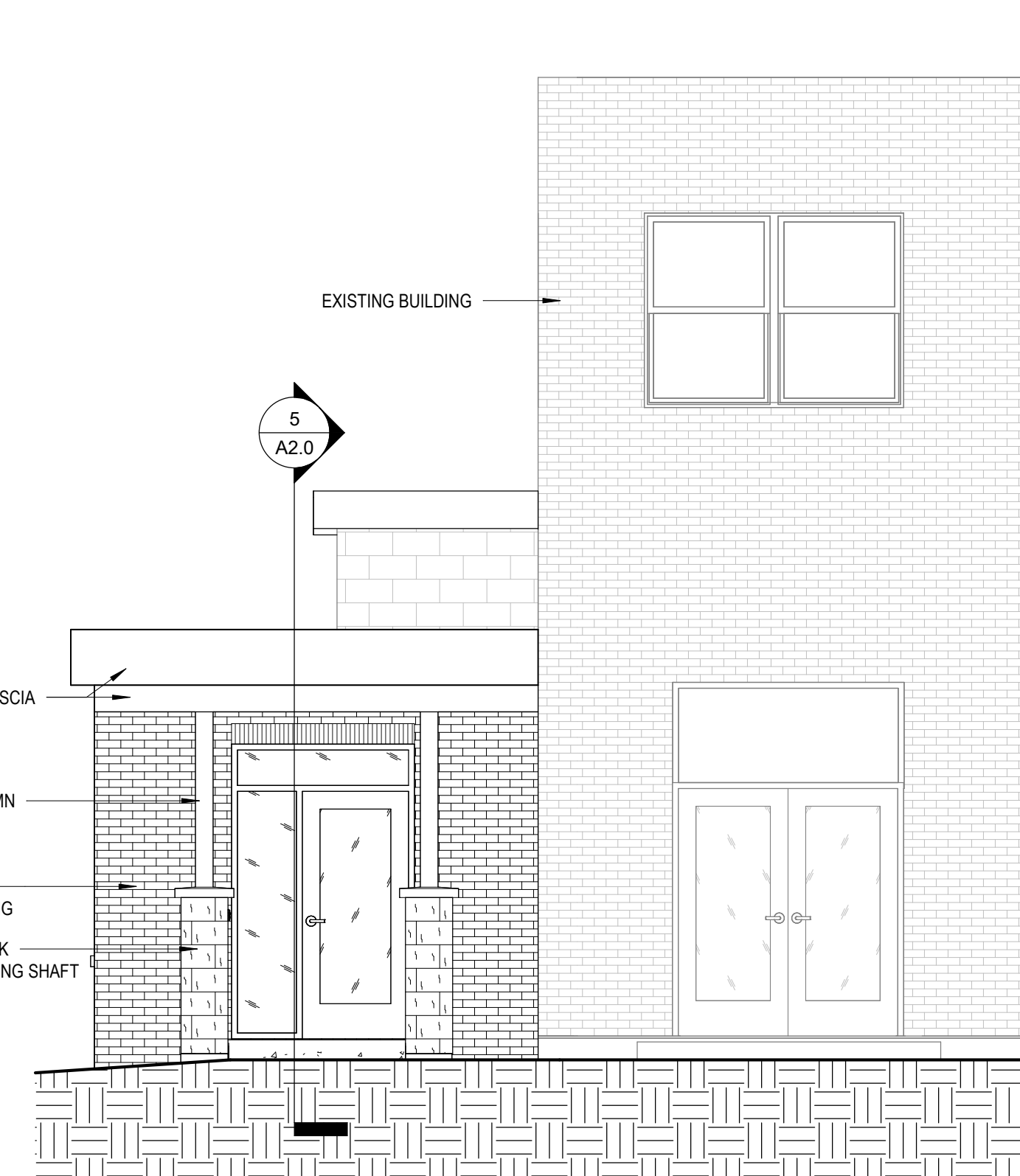
# A2.0



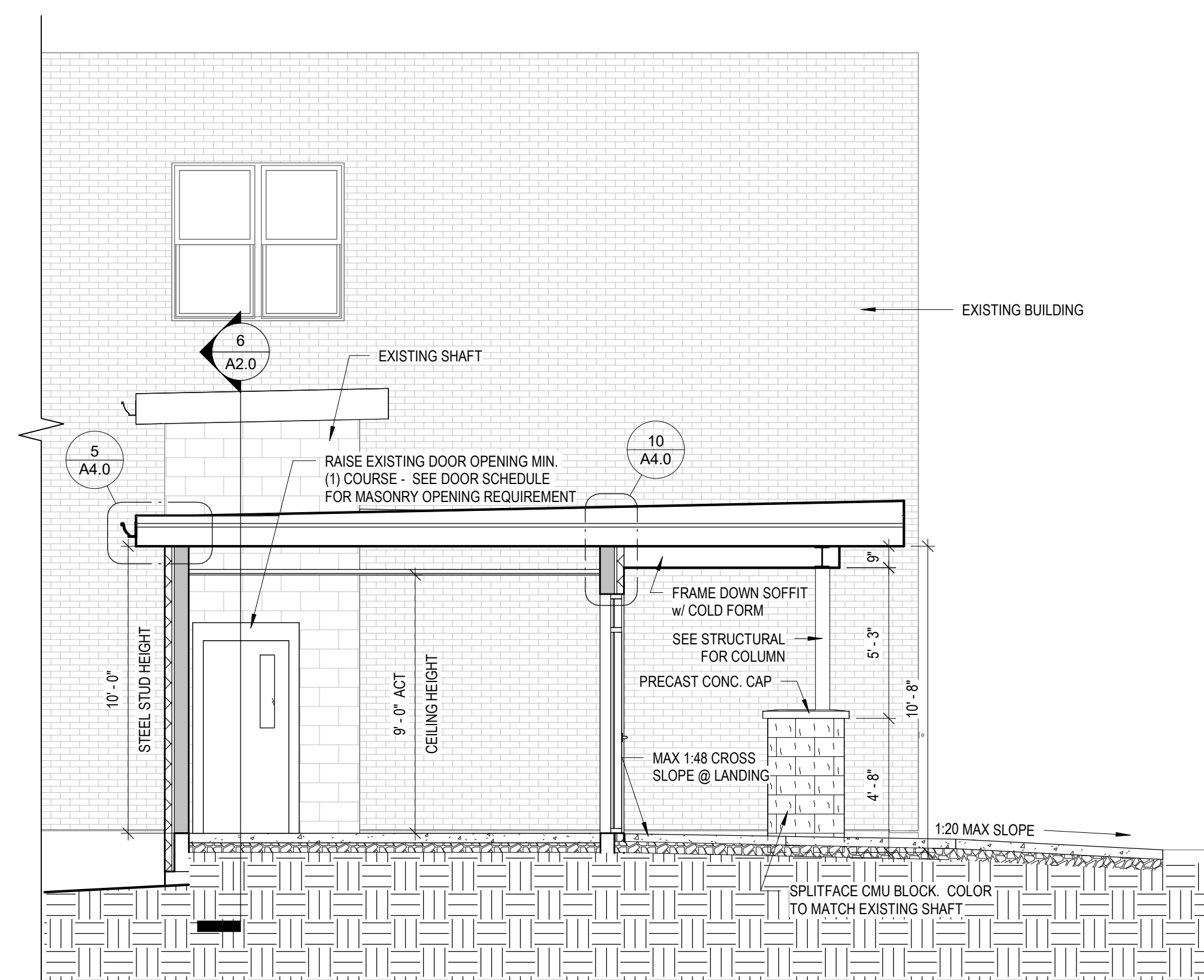
1 NORTH ELEVATION  
1/4" = 1'-0"



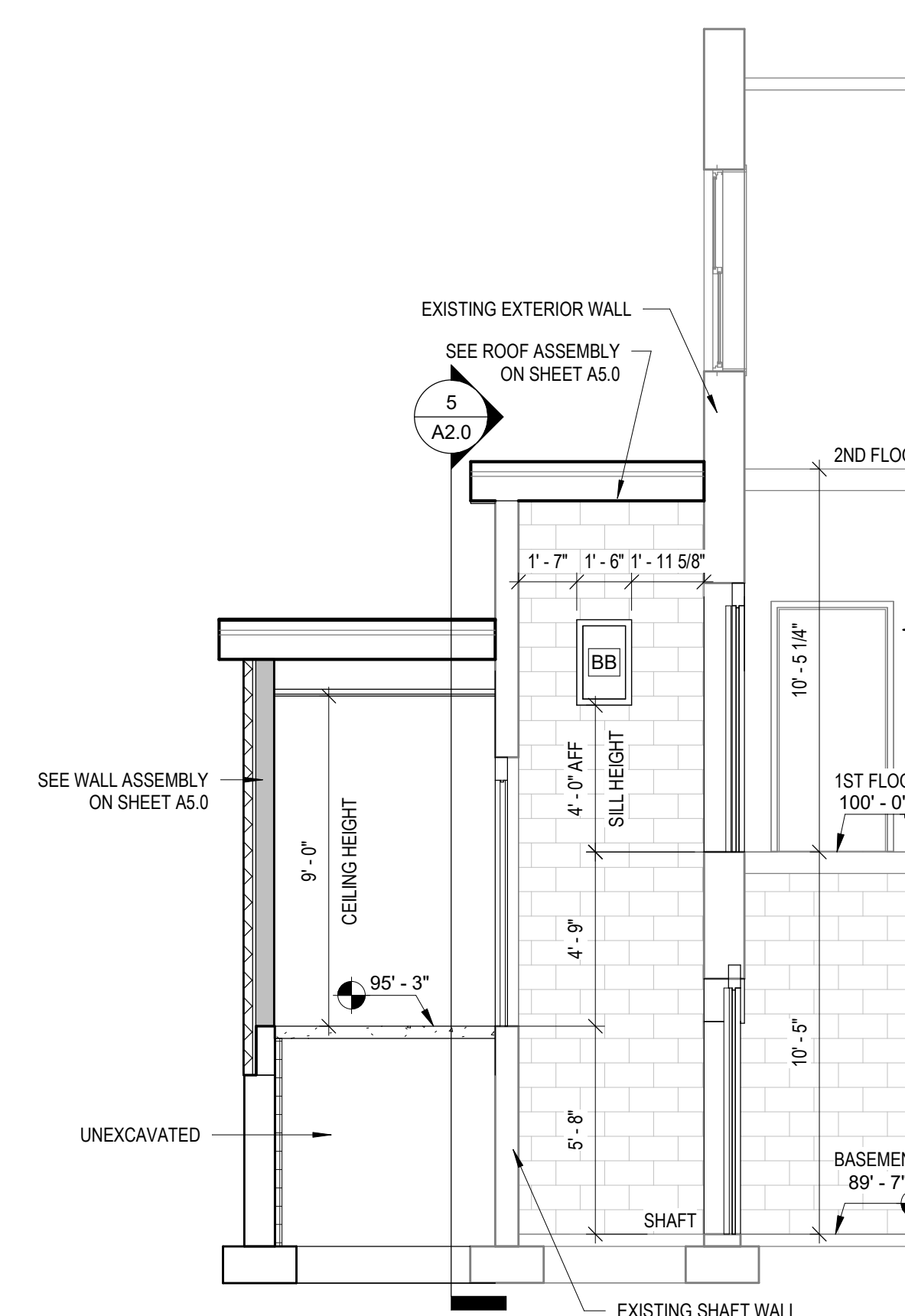
2 WEST ELEVATION  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"



5 BUILDING SECTION AT VESTIBULE  
1/4" = 1'-0"



6 LIFT SECTION  
1/4" = 1'-0"



**510 Cole St.  
Watertown, WI 53094**

No.	DATE	DESCRIPTION
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## SHEET TITLE:

24191

05.30.2025

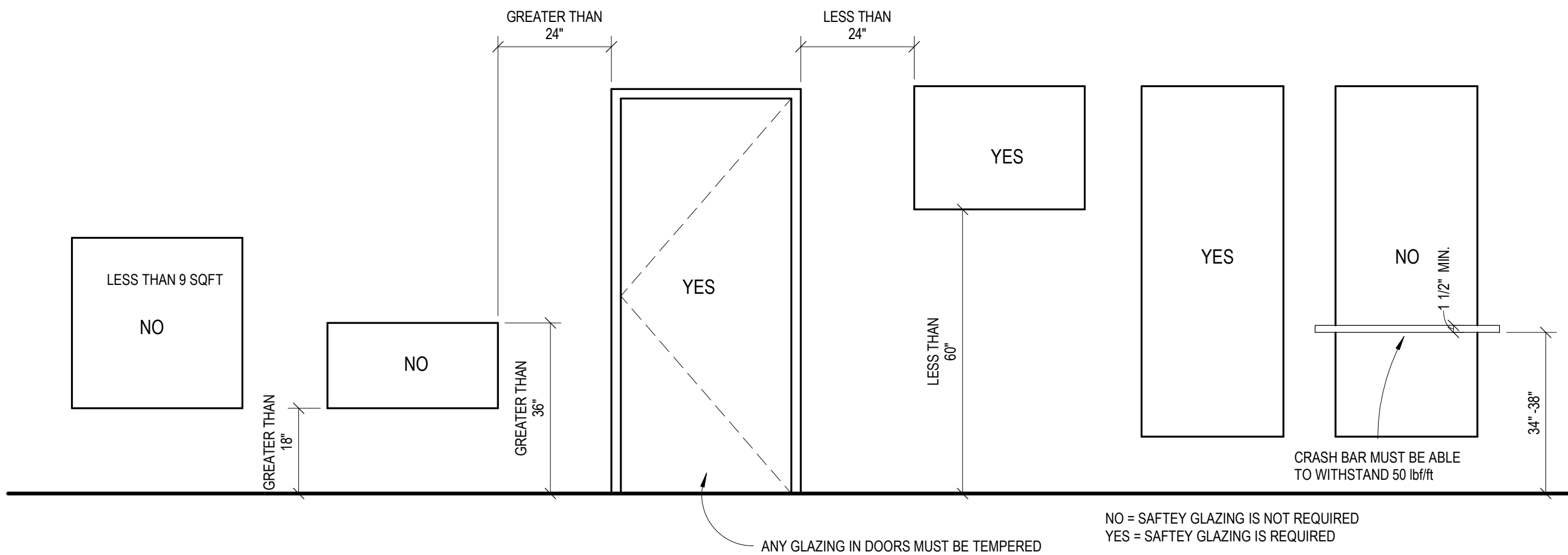
JJR





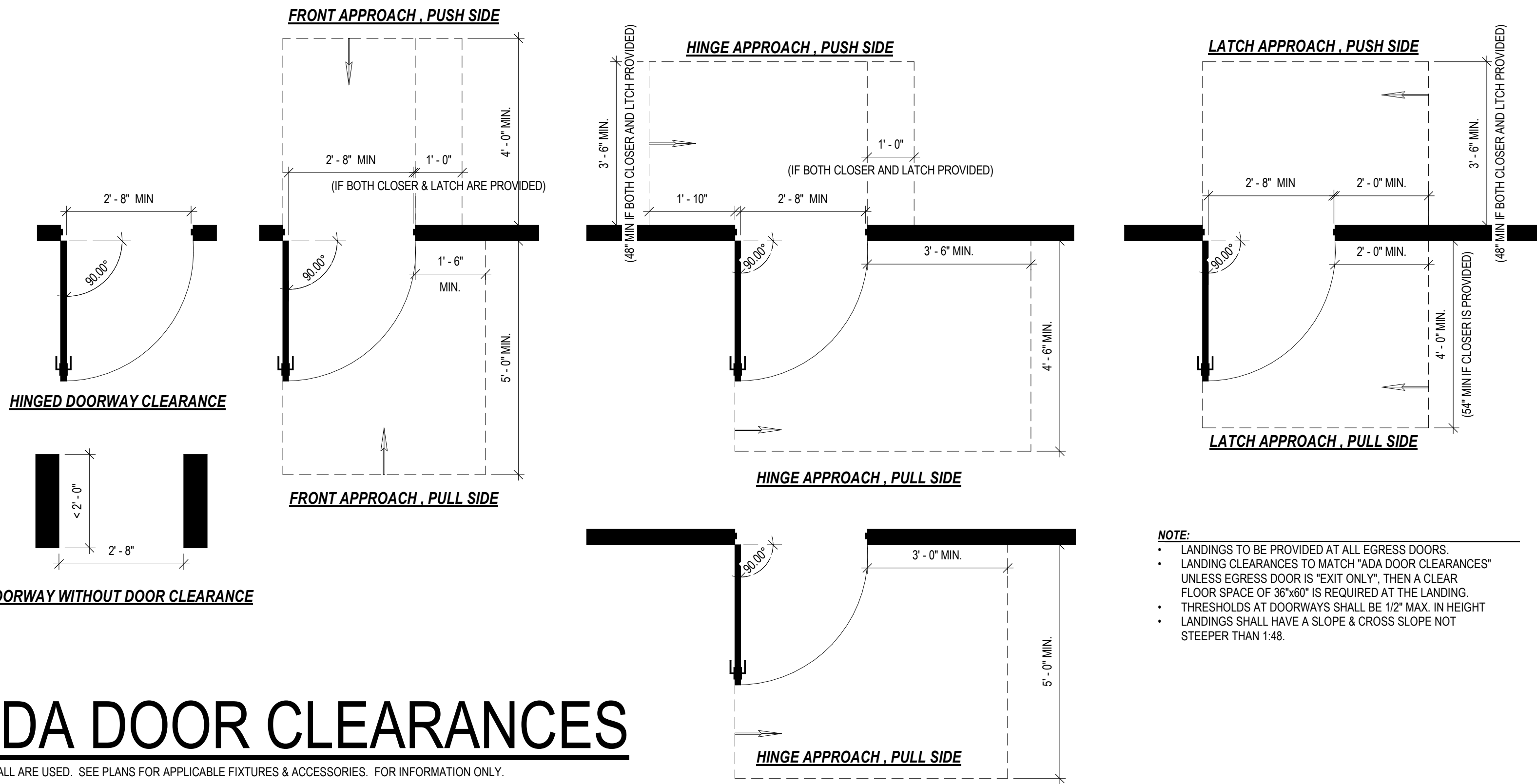
# Moravian Church - Lift Vestibule

510 Cole St.  
Watertown, WI 53094



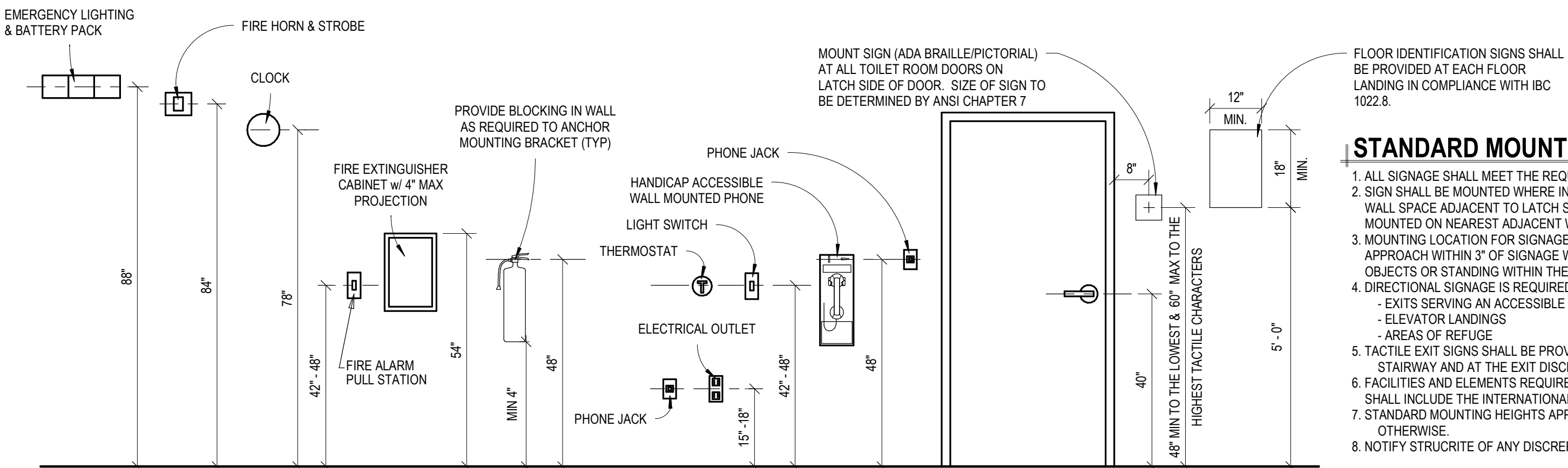
## SAFETY GLAZING

NOT ALL ARE USED.



## ADA DOOR CLEARANCES

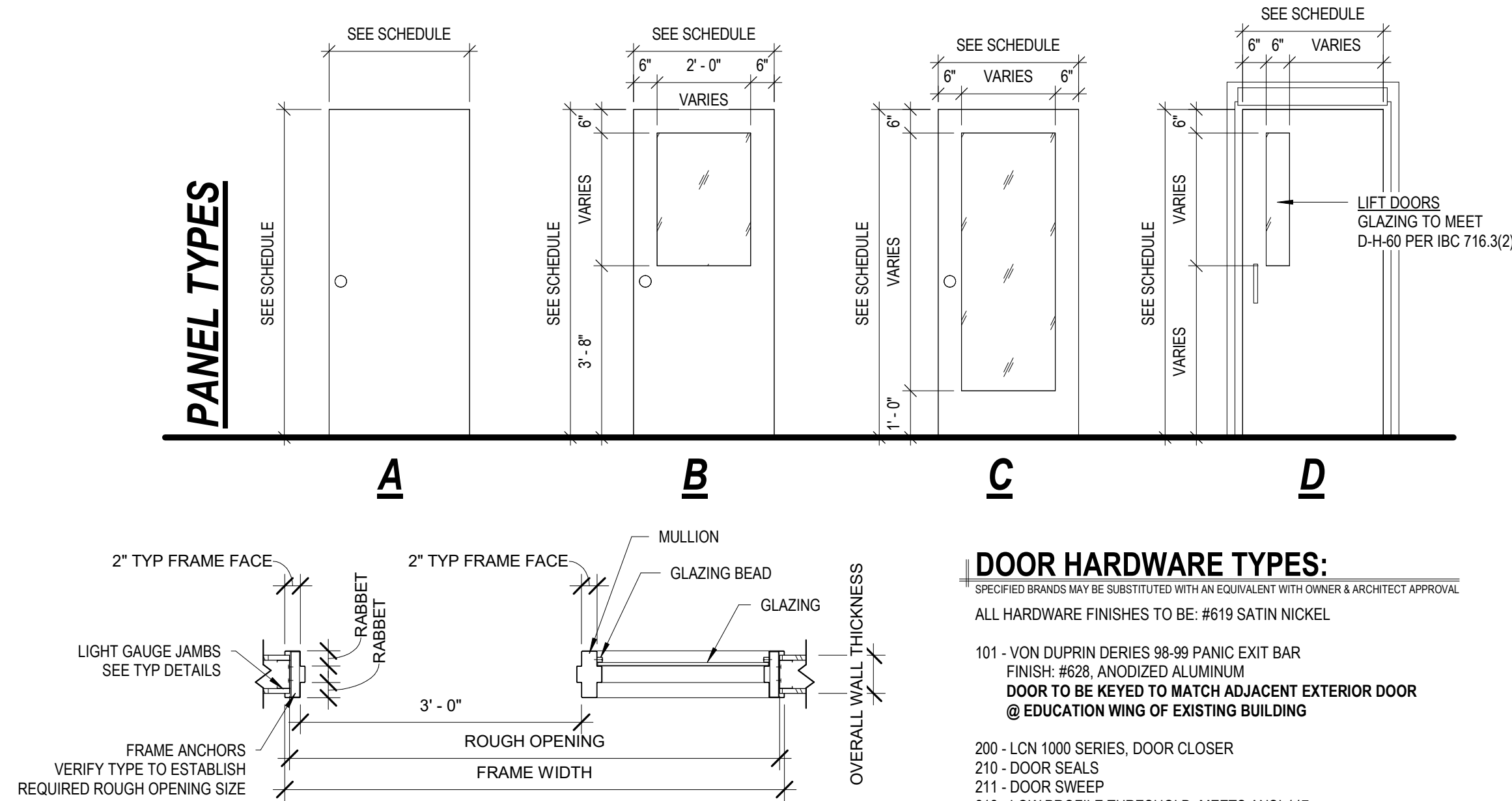
NOT ALL ARE USED. SEE PLANS FOR APPLICABLE FIXTURES & ACCESSORIES. FOR INFORMATION ONLY.



## STANDARD MOUNTING HEIGHTS

NOT ALL ARE USED. SEE PLANS FOR APPLICABLE FIXTURES & ACCESSORIES. FOR INFORMATION ONLY.

DOOR SCHEDULE											
MARK	LOCATION	DOOR PANEL				DOOR FRAME				FIRE RATING	COMMENTS
		WIDTH	HEIGHT	MATERIAL	FINISH	R.O. WIDTH	R.O. HEIGHT	MATERIAL	FINISH		
090	LIFT - LOWER LEVEL	2' - 11 3/4"	6' - 8 1/2"	STEEL	PAINT	D	3' - 8 1/2"	7' - 4"	STEEL	PAINT	60 MIN. EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"
100	GRADE LEVEL	5' - 2"	8' - 4"	STEEL	PAINT	C	5' - 2 1/2"	8' - 4 1/4"	STEEL	PAINT	36" ENTRY DOOR w/ 20" SIDELIGHT
101	LIFT - GRADE LEVEL	2' - 11 3/4"	6' - 8 1/2"	STEEL	PAINT	D	3' - 8 1/2"	7' - 4"	STEEL	PAINT	60 MIN. EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"
102	LIFT - 1ST FLOOR	2' - 11 3/4"	6' - 8 1/2"	STEEL	PAINT	D	3' - 8 1/2"	7' - 4"	STEEL	PAINT	60 MIN. EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"



### 1 TYP. DOOR JAMB w/ SIDELIGHT

3/4" = 1'-0"

### DOOR & DOOR FRAME NOTES:

- INSULATE ALL HOLLOW METAL DOOR FRAMES WITH FIBERGLASS INSULATION.
- PROVIDE ALL HOLLOW METAL FRAMES w/ (1) COAT PRIMER & (2) COATS PAINT.
- ALL HOLLOW METAL FRAMES TO BE REINFORCED & PREPARED FOR HARDWARE.
- ALL WELDED FRAMES SHALL BE 16ga (MIN.)
- ALL HOLLOW METAL DOORS SHALL BE 18ga (MIN.)
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING.
- ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- ALL DOORS SHALL MEET A.D.A. REQUIREMENTS.
- PROVIDE LEVER TYPE HANDLES ON ALL DOORS.
- PROVIDE CAULKING AT ALL DOOR FRAMES, WINDOWS & WHERE NOTED ON PLANS.
- VERIFY w/ H.V.A.C. CONTRACTOR FOR DOOR UNDERCUTS & GRILLES.
- ALL SIGNAGE TO BE MOUNTED AT A.D.A. HEIGHT (SEE GENERAL SPECIFICATIONS).
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALK DOORS SHALL HAVE A U-FACTOR OF 0.45 OR BETTER.

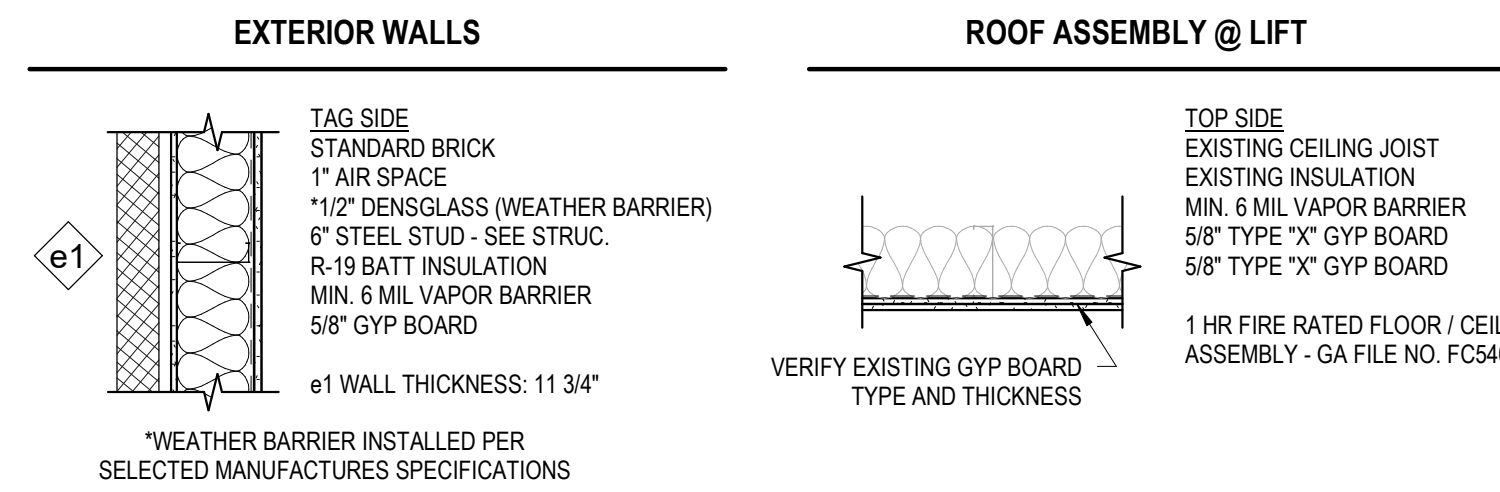
### DOOR HARDWARE NOTES:

- ALL HANDLES, PULLS, LATCHES, LOCKS, & OTHER PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND & DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE 34 INCHES MINIMUM TO 48 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.
- DOOR SWING HINGES SHALL BE ADJUSTED SO THAT THE OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM, MEASURED UNDER AMBIENT CONDITIONS.
- FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY. THE MAXIMUM FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
  - INTERIOR HINGED DOOR: 5.0 POUNDS (22.2N)
  - SLIDING OR FOLDING DOOR: 5.0 POUNDS (22.2N)THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

### WINDOW NOTES:

- GENERAL CONTRACTOR IS TO VERIFY THE REQUIRED ROUGH OPENING SIZE REQUIRED FOR EACH WINDOW, & THAT ALL OPENINGS HAVE BEEN PREPARED PER MANUFACTURER'S SPECIFICATIONS & PER THE DETAILS IN THIS DRAWING SET.
- FIELD VERIFICATION OF EACH OPENING SHALL BE COORDINATED WITH WINDOW SUPPLIER PRIOR TO WINDOW INSTALLATION TO ENSURE PROPER FITTING.
- ALL GLAZING SYSTEMS TO BE PREFINISHED EXTRUDED ALUMINUM THERMALLY BROKEN FRAMES. FIRST FLOOR GLAZING TO BE INSTALLED FROM EXTERIOR SIDE. ALL GLAZING ABOVE FIRST FLOOR TO BE INSTALLED FROM INTERIOR SIDE. COLOR: ALUMINUM
- SEE COMcheck FOR WINDOW U-VALUE REQUIREMENTS
- WINDOW FRAME INSTALLATION TO FOLLOW MANUFACTURER'S SPECIFICATIONS & WINDOW DETAILS IN DRAWING SET
- PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE. SEE GUIDE ON A5.0

### WALL & ROOF ASSEMBLIES:



### REVISIONS

No.	DATE	DESCRIPTION
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### CONSTRUCTION DOCUMENTS

SHEET TITLE: STANDARD DETAILS

JOB NUMBER: 24191

ISSUED DATE: 05.30.2025

DRAWN BY: JJR

SHEET NUMBER:

A5.0



# Moravian Church - Lift Vestibule

510 Cole St.  
Watertown, WI 53094

## REVISIONS

No.	DATE	DESCRIPTION
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## CONSTRUCTION DOCUMENTS

SHEET TITLE: FOUNDATION PLAN

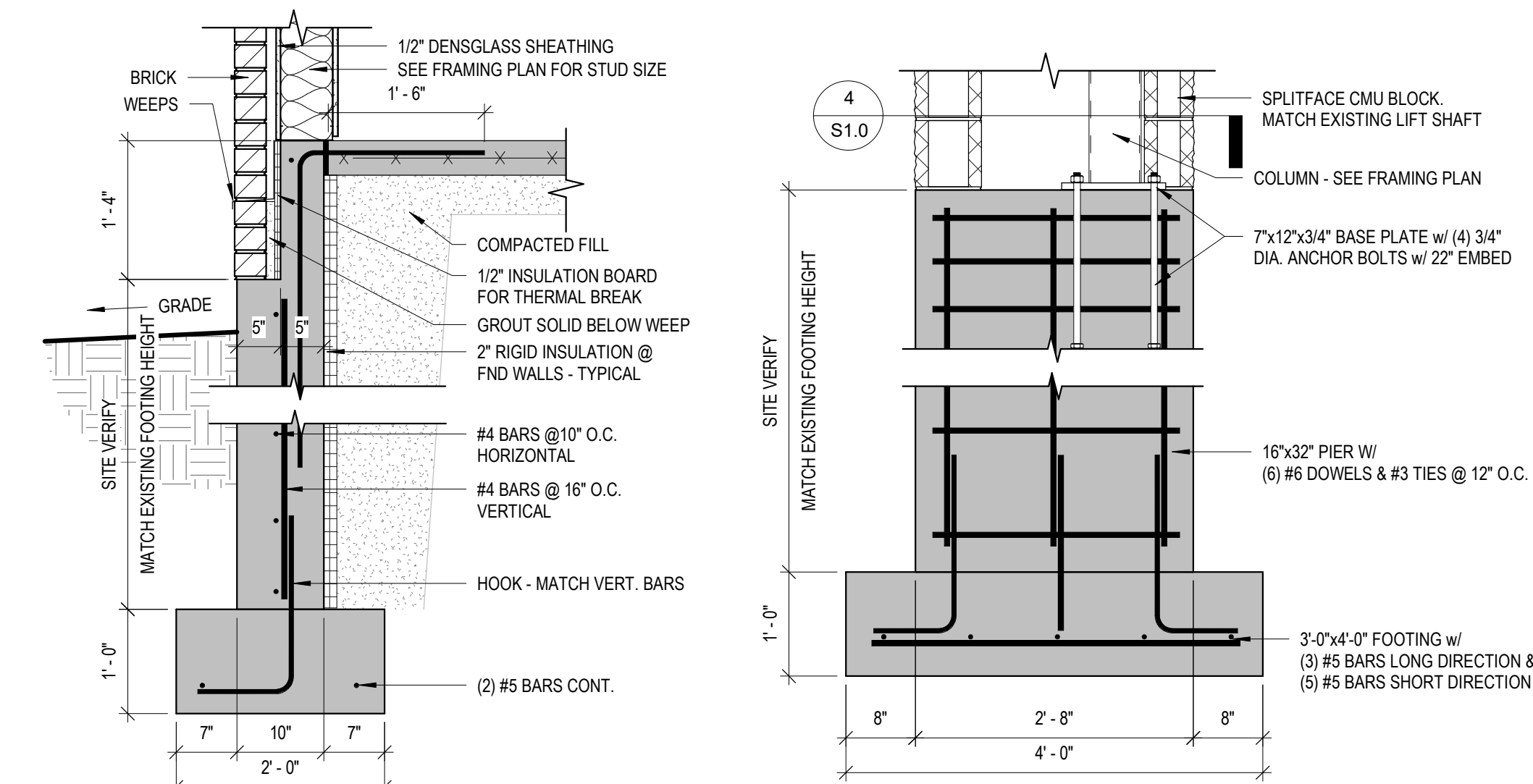
JOB NUMBER: 24191

ISSUED DATE: 05.30.2025

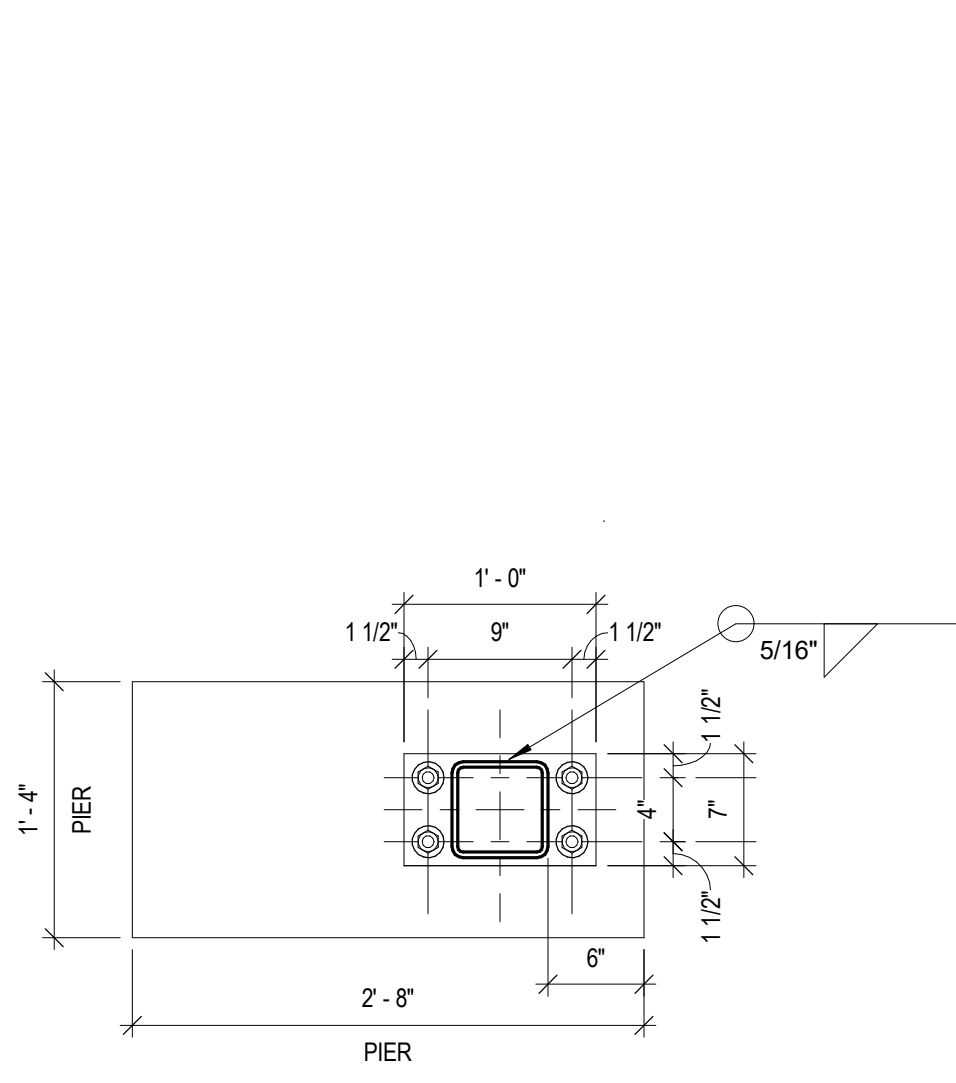
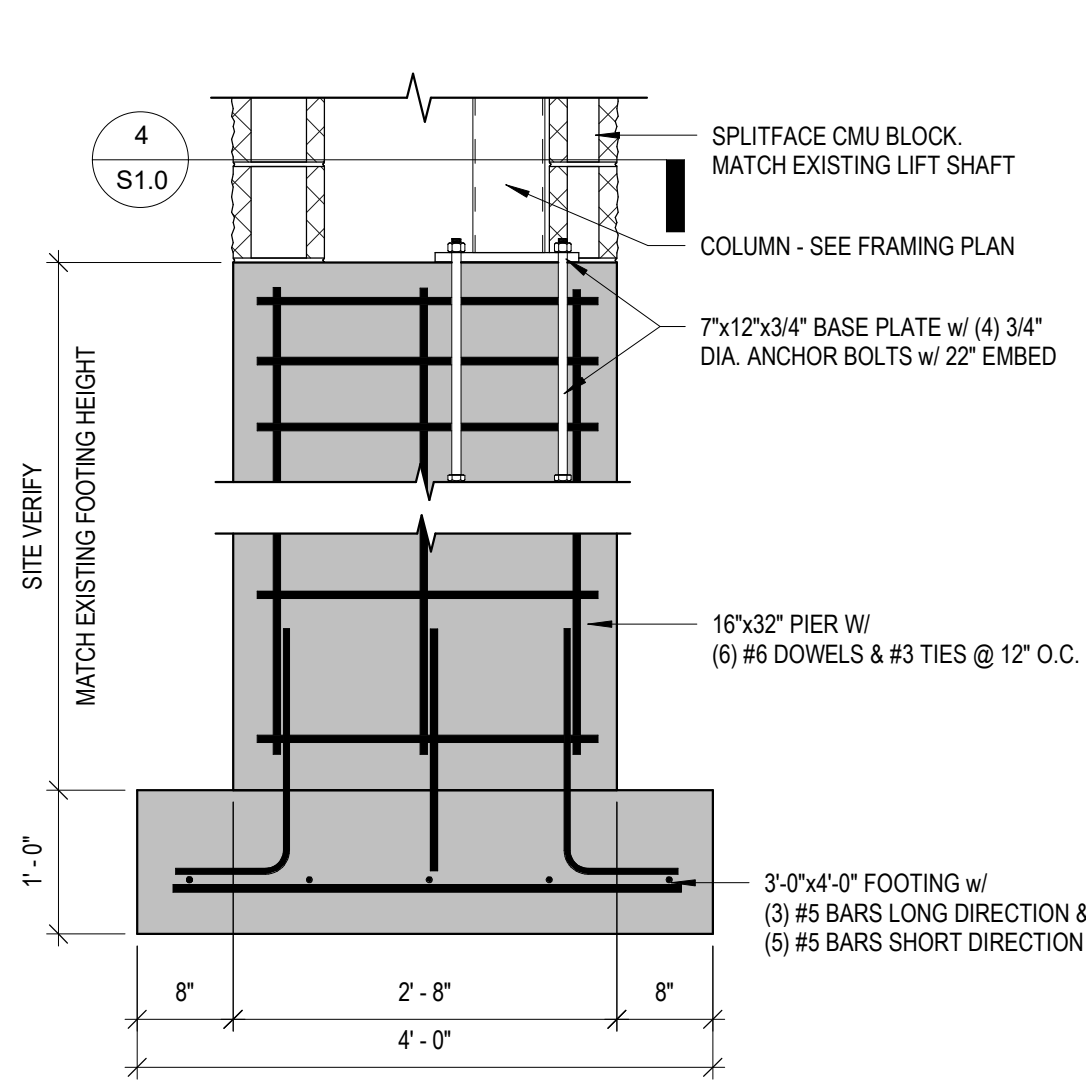
DRAWN BY: JJR

SHEET NUMBER:

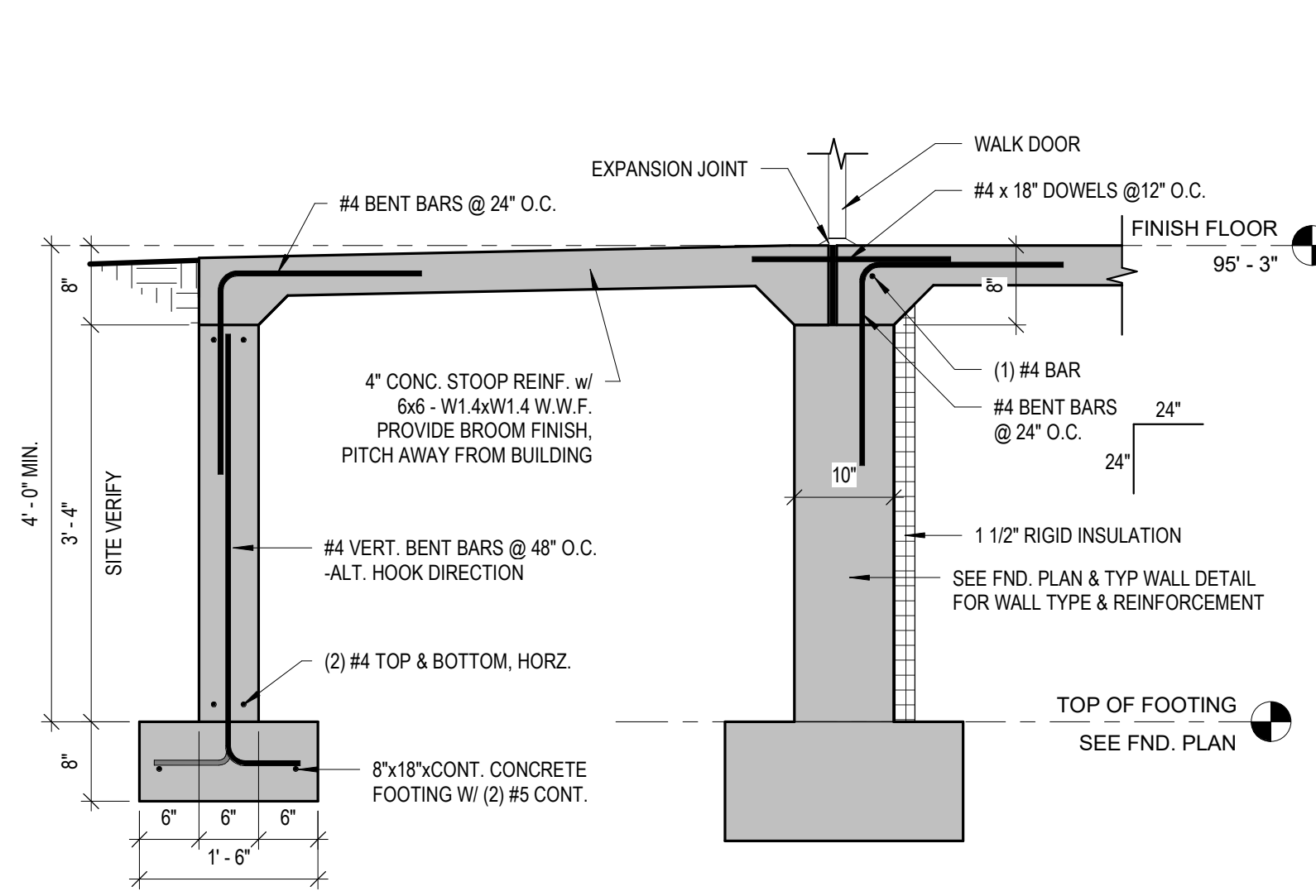
**S1.0**



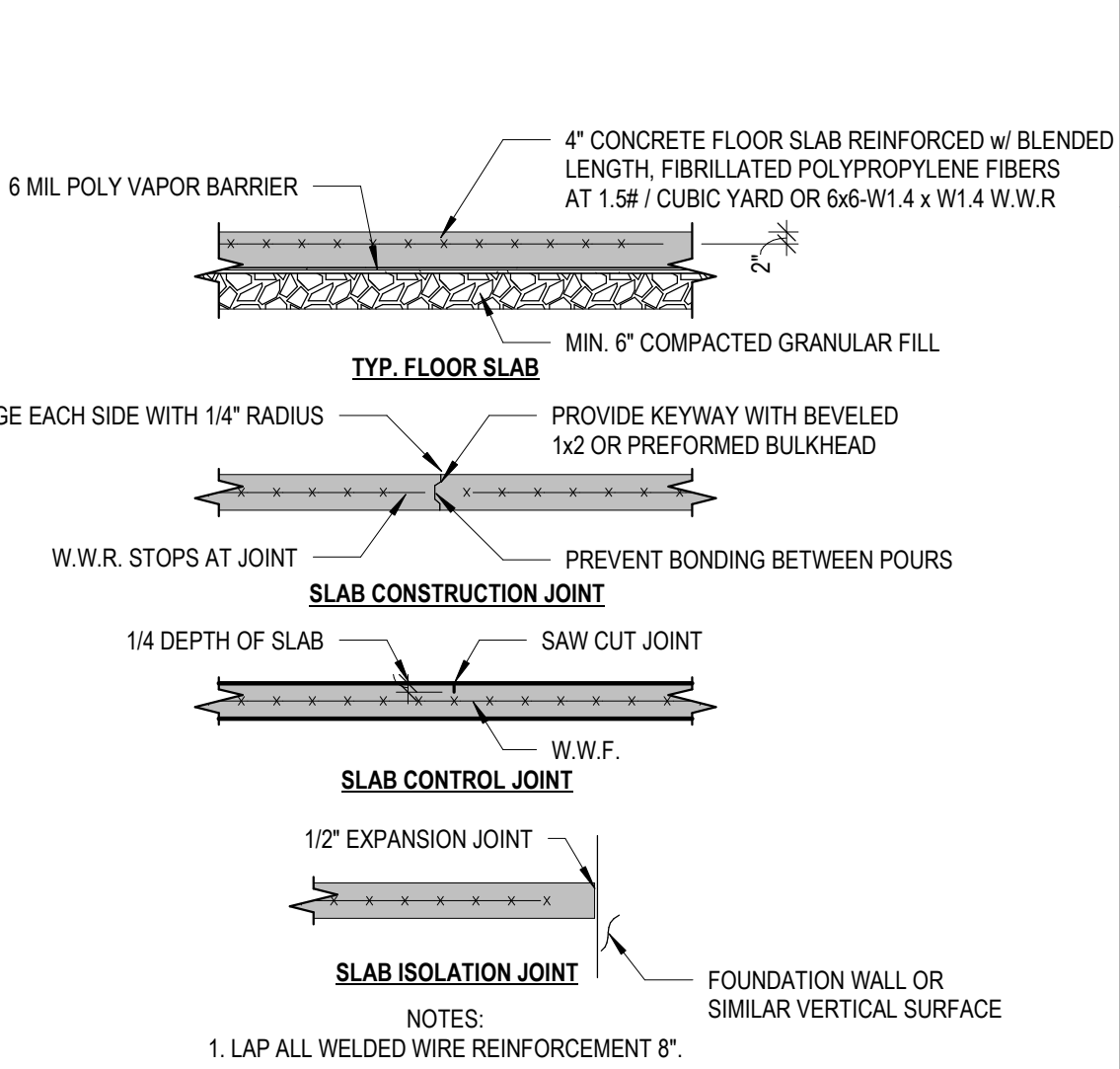
10" WIDE CONCRETE FND WALL  
3/4" = 1'-0"



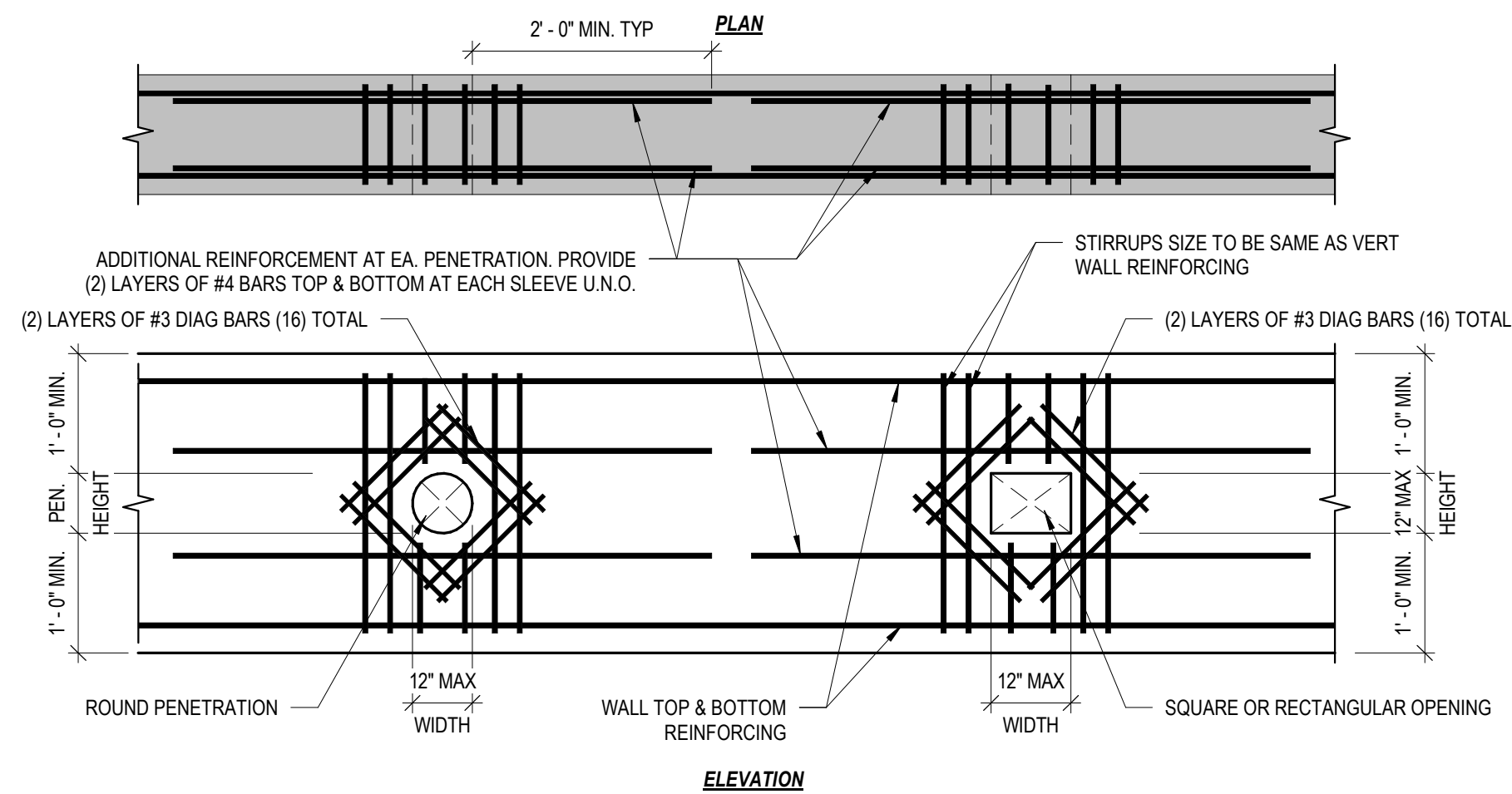
COLUMN BASE PLATE  
1" = 1'-0"



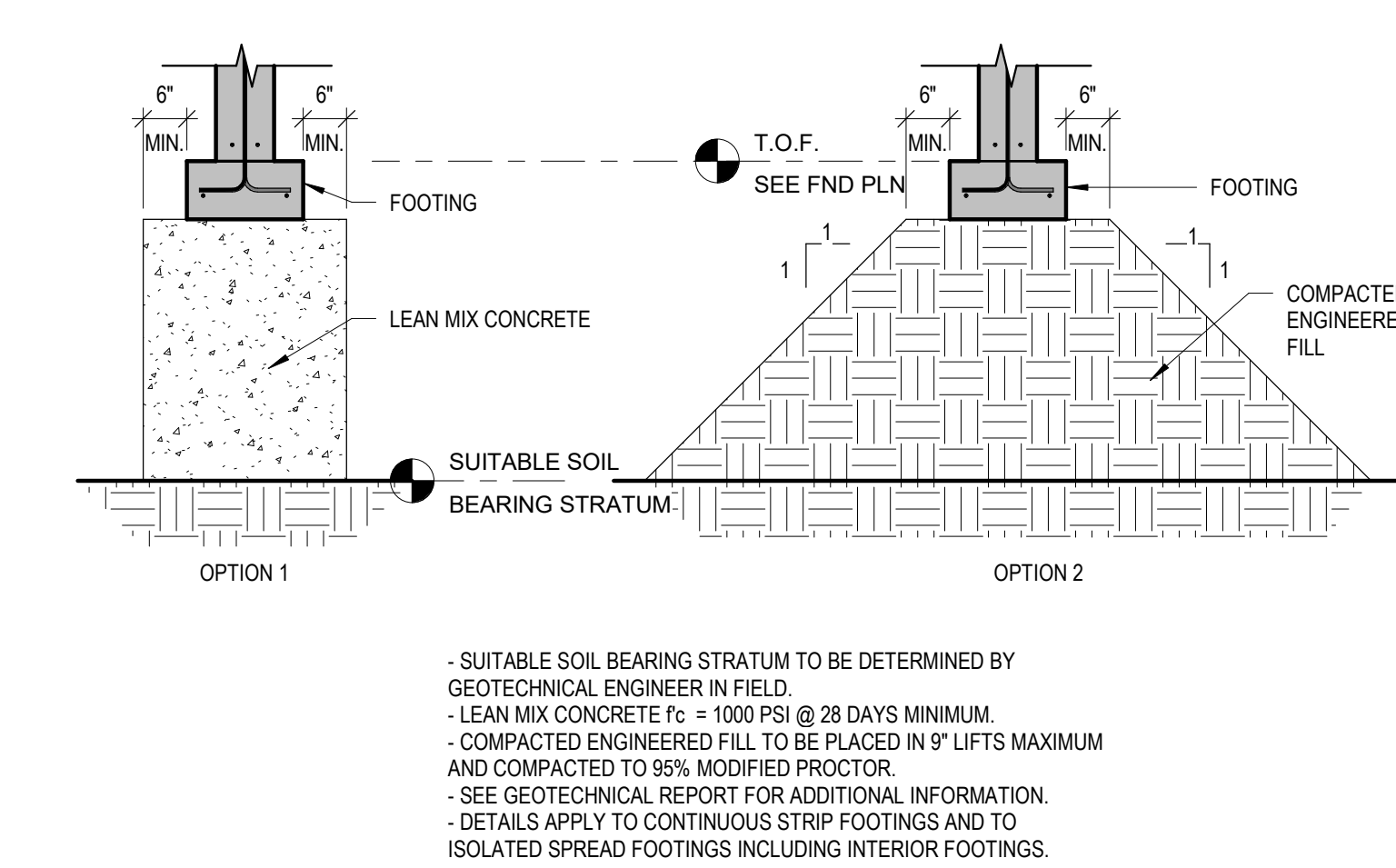
TYP. STOOP DETAIL  
3/4" = 1'-0"



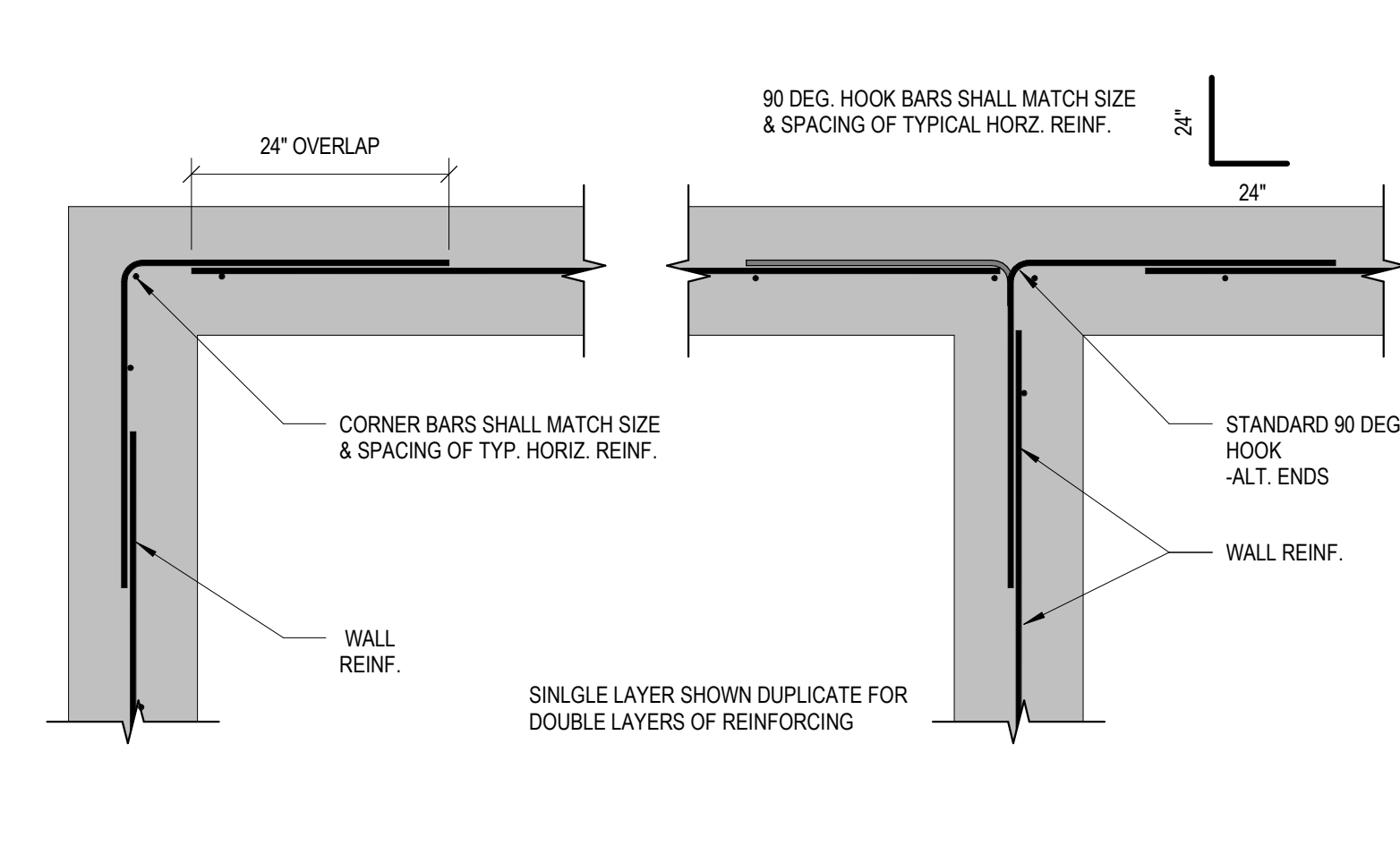
INTERIOR SLAB ON GRAD CONST. JOINTS  
NOT TO SCALE



REINFORCING @ CONC. OPENINGS  
NOT TO SCALE



TYP. FILL BELOW FOOTING  
NOT TO SCALE



TYP CONC WALL CORNER REINF  
NOT TO SCALE

## GENERAL FOUNDATION NOTES:

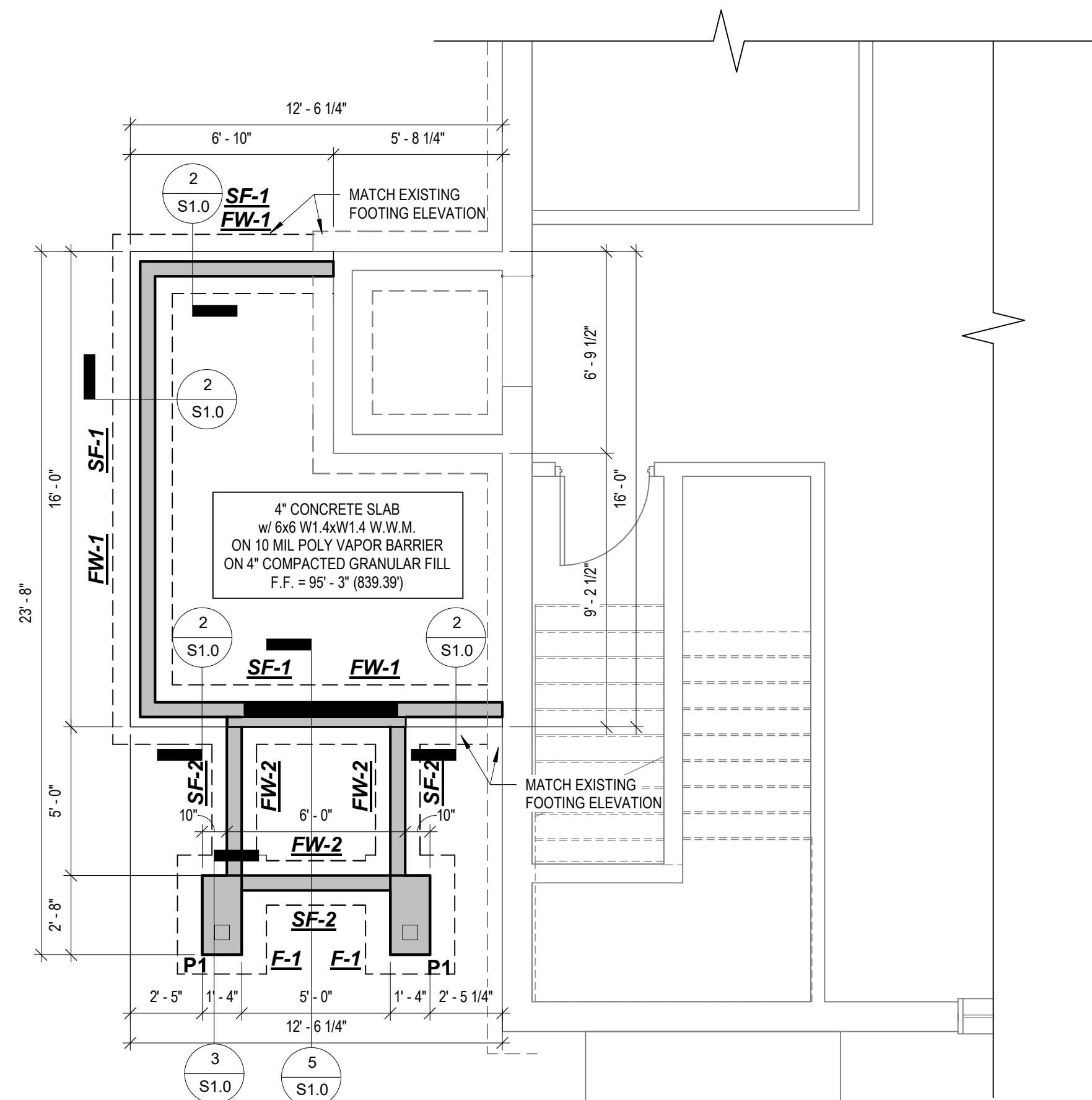
- FOUNDATION EXCAVATIONS SHALL BE KEPT FREE OF LOOSE MATERIAL & STANDING WATER & SHALL BE CHECKED & APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE PLACEMENT OF ANY CONCRETE.
- FOUNDATION WALLS SHALL BE 10" THICK UNLESS NOTED OTHERWISE.
- WALL FOOTINGS ARE CONTINUOUS POURED CONCRETE WITH CONTINUOUS REINF. PLACED 3" CLEAR OF BOTTOM & SIDES.
- PERIMETER INSULATION TO BE 1 1/2" RIGID INSULATION AGAINST INTERIOR FACE OF WALL, U.N.O. - SEE FOUNDATION DETAILS.
- CONTRACTOR TO VERIFY ALL CONCRETE FLOOR FINISHES w/ OWNER.
- CONTRACTOR TO VERIFY ALL UNDERGROUND WORK PRIOR TO SLAB POURING.
- SEE SITE PLAN FOR ADDITIONAL CONCRETE WORK.
- SEE GEN. BLDG. SPEC'S. FOR CONCRETE REQUIREMENTS.
- PROVIDE ISOLATION JOINTS TO ISOLATE COLUMNS & OTHER FLOOR PENETRATIONS. SEE DETAILS FOR CONTROL JOINT AT POURED CONCRETE WALLS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ANY REQUIRED FLOOR DRAINS / SLAB PITCHES.

FOUNDATION WALL SCHEDULE			
MARK	WIDTH	REINFORCEMENT	
FW-1	10"	#4 BAR @ 16" O.C. VERT. CENTERED & #4 BAR @ 10" O.C. HORIZ.	
FW-2	6"	SEE TYPICAL STOOP DETAIL	

FOOTING SCHEDULE				
MARK	WIDTH	LENGTH	DEPTH	REINFORCEMENT
F-1	3'-0"	4'-0"	1'-0"	(3) #5 BARS LONG DIRECTION, (5) #5 BARS SHORT DIRECTION

STRIP FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	REINFORCEMENT
SF-1	2'-0"	1'-0"	(2) #5 BARS CONT.
SF-2	1'-6"	8"	(2) #5 BARS CONT.

PIER SCHEDULE			
MARK	WIDTH	LENGTH	REINFORCEMENT
P1	1'-4"	2'-8"	(6) #6 DOWELS & #3 TIES @ 12" O.C.



FOUNDATION PLAN  
1/4" = 1'-0"



**510 Cole St.  
Watertown, WI 53094**

No.	DATE	DESCRIPTION
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## QUEST TITLE:

24191

05.30.2025

JJR

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GENERAL REQUIREMENTS

- A. NOTES & DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- B. ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN ADMINISTRATIVE CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS.
- C. NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.

DESIGN CRITERIA

- A. IBC 2015
- B. ASCE 7-10

DESIGN METHOD

- A. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS-2015)
- B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318-2014);
- C. SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (AISC 13TH EDITION);
- D. SPECIFICATION FOR DESIGN OF COLD FORMED STRUCTURAL MEMBERS (AIS 2012);
- E. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (TNS 402-13/ACI 530-13)

DESIGN LOADS

ROOF	30.0 PSF	GROUND SNOWLOAD
	21.0 PSF	ROOF SNOWWCH=1.0
	23.1 PSF	ROOF SNOWWCH=1.1
	25.2 PSF	ROOF SNOWWCH=1.2
		SEE DRAWINGS FOR SNOW DRIFTS AND UNBALANCED LOADING
	5 PSF	COLLATERAL LOAD
WIND	115 MPH	EXP B PER ASCE 7-10
		ENCLOSED BUILDINGS
SEISMIC	D	SITE CLASS
	II	SEISMIC GROUP
	SDS	7.8 %
	SD1	7.50%
	B	SEISMIC USE GROUP

EROSION CONTROL NOTES

- A. GRADING AND DEVELOPMENT SITE DISTURBANCE SHALL CONFORM TO PLANS AND SPECIFICATIONS. TEMPORARY EROSION CONTROL METHODS AND SCHEDULE FOR IMPLEMENTATION SHALL BE REVIEWED BY THE ENGINEER PRIOR TO COMMENCING WORK.
- B. TEMPORARY EROSION CONTROL MEASURES SHALL CONFORM TO PRACTICES AND RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND BEST MANAGEMENT PRACTICES.
- C. EXPOSED SOIL FROM GRADING OPERATIONS SHALL BE RESEEDDED WITHIN 7 DAYS. USE COMMON 65% KENTUCKY BLUEGRASS 20% FINE FESCUE 15% RYEGRASS SEED MIXTURE AT THE RATE 1 POUNDS PER 1000 SQUARE FEET AREA WITH STRAW OR BURLAP COVERING TO RETAIN SURFACE MOISTURE UNTIL NEW GRASS IS ESTABLISHED.
- D. PROPOSED ALTERNATE EROSION CONTROL MEASURES FROM THOSE DESCRIBED IN THE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- E. SOIL OR MUD TRACKED ONTO PUBLIC STREETS SHALL BE CLEANED AT THE END OF EACH WORK DAY.
- F. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AT LEAST 7 DAYS PRIOR TO ANY GRADING OR EXCAVATION TO LOCATE AND FLAG ALL EXISTING UNDERGROUND UTILITIES.
- G. UTILITIES IMPACTING THE CONSTRUCTION PLANS SHALL REQUIRE ADDITIONAL DESIGN WORK. REVIEW IMPACTS WITH THE ENGINEER.
- H. LOCATION OF ALL KNOWN UTILITIES SHALL BE RECORDED IN AS-BUILT PLANS AT COMPLETION OF WORK.
- I. GEOTEXTILE FABRIC USE MIRAFI FILTERWEAVE OR EQUIVALENT TO LINE TRENCHES. FABRIC SHALL BE CONTINUOUS. OVERLAP 12" MINIMUM FOR CONTINUITY. ADD A SEPARATE GEOTECH FABRIC COVER OVER THE TRENCH OVERLAPPING THE SIDE OF THE TRENCH 12". COVER FABRIC WITH 1-1/2" GRAVEL 3" – 6" DEEP.
- J. CHECKDAMS WHERE SHOWN IN PLAN SHALL BE CONSTRUCTED OF 2 LAYERS 90 MIL PLASTIC SHEET. WRAP THE SIDES AND BOTTOM OF THE TRENCH 12". SEE DETAIL.

SITE WORK:

- A. THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2000 PSF. SOIL ENGINEERS TO VERIFY BEARING CAPACITY AND EXPLORE SUBGRADE TO A DEPTH OF 45' FOR UNSTABLE SOIL CONDITIONS.
- B. COMPLETE NORMAL CLEARING AND GRUBBING OPERATIONS OVER THE ENTIRE BUILDING PAD AREA.
- C. REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER, ROOTS, VEGETATION AND RANDOM FILL MATERIALS, I.E. WOOD, SCRAP METAL, AND MUCK.
- D. FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 9" AND COMPACTED TO 95% RELATIVE COMPACTION AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND THE BUILDING EDGES.
- E. PLACE GRANULAR MATERIAL UNDER FOOTINGS & FLOOR SLABS. MINIMUMS 6"
- F. BASEMENT WALLS AND RETAINING WALL DESIGNS ARE PREDICATED ON ALL FINAL RESTRAINTS AS SHOWN IN PLANS COMPLETED BEFORE BACKFILLING OPERATIONS ARE FINALIZED.
- G. DIFFERENTIAL BACKFILLING BETWEEN INTERIOR AND EXTERIOR OF WALL WHERE OCCURS, SHALL NOT EXCEED 2 FEET.
- H. MECHANICAL CONTRACTORS ARE RESPONSIBLE TO COORDINATE PLUMBING AND ELECTRICAL SLAB OPENINGS, CONDUIT AND PIPE RUNS, BLOCKOUTS, AND ALL OTHER SLAB ADJUSTMENTS WITH THE CONCRETE CONTRACTOR.
- I. GENERAL CONTRACTOR SHALL REVIEW ALL CHANGES TO FOUNDATION PLANS AND DETAILS WITH THE STRUCTURAL ENGINEER.

FOUNDATION:

- A. THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2000 PSF. SOIL ENGINEERS TO VERIFY BEARING CAPACITY AND EXPLORE SUBGRADE TO A DEPTH OF 45' FOR UNSTABLE SOIL CONDITIONS.
- B. COMPLETE NORMAL CLEARING AND GRUBBING OPERATIONS OVER THE ENTIRE BUILDING PAD AREA.
- C. REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER, ROOTS, VEGETATION AND RANDOM FILL MATERIALS, I.E. WOOD, SCRAP METAL, AND MUCK.
- D. FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL WITH A CAPACITY OF 2000 PSF, OR ON COMPACTED FILL WITH A BEARING CAPACITY OF NOT LESS THAN 2000 PSF.
- E. FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 9" AND COMPACTED TO 95% RELATIVE COMPACTION AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND THE BUILDING EDGES.
- F. WHEN USING COMPACTED FILL TO ACHIEVE THE PROPER GRADE FOR FOUNDATIONS, THE COMPACTED FILL SHALL HAVE A SLOPE OF NOT GREATER THAN 2" HORIZONTAL FOR EVERY 1' VERTICAL.
- G. PLACE GRANULAR MATERIAL UNDER FOOTINGS & FLOOR SLABS. MINIMUM 6"
- H. BASEMENT WALLS AND RETAINING WALL DESIGNS ARE PREDICATED ON ALL FINAL RESTRAINTS AS SHOWN IN PLANS COMPLETED BEFORE BACKFILLING OPERATIONS ARE FINALIZED.
- I. DIFFERENTIAL BACKFILLING BETWEEN INTERIOR AND EXTERIOR OF WALL WHERE OCCURS, SHALL NOT EXCEED 2 FEET.
- J. MECHANICAL CONTRACTORS ARE RESPONSIBLE TO COORDINATE PLUMBING AND ELECTRICAL SLAB OPENINGS, CONDUIT AND PIPE RUNS, BLOCKOUTS, AND ALL OTHER SLAB ADJUSTMENTS WITH THE CONCRETE CONTRACTOR.
- K. GENERAL CONTRACTOR SHALL REVIEW ALL CHANGES TO FOUNDATION PLANS AND DETAILS WITH THE STRUCTURAL ENGINEER.

CONCRETE:

- A. TRANSIT MIXED CONCRETE SHALL CONFORM TO ASTM C94 SPECIFICATION FOR READY-MIXED CONCRETE.
- B. THE WATER CEMENT RATIO SHALL BE KEPT TO A MINIMUM, AND CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES WHEN TESTED IN ACCORDANCE WITH ASTM C143.
- C. CONCRETE SHALL HAVE THE REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C39 AS FOLLOWS:
- |                       |                   |
|-----------------------|-------------------|
| SLAB                  | 4000 PSI          |
| FOUNDATION            | 3000 PSI          |
| TILT UP WALLS         | SEE SHOP DRAWINGS |
| RETAINING WALLS       | 3000 PSI          |
| GROUT FOR BASE PLATES | 4000 PSI          |
| DOCK WALLS            | 3000 PSI          |
- D. PORTLAND CEMENT SHALL CONFORM TO ASTM C150 SPECIFICATION FOR PORTLAND CEMENT.
- E. FINE AND COURSE AGGREGATES SHALL CONSIST OF CLEAN, HARD, STRONG AND DURABLE INERT MATERIAL, FREE OF INJURIOUS AMOUNTS OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33 SPECIFICATION FOR CONCRETE AGGREGATES.
- F. MIXING WATER SHALL BE FREE OF ANY ACID, ALKALI, OIL OR ORGANIC MATERIAL THAT MAY INTERFERE WITH THE SETTING OF THE CEMENT.
- G. ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED. THE ENGINEER SHALL APPROVE ALL ADMIXTURES.
- H. REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, BARS TO BE WELDED SHALL BE IDENTIFIED AS GRADE 60W.
- I. WELDED WIRE FABRIC OR GAGE AND SPACING SPECIFIED SHALL CONFORM TO THE REQUIREMENTS OF ASTM A62
1. MANUFACTURING AND WAREHOUSE AREA SLABS: 6x6-W2.9xW2.9
2. OFFICE AREA SLABS: 6x6-W1.4xW1.4
- J. REINFORCING SHALL HAVE THE MINIMUM COVER REQUIREMENTS AS INDICATED IN ACI-318, LATEST EDITION WITH THE FOLLOWING MINIMUM VALUES.
1. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
2. FORM CAST AND PERMANENTLY EXPOSED TO EARTH OR WEATHER: 1-1/2" FOR #5 BAR AND SMALLER, AND 2" FOR #6 BAR AND LARGER.
- K. DIMENSIONS OF THE FINISHED PRODUCT SHALL BE WITHIN THE TOLERANCES OF ACI 117, LATEST EDITION.
- L. ALL CONCRETE SHALL CURE A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF THE CURING PERIOD, COAT NEWLY EXPOSED SURFACES WITH LIQUID CURING COMPOUND.
- M. USE CURE-SEAL-HARDENER: ASHFORD FORMULA, ON THE FLOORS, A WATER-BASED CHEMICALLY REACTIVE PENETRATING SEALER AND HARDENER THAT SEALS BY DENSIFYING CONCRETE SO THAT WATER MOLECULES CANNOT PASS THROUGH BUT AIR AND WATER VAPOR CAN, AND ALLOWS CONCRETE TO ACHIEVE FULL COMPRESSIVE STRENGTH, MINIMIZING SURFACE CRAZING AND ELIMINATING DUSTING. INSTALL PER MANUFACTURERS SPECIFICATIONS.
1. (Specify note - optional spec info.)
2. ABRASION RESISTANCE TO REVOLVING DISKS: AT LEAST A 32.5% IMPROVEMENT OVER UNTREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM C779.
3. SURFACE ADHESION: AT LEAST A 22% INCREASE IN ADHESION FOR EPOXY WHEN TESTED IN ACCORDANCE WITH ASTM D3359.
4. HARDENING: AS FOLLOWS WHEN TESTED IN ACCORDANCE WITH ASTM C39:
- a. AFTER 7 DAYS: AN INCREASE OF AT LEAST 40% OVER UNTREATED SAMPLES.
- b. AFTER 28 DAYS: AN INCREASE OF AT LEAST 38% OVER UNTREATED SAMPLES.
5. COEFFICIENT OF FRICTION: 0.86 DRY, 0.69 WET, WHEN TESTED IN ACCORDANCE WITH ASTM C1028.
6. REBOUND NUMBER: AN INCREASE OF AT LEAST 13.3% OVER UNTREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM C805.
7. LIGHT EXPOSURE DEGRADATION: NO EVIDENCE OF ADVERSE EFFECTS ON TREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM G23.
- N. PROVIDE DOWELS IN WALL FOOTINGS WITH EQUAL SIZE AND SPACING AS VERTICAL WALL, UNLESS NOTED OTHERWISE.
- O. USE NON-SHRINK, NON-METALLIC GROUT UNDER BASE PLATES AS INDICATED ON THE DRAWINGS.
- P. THE CONCRETE CONTRACTOR SHALL COORDINATE ALL OTHER TRADES FOR SIZE AND LOCATION OF OPENINGS IN WALL AND FLOORS. ALL OPENINGS IN STRUCTURAL CONCRETE SHALL BE DETAILED OR APPROVED BY THE ENGINEER.
- Q. PLACE STEEL REINFORCEMENT AS PER CRSI STANDARDS.
- R. STEEL DESIGNATED CONTINUOUS (CONT.) #6 BARS OR SMALLER SHALL USE 33 INCH MINIMUM LAP LENGTH.
- S. PROVIDE SAWCUT CONTROL JOINTS AS SHOWN IN FOUNDATION PLANS OR AT SPACING NOT GREATER THAN 3X THE SLAB THICKNESS. SAWCUTS SHALL BE 1/3 THE SLAB DEPTH. PLACE SAWCUTS 1-1/2 HRS TO 4 HRS AFTER FINISHING BEFORE CONCRETE BEGINS TO COOL.
- T. HAND TOoled CONTROL JOINTS MAY BE SUBSTITUTED FOR SAWCUT CONTROL JOINTS.
- U. ALL CONSTRUCTION & CONTROL JOINTS THAT ARE REQUIRED TO BE SEALED SHALL BE DONE SO IN ACCORDANCE WITH INSTRUCTIONS OF APPROVED MATERIAL MANUFACTURER. ADJUST CONTROL & CONSTRUCTION JOINTS TO ACHIEVE INSTALLATION PER SEALANT MANUFACTURER'S REQUIREMENTS.
- V. ALL ANCHORS THAT WILL BE EPOXY EMBEDDED NEED TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND STANDARDS. INSTALLER IS RESPONSIBLE FOR PROPER CLEAN OUT OF THE HOLE TO ENSURE THE HOLE IS DRY. INSTALLER IS TO NOTIFY ENGINEER IF VOIDS OR CRACKS ARE PRESENT IN THE DRILLED HOLE.

MASONRY/BRICK

- A. MASONRY CONSTRUCTION AND MATERIALS SHALL COMPLY WITH LOCAL AND STATE CODES REQUIREMENTS, SPECIFICATIONS OF NOMA, AND THE FOLLOWING:
1. UNITS SHALL BE FLUSH FACED AND/OR ARCHITECTURAL FACED AS SHOWN ON THE DRAWINGS.
2. UNITS SHALL BE EQUAL TO STANDARD OR SPECIAL SIZE CMU AS MANUFACTURED BY PREMIER BLOCK CORPORATION AND HEBRON BRICK COMPANY CHIPPED, CRACKED AND BROKEN UNITS SHALL NOT BE USED.
3. UNITS SHALL MEET ASTM C90 AND SHALL BE DRY-BLOCK UNITS FOR EXTERIOR MASONRY.
4. UNITS SHALL BE LAID IN RUNNING OR STACKED BOND (SEE DRAWINGS). SINGLE WYTHE OR BACKUP WYTHE WALLS SHALL HAVE STANDARD GALVANIZED "DUR-O-WAL" OR EQUAL LADDER TYPE REINFORCING AT 16" ON CENTER. LAP ALL REINFORCEMENT 6". VERTICAL AND HORIZONTAL REINFORCING BARS SHALL BE ASTM A615 GRADE 60.MORTAR SHALL BE CEMENT-LIME TYPE M OR S (f=1800) WITH DRY-BLOCK ADDITIVE PER MANUFACTURERS RECOMMENDATIONS ON EXTERIOR MASONRY. USE TYPE M BELOW GRADE, TYPE S ABOVE GRADE.
5. UNITS SHALL HAVE CONCAVE TOOL JOINTS FOR WEATHER TIGHTNESS. JOINTS SHALL BE CLEAN, STRAIGHT, PLUMB, LEVEL, AND UNIFORM.
6. ALL MASONRY WORK SHALL BE PERFORMED BY SKILLED WORKMEN IN A COMPETENT MANNER AND SHALL BE PROPERLY INSPECTED.
- B. POUR BOND BEAMS FULL WITH 2,000 PSI, GROUT PER ASTM C476 AND REINFORCE WITH MINIMUM #4 DEFORMED REINFORCING BAR PER 4" THICKNESS. OR AS DETAILED ON THE DRAWINGS. LAP LENGTHS OF HORIZONTAL BARS TO BE 48 BAR DIAMETERS. STRUCTURAL BOND BEAM LINTELS SHALL HAVE NO LAPPED SPLICES.
- C. WHERE PRECAST OR POURED IN PLACE REINFORCED MASONRY LINTELS ARE PROVIDED, MAINTAIN MINIMUM 8" SOLID BEARING ON EACH SIDE OF OPENING BY FILLING CORES WITH GROUT (3) COURSES BELOW BEARING OR AS INDICATED ON PLANS.
- D. WHERE DRAWINGS CALL FOR CORE OR CORES OF BLOCK TO BE REINFORCED VERTICALLY, TAKE CARE THAT SAID CORE(S) ARE KEPT CLEAR AND FREE OF MORTAR WHILE LAYING OF CMU. WHEN (2) BARS ARE TO BE PLACED IN ONE CORE, PROVIDE BAR POSITIONERS TO INSURE PROPER PLACEMENT OF REINFORCING. FILL CORE OR CORES OF CMU WITH 2000 PSI GROUT PER ASTM C476 WITH A SLUMP BETWEEN 8 AND 11 AND CONSOLIDATE BY PUDDLING OR VIBRATING. VIBRATING REQUIRED ON MASONRY LESS THAN 12" IN WIDTH, AND FOR LIFTS GREATER THAN 12" IN HEIGHT. VERTICAL LIFTS SHALL NOT BE MORE THAN 5'-0". VERTICAL REINFORCING BARS SHALL HAVE LAP LENGTHS OF 48 BAR DIAMETERS.
- E. PROVIDE 3/8" DIAMETER X 8" ANCHOR BOLTS AT 4'-0" ON CENTER FOR ALL PRESSURE TREATED ROUGH WOOD AT TOP OF MASONRY WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
- F. INSTALL WEEP VENTS AT TOP AND BOTTOM COURSE OF BLOCK, ABOVE LINTELS. AND BOND BEAMS AT 32" ON CENTER OR AS INDICATED ON THE DRAWINGS.
- G. ALL EXTERIOR CONCRETE MASONRY SURFACES SHALL BE SEALED WITH (2) COATS TAMMS CHEM-STOP WATER REPELLENT SEALER UNLESS SPECIFIED ON THE DRAWINGS TO BE PAINTED. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- H. FLASHING SHALL BE PERIM-A-BARRIER FLASHING BY W.R. GRACE WITH STAINLESS STEEL METAL DRIP EDGE OR EQUIVALENT. INSTALL FLASHING AT BOTTOM COURSE OF BLOCK, ABOVE OPENINGS AND ABOVE BOND BEAMS IN EXTERIOR WALLS. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- I. CONTROL JOINTS SHALL BE SPACED A MAXIMUM 30' ON CENTER AND 10' FROM CORNERS PER NOMA REQUIREMENTS, AT COLUMNS THAT ARE INSIDE THE WALL OR AS INDICATED ON PLANS. CONTROL JOINTS TO ALIGN WITH EXPOSED CONCRETE FOUNDATION WALL JOINTS IF APPLICABLE.
- J. PREMIUM COLOR MASONRY UNITS AS SELECTED UNLESS COLOR SCHEDULE AND AGGREGATE SHOWN WITHIN PLANS.

PLATE 1"-12" WIDE AND THROUGH 1.5"	A572 GRADE 50, MODIFIED TO 55 KSI THICK
OTHERS	A-36
BUILT-UP STRUCTURAL WEB MATERIAL	A-607 GRADE 55 OR A507 GRADE 50 w/MIN. YIELD OF 55 KSI
HOT-ROLLED STRUCTURAL	A992 GRADE 50
HSS STRUCTURAL TUBE	A500 GR. B (46 KSI RECT/42KSI ROUND)
STRUCTURAL PIPE	A53 GRADE B (35 KSI)
ROD BRACING	A-36
CABLE BRACING	EHS A475
WELDS	AWS D1.1 E70XX
HIGH-STRENGTH BOLTS	A-325 OR A-490
MACHINE BOLTS	A-307 GRADE A OR SAE J429 GRADE 2

- L. THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT *(THE METAL BUILDING SYSTEM)* IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS, AND *(MBMA STANDARDS)* PERTAINING TO PROPER ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CORRECT USE OF TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL AND SECONDARY FRAMING. SECONDARY WALL FRAMING MEMBERS (GIRTS) ARE NOT DESIGNED TO FUNCTION AS A WORK PLATFORM OR PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS. SECONDARY ROOF FRAMING MEMBERS (PURLINS OR BAR JOISTS) ARE NOT DESIGNED TO PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS.
- M. ALL HIGH STRENGTH BOLTS ARE TYPE A325 AND ARE TO BE FULLY TIGHTENED BY AN ACCEPTABLE METHOD, SUCH AS "TURN OF THE NUT" METHOD. UNLESS NOTED OTHERWISE, BOLTS IN STANDARD HOLES DO NOT REQUIRE THE USE OF WASHERS, PER ASTM A325, SECTION 5(B).
- N. ALL A307 MACHINE BOLTS ARE TO BE BROUGHT TO A "SNUG TIGHT" CONDITION TO ENSURE THAT THE MATERIALS IN THE JOINT ARE BROUGHT INTO GOOD CONTACT WITH EACH OTHER.
- O. WASHERS ARE REQUIRED AT ALL SLOTTED CONNECTIONS.
1. AT HOLE TO SLOT CONNECTIONS, ONE WASHER IS REQUIRED ON THE SLOTTED SIDE.
2. AT SLOT TO SLOT CONNECTIONS, TWO WASHERS ARE REQUIRED, ONE ON EACH SIDE OF THE CONNECTION.
- P. STRUCRITE, INC., SHALL BE NOTIFIED PRIOR TO ANY FIELD MODIFICATIONS. MODIFICATIONS SHALL BE APPROVED BY STRUCRITE, INC., BEFORE WORK IS UNDERTAKEN.
- Q. ALL WELDING MUST BE PERFORMED BY AWS CERTIFIED WELDERS WHO ARE QUALIFIED FOR THE WELDING PROCESSES AND POSITIONS INDICATED. ALL WORK MUST BE COMPLETED AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE AWS SPECIFICATIONS. WELD ELECTRODES USED FOR THE SMAW (OR STICK) WELD PROCESS MUST BE 70 KSI STEEL AND LOW HYDROGEN CONTENT.

BRICK

- A. ALL BRICK MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES, AND SPECIFICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA). ALL BRICK WORK SHALL BE LAID IN CEMENT AND LIME MORTAR, WITH ALL BRICK FACES FULL BEDDED IN PLACE HAVING BOTH VERTICAL AND HORIZONTAL JOINTS ON STRAIGHT LINES. BRICK VENEER SHALL BE TIED TO MASONRY BACK-UP WITH HOHMANN & BARNARD, INC. LADDER TYPE #270 ADJUSTABLE EYE-WIRE REINFORCEMENT AT 16" ON CENTER VERTICALLY. USE HOHMANN & BARNARD 2 SEAL TIE @ 16" ON CENTER VERTICALLY MAX. 16" ON CENTER TO OTHER BACKUP MATERIALS OR AS NOTED ON DRAWINGS (MAX. 1.77 S.F. SPACING).
- B. PROVIDE A 3/8" CONTROL JOINT AT 20'-0" O.C. UNLESS SHOWN OTHERWISE ON PLANS.
- C. INSTALL WEEP VENTS AT TOP AND BOTTOM COURSE OF BRICK, AND ABOVE ALL OPENINGS IN EXTERIOR WALLS AT 16" ON CENTER OR AS INDICATED. FLASHING SHALL BE PERIM-A-BARRIER FLASHING BY W.R. GRACE OR EQUAL WITH STAINLESS STEEL METAL DRIP EDGE. INSTALL FLASHINGS AT BOTTOM COURSE OF BRICK AND ABOVE ALL OPENINGS IN EXTERIOR WALLS.

HEATING AND VENTILATION WORK

- A. REQUIREMENTS
1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.
2. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED BY CONTRACTOR FOR APPROVAL AS THE HEATING AND VENTILATING WORK IS NOT A PART OF THIS PLAN.
3. ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL BE OF U.L. APPROVED METHODS.

ELECTRICAL WORK

- A. REQUIREMENTS
1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.
2. SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO STATE AND LOCAL AGENCIES BY CONTRACTOR FOR APPROVAL AS THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN.
3. ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL BE OF U.L. APPROVED METHODS
- B. AUTOMATIC SMOKE DETECTION SYSTEM (NOTE: DO NOT INCLUDE UNLESS REQUIRED)
1. SMOKE DETECTION SYSTEM SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. STANDARDS 71, 72B, 72C, 72D, 72E.
2. AUTOMATIC DETECTION PRODUCTS SHALL BE AN APPROVED SYSTEM, MEETING FEDERAL, STATE AND LOCAL CODES.
3. ALL SMOKE DETECTORS SHALL BE BOTH AUDIBLE AND VISUAL AS REQUIRED BY THE A.D.A.

SEALANTS

- A. CAULK AROUND ALL WINDOWS, DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, COUNTERTOPS, DOOR FRAMES, ETC. AND AS REQUIRED FOR A WATERTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE TREMCO DYMERIC FOR FOOD PROCESSING FACILITIES OR FOOD PREP/FOOD STORAGE AREAS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER

FIRE EXTINGUISHERS

- A. REQUIREMENTS
1. CONTRACTOR TO FURNISH AND INSTALL EXTINGUISHERS PER LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. NO.10-1978.
2. MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT.
3. ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF THE A.D.A.

STEEL ROOF DECK

- A. USE A MINIMUM 22GA PTD, 1-1/2 INCH WIDE RIB, UNLESS NOTED DIFFERENTLY ON THE DRAWINGS.
- B. PANEL TO SPAN A MINIMUM OF THREE SPANS AND ALLOW FOR A MINIMUM OF 3" OVERLAP AT CENTERLINE OF JOISTS.
- C. DO NOT HANG OR ATTACH EQUIPMENT, MATERIALS, OR ANY LOADS TO THE METAL ROOF DECK. SEE DRAWINGS FOR FASTENER TYPE AND PATTERN.
- D.

Moravian Church - Lift Vestibule

510 Cole St.  
Watertown, WI 53094

REVISIONS

No.	DATE	DESCRIPTION
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CONSTRUCTION DOCUMENTS

SHEET TITLE: SPECIFICATIONS

JOB NUMBER: 24191

ISSUED DATE: 05.30.2025

DRAWN BY: JJR

SHEET NUMBER: