



SITE PLAN REVIEW COMMITTEE MEETING AGENDA

MONDAY, SEPTEMBER 09, 2024 AT 1:30 PM

**COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,
WATERTOWN, WI 53094**

Virtual Meeting

Info: <https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=85020538143> or by calling: 1-646-931-3860 and using Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

1. CALL TO ORDER

2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated June 24, 2024

3. BUSINESS

A. Review and take action: 919 Charles Street – addition to First Kindergarten

B. Review and take action: 1629 E. Main Street – proposed 48' x 48' storage building

4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at mdunneisen@watertownwi.gov, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

SITE PLAN REVIEW COMMITTEE
June 24, 2024

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Andrew Beyer of Public Works and Engineering, Mike Zitelman of Water/Wastewater, Jeff Meloy of the Police Department, Stacy Winkelman of the Streets and Solid Waste Department, Tanya Reyen of the Fire Department, Mason Strategic Initiatives and Development Coordinator Becker, Kristine Butteris of Park & Rec., Mayor Emily McFarland. Also in attendance were Nikki Zimmerman, and John Donovan of Bielinski.

1. Call to Order

The meeting was called to order by Acting Chairperson Andrew Beyer.

A. Roll Call

Roll call was completed.

2. Approval of Minutes

A. Review and take action: Site Plan Review Minutes Dated June 10, 2204

Motion was made by Mayor McFarland and seconded by Mike Zitelman to approve the minutes as submitted. Unanimously approved.

3. Business

A. Initial Review and take action: Hunter Oaks Planned Unit Development (PUD) – General Development Plan (GDP) Amendment

John Donovan was present to explain the project. This is a proposal to amend the Hunter Oaks General Development Plan, which was put into place in June 2023. There is a significant amount of land to develop, and the desire is to remove some of the 64 condominiums and construct more affordable housing. The Cb area is what would be amended. There are 53 single-family lots. The desire is to begin construction as soon as possible.

The following was presented by staff:

Building:	No comments
Fire:	The amended plan is better than the original plan.
Stormwater:	An erosion control and stormwater runoff permit would be required.
Engineering:	No comments.
Streets and Solid Waste:	Asked about when potential occupancy would occur. There could potentially happen Spring of 2025, maybe slightly earlier.
Parks:	Asked about when the city may obtain ownership of Area I (the park). This will be discussed in future phases.
Water/Wastewater:	No comments.
Mayor:	No comments.
Police:	No comments.
Zoning:	No comments.
Strategic Initiatives and Development:	This is a great concept and should do well in the city.

This item does not require any action to be taken.

4. Adjournment

Motion was made by Kristine Butteris and seconded by Andrew Beyer to adjourn. Unanimously approved.

Respectfully submitted,
Nikki Zimmerman
Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

COLD SPRING DESIGN, LLC

222 SOUTH MAIN STREET - FORT ATKINSON, WI 53538
(920)568-9530 - WWW.COLDSPRINGDESIGN.NET

OCTAGON HOUSE

DRAWING INDEX:

STRUCTURAL

- SO.1 NOTES AND SCHEDULES
- S1.1 FOUNDATION AND FLOOR FRAMING PLAN
- S1.2 ROOF FRAMING PLAN
- S2.1 FOUNDATION DETAILS
- S3.1 FRAMING DETAILS

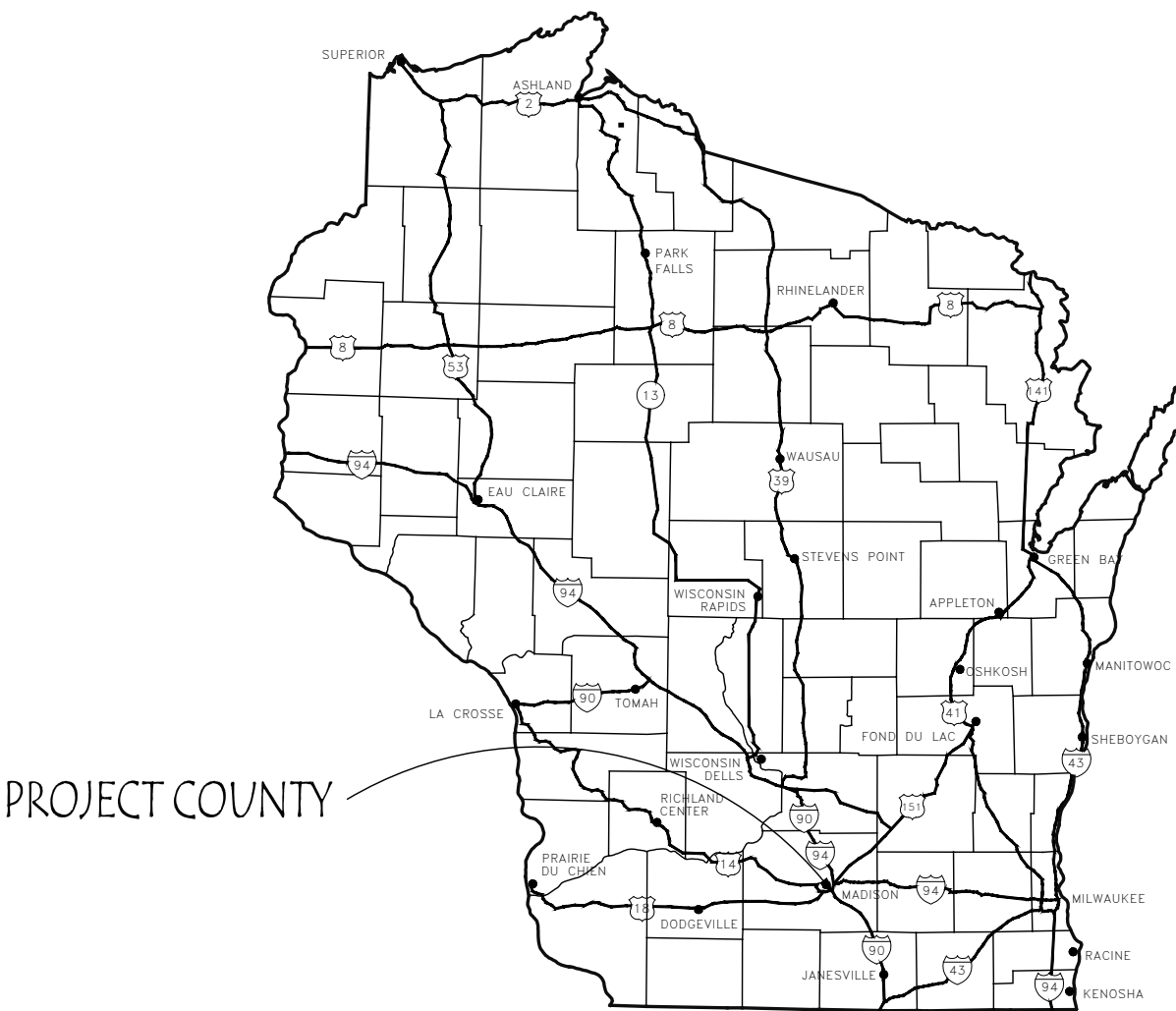
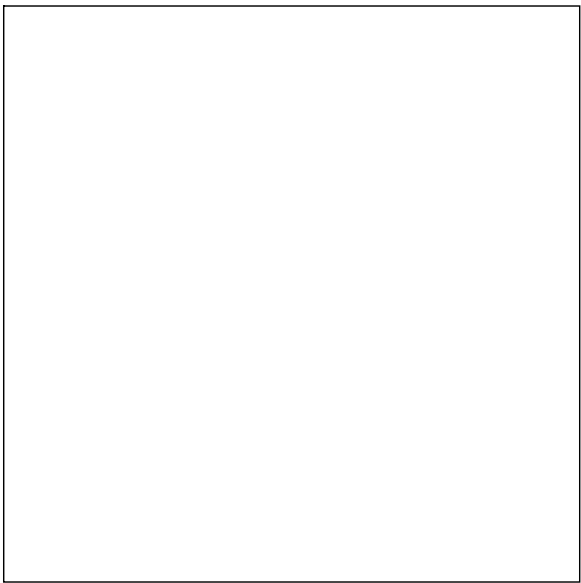
ARCHITECTURAL

- A2.1 EXTERIOR ELEVATIONS

CIVIL

- SITE PLAN

SEAL



LOCATION MAP

OWNER:

xxx
919 Charles St.
Watertown, WI 53094

CONTACT:

xxx
xxx@xxx.com
608-xxx-xxxx

ARCHITECT / ENGINEER:

COLD SPRING DESIGN, LLC
222 SOUTH MAIN STREET
FORT ATKINSON, WI 53538
PHONE: (920)568-9530
CONTACT: CONOR NELAN

PROJECT INFORMATION:

All requirements per 2015 IBC

Building Information:

Building Height: 1-STORY, SEE ELEVATIONS
Use & Occupancy Classification: OCCUPANCY TYPE B -
720 sq. ft. conditioned space

Construction Type: Type VB -
NON-SPRINKLERED



222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9530
F (920)568-9531

ISSUE

#	DATE	DESCRIPTION

OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: JATF
CHECKED BY: CFN

TITLE SHEET

TSO.1

OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

SO.1



222 South Main Street
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ISSUE

#	DATE	DESCRIPTION

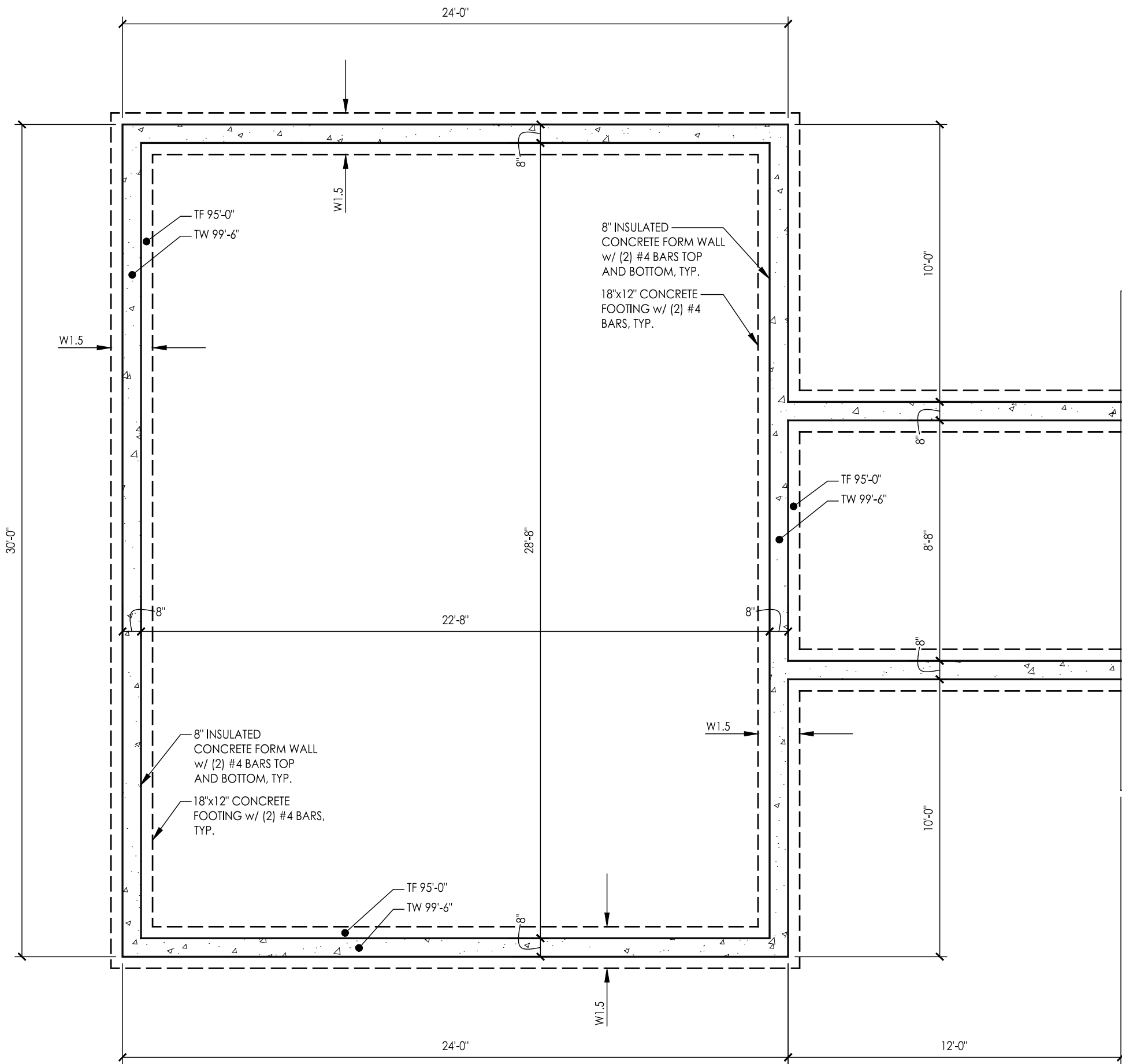
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

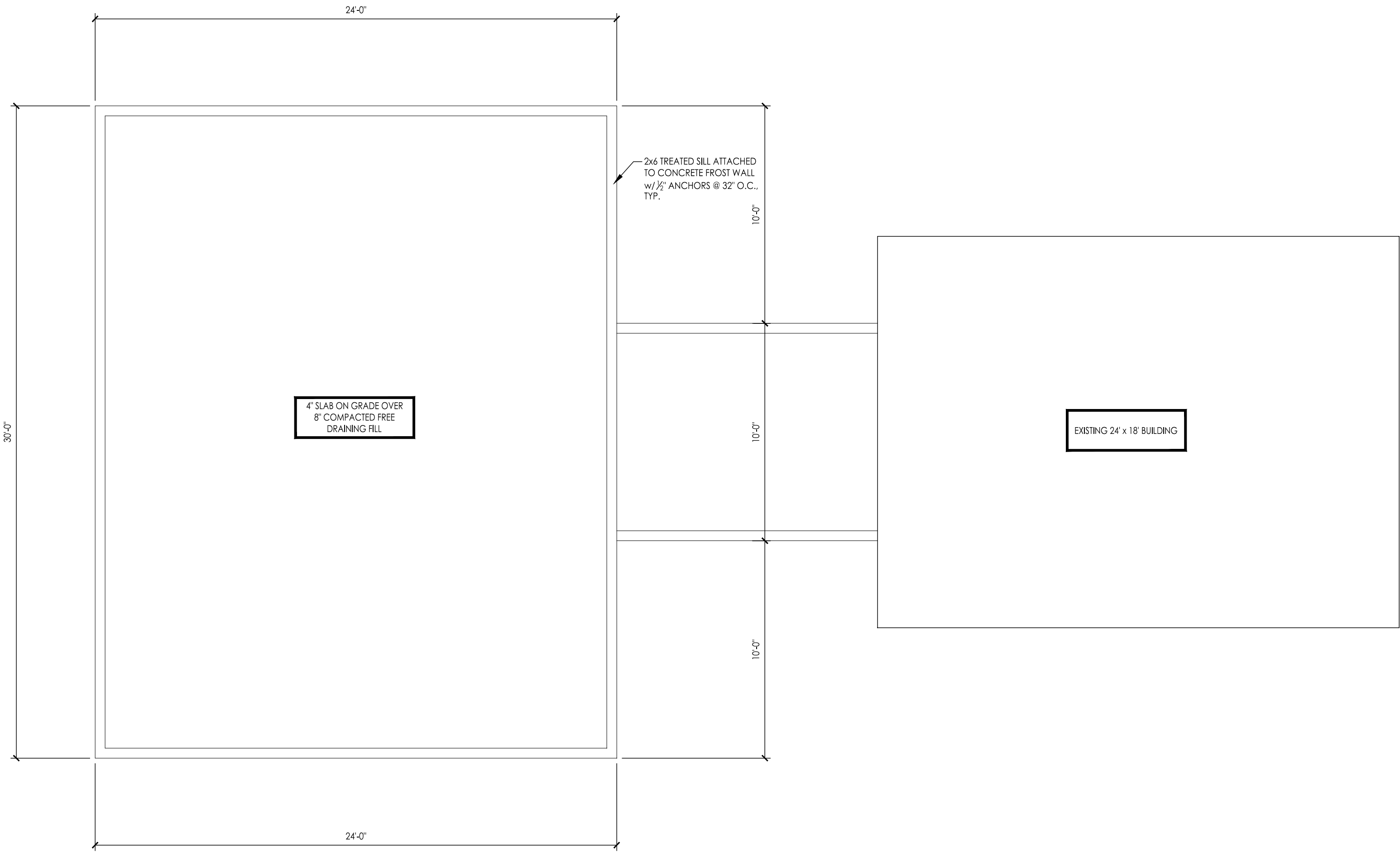
FOUNDATION
AND FLOOR
FRAMING PLAN

S1.1



1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD,
UNLESS NOTED OTHERWISE.



2 PROPOSED FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD,
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ISSUE		
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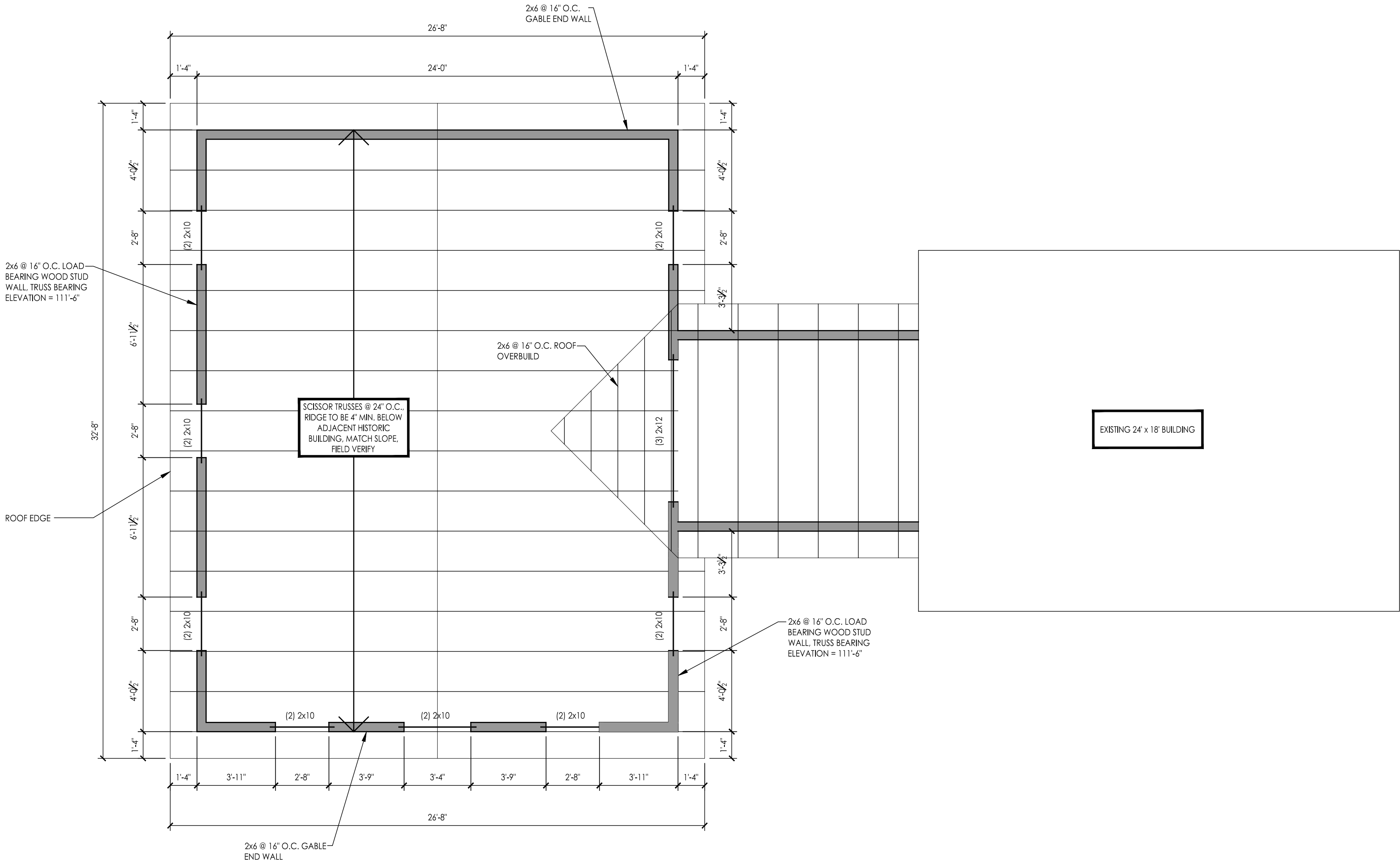
OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #: .

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

ROOF
FRAMING PLAN

S1.2



1
S1.2 PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1' - 0"

NOTES:
1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.



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ISSUE

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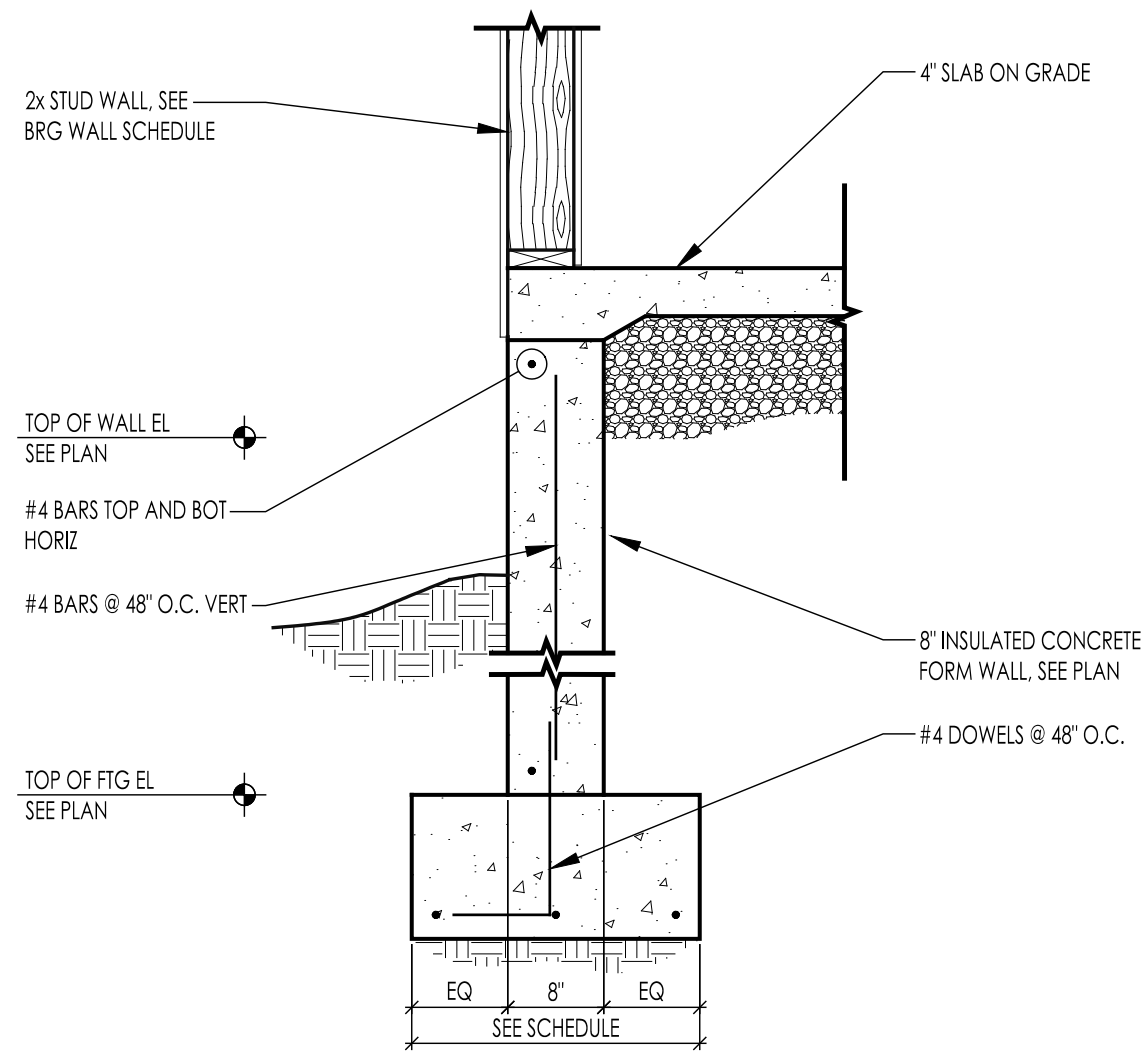
OCTAGON HOUSE
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WATERTOWN, WI 53094

CSD PROJECT #:

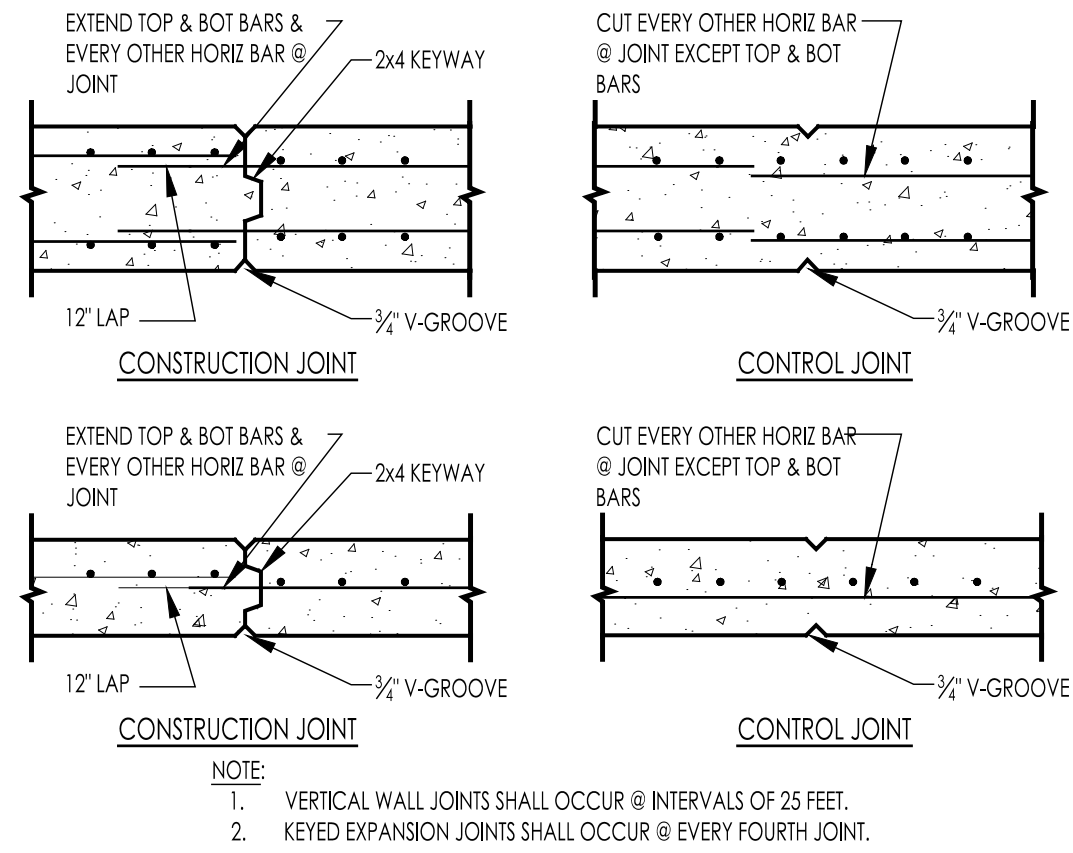
SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

FOUNDATION
DETAILS

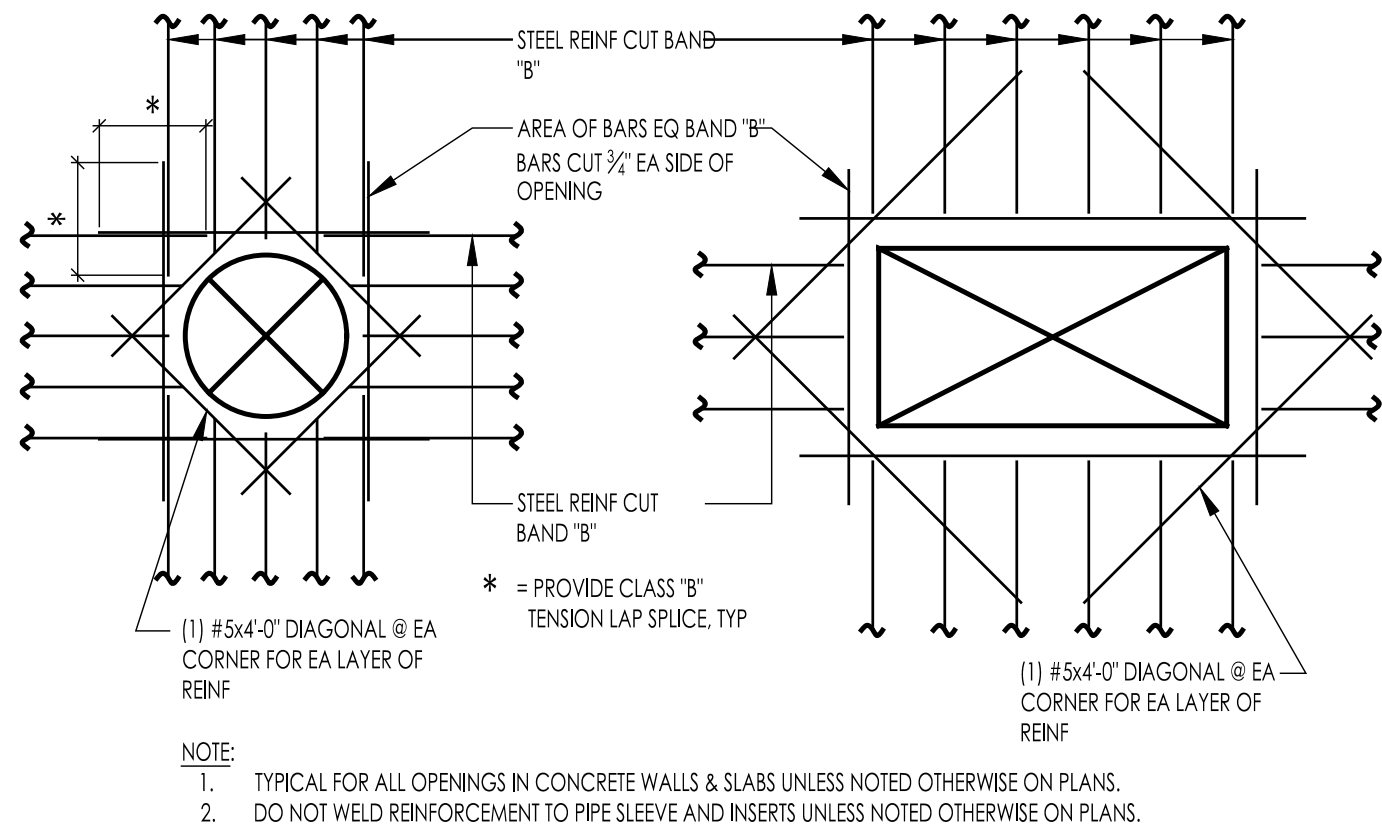
S2.1



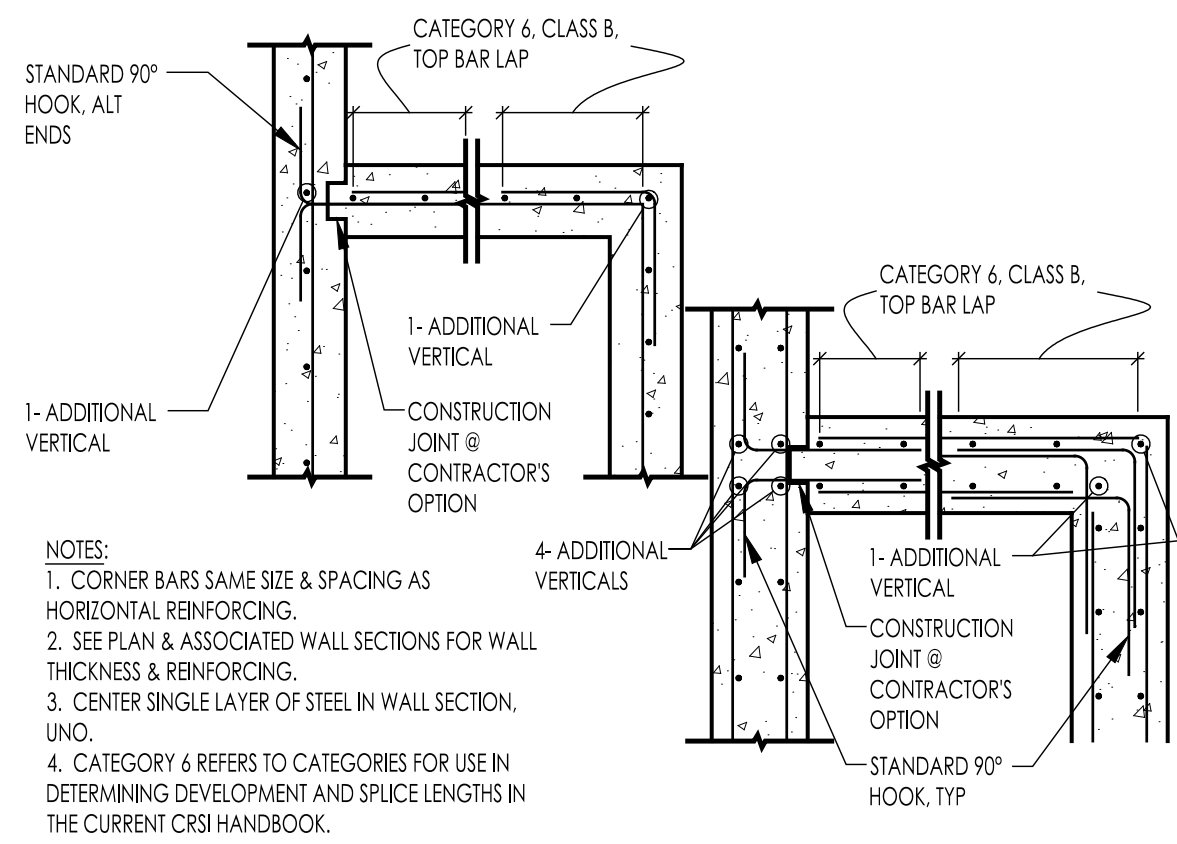
4 TYPICAL FROST WALL
SCALE: NTS



3 TYPICAL VERTICAL WALL JOINTS
SCALE: NTS



2 REINFORCING @ CONCRETE OPENINGS
SCALE: NTS

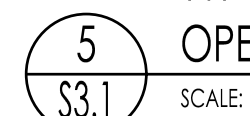


1 REINFORCING @ CONC WALL CORNERS
SCALE: NTS

ISSUE

[illegible]

S3.1





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ISSUE

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OCTAGON HOUSE
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CSD PROJECT #:

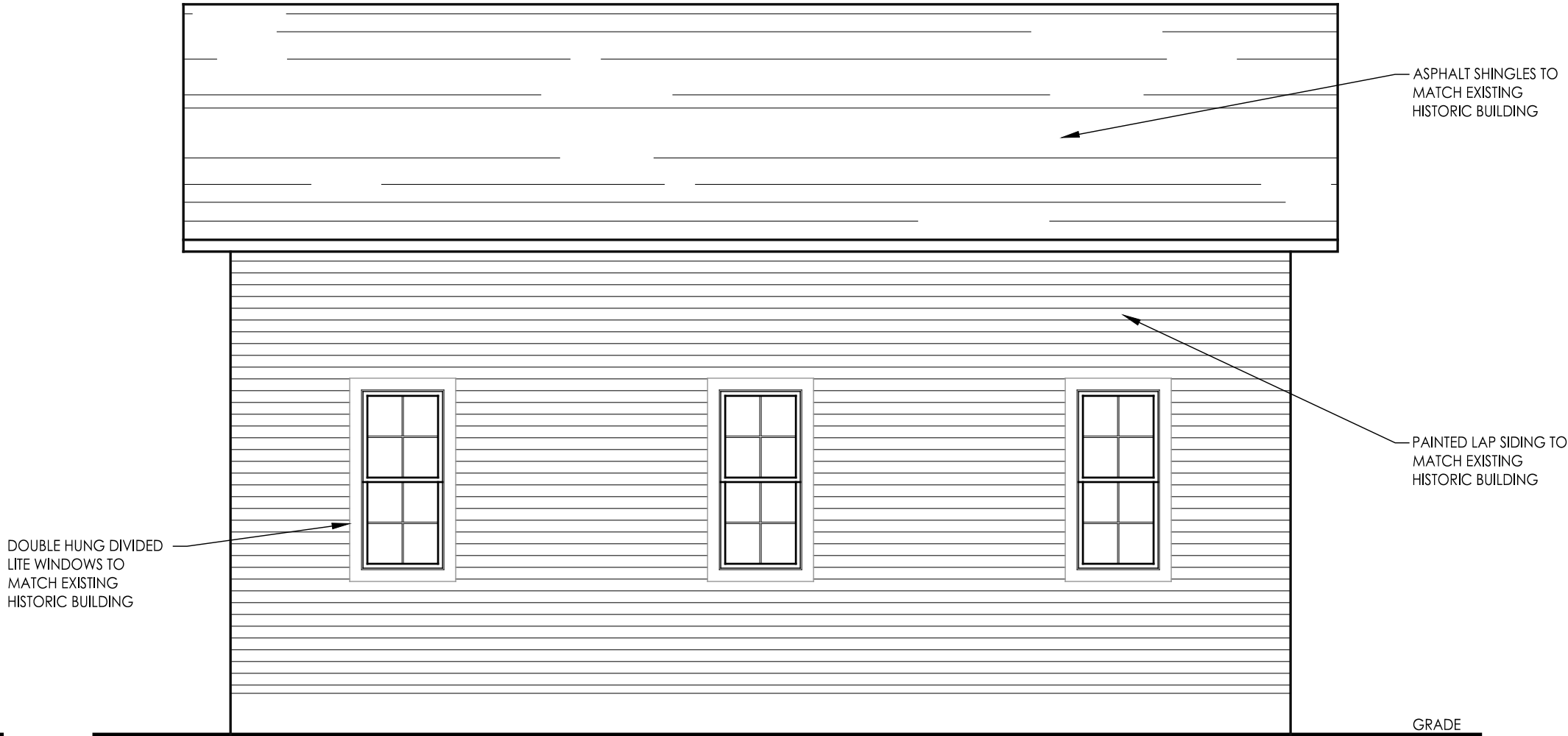
SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: JATF
CHECKED BY: CFN

EXTERIOR
ELEVATIONS

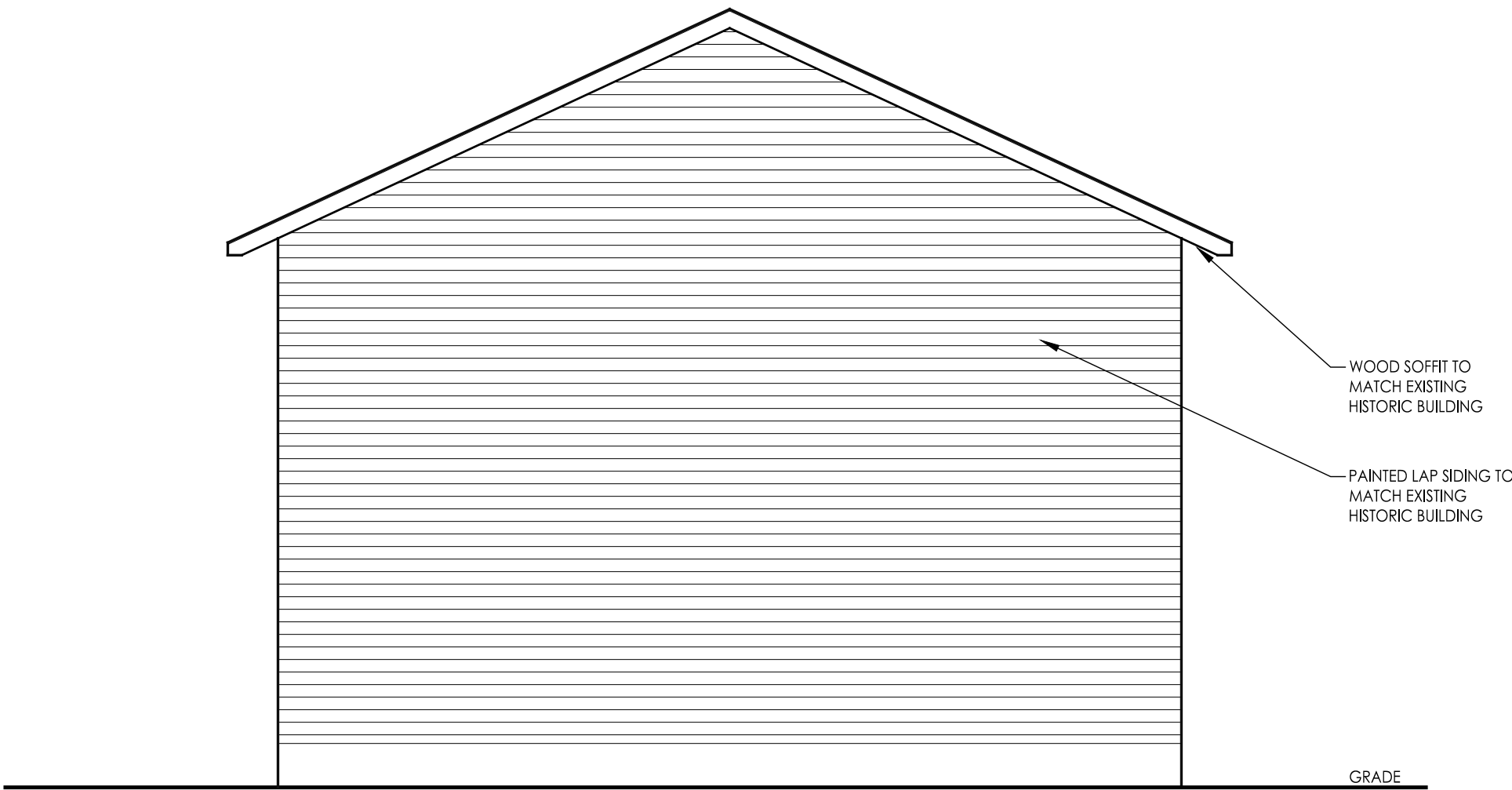
A2.1



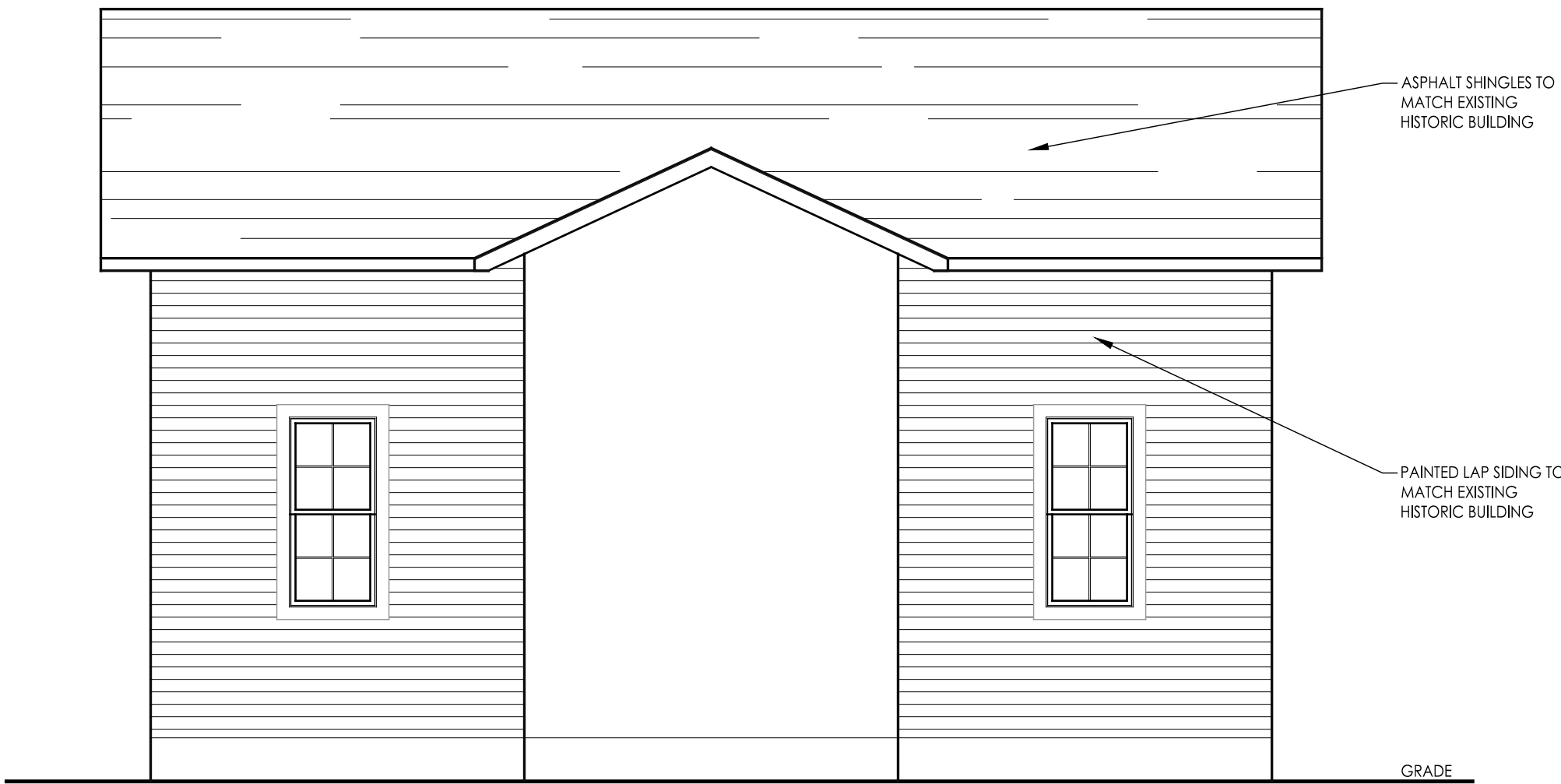
1 PROPOSED WEST ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



2 PROPOSED NORTH ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



3 PROPOSED EAST ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



4 PROPOSED SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1' - 0"



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Fort Atkinson, WI 53538
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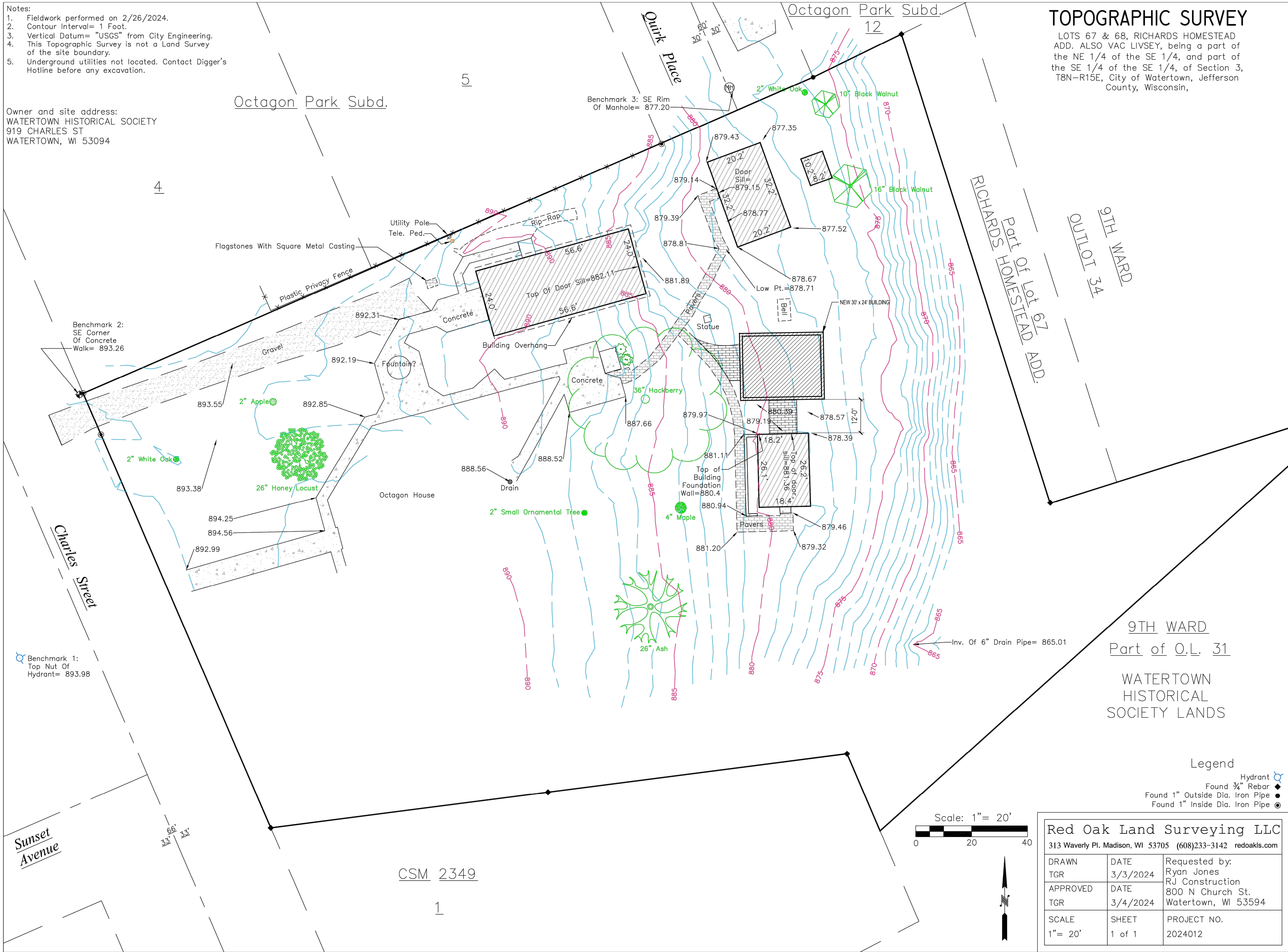
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OCTAGON HOUSE
919 CHARLES ST.
WATERTOWN, WI 53094

CSD PROJECT #:

SCALE: AS NOTED
DATE: 7/31/2024
DRAWN BY: ATF
CHECKED BY: CFN

SITE PLAN



August 12, 2024

Dear Plan Commission:

Please accept this letter and all enclosed materials as formal request for a conditional use permit to construct a second accessory building at 1629 E. Main St.

This is a single family residential property on which we request a permit to build an accessory building for storage. The building is proposed at the SE corner of the property, and would include an additional access from Kuckkan Lane.

The conditional use permit is requested based on the following:

- The proposed height of the building is not to exceed 18.5 ft., with the height of the walls at 15 ft and the peak not to exceed 22 ft.
- The proposed building is 48' x 48' (36' x 48' with an open wall lean-to measuring 12' x 48') for a total of 1,728 square feet. This is less than 10% of the total property measuring 101,930 square feet.
- The proposed external veneer is corrugated steel. However, in order to increase the curb appeal and decrease the industrial appearance of the building, two-tone Wainscoting is proposed.

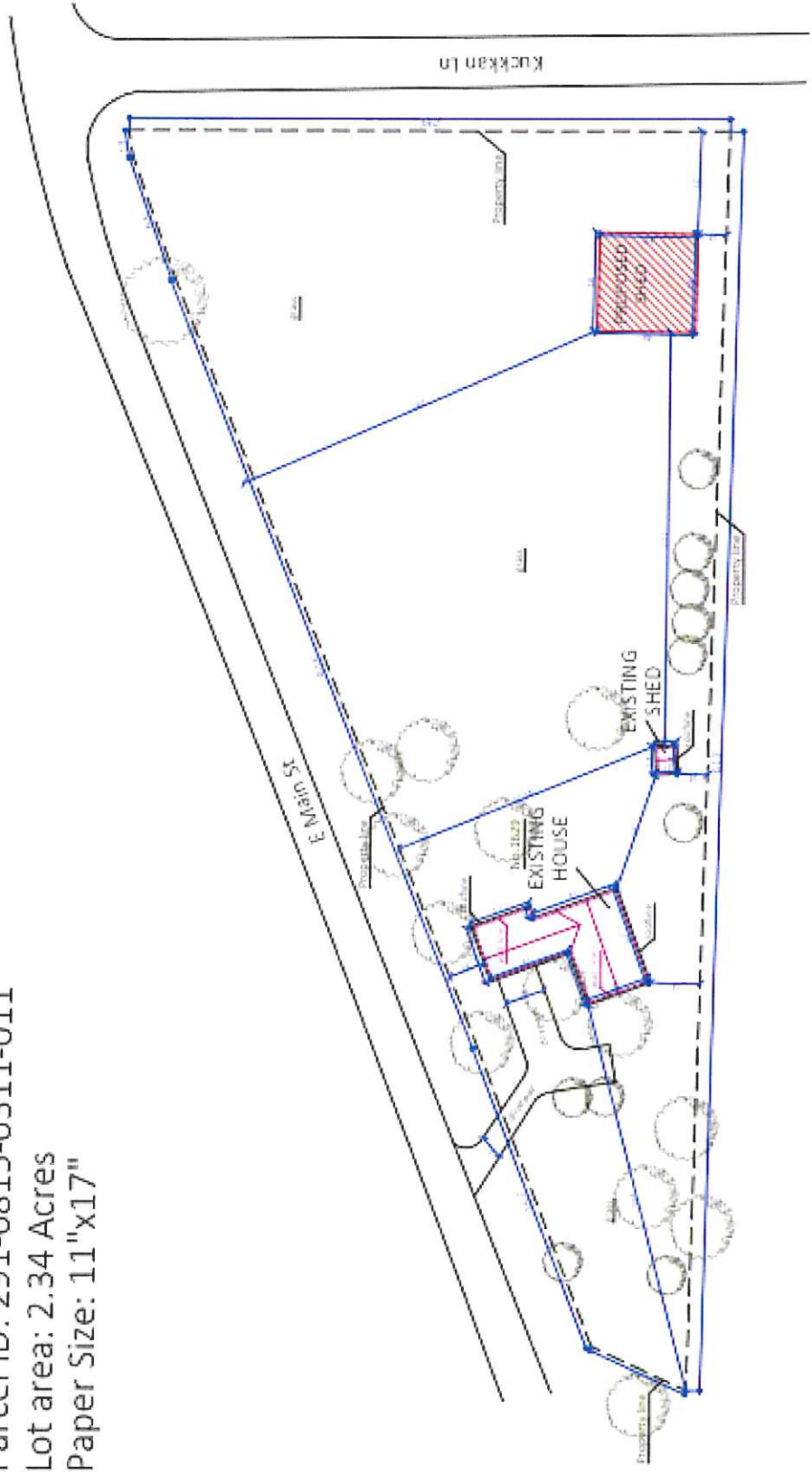
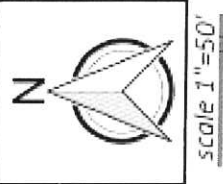
Please see the attached site plan and building plans for additional details. Feel free to contact me if you have any additional questions.

Sincerely,

Todd Grady
920-988-9477
Todd.Grady.Mobile@Gmail.com

SITE PLAN

1629 E Main St
Watertown, WI 53094
Parcel ID: 291-0815-03111-011
Lot area: 2.34 Acres
Paper Size: 11"x17"



Date: 08/05/2024 - 1:42 PM

Design Name: Post Frame Design

Design ID: 315954232505

System V Estimate ID: 72828

Estimated price: \$25,020.23 *

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

MENARDS

Design & Buy™

POST FRAME

How to recall and purchase a saved design at home



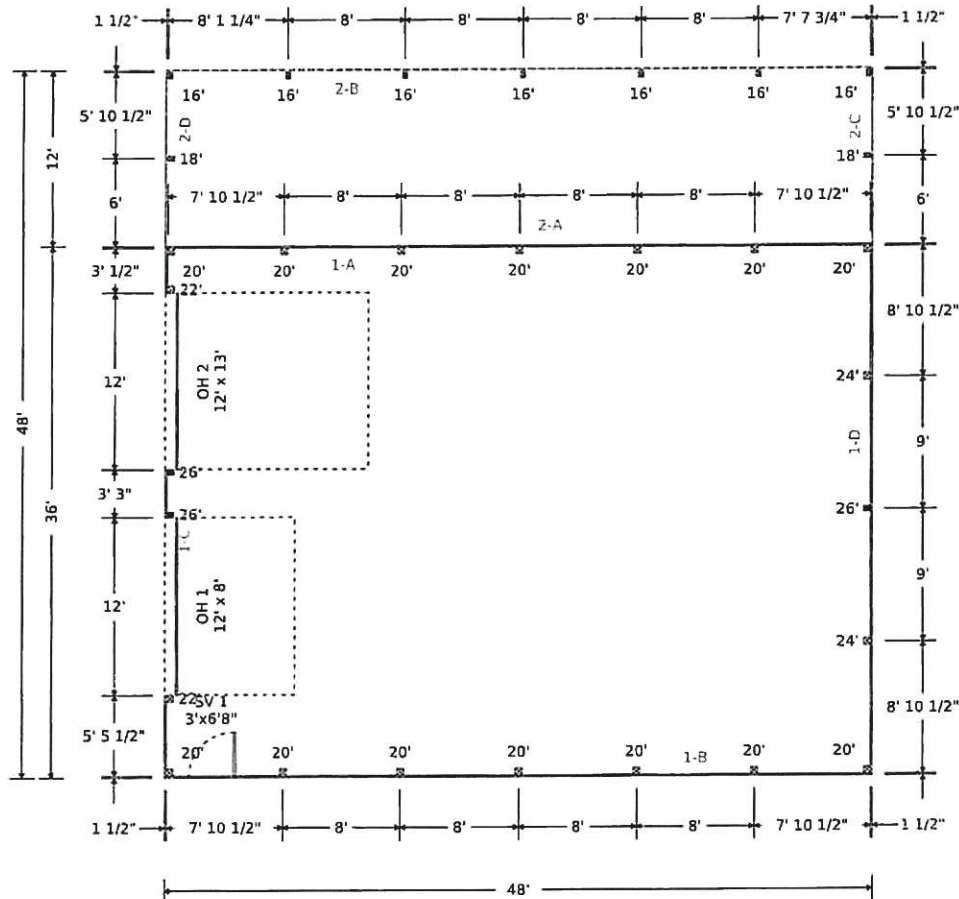
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Buildings Designer
3. Recall your design by entering Design ID: 315954232505
4. Follow the on-screen purchasing instructions

How to purchase at the store

1. Enter Design ID: 315954232505 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions.

FLOOR PLAN



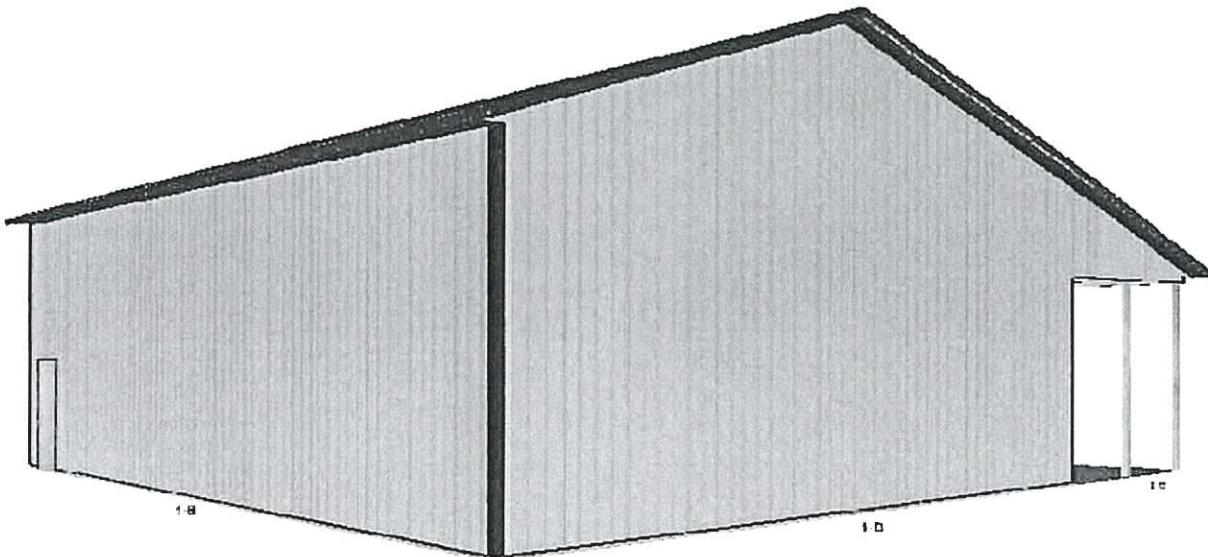
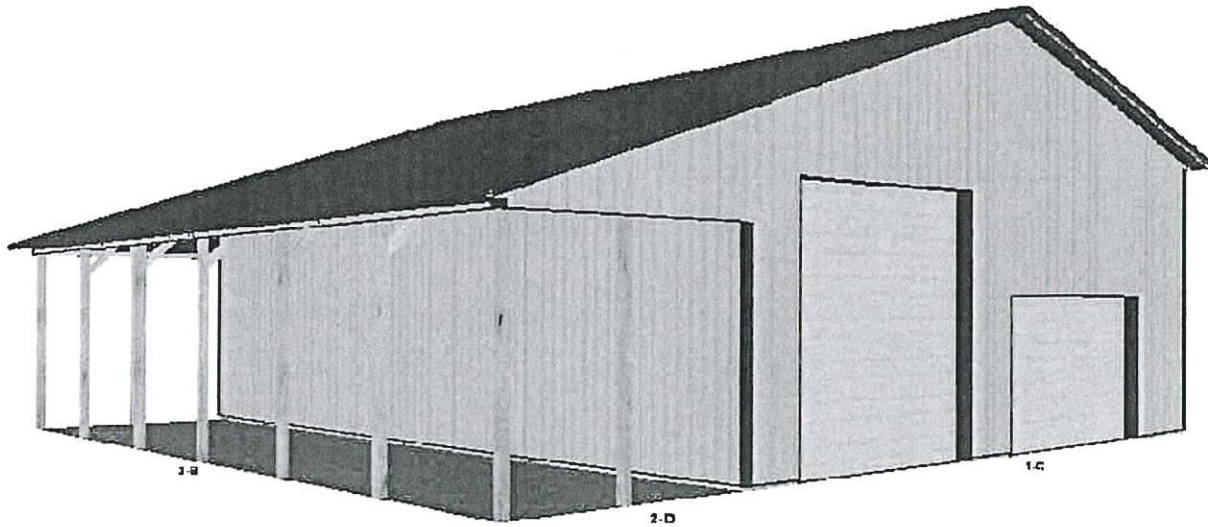
Design #: 315954232505
Estimate #: 72828
Store: JOHNSON CREEK



Post Frame Building Estimate
Date: Aug 5, 2024 1:42:21 PM

Section 3, Item B.

Elevation Views



Design #: 315954232505
Estimate #: 72828
Store: JOHNSON CREEK



Post Frame Building Estimate
Date: Aug 5, 2024 1:42:21 PM

Section 3, Item B.

Congratulations, you have taken the first step towards making your new post frame building a reality!

- You have selected Menards to provide you with superior products produced by Midwest Manufacturing that will meet your needs. For a more detailed look at these premium products visit us on the web at www.midwestmanufacturing.com.

*Delivery charge is not included in price. Items ordered to complete your building from vendors other than Midwest Manufacturing are not available for pickup from the plant.

Design #: 315954232505
 Estimate #: 72828
 Store: JOHNSON CREEK



Post Frame Building Estimate

Date: Aug 5, 2024 1:42:21 PM

Building Information

1. Building Use:	Code Exempt
2. Width:	36 ft
3. Length:	48 ft
4. Inside Clear Height:	15 ft
5. Floor Finish:	Dirt / Gravel
6. Post Embedment Depth:	4 ft
7. Footing Pad Size:	14 in x 4 in

Wall Information

1. Post Spacing:	8 ft
2. Post Type:	Posts
3. Girt Type:	Flat
4. Exterior Wall Panel:	Pro-Rib
5. Exterior Wall Color:	Light Stone
6. Trim Color:	Brown
7. Gable Accent:	No
8. Sidewall A Eave Light:	None
9. Sidewall B Eave Light:	None
10. Wall Fastener Location:	In the Flat
11. Gradeboard Type:	2x6 Treated Gradeboard

Interior Finish

1. Wall Insulation Type:	None
2. Wall Liner Type:	None
3. Roof Condensation Control:	Block-It House Wrap

Roof Information

1. Pitch:	4/12
2. Truss Spacing:	8 ft
3. Roof Type:	Pro-Rib
4. Roof Color:	Brown
5. Ridge Options:	Universal Ridge Cap
6. Roof Fastener Location:	On the Rib
7. Endwall Overhangs:	1 ft
8. Sidewall Overhangs:	1 ft
9. Fascia Size:	4 in Fascia
10. Soffit Color:	Brown
11. Skylight Size:	None
12. Ridge Vent Quantity:	None
13. Ceiling Liner Type:	ProRib
14. Purlin Placement:	On Edge
15. Ceiling Liner Color:	White
16. Ceiling Insulation Type:	7.75" Fiberglass Blow In (R-22)

Accessories

1. Outside Closure Strip:	Standard
2. Inside Closure Strip:	Standard
3. Gable Vent Type:	None
4. Cupola Size:	None
5. Gutters:	No
6. End Cap:	No
7. Mini Print:	Email Only

Design #: 315954232505
Estimate #: 72828
Store: JOHNSON CREEK



Post Frame Building Estimate
Date: Aug 5, 2024 1:42:21 PM

Section 3, Item B.

Leans

Building 2

Attaching wall:	A
Endwall overhang length:	1 ft
Sidewall overhang length:	1 ft
Add snow guards:	No
Remove every other post:	No
Length:	48 ft
Depth:	12 ft
Drop Distance From Roof:	0 ft
Position From Left:	0 ft
Approximate Clear Height:	10 ft
Open interior wall:	No
Open exterior walls:	Side And End Walls
Remove every other interior wall post:	No

Doors & Windows

Name	Size	Wall
Service Door	36"x80"	1-B
Overhead Door	12' x 8'	1-C
Overhead Door	12' x 13'	1-C

Lean Open Walls

Wall	Every Other Post Removed
2-B	No
2-C	No

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

My Company Name Address 1 Address 2 City, State Zip						Truss: p36e JobName: new pt ends Date: 10/22/16 13:23:07 Page: 1 of 1			
SPAN 36-0-0	PITCH 4/12	QTY 1	OHL 0-0-0	DHR 0-0-0	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 48 in	WGT/PLY 199 lbs

All plates shown to be Eagle 20 unless otherwise noted.

Loading (psf)	General	CSI Summary	Deflection	L/	(loc)	Allowed
TC1: 30	Wind Code: IBC 2012	TC: 0.78 (5-6)	Vert TL: 0.01 in	1/999	100-11	1/120
Snow (psf): 28/0	TP1 1-2007	RC: 0.08 (12-13)	Vert JL: 0 in	1/999	9	1/180
TC2: 4 (rake)	Rep Mbr Increase: No	Web: 0.61 (5-12)	Horz TL: 0 in			
RC1: 0	Lumber D.O.L.: 115%					
RC2: 5						

Reaction Summary						
Re Combo	Re Width	Max React	Ave React	Max Cray Uplift	Max Wind Uplift	Max Uplift
1		1,478 lbs	179.80		-112 lbs	112 lbs

Material Summary		Bracing Summary	
TC	SPP #2 2 x 6	TC Bracing	Partials at 24" OC, Partials design by Others.
RC	SPP #2 2 x 8	RC Bracing	Sheathed or Partials at 10-0-0, Partials design by Others.
Web	SPP Stud 2 x 4		

Loads Summary

1) This truss has been designed for the effects of balanced and unbalanced snow loads in accordance with ASCE7-10 with the following user defined inputs: 30 psf ground snow load, Terrain Category C, Exposure Category Fully Exposed (C_e = 0.9), Risk Category I (I = 0.80), Thermal Condition Unheated (U = 1.2), DOL = 1.15, Unventilated, Unobstructed, slippery surface. If the roof configuration differs from hipgable, Building Designer shall verify snow loads.

2) This truss has been designed for the effects of wind loads in accordance with ASCE7-10 with the following user defined inputs: 105 mph (Factored), Exposure C, Enclosed, Gable/Hip, Risk Category I, h = 15 ft, Not End Zone Truss, Roof end webs considered, DOL = 1.60.

3) This truss is designed as an agricultural truss which for the purposes of this program is defined as a structure that represents a low hazard to people and property. See BCSI-10 for installation and temporary bracing.

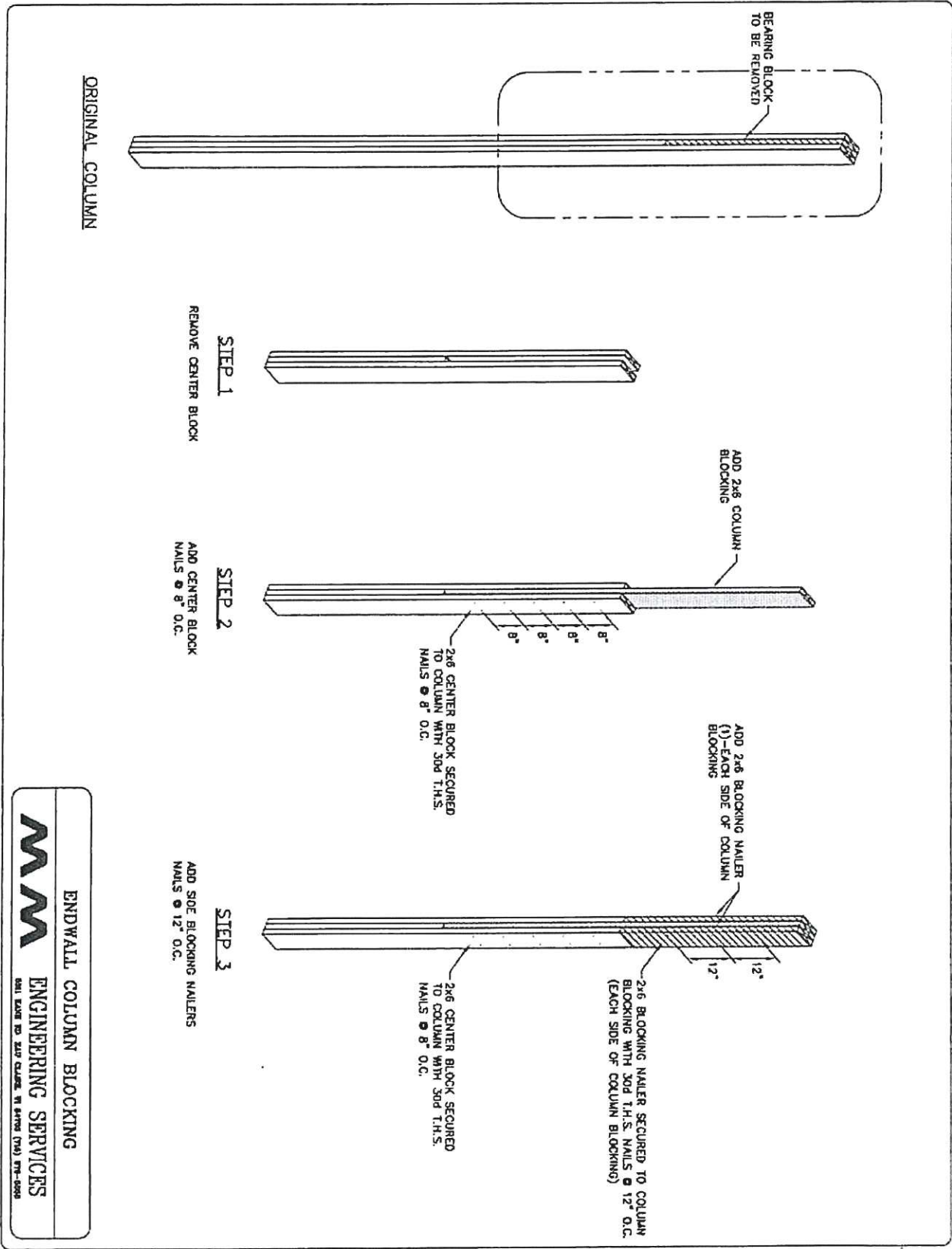
Member Forces Summary							
Table indicates: Member ID, max CSI max axial force, max comp. force if different from max axial force. Only forces greater than 1000lb are shown in this table.							
TC	2-4	0.778	-311 lbs	5-6	0.745	-408 lbs	
	2-5	0.760	-403 lbs	5-8	0.724	-311 lbs	
RC							
Web	2-4	0.128	-103 lbs	5-6	0.169	-136 lbs	
	2-5	0.429	-1,333 lbs	5-8	0.429	-1,333 lbs	

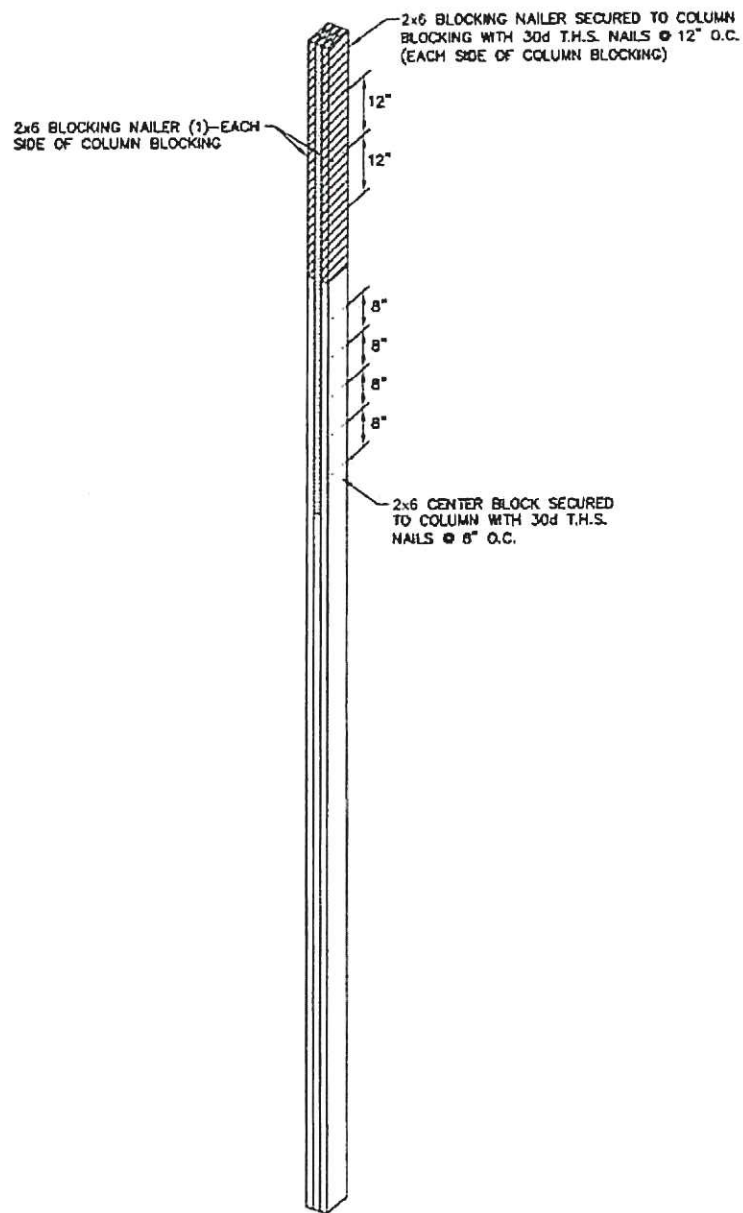
Notes:

- 1) Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- 2) Gable requires continuous bottom chord bearing.
- 3) Gable webs placed at 84" OC, UNO.
- 4) Attachable webs with 2x6/2x8 plates, UNO.
- 5) Bracing shown is for in-plane requirements. For out-of-plane requirements, refer to BCSI-10 published by the SBCA.
- 6) When this truss has been chosen for quality assurance inspection the Effective End Count Method per TP1 1-2002/AS-4 shall be used.
- 7) Building Designer shall verify self weight of the truss and other dead load materials do not exceed TCDB, 4 psf.
- 8) Building Designer shall verify self weight of the truss and other dead load materials do not exceed RCDB, 5 psf.
- 9) Design assumes minimum 1/2" flat orientation vertically gabled partials attached to the top of the TC at partial spacing shown with at least 2-10d nails.
- 10) Creep has been considered in the analysis of this truss.
- 11) Listed wind uplift reactions based on MWFRS Only loading.

ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING ANY TRUSS BASED UPON THIS TRUSS DESIGN DRAWING ARE INSTRUCTED TO REFER TO ALL OF THE INSTRUCTIONS, LIMITATIONS AND QUALIFICATIONS SET FORTH IN THE EAGLE METAL PRODUCTS DESIGN NOTES ISSUED WITH THIS DESIGN AND AVAILABLE FROM EAGLE UPON REQUEST. DESIGN VALID ONLY WHEN EAGLE METAL CONNECTORS ARE USED.	TrueBuild® Software v5.5.2.220 Eagle Metal Products Dallas, TX 75234
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19



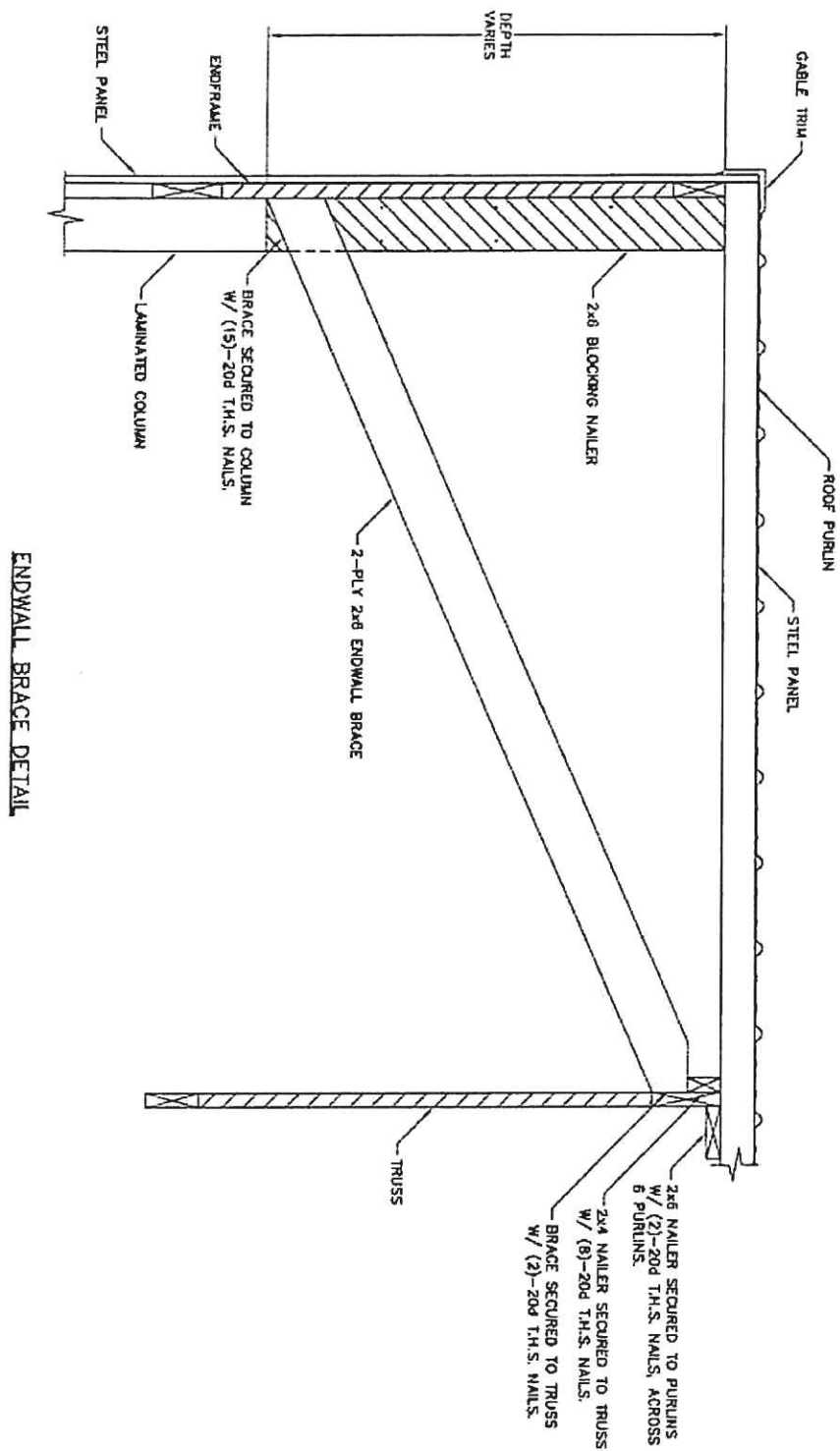


ENDWALL COLUMN BLOCKING DETAIL

ENDWALL COLUMN BLOCKING DETAIL

ENGINEERING SERVICES

6023 STATE RD. S.W. CLARK, VT 04703 (753) 879-0000



ENDWALL BRACE DETAIL

ENDWALL BRACE DETAIL

MM ENGINEERING SERVICES

5801 KINGS RD. SUITE 200, WILMINGTON, DE 19806 (302) 478-2000