

# SITE PLAN REVIEW COMMITTEE MEETING AGENDA

# MONDAY, SEPTEMBER 09, 2024 AT 1:30 PM

# COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET, WATERTOWN, WI 53094

# **Virtual Meeting**

Info: https://us06web.zoom.us/j/2371460557?pwd=UXjvqLXKCdw12jl4jl1b7GlUPaClat.1&omn=850205 38143 or by calling: 1-646-931-3860 and using Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

# 1. CALL TO ORDER

# 2. APPROVAL OF MINUTES

A. Review and take action: Site Plan Review minutes dated June 24, 2024

# 3. BUSINESS

- A. Review and take action: 919 Charles Street addition to First Kindergarten
- B. Review and take action: 1629 E. Main Street proposed 48' x 48' storage building

# 4. ADJOURNMENT

Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at <u>mdunneisen@watertownwi.gov</u>, phone 920-262-4006

A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only

### SITE PLAN REVIEW COMMITTEE June 24, 2024

Section 2, Item A.

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Andrew Beyer of Public Works and Engineering, Mike Zitelman of Water/Wastewater, Jeff Meloy of the Police Department, Stacy Winkelman of the Streets and Solid Waste Department, Tanya Reyen of the Fire Department, Mason Strategic Initiatives and Development Coordinator Becker, Kristine Butteris of Park & Rec., Mayor Emily McFarland. Also in attendance were Nikki Zimmerman, and John Donovan of Bielinski.

### 1. Call to Order

The meeting was called to order by Acting Chairperson Andrew Beyer.

### A. Roll Call

Roll call was completed.

### 2. Approval of Minutes

### A. Review and take action: Site Plan Review Minutes Dated June 10, 2204 Motion was made by Mayor McFarland and seconded by Mike Zitelman to approve the minutes as submitted. Unanimously approved.

### 3. Business

# A. Initial Review and take action: Hunter Oaks Planned Unit Development (PUD) – General Development Plan (GDP) Amendment

John Donovan was present to explain the project. This is a proposal to amend the Hunter Oaks General Development Plan, which was put into place in June 2023. There is a significant amount of land to develop, and the desire is to remove some of the 64 condominiums and construct more affordable housing. The Cb area is what would be amended. There are 53 single-family lots. The desire is to begin construction as soon as possible.

The following was presented by staff:

Building:	No comments
Fire:	The amended plan is better than the original plan.
Stormwater:	An erosion control and stormwater runoff permit would be required.
Engineering:	No comments.
Streets and Solid Waste:	Asked about when potential occupancy would occur. There could potentially happen Spring of 2025, maybe slightly earlier.
Parks:	Asked about when the city may obtain ownership of Area I (the park). This will be discussed in future phases.
Water/Wastewater:	No comments.
Mayor:	No comments.
Police:	No comments.
Zoning:	No comments.
Strategic Initiatives and Development:	This is a great concept and should do well in the city.

This item does not require any action to be taken.

### 4. Adjournment

Motion was made by Kristine Butteris and seconded by Andrew Beyer to adjourn. Unanimously approved.

Respectfully submitted, Nikki Zimmerman Recording Secretary

NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.

# COLD SPRING DESIGN, LLC

# DRAWING INDEX:

# STRUCTURAL

- SO.1 NOTES AND SCHEDULES
- FOUNDATION AND FLOOR FRAMING PLAN S1.1
- ROOF FRAMING PLAN S1.2
- FOUNDATION DETAILS S2.1
- S3.1 FRAMING DETAILS

# ARCHITECTURAL

A2.1 EXTERIOR ELEVATIONS

# CIVIL

SITE PLAN

222 SOUTH MAIN STREET - FORT ATKINSON, WI 53538 (920)568–9530 – WWW.COLDSPRINGDESIGN.NET

# OCTAGON HOUSE



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LOCATION MAP

PROJECT COUNTY

OWNER: XXX 919 Charles St. Watertown, WI 53094

CONTACT:

XXX xxx@xxx.com 608-xxx-xxxx

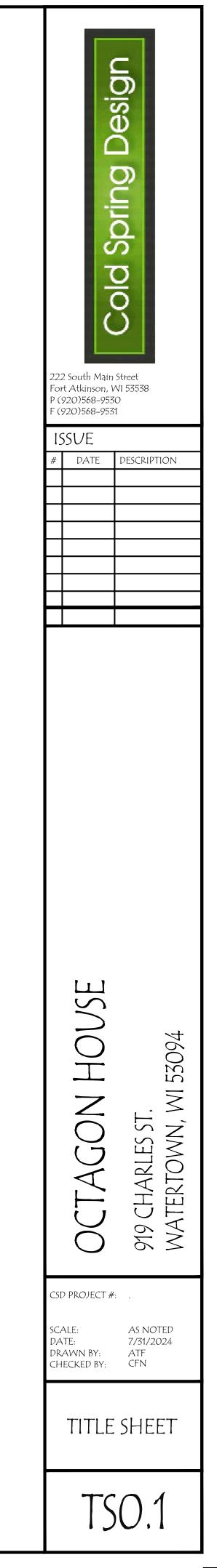
ARCHITECT / ENGINEER:

COLD SPRING DESIGN, LLC 222 SOUTH MAIN STREET FORT ATKINSON, WI 53538 PHONE: (920)568-9530 CONTACT: CONOR NELAN

**PROJECT INFORMATION:** All requirements per 2015 IBC

Building Information: Building Height: Use & Occupancy Classification:

Construction Type:



1-STORY, SEE ELEVATIONS OCCUPANCY TYPE B -720 sq. ft. conditioned space

Type VB – NON-SPRINKLERED

# **GENERAL NOTES**

# 1. USE CURRENT COMMERCIAL BUILDING CODE ADOPTED BY WISCONSIN.

2. CONSULT ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF CURBS, PADS, INSERTS, SLEEVES, DRIPS, REGLETS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.

3. SIZE AND LOCATION OF ALL ROOF, FLOOR, AND WALL OPENINGS TO BE VERIFIED WITH MECHANICAL AND ELECTRICAL CONTRACTORS REQUIRING SUCH OPENINGS.

4. CONSULT ARCHITECT FOR ANY NECESSARY DIMENSIONS WHICH ARE NOT SHOWN ON PLANS. SCALING OF DRAWINGS IS NOT PERMITTED.

5. SIMILAR PORTIONS OF THE BUILDING SHALL HAVE SIMILAR DETAILING UNLESS NOTED OTHERWISE.

6. ELEVATIONS SHOWN ON PLAN ARE BASED ON 100'-0" AS FINISHED FIRST FLOOR ELEVATION. 7. ELEVATIONS SHOWN ON PLANS ARE TO TOP OF STEEL, CONCRETE, OR PLYWOOD SHEATHING, UNLESS NOTED OTHERWISE.

8. ALL WORK SHALL CONFORM TO OSHA REQUIREMENTS.

### 9. STRUCTURAL MEMBERS INCLUDING JOISTS, SLABS, BEAMS, TRUSSES, COLUMNS, AND WALLS ARE DESIGNED FOR "IN PLACE" LOADS. CONTRACTOR IS RESPONSIBLE FOR BRACING, WITHOUT OVER STRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTURCTION) UNTIL COMPLETION OF THIS PROJECT.

10. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ARCHITECT.

11. SUBMIT REPRODUCIBLE COPY OF ALL STRUCTURAL SHOP DRAWINGS.

# WOOD TRUSS NOTES

CRITICAL POINTS.

WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLOWING INFORMATION 1. INFORMATION WHICH THE RESPONSIBLE BUILDING DESIGN PROFESSIONAL WILL CHECK FOR COMPLIANCE

- WITH CONTRACT DOCUMENTS. a. ERECTION PLAN: SHOWING DIMENSIONED LOCATIONS AND TRUSS IDENTIFICATION.
- b. BEARING DETAILS: SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE TO TRUSS CALCULATIONS.
- c. DESIGN LOADS: ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN AND/OR TRUSS ELEVATION INDICATING CONFORMANCE TO TRUSS CALCULATIONS.
- d. ALL PERMANENT BRACING: SHOW TOP CHORD, BOTTOM CHORD, AND WEB MEMBER BRACING ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF
- THIS BRACING SHALL ALSO BE INDICATED. e. TRUSS DIMENSIONS: SHOW DEPTH, SPAN, BEARING, HEIGHT, AND SLOPES AT ALL

# 2. INFORMATION THAT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED FOR INFORMATION WITH THE SHOP DRAWING SUBMITTAL.

- a. MEMBER DESIGN: INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES, REACTIONS, AND MEMBER BRACING REQUIRED BY TRUSS DESIGN. b. INTERIOR CONNECTIONS: DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS
- INCLUDING PLATE AND BOLT SIZES.
- c. MEMBER CONNECTIONS: DESIGN AND INDICATE ALL NECESSARY HARDWARE FOR PROPER INSTALLATION OF TRUSSES INCLUDING, BUT NOT LIMITED TO, GIRDER PLY
- CONNECTIONS, TRUSS-TO-GIRDER CONNECTIONS, TIE-DOWNS, AND FIELD SPLICES. d. STRUCTURAL DESIGN OF TRUSSES: SUBMIT COMPLETE TRUSS CALCULATIONS AND
- OBTAIN ALL APPROVALS NECESSARY FOR CONFORMANCE TO BUILDING CODE. VERIFY SUBMITTAL AND APPROVAL BY SENDING COPY TO BUILDING DESIGN PROFESSIONAL.

e PROVIDE CONTRACT/INSTALLER WITH ALL DATA NECESARY FOR PROPER INSTALLATION 3. ROOF TRUSS SUPPLIER TO SEE ARCHITECTURAL BUILDING SECTIONS & REFLECTED CEILING PLANS FOR LOCATIONS WHERE ROOF TRUSSES NEED TO BE ADJUSTED FOR CEILING HEIGHT REQUIREMENTS.

# **ROOF TRUSS BRACING NOTES**

1. ALL BRACING SHOWN OR DESCRIBED SHALL BE MINIMUM 2x4 WITH 2-16d IN EVERY TRUSS IT CROSSES.

- 2. ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING.
- 3. ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" OC, UNLESS CALCULATIONS SHOW OTHERWISE. 4. ALL HORIZONTAL BRACING SHALL BE STIFFENED AT 20'-0" OC WITH EITHER:
- a. DIAGONAL BRACING EXTENDED TO A SHEAR WALL PARALLEL TO THE ORIGINAL BRACING. SEE BRACING DETAIL 6/S3.1 FIGURES 1(a) THROUGH 1(d). b. A <sup>3</sup>/<sub>4</sub>" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.

5. ALL TRUSS BOTTOM CHORDS SHALL BE BRACED AT 6'-0" OC UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEATHING APPLIED TO BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT.

# TRUSS DESIGN LOADS

BUILDING OCCUPANCY CATEGORY	RESIDENTIAL
SNOW LOADS IMPORTANCE FACTOR - Is EXPOSURE FACTOR - Ce THERMAL FACTOR - Ct GROUND SNOW LOAD - Pg FLAT ROOF SNOW LOAD - Pf	1.0 1.0 1.1 SEE DESIGN CRITERIA SEE DESIGN CRITERIA
APPLY DESIGN DRIFT LOADS TO ROOF TRUSSES WHERE REQUIRED	BY CODE.
WIND LOADS IMPORTANCE FACTOR - Iw BASIC WIND SPEED - V EXPOSURE CATEGORY	1.00 115 mph B
DEAD LOADS	

ROOF DEAD LOAD FLOOR DEAD LOAD

### DEFLECTION LIMITS ROOF

LIVE LOAD TOTAL LOAD FLOOR LIVE LOAD

TOTAL LOAD

L/360 L/240 L/480

20 psf (10 TOP CHORD & 10

20 psf (10 TOP CHORD & 10

BOTTOM CHORD)

BOTTOM CHORD)

15 psf PARTITION LOAD

L/360

JOIST

JOIST TO WE

POSTS:

3. SEE WOOD BRG WALL SCHEDULE FOR BOTTOM PLATE & DOUBLE TOP PLATE INFORMATION..

WALLS.

APPROVAL.

19 COORDINATE WALL & FACE BRICK DIMENSIONS w/ ARCHITECTURAL DRAWINGS 20. JOIST MANUFACTURER SHALL NOTIFY STRUCTURAL ENGINEER IF FRAMING PLANS TO BE DIFFERENT THAN SHOWN.

21. ALL CONNECTORS (I.E., SIMPSON HANGERS, ETC.) TO BE GALVANIZED WHEN USED FOR EXTERIOR PURPOSES.

6. VERIFY SIZES OF ALL STOOPS WITH ARCHITECT PRIOR TO CONSTRUCTION.

# WOOD FRAMING NOTES

1. ARCHITECT & CONTRACTOR SHALL DETAIL & CONSTRUCT BUILDING FINISHES TO ACCOMMODATE AN EXPECTED BUILDING SHRINKAGE OF APPROXIMATELY 3/6" TO 3/8" PER FLOOR OF WOOD CONSTRUCTION, PROPER CARE SHALL BE TAKEN TO PREVENT STORED & INSTALLED LUMBER FROM THE ELEMENTS. DO NOT ALLOW LUMBER TO REST IN STANDING WATER. 2. FRAMING MEMBERS

ICAL MEMBERS:	SEE BEARING WALL SCHEDULE KD, MOISTURE CONTENT SHALL BE BETWEEN 15% AND 19%
S:	2x No 1 / No 2 SPF, UNO SIZE & SPACING PER PLANS
S (EXPOSED EATHER):	2x NO 1 / NO 2 TREATED SOUTHERN YELLOW PINE, UNO SIZE & SPACING PER PLANS

NO 2 SPF (INTERIOR), UNO NO 2 TREATED SOUTHERN YELLOW PINE (EXTERIOR), UNO

4. FLOOR SHEATHING SHALL BE 3/4" APA RATED, T&G SHEATHING, GLUED & NAILED TO FLOOR FRAMING w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES.

5. ROOF SHEATHING SHALL BE 3/" APA RATED OSB SHEATHING ATTACHED TO THE ROOF FRAMING MEMBERS w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS (1" MINIMUM EMBEDMENT INTO FRAMING MEMBER). STAGGER PANEL EDGES.

6. EXTERIOR WALLS SHALL BE SHEATHED w/  $\frac{7}{6}$ " APA RATED SHEATHING. ATTACH DIRECTLY TO THE OUTSIDE FACE OF EXTERIOR STUD WALLS WITH 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS, UNO.

7. ALL INTERIOR DEMISING WALLS, CORRIDOR WALLS, & LOAD BEARING WALLS NOT SPECIFICALLY DESIGNATED AS A SHEAR WALL, SHALL BE CONSTRUCTED WITH A MINIMUM OF 1 LAYER %" GYPSUM BOARD ATTACHED w/ 6d COOLER NAILS @ 8" OC ALONG EDGES & 12" OC AT INTERMEDIATE MEMBERS, UNO.

8. DESIGN UPLIFT ON ROOF TRUSSES AS INDICATED IN THE DESIGN CRITERIA. PROVIDE TIE DOWN CLIP AT EACH TRUSS, AT EVERY POINT OF BEARING.

9. TYPICAL TRUSS SPACING = 2'-0" EXCEPT WHERE SPECIFICALLY NOTED. 10. COORDINATE WALL STUD LOCATIONS TO ALIGN WITH TRUSS BEARING LOCATIONS @ ALL

11. PROVIDE EQUIVALENT SIZE SOLID BLOCKING & VERTICAL MEMBERS THROUGH UNDERLYING FLOORS / WALLS BELOW MULTIPLE MEMBERS OR POSTS CARRYING CONCENTRATED LOADS. 12. COLUMN SIZES SHOWN ARE MIN. CONTRACTOR MAY USE LARGER SECTION IF REQ'D TO FULLY SUPPORT MEMBERS.

13. AS A MINIMUM, ALL CONNECTIONS SHALL CONFORM TO FASTENING SCHEDULE TABLE 2304.9.1 WECBC 2006, DRAWING DETAILS SHALL GOVERN IF THEIR CONNECTION CAPACITY IS GREATER THAN THOSE SPECIFIED IN TABLE 2304.9.1

14. WHERE BUILT-UP SECTIONS OF DIMENSIONAL LUMBER ARE INDICATED, FASTENING SHALL BE IN ACCORDANCE WITH NDS 15.3.3. MULTI-PLY LVL SECTIONS SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

15. USE JOIST HANGERS DESIGNED FOR GIVEN MEMBER SIZE TO SUPPORT ALL JOISTS/HEADERS FRAMING INTO SIDES OF OTHER MEMBERS. 16. PROVIDE CROSS BRIDGING/BLOCKING BETWEEN FLOOR JOISTS PER NATIONAL DESIGN

SPECIFICATION 4.4.1. 17. DO NOT CUT, NOTCH, OR DRILL HOLES IN MIRCOLAM LVL OR JOISTS WITHOUT ENGINEER

18. ALL HEADERS NOT ABOVE DOORS OR WINDOWS TO BE FLUSH WITH CEILING, UNO.

22. GENERAL CONTRACTOR TO COORDINATE WOOD TRUSS, PLUMBING, AND HVAC LOCATIONS.

# FOUNDATION PLAN NOTES

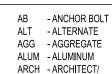
1. CONTRACTOR SHALL PROVIDE FROST AND MOISTURE PROTECTION FOR FOOTINGS EXPOSED DURING CONSTRUCTION.

2. REFER TO ARCHITECTURAL DRAWINGS OR PLUMBING DRAWINGS FOR SPECIFIC FLOOR DRAIN LOCATIONS AND ELEVATIONS.

3. REFER TO FOUNDATION DETAILS SHEET FOR MISCELLANEOUS DETAILS NOT CUT ON PLAN. 4. FOOTING EXCAVATIONS SHALL BE EXAMINED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT THE SOILS AT THE BOTTOM OF THE EXCAVATION ARE CAPABLE OF PROVIDING THE ALLOWABLE BEARING PRESSURE NOTED IN THE DESIGN CRITERIA. CONTACT THE ARCHITECT OR ENGINEER IF UNABLE TO ATTAIN THIS SOIL BEARING PRESSURE.

5. NO PROVISION HAS BEEN MADE FOR FUTURE EXPANSION.

# STRUCTURAL ABBREVIATIONS



ARCHITECTURAL BLDG - BUILDING BLK - BLOCK (CMU)

- BM BEAM BOT - BOTTOM BRG - BEARING
- C CHANNEL DESIGNATION CB - CATCH BASIN
- CAST IRON С CIP - CAST-IN-PLACE CJ - CONSTRUCTION/ CONTROL
- JOINT CL - CENTER LINE CLG - CEILING
- CLR CLEAR DISTANCE CMU - CONCRETE MASONRY UNIT COL - COLUMN CONC - CONCRETE
- CONT CONTINUOUS CONTR - CONTRACTOR
- DEPTH DBA - DECK BEARING ANGLE DIA - DIAMETER
- DIM DIMENSION DN - DOWN DP - DRILLED PIER
- DTL DETAIL DWG - DRAWING DWL - DOWEL
- EA EACH EC - ELECTRICAL CONTRACTOR
- EXPANSION JOINT - ELEVATION EL ELEV - ELEVATOR
- ENG ENGINEER EQ - EQUAL
- EW EACH WAY E-W - EAST-WEST DIRECTION EXIST - EXISTING
- EXP EXPANSION EXT - EXTERIOR
- FD FLOOR DRAIN FDN - FOUNDATION
- FIRE EXTINGUISHER FE - FINISH FLOOR - FLOOR TRUSS FT
- FTG FOOTING FUT - FUTURE
- FV FIELD VERIFY GA - GAUGE
- GALV GALVANIZED GC - GENERAL CONTRACTOR GL - GRID LINE/COLUMN LINE
- HC HVAC CONTRACTOR HK - HOOK
- HM HOLLOW METAL HORIZ - HORIZONTAL HP - HIGH POINT
- HSS HOLLOW STRUCTURAL SECTION (REPLACES "TS" DESIGNATION)
- HT HEIGHT HVAC - HEATING, VENTILATING, &

AIR CONDITIONING

- 1. REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 (CURRENT EDITION).
- UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 INCHES DEEP.
- 3. LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR
- INTERSECTIONS PER DETAIL 1/S2.1.

### 5. HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER, SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OR WALL.

- 6. WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 315.

- 7. PROVIDE MINIMUM COVER PER ACI 318, 7.7.1.

ALL BARS

- 8. PROVIDE REINFORCING AT CONCRETE OPENINGS PER DETAIL 2/S2.1.
- 9. PROVIDE TYPICAL VERTICAL WALL JOINTS PER DETAIL 3/S2.1.
- 10. PROVIDE ISOLATION BOARD WHERE SLABS ABUT VERTICAL SURFACES PER DETAIL 4/S2.1
- 11. PROVIDE FOOTING STEPS PER DETAIL 5/S2.1.

# MILD REINFORCING STEEL MINIMUM CLEAR COVE

12. PROVIDE SLAB ON GRADE CONSTRUCTION AND CONTROL JOINTS PER DETAILS 6 & 7/S2.1.

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH	
FOOTINGS	3" MIN

FOOTINGS	3" MIN
CONCRETE EXPOSED TO EARTH OR WEATHER WALLS, COLUMNS, & BEAMS BARS UP TO #5 #6 BARS AND UP	1½" MIN 2" MIN
CONCRETE NOT EXPOSED TO EARTH OR WEATHER WALLS	
BARS UP TO #11 #14 BARS AND UP	<sup>3</sup> ∕4" MIN 1∕∕2" MIN
ELEVATED SLABS	
TOP BARS BOTTOM BARS	¾" MIN 1" MIN
BEAMS	
ALL BARS COLUMNS	1½" MIN

11⁄2" MIN

# **DESIGN CRITERIA**

# INTERNATIONAL BUILDING CODE 2015 w/ WISCONSIN AMENDMENTS

### DESIGN LOADS LIVE LOAD INFORMATION CORRIDOR DECK - RESIDENTIAL MECHANICAL PUBLIC AREA

STAIR

STORAGE SNOW LOAD INFORMATION GROUND SNOW LOAD - Pg SNOW EXPOSURE FACTOR - Ce SNOW LOAD IMPORTANCE FACTOR - Is THERMAL FACTOR - Ct

FLAT ROOF SNOW LOAD - Pf

# SOIL LOAD INFORMATION

DRIFT LOAD

ALLOWABLE NET SOIL BEARING PRESSURE	- Qa
WIND LOAD INFORMATION	
BASIC WIND SPEED	
BUILDING CODE OCCUPANCY CATEGORY	
WIND LOAD IMPORTANCE FACTOR - Iw	
WIND EXPOSURE	
INTERNAL PRESSURE COEFFICIENTS	
COMPONENTS AND CLADDING WIND PRESS	IRES
WIDTH OF PRESSURE COEFFICIENT	
TRIBUTARY WIND LOAD AREAS	10 SF
ROOF	10 01
NEGATIVE ZONE 1	-16.6 psf
NEGATIVE ZONE 2	-27.9 psf
NEGATIVE ZONE 3	-27.9 psf
POSITIVE ALL ZONES	10.0 psf
WALLS	10.0 p3
ZONE 4	-16.5 psf
ZONE 4 ZONE 5	-20,3 psf
ZONE 3	-20.5 psi

### SEISMIC LOAD INFORMATION SEISMIC USE GROUP - OCCUPANCY CATEGORY

SEISMIC LOAD IMPORTANCE FACTOR - le SEISMIC SITE CLASS MAPPED SPECTRAL RESPONSE ACCELERATION - Ss MAPPED SPECTRAL RESPONSE ACCELERATION - S1 SPECTRAL RESPONSE COEFFICIENT - Sds SPECTRAL RESPONSE COEFFICIENT - Sd1 SEISMIC DESIGN CATEGORY BASIC SEISMIC FORCE RESISTING SYSTEM

RESPONSE MODIFICATION FACTOR SEISMIC RESPONSE COEFFICIENT - Cs DESIGN BASE SHEAR ANALYSIS PROCEDURE

# **DESIGN PROPERTIES**

REINFORCING STEEL STRENGTHS BARS - ASTM A615, GRADE 60 WWF - ASTM A165

BOLT STRENGTHS ANCHOR BOLTS - ASTM A307 OR A36 HIGH STRENGTH BOLTS - ASTM A325N

EXPANSION BOLTS - WEDGE TYPE

# CAST-IN-PLACE CONCRETE STRENGTHS

WALLS SLAB ON GRADE PRECAST CONCRETE TOPPING

# SITE PAVEMENT - CURBS STRUCTURAL STEEL STRENGTHS

WF SHAPES - ASTM A992 C SHAPES, L SHAPES, PLATES, & BARS- ASTM A36 TS OR HSS SHAPES - ASTM A500, GRADE B

ONCRETE MASONRY STRENGTHS	
CMU - ASTM C90, GRADE N	
CONCRETE BRICK - ASTM C55, GRADE N	
CLAY HOLLOW BRICK - ASTM C652, GRAD	)E S
MORTAR - ASTM C270	
TYPE M - BELOW GRADE	

TYPE S - ABOVE GRADE GROUT - ASTM C476 BOND BEAMS WALLS AND PIERS

### CANADIAN DIMENSIONAL LUMBER STRENGTHS - BASE VALUES 2" TO 4" THICK AND WIDER BASE VALUES IN psi - TO BE USED WITH ADJUSTMENT FACTORS

<u>SPECIES</u>	<u>GRADE</u>	EXT FIBER STRESS IN BENDING	TENSION PARALLEL <u>TO GRAIN</u>
SPRUCE PINE FIR	SEL STR NO 1/NO 2 NO 3 STUD	<u>Fb</u> 1250 875 500 675	<u>Ft</u> 675 425 250 325
DOUGLAS FIR LARCH (N)	SEL STR NO 1/NO 2 NO 3 STUD	1300 825 475 650	800 500 300 375
HEM FIR (N)	SEL STR NO 1/NO 2 NO 3 STUD	1300 1000 575 775	775 550 325 425
NORTHERN SPECIES	SEL STR NO 1/NO 2 NO 3 STUD	950 575 350 450	450 275 150 200

PT	- POINT
P/T	- POST TENSIONED
р	- RADIUS
=	- ROOF DRAIN
	- REINFORCING / REINFORCEMENT
REQ'D	- REQUIRED
SCHED	- SCHEDULE
SIM	- SIMILAR
SHT	- SHEET
SPA	- SPACE / SPACES
SPEC	- SPECIFICATION
SQ	- SQUARE
SS	- STAINLESS STEEL
STL	- STEEL
STR	- STRUCTURAL
ТНК	- THICK
TI	- TOP OF LEDGE ELEVATION

ID - INSIDE DIAMETER

JBE - JOIST BEARING ELEVATION

- STEEL ANGLE DESIGNATION

IF - INSIDE FACE

LG - LENGTH/LONG

LP - LOW POINT

MAX - MAXIMUM

MIN - MINIMUM

MTL - METAL

NOM - NOMINAL

OC - ON CENTER

NTS - NOT TO SCALE

LLH - LONG LEG HORIZONTAL

LVL - LAMINATED VENEER LUMBER

MBW - MASONRY BEARING WALL

N-S - NORTH-SOUTH DIRECTION

PC - PRECAST / PRESTRESSED

- STEEL PLATE DESIGNATION

MSW - MASONRY SHEAR WALL

NIC - NOT IN CONTRACT

OD - OUTSIDE DIAMETER

OF - OUTSIDE FACE

OH - OVER HEAD

OPP - OPPOSITE

PERIM - PERIMETER

LLV - LONG LEG VERTICAL

INSUL - INSULATION

INT - INTERIOR

JT - JOINT

TP - TOP OF PIER ELEVATION TS - SEE HSS DESIGNATION TYP - TYPICAL TW - TOP OF WALL ELVATION

VERT - VERTICAL

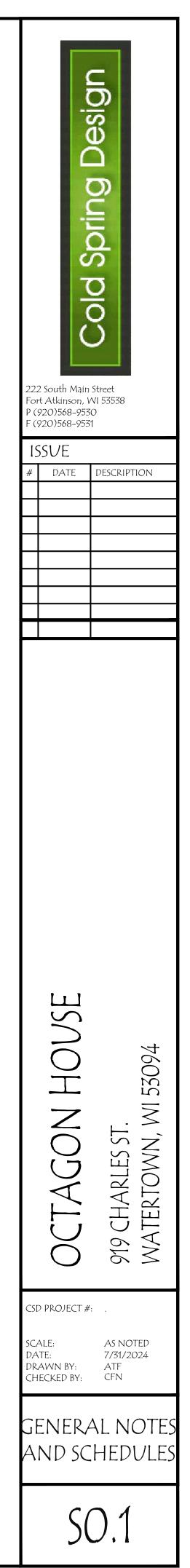
- UD URINAL SLAB DEPRESSION UNO - UNLESS NOTED OTHERWISE
- VIF VERIFY IN FIELD W - WIDTH W/ - WITH
- W/O WITHOUT WD - WOOD WF - WIDE FLANGE DESIGNATION WP - WORKING POINT
- WSBW WOOD STUD BEARING WALL WWF - WELDED WIRE FABRIC

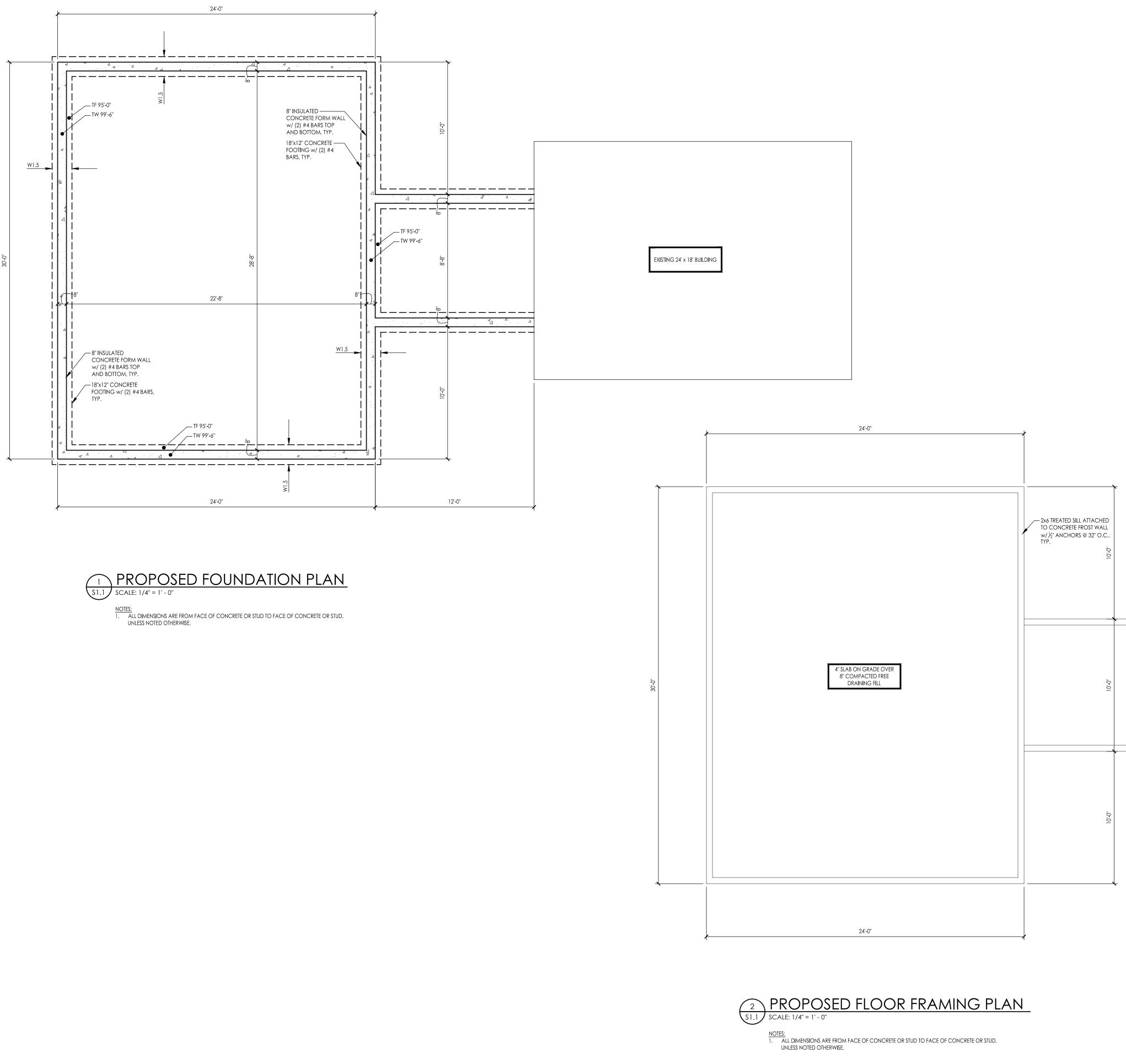
REINFORCING NOTES

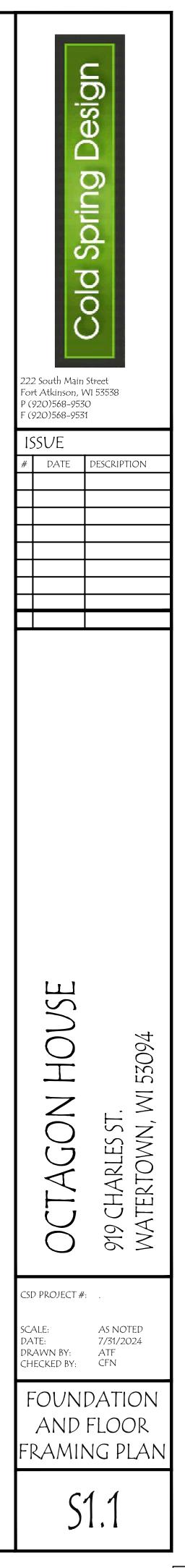
2. ALL LAPS SHALL BE CLASS 'B' PER ACI 318 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, OR

MAKES UP A CONTINUOUS STRING 4. CORNER BARS WITH CLASS 'B' PER ACI 318 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND

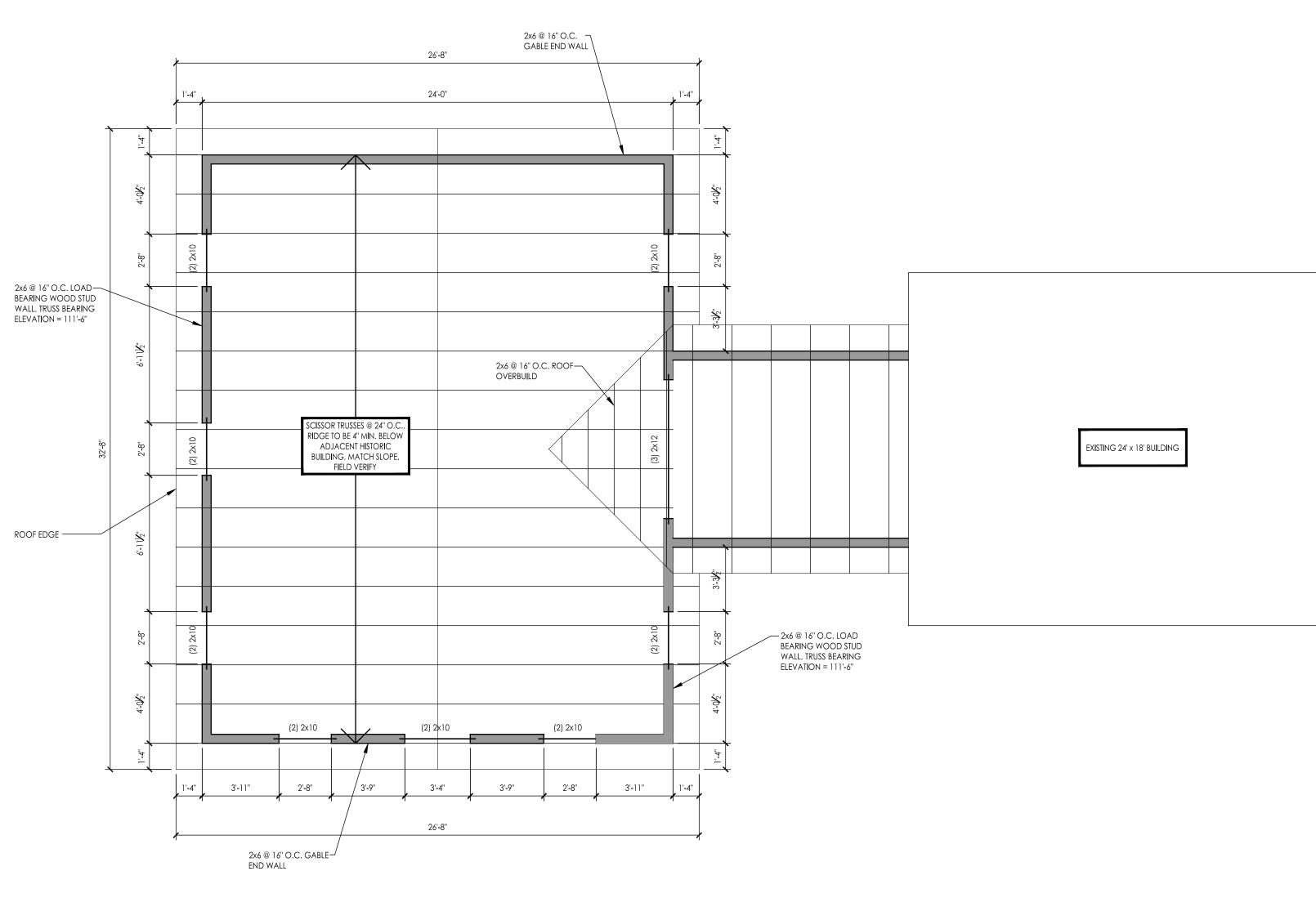
		MARK		REQUIRED ATTA	CHMENT	
	100 pcf	SW1	1½" 16 GAG	E STAPLES @ 6" OC I	EDGE AND 12" C	C FIELD
	100 psf 40 psf 125 psf	SW2	1½" 16 GAG	E STAPLES @ 4" OC E	EDGE AND 12" C	C FIELD
	100 psf 100 psf 125 psf	HEADEF	R SCHEDULI	=		
	30.0 psf 1.00			SHOULDER STUD	DS, UNO	REMARKS
	1.00 1.10	H1 SPF	NO 1/NO2 2- 2x8	BASEMENT 2	1st 1	
	25.0 psf SEE SNOW DRIFT DIAGRAM ON UPPER	H2	2- 9¼" LVL	3	2	
	ROOF PLAN	H3	2- 117⁄8" LVL	3	2	
	2,000 psf (ASSUMED)		3- 11 <sup>7</sup> / <sub>8</sub> " LVL	3	2	
<u>100 SF</u>	115 mph R 1.00 B ±0.18 17.1 ft <u>500 SF</u>	MODIFIED ACC 2. SEE DETAIL 3. SEE DETAIL 4. SEE SHEET 5. HEADERS DI 6. MINIMUM RE	DER PLIES ARE LESS T ORDING TO 1/S3.0. 2/S3.0 FOR MULTI-PLY ( 5/S3.0 FOR TYPICAL HE S0.1 FOR WOOD DESIG	CONNECTION ASSEM ADER FRAMING ELEV N PROPERTIES & MIN E RECESSED (I.E., TC STRESS TO BE 2400 p	IBLIES. VATION. VIMUM STRESS I DP OF HEADER ( psi.	UNDERSIDE OF SHEATHING).
-15.2 psf -18.0 psf -18.0 psf	-	8. WALL OPEN 2x6 HEADER RE	NGS SHOWN WITHOUT EQUIRED w/ 1- SHOULDI	HEADERS ARE CONS	SIDERED NON-B	EARING WALLS. MINIMUM 2-
10.0 psf	- - 2 7 nef	FOLLOWING:	OPENINGS ≤ 6'-0" 6'-0" < OPENING ≤ 10'-0	1 KING STUD	)	
	2.7 psf 2.7 psf II 1.00 D	10. REFER TO A OPENINGS. RE OPENINGS. NO	10'-0" < OPENING ≤ 16'- RCHITECTURAL DOOR FER TO ARCHITECTUR	0" 3 KING STUE SCHEDULE SHEET F AL WINDOW TYPES S IOR WALL OPENINGS	DS OR DOOR AND F SHEETS FOR WIN S ARE HIGHER TI	FRAME HEIGHTS AT HEADERED IDOW HEIGHTS AT HEADERED HAN TYPICAL AND TOP OF THE BOTTOM CHORD.
	0.1170 0.0470 0.125 0.075	WOOD S	STUD BEAR	ING WALL S	SCHEDL	ILE
	0.075 B LIGHT FRAME WALLS w/ SHEAR PANELS	LOCATION	T	YPE 1st		REMARKS
	2 0.062 0.062W EQUIVALENT LATERAL	EXTERIOR WALLS		SPF NO1/NO2 2) @ 12" OC	x6	
	FORCE	DEMISING WALLS (NON-BRG LOCATIONS)	SPF STUD GR 2x @ 24" OC	SPF STUD GR 2 @ 24" OC	2x	SEE ARCH FOR WALL SIZES & LOCATIONS
	Fy = 60,000 psi Fy = 65,000 psi		SPF NO1/NO2 2x6 @ 12" OC	SPF NO1/NO2 23 @ 12" OC	x6	
		2	SPF NO1/NO2 2x6 @ 16" OC	SPF NO1/NO2 25 @ 16" OC	x6	
		WOOD STUD B	EARING WALL SCHEDU			
	fc = 3,000 psi fc = 4,000 psi fc = 4,000 psi fc = 4,000 psi fc = 3,000 psi Fy = 50,000 psi	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,3. RAMING MEMBERS & KEEP SAM INSTALLATION.
	fc = 4,000 psi fc = 4,000 psi fc = 4,000 psi	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,33 RAMING MEMBERS & KEEP SAM INSTALLATION.
	fc = 4,000 psi fc = 4,000 psi fc = 4,000 psi fc = 3,000 psi Fy = 50,000 psi Fy = 36,000 psi	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,33 RAMING MEMBERS & KEEP SAM INSTALLATION.
	fc = 4,000 psi fc = 4,000 psi fc = 4,000 psi fc = 3,000 psi Fy = 50,000 psi Fy = 36,000 psi Fy = 46,000 psi fm = 1,500 psi fm = 2,500 psi	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,32 RAMING MEMBERS & KEEP SAM INSTALLATION.
	fc = 4,000 psi fc = 4,000 psi fc = 4,000 psi fc = 3,000 psi Fy = 50,000 psi Fy = 36,000 psi Fy = 46,000 psi fm = 1,500 psi fm = 2,500 psi fm = 3,000 psi	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,32 RAMING MEMBERS & KEEP SAM
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$\begin{array}{c} \text{COMP} \\ \square \text{ TO } \parallel \text{TO } \parallel \text{TO} \\ \text{HEAR} & \text{GRAIN} \\ \hline \\ 0 & \text{Fc} \ \square & \text{Fc} \ \square \\ 140 \\ 0 & 425 \\ 140 \\ 0 & 425 \\ 110 \\ 0 & 425 \\ 625 \end{array}$	fc = 4,000 psi         fc = 4,000 psi         fc = 4,000 psi         fc = 3,000 psi         Fy = 50,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 46,000 psi         fm = 1,500 psi         fm = 2,500 psi         fm = 2,500 psi         fm = 3,000 psi         fu = 2,500 psi         fu = 1,800 psi         fc = 3,000 psi         fc = 1,500 psi         fc = 1,500 psi         fc = 1,800 psi         fc = 1,500 psi         fc = 1,500 psi         fc = 1,15         fm = 1,2	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,33 RAMING MEMBERS & KEEP SAM INSTALLATION.
$\begin{array}{c} \text{COMP} \\ \perp \text{TO} \parallel \text{TO} \\ \text{HEAR} \\ \hline \begin{array}{c} \text{GRAIN} \\ \hline \end{array} \\ \hline \\ 0 \\ 425 \\ 140 \\ 0 \\ 425 \\ 100 \\ 425 \\ 625 \\ 625 \\ 625 \\ 135 \\ 5 \\ 625 \\ 775 \end{array}$	fc = 4,000 psi         fc = 4,000 psi         fc = 4,000 psi         fc = 3,000 psi         Fy = 50,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         fm = 1,500 psi         fm = 2,500 psi         fm = 2,500 psi         fm = 3,000 psi         fc = 1,5         O       1.5         0       1.4         1.2         1.2       1.2         0       1.6         1.4	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,33 RAMING MEMBERS & KEEP SAM INSTALLATION.
$\begin{array}{c} \text{COMP} \\ \perp \text{TO}  \  \text{TC} \\ \text{HEAR}  & \text{GRAIN} \\ \hline \\ \text{HEAR}  & \text{GRAIN} \\ \hline \\ 0  & 425  140 \\ 0  & 425  625 \\ 0  & 425  625 \\ 0  & 425  675 \\ \hline \\ 5  & 625  135 \\ 5  & 625  135 \\ 5  & 625  850 \\ \hline \\ 5  & 370  165 \\ 5  & 370  145 \\ 5  & 370  850 \\ \hline \end{array}$	fc = 4,000 psi         fc = 4,000 psi         fc = 4,000 psi         fc = 3,000 psi         Fy = 50,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 46,000 psi         fm = 1,500 psi         fm = 2,500 psi         fm = 2,500 psi         fm = 3,000 psi         fc = 1,800 psi         fc = 3,000 psi         fc = 1,5         0       1.5         0       1.4         1.2         0       1.6         1.4       1.4         1.4         1.4	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,33 RAMING MEMBERS & KEEP SAM INSTALLATION.
S COMP $ORIZ \perp TO \parallel TO$ HEAR GRAIN $\overline{V} Fc \perp Fc}$ $\overline{Q} 425 140$ $\overline{Q} 425 110$ $\overline{Q} 425 625$ $\overline{Q} 425 625$ $\overline{Q} 425 625$ $\overline{Q} 425 625$ $\overline{S} 625 135$ $\overline{S} 625 775$ $\overline{S} 625 850$ $\overline{S} 370 165$ $\overline{S} 370 145$ $\overline{S} 370 850$	fc = 4,000 psi         fc = 4,000 psi         fc = 3,000 psi         Fy = 50,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 36,000 psi         Fy = 46,000 psi         fm = 1,500 psi         fm = 2,500 psi         fm = 2,500 psi         fm = 3,000 psi         fc = 1,4         1.2         1.2         0         1.4 </td <td>1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF</td> <td>IN CONTACT WITH CAS ATES &amp; DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS</td> <td>ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /</td> <td>TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO</td> <td>BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,32 RAMING MEMBERS &amp; KEEP SAM INSTALLATION.</td>	1. SEE SHEET 5 2. ALL PLATES 3. BOTTOM PL/ 4. ALL STUD W STUD SPACING 5. CORING OF	IN CONTACT WITH CAS ATES & DOUBLE TOP PL IDTHS NOTED ARE MIN AS NOTED IF REQUIRE STUD BEARING WALLS	ST-IN-PLACE CONCRE ATES TO BE SPF MA IMUM. CONTRACTOF ED. COORDINATE w/ /	TE OR CMU TO TERIAL - MINIMU R CAN UPSIZE FI ARCH PRIOR TO	BE PRESSURE TREATED. JM BENDING STRESS TO BE 2,32 RAMING MEMBERS & KEEP SAM INSTALLATION.







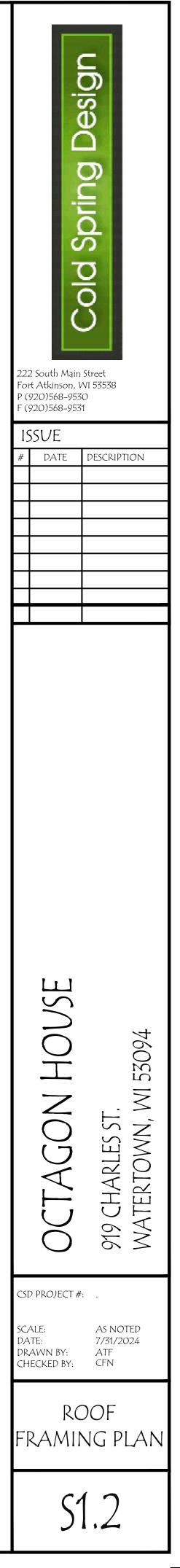
EXISTING 24' x 18' BUILDING

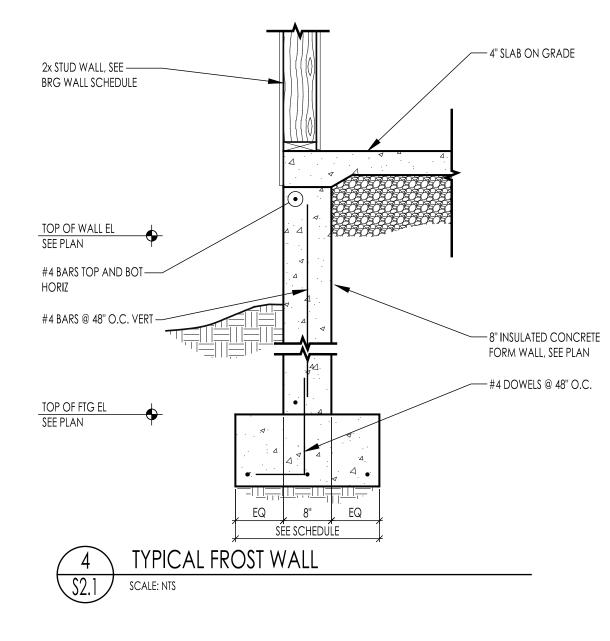


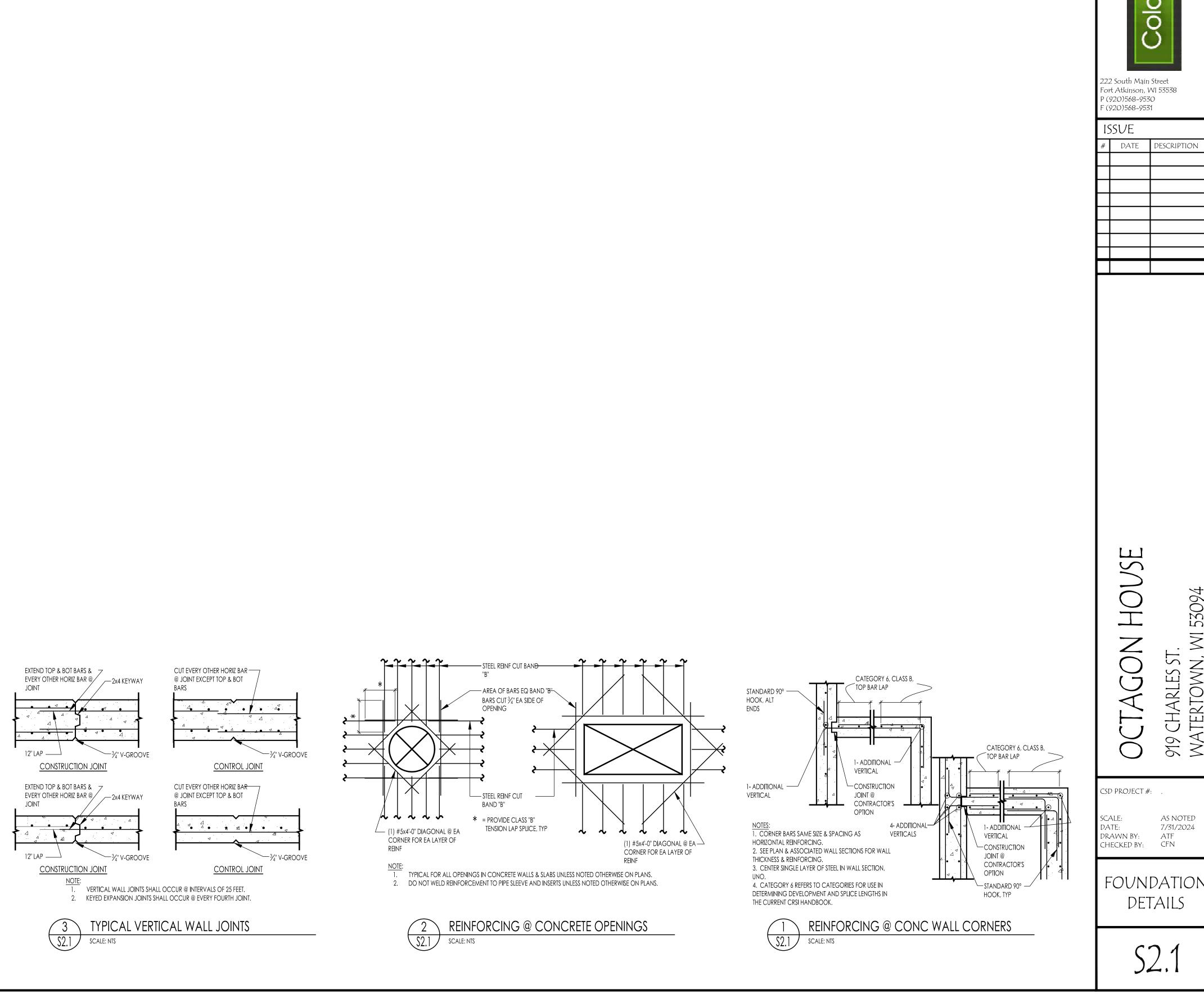


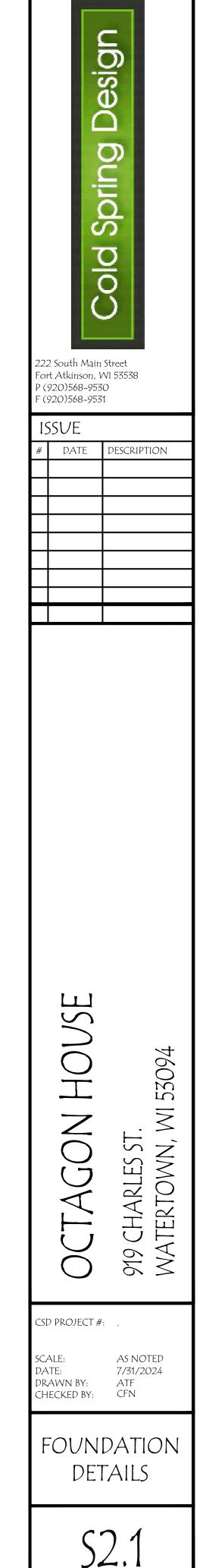
# 1 S1.2 SCALE: 1/4" = 1' - 0"

NOTES: 1. ALL DIMENSIONS ARE FROM FACE OF CONCRETE OR STUD TO FACE OF CONCRETE OR STUD, UNLESS NOTED OTHERWISE.







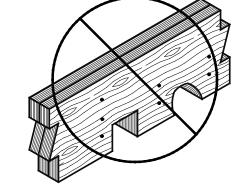


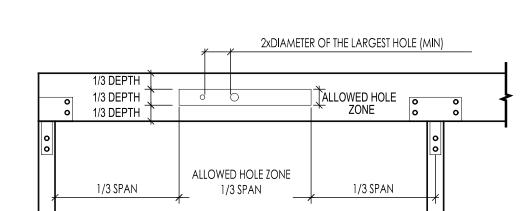


# ALLOWABLE LVL MODIFICATION DETAIL SCALE: NTS

BEAM DEPTH	MAXIMUM ROUND HOLE SIZE	
51/2"	13⁄4"	
7½" TO 18"	2"	

DO NOT CUT, NOTCH OR DRILL HOLES IN MICROLLAM LVL EXCEPT AS INDICATED IN TABLE BELOW AND ILLUSTRATION ABOVE.





1. THE ALLOWED HOLE ZONE IS SUITABLE ONLY FOR UNIFORMLY LOADED BEAMS USING MAXIMUM

CONFIGURATIONS, PLEASE CONTACT YOUR TRUSS JOIST REPRESENTATIVE.

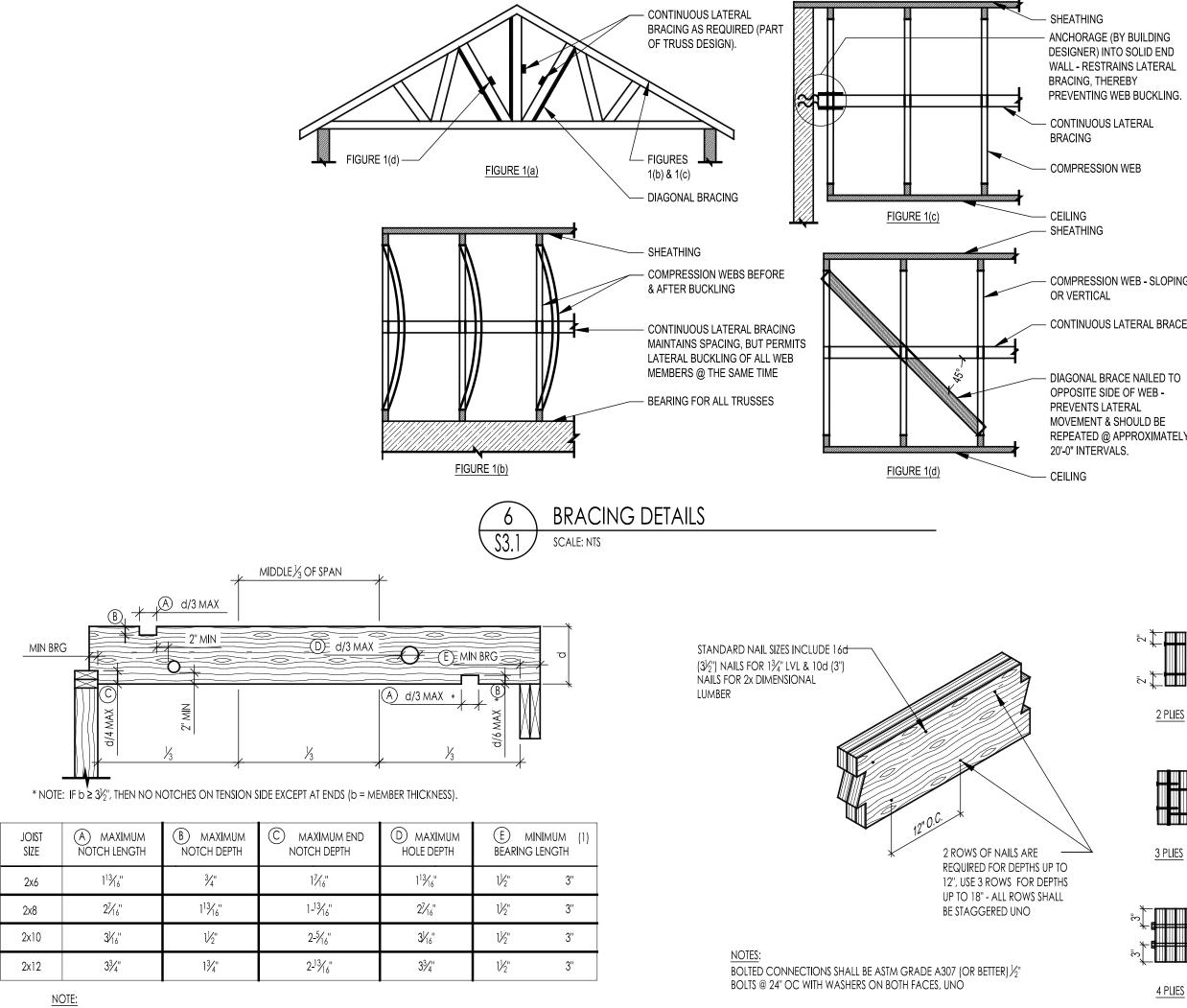
4. IF LARGER HOLES ARE REQUIRED, CONTACT STRUCTURAL ENGINEER FOR EVALUATION.

RECTANGULAR HOLES ARE NOT ALLOWED.

HOLES IN CANTILEVERS REQUIRE ADDITIONAL ANALYSIS.

LOADS FOR ANY TABLES LISTED IN THIS BROCHURE. FOR OTHER LOAD CONDITIONS OR HOLE

<u>NOTES:</u>



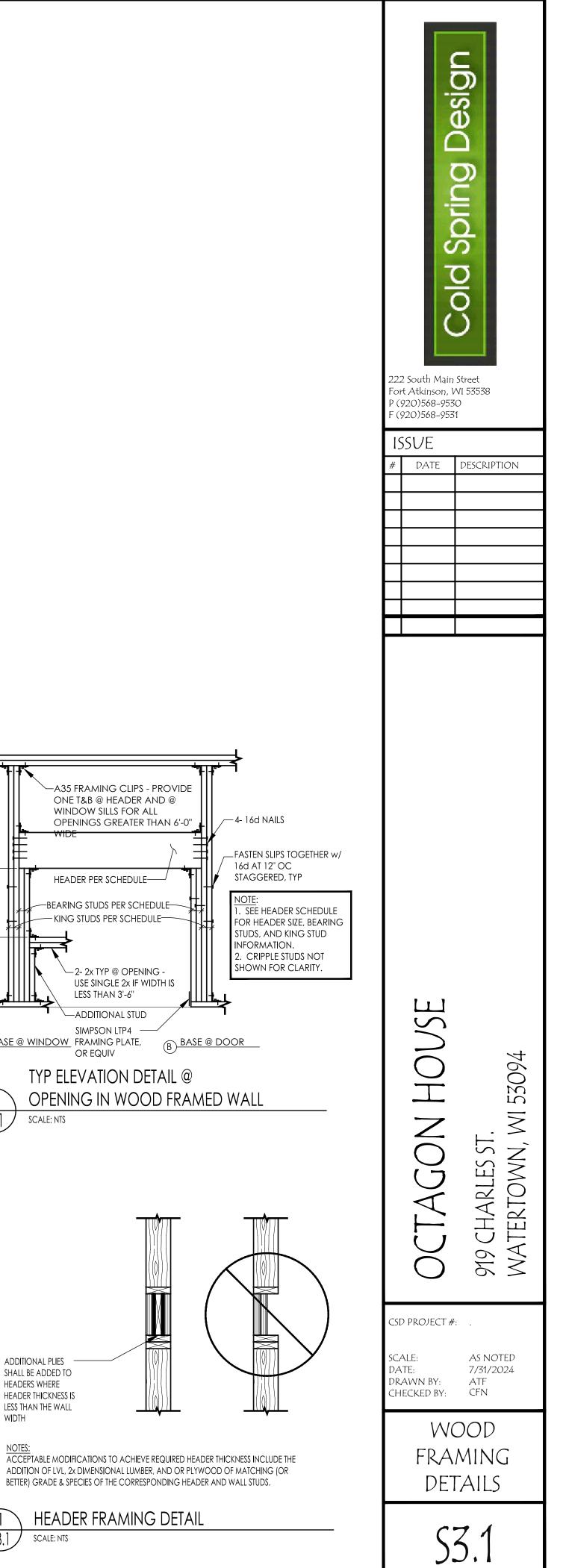
1. MINIMUM BEARING: 1-1/2" ON WOOD OR STEEL: 3" BEARING ON MASONRY.



ALLOWABLE JOIST HOLES & NOTCHES SCALE: NTS

\_\_\_\_ S3.1

BEAM/HEADER CONNECTION ASSEMBLIES SCALE: NTS



- COMPRESSION WEB - SLOPING OR VERTICAL - CONTINUOUS LATERAL BRACE - DIAGONAL BRACE NAILED TO OPPOSITE SIDE OF WEB -PREVENTS LATERAL MOVEMENT & SHOULD BE REPEATED @ APPROXIMATELY 20'-0" INTERVALS.

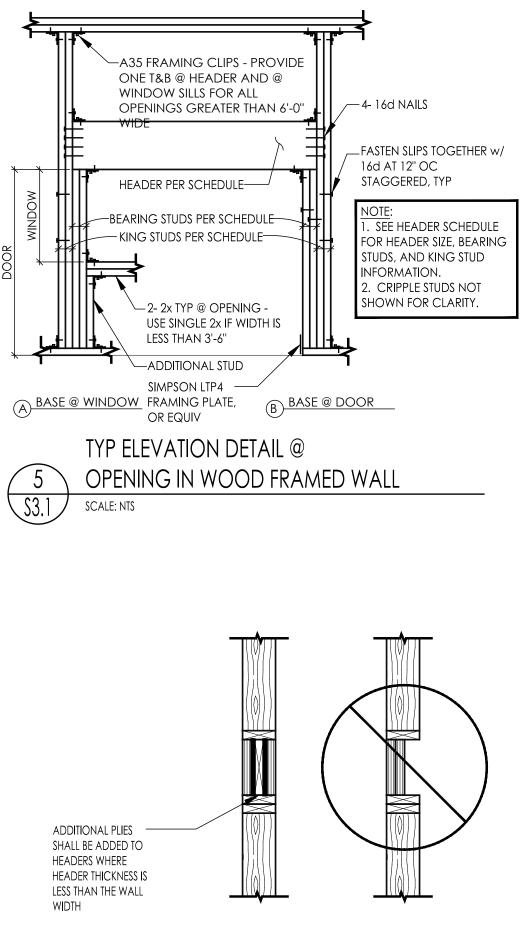
2"

2 PLIES

<u>3 PLIES</u>

★∎ ★∎ 2

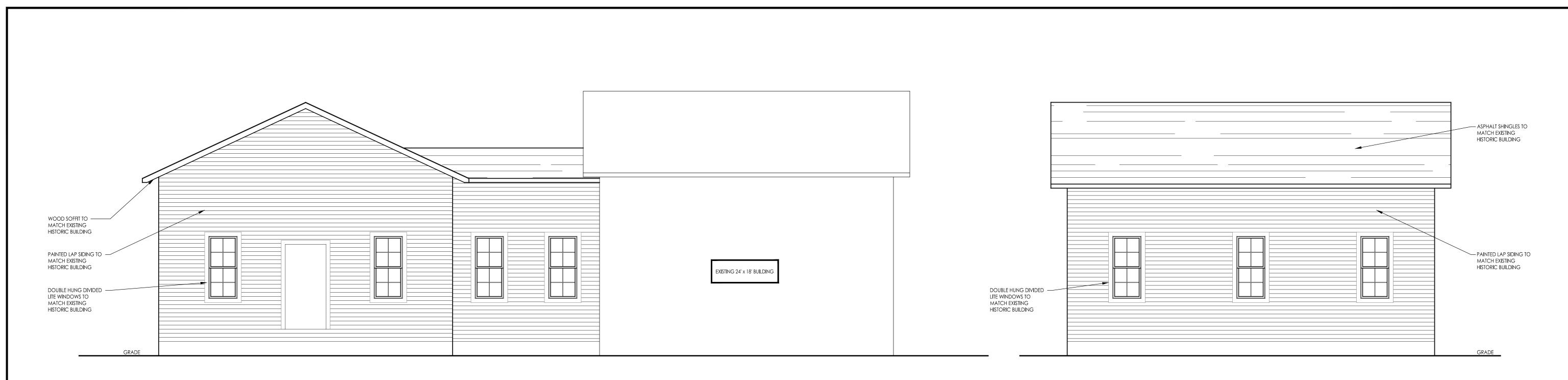
4 PLIES



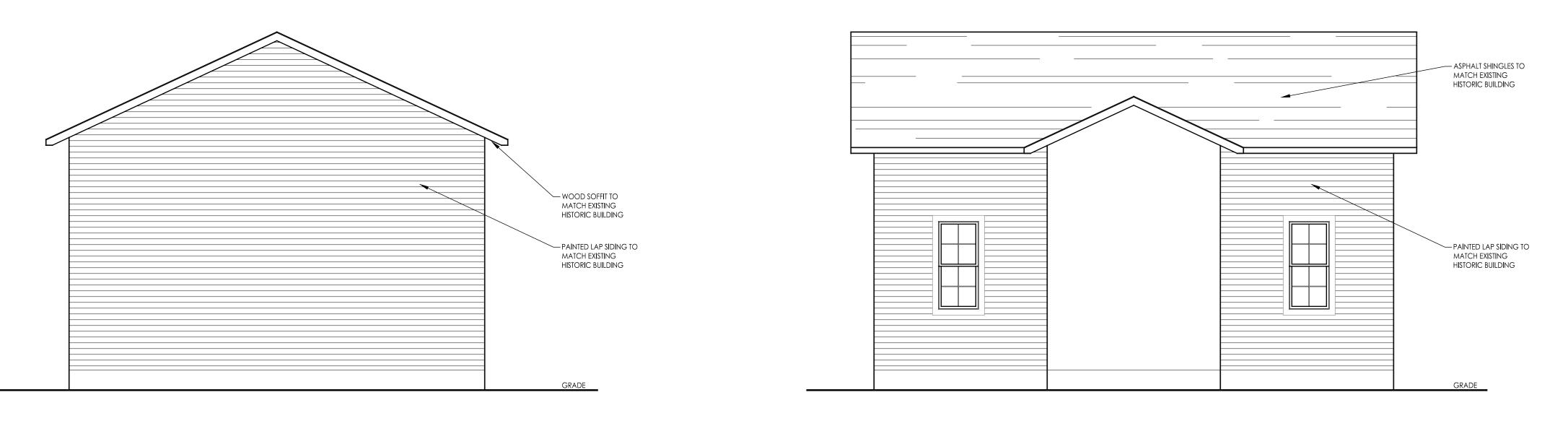
HEADER FRAMING DETAIL

<u>\_\_\_\_\_\_</u>\_\_\_\_\_

SCALE: NTS



# 1 PROPOSED WEST ELEVATION A2.1 SCALE: 1/4" = 1' - 0"



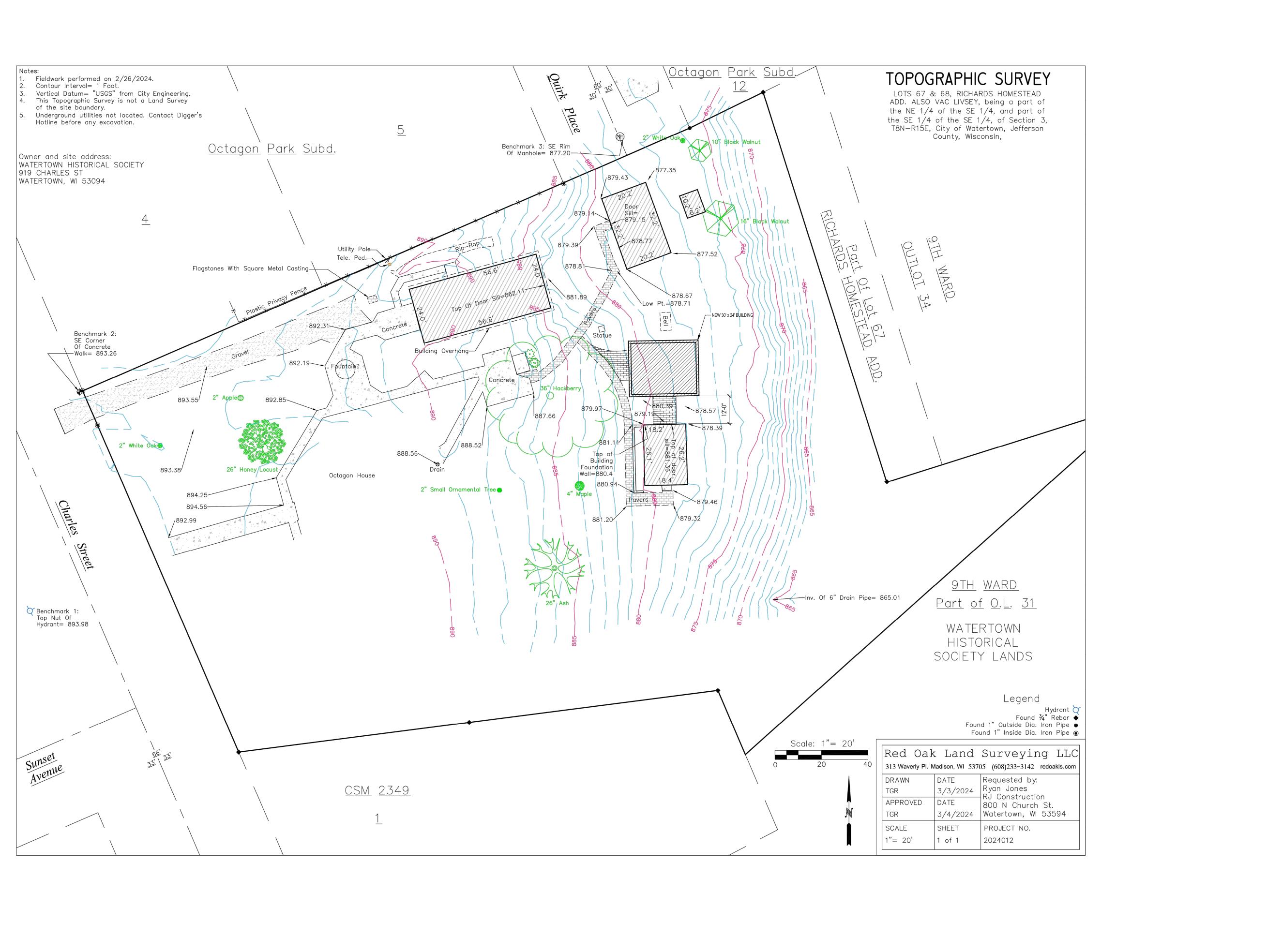
# 3 PROPOSED EAST ELEVATION SCALE: 1/4" = 1' - 0"

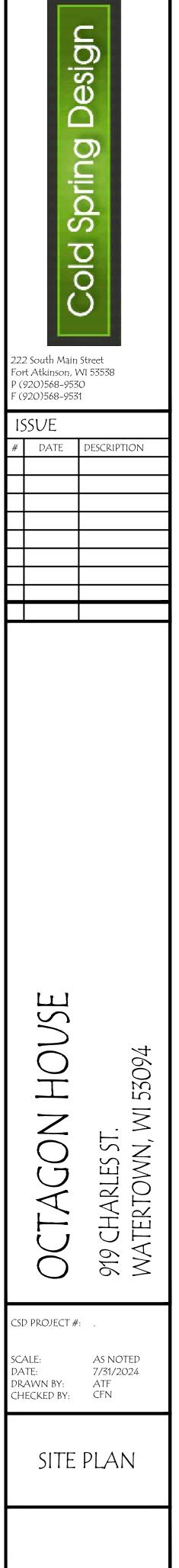


# 4 A2.1 SCALE: 1/4" = 1' - 0"

# 2 PROPOSED NORTH ELEVATION A2.1 SCALE: 1/4" = 1' - 0"

ATERIOWN, WI 53094	222 South Main Fort Atkinson, V P (920)568-953 F (920)568-953	NI 53538 O
ON HOUS S ST. VN, WI 53094		DESCRIPTION
ON HOUS S ST. VN, WI 53094		
ON HOUS S ST. VN, WI 53094		
ON HOUS S ST. VN, WI 53094		
ON HOUS S ST. VN, WI 53094		
CSD PROJECT #: .	OCTAGON HOUS	919 CHARLES ST. WATERTOWN, WI
· · · · · · · · · · · · · · · · · · ·		
exterior elevations	A	2.1





August 12, 2024

Dear Plan Commission:

Please accept this letter and all enclosed materials as formal request for a conditional use permit to construct a second accessory building at 1629 E. Main St.

This is a single family residential property on which we request a permit to build an accessory building for storage. The building is proposed at the SE corner of the property, and would include an additional access from Kuckkan Lane.

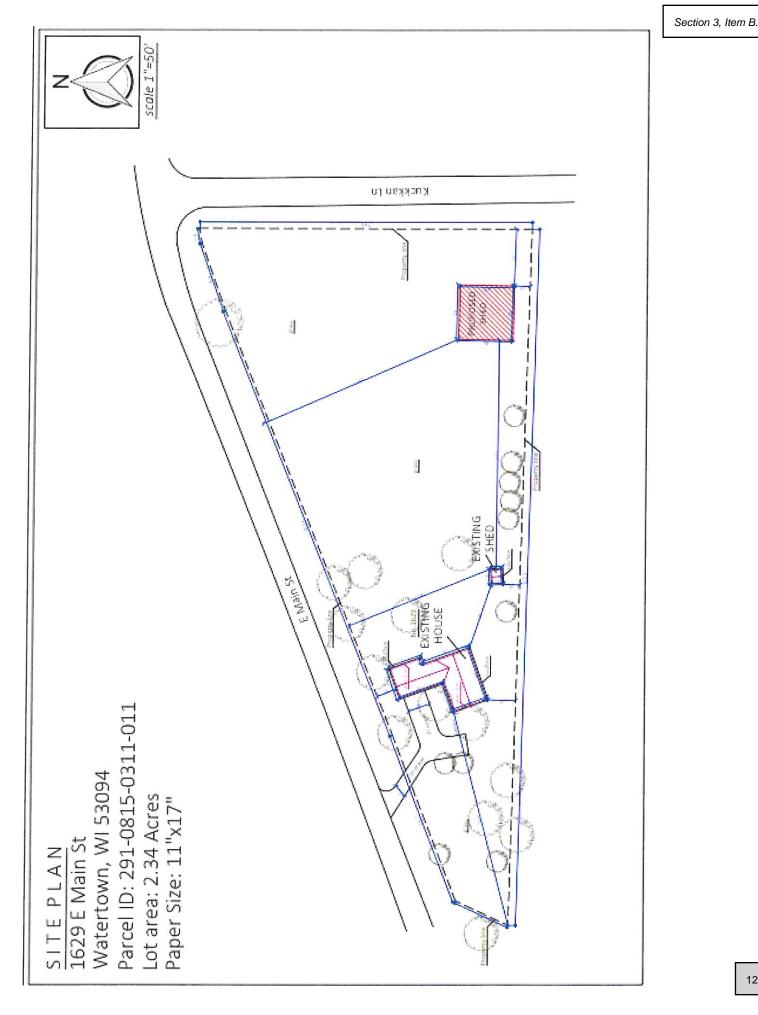
The conditional use permit is requested based on the following:

- The proposed height of the building is not to exceed 18.5 ft., with the height of the walls at 15 ft and the peak not to exceed 22 ft.
- The proposed building is 48' x 48' (36' x 48' with an open wall lean-to measuring 12' x 48') for a total of 1,728 square feet. This is less than 10% of the total property measuring 101,930 square feet.
- The proposed external veneer is corrugated steel. However, in order to increase the curb appeal and decrease the industrial appearance of the building, two-tone Wainscoting is proposed.

Please see the attached site plan and building plans for additional details. Feel free to contact me if you have any additional questions.

Sincerely,

Todd Grady 920-988-9477 Todd.Grady.Mobile@Gmail.com



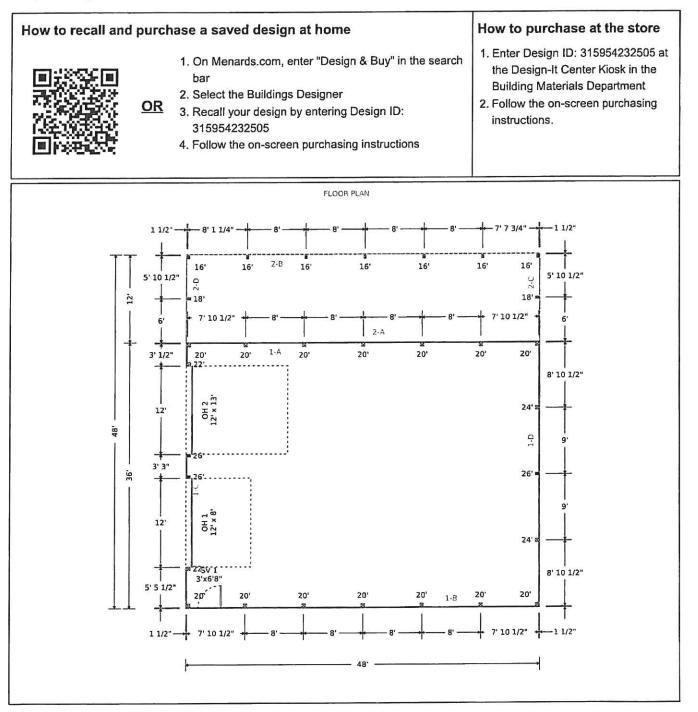
Date: 08/05/2024 - 1:42 PM Design Name: Post Frame Design Design ID: 315954232505 System V Estimate ID: 72828

# Design & Buy POST FRAME

MINARDO'

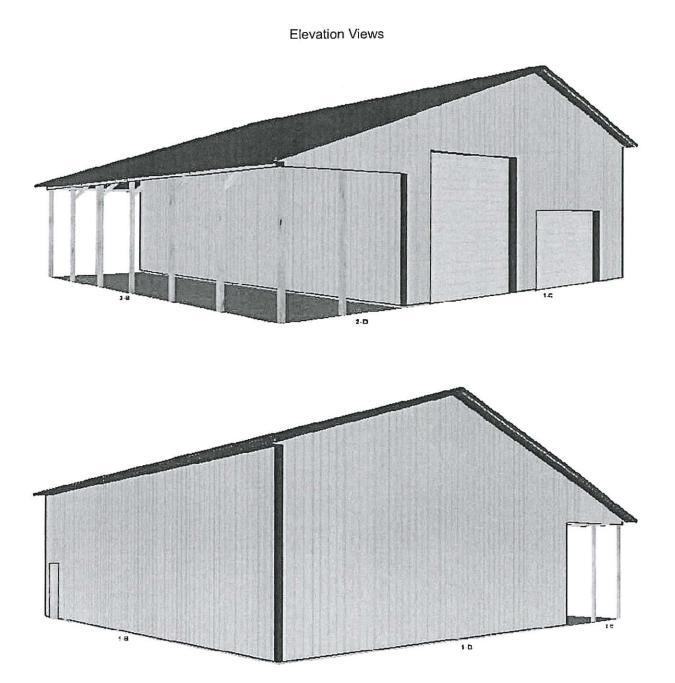
Estimated price: \$25,020.23 \*

\*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.





Section 3, Item B. Post Frame Building \_\_\_\_\_\_ Date: Aug 5, 2024 1:42:21 PM





# Congratulations, you have taken the first step towards making your new post frame building a reality!

 You have selected Menards to provide you with superior products produced by Midwest Manufacturing that will meet your needs. For a more detailed look at these premium products visit us on the web at www.midwestmanufacturing.com.

\*Delivery charge is not included in price. Items ordered to complete your building from vendors other than Midwest Manufacturing are not available for pickup from the plant.

For other design systems search "Design & Buy" on Menards.com



# Section 3, Item B. Post Frame Building Estimate

Date: Aug 5, 2024 1:42:21 PM

# **Building Information**

1. Building Use:	Code Exempt
2. Width:	36 ft
3. Length:	48 ft
4. Inside Clear Height:	15 ft
5. Floor Finish:	Dirt / Gravel
6. Post Embedment Depth:	4 ft
7. Footing Pad Size:	14 in x 4 in

# **Wall Information**

1. Post Spacing:	8 ft
2. Post Type:	Posts
3. Girt Type:	Flat
4. Exterior Wall Panel:	Pro-Rib
5. Exterior Wall Color:	Light Stone
6. Trim Color:	Brown
7. Gable Accent:	No
8. Sidewall A Eave Light:	None
9. Sidewall B Eave Light:	None
10. Wall Fastener Locatio	n: In the Flat
11. Gradeboard Type:	2x6 Treated Gradeboard

# **Interior Finish**

1. Wall Insulation Type:	None
2. Wall Liner Type:	None
3. Roof Condensation Control:	

Block-It House Wrap

# **Roof Information**

1. Pitch:	4/12
2. Truss Spacing:	8 ft
3. Roof Type:	Pro-Rib
4. Roof Color:	Brown
5. Ridge Options:	Universal Ridge Cap
6. Roof Fastener Location:	On the Rib
7. Endwall Overhangs:	1 ft
8. Sidewall Overhangs:	1 ft
9. Fascia Size:	4 in Fascia
10. Soffit Color:	Brown
11. Skylight Size:	None
12. Ridge Vent Quantity:	None
13. Ceiling Liner Type:	ProRib
14. Purlin Placement:	On Edge
15. Ceiling Liner Color:	White
16. Ceiling Insulation Type:	
7.75" Fibe	erglass Blow In (R-22)

# Accessories

1. Outside Closure Strip:	Standard
2. Inside Closure Strip:	Standard
3. Gable Vent Type:	None
4. Cupola Size:	None
5. Gutters:	No
6. End Cap:	No
7. Mini Print:	Email Only



Date: Aug 5, 2024 1:42:21 PM

### Leans

Building 2		
Attaching wall:	A	
Endwall overhang length:	1 ft.	
Sidewall overhang length:	1 ft	
Add snow guards:	No	
Remove every other post:	No	
Length:	48 ft	
Depth:	12 ft	
Drop Distance From Roof:	0 ft	
Position From Left:	0 ft	
Approximate Clear Height:	10 ft	
Open interior wall:	No	
Open exterior walls:	Side And End Walls	
Remove every other interior wall post:	No	

## **Doors & Windows**

Name	Size	Wall
Service Door	36"x80"	1-B
Overhead Door	12' x 8'	1-C
Overhead Door	12' x 13'	1-C

### Lean Open Walls

Wall	Every Other Post Removed
2-B	No
2-C	No

Fleer-type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel peams, pain? Eactrical, heating, plumbing, and delivery are also NOT included in estimated be. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

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