



## PLAN COMMISSION MEETING AGENDA

MONDAY, JUNE 09, 2025 AT 4:30 PM

COUNCIL CHAMBERS, SECOND FLOOR, MUNICIPAL BUILDING, 106 JONES STREET,  
WATERTOWN, WI 53094

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### Virtual Meeting

**Info:** <https://us06web.zoom.us/j/2371460557?pwd=UXJvqLXKCdw12jl4jl1b7GIUPaClat.1&omn=86733328022> or by call 1-646-931-3860 and use Meeting ID: 237 146 0557 Passcode: 144391

All public participants' phones will be muted during the meeting except during the public comment period.

### 1. CALL TO ORDER

### 2. APPROVAL OF MINUTES

- A. Review and take action: Site Plan Review minutes dated May 19, 2025
- B. Review and take action: Plan Commission minutes dated May 19, 2025

### 3. BUSINESS

- A. Public Hearing: 411 College Avenue– request for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit under Section § 550-25C(2)(b) and Section § 550-56AA
- B. Review and take action: 411 College Avenue– request for a Conditional Use Permit (CUP) for an Accessory Dwelling Unit under Section § 550-25C(2)(b) and Section § 550-56AA
- C. Public Hearing: 861 West Street– request for a Conditional Use Permit (CUP) for a combination of accessory structures exceeding a total of 1,000 square feet under Section §550-56C(1)(b)[1]
- D. Review and take action: 861 West Street– request for a Conditional Use Permit (CUP) for a combination of accessory structures exceeding a total of 1,000 square feet under Section §550-56C(1)(b)[1]
- E. Public Hearing: 861 West Street– request for a Conditional Use Permit (CUP) for an addition to an Accessory Dwelling Unit exceeding the maximum height of 15 feet for an accessory structure under Section §550-83C
- F. Review and take action: 861 West Street– request for a Conditional Use Permit (CUP) for an addition to an Accessory Dwelling Unit exceeding the maximum height of 15 feet for an accessory structure under Section §550-83C
- G. Review and take action: N8305 Hustisford Road Extraterritorial Certified Survey Map (CSM) Review
- H. Review and take action: 510 Cole Street Certified Survey Map (CSM) Review
- I. Review and take action: 510 Cole Street Site Plan Review for vestibule addition with an accessible elevator/lift
- J. Review and take action: Edge Field Subdivision Sidewalk
- K. Review and take possible action: Partial Dedication of Public Improvements for Rock River Ridge Phase I Subdivision

### 4. ADJOURNMENT

*Persons requiring other reasonable accommodations for any of the above meetings, may contact the office of the City Clerk at [cityclerk@watertownwi.gov](mailto:cityclerk@watertownwi.gov) phone 920-262-4000*

*A quorum of any City of Watertown Council, Committee, Board, Commission, or other body, may be present at this meeting for observing and gathering of information only*



## SITE PLAN REVIEW COMMITTEE May 19, 2025

The Site Plan Review Committee met on the above date at 1:30 P.M. in the Council Chambers on the second floor of City Hall. The following members were present: Mayor Robert Stocks, Brian Zirbes – Building Safety & Zoning, Mike Jacek – Building Safety & Zoning, Tanya Reynen – Fire Department, Nathan Williams – Engineering, Maureen McBroom – Stormwater, Stacy Winkelman – Streets, Laura Bohlman – Police Department.

Also in attendance were Nikki Zimmerman of Building Safety & Zoning and Mason Becker, Gary Stueber, Stephen Zillmer, and Ryan Hepp.

### 1. Call to Order

The meeting was called to order by Chairperson Brian Zirbes.

### 2. Approval of Minutes

#### A. Review and take action: Site Plan Review Minutes Dated April 28, 2025

Motion was made by Mike Jacek and seconded by Tanya Reynen to approve the minutes as submitted. Unanimously approved.

### 3. Business

#### A. Review and take action: 907 Boomer Street – 917 Boomer Street – Proposed Vietnam Wall Project

Gary Stueber, Stephen Zillmer, and Ryan Hepp were present to explain the proposed mobile Vietnam Wall at 907 – 917 Boomer Street (Aero Park). The hope is to have this completed and in place by Veterans Day in November. This is about 80% of the size of the original in Washington, D.C. The maximum height is roughly 8' and there will be a fence around the wall as well. This has been approved at Airport Commission on Wednesday, May 14, 2025.

The following was presented by staff:

Building:	Verified that the measurement on the drawing of 39' is from the back of the curb on "new Boomer Street" to the wall.
Police:	No comments.
Mayor:	No comments.
Stormwater:	An erosion control permit will be required for this project.
Engineering:	An encroachment approval will be needed from Public Safety & Welfare because the old Boomer Street has not been vacated. This will happen on June 4 <sup>th</sup> at 5 p.m. Staff verified that the wall will not reduce any visibility. There is likely a water lateral and an electrical line that will be running under the wall to be aware of. There would be a contingency of approval of the Bureau of Aeronautics approval of the wall height.
Zoning:	Boomer Street has been moved, shown as "new Boomer Street" on the map. The minimum setback should be 58' back from the centerline of the road to the wall.
Fire:	No comments.
Streets:	No comments.

Motion made and seconded to approve this item and forward to Plan Commission contingent upon the following conditions:

1. Obtain ROW encroachment approval from Public Safety & Welfare Committee.
2. Wall shall be setback at least 58 feet from the centerline of Boomer Street.
3. Obtain Bureau of Aeronautics approval of the wall placement and height.
4. Obtain approval of an Erosion Control Permit.

Unanimously approved.

### 4. Adjournment

Motion was made by Tanya Reynen and seconded by Mayor Stocks to adjourn. Unanimously approved.

Respectfully submitted,  
Nikki Zimmerman  
Recording Secretary

**NOTE: These minutes are uncorrected, and any corrections made thereto will be noted in the proceedings at which these minutes are approved.**

## PLAN COMMISSION

### MINUTES

May 19, 2025

The Plan Commission met on the above date in the council chambers.

The following members were present: Mayor Stocks, Alderman Blanke, Beyer, Krueger (Virtual), Lampe, Zirbes

Also in attendance: Gary Stueber, Stephen Zillmer, Ryan Hepp

**1. Call to order**

**2. Approval of Minutes**

**A. Plan Commission minutes April 28, 2025**

Motion to approve Plan Commission minutes was made by Lampe and seconded by Beyer, passed on unanimous voice vote.

**3. Business**

**A. Review and take action: 907 Boomer Street – 917 Boomer Street – Proposed Vietnam Wall Project**

Gary Stueber, Stephen Zillmer, and Ryan Hepp presented the request to add a Vietnam Wall memorial to Marine Corp Aero Park. They presented the plan for the project and pointed out that the wall would be 4' tall at its apex rather than 8'. The design would mimic the memorial in Washington D.C.

Motion to forward to the Common Council with a positive recommendation and the conditions noted below was made by Blanke and seconded by Lampe. Passed on a unanimous voice vote.

1. Obtain ROW encroachment approval from Public Safety & Welfare Committee.
2. Wall shall be setback at least 58 feet from the centerline of Boomer Street.
3. Obtain Bureau of Aeronautics approval of the wall placement and height.
4. Obtain approval of an Erosion Control Permit.

All materials discussed at this meeting can be found at:

[https://core-docs.s3.us-east-1.amazonaws.com/documents/asset/uploaded\\_file/5330/COW/5640760/May\\_19\\_2025\\_Plan\\_Commission\\_Meeting\\_-\\_SPECIAL\\_Packet.pdf](https://core-docs.s3.us-east-1.amazonaws.com/documents/asset/uploaded_file/5330/COW/5640760/May_19_2025_Plan_Commission_Meeting_-_SPECIAL_Packet.pdf)

**4. Adjournment**

Motion to adjourn was made by Lampe and seconded by Blanke and passed on a unanimous voice vote.

Respectfully Submitted,

Alderman Brad Blanke

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9<sup>th</sup>, 2025  
SUBJECT: 411 Collage Ave, Conditional Use Permit - CUP

A request by Marcus Spiegelberg for a Conditional Use Permit (CUP) for a Detached Accessory Dwelling Unit within the Single-Family Residential (SR-4) Zoning District. Parcel PIN: 291-0815-0414-021

SITE DETAILS:

Acres: 0.49  
Current Zoning: Two-Family Residential (TR-6)  
Existing Land Use: Single-Family Home  
Future Land Use Designation: Institutional

BACKGROUND AND APPLICATION DESCRIPTION:

The applicant is seeking approval of a conditional use permit for a Detached Accessory Dwelling Unit (ADU) in the Single-Family Residential (SR-4) Zoning District. The ADU will be located above a proposed new garage that will replace the existing garage on the property. The proposed garage/ADU will not exceed the height of the existing house on the property. The ADU will have two bedrooms and be approximately 990 sq. ft. in area with an entrance and stairs located inside the garage. A second floor deck will be located on the south side of the structure. A fence is also proposed for the south property line.

STAFF EVALAUATION:

Site Plan Review Committee:

See Minutes of March 24, 2025.

Land Use and Zoning:

1. Within the Single-Family (SR-4) Zoning District an 'Accessory Dwelling Unit' is an accessory land use permitted as a Conditional Use *[per § 550-24C(2)(b)]*. An 'Accessory Dwelling Unit' includes a dwelling unit that is located on the same lot as a principal residential structure to which it is accessory, and that is subordinate in area to the principal dwelling, *[per § 550-56AA]*.
2. Applicable requirements for **all** accessory dwelling units include the following: *[per § 550-56AA]*
  - a) No more than one accessory dwelling unit shall be allowed on a parcel.
  - b) Rooftop decks shall not be allowed.
  - c) The minimum gross floor area of accessory dwelling units shall be 300 square feet.
  - d) Under no circumstance shall an accessory dwelling unit's square footage exceed the first habitable floor of the principal structure.
  - e) An owner of the property must occupy at least one dwelling unit on the parcel as their primary place of residence.
  - f) Accessory dwelling units shall not be used for short-term rentals under § 550-56Y.
3. Applicable requirements for **detached** accessory dwelling units include the following: *[per § 550-56AA(9)]*
  - a) A detached accessory dwelling unit shall not exceed the height of the principal residential structure. In no case shall the highest point of the roof of the detached accessory dwelling unit exceed the highest point of the roof of the principal residential structure.
  - b) The floor area of a detached accessory dwelling unit shall not exceed 1,000 square feet, including any areas designed or intended to be used for the parking of vehicles and any half-story floor area.

## BUILDING SAFETY & ZONING DIVISION

### PLAN COMMISSION STAFF REPORT

- [1] Upper story detached accessory dwelling units may be built above an accessory structure, including, but not limited to, a detached garage, so long as the accessory structure's footprint does not exceed 1,000 square feet.
- c) A detached accessory dwelling shall comply with the required setbacks and maximum building coverage for an accessory structure within that zoning district.
  - d) The distance between the detached accessory dwelling unit and the principal structure shall be a minimum of 12 feet.
  - e) Not less than 10% of the total area of the facade of a detached accessory dwelling unit facing an alley or public street shall be windows.
  - f) Exterior stairways shall be allowed, provided that the finish of the railing matches the finish or trim of the detached accessory dwelling unit. Raw or unfinished lumber shall not be permitted on an exterior stairway.
  - g) A detached accessory dwelling unit shall be located entirely to the rear of the principal residential structure.

#### WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

*Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.*

1. 62.23 (7) (de)(1) In this paragraph:

a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.

b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

2. 62.23 (7) (de)(2)

a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.

b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.

3. 62.23 (7) (de)(3)

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.

4. 62.23 (7) (de)(4)

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.

5. 62.23 (7) (de)(5)

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

#### PLAN COMMISSION DECISIONS:

Accessory Dwelling Unit (All) Land Use Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
1. No more than one accessory dwelling unit shall be allowed on a parcel.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
2. Rooftop decks shall not be allowed.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
3. The minimum gross floor area of accessory dwelling units shall be 300 square feet.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
4. Under no circumstance shall an accessory dwelling unit's square footage exceed the first habitable floor of the principal structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
5. An owner of the property must occupy at least one dwelling unit on the parcel as their primary place of	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

residence.						
6. Accessory dwelling units shall not be used for short-term rentals under § <u>550-56Y</u> .	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No

<b>Accessory Dwelling Unit (Detached) Land Use Criteria</b>	<b>Applicant Provided Substantial Evidence</b>		<b>Opponent Provided Substantial Evidence</b>		<b>PC Finds Standards Met</b>	
1. A detached accessory dwelling unit shall not exceed the height of the principal residential structure. In no case shall the highest point of the roof of the detached accessory dwelling unit exceed the highest point of the roof of the principal residential structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
2. The floor area of a detached accessory dwelling unit shall not exceed 1,000 square feet, including any areas designed or intended to be used for the parking of vehicles and any half-story floor area. - Upper story detached accessory dwelling units may be built above an accessory structure, including, but not limited to, a detached garage, so long as the accessory structure's footprint does not exceed 1,000 square feet.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
3. A detached accessory dwelling shall comply with the required setbacks and maximum building coverage for an accessory structure within that zoning district.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
4. The distance between the detached accessory dwelling unit and the principal structure shall be a minimum of 12 feet.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
5. Not less than 10% of the total area of the facade of a detached accessory dwelling unit facing an alley or public street shall be windows.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
6. Exterior stairways shall be allowed, provided that the finish of the railing matches the finish or trim of the detached accessory dwelling unit. Raw or unfinished lumber shall not be permitted on an exterior stairway.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No
7. A detached accessory dwelling unit shall be located entirely to the rear of the principal residential structure.	<u>Yes</u>	No	Yes	<u>No</u>	Yes	No

*If Plan Commission answers "no" to any of the questions, above, the CU permit must be denied. Otherwise, proceed to the conditions of approval.*

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

1. Deny the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve the Conditional Use Permit without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve the Conditional Use Permit with conditions as identified by the Plan Commission:

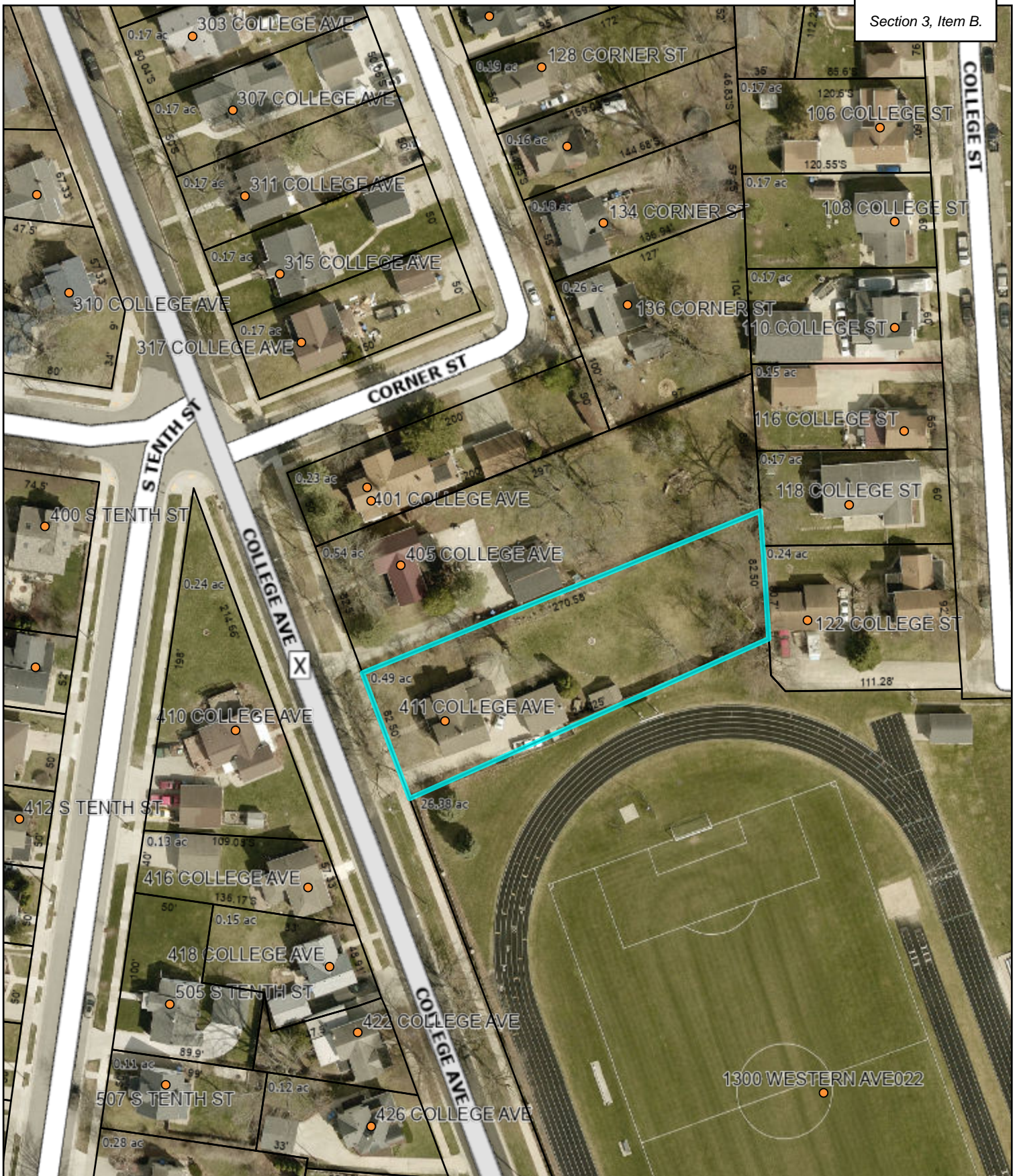
STAFF RECOMENDATION:

- Staff recommends approval of this Conditional Use Permit.

ATTACHMENTS:

- Application materials





City Boundary



Parcel Boundary



Address Points



City of Watertown Geographic Information System

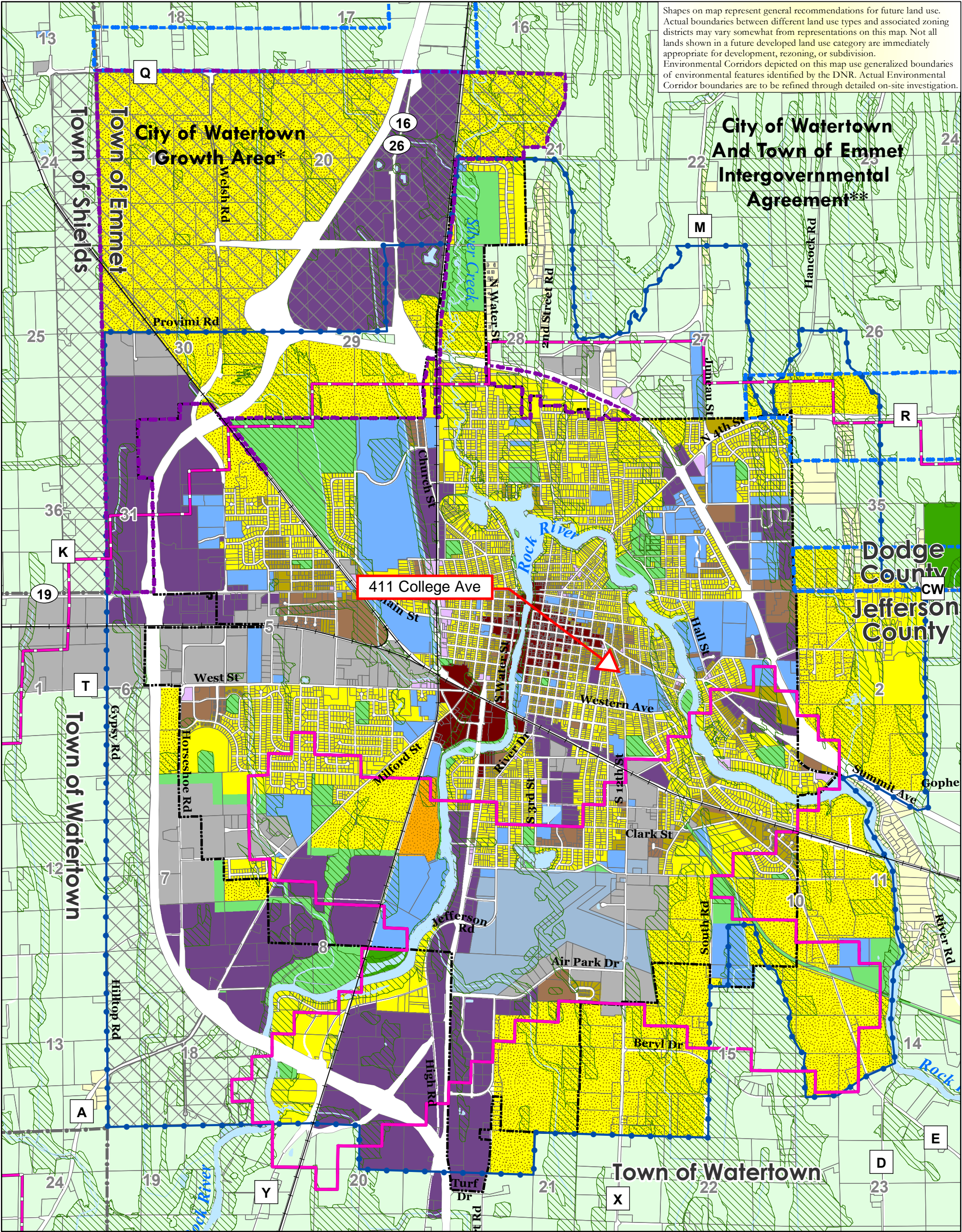
Scale: 1:977

SCALE BAR = 1"

Printed on: May 12, 20  
Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

## City of Watertown And Town of Emmet Intergovernmental Agreement\*\*

Dodge  
County  
Jefferson  
County

## Future Land Use Urban Area

### Map 6b

City/Town IGA\*\*  
City Growth Area  
City Periphery Areas

### City of Watertown Comprehensive Plan

#### Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood\*\*
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

\*Each "Planned Mixed Use Area" may include mix of:  
1. Office  
2. Multi-Family Residential  
3. Mixed Industrial  
4. Commercial Services/Retail  
5. Institutional  
6. Parks & Recreation



\*\*"Planned Neighborhoods" should include a mix of the following:  
1. Single-Family - Sewered (predominant land use)  
2. Two-family Residential  
3. Multi-Family Residential  
4. Institutional  
5. Neighborhood Mixed Use  
6. Parks & Recreation



\*\*\*Each "Riverside Mixed Use Area" may include mix of:  
1. Office  
2. Single-Family - Sewered  
3. Two-Family Residential  
4. Multi-Family Residential  
5. Commercial Services/Retail  
6. Institutional  
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

#### Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019  
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.  
Shaping places, shaping change



0 0.25 0.5 1 Miles



PROJECT DIRECTORY

CLIENT  
MARCUS & JESSICA SPIEGELBERG  
PHONE | 305.905.8606  
EMAIL | LAFAMILIATHREEOFIVE@GMAIL.COM

ARCHITECT  
STUDIO NORTH ARCHITECTURE + DESIGN  
CONTACT | KRIS PEDERSON  
PHONE | 218.481.2334  
EMAIL | KRIS@STUDIONORTHARCHITECTUREDESIGN.COM

ZONING CODE REVIEW

PARCEL ID #: 291-0815-0414-021  
ZONING CLASSIFICATION: Two-Family Residential-6 (TR-6)  
District

PROPERTY DESCRIPTION:  
COM SE/C OUTLOT 11/10TH WARD, N00DG28'W 82.50FT,  
S69DG58'W 270.58FT, S19DG10' E 82.50FT, N68DG51'E  
244.25 FT TO POB.

DIMENSIONAL STANDARDS  
MINIMUM LOT AREA: 9,000 SF  
MINIMUM LOT WIDTH: 85'  
MAXIMUM LOT COVERAGE: 40%  
MAXIMUM ACCESSORY BUILDING COVERAGE: 10%  
MINIMUM LANDSCAPE SURFACE RATIO (LSR): 50%

HEIGHT & SIZE OF STRUCTURES  
PRINCIPAL STRUCTURE MAXIMUM HEIGHT: 30'  
ACCESSORY STRUCTURE MAXIMUM HEIGHT: 30'

PROPERTY INTENDED USE DESCRIPTION

1. EXISTING ZONING DISTRICT:

a. TR-6, TWO FAMILY RESIDENTIAL
2. LAND USE PLAN MAP DESIGNATION:

a.
3. CURRENT LAND USES PRESENT ON THE SUBJECT PROPERTY:

a. RESIDENTIAL, SINGLE-FAMILY DETACHED
4. PROPOSED LAND USE:

a. ACCESSORY DWELLING UNIT
5. PROPOSED NUMBER OF RESIDENTS:

a.
6. PROPOSED AMOUNT OF DWELLING UNITS, FLOOR AREA, IMPERVIOUS SURFACE AREA, AND LANDSCAPE SURFACE AREA, AND RESULTING DENSITY, FLOOR AREA RATIO, IMPERVIOUS SURFACE AREA RATIO, AND LANDSCAPE SURFACE AREA RATIO.

a. PROPOSED TWO-BEDROOM ACCESSORY DWELLING UNIT OVER GARAGE

1. 990 SF GARAGE ON FIRST LEVEL, 990 SF DWELLING ON SECOND LEVEL

2. 990 SF IMPERVIOUS SURFACE BUILDING FOOTPRINT, 1,433 SF PROPOSED IMPERVIOUS DRIVEWAY, SIDEWALK, AND PATIO.

3. 2,423 SF TOTAL PROPOSED IMPERVIOUS SURFACE AREA

b. EXISTING 1,269 SF RESIDENCE BUILDING FOOTPRINT

c. EXISTING 2,025 SF DRIVE AND PATIO

d. TOTAL SITE SF: 20,549

e. TOTAL SITE FLOOR AREA RATIO:

1. 11% (1,269 EXISTING RESIDENCE + 990 PROPOSED)

f. TOTAL SITE IMPERVIOUS SURFACE: 5,717 SF

1. RATIO: 28%

g. TOTAL SITE LANDSCAPE SURFACE AREA: 14,835 SF

1. RATIO: 72%
7. OPERATIONAL CONSIDERATIONS:

a. PEAK WATER USAGE:

b. SEWER OR SCEPTIC LOADING:

c. TRAFFIC GENERATION:
8. OPERATIONAL CONSIDERATIONS RELATING TO POTENTIAL NUISANCE:

a. THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF ARTICLE XI.
9. EXTERIOR BUILDING MATERIALS:

a. 30-YEAR ASPHALT SHINGLES

b. LP SMARTSIDE TRIM AND SIDING (TO MATCH EXISTING RESIDENCE)

c. STONE VENEER/BRICK WAINSCOT (TO MATCH EXISTING RESIDENCE)

DRAWING INDEX

ARCHITECTURAL	
A01	COVER PAGE
A02	AREA MAP
A03	SITE PLAN
A04	ELEVATIONS
A05	PERSPECTIVE VIEWS

SETBACKS  
FRONT YARD SETBACK: 25'  
REAR YARD SETBACK: 25'  
SIDE YARD SETBACK:  
10% LOT WIDTH OR A MINIMUM OF EIGHT FEET, UP TO 14 FEET.  
SIDE LOT LINE TO ACCESSORY STRUCTURE:  
3' FROM PROPERTY LINE

PRELIMINARY - NOT FOR CONSTRUCTION

Section 3, Item B.

NOTES:  
1. THESE DRAWINGS ARE INTENDED TO ILLUSTRATE DESIGN INTENT ONLY AND SHOULD ONLY BE USED AS A GENERAL REFERENCE GUIDELINE.  
2. THESE DRAWINGS ARE BASED ON LIMITED SITE INFORMATION AND GENERIC SITE DIMENSIONS. SCALED EXAMPLES SHOWN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY REFLECT ACTUAL SITE CONDITIONS. ALL ELEVATIONS SHOWN ARE APPROXIMATE. ALL FINAL LOCATIONS ARE TO BE DETERMINED IN THE FIELD.  
3. THESE DRAWINGS ARE NOT A COMPLETE SET OF CONSTRUCTION DOCUMENTS. ALL FINAL ENGINEERING, FABRICATION, MATERIAL SELECTION AND CONSTRUCTION DETAILS ARE TO BE DEVELOPED BY THE OWNER AND CONTRACTORS.  
4. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, ELEVATIONS AND CONDITIONS ON THE JOB.  
5. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF WALL AND INTERIOR DIMENSIONS ARE TO CENTER OF WALL UNLESS OTHERWISE NOTED.

No.	Revision/Issue	Date

Firm Name and Address

studio north

ARCHITECTURE + DESIGN

35139 S CLAMSHELL DRIVE  
PEQUOT LAKES, MN 56472

Project Name and Address

Spiegelberg Residence

COVER PAGE

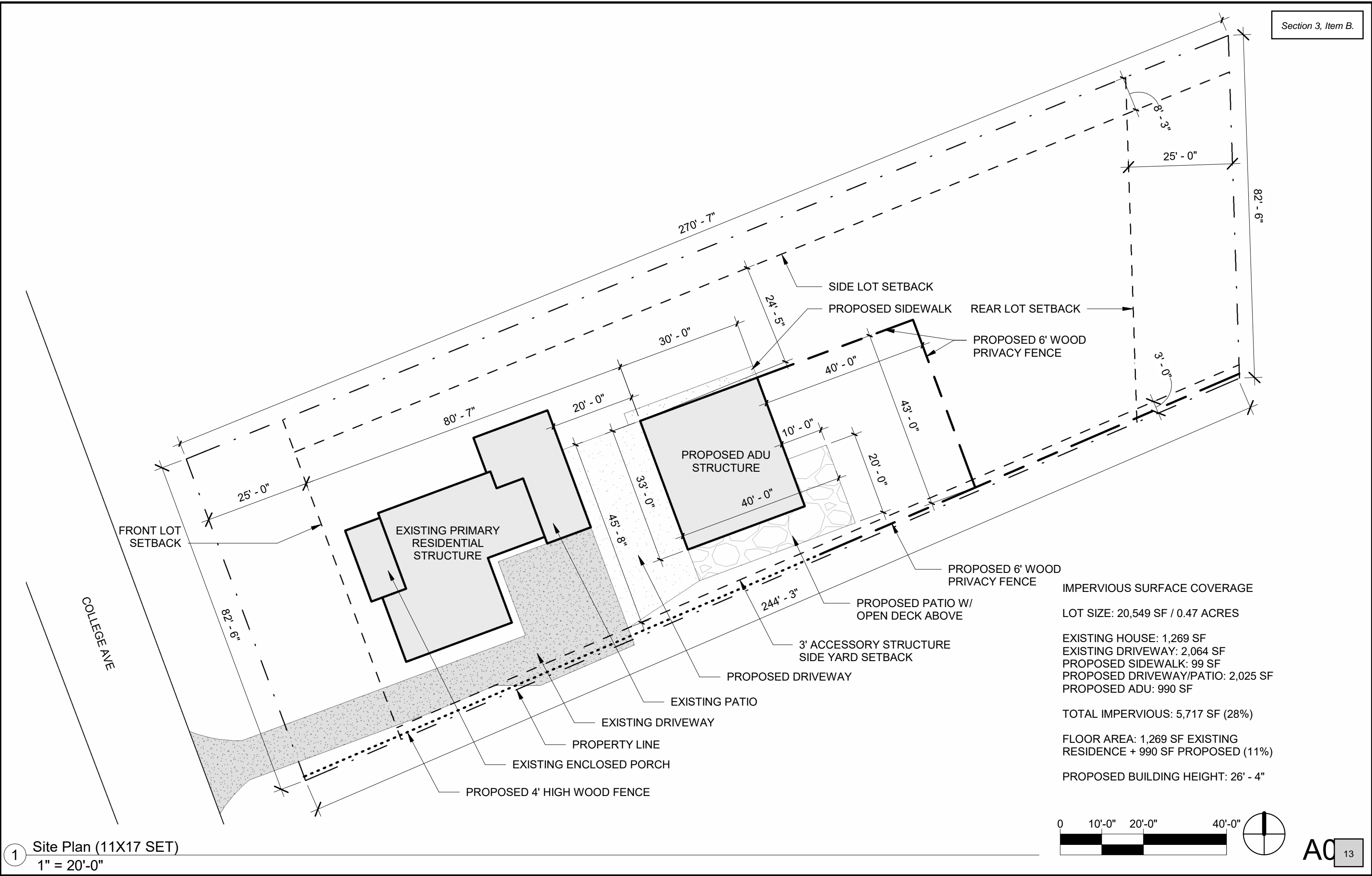
Project:	Sheet
Project Number	A01
Date:	
03/18/2025	
Scale:	AS NOTED

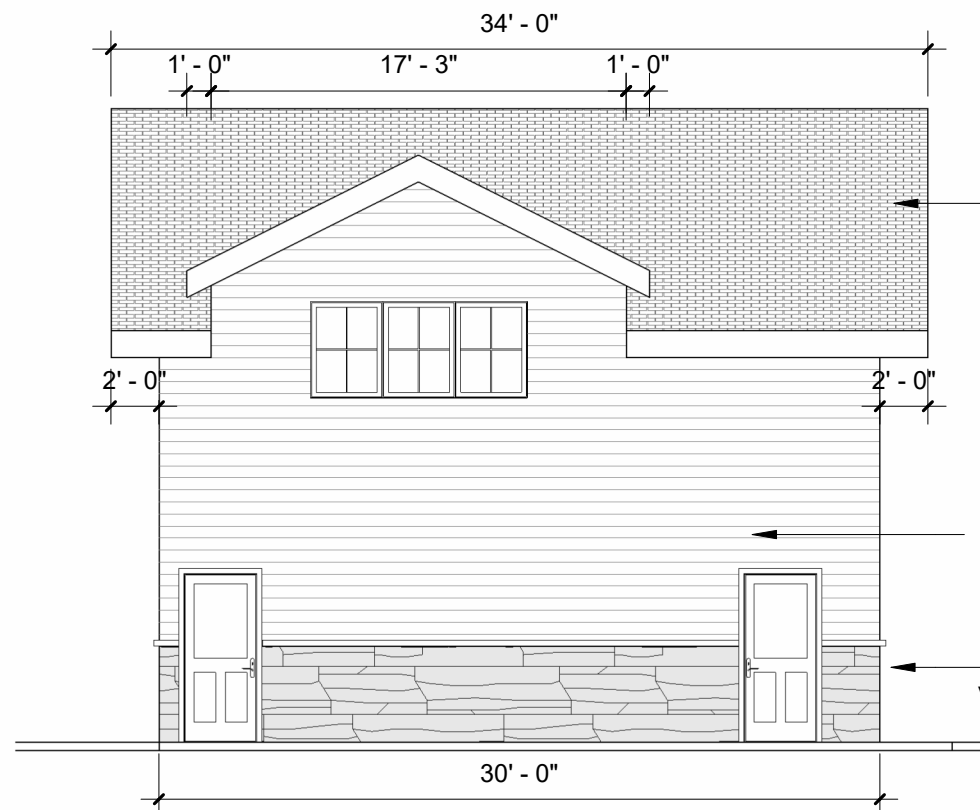
11



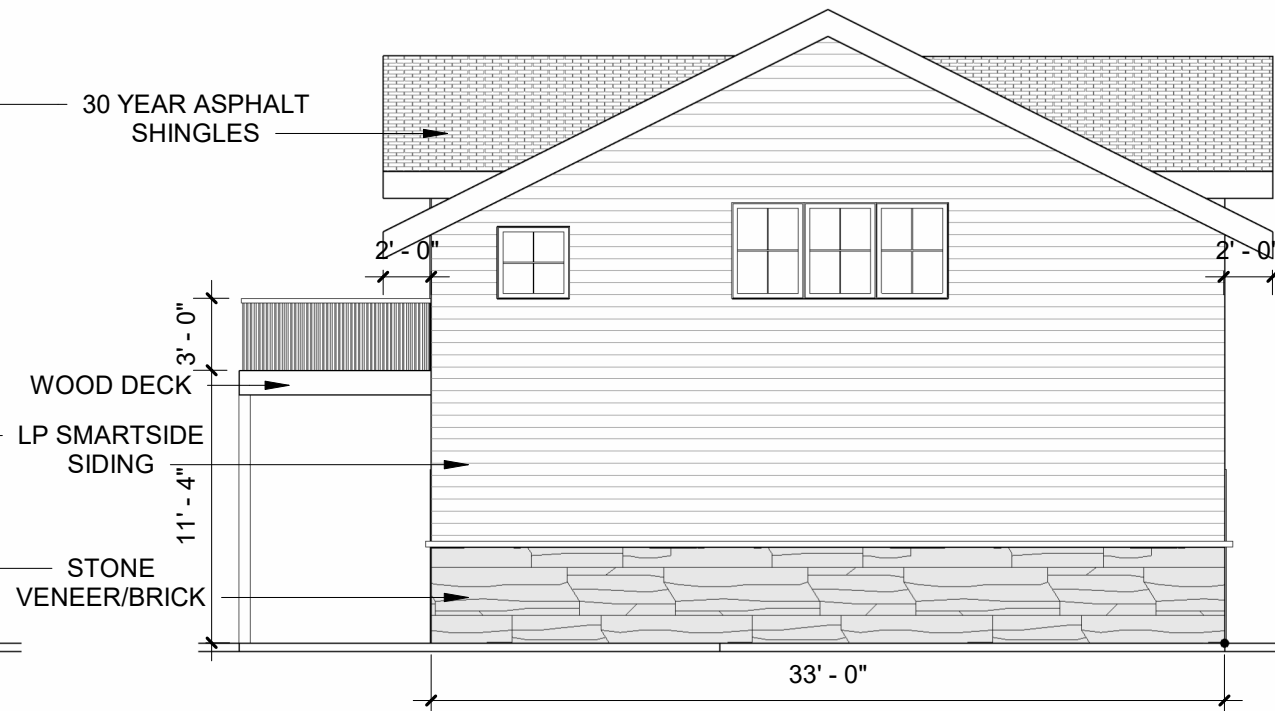




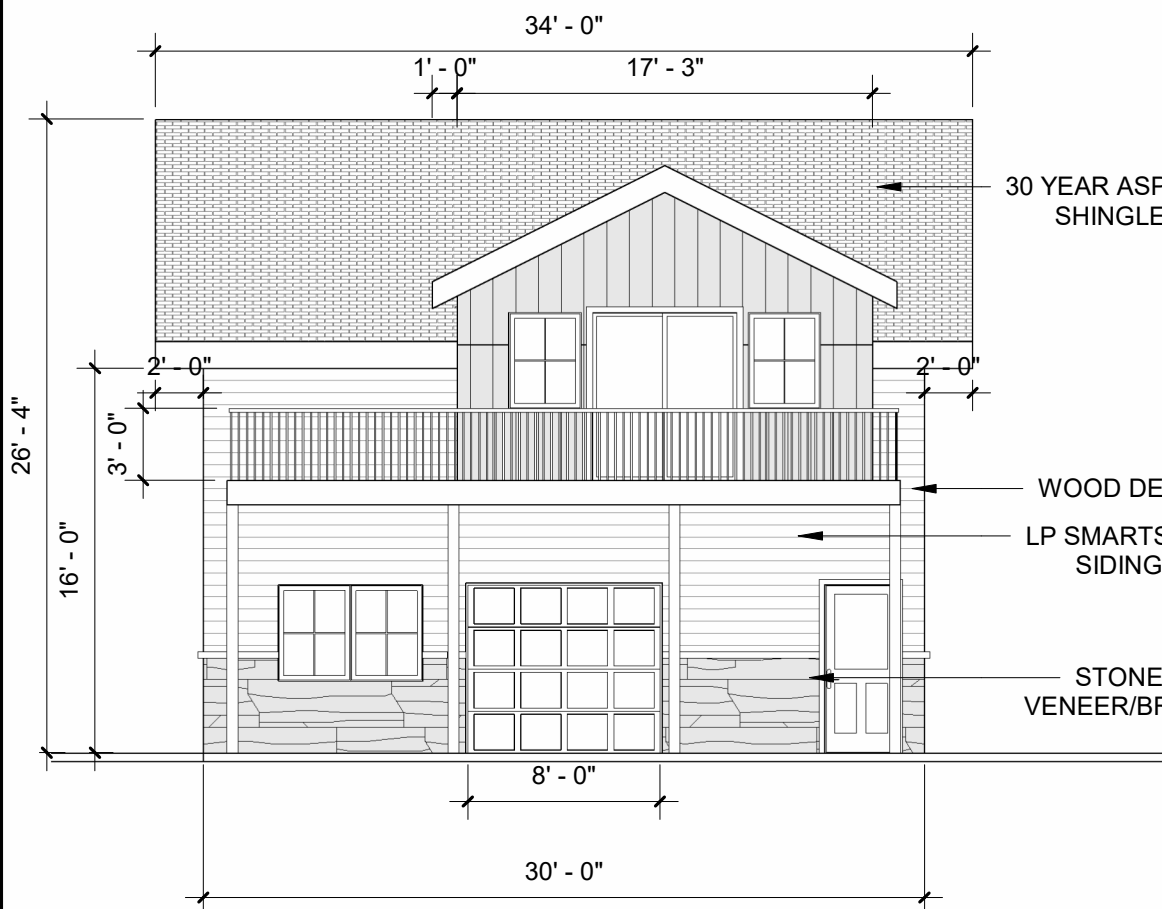




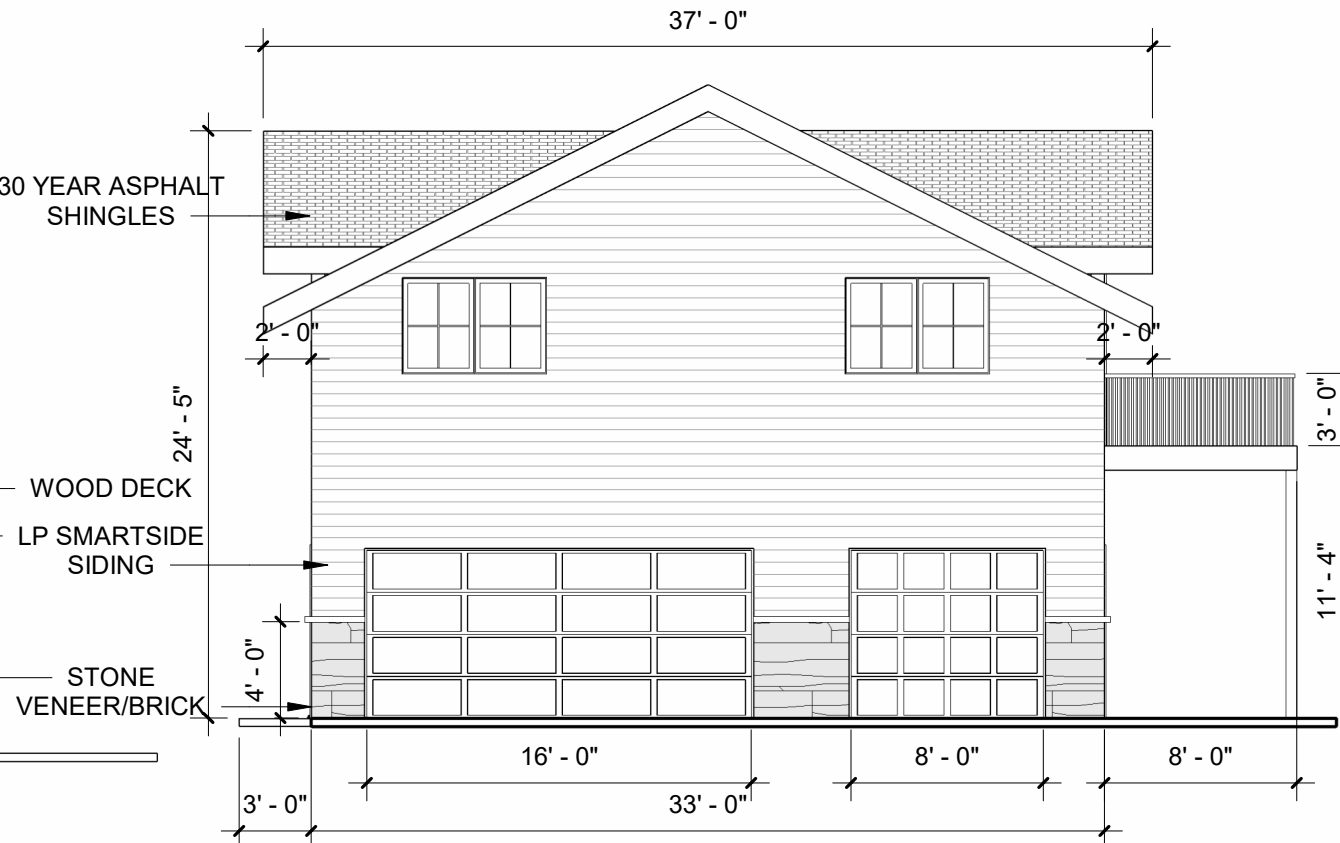
1 NORTH ELEVATION - PLAN REVIEW (11X17 SET)  
1/8" = 1'-0"



2 EAST ELEVATION - PLAN REVIEW (11X17 SET)  
1/8" = 1'-0"



3 SOUTH ELEVATION - PLAN REVIEW (11X17 SET)  
1/8" = 1'-0"



4 WEST ELEVATION - PLAN REVIEW (11X17 SET)  
1/8" = 1'-0"

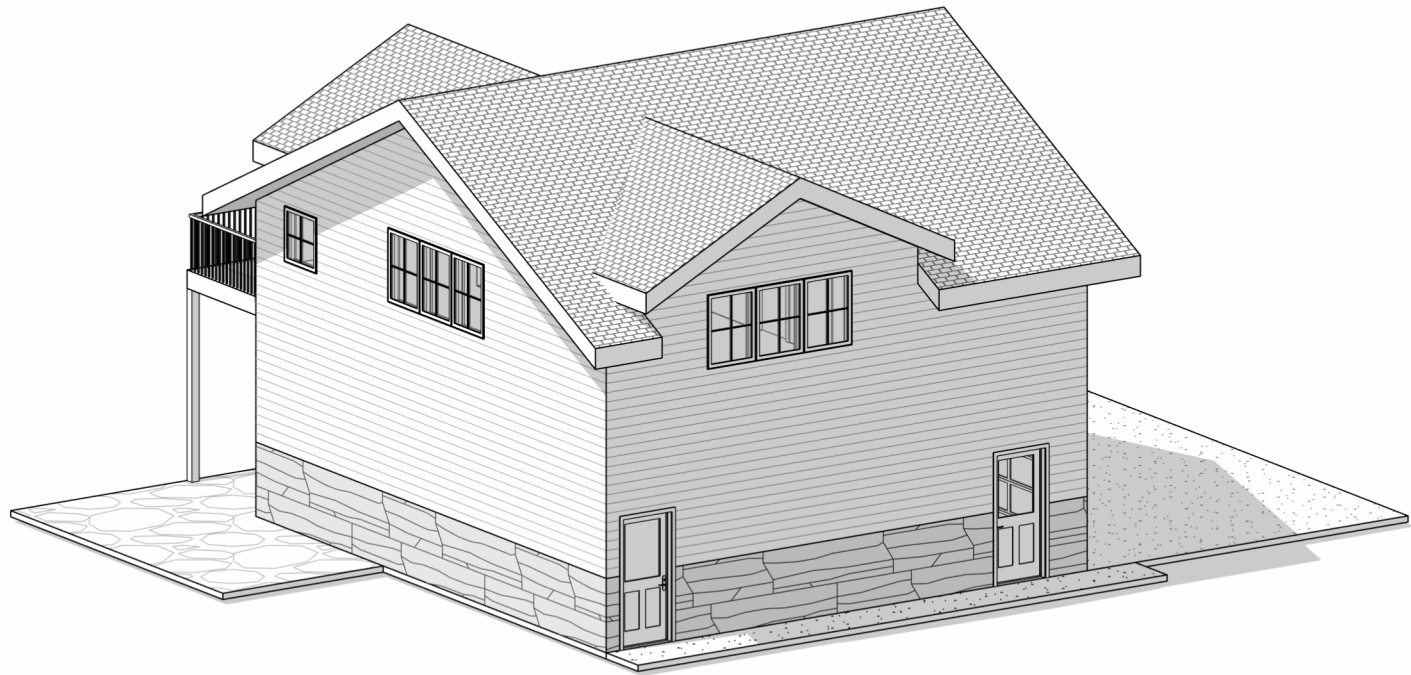
## REFERENCE PHOTOS



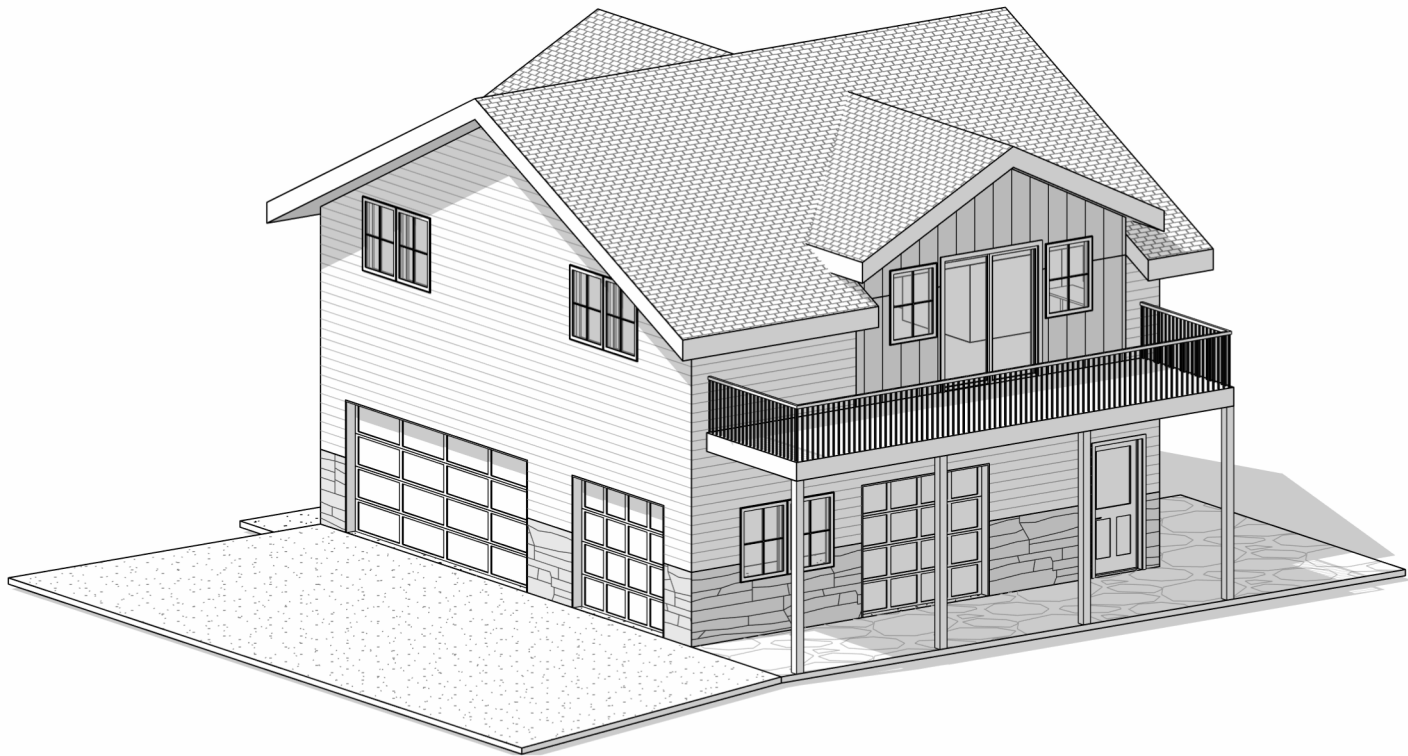
EXISTING RESIDENCE ON PROPERTY - FRONT



EXISTING RESIDENCE ON PROPERTY - REAR



1 NORTHEAST PERSPECTIVE - PLAN REVIEW (11x17 SET)



2 SOUTHWEST PERSPECTIVE - PLAN REVIEW (11X17 SET)

- NOTES:
1. THESE DRAWINGS ARE INTENDED TO ILLUSTRATE DESIGN INTENT ONLY AND SHOULD ONLY BE USED AS A GENERAL REFERENCE GUIDELINE.
  2. THESE DRAWINGS ARE BASED ON LIMITED SITE INFORMATION AND GENERIC SITE DIMENSIONS. SCALED EXAMPLES SHOWN ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY REFLECT ACTUAL SITE CONDITIONS. ALL ELEVATIONS SHOWN ARE APPROXIMATE. ALL FINAL LOCATIONS ARE TO BE DETERMINED IN THE FIELD.
  3. THESE DRAWINGS ARE NOT A COMPLETE SET OF CONSTRUCTION DOCUMENTS. ALL FINAL ENGINEERING, FABRICATION, MATERIAL SELECTION AND CONSTRUCTION DETAILS ARE TO BE DEVELOPED BY THE OWNER AND CONTRACTORS.
  4. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, ELEVATIONS AND CONDITIONS ON THE JOB.
  5. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF WALL AND INTERIOR DIMENSIONS ARE TO CENTER OF WALL UNLESS OTHERWISE NOTED.

No.	Revision/Issue	Date

Firm Name and Address

studionorth  
ARCHITECTURE + DESIGN

35139 S CLAMSHELL DRIVE  
PEQUOT LAKES, MN 56472

Project Name and Address

Spiegelberg  
Residence

PERSPECTIVE VIEWS

Project:

Project Number

Date:

03/18/2025

Scale:

AS NOTED

Sheet

A05



April 23, 2025

Zoning Administrator

City of Watertown Site Plan Review Committee

To whom it may concern:

I am writing in response to the conditional use permit (CUP) application checklist to describe the intended use of the property and desire to add an additional dwelling unit to our property located at 411 College Ave.

The proposed structure will be a three-car garage with 990 SF living space above. The style will compliment and mimic the current structure and serve as an additional separate dwelling unit that we will use to stay, share, and/or rent as available. Currently there is a two-car garage and storage shed in the approximate location. The new structure will replace the existing structures and add additional living space above for residential use.

Our purpose for the request is twofold. We are trying to satisfy an immediate need for our family to stay while visiting our children at LPS and to provide affordable rental opportunities for other families and/or faculty to use as needed throughout the year.

Our families have attended Northwestern/Luther Prep School and at times resided in the City of Watertown for the past 80 years. We are now living out of state and our children are attending LPS. We love the City of Watertown and appreciate the revitalized downtown. The location of downtown and Luther Prep is ideal for our purpose and allows us to stay, shop and enjoy all that Watertown has to offer.

We appreciate your consideration and are available to answer any questions that you may have.

Sincerely,

Marcus, Jet, Sydney, Maya, Bentley, and Titus Spiegelberg

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9th, 2025  
SUBJECT: 861 West Street, Conditional Use Permits - CUPs

A request by David Saxby for two Conditional Use Permits: a combination of accessory structures exceeding a total of 1,000 square feet of gross floor area and exceeding the maximum height of an accessory structure. Parcel PIN(s): 291-0815-0531-010

**SITE DETAILS:**

Acres: 0.77 acres  
Current Zoning: Single-Family Residential (SR-4)  
Existing Land Use: Single-Family Home  
Future Land Use Designation: Single-Family Residential

**BACKGROUND AND APPLICATION DESCRIPTION:**

The applicant is seeking approval of two Conditional Use Permits (CUPs) to allow for construction of a storage shed. The first CUP request is to exceed the 1,000 S.F. maximum for accessory structures. The property currently contains an existing 576 S.F. garage and two garden sheds of approximately 144 S.F. and 63 S.F. The proposed shed (30x50) will be 1,500 S.F. The 63 S.F. garden shed is to be removed when the new storage shed is constructed, resulting in a total of 3 accessory structures remaining on the property. The total S.F. of accessory structures after the project is complete will be approximately 2,220 S.F.

The second CUP request is to exceed the maximum height requirements for accessory structures. Within the Single-Family Residential (SR-4) Zoning District, the maximum allowed height of an accessory structure is 15 feet. The maximum height of the proposed shed would be 22ft high at the peak. A CUP granted for a height exception is required to specifically state the maximum permitted height of the proposed building or structure.

The storage shed will be sided with vinyl siding and will be setback at least 25 ft from the Brentwood Lane ROW and be in-line with the home to the west.

**STAFF EVALUATION:**

**Land Use and Zoning:**

1. Within the Single-Family Residential (SR-4) Zoning District, a 'Residential Accessory Structure' is an accessory land use permitted by right [per § 550-24C(1)(b)].
2. Within Accessory Land Uses, applicable regulations are detailed for a 'Residential Accessory Structure' [per § 550-56C].

Applicable regulations for a 'Residential Accessory Structure' land use include the following:

- A **conditional use permit** is required for:
  - Any combination of 'Residential Accessory Structures' that exceeds 1,000 square feet of gross floor area [per § 550-56C(1)(b)[1]].
- 3. Within the Single-Family Residential (SR-4) Zoning District, the maximum allowed height of an accessory structure is 15 feet. [per § 550-24F(2)(i)].

## BUILDING SAFETY & ZONING DIVISION

### PLAN COMMISSION STAFF REPORT

#### 4. Exceptions to Maximum Height Regulations are allowed under Section § 550-83C:

C. Any building or structure not otherwise accounted for by Subsection B above may exceed said maximum height regulations with the granting of a **conditional use permit** which specifically states the maximum permitted height of the proposed building or structure.

#### 5. Building height for structures are defined under Section § 550-15:

##### Building Height:

The vertical distance from the lowest elevation of the adjoining ground level or the established grade, whichever is lower, to the top of the cornice of a flat roof, to the deckline of a mansard roof, to a point of the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch-type roof, or to the midpoint distance of the highest gable on a pitched or hip roof. Unless excepted by specific provisions in this chapter, building height includes the height of any structures attached to a building.

#### WISCONSIN STATUTES:

All Conditional Use Permits are subject to the requirements of Wisconsin Act 67.

*Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.*

1. 62.23 (7) (de)(1) In this paragraph:
  - a. "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by a city, but does not include a variance.
  - b. "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.
2. 62.23 (7) (de)(2)
  - a. If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the city ordinance or those imposed by the city zoning board, the city shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance and be based on substantial evidence.
  - b. The requirements and conditions described under subd. 2. a. must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the city relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The city's decision to approve or deny the permit must be supported by substantial evidence.
3. 62.23 (7) (de)(3)
 

Upon receipt of a conditional use permit application and following publication in the city of a class 2 notice under ch. 985, the city shall hold a public hearing on the application.
4. 62.23 (7) (de)(4)
 

Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the city may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the city zoning board.
5. 62.23 (7) (de)(5)
 

If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

#### PLAN COMMISSION DECISION:

Residential Accessory Structure CUP Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
A conditional use permit is required for any combination of 'Residential Accessory Structures' that exceeds 1,000 square feet of gross floor area.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
A conditional use permit is required to exceed the maximum building height regulations.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

*If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.*



**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

PLAN COMMISSION OPTIONS:

The following are possible options for the Plan Commission:

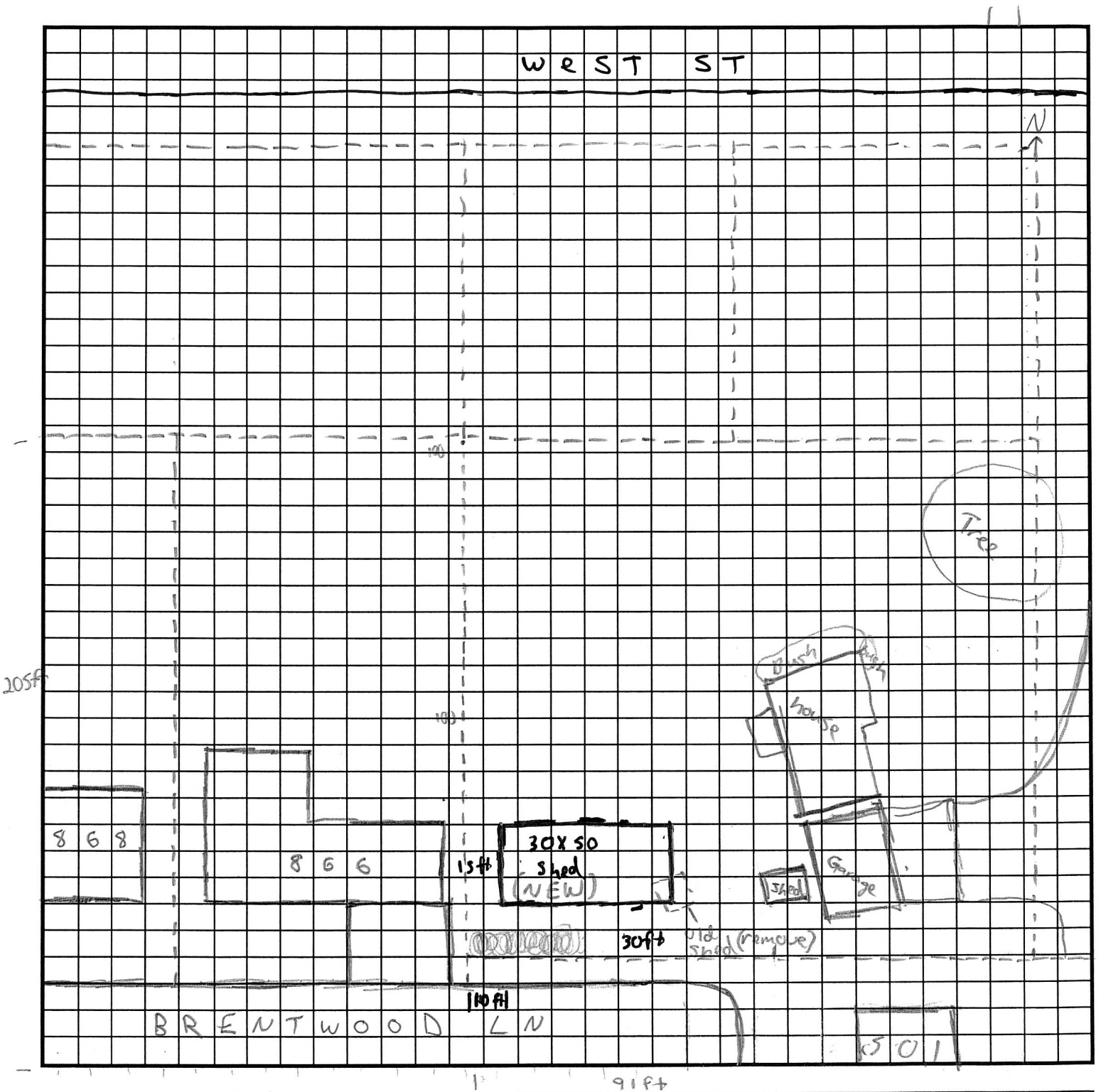
1. Deny any or all of the Conditional Use Permit, based on failure to provide substantial evidence to meet one or more of the regulatory standards.
2. Approve any or all of the Conditional Use Permits without conditions, based on successfully providing substantial evidence of regulatory compliance.
3. Approve any or all of the Conditional Use Permits with conditions as identified by the Plan Commission:
  - a. The CUP granted under § 550-83C shall state: The maximum height of the accessory structure (storage shed) shall be no more than 22ft.

STAFF RECOMENDATION:

- Staff recommends approval of these three Conditional Use Permits with conditions.

ATTACHMENTS:

- Application materials.



NOTES:

- 1) North arrow shall be correctly placed.
- 2) Draw a completely dimensioned plot plan.
- 3) Note adjoining streets and/or alleys.
- 4) Note curb cuts.

Owner	David Saxby
Street Address	861 west St
Phone No.	920-988-2542

Date: 4/15/2025 - 1:25 PM  
Design Name: Garage steel 30x50x12 garage doors  
Design ID: 315957601577  
Estimated Price: \$28,904.79

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS®

# Design & Buy GARAGE

Section 3, Item D.™

## How to recall and purchase your design at home:



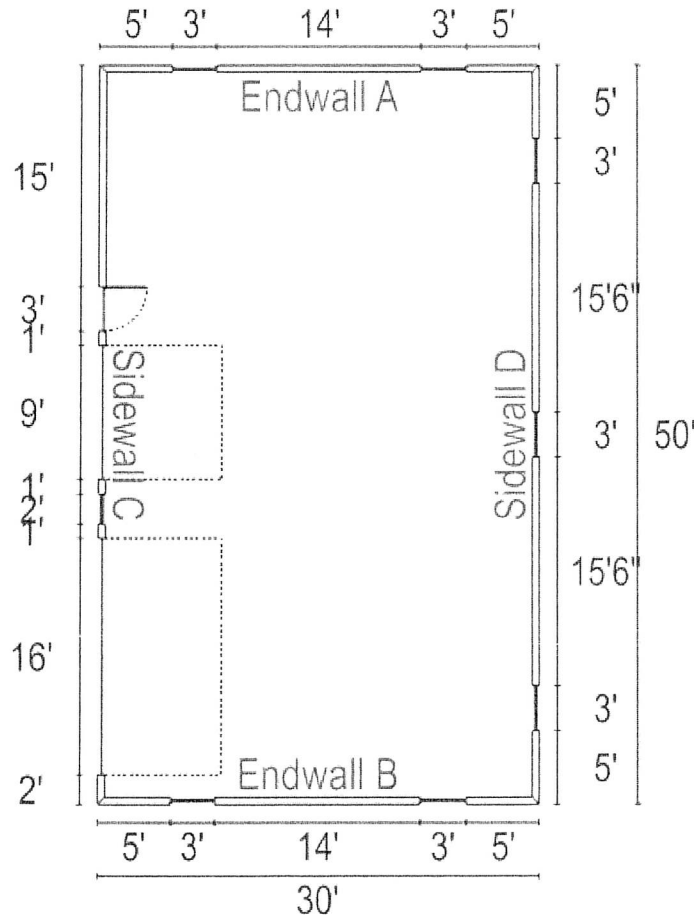
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 315957601577
4. Follow the on-screen purchasing instructions

## How to purchase your design at the store:

1. Enter Design ID: 315957601577 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions

## Garage Image



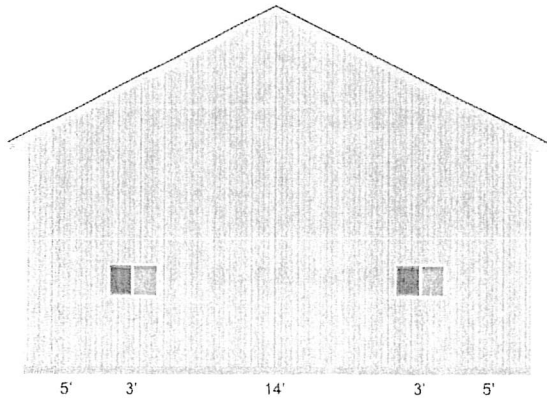
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Design ID: 315957601577  
Estimated Price: \$28,904.79

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

## Dimensions

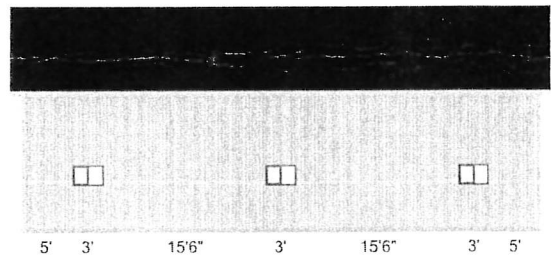
### Wall Configurations

\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



**ENDWALL B**

36"W x 24"H Performax™ Slider Window with Nailing Flange  
36"W x 24"H Performax™ Slider Window with Nailing Flange



**SIDEWALL D**

36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould  
36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould  
36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould

Design & Buy  
GARAGE

at **MENARDS**

Select a Store

Design

Building Type

Materials

Summary

Purchase

David

Building

Wall

Roof

Openings

Additional Options

Back

Continue

\* Approximate Peak Height is 20'5" —

\* Approximate Ceiling Height is 12'6" ?

Material Information

3D View

Estimated Price: \$28,055.86

Building Width

Select your Building Width

30'

Building Length

Select your Building Length

50'

Building Height

Select your Building Height

12'

Wall Framing Stud

Select your Wall Framing Stud

2 x 6

Roof Framing

Select your Roof Framing

Truss Construction

Truss Type

Select your Truss Type

Scissors

Building Height

Peak Height

Ceiling Height

Curb or Concrete Blocks

Concrete Floor

• Select the height of your building framing (wall studs).

• Note that 10 and 12-foot wall heights include studs that MUST be cut.

• Approximate peak height displayed is the distance from the top of the floor to the building peak. Actual peak height may vary based on curb, framing and final truss design.

• Building heights displayed are based on approximate plate heights of 97", 109", 121" and 145".

• Poured concrete curb or rows of concrete block will be included in the displayed peak height, headroom calculation and the available room for overhead door headers.

Garage v3.7.0

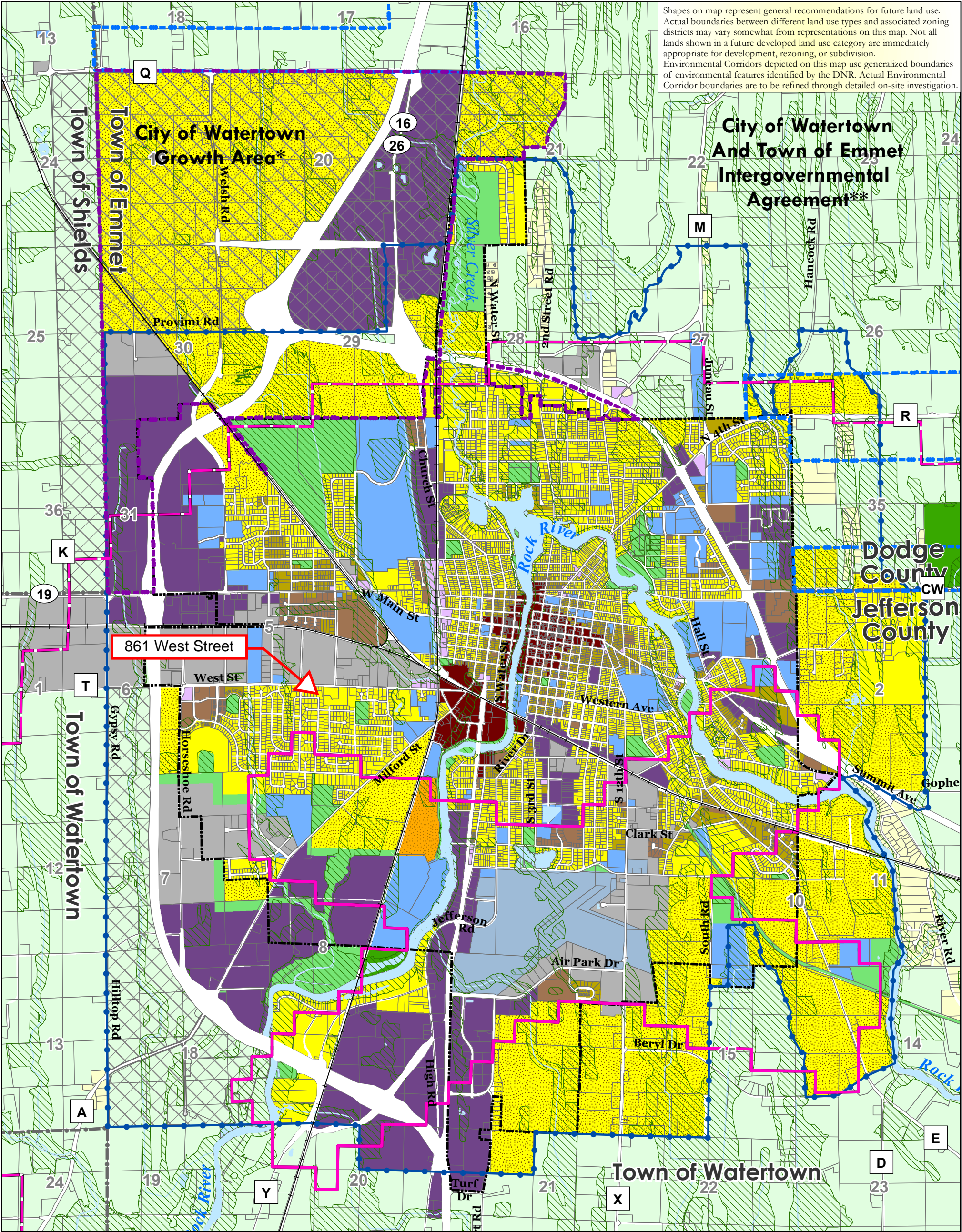
**MENARDS**

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Leave a message

23





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

## City of Watertown And Town of Emmet Intergovernmental Agreement\*\*

Dodge  
County  
Jefferson  
County

## Future Land Use Urban Area

### Map 6b

City/Town IGA\*\*  
City Growth Area  
City Periphery Areas

### City of Watertown Comprehensive Plan

#### Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood\*\*
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

\*Each "Planned Mixed Use Area" may include mix of:  
1. Office  
2. Multi-Family Residential  
3. Mixed Industrial  
4. Commercial Services/Retail  
5. Institutional  
6. Parks & Recreation



\*\*"Planned Neighborhoods" should include a mix of the following:  
1. Single-Family - Sewered (predominant land use)  
2. Two-family Residential  
3. Multi-Family Residential  
4. Institutional  
5. Neighborhood Mixed Use  
6. Parks & Recreation



\*\*\*Each "Riverside Mixed Use Area" may include mix of:  
1. Office  
2. Single-Family - Sewered  
3. Two-Family Residential  
4. Multi-Family Residential  
5. Commercial Services/Retail  
6. Institutional  
7. Parks & Recreation



Draft: August 7, 2019  
Source: WisDNR, FEMA,  
City of Watertown,  
Dodge Co. LIO &  
Jefferson Co. LIO, V&A



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

#### Airport Height Limitations

- Maximum Building Elevation  
b/t 865 and 968 ft
- Maximum Building Elevation  
b/t 968 and 1005 ft

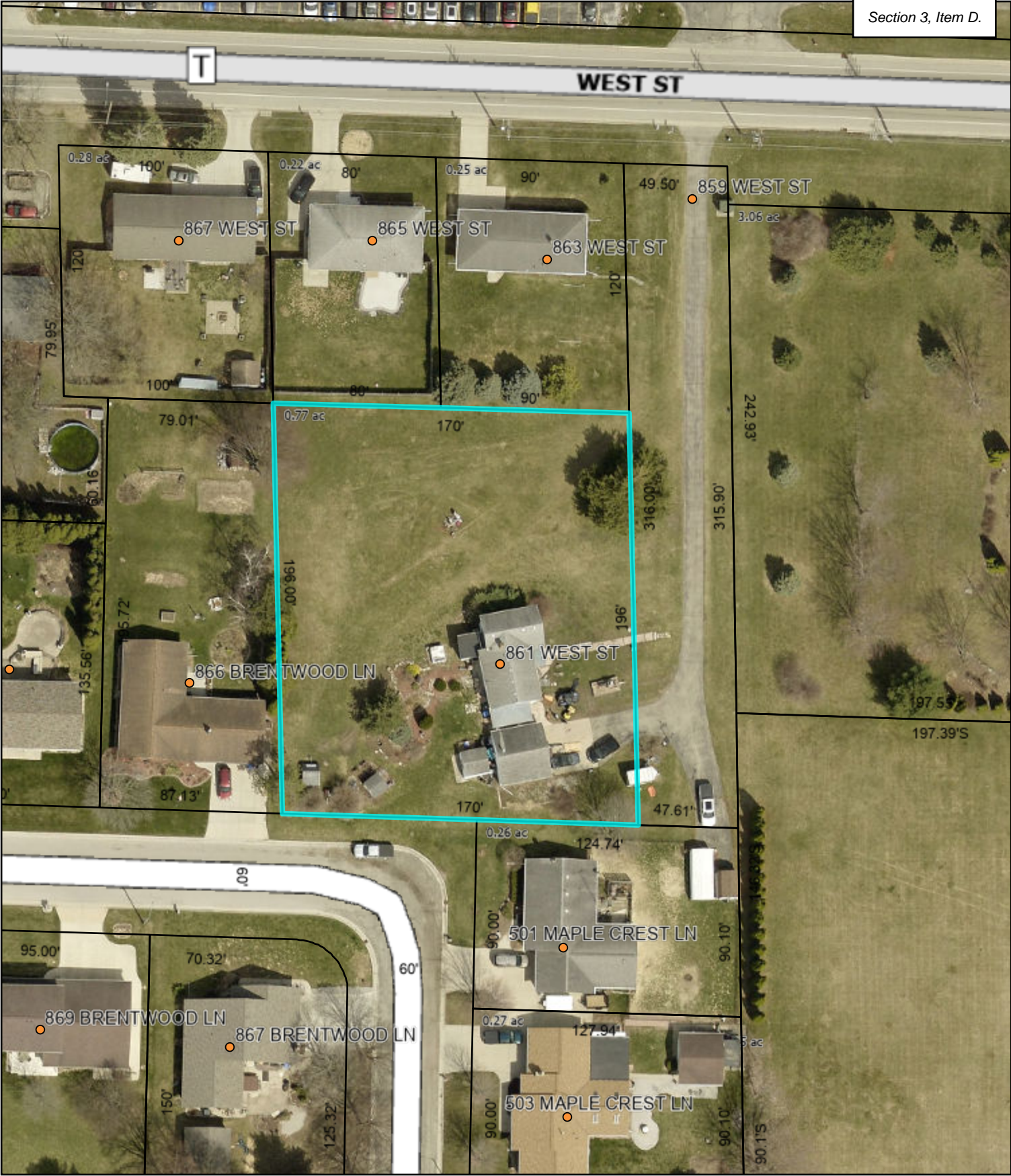
VANDEWALLE &  
ASSOCIATES INC.  
Shaping places, shaping change

THE CITY OF  
WATERTOWN  
Opportunity runs through it.



0 0.25 0.5 1 Miles






City Boundary

Parcel Boundary

Address Points



THE CITY OF

WATERTOWN

Opportunity runs through it.

City of Watertown Geographic Information System

Scale: 1:739  
SCALE BAR = 1"

Printed on: May 12, 2012  
Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.

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**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9th, 2025  
SUBJECT: 861 West Street, Conditional Use Permits - CUPs

A request by David Saxby for two Conditional Use Permits: a combination of accessory structures exceeding a total of 1,000 square feet of gross floor area and exceeding the maximum height of an accessory structure. Parcel PIN(s): 291-0815-0531-010

**SITE DETAILS:**

Acres: 0.77 acres  
Current Zoning: Single-Family Residential (SR-4)  
Existing Land Use: Single-Family Home  
Future Land Use Designation: Single-Family Residential

**BACKGROUND AND APPLICATION DESCRIPTION:**

The applicant is seeking approval of two Conditional Use Permits (CUPs) to allow for construction of a storage shed. The first CUP request is to exceed the 1,000 S.F. maximum for accessory structures. The property currently contains an existing 576 S.F. garage and two garden sheds of approximately 144 S.F. and 63 S.F. The proposed shed (30x50) will be 1,500 S.F. The 63 S.F. garden shed is to be removed when the new storage shed is constructed, resulting in a total of 3 accessory structures remaining on the property. The total S.F. of accessory structures after the project is complete will be approximately 2,220 S.F.

The second CUP request is to exceed the maximum height requirements for accessory structures. Within the Single-Family Residential (SR-4) Zoning District, the maximum allowed height of an accessory structure is 15 feet. The maximum height of the proposed shed would be 22ft high at the peak. A CUP granted for a height exception is required to specifically state the maximum permitted height of the proposed building or structure.

The storage shed will be sided with vinyl siding and will be setback at least 25 ft from the Brentwood Lane ROW and be in-line with the home to the west.

**STAFF EVALUATION:**

**Land Use and Zoning:**

1. Within the Single-Family Residential (SR-4) Zoning District, a 'Residential Accessory Structure' is an accessory land use permitted by right *[per § 550-24C(1)(b)]*.
2. Within Accessory Land Uses, applicable regulations are detailed for a 'Residential Accessory Structure' *[per § 550-56C]*.

Applicable regulations for a 'Residential Accessory Structure' land use include the following:

- A **conditional use permit** is required for:
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- 3. Within the Single-Family Residential (SR-4) Zoning District, the maximum allowed height of an accessory structure is 15 feet. *[per § 550-24F(2)(i)]*.



## BUILDING SAFETY & ZONING DIVISION

### PLAN COMMISSION STAFF REPORT

#### 4. Exceptions to Maximum Height Regulations are allowed under Section § 550-83C:

C. Any building or structure not otherwise accounted for by Subsection B above may exceed said maximum height regulations with the granting of a **conditional use permit** which specifically states the maximum permitted height of the proposed building or structure.

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The vertical distance from the lowest elevation of the adjoining ground level or the established grade, whichever is lower, to the top of the cornice of a flat roof, to the deckline of a mansard roof, to a point of the roof directly above the highest wall of a shed roof, to the uppermost point on a round or other arch-type roof, or to the midpoint distance of the highest gable on a pitched or hip roof. Unless excepted by specific provisions in this chapter, building height includes the height of any structures attached to a building.

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*Under 2017 Wisconsin Act 67: Section 16. 62.23 (7) (de) Conditional Use Permits.*

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If a city denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in par. (e) 10.

#### PLAN COMMISSION DECISION:

Residential Accessory Structure CUP Criteria	Applicant Provided Substantial Evidence		Opponent Provided Substantial Evidence		PC Finds Standards Met	
A conditional use permit is required for any combination of 'Residential Accessory Structures' that exceeds 1,000 square feet of gross floor area.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No
A conditional use permit is required to exceed the maximum building height regulations.	<u>Yes</u>	No	Yes	<u>No</u>	<u>Yes</u>	No

*If Plan Commission answers "no" to any of the questions, above, the CUP must be denied. Otherwise, proceed to the conditions of approval.*

**BUILDING SAFETY & ZONING DIVISION  
PLAN COMMISSION STAFF REPORT**

**PLAN COMMISSION OPTIONS:**

The following are possible options for the Plan Commission:

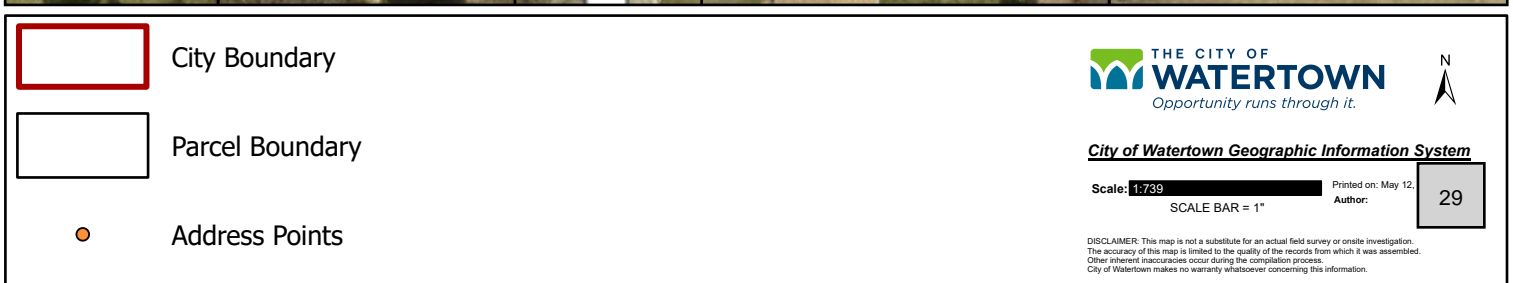
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3. Approve any or all of the Conditional Use Permits with conditions as identified by the Plan Commission:
  - a. The CUP granted under § 550-83C shall state: The maximum height of the accessory structure (storage shed) shall be no more than 22ft.

**STAFF RECOMENDATION:**

- Staff recommends approval of these three Conditional Use Permits with conditions.

**ATTACHMENTS:**

- Application materials.





- 1) North arrow shall be correctly placed.
- 2) Draw a completely dimensioned plot plan.
- 3) Note adjoining streets and/or alleys.
- 4) Note curb cuts.

Owner	David Saxby
Street Address	861 west St
Phone No.	920-988-2542

Date: 4/15/2025 - 1:25 PM  
 Design Name: Garage steel 30x50x12 garage doors  
 Design ID: 315957601577  
 Estimated Price: \$28,904.79

*\*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

MENARDS®

# Design & Buy GARAGE

Section 3, Item F.™

## How to recall and purchase your design at home:



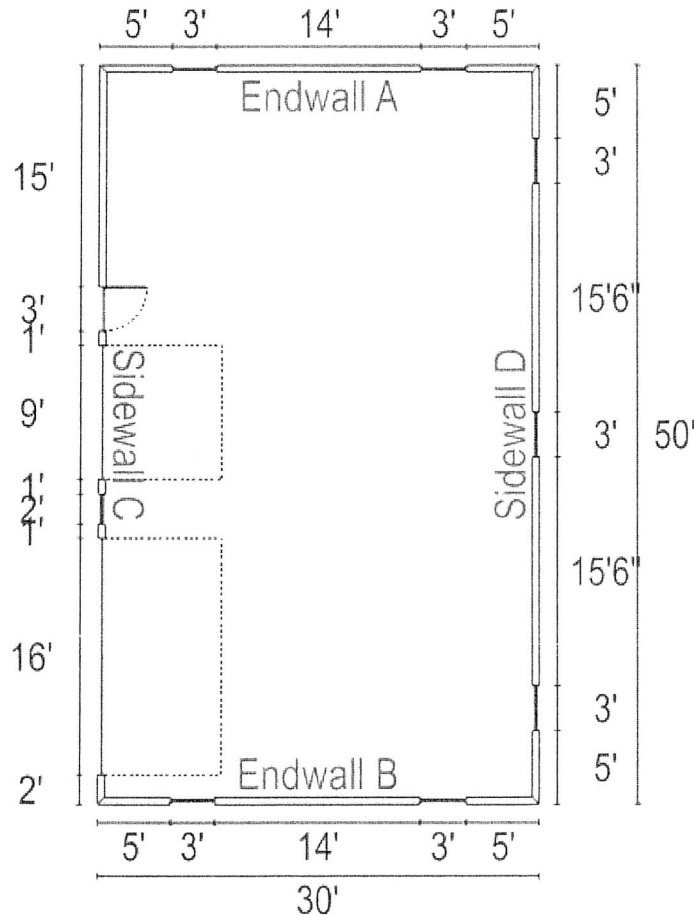
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2. Select the Garage Designer
3. Recall your design by entering Design ID: 315957601577
4. Follow the on-screen purchasing instructions

## How to purchase your design at the store:

1. Enter Design ID: 315957601577 at the Design-It Center Kiosk in the Building Materials Department
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## Garage Image



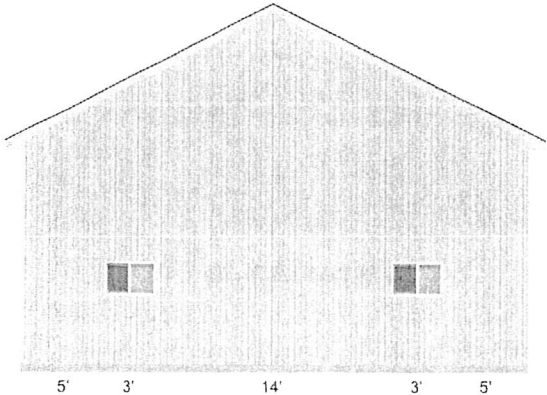
Date: 4/15/2025 - 1:25 PM  
Design Name: Garage steel 30x50x12 garage doors  
Design ID: 315957601577  
Estimated Price: \$28,904.79

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Dimensions

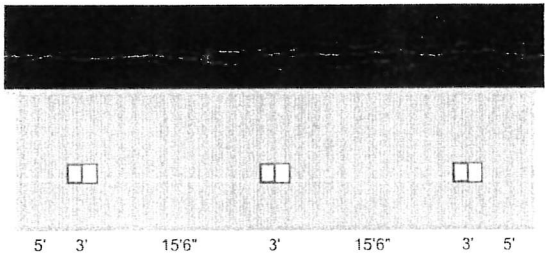
Wall Configurations

\*Some items like wainscot, gutter, gable accents, are not displayed if selected.



ENDWALL B

- 36"W x 24"H Performax™ Slider Window with Nailing Flange
- 36"W x 24"H Performax™ Slider Window with Nailing Flange



SIDEWALL D

- 36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould
- 36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould
- 36"W x 24"H Performax™ Black Slider Window with Nailing Flange and Brickmould

Design & Buy  
GARAGE

at **MENARDS**

Select a Store

Design

Building Type

Materials

Summary

Purchase

David

Building

Wall

Roof

Openings

Additional Options

Back

Continue

\* Approximate Peak Height is 20'5"

\* Approximate Ceiling Height is 12'6"

Material Information

3D View

Estimated Price: \$28,055.86

Building Width

Select your Building Width

30'

Building Length

Select your Building Length

50'

Building Height

Select your Building Height

12'

Wall Framing Stud

Select your Wall Framing Stud

2 x 6

Roof Framing

Select your Roof Framing

Truss Construction

Truss Type

Select your Truss Type

Scissors

Building Height

• Select the height of your building framing (wall studs).

• Note that 10 and 12-foot wall heights include studs that MUST be cut.

• Approximate peak height displayed is the distance from the top of the floor to the building peak. Actual peak height may vary based on curb, framing and final truss design.

• Building heights displayed are based on approximate plate heights of 97", 109", 121" and 145".

• Poured concrete curb or rows of concrete block will be included in the displayed peak height, headroom calculation and the available room for overhead door headers.

Peak Height

Building Height

Curb or Concrete Blocks

Ceiling Height

Concrete Floor

Garage v3.7.0

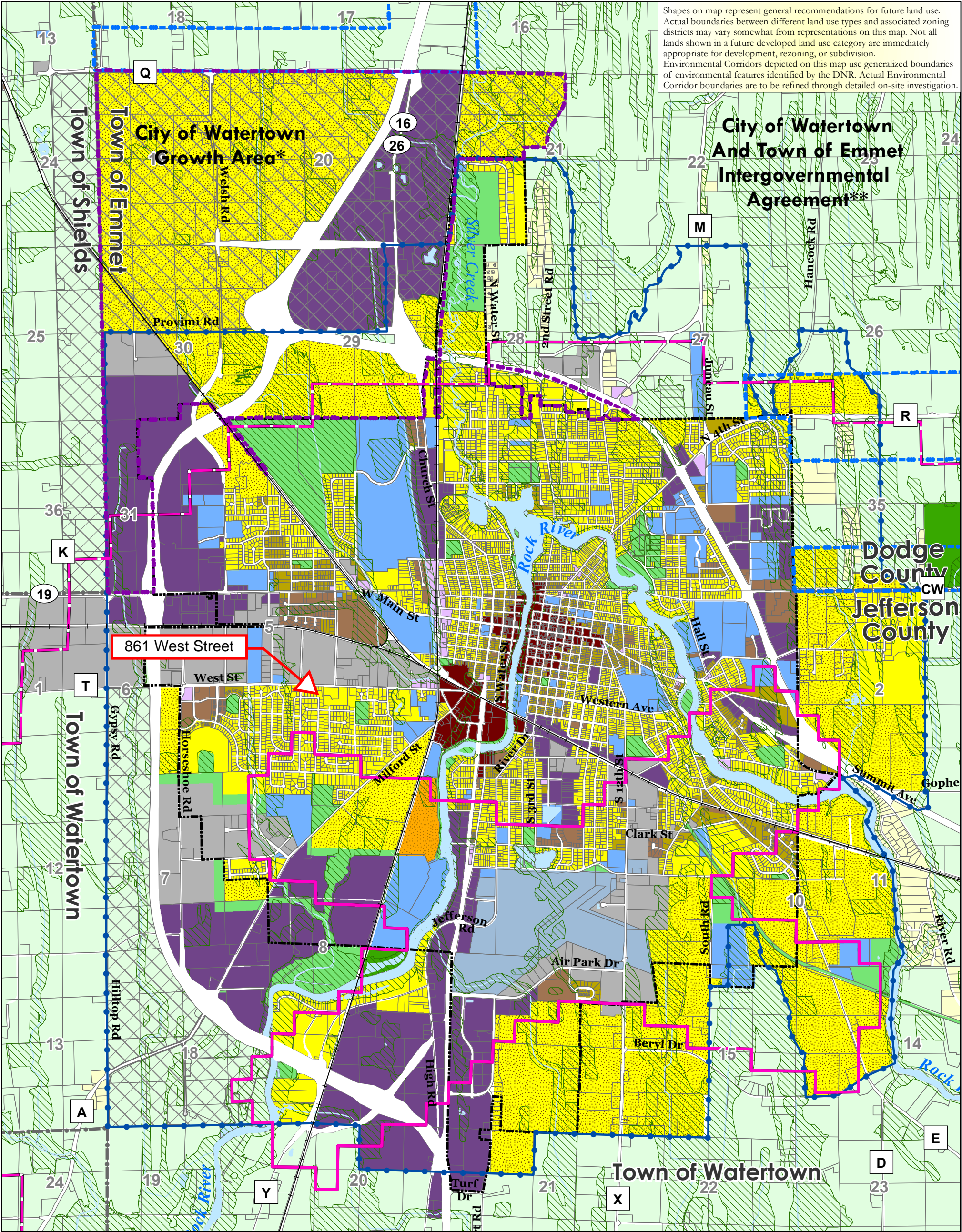
**MENARDS**

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Leave a message

33





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Watertown  
And Town of Emmet  
Intergovernmental  
Agreement\*\***

**Dodge  
County  
Jefferson  
County**

## Future Land Use Urban Area

**Map  
6b**

City/Town IGA\*\*  
City Growth Area  
City Periphery Areas

### City of Watertown Comprehensive Plan

#### Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood\*\*
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

\*Each "Planned Mixed Use Area" may include mix of:  
1. Office  
2. Multi-Family Residential  
3. Mixed Industrial  
4. Commercial Services/Retail  
5. Institutional  
6. Parks & Recreation



\*\*"Planned Neighborhoods" should include a mix of the following:  
1. Single-Family - Sewered (predominant land use)  
2. Two-family Residential  
3. Multi-Family Residential  
4. Institutional  
5. Neighborhood Mixed Use  
6. Parks & Recreation



\*\*\*Each "Riverside Mixed Use Area" may include mix of:  
1. Office  
2. Single-Family - Sewered  
3. Two-Family Residential  
4. Multi-Family Residential  
5. Commercial Services/Retail  
6. Institutional  
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

#### Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019  
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

**VANDEWALLE & ASSOCIATES INC.**  
Shaping places, shaping change

**THE CITY OF  
WATERTOWN**  
Opportunity runs through it.



0 0.25 0.5 1 Miles



**BUILDING SAFETY & ZONING DIVISION  
PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9<sup>th</sup>, 2025  
SUBJECT: N8305 Hustisford Road - Extraterritorial Certified Survey Map (CSM)

A request by Jacqueline Christensen to create a one lot Certified Survey Map (CSM) within the City of Watertown 3-mile extraterritorial plat review jurisdiction. Parcel PIN(s): 012-0816-1942-000

**SITE DETAILS:**

Parent Parcel Acres: 10.25  
Proposed Lot Size(s): Lot 1 – 1.0 acres.  
Jurisdiction: Town of Ixonia

**BACKGROUND & APPLICATION DESCRIPTION:**

The applicant is proposing to create a one lot Certified Survey Map with road access to Hustisford Road. The purpose of the land division is to create a lot for a new home.

**STAFF EVALUATION:**

The proposed lot is not located within the Airport Approach Protection Zone. Hustisford Road is not identified in the 2019 City of Watertown Comprehensive Plan as having an expanded ROW. The existing 66 ft ROW is adequate for this location. The proposed ROW shown on the CSM should be shown as dedicated to the public.

**PLAN COMMISSION OPTIONS:**

The following possible options for the Plan Commission:

1. Deny the preliminary extraterritorial CSM.
2. Approve the preliminary extraterritorial CSM without conditions.
3. Approve the preliminary CSM with other conditions as identified by the Plan Commission:
  - Correct the notation on the CSM indicating the Hustisford Road ROW is dedicated to the public not the City of Watertown.

**STAFF RECOMMENDATION:**

- Staff recommends approval of the CSM with conditions.

**ATTACHMENTS:**

- Application materials.



City Boundary



City of Watertown 3 Mile Jurisdiction



City of Watertown Geographic Information System

Scale: 1:26,400 Printed on: May 29, 2011  
 SCALE BAR = 1" Author:

DISCLAIMER: This map is not a substitute for an actual field survey or onsite inspection. The accuracy of this map is limited to the quality of the records from which it was derived. Other inherent inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





# CERTIFIED SURVEY MAP NO.

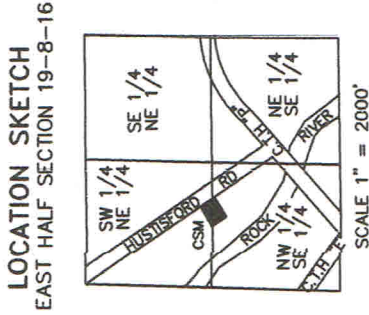
BEING PART OF THE SW 1/4 OF THE NE 1/4 AND THE  
NW 1/4 OF THE SE 1/4 OF SECTION 19-8-16  
TOWN OF IXONIA, JEFFERSON COUNTY, WISCONSIN

PREPARED FOR: OWNER  
JACQUELINE M. CHRISTENSEN  
N8305 HUSTISFORD RD.  
WATERTOWN, WI 53094

PREPARED BY:  
FRANKLIN J. LEHMAN  
PO BOX 202  
LAKE MILLS, WI 53551  
262-767-8786

## LEGEND

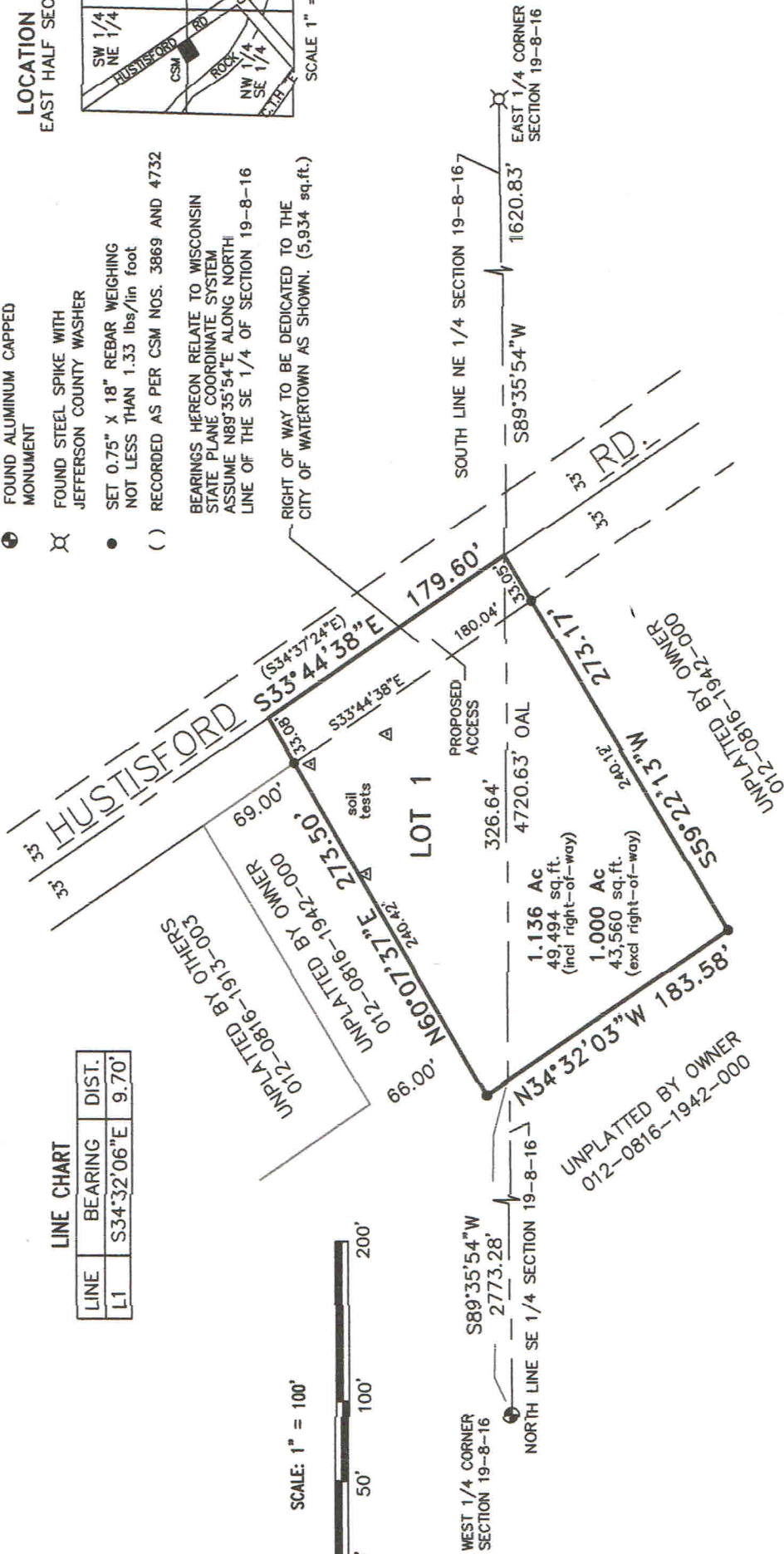
- FOUND ALUMINUM CAPPED MONUMENT
  - FOUND STEEL SPIKE WITH JEFFERSON COUNTY WASHER
  - SET 0.75" X 18" REBAR WEIGHING NOT LESS THAN 1.33 lbs/lin foot
  - RECORDED AS PER CSM NOS. 3869 AND 4732
- BEARINGS HEREON RELATE TO WISCONSIN STATE PLANE COORDINATE SYSTEM ASSUME N89°35'54"E ALONG NORTH LINE OF THE SE 1/4 OF SECTION 19-8-16
- RIGHT OF WAY TO BE DEDICATED TO THE CITY OF WATERTOWN AS SHOWN. (5,934 sq.ft.)



## LINE CHART

LINE	BEARING	DIST.
L1	S34°32'06"E	9.70'

SCALE: 1" = 100'



FRANKLIN J. LEHMAN S-2211  
rev. 6/4/25  
5/16/25  
DATE JOB NUMBER

Section 3, Item G.

PETITION NO. R4543A-24 ZONING A3  
Check with subsequent zoning change  
with Jefferson County Zoning.

SHEET 1 OF 3

THIS INSTRUMENT DRAFTED BY FRANKLIN J. LEHMAN



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING PART OF THE SW 1/4 OF THE NE 1/4 AND THE  
NW 1/4 OF THE SE 1/4 OF SECTION 19-8-16  
TOWN OF IXONIA, JEFFERSON COUNTY, WISCONSIN

## SURVEYOR'S CERTIFICATE

I, FRANKLIN J. LEHMAN, WISCONSIN PROFESSIONAL LAND SURVEYOR DO HEREBY  
CERTIFY THAT AT THE DIRECTION OF JACQUELINE M. CHRISTENSEN, OWNER OF SAID  
PROPERTY, HAVE SURVEYED, DIVIDED, DEDICATED, AND MAPPED PART OF THE SW 1/4  
OF THE NE 1/4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 19, TOWNSHIP 8 NORTH,  
RANGE 16 EAST, IN THE TOWN OF IXONIA, JEFFERSON COUNTY, WISCONSIN, BEING  
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST 1/4 OF SAID SECTION 19;

THENCE SOUTH 89°35'54" WEST, 1620.83 FEET TO A POINT ON THE CENTER LINE  
OF HUSTISFORD ROAD;

THENCE SOUTH 59°22'13" WEST, 273.17 FEET;

THENCE NORTH 34°32'03" WEST, 183.58 FEET;

THENCE NORTH 60°07'37" EAST, 273.50 FEET TO THE CENTERLINE OF HUSTISFORD ROAD;

THENCE SOUTH 33°44'38" EAST (rec'd as S34°37'24"E) ALONG SAID CENTER LINE,  
ALONG SAID CENTERLINE, 179.60 FEET TO THE PLACE OF BEGINNING.

DEDICATED TO THE CITY OF WATERTOWN EXTRA TERRITORIAL THE NORTHEASTERLY  
33 FEET THEREOF FOR ROAD PURPOSES (HUSTISFORD ROAD). (5,934 sq.ft.)

CONTAINING 1.136 ACRES OF LAND (49,494 square feet) INCLUDING RIGHT OF WAY. AND  
1.000 ACRES OF LAND (43,560 square feet) EXCLUDING DEDICATED RIGHT OF WAY.

THAT THE MAP IS A TRUE REPRESENTATION OF THE EXTERIOR BOUNDARIES OF SAID  
PROPERTY. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF s236.34 OF THE  
WISCONSIN STATUTES, THE TOWN OF IXONIA, THE CITY OF WATERTOWN, AND THE  
COUNTY OF JEFFERSON IN DIVIDING AND MAPPING THE SAME.

## OWNER'S CERTIFICATE

I JACQUELINE M. CHRISTENSEN, AS OWNER, DO HEREBY CERTIFY THAT I HAVE CAUSED  
THE LAND DESCRIBED ON THE CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED,  
DEDICATED AND MAPPED AS REPRESENTED HEREON. I FURTHER CERTIFY THAT THIS  
CERTIFIED SURVEY MAP IS REQUIRED BY S.236.34 OF THE WISCONSIN STATUTES TO  
BE SUBMITTED TO THE FOLLOWING FOR APPROVAL:

- 1.) JEFFERSON COUNTY PLANNING AND ZONING
- 2.) TOWN OF IXONIA

\_\_\_\_\_  
JACQUELINE M. CHRISTENSEN (OWNER)

STATE OF WISCONSIN ) SS  
JEFFERSON COUNTY ) SS

PERSONALLY CAME BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_ 2025,  
THE ABOVE NAMED JACQUELINE M. CHRISTENSEN TO ME  
BE KNOWN AS THE PERSON WHO EXECUTED THE FORE-  
GOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC, JEFFERSON COUNTY, WISCONSIN

\_\_\_\_\_  
MY COMMISSION EXPIRES

FRANKLIN J. LEHMAN S-2211

rev: 6/4/25

5/16/25

DATE

220801

JOB NUMBER

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING PART OF THE SW 1/4 OF THE NE 1/4 AND THE  
NW 1/4 OF THE SE 1/4 OF SECTION 19-8-16  
TOWN OF IXONIA, JEFFERSON COUNTY, WISCONSIN

CITY OF WATERTOWN PLAN COMMISSION (EXTRA TERRITORIAL)  
APPROVED BY THE CITY OF WATERTOWN EXTRA-TERRITORIAL JURISDICTION  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
ROBERT STOCKS                      MAYOR

I HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IS A TRUE AND CORRECT COPY  
OF A CERTIFIED SURVEY MAP ADOPTED BY THE PLAN COMMISSION OF THE CITY OF  
WATERTOWN.

DATE: \_\_\_\_\_  
\_\_\_\_\_  
MEGAN DUNNEISEN, CITY CLERK

IXONIA TOWN BOARD  
APPROVED BY THE IXONIA TOWN BOARD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025

\_\_\_\_\_  
BRIAN DERGE                      SUPERVISOR

JEFFERSON COUNTY PLANNING AND ZONING  
APPROVED BY PLANNING AND ZONING OF JEFFERSON  
COUNTY.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025

\_\_\_\_\_  
MATT ZANGL                      ADMINISTRATOR

FRANKLIN J. LEHMAN                      S-2211

6/4/25                      220801  
DATE                      JOB NUMBER

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9<sup>th</sup>, 2025  
SUBJECT: 510 Cole St – Preliminary Certified Survey Map (CSM)

A request by Rev. Kurt Liebenow, agent for Watertown Moravian Church, to create a Certified Survey Map (CSM) within the City of Watertown. Parcel PIN(s): 291-0815-0412-013, 291-0815-0412-012, & 291-0815-0412-011.

**SITE DETAILS:**

Existing Parcel(s) Acres: 0.43, 0.08, & 0.19 acres  
Proposed Lot Size(s): Lot 1 – 0.71 acres (30,918 S.F.)  
Jurisdiction: City of Watertown

**BACKGROUND & APPLICATION DESCRIPTION:**

The applicant is proposing to combine three existing parcels to create a new one-lot CSM. The purpose of the CSM is to facilitate a vestibule addition and elevator lift to be built on west side of the existing building. The existing garage will be removed as part of that project. The proposed CSM lot is located within the Airport Approach Protection Zone with a maximum elevation of 968 feet above mean sea level for all buildings and vegetation. A note indicating this elevation has been added to the CSM. The ROWs for Cole Street and N 6<sup>th</sup> Street are adequate in this location. No ROW dedication is required.

**PLAN COMMISSION OPTIONS:**

The following possible options for the Plan Commission:

1. Deny the CSM.
2. Approve the CSM without conditions.
3. Approve the CSM with other conditions as identified by the City of Watertown Plan Commission:

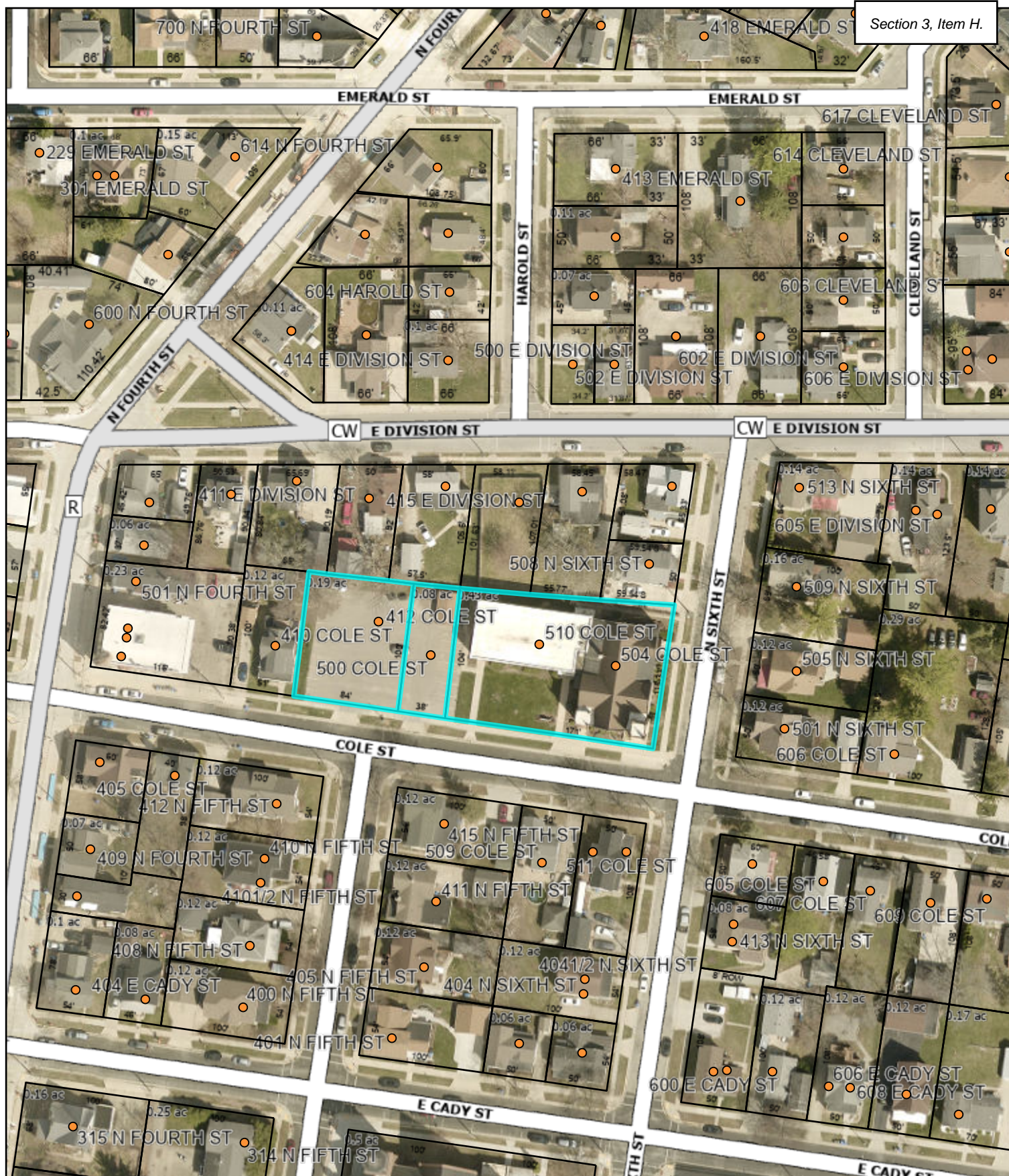
**STAFF RECOMMENDATION:**

- Staff recommends approval of the CSM.

**ATTACHMENTS:**

- Application materials.





City Boundary



Address Points



Parcel Boundary



City of Watertown 3 Mile Jurisdiction



City of Watertown Geographic Information System

Scale: 1:1,232

SCALE BAR = 1"

Printed on: May 29,  
Author:

41

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other interest inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.



## Sheet 1 of 3

Northeast corner  
 Sec. 4-8-15  
 alum. cap mon. found  
 N: 628785.07  
 E: 877649.79  
 (Jefferson County  
 Coordinates)

Bearings are referenced to the Wisconsin County Coordinate System, Jefferson County Zone (NAD-83, 2011 Adjustment). The north line of the NE 1/4 of Sec. 4-8-15 has a grid bearing of N 89°03'33" W.

Scale in feet  
1" = 60'



Donald J. Thoma, S-2470

Dated this 28<sup>th</sup> day of May, 2025.

This instrument was drafted by Donald J. Thoma, S-2470

Section 3, Item H.

NOTE: LOT 1 HAS AN AIRPORT APPROACH PROTECTION ZONE ELEVATION LIMIT OF 968 FEET ABOVE MEAN SEA LEVEL FOR ALL BUILDINGS, STRUCTURES AND OBJECT OF NATURAL GROWTH, WHETHER OR NOT SUCH BUILDINGS, STRUCTURES AND OBJECT OF NATURAL GROWTH ARE IN EXISTENCE.

# Jefferson County Certified Survey Map

Part of Lot One (1), Two (2) and Three (3), in Block Fifty Eight (58) plat of City of Watertown East Side, part of the NE Fractional 1/4 and NW Fractional 1/4 of the NE 1/4 of Section 4, Township 8 North, Range 15 East, City of Watertown, Jefferson County, Wisconsin.

## Surveyor's Certificate:

I, Donald J. Thoma, Professional Land Surveyor, hereby certify that by the direction of Rev. Kurt Liebenow, I have surveyed, divided and mapped the land shown and described hereon, being Part of Lot One (1), Two (2) and Three (3), in Block Fifty Eight (58) plat of City of Watertown East Side, part of the NE Fractional 1/4 and NW Fractional 1/4 of the NE 1/4 of Section 4, Township 8 North, Range 15 East, City of Watertown, Jefferson County, Wisconsin, which is bounded and described as follows:

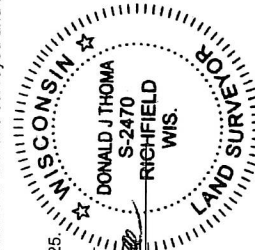
Commencing at the southeast corner of Section 33-9-15 marked by a concrete monument with a iron cap found; thence N 89°03'33" W, along the north line of said NE 1/4, 1242.17 feet, to intersection of the westerly right-of-way line of N. Sixth Street; thence S 09°14'46" W, along said westerly right-of-way line, 116.90 feet, to a cut "X" in a concrete drive marking the northeast corner of the south half of said Lot 1 and the southeast corner of lands described in Document No. 1402067, recorded in the Jefferson County Registry, being the point of beginning of lands herein described; thence continuing S 09°14'46" W, along said westerly right-of-way line, 115.33 feet, to a 1.3 inch od iron pipe found marking the intersection of the northerly right-of-way line of Cole Street and the southeast corner of said Block 58; thence N 80°53'14" W, along said northerly line of Cole Street, 293.00 feet; thence N 09°14'46" E, along the easterly line of Document No. 707744, as recorded in the Jefferson County Registry, 100.00 feet; thence S 80°53'14" E, 63.00 feet, to the easterly line of said Lot 3, marked by a 1.3 inch od iron pipe found; thence S 09°14'46" W, along said easterly line of Lot 3, 1.31 feet, to a 1.3 inch od iron pipe found; thence S 85°02'54" E, along the north line of the south half of said Lot 2, 115.32 feet, to a 3/4 inch iron rod found; thence S 85°00'02" E, along the north line of the south half of said Lot 1, 115.32 feet, to the point of beginning.

Containing 0.710 acre (30,918 square feet) more or less.

I further certify that I have fully complied with the provisions of sec. 236.34 of Wisconsin Statutes and the City of Watertown Land Division Ordinance in surveying, dividing, and mapping said land, and the this map is a correct representation of the exterior boundaries of the land surveyed and the division of said lands.

Dated this 25th day of May, 2025.

  
Donald J. Thoma, S-2470



## Corporate Owner's Certificate:

The Watertown Moravian Church, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land on this Certified Survey Map to be surveyed, divided and mapped as represented on this map.

Watertown Moravian Church, does further certify that this Certified Survey Map is required by sec. 236.34 of Wisconsin Statutes to be submitted to the following for approval.

City of Watertown Plan Commission

IN WITNESS WHEREOF, Watertown Moravian Church, has caused these presents to be signed by Mr. Aron Uttech and Rev. Kurt Liebenow, its Officers, at \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_.

In the presence of:

Watertown Moravian Church  
Corporate Name \_\_\_\_\_

Officer - Board of Trustees Chair: \_\_\_\_\_

Mr. Aron Uttech  
(Print) \_\_\_\_\_

Officer - Board of Elders Chair: \_\_\_\_\_

Rev. Kurt Liebenow  
(Print) \_\_\_\_\_

STATE OF WISCONSIN)

COUNTY's

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 202\_\_, Mr. Aron Uttech and Rev. Kurt Liebenow \_\_\_\_\_

Officers of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such Officers of said corporation, and acknowledge that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

(Notary Seal) \_\_\_\_\_, Notary Public, \_\_\_\_\_, Wisconsin.

My commission expires \_\_\_\_\_



# Jefferson County Certified Survey Map

Part of Lot One (1), Two (2) and Three (3), in Block Fifty Eight (58) plat of City of Watertown Est Side, part of the NE Fractional 1/4 and NW Fractional 1/4 of the NE 1/4 of Section 4, Township 8 North, Range 15 East, City of Watertown, Jefferson County, Wisconsin.

## City of Watertown Plan Commission Approval Certificate:

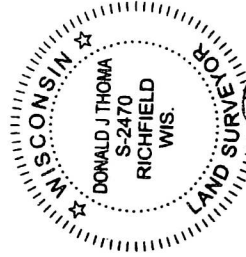
This Certified Survey Map, in the City of Watertown, is hereby approved by the Plan Commission of the City of Watertown.

Approved as of this \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

Date: \_\_\_\_\_ Signed: Robert Stocks - Mayor

I hereby certify that the foregoing is a true and correct copy of a Certified Survey Map adopted by the Plan Commission of the City of Watertown.

Date: \_\_\_\_\_ Signed: Megan Dunneisen - City Clerk



*[Signature]*  
 Donald J. Thoma, S-2470  
 Dated this 23rd day of May, 2025.

This instrument was drafted by Donald J. Thoma, S-2470

**BUILDING SAFETY & ZONING DIVISION**  
**PLAN COMMISSION STAFF REPORT**

TO: Plan Commission  
DATE: June 9th, 2025  
SUBJECT: 510 Cole St - Site Plan Review

Site Plan Review requested by Boyd Coleman, agent for Watertown Moravian Church, for a vestibule addition to an existing building. Parcel PIN(s): 291-0815-0412-013, 291-0815-0412-012, & 291-0815-0412-011.

**SITE DETAILS:**

Acres: 0.71 acres  
Current Zoning: Two-Family Residential (TR-6)  
Existing Land Use: Church  
Future Land Use Designation: Institutional

**BACKGROUND & APPLICATION DESCRIPTION:**

The applicant is proposing to construct a 295 S.F. vestibule addition (including roof overhang) to house an accessible elevator/lift. The existing garage on the property is being removed to accommodate the vestibule addition. An associated CSM combining existing parcels on the site to accommodate this vestibule addition is also pending before the Plan Commission.

**STAFF EVALUATION:**

**Land Use and Zoning:**

A Site Plan Review Committee recommendation and Plan Commission approval of the site plan is required pursuant to Sections 550-144 & 550-145 of the zoning code.

**Site Layout and Design:**

The proposed vestibule addition meets all setback and height requirements in the Two-Family Residential (TR-6) Zoning District.

**Landscaping:**

Existing landscaping at the site will be utilized. The proposed vestibule addition will not adversely affect the existing landscape surface ratio (LSR).

**Lighting:**

Existing lighting will at the site will be utilized. An exterior light shall be provided at the exit door.

**PLAN COMMISSION OPTIONS:**

The following are possible options for the Plan Commission:

1. Deny the Site Plan.
2. Approve the Site Plan without conditions.
3. Approve the Site Plan with conditions as identified by the Plan Commission:

**STAFF RECOMENDATION:**

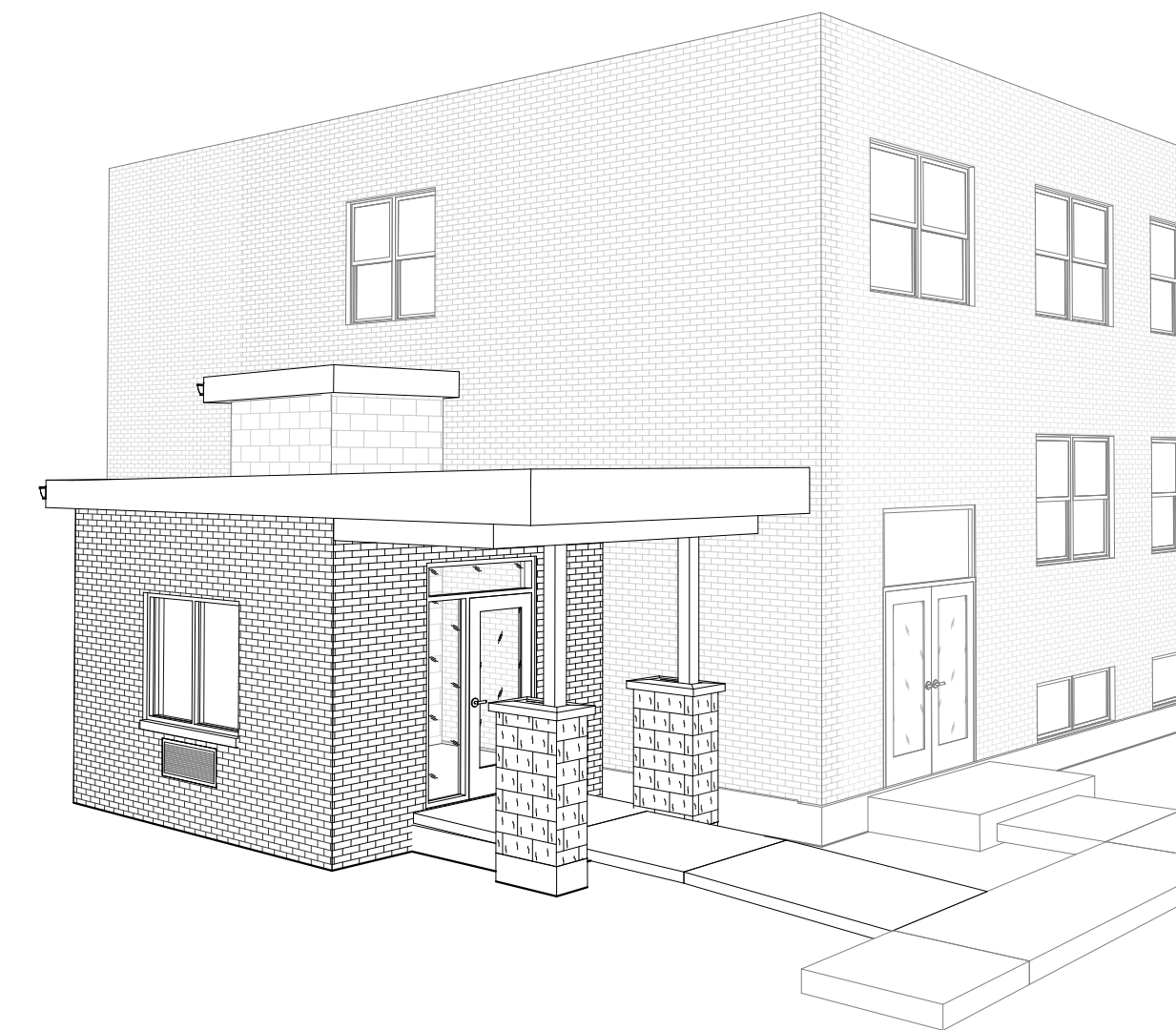
- Staff recommends approval of this Site Plan.

**ATTACHMENTS:**

- Application materials.



# CONSTRUCTION DOCUMENTS



ALL DRAWINGS AND WRITTEN MATERIAL  
APPEARING HEREIN CONSTITUTE ORIGINAL  
AND UNPUBLISHED WORK OF THE DESIGN  
PROFESSIONAL AND MAY NOT BE DUPLICATED,  
USED OR DISCLOSED WITHOUT WRITTEN  
CONSENT OF STRUCRITE, INC.

StrucRite, Inc.  
Boyd E. Coleman, P.E.  
President, Engineer  
707 N. Grand Ave. Suite 102  
Waukesha, WI 53186  
262.549.3222

1 Overall Site Plan  
1" = 30'-0"

# G1.0





COMcheck Software Version 4.1.5.5

Envelope Compliance Certificate

Project Information

Energy Code: 2015 IECC  
Project Title: Building Addition at lift  
Location: Watertown, Wisconsin  
Climate Zone: 6a  
Project Type: Addition  
Vertical Glazing / Wall Area: 22%

Construction Site: 510 Cole St  
Watertown, WI 53094  
Owner/Agent: Moravian Church  
510 Cole St  
Watertown, WI 53094

Designer/Contractor: Boyd Coleman  
StrucRite, Inc.  
707 N. Grand Ave - Suite 102  
Waukesha, WI 53186  
262-549-3222  
boydc@srinc.biz

Building Area	Floor Area
1-Accessible Lift Entrance (Religious Building) : Nonresidential	135

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sub>req</sub>
Floor 1: Slab-On-Grade/Unheated, Vertical 4 ft., [Bldg. Use 1 - Accessible Lift Entrance] (d)	34	---	10.0	0.480	0.540
Roof 1: Other Insulation Above Deck, [Bldg. Use 1 - Accessible Lift Entrance] (b)	280	---	---	0.040	0.032
<b>NORTH</b> Exterior Wall 1: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	68	19.0	0.0	0.109	0.064
<b>SOUTH</b> Exterior Wall 3: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	80	19.0	0.0	0.109	0.064
Door: Glass (> 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	20	---	---	0.450	0.770
Sidelight: Glass (> 50% glazing): Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	12	---	---	0.450	0.770
<b>WEST</b> Exterior Wall 2: Steel-Framed, 16" o.c., [Bldg. Use 1 - Accessible Lift Entrance]	128	19.0	0.0	0.109	0.064
Window: Metal Frame with Thermal Break/Fixed, Perf. Specs.: Product ID na, SHGC 0.40, [Bldg. Use 1 - Accessible Lift Entrance] (c)	28	---	---	0.300	0.360

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.  
(b) 'Other' components require supporting documentation for proposed U-factors.

Project Title: Building Addition at lift  
Data filename: G:\SRD Job Files\24191 Watertown Moravian Church Lift & Vestibule\Project Data\Code Info\Moravian\_ComCheck.cck  
Report date: 04/16/25  
Page 1 of 9

(c) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.  
(d) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Envelope PASSES: Design 3% better than code

Envelope Compliance Statement

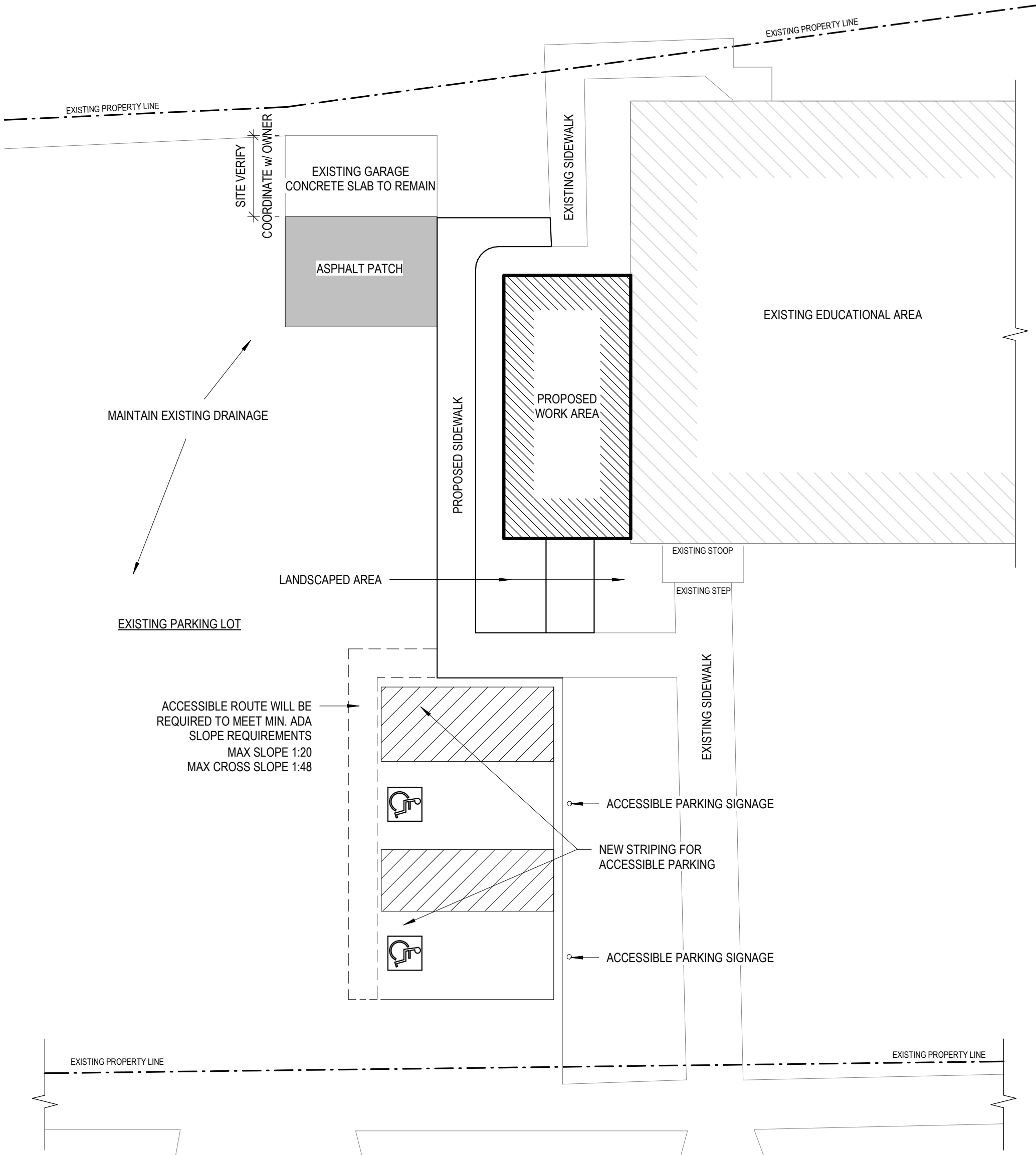
Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.5.5 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

Project Title: Building Addition at lift  
Data filename: G:\SRD Job Files\24191 Watertown Moravian Church Lift & Vestibule\Project Data\Code Info\Moravian\_ComCheck.cck  
Report date: 04/16/25  
Page 2 of 9

LIFE SAFETY ANALYSIS

SUBMITTAL TYPE		ADDITION				MAXIMUM EXIT DISTANCE		MAXIMUM	200'-0"	ACTUAL	12'-0"	PROPOSED ADDITION	
TYPE OF CONSTRUCTION		IIB				MAXIMUM COMMON PATH		MAXIMUM	75'-0"	ACTUAL	12'-0"		
NUMBER OF STORIES		2				MAXIMUM DEAD-END CORRIDOR		MAXIMUM	25'-0"	ACTUAL	12'-0"		
SPRINKLED		NO				TOTAL NUMBER OF EXITS		REQUIRED	1	ACTUAL	1		
SPRINKLER TYPE		-				REQUIRED STAIR WIDTH		REQUIRED	ETR	ACTUAL	ETR	PROPOSED ADDITION	
FIRE SUPPRESSION		-				REQUIRED EGRESS WIDTH		REQUIRED	32"	ACTUAL	36"		
FIRE ALARM		YES				MAIN OCCUPANCY TYPE		A-3					
ALARM TYPE		MANUAL				ALL OCCUPANCY TYPES		E, A-3					
WATER CLOSET-MALE		REQUIRED	ETR	PROVIDED	ETR	OCCUPANCY SEPARATIONS		1 HR FIRE RATED SHAFT ENCLOSURE					
WATER CLOSET-FEMALE		REQUIRED	ETR	PROVIDED	ETR	INCIDENTAL USES							
LAVATORIES		REQUIRED	ETR	PROVIDED	ETR	ALLOWABLE AREA							
TUBS/SHOWERS		REQUIRED	ETR	PROVIDED	ETR	(ADDITION) ACTUAL AREA FOR		295 SQFT (INCLUDING ROOF OVERHANG)					
DRINKING FOUNTAINS		REQUIRED	ETR	PROVIDED	ETR	ACTUAL AREA FOR		135 SQFT (ADDITION INTERIOR)					
OTHER						ACTUAL AREA FOR							
						TOTAL ACTUAL AREA		295 SQFT					
						TOTAL OCCUPANT LOAD		7 (AT ADDITION)					



1 Local Site Plan  
1" = 10'-0"

Moravian Church - Lift Vestibule  
510 Cole St.  
Watertown, WI 53094

REVISIONS

No.	DATE	DESCRIPTION
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CONSTRUCTION DOCUMENTS

SHEET TITLE:	BUILDING INFORMATION
JOB NUMBER:	24191
ISSUED DATE:	05.30.2025
DRAWN BY:	JJR
SHEET NUMBER:	G1.1



G1.1

**Moravian Church - Lift Vestibule**  
510 Cole St.  
Watertown, WI 53094

REVISIONS		
No.	DATE	DESCRIPTION

## CONSTRUCTION DOCUMENTS

SHEET TITLE:  
DEMOLITION PLANS

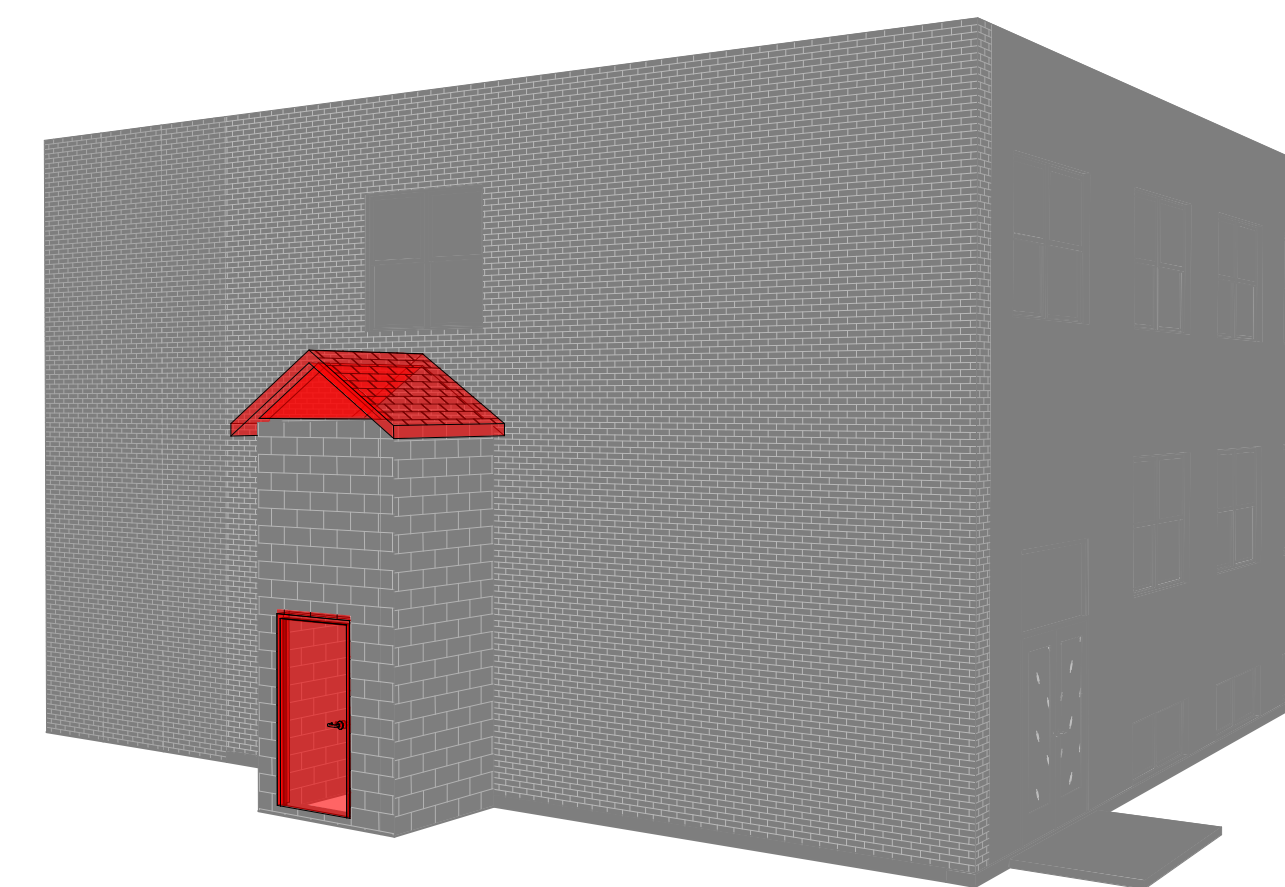
JOB NUMBER: 24191

ISSUED DATE: 05 30 2025

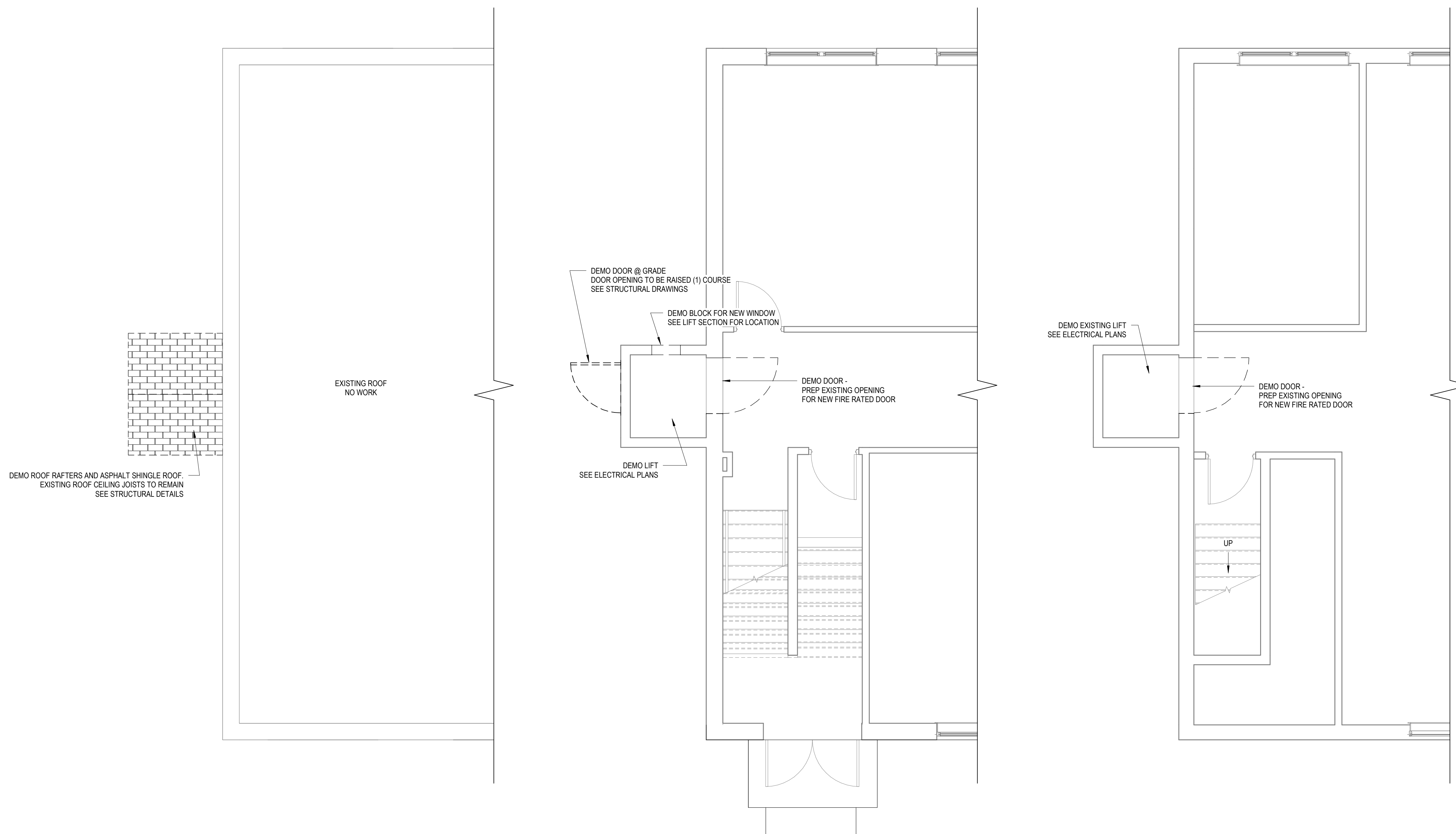
DRAWN BY: IJB

SHEET NUMBER:

# AD1.0



#### 4 PERSPECTIVE - DEMO VIEW



3 EXISTING / DEMO ROOF PLAN  
1/4" = 1'-0"



2 1st FLOOR - EXISTING / DEMO PLAN  
1/4" = 1'-0"



1 BASEMENT - EXISTING / DEMO PLAN  
1/4" = 1'-0"





Moravian Church - Lift Vestibule

510 Cole St.  
Watertown, WI 53094

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CONSTRUCTION DOCUMENTS

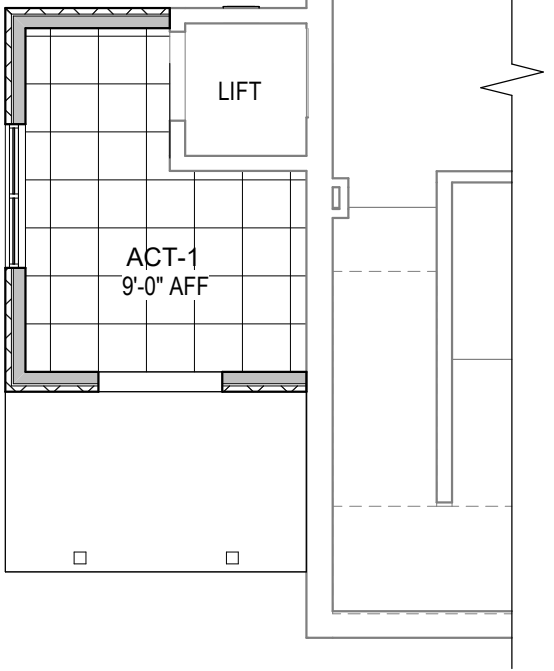
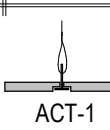
SHEET TITLE:	FLOOR PLANS
JOB NUMBER:	24191
ISSUED DATE:	05.30.2025
DRAWN BY:	JJR
SHEET NUMBER:	

A1.1

49

SUSPENDED CEILING ASSEMBLIES:

24" x 24" LAY-IN TILES: USG ECLIPSE CLIMA PLUS, PROFILE FL  
w/ USG CENTRICITEE DXT GRID, COLOR: FLAT WHITE



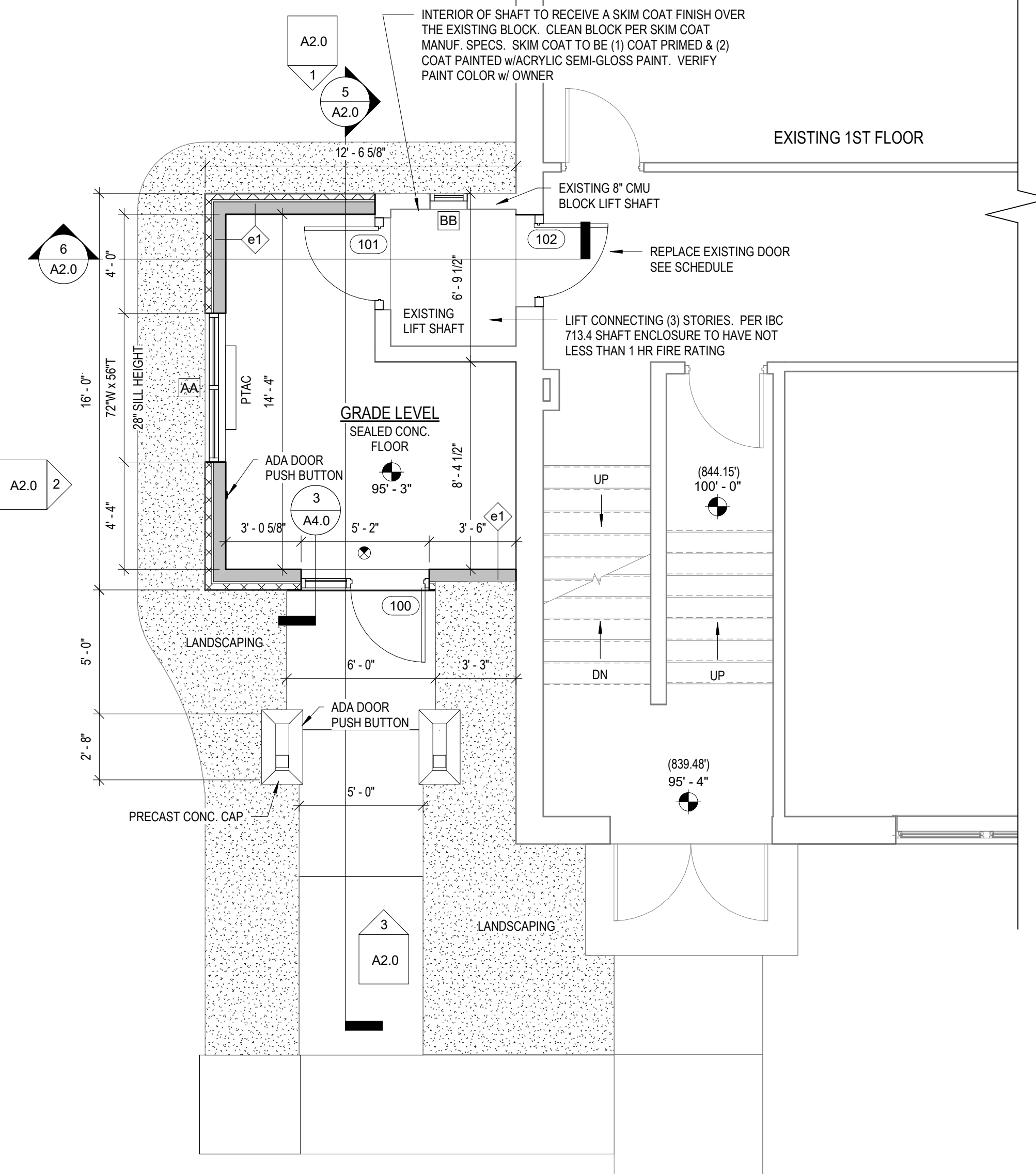
4

GRADE - RCP PLAN

1/8" = 1'-0"

LIFE SAFETY GENERAL NOTES:

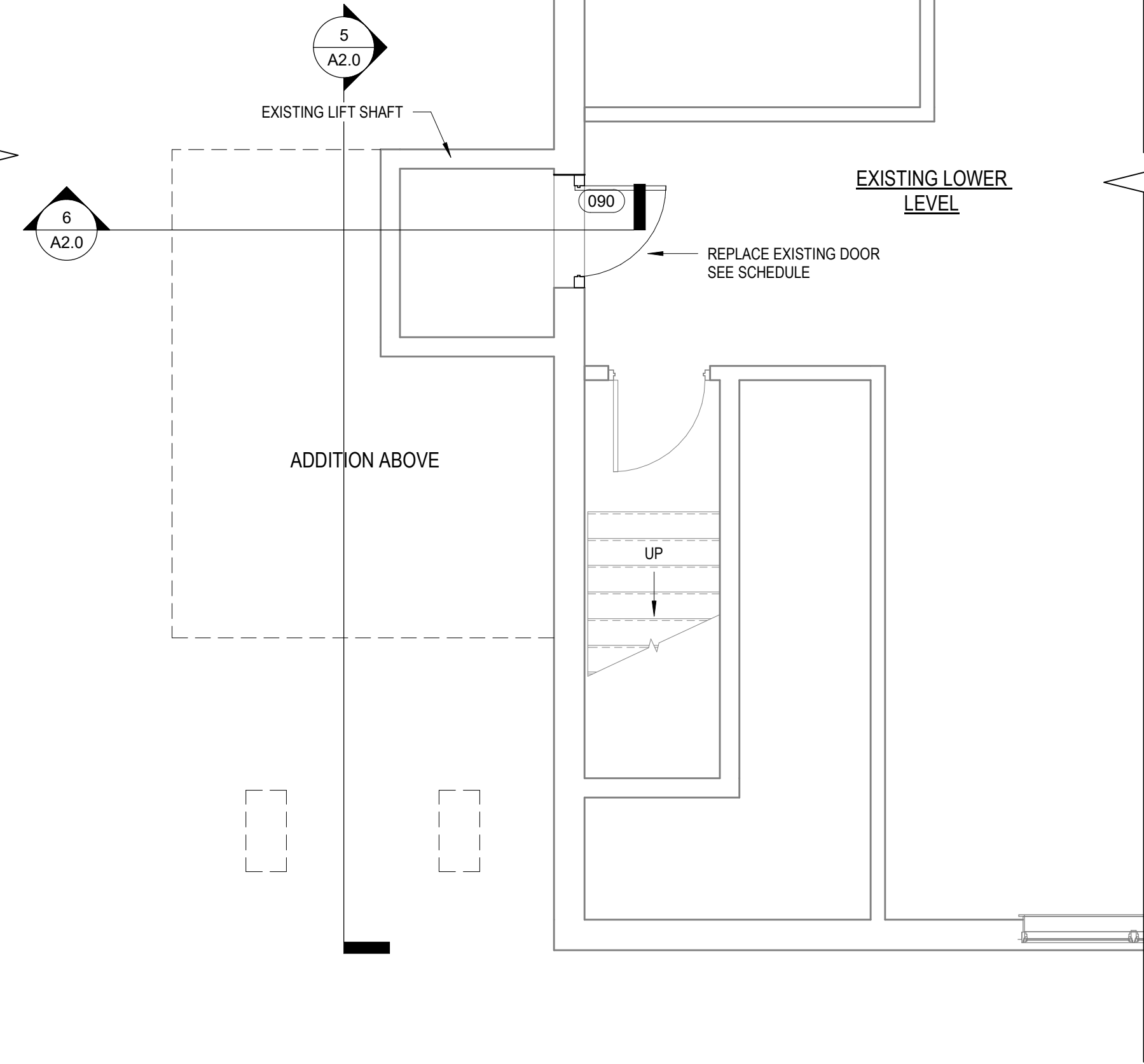
- MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED TO MEET CURRENT CODES. ELECTRICAL CONTRACTOR RESPONSIBLE FOR DESIGN AND SUBMITTAL TO STATE.
- AN EXTERIOR LIGHT SHALL BE PROVIDED AT EXIT DOORS AND BE PROVIDED WITH EMERGENCY POWER PER CURRENT CODES AND BE INCLUDED IN EGRESS ILLUMINATION PLANS.
- FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOCATIONS AS NOTED ON PLANS BELOW. EXTINGUISHERS ARE TO BE MOUNTED TO ADJACENT WALL OR COLUMN USING STANDARD MANUFACTURES BRACKETS OR EQUIVALENT. FOR WALL MOUNT LOCATIONS ATTACH BRACKET TO STUDS OR BLOCKING ONLY. EXTINGUISHERS TO MEET CURRENT BUILDING CODE AND NFPA 10.



2

PROPOSED GRADE / 1ST FLOOR

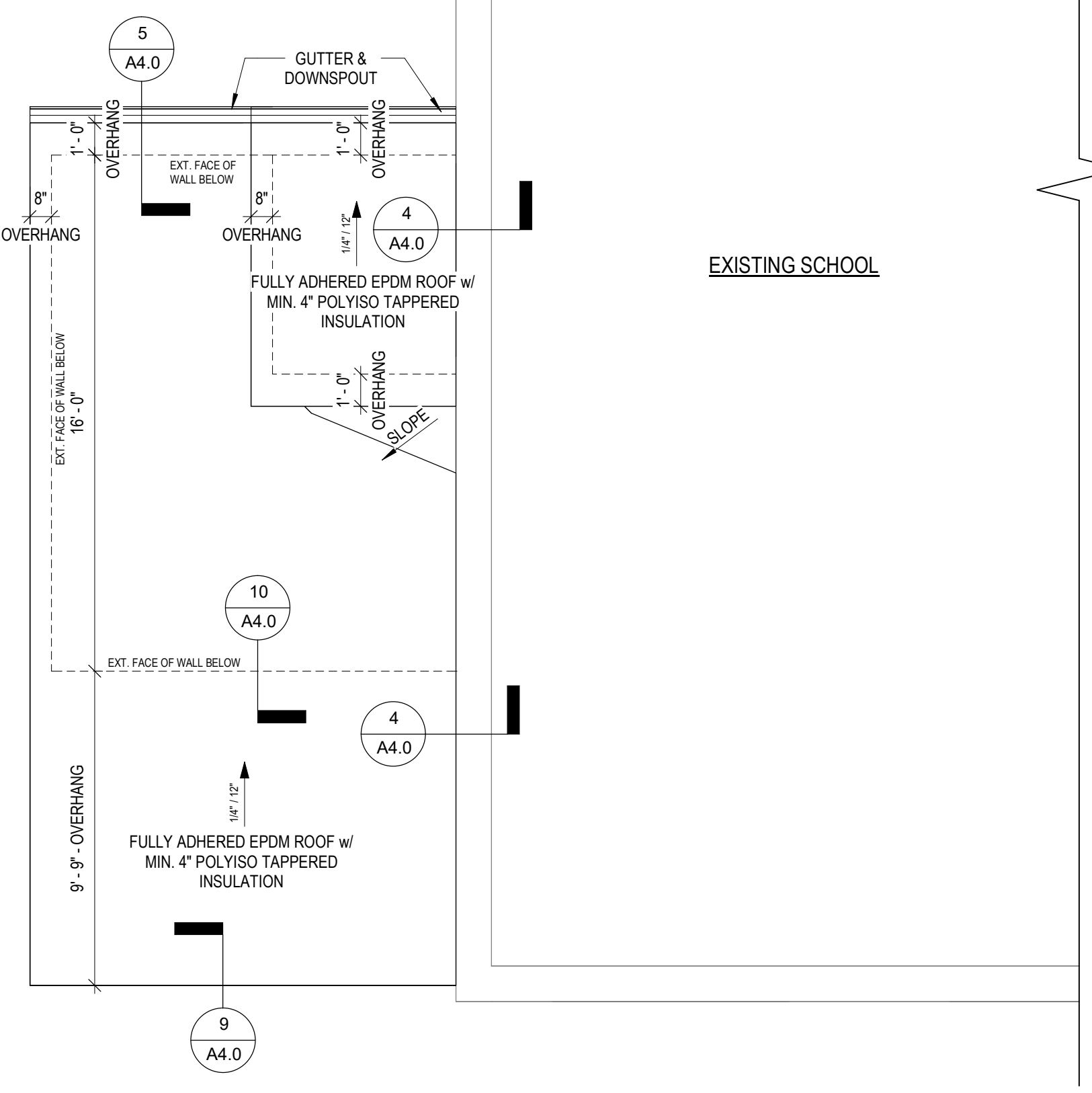
1/4" = 1'-0"



1

PROPOSED LOWER LEVEL

1/4" = 1'-0"



3

PROPOSED ROOF PLAN

1/4" = 1'-0"



Moravian Church - Lift Vestibule

510 Cole St.  
Watertown, WI 53094

REVISIONS

No.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS

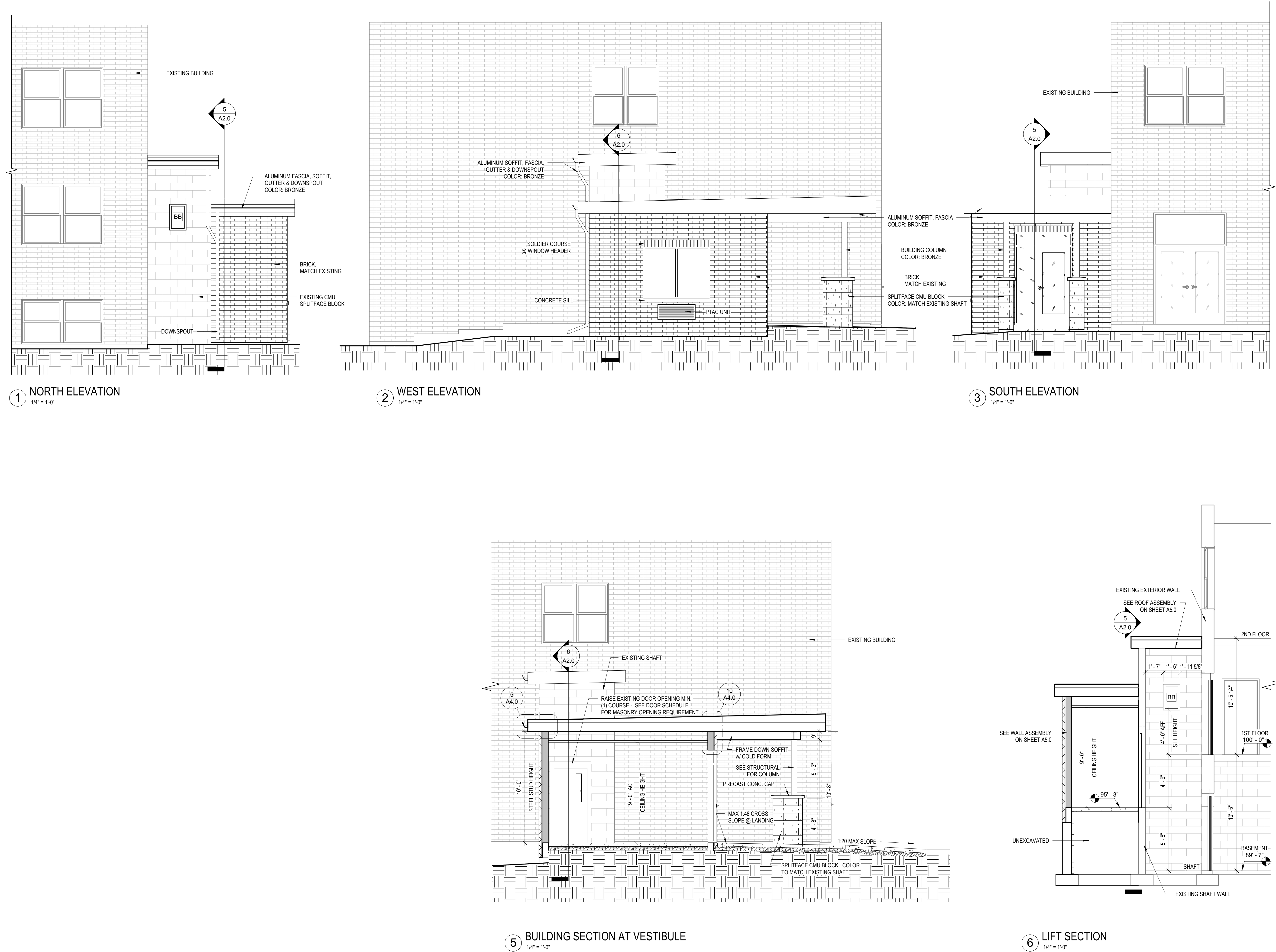
SHEET TITLE:  
ELEVATIONS & SECTIONS

JOB NUMBER:  
24191

ISSUED DATE:  
05.30.2025

DRAWN BY:  
JJR

SHEET NUMBER:  
A2.0



**510 Cole St.  
Watertown, WI 53094**

No.	DATE	DESCRIPTION
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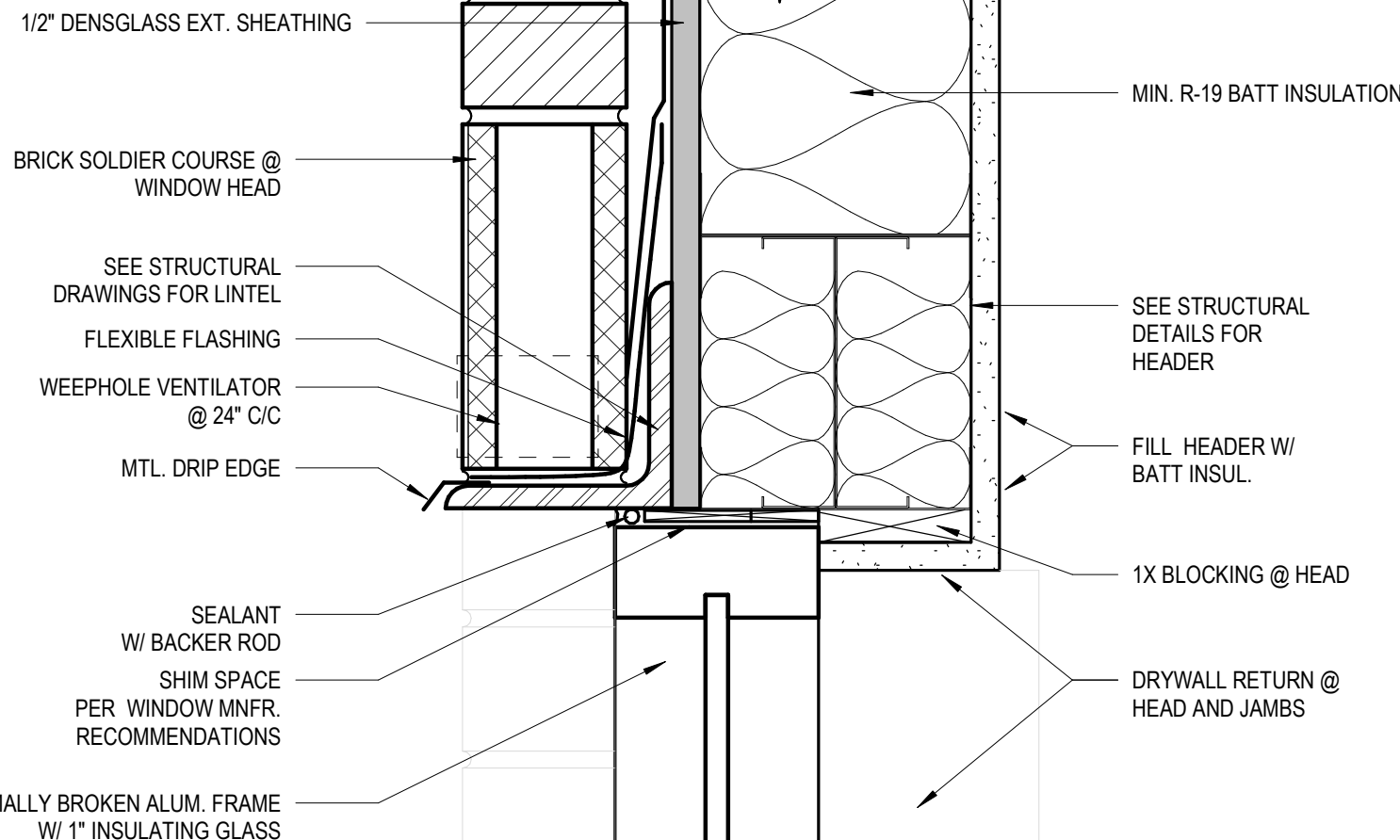
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JOB NUMBER: 24191

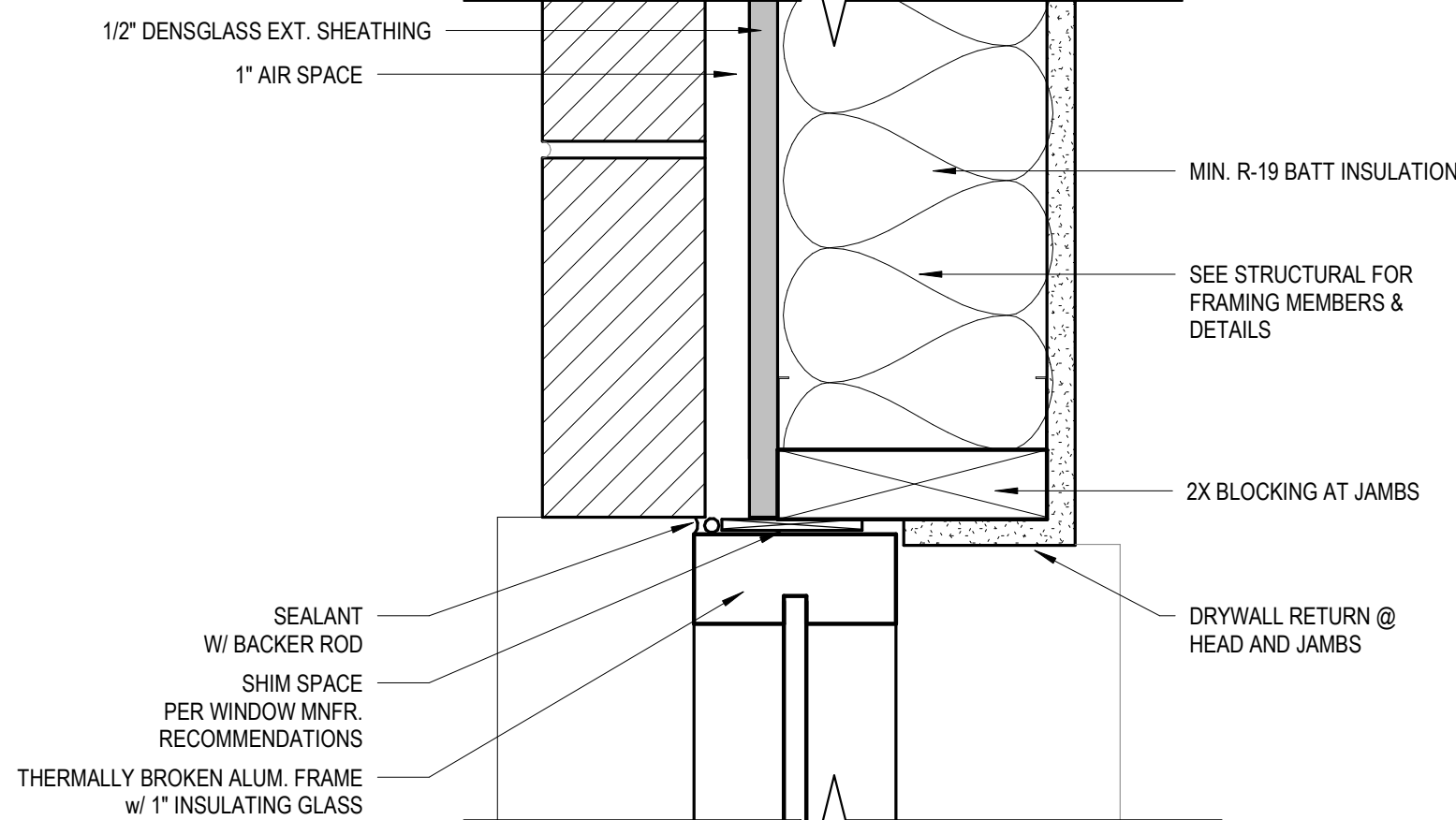
05.30.2025

JJR

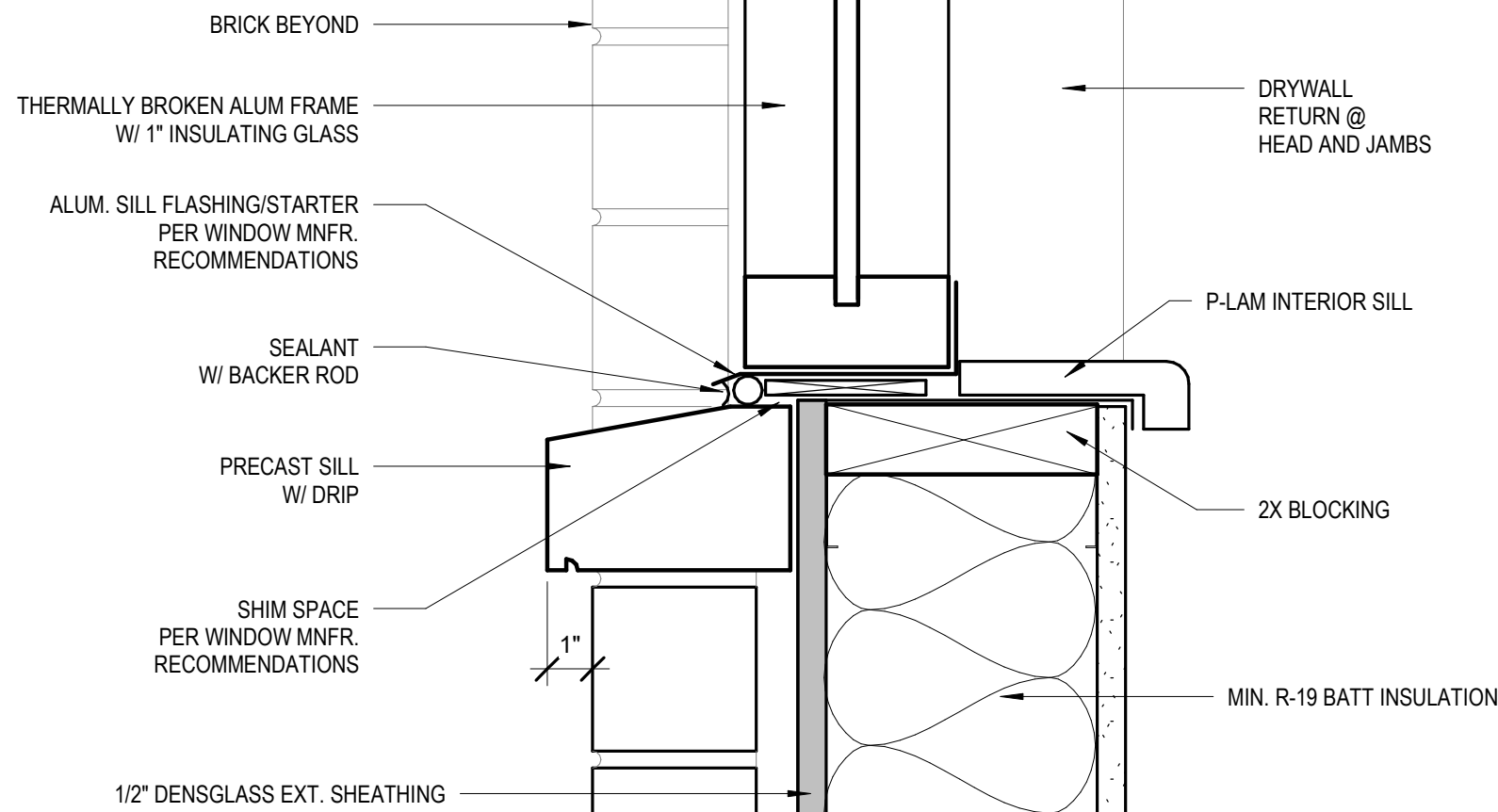
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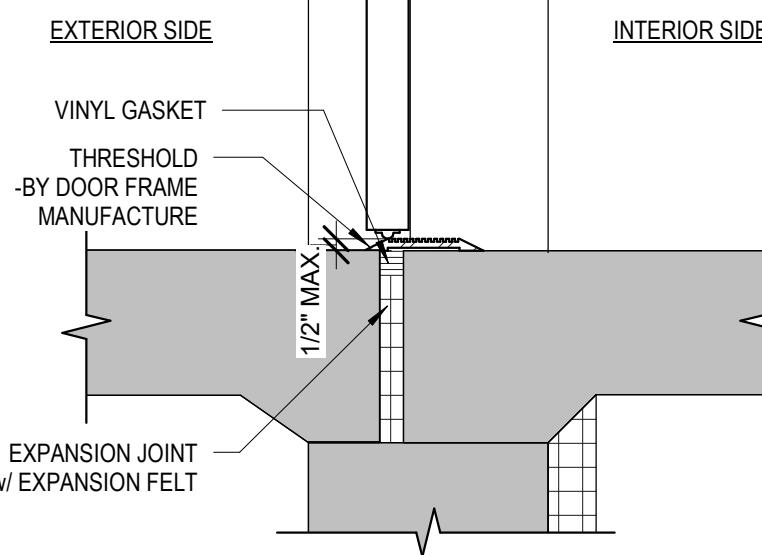
2 WIN  
3" = 1'-0"



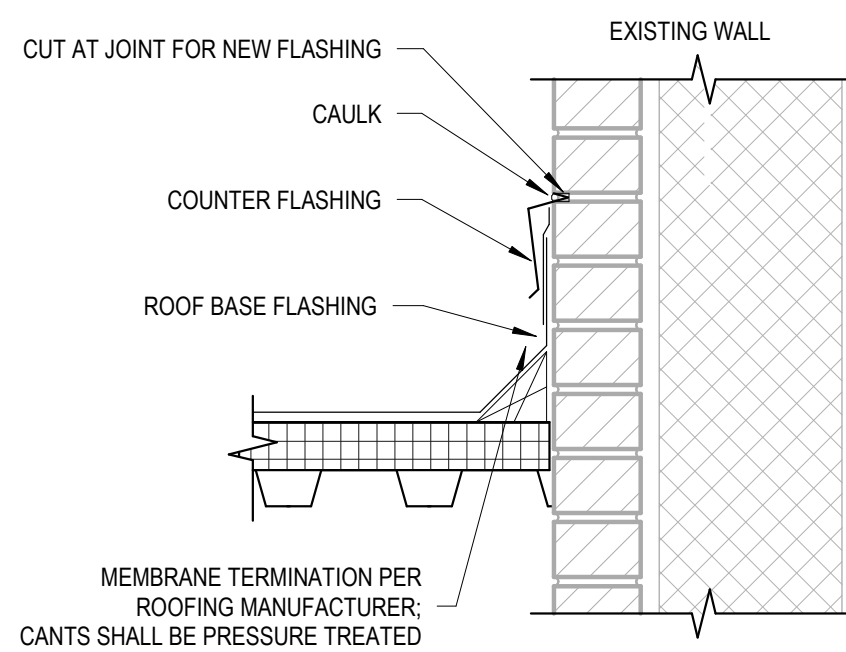
8 WIN  
3" = 1'-0"



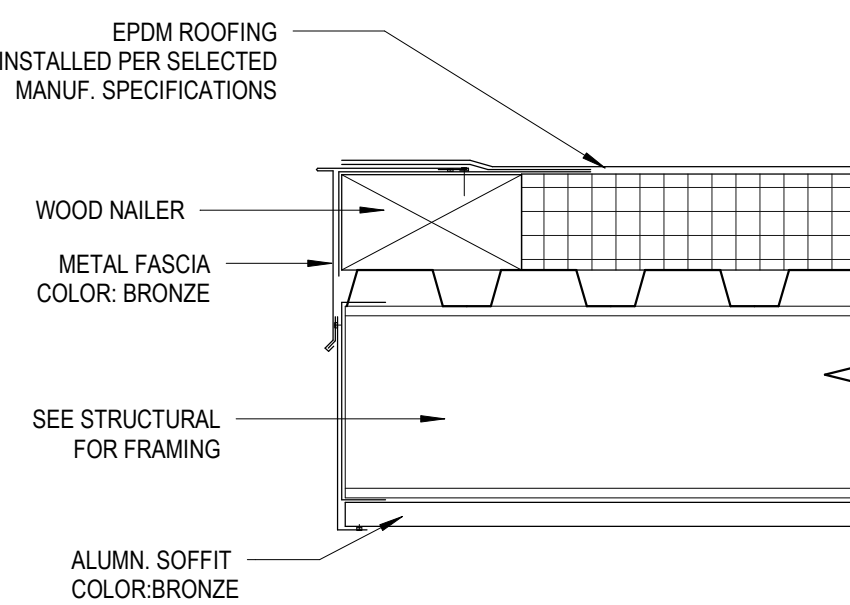
13 WINN  
3" = 1'-0"



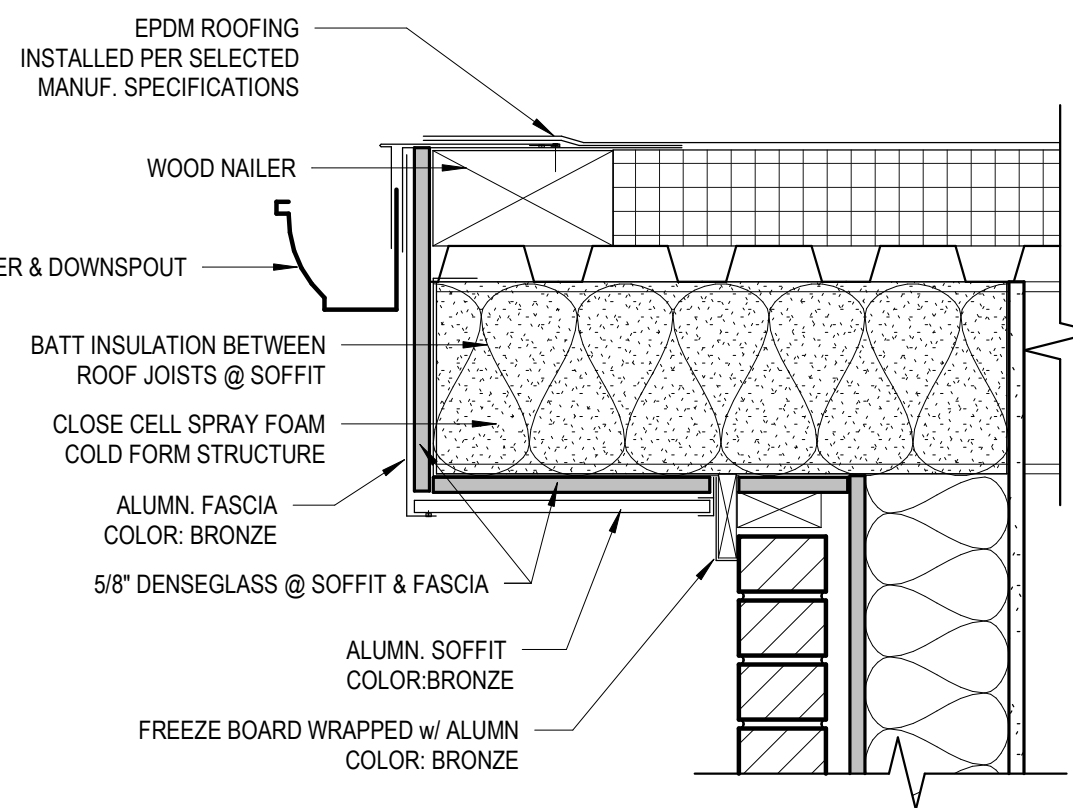
3 THRES  
1 1/2" = 1'-0"



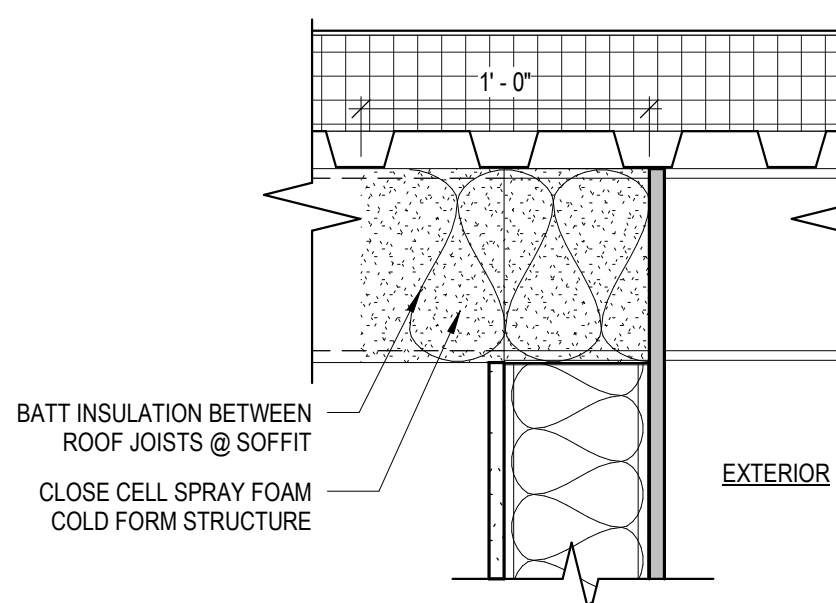
4 ROOF  
1 1/2" = 1'-0"



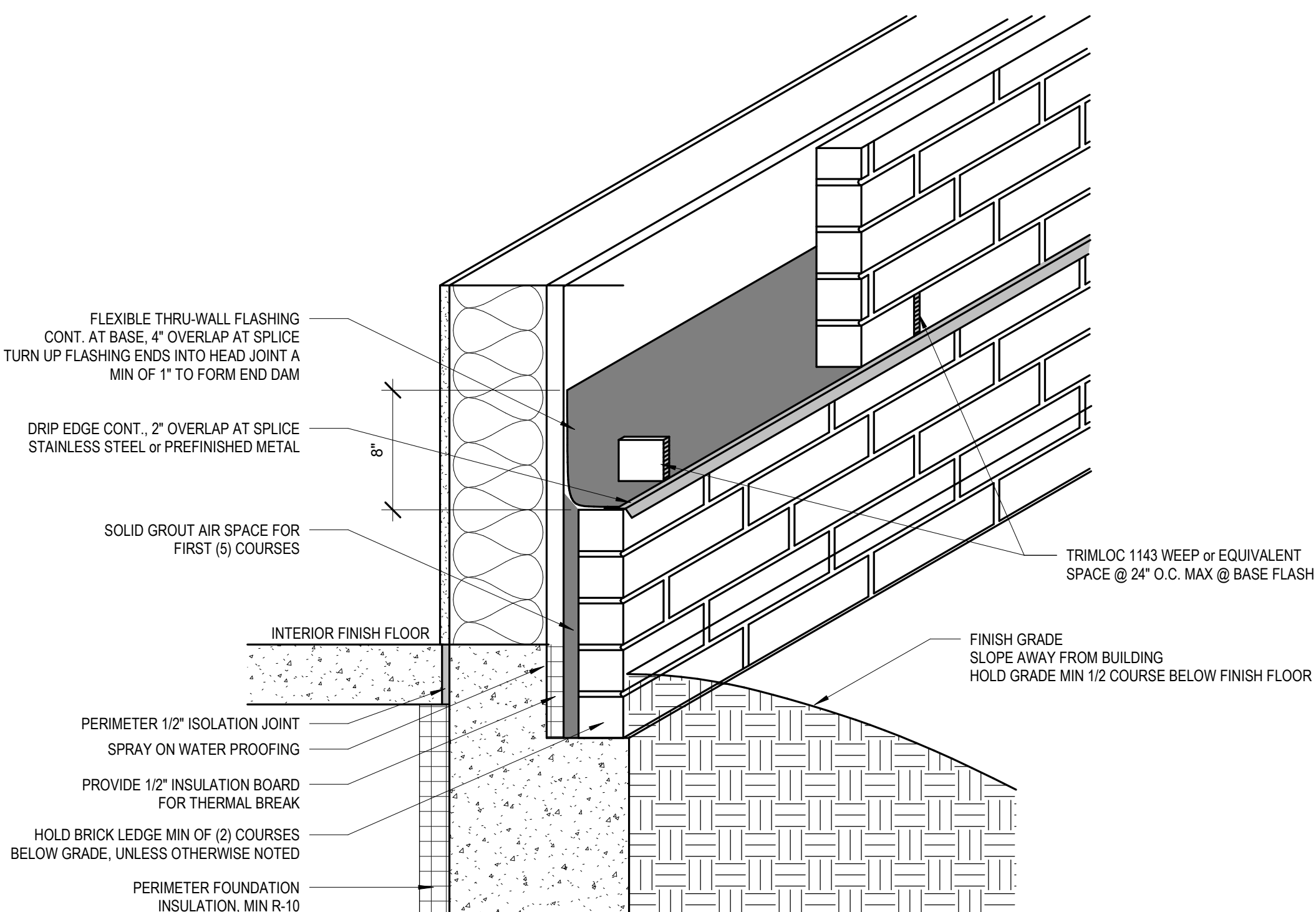
9 TYP. C  
1 1/2" = 1'-0"



5 LOW 1 1/2" = 1'-0"



10 INSUL  
1 1/2" = 1'-0"



14 TYPICAL  
NOT TO SCALE



**510 Cole St.  
Watertown, WI 53094**

No.	DATE	DESCRIPTION
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No.	DATE	DESCRIPTION
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SHEET TITLE:

JOB NUMBER:

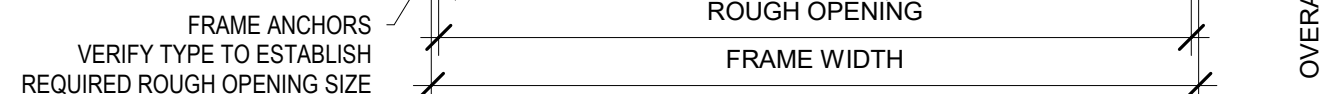
ISSUED DATE:

DRAWN BY:

551K

**U S C**

MARK	LOCATION	DOOR PANEL					DOOR FRAME				FIRE RATING	COMMENTS	HARDWARE SET
		WIDTH	HEIGHT	MATERIAL	FINISH	TYPE	R.O. WIDTH	R.O. HEIGHT	MATERIAL	FINISH			
090	LIFT - LOWER LEVEL	2'-11 3/4"	6'-8 1/2"	STEEL	PAINT	D	3'-8 1/2"	7'-4"	STEEL	PAINT	60 MIN.	EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"	SEE DOOR HARDWARE TYPES
100	GRADE LEVEL	5'-2"	8'-4"	STEEL	PAINT	C	5'-2 1/2"	8'-4 1/4"	STEEL	PAINT		36" ENTRY DOOR w/ 20" SIDELIGHT	101, 200, 210, 212, 213
101	LIFT - GRADE LEVEL	2'-11 3/4"	6'-8 1/2"	STEEL	PAINT	D	3'-8 1/2"	7'-4"	STEEL	PAINT	60 MIN.	EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"	SEE DOOR HARDWARE TYPES
102	LIFT - 1ST FLOOR	2'-11 3/4"	6'-8 1/2"	STFPI	PAINT	D	3'-8 1/2"	7'-4"	STFPI	PAINT	60 MIN.	EXISTING ROUGH OPENING IS 3'-8 1/2" x 6'-11 1/2"	SEE DOOR HARDWARE TYPES



SPECIFIED BRANDS MAY BE SUBSTITUTED WITH AN EQUIVALENT WITH OWNER & ARCHITECT APPROVAL

- 101 - VON DUPRIN SERIES 98-99 PANIC EXIT BAR  
FINISH: #628, ANODIZED ALUMINUM  
**DOOR TO BE KEYPED TO MATCH ADJACENT EXTERIOR DOOR**  
**@ EDUCATION WING OF EXISTING BUILDING**
- 200 - LCN 1000 SERIES, DOOR CLOSER  
210 - DOOR SEALS  
211 - DOOR SWEEP  
212 - LOW PROFILE THRESHOLD, MEETS ANSI-117  
213 - ADA WIRED PUSH BUTTON

3/4" = 1'-0"

- INSULATE ALL HOLLOW METAL DOOR FRAMES WITH FIRE

- PROVIDE ALL HOLLOW METAL FRAMES w/ (1) COAT PRIMER & (2) COATS PAINT.
- ALL HOLLOW METAL FRAMES TO BE REINFORCED & PREPARED FOR HARDWARE.
- ALL WELDED FRAMES SHALL BE 16ga (MIN)
- ALL HOLLOW METAL DOORS SHALL BE 16ga (MIN)
- ALL EXTERIOR DOORS SHALL BE PROVIDED WITH WEATHERSTRIPPING.
- ALL DOOR THRESHOLDS SHALL NOT EXCEED 1/2" IN HEIGHT.
- ALL DOORS SHALL MEET A D.O. REQUIREMENTS.
- PROVIDE LEVER TYPE HANDLES.
- PROVIDE CAULKING AT ALL DOOR FRAMES, WINDOWS & WHERE NOTED ON PLANS.
- VERIFY W/ H.V.A.C. CONTRACTOR FOR DOOR UNDERCUTS & GRILLES.
- ALL SIGNAGE TO BE MOUNTED AT A D.A. HEIGHT. (SEE GENERAL SPECIFICATIONS).
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALK DOORS SHALL HAVE A U-FACTOR OF 0.45 OR BETTER.

## 1 ALL HANDLES, PULLS, LATCHES, LOCKS &amp; OTHER

1. HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND & DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE 34 INCHES MINIMUM TO 48 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
2. DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE USER MUST MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MINIMUM.
3. DOOR SWINGING HINGES SHALL BE ADJUSTED SO THAT THE OPEN POSITION OF 70 DEGREES, THE DOOR SHALL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM, MEASURED UNDER AMBIENT CONDITIONS.
4. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY. THE MAXIMUM FORCE FOR PUSHING OPEN OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE AS FOLLOWS:
  - A. INTERIOR HINGED DOOR 5.0 POUNDS (22.2N)
  - B. SLIDING OR FOLDING DOOR 5.0 POUNDS (22.2N)THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.

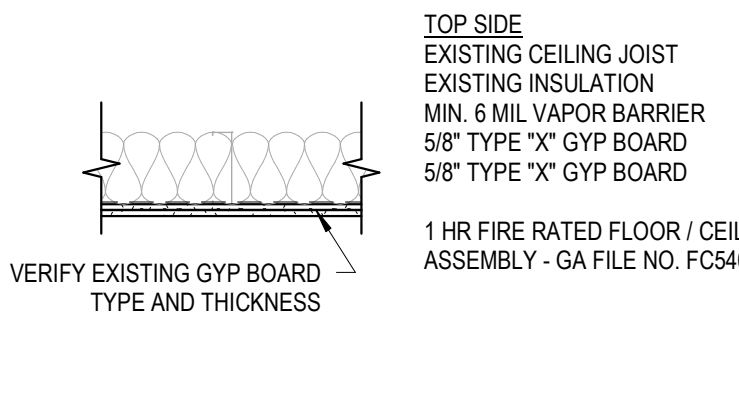
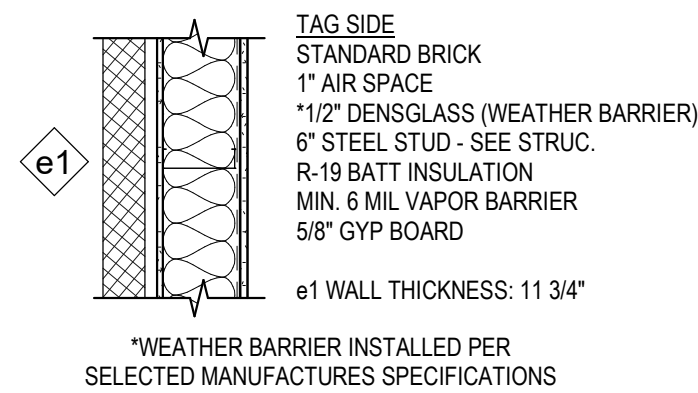
#### 1. GENERAL CONTRACTOR TO

1. GENERAL: CONSULT FACTORY TO VERIFY THE REQUIRED ROUGH OPENING SIZE AND FINISH FOR EACH WINDOW. VERIFY THAT ALL OPERATING PARTS MEET MANUFACTURER'S SPECIFICATIONS & PER THE DETAILS IN THIS DRAWING SET.
2. FIELD VERIFICATION OF EACH OPENING SHALL BE COORDINATED WITH WINDOW SUPPLIER PRIOR TO WINDOW INSTALLATION TO ENSURE PROPER FITTING.
3. ALL GLAZING SYSTEMS TO BE PREFINISHED EXTRUDED ALUMINUM THERMALLY BROKEN FRAME. GLAZING TO BE DONE BY THE OPERATING PARTS MANUFACTURER. GLAZING ABOVE FIRST FLOOR TO BE INSTALLED FROM INTERIOR SIDE.
4. COLOR: ALUMINUM
5. SEE C04chck for WINDOW U-VALUE REQUIREMENTS
6. WINDOW FRAME INSTALLATION TO FOLLOW MANUFACTURER'S SPECIFICATIONS & WINDOW DETAILS IN DRAWING SET.
7. PROVIDE SAFETY GLAZING WHERE REQUIRED BY CODE. SEE GUIDE ON A5.0

NAME		
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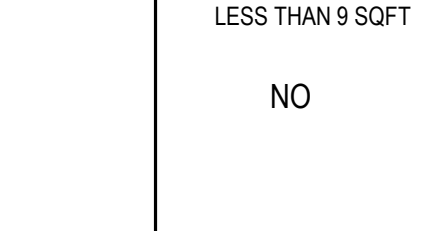
MARK	WINDOW SIZE		QTY.	COMMENTS
	WIDTH	HEIGHT		
AA	6" - 0"	4" - 8"	1	30" SILL HEIGHT
BB	1' - 6"	2' - 4"	1	FIRE RATING NOT REQUIRED - PER 2015 IBC 713.6
2				

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1. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF ADA AND ANSI A117.1.

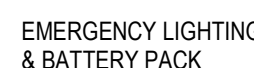
1. ALL SIGNAGE SHALL MEET THE REQUIREMENTS OF ADA AND ANSI A117.1 SECTION 703.
2. SIGNAGE SHALL BE MOUNTED WHERE INDICATED. WHERE THERE IS NO WALL SPACE ADJACENT TO LATCH SIDE OF DOOR, SIGN SHALL BE MOUNTED ON NEAREST ADJACENT WALL.
3. MOUNTING LOCATION FOR SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
4. DIRECTIONAL SIGNAGE IS REQUIRED AT BUT NOT LIMITED TO:
  - EXITS SERVING AN ACCESSIBLE SPACE
  - ELEVATOR LANDINGS
  - AREAS OF REFUGE
5. TACTILE EXIT SIGNS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT STAIRWAY AND AT THE EXIT DISCHARGE
6. FACILITIES AND ELEMENTS REQUIRED TO BE IDENTIFIED AS ACCESSIBLE SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
7. STANDARD MOUNTING HEIGHTS APPLY TO DRAWINGS UNLESS INDICATED OTHERWISE.
8. NOTIFY STRUCTURE OF ANY DISCREPANCIES.



NOT ALL ARE USED



NOT ALL ARE USED. SEE PLANS FOR APPLICABLE FIXTURES & ACCESSORIES. FOR INFORMATION ONLY.



NOT ALL ARE USED. SEE PLANS FOR APPLICABLE FIXTURES & ACCESSORIES. FOR INFORMATION ONLY



**510 Cole St.  
Watertown, WI 53094**

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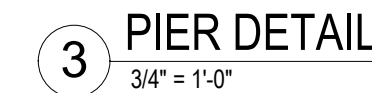
SHEET TITLE:

24191

05.30.2025

JJR

SHEET NUMBER:



- NOTES:**
1. GENERAL CONTRACTOR TO COORDINATE LOCATION, SIZE & ELEVATION & INCLUDE HIS CONTRACT PRICE. ALL REQUIRED HORIZONTAL PENETRATIONS THROUGH CONCRETE WALLS WERE SHOWN ON STRUCTURAL DRAWINGS OR NOT
  2. WHERE WALL PENETRATIONS ARE REQUIRED BUT ARE NOT SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS. SUBMIT DRAWINGS, SHOWING DIMENSIONS & LOCATIONS OF ALL REQUIRED PENETRATIONS FOR REVIEW & APPROVAL.
  3. CLEAR SPACING BETWEEN PENETRATIONS SHALL BE 24" MINIMUM UNLESS DESIGNED OTHERWISE BY ENGINEER.
  4. FOR LOCATIONS & OR SIZES OF PENETRATIONS NOT CONFORMING TO THE ABOVE CRITERIA & NOT OTHERWISE DETAILED ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL COORDINATE REQUIRED ADDITIONAL REINFORCEMENT WITH THE ENGINEER ON THE SHOP DRAWINGS.



1. FOUNDATION EXCAVATIONS SHALL BE KEPT FREE OF LOOSE MATERIAL & STANDING WATER & SHALL BE CHECKED & APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE ANY CONCRETE.
2. FOUNDATION WALLS SHALL BE 10" THICK UNLESS NOTED OTHERWISE.
3. WALL FOOTINGS ARE CONTINUOUS POURED CONCRETE WITH CONTINUOUS REINF. PLACED 3' CLEAR OF BOTTOM & SIDES
4. PERIMETER INSULATION TO BE 1 1/2" RIGID INSULATION AGAINST INTERIOR FACE OF WALL U.N.O. SEE FOUNDATION DETAIL.
5. CONTRACTOR TO VERIFY ALL CONCRETE FLOOR FINISHES w/ OWNER
6. CONTRACTOR TO VERIFY ALL UNDERGROUND WORK PRIOR TO SLAB POURING.
7. SEE SITE PLAN FOR ADDITIONAL CONCRETE WORK.
8. SEE GEN. BLDG. SPECS. FOR CONCRETE REQUIREMENTS.
9. PROVIDE ISOLATION JOINTS TO ISOLATE COLUMNS & OTHER FLOOR PENETRATIONS
10. SEE DETAILS FOR CONTROL JOINTS FOR POURED CONCRETE WALLS.
11. REFER TO ARCHITECTURAL DRAWINGS FOR ANY REQUIRED FLOOR DRAINS / SLAB PITCHES.

MARK	WIDTH	REINFORCEMENT
FW-1	10"	#4 BAR @ 16" O.C. VERT. CENTERED & #4 BAR @ 10" O.C. HORIZ.
FW-2	6"	SEE TYPICAL STOOP DETAIL

MARK	WIDTH	LENGTH	DEPTH	REINFORCEMENT
F-1	3' - 0"	4' - 0"	1' - 0"	(3) #5 BARS LONG DIRECTION, (5) #5 BARS SHORT DIRECTION

MARK	WIDTH	DEPTH	REINFORCEMENT
SF-1	2' - 0"	1' - 0"	(2) #5 BARS CONT.
SF-2	1' - 6"	8"	(2) #5 BARS CONT.

MARK	WIDTH	LENGTH	REINFORCEMENT
P1	1' - 4"	2' - 8"	(6) #6 DOWELS & #3 TIES @ 12" O.C.









- GENERAL REQUIREMENTS
- A.

NOTES & DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- B.

ALL MATERIALS AND WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN ADMINISTRATIVE CODE INCLUDING LOCAL ORDINANCES AND AMENDMENTS.
- C.

NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.
- DESIGN CRITERIA
- A.

IBC 2015
- B.

ASCE 7-10
- DESIGN METHOD
- A.

NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS-2015)
- B.

BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-318-2014);
- C.

SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS (AISC 13TH EDITION);
- D.

SPECIFICATION FOR DESIGN OF COLD FORMED STRUCTURAL MEMBERS (AIS 2012);
- E.

BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (TNS 402-13/ACI 530-13)

ROOF	30.0 PSF	GROUND SNOWLOAD
	21.0 PSF	ROOF SNOWWCH=1.0
	23.1 PSF	ROOF SNOWWCH=1.1
	25.2 PSF	ROOF SNOWWCH=1.2
		SEE DRAWINGS FOR SNOW DRIFTS AND UNBALANCED LOADING
WIND	5 PSF	COLLATERAL LOAD
	115 MPH	EXP B PER ASCE 7-10
SEISMIC	D	ENCLOSED BUILDINGS SITE CLASS
	II	SEISMIC GROUP
	SDS	7.8 %
	SD1	7.50%
	B	SEISMIC USE GROUP

- EROSION CONTROL NOTES
- A.

GRADING AND DEVELOPMENT SITE DISTURBANCE SHALL CONFORM TO PLANS AND SPECIFICATIONS. TEMPORARY EROSION CONTROL METHODS AND SCHEDULE FOR IMPLEMENTATION SHALL BE REVIEWED BY THE ENGINEER PRIOR TO COMMENCING WORK.
- B.

TEMPORARY EROSION CONTROL MEASURES SHALL CONFORM TO PRACTICES AND RECOMMENDATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND BEST MANAGEMENT PRACTICES.
- C.

EXPPOSED SOIL FROM GRADING OPERATIONS SHALL BE RESEEDDED WITHIN 7 DAYS. USE COMMON 65% KENTUCKY BLUEGRASS 20% FINE FESCUE 15% RYEGRASS SEED MIXTURE AT THE RATE 1 POUNDS PER 1000 SQUARE FEET AREA WITH STRAW OR BURLAP COVERING TO RETAIN SURFACE MOISTURE UNTIL NEW GRASS IS ESTABLISHED.
- D.

PROPOSED ALTERNATE EROSION CONTROL MEASURES FROM THOSE DESCRIBED IN THE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.
- E.

SOIL OR MUD TRACKED ONTO PUBLIC STREETS SHALL BE CLEANED AT THE END OF EACH WORK DAY.
- F.

CONTRACTOR SHALL CONTACT DIGGERS HOTLINE AT LEAST 7 DAYS PRIOR TO ANY GRADING OR EXCAVATION TO LOCATE AND FLAG ALL EXISTING UNDERGROUND UTILITIES.
- G.

UTILITIES IMPACTING THE CONSTRUCTION PLANS SHALL REQUIRE ADDITIONAL DESIGN WORK. REVIEW IMPACTS WITH THE ENGINEER.
- H.

LOCATION OF ALL KNOWN UTILITIES SHALL BE RECORDED IN AS-BUILT PLANS AT COMPLETION OF WORK.
- I.

GEOTEXTILE FABRIC USE MIRAFI FILTERWEAVE OR EQUIVALENT TO LINE TRENCHES. FABRIC SHALL BE CONTINUOUS. OVERLAP 12" MINIMUM FOR CONTINUITY. ADD A SEPARATE GEOTECH FABRIC COVER OVER THE TRENCH OVERLAPPING THE SIDE OF THE TRENCH 12". COVER FABRIC WITH 1-1/2" GRAVEL 3" – 6" DEEP.
- J.

CHECKDAMS WHERE SHOWN IN PLAN SHALL BE CONSTRUCTED OF 2 LAYERS 90 MIL PLASTIC SHEET. WRAP THE SIDES AND BOTTOM OF THE TRENCH 12". SEE DETAIL.

- SITE WORK:
- A.

THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2000 PSF. SOIL ENGINEERS TO VERIFY BEARING CAPACITY AND EXPLORE SUBGRADE TO A DEPTH OF 45' FOR UNSTABLE SOIL CONDITIONS.
- B.

COMPLETE NORMAL CLEARING AND GRUBBING OPERATIONS OVER THE ENTIRE BUILDING PAD AREA.
- C.

REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER, ROOTS, VEGETATION AND RANDOM FILL MATERIALS, I.E. WOOD, SCRAP METAL, AND MUCK.
- D.

FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 9" AND COMPACTED TO 95% RELATIVE COMPACTION AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND THE BUILDING EDGES.
- E.

PLACE GRANULAR MATERIAL UNDER FOOTINGS & FLOOR SLABS. MINIMUMS 6"
- F.

BASEMENT WALLS AND RETAINING WALL DESIGNS ARE PREDICATED ON ALL FINAL RESTRAINTS AS SHOWN IN PLANS COMPLETED BEFORE BACKFILLING OPERATIONS ARE FINALIZED.
- G.

DIFFERENTIAL BACKFILLING BETWEEN INTERIOR AND EXTERIOR OF WALL WHERE OCCURS, SHALL NOT EXCEED 2 FEET.
- H.

MECHANICAL CONTRACTORS ARE RESPONSIBLE TO COORDINATE PLUMBING AND ELECTRICAL SLAB OPENINGS, CONDUIT AND PIPE RUNS, BLOCKOUTS, AND ALL OTHER SLAB ADJUSTMENTS WITH THE CONCRETE CONTRACTOR.
- I.

GENERAL CONTRACTOR SHALL REVIEW ALL CHANGES TO FOUNDATION PLANS AND DETAILS WITH THE STRUCTURAL ENGINEER.

- FOUNDATION:
- A.

THE SOIL BEARING CAPACITY IS PRESUMED TO BE 2000 PSF. SOIL ENGINEERS TO VERIFY BEARING CAPACITY AND EXPLORE SUBGRADE TO A DEPTH OF 45' FOR UNSTABLE SOIL CONDITIONS.
- B.

COMPLETE NORMAL CLEARING AND GRUBBING OPERATIONS OVER THE ENTIRE BUILDING PAD AREA.
- C.

REMOVE UNSUITABLE MATERIAL BELOW FOUNDATION. THE DEPTH OF REMOVAL IS DICTATED BY THE UNSUITABLE SOILS ENCOUNTERED SUCH AS SILT, ORGANIC MATTER, ROOTS, VEGETATION AND RANDOM FILL MATERIALS, I.E. WOOD, SCRAP METAL, AND MUCK.
- D.

FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL WITH A CAPACITY OF 2000 PSF, OR ON COMPACTED FILL WITH A BEARING CAPACITY OF NOT LESS THAN 2000 PSF.
- E.

FILL MATERIALS REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 9" AND COMPACTED TO 95% RELATIVE COMPACTION AT OPTIMUM MOISTURE CONTENT WITHIN A DISTANCE OF 5 FEET BEYOND THE BUILDING EDGES.
- F.

WHEN USING COMPACTED FILL TO ACHIEVE THE PROPER GRADE FOR FOUNDATIONS, THE COMPACTED FILL SHALL HAVE A SLOPE OF NOT GREATER THAN 2" HORIZONTAL FOR EVERY 1" VERTICAL.
- G.

PLACE GRANULAR MATERIAL UNDER FOOTINGS & FLOOR SLABS. MINIMUM 6"
- H.

BASEMENT WALLS AND RETAINING WALL DESIGNS ARE PREDICATED ON ALL FINAL RESTRAINTS AS SHOWN IN PLANS COMPLETED BEFORE BACKFILLING OPERATIONS ARE FINALIZED.
- I.

DIFFERENTIAL BACKFILLING BETWEEN INTERIOR AND EXTERIOR OF WALL WHERE OCCURS, SHALL NOT EXCEED 2 FEET.
- J.

MECHANICAL CONTRACTORS ARE RESPONSIBLE TO COORDINATE PLUMBING AND ELECTRICAL SLAB OPENINGS, CONDUIT AND PIPE RUNS, BLOCKOUTS, AND ALL OTHER SLAB ADJUSTMENTS WITH THE CONCRETE CONTRACTOR.
- K.

GENERAL CONTRACTOR SHALL REVIEW ALL CHANGES TO FOUNDATION PLANS AND DETAILS WITH THE STRUCTURAL ENGINEER.

- CONCRETE:
- A.

TRANSIT MIXED CONCRETE SHALL CONFORM TO ASTM C94 SPECIFICATION FOR READY-MIXED CONCRETE.
- B.

THE WATER CEMENT RATIO SHALL BE KEPT TO A MINIMUM, AND CONCRETE SLUMP SHALL NOT EXCEED 4 INCHES WHEN TESTED IN ACCORDANCE WITH ASTM C143.
- C.

CONCRETE SHALL HAVE THE REQUIRED COMPRESSIVE STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C39 AS FOLLOWS:

SLAB	4000 PSI
FOUNDATION	3000 PSI
TILT UP WALLS	SEE SHOP DRAWINGS
RETAINING WALLS	3000 PSI
GROUT FOR BASE PLATES	4000 PSI
DOCK WALLS	3000 PSI
- D.

PORTLAND CEMENT SHALL CONFORM TO ASTM C150 SPECIFICATION FOR PORTLAND CEMENT.
- E.

FINE AND COURSE AGGREGATES SHALL CONSIST OF CLEAN, HARD, STRONG AND DURABLE INERT MATERIAL, FREE OF INJURIOUS AMOUNTS OF DELETERIOUS SUBSTANCES AND CONFORM TO ASTM C33 SPECIFICATION FOR CONCRETE AGGREGATES.1
- F.

MIXING WATER SHALL BE FREE OF ANY ACID, ALKALI, OIL OR ORGANIC MATERIAL THAT MAY INTERFERE WITH THE SETTING OF THE CEMENT.
- G.

ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED. THE ENGINEER SHALL APPROVE ALL ADMIXTURES.
- H.

REINFORCING STEEL SHALL BE ASTM A615, GRADE 60, BARS TO BE WELDED SHALL BE IDENTIFIED AS GRADE 60W.
- I.

WELDED WIRE FABRIC OR GAGE AND SPACING SPECIFIED SHALL CONFORM TO THE REQUIREMENTS OF ASTM A82

1.

MANUFACTURING AND WAREHOUSE AREA SLABS: 6x6-W2.9xW2.9

2.

OFFICE AREA SLABS: 6x6-W1.4xW1.4
- J.

REINFORCING SHALL HAVE THE MINIMUM COVER REQUIREMENTS AS INDICATED IN ACI-318, LATEST EDITION WITH THE FOLLOWING MINIMUM VALUES.

1.

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"

2.

FORM CAST AND PERMANENTLY EXPOSED TO EARTH OR WEATHER: 1-1/2" FOR #5 BAR AND SMALLER, AND 2" FOR #6 BAR AND LARGER.
- K.

DIMENSIONS OF THE FINISHED PRODUCT SHALL BE WITHIN THE TOLERANCES OF ACI 117, LATEST EDITION.
- L.

ALL CONCRETE SHALL CURE A MINIMUM OF 7 DAYS. IF FORMS ARE REMOVED BEFORE THE END OF THE CURING PERIOD, COAT NEWLY EXPOSED SURFACES WITH LIQUID CURING COMPOUND.
- M.

USE CURE-SEAL-HARDENER: ASHFORD FORMULA, ON THE FLOORS, A WATER-BASED CHEMICALLY REACTIVE PENETRATING SEALER AND HARDENER THAT SEALS BY DENSIFYING CONCRETE SO THAT WATER MOLECULES CANNOT PASS THROUGH BUT AIR AND WATER VAPOR CAN, AND ALLOWS CONCRETE TO ACHIEVE FULL COMPRESSIVE STRENGTH, MINIMIZING SURFACE CRAZING AND ELIMINATING DUSTING. INSTALL PER MANUFACTURES SPECIFICATIONS.

1.

(Specify note - optional spec info.)

2.

ABRASION RESISTANCE TO REVOLVING DISKS: AT LEAST A 32.5% IMPROVEMENT OVER UNTREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM C779.

3.

SURFACE ADHESION: AT LEAST A 22% INCREASE IN ADHESION FOR EPOXY WHEN TESTED IN ACCORDANCE WITH ASTM D3359.

4.

HARDENING: AS FOLLOWS WHEN TESTED IN ACCORDANCE WITH ASTM C39:

a.

AFTER 7 DAYS: AN INCREASE OF AT LEAST 40% OVER UNTREATED SAMPLES.

b.

AFTER 28 DAYS: AN INCREASE OF AT LEAST 38% OVER UNTREATED SAMPLES.

5.

COEFFICIENT OF FRICTION: 0.86 DRY, 0.69 WET, WHEN TESTED IN ACCORDANCE WITH ASTM C1028.

6.

REBOUND NUMBER: AN INCREASE OF AT LEAST 13.3% OVER UNTREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM C805.

7.

LIGHT EXPOSURE DEGRADATION: NO EVIDENCE OF ADVERSE EFFECTS ON TREATED SAMPLES WHEN TESTED IN ACCORDANCE WITH ASTM G23.
- N.

PROVIDE DOWELS IN WALL FOOTINGS WITH EQUAL SIZE AND SPACING AS VERTICAL WALL, UNLESS NOTED OTHERWISE.
- O.

USE NON-SHRINK, NON-METALLIC GROUT UNDER BASE PLATES AS INDICATED ON THE DRAWINGS.
- P.

THE CONCRETE CONTRACTOR SHALL COORDINATE ALL OTHER TRADES FOR SIZE AND LOCATION OF OPENINGS IN WALL AND FLOORS. ALL OPENINGS IN STRUCTURAL CONCRETE SHALL BE DETAILED OR APPROVED BY THE ENGINEER.
- Q.

PLACE STEEL REINFORCEMENT AS PER CRSI STANDARDS.
- R.

STEEL DESIGNATED CONTINUOUS (CONT.) #6 BARS OR SMALLER SHALL USE 33 INCH MINIMUM LAP LENGTH.
- S.

PROVIDE SAWCUT CONTROL JOINTS AS SHOWN IN FOUNDATION PLANS OR AT SPACING NOT GREATER THAN 3X THE SLAB THICKNESS. SAWCUTS SHALL BE 1/3 THE SLAB DEPTH. PLACE SAWCUTS 1-1/2 HRS TO 4 HRS AFTER FINISHING BEFORE CONCRETE BEGINS TO COOL.
- T.

HAND TOOLED CONTROL JOINTS MAY BE SUBSTITUTED FOR SAWCUT CONTROL JOINTS.
- U.

ALL CONSTRUCTION & CONTROL JOINTS THAT ARE REQUIRED TO BE SEALED SHALL BE DONE SO IN ACCORDANCE WITH INSTRUCTIONS OF APPROVED MATERIAL MANUFACTURER. ADJUST CONTROL & CONSTRUCTION JOINTS TO ACHIEVE INSTALLATION PER SEALANT MANUFACTURER'S REQUIREMENTS.
- V.

ALL ANCHORS THAT WILL BE EPOXY EMBEDDED NEED TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND STANDARDS. INSTALLER IS RESPONSIBLE FOR PROPER CLEAN OUT OF THE HOLE TO ENSURE THE HOLE IS DRY. INSTALLER IS TO NOTIFY ENGINEER IF VOIDS OR CRACKS ARE PRESENT IN THE DRILLED HOLE.

- MASONRY/BRICK
- A.

MASONRY CONSTRUCTION AND MATERIALS SHALL COMPLY WITH LOCAL AND STATE CODES REQUIREMENTS, SPECIFICATIONS OF NOMA, AND THE FOLLOWING:

1.

UNITS SHALL BE FLUSH FACED AND/OR ARCHITECTURAL FACED AS SHOWN ON THE DRAWINGS.

2.

UNITS SHALL BE EQUAL TO STANDARD OR SPECIAL SIZE CMU AS MANUFACTURED BY PREMIER BLOCK CORPORATION AND HEBRON BRICK COMPANY CHIPPED, CRACKED AND BROKEN UNITS SHALL NOT BE USED

3.

UNITS SHALL MEET ASTM C90 AND SHALL BE DRY-BLOCK UNITS FOR EXTERIOR MASONRY.

4.

UNITS SHALL BE LAID IN RUNNING OR STACKED BOND (SEE DRAWINGS). SINGLE WYTHE OR BACKUP WYTHE WALLS SHALL HAVE STANDARD GALVANIZED "DUR-O-WAL" OR EQUAL LADDER TYPE REINFORCING AT 16" ON CENTER. LAP ALL REINFORCEMENT 6". VERTICAL AND HORIZONTAL REINFORCING BARS SHALL BE ASTM A615 GRADE 60.MORTAR SHALL BE CEMENT-LIME TYPE M OR S (f=1800) WITH DRY-BLOCK ADDITIVE PER MANUFACTURERS RECOMMENDATIONS ON EXTERIOR MASONRY. USE TYPE M BELOW GRADE, TYPE S ABOVE GRADE.

5.

UNITS SHALL HAVE CONCAVE TOOL JOINTS FOR WEATHER TIGHTNESS. JOINTS SHALL BE CLEAN, STRAIGHT, PLUMB, LEVEL, AND UNIFORM.

6.

ALL MASONRY WORK SHALL BE PERFORMED BY SKILLED WORKMEN IN A COMPETENT MANNER AND SHALL BE PROPERLY INSPECTED.
- B.

POUR BOND BEAMS FULL WITH 2,000 PSI, GROUT PER ASTM C476 AND REINFORCE WITH MINIMUM #4 DEFORMED REINFORCING BAR PER 4" THICKNESS. OR AS DETAILED ON THE DRAWINGS. LAP LENGTHS OF HORIZONTAL BARS TO BE 48 BAR DIAMETERS. STRUCTURAL BOND BEAM LINTELS SHALL HAVE NO LAPPED SPLICES.
- C.

WHERE PRECAST OR POURED IN PLACE REINFORCED MASONRY LINTELS ARE PROVIDED, MAINTAIN MINIMUM 8" SOLID BEARING ON EACH SIDE OF OPENING BY FILLING CORES WITH GROUT (3) COURSES BELOW BEARING OR AS INDICATED ON PLANS.
- D.

WHERE DRAWINGS CALL FOR CORE OR CORES OF BLOCK TO BE REINFORCED VERTICALLY, TAKE CARE THAT SAID CORE(S) ARE KEPT CLEAR AND FREE OF MORTAR WHILE LAYING OF CMU. WHEN (2) BARS ARE TO BE PLACED IN ONE CORE, PROVIDE BAR POSITIONERS TO INSURE PROPER PLACEMENT OF REINFORCING. FILL CORE OR CORES OF CMU WITH 2000 PSI GROUT PER ASTM C476 WITH A SLUMP BETWEEN 8 AND 11 AND CONSOLIDATE BY PUDDLING OR VIBRATING. VIBRATING REQUIRED ON MASONRY LESS THAN 12" IN WIDTH, AND FOR LIFTS GREATER THAN 12" IN HEIGHT. VERTICAL LIFTS SHALL NOT BE MORE THAN 5'-0". VERTICAL REINFORCING BARS SHALL HAVE LAP LENGTHS OF 48 BAR DIAMETERS.
- E.

PROVIDE 3/8" DIAMETER X 8" ANCHOR BOLTS AT 4'-0" ON CENTER FOR ALL PRESSURE TREATED ROUGH WOOD AT TOP OF MASONRY WALLS UNLESS NOTED OTHERWISE ON DRAWINGS.
- F.

INSTALL WEEP VENTS AT TOP AND BOTTOM COURSE OF BLOCK, ABOVE LINTELS AND BOND BEAMS AT 32" ON CENTER OR AS INDICATED ON THE DRAWINGS.
- G.

ALL EXTERIOR CONCRETE MASONRY SURFACES SHALL BE SEALED WITH (2) COATS TAMMS CHEM-STOP WATER REPELLENT SEALER UNLESS SPECIFIED ON THE DRAWINGS TO BE PAINTED. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- H.

FLASHING SHALL BE PERIM-A-BARRIER FLASHING BY W.R. GRACE WITH STAINLESS STEEL METAL DRIP EDGE OR EQUIVALENT. INSTALL FLASHING AT BOTTOM COURSE OF BLOCK, ABOVE OPENINGS AND ABOVE BOND BEAMS IN EXTERIOR WALLS. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- I.

CONTROL JOINTS SHALL BE SPACED A MAXIMUM 30' ON CENTER AND 10' FROM CORNERS PER NOMA REQUIREMENTS, AT COLUMNS THAT ARE INSIDE THE WALL OR AS INDICATED ON PLANS. CONTROL JOINTS TO ALIGN WITH EXPOSED CONCRETE FOUNDATION WALL JOINTS IF APPLICABLE.
- J.

PREMIUM COLOR MASONRY UNITS AS SELECTED UNLESS COLOR SCHEDULE AND AGGREGATE SHOWN WITHIN PLANS.

PLATE 1"-12" WIDE AND THROUGH 1.5" THICK	A572 GRADE 50, MODIFIED TO 55 KSI
OTHERS	A-36
BUILT-UP STRUCTURAL WEB MATERIAL	A-607 GRADE 55 OR A507 GRADE 50 w/MIN. YIELD OF 55 KSI
HOT-ROLLED STRUCTURAL	A992 GRADE 50
HSS STRUCTURAL TUBE	A500 GR. B (46 KSI RECT/42KSI ROUND)
STRUCTURAL PIPE	A53 GRADE B (35 KSI)
ROD BRACING	A-36
CABLE BRACING	EHS A475
WELDS	AWS D1.1 E70XX
HIGH-STRENGTH BOLTS	A-325 OR A-490
MACHINE BOLTS	A-307 GRADE A OR SAE J429 GRADE 2

- L.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT *(THE METAL BUILDING SYSTEM)* IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS, AND *(MBMA STANDARDS)* PERTAINING TO PROPER ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CORRECT USE OF TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL AND SECONDARY FRAMING. SECONDARY WALL FRAMING MEMBERS (GIRTS) ARE NOT DESIGNED TO FUNCTION AS A WORK PLATFORM OR PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS. SECONDARY ROOF FRAMING MEMBERS (PURLINS OR BAR JOISTS) ARE NOT DESIGNED TO PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS.
- M.

ALL HIGH STRENGTH BOLTS ARE TYPE A325 AND ARE TO BE FULLY TIGHTENED BY AN ACCEPTABLE METHOD, SUCH AS "TURN OF THE NUT" METHOD. UNLESS NOTED OTHERWISE, BOLTS IN STANDARD HOLES DO NOT REQUIRE THE USE OF WASHERS, PER ASTM A325, SECTION 5(B).
- N.

ALL A307 MACHINE BOLTS ARE TO BE BROUGHT TO A "SNUG TIGHT" CONDITION TO ENSURE THAT THE MATERIALS IN THE JOINT ARE BROUGHT INTO GOOD CONTACT WITH EACH OTHER.
- O.

WASHERS ARE REQUIRED AT ALL SLOTTED CONNECTIONS.

1.

AT HOLE TO SLOT CONNECTIONS, ONE WASHER IS REQUIRED ON THE SLOTTED SIDE.

2.

AT SLOT TO SLOT CONNECTIONS, TWO WASHERS ARE REQUIRED, ONE ON EACH SIDE OF THE CONNECTION.
- P.

STRUCRITE, INC., SHALL BE NOTIFIED PRIOR TO ANY FIELD MODIFICATIONS. MODIFICATIONS SHALL BE APPROVED BY STRUCRITE, INC., BEFORE WORK IS UNDERTAKEN.
- Q.

ALL WELDING MUST BE PERFORMED BY AWS CERTIFIED WELDERS WHO ARE QUALIFIED FOR THE WELDING PROCESSES AND POSITIONS INDICATED. ALL WORK MUST BE COMPLETED AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE AWS SPECIFICATIONS. WELD ELECTRODES USED FOR THE SMAW (OR STICK) WELD PROCESS MUST BE 70 KSI STEEL AND LOW HYDROGEN CONTENT.

- BRICK
- A.

ALL BRICK MATERIALS AND INSTALLATION SHALL COMPLY WITH LOCAL AND STATE CODES, AND SPECIFICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA). ALL BRICK WORK SHALL BE LAID IN CEMENT AND LIME MORTAR, WITH ALL BRICK FACES FULL BEDDED IN PLACE HAVING BOTH VERTICAL AND HORIZONTAL JOINTS ON STRAIGHT LINES. BRICK VENEER SHALL BE TIED TO MASONRY BACK-UP WITH HOHMANN & BARNARD, INC. LADDER TYPE #270 ADJUSTABLE EYE-WIRE REINFORCEMENT AT 16" ON CENTER VERTICALLY. USE HOHMANN & BARNARD 2 SEAL TIE @ 16" ON CENTER VERTICALLY MAX. 16" ON CENTER TO OTHER BACKUP MATERIALS OR AS NOTED ON DRAWINGS (MAX. 1.77 S.F. SPACING).
- B.

PROVIDE A 3/8" CONTROL JOINT AT 20'-0" O.C. UNLESS SHOWN OTHERWISE ON PLANS.
- C.

INSTALL WEEP VENTS AT TOP AND BOTTOM COURSE OF BRICK, AND ABOVE ALL OPENINGS IN EXTERIOR WALLS AT 16" ON CENTER OR AS INDICATED. FLASHING SHALL BE PERIM-A-BARRIER FLASHING BY W.R. GRACE OR EQUAL WITH STAINLESS STEEL METAL DRIP EDGE. INSTALL FLASHINGS AT BOTTOM COURSE OF BRICK AND ABOVE ALL OPENINGS IN EXTERIOR WALLS.

- HEATING AND VENTILATION WORK
- A.

REQUIREMENTS

1.

ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.

2.

SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED BY CONTRACTOR FOR APPROVAL AS THE HEATING AND VENTILATING WORK IS NOT A PART OF THIS PLAN.

3.

ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL BE OF U.L. APPROVED METHODS.
- A.

REQUIREMENTS

1.

ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH STATE AND LOCAL CODES.

2.

SEPARATE PLANS AND CALCULATIONS SHALL BE SUBMITTED TO STATE AND LOCAL AGENCIES BY CONTRACTOR FOR APPROVAL AS THE ELECTRICAL WORK IS NOT A PART OF THIS PLAN.

3.

ALL PENETRATIONS THROUGH RATED CONSTRUCTION SYSTEMS SHALL BE OF U.L. APPROVED METHODS
- B.

AUTOMATIC SMOKE DETECTION SYSTEM (NOTE: DO NOT INCLUDE UNLESS REQUIRED)

1.

SMOKE DETECTION SYSTEM SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. STANDARDS 71, 72B, 72C, 72D, 72E.

2.

AUTOMATIC DETECTION PRODUCTS SHALL BE AN APPROVED SYSTEM, MEETING FEDERAL, STATE AND LOCAL CODES.

3.

ALL SMOKE DETECTORS SHALL BE BOTH AUDIBLE AND VISUAL AS REQUIRED BY THE A.D.A.

- SEALANTS
- A.

CAULK AROUND ALL WINDOWS, DOORS, VENT OPENINGS, WHERE DIFFERENT MATERIALS MEET, ROOF OPENINGS, EAVES, SOFFITS, JOINTS, COUNTERTOPS, DOOR FRAMES, ETC. AND AS REQUIRED FOR A WATERTIGHT CONNECTION. PROVIDE CAULK PER MANUFACTURERS RECOMMENDATIONS. CAULK TO BE TREMCO DYMERIC FOR FOOD PROCESSING FACILITIES OR FOOD PREP/FOOD STORAGE AREAS. CAULK TO BE INSTALLED AFTER FINISH IS APPLIED TO SURFACES PER MANUFACTURER

- FIRE EXTINGUISHERS
- A.

REQUIREMENTS

1.

CONTRACTOR TO FURNISH AND INSTALL EXTINGUISHERS PER LOCAL, STATE, AND FEDERAL CODES, AND N.F.P.A. NO.10-1978.

2.

MOUNT FIRE EXTINGUISHER NOT HIGHER THAN 48" ABOVE FINISH FLOOR UNLESS LOCAL REGULATIONS REQUIRE DIFFERENT HEIGHT.

3.

ALL FIRE EXTINGUISHERS AND CABINETS TO MEET THE REQUIREMENTS OF THE A.D.A.

- STEEL ROOF DECK
- A.

USE A MINIMUM 22GA PTD, 1-1/2 INCH WIDE RIB, UNLESS NOTED DIFFERENTLY ON THE DRAWINGS.
- B.

PANEL TO SPAN A MINIMUM OF THREE SPANS AND ALLOW FOR A MINIMUM OF 3" OVERLAP AT CENTERLINE OF JOISTS.
- C.

DO NOT HANG OR ATTACH EQUIPMENT, MATERIALS, OR ANY LOADS TO THE METAL ROOF DECK. SEE DRAWINGS FOR FASTENER TYPE AND PATTERN.
- D.

Moravian Church - Lift Vestibule

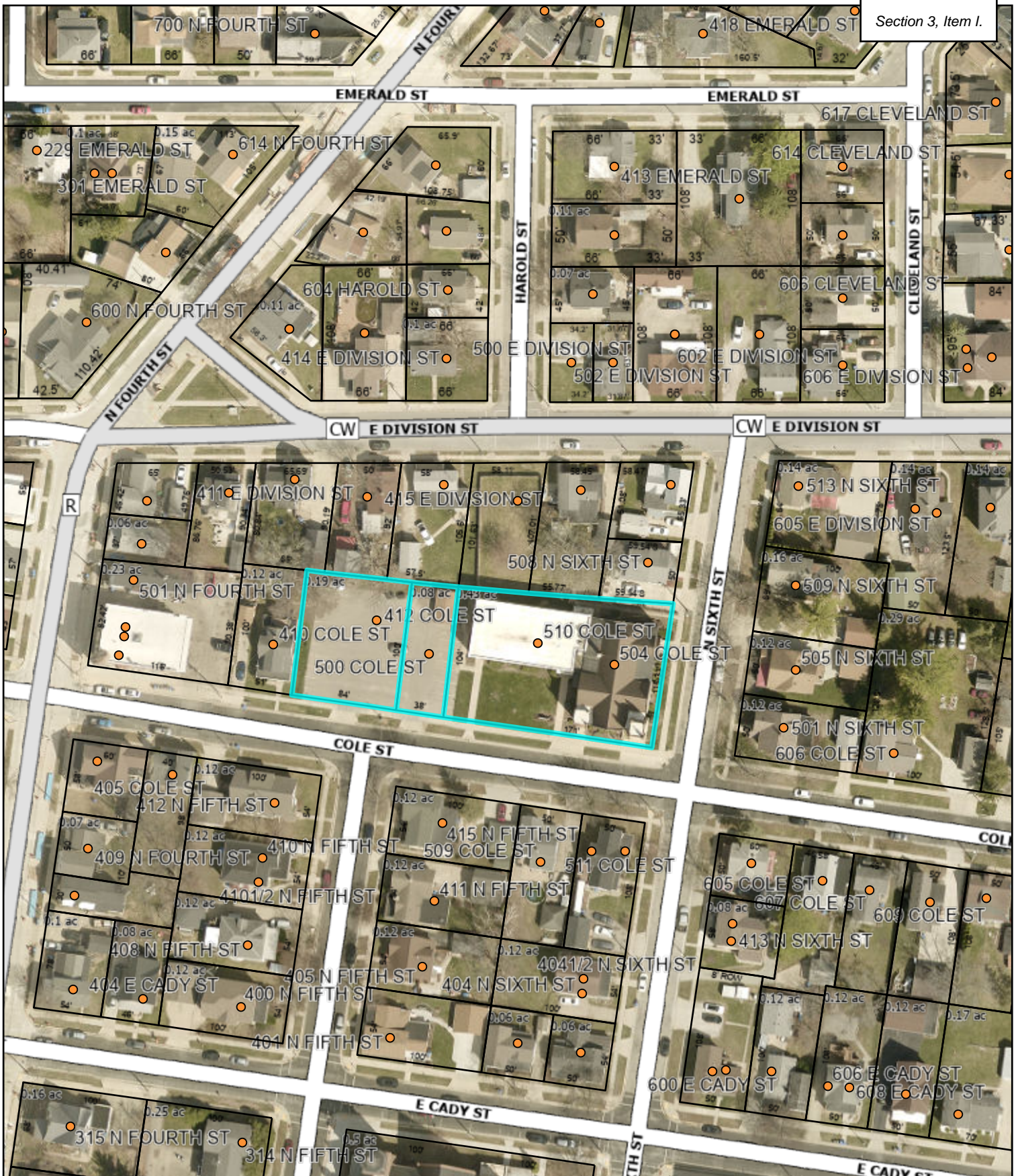
510 Cole St.  
Watertown, WI 53094

REVISIONS		
No.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS

SHEET TITLE:	SPECIFICATIONS
JOB NUMBER:	24191
ISSUED DATE:	05.30.2025
DRAWN BY:	JJR
SHEET NUMBER:	





City Boundary



Address Points



Parcel Boundary



City of Watertown 3 Mile Jurisdiction



City of Watertown Geographic Information System

Scale: 1:1,232

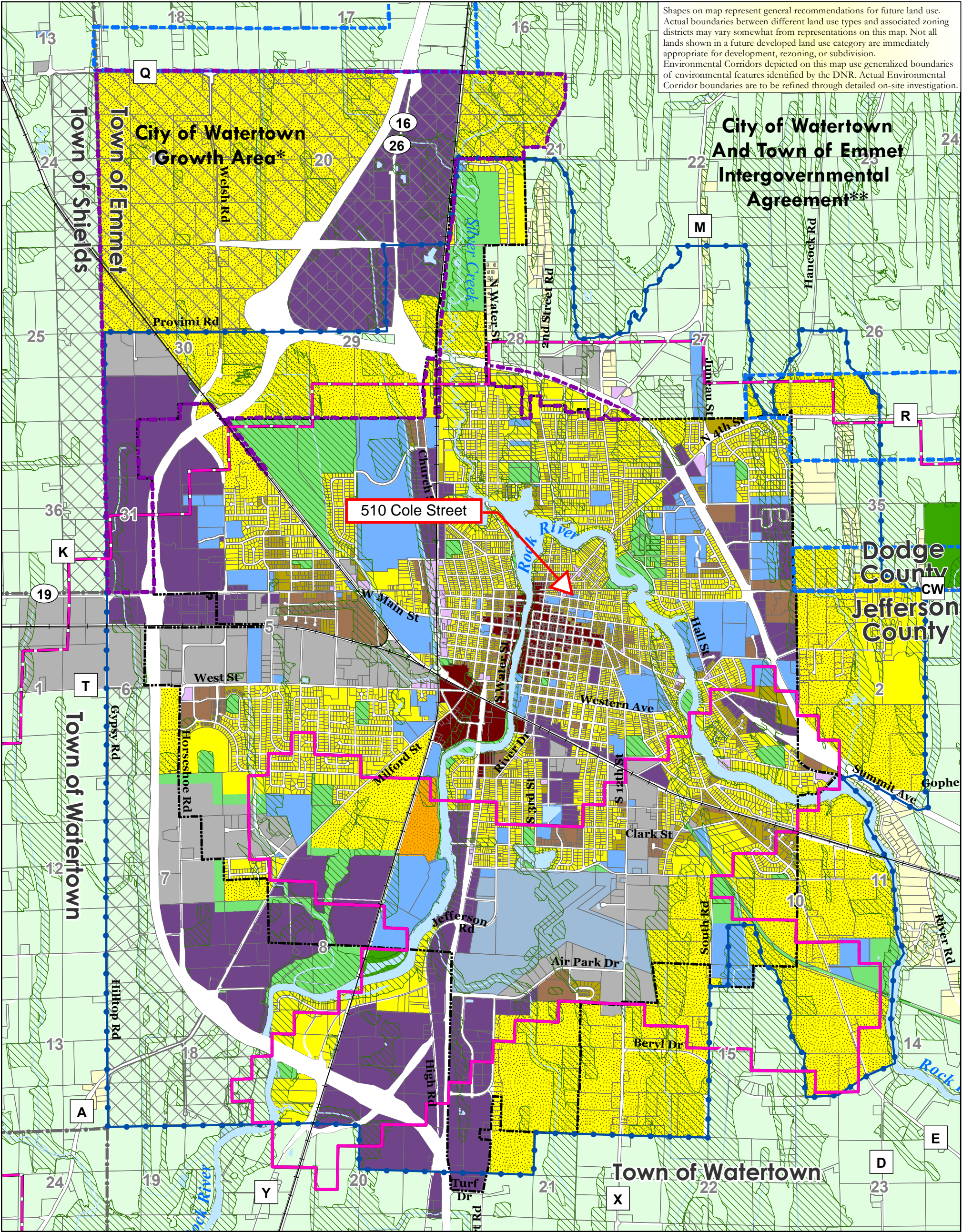
SCALE BAR = 1"

Printed on: May 29,  
Author:

56

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other interest inaccuracies occur during the compilation process. City of Watertown makes no warranty whatsoever concerning this information.





Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map. Not all lands shown in a future developed land use category are immediately appropriate for development, rezoning, or subdivision. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

## City of Watertown And Town of Emmet Intergovernmental Agreement\*\*

Dodge  
County  
Jefferson  
County

## Future Land Use Urban Area

### Map 6b

City/Town IGA\*\*  
City Growth Area  
City Periphery Areas

### City of Watertown Comprehensive Plan

#### Land Use Categories

- Agricultural
- Single-Family Residential - Unsewered
- Single-Family Residential - Sewered
- Two-Family Residential
- Multi-Family Residential
- Planned Neighborhood\*\*
- Institutional
- Airport

- Rights-of-Way
- Neighborhood Mixed Use
- Planned Mixed Use\*
- Central Mixed Use
- Riverside Mixed Use\*\*\*
- Mixed Industrial
- Parks & Recreation
- Environmental Corridor
- Surface Water

\*Each "Planned Mixed Use Area" may include mix of:  
1. Office  
2. Multi-Family Residential  
3. Mixed Industrial  
4. Commercial Services/Retail  
5. Institutional  
6. Parks & Recreation



\*\*\*"Planned Neighborhoods" should include a mix of the following:  
1. Single-Family - Sewered (predominant land use)  
2. Two-Family Residential  
3. Multi-Family Residential  
4. Institutional  
5. Neighborhood Mixed Use  
6. Parks & Recreation



\*\*\*Each "Riverside Mixed Use Area" may include mix of:  
1. Office  
2. Single-Family - Sewered  
3. Two-Family Residential  
4. Multi-Family Residential  
5. Commercial Services/Retail  
6. Institutional  
7. Parks & Recreation



- City of Watertown
- Town Boundary
- Parcel
- Railroad
- Watertown Urban Service Area
- Watertown Long Range Growth Area

#### Airport Height Limitations

- Maximum Building Elevation b/t 865 and 968 ft
- Maximum Building Elevation b/t 968 and 1005 ft

Draft: August 7, 2019  
Source: WisDNR, FEMA, City of Watertown, Dodge Co. LIO & Jefferson Co. LIO, V&A

VANDEWALLE & ASSOCIATES INC.  
Shaping places, shaping change

THE CITY OF  
WATERTOWN  
Opportunity runs through it.





# MEMO

## Engineering Division of the Public Works Department

To: Mayor Stocks and Plan Commission Members  
From: Andrew Beyer, P.E.  
Date: June 5, 2025  
Subject: Sidewalk Construction in Edge Field Subdivision

### Background

The applicant, Loos Homes, is requesting Plan Commission consideration to allow sidewalk on only one side of all streets within the proposed Edge Field Subdivision, a new residential development. City standards and past implementation of the sidewalk ordinance have required sidewalks on both sides of local streets in recent developments to promote pedestrian connectivity and accommodate future growth.

#### Code Reference – City of Watertown Code § 545-37(B):

*“The subdivider shall be required to install sidewalks on both sides of all major streets and arterial streets and those local streets where access needs to be obtained to and from uses such as but not limited to business establishments, schools, churches, neighborhood parks, shopping districts, restaurants, and high-density multifamily residential developments. Cul-de-sac streets need not have sidewalks except where access is necessary to and from uses such as but not limited to business establishments, schools, churches, neighborhood parks, shopping districts, restaurants, and high-density multifamily residential developments. C. Construction standards.”*

The applicant has stated that because the subdivision is composed entirely of local streets and is not in proximity to the listed land uses, sidewalk on one side is sufficient. Hepp Heights was referenced as precedent for this approach.

Recent subdivisions, including Rock River Ridge Phase I, and the proposed Bielinski Homes Enclave, have followed the standard of sidewalks on both sides.

#### Staff Analysis and Recommendation

While § 545-37 provides some flexibility, staff recommends requiring sidewalks on both sides of all streets within the Edge Field subdivision. Staff interpretation of the intent of the ordinance is



# MEMO

not only to serve existing adjacent land uses, but also to ensure long-term pedestrian access and network connectivity as the City grows.

## Considerations

### 1. Planned Growth and Connectivity

- The Edge Field subdivision is not isolated; it is anticipated to be part of a broader future build-out.
- Providing sidewalk on both sides now is the most cost-effective and impartial way to plan for future public access, pedestrian connectivity, and safe routes to schools, parks, or other eventual land uses.
- Precedent for Future Development: Allowing sidewalk on only one side of the street in Edge Field could set a precedent for adjacent future residential developments to adopt the same standard, potentially undermining efforts to create a cohesive and connected pedestrian network across neighborhoods.

### 2. Pedestrian Safety

- Residents on both sides of the street should have equal and safe access to walkways.
- One-sided sidewalks force pedestrians to cross streets unnecessarily, often mid-block, increasing safety risk.

### 3. Consistency with City Planning and Form

- As previously stated, recent subdivisions, including Rock River Ridge Phase I, and the proposed Bielinski Homes Enclave, have followed the standard of sidewalks on both sides.

### 4. Future Cost Avoidance

- Constructing sidewalk on both sides during initial development is significantly less costly than retrofitting later as individual lots develop. Additionally, the cost of sidewalk is generally borne by lot owners at time of home construction

## Budget Goal

1. Proactively maintains and improves our parks and infrastructure to ensure safety, quality, and equity
2. Maintains a safe and healthy community, with an eye toward future needs and trends

# MEMO

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## Financial Impact

When required, sidewalk is generally required at time of home construction at which point it is most cost effective. Sidewalk is often poured concurrently with concrete driveways. Retrofitting a subdivision with sidewalk at a later date is often difficult and less cost effective than sidewalk construction during individual home construction.

## Recommendation

Approve the Edge Field Subdivision with the condition that sidewalks be installed on both sides of all proposed local streets, consistent with past implementation of the City's sidewalk ordinance.

## Next Steps

Language reflecting the Plan Commission's decision regarding sidewalk installation in the Edge Field Subdivision will be incorporated into the Development Agreement to provide clarity.



# MEMO

## Engineering Division of the Public Works Department

**To:** Mayor Stocks and Plan Commission Members

**From:** Andrew Beyer, P.E. Director of Public Works/City Engineer

**Date:** June 5, 2025

**Subject:** Partial Dedication of Public Improvements in the Rock River Ridge Subdivision

### Background

The Greater Watertown Community Health Foundation (GWCHF) is seeking Plan Commission support for a partial public infrastructure dedication within the Rock River Ridge Phase I Subdivision. This dedication would be a prerequisite to seeking interim reimbursement for completed street & utility construction.

The Foundation intends to dedicate a portion of the completed public infrastructure (excluding the final asphalt surface course) in advance of home construction and associated heavy equipment traffic within the subdivision phase. Where the development agreement doesn't prohibit partial dedication of public infrastructure, it is suggested that the Plan Commission approve the concept of partial dedication before the GWCHF moves forward with a formal request. The intent is to:

1. Enable interim reimbursement per the terms of the development agreement.
2. Preserve pavement quality by timing final surfacing to follow heavy construction activity.

City staff met with the GWCHF team to discuss steps required for partial dedication and reimbursement. The following steps have been outlined in order to proceed with partial public infrastructure dedication:

1. Concept support by the Plan Commission (June 9<sup>th</sup> meeting)
2. Formal partial dedication request. A dedication resolution would accompany the request which would need Plan Commission and Common Council approval.

Before the Plan Commission formally reviews the partial dedication request (step 2 above), all required construction documentation must be submitted and interim construction punchlist items must be completed. Once those conditions are met, the Plan Commission could conduct its formal review and recommendation of the interim dedication, followed by final approval via resolution from the Common Council.



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A final/full dedication would follow a similar process after the pavement surface course is installed, and all remaining improvements and final punchlist item are completed. The recorded stormwater maintenance agreement, and complete as-built drawings are needed before final/full dedication.

Interim reimbursement would be issued per the process outlined in the Development Agreement, following submission of a Reimbursement Request and contingent upon partial right-of-way improvement dedication. The remaining Phase I reimbursement would be issued no sooner than May 2026, and only after completion of all outstanding construction items and final dedication of right-of-way improvements, in accordance with the terms of the agreement.

## Budget Goal

1. Proactively maintains and improves our parks and infrastructure to ensure safety, quality, and equity
2. Maintains a safe and healthy community, with an eye toward future needs and trends

## Financial Impact

Funds for public infrastructure reimbursement are included in the City's adopted capital improvement budget.

## Recommendation

City staff recommends that the Plan Commission approve the concept of partial public infrastructure dedication to allow the developer to move forward with formal submittal and reimbursement steps.