



BOARD OF ZONING APPEALS MEETING

Thursday, November 06, 2025 at 5:00 PM

AGENDA

CALL TO ORDER.

DETERMINATION OF A QUORUM.

APPROVAL OF MINUTES.

1. Draft Minutes- May 7, 2025

PUBLIC HEARING.

2. **BZA #2025-2** – Application for a Variance pursuant to Article 3-4.3.4, lot and yard regulations of the Town of Warrenton Zoning Ordinance. The Applicant is requesting a Variance of the minimum lot size, minimum frontage, and minimum side yard setback requirements so that the existing three-family dwelling can be subdivided into three separate single-family dwellings on individual lots. The property is located at 134 Haiti Street, with the individual units addressed as 130, 132, and 134 Haiti Street, and is zoned to the R-6 Residential District. The existing lot is approximately 6,176 square feet. The owner/applicant is Fauquier Habitat for Humanity. GPIN 6984-44-8436-000.

UPDATES.

ADJOURN.



**BOARD OF ZONING APPEALS OF THE TOWN OF WARRENTON
TOWN HALL
21 MAIN STREET
WARRENTON, VIRGINIA 20186**

MINUTES

A REGULAR MEETING OF THE BOARD OF ZONING APPEALS WAS HELD ON MAY 6, 2025, AT 5:00 P.M. IN WARRENTON, VIRGINIA

PRESENT Ms. Melea Maybach, Chair; Mr. Van Baggett, Vice Chair; Ms. Susan Helander; Ms. Heather Jenkins, Zoning Administrator; Ms. Amber Heflin, Zoning Official

ABSENT

CALL TO ORDER AND DETERMINATION OF A QUORUM

The meeting was called to order at 5:05pm. There was a quorum of members present.

APPROVAL OF MINUTES

Draft Minutes – March 4, 2025, Meeting

Ms. Helander motioned to approve the minutes as presented, and Mr. Baggett seconded. All in favor. The vote was as follows:

Ayes: *Ms. Melea Maybach, Chair; Mr. Van Baggett, Vice Chair; Ms. Susan Helander*

Nays:
Absent During Vote:

PUBLIC HEARING

BZA-25-1- 579 Pineview Court

Ms. Heflin gave a brief presentation on the proposed variance request, advising the request was

for an 18.5' variance from the required 18.5' secondary front yard setback requirement to allow the construction of a 6' fence along the property's secondary frontage on Meadowview Lane. She added the applicant has proposed a section of 4' fencing at the intersection of Pineview Court and Meadowview Lane in an attempt to eliminate sight distance issues at the intersection for pedestrians and vehicular traffic.

Ms. Heflin advised the applicant was present for questions from the Board.

A brief discussion ensued regarding Ms. Helander's involvement as the agent for the subdivision's HOA as well as her relationship with the applicant and Ms. Helander asked the other members of the Board if they felt she should recuse herself.

Ms. Helander stated the Board may want to consider a text amendment for fences on corner lots since the Town is currently undergoing a Zoning Ordinance rewrite.

The other members of the Board indicated they were comfortable with Ms. Helander casting a vote on the variance request.

Ms. Maybach asked if the applicant would like to speak to their variance request.

David George, the homeowner, stated the fencing is proposed not only for privacy and safety but also to enhance the community and add to its value.

There were no further questions.

Ms. Maybach opened the public hearing at 5:18pm.

No one spoke.

Ms. Maybach closed the public hearing at 5:19pm.

Ms. Helander stated she had not physically been down Meadowview Lane, but the community had been there for 20 years or more and was quiet. She added that the new Warrenton Crossing Subdivision was being constructed adjacent to the Monroe Estates subdivision and expressed concerns that additional pedestrians may create additional safety concerns.

Ms. Helander expressed her support for the variance request due to the potential for additional safety concerns.

Ms. Maybach asked for a motion.

Mr. Baggett motioned to approve BZA-25-1 for the variance of 18.5' to allow the 6' fence sections within the 18.5' secondary front setback as presented, and Ms. Helander seconded.

Ms. Maybach added she would like to approve with the conditions the staff had suggested, which included the restriction on the portion of fencing at the intersection of Meadowview Lane and Pineview Court to 4' in height to maintain a clear sight triangle for vehicles and pedestrians.

Ms. Jenkins clarified Ms. Maybach's request to amend the existing motion on the floor to add the staff's suggested conditions of approval.

Ms. Maybach confirmed and motioned to amend the existing motion to approve BZA-25-1 for the variance of 18.5' to allow the 6' fence sections within the 18.5' secondary front setback with the approval conditions as presented by staff.

Ms. Heflin clarified the motion on the floor is to approve the variance request with the conditions of approval as presented.

Mr. Baggett confirmed.

Ms. Jenkins advised the Board will first need to approve the amendment to the motion and the vote to approve the motion.

Ms. Helander motioned to approve the amended motion. Mr. Baggett seconded. All in favor. No discussion, the vote was as follows:

Ayes: *Ms. Melea Maybach, Chair; Mr. Van Baggett, Vice Chair; Ms. Susan Helander*

Nays:

Absent During Vote:

Mr. Baggett motioned to approve BZA-25-1 with the approval conditions as presented by staff, and Ms. Helander seconded. All in favor. No discussion. The vote was as follows:

Ayes: *Ms. Melea Maybach, Chair; Mr. Van Baggett, Vice Chair; Ms. Susan Helander*

Nays:

Absent During Vote:

Ms. Maybach thanked the applicant for applying for a variance and noted after seeing the neighborhood layout, the 4' section of fencing will make a huge difference at the intersection.

There were no further comments or questions.

UPDATES FROM STAFF

Appointment of New Board Members for Existing Vacancies

Ms. Heflin advised the Board there is no update from the Circuit Court regarding appointment of two new Board members to fill the vacancies on the Board yet.

There were no questions from the board.

Cancellation of the Board's Regularly Scheduled June Meeting

Ms. Heflin advised the Board there are no pending appeals or variance requests and there are no pending administrative tasks the Board needs to complete next month, and the June meeting can be cancelled should the Board wish to do so.

There was agreement from all Board members to cancel the regularly scheduled June meeting.

Ms. Maybach asked about the July meeting date.

Ms. Heflin confirmed the July meeting was set for July 1st.

Ms. Helander indicated she will not be available for the August meeting.

There were no further questions.

ADJOURNMENT

Ms. Maybach motioned to adjourn. Ms. Helander seconded, all in favor. No discussion. The vote was as follows:

Ayes: *Ms. Melea Maybach, Chair; Mr. Van Baggett, Vice Chair;
Ms. Susan Helander*

Nays:

Absent During Vote:

The meeting was adjourned at 5:25 pm.

I hereby certify that this is a true and exact record of actions taken by the Board of Zoning Appeals of the Town of Warrenton on May 6, 2025.

Melea Maybach
BZA Chair



TOWN OF WARRENTON

Department of Community Development

PO BOX 341
WARRENTON, VIRGINIA
20188
<http://www.warrentonva.gov>
Permittech@warrentonva.gov
(540) 347-2465

STAFF REPORT

November 6, 2025

Property Owner(s) / Applicant(s): Fauquier Habitat for Humanity

Application # BZA #2025-2

Location: 134 Haiti Street (Additional units addressed as 130, 132, and 134 Haiti Street)

PIN: 6984-44-8436-000

Acreage: 0.1417 (6,176 square feet)

Zoning Residential R-6

Comprehensive Plan Designation: Medium Density Residential

Land Use: Residential, Three-Family Dwelling

Request: The Applicant is seeking approval of a Variance pursuant to Zoning Ordinance Article 3-4.3.4, to allow the existing three-family dwelling to be subdivided into three separate single-family dwellings on individual lots.

REQUEST

The applicant is requesting a variance from Article 3-4.3.4 of the Zoning Ordinance, to reduce the minimum required lot size, lot frontage, and side yard setbacks, which would allow the existing lot in which an existing three-family dwelling is located to be subdivided to create three separate single-family dwellings on individual lots. The Zoning Ordinance permits the following with regards to lot size and setbacks:

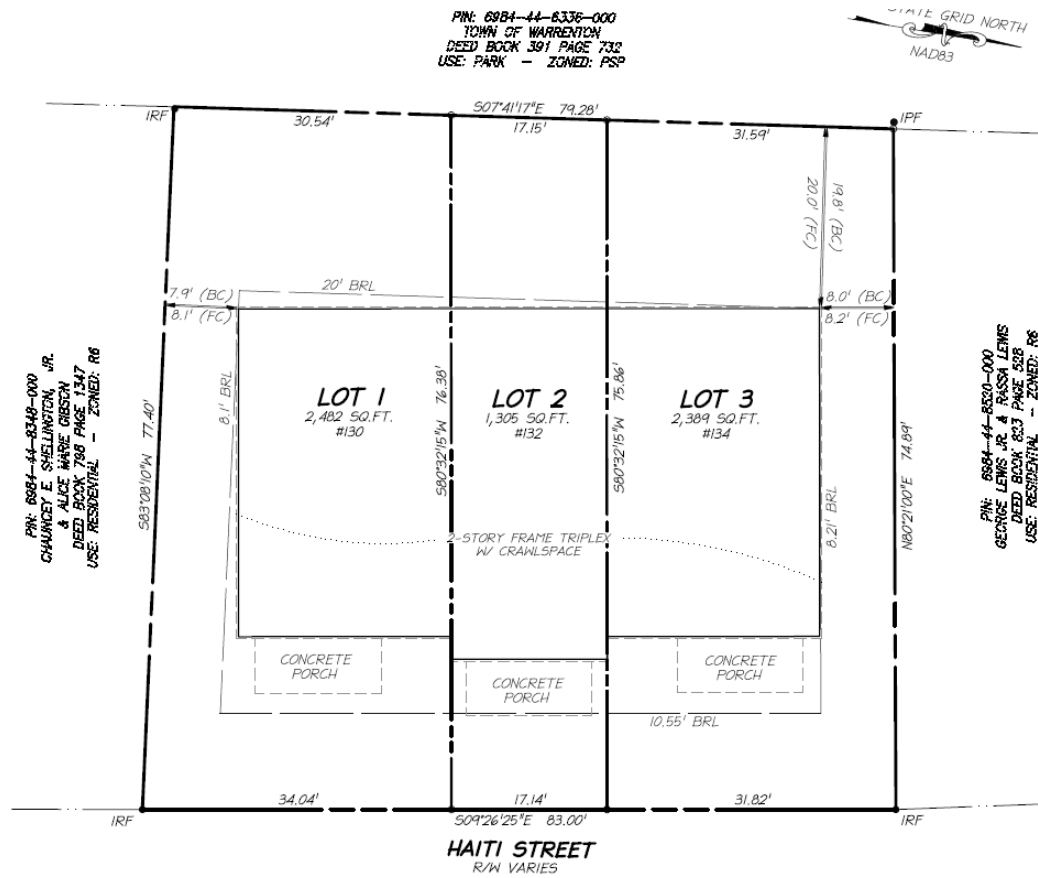
3-4.3.4 Lot and Yard Regulations

Use	Minimum	Minimum	Maximum	Minimum Setbacks		
	Lot Size (sq. ft.)	Lot Frontage (at front setback)	Lot Coverage (impervious surfaces)	Front	Side	Rear
Single-Family Dwelling	6,000	55 ft.	65%	20 ft.	8 ft.	20 ft.
Two-Family Dwelling	9,000	65 ft.	75%	20 ft.	15 ft.	20 ft.
Three-Family Dwelling	12,000	75 ft.	80%	20 ft.	15 ft.	20 ft.
Four-Family Dwelling	15,000	85 ft.	80%	20 ft.	15 ft.	20 ft.
Other Permitted Uses	6,000	55 ft.	65%	20 ft.	15 ft.	20 ft.

Proposed Use

Existing Use

The proposed subdivision will create approximately three separate lots; Lot 1 would be approximately 2,482 square feet, lot 2, approximately 1,305 square feet, and lot 3, 2,389 square feet.



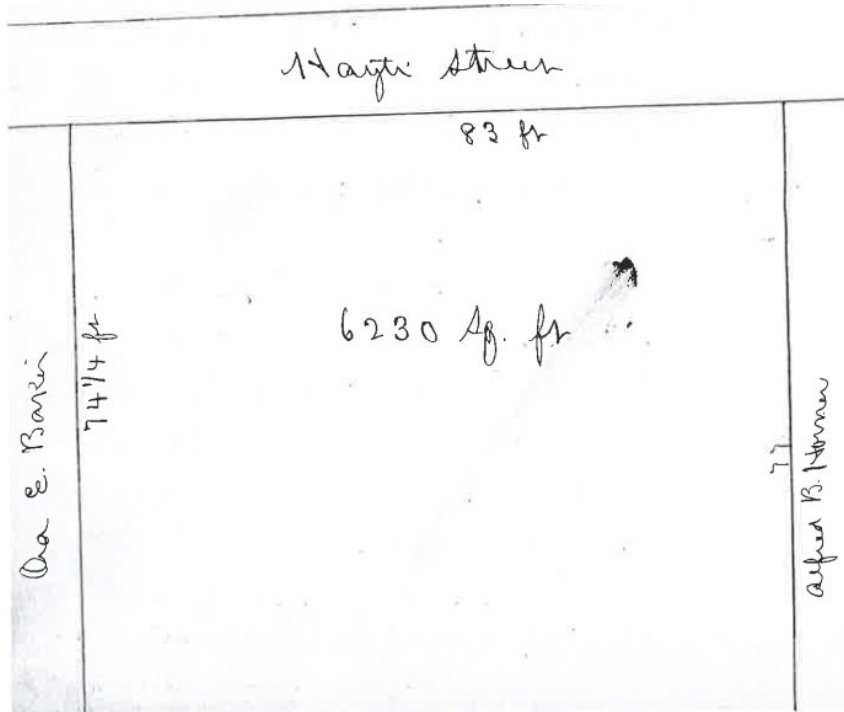
The image above shows the proposed subdivision of the existing three-family dwelling to create three separate lots of record. The table below outlines the proposed lot size, frontages, and side yard setbacks versus the minimum required Lot and Yard Regulations found in Article 3-4.3.4 of the Zoning Ordinance.

Zoning Ordinance Minimum Standard (Article 3-4.3.4)	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3
Minimum Lot size- 6,000 square feet	2,482 Square Feet (-3,518 square feet difference)	1,305 square feet (-4,695 square feet difference)	2,389 square feet (-3,611 square feet difference)
Minimum Frontage (measured at the front setback)- 55'	34.04' (-20.96' difference)	17.14' (-37.86' difference)	31.82' (-23.18' difference)
Minimum Side Yard Setback- 15'	7.9' left side, 0' right side (-7.1' difference on left side and 15' difference on right side)	0'- both sides of the lot (-15' difference)	0'-left side, 8' right side (15' difference on left side and 7' difference on right side)

BACKGROUND

The subject property was created from two separate lots of record as part of an estate division in 1895 as recorded in Deed Book 86 page 297. The lot contained approximately 6,230 square feet at the time of its sale in 1914 as recorded in Deed Book 110 page 302.

(Lot Depiction from 1914 Deed)



The property is zoned Residential (R-6) and has remained R-6 since at least 1991. Prior Zoning Maps indicate that the lot was zoned R-B in the 1950's, and R-7 (Replaced by R-6 in 1991). The lot is currently 0.1417 acres (6,176 square feet) in size, and fronts along Haiti Street for approximately 83 feet.

A structure labeled as "colored tenements" also known as "multi-family housing" appears on a Sanborn Map dated 1924, but the structure did not appear in a deed of record until 1969. Staff estimates the structure was constructed sometime between 1914 and 1924 based off of the Sanborn Map. The applicant acquired the subject property on October 31, 2019, via deed recorded in Deed Book 1612, Page 287. Adjacent uses are single-family detached dwellings and a two-family dwelling.



The image above is intended to show the subject property and its proximity to adjacent single family and two-family dwellings.

ANALYSIS

A variance is defined by State Code Section § 15.2-2201 and Article 12 of the Zoning Ordinance as:

Variance – In the application of a zoning ordinance, a reasonable deviation from those provisions regulating the shape, size, or area of a lot or parcel of land or the size, height, area, bulk, or location of a building or structure when the strict application of the ordinance would unreasonably restrict the utilization of the property, and such need for a variance would not be shared generally by other properties, and provided such variance is not contrary to the purpose of the ordinance. It shall not include a change in use, which change shall be accomplished by a rezoning or by a conditional zoning.

Under Virginia State Code Section § 15.2-2309, powers and duties of the Board of Zoning Appeals, In granting a variance, the BZA may impose such conditions regarding the location, character, and other features of the proposed structure or use as it may deem necessary in the public interest and may require a guarantee or bond to ensure that the conditions imposed are being, and will continue to be, complied with. The property upon which a property owner has been granted a variance shall be treated as conforming for all purposes under state law and local Ordinance; however, the structure permitted by the variance may not be expanded unless the expansion is within an area of the site or part of the structure for which no variance is required under the Ordinance. Where the expansion is proposed within an area of the site or part of the structure for which a variance is required, the approval of an additional variance shall be required.

Notwithstanding any other provision of law, general or special, a variance shall be granted if the evidence shows that the strict application of the terms of the ordinance would;

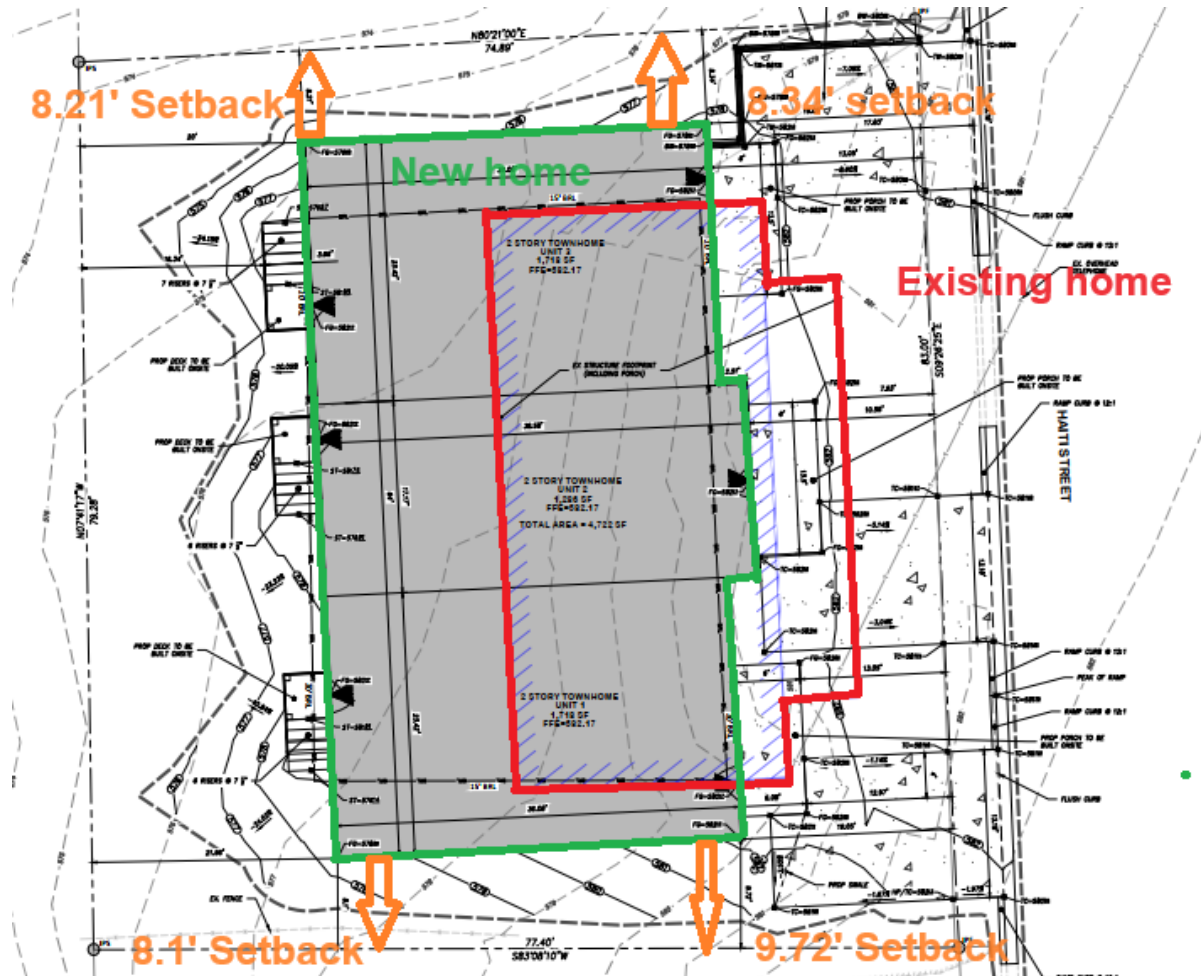
1.) Unreasonably restrict the utilization of the property or,

In analyzing this variance request, staff finds that the applicant has “reasonable utilization” of the property as a three-family residence and has previously received a variance of approximately 7’ from the required 15’ side yard setback on September 3, 2024, to reconstruct the existing three-family dwelling (*Case number BZA-24-2*). The current requested variance is to allow the property owner to subdivide the parcels to create three separate lots for re-sale, creating further non-conformity of lot size and side-yard setback from current requirements in the Zoning Ordinance.

2.) That the granting of the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the ordinance, or,

The current lot size does not conform to the current or previous Ordinance requirement for a three-family dwelling but has historically been utilized for that purpose. The Ordinance currently requires that a three-family dwelling has a minimum lot size of 12,000 square feet. The existing lot is approximately 6,176 square feet, which is less than the minimum lot size required in the R-10 Zoning District. Prior Ordinances in 1959 and 1991 required a minimum lot size of 10,000 square feet and 12,000 square feet respectively; at no time in the past did the lot

meet minimum size requirements for the use. The granting of a variance would further increase the non-conformity on the property by establishing even smaller lots. This could create setback issues for future property owners wanting to place accessory structures on the properties, such as sheds or fences.



The image above is intended to show the original home (red) and the reconstructed three-family dwelling with the approved variance to allow an 8' side yard setback in 2024.

- 3.) Alleviate a hardship by granting a reasonable modification to a property or improvements thereon requested by, or on behalf of, a person with a disability.

The applicant indicates the requested variance is not being requested by or on behalf of a person with a disability.

Additionally, under Virginia State Code Section § 15.2-2309, no variance shall be authorized by the BZA unless it is determined that the request meets all five of the following criteria:

- a) The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance;

The property was acquired in good faith by the applicant in 2019 by purchase of the property recorded in deed book 1612, page 287. The applicant received a variance from the Board of Zoning Appeals (**BZA-24-2**) on September 3, 2024, to reduce the side yard setback from 15' to 8'. The applicant then subsequently received a land disturbance permit (**LDP-24-20**) on October 30, 2024, and a building permit (**BLDG-24-74**) on May 5, 2025 to reconstruct the three-family dwelling.

Staff cannot affirmatively state the hardship is not created by the applicant, as the property has historically had reasonable use as a three-family dwelling. Staff defers to the applicant for justification that this criteria is met.

- b) *The granting of the variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area;*

The existing use of the subject property as a three-family dwelling will cease, due to the subdivision of the property into three separate lots of record. Therefore, the use of the property will change to three single-family dwellings with zero-foot side lot lines. The change of use does not result in an increase in density, as the number of dwellings remains the same. The structure will be located across the street from single-family detached dwellings at 129 Haiti Street (6984-44-9454-000), 123 Haiti Street (6984-44-9451-000), and an existing duplex located at 131 Haiti Street (6984-44-9458-000). The impact to neighboring properties would be limited due to the area being primarily residential, and the number of dwellings will not be increased. Staff recommends a condition of approval to limit the properties from adding additional accessory dwelling units (ADU's) on the properties to prevent large increases in density on a substandard lot.

- c) *The condition or situation of the property is not of so general or recurring of a nature as to be adopted as an amendment to the ordinance;*

This property is unique in that the Haiti Street neighborhood is comprised of narrow and deep lots as depicted on a subdivision plat from 1872. The unique nature of the property's condition does not lend itself to an amendment of the Ordinance that would apply to all properties located within the Town.

- d) *The granting of the variance does not result in a use that is not otherwise permitted on such property, or a change in the zoning classification of the property; and*

The existing three-family dwelling was constructed prior to the first Zoning Ordinance in 1955, but three-family dwellings have been a by-right permitted use in the district since approximately 1976, and prior to that as "apartments" in 1959. A variance to allow the three-lot subdivision would change the existing residential use from a three-family dwelling to three individual single-family dwellings. This does not change the Zoning district for the property, as single-family dwellings are permitted by-right and three-family dwellings are permissible by Special Use Permit.

- e) *The relief or remedy sought by the variance application is not available through a special use permit process that is authorized in the Ordinance or the process for modification to the*

Zoning Ordinance at the time of the filing of the variance application.

A Special Use Permit cannot provide relief from lot size or setback requirements, nor are any waivers available for homes unable to meet setback requirements. The Zoning Ordinance does not allow for administrative approvals of setback reductions for non-conforming lots.

CONCLUSION

Should the Board find that this request meets one of the three criteria listed in Section § 15.2-2309 of the State Code, and all five of the standards listed in Section § 15.2-2309 of the State Code, and moves to grant the requested variance, staff recommends the following approval conditions so as to secure the public interest and to minimize potential negative impacts on local residents and adjoining property owners:

- 1.) The site shall be in general conformance with the information and drawings submitted with the variance application except as specifically modified by the conditions below or as necessary to meet Zoning Ordinance requirements.
- 2.) Any future accessory structures must meet current Zoning Ordinance requirements.
- 3.) No accessory dwelling units (ADU's) shall be permitted on the property unless the lot sizes are increased in the future to prevent increases in density on a substandard lot.

ATTACHMENTS

- A. Proposed Conditions of Approval / Proposed Motion for Denial
- B. Maps – Location, Zoning
- C. Photographs – Existing Conditions
- D. Plat
- E. Proposed Lot Layout- BZA-24-2 Case
- F. Variance Application Materials
- G. Building Plans for Triplex
- H. Deed of purchase-2019
- I. Historic Deed Research 1914-1969

PATTERN MOTION TO APPROVE VARIANCE VARIANCE

**BZA #2025-2- FAUQUIER
HABITAT FOR HUMANITY**

**BZA MEETING DATE:
NOVEMBER 6, 2025**

In Application BZA #2025-2, I move to grant the Variance, after due notice and hearing as required by Code of Virginia §15.2-2204 and Article 11-3.11 of the Town of Warrenton Zoning Ordinance, based on upon the following Board findings:

1. The strict application of the Ordinance would unreasonably restrict the utilization of the property, the need for the variance will not be shared generally by other properties, and the variance is not contrary to the purpose of the ordinance.
2. The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance; and
3. The granting of the variance will not be of substantial detriment to the adjacent property and nearby properties in the proximity of that geographical area; and
4. The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Ordinance; and
5. The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property; and
6. The relief or remedy sought by the variance application is not available through a Special Exception or Special Permit process that is authorized in the Ordinance or the process for a modification from a provision of the Zoning Ordinance at the time of the filing of the variance application.

The Variance is granted subject to the following conditions, safeguards, and restrictions upon the proposed uses, as are deemed necessary in the public interest to secure compliance with the provisions of this Ordinance:

1. The site shall be in substantial conformance with the information and drawings submitted with the variance application except as specifically modified by the conditions below or as necessary to meet Zoning Ordinance requirements.
2. Any future accessory structures must meet current Zoning Ordinance requirements.
3. No accessory dwelling units (ADU's) shall be permitted on the property unless the lot sizes are increased in the future to prevent increases in density on a substandard lot.

PATTERN MOTION FOR DENIAL

VARIANCE

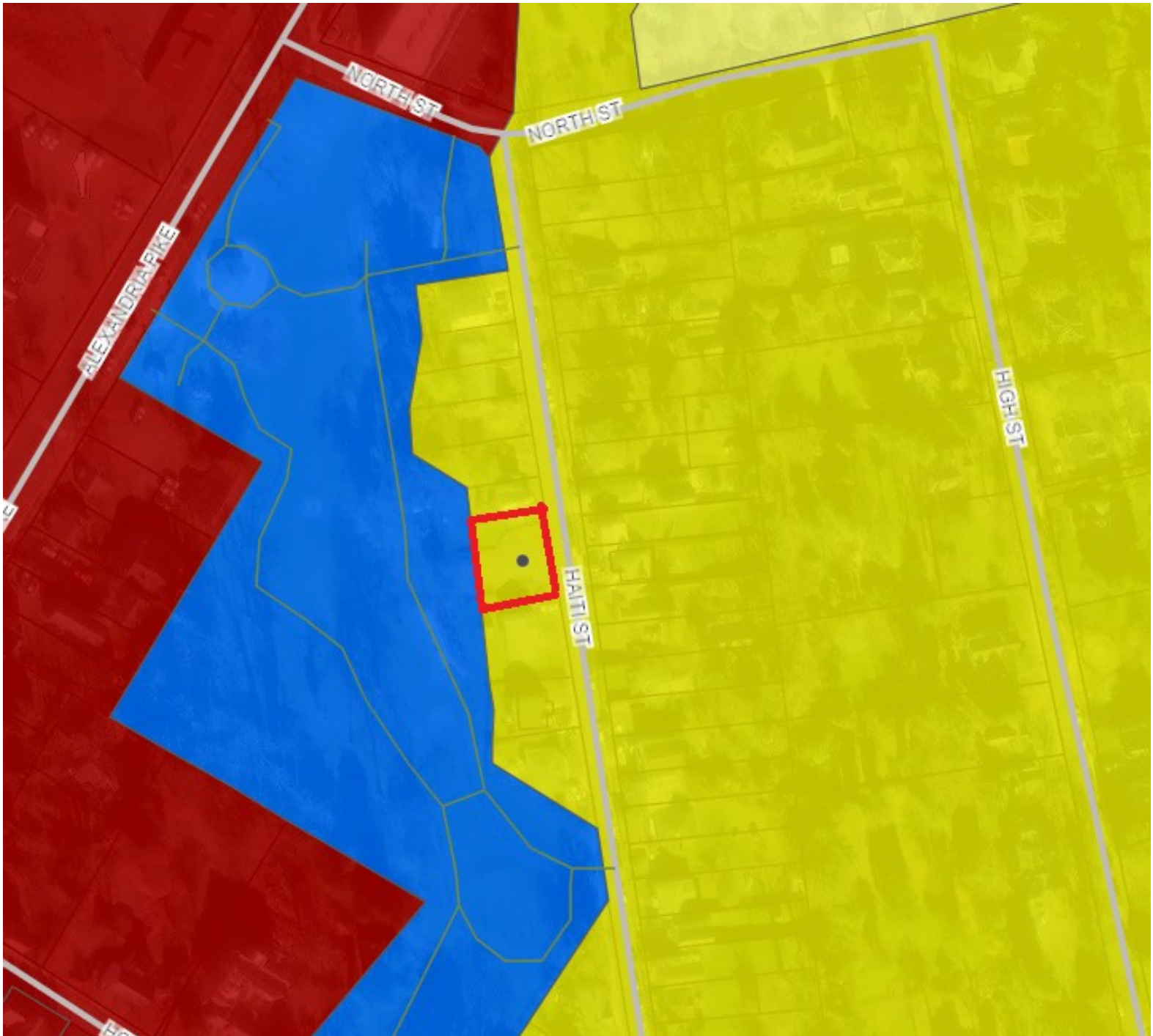
**BZA #2025-2- FAUQUIER
HABITAT FOR HUMANITY**

**BZA MEETING DATE:
NOVEMBER 6, 2025**

In Application BZA #2025-2, I move to deny the Variance, after due notice and hearing, as required by Code of Virginia §15.2-2204 and Article 11-3.11 of the Town of Warrenton Zoning Ordinance, based on upon the following Board findings:

1. The strict application of the Ordinance inconveniences the Applicant but does not unreasonably restrict the utilization of the property.
2. The strict application of the Ordinance does not alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the Ordinance.
3. The strict application of the Ordinance does not alleviate a hardship by granting a reasonable modification to a property or improvements thereon requested by, or on behalf of, a person with a disability.
4. The variance would be contrary to the intent and purpose of the Zoning Ordinance.
5. The granting of the variance would not result in substantial justice being done.
6. The relief requested can be granted only through modification of the zoning ordinance.
7. _____
8. _____

Zoning and Location



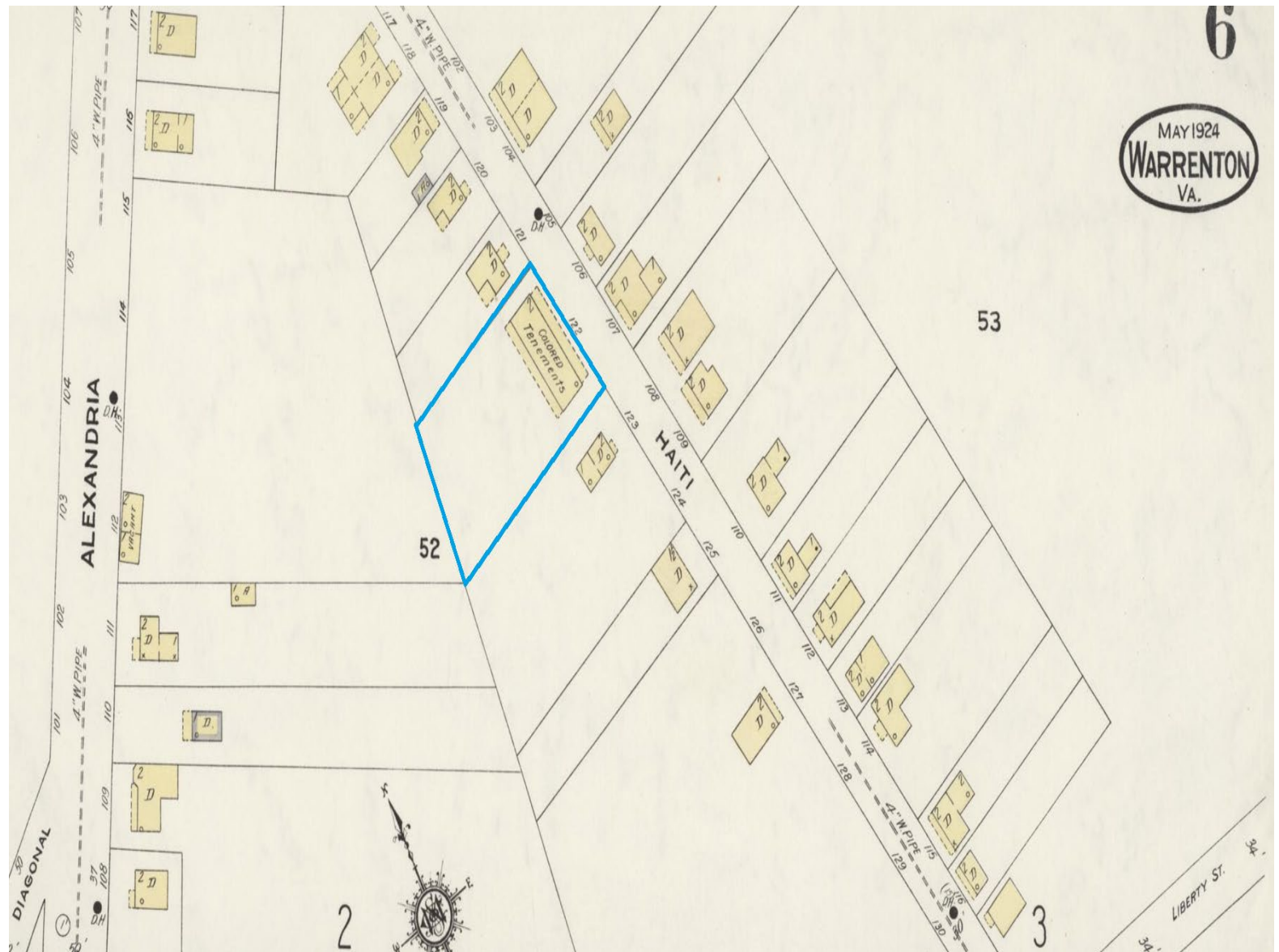
2017 Photograph of existing triplex



2018 Photograph of existing triplex



1924 Sanborn map

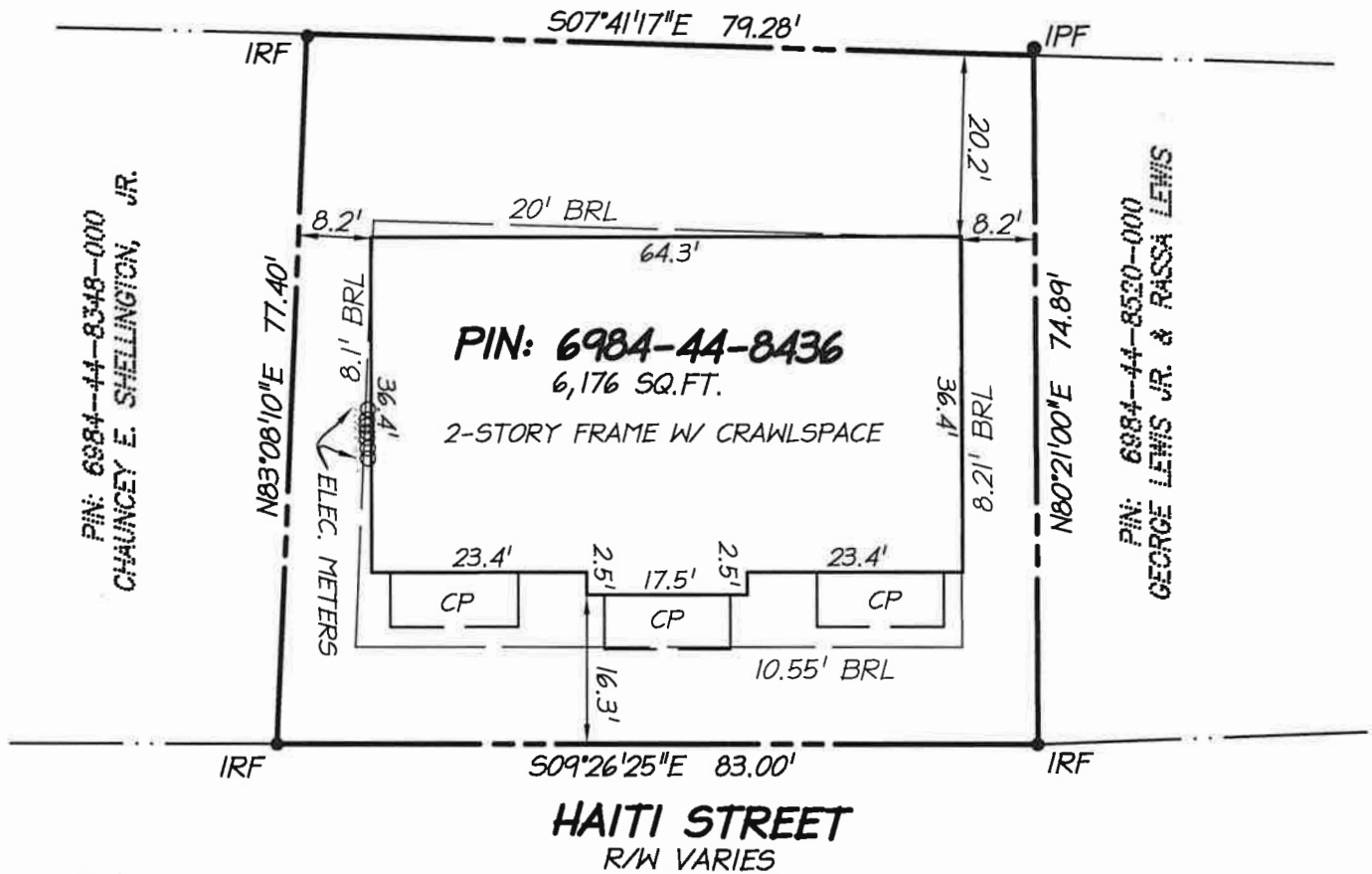


NOTE:

SETBACKS ARE DETERMINED BY THE MINIMUM OF TOWN SETBACK REQUIREMENTS AND CLOSEST POINT TO PROPERTY LINE OF EXISTING HOUSE.



PIN: 6984-44-6336-000
TOWN OF WARRENTON



LEGEND:

IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
SQ. FT.	SQUARE FEET
R/W	RIGHT-OF-WAY
BRL	BUILDING RESTRICTION LINE
CP	CONCRETE PORCH



NOTES:

1. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
2. NO TITLE REPORT FURNISHED. OTHER EASEMENTS AND ENCUMBRANCES OF RECORD NOT SHOWN MAY EXIST.
3. THE PROPERTY SHOWN HEREON IS IDENTIFIED AS PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R-C.

PHYSICAL IMPROVEMENT SURVEY
PIN: 6984-44-8436

DEED BOOK 1612 PAGE 267
TOWN OF WARRENTON, VIRGINIA
SCALE 1"=20' DATE 9/12/2025
GREEN COVE LAND SURVEYING, PLLC
1055 LONGVIEW LANE CULPEPER, VA 22701
(540) 219-8350



TOWN OF WARRENTON

Department of Community Development

PO BOX 341
 WARRENTON, VIRGINIA 20188
<http://www.warrentonva.gov>
Permittech@warrentonva.gov
 (540) 347-2405

Land Development Application

Type of Development [select type(s) below]

Permit # _____

Planning	Zoning		
<input type="checkbox"/> Commission Permit (§2232)	<input type="checkbox"/> Administrative Appeal	<input type="checkbox"/> Concept Plan Review	<input type="checkbox"/> Record / Vacate Plat
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> As-Built	<input type="checkbox"/> Easement Plat	<input type="checkbox"/> Site Development Plan
<input type="checkbox"/> Special Use Permit	<input type="checkbox"/> Bond Release/ Reduction	<input type="checkbox"/> Final Plat	<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Rezoning	<input type="checkbox"/> Bond Extension	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Waiver, Administrative
	<input type="checkbox"/> Boundary Adjustment	<input type="checkbox"/> Re-approval of Plat	<input type="checkbox"/> Waiver/Exception, Legislative

☐ Amendment to Existing Approved Application? If Yes, List Application _____

Project Description

Project Name: Haiti Street Revitalization Phase One

Property Address (if no address, give closest cross street): 130, 132, 134 Haiti St Warrenton VA 20186

Purpose of Request: To subdivide the lot and building into three parcels creating a fee-simple sale of the triplex enabling sales to Habitat for Humanity homebuyers. Condomization of the triplex is cost-prohibitive for three units sold to families in low- to moderate-income AMI.

Zoning District: Ward 2

Total Acres:

Acres for Proposed Use:

Parcel Identification Number(s): 6984-44-8436-000

Contact Information (Attach separate page if necessary)

All Current Owners

Name & Company: Fauquier Habitat for Humanity, Inc.

Address: 98 Alexandria Pike Suite 43, Warrenton VA 20186

Phone: 540-341-4952

Email: melanieburch@fauquierhabitat.org

All Current Applicants (if different then owner):

Name & Company:

Address:

Phone:

Email:

Representative (if different then owner/applicant):

Name & Company:

Address:

Phone:

Email:

OWNER(S) AFFIDAVIT (Original Signatures Required)

I have read this application, understand its intent and freely consent to its filing. Furthermore, I have the power to authorize and hereby grant permission for Town of Warrenton officials and other authorized government agents on official business to enter the property to process this application.

APPLICANT(S) AFFIDAVIT (Original Signatures Required)

The information provided is accurate to the best of my knowledge. I acknowledge that all tests, studies, and other requirements of the Town of Warrenton Zoning Ordinance and Subdivision Ordinance and other requirements of review/approval agencies will be carried out at my expense. I understand that the Town may deny, approve or conditionally approve that for which I am applying.

Owner's Signature & Date:

Applicant's Signature & Date:

Print Owner's Name: Melanie C. Burch, President

Print Applicant's Name:

FAUQUIER HABITAT FOR HUMANITY, INC.

6984-44-8436-000

APPLICATION FOR VARIANCE

FILE NO. _____

BACKGROUND

The subject property is zoned Residential and historically has served as a triplex. The former triplex needed to be razed as its condition had deteriorated to a point where it was no longer inhabitable.

The Applicant erected a new triplex on the existing footprint; however, we need to establish lot lines to correspond with the three units to effectuate placing deserving families in their new homes.

The middle unit, being connected by a party wall to the two end units, requires us to address side setbacks vis a vis the other units. Further, the project will also need to address lot size and frontage issues under existing zoning requirements.

The Applicant seeks a variance for lot size, lot frontage and side setbacks (Section 2-14 of the Town of Warrenton Zoning Ordinance).

STATEMENT OF JUSTIFICATION

“The Board of Zoning Appeals shall grant a variance if the applicant proves, by a preponderance of the evidence, that the strict application of the terms of the Ordinance would unreasonably restrict the utilization of the property or that the granting of the variance would alleviate a hardship due to the physical condition relating to the property or improvements thereon at the time of the effective date of the Ordinance.” Town of Warrenton Zoning Ordinance Section 11-3.11.1.

- Your Applicant submits that the property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant for the variance.

- The Applicant submits that the granting of the variance will not be of substantial detriment to the adjacent property and nearby properties in the proximity of that geographical area.
- The condition or situation of the property concerned is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Ordinance.
- The granting of the variance does not result in a use that is not otherwise permitted on such property or a change in the zoning classification of the property.
- Lastly, the relief or remedy sought by the variance application is not available through a special use permit process that is authorized in the Ordinance or the process for modification to the Zoning Ordinance at the time of the filing of the variance application.

Town of Warrenton Zoning Ordinance, Section 11-3.11.

COMPREHENSIVE PLAN

The proposed use is in conformance with the Town's Comprehensive Plan –

“Perhaps most importantly, the design of our community needs to support the needs of all residents and businesses through elements like attainable housing to encourage resident diversity and retention. These elements of community allow Warrenton to positively respond to the needs of its residents, ensuring that even through change we are still Warrenton: a community that deeply cares for all its members.” Plan Warrenton 2040, p. 4.

“Preserve established residential neighborhoods, while expanding housing options to ensure inclusive, attainable housing for all ages, incomes, and needs. Create walkable communities with shared open space developments compatible with existing uses in scale and character.” Plan Warrenton 2040, p. 5.

The Application is in accordance with the Housing Goals set out in the Comprehensive Plan.

H-1 Ensure equitable, attainable housing opportunities across residents of all ages, incomes, and abilities by catering to the needs of a diverse community, including young families, professionals early in their careers, essential workforce, and those entering retirement.

H-3 Preserve existing neighborhoods and promote infill that supports the character and heritage of Warrenton.

H-4 Create regional partnerships to address and enhance attainable housing supply.

Plan Warrenton 2040, p. 13.

A Key Aspiration related to the Housing vision in the Comprehensive Plan is to:

“Allow for housing types that cater to the needs of a diverse community: include young families, professionals early in their careers, essential workforce (e.g. teachers and police officers), and those entering retirement.”

Furthermore, the Comprehensive Plan seeks to insure that “existing housing stock is improved and maintained to preserve established residential neighborhoods, . . . to ensure that the Town supports infill development that contributes to the Town’s small town feeling where neighbors know their neighbors.”

This Application also addresses the Comprehensive Plan’s Goal to encourage development of the “Missing Middle” housing types beyond traditional single-family homes, townhouses, and apartments by updating the Zoning Ordinance to create a beneficial mix.” Plan Warrenton 2040, p. 27.

Further, Goal H-1.2: calls for the “[creation of] a range of housing types that are compatible to existing neighborhoods in scale and character to attract a more diverse demographic. Plan Warrenton 2040, p. 28.

The Applicant, Fauquier Habitat for Humanity, is a recognized community partner. Goal H-1.7: encourages the Town to “engage community partners and residents to create a committee to address affordability, optimum percentages of housing typology mix, and design.” Plan Warrenton 2040, p. 28

TOWN OF WARRENTON BOARD OF ZONING APPEALS'

RULES OF PROCEDURE REGARDING APPEALS

Adopted October 5, 2021

The following procedural rules govern appeals before the Town of Warrenton's Board of Zoning Appeals ("BZA"):

A. Definitions:

Appellant: Any person aggrieved or any officer, department, board, commission, or authority of the Town affected by any decision of the Zoning Administrator or by any order, requirement, decision or determination made by any other administrative officer in the administration or enforcement of the Town of Warrenton's Zoning Ordinance.

Appeal: Action taken to contest a decision of the Zoning Administrator or to contest any order, requirement, decision or determination made by any other administrative officer in the administration or enforcement of the Town of Warrenton's Zoning Ordinance

B. Appellant to receive copy of Rules:

Town staff shall provide the appellant a copy of the BZA's Rules of Procedure Regarding Appeals upon appellant's request or no later than at the time appellant files its land development application noting its appeal. All appeals shall include as an Addendum, a statement by the appellants acknowledging receipt of these Rules of Procedure.

C. Submission requirements of written materials:

- (1) The appellant shall file a land development application and filing fee noting its appeal, along with a detailed statement of justification of the grounds for the appeal, in accordance with the relevant provisions of the Code of Virginia and the Town of Warrenton Zoning Ordinance, with the Town's Department of Community Development located at 21 Main Street, Warrenton, Virginia 20186. The appellant shall file eight (8) complete copies plus a digital copy of the statement of the justification, including copies of all exhibits, at the time of filing.
- (2) The appeal shall be placed on the BZA's next agenda for which it can be properly advertised, consistent with the legal notice requirements of the Code of Virginia and the Town of Warrenton Zoning Ordinance. There may be instances in which an appellant must file an appeal to protect its rights but appellant and Town staff are actively pursuing a resolution to the issue which resulted in the appeal. In those instances, appellant and Town staff can consent to postpone scheduling of the appeal. In those instances, the appeal will not be placed on the BZA's public meeting agenda until either party notifies the Secretary

of the BZA of the need to schedule it; however, both parties' consent to the postponement of the appeal shall be placed on the BZA's agenda.

- (3) Town staff shall file seven (7) copies plus a digital copy of its written response to the appeal, including copies of all exhibits, with the Secretary of the BZA within fourteen (14) business days of the date appellant filed its appeal. Staff shall also transmit by hand delivery, facsimile, or email a complete copy of its response to the appeal, including copies of all exhibits, to the appellant, so that the appellant receives its copy by 4:30 p.m. the same day staff files its response with the Secretary of the BZA.
- (4) The appellant may, but is not required to, file a written reply to staff's submission with the Department of Community Development. If appellant elects to file a written reply, it shall be filed within five (5) business days of the date staff filed its response to the appeal. The appellant shall file eight (8) complete copies plus a digital copy of its reply, including copies of all exhibits, at the time of filing.
- (5) If appellant raises new or different arguments in its written reply to Town staff's submission, staff may, but is not required, to file a reply with the Secretary of the BZA. If staff elects to file a reply, it shall be filed within three (3) business days of the date appellant filed its reply. Staff shall file seven (7) copies plus a digital copy of its reply, including copies of all exhibits, at the time of filing. Staff shall also transmit by hand delivery, facsimile, or email a complete copy of its reply, including copies of all exhibits, to the appellant, so that the appellant receives its copy by 4:30 p.m. the same day staff files its reply with the Secretary of the BZA.
- (6) There is no page limit for written submissions.
- (7) Untimely submission of written materials may preclude or hinder the BZA's consideration of them but shall not be grounds for delay of consideration except at the discretion of the BZA.

D. Oral argument at the public meeting:

- (1) Order of oral argument:
 - a. Town staff shall explain the basis for his/her determination; such determination is presumed to be correct. Town staff shall have twenty (20) minutes for this presentation.
 - b. Appellant or the appellant's representative has the burden to rebut the presumption of the determination's correctness by a preponderance of the evidence. Appellant shall have twenty (20) minutes to present their arguments.
 - c. Town staff shall have the opportunity to rebut the issues presented by Appellant. Staff's rebuttal is limited to five (5) minutes.
 - d. Appellant may only reply to Town staff's rebuttal if Town staff raises new issues during its rebuttal. Appellant's reply is limited to five (5) minutes.

- (2) The time periods set forth regarding presentation of appeals at the public meeting may be modified at the discretion of the BZA. The Chairperson shall enforce the time limitations so that the hearing is held in a fair and orderly manner.
- (3) Appeals will be heard in the order in which they appear on the agenda unless a majority of the membership of the BZA votes to modify the agenda.
- (4) If either party presents an exhibit at the public meeting which was not submitted with its written submission, then a copy shall be submitted to the Secretary for the BZA at the public meeting. That copy shall be included in the BZA's official record relating to the appeal. Untimely submission of exhibits may preclude or hinder the BZA's consideration of them but shall not be grounds for delay of consideration except at the discretion of the BZA.

E. Requests for deferral of appeals:

- (1) A request for a deferral of an appeal shall be in writing, shall be addressed to the BZA, and delivered to the Secretary of the BZA. The party requesting the deferral shall transmit a copy of the request for a deferral to the opposing party or its representative by hand delivery, facsimile, or email so that the opposing party receives its copy by 4:30 p.m. the same day the request for deferral is delivered to the Secretary of the BZA.
- (2) A request shall include the reason(s) why deferral is necessary.
- (3) A decision regarding a deferral shall be made by the BZA at the public meeting at which the case is scheduled to be considered.
- (4) The parties shall be prepared to proceed with argument of the appeal in the event the request for deferral is denied.

TOWN OF WARRENTON'S BOARD OF ZONING APPEALS**Addendum to Land Development Application**

I hereby acknowledge receipt and have read the Town of Warrenton Board of Zoning Appeals' *Rules of Procedure Regarding Appeals*.

Melanie Burch
Applicant

Applicant

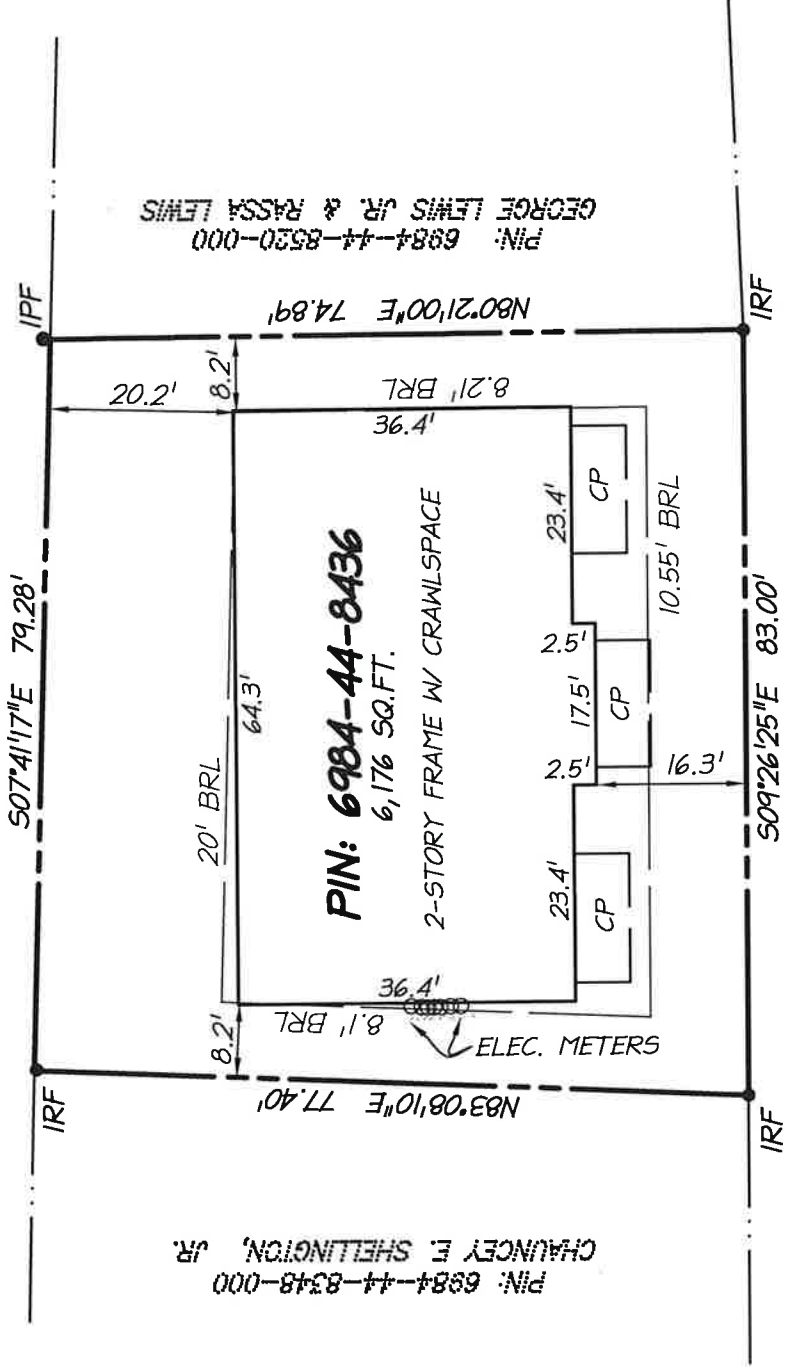
Melanie C Burch
Printed Name

10/7/2025
Date

NOTE:
SETBACKS ARE DETERMINED
BY THE MINIMUM OF TOWN
SETBACK REQUIREMENTS AND
CLOSEST POINT TO PROPERTY
LINE OF EXISTING HOUSE.



PIN: 6984-44-6336-000
TOWN OF WARRENTON



PIN: 6984-44-8348-000
CHAUNCEY E. SHELLINGTON, JR.

PIN: 6984-44-8520-000
GEORGE LEWIS JR. & RASSA LEWIS

LEGEND:

- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- SQ. FT. SQUARE FEET
- R/W RIGHT-OF-WAY
- BRL BUILDING RESTRICTION LINE
- CP CONCRETE PORCH

HAITI STREET
R/W VARIES



NOTES:

1. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
2. NO TITLE REPORT FURNISHED. OTHER EASEMENTS AND ENCUMBRANCES OF RECORD NOT SHOWN MAY EXIST.
3. THE PROPERTY SHOWN HEREON IS IDENTIFIED AS PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R-C.

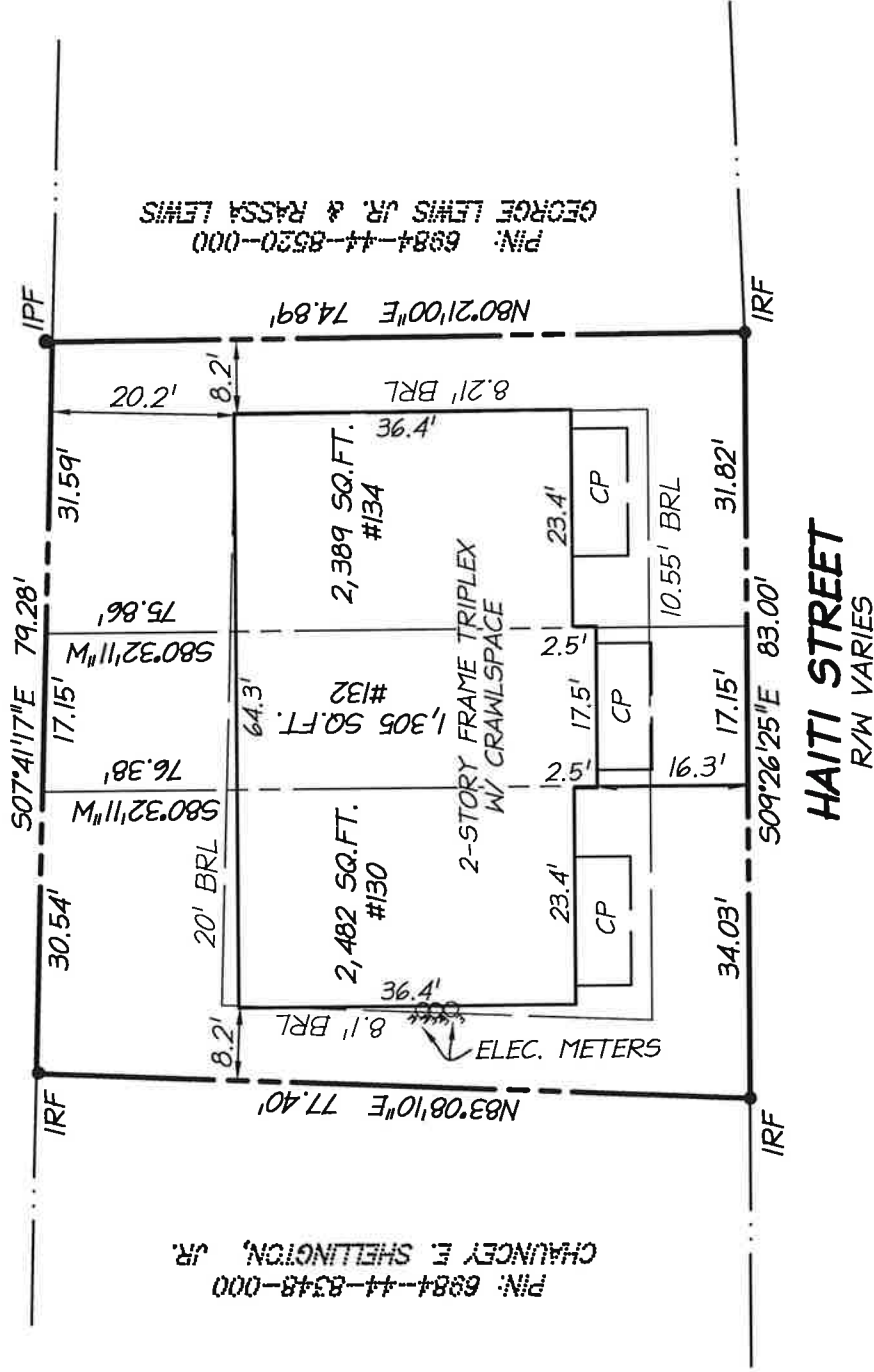
PHYSICAL IMPROVEMENT SURVEY
PIN: 6984-44-8436

DEED BOOK 1612 PAGE 267
TOWN OF WARRENTON, VIRGINIA
SCALE 1"=20' DATE 9/12/2025
GREEN COVE LAND SURVEYING, PLLC
1055 LONGVIEW LANE CULPEPER, VA 22701
(540) 219-8350

NOTE:
SETBACKS ARE DETERMINED
BY THE MINIMUM OF TOWN
SETBACK REQUIREMENTS AND
CLOSEST POINT TO PROPERTY
LINE OF EXISTING HOUSE.



PIN: 6984-44-6336-000
TOWN OF WARRENTON



LEGEND:

- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND
- SQ. FT. SQUARE FEET
- R/W RIGHT-OF-WAY
- BRL BUILDING RESTRICTION LINE
- CP CONCRETE PORCH

PARCEL ID NUMBERS:

ADDRESS	DWELLING PIN	LAND PIN
#130	6984-44-8436-601	6984-44-8436-611
#132	6984-44-8436-602	6984-44-8436-612
#134	6984-44-8436-603	6984-44-8436-613

NOTES:

- THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
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- THE PROPERTY SHOWN HEREON IS IDENTIFIED AS PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R-C.

PHYSICAL IMPROVEMENT SURVEY
PIN: 6984-44-8436

DEED BOOK 1612 PAGE 267
TOWN OF WARRENTON, VIRGINIA
SCALE 1"=20' DATE 9/12/2025
GREEN COVE LAND SURVEYING, PLLC
1055 LONGVIEW LANE CULPEPER, VA 22701
(540) 219-8350





NOTIFICATION OF ARREST
PW 6884-44-6336-000

507°41'17"E 30.54'

IRF

LEGEND:

IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
SQ. FT.	SQUARE FEET
R/W	RIGHT-OF-WAY
BRL	BUILDING RESTRICTION
CP	CONCRETE PORCH

PIN: 6984-44-8348-000
CHAUNCEY E. SHELINGTON, JR.

$N 83^{\circ} 08' 10'' E$ 77.40'

7x10 02

1

23.3'

21.1'

PIN:
6984-44-8348-601
(DWELLING)

6984-44-8348-611
(LAND)

2,482 SQ.FT.
#130

2-STORY FRAME TRIPLEX
W/ CRAWLSPACE

N80°32'11"E #132

ELEC. METERS

8.11 BRL

23.4'

-0.2'

L

5

10.55' BRL

16.3'

IRF

509°26'25"E 34.03'

HAITI STREET
R/W VARIES

NOTES:

1. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
2. NO TITLE REPORT FURNISHED. OTHER EASEMENTS AND ENCUMBRANCES OF RECORD NOT SHOWN MAY EXIST.
3. THE PROPERTY SHOWN HEREON IS IDENTIFIED AS BEING A PART OF PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R-C.

PHYSICAL IMPROVEMENT SURVEY

PIN: 6984-44-8436-601(-611)

DEED BOOK 1612 PAGE 267

TOWN OF WARRENTON, VIRGINIA

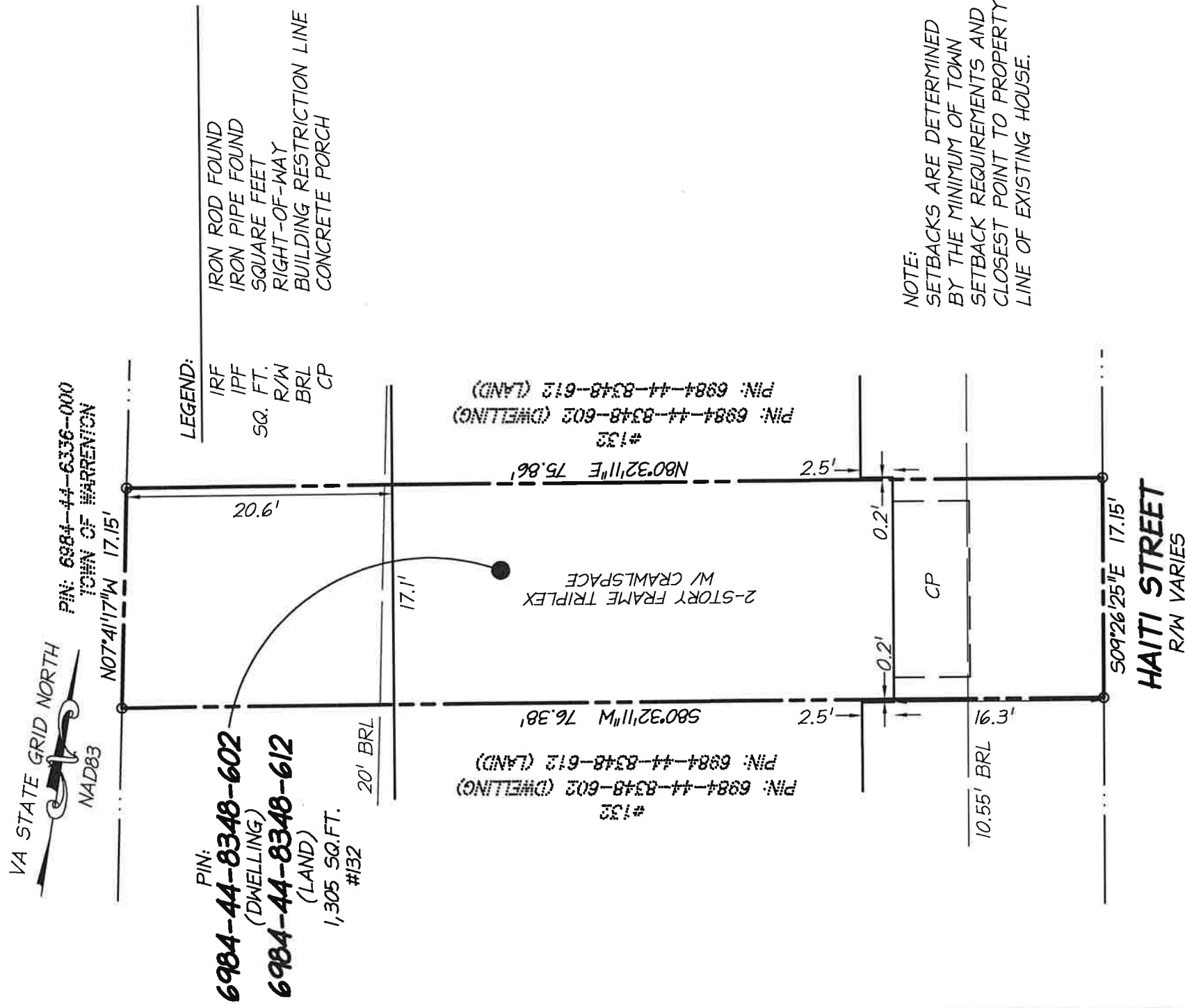
SCALE 1"=10' DATE 9/30/2025

GREEN COVE LAND SURVEYING, PLLC
1055 LONGVIEW LANE CULPEPER, VA 22701

(540) 219-8350



PROJ:



NOTES:

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PHYSICAL IMPROVEMENT SURVEY

PIN: 6984-44-8436-602(-612

DEED BOOK 1612 PAGE 267

TOWN OF WARRENTON, VIRGINIA

SCALE 1"=10' DATE 9/30/2025

GREEN COVE LAND SURVEYING, PLLC

1055 LONGVIEW LANE CULPEPER, VA 22701

(540) 219-8350

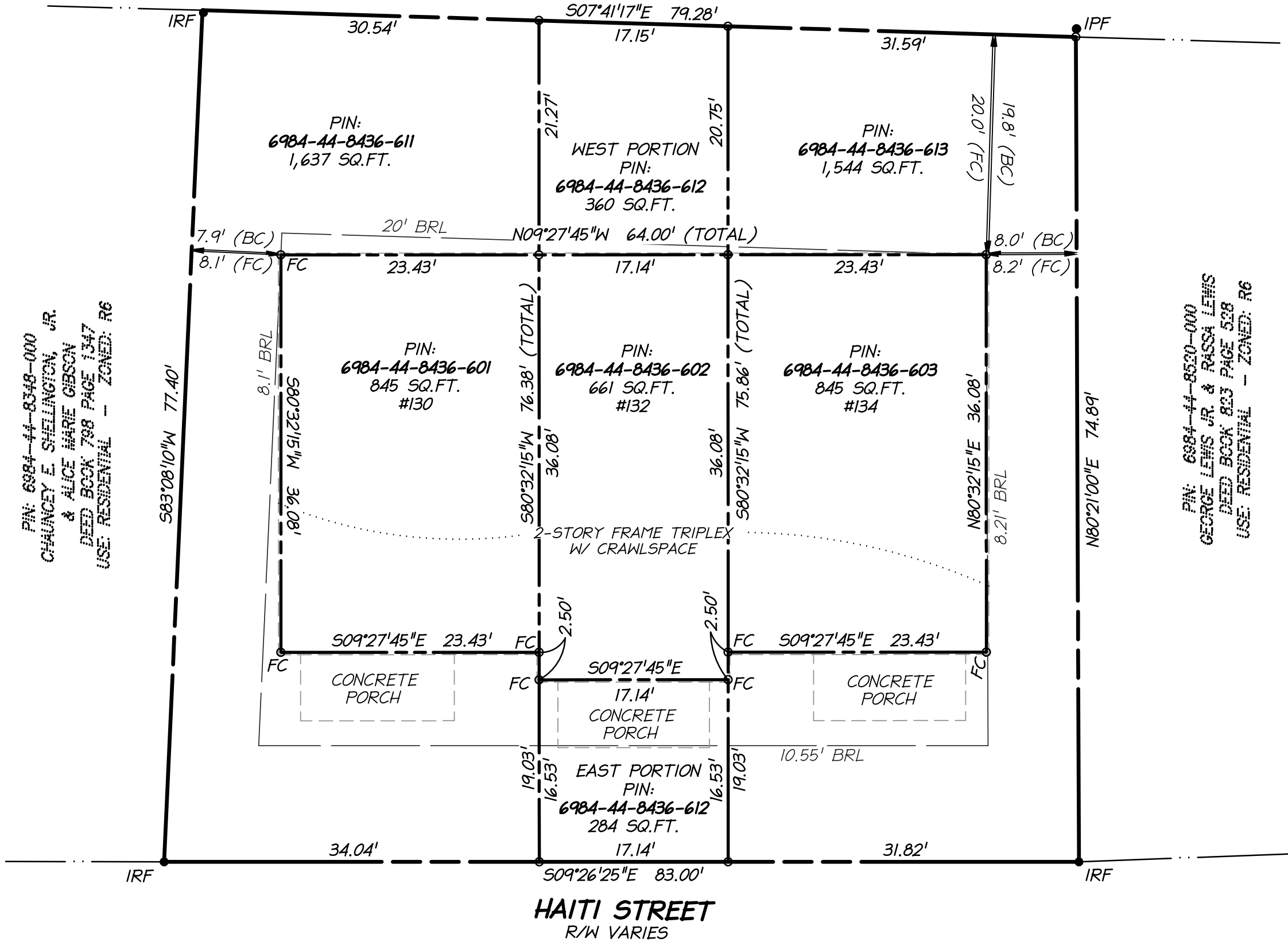
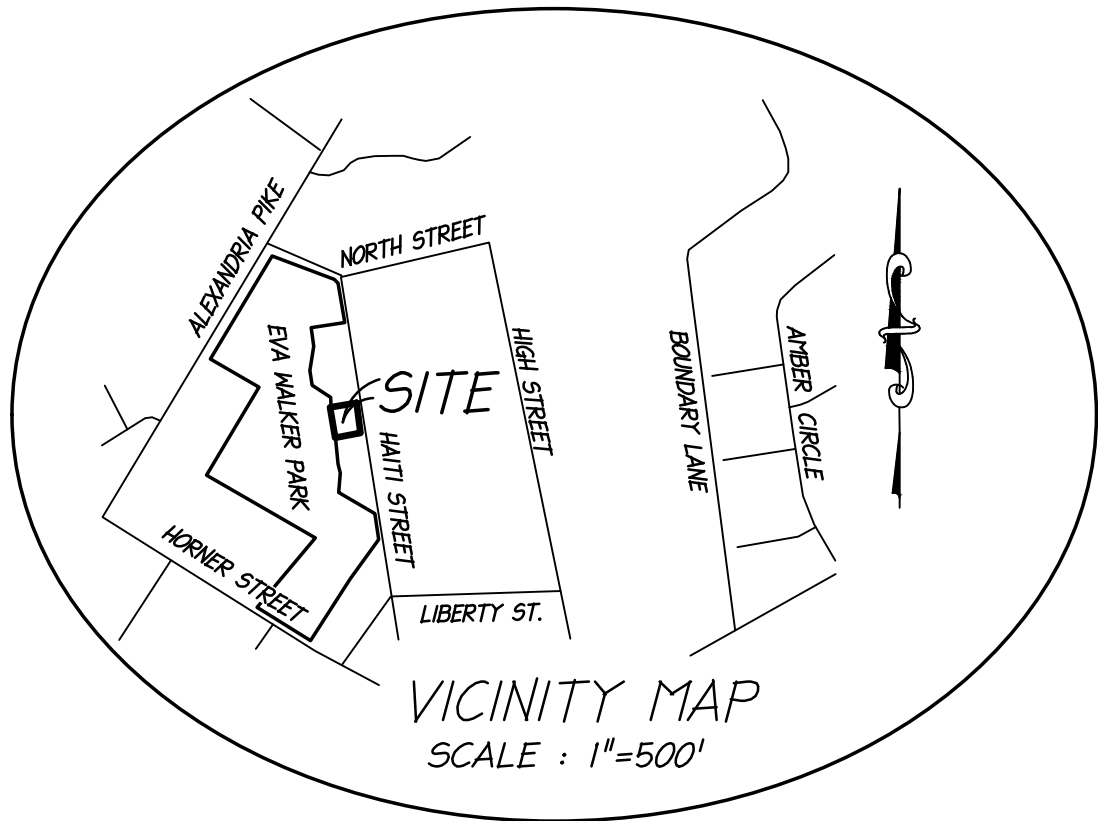
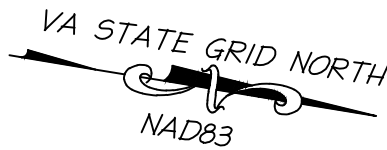


AREA TABULATION

PIN: 6984-44-8436-000	
EXISTING AREA:	6,176 SQUARE FEET
PIN: 6984-44-8436-601	845 SQUARE FEET
PIN: 6984-44-8436-611	1,637 SQUARE FEET
PIN: 6984-44-8436-602	661 SQUARE FEET
PIN: 6984-44-8436-612 EAST	284 SQUARE FEET
PIN: 6984-44-8436-612 WEST	360 SQUARE FEET
PIN: 6984-44-8436-603	845 SQUARE FEET
PIN: 6984-44-8436-613	1,544 SQUARE FEET
TOTAL	6,176 SQUARE FEET

LEGEND:	
IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
SQ. FT.	SQUARE FEET
R/W	RIGHT-OF-WAY
BRL	BUILDING RESTRICTION LINE
FC	CONCRETE FOUNDATION CORNER
BC	EXTERIOR BUILDING CORNER
---	EXTERIOR LIMITS OF TRIPLEX SIDING

EVA WALKER PARK
PIN: 6984-44-6336-000
TOWN OF WARRENTON
DEED BOOK 381 PAGE 732
USE: PARK - ZONED: PSP



OWNER CONSENT:

THE SUBDIVISION OF THE LAND DESCRIBED HEREIN IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S), PROPRIETOR(S), AND TRUSTEE(S).

OWNER: FAUQUIER HABITAT FOR HUMANITY, INC.

DATE

STATE OF VIRGINIA, COUNTY OF

THE FOREGOING STATEMENT HAS ACKNOWLEDGED BEFORE ME

THIS DAY OF, 202

NOTARY PUBLIC

MY COMMISSION EXPRESS:

APPROVAL BLOCK

NOTES:

1. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
2. THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE FAUQUIER COUNTY GIS SYSTEM AS PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R6.
3. NO TITLE REPORT FURNISHED, THEREFORE EASEMENTS AND/OR ENCUMBRANCES, IF ANY, OTHER THAN THOSE SHOWN MAY EXIST.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD, SHOWN ON F.I.R.M. COMMUNITY PANEL 51061C0308D, EFFECTIVE APRIL 25, 2024.
5. SETBACKS ARE DETERMINED BY THE MINIMUM OF TOWN SETBACK REQUIREMENTS AND CLOSEST POINT TO PROPERTY LINE OF EXISTING HOUSE.
6. WAIVERS OF THE SETBACK, LOT AREA AND LOT FRONTAGE REQUIREMENTS ARE NECESSARY FOR THIS SUBDIVISION.

SURVEYOR'S CERTIFICATE:

I, MARK E. PERRY, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE PROPERTIES SHOWN HEREON ARE CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.

I FURTHER CERTIFY THAT THE SUBDIVISION OF THE PROPERTY LIES WITHIN THE BOUNDS OF THE ORIGINAL TRACT OF LAND REFERENCED IN DEED BOOK 1612 AT PAGE 287.



FINAL PLAT
PIN: 6984-44-8436-000

DEED BOOK 1612 PAGE 287
TOWN OF WARRENTON, VIRGINIA
SCALE 1" = 10' DATE: 10/8/2025



AREA TABULATION

PIN: 6984-44-8436-000

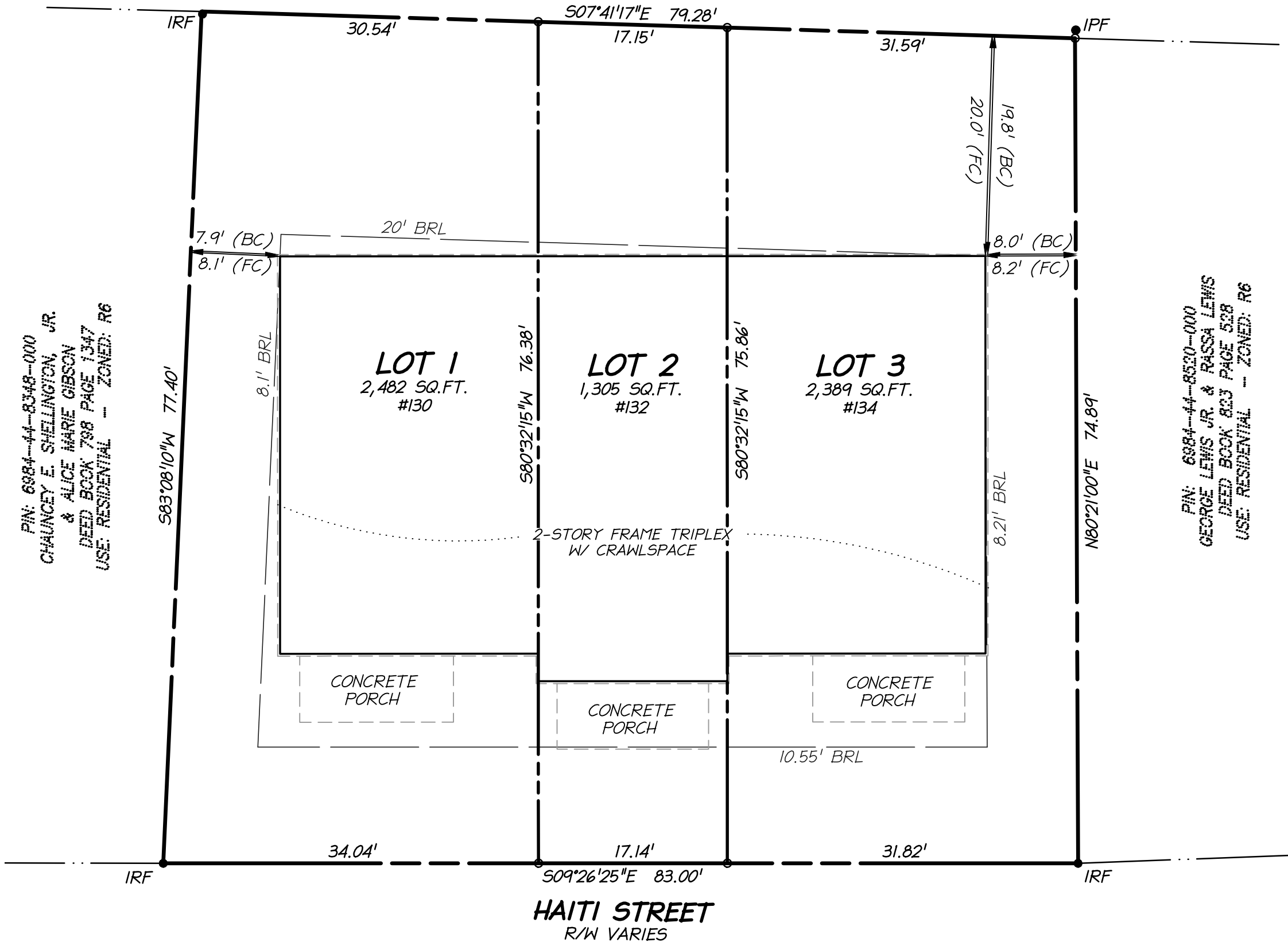
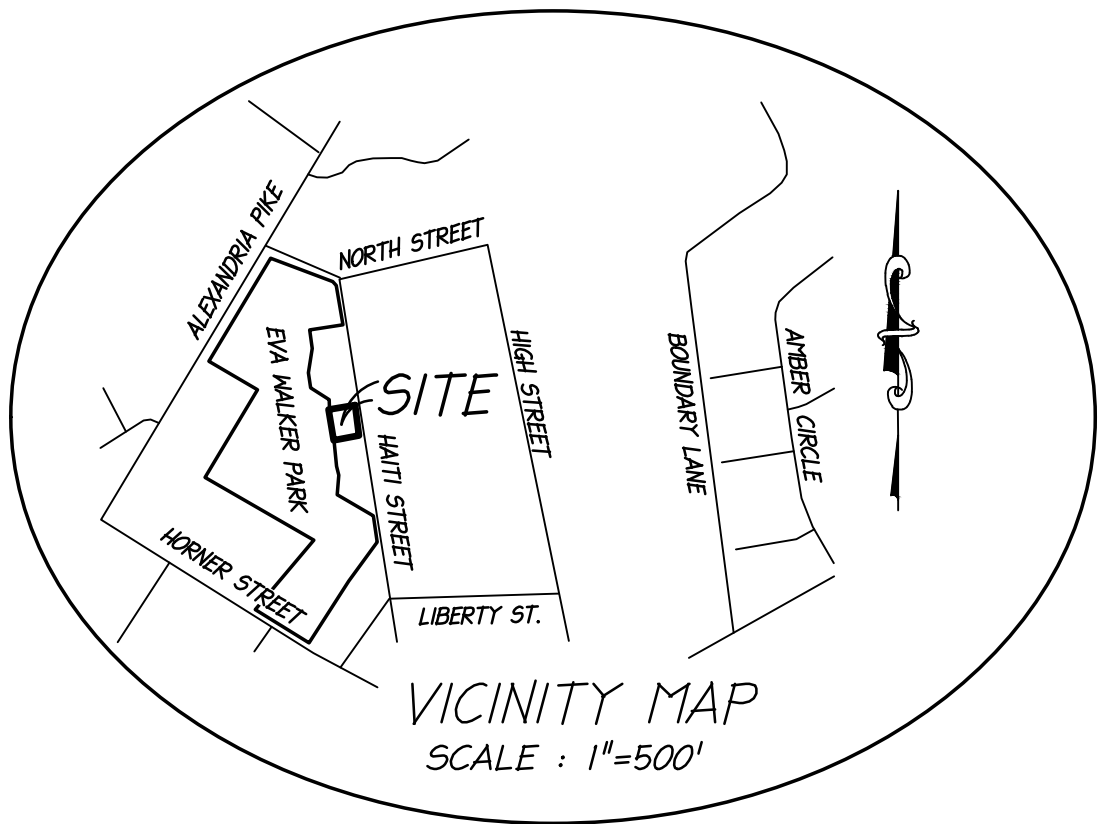
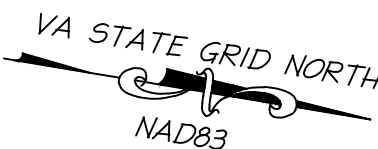
EXISTING AREA: 6,176 SQUARE FEET

LOT 1	2,482 SQUARE FEET
LOT 2	1,305 SQUARE FEET
LOT 3	2,389 SQUARE FEET
TOTAL	6,176 SQUARE FEET

LEGEND:

IRF	IRON ROD FOUND
IPF	IRON PIPE FOUND
SQ. FT.	SQUARE FEET
R/W	RIGHT-OF-WAY
BRL	BUILDING RESTRICTION LINE
FC	CONCRETE FOUNDATION CORNER
BC	EXTERIOR BUILDING CORNER
----	EXTERIOR LIMITS OF TRIPLEX SIDING

EVA WALKER PARK
PIN: 6984-44-6336-000
TOWN OF WARRENTON
DEED BOOK 391 PAGE 732
USE: PARK - ZONED: PSP



PIN: 6984-44-8348-000
CHAUNCEY E. SHELLINGTON, JR.
& ALICE MARIE GIBSON
DEED BOOK 788 PAGE 1347
USE: RESIDENTIAL - ZONED: R6

PIN: 6984-44-8520-000
GEORGE LEWIS JR. & RASSA LEWIS
DEED BOOK 823 PAGE 528
USE: RESIDENTIAL - ZONED: R6

OWNER CONSENT:

THE SUBDIVISION OF THE LAND DESCRIBED HEREIN IS WITH THE FREE
CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE
UNDERSIGNED OWNER(S), PROPRIETOR(S). AND TRUSTEE(S).

OWNER: FAUQUIER HABITAT FOR HUMANITY, INC.

DATE

STATE OF VIRGINIA, COUNTY OF _____

THE FOREGOING STATEMENT HAS ACKNOWLEDGED BEFORE ME

THIS _____ DAY OF _____, 202__.

NOTARY PUBLIC

MY COMMISSION EXPRESS: _____

APPROVAL BLOCK

NOTES:

1. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.
2. THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE FAUQUIER COUNTY GIS SYSTEM AS PIN 6984-44-8436-000 AND IS CURRENTLY ZONED R6.
3. NO TITLE REPORT FURNISHED, THEREFORE EASEMENTS AND/OR ENCUMBRANCES, IF ANY, OTHER THAN THOSE SHOWN MAY EXIST.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD, SHOWN ON F.I.R.M. COMMUNITY PANEL 51061C0308D, EFFECTIVE APRIL 25, 2024.
5. SETBACKS ARE DETERMINED BY THE MINIMUM OF TOWN SETBACK REQUIREMENTS AND CLOSEST POINT TO PROPERTY LINE OF EXISTING HOUSE.
6. WAIVERS OF THE SETBACK, LOT AREA AND LOT FRONTAGE REQUIREMENTS ARE NECESSARY FOR THIS SUBDIVISION.

SURVEYOR'S CERTIFICATE:

I, MARK E. PERRY, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT THE PROPERTIES SHOWN HEREON ARE CURRENTLY IN THE NAME OF FAUQUIER HABITAT FOR HUMANITY, INC. AS ACQUIRED BY DEED RECORDED IN DEED BOOK 1612 PAGE 287 AMONG THE LAND RECORDS OF FAUQUIER COUNTY, VIRGINIA.

I FURTHER CERTIFY THAT THE SUBDIVISION OF THE PROPERTY LIES WITHIN THE BOUNDS OF THE ORIGINAL TRACT OF LAND REFERENCED IN DEED BOOK 1612 AT PAGE 287.



FINAL PLAT
PIN: 6984-44-8436-000

DEED BOOK 1612 PAGE 287
TOWN OF WARRENTON, VIRGINIA
SCALE 1" = 10' DATE: 10/8/2025



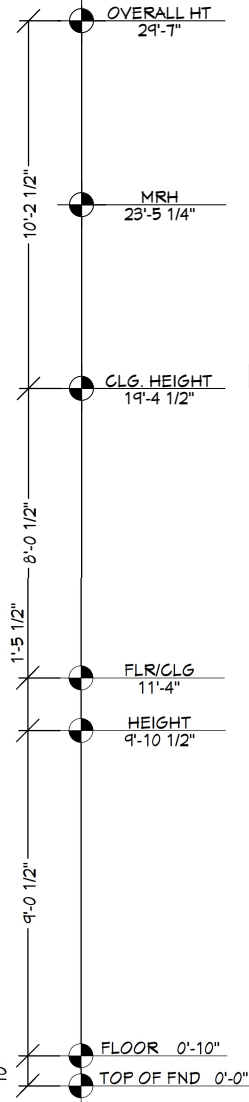
BASIC MODULE SET INSTRUCTIONS

THIS IS A BASIC SET OF INSTRUCTIONS TO HELP GUIDE THE SET CREW ON DAY OF SET. SET CREW SHOULD READ THE PLANS THOROUGHLY PRIOR TO SET DAY. THESE SET INSTRUCTIONS COVER THE SET ORDER AND ANY MAJOR POINTS THAT MAY NEED TO BE ADDRESSED, PROPER MODULE CONNECTIONS AND FASTENING IS NOT PART OF THESE INSTRUCTIONS. SET CREW TO FOLLOW INDUSTRY STANDARD SAFETY PRACTICES AND OSHA REQUIREMENTS.

BASIC TWO-STORY/ FINISHED CAPE

SET FIRST FLOOR MODULES
INSTALL 2X ACROSS MARRIAGE LINE DIVIDED EQUALLY
SET 2ND FLOOR MODULES
RAISE ROOF AND PULL THE KNEEWALL INTO POSITION
SET GABLE WALLS
FLIP THE UPPER PANELS
INSTALL TURN GABLES/DORMERS AS PER PLAN IF APPLICABLE
FINISH DRYING IN

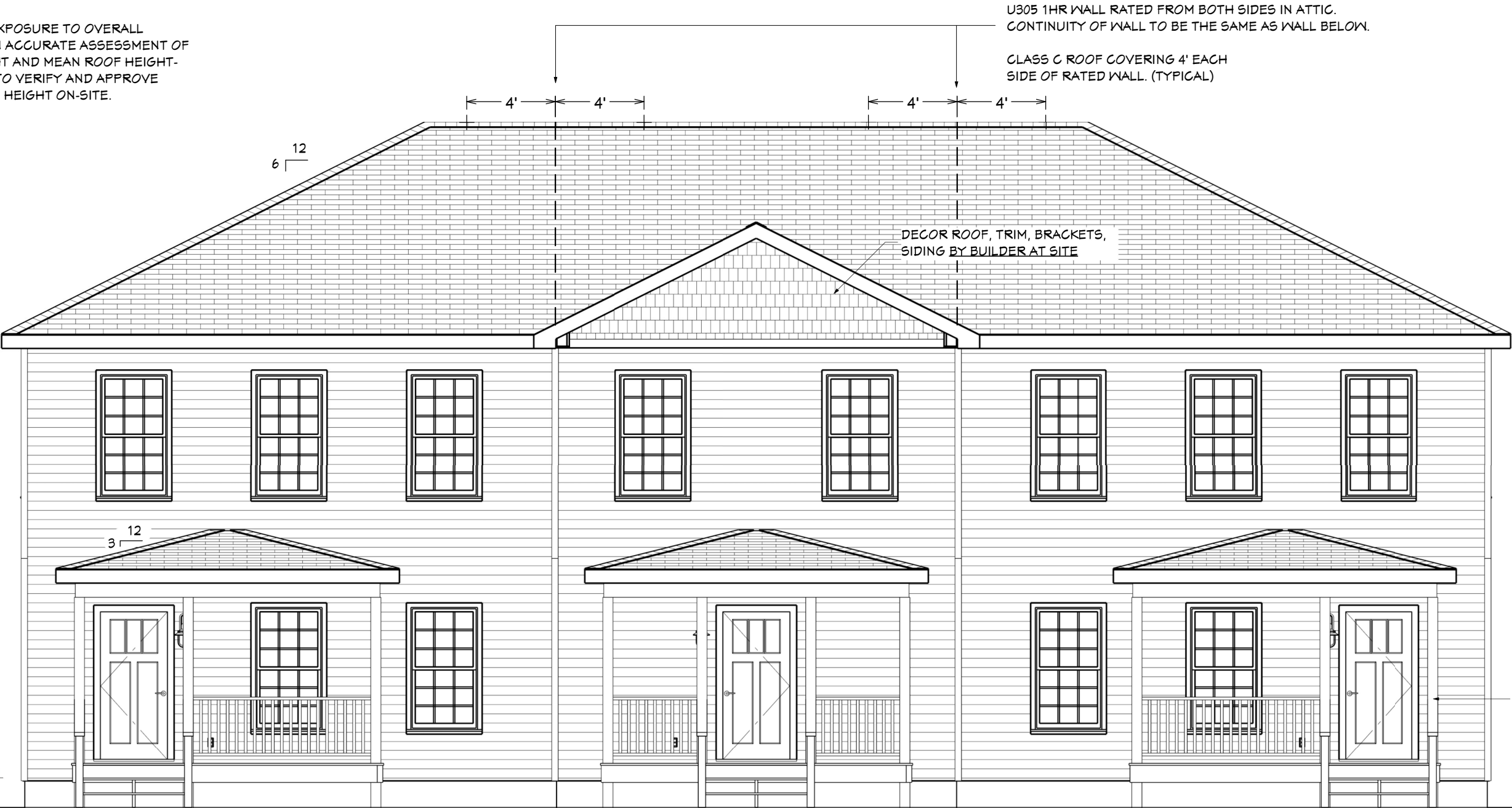
ADD FOUNDATION EXPOSURE TO OVERALL DIMENSIONS FOR AN ACCURATE ASSESSMENT OF THE OVERALL HEIGHT AND MEAN ROOF HEIGHT- BUILDING OFFICIAL TO VERIFY AND APPROVE ACTUAL MEAN ROOF HEIGHT ON-SITE.



HIP OPTION

PART OF THE ROOF IS HINGED WITH THE REMAINDER SHIPPED PANELIZED INCLUDING THE HIP RAFTER. PART OF THE ROOF SHEATHING IS STEPPED BACK FOR SITE SETUP. THIS ROOF SHEATHING SHOULD BE INSTALLED AFTER THE FRAMING CONNECTIONS HAVE BEEN MADE.


NOTE:
PORCHES, DECKS AND/OR GARAGE TO BE THE DECISION OF THE BUILDER OR OWNER PER LOCAL CODES & REQUIREMENTS.



FRONT ELEVATION

NOTE:
THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY, MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



Item 2.

CARDINAL HOMES®

PROJECT NO.

-

FP. NUMBER

223217

PRINT NO.

-

DATE

9/15/23

DRAWN BY:

EW

SCALE:

3/16" = 1'-0"

REVISIONS

-
-
-

PRINTED 2/12/2024 - 4:39:08 PM

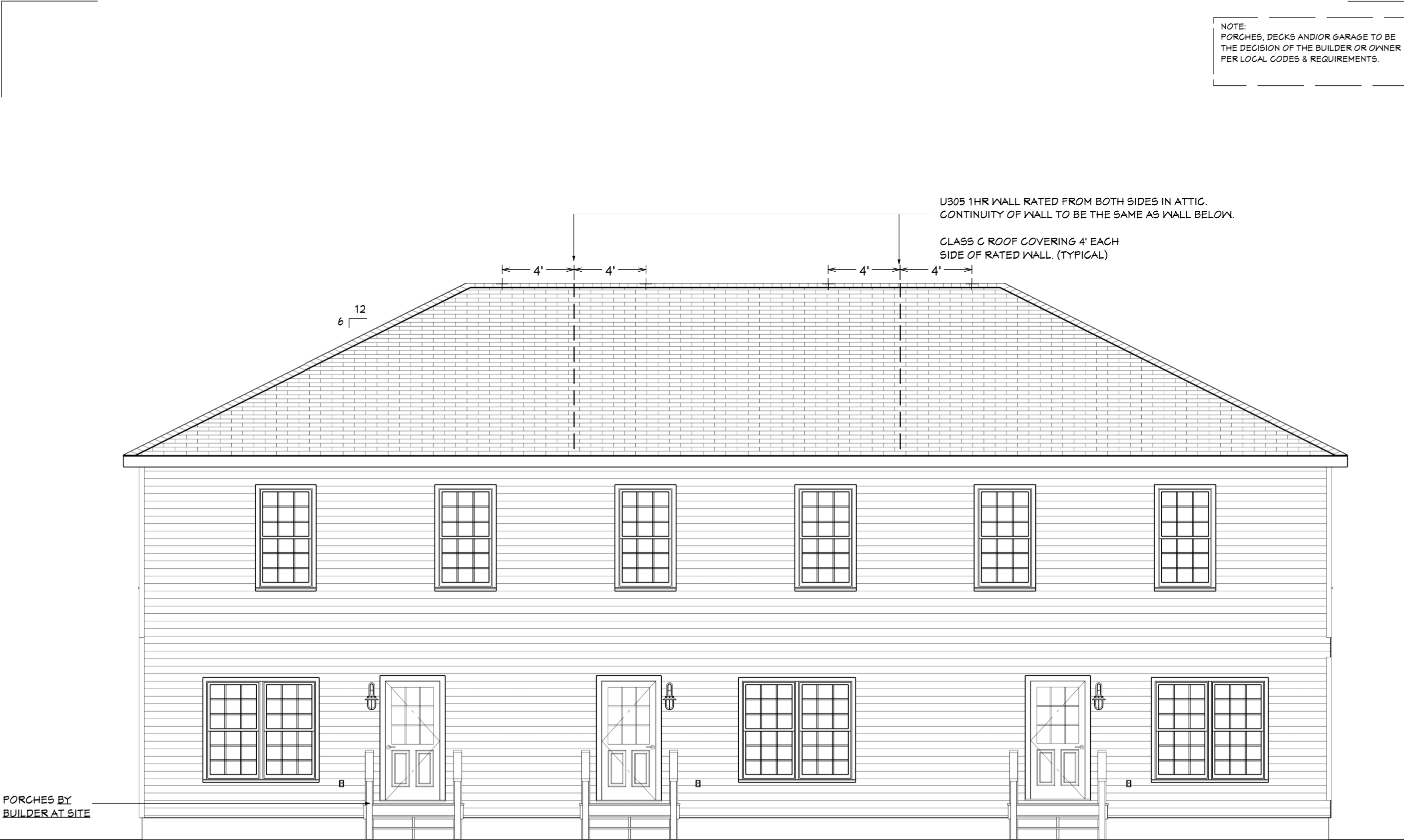
ELEVATION

© 2024 KITUWAH MANUFACTURING, LLC


SHEET:

1.0 OF 6

37



NOTE:
PORCHES, DECKS AND/OR GARAGE TO BE
THE DECISION OF THE BUILDER OR OWNER
PER LOCAL CODES & REQUIREMENTS.



Item 2.

CARDINAL
HOMES®

PROJECT NO.
-

FP. NUMBER
223217

PRINT NO.
-

DATE
9/15/23

DRAWN BY:
EW

SCALE:
3/16" = 1'-0"

REVISIONS
-
-
-

ELEVATION

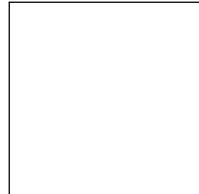
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SHEET:
1.1 OF 6

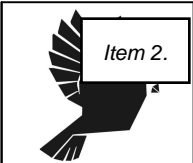
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TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



NOTE:
PORCHES, DECKS AND/OR GARAGE TO BE
THE DECISION OF THE BUILDER OR OWNER
PER LOCAL CODES & REQUIREMENTS.



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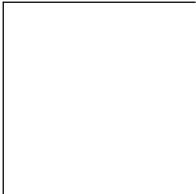
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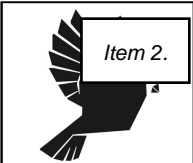
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TOWNHOUSE - LOT #130, #132, #134
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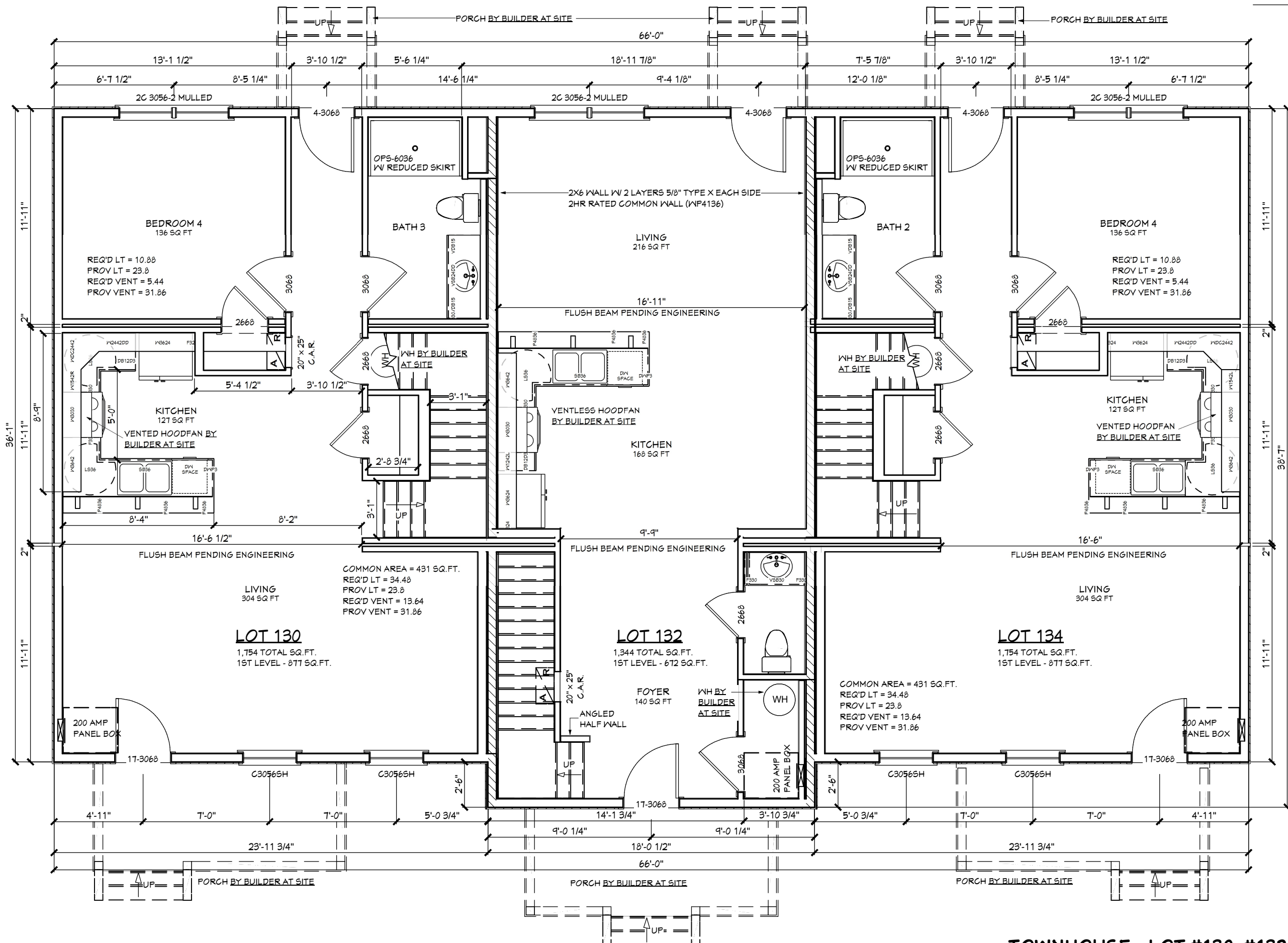
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RIGHT ELEVATION


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TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



1ST LEVEL
2,426 SQ. FT.

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



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FLOOR PLAN

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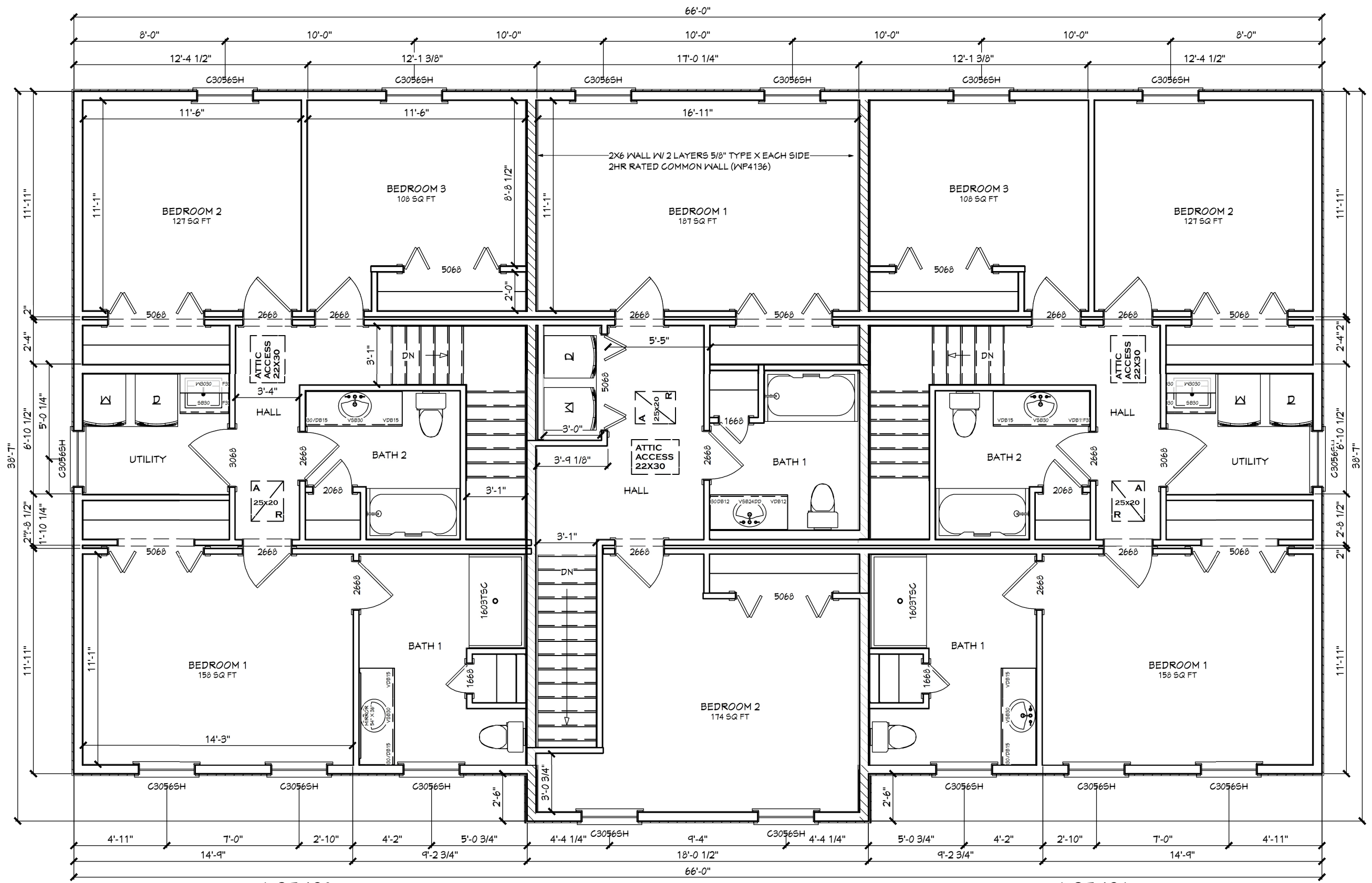
FLOOR PLAN

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LOT 130
2ND LEVEL - 871 SQ.FT.

LOT 132
2ND LEVEL - 672 SQ.FT.

LOT 134
2ND LEVEL - 871 SQ.FT.

2ND LEVEL
2,426 SQ. FT.

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY

WINDOW SCHEDULE 1ST FLOOR									
LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	NOTES	LIGHT	VENT
2C 3056-2 MULLED	3	1	73"	65 1/2"	77"X66 1/2"	MULLED UNIT		23.8	12.26
C3056SH	4	1	36"	66"	36 1/2"X66 1/2"	SINGLE HUNG		11.9	6.13

DOOR SCHEDULE 1ST FLOOR								
LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	COMMENTS
3068	3	1	3068 L IN	36"	80"	38"X82 1/2"	HINGED-PER ORDER	
3068	2	1	3068 R IN	36"	80"	38"X82 1/2"	HINGED-PER ORDER	
2668	4	1	2668 L IN	30"	80"	32"X82 1/2"	HINGED-PER ORDER	
2668	3	1	2668 R IN	30"	80"	32"X82 1/2"	HINGED-PER ORDER	
17-3068	1	1	3068 L EX	36"	80"	38 1/2"X82 1/2"	EXT. HINGED-CRAFTSMAN THREE LITE II	LOW THRESHOLD
17-3068	2	1	3068 R EX	36"	80"	38 1/2"X82 1/2"	EXT. HINGED-CRAFTSMAN THREE LITE II	LOW THRESHOLD
4-3068	2	1	3068 L EX	36"	80"	38 1/2"X82 1/2"	EXT. HINGED-9 LITE, 2 PANEL	
4-3068	1	1	3068 R EX	36"	80"	38 1/2"X82 1/2"	EXT. HINGED-9 LITE, 2 PANEL	

WINDOW SCHEDULE 2ND FLOOR									
LABEL	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION	NOTES	LIGHT	VENT
C3056SH	16	2	36"	66"	36 1/2"X66 1/2"	SINGLE HUNG		11.9	6.13

DOOR SCHEDULE 2ND FLOOR								
LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	NOTES
5068	9	2	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-PER ORDER	
3068	1	2	3068 L IN	36"	80"	38"X82 1/2"	HINGED-PER ORDER	
3068	1	2	3068 R IN	36"	80"	38"X82 1/2"	HINGED-PER ORDER	
2668	7	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-PER ORDER	
2668	6	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-PER ORDER	
2068	1	2	2068 R IN	24"	80"	26"X82 1/2"	HINGED-PER ORDER	
2068	1	2	2068 L IN	24"	80"	26"X82 1/2"	HINGED-PER ORDER	
1668	1	2	1668 L IN	18"	80"	20"X82 1/2"	HINGED-PER ORDER	
1668	2	2	1668 R IN	18"	80"	20"X82 1/2"	HINGED-PER ORDER	

- NOTE:
- INTERIOR DOORS NOT ON A MARRIAGE LINE HAVE A 2X4 FLAT HEADER. OTHER HEADER / STRUCTURAL SUPPORT OPTIONS MAYBE LISTED ON FLOOR PLAN
 - ALL EXTERIOR WINDOW & DOOR HEADERS TO BE (3) 2X4 SPF#2 HEADER UNLESS OTHERWISE NOTED
 - PG 32, BEAM SPANS
 - ALL MATELINE DOOR HEADERS TO BE (2) 2X4 SPF#2 HEADER
 - PER MODULE/ NO SPLICE UNLESS OTHERWISE NOTED
 - PG 2. BEAM SPANS



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WINDOW / DOOR SCHEDULE

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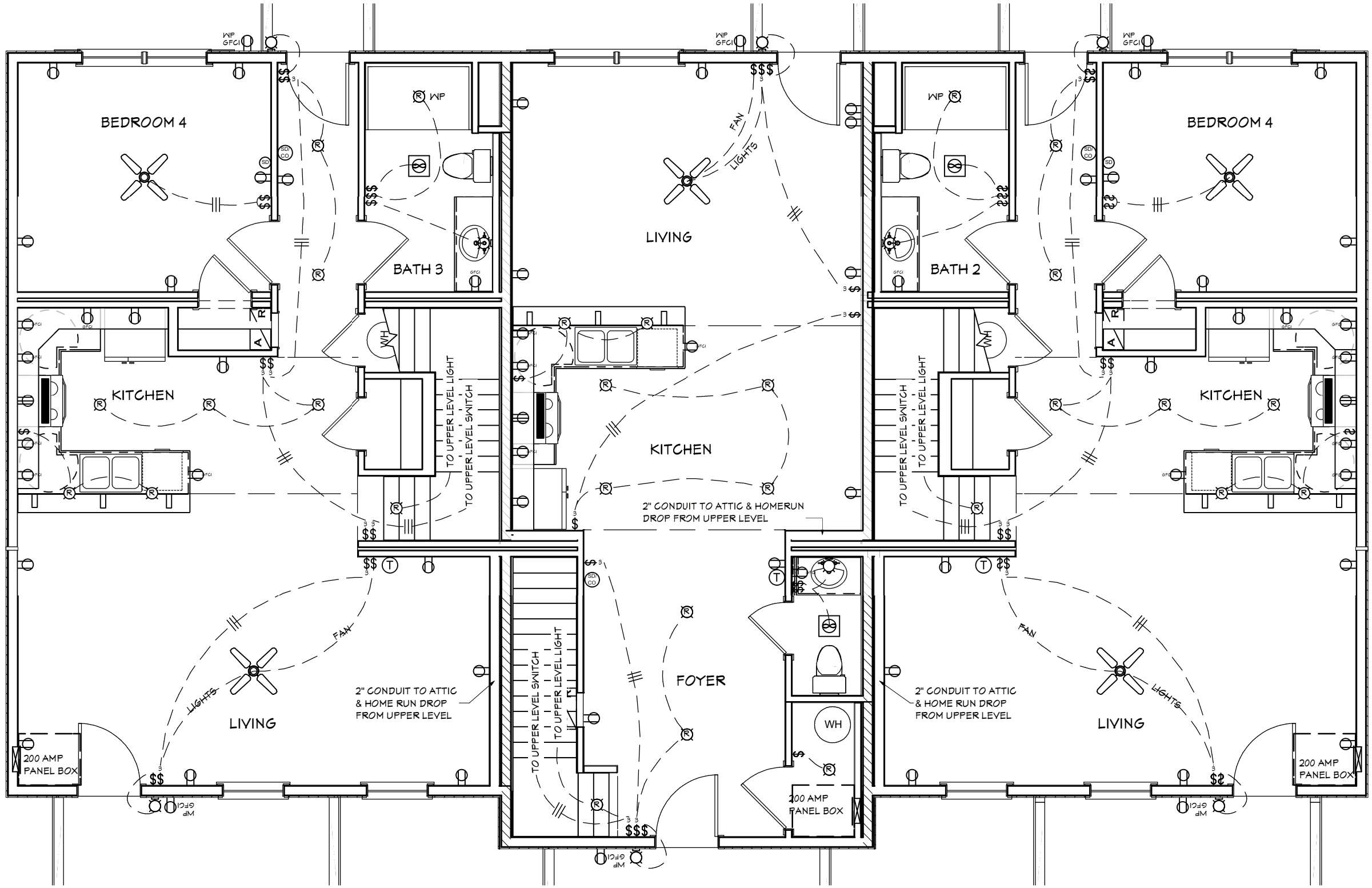
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1ST LEVEL

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



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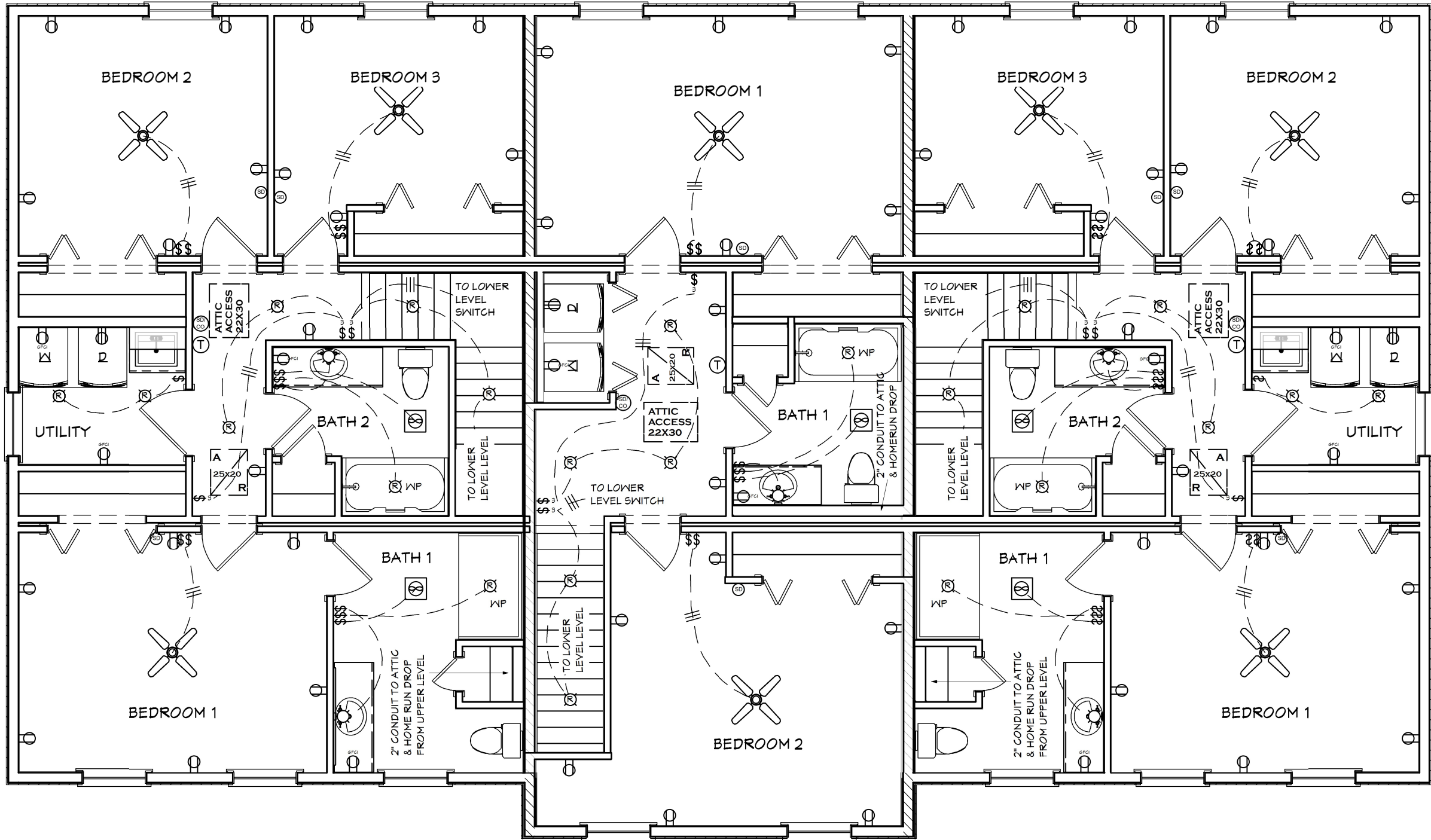
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2ND LEVEL

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY

ELECTRICAL NOTES

1. THE AMPACITY OF ALL GENERAL BRANCH CIRCUITS SHALL BE 20 AMPS. ALL OTHER CIRCUITS LISTED AS DEDICATED ON THE ELECTRICAL PANEL CIRCUIT DIRECTORY SHALL BE SIZED AS REQUIRED BY LISTING FOR INDIVIDUAL ITEMS. ALL GENERAL BRANCH RECEPTACLES ARE TO BE TAMPER RESISTANT EXCEPT FOR RECEPTACLES LOCATED WITHIN A DEDICATED SPACE FOR AN APPLIANCE THAT IN NORMAL USE ISN'T EASY MOVED FROM ON PLACE TO ANOTHER.
2. GENERAL CIRCUITING INFORMATION:
- A. ONE CENTRAL HEATING CIRCUIT (SPACE SHALL BE ALLOWED FOR ON MAIN PANEL UNLESS OTHERWISE NOTED)
- B. KITCHEN SMALL APPLIANCE AND DINING AREA RECEPTACLES - 20 AMP CIRCUITS, MINIMUM NUMBER IS 2. ALL EATING SPACES, INCLUDING DINING ROOM, DINING NOOKS, BREAKFAST AREAS, ETC., SHALL BE PROVIDED WITH THIS 20 AMP PROTECTION.
- C. LAUNDRY CIRCUIT - ONE 20 AMP CIRCUIT, GFCI PROTECTED, FOR WASHER AND ASSOCIATED RECEPTACLE IN AREA AND ONE DEDICATED 30 AMP CIRCUIT FOR DRYER.
- D. GENERAL LIGHTING AND CONVENIENCE RECEPTACLE BRANCH CIRCUITS AS DESIGNED PER RESIDENCE.
3. CARDINAL HOMES SHALL INSTALL A CIRCUIT DIRECTORY ON THE INSIDE COVER OF EVERY PANEL BOARD ENCLOSURE FOR CIRCUIT IDENTIFICATION. THE NUMBERS 1 THROUGH 14 SHALL BE RESERVED FOR THE FOLLOWING DEDICATED CIRCUITS: RANGE, WATER HEATER, DRYER, WELL, WASHER, BATH GFCI, SMOKE DETECTORS, AND KITCHEN SMALL APPLIANCE BRANCH CIRCUITS. THEY ARE TO BE CONSIDERED DEDICATED CIRCUITS AND MAY NOT SERVE ANY OTHER ITEM IN COMBINATION WITH THE DEDICATED LISTING. ALL OTHER NUMBERS MAY BE USED FOR GENERAL BRANCH CIRCUITS OR AS REQUIRED FOR ADDITIONAL DEDICATED CIRCUITS. ANY CIRCUIT LISTED AS DEDICATED ON THE DIRECTORY MAY ONLY SERVE THE ITEM(S) LISTED AS DEDICATED TO THAT CIRCUIT.
4. NONMETALLIC CABLE (NM) IS USED THROUGHOUT AND IS INSTALLED AND SUPPORTED AS PER IT'S LISTING.
5. POWER AND LIGHTING DISTRIBUTION:
- A. GENERAL USE RECEPTACLES SHALL BE DISTRIBUTED WITHIN THE RESIDENCE.
- B. SMALL KITCHEN APPLIANCE SHALL NOT BE COMBINED WITH ANY OTHER RECEPTACLE TO COMPLETE ANY OTHER CIRCUIT. ALL SMALL KITCHEN APPLIANCE CIRCUITS SHALL NOT SERVE ANY OTHER OUTLETS OR DEVICES. SMALL KITCHEN APPLIANCE COUNTER TOP RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT PROTECTION. SMALL KITCHEN APPLIANCE CIRCUITS SHALL BE ON 20 AMP BREAKERS.
- C. BATHROOM RECEPTACLES - EACH BATHROOM SHALL HAVE A MINIMUM OF ONE WALL RECEPTACLE INSTALLED ADJACENT TO EACH LAVATORY. THIS RECEPTACLE SHALL BE PROVIDED WITH GROUND FAULT CIRCUIT INTERRUPTION.
- D. OUTDOOR RECEPTACLES - EACH HOME SHALL BE PROVIDED WITH A MINIMUM OF TWO OUTDOOR RECEPTACLES, ONE IN FRONT AND ONE IN BACK. PURCHASER TO SUPPLY AND INSTALL EXTERIOR GFCI RECEPTACLES ON SITE IF GRADE LEVEL DOES NOT ALLOW RECEPTACLE INSTALLATION AT THE REQUIRED HEIGHT. THESE RECEPTACLES SHALL BE PROVIDED WITH GFCI PROTECTION.
6. SMOKE DETECTORS:
- ALL SMOKE DETECTORS SUPPLIED AND INSTALLED BY CARDINAL HOMES AND ALSO THOSE THAT ARE SITE INSTALLED SHALL BE APPROVED AND LISTED AS REQUIRED. THEY SHALL BE INSTALLED AND LOCATED IN EACH RESIDENCE. ALL DETECTORS SHALL BE WIRED AS TO BE INTERCONNECTED, RECEIVING PRIMARY POWER FROM A PERMANENT LIGHTING SOURCE, WITH PROVISIONS FOR BATTERY BACK-UP POWER. THE POWER SOURCE SHALL BE FROM A CIRCUIT THAT WOULD BE IN NORMAL DAILY USE BY THE HOUSEHOLD. THE SMOKE DETECTOR POWER SOURCE SHALL BE SO NOTED ON THE PLANS AND CIRCUIT DIRECTORY. ALL SMOKE DETECTORS MUST BE WIRED TO BE CONTAINED IN THE SAME CIRCUIT.
7. ARC FAULT BREAKERS:
- ALL 120-VOLT, SINGLE PHASE, 15-AND 20 AMP-BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN BEDROOMS, SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH VIRGINIA UNIFORM STATEWIDE BUILDING CODE

ALL ELECTRICAL BOXES IN THE FIRE-RATED ASSEMBLY WALL SHALL BE RATED FOR ONE HOUR

FIRE RATINGS / EMERGENCY LIGHTING

1. ELECTRICAL & DATA BOXES INSTALLED IN FIRE RATED ASSEMBLIES SHALL BE RATED 1HR MIN.
2. THRU PENETRATIONS OF RATED WALL ASSEMBLIES SHALL BE PROTECTED
- BOXES INSTALLED SO THAT THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX DOES NOT EXCEED 1/8"
 - BOXES INSTALLED IN RATED ASSEMBLIES ON OPPOSITE SIDES OF WALL SHALL BE PROTECTED BY SOLID FIREBLOCKING, OR PUTTY PADS APPLIED TO BOTH BOXES
3. THRU PENETRATIONS OF HORIZONTAL RATED ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED THROUGH PENETRATION FIRESTOP SYSTEM
4. MEMBRANE PENETRATIONS BY ELECTRICAL & DATA BOXES INSTALLED IN FIRE RATED ASSEMBLIES SHALL BE PROTECTED
5. THE BRANCH CIRCUIT FEEDING EMERGENCY LIGHTING SHALL BE THE SAME BRANCH CIRCUIT AS THAT SERVING THE NORMAL LIGHTING IN THAT AREA AND BE CONNECTED AHEAD OF ANY LOCAL SWITCHES.

ELECTRICAL - LEGEND	
SYMBOL	DESCRIPTION
	CEILING FAN (WIRE ONLY)
	VENTILATION FANS: CEILING MOUNTED, WALL MOUNTED
	LIGHT FIXTURES: SURFACE, PENDANT, CEILING RECESSED, WP LIGHT
	LIGHT FIXTURES: FLUSH MOUNTED, WALL SCONCE WALL
	FLUORESCENT LIGHT FIXTURE
	240V RECEPTACLE
	110V RECEPTACLE: DUPLEX, WEATHER PROOF, GFCI
	SWITCHES: SINGLE POLE, 3-WAY, 4-WAY
	SWITCHES: DIMMER, TIMER
	WALL JACKS: PHONE, TV (CONDUIT ONLY)
	THERMOSTAT
	DOOR BELL: TRANSFORMER, CHIME, PUSH BUTTON
	SMOKE DETECTOR, CARBON MONOXIDE / SD COMBO
	UNDER CABINET LIGHTS
	ELECTRICAL DISTRIBUTION PANEL

ADDITIONAL ELECTRICAL NOTES:

ELECTRICAL DEVICE INSTALLATION HEIGHTS

RECEPTACLE

TYPICAL WALL HEIGHT: 20" TO TOP OF BOX
KITCHEN (36"H X 24"D) CABINET: 46 1/2"
VANITY / DESK (30"H X 21"D): 45 1/2"

WALL SWITCH

TYPICAL WALL HEIGHT: 45 1/2" TO TOP OF BOX
LOWER ANY ADDITIONAL GANG BOX IN CONJUNCTION WITH TYPICAL GANG BOX

EXTERIOR CARRIAGE STYLE LIGHTS

12" OFF OF DOOR JAMB 14" TO CENTER OF SIDING PLATE

VANITY LIGHTS

WITH MEDICINE CABINET = 81" TO CENTER OF BOX
WITH 36IN MIRROR = 85" TO CENTER OF BOX

TRANSFORMER BOX LOCATION (FOR DOOR BELL)

INSTALL THE TRANSFORMER IN A SMALL 2R CLOSET OVER THE DOOR

DOOR BELL

INSTALL ON LATCH SIDE IN BRICK MOLD AT 42IN FROM FLOOR TO CENTER

THERMOSTAT WIRE LOCATION

TYPICAL WALL HEIGHT: 60" TO WIRE PENETRATION

MISC.

PHONE/TV/DATA ROUGH IN CONDUIT JACKS
TYPICAL WALL HEIGHT: 20" TO TOP OF BOX

FUTURE HVAC CONDUIT LOCATION PREP FOR CAPE / TWO STORY

(2) 2" CONDUIT INSTALLED FROM FLOOR TO CEILING FOR HVAC PREP

***PANEL SCHEDULE "A" & PANEL SCHEDULE "B"

		200 AMP			
RANGE	40A 8/3	1	2	25A 10/2	WATER HEATER
RANGE	40A 8/3	3	4	25A 10/2	WATER HEATER
DRYER	30A 10/3	5	6	20A 12/3	WELL
DRYER	30A 10/3	7	8	20A 12/3	WELL
SM. APPL - (KIT.)	20A 12/2	9	10	20A 12/2	SM. APPL - (KIT.)
LAUNDRY	20A 12/2	11	12	20A 12/2	EXT. RECS. GFCI
BATH 1 & GFCI RECS.	20A 12/2	13	14	20A 12/2	▲ 1ST LVL HALL SM. DET.
BATH 2 & GFCI RECS	20A 12/2	15	16	20A 12/2	▲ 2ND LVL HALL/ UTILITY
BATH 3 & GFCI RECS	20A 12/2	17	18	20A 12/2	▲ BEDROOM 1-AFCI
KITCHEN LGTS	▲ 20A 12/2	19	20	20A 12/2	▲ BEDROOM 2-AFCI
LIVING ROOM	▲ 20A 12/2	21	22	20A 12/2	▲ BEDROOM 3-AFCI
DISHWASHER W/ LOCKOUT & GFCI	20A 12/2	23	24	20A 12/2	▲ BEDROOM 4-AFCI
HOODFAN	20A 12-2	25	26	20A 12/2	UTILITY
		27	28		
		29	30		
		31	32		
2ND LEVEL HVAC	20A 12-3	33	34	60A	* H. P. (SITE INSTALLED)
2ND LEVEL HVAC	20A 12-3	35	36	60A	* H. P. (SITE INSTALLED)
A/C (SITE INSTALLED) *	30A	37	38	60A	* H. P. (SITE INSTALLED)
A/C (SITE INSTALLED) *	30A	39	40	60A	* H. P. (SITE INSTALLED)
GFCI - GFCI BREAKER OR CIRCUIT WITH A GFCI RECEPT- (ONE OR THE OTHER NOT BOTH)				▲ COMBINATION ARC FAULT CIRCUIT INTERRUPTER	
* BREAKER NOT INSTALLED AT C.H.				***SEPARATE PANEL BOXES FOR "A" & "B"	

PANEL SCHEDULE "C"						
200 AMP						
<u>RANGE</u>	40A 8/3	1	2	25A 10/2	<u>WATER HEATER</u>	
<u>RANGE</u>	40A 8/3	3	4	25A 10/2	<u>WATER HEATER</u>	
<u>DRYER</u>	30A 10/3	5	6	20A 12/3	<u>WELL</u>	
<u>DRYER</u>	30A 10/3	7	8	20A 12/3	<u>WELL</u>	
<u>SM. APPL - (KIT.)</u>	20A 12/2	9	10	20A 12/2	<u>SM. APPL - (KIT.)</u>	
<u>LAUNDRY</u>	20A 12/2	11	12	20A 12/2	<u>EXT. RECS. GFCI</u>	
<u>BATH 1 & GFCI RECS.</u>	20A 12/2	13	14	20A 12/2	▲ <u>2ND LVL HALL/ STAIR</u>	
<u>BATH 2 & GFCI RECS</u>	20A 12/2	15	16	20A 12/2	▲ <u>FOYER/ SMOKE DET.</u>	
<u>KITCHEN LGTS</u> ▲	20A 12/2	17	18	20A 12/2	▲ <u>BEDROOM 1-AFCI</u>	
<u>LIVING ROOM</u> ▲	20A 12/2	19	20	20A 12/2	▲ <u>BEDROOM 2-AFCI</u>	
<u>DISHWASHER W/ LOCKOUT & GFCI</u>	20A 12/2	21	22			
<u>HOODFAN</u>	20A 12-2	23	24			
		25	26			
		27	28			
		29	30			
		31	32			
<u>2ND LEVEL HVAC</u>	20A 12-3	33	34	60A	* <u>H. P. (SITE INSTALLED)</u>	
<u>2ND LEVEL HVAC</u>	20A 12-3	35	36	60A	* <u>H. P. (SITE INSTALLED)</u>	
<u>A/C (SITE INSTALLED)</u> *	30A	37	38	60A	* <u>H. P. (SITE INSTALLED)</u>	
<u>A/C (SITE INSTALLED)</u> *	30A	39	40	60A	* <u>H. P. (SITE INSTALLED)</u>	
<div><div>GFCI - GFCI BREAKER OR CIRCUIT WITH A GFCI RECEPT- (ONE OR THE OTHER NOT BOTH)</div><div>▲ COMBINATION ARC FAULT CIRCUIT INTERRUPTER</div></div>						
* BREAKER NOT INSTALLED AT C.H.						



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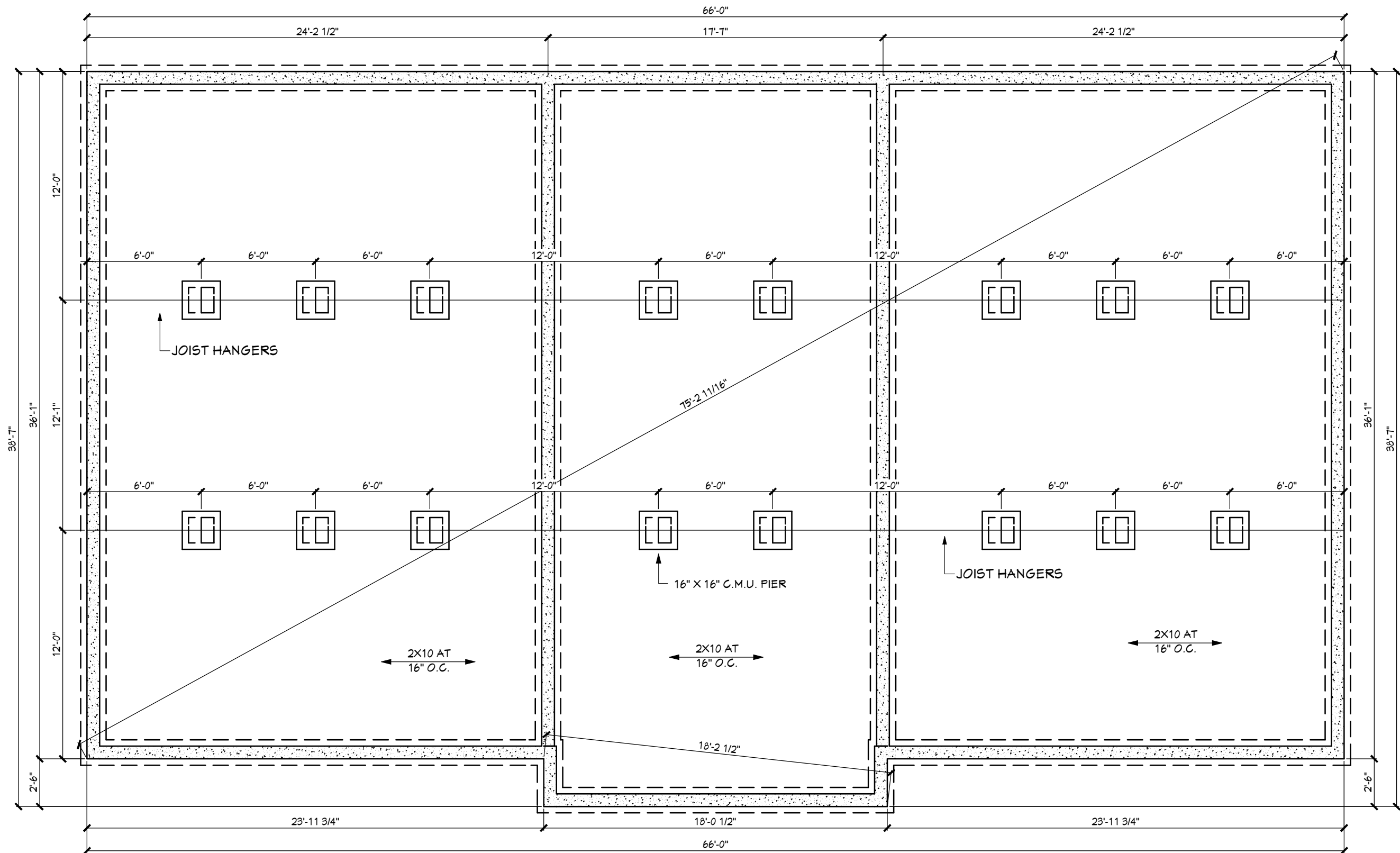
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TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY




FOUNDATION PLAN IS FOR PERIMETER DIMENSIONS AND PIER LOCATIONS ONLY AND IS DESIGNED ON INFORMATION SUBMITTED. ANY ALTERATIONS TO THE EXTERIOR DIMENSIONS OR CHANGES TO MATING WALL OPENINGS AFTER THE DESIGN SET OF PLANS MAY IMPACT THIS DESIGN AND WILL REQUIRE A NEW DRAWING. ACTUAL FOUNDATION DESIGN AND INSTALLATION TO BE BY BUILDER ON-SITE SUBJECT TO INSPECTION AND APPROVAL BY BUILDING OFFICIAL BASED ON LOCAL SOIL CONDITIONS.

BUILDER AT SITE TO DETERMINE METHOD OF VENTILATING CRAWLSPACE OR ALTERNATE METHODS IN ACCORDANCE WITH SECTION 1203.4.2 AND BE APPROVED BY LOCAL BUILDING OFFICIAL

SIZE OF FDN. WALL AND FOOTING THICKNESS AS REQ'D BY LOCAL REQUIREMENTS/CONDITIONS-
FTG. SHALL BE BELOW FROST LINE-
ENTIRE FOUNDATION SUBJECT TO INSPECTION AND APPROVAL BY AUTHORITY HAVING JURISDICTION- BY BUILDER ON-SITE-

NOTE:
C.M.U. & FTG. DEPENDS ON BACKFILL
REFER TO LOCAL CODES.

TOWNHOUSE - LOT #130, #132, #134
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FAUQUIER HABITAT FOR HUMANITY



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FOUNDATION NOTES:

1.) THIS FOUNDATION IS BASED UPON THE FOLLOWING LOADING CONDITIONS:

- ROOF LIVE LOAD: SEE COVERPAGE
FLOOR LIVE LOAD: 40 P.S.F.
WIND LOADING: SEE COVERPAGE
MINIMUM ALLOWABLE SOIL BEARING: 2,000 P.S.F. (2,500 P.S.F GA)

IF THESE CONDITIONS CANNOT BE VERIFIED (FIELD), THEN THE FOUNDATION MUST BE ADJUSTED BY A REGISTERED ENGINEER OR ARCHITECT IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE.

2.) BUILDER MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.

3.) FOUNDATION PLAN IS FOR DIMENSIONS ONLY- FOUNDATION DESIGN AND COMPLETION TO BE BY BUILDER INCLUDING FOOTING DRAINS, VAPOR BARRIER, SILL PLATES, WATER-PROOFING, INSULATION, BACKFILL AND ALL FINISH WORK. ALL WORK MUST COMPLY WITH STATE AND LOCAL CODES AS WELL AS PROFESSIONAL STANDARDS.

4.) ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH (fc) OF 2,500 P.S.I. ALL STEEL TO BE GRADE 40 OR BETTER. STEEL MUST COMPLY WITH ASTM A615.

5.) ALL MASONRY UNITS ARE TO BE LAID IN TYPE "M" OR "S" MORTAR. HOLLOW MASONRY PIERS TO BE CAPPED WITH 4" SOLID MASONRY FOR 1 STORY & 8" SOLID MASONRY FOR 2 & 21 STORIES. SEE APPLICABLE CODES FOR ALTERNATE METHODS.

6.) THE CRAWLSPACE MUST BE PROVIDED WITH AN ACCESS PANEL MEASURING 18" X 24". IF MECHANICAL EQUIPMENT IS LOCATED IN CAWNSPACE AREA, THE ACCESS TO BE 22" WIDE X 30" HIGH MINIMUM.

7.) CRAWLSPACE AREA SHALL BE PROVIDED WITH VENTILATION OPENINGS THROUGH THE FOUNDATION WALL. THE MINIMUM NET AREA OF VENTILATION SHALL BE 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE.

THIS NUMBER MAY BE REDUCED DEPENDING ON LOCAL CODE JURISDICTIONS. THE VENTILATION OPENINGS SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING AND MAY BE CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8". EXCEPTIONS EXIST THAT MAY REDUCE THE NUMBER OF FOUNDATION VENTS, TYPE OF VENT OR REQUIRE AN APPROVED VAPOR BARRIER IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO COMPLY WITH LOCAL CODES & REQUIREMENTS.

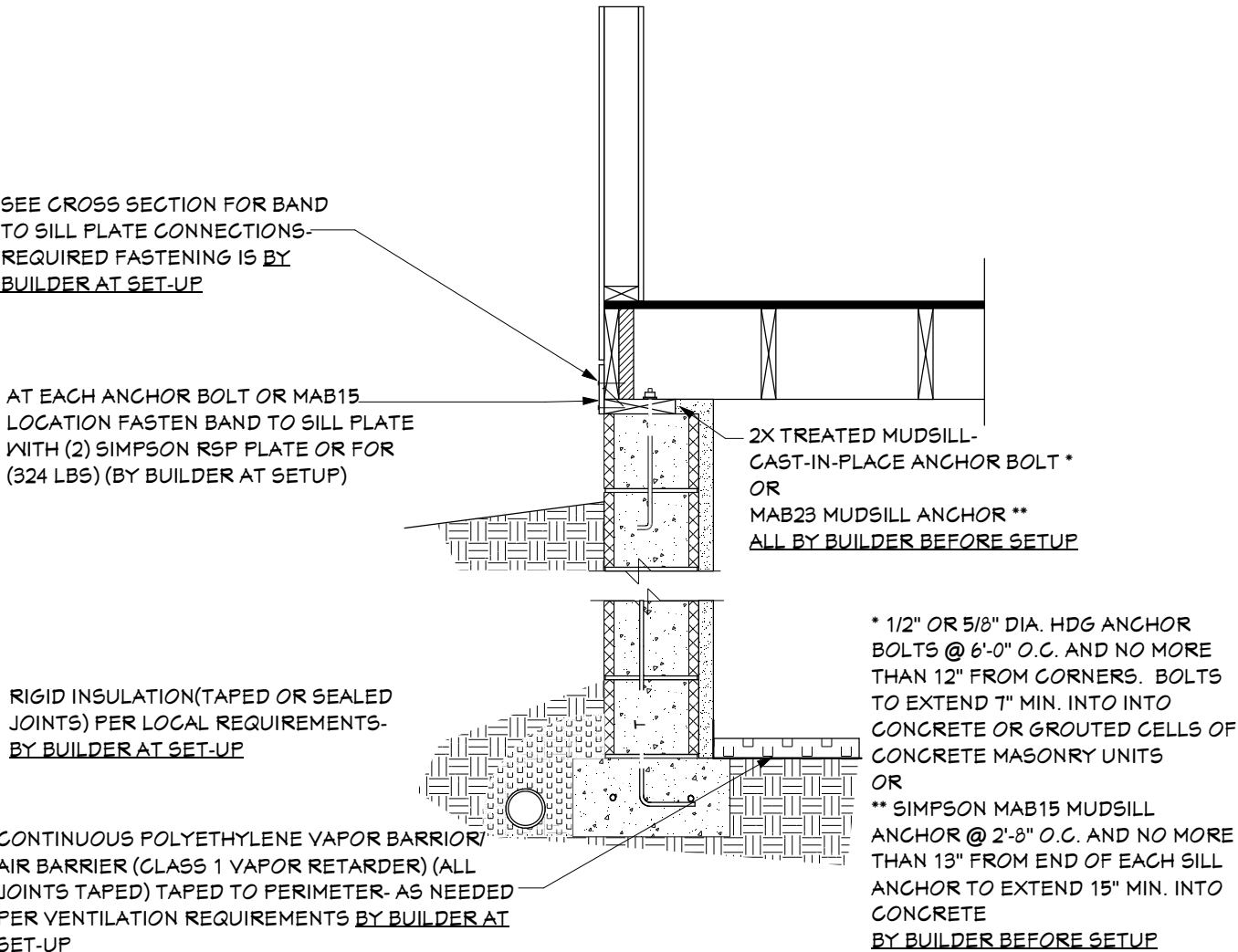
8.) ALL FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED SOIL OR ENGINEERED FILL. EXTERIOR FOOTINGS SHALL EXTEND BELOW APPLICABLE FROST LINE AND AT LEAST 12" BELOW THE UNDISTURBED SOIL. SEE APPLICABLE CODE FOR EXCEPTIONS. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS SHALL BE 2500 PSI AFTER 28 DAYS.

9.) FOUNDATION ANCHORAGE PER SECTION R403.1.6


10.)FINISH GRADE SHALL FALL AWAY A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

11.) PROVIDE TERMITE SHIELDS AS REQUIRED BY LOCAL CODE AND SUSCEPTIBLY.

12.) INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION.



CMU FOUNDATION: UNFINISHED FLOOR TO FOUNDATION SITE CONNECTIONS USING 1/2 OR 5/8" ANCHOR BOLTS OR SIMPSON MAB15 MUDSILL ANCHORS- FOUNDATION DESIGN HAS BEEN EXTRAPOLATED FROM CHAPTER 4 OF THE IRC-



Item 2.

CARDINAL HOMES®

PROJECT NO.
-

FP. NUMBER
223217

PRINT NO.
-

DATE
9/15/23

DRAWN BY:
EW

SCALE:
3/16" = 1'-0"

REVISIONS

FOUNDATION

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SHEET:
4.1 OF 6

48

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY

REVISIONS

[illegible]

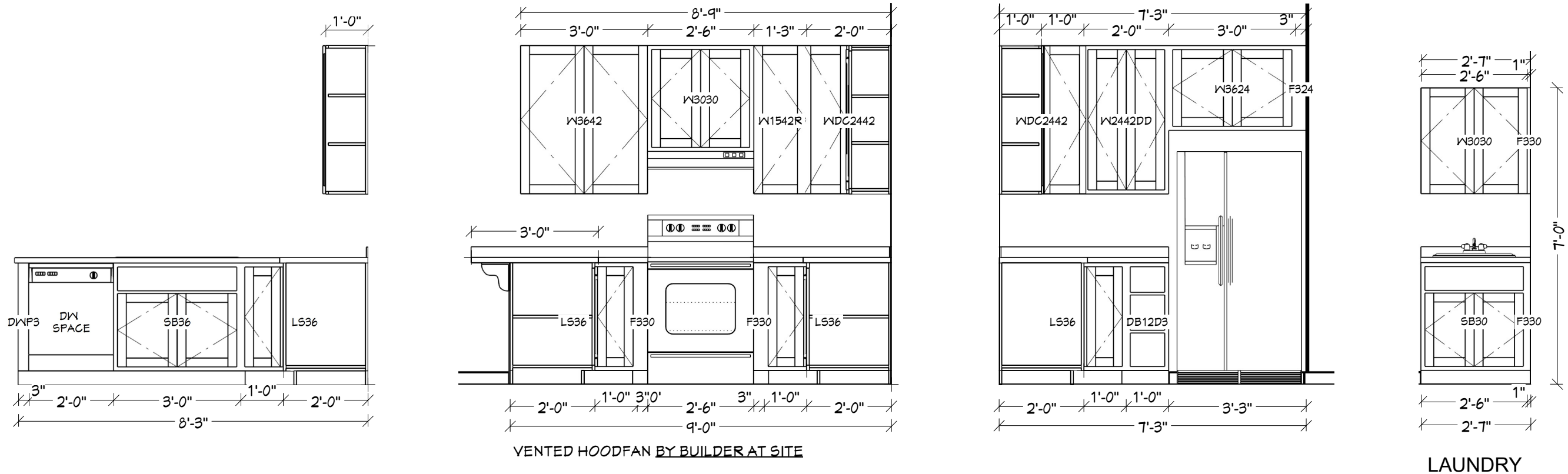
CABINEIS

© 2024 INTOWAIT MANUFACTURING, LLC

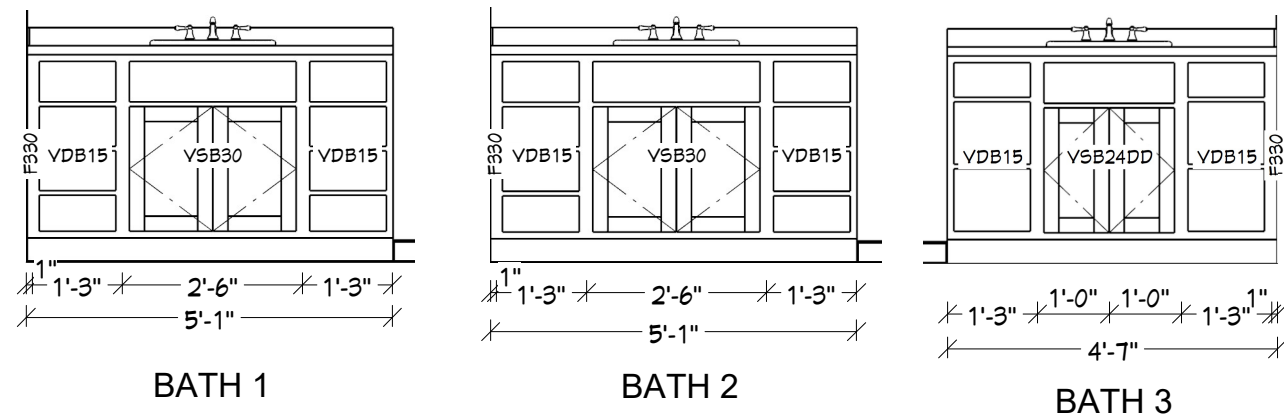
SHEET:

CABINETS

9



KITCHEN CABINETS



WOLF CABINETS MARKED WITH ** ARE
SPECIAL ORDER AND REQUIRE A LONGER LEAD TIME

TOEKICKS TO BE USED ON ALL BASE CABINETS

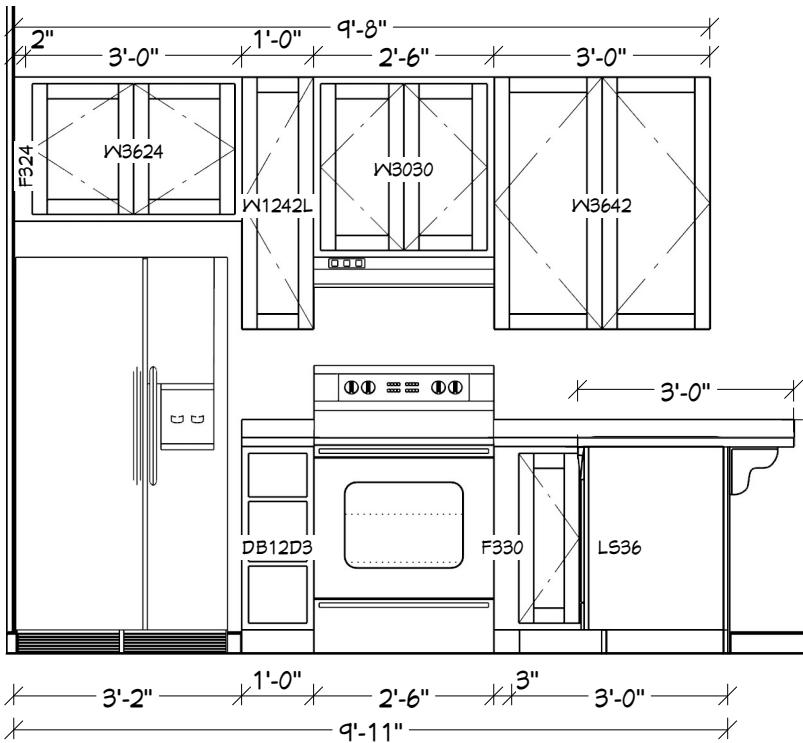
CROWN MOULDING (CCROWN134) ON ALL WALL CABINETS

LOT 130

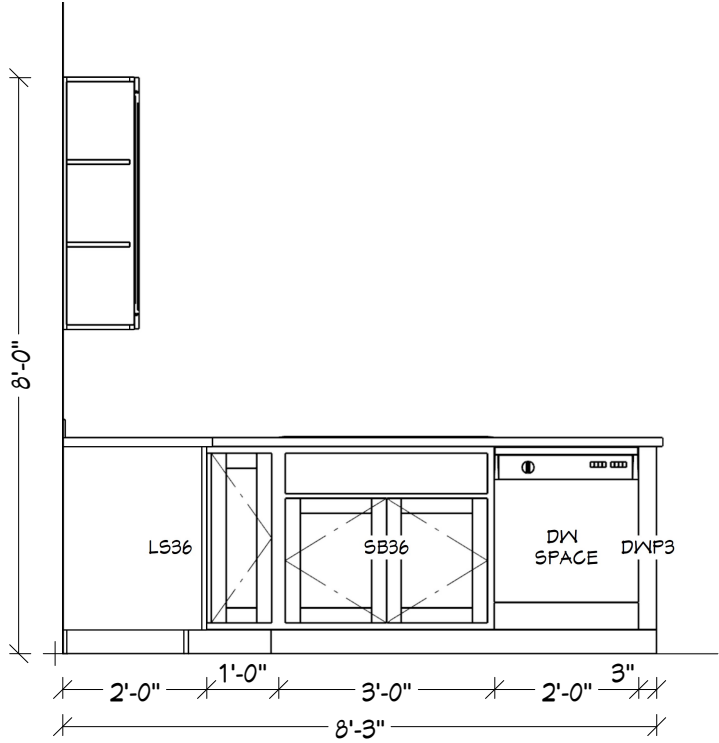
CABINET SCHEDULE LOT 130,132,134		
LABEL	QTY	FLOOR
LS36	5	1
DB12D3	3	1
WSM 1/2"	2	1
F330	9	1
W3030	3	1
SB30	2	2
WDC2442	2	1
W1542L	1	1
W2442DD	2	1
SB36	3	1
DWP3	3	1
P4836	9	1
BAR BRACKET	9	1
W1542R	1	1
VSBB24DD	2	1
VDB15	4	1
VSBB30	1	1
W1242L	1	1
W3624	3	1
F324	3	1
W3642	3	1
W3030	2	2
F330	9	2
VDB12	2	2
VDB15	8	2
VSBB24DD	1	2
VSBB30	4	2

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY

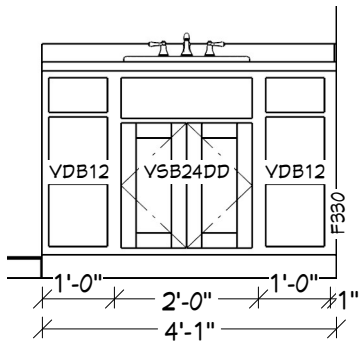
NOTE:
THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY, MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.



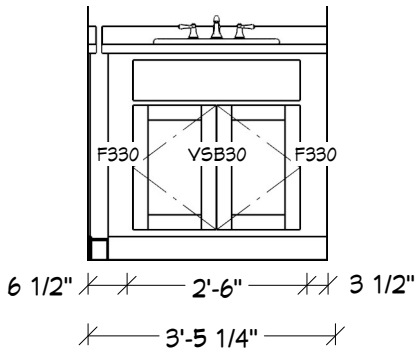
VENTLESS HOODFAN BY BUILDER AT SITE



KITCHEN CABINETS



BATH 1



BATH 2

LOT 132


WOLF CABINETS MARKED WITH ** ARE SPECIAL ORDER AND REQUIRE A LONGER LEAD TIME

TOEKICKS TO BE USED ON ALL BASE CABINETS

CROWN MOULDING (CCROWN134) ON ALL WALL CABINETS

NOTE:
THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY, MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



Item 2.

CARDINAL HOMES®

PROJECT NO.
-

FP. NUMBER
223217

PRINT NO.
-

DATE
9/15/23

DRAWN BY:
EW

SCALE:
3/8" = 1'-0"

REVISIONS

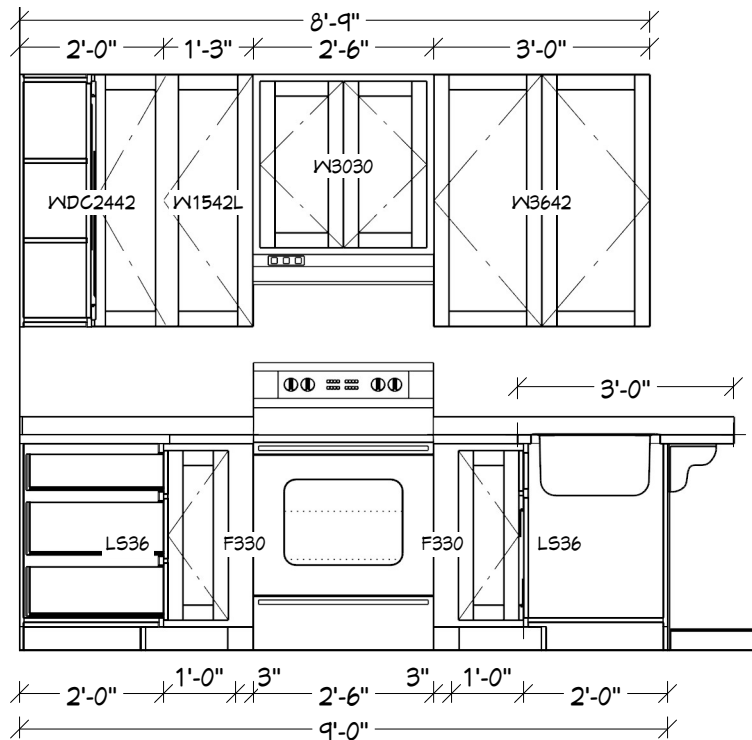
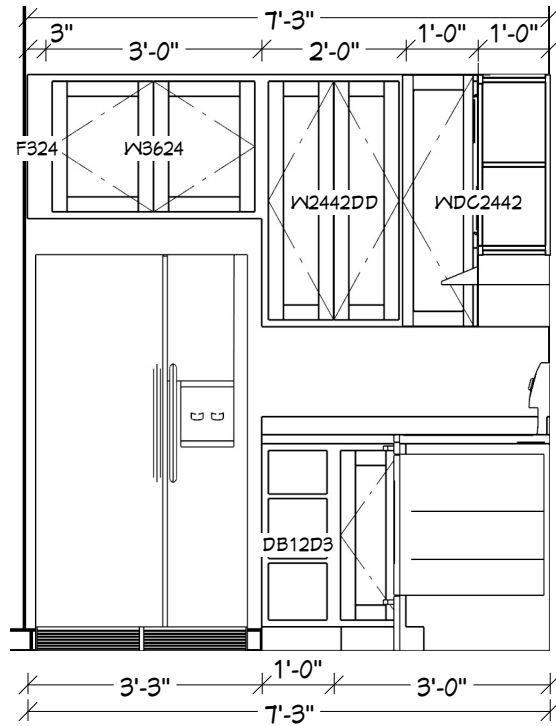
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CABINETS

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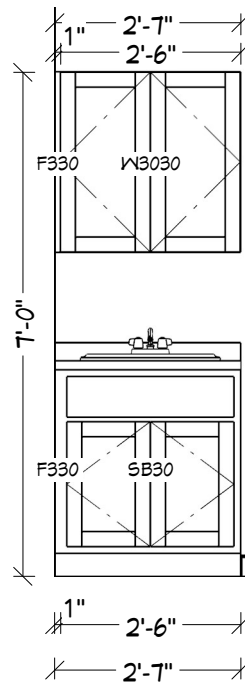
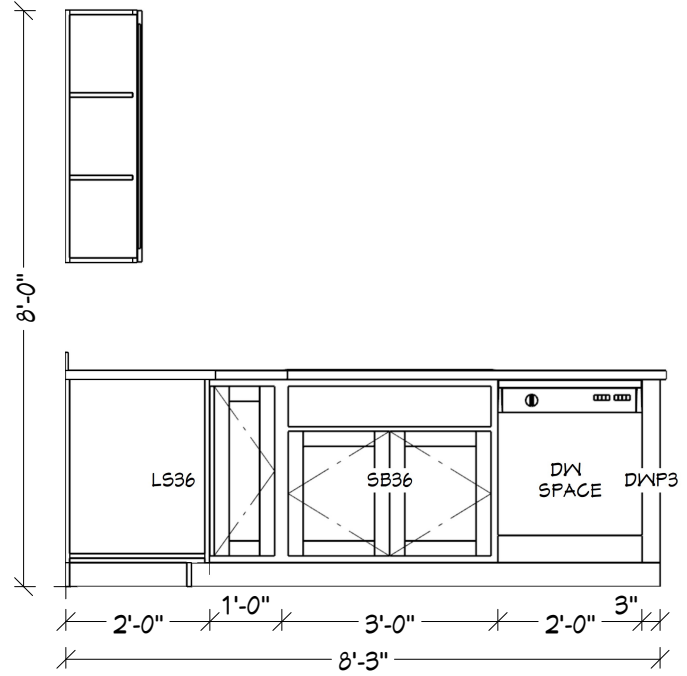
SHEET:
CABINETS

50

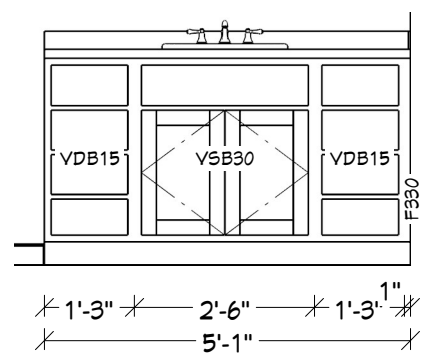


VENTED HOODFAN BY BUILDER AT SITE

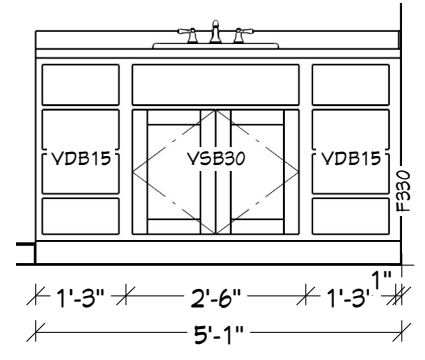
KITCHEN CABINETS



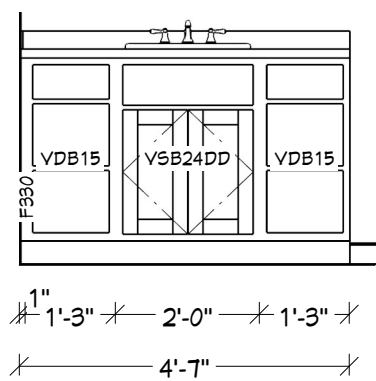
LAUNDRY



BATH 1



BATH 2



BATH 3


LOT 134

WOLF CABINETS MARKED WITH ** ARE SPECIAL ORDER AND REQUIRE A LONGER LEAD TIME

TOEKICKS TO BE USED ON ALL BASE CABINETS

CROWN MOULDING (CCROWN134) ON ALL WALL CABINETS

TOWNHOUSE - LOT #130, #132, #134
4,836 TOTAL SQ. FT.
FAUQUIER HABITAT FOR HUMANITY



Item 2.

CARDINAL HOMES®

PROJECT NO.
-

FP. NUMBER
223217

PRINT NO.
-

DATE
9/15/23

DRAWN BY:
EW

SCALE:
3/8" = 1'-0"

REVISIONS

CABINETS

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SHEET:
CABINETS

51

BK 1612 PG 287 - 291

Consideration: \$778,600.00
Assessment: \$778,600.00
Grantee Address: 98 Alexandria Pike, Suite 43, Warrenton, VA 20186
Tax Map #: 6984-44-9002-00, 6984-44-8436-000, 6984-43-9745-000, 6984-54-0254-000,
and 6984-44-9545-000 & 6984-44-9538-000,
Prepared by: Patricia A. Woodward, P. O. Box 1037, Warrenton, VA 20188, VS8# 19850
After recording return to: Cardinal Settlement Services, Inc., 25 Horner Street, Warrenton, VA 20186
Title Insurer: Fidelity National Title Insurance Company

THIS DEED, made and entered into this 30th day of October 2019, by and between Eva
C. HARRIS, widowed and unremarried, GRANTOR, and FAUQUIER HABITAT FOR
HUMANITY, INC., a Virginia corporation, GRANTEE;

WITNESSETH:

THAT FOR and in consideration of the sum of TEN DOLLARS (\$10.00), cash in hand paid
by the Grantee, and other good and valuable consideration, receipt whereof is now acknowledged,
the Grantor does now hereby, with GENERAL WARRANTY OF TITLE and ENGLISH
COVENANTS OF TITLE in FEE SIMPLE, grant, bargain, sell, and convey unto the Grantee, all of
that certain lots or parcels of land, with all rights, ways, easements and improvements thereunto
belonging or appurtenant thereto, and more particularly described as follows:

See, Schedule A attached hereto and made a part hereof

Inclusion of the Tax Map Parcel number in this Deed is pursuant to §17.1-252 of the Code
of Virginia, 1950, as amended, is not a part of the legal description of the property conveyed, and
the Grantor makes no warranty as to its accuracy.

This conveyance is made subject to any restrictions, reservations or easements of record.

WITNESS the following signature and seal:

Eva C. Harris (SEAL)
EVA C. HARRIS

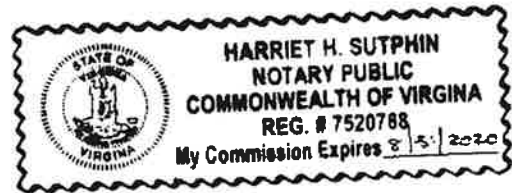
COMMONWEALTH OF VIRGINIA
~~CITY~~/COUNTY OF Fauquier, TO-WIT:

The foregoing document was acknowledged before me this 30th day of October by Eva C. Harris.

My Commission Expires: August 31, 2020

W:\Harris, Eva\Habitat 2019\2019-10-28 Deed_Harris to Habitat.wpd

Harriet H. Sutphin
NOTARY PUBLIC



Schedule A

PARCEL 1 (GPIN 6984-44-9002-000):

ALL THAT certain lot of land lying and being situated in Warrenton, Fauquier County, Virginia, at the intersection of North Third Street (now known as North Fourth Street), Hayti (Haiti) Street, and Wood Street (now known as Liberty Street) and bounded and described as follows, to wit: Beginning at a post at corner of the Alfred B. Horner and John Tyler lots and running in a Southeastern direction 111 feet to a stone on North Third Street (now known as North Fourth Street); thence along North Third Street (now known as North Fourth Street) in an easterly direction 60 feet to a post at the intersection of said North Third Street (now known as North Fourth Street), Wood Street (now known as Liberty Street) and Hayti (Haiti) Street; thence along said Hayti (Haiti) Street in a Northerly direction 161 feet to a post at corner of Alfred B. Horner lot; thence along said Alfred B. Horner lot in a westerly direction 176 feet to a post in corner of Alfred B. Horner and John Tyler lots to the beginning.

LESS AND EXCEPT therefrom a portion of said property fronting a distance of 42 feet on Haiti Street, conveyed to Lester Robinson by Deed from Carrie W. Parkinson, widow, dated November 28, 1958, and recorded in Deed Book 204 at page 4, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

AND BEING the same property conveyed to Harrington W. Harris, by Deed from Harrington W. Harris and Eva C. Harris, dated January 18, 2005, and recorded in Deed Book 1139, at page 941, among the Fauquier County, Virginia land records. Harrington W. Harris died April 2, 2009, devising the subject property in Eva C. Harris by Last Will and Testament recorded in Will Book 243, page 2238 as confirmed by Deed of Confirmation recorded in Deed Book 1549, at page 370, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

PARCEL 2 (GPIN 6984-44-8436-000):

ALL THAT certain tract or parcel of land situate on the west side of Haiti Street in the Town of Warrenton, Fauquier County, Virginia, improved by one frame apartment house, bearing Warrenton street numbers 130, 132 and 134, being the same identical property which was conveyed to Ford G. Anderson by deed of Annie H. Green, widow in Deed Book 121 at page 495, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

AND BEING the same property conveyed to Harrington W. Harris, Sr. and Eva C. Harris, husband and wife, as tenants by the entirety with the common law right of

survivorship, by Deed from Ethel E. Anderson, widow, and Frances A. Shepherd and Charles Edward Shepherd, Jr., her husband, dated April 25, 1969, and recorded in Deed Book 253 at page 347. Harrington W. Harris, Sr. died April 2, 2009, leaving Eva C. Harris as surviving tenant.

PARCEL 3 (GPIN 6984-43-9745-000):

ALL THAT certain tract or parcel of land containing 0.2133 acres, more or less, situate in the Town of Warrenton, Fauquier County, Virginia, as more particularly described by plat of survey and metes and bounds description prepared by VH&D, Inc., Land Surveyors and Civil Engineers, Warrenton, Virginia, under date of October 13, 1983, said plat of survey and metes and bounds description being recorded in Deed Book 436 at page 248, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

AND BEING the property conveyed to Harrington W. Harris, Sr. and Eva C. Harris, husband and wife, as tenants by the entirety with the common law right of survivorship, by Deed from Wendell R. Grant and Shirley M. Grant, husband and wife, dated January 19, 1989, and recorded in Deed Book 611 at page 1265. Harrington W. Harris, Sr. died April 2, 2009, leaving Eva C. Harris as surviving tenant.

PARCEL 4 (GPIN 6984-54-0254-000):

ALL THAT certain lot or parcel of land with the improvements thereon, lying and being situated on Haiti Street in the Town of Warrenton, Fauquier County, Virginia, designated as Lot 7 according to a plat and survey to be found recorded in Deed Book 64 at page 272, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia, containing 5,446 square feet, more or less.

AND BEING the property conveyed to Harrington W. Harris, Sr. and Eva C. Harris, husband and wife, as tenants by the entirety with the common law right of survivorship, by Deed from Virginia C. Coles, dated June 29, 1988 and recorded in Deed Book 599 at page 1760 among the aforesaid county land records. Harrington W. Harris, Sr. died April 2, 2009, leaving Eva C. Harris as surviving tenant.

PARCEL 5 (GPINS 6984-44-9545-000 AND 6984-44-9538-000):

ALL THAT certain lot or parcel of land lying and being situate in the Town of Warrenton in Fauquier County, Virginia, and containing 7,696 square feet, more or less according to plat and survey of R.M. Bartenstein, C.L.S., No. 549, dated December 14, 1954, and being the property designated on said plat and survey as Lot

A, which plat and survey are recorded with a certain deed from May L. Johnson, widow; William Perry Johnson and Elizabeth B. Johnson, his wife; Robert S. Johnson and Elizabeth H. Johnson, his wife, and Willard A. Johnson and Theoling H. Johnson, his wife; to John Hancock, et al, dated April 21, 1955, recorded May 4, 1955, in Deed Book 191, page 96, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

SUBJECT TO a 15 foot easement for ingress and egress appurtenant to Lots B and C as described in Deed recorded in Deed Book 197, page 562, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

AND BEING THE property conveyed to Harrington W. Harris by Deed from Harrington W. Harris and Charles E. Smith, Sr., dated March 1, 2006, recorded in Deed Book 1205, at page 1887 among the Fauquier County, Virginia land records. Harrington W. Harris died April 2, 2009, devising the subject property in Eva C. Harris by Last Will and Testament recorded in Will Book 243, page 2238 as confirmed by Deed of Confirmation recorded in Deed Book 1549, at page 370, among the records of the Clerk's Office of the Circuit Court of Fauquier County, Virginia.

RECORDED IN CLERK'S OFFICE OF
FAUQUIER ON
Oct 31, 2019 AT 11:43:00 AM
\$779.00 GRANTOR TAX PD
AS REQUIRED BY VA CODE § 58.1-802
STATE: \$389.50 LOCAL: \$389.50
FAUQUIER COUNTY, VA
GAIL H BARB CLERK OF CIRCUIT COURT

Gail H Barb

DB 110 pg 302

T H I S D E E D made this eleventh day of April 1914, between Alfred B. Horner (single) party of the first part and Annie H. Green, party of the second part. WITNESSETH: That for and in consideration of the sum of four hundred dollars (\$400.00) cash in hand paid by the party of the second part to the said party of the first part the receipt of which at and before the sealing and delivery of this deed is hereby acknowledged, he the said Alfred B. Horner, party of the first part has bargained, granted and sold, and by these presents does hereby grant, bargain, sell and convey with general warranty unto the said Annie H. Green party of the second part all that certain lot of land on the Western side of Hayti Street in the Town of Warrenton, Fauquier County, Virginia, beginning at the Southeastern corner of the lot of Ora E. Baker on the western side of Hayti Street; thence westerly with said said Baker's lot 74 1/4 feet to the Southwestern corner of said lot of Ora E. Baker and Alfred B. Horner's lot; thence Southerly 79 feet to a stone in Alfred B. Horner's land; thence Easterly 77 feet to Hayti Street; thence northerly with the said Hayti Street 83 feet to the beginning CONTAINING six thousand two hundred and thirty square feet (6230 sq ft) be the same more or less. The same being part of lot No. 11 of "Ice Pond Lot" allotted to Charles G. Horner and part of Lot No. 12 of "Ice Pond Lot" allotted to Alfred B. Horner in the division of the estate of the late G R B Horner in the Chancery suit of "Belt vs Horner" recorded in Deed Book 86 page 297, of the records of Fauquier Circuit Court, 2 October 1895, reference to which is here made; reference also being made to the deed from Charles G. Horner to Alfred B. Horner dated 24 August 1906 and recorded in D B 98 page 399, for further description of part of the lot hereby conveyed. A rough plat of the lot is hereto attached. TO HAVE AND TO HOLD the said lot or parcel of land, together with all and singular the improvements rights, ways, easements and appurtenances unto the same belonging to the said Annie H. Green her heirs and assigns in fee simple. Witness the following signature and seal the day and year first above written.

Fauquier County, to wit:- I, T.E. Bartenstein, Deputy Clerk of the Circuit Court in and for the County aforesaid in the

State of Virginia, do certify that Alfred B. Horner, whose name is signed to the writing above dated the 11 April 1914 has acknowledged the same before me in my Office and County aforesaid. Given under my hand this 11 April 1914.
T.E.Bartenstein, Dep. Clerk.
Clerks Office of Fauquier Circuit Court, 14 April 1914.
This deed was this day received in said Office and with certifi

Alfred B. Horner
to y B. H.
Annie H. Green
Examined to Ann
H. Green this 4
May 1914
T.E.B.

6230 sq. ft.
74 1/4 ft.
Ora E. Baker

Hayti Street

83 ft

against loss by fire and lightning, but shall full insurance value, and we have said insurance endorsed for the benefit of the said party of the third part who shall, at its option, in case of loss by fire, apply the money so received to the payment of the debt herein secured, whether due or not, or in rebuilding upon the same property, said new buildings to be likewise insured, and also to pay all taxes that may become due or be assessed against said land and building during the continuance of this trust; and that upon any neglect to so insure, or pay taxes, any party secured hereby may have said buildings insured, pay the premiums thereon, and pay said taxes, and the expense so paid shall be added to and be a charge hereby secured and bear interest from the time of said payments. Should there be no default hereunder, according to the true tenor and effect hereof, then shall this instrument be null and void and released at the costs of the party of the first part else remain in full force and effect. Witness the following signature and seal of the party of the first part the day and year first hereinabove written. S L Larrabee (SEAL)

State of Virginia, County of Fauquier, to-wit: I, Maude C Colvin, a Notary Public in and for the county and state aforesaid, whose commission expires on the 22nd day of July, 1924, do hereby certify that S L Larrabee, whose name is signed to the foregoing deed of trust, bearing date on the 1st day of February, 1921, has acknowledged the same before me in my County aforesaid, Given under my hand this the 1st day of February, 1921.

Maude C Colvin, N. P.

Clerk's Office of Fauquier Circuit Court, 2nd February, 1921.

This deed of trust was this day received in said office and with certificate admitted to record at 3.10 P M

Teste: T E Bartenstein, Clerk.

TH I S D E E D made this 31st day of January, 1921, by and between Annie H Green, a widow, party of the first part and Ford G Anderson, party of the second part; WITNESSETH: That for and in consideration of the payment by the party of the second part to the party of the first part of the sum of two thousand and one hundred dollars in cash, receipt whereof is hereby acknowledged, the said party of the first part does hereby grant, bargain, sell and convey unto the party of the second part, with general warranty, that lot with the buildings and improvements thereon, situated in the town of Warrenton, Fauquier County, state of Virginia, fronting eighty three feet on Hay ti street, and being the same lot conveyed by Alfred B Horner to the said party of the first part by deed dated April 11th, 1914, and recorded in the Clerk's Office of said Fauquier County in Deed Book 110 page 302 to which said deed reference is hereby made for a better description of said lot. TO HAVE AND TO HOLD to the said party of the second part his heirs and assigns in fee simple forever. In witness whereof, the said party of the first part has hereunto signed her name and affixed her seal the day and year first above written.

ANNIE H GREEN
TO) B & S
F G ANDERSON

Annie H Green (SEAL)

State of New York, City of County of New York, to-wit: I, Stephen A Hubbard, a Notary Public in and for the County of Richmond, in the state of New York, do hereby certify that Annie H Green, whose name is signed to the writing above, bearing date the 31st day of January, 1921, has acknowledged the same before me in my County and State aforesaid. My commission will expire on the 30th day of March 1921. Given under my hand and notarial seal this 1st day of February 1921. (NOTARIAL SEAL)

Stephen A Hubbard, Notary Public, Richmond County, No 64, Certificate filed in N Y County N Y County No 151 N Y Register No 1258. Commission expires March 30. 1921.

(Two Dollars and Fifty Cents Internal Revenue Stamps Cancelled)

Clerk's Office of Fauquier Circuit Court, 2nd February, 1921.

This deed was this day received in said office and with certificate admitted to record at 3.35 P M

Teste: T E Bartenstein, Clerk.

TH I S D E E D made this 29th day of December, in the year one thousand nine hundred and twenty, between Fannie Belle Rixey, and Samuel F Rixey, her husband, parties of the first part and N C Noland, party of the second part; WITNESSETH: That in consideration of the sum of one hundred and twenty five dollars cash in hand paid by the party of the second part to the said parties

F B RIXEY & AL
TO) B & S
husb N C NOLAND

Witness atty
for Ann H Green
this 14 Jan 1921
J E B dm

671

THIS DEED, made this 25th day of April, 1969, between ETHEL E. ANDERSON, widow, and FRANCES A. SHEPHERD and CHARLES EDWARD SHEPHERD, JR., her husband, parties of the first part, and HARRINGTON W. HARRIS and EVA C. HARRIS, husband and wife, as tenants by the entirety with common-law right of survivorship, parties of the second part, WITNESSETH:

That in consideration of the sum of Ten Dollars (\$10.00) cash and other valuable considerations moving from the parties of the second part to the parties of the first part, receipt of all of which at the sealing and delivery of this deed is hereby acknowledged, the parties of the first part do hereby bargain, sell, grant and convey, unto the parties of the second part, as tenants by the entirety with common-law right of survivorship, all of the following described real estate, to-wit:

All of that certain lot or parcel of land situate on the west side of Hayti Street in the Town of Warrenton, Fauquier County, Virginia, improved by one frame apartment house, bearing Warrenton street numbers 130, 132 and 134, being the same identical property which was conveyed to the late Ford G. Anderson by deed of Annie H. Green widow, dated January 31, 1921, recorded February 2, 1921 in Deed Book 121, Page 495, in the Clerk's Office of the Circuit Court of Fauquier County, Virginia, which property by the will of the said Ford G. Anderson probated February 17, 1933, and recorded in Will Book 53, Page 352, in said Clerk's Office was devised to the said Frances A. Shepherd (under the name of Frances La Marque Anderson), and Ethel E. Anderson.

The aforesaid real estate is conveyed subject to any public utility company easements of record or visible on the premises, and subject to the oral month-to-month tenancies of the present occupants of the aforesaid apartment.

TO HAVE AND TO HOLD the above described real estate, together with all rights, ways, easements and appurtenances thereunto belonging, unto the parties of the second part, as tenants by the entirety with common-law right of survivorship, in fee simple.

Except as to any public utility company easement of record or visible on the premises, and except as to the aforesaid month-to-month tenancies, the parties of the first part covenant that they will WARRANT GENERALLY the property hereby conveyed, that they have the right to convey

Return to:
Harrington Harris
At 3 Box 65
Warrenton, VA

Specimen
May 28,
1969
Harris

the said land to the grantees, that the grantees shall have quiet possession of the said land, free from all encumbrances, and that they, the parties of the first part, will execute such further assurances of the said land as may be requisite.

WITNESS the following signatures and seals.

Ethel E. Anderson (SEAL)
ETHEL E. ANDERSON

Frances A. Shepherd (SEAL)
FRANCES A. SHEPHERD

Charles Edward Shepherd Jr. (SEAL)
CHARLES EDWARD SHEPHERD, JR.

STATE OF VIRGINIA
COUNTY OF FAUQUIER, to-wit:

I, Wallace J. Brown, a Notary Public in and for the County of Fauquier, State of Virginia, do certify that ETHEL E. ANDERSON, and FRANCES A. SHEPHERD, whose names are signed to the foregoing deed dated the 25th day of April, 1969, have each acknowledged the same before me in my County and State aforesaid.

My commission expires the 4th day of April, 1972.
Given under my hand this 20th day of May, 1969.

Wallace J. Brown
Notary Public

STATE OF VIRGINIA
COUNTY OF FAUQUIER, to-wit:

I, Elizabeth R. Roland, a Notary Public in and for the County of Fauquier, State of Virginia, do certify that CHARLES EDWARD SHEPHERD, JR., whose name is signed to the foregoing deed dated the 25th day of April, 1969, has acknowledged the same before me in my County and State aforesaid.

My commission expires the 24 day of August, 1969.
Given under my hand this 20 day of May, 1969.

Elizabeth R. Roland
Notary Public

Virginia: In the Clerk's Office of Fauquier Circuit Court, 20 May 1969

This instrument was this day received in said Office
and with certificate admitted to record at 11:52 A.M.
Tax of \$ 5.00 imposed by Section 58-54(b) Paid

Teste: W. Brown Clerk

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DEFERRED PURCHASE MONEY

THIS DEED OF TRUST made this 25th day of APRIL, 19 69 . by and

between HARRINGTON W. HARRIS and EVA C. HARRIS, husband and wife,

hereinafter called Grantor, whether one or more than one, and WALLACE N. TIFFANY and CARROLL J. MARTIN, JR., Warrenton, Fauquier County, Virginia.

hereinafter called Trustee (any or all may act), whether one or more than one, and ETHEL E. ANDERSON and/or FRANCES A. SHEPHERD.

hereinafter called Beneficiary.

WITNESSETH:

THAT FOR AND IN CONSIDERATION of the sum of TEN DOLLARS (\$10.00) in hand paid at and before the execution and delivery of this instrument, the receipt of which is hereby acknowledged, and for the express purpose of securing the payment of the hereinafter-described indebtedness, the said GRANTOR does hereby grant, sell and convey, WITH COVENANTS OF GENERAL WARRANTY OF TITLE, unto the said TRUSTEE (if there be more than one Trustee, any or all may act), all of the following described real estate, with the appurtenances thereunto belonging:

Attn: E. E. Anderson
W. N. Tiffany

All that certain lot or parcel of land situate on the west side of Haiti Street in the Town of Warrenton, Fauquier County, Virginia, improved by one frame apartment house, bearing Warrenton street numbers 130, 132 and 134, and being the same identical property which was conveyed to the late Ford G. Anderson by Deed of Annie H. Green, widow, dated 31 January, 1921, and found of record in the Office of the Clerk of the Circuit Court of Fauquier County, Virginia, in Deed Book 121, Page 495.

And being the same and identical real estate which was conveyed to the Grantors herein by Ethel E. Anderson, et als, by Deed dated 25 April, 1969 and intended to be recorded in the aforesaid Clerk's Office immediately preceding the recordation of this Deed of Trust.

Specific reference to all of which being here made for a more complete description of the property hereby conveyed.

*Copy of Deed
May 28, 1969
[Signature]*

THE GRANTOR hereby grants to the holder of the obligations secured hereunder the right and power to appoint a substitute trustee in accordance with the provisions of Section 28-49, Code of Virginia, 1950, as amended.

IN TRUST, NEVERTHELESS, to secure the payment of a debt in the principal sum of FOUR THOUSAND AND NO/100 ----- dollars (\$4,000.00),

with interest from date at the rate of 6 % per annum; which said debt (both principal and interest) is now evidenced by that certain negotiable promissory note, bearing even date herewith, in the principal sum of \$ 4,000.00 -----, executed by HARRINGTON W. HARRIS and EVA C. HARRIS, husband and wife as maker(s) and payable to the order of ETHEL E. ANDERSON and/or FRANCES A. SHEPHERD with interest at 6 % per annum from date until paid.

WHICH SAID NOTE is payable in MONTHLY ----- installments of NINETY-THREE and 95/100 ----- dollars (\$ 93.95 -----), commencing on the 15th day of JUNE -----, 19 69, and MONTHLY ----- thereafter until the principal and

interest are fully paid, except that the entire indebtedness evidenced thereby, if not sooner paid, shall be due and payable on the 15th day of MAY -----, 19 73.

WHICH SAID NOTE provides that if any installment is not paid at the time and place specified, the entire amount unpaid, principal and accrued interest, shall at once become due and payable, without notice, at the option of the holder thereof, but failure to exercise this option shall not constitute a waiver of the right to exercise the same in the event of any subsequent default; waives presentment, demand, protest and notice; waives the benefit of the Homestead Exemption; and provides for 15% additional, as attorney's fees, in case payment shall not be made at maturity.

THIS DEED OF TRUST is made under the provisions of Code of Virginia Sections 55-59 and 55-60, as amended, and shall be construed to impose and confer upon the parties hereto and the beneficiary hereunder, all the rights, duties and obligations prescribed by the said Sections 55-59 and 55-60, as amended, and in short form as therein provided, except as hereinbefore or hereinafter otherwise restricted or changed. Trustee commission in the event of sale is 5%. Advertisement required: to publish the time, place and terms of sale once a week for four successive weeks in a newspaper published or having general circulation in the County or City, with the last insertion, if desired, on the day of sale. Insurance against fire and windstorm is required in an amount equal to the face of said note, and the policy or policies must be placed with the beneficiary hereunder.

SHOULD THERE BE NO DEFAULT HEREUNDER, according to the true tenor and effect hereof, then this instrument shall be null and void and released at the cost of the Grantor, else remain in full force and effect.

WITNESS the following signature(s) and seal(s):

Harrington W. Harris (SEAL)
HARRINGTON W. HARRIS

Eva C. Harris (SEAL)
EVA C. HARRIS

____ (SEAL)

____ (SEAL)

STATE OF VIRGINIA
COUNTY OF FAUQUIER TO-WIT:

I, *Frank W. Riley*, a Notary Public in and for the county/city and state of Virginia, do hereby certify that HARRINGTON W. HARRIS and EVA C. HARRIS, husband and wife

whose name(s) are signed to the foregoing DEED OF TRUST, bearing date on the 25th day of

APRIL -----, 19 69, have acknowledged the same before me, in my county/city aforesaid.

My commission expires on the 11th day of March, 19 73.

GIVEN UNDER MY HAND this 24th day of May, 19 69.

Virginia: In the Clerk's Office of Fauquier Circuit Court, 20 May 1969
Frank W. Riley Notary Public

This instrument was this day received in said Office

and with certificate admitted to record at 11:55 AM.

as of \$ — imposed by Section 58-54(b) Paid

Treasurer *John E. Brown* Clerk

The foregoing Deed of Trust has been fully paid and satisfied
John E. Brown Clerk
John E. Brown Clerk
John E. Brown Clerk

Signature attested and Note

secured herein exhibited to me cancelled, this 76 May 1973

H. L. Pearson Clerk

By *Marjorie Brown* Clerk

XX