



ARCHITECTURAL REVIEW BOARD MEETING

Thursday, May 28, 2026 at 6:30 PM

AGENDA

CALL TO ORDER.

DETERMINATION OF A QUORUM & PURPOSE STATEMENT.

APPROVAL OF MINUTES.

NEW BUSINESS

1. COA 26-11: 82 Main Street

Submission for proposed new signage on Fourth Street elevation

2. Work Session: 22 Waterloo Street

Work Session for proposed rear addition, facade improvements, and hardscape alterations at Red Truck Bakery

UPDATES.

3. First Baptist Church (39 Alexandria Pike): Ongoing VDHR BIPOC Grant for Steeple Repairs

BOARD MEMBERS TIME.

ADJOURN.



Community Development
Department

STAFF REPORT

Meeting Date:	May 28, 2026
Agenda Title:	COA 26-11 82 Main Street
Requested Action:	Review for alterations to the building's 4 th Street elevation: proposed hanging sign and an A-frame sidewalk sign
Department / Agency Lead:	Community Development
Staff Lead:	Whitney Burgess, Preservation Planner

EXECUTIVE SUMMARY

The applicant is requesting approval to install:

A double-sided metal hanging sign affixed to the brick wall with a new bracket:

- The proposed sign measures 20" x 20" x 4"
- Installation will be 8 feet above the sidewalk and extend 6 inches from the building façade, which meets the requirements for hanging signs per article 4.F of the Historic District Guidelines;
- Meets the requirements of one projecting sign allowed per business.

An A-Frame polymer sidewalk sign:

- The proposed sidewalk sign measures 24" x 36" inches
- The proposed sign will be placed under the drip line of the entry opening to allow 4 feet of accessible sidewalk, per article 6-15.6 of the Zoning Ordinance

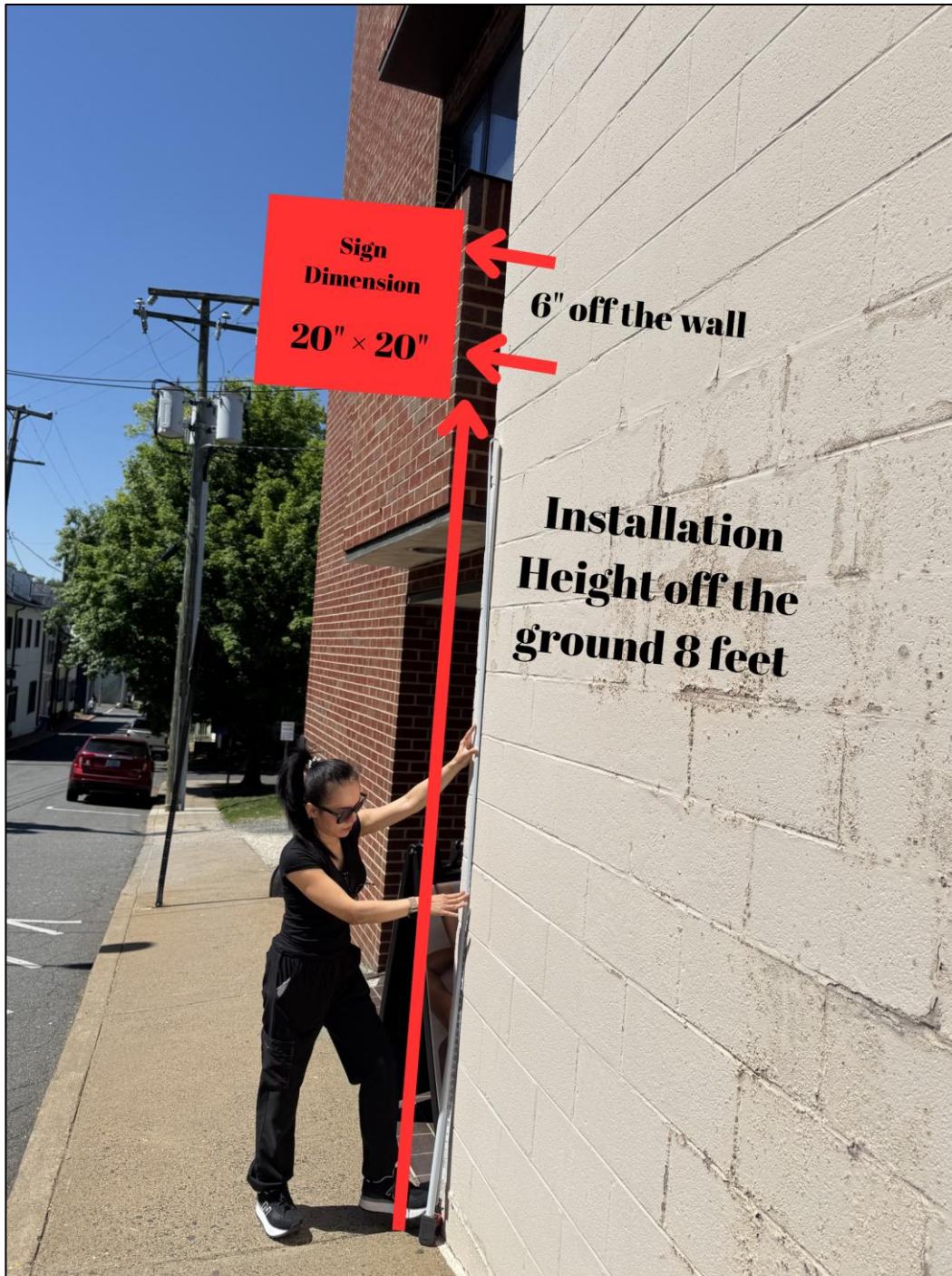
BACKGROUND

This circa 1970, three-story, masonry commercial building at 82 Main Street has a Modernist style. The core of the building is constructed of CMU with sections of red-brick common or running bond veneer. The 4th Street elevation features ribbons of narrow, fixed window panes with CMU infill. Third floor fenestration above the entry bay is marked by a large, arched transom. The building is in good condition with no apparent signs of structural or cosmetic damage. Historically, this building has served as office or retail space. Aerial photographs depict the lot as undeveloped and shaded by several large hardwood trees as early as 1952. That canopy disappeared by the time of the building's construction. The non-historic fixed metal windows and metal-framed glass doors date to circa 1990. The property was initially surveyed (VDHR 156-0019-0232) for NRHP eligibility as part of the surrounding historic district in December 1997, with a later re-survey in 2019. Although the massing, scale, and materiality of the building is compatible with earlier historic commercial structures in the vicinity, the resource does not possess the historic integrity and local significance to qualify for individual NRHP eligibility.





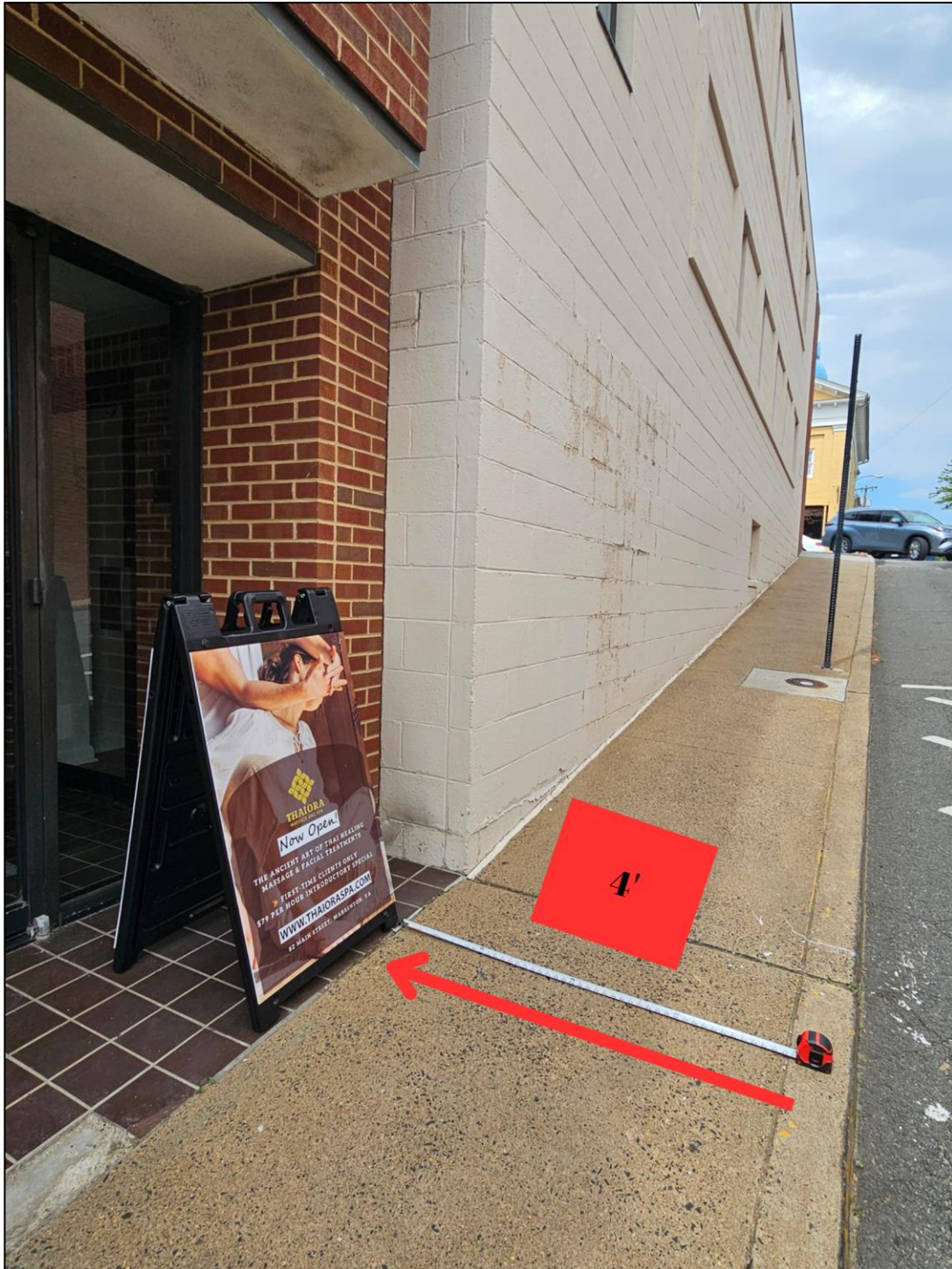
Proposed Business Signage



Location and Dimensions of Proposed Signage



Proposed A-Frame Sidewalk Sign



Location of Proposed Sidewalk Sign Relative to Sidewalk

DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.
F. PROJECTING SIGNS	3.41
1. The bottom edge of the projecting sign should be eight (8) feet above the sidewalk.	
2. Projecting signs should not be larger than six (6) square feet. The sign panel should have a minimum six-inch (6") clearance from the face of the building and extend to its outermost part less than four (4) feet. Projecting signs will be reviewed according to their scale and size and to the scale and size of the building to which they are proposed.	
3. Creative designs and shapes are always encouraged.	
4. Limit the number of projecting signs to one per business.	

STAFF RECOMMENDATION

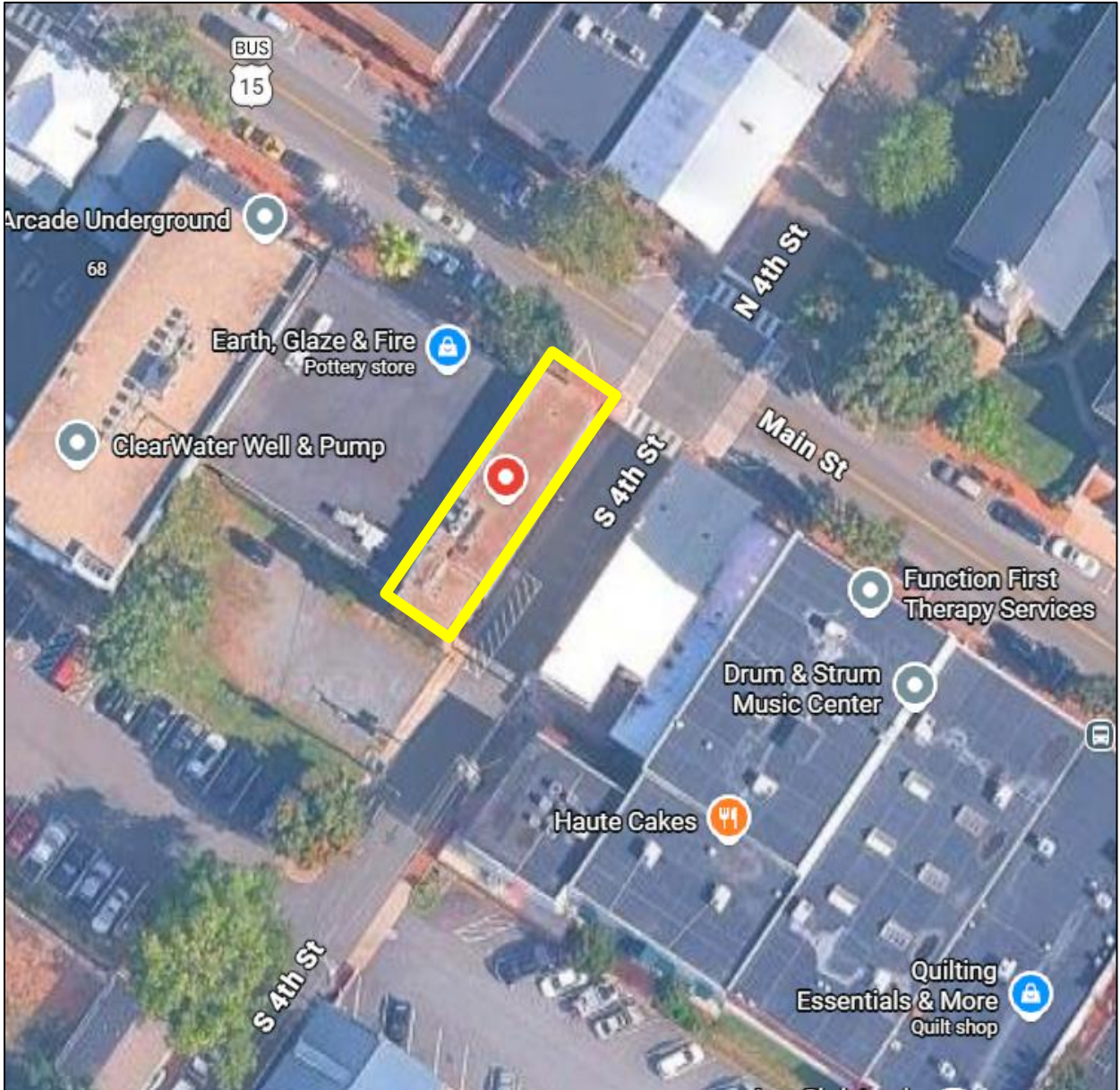
Staff recommends approval of Certificate of Appropriateness 2026-11 for the request to install a double-sided hanging sign (20" x 20") from a new bracket on the 4th Street elevation of 82 Main Street, as well as a new A-frame sidewalk sign, as described and depicted in the application and plans, provided the following conditions are met:

- 1) All necessary permits are acquired;
- 2) The hanging sign shall not exceed 30" x 30";
- 3) The bracket shall be installed only within the mortar joints and not directly into the brick to avoid damage to the masonry;
- 4) The hanging sign shall have at least 4 inches of clearance from the end of the sign to the face of the wall;
- 5) The bottom of the hanging sign to the sidewalk must provide at least 8 feet of clearance;
- 6) The A-Frame sign shall be internally weighted (can use sandbags, weights, etc.);
- 7) The A-Frame sign shall leave at least 4 feet of clearance along the sidewalk, so it does not impede any pedestrian traffic.

ATTACHMENTS

1. Attachment 1- Photos
2. Attachment 2- Draft Motion

Vicinity Map



Street View

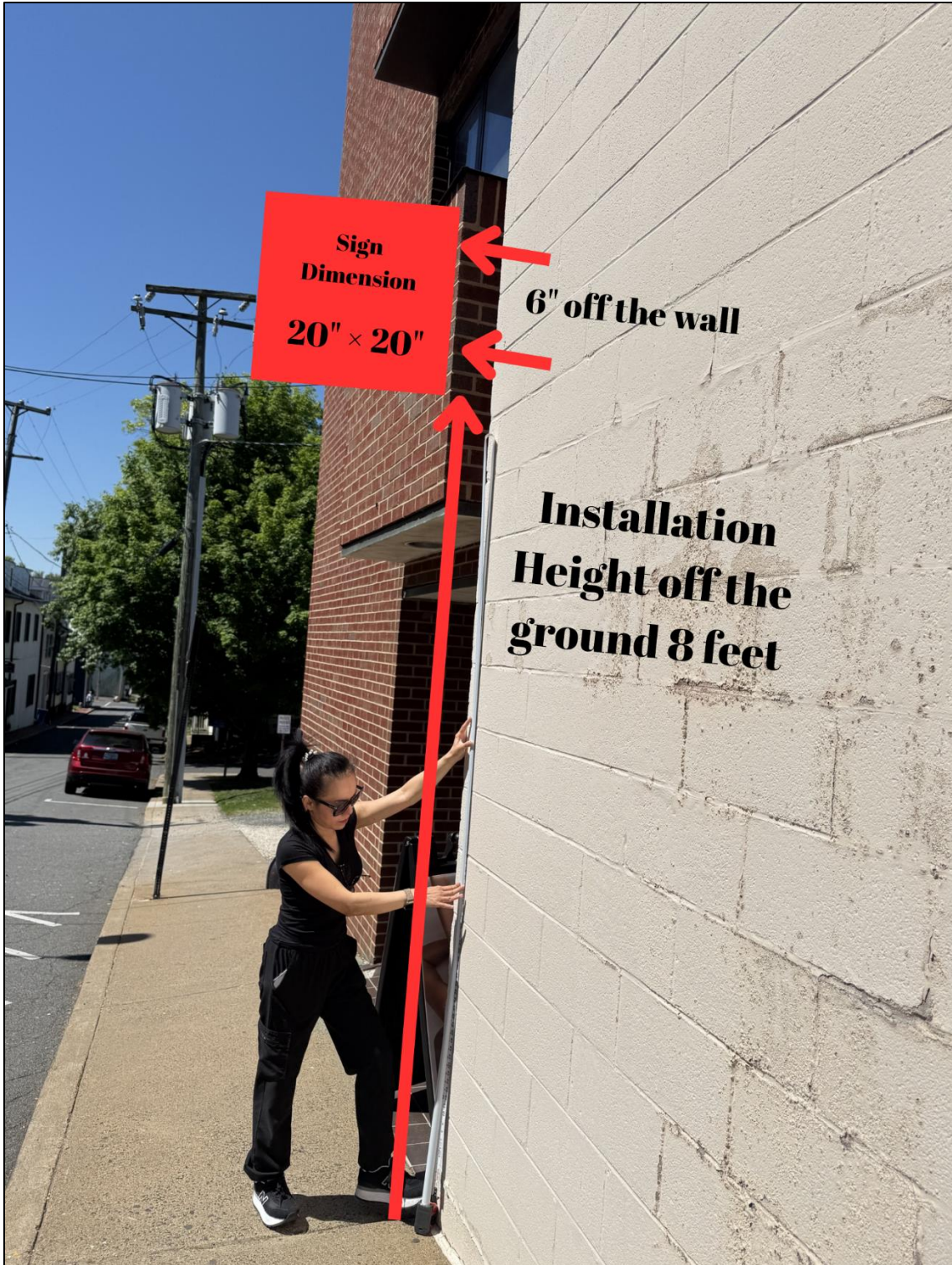


Proposed Project Location

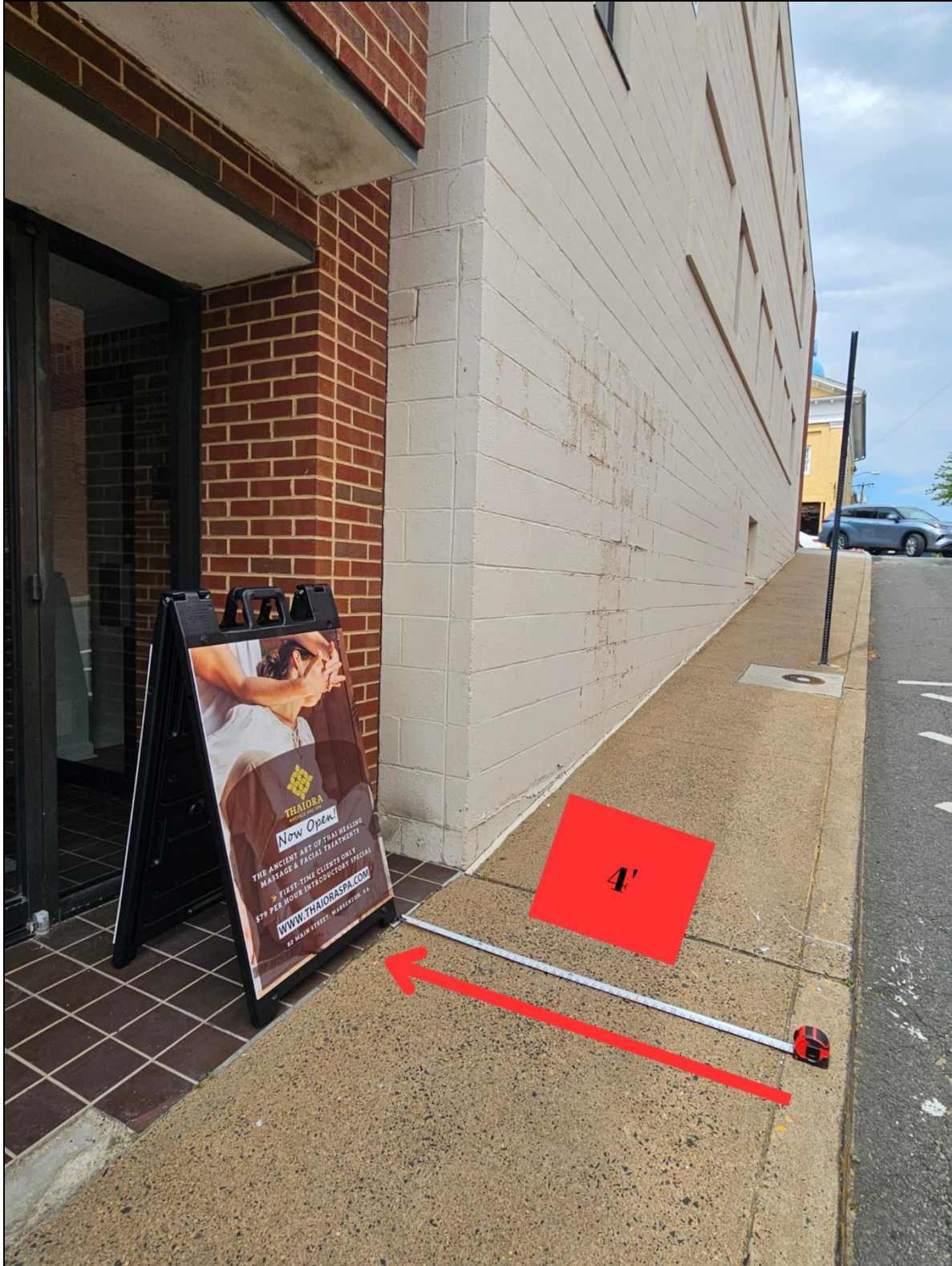


Proposed Designs





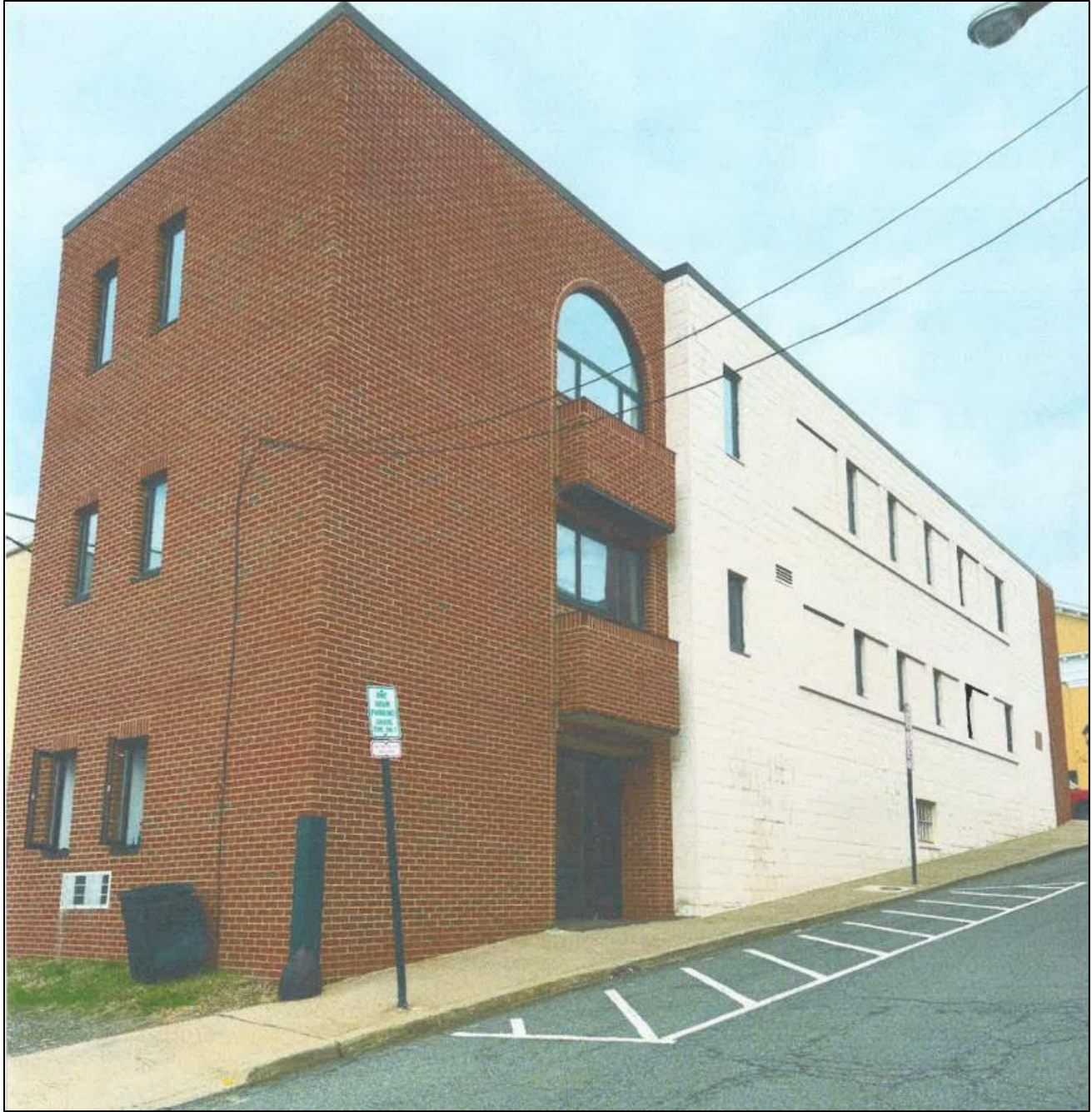




Site Photos







ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 26-11

May 28, 2026

MOTION TO APPROVE

I move to approve the application for Certificate of Appropriateness 26-11 for the request to install a new double-sided metal hanging sign and a new A-frame sidewalk sign on the 4th Street elevation of 82 Main Street with the following conditions:

1. All necessary permits are acquired;
2. The hanging sign shall not exceed 30" x 30";
3. The bracket shall be installed only within the mortar joints and not directly into the brick as to avoid damage to the masonry;
4. The hanging sign shall have at least 4 inches of clearance from the end of the sign to the face of the wall;
5. The bottom of the hanging sign to the sidewalk must provide at least 8 feet of clearance;
6. The A-Frame sign shall be internally weighted (can use sandbags, weights, etc.);
7. The A-Frame sign shall leave at least 4 feet of clearance along the sidewalk, so it does not impede pedestrian traffic.

Motion to Approve By: NAME

Seconded By: NAME

For: # Against: # Abstained: #



Community Development
Department

STAFF REPORT

Meeting Date:	May 28, 2026
Agenda Title:	Work Session: 22 Waterloo Street
Requested Action:	Work session review of proposed rear addition, façade improvements, and hardscape alterations at Red Truck Bakery
Department / Agency Lead:	Community Development
Staff Lead:	Whitney Burgess

EXECUTIVE SUMMARY

The applicant is proposing to construct a rear addition on the building as part of a kitchen expansion and interior reconfiguration, as well as façade and hardscaping improvements.

Background: 22 Waterloo Street (156-0019-0287) is one-story circa 1935 service station in the Spanish Colonial Revival Style. The property presently operates as a bakery/restaurant.

Recent alterations: COA 22-34- Installed a 12"x18" Historical Sign to front of building using stainless steel screws.

Staff Notes regarding draft building plans:

- Current Boundary Survey – Applicant must show the location of all existing improvements and all proposed improvements to prove that all work areas will be contained within the property boundary
- Showing parking – Applicant must show at least one handicap spot and ADA pathway from that spot to the building - if you choose to keep the outdoor seating area, you will need to show you still have adequate parking, as required in [Article 7 of the Zoning Ordinance](#) (specifically Section 7-6 for Commercial Uses)
- Show where delivery vehicles will park for loading/unloading
- If you are installing any NEW light fixtures, that will need to be included with your work session/COA information (ARB will need to see the types of fixtures and where they are being installed on the building). For your Site Development Plan, Zoning will need an overall lighting plan, either way.
- Specific dimensions of the proposed additions should be added to the plans

Zoning comments below:

1. Process – This is an expansion and change to a non-residential use, so following the approval of the COA, the applicant will be required to submit a Site Development Plan meeting the requirements of Article 10 of the Zoning Ordinance. They may need to address Stormwater Management for the redevelopment of the site – they need to coordinate with Kerry Wharton on this question. Following approval of a Site Development Plan, they will need a Building/Zoning Permit to authorize construction. The applicant may additionally need

a Right-of-Way Permit from Public Works (John Ward), and a Stormwater Management and/or Land Disturbance Permit from Public Utilities (Kerry Wharton).

2. Setbacks - There are no side/rear setbacks for this property, as it is surrounded on the side and rear by CBD zoning. However, since there is an addition proposed on the rear of the building abutting the property line, I strongly recommend that they provide a current boundary survey of the property that shows both the location of all existing improvements and all proposed improvements, to show that the addition and all work areas will be contained within the property lines – preferably prior to any action by the ARB. In any event, prior to the approval of any site plan or building/zoning permit to authorize construction, a sealed survey will be required. Additionally, I strongly recommend that they acquire a title report to ensure that there are no easements on the property that will affect their planned improvements – a title report plus an ALTA survey would be the best possible to have to protect their interests.
3. Parking – The proposed work must accommodate at least one handicapped parking space on the lot and provide an accessible pathway/entry to the building. The applicant should revise the plan prior to ARB approval.

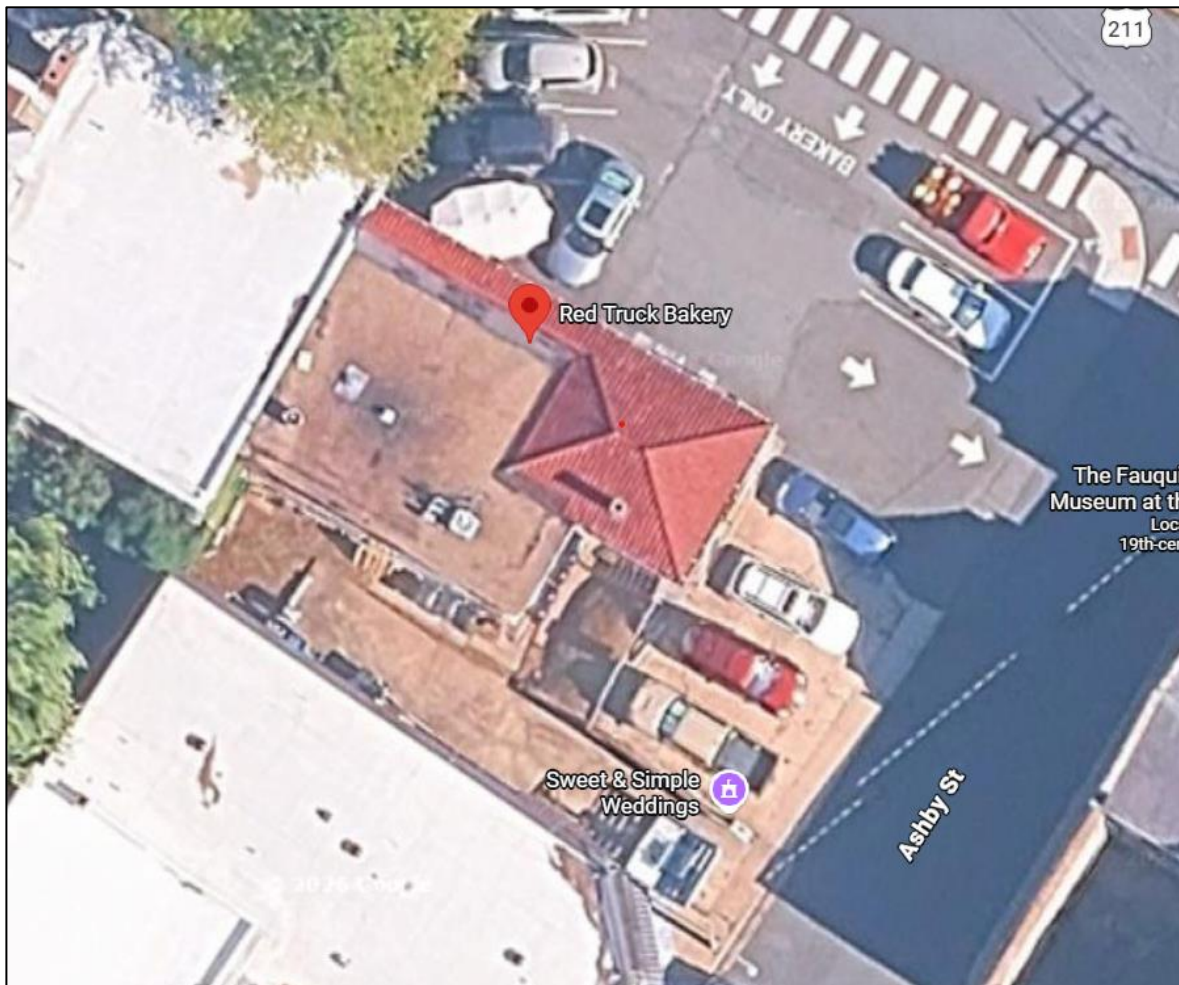
The application needs to demonstrate adequate parking to meet Article 7 – with the expanded seating areas, this appears to be a Restaurant, Fast Food use. The minimum required number of on-site parking spaces is 1 parking space per 150 square feet of gross floor area. In the CBD district, there are specific parking reductions that they may qualify for, as listed in Section 7-9 and 7-13 of the Zoning Ordinance. The applicant must demonstrate that they qualify for these parking reductions. I strongly recommend that they demonstrate their compliance with the parking requirements prior to any approval by the ARB.

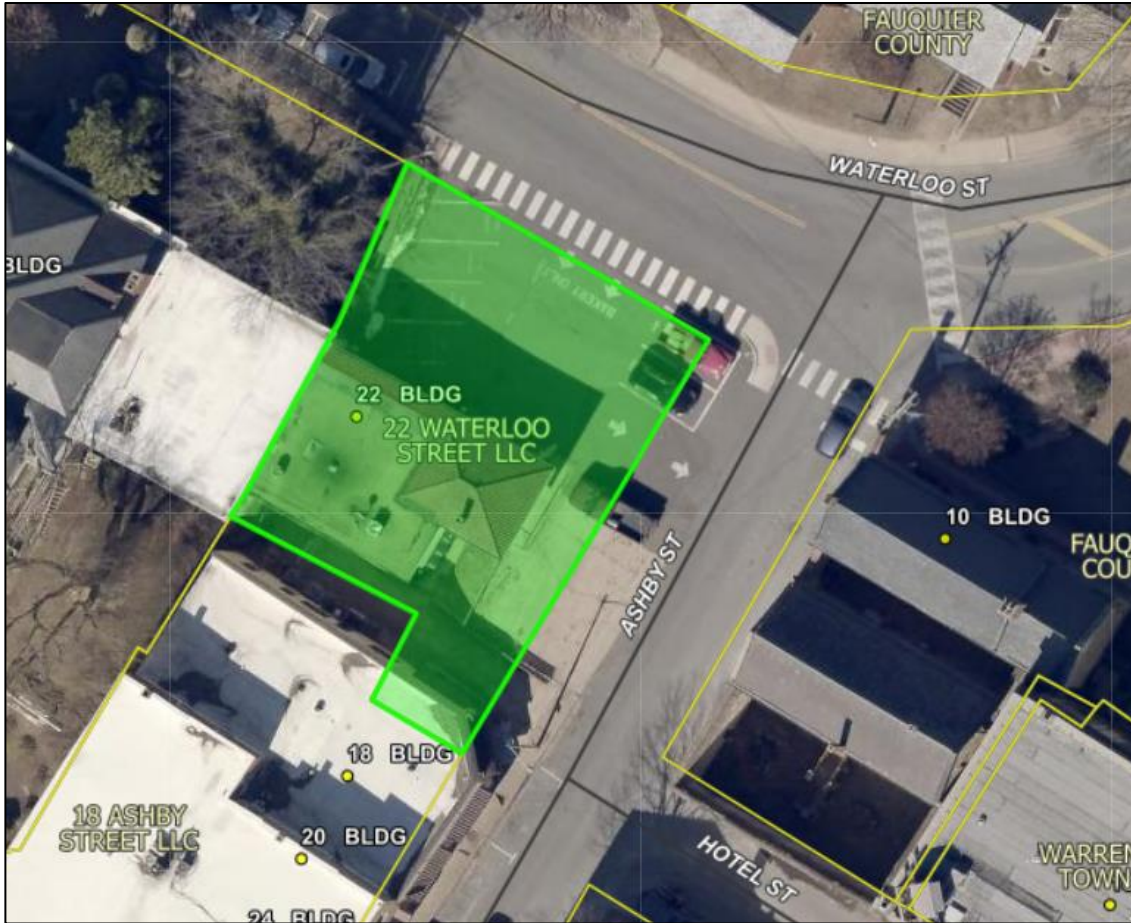
Minimum parking space size requirements and minimum drive aisle widths must be met, as found in Section 7-17 of the Zoning Ordinance. As a recommendation, this should be demonstrated prior to ARB approval.

4. Loading – Applicant must demonstrate where delivery vehicles will park to load/off-load. This is generally done with the site plan, but the earlier this can be done, the better.
5. Fire Lanes – Building Official/Fire Marshal needs to look at the plan and determine where fire lanes will be needed. This is generally done with the site plan, but the earlier this can be done, the better.
6. Entrance and Access – John Ward will need to look at this – they don't seem to be making any changes to the entrances, but since they are expanding the use, John will need to approve their entrances and the back-out parking into Ashby Street. Additional striping and signage may be required as a part of the site plan to meet current requirements.
7. Lighting – A lighting plan will be required for all proposed and/or replaced exterior light fixtures. The lighting plan must include both a photometric plan, and cut sheets for each fixture type, and all outdoor lighting fixtures must meet the requirements of Section 9-8 of the Zoning Ordinance.
8. Building/Fire Codes – Building Official/Fire Marshal needs to look at this plan, especially the addition on the back that is up against the property line and adjacent building. The construction may need additional fire proofing/resistance as a part of the building permit. Additionally, there may be requirements for protection of the outdoor seating area.

BACKGROUND

22 Waterloo Street (156-0019-0287) is one-story circa 1935 service station in the Spanish Colonial Revival Style. The property is located within the CBD zone. It is known that a filling station was on site between 1931 and 1937, and the appearance of this building suggests that it was historically used as such or as something of a related use. This building was also associated with the Physician's Hospital next door, as it appears to have been connected and used by them at one time. This resource is a rare type within the district, but it is consistent with the character of early to mid-twentieth-century commercial buildings within the commercial areas of the district. This resource retains integrity, falls within the district's period of significance, and contributes to the commercial character of the district. Although it does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C, for architecture, and Criterion A for transportation.







DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
<p>Guidelines for New Construction A. Context</p>		
<p>The Architectural Review Board will not specify a particular architectural style or design for new construction projects. The context of new construction or infill is more important than the decorative details applied, though detailing is important.</p>	<p>3.63</p>	
<p>New construction will be evaluated based on the project’s relationship to its surroundings (context) and to the details of its site (materials, cornices, trim, porches, landscaping, rhythm).</p>	<p>3.63</p>	
<p>A1. Setback</p>		

Historic District Guideline	Page No.	Analysis
1. Relate the setback of any new construction and additions to the setback of the existing historic buildings in the immediate surroundings of the proposed new construction. Generally speaking, setback should be within 10% of adjacent setbacks.	3.64	
C. ADDITIONS TO EXISTING BUILDINGS		
1. Recognize all buildings as products of their own time; design the new addition so that it can be distinguished from the original, yet be compatible with the massing, size, scale and architectural features.	3.72	
2. Additions will cause the least possible diminution or loss of the historic character of the existing building including its materials, craftsmanship, design, location and setting.	3.72	
3. Locate additions that increase the interior footprint as inconspicuously as possible by setting them back from the front and side of the building.	3.72	
4. Additions should be clearly subordinate to the existing building in overall size including height, width, depth and scale.	3.72	
7. Design and construct additions in such a manner that if removed in the future, the essential form, character and integrity of the historic property remains intact. For example, a small connector passage or hyphen to join a side or rear addition to the original building is less invasive and destroys less fabric than a full elevation connection.	3.72	

Historic District Guideline	Page No.	Analysis
8. The style of the addition should not replicate the original but might respectfully, modestly reflect design elements.	3.72	
10. Respect the size, proportion, spacing and rhythm of existing door and window openings on the existing building. Respect the spatial relationship between the wall surface and window opening of the existing building	3.72	

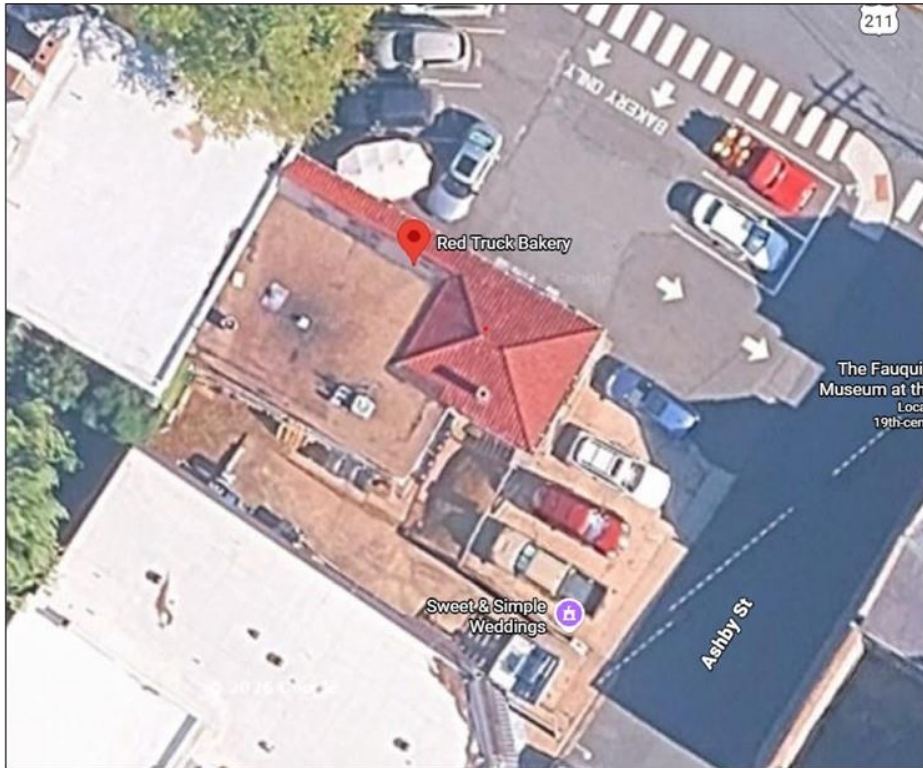
STAFF RECOMMENDATION

N/A – Work Session

ATTACHMENTS

1. Attachment 1 – Photos and Maps
2. Proposed Plans (Draft Renderings)

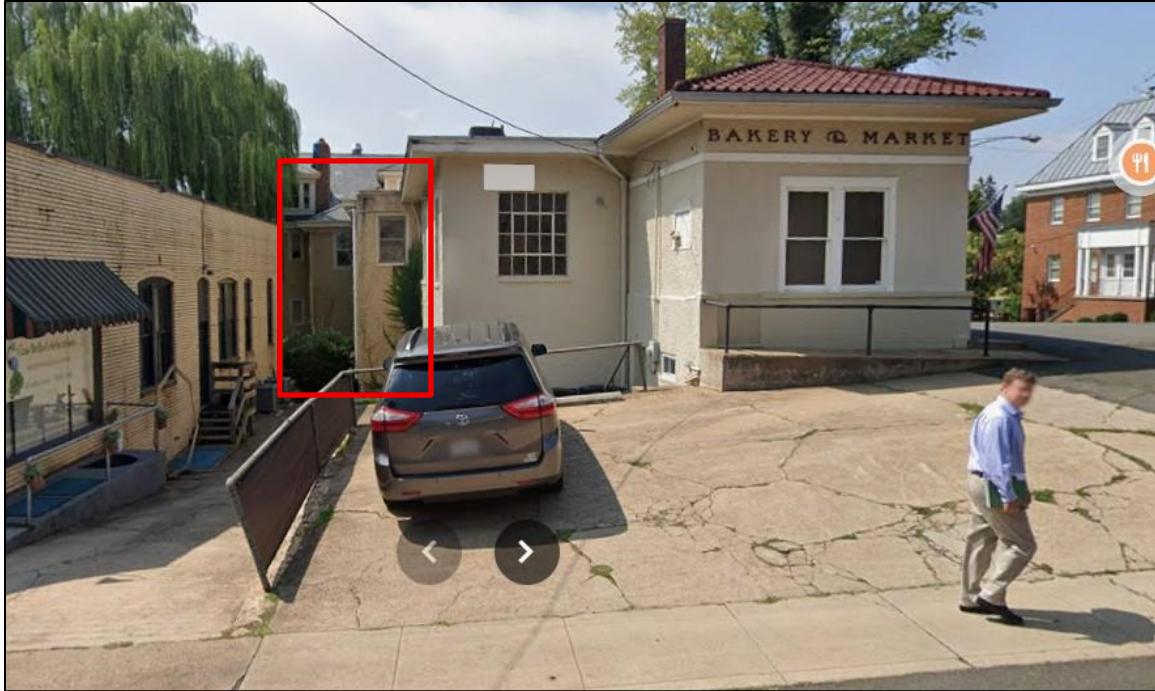
Vicinity Map



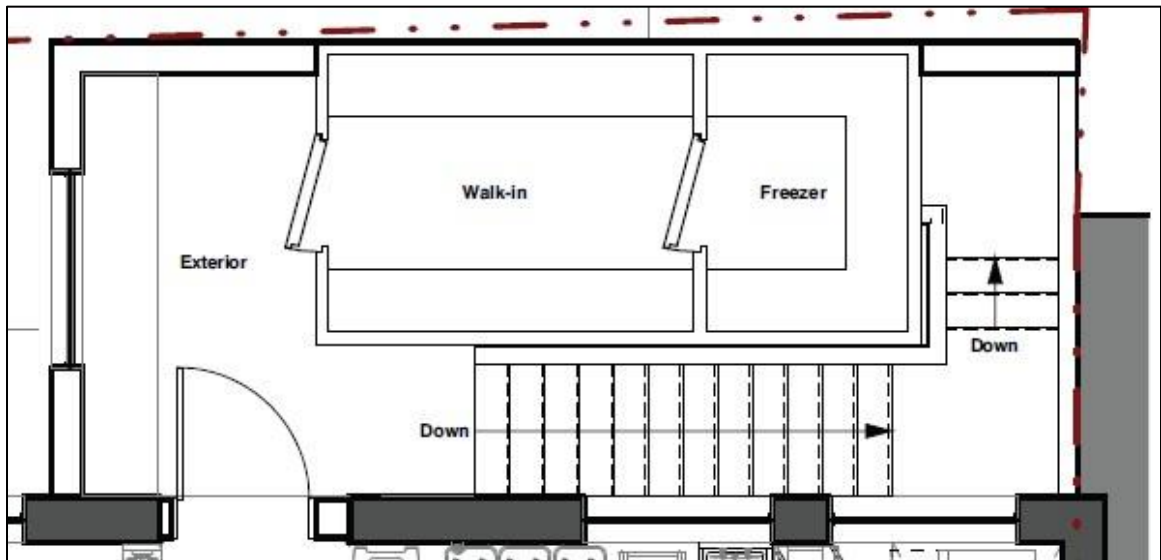
Street View

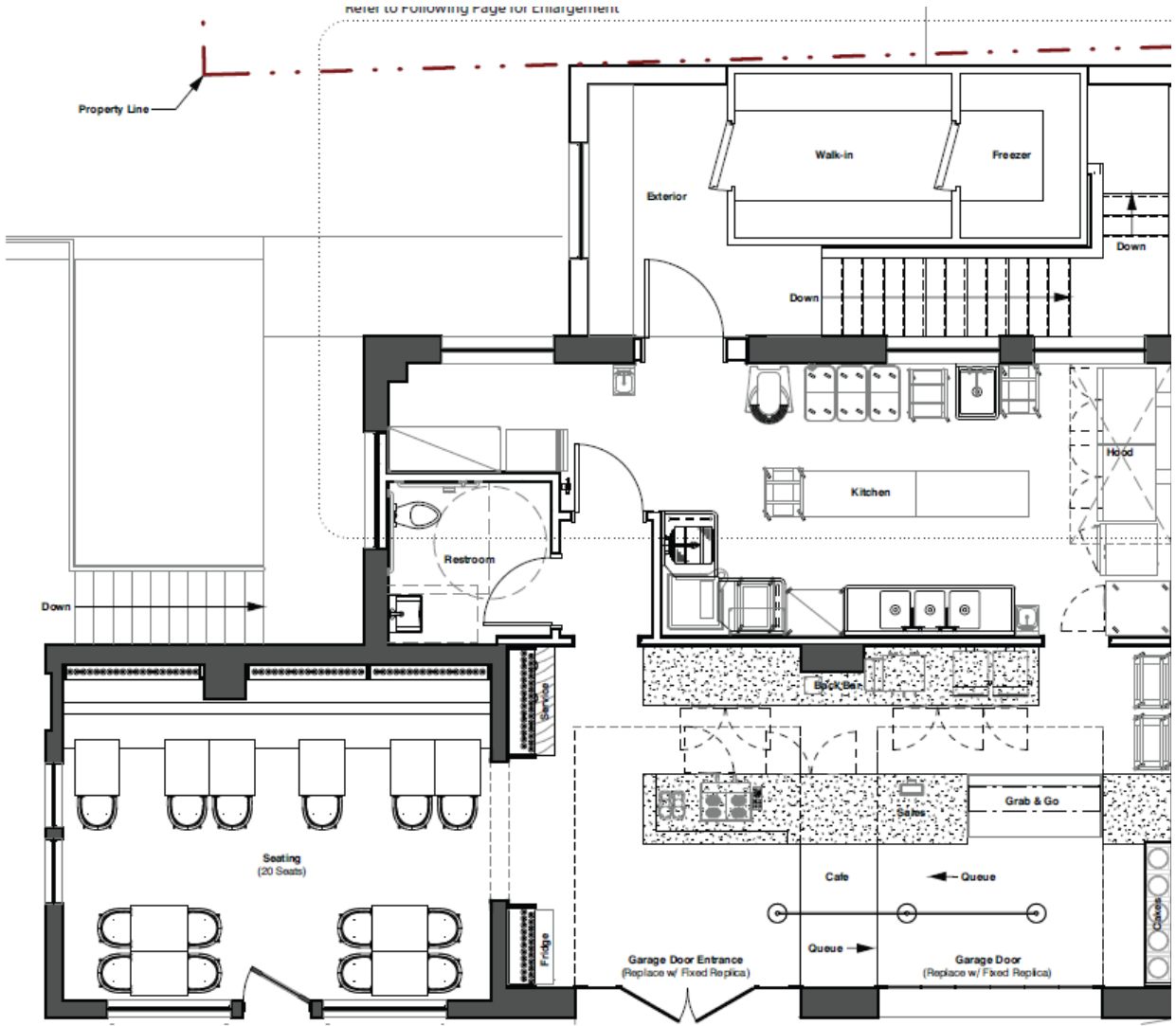


Proposed Project Location

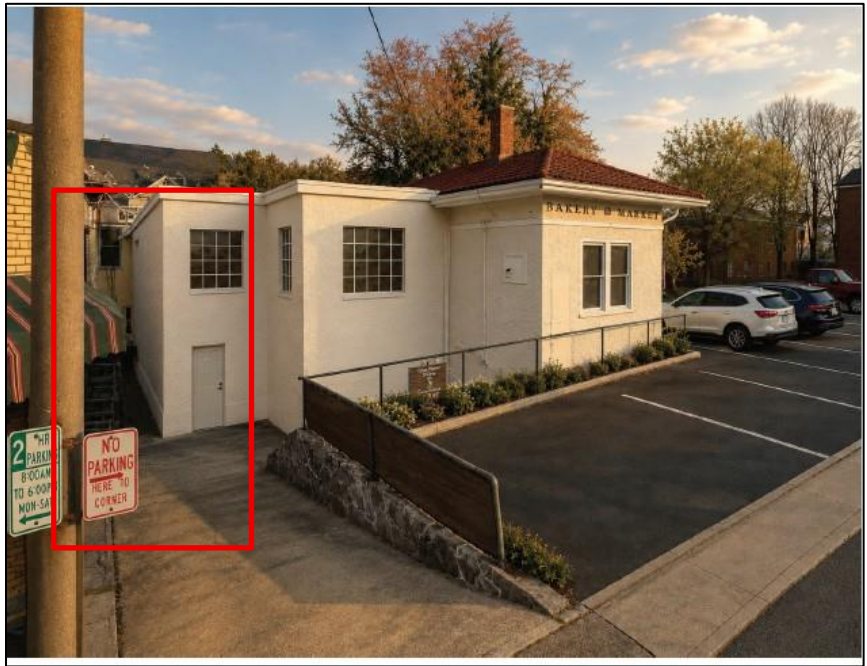


Proposed Design

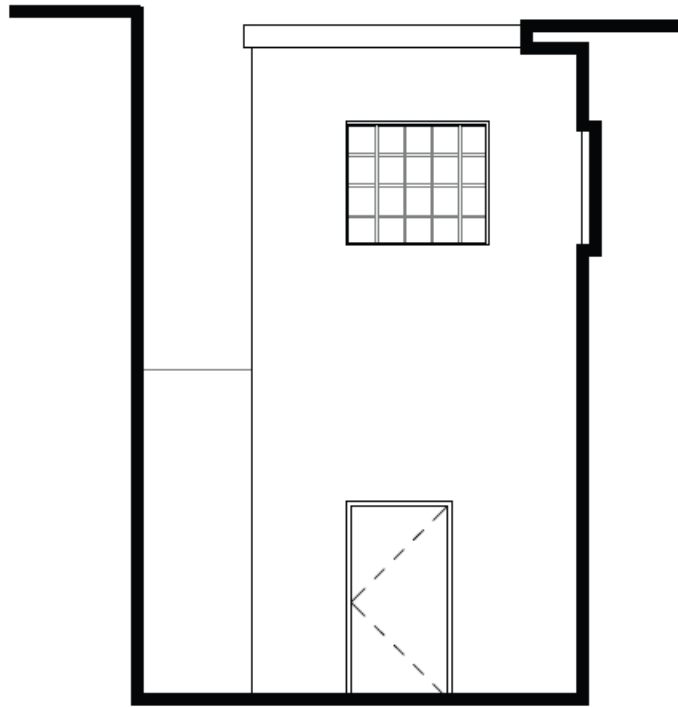




refer to Following Page for Changeiment



Rendering of Building with Proposed Addition





Rendering of Building with Proposed Façade and Hardscape Improvements



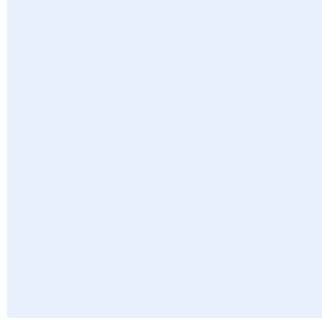
Site Photos











Red Truck Bakery

Proposed Exterior Improvements

wood + starr

May 2026



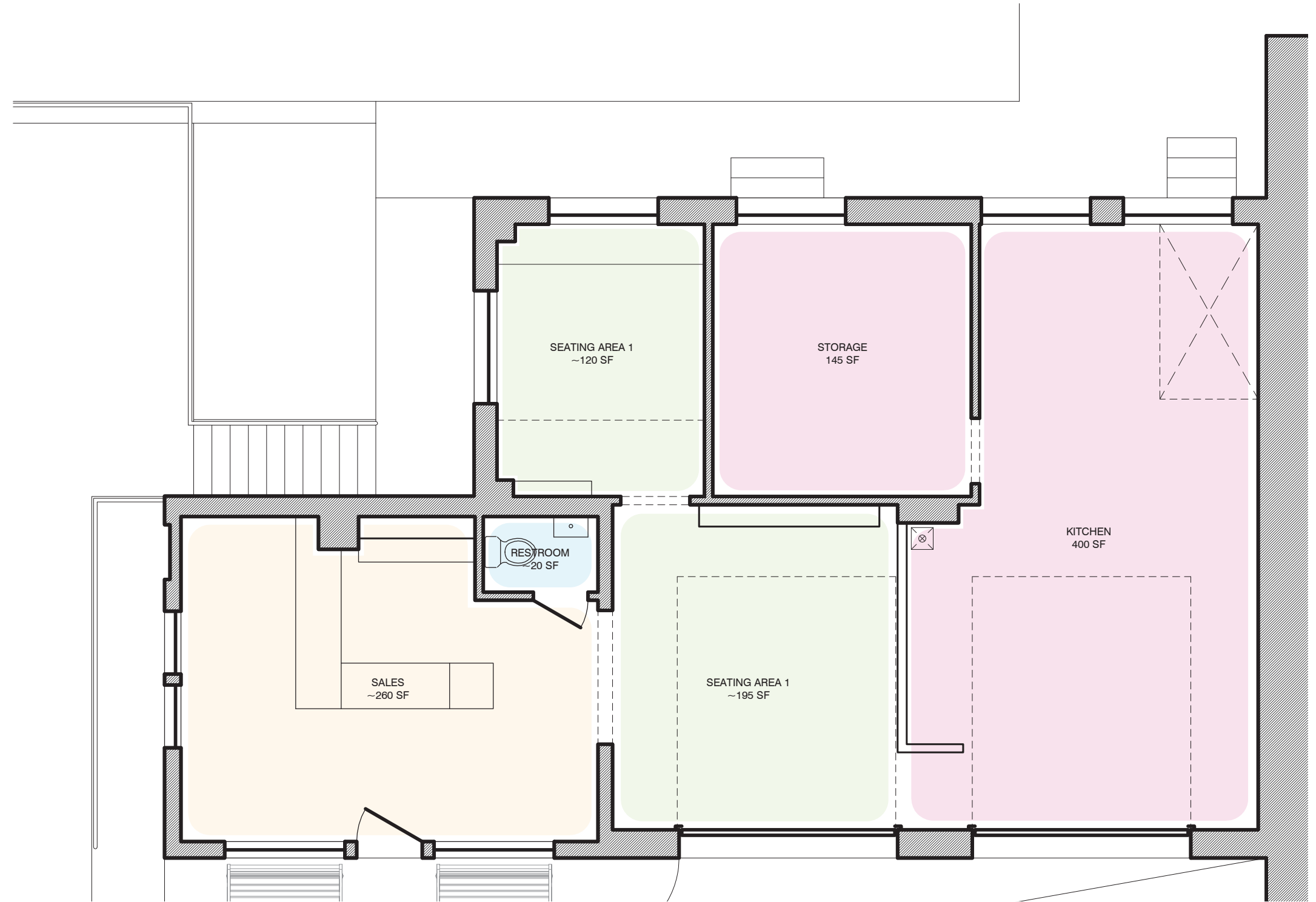
- Existing garage doors are in poor condition and perform poorly.
- Existing entry feels awkward and should be better integrated.
- The large paved area limits the site's sense of place.
- Seating, planting, color, and the red truck can make the site more memorable.

Red Truck Bakery



- Existing garage doors are in poor condition and perform poorly.
- Existing entry feels awkward and should be better integrated.
- Improvements must respect the historic garage-door openings.
- Seating, planting, color, and the red truck can make the site more memorable.

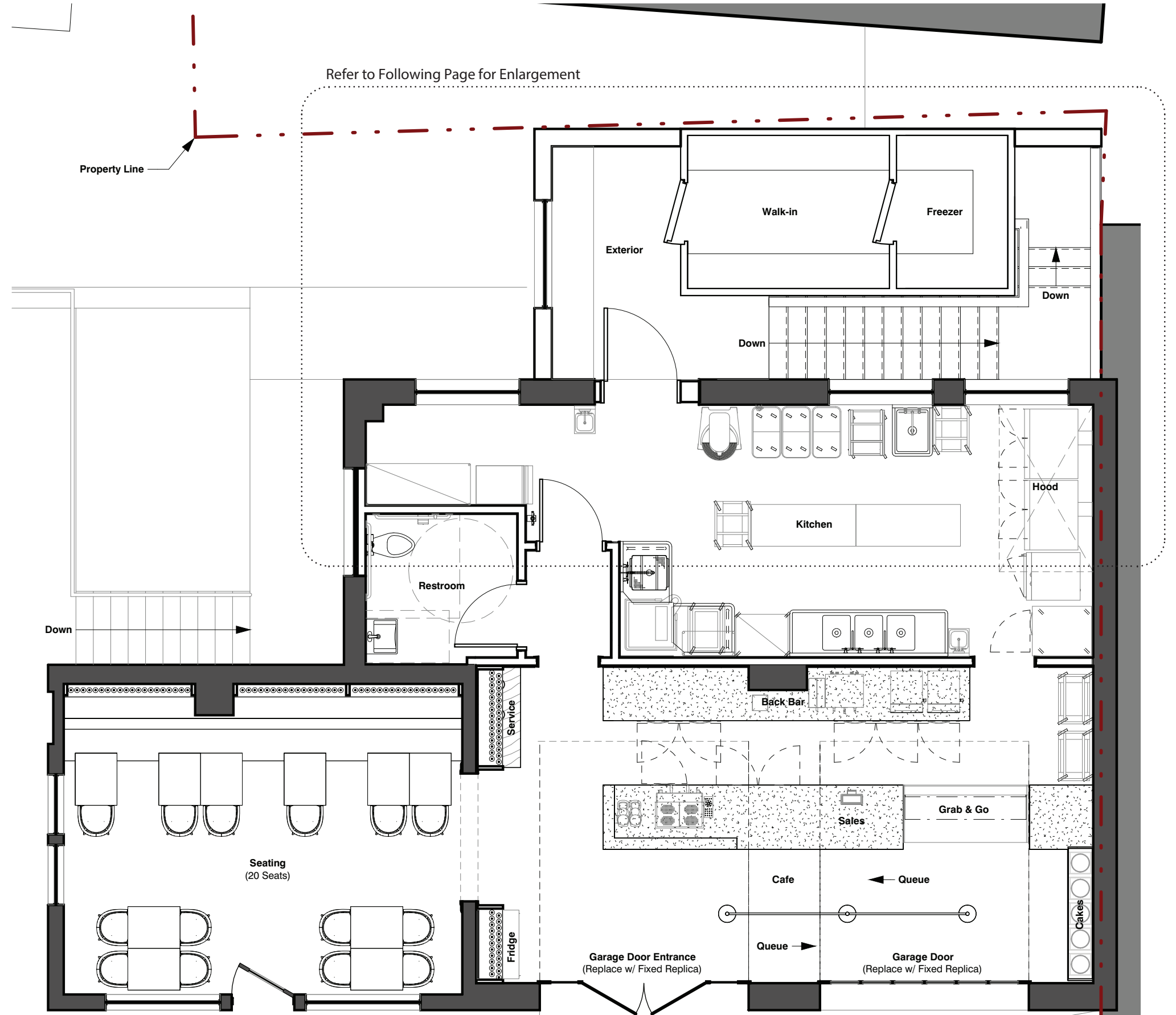
Existing Exterior



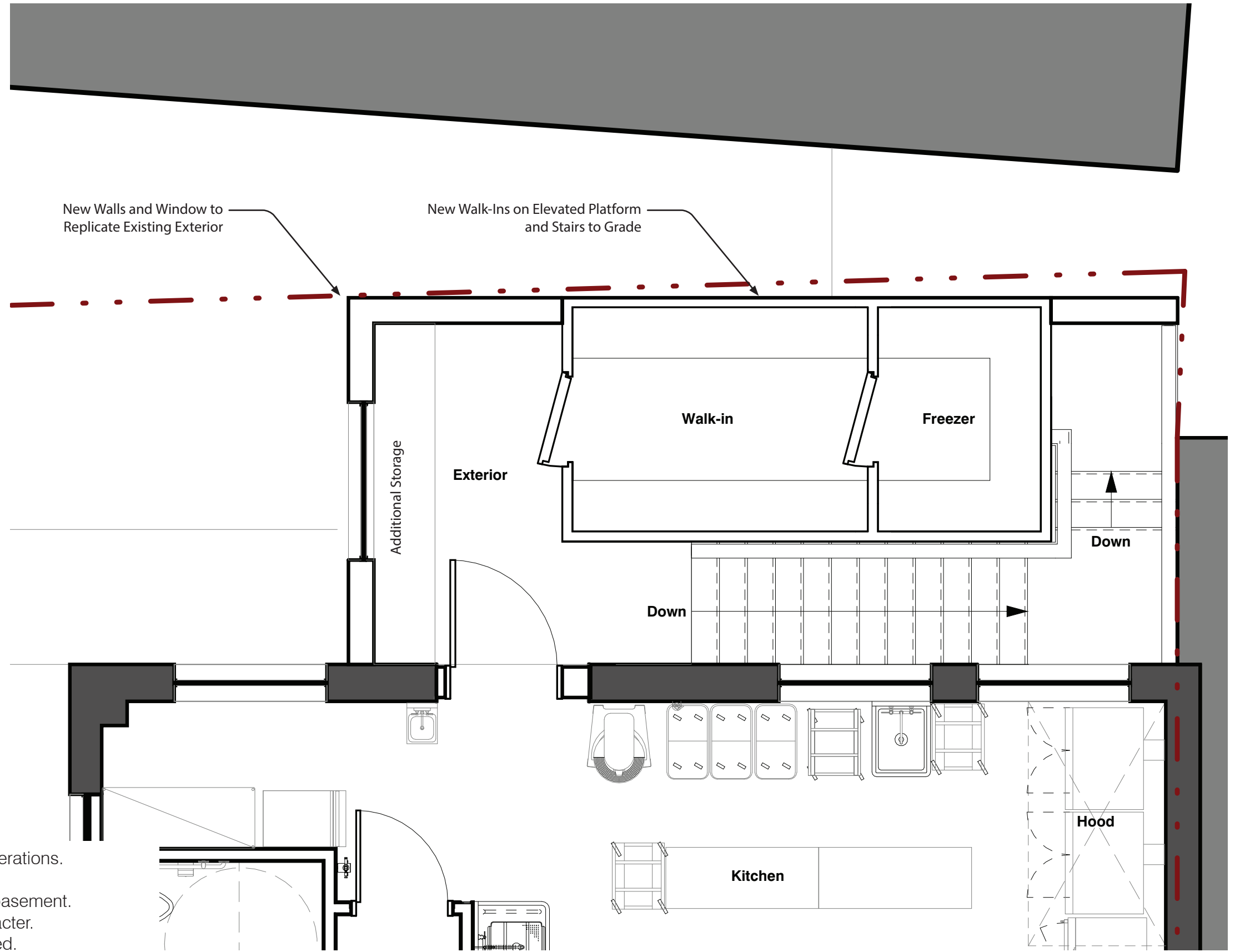
- Interior seating is limited, with approximately 16 seats.
- Entry sequence and circulation are unclear.
- Restroom is undersized and awkwardly located.
- Interior areas feel disjointed, with an inefficient and poorly defined kitchen.
- Basement storage access is difficult and inefficient.

Existing Conditions

Red Truck Bakery



- Interior seating increased to approximately 20 seats.
- Entry sequence and circulation are clarified.
- Restroom is appropriately relocated and sized..
- Interior areas fhave hierarchy with a right-sized kitchen and support.
- Needed cold storage is added with appropriate proximity to kitchen.
- Basement storage access is made efficient through rear stair acces.

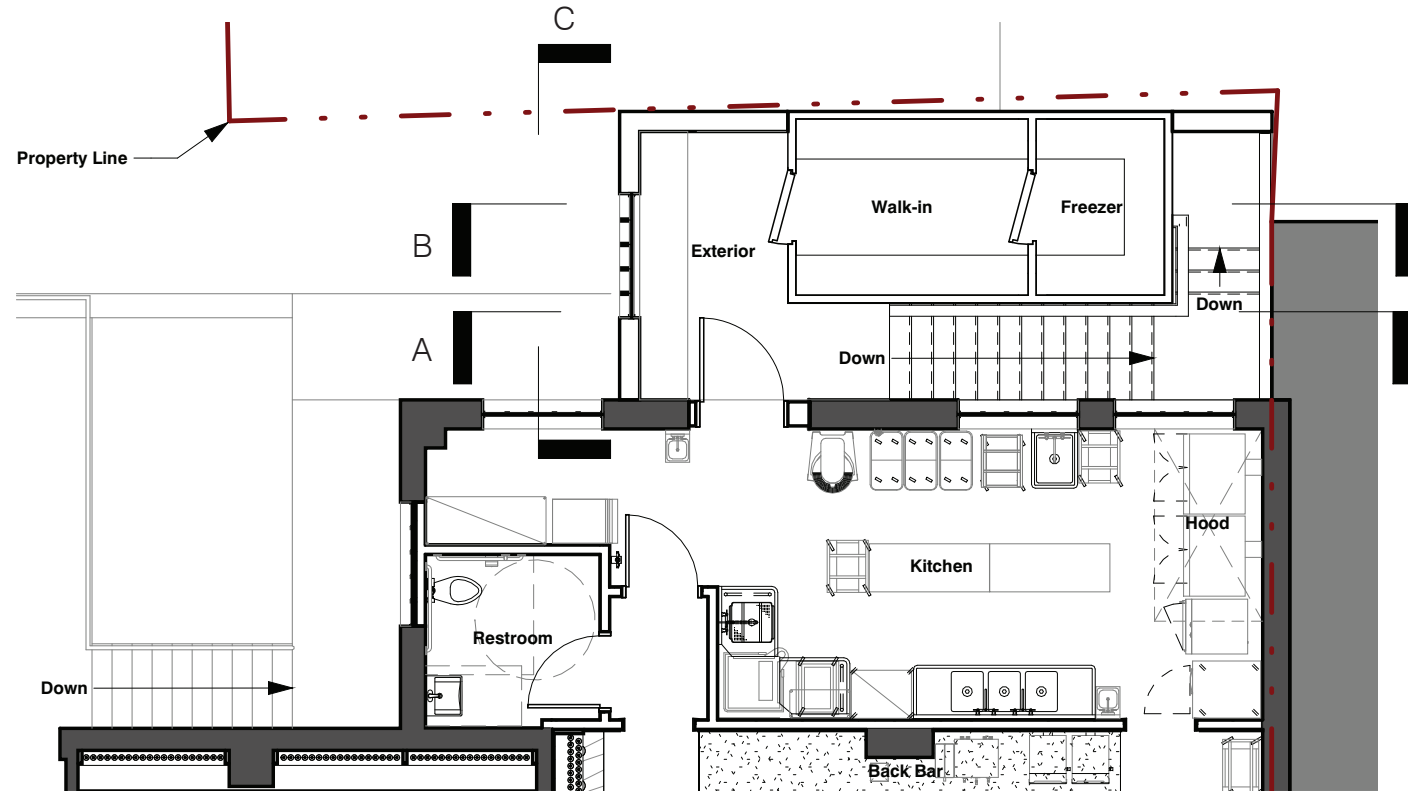


- Rear improvements support interior flow and daily operations.
- New walk-ins are located near the kitchen.
- Rear stair improves access to kitchen, storage, and basement.
- New rear walls and windows match the existing character.
- Exterior storage and service areas are better organized.
- Rear work improves function while remaining secondary to the frontage.

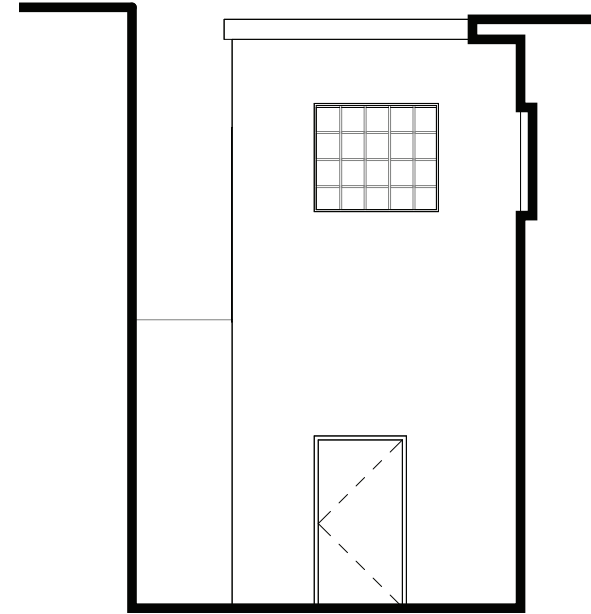
Enlarged Plan

Current Plan at Rear

Red Truck Bakery



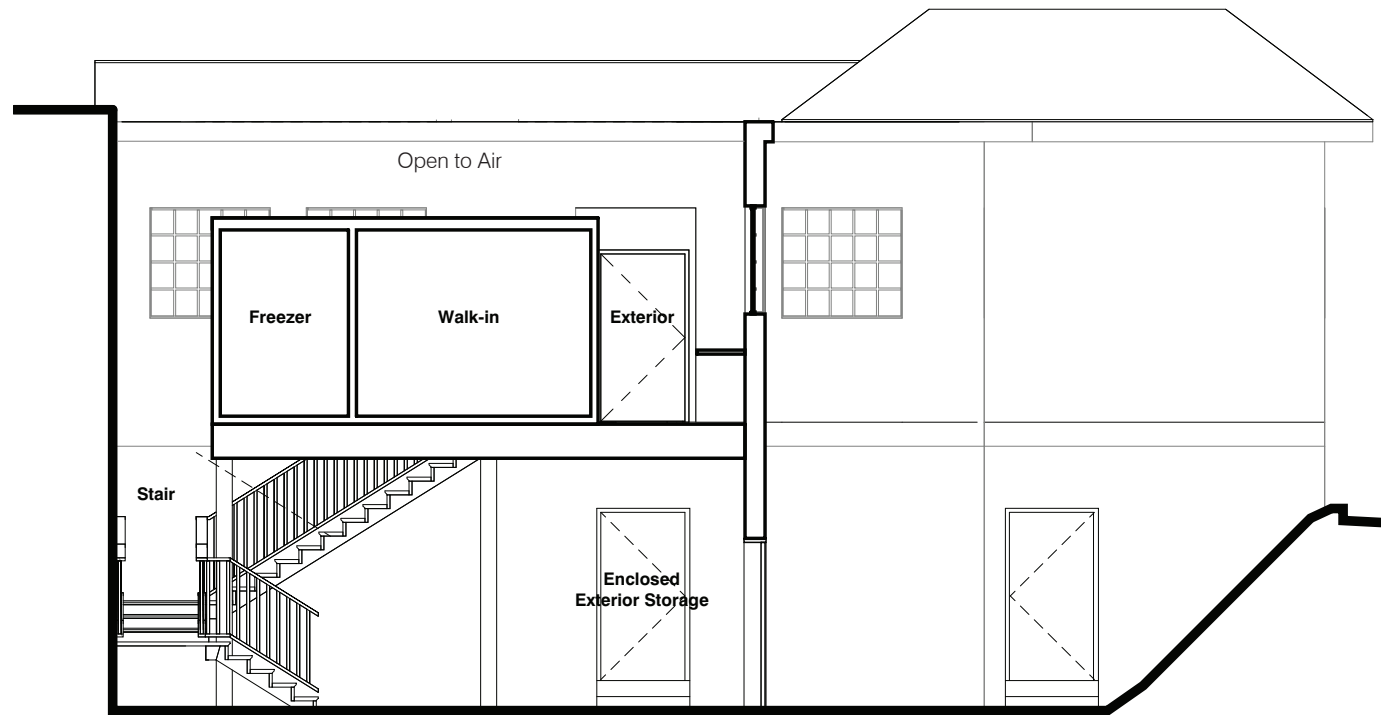
Plan



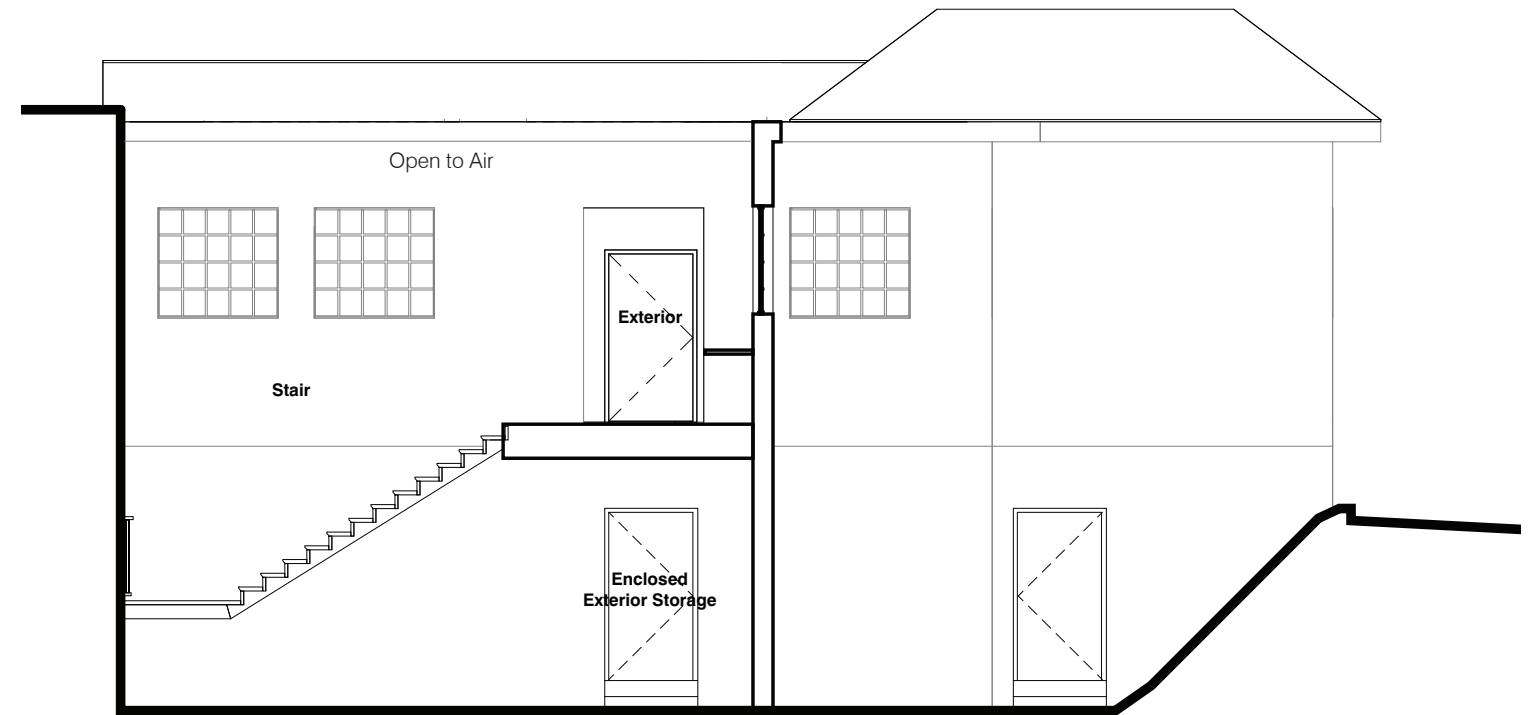
Section C



Concept Rendering at Rear with Improvements



Section B



Section A

Rear Improvements

Scale: 1/8" = 1'-0"

Red Truck Bakery

CONCEPT:
IMPROVE PARKING AREA WITH NEW STRIPING AND SIGNAGE. LIMIT EMPLOYEE PARKING IN THIS AREA WHERE POSSIBLE TO IMPROVE CUSTOMER ACCESS.

CONCEPT:
ADD PLANTING BEDS HERE TO IMPROVE LOOK (SPECIFICALLY THE PATHWAY), ADD VISUAL INTEREST, AND FOCUS ATTENTION ON THE ENTRY

CONCEPT:
REPAINT THE EXTERIOR IN CONTEMPORARY, CONTRASTING COLORS. ADD NEW SIGNAGE ABOVE

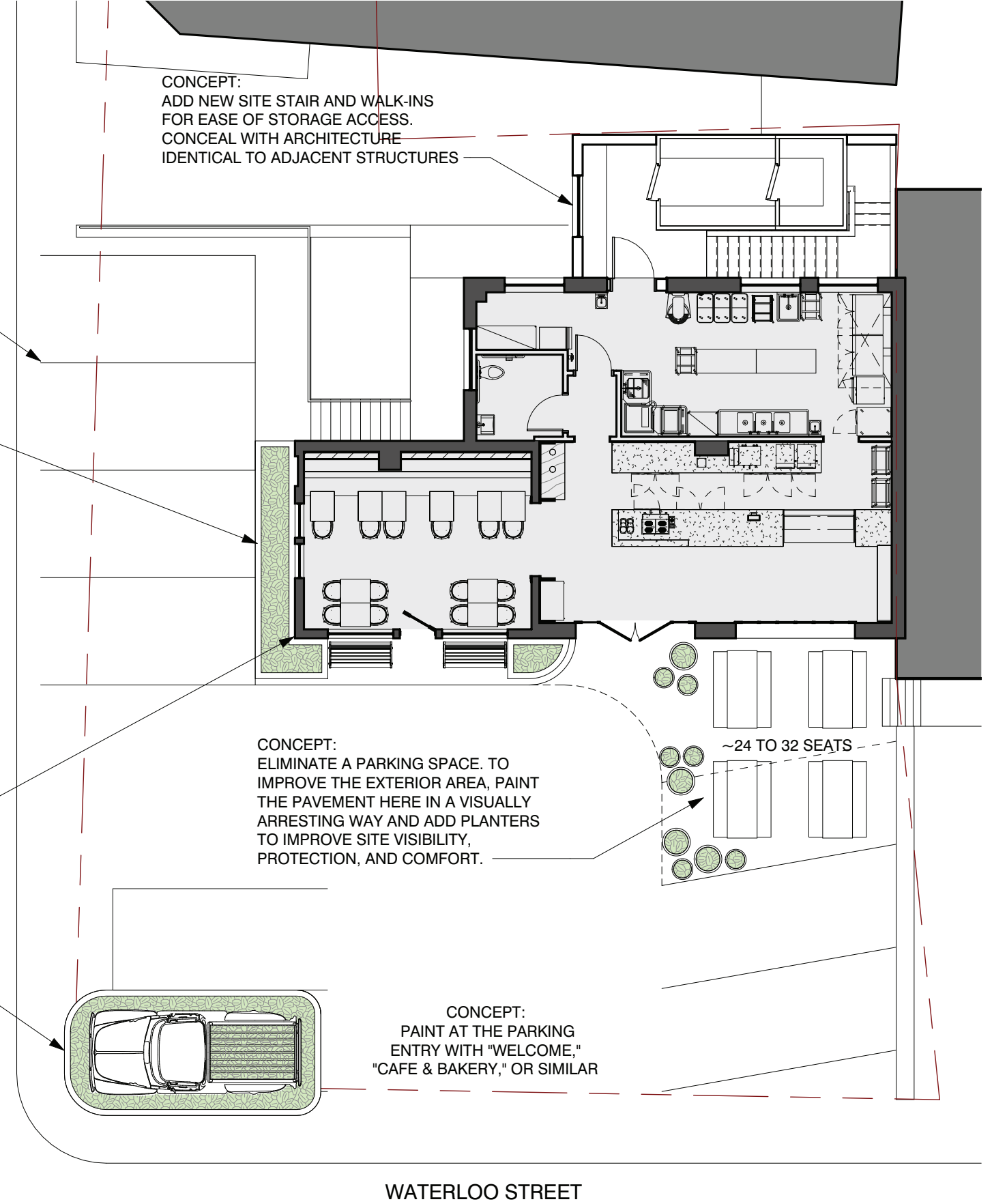
CONCEPT:
ELEVATE TRUCK WITH SEASONAL PLANTING BED AND HOLIDAY LIGHTING TO INCREASE VISIBILITY AND INTEREST

CONCEPT:
ADD NEW SITE STAIR AND WALK-INS FOR EASE OF STORAGE ACCESS. CONCEAL WITH ARCHITECTURE IDENTICAL TO ADJACENT STRUCTURES

CONCEPT:
ELIMINATE A PARKING SPACE. TO IMPROVE THE EXTERIOR AREA, PAINT THE PAVEMENT HERE IN A VISUALLY ARRESTING WAY AND ADD PLANTERS TO IMPROVE SITE VISIBILITY, PROTECTION, AND COMFORT.

CONCEPT:
PAINT AT THE PARKING ENTRY WITH "WELCOME," "CAFE & BAKERY," OR SIMILAR

- Repaint the exterior and improve signage.
- Add planters throughout to soften the property.
- Improve parking area striping, signage, and visual cues.
- Further emphasize the red truck as a site feature.
- Enlarge and make the outdoor seating area permanent.



Site Plan

Current Plan and Concepts



This rendering was produced in part using AI and is intended as an artist's interpretation for discussion purposes only. Minor incongruities may exist, and the image should not be read as exact existing or proposed construction conditions.



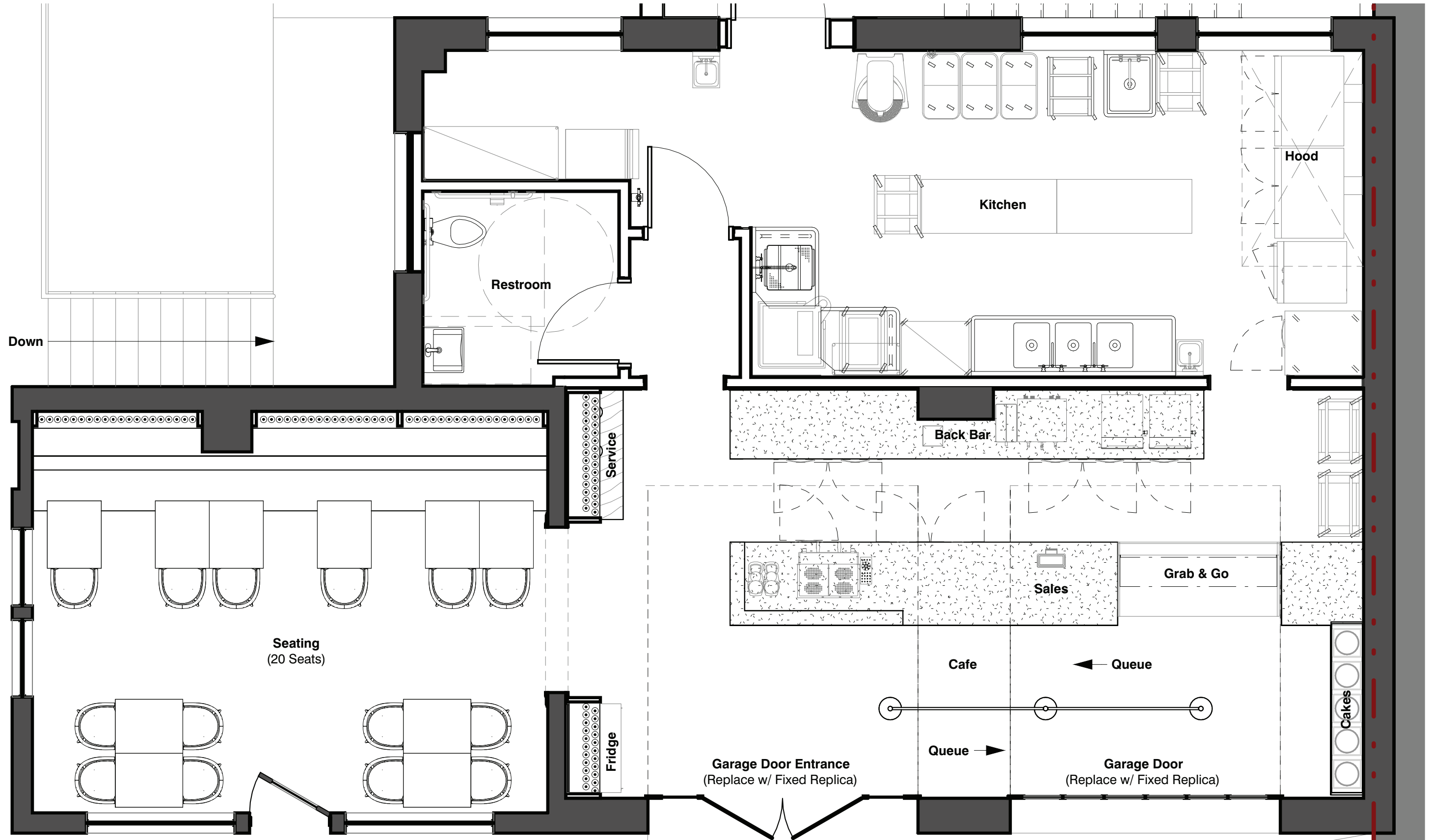
Red Truck Bakery

Proposed Interior Improvements

wood + starr

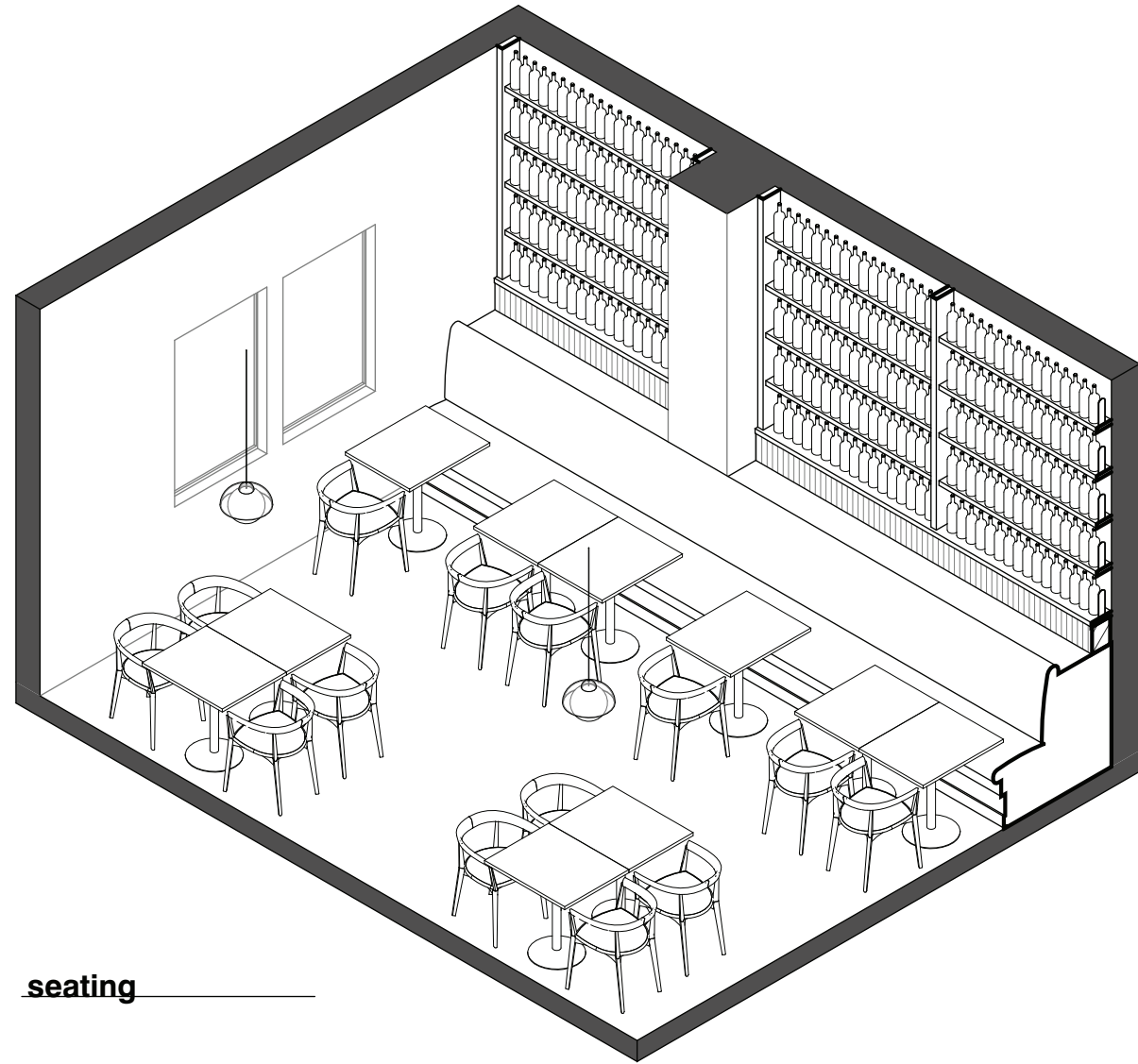
May 2026

Red Truck Bakery

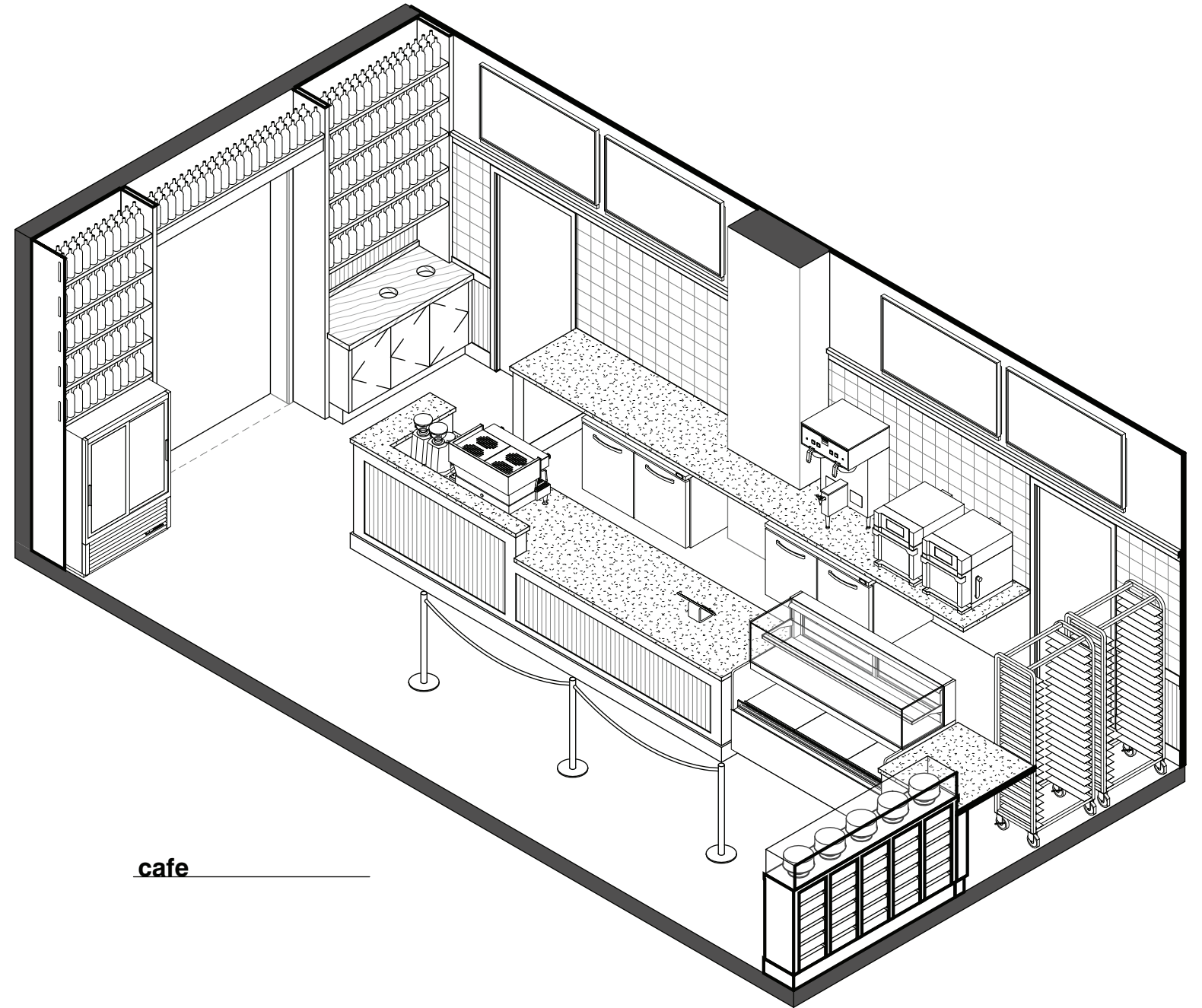


Enlarged Plan

Current Plan



seating



cafe



cafe



cafe



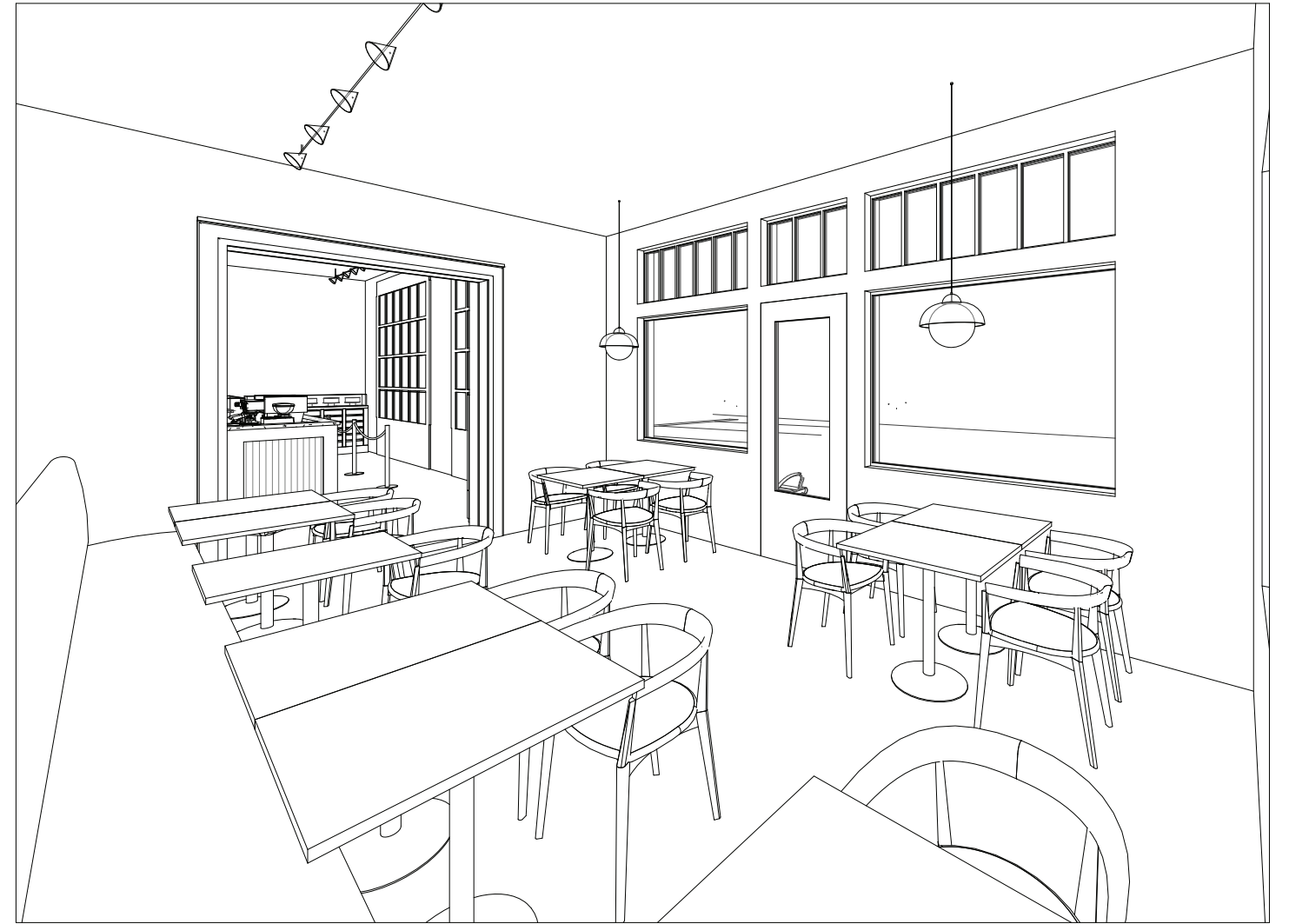
seating looking to cafe



cafe looking to seating



seating



seating

Perspective Views

Seating Area

Red Truck Bakery

Warrenton

wood + starr
