



ARCHITECTURAL REVIEW BOARD MEETING

Thursday, April 27, 2023 at 7:00 PM

AGENDA

CALL TO ORDER.

DETERMINATION OF A QUORUM & PURPOSE STATEMENT.

APPROVAL OF MINUTES.

1. [March 23, 2023 Draft ARB Minutes](#)

NEW BUSINESS.

2. Applicant seeks to perform maintenance, demolition, and new build features to the building. Items include painting, front steps, removal of back deck, new patio, fence, and signage.
3. Applicant seeks to remove and replace an existing portico with a 7'x6' new portico at the front entrance of the building. Roof proposed to be standing seam supported by 4"x4" square wood posts and a wood or wrought iron railing.
4. Applicant proposes to cut a new entrance into the c. 1930 brick wall on the ground floor beneath a wooden deck to accommodate a 40"x60" door.
5. Applicant proposes to replace the existing hanging signage on the projecting sign, replace vinyl lettering on front door, and temporary A frame signage.
6. Applicant proposes new awning, signage, and to paint trim.
7. Applicant proposes three 36"x36" coroplast signs to be installed on three facades of a brick building.
8. Applicant proposes to replace existing central HVAC with mini split system, replace rooftop access stairs, and add a guardrail on roof.

UPDATES.

BOARD MEMBERS TIME.

ADJOURN.



**ARCHITECTURAL REVIEW BOARD OF THE TOWN OF WARRENTON
TOWN HALL
21 MAIN STREET
WARRENTON, VIRGINIA 20186**

MINUTES

A REGULAR MEETING OF THE ARCHITECTURAL REVIEW BOARD WAS HELD ON MARCH 23, 2023, AT 7:00 PM IN WARRENTON, VIRGINIA

PRESENT Ms. Laura Bartee, Chair; Ms. Virginia Gerrish, Vice-Chair; Mr. Steve Wojcik; Mr. Rob Walton, Director of Community Development;
ABSENT Mr. John Thorsen; Ms. Karen Lavarney

CALL TO ORDER AND DETERMINATION OF A QUORUM

The meeting was called to order at 7:00 p.m., and a quorum was established. Ms. Bartee read the purpose statement.

APPROVAL OF MINUTES

Draft Minutes- February 23, 2023

Mr. Wojcik requests correction to typo on page three.

Ms. Gerrish motioned to approve the minutes for February 23, 2023, as presented. Mr. Wojcik Seconded. All in favor.

Voting Yea: Ms. Bartee, Chair; Ms. Gerrish, Vice-Chair; Mr. Wojcik;

Absent: Ms. Lavarney; Mr. Thorsen

NEW BUSINESS

COA 23-10 75 MAIN STREET

Mr. Walton provides a brief overview of the application.

Mr. Daniel Woodward, applicant comes forward to speak.

Ms. Bartee Opens the floor to questions.

Mr. Wojcik asks for further details on the proposed door.

Mr. Woodward responds providing further details.

Ms. Bartee asks for pictures of the original building.

Mr. Woodward directs the board to photos of the original building.

Ms. Bartee comments on the entry alcove and concerns with changing original feature.

Mr. Woodward provides further details of proposed alterations to the entry alcove.

Ms. Bartee comments on the proposed changes to the façade.

Ms. Gerrish asks for further detail on a code violation mentioned by Mr. Woodward.

Mr. Woodward responds, elaborating on his earlier comment.

Ms. Gerrish comments on the Boards concern with structurally altering a historic structure.

Mr. Wojcik asks about the planned action for a rusted wall vent.

Mr. Woodward responds directing the Board to the proposed plans.

Mr. Wojcik asks about the material of a spot near the parapet as it appears rusted.

Mr. Woodward responds detailing proposed repairs to the area in question.

Mr. Wojcik asks about a projection from the wall.

Mr. Woodward provides details of the former sign and historical uses for the building.

Ms. Bartee asks about the proposed changes to the railing.

Mr. Woodward responds providing the requested details.

Ms. Bartee asks if Mr. Woodward is amenable to leaving the front alcove.

Mr. Woodward responds, outlining his difficulties renting properties on Main Street.

Ms. Bartee responds citing historic district guidelines.

Ms. Gerrish comments on her own experiences owning and renting a building on Main Street.

Ms. Bartee moves the discussion to begin drafting a motion.

Mr. Wojcik asks for clarification of proposed brick repair in rear of building.

Mr. Woodward clarifies work proposed for rear brick.

Ms. Bartee requests more information prior to the approval of the proposed work on the rear brick.

The Board briefly discusses a potential course of action for the rear brick work and fence.

Mr. Walton provides potential options to move the application forward.

The Board and applicant continue to a course of action.

Mr. Woodward briefly describes proposed work to rear fence.

Mr. Wojcik asks Mr. Walton if the proposed repair necessitates ARB review.

Mr. Walton responds.

Mr. Wojcik asks about separating the proposed brick repair from the application.

The Board and Mr. Walton briefly discuss potential approval conditions.

Ms. Bartee asks the Board for a motion.

Mr. Wojcik moves to approve COA 23-10 with presented approval conditions, Seconded by Ms. Gerrish.

Conditions

1. All necessary permits are acquired.
2. Wood panel shall be installed in place of AC unit to match.
3. Railing shall be removed, and existing vent shall be removed and covered with wood paneling to match.
4. Alcove shall be maintained, and
5. Alcove door and transom may be replaced with like door and transom or fixed glass and wood panel like adjacent.
6. Rear fence to be repaired.
7. All approved with exception of painting of brick on rear façade.

Voting Yea: Ms. Bartee, Chair; Ms. Gerrish, Vice-Chair; Mr. Wojcik;

Absent: Ms. Lavarney; Mr. Thorsen

COA 20-11 100 MAIN STREET

Withdrawn by applicant.

COA 23-14 194 EAST LEE STREET

Mr. Walton provides a brief presentation on the application.

Ms. Chelsea Greer, applicant comes forward to speak.

Ms. Gerrish asks for further information on masonry repair done and material used.

Ms. Greer provides a description of the repair work completed and the work to be completed.

Ms. Gerrish asks if the source of the damage has been corrected.

Ms. Greer responds in the affirmative.

Mr. Wojcik comments on the repairs completed.

Ms. Bartee asks for further information regarding the size of the window lintels.

Ms. Greer responds supplying information on lumber used.

Ms. Gerrish asks if the lumber is pressure treated.

Ms. Greer responds in the affirmative.

Ms. Bartee briefly describes the issues with painting pressure treated lumber.

The Board briefly discusses the approval conditions.

Ms. Bartee asks for a motion.

Ms. Gerrish moves to approve COA 23-14 with presented conditions, Seconded by Mr. Wojcik.

Conditions

1. All necessary permits are acquired.
2. Brick used for repair shall be similar age to match existing, mortar shall likewise match existing color and pattern.
3. Bricks shall be painted to match existing color.
4. Lintels shall match existing and shall be painted when cured. Approximately 6 months.
5. The existing windows shall be repaired and repainted prior to installation.

Voting Yea: Ms. Bartee, Chair; Ms. Gerrish, Vice-Chair; Mr. Wojcik;

Absent: Ms. Lavarney; Mr. Thorsen

COA 23-15 50 CULPEPER STREET

Mr. Walton provides a brief description of the application.

Mr. Gregory Watts, applicant, comes forward to speak.

Ms. Bartee comments on the use of vinyl signs in the updated historic district guidelines.

Ms. Gerrish asks about alternative sign materials.

Mr. Watts outlines some alternative material options and cost issues related.

Ms. Bartee asks the tenant about the HVAC unit visible from the street.

The tenant (unnamed) provides what information he can.

Mr. Wojcik asks for clarification on the sign material and its relation to the new guidelines.

The Board Briefly discusses options for sign materials moving forward.

Ms. Bartee asks the Board for a motion.

Ms. Wojcik moves to approve COA 23-15 with proposed changes to conditions, Seconded by Ms. Gerrish.

Conditions

1. All necessary permits are acquired.
2. The sign shall resurface the existing 40"x24"x1/2" wood sign.
3. The sign shall be attached to the mortar of the building in the least damaging method.

Voting Yea: Ms. Bartee, Chair; Ms. Gerrish, Vice-Chair; Mr. Wojcik;

Absent: Ms. Lavarney; Mr. Thorsen

COA 23-16 30 SOUTH THIRD STREET

Mr. Walton provides a brief presentation on the application.

The Board discusses the completed and proposed work.

Mr. Walton responds to all questions with information available as the applicant was not present.

The Board requests further details prior to the next meeting.

Ms. Bartee asks the Board for a motion.

Ms. Gerrish moves table COA 23-16 to the April ARB meeting, Seconded by Mr. Wojcik.

Voting Yea: Ms. Bartee, Chair; Ms. Gerrish, Vice-Chair; Mr. Wojcik;

Absent: Ms. Lavarney; Mr. Thorsen

UPDATES

Mr. Walton informs the Board that the new Historic Preservation Planner will be at next month's meeting.

BOARD MEMBERS TIME

The Board discusses HVAC units in the historic districts.

ADJOURN

Mr. Wojcik moved to adjourn. Ms. Gerrish seconded. All in favor, no discussion.

Voting Yea: Ms. Laura Bartee, Chair; Ms. Virginia Gerrish, Vice-Chair; Mr. Steve Wojcik

Absent: Mr. John Thorsen; Ms. Karen Lavarney

With no further business, this meeting was adjourned at 8:37 PM.

DRAFT



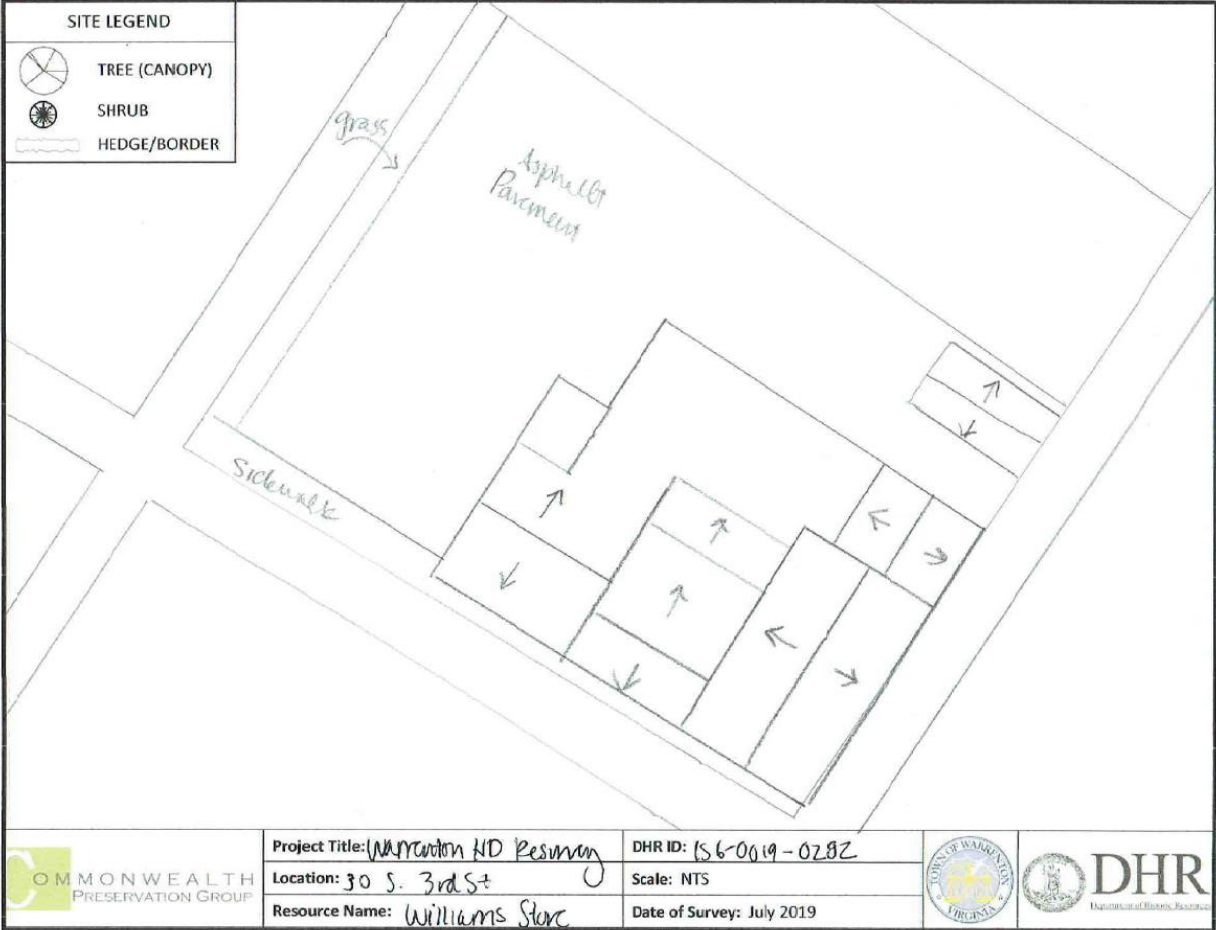
Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-16 – 30 S. Third Street
Requested Action:	Repaint exterior brick, repair wood trim, demolish back deck, build brick patio, brick front steps, add light, sign.
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant is seeking a COA approval for repainting exterior brick, repair wood trim, demolish back deck, build brick patio, brick front steps, add light, and sign. Staff has reached out for more information and sketches. During a site visit staff discovered the applicant already installed the brick steps, demolished the back porch, built a six-foot board on board fence that was not included in the COA, and brick patio.



BACKGROUND

This resource was constructed sometime between c.1915 and c.1924 and remains in good condition. This resource represents a typical early-twentieth-century main street commercial-style building within the commercial areas of the district. This resource retains integrity of location, design, setting, workmanship, feeling, and association. It falls within the district’s period of significance and contributes to the commercial character of the district. Although it does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C, for architecture.



(Previous condition)

DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
Guidelines for Painting and Finishes		
Preserve original finishes and coatings.	3.5	The applicant indicated the intent to paint Sherwin Williams Refuge
Recreate the historic appearance of the building by repainting or refinishing with colors and coatings that are appropriate to the period of historic significance of the building.	3.5	
Repaint and refinish to protect the resource, and enhance the original character of the building and the district.	3.5	
Guidelines for Storefronts		

Historic District Guideline	Page No.	Analysis
<p>1. Preserve and repair historic-age storefronts, including window trim, glass, lintels, sills, architraves, shutters, cornices, pediments, hoods, steps, and all hardware. Owners of buildings with storefronts that have been altered in the past are encouraged to restore these elements to their original appearance based on site evidence and appropriate historic research.</p>	<p>3.27</p>	<p>The applicant intends to paint the brick on three sides of the building (fourth side is too close to adjacent structure).</p>
<p>2. Repair storefront elements by patching, splicing, consolidating, or otherwise reinforcing the historic materials. Such repair also can include the limited replacement in kind or with compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes or sufficient documentation for an accurate reconstruction of the original.</p>	<p>3.27</p>	
<p>3. Replace in kind an entire storefront element that is too deteriorated to repair. If the overall form and detailing are still evident, use the physical evidence to guide the new work. If using the same kind of material is not technically feasible, then a compatible substitute material may be considered.</p>	<p>3.27</p>	
<p>4. Recreate a missing lintel or cornice to help define the storefront. Carry through missing pilaster elements. If the original transom glass is missing, install new glass, but do not infill with a sign or other opaque materials. Use wood and glass or metal and glass doors.</p>	<p>3.27</p>	
<p>5. Recreate storefronts by matching the original proportions, sizes, scale, color, and materials of the original, documented storefront. Do not alter the commercial character of the storefront by substantially reducing or enlarging the area of glass in the storefront</p>	<p>3.27</p>	

Historic District Guideline	Page No.	Analysis
<p>6. Design new storefronts to be compatible with the original building. It may be an accurate restoration using historical, pictorial, and physical documentation, or be a new design that is compatible with the style, size, scale, material, and color of the historic building.</p>		
<p>7. Maintain the alignment and rhythm of the front façade when altering or restoring a previously altered storefront. Use traditional materials such as masonry and wood. If using traditional materials is not feasible, use compatible substitute materials that are similar in scale, finish, and character to the original material and have proven durability in the local climate. Expose original storefront elements that have been obscured by modern siding or other materials.</p>		
<p>9. Design operable storefronts that are appropriate to the character of the district. Overhead doors should be used only on former garages, warehouses, or other buildings that would have originally included such doors. Folding-style doors are preferable on typical commercial storefront buildings.</p>		<p>The applicant intends to paint the brick on three sides of the building (fourth side is too close to adjacent structure). bricked over an existing front stoop.</p>
<p>Guidelines for Entrances and Porches</p>		<p>The applicant bricked the front steps and removed the back deck</p>
<p>1. Preserve and retain entrances and porches and their functional and decorative features that are important in defining the overall historic character of the building such as doors, transoms, fanlights, sidelights, pilasters, entablatures, columns, balustrades, stairs, flooring, columns, railing, brackets, modillions, dentils, cornice, and pediments.</p>		

Historic District Guideline	Page No.	Analysis
<p>2. Repair entrances and porches by patching, splicing, consolidating, or otherwise reinforcing the historic materials. Such repair also can include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, friezes, brackets, and stairs.</p>		
<p>3. Replace in kind an entire entrance or porch that is too deteriorated to repair—if the form and detailing are still evident—using the physical evidence to guide the new work. If using the same kind of material is not technically feasible, then a compatible substitute material may be considered. Do not replace an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.</p>		
<p>4. Design new entrances and porches to be compatible with the historic building.</p>		
<p>5. Design the replacement entrance, porch, or stoop to relate to the overall scale of the primary building. Research the history of the building to determine the location, appearance, and materials of the original entrance, porch, or stoop.</p>		
<p>6. Design porch enclosures to have minimal visual impact on the historic building and district. In general, porches should not be enclosed, unless there is historic precedent.</p>		
<p>7. Design new porches and entrances to be Americans with Disabilities Act-(ADA-) compliant whenever possible and when required by law.</p>		
<p>Guidelines for Maintenance and Cleaning</p>		<p>Staff is not able to determine if Guidelines are being met without more information provided.</p>

Historic District Guideline	Page No.	Analysis
<p>Clean masonry surfaces only when necessary using the gentlest means possible. Water washing at 100 PSI sprayed down from the eave (not upward) and avoiding crevices, architraves and openings is recommended. A mild non-ionic detergent may be added to remove oils. A soft natural bristle brush is recommended but avoid joints. Never wash in/near freezing weather. Tests for the proposed method of cleaning should be performed before cleaning the entire area to ensure that the cleaning will not harm the masonry. Tests should be performed over a sufficient period of time to evaluate both the immediate and long-range effects of the cleaning.</p>		
<p>1.Clean building surfaces with the gentlest means possible</p>		
<p>2.Clean surfaces only when sufficiently soiled, to avoid inflicting unnecessary damage to materials. Test all cleaning methods on an inconspicuous surface prior to application on remainder of building.</p>		
<p>Guidelines for Fences and Walls</p>		<p>The applicant built a 6' high wooden privacy fence.</p>
<p>1. Retain, protect, and repair existing iron, steel, brick, stone, cast stone, concrete block, and wood fences or walls.</p>		
<p>2. New fences and walls should not exceed six feet in height, or the maximum allowed by the zoning district regulations.</p>		
<p>For fences and walls between properties, permission and approval of the adjoining owner should accompany the Architectural Review Board application for review consideration</p>		<p>Best practice stated in Guidelines.</p>
<p>Guidelines for exterior lighting</p>		<p>Applicant has provided no details regarding exterior lighting.</p>
<p>1. Preserve, repair, and retain any light fixtures that are original to the building or property including porch lights, lamp posts, sconces, lanterns, and the like.</p>		

Historic District Guideline	Page No.	Analysis
2. Design new lighting to be compatible with the historic resource and neighborhood		
3. Design new exterior illumination in an inconspicuous and non-destructive manner. If possible, it should be hidden behind parapets, screened with landscaping, or attached to separate structures, such as light poles.		
4. Rust resistant hardware should be used to prevent staining of the façade. Wires and conduits should be kept off of primary building façades.		
Installation methods should not damage original building materials or finishes and should not obscure historic detailing.		
Lighting that scallops the building surface or distorts the building with shadows or other shapes should be avoided.		
Guidelines for wall signage		The applicant has provided no information related to signage.
1. Wall signs should be scaled and sized according to the building to which they are proposed. They should not cover or obscure important architectural elements.		
2. Applied wall signs should be of painted wood, metal, or substantial and durable composite materials.		
5. Wall signs should be attached in the least damaging means to the building's materials and other character-defining features. Try to reuse earlier holes for mounting rather than making new ones. When new holes are necessary, always try to fasten into the mortar instead of compromising the strength of a brick.		

STAFF RECOMMENDATION

Additional information is needed to inform recommended conditions.

Staff recommends the following conditions for consideration:

1. All necessary permits are acquired.
2. Additional conditions of approval may be developed with more information based on the Historic District Guidelines.

ATTACHMENTS

1. Attachment 1 – Photos and plans
2. Attachment 2 – Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-16

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness 23-16** for the proposed exterior alterations at **30 S Third Street** with the following conditions:

- 1. All necessary permits are acquired.
- 2. Other conditions as appropriate when more information is provided.

Motion to Approve By:

Seconded By:

For: 0 Against: 0 Abstained: 0

Vicinity Map Street View



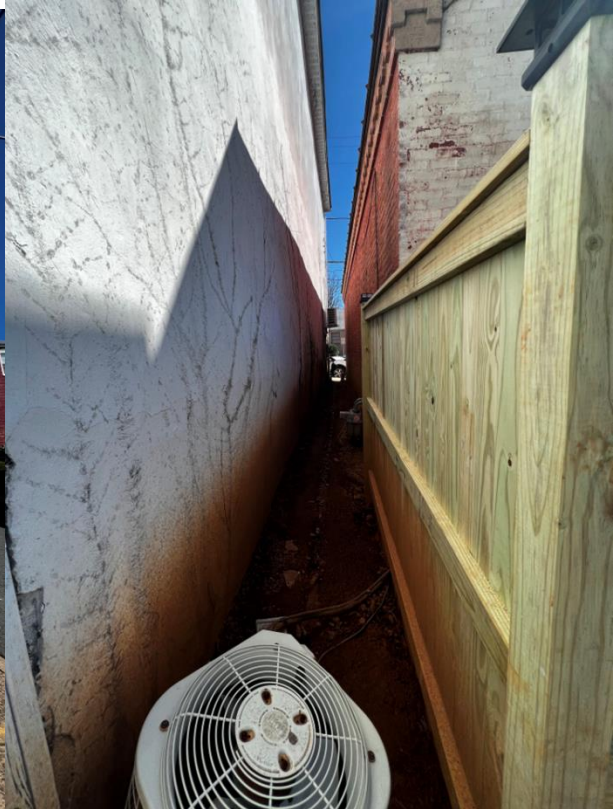
Street View

Previous Condition:



Current Condition:









Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-17 – 86 East Lee Street
Requested Action:	Review proposal for the construction of 7’ x 6’ portico at the front entrance of the building.
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant is proposing to construct a 7’ x 6’ portico to be located at the front entrance of the building for the purpose of providing coverage.

- 1) One-story, one-bay front-gable roof portico sheathed in standing seam metal set on square 4’ x 4’ posts with wood or wrought iron railing.

BACKGROUND

This house was constructed in c.1890 and is in relatively good condition. As a Italianate style house, it represents a typical late nineteenth-century building within the residential areas of the district. While the house has been converted to a law office, it retains integrity of location, design, setting, feeling, and association. This resource falls within the district's period of significance and contributes to the residential character of the district. Although the building does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.

DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
C. Additions to Existing Buildings		
1. Recognize all buildings as products of their own time; design the new addition so that it can be distinguished from the original, yet be compatible with the massing, size, scale and architectural features.	3.72	The applicant has not provided information confirming the existence of a portico on this building historically.
2. Additions will cause the least possible diminution or loss of the historic character of the existing building including its materials, craftsmanship, design, location and setting.	3.72	The applicant has not provided information confirming the proposed attachment method for the portico to the building itself or whether or not the proposed portico will impact the existing elements on the building (i.e. windows).
7. Design and construct additions in such a manner that if removed in the future, the essential form, character and integrity of the historic property remains intact. For example, a small connector passage or hyphen to join a side or rear addition to the original building is less invasive and destroys less fabric than a full elevation connection.	3.72	It is unclear from the application how the portico is to be attached to the building and additional information would be required.
8. The style of the addition should not replicate the original but might respectfully, modestly reflect design elements.	3.72	The front-gable roof on the portico is a direct reflection of the main building and appears to impact the second floor window above it. Consideration of a smaller-scale front-gable roof or an extension of the existing shed roof may be more appropriate.

Historic District Guideline	Page No.	Analysis
10. Respect the size, proportion, spacing and rhythm of existing door and window openings on the existing building. Respect the spatial relationship between the wall surface and window opening of the existing building	3.72	No alterations to the existing fenestration is proposed nor does the portico installation impact the existing spatial relationship between the window and door fenestration on the first floor. However, it appears from the drawings provided that the front-gable roof of the portico may impact the second-floor window directly above it.

STAFF RECOMMENDATION

Staff recommends approval of the request to construct a 7' x 6' portico on the front elevation, provided the following conditions are met:

- 1) All necessary permits are acquired.
- 2) The second floor window must not be impacted or obscured by the installation of any portico.
- 3) Standing seam metal roof of portico must match color, gauge, and crimping style of main house roof.
- 4) The support posts must be wooden and reflect a design appropriate to the Italianate style.
- 5) The proposed railing of the portico must be either wood or wrought iron and simple in design, such as the square railing shown in the drawing.

ATTACHMENTS

1. Attachment 1 – Photo and plan
2. Attachment 2- Draft Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-17

April 27, 2023

MOTION TO DENY

I move to approve the application for **Certificate of Appropriateness 23-17** for the proposed construction of a portico at the front elevation at **86 East Lee Street** with the following conditions:

- 1) All necessary permits are acquired.
- 2) The second floor window must not be impacted or obscured by the installation of any portico.
- 3) Standing seam metal roof of portico must match color, gauge, and crimping style of main house roof.
- 4) The support posts must be wooden and reflect a design appropriate to the Italianate style.
- 5) The proposed railing of the portico must be either wood or wrought iron and simple in design, such as the square railing shown in the drawing.

Motion to Approve By:

Seconded By:

For:

Against:

Abstained:

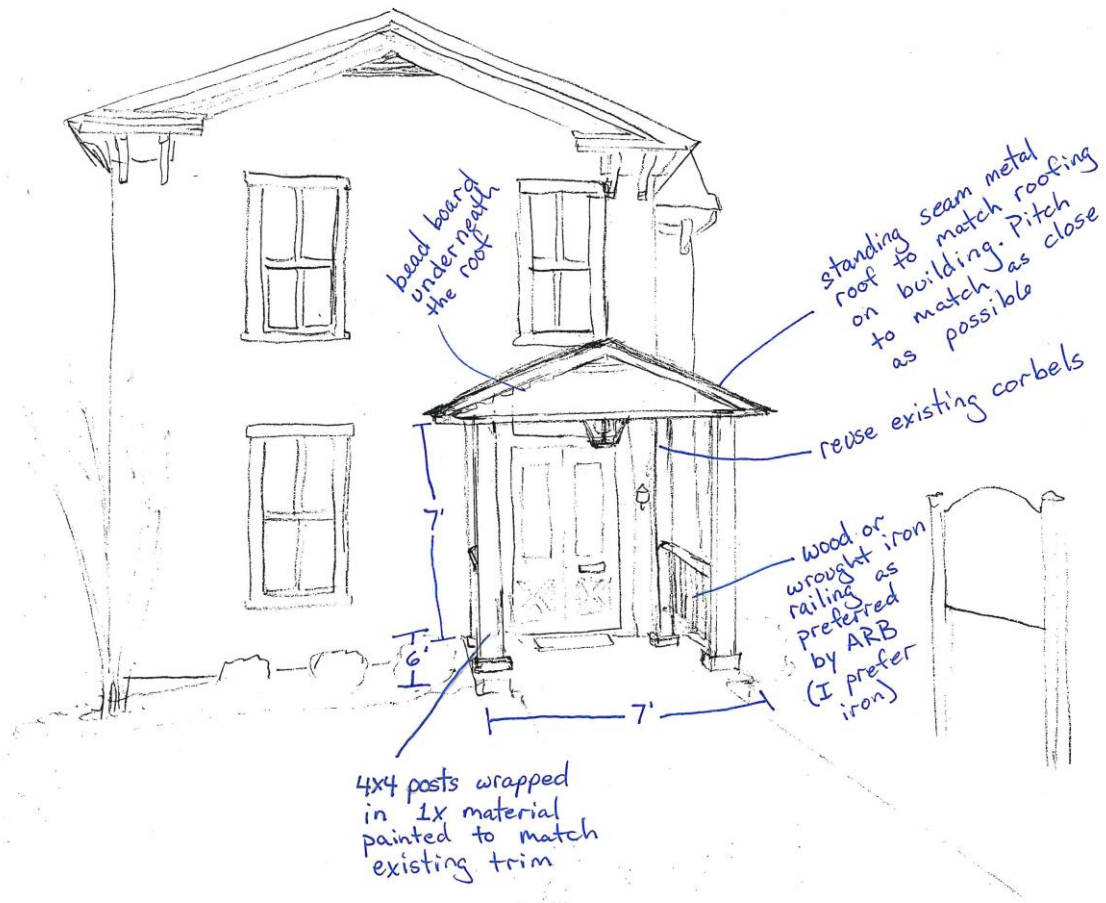
Vicinity Map – Street View:



Site Photos (current):

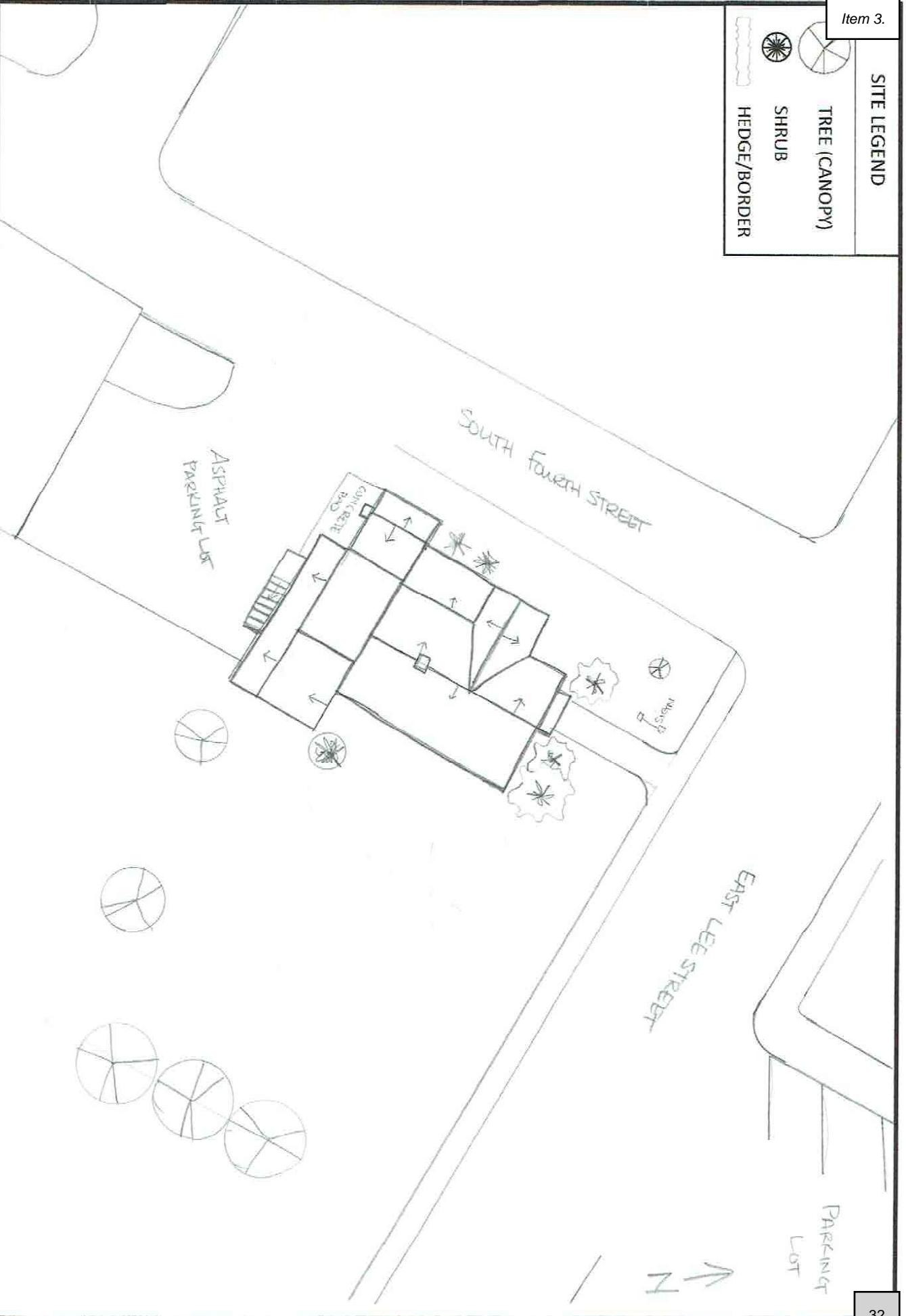


Proposed plan for new portico addition:



SITE LEGEND

-  TREE (CANOPY)
-  SHRUB
-  HEDGE/BORDER



Project Title: WARRINGTON HD RESURVEY
Location: 816 EAST LEE STREET
Resource Name: House, 816 Lee Street

DHR ID: 156-0019-0113
Scale: NTS
Date of Survey: July 2019





Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-19 – 92 Winchester Street
Requested Action:	Review proposal for the installation of a new door within the brick wall beneath the rear decking.
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant is proposing the following:

- 1) To cut an approximately 40"-60" wide gap within the extant ca. 1930s brick wall at the ground floor beneath the rear wooden decking for the purpose of installing one-to-two new doors.
- 2) The door(s) is proposed to be a paneled, metal fire door with no glass or window openings.
- 3) The purpose of the door installation is to allow for egress from a new mechanical room.
- 4) The rear decking will be shielded with lattice-work and the new door will not be visible.
- 5) The applicant has not provided information on any regrading or installation of any retaining walls that may be required as part of the door installation.
- 5) It appears as though work is already on-going for this project.

BACKGROUND

This building was constructed in c.1900 and is in fair condition. As a Folk Victorian house, it represents a typical turn of the twentieth-century building within the residential areas of the district. It retains integrity of location, design, setting, feeling, and association. This resource falls within the district’s period of significance and contributes to the residential character of the district. Although the building does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.



DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
B. Windows and Doors		
7. Design new windows, doors, and other elements to be compatible with the original building.	3.21	The proposed new door is located in an obscure location at the rear of the building and will not be visible.
8. Construct a new door or window when the historic feature is completely missing. It may be an accurate restoration using historical, pictorial, and physical documentation, or be a new design that is compatible with the size, scale, material, and color of the historic building. New windows and doors should also be compatible with the historic character and use of the building.	3.21	The proposed new door is located in an obscure location at the rear of the building and will not be visible.

Historic District Guideline	Page No.	Analysis
<p>9. Install additional windows or doors on façades of limited historic interest, usually only in minimally visible rear or side walls. Their design should be compatible with the overall design of the building. Locate new doors and windows to be consistent with the historic architectural style and rhythm of the building. Be careful not to significantly increase the amount of glazing as it will negatively affect the historic integrity of the building by changing the overall design of the building.</p>	<p>3.21</p>	<p>The proposed new door is located in an obscure location at the rear of the building and will not be visible. The door proposed is a paneled, metal fire door without windows that will measure between 40"-60" in width.</p>

STAFF RECOMMENDATION

Staff recommends approval of the request to install a new paneled, metal fire door (approximately 40"-60" in width) at the rear foundation of the building for the purpose of allowing egress from a mechanical room, provided the following conditions are met:

- 1) All necessary permits are acquired.
- 2) Install doors on façades of limited historic interest, usually only in minimally visible rear or side walls.
- 3)

ATTACHMENTS

1. Attachment 1 – Photos and Plans
2. Attachment 2 – Draft Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-19

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness 23-19** for the proposed the installation of a new door within the brick wall beneath the rear decking at **92 Winchester Street** with the following conditions:

- 1) All necessary permits are acquired.
- 2) Install doors on façades of limited historic interest, usually only in minimally visible rear or side walls.

Motion to Approve By:

Seconded By:

For:

Against:

Abstained:

Vicinity Map – Street View



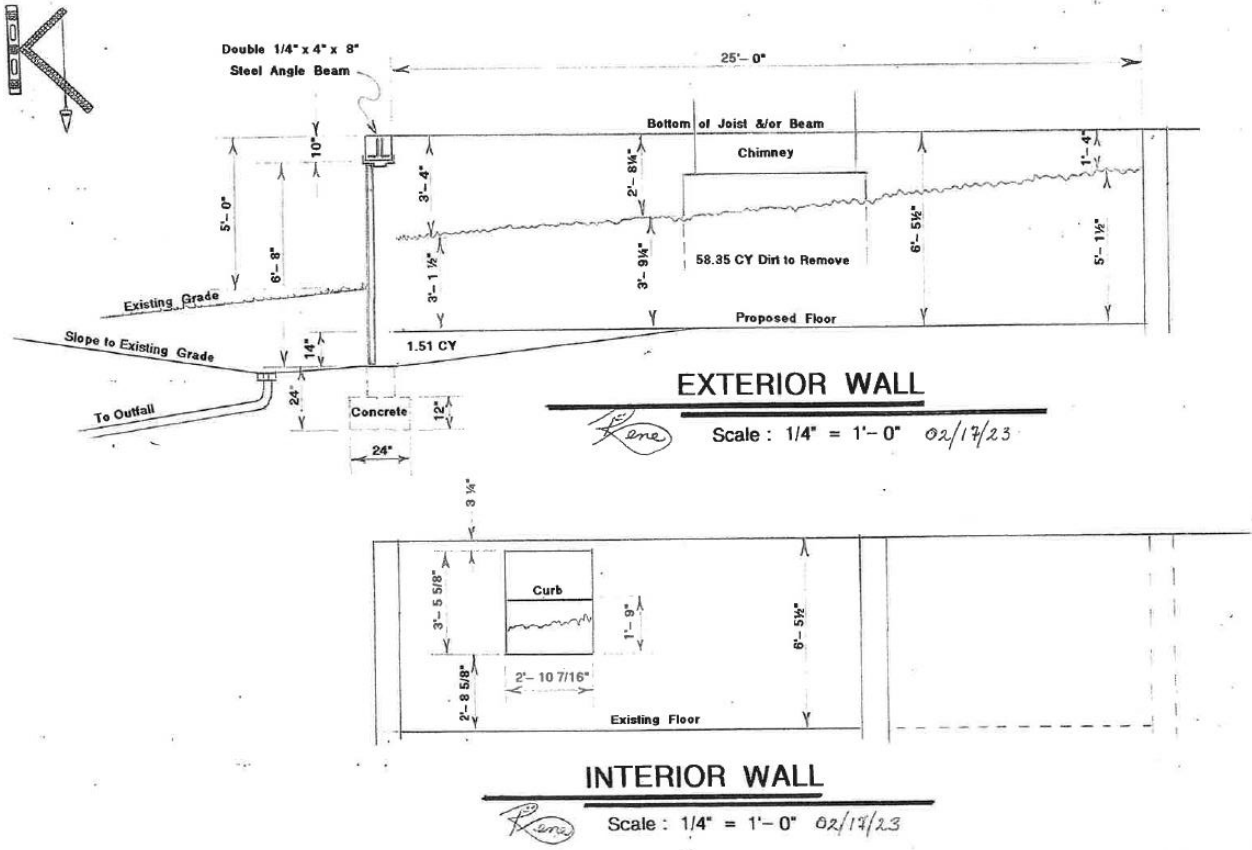
Photos:



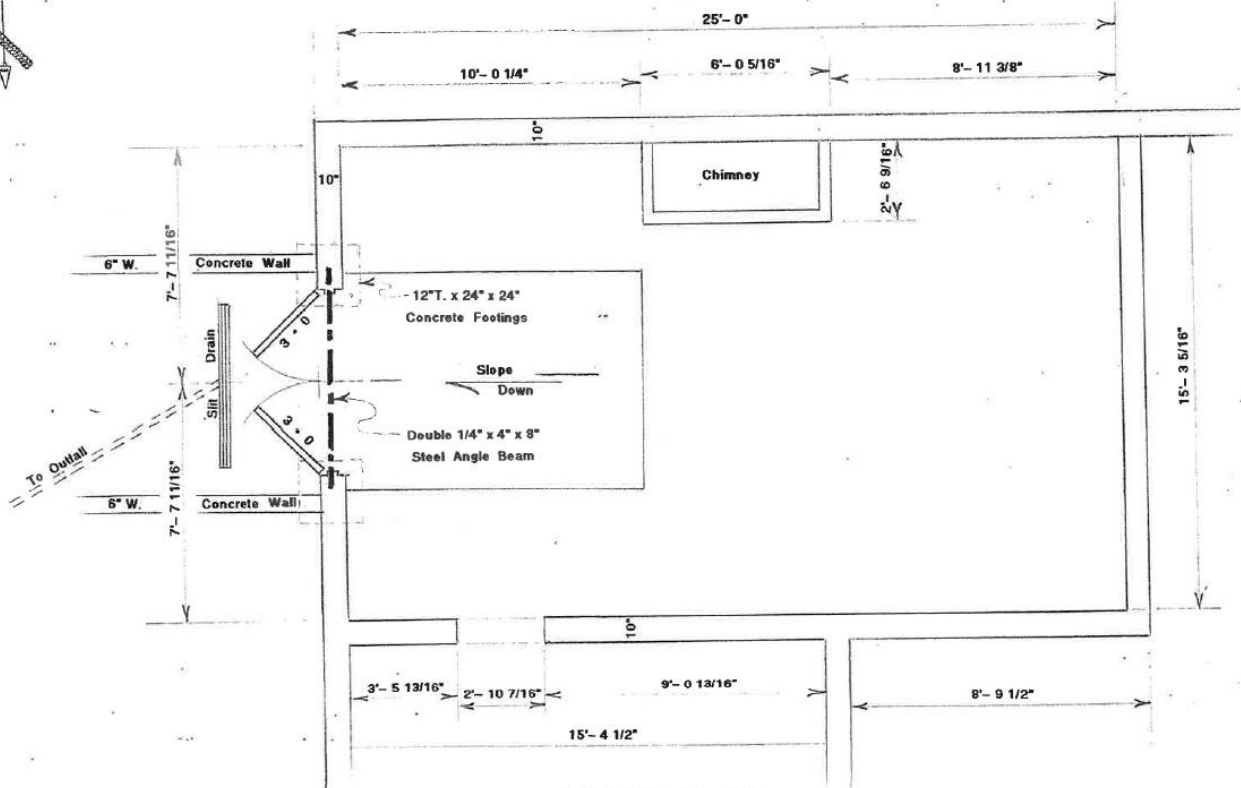
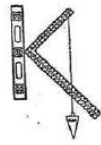




Plans:



KEITH MCDONALD
92 Winchester Street
Warrenton, Virginia 20186

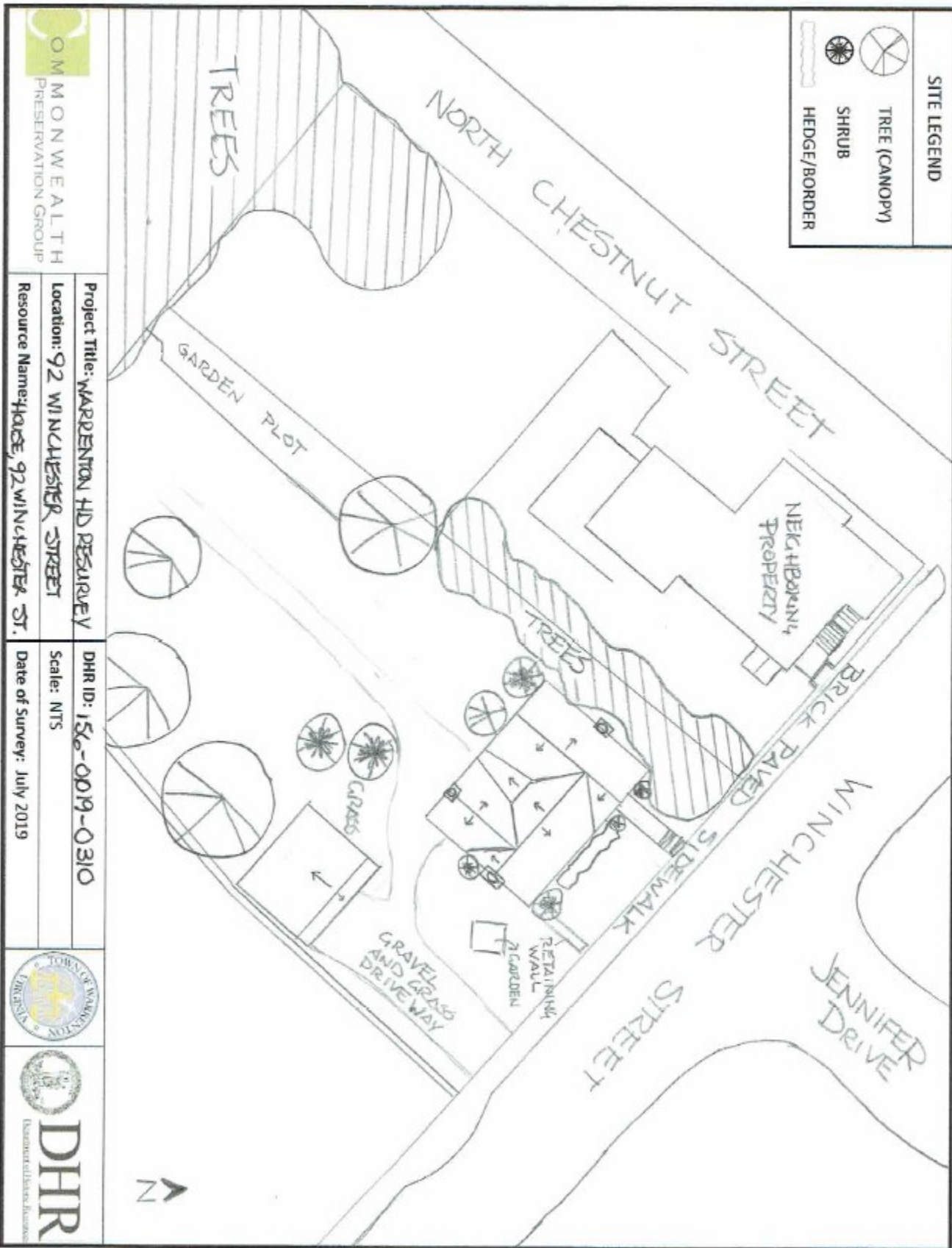


FLOOR PLAN

Keith McDonald

Scale : 1/4" = 1'-0" 02/14/23

KEITH MCDONALD
92 Winchester Street
Warrenton, Virginia 20186





Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-23 – 19 Main Street
Requested Action:	Review proposal for replacement of hanging sign over door, for the addition of white vinyl lettering to the front door, and the temporary placement of a wooden A-Frame sign on the sidewalk.
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant is proposing to:

- 1) Replace the hanging sign over the front door with a new sign (36" x 12"). The metal part of the sign will remain in place.
- 2) To replace the existing white vinyl lettering on the front door with a new design in the same color and material (22" x 17.5").
- 3) To place a moveable wooden, A-Frame sign on the sidewalk (2' x 3'). This request will be approved at the Administrative level and therefore does not require ARB review and approval.

BACKGROUND

19 Main Street was constructed by 1886 according to the Sanborn map but is likely to have been constructed c.1825. Further research is necessary to determine actual build date. The building is an excellent example of a Federal style commercial building and represents the mid-nineteenth-century commercial resources within the district. The building retains integrity of location, design, setting, feeling, and association. This resource falls within the district's period of significance and contributes to the character of the district. Although the building does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.

DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
F. Projecting Signs		
1. The bottom edge of the projecting sign should be eight (8) feet above the sidewalk.	3.41	The proposed hanging sign meets the requirement.
2. Projecting signs should not be larger than six (6) square feet. The sign panel should have a minimum six-inch (6") clearance from the face of the building and extend to its outermost part less than four (4) feet. Projecting signs will be reviewed according to their scale and size and to the scale and size of the building to which they are proposed.	3.41	The proposed hanging sign meets the requirement. Dimensions: 36"x12"
4. Limit the number of projecting signs to one per business.	3.41	The proposed hanging sign meets the requirement.
G. Ground Signs		
1. Ground signs should be used only if the building is set back from the sidewalk, and placement will not impede the use of the front yard or pedestrian circulation.	3.42	The proposed ground sign does not impede the use of the sidewalk for the purposes of pedestrian circulation.
2. Ground signs must be in size and scale to the building, lot, and setting.	3.42	The proposed ground sign is compatible with the size and scale of the building and setting.

STAFF RECOMMENDATION

Staff recommends approval of the request to **1) replace the hanging sign over the front door with a new sign (36" x 12"), 2) to replace the extant white vinyl lettering on the front door with a new design in the same color and material (22" x 17.5")** provided the following conditions are met:

- 1) All necessary permits are acquired.

2) All signage, including the A-frame ground sign, must comply with Town Zoning Ordinance.

ATTACHMENTS

1. Attachment 1 – Photos
2. Attachment 2 – Draft Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-23

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness 23-23** for the proposed replacement of the hanging sign over the door, for the addition of white vinyl lettering to the front door, and the temporary placement of a wooden A-Frame sign on the sidewalk at **19 Main Street** with the following conditions:

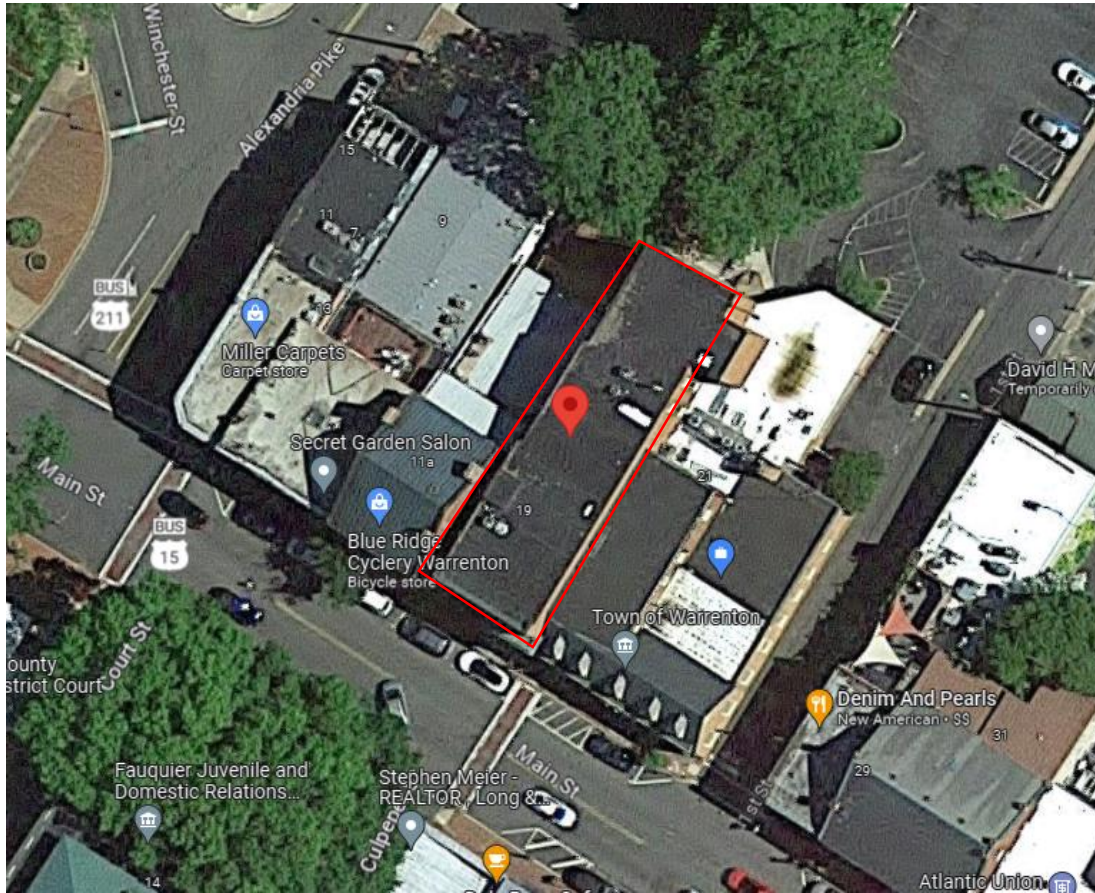
- 1) All necessary permits are acquired.
- 2) All signage, including the A-frame ground sign, must comply with Town Zoning Ordinance.

Motion to Approve By:

Seconded By:

For: Against: Abstained:

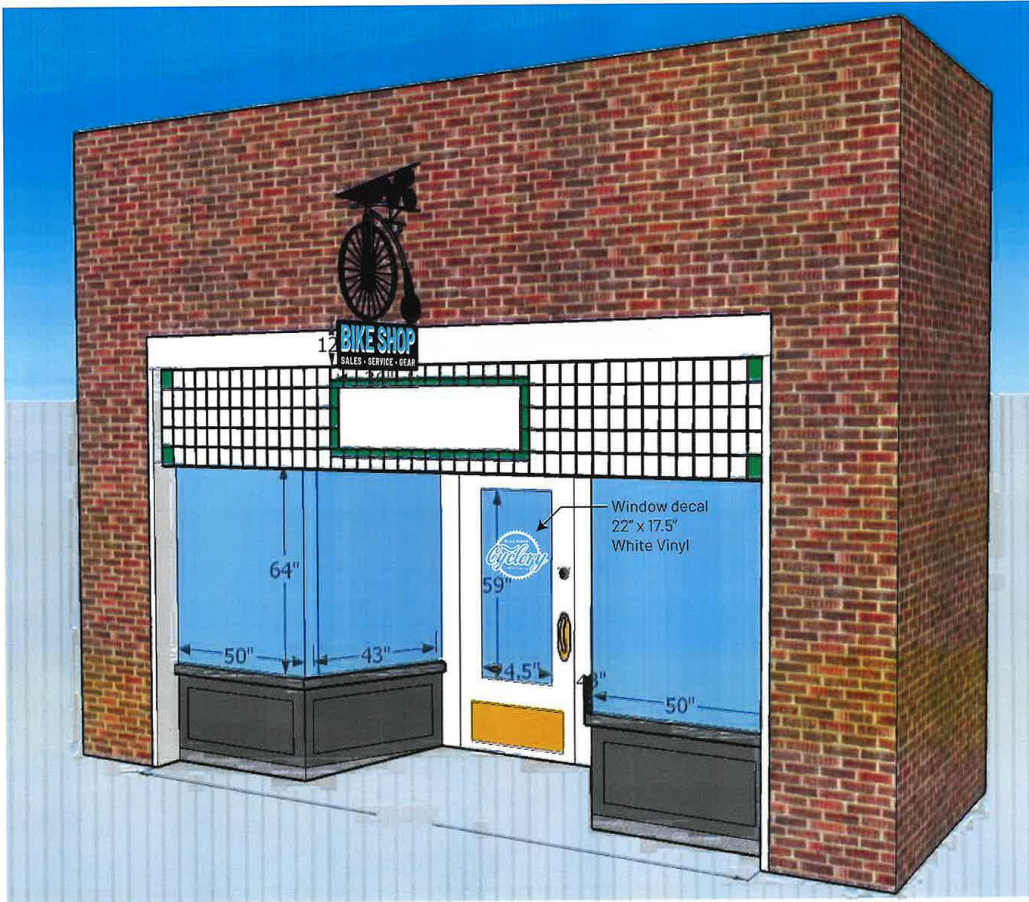
Vicinity Map – Street View



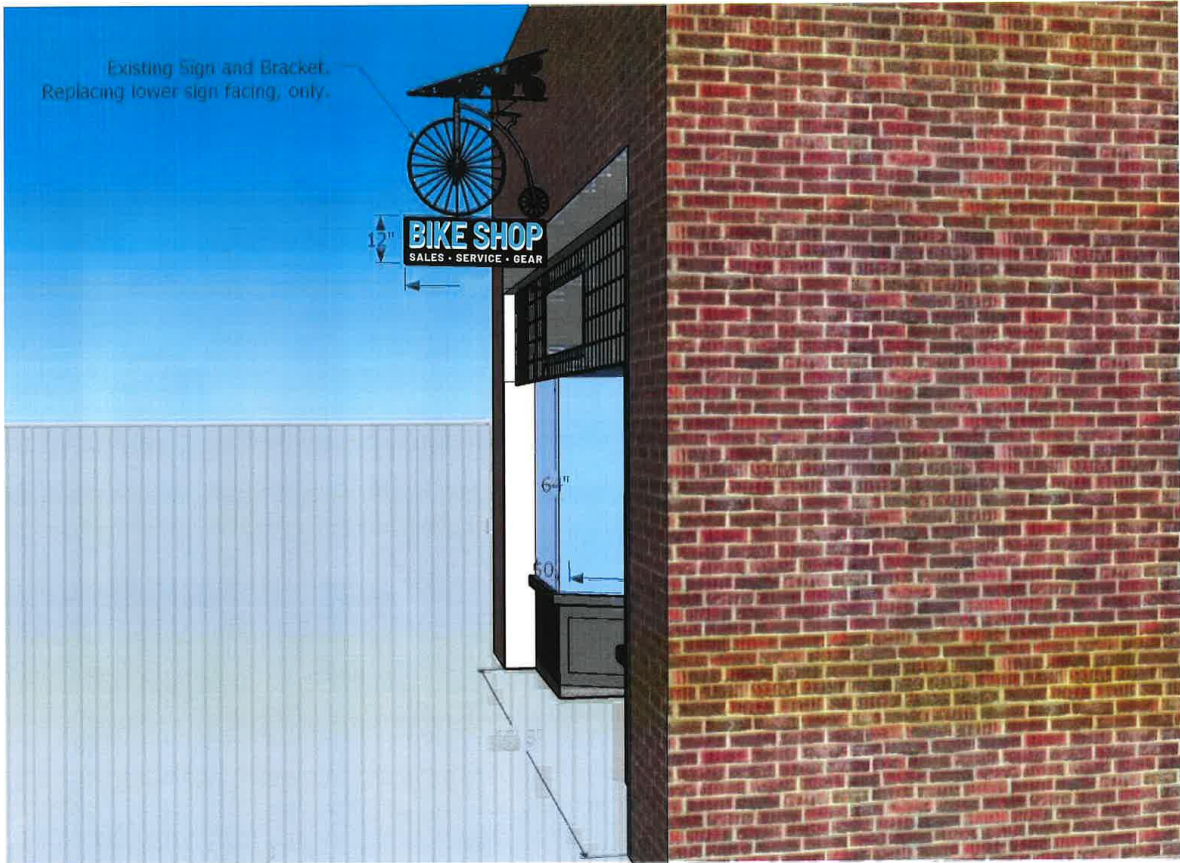
Photos:

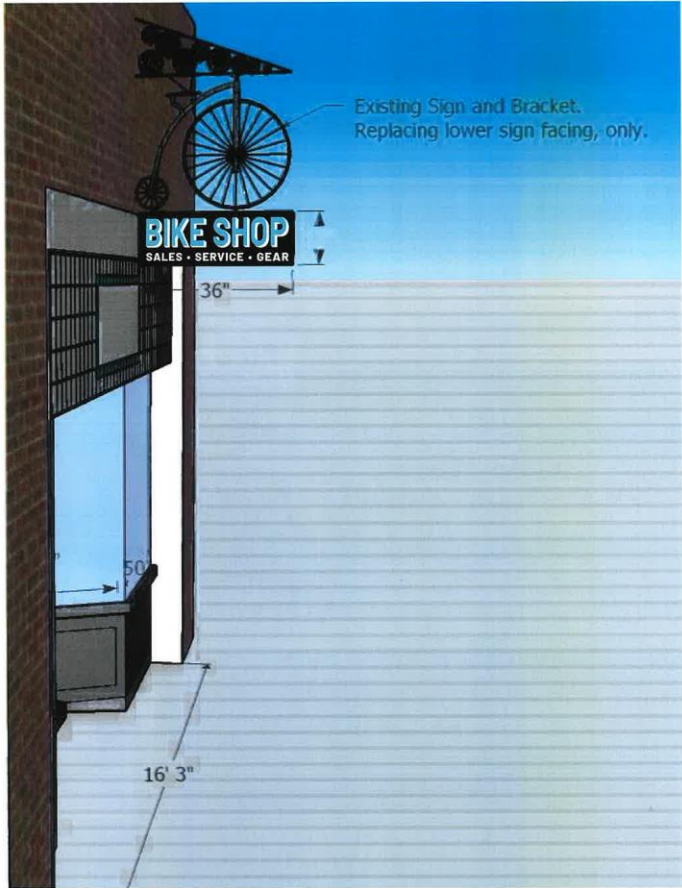


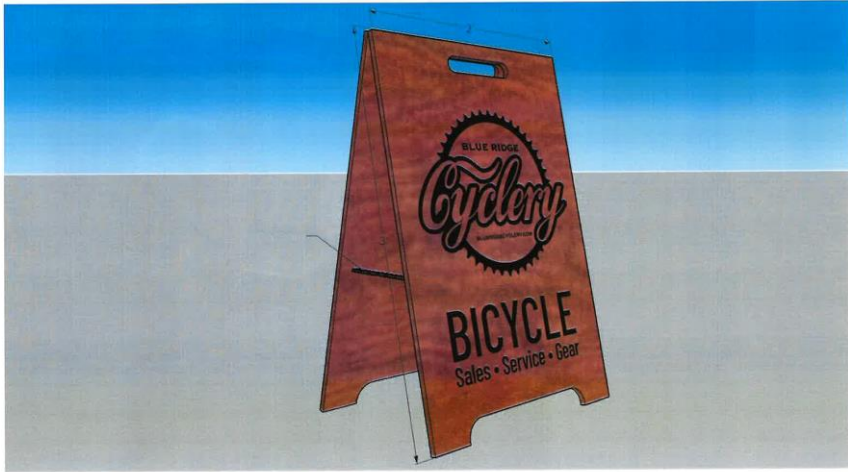
Plans:













Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-24 – 77 Main Street
Requested Action:	Review proposal for the replacement of the extant awning with a black Sunbrella awning, for the removal of three extant mounted signs and the installation of a new sign (2' x 17') that reads "Warrenton Market," and to repaint the trim on the left side of the storefront white
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant proposes to conduct the following alterations:

- 1) For the replacement of the extant awning with a black Sunbrella awning of the same dimensions.
- 2) For the removal of three existing mounted signs ("sherie's stuff," and "GIFT SHOP") and the installation of a new sign (2' x 17') that reads "Warrenton Market" that will be made of Alumet with flat, white lettering on a black background.
- 3) To repaint the wooden trim on the left side of the storefront white up to the middle door.
- 4) The applicant also submitted a separate COA (23-22) requesting approval to install white vinyl lettering on the door. This request is being reviewed as part of COA 23-24.

BACKGROUND

This building was constructed between 1931 and 1947 based on Sanborn maps. The building is an excellent example of two-part commercial block building in Art Deco style and represents the mid-twentieth-century residential resources within the district. The building retains integrity of location, design, setting, feeling, and association. This resource falls within the district’s period of significance and contributes to the character of the district. Although the building does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.



DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
Guidelines for wall signage		
1. Wall signs should be scaled and sized according to the building to which they are proposed. They should not cover or obscure important architectural elements.	3.41	The proposed wall sign meets the requirement. Dimensions: 2' x 17'
2. Applied wall signs should be of painted wood, metal, or substantial and durable composite materials.	3.41	The proposed wall sign meets the requirement. Material proposed is Alumet.

Historic District Guideline	Page No.	Analysis
<p>5. Wall signs should be attached in the least damaging means to the building’s materials and other character-defining features. Try to reuse earlier holes for mounting rather than making new ones. When new holes are necessary, always try to fasten into the mortar instead of compromising the strength of a brick.</p>	<p>3.41</p>	<p>The proposed wall sign meets the requirement.</p> <p>Applicant confirmed that the new sign will be attached at the mortar joints.</p>
<p>Guidelines for Storefronts</p>		
<p>5. Recreate storefronts by matching the original proportions, sizes, scale, color, and materials of the original, documented storefront. Do not alter the commercial character of the storefront by substantially reducing or enlarging the area of glass in the storefront</p>	<p>3.27</p>	<p>The applicant does not intend to alter or change the historic storefront from its original proportions, massing, or scale.</p>
<p>6. Design new storefronts to be compatible with the original building. It may be an accurate restoration using historical, pictorial, and physical documentation, or be a new design that is compatible with the style, size, scale, material, and color of the historic building.</p>	<p>3.27</p>	<p>The applicant does not intend to alter or change the historic storefront from its original proportions, massing, or scale.</p>
<p>7. Maintain the alignment and rhythm of the front façade when altering or restoring a previously altered storefront. Use traditional materials such as masonry and wood. If using traditional materials is not feasible, use compatible substitute materials that are similar in scale, finish, and character to the original material and have proven durability in the local climate. Expose original storefront elements that have been obscured by modern siding or other materials.</p>	<p>3.27</p>	<p>The applicant does not intend to alter or change the historic storefront from its original proportions, massing, or scale.</p>
<p>E. Window Signs</p>		

Historic District Guideline	Page No.	Analysis
1. Design a window sign to minimize the amount of window covered. Where larger signs would detract from viewing window displays, smaller lettering may be located less obtrusively near the bottom of the display window. Such signs generally are more appropriate for closer pedestrian traffic.	3.40	
No window sign should exceed twenty-five percent (25%) of the window area or have letters taller than twenty-four (24) inches. Glazed doors may also have lettering.	3.40	

STAFF RECOMMENDATION

Staff recommends approval of the request to 1) install a new “Warrenton Market” sign measuring 2’ x 17’; 2) to repaint the wooden trim white as described, 3) to remove the three existing signs as described, 4) to remove the existing awning and install a new black Sunbrella awning in the same dimensions, and 5) to install vinyl lettering on the door as described and depicted in COA 23-22, provided the following conditions are met:

1. All necessary permits are acquired.
2. Wall signs should be attached in the least damaging means to the building’s materials and other character-defining features. Try to reuse earlier holes for mounting rather than making new ones. When new holes are necessary, always try to fasten into the mortar instead of compromising the strength of a brick.
3. No window sign should exceed twenty-five percent (25%) of the window area or have letters taller than twenty-four (24) inches. Glazed doors may also have lettering.

ATTACHMENTS

1. Attachment 1 – Photos and plans
2. Attachment 2 – Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS COA 23-24

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness COA 23-24** for the requests to: 1) install a new “Warrenton Market” sign measuring 2’ x 17’, 2) to repaint the wooden trim white as described, 3) to remove the three existing signs as described, 4) to remove the existing awning and install a new black Sunbrella awning in the same dimensions, and 5) to install vinyl lettering on the door as described and depicted in COA 23-22 at 77 Main Street with the following conditions:

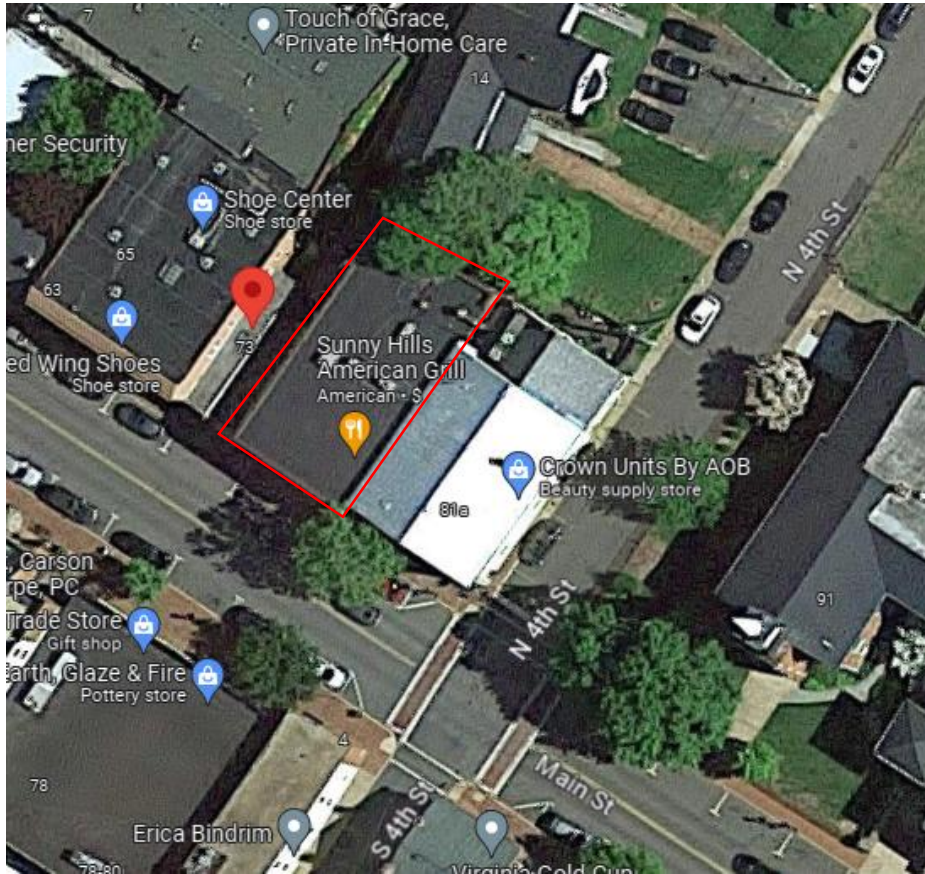
1. All necessary permits are acquired.
2. Wall signs should be attached in the least damaging means to the building’s materials and other character-defining features. Try to reuse earlier holes for mounting rather than making new ones. When new holes are necessary, always try to fasten into the mortar instead of compromising the strength of a brick.
3. No window sign should exceed twenty-five percent (25%) of the window area or have letters taller than twenty-four (24) inches. Glazed doors may also have lettering.

Motion to Approve By: NAME

Seconded By: NAME

For: # Against: # Abstained: #

Vicinity Map – Street View:



Photos:

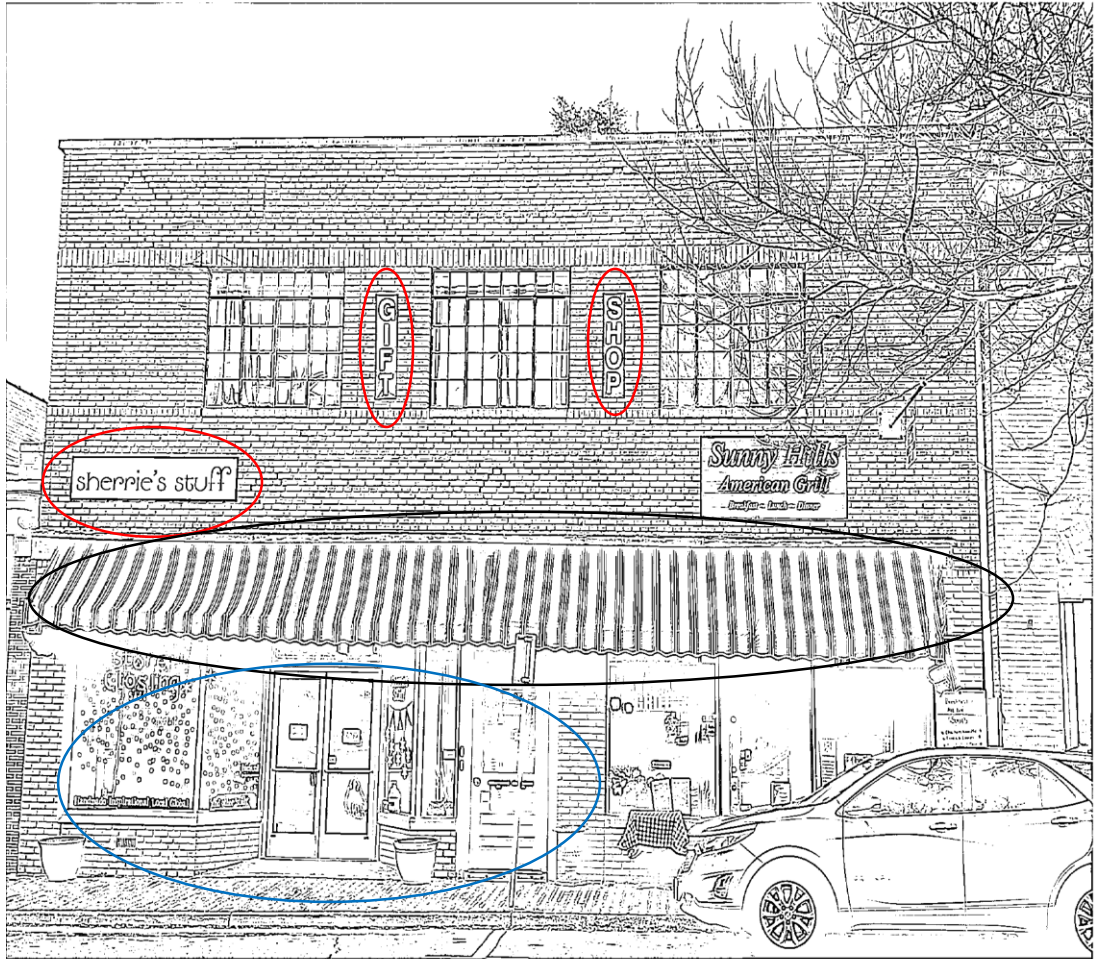


Plans:

Existing signage to be removed circled in red

Existing awning (circled in black) to be removed and replaced with black Sunbrella awning

Existing trim (circled in blue) to be repainted in white from left to center of building



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sunbrella Fabrics Windows Bags Throws Cleaning Inspiration Where to Buy About

Home / Fabrics / Fabrics By Use / Awnings, Canopies, and Pergolas / **Black**

Black

Sunbrella Plus
SKU: 8428-0000
\$4.00 / sample
In Stock

Recommended Application
Best For: Awnings / Pergolas, Marine Tops and Covers
Available in these colors:

Select Fabric Width

ADD SAMPLE TO CART **WISHLIST**

On all samples and on orders over \$100

Coordinating Upholstery Fabrics

Blend Coat SKU 1401-0008	Linen Silver SKU 8351-0000

Coordinating Shade Fabrics

Boudoir Black/White SKU 5704-0000	Grey/Brown/Chino SKU 4777-0000

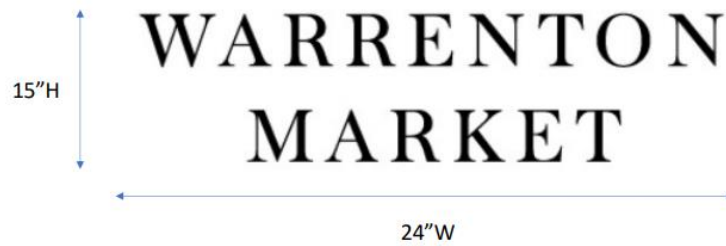
Technical Information

COA 23-22 | 77 Main Street:

Request to install vinyl sign on exterior door.

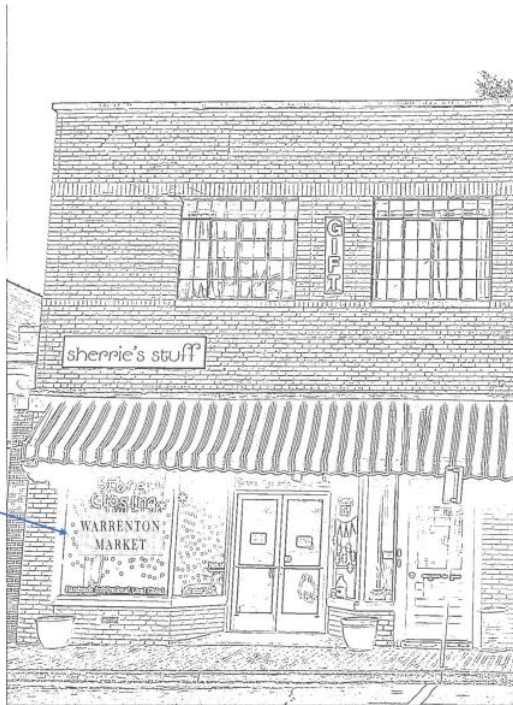
Plans:

BUS-23-25
Plans accompanying COA






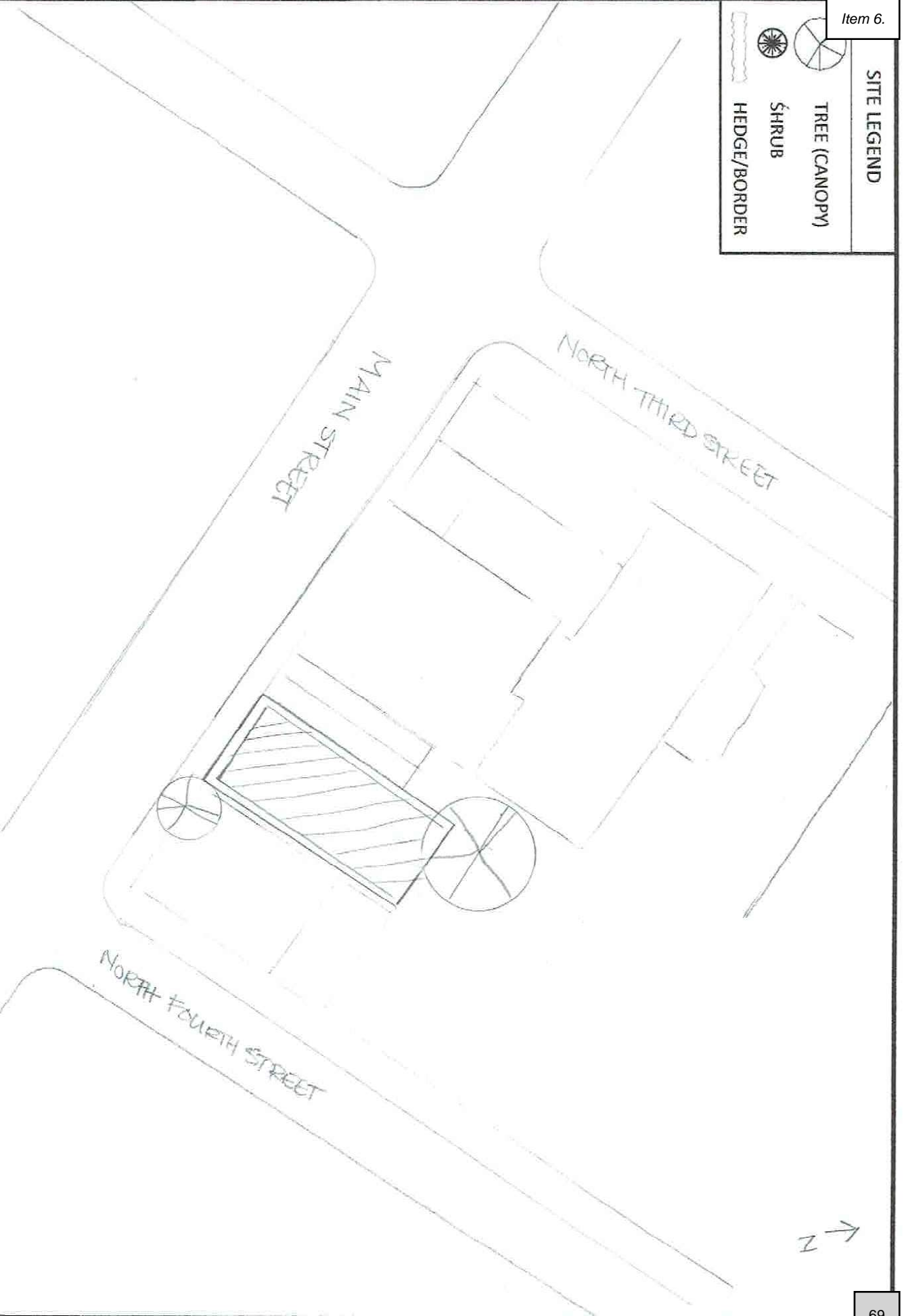
Vinyl sign to be centered on front (left) window consisting of white letters.

“Warrenton Market”
Sign 24”Wx15”H



SITE LEGEND

-  TREE (CANOPY)
-  SHRUB
-  HEDGE/BORDER



Project Title: WARENTON HD RESERVEWAY
Location: 7779 MAIN STREET
Resource Name: Rhodes Drug Store
 Risdon Hardware

DHR ID: 150-0019 - 0231
Scale: NTS
Date of Survey: July 2019





Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 23-27 – 54 E. Lee Street
Requested Action:	Review proposal for the installation of three temporary exterior Coroplast signs
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The applicant is proposing to install three Coroplast signs at three exterior elevations of the building.

- 1) Each sign will measure 36” x 36”
- 2) Applicant intends to install all three signs within the mortar joints, which then makes the signs a more permanent feature and does not meet the guidelines.

BACKGROUND

This resource was constructed in c.1907. Historically, this building was used as the hardware store for DP Wood. This is listed as "Hardware" or "Store" from 1908-1924 Sanborn maps. In 1931, it is listed as a "Paints and Oils." This resource represents a typical mid-nineteenth-century commercial-style building within the district. This resource retains integrity of location, design, setting, materials, workmanship, feeling, and association. It falls within the district's period of significance and contributes to the commercial character of the district. Although it does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.



DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
D. Flat or Wall Signs		
1. Wall signs should be scaled and sized according to the building to which they are proposed. They should not cover or obscure important architectural elements.	3.39	Each sign will be no larger than 36" x 36".
2. Applied wall signs should be of painted wood, metal, or substantial and durable composite materials.	3.39	Each sign will be composed of Coroplast material which does not comply with the guidelines.

Historic District Guideline	Page No.	Analysis
5. Wall signs should be attached in the least damaging means to the building’s materials and other character-defining features. Try to reuse earlier holes for mounting rather than making new ones. When new holes are necessary, always try to fasten into the mortar instead of compromising the strength of a brick.	3.39	Each sign would need to be attached at the mortar joints only. However, this is not appropriate for temporary signage, as it is considered signage that is oversized, overstated, and therefore inappropriate for use in historic districts. Such signage is inappropriate in the Warrenton Historic District.

STAFF RECOMMENDATION

Staff recommends approval of the request to install three temporary “Office for Lease” signs on three elevations of the building, provided the following conditions are met:

- 1) All necessary permits are acquired.
- 2) The proposed Coroplast signs are not recommended as approvable as described and depicted within the application. The applicant must utilize appropriate material or utilize another style of temporary signage, such as a banner, or other type of temporary signage as allowed by the Zoning Ordinance.

ATTACHMENTS

1. Attachment 1 – Photos
2. Attachment 2 – Draft Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-27

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness 23-27** for the proposed installation of three temporary “Office for Lease” signs at **54 East Lee Street** with the following conditions:

- 1) All necessary permits are acquired.

- 2) The proposed Coroplast signs are not recommended as approvable as described and depicted within the application. The applicant must utilize appropriate material or utilize another style of temporary signage, such as a banner, or other type of temporary signage as allowed by the Zoning Ordinance.

Motion to Approve By:

Seconded By:

For: Against: Abstained:

54 E Lee Street Sign Plan March 31, 2023

Sign Design and Printing by Piedmont Press. Installation of signs by SouthStar Construction

Sign draft pictured below- we will ensure that font and sizing matches ARB requirements. Three temporary sign placement locations- Coroplast mounted in mortar between bricks from ground level.



SOUTHSTAR
PROPERTIES

400 Holiday Ct Ste 105 Warrenton, Va 20186

**OFFICE
FOR LEASE**

540-428-3050

Sign #1 54 E Lee Street Main Entrance facing parking lot, sign will be no larger than 36" x 36" and placed so that it is visible to pedestrians, and vehicles as the drive by.



SIGN #2 54 E Lee Street Side of building facing E. Lee Street. Sign will be mounted on the corner, sign will be no larger than 36" x 36" and placed so that it is visible to pedestrians, and vehicles as the drive by.



SIGN #3 54 E Lee Street side of building facing 3rd Street, sign will be no larger than 36" x 36" and placed so that it is visible to pedestrians, and vehicles as the drive by.



Vicinity Map – Street View



Photos:





Plans:

SOUTHSTAR
PROPERTIES
400 Holiday Ct Ste 105 Warrenton Va 20186

**OFFICE
FOR LEASE**

540-428-3050







Community Development
Department

STAFF REPORT

Meeting Date:	April 27, 2023
Agenda Title:	COA 2023-28 – 54 E. Lee Street
Requested Action:	Review proposal for replacement rooftop access stairs with guardrail installation; installation of underground water line to building; and replacement of rooftop HVAC condenser units
Department / Agency Lead:	Community Development
Staff Lead:	Casey Squyres

EXECUTIVE SUMMARY

The Applicant is proposing to replace the existing rooftop access stairs and to install safety guardrails, to install underground water line to the building, and to replace the existing rooftop HVAC condenser units.

- 1) Replace existing rooftop access stairs and install safety guardrails:
 - a. Super Simplex Disappearing Stairway
 - b. Install new roof hatch
 - c. Install new crickets at membrane roofing
 - d. Requires build-up of curb wall on flat roof for level surface to install roof hatch

- 2) Install underground water line to building:
 - a. Approximately 170' in length and 4" in width
 - b. Used for sprinkler/fire suppression system and water service
 - c. To be installed beneath existing paved asphalt parking lot
 - d. Stone foundation penetration at exterior required for installation

- 3) Replace existing rooftop HVAC condenser units:
 - a. Senville SENA-36HF/Q ductless mini-split air conditioner and heat pump with 4 zones
 - b. Dimensions: 37.24" in width, 16.14" in diameter, 31.89" in height
 - c. Applicant has not provided information regarding the installation method of the proposed mini-split system. The current system is central HVAC.

BACKGROUND

This resource was constructed in c.1907. Historically, this building was used as the hardware store for DP Wood. This is listed as "Hardware" or "Store" from 1908-1924 Sanborn maps. In 1931, it is listed as a "Paints and Oils." This resource represents a typical mid-nineteenth-century commercial-style building within the district. This resource retains integrity of location, design, setting, materials, workmanship, feeling, and association. It falls within the district's period of significance and contributes to the commercial character of the district. Although it does not possess sufficient architectural or historical significance to qualify for individual listing in the National Register, it is a contributing resource to the Warrenton Historic District under Criterion C for architecture.



DESIGN GUIDELINE CONSIDERATIONS

Historic District Guideline	Page No.	Analysis
F. Roofs		
3. Roof Shape: Preserve the perceived line and orientation of the roof as seen from the street. Maintain traditional overhangs as they contribute to the perception of the building's historic scale. Do not alter the angle of a historic roof. Do not truncate or remove exposed roof rafters or soffits.	3.30	The proposed roof-hatch, stairs, and safety railing installation do not impact or alter any character-defining features of the building. Per the submitted section drawings, the installation of the safety railing appears to breach the height of the brick parapet. Street-view drawings may be required in order to confirm that the railing is not visible from the public right-of-way.

Historic District Guideline	Page No.	Analysis
12. Rehabilitate the roof to include necessary functional features such as dormers, skylights, roof hatches, chimneys, and mechanical units in a way that does not detract from the historic significance and integrity of the building.	3.31	The proposed installation of the roof hatch will be installed within the existing flat, membrane roof and therefore the roof hatch and stairs will not be visible from the public right-of-way and will not be causing damage to any character-defining features.
13. Design additions to roofs such as elevator housing, decks, dormers, and skylights to be inconspicuous from the public right-of-way, and do not damage or obscure character-defining features.	3.31	The proposed installation of the roof hatch will be installed within the existing flat, membrane roof and therefore the roof hatch and stairs will not be visible from the public right-of-way and will not be causing damage to any character-defining features. Per the submitted section drawings, the installation of the safety railing appears to breach the height of the brick parapet. Street-view drawings may be required in order to confirm that the railing is not visible from the public right-of-way.
17. Install mechanical or service equipment on the roof to be inconspicuous from the public right-of-way and in such a way as to not damage or obscure character-defining features. Screen visible rooftop exhaust fans, mechanical equipment, and HVAC units with compatible architectural materials, as used on the exterior.	3.31	The proposed HVAC units for installation will be replacing existing units in the same location with dimensions as follows: 37.24" in width, 16.14" in diameter, 31.89" in height. This will not impact the historic fabric or building appearance.
A. Mechanical Systems & Equipment A1. Heating, Ventilating, & Air Conditioning (HVAC)		
1. Install mechanical equipment to minimize impacts on historic fabric and building appearance.	3.47	The proposed units for installation will be replacing existing units in the same location with dimensions as follows: 37.24" in width, 16.14" in diameter, 31.89" in height. This will not impact the historic fabric or building appearance.
3. Install roof mounted mechanical equipment, such as air conditioners, that are inconspicuous and not visible from the public right-of-way.	3.47	The proposed units for installation will be replacing existing units in the same location with dimensions as follows: 37.24" in width, 16.14" in diameter, 31.89" in height. This will not impact the historic fabric or building appearance and will not be visible from the public right-of-way.
4. Install vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities where they will not be visible on the exterior façades. Group utility lines into the least amount of conduit feasible.	3.47	The applicant has not provided information regarding the installation method of the proposed mini-split system. The current system is central HVAC.

Historic District Guideline	Page No.	Analysis
5. Install mechanical equipment in areas and spaces that require the least amount of alteration to the historic materials, plan, and avoid visible façades of the building.	3.47	The proposed units for installation will be replacing existing units in the same location and therefore will not require any new alterations to any historic materials.
6. Evaluate the least harmful means of inserting cable or pipe connections through masonry or frame walls of the building and implement the least damaging method.	3.47	The installation of the new HVAC units will be utilizing the pathways of the previous units to avoid any new insertions or alterations to the existing wall framing.
6. Archaeology		
1. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to any project.	3.62	The installation of the water line is being proposed in an area of high disturbance (i.e paved parking lot) and therefore the potential for uncovering archaeological deposits is unlikely. Depth of ground disturbance should be confirmed.
2. Preserve substantial historic sites in situ when possible and feasible. a. Any archaeological element removed should be maintained on site. b. Documentation of the original locations should be maintained with the removed or relocated elements.	3.62	The installation of the water line is being proposed in an area of high disturbance (i.e paved parking lot) and therefore the potential for uncovering archaeological deposits is unlikely. Depth of ground disturbance should be confirmed.
4. Complete comprehensive archaeological documentation for any resource adversely impacted by a proposed project.	3.62	The installation of the water line is being proposed in an area of high disturbance (i.e paved parking lot) and therefore the potential for uncovering archaeological deposits is unlikely. Depth of ground disturbance should be confirmed.

STAFF RECOMMENDATION

Staff recommends approval of the request to 1) install a new rooftop hatch with safety railing and access ladder and 2) install a new water line system to the building, and 3) to replace the existing rooftop central HVAC condenser units with a new mini-split system, provided the following conditions are met:

- 1) All necessary permits are acquired.
- 2) Install mechanical equipment to minimize impacts on historic fabric and building appearance.
- 3) Install vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities where they will not be visible on the exterior façades. Group utility lines into the least amount of conduit feasible.
- 4) Install mechanical equipment in areas and spaces that require the least amount of alteration to the historic materials, plan, and avoid visible façades

of the building.

- 5) Additional information will be required for submission confirming the width and depth of the proposed water line, as well as additional detail describing any penetrations to the protected exterior of the building as a result of the water line installation, including dimensions of any holes that may need to be opened on the building.
- 6) Evaluate the least harmful means of inserting cable or pipe connections through masonry or frame walls of the building and implement the least damaging method.
- 7) Any exposed or visible HVAC lines should be painted or covered to blend with the exterior of the building.

ATTACHMENTS

1. Attachment A – Drawings, Photos, and Product Specifications
2. Attachment B – Draft Motion Sheet

ARCHITECTURAL REVIEW BOARD
CERTIFICATE OF APPROPRIATENESS 23-28

April 27, 2023

MOTION TO APPROVE

I move to approve the application for **Certificate of Appropriateness 23-28** for the proposed replacement rooftop access stairs and hatch with guardrail installation; installation of underground water line to building; and replacement of rooftop HVAC condenser units at **54 East Lee Street** with the following conditions:

- 1) All necessary permits are acquired.
- 2) Install mechanical equipment to minimize impacts on historic fabric and building appearance.
- 3) Install vertical runs of ducts, pipes, and cables in closets, service rooms, and wall cavities where they will not be visible on the exterior façades. Group utility lines into the least amount of conduit feasible.
- 4) Install mechanical equipment in areas and spaces that require the least amount of alteration to the historic materials, plan, and avoid visible façades of the building.
- 5) Additional information will be required for submission confirming the width and depth of the proposed water line, as well as additional detail describing any penetrations to the protected exterior of the building as a result of the water line installation, including dimensions of any holes that may need to be opened on the building.
- 6) Evaluate the least harmful means of inserting cable or pipe connections through masonry or frame walls of the building and implement the least damaging method.
- 7) Any exposed or visible HVAC lines should be painted or covered to blend with the exterior of the building.

Motion to Approve By:

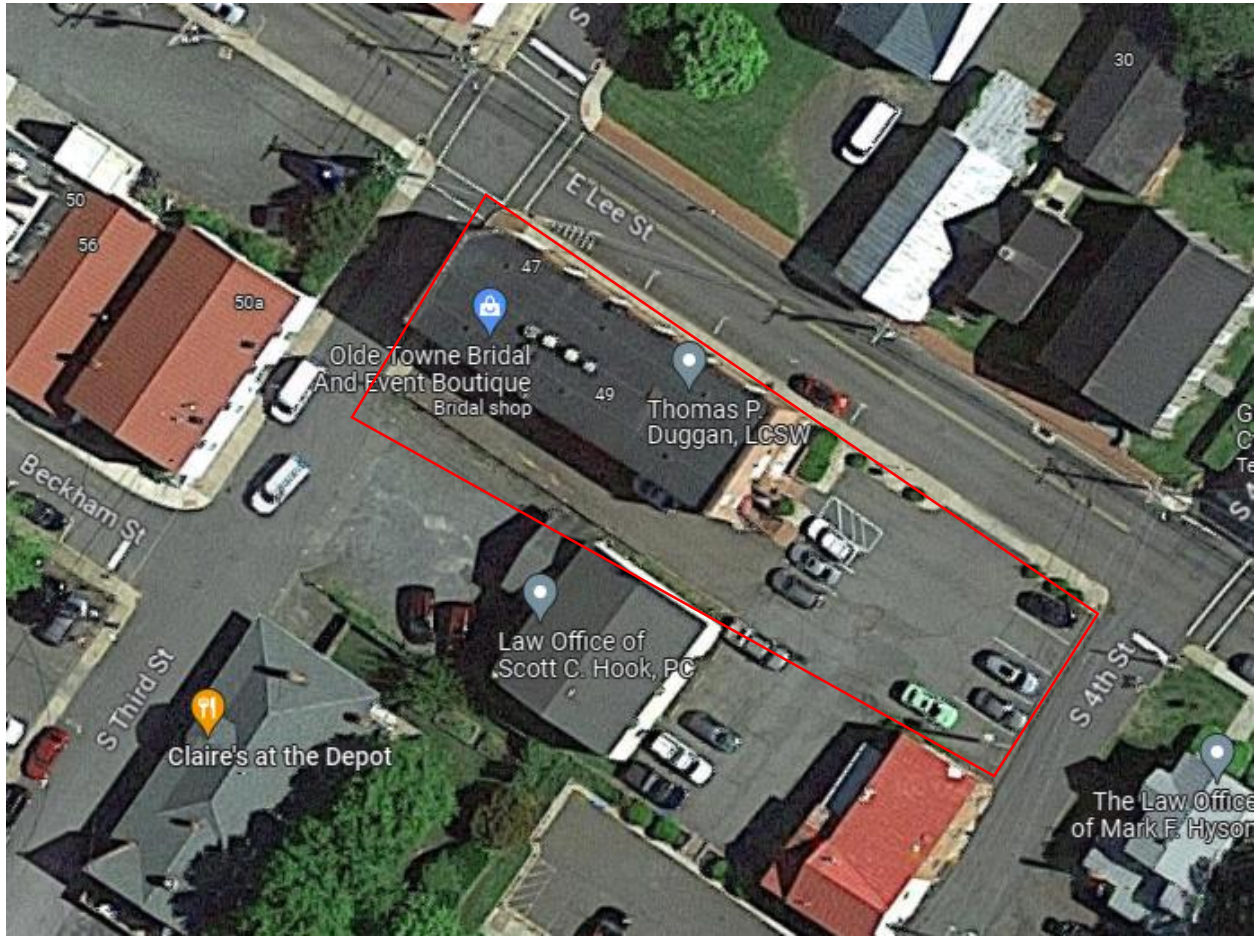
Seconded By:

For:

Against:

Abstained:

Vicinity Map – Street View



Photos:





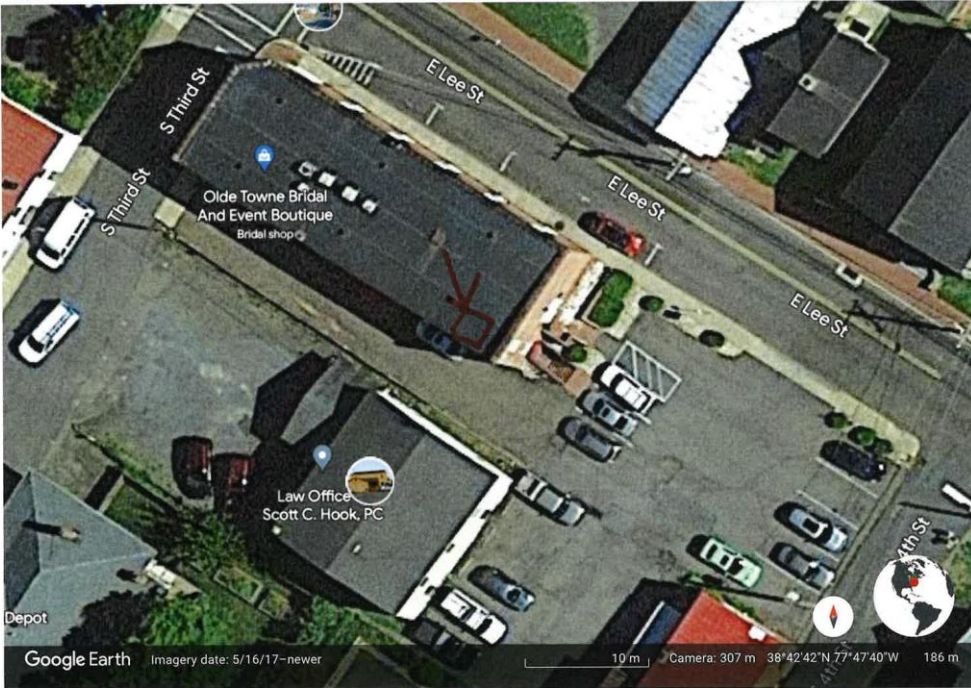
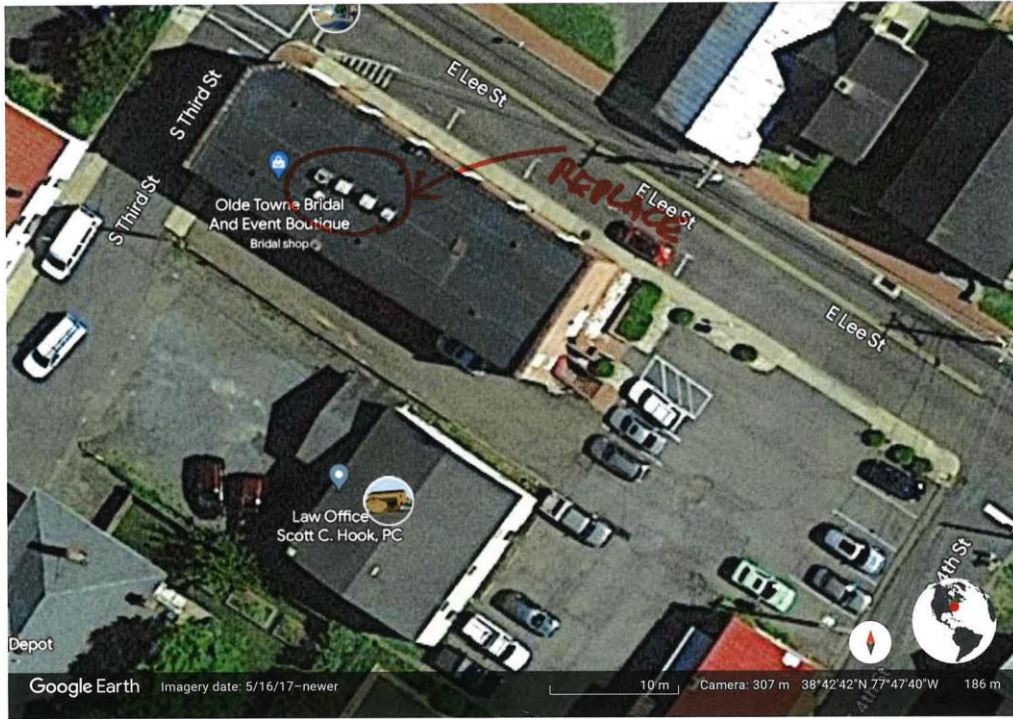
Plans:

Water line installation

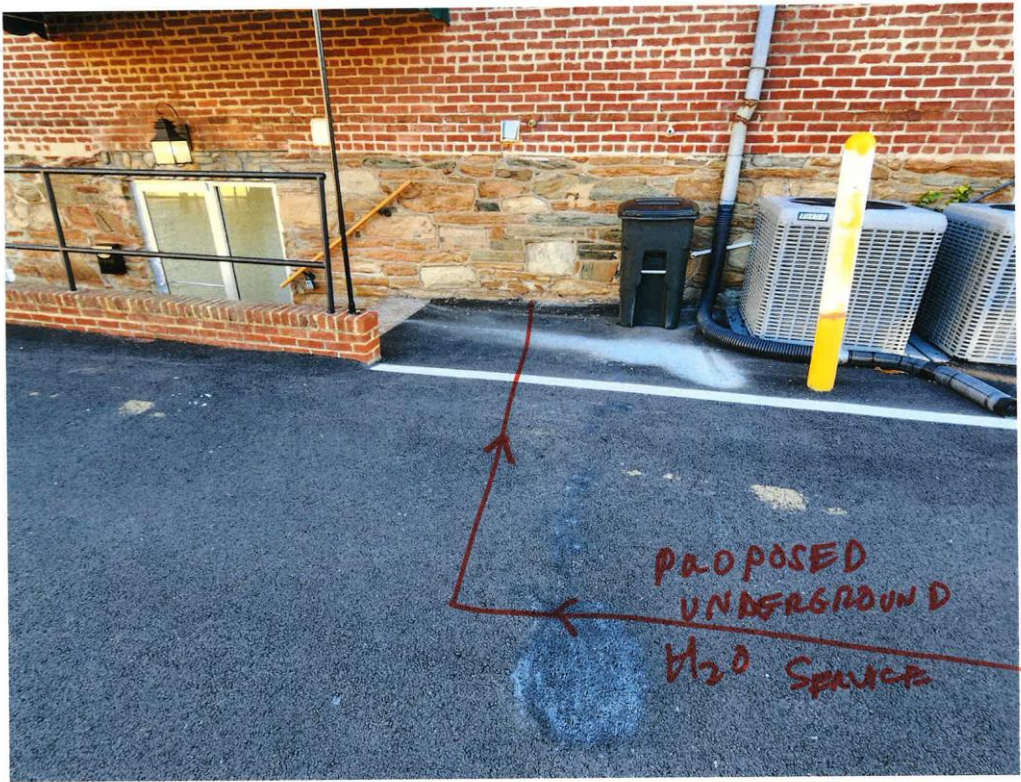
HVAC replacement with new Mini-Split System

Roof hatch/safety railing and hidden staircase installation





Water line installation will need to penetrate exterior of building:



Proposed Mini-Split System:

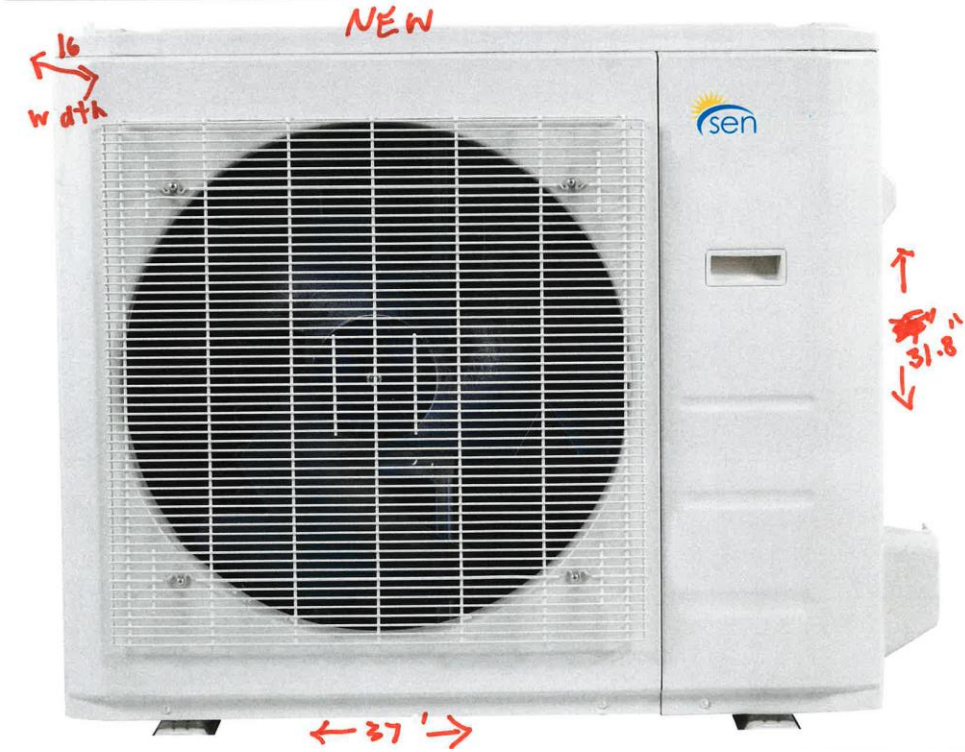
The Senville SENA-36HF/Q is a 36000 BTU ductless mini split air conditioner and heat pump with four zones. It is backed by a 10 Year Manufacturer Warranty and also offers the following key features:

- **23 SEER.**
Inverter



Technology. (*50% Savings per Year. vs. 10 SEER*)

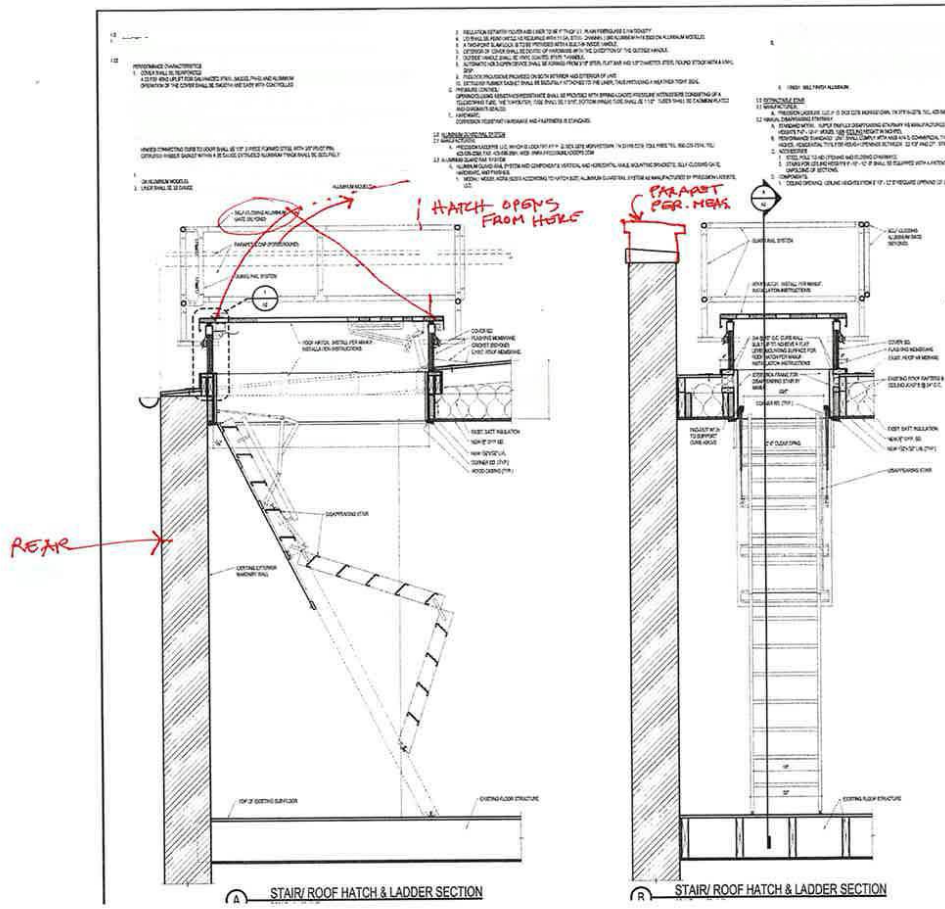
- Air Conditioner With **Arctic Heat Pump (Up to -30C / -22F)**. Great for Cold Climates!

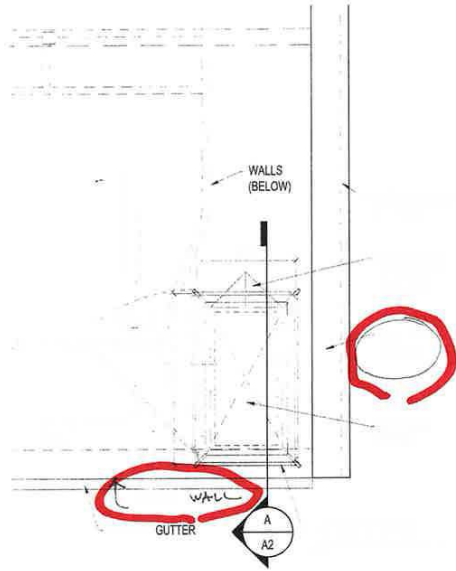


Existing Central System:



Proposed Roof Hatch/Safety Railing & Disappearing Stairway:





2A

Product Specifications:

**Super Simplex
Disappearing
Stairway**

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**Super Simplex
Disappearing
Stairway**

**Available With 2 Hour Fire Rating
Ceiling Heights Up To 13'6"**

**MEETS A.S.A.
#14.9-2019**

Precision Ladders, LLC
www.PrecisionLadders.com

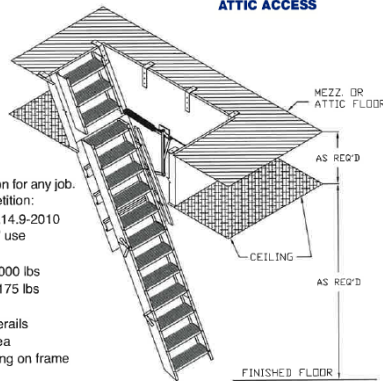
Precision Ladders, LLC • P.O. Box 2279 • Morristown, TN 37816
Phone: (800) 225-7814 or (423) 586-2265 • Fax: (423) 586-2091
email: stairwaysales@precisionladders.com • www.precisionladders.com

**Super Simplex
Disappearing
Stairway**

Precision Ladders, LLC
www.PrecisionLadders.com

Super Simplex Disappearing Stairway

ATTIC ACCESS



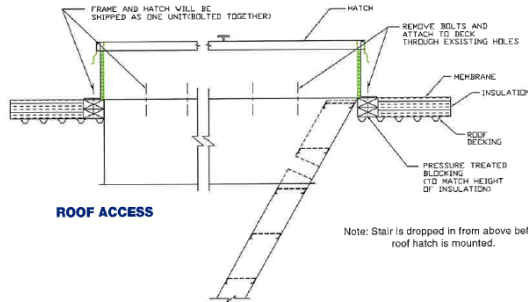
Precision offers customized construction for any job. Compare these features to the competition:

- Meets requirements of A.N.S.I. A14.9-2010 for "Commercial" or "Residential" use
- Test Weight of 500 lbs
- Individual tread test weights of 1000 lbs
- Actual shear of rivets tested to 1175 lbs
- Steel frame
- Extruded aluminum treads & siderails
- 5 3/16" x 18" (std) clear tread area
- Clear tread width varies depending on frame width (22 1/2" min - 39" max)

OPTIONS

- Lock on door panel (std on fire-rated unit)
- Special deep frame to accommodate dropped ceilings
- Recessed door panel for installation of ceiling finishes (on non-rated units only)
- Factory mounted roof hatch to utilize unit for roof access
- 2 hour fire-rated Warnock Hersey label that meets ASTM E-119 & UBC 43-7 requirements, passed 250° temperature rise in the first 30 minutes.
- Precision Fold-Assist (std on units 9'-10" and taller.)

Note: Best to install fire-rated units before drywalling ceiling



Note: Stair is dropped in from above before roof hatch is mounted.

Attachment A – Photos and Plans

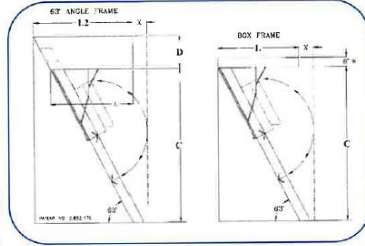
Use the drawings at right with the charts below to find the dimensions for stairway.

Required Information:

1. Floor to ceiling height ("C")
2. Distance from finished ceiling to floor above ("D")

If "D" is less than 12", the std box frame will work fine, only Chart 1 is needed.

If "D" is 12" or more, Chart 2 is needed to determine the opening size at the floor above.



For additional "D's" on Chart 2, please call the factory.

CHART 1

C (CEILING HEIGHT)	X (CLEARANCE)	L	Rough Opening in ceiling	Rough Opening in floor above*
7' 1" to 8' 0"	13"	53 1/4"	30" x 54"	30" x L2 + 3/4"
8' 1" to 8' 9"	14 1/2"	53 1/4"	30" x 54"	30" x L2 + 3/4"
8' 10" to 9' 9"	22"	53 1/4"	30" x 54"	30" x L2 + 3/4"
9' 10" to 10' 11"	18"	63 1/4"	30" x 64"	30" x L2 + 3/4"
11' 0" to 12' 0"	26"	63 1/4"	30" x 64"	30" x L2 + 3/4"
12' 1" to 13' 0"	26"	71 1/4"	22 1/2" x 72"	22 1/2" x L2 + 3/4"

* If std box frame is used, this dimension is the same as the ceiling opening. If 63° angle frame is used, see chart at right to determine "L2"

See Website for Rough Opening and Footprint Calculators

CHART 2

D	L2	D	L2
12"	L = 6 1/8"	31"	L = 15 13/16"
13"	L = 6 5/8"	32"	L = 16 3/16"
14"	L = 7 1/8"	33"	L = 16 13/16"
15"	L = 7 5/8"	34"	L = 17 5/16"
16"	L = 8 1/8"	35"	L = 17 13/16"
17"	L = 8 5/8"	36"	L = 18 3/16"
18"	L = 9 1/8"	37"	L = 18 13/16"
19"	L = 9 5/8"	38"	L = 19 3/16"
20"	L = 10 1/8"	39"	L = 19 13/16"
21"	L = 10 5/8"	40"	L = 20 3/8"
22"	L = 11 1/8"	41"	L = 20 7/8"
23"	L = 11 5/8"	42"	L = 21 3/8"
24"	L = 12 1/8"	43"	L = 21 13/16"
25"	L = 12 5/8"	44"	L = 22 3/8"
26"	L = 13 1/8"	45"	L = 22 7/8"
27"	L = 13 5/8"	46"	L = 23 3/8"
28"	L = 14 1/8"	47"	L = 23 13/16"
29"	L = 14 5/8"	48"	L = 24 3/8"
30"	L = 15 1/8"		

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**Super Simplex
Disappearing
Stairway**

Precision Ladders, LLC
www.PrecisionLadders.com

Product Details



Side Rail Hinge



Heavy Duty Tread



Adjustable Foot



Fold - Assist



Cable and Spring

**Super Simplex
Disappearing
Stairway**

Precision Ladders, LLC
www.PrecisionLadders.com



Specifications

**SECTION 11 33 00
RETRACTABLE STAIRS**

PART 1 - GENERAL

- 1.1 SECTION INCLUDES**
A. Manual disappearing stairways.

- 1.2 REFERENCES**
A. ANSI A14.9: Safety Requirements for Ceiling Mounted Disappearing Climbing Systems.

- 1.3 SUBMITTALS**
A. Submit under provisions of Section 01300.
B. Manufacturer's data sheets on each product to be used, including:
1. Preparation instructions & recommendations.
2. Storage and handling requirements & recommendations.
3. Installation methods.
C. Shop Drawings for Stairs:
1. Plan and section of stair installation.
2. Indicate rough opening dimensions for ceiling and/or roof openings.

- 1.4 DELIVERY, STORAGE, AND HANDLING**
A. Store stairway until installation inside under cover in manufacturer's unopened packaging. If stored outside, under a tarp or suitable cover.

- 1.5 WARRANTY**
A. Limited Warranty: One year against defective material and workmanship, covering parts only. Defective parts, as deemed by the manufacturer, will be replaced at no charge. Freight excluded, upon inspection at manufacturer's plant.

PART 2 PRODUCTS
2.1 MANUFACTURERS

- A. Acceptable Manufacturer:
Precision Ladders, LLC,
P.O. Box 2279, Morristown, TN 37816-2279;
Tel: 423-586-2265; Fax: 423-586-2091;
www.PrecisionLadders.com
B. Requests for substitutions will be considered in accordance with provisions of Section 01600.

2.2 MANUAL DISAPPEARING STAIRWAY.

- A. Standard Model: Super Simplex Disappearing Stairway as manufactured by Precision Ladders LLC. Stairs for ceiling heights 7'-0" – 12'-0". Model 1000 (ceiling height in inches). Stairs for ceiling heights 12'-1" – 13'-6". Model 2000 (ceiling height in inches).
B. Performance Standard: Unit shall comply with ANSI A14.9, Commercial Type, for rough openings between 27 inches to 39 inches. Residential Type for rough openings between 22-1/2 inches to 27 inches. Stairway capacity shall be rated at 500 lbs.
C. Accessories:
1. Steel pole to aid opening and closing stairways.
2. Stairs for ceiling heights 9' - 10' – 12' - 0" shall be equipped with a patented Precision Fold Assist to aid in folding and unfolding of sections. Stairs for ceiling heights 12' 1" – 13' 6" shall be equipped with 2 Fold Assists. Precision Fold-Assist is optional on stairways for ceiling heights of 9' 9" and below.
3. Keyed lock for door (standard on fire-rated models, optional on non-fire-rated models).

- D. Components:
a. Ceiling height of 9' 9" or less requires opening of 30" x 54"
b. Ceiling heights 9' 10" – 12' 0" require opening of 30" x 64"

- c. Ceiling heights 12' 1" – 13' 6" require opening of 22 1/2" x 72"
2. Stairway Stringer: 6005-T5 Extruded aluminum channel 5" x 1" x 1/8"; tri-fold design; steel blade type hinges; adjustable feet with plastic Mar-guard. Pitch shall be 63°.
3. Stairway Tread: 6005-T5 extruded aluminum channel 5 3/16 inches by 1 1/4 inches by 1/8 inch. Depth is 5 3/16 inches. Deeply serrated top surface. Riser Height: 9-1/2 inches. Clear Tread Width for Standard Width: 18 inches.
4. Railing: Aluminum bar handrail riveted to stringers, upper section only.
5. Frame:
a. If ceiling to floor (or roof deck) above is under 12", frame shall be 1/8" steel formed channel, box.
b. When ceiling to floor (or roof deck) above is 12" or greater, the frame shall be 1/8" steel, 63" (with built-in steps) on the hinge end, 90" on the other end, custom depth to fill distance from ceiling to floor above. This custom frame will require a longer opening in the floor above than is required at the ceiling level.
6. Door Panel:
a. Standard (non-fire rated) door shall be constructed of 1/8 inch (3 mm) aluminum sheet attached to stairway frame with a steel piano hinge. Door overlaps bottom flange of frame. Eye bolt accommodates pole for opening and closing door.
b. On fire-rated models, the door panel shall be constructed of 20 gauge steel and have a 2 hour fire rating for use in fire-rated ceiling assemblies as issued by Warnock-Horsey or other appropriate independent testing / licensing agency.
7. Hardware:
a. Steel blade type hinge connecting stringer sections. Zinc plated and clear trivalent chromate sealed.
b. Steel operating arms, both sides. Zinc plated and clear trivalent chromate sealed.
c. Double acting steel springs and cable, both sides.
d. Rivets rated at 1100 lb (499 kg) shear strength each.
e. Steel section alignment clips at stringer section joints.
f. Molded rubber guards at corners of aluminum door panel.
g. Finishes: Mill finish on aluminum stairway components. Prime coat on frame.

- 2.3 FABRICATION**
A. Completely fabricate stairway ready for installation before shipment to the site.

PART 3 EXECUTION

- 3.1 EXAMINATION**
A. Do not begin installation until rough opening and structural support have been properly prepared.
B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.
C. Examine materials upon arrival at site. Notify the carrier and manufacturer of any damage.

- 3.2 INSTALLATION**
A. Install in accordance with manufacturer's instructions.

- 3.3 PROTECTION**
A. Protect installed products until completion of project.
B. Touch-up, repair or replace damaged products before Substantial Completion.

- 3.4 FIELD QUALITY CONTROL**
The manufacturer has representatives in all areas of the United States and Canada. For the name of the closest representative, call (800) 225-7814.

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