



BOARD OF COMMISSIONERS REGULAR MEETING

Tuesday, March 04, 2025 at 6:00 PM

Historic Walton County Courthouse, 111 South Broad Street, Monroe Georgia

Phone: 770-267-1301 | Fax: 770-267-1400

AGENDA

1. PRESENTATIONS

- 1.1. Walton Youth Advocacy Board, Retirement Recognition - Maurice Hubbard and Doug Brown, Recognition of Achievements Walton Public Works, Tyler Pannell and Tara Gutierrez

2. MEETING OPENING

- 2.1. Pledge of Allegiance & Invocation
- 2.2. Call to Order
- 2.3. Roll Call

3. ADOPTION OF AGENDA

- 3.1. Additions/Deletions

4. DISCUSSION

- 4.1. County Manager's Report/Update

5. PLANNING & DEVELOPMENT

- 5.1. Z24-0059 - Rezone 9.00 acres from OI/R1 to B2 for office buildings with associated storage for commercial purposes, lease - Applicant/Owner: FIZCO Limited, Property located at 6285 Hwy. 20/Map/Parcel C0010018-District 2

Planning Commission recommended approval as submitted.

- 5.2. Z24-0065 - Rezone 9.05 acres to B3 for a tree service and auto repair shop - Applicant/Owner: Jose Alexander Lemus - Property located on Hwy. 78/Map/Parcel C0750160A00 - District 5

Planning Commission recommended approval as submitted.

- 5.3. Z25-0001 - Rezone 2.22 acres from R1 to A with a Conditional Use for short term rental (and variance to waive ADA requirements for short term rental) and conditional use for an event facility - Applicant: Ben Myers - Owner: Table Ventures LLC - Property located at 4850 Center Hill Church Rd./Map/Parcel C0290086 - District 3

Planning Commission recommended approval of rezone and approval of conditional use for short term rental, waiving the ADA requirements for the short term rental and approved withdrawal of the conditional use for event facility.

6. ADMINISTRATIVE CONSENT AGENDA / *All items listed below are voted on by the board in one motion unless otherwise specified by the Board*

6.1. Approval of February 11, 2025 Meeting Minutes

6.2. Contracts & Budgeted Purchases of \$25,000 or Greater

6.3. Declaration of Surplus

6.4. City of Loganville IGA - Library Construction Amendment (Amending the date for additional agreement concerning substantially all matters relating to the operations of the New Library.)

6.5. Approval of Burton Merchant Application - Onboarding TrueFiling - Probate Court

7. CONTRACTS

7.1. Change Proposals - Walnut Grove Park

#18 - CMU Control Joints on Buildings C & L, #25 - Additional Rock Removal, #27 - Roll Up Doors at Maintenance Bldg, #28 - Bldg. C & F Rigid Insulation Add, #29 - Sewer Lines Material Change, #30 - Softball Backstop Pole redesign (credit)

8. ACCEPTANCE OF BIDS/PROPOSALS

8.1. Acceptance of Proposal - Fire Station Roofing (6 Fire Stations)

9. PUBLIC COMMENT | *3 Minute Limit Per Speaker. To speak at the meeting please follow the instructions outlined at the end of this Agenda.*

10. ANNOUNCEMENTS

11. EXECUTIVE SESSION

12. ADJOURNMENT

If you are an individual with a disability and require special assistance at this meeting, please contact our office at [770-267-1301](tel:770-267-1301) at least 48 hours prior to the meeting and arrangements will be made.

People wanting to make a Public Comment before the Board of Commissioners must complete a Public Comment Form and return it to the County Clerk no later than 4:00 PM the day prior to the meeting. You may email, fax, mail or deliver the form. The form may be found on our website at www.waltoncountyga.gov.

For more information, please contact Rhonda Hawk.



Planning and Development Department Case Information

Case Number: Z24-0059

Meeting Dates: Planning Commission 02-06-2025

Board of Commissioners 03-04-2025

Applicant/Owner:
FIZCO Limited
105 Arcado Road
Lilburn, Georgia 30047

Current Zoning: The current zoning is OI/R1.

Request: Rezone 9 acres from OI/R1 to be B2 for office buildings with associated storage for commercial purposes.

Address: 6285 Hwy 20, Loganville, Georgia 30052

Map Number/Site Area: C0010018

Character Area: Highway Corridor

District 2 Commissioner-Pete Myers

Planning Commission-Chris Alexander

Existing Site Conditions: Property consists of 9.00 acres and is vacant land.



History:

Z04020011	FIZCO LTD	A1 to R1 & B3 Retail/Office/Res 6 lots	C01-18 Georgia Highway 20	Approved w/cond R1, OI
Z05070029	Fizco Limited/Hafiz	R1; OI to OI; B2 O-I – 5.75 B-2 3.30 Bus Park	C01-18 Georgia Highway 20	Denied

Z04020011 Conditions:

1. Approved for the 6.051 acres to R1 and 3.00 acres to O&I with conditions – 1. Planted buffer of 7 ft Leyland cypress planted on 6 ft centers to be maintained by the property owner.
2. Any lighting that is put up will be directed inwardly and all lighting except for security will be turned off by 8:00 or 9:00 p.m.

Staff Comments/Concerns: If approved, staff would recommend approval with conditions regarding the Architectural accents as noted in the Letter of Intent:

They will have architectural accents of natural stone and/or brick and varying horizontal and vertical fenestration elements will define the individual retail units and improve aesthetic appeal. Other architectural elements including columns and canopies will be employed as well. The office/warehouse buildings will also be attractive and include front facades with glass entry doors and exterior materials to include stucco, brick and/or stone. No metal siding will be used. The rear of the office/warehouse buildings will include loading bays.

Comments and Recommendations from various Agencies:**Public Works:**

Sheriffs' Department:

Water Authority:

Fire Marshal Review:

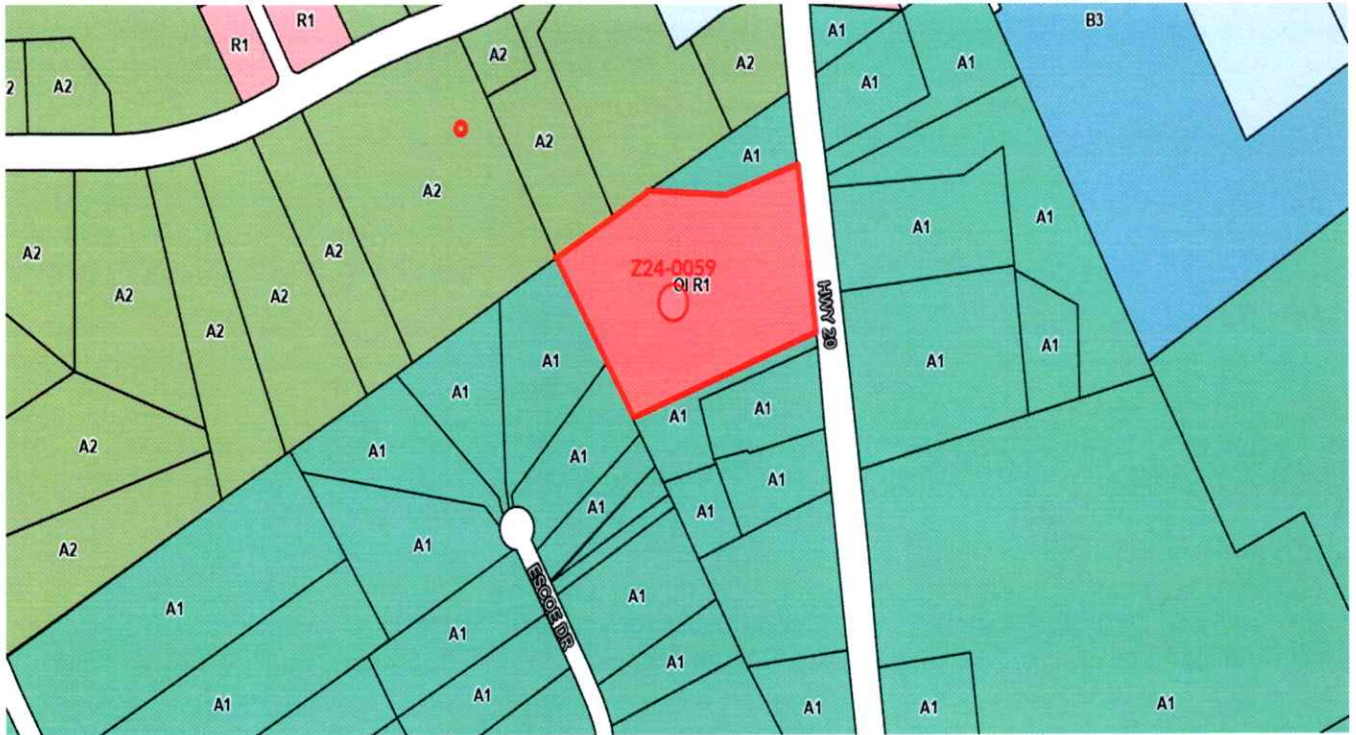
Fire Department Review:

Board of Education:

DOT Comments:

City of Monroe:

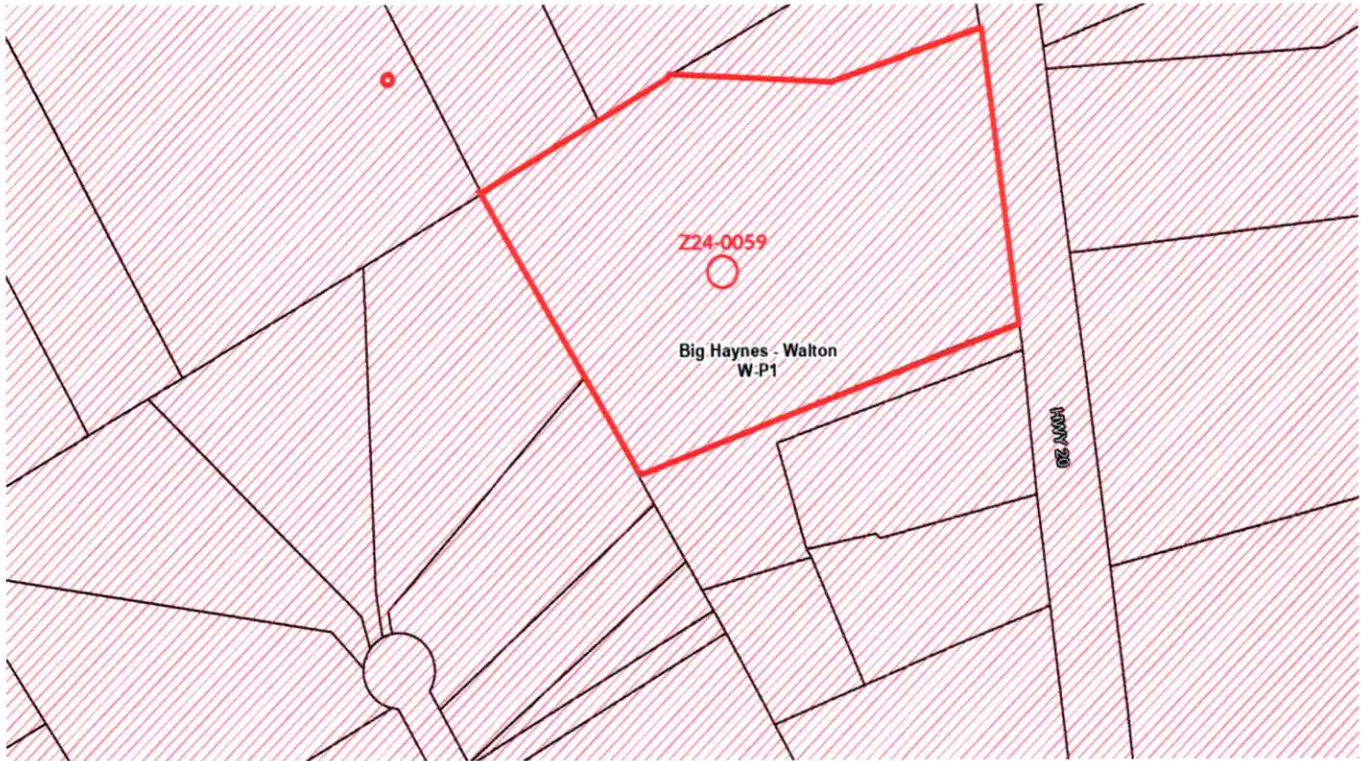
The surrounding properties are zoned A1 and A1/A2.



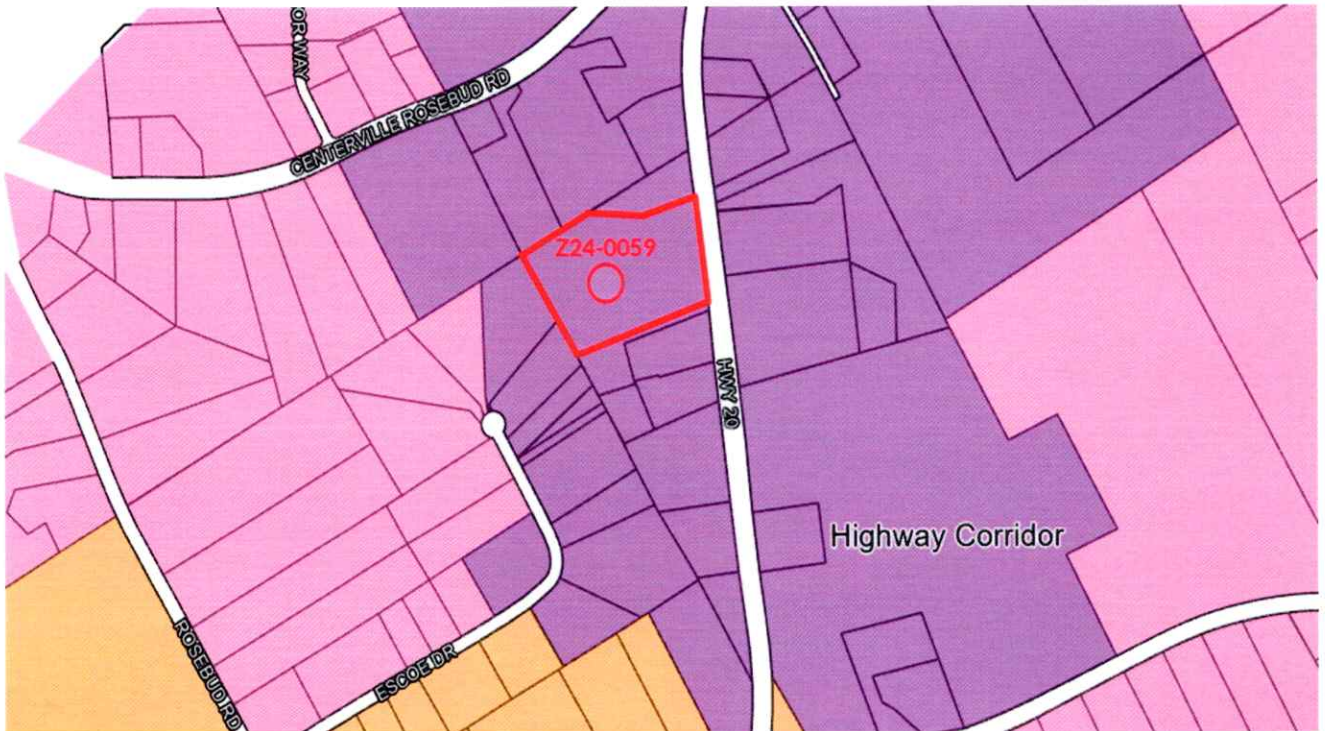
Subdivisions surrounding property:



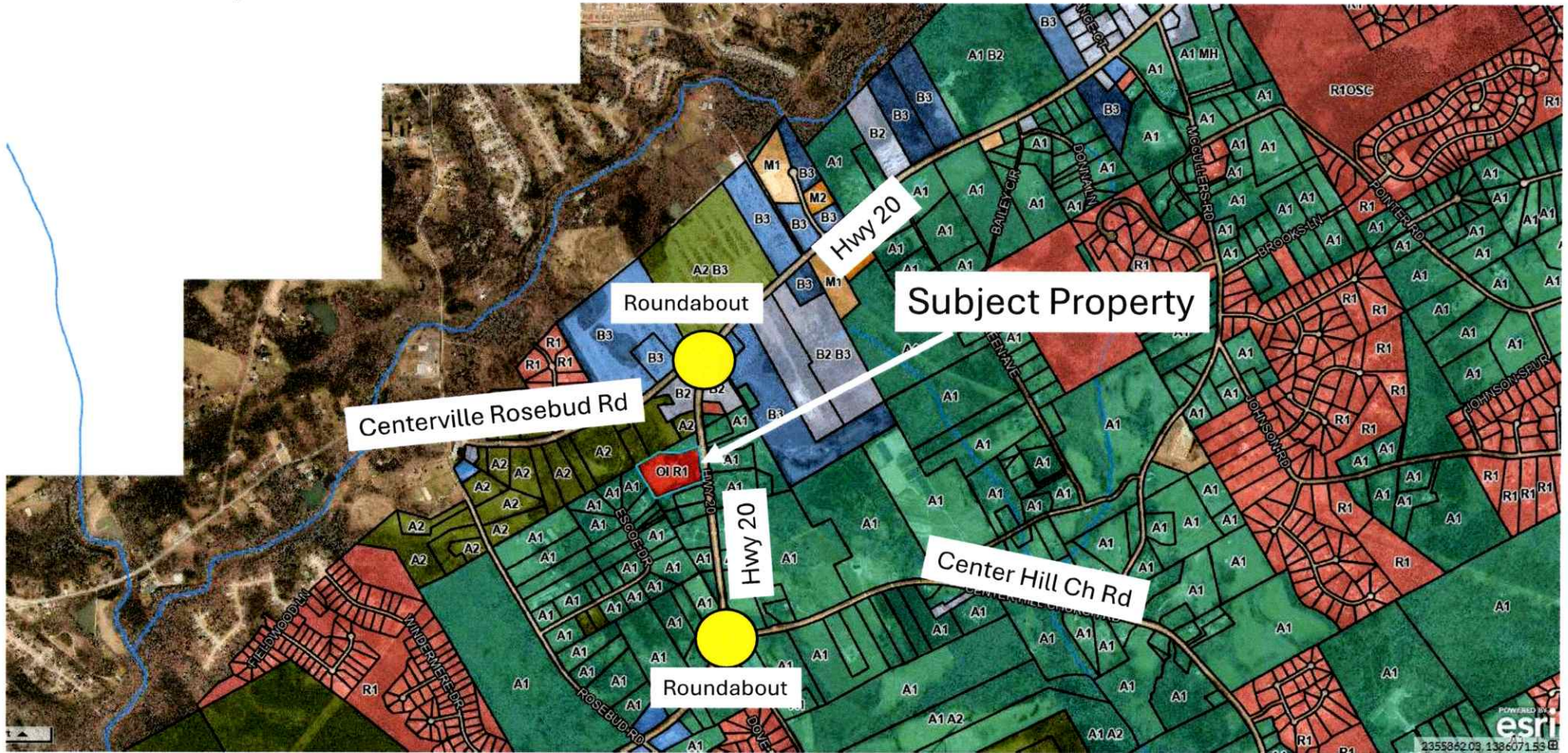
The property is in the Big Haynes Watershed.



The Future Land Use Map for this property is Highway Corridor.



Location Map



Rezone Application # 224-0059 Application to Amend the Official Zoning Map of Walton County, Georgia

Planning Comm. Meeting Date 2-6-2025 at 6:00PM held at **WC Historical Court House, 111 S. Broad St, Monroe, Ga (2nd Floor)**
Board of Comm Meeting Date 3-4-2025 at 6:00PM held at **WC Historical Court House**

You or your agent must be present at both meetings

Map/Parcel C0010018

Applicant Name/Address/Phone #	Property Owner Name/Address/Phone
<u>FIZCO Limited</u>	<u>Same as Applicant</u>
<u>105 Arcado Road</u>	<u></u>
<u>Lilburn, GA 30047</u>	<u></u>
<u>E-mail address: rhafiz@bellsouth.net</u>	<u>(If more than one owner, attach Exhibit "A")</u>
<u>Phone # 404-782-2060</u>	<u>Phone #</u>

Location: 6285 Hwy 20, Loganville Requested Zoning B2 Acreage 9

Existing Use of Property: Vacant

Existing Structures: None

The purpose of this rezone is -to construct office buildings with associated storage for commercial operations

Property is serviced by the following:

Public Water: X Provider: Walton County Well:

Public Sewer: Provider: Septic Tank: X

The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for planning and zoning personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.

[Signature] 12/04/24 \$ 550.00

Signature Date Fee Paid

Public Notice sign will be placed and removed by P&D Office
Signs will not be removed until after Board of Commissioners meeting

Office Use Only:

Existing Zoning OI/R1 Surrounding Zoning: North A1/A2 South A1
East A1 West A1

Comprehensive Land Use: Highway Corridor **DRI Required?** Y N ✓

Commission District: 2-Pete Myers Watershed: Big Haynes^{W-P1} Walton TMP

I hereby withdraw the above application _____ Date _____

AGENT AUTHORIZATION

Date: 12/18/24 Tax Map and Parcel Number(s): C0010018

PROPERTY ADDRESS: 6285 Hwy 20
Loganville, Georgia

PROPERTY OWNER: FIZCO Limited
105 Arcado Road
Lilburn, GA 30047

APPLICANT: FIZCO Limited
105 Arcado Road
Lilburn, GA 30047

ATTORNEY/AGENT: Andrea P. Gray, LLC
300 E Church Street
Monroe, GA 30655
(678) 364-2384

ACTION: Rezone 9 acres from OI-R1 to B2 for a commercial development.

The undersigned states under oath that it is the owner of the property and hereby authorizes Applicant through its Attorney/Agent to submit, execute and prepare any and all documents relating to or speak on its behalf regarding the request for a zoning of the property referenced herein.

ATTORNEY/AGENT

Andrea P. Gray

BY: Andrea Gray

Sworn to and subscribed before me this 18 Day of December 2024

Kaye Pickens
NOTARY PUBLIC



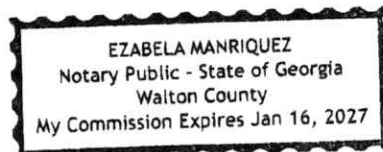
APPLICANT: FIZCO Limited

Rashid Hafiz

BY: Rashid Hafiz

Sworn to and subscribed before me this 4 Day of December 2024

Ezabela Manriquez
NOTARY PUBLIC



**AUTHORIZATION
BY PROPERTY OWNER**

I swear that I am the property owner of the property which is the subject matter of the attached Petition for Rezoning/Conditional Use Application, as is shown in the records of Walton County, Georgia.

I authorize the named below to act as Applicant in the pursuit of a Petition for Rezoning/Conditional Use Application.

Name of Applicant: FIZCO Limited

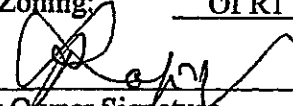
Address: 105 Arcado Road, Lilburn, GA 30047

Telephone: 404-569-4221

Location of Property: 6285 Hwy 20, Loganville, GA

Map/Parcel Number: C0010018

Current Zoning: OI R1 Requested Zoning: B2


Property Owner Signature

same as owner
Property Owner Signature

Print Name: Rashid Hafiz

Print Name: _____

Address: 105 Arcado Rd, Lilburn GA 30047

Address: _____

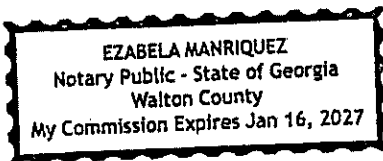
Phone #: 404-782-2060

Phone #: _____

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.


Notary Public

12-4-24
Date



Supplemental Responses to Application

A. Article 4, Part 4, Section 160 Standard Review Questions:

1. Existing uses and zoning of nearby property.

The Property is located at 6285 Highway 20 in Loganville, Georgia just south of the intersection of Centerville Rosebud Road and Hwy 20. Applicant purchased the property in 1998 with the intent to develop it in the future. Over recent years, the area has transitioned significantly to include many commercial uses including the Copart business which is less than 1/3 mile driving or 800 feet between property lines. The Property is directly bordered to its south, west and north by vacant or residentially occupied properties which are zoned A1 or A2. These properties are owned by Roy Lester, Jr. to the south, Smeu Iovescu and the Estate of Jerry Screws to the west, and Jeremy and Kimberly Hartzog, Didier and Andrea Madison, and Hannah Mitchell to the north. The Property is in the Highway Corridor Character Area which is suitable for B2 development and is located less than 1/10 mile from other property zoned B2 and owned by the Mitchell family.

2. The extent to which property values are diminished by the particular zoning restrictions.

The current OI/R1 zoning does not allow the uses which are already in place and developing in this transitional area. This area is transitioning to more commercial and industrial-support type uses as demonstrated by the Copart operations. The roundabout on Hwy 20 will also contribute to this transition. The Property's value as a residential/office development has been diminished as the area transitions. A B2 zoning would create consistency in the area and allow the Property to be used in a more desirable way.

3. The extent to which the destruction of property values of the plaintiffs promotes the health, safety, morals or general welfare of the public;

The applicant's development will provide retail and office/warehouse options for local business owners and serve the surrounding residential areas. This area of the County has long been lacking in basic variety of retail options. The office/warehouse development is also in high demand by businesses that complement or support the surrounding area. The development will increase

property values and the tax base for the County. It will also provide jobs, generate sales tax, and generally support the local economy.

4. The relative gain to the public, as compared to the hardship imposed upon the individual property owner;

Applicant's development will add a needed variety to retail/office/warehouse options in this portion of Walton County as stated in response to question 3 above. This is a very desirable location for commercial development which includes high quality buildings that will add to the aesthetics of the area and provide convenience for nearby residents and generate revenues and jobs for the area.

5. The suitability of the subject property for the zoned purposes; and

This Property is suitable for B2 zoning given the transitioning nature of the area. It is less than 1/3 mile driving or 800 feet between property lines from the B3-zoned Copart operations. The Property is in the Highway Corridor Character Area which is suitable for B2 development and is located less than 1/10 mile from other property zoned B2 and owned by the Mitchell family. The proposed development will utilize less than half of the 9-acre parcel leaving ample buffering for adjoining properties.

6. The length of time the property has been vacant as zoned, considered in the context of land development in the area in the vicinity of the property

Applicant has owned the Property since 1998. It is vacant and undeveloped. It previously had rental homes which fell into disrepair and were removed by the Applicant. Later, Applicant housed goats on the Property. The Property includes mature, wooded buffers and pasture areas in the center.



Andrea P. Gray LLC

Attorney at Law

December 20, 2024

Ms. Charna Parker
 Director
 Walton County Planning and Development
 303 S Hammond Drive
 Suite 98
 Monroe, GA 30655

Re: Applicant: FIZCO Limited
 Property Location: 6285 Hwy 20, Loganville, Georgia
 Tax Parcel: C0010018
 Request to rezone 9 acres from OI-R1 to B2

Dear Ms. Parker:

Fizco Limited (“Applicant”) is a long-time property owner in Walton County and seeks to develop its 9-acres at 6285 Highway 20 in Loganville designated as Tax Parcel C0010018 (the “Property”). The Property is in the highway corridor character area and in a location which is transitioning to more commercial uses. The Property is currently vacant but was previously occupied by rental houses. Applicant seeks to rezone the property to B2 to allow for the development of a retail commercial building fronting on Hwy 20 and office/warehouse buildings in the rear of the Property. The Property is located just south of the planned roundabout at Hwy 20 and Centerville Rosebud Road, just north of the planned roundabout at Hwy 20 and Center Hill Church Road, and just south and west of multiple properties zoned B2 and B3 which are set for future development or part of the Copart or SE Parking, LLC operations. Applicant’s proposal fits well within the developing area.

The proposed development will include one commercial retail building with ten units and two office/warehouse buildings with ten units each. The retail building will total approximately 12,000 sf and the office/warehouse buildings will total 24,000 sf. The retail buildings will be attractive and of high quality. They will have architectural accents of natural stone and/or brick and varying horizontal and vertical fenestration elements will define the individual retail units and improve aesthetic appeal. Other architectural elements including columns and canopies will be employed as well. Shop tenants will be determined based on market demand and will fit within



300 E Church Street, Monroe, GA 30655
 (678) 364-2384 www.andreapgray.com

the allowed B2 uses. The office/warehouse buildings will also be attractive and include front facades with glass entry doors and exterior materials to include stucco, brick and/or stone. No metal siding will be used. The rear of the office/warehouse buildings will include loading bays. Office/warehouse tenants will be determined based on market demand and will fit within the allowed B2 uses.

The development will be buffered from adjoining properties by a mature, wooded buffer and undeveloped area which will accommodate the septic field area. The development/impervious areas are less than half the site and is concentrated on the property closest to the road with the remaining acreage consisting of existing tree cover or septic field area. There is a 50-foot transitional buffer abutting all sides of the property except the road frontage, which road frontage has a 50-foot building setback and a stormwater pond.

The development will be an asset to the community through the creation of jobs, investment in the community, generation of sales and property taxes, and generally supporting the economy in the County. It is in an appropriate location near other commercial businesses and is consistent with the designated character area.

Applicant respectfully requests that the Property be rezoned from OI-R1 to B2 to allow for the construction of a high-quality commercial and office/warehouse development.

Please let me know if you have any questions.

Sincerely,



Andrea Gray
Applicant's Representative



Representative photos of buildings

Commercial Retail Spaces will have architectural accents of natural stone and/or brick and varying horizontal and vertical fenestration elements will define the individual retail units and improve aesthetic appeal. Other architectural elements including columns and canopies will be employed as well.





Office/Warehouse spaces entries will have stucco/stone/brick exteriors with glass doors. The rear of the buildings will include loading bays. No metal siding.





December 20, 2024

Notice of Preservation of Constitutional Objections

Re: Applicant/Owner: FIZCO Limited
 Property: 6285 Hwy 20, Loganville, Georgia
 Tax Parcel: C0010018
 Request to zone 9 acres from OI/R1 to B2

Georgia law requires that Applicant include in its rezoning record a statement of constitutional objections to put the deciding board on notice of the Applicant's assertion of its constitutional and legal rights to the requested rezoning. In accordance with this requirement, Applicant asserts the below and hereby incorporates all of the information and documents contained in its complete zoning application and any materials later added to the application record.

The current zoning of the Subject Property restricts said property in an unreasonable manner, is unconstitutional, null and void in that the restriction to the current zoning classifications affords the Applicant no reasonable use of the Property and is the equivalent of a taking of the Applicant's property rights without payment of just and adequate compensation and without due process in violation of the Fifth Amendment and Fourteenth Amendments to the Constitution of the United States, and Article I, Section I, Paragraph I, and Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia.

A refusal by the board to approve the rezoning requested by the Applicant to permit a reasonable economic return on the Applicant's investment and a reasonable use of the Property would therefore be unconstitutional, null and void and would be arbitrary, capricious and without a rational basis, thus constituting an abuse of discretion. Further, a refusal by the board would discriminate in an arbitrary, capricious, and unreasonable manner between the Applicant and owners of similarly situated properties in violation of the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States, and Article I, Section I, Paragraph II of the Georgia Constitution.

The continued application of the current zoning to the Subject Property results in little or no gain to the public in general and fails to promote the health, safety, morals or general welfare of the public and does not bear a substantial relation to the objectives of the Walton County, Georgia Zoning Ordinance, and would constitute a substantial reduction of the property value of the Applicant and is therefore confiscatory and void.

By filing this Statement of Constitutional Rights, the Applicant reserves all rights and remedies available to them under the United States Constitution, the Georgia Constitution, all applicable federal state and local laws and ordinances, and in equity.



300 E Church Street, Monroe, GA 30655
 (678) 364-2384 www.andreapgray.com



Planning and Development Department Case Information

Case Number: Z24-0065

Meeting Dates: Planning Commission 02-06-2025

Board of Commissioners 03-04-2025

Applicant/Owner:

Jose Alexander Lemus
566 Hoke OKelley Mill Rd SE

Loganville, Georgia 30052

Current Zoning: There is no current zoning on this property. (Property was deannexed to the county from the City of Monroe on April 2, 2024).

Request: Request zoning on 9.05 acres to be B3 for a tree service with outside storage and an auto repair shop.

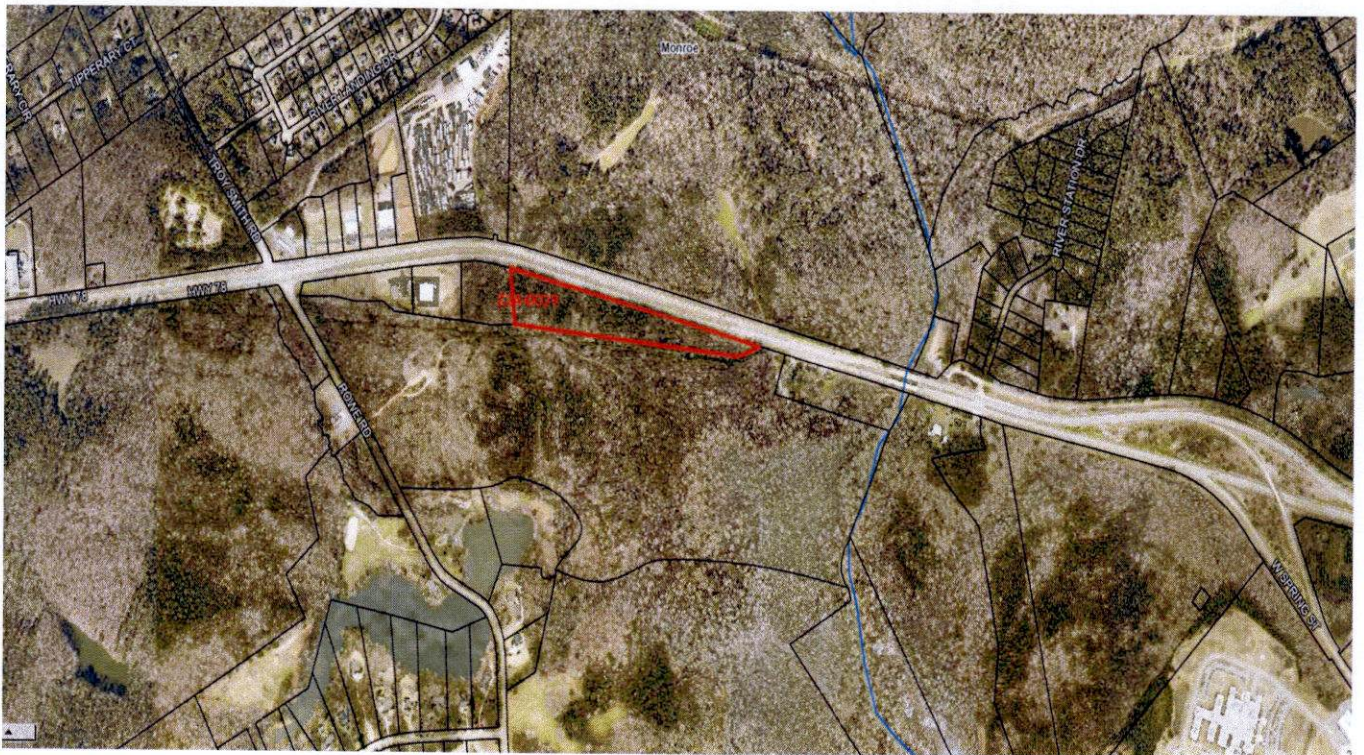
Address: Highway 78, Loganville, Georgia 30052

Map Number/Site Area: C0750160A00

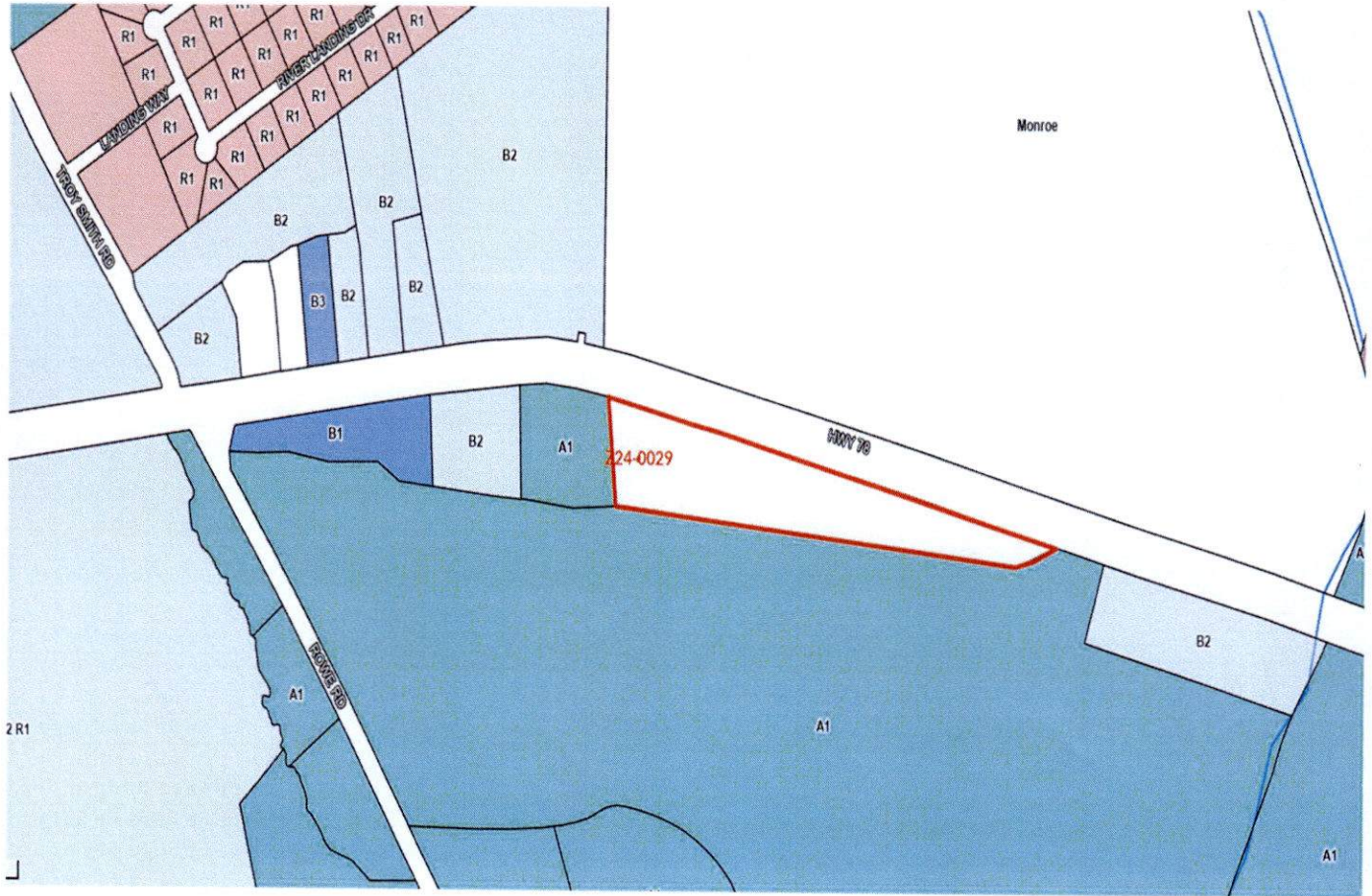
Character Area: Surrounding Properties are Employment Center

District 5 Commissioner-Jeremy Adams Planning Commission-Tim Hinton

Existing Site Conditions: Property consists of 9.05 acres and is vacant land.



The surrounding properties are zoned City of Monroe and A1.

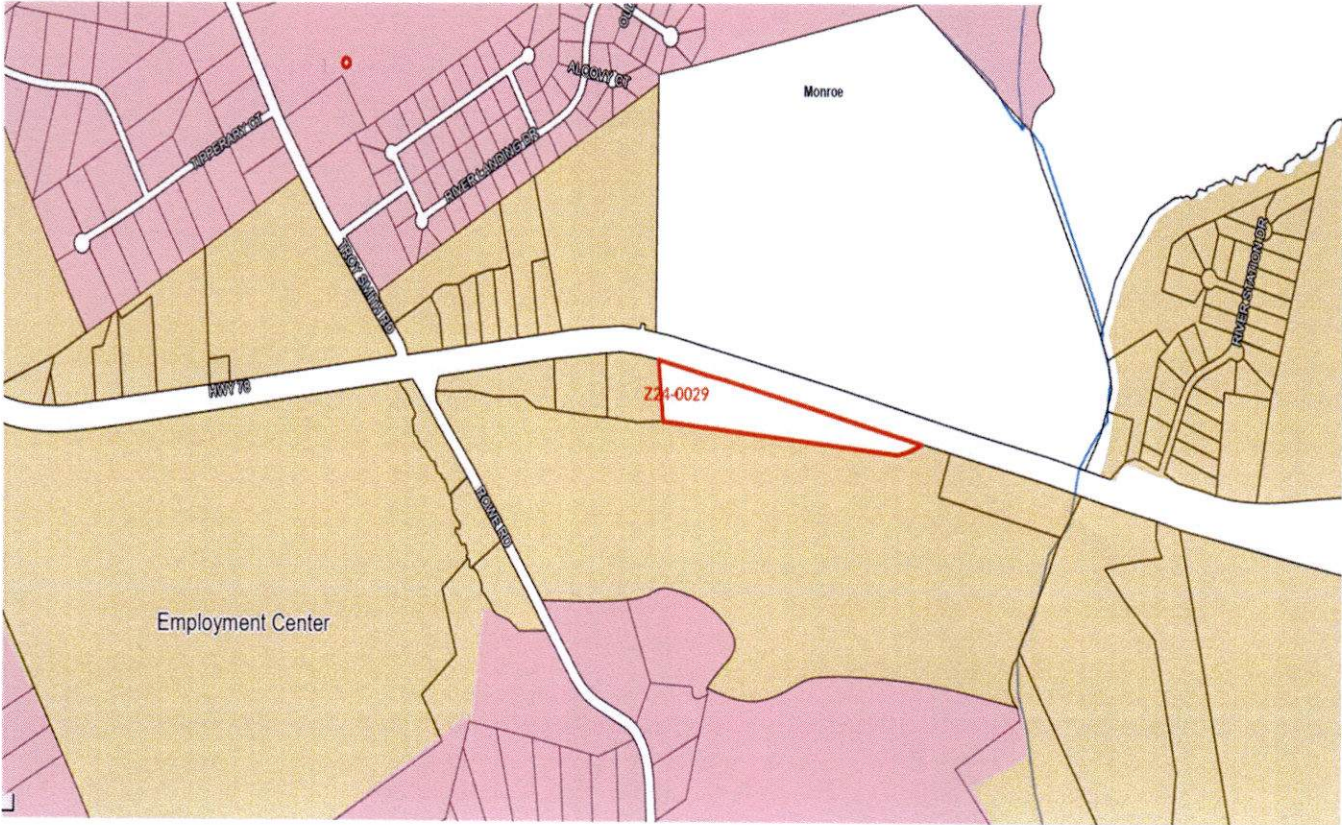


Subdivisions surrounding property:



The property is not located in a Watershed.

The Future Land Use Map for this property should be the same as surrounding properties which are Employment Center.



History: No History

Staff Comments/Concerns:

Comments and Recommendations from various Agencies:

Public Works: Public Works has no issue with approval of this request.

Sheriffs' Department: Addition of businesses along the Hwy 78 corridor will add an increase to the number of traffic related issues and potential accidents. These additional calls for service, along with other growth areas, will require additional staffing for the Uniform Patrol Division.

Water Authority: This area is currently served by an existing 10" diameter water main along Hwy 78. (static pressure: 110 psi, Estimated fire flow available: 2,500 gpm @ 20 psi). No system impacts anticipated.

Fire Marshal Review: Project shall comply with all codes set forth by the Office of Commissioner of Insurance State Fire Marshal Rules and Regulations, Walton County Ordinances, Life Safety Code and International Fire Code.

Fire Department Review: Impacts can include increased fire and emergency medial response.

Board of Education: Will have no effect on the Walton County Schools.

DOT Comments: Will require coordination with Georgia DOT.

PC ACTION 2/6/2025:

1. Z24-0065- Rezone 9.05 acres to B3 for a tree service and auto repair shop- Applicant/Owner: Jose Alexander Lemus-Property located on Hwy 78/Map/Parcel C0750160A00-District 5.

Presentation: Tip Huynh with Alcovy Consulting Engineering represented Jose Alexander Lemus and Mr. Lemus was also in attendance. Mr. Lemus owns 9.05 acres off Highway 78. Mr. Huynh stated that he spoke with Christopher Hash with Georgia DOT because there will be limited access to his property and the only place where they would be able to have access is where it is proposed on the site plan. His client currently owns Performance Tree Service in Loganville on the Gwinnett County side and would like to have his business moved to this location. He would like to rezone the property to B3 because he needs outdoor storage to go with his tree service and wants to have an auto repair shop. They are keeping the transitional buffers and are not asking for any Variances. They will be providing a DeCell Lane per conversations with Georgia DOT about the entrance. He stated right now they are in the design phase. This is vacant land and there will be a 50 ft. buffer along all residential. The owner does have crews that will be coming to the site in the morning and leave out to go to the job site. Hours of operation will be around 7:00 a.m. to 6:00 p.m.

Tim Hinton asked if there would be any debris brought back to the site to be stored or dumped and Mr. Huynh stated that it is a tree service, and the outdoor storage would be for equipment parking only. There will be 2 separate buildings which are 4,500 sq. ft. each. The building will have side entry or rear entry and there will be no rollup doors

facing Highway 78. The side entry will be on the main road and there will be a rollup door on the other side.

The other building will be for auto repair and the cars that are kept on the premises will be stored in a fenced area where they will not be visible from the road and will be in the rear of the property.

Timothy Kemp asked about the maximum time of storage of the vehicles and Mr. Lemus stated that the vehicles would only be on the property if they were waiting on parts which would be only 3 to 5 days and the number of vehicles on the property will vary if some vehicles are waiting on parts.

Mr. Lemus who owns the property and lives at 566 Hoke O'Kelley Mill Road in Loganville spoke. As far as the tree service business there will be business trucks on site and possibly 15 pieces of equipment like excavators and skid steers and as far as cars for the auto repair shop it may be 15 to 20 cars on site.

Josh Ferguson asked if both businesses would be for him, he stated that his would be the tree service, and the auto shop will be for a friend of his.

Josh Ferguson asked about clarification about a fence between the 2 buildings and no parking would be between the buildings. Mr. Huynh stated that the parking would be in the front and the left side would be a wider area most likely because of the transitional buffer.

Josh Ferguson asked how the businesses will be accessed and Mr. Huynh stated that there would be 2 separate parking areas and there will be roll up doors between the 2 buildings.

Chris Alexander asked about a 250 ft. DeCell Lane but no left-hand lane. Tim Hinton advised that the applicant has had a conversation with GDOT on the entrance and that they must comply with GDOT requirements.

Speaking: No one

Recommendation: Tim Hinton made a motion to recommend approval as submitted and was seconded by Timothy Kemp. The Motion carried unanimously.

**WALTON COUNTY, GEORGIA
RESOLUTION NUMBER 2024-05**

**A RESOLUTION
BY THE BOARD OF COMMISSIONERS
OF WALTON COUNTY**

**A Resolution Consenting to the Deannexation of
Certain Real Property from the City of Monroe, Georgia**

WHEREAS, the owners of the property described and identified on Exhibit "A" attached hereto and by this reference made a part hereof, have requested that said property be deannexed from the City of Monroe, Georgia; and

WHEREAS, O.C.G.A. Section 36-36-22 provides the procedures for the deannexation of land from a municipality within the State of Georgia; and

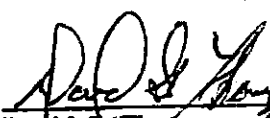
WHEREAS, O.C.G.A. Section 36-36-22 requires that the governing authority of Walton County consent to this proposed deannexation of property; and

WHEREAS, the deannexation of this property is in the best interest of Walton County, Georgia.


WHEREAS, the Walton County Board of Commissioners has adopted zoning regulations pertaining to all properties lying within unincorporated Walton County;

NOW THEREFORE, BE IT RESOLVED that the Walton County Board of Commissioners does hereby consent to the deannexation of the property described and identified on Exhibit "A" attached hereto, from the City of Monroe, Georgia subject to a zoning classification being established.

Adopted this 2nd day of April, 2024.



David G. Thompson, Chairman
Walton County Board of Commissioners

Attest: 

Rhonda Hawk, County Clerk
Walton County, Georgia



Exhibit "A"
Legal Description

All that tract or parcel of land lying and being in Land Lots 10 and 11 of the 4th District of Walton County, Georgia, being Tract #2 having 9.052 acres, more or less, as shown on a plat of survey entitled "Survey for: Equitable Partners II, LLC Fairfield Financial Services and Lawyers Title Insurance Corporation", dated October 5, 2008, prepared for Brewer & Dudisy, LLC, certified by John F. Brewer, III, Georgia RLS No. 2905, filed at Plat Book 98, Page 33, of the Walton County, Georgia, Superior Court Records; said plat of survey and the record thereof being incorporated herein for a more metes and bounds description of the property conveyed.

This is the same property described in Warranty Deed from Alcovy River Station, LLC to True Life Ministries, Inc., dated September 12, 2013, recorded September 16, 2013, at Deed Book 3585, Page 443, Walton County, Georgia records.

Subject Property Address: 0 Highway 78, Monroe, GA 30655
Parcel ID: C0750160A00

Rezone Application # Z 24-0065

Planning Comm. Meeting Date 2-6-2025 at 6:00PM held at **WC Board of Comm. Meeting Room**
Board of Comm Meeting Date 3-4-2025 at 6:00PM held at **WC Historical Court House**
You or your agent must be present at both meetings

Map/Parcel C0750160A00

Applicant Name/Address/Phone #	Property Owner Name/Address/Phone
<u>ALEXANDER LEMUS</u>	<u>ALEXANDER LEMUS.</u>
<u>566 HOKE OKELLEY MILL RD SE</u>	<u>566 HOKE OKELLEY MILL RD SE</u>
<u>LOGANVILLE, GA 30052</u>	<u>LOGANVILLE, GA 30052</u> (If more than one owner, attach Exhibit "A")
Phone # <u>(678) 977-7813</u>	Phone # <u>(678) 977-7813</u>
Location: <u>HWY 78 MONROE, GA 30655.</u> Requested Zoning <u>B-3</u> Acreage <u>8.919</u> <u>9.05</u>	
Existing Use of Property: <u>VACANT.</u>	
Existing Structures: <u>N/A</u>	
The purpose of this rezone is <u>Requesting a change of zoning from A-1 to B-3 to allow for construction of a tree service contractor office and an auto repair shop.</u>	
Property is serviced by:	
Public Water: <input checked="" type="checkbox"/>	Provider: <u>Walton County Water Department</u> Well: _____
Public Sewer: _____	Provider: _____ Septic Tank: <input checked="" type="checkbox"/>
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for planning and zoning personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>[Signature]</u>	Date <u>12/24/24</u> Fee Paid \$ <u>550</u>
Public Notice sign will be placed and removed by P&D Office Signs will not be removed until after Board of Commissioners meeting	
Office Use Only: <u>No Zoning - Deannexed into Walton from City of Monroe</u>	
Existing Zoning <u>+</u>	Surrounding Zoning: North <u>City of Monroe</u> South <u>A1</u> East <u>A1</u> West <u>A1</u>
Surrounding properties are _____	
Comprehensive Land Use: <u>Employment Center</u>	DRI Required? Y _____ N <u>✓</u>
Commission District: <u>S-Jeremy Adams</u>	Watershed: <u>—</u>

I hereby withdraw the above application _____ Date _____

ANALYSIS OF ZONING MAP AMENDMENT IMPACT

- 1. The existing uses and zoning of nearby property.

The existing uses of nearby property are General Business District (B-1, B-2 and B-3) to the northwest and west and A1 to the west and South the subject property.

- 2. The extent to which the destruction of property values are diminished by the particular zoning restrictions.

The owner cannot develop their land in a similar fashion as nearby properties which are currently zoned B1, B2, and B3.

- 3. The extent to which the destruction of property values of the plaintiffs promotes the health, safety, morals and general welfare of the public;

The proposed land use change represents a fair balance. This area is emerging as a commercial district, with surrounding tracts are already zoned B1, B2 and B3.

- 4. The relative gain to the public, as compared to the hardship imposed upon the individual property owner.

If rezoned, the property will be developed in accordance with the B3 zoning standard, which will create additional jobs, promote growth of this region, and better meet the demand for commercial services of this region. The property cannot reasonably be used as a rural estate due to increasing land prices. The property also doesn't have a reasonable economic use in comparison to nearby property that is zoned B-1, B-2 and B3.

- 5. The suitability of the subject property for the zoned purposes; and

The proposed zoning is consistent with the trend of nearby property. If approved, this property will be used as a general contracting office with outdoor storage and auto repair shop similar the property to the northwest and east of the subject property.

- 6. The length of time the property has been vacant as zoned, considered in the context of land development in the area in the vicinity of the property.

The property had been and is currently vacant.

TO: Walton County Planning and Development
126 Court St.
Monroe, Georgia 30655

December 23, 2024

SUBJECT: Letter of Intent, Hwy 78 Monroe, GA 30655 – Parcel number C0750160A00

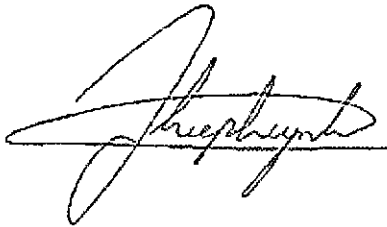
To Whom It May Concern,

A rezone request of the property which had recently been deannexed from The City of Monroe with no current zoning designation assigned for the subject property located at Hwy 78 Monroe, GA 30655. – Parcel number C0750160A00 to B-3 to allow for the construction of a tree service contractor office and an auto repair shop.

We look forward to developing this project in Walton County, as we feel it fits with the current development patterns in the area and will complement the needs of both Walton County and our client's proposed business.

For questions or further information please contact me 770-466-4002.

Sincerely,

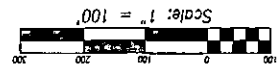
A handwritten signature in black ink, appearing to read 'Thiep Huynh', written in a cursive style with a long horizontal stroke extending to the left.

Thiep Huynh, P.E.
Consultant

THIS PLAN IS A REPRODUCTION OF AN ORIGINAL PLAN OR PARTS OF LAND OR DOCUMENTS ON WHICH A NEW PLAN HAS BEEN MADE AND CHANGES TO THE ORIGINAL PLAN OR DOCUMENTS HAVE BEEN MADE BY THE REPRODUCER. THE REPRODUCER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE ACCURACY OF THE ORIGINAL PLAN OR DOCUMENTS. THE REPRODUCER HAS CONDUCTED A VISUAL INSPECTION OF THE ORIGINAL PLAN OR DOCUMENTS AND HAS FOUND NO APPARENT ERRORS OR OMISSIONS. THE REPRODUCER HAS CONDUCTED A VISUAL INSPECTION OF THE ORIGINAL PLAN OR DOCUMENTS AND HAS FOUND NO APPARENT ERRORS OR OMISSIONS. THE REPRODUCER HAS CONDUCTED A VISUAL INSPECTION OF THE ORIGINAL PLAN OR DOCUMENTS AND HAS FOUND NO APPARENT ERRORS OR OMISSIONS.

DATE: JUN 11, 2024

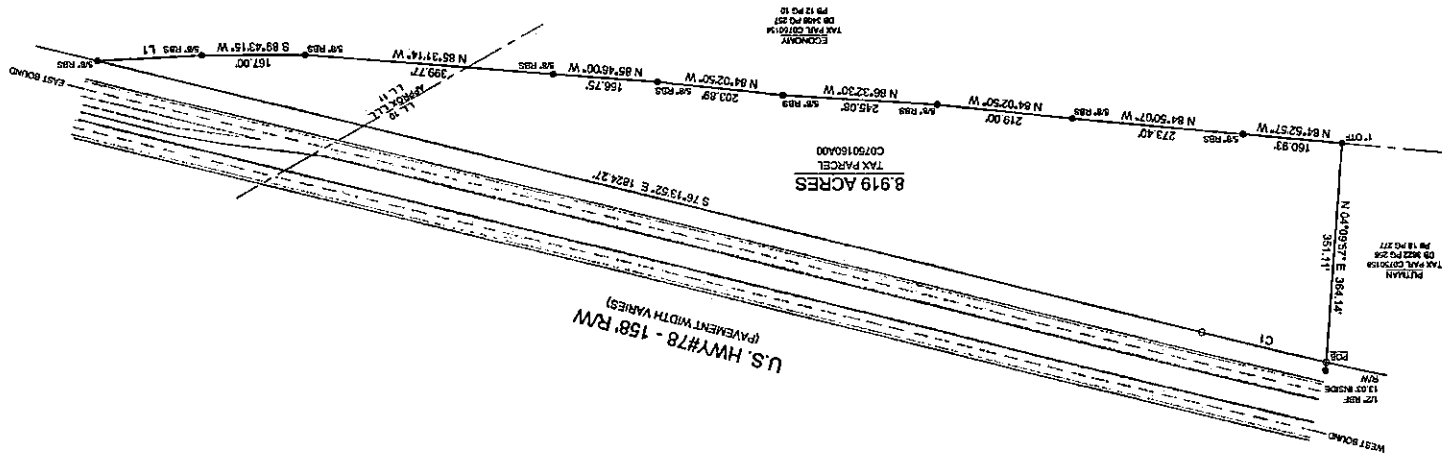
SCALE: 1" = 100'



Field Date: 05.27.24
 Closure: 1 part 20.574'
 Adjusted By: Computer Rule
 Acquired Error: 2'
 Original Date: 05.27.24
 Original Scale: 1 part 1,170.876'
 Original Closure: 1 part 1,170.876'
 Original Date: 05.27.24
 Original Scale: 1 part 1,170.876'

Field Date: 05.27.24
 Closure: 1 part 20.574'
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 Original Scale: 1 part 1,170.876'
 Original Closure: 1 part 1,170.876'
 Original Date: 05.27.24
 Original Scale: 1 part 1,170.876'

- RETRACEMENT SURVEY FOR:**
- LEGEND
 - POB - POINT OF BEGINNING
 - CL - CENTERLINE
 - BL - BOUNDARY LINE
 - LL - LAND LOT
 - LTL - LAND LOT LINE
 - RBS - RIGHT-OF-WAY BOUNDARY
 - OPF - OPEN TOP PINE FOUND
 - RI - RIGHT-OF-WAY INTERSECTION
 - PP - POWER POLE
 - LP - LIGHT POLE
 - SM - SANITARY SEWER MANHOLE
 - OSP - OVERHEAD POWER



CURVE #	CURVE BEARING	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	S 76°34'09" E	8196.46'	204.22'	204.22'	204.22'
L1	S 87°00'00" W	187.14'			

FROM THE POINT OF BEGINNING OF THE SOUTHERN R/W FRONT ON THE BOUNDARY R/W OF U.S. HWY#78, 158' TO A POINT ON THE BOUNDARY R/W OF U.S. HWY#78, 158' A FLOOD HAZARD ZONE SETBACK TO THE PARCEL FROM A 1/2" REBAR FOUND INSIDE SAID R/W.

NO PORTION OF THIS PROPERTY LIES WITHIN A FLOOD HAZARD ZONE DATED 12/28/2018.

STATE OF GEORGIA
 DEPARTMENT OF REVENUE
 DIVISION OF REVENUE CONTROL
 1200 N. W. CORNER OF
 1200 N. W. CORNER OF
 1200 N. W. CORNER OF
 1200 N. W. CORNER OF
 1200 N. W. CORNER OF



Planning and Development Department Case Information

Case Number: Z25-0001

Meeting Dates: Planning Commission 02-06-2025

Board of Commissioners 03-04-2025

Applicants:

Ben Myers
1523 Roscoe Davis Road
Monroe, Georgia 30656

Owner:

Table Ventures LLC
1523 Roscoe Davis Road
Monroe, Georgia 30656

Current Zoning: The current zoning is R1.

Request: Rezone 2.22 acres from R1 to A and a conditional use for short term rental and small events and appeal ADA requirements.

Address: 4850 Center Hill Church Road, Loganville, Georgia 30052

Map Number/Site Area: C0290086

Character Area: Suburban

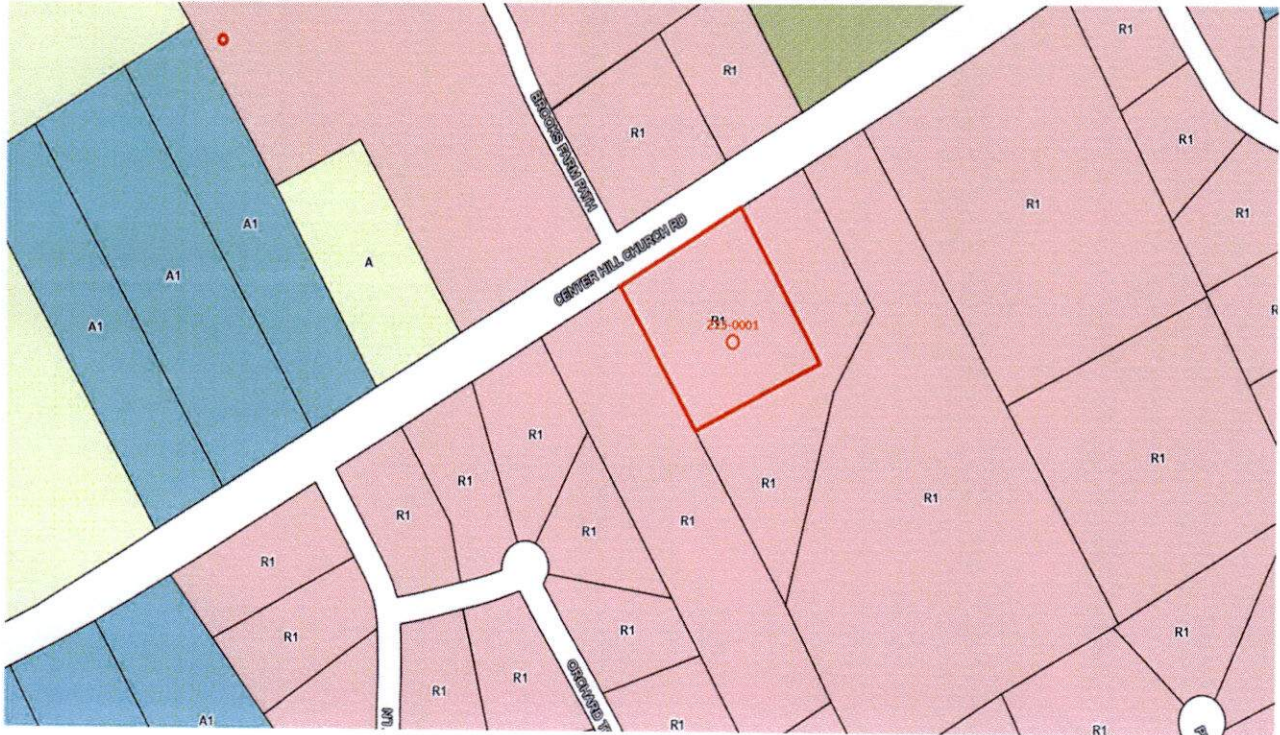
District 3 Commissioner-Timmy Shelnett

Planning Commission—John Pringle

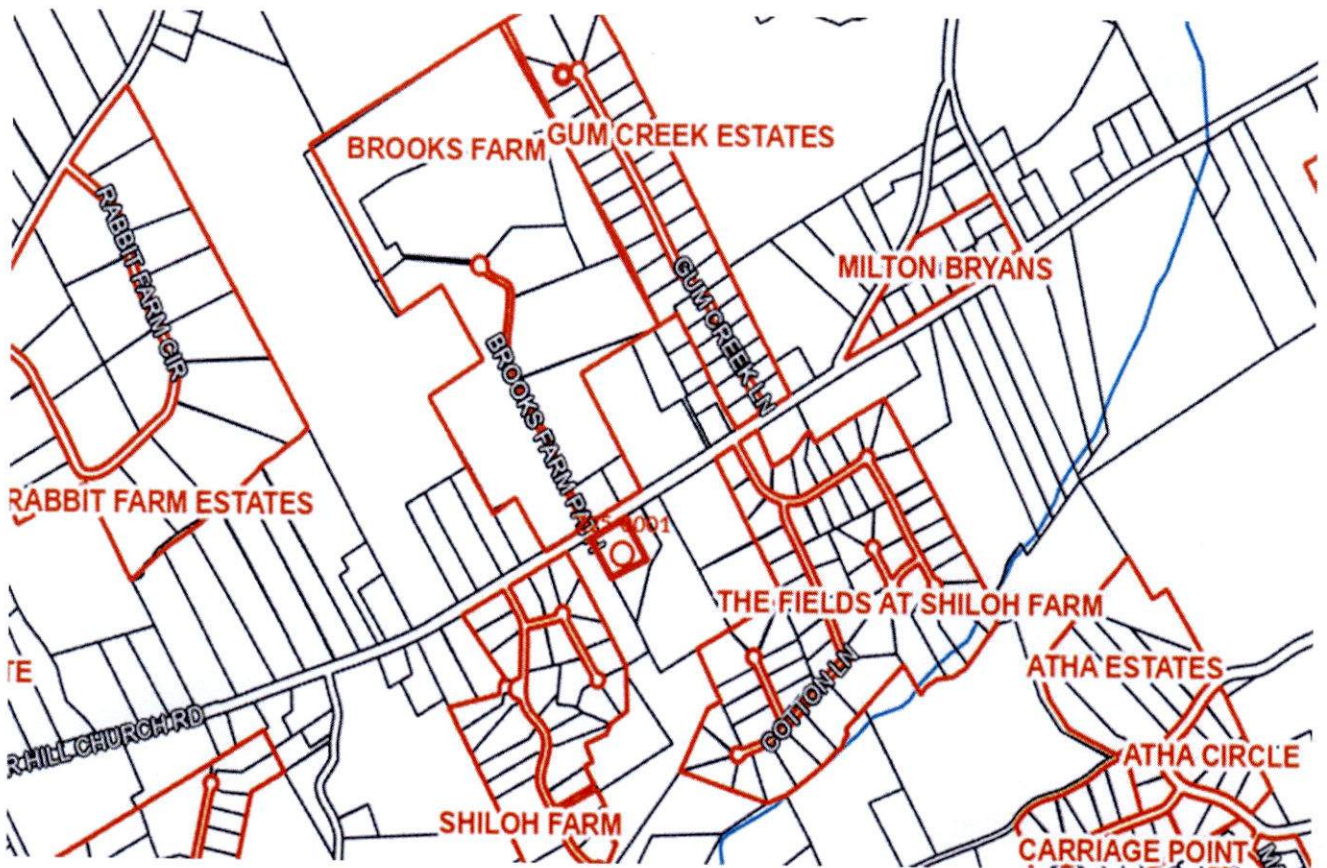
Existing Site Conditions: Property consists of 2 houses.



The surrounding properties are zoned R1.

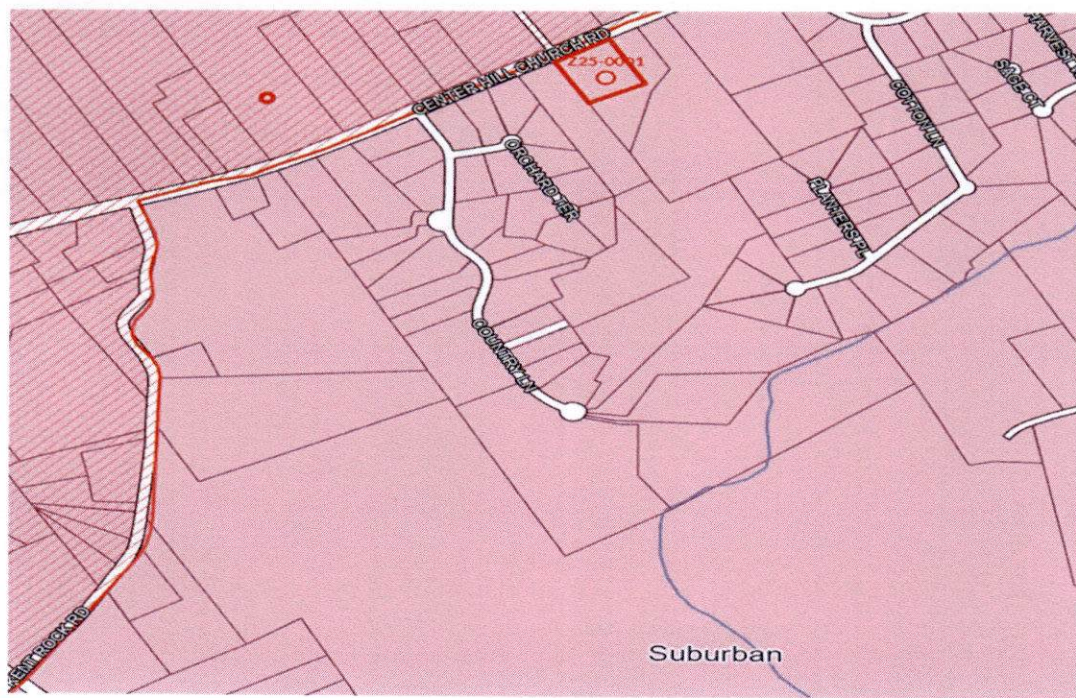


Subdivisions surrounding property:



The property is not in a Watershed.

The Future Land Use Map for this property is Suburban.



History: No History

Staff Comments/Concerns:

Comments and Recommendations from various Agencies:

Public Works: Public Works recommends a commercial driveway if approved for an event venue for safe ingress/egress.

Sheriffs' Department: Entry and exit from the corridor will present traffic issues and will require intermittent traffic control. Lack of intermittent traffic control will result in traffic related issues and potential accidents.

Water Authority: This area is served by an existing 8" diameter water main along Center Hill Church Road. (static pressure: 75 psi, Estimated fire flow available: 1,550 gpm @ 20 psi). No system impacts anticipated.

Fire Marshal Review: Historic buildings are not completely exempt from ADA code and shall not be given full ADA exemption. Historic buildings shall comply with Ga ADA 120-3-.12 Accessible Buildings: Historic Preservation as adopted. More information can be found at web.gfsic.ga.gov.

Fire Department Review: Impacts can include increased fire and emergency medical response. Technical rescue may be of concern if the building does not meet ADA code.

Board of Education: Will have no affect on the Walton County Schools.

DOT Comments: Will not require GDOT coordination.

PC ACTION 2/6/2025:

1. Z25-0001- Rezone 2.22 acres from R1 to A and a Conditional Use for short term rental and small events and Appeal ADA requirements-Applicant: Ben Myers-Owner: Table Ventures LLC-Property located on 4850 Center Hill Church Rd/Map/Parcel C0290086-District 3.

Presentation: Ben Myers represented the case, and he lives at 5323 Roscoe Davis Road in Monroe, but he used to live at this address. He stated that the property is zoned R1, and he would like to rezone to A for short term rental. He stated that there are 2 homes on the property. There is one in the front and there is a small one in the rear, and they would like to waive the ADA requirements. The original home was built in the 1900's and is 684 sq. ft and the other one was also built in the 1900's and they would like to do short term rental and small events. There is only 2.22 acres so it can't be a very large event but maybe 50 to 80 people and there is plenty of parking in the back.

He stated that they have had family parties there and there is plenty of parking in the back. He stated that they do not want to do ADA due to the houses being historical. This property has been in his family for years.

John Pringle asked if anyone was living on the property now and Mr. Myers stated it was vacant, but they have had family gatherings and personal events with 50 or more people. Mr. Pringle stated that the ADA requirements are State and Federal requirements and you can't waive them.

Mr. Myers stated that they are asking for short term rental and these homes have been rented out in the past.

Tim Hinton asked so the conditional use is for an event facility and Mr. Myers stated that was correct.

Josh Ferguson stated that with the conditional use you would be turning the property into commercial use and ADA is required.

Ben Myers stated that it will be advertised as not ADA accessible.

Tim Hinton advised that a residential rental does not have to be ADA accessible, and houses are not mandated to have ADA requirements and that the Board can waive the ADA requirements for short term rental but not for the event facility.

Charna Parker, Director of Walton County Planning & Development stated that they are requesting the ADA requirements be waived because that is what is listed in our code for short term rental.

Kylie Myers asked if they removed the conditional use for the event facility that in the future can they have a pavilion and do the ADA requirements, and she was advised that she would need to come back before the board.

Josh Ferguson said that there are zoning categories and occupancy requirements for an event facility.

Wesley Sisk asked if their goal was for a wedding venue and Ms. Myers stated that was correct.

Josh Ferguson advised the Applicant that he may want to consult with an architect and see if there are ways that they might can meet the ADA requirements.

Josh Ferguson advised that this property is not on the Historic Registry and Kylie Myers stated not yet but they would love for it to be.

Josh Pringle asked if the small house was the site for temporary events and would both places use the same driveway to the house.

Michelle Trammel asked so you are only requesting short term rental on both, and they stated yes. Tim Hinton stated so if you remove the portion about event venue you would only be using both properties for short term rental and Mr. Myers stated that was correct.

John Pringle said what about the recommendations for the ADA accessible and Mr. Pringle was advised that they would drop the ADA requirements since it will only be for short term rental.

Speaking: No one

Recommendation: John Pringle made a motion to recommend approval as amended for short term rental and waive ADA requirements and remove the conditional use for an event venue and was seconded by Tim Hinton. The Motion carried unanimously.

Rezone Application # 225-0001 Application to Amend the Official Zoning Map of Walton County, Georgia

Planning Comm. Meeting Date 2-6-2025 at 6:00PM held at **WC Historical Court House, 111 S. Broad St, Monroe, Ga (2nd Floor)**

Board of Comm Meeting Date 3-4-2025 at 6:00PM held at **WC Historical Court House**

You or your agent must be present at both meetings

Map/Parcel C0290086

Applicant Name/Address/Phone #

Property Owner Name/Address/Phone

Ben Myers

Table Ventures, llc

1523 Roscoe Davis Rd Monroe

(Ben Myers)

678-618-3062

E-mail address: tableventures@gmail.com (If more than one owner, attach Exhibit "A")

Phone # 678-618-3062

Phone # (Same)

Location: 4850 centurhill Requested Zoning A7 Acreage 2.2

Existing Use of Property: residential

please see next page for specifics

Existing Structures: White house, original house, smokehouse, barn

The purpose of this rezone is Short term stays +

small event venue

Property is serviced by the following:

Public Water: yes Provider: Walton County Water Well

Public Sewer: N/A Provider: N/A Septic Tank: yes

The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for planning and zoning personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.

Ben Myers
Signature

12/31/24
Date

\$ _____
Fee Paid

Public Notice sign will be placed and removed by P&D Office

Signs will not be removed until after Board of Commissioners meeting

Office Use Only:

Existing Zoning R1

Surrounding Zoning: North R1 South R1
East R1 West R1

Comprehensive Land Use: Suburban **DRI Required?** Y _____ N /

Commission District: 3-Timmy Shelton Watershed: _____ TMP /

I hereby withdraw the above application _____ Date _____

Article 4, Part 4, Section 160 Standard Review Questions:

Provide written documentation addressing each of the standards listed below:

1. Existing uses and zoning of nearby property;

Existing Zoning of nearby properties consist of range from R, A, B3, B1. Uses of residential homes (R), Petting zoo across the street (A), Auto shop down the rd (B3) & small event space (B-2).

2. The extent to which property values are diminished by the particular zoning restrictions;

Properties nearby benefit from a well maintained, historical home that is accessible to the community.

3. The extent to which the destruction of property values of the plaintiffs promotes the health, safety, morals or general welfare of the public;

I do not see negatives of a well maintained historical home being accessible to the community.

4. The relative gain to the public, as compared to the hardship imposed upon the individual property owner;

The gain is great to the public. This home is known by long term locals and this rezone would allow locals to have access and enjoy it's unique charm.

5. The suitability of the subject property for the zoned purposes; and

This property provides a charming and unique experience for short term guests and can do the same for small events. There are no plans to add permanent structures but we may use a temporary tent and/or bathrooms for small events.

The lay of the land provides ample room for parking and a temporary tent/bath room if/when needed.

6. The length of time the property has been vacant as zoned, considered in the context of land development in the area in the vicinity of the property

The surrounding areas don't have new construction that I am aware of and the property hasn't been vacant.

We would like to request
to have property rezoned to

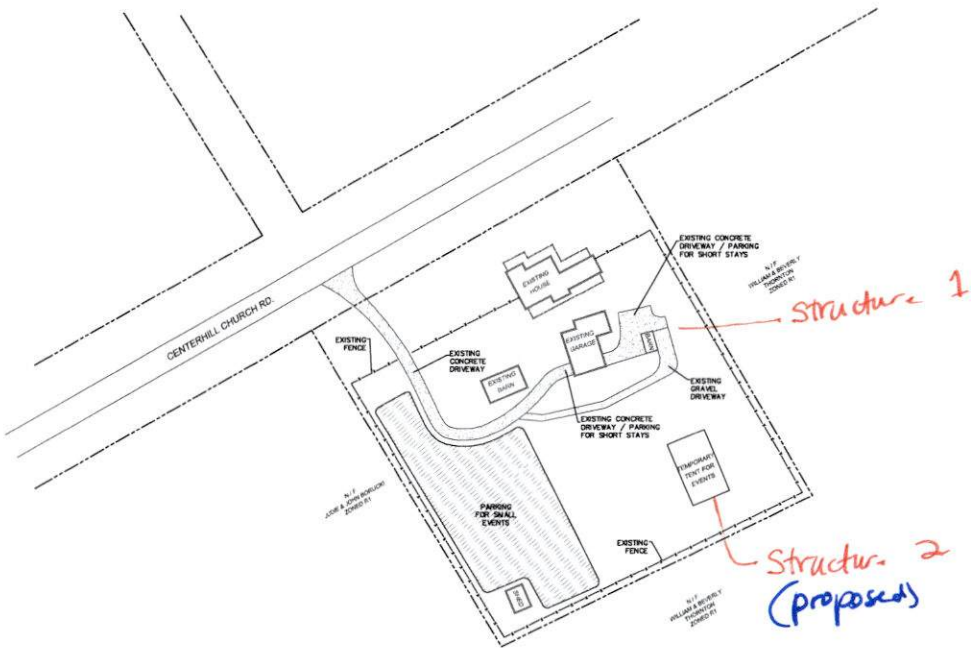
A with conditional use for

Short stays and Small event

Venues

We'd like to request a
variance to not be required to
meet ADA requirements because
of homes historical nature.

One home was built in 1800's +
other prior to 1920 and meeting
ADA requirements would require
us to alter is historical structure.



VICINITY MAP
N.T.S.

SITE

CURRENT ZONING R-1, REQUESTED ZONING A

TOTAL SITE AREA = 2.22 ± ACRES
PROPOSED USE = SHORT TERM STAYS, EVENTS

REQUESTED CONDITIONAL USE:
USE FOR SHORT TERM STAYS AND SMALL EVENTS

REQUESTED VARIANCE:
REQUEST TO WAIVE ALL MODIFICATIONS TO HISTORIC STRUCTURES



1411 Nashville Farms Rd. Phone: 404-411-0366
Monroe, Georgia 30605 Email: info@atcivil.com
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SITE PLAN

4850
CENTERHILL CHURCH
ROAD

2.22 ACRES
PARCEL ID: C0290086
LAND LOTS 208
4TH LAND DISTRICT
4850 CENTERHILL CH RD.
WALTON COUNTY, GEORGIA

12-30-2024

SCALE: 1" = 50'

OWNER / APPLICANT
TABLE VENTURES, LLC
1523 ROSCOE DAVIS ROAD
MONROE, GA 30656

24 HOUR - EMERGENCY CONTACT
KYLIE MYERS
678-227-1031

REVISIONS

DATE	DESCRIPTION

JOB: 4850 CENTERHILL CH RD

SHEET 1



Structure # 1

Item 5.3.





December 31, 2024

Dear Planning and Development,

I am submitting this application for re-zoning at 4850 Center Hill Church Rd in Loganville. It is currently zoned R-1 and I would like to have it changed to:

A - with conditional use for short term stays and small events. Variance requested to not comply with ADA requirements because that would require altering the historical nature of property.

Eventually we plan to submit an application for making this property an official historical home in the State of Georgia. There are 2 homes on this property, the original home built in the 1800's by the Leach family and then the main house built prior to 1920 also built by the Leach family. After siblings William, James, & Sarah Leach passed without having children, the property foreclosed. My uncle, Hugh Myers, purchased it at that time and since then it has been in the Myers family. Growing up in the adjacent neighborhood my wife and her family adored this house and we were thrilled to have the opportunity to purchase it in 2016. We've envisioned sharing this special place with our community by having a small event venue and having it serve as a short term rental until venue can support expenses of upkeep by itself.

Thank you for consideration of our request in zoning change and permission of conditional use with variance.

Sincerely,

Ben Myers
Owner
678-618-3062

February 11, 2025

The Walton County Board of Commissioners held its regular monthly meeting on Tuesday, February 11, 2025, at 6:00 p.m. at the Historic Walton County Courthouse. Those participating in the meeting included Chairman David Thompson, Commissioners Bo Warren, Pete Myers, Timmy Shelnut, Jeremy Adams, Lee Bradford via telephone and Kirklyn Dixon, County Clerk Rhonda Hawk, County Manager John Ward, Planning Director Charna Parker, and Attorney Chris Atkinson. A list of employees and citizens in attendance at the meeting is on file in the auxiliary file under this meeting date.

PRESENTATIONS

County Manager John Ward recognized Jeff Carr on his retirement and several citizens who rendered aid to stranded motorist during the winter storms. DeDe Harris and advocates from Piedmont Walton and Monroe Police Department gave an update on the Walton Mental Health Taskforce.

MEETING OPENING

Chairman Thompson called the meeting to order at 6:05 p.m. and led the Pledge of Allegiance. Commissioner Shelnut gave the invocation.

ADOPTION OF AGENDA

Chairman Thompson requested that the Public Comment Section be moved and heard before Discussion and stated the rules for Public Comment.

PUBLIC COMMENT

Bruce Trask representing members of the 4H Shotgun Team spoke in opposition to complaints being made against the team and the location of their shooting range on Criswell Road. Charles Woods who owns neighboring property spoke against the shooting range location citing noise and safety issues.

DISCUSSION

County Manager's Report/Update

County Manager John Ward gave an update on county matters to the Board.

PLANNING COMMISSION RECOMMENDATIONS

Planning and Development Director Charna Parker presented a Planning Commission recommendation that was tabled on 12/5/24 and stated that all code enforcement issues on the property had been resolved.

Z24100006 - Rezone 2.40 acres from A2 to B2 for industrial building to lease - Applicant: Rich Wade/Owner: Wade Nation LLC-Property located on 2384 Hwy 278/Map/Parcel C1580022-District 4 (Tabled for 60 days on 12/5/24).

***Motion:** Chairman Thompson made a motion, seconded by Commissioner Shelnett to approve the rezone as requested. Chairman Thompson, Commissioners Warren, Myers, Shelnett, Adams and Dixon voted in favor. Commissioner Bradford opposed the motion. The motion passed 6-1.*

ADMINISTRATIVE CONSENT AGENDA

- 1. Approval of January 7, 2025 Meeting Minutes
- 2. Contracts & Budgeted Purchases of \$25,000 or Greater
- 3. Declaration of Surplus
- 4. Acceptance of Bid – WCPSC Access Road – Summit Construction, \$1,590,000.00 (For the Record)
- 5. Fiscal Agent Designation Acceptance Agreement – Partnership for Families Children and Youth
- 6. Change Order – WCPSC (For the Record)

***Motion:** Commissioner Dixon made a motion to approve Items 1-5 of the Administrative Consent Agenda. Commissioner Adams seconded the motion. All voted in favor.*

***Motion:** Chairman Thompson made a motion to approve Item 6 of the Administrative Consent Agenda. Commissioner Shelnett seconded the motion. Chairman Thompson, Commissioners Warren, Myers, Shelnett and Adams voted in favor with Commissioners Dixon and Bradford abstaining. The motion passed 5-2.*

HUMAN RESOURCES

Resolution and Adoption Agreement Amendment #2 ACCG Defined Benefit Plan for Walton County Employees

***Motion:** Commissioner Adams made a motion to adopt the Resolution, closing the Defined Benefit Plan to new employees effective 2/12/2025 and raise the required employee contribution to 4% for those remaining in the plan. Commissioner Warren seconded the motion. All voted in favor.*

Resolution and Adoption Agreement Amendment #1 ACCG 401(a) Defined Contribution Plan for Walton Co. Employees

***Motion:** Commissioner Shelnett made a motion to adopt the Resolution requiring new employees beginning 2/12/2025 to make a mandatory 5% contribution to the 401A retirement plan. The County will match the required contribution. Commissioner Adams seconded the motion. All voted in favor.*

Recommendation - Condrey & Associates - Pay and Classification for Walton Co. Employees

At 6:50 p.m., during discussion of the Condrey & Associates recommendation, the Chairman

temporarily recessed the meeting for first responders to render aid to someone with a medical emergency. The meeting continued at 6:59 p.m.

Motion: *Chairman Thompson made a motion, seconded by Commissioner Adams, to accept the recommendation from Condrey & Associates; voted and carried unanimously.*

Request for Associate Judge for Juvenile Court

Motion: *Commissioner Shelnutt made a motion to approve the request for a new Associate Judge for Juvenile Court. Commissioner Warren seconded the motion and all voted in favor.*

Request for Associate Probate Judge/Staff Attorney

Motion: *Commissioner Adams made a motion, seconded by Commissioner Myers to approve the request to hire an Associate Probate Judge/Staff Attorney. All voted in favor.*

CONTRACTS

Change Proposal #7 - Removal of East Wall - Umpire Bldg. - Walnut Grove Park

Change Proposal #15 - Building C & G - Revised Gas Line - Walnut Grove Park

Change Proposal #22 - Amphitheater AVL Infrastructure Add - Walnut Grove Park

Motion: *Commissioner Dixon made a motion to approve Change Proposal #7, #15 and #22 for Walnut Grove Park. Commissioner Adams seconded the motion; voted and carried unanimously.*

Motorola Solutions Change Order and ATT/Motorola Subscription Software Addendum - Maintenance for Additional Radio's - Sheriff's Office

Motion: *Chairman Thompson made a motion to approve the Motorola Solutions Change Order and ATT/Motorola Subscription Software Addendum pending review by the county attorney. Commissioner Adams seconded the motion and all voted in favor.*

RESOLUTIONS

Resolution to Opt Out of The Homestead Exemption Pursuant to O.C.G.A. § 48-5-44.2

Motion: *Commissioner Dixon made a motion, seconded by Commissioner Shelnutt to adopt the Resolution opting out of HB 581, Homestead Exemption pursuant to O.C.G.A. § 48-5-44.2. All voted in favor.*

APPOINTMENTS

Northeast Georgia Solid Waste Management Authority Board of Directors

Motion: *Commissioner Adams made a motion to reappoint Kenny Sargent of Keep Walton Beautiful and John Allman of Walton Co. Public Works for a four-year term on the Northeast*

Georgia Solid Waste Management Authority Board of Directors. Commissioner Shelnett seconded the motion; voted and carried unanimously.

Advantage Behavioral Health Systems Community Service Board

***Motion:** Commissioner Adams made a motion to reappoint Penny Shirley to the Advantage Behavioral Health Systems Community Service Board. Commissioner Shelnett seconded the motion; voted and carried unanimously.*

EXECUTIVE SESSION

***Motion:** At 7:11 p.m., Commissioner Shelnett made a motion to enter into Executive Session to discuss the future acquisition of real estate as provided by O.C.G.A. §§ 50-15-2 (1). Commissioner Adams seconded the motion and all voted in favor. Commissioner Bradford was not present during the Executive Session.*

***Motion:** At 7:19 p.m., Commissioner Myers made a motion, seconded by Commissioner Shelnett, to return to regular session. All voted in favor. There were no votes taken during the Executive Session.*

ADJOURNMENT

***Motion:** Commissioner Adams made a motion, seconded by Commissioner Shelnett, to adjourn the meeting. The motion carried and the meeting was adjourned at 7:20 p.m.*

All documents of record for this meeting are on file in either the addendum book or auxiliary file under this meeting date.

DAVID G. THOMPSON, CHAIRMAN

RHONDA HAWK, COUNTY CLERK

Walton County Board of Commissioners
Purchases \$25,000.00
Meeting

March 4, 2025

Department	Fund	Description	Payee	Amount
Budget Year FY 25				
	100	Premium for March 2025	One America	\$ 35,867.30
	Various	Replenish Funds in Health Benefits- For the Record	Walton Co Health Benefits Trust	\$ 500,000.00
	Various	Replenish Funds In Workers Comp- For the Record	Walton Co BOC	\$ 26,001.00
Clerk of Superior Court				
	2180 100	Jury Funds- For the Record	Walton Co Clerk of Superior Court	\$ 25,000.00
Sheriff				
	3300 100	Central Hub Software & Training	Collective Data	\$ 27,168.00
Jail				
	3325 100	Inmate Medical-April 2025	Correct Health	\$ 184,305.01
	3325 100	Troubleshoot/ Repair RTU	HVH Mechanical Partners	\$ 43,800.39
	3325 100	Inmate Meals-December 2024	Kimble's Food By Design	\$ 87,241.00
Splost 2013				
	3325.13 322	Jail Access Road- For the Record	Precision Planning Inc	\$ 5,085.00
	3325.13 322	Temp Construction Road- For the Record	ER Snell Contractor Inc.	\$ 41,434.39
Jail Bond 2021				
	3325.22 315	Walton Co Public Safety Complex-Phase 1	Allsteel LLC	\$ 794,423.90
	3325.22 315	Walton Co Public Safety Complex-Phase 2	Allsteel LLC	\$ 293,901.65
	3325.22 315	Construction Cost- For the Record	Comprehensive Program Services	\$ 60,000.00
	3325.22 315	Walton Co Public Safety Complex-Phase 1	Interior Environments Atlanta, LLC	\$ 60,630.00
	3325.22 315	Walton Co Public Safety Complex-Phase 1	Interior Environments Atlanta, LLC	\$ 79,584.08
	3325.22 315	Walton Co Public Safety Complex-Phase 1	OFS Brands Inc.	\$ 131,491.26
Fire Fighting				
	3520.270 270	Medical Equipment	Bound Tree Medical, LLC	\$ 31,413.65
Roadways & Walkways				

Department	Fund	Description	Payee	Amount
	4220 100	Widening Bold Springs Project	Pittman Construction Co.	\$ 123,780.00
RDS & Bridges Splost 2019				
	4220.19 323	Public Works Building A Roofing	Dusty Greer Roofing, Inc.	\$ 57,464.00
Storm Water				
	4251 100	Contract Labor-Barnes Ct & Creekwood Dr	Utility Asset Management Inc	\$ 77,808.00
Water				
	4446 507	Water and Testing - <i>For the Record</i>	Cornish Creek Water Fund	\$ 234,470.00
	4446 507	Service Line Repair, Meter Repairs	Delta Municipal Supply Co, Inc.	\$ 68,156.10
The Grove 2023				
	6220.23 338	Professional Engineering Dec- <i>For the Record</i>	Matrix Engineering Group, Inc.	\$ 10,860.00
	6220.23 338	Professional Engineering Jan- <i>For the Record</i>	Matrix Engineering Group, Inc.	\$ 7,980.00
	6220.23 338	Grove Park Utility Inspections- <i>For the Record</i>	Precision Planning Inc	\$ 4,453.75
	6220.23 338	Construction Services for January- <i>For the Record</i>	Reeves Young LLC	\$ 1,652,965.71
HLC Water Treatment Facility				
	504	Water Treatment Facility January- <i>For the Record</i>	Atkinson Ferguson LLC	\$ 52.50
	504	Professional Engineering- <i>For the Record</i>	Engineering Strategies Inc	\$ 6,564.00
	504	Professional Engineering - <i>For the Record</i>	Jacob's Engineering	\$ 9,076.63
	504	HLC Management- <i>For the Record</i>	Precision Planning Inc.	\$ 25,967.90
Hard Labor Creek				
	4405 508	Daily monitoring of traps & removal of animals- <i>For the Record</i>	Alan D Barton	\$ 2,250.00
	4405 508	HLC O&M- <i>For the Record</i>	Precision Planning Inc.	\$ 5,782.46
	508	Apalachee River Intake Fees January- <i>For the Record</i>	Atkinson Ferguson LLC	\$ 70.00
	508	HLC Management- <i>For the Record</i>	Precision Planning Inc.	\$ 3,010.00
				\$4,682,190.38

Walton County Department Agenda Request

Department Name: **Facilities/Risk Mgmt.**

Department Head/Representative: **Hank Shirley**

Meeting Date Request: **March 4th, 2025**

Has this topic been discussed at past meetings? **No**

If so, When?

TOPIC: **Surplus**

Wording For Agenda: **Declaration of Surplus property**

This Request: Informational Purposes Only Needs Action by Commissioners* **Yes**

*What action are you seeking from the Commissioners? **Declare items surplus and give permission to sell on Gov Deals and/or to metal company whichever is of greater value or if there is no value permission to discard of unusable/unsaleable items.**

Department Comments/Recommendation:

Additional Documentation Attached? **Yes**

Is review of this request or accompanying documentation by the County Attorney required? **No**

If so, has a copy of the documentation been forwarded to County Attorney? **N/A**

Date forwarded to County Attorney: **N/A**

Has the County Attorney review been completed? **N/A**

If this request involves the expenditure of county funds, please answer the following:

Approved in current budget?

Budget information attached?

Comments:

Purchasing Department Comments:

County Attorney Comments:

Chairman's Comments:

Walton County Miscellaneous Surplus

Item 6.3.

Items released as County Surplus Property on the 4th of March, 2025.

QTY	Dept. or ID #	Description (make/model/year if Applicable)	Serial / V.I.N.
1	Public Works	HP305A Ink	
1	Public Works	16in. Saw Chain ORE73LP60	
1	Public Works	12in. Bar Pole Saw 13545	
1	Public Works	16in. Saw Chain H35056G 5018470-56	
2	Public Works	Nozzle Windshield Washer F250 F350 7C3Z17603A	
1	Public Works	Fuel Pump F350 PF1/F81Z9C407AC 99	
2	Public Works	Rear Axle Oring E5TZ4A331A	
1	Public Works	Trans Filter Internal Chevy 29542833	
1	Public Works	Camber Bolt Kit 7L1Z3B236AB	
1	Public Works	Caliper Guide Pin Kit 14215	
1	Public Works	Wheel Cap - Ford Excursion 1C3Z1130BA	
1	Public Works	Thermostat Ford 4899	
2	Public Works	Idler Pulley Chevy 68057284	
1	Public Works	Blend Door Motor AW7Z19E616AC	
2	Public Works	E96Z Ignition Coil Pack	
3	Public Works	Blower Resistor YH1717	
2	Public Works	3/4NPN Hose End Repair Kit	
12	Public Works	5/8NPN Hose End Repair Kit	
1	Public Works	Turbo Boot Clamp 6C3Z6K786CA	
1	Public Works	Clutch Pedal Pad B7A2457AC	
2	Public Works	Fittings 05703B102 #136	
91	Public Works	Jam Nut 1136254 #136	
1	Public Works	Wand 18593 #136	
6	Public Works	Valve Assembly 19105 #136	
1	Public Works	Slide Bar 22570 #136	

Walton County Miscellaneous Surplus

Item 6.3.

Items released as County Surplus Property on the 4th of March, 2025.

1	Public Works	Shroud Cover 24610SRV #136	
4	Public Works	Fuel Filter 3034 #136	
1	Public Works	Seal 34981 #136	
6	Public Works	Switch 35098 #136	
14	Public Works	Valve Spray Gasket 35881 #136	
1	Public Works	Rocker Switch 35893 #136	
2	Public Works	Rocker Switch 35894 #136	
3	Public Works	Ignitor Wire 3604403SRV #136	
2	Public Works	Fuel Valve Solenoid 3604404 #136	
2	Public Works	Fuel Pump 3604415 #136	
2	Public Works	Electrode Assembly 3604426 #136	
3	Public Works	Rocker Switch 36415 #136	
11	Public Works	Cylinder 37189 #136	
1	Public Works	Cylinder Wing Lift 37293 #136	
1	Public Works	Thermometer 5133 #136	
14	Public Works	Fittings 71796 #136	
16	Public Works	Fittings 72700 #136	
10	Public Works	Seal 8393 #136	
6	Public Works	Seal 8394 #136	
8	Public Works	Valve Spray Control 983661SRV #136	
1	Public Works	Harness 0682247150 #136	
2	Public Works	Sending Unit Plug F297 #136	
5	Public Works	Parking Brake Knob KN20901 #136	
2	Public Works	24in Wiper Blades ABO/N82-7624 #136	
32	Public Works	Nozzles #1 32918 #136	
5	Public Works	Nozzles #2 32917 #136	
1	Public Works	600 Series 5mm Led Clear 60C02FCR	

AMENDMENT #1 TO THAT CERTAIN
INTERGOVERNMENTAL AGREEMENT CONCERNING
THE CONSTRUCTION OF A NEW AZALEA REGIONAL
LIBRARY INSIDE THE CITY LIMITS OF LOGANVILLE
DATED DECEMBER 12, 2024

THIS AMENDMENT #1 TO THAT CERTAIN INTERGOVERNMENTAL AGREEMENT (“Amendment”) is made this the _____ day of _____, 2025, by and between the City of Loganville, a municipal corporation of the State of Georgia, (hereinafter referred to as the “City”), Walton County, a political subdivision of the State of Georgia (the “County”), and the Azalea Regional Library System, organized and existing in accordance with O.C.G.A. § 20-5-1 et seq., (hereinafter referred to as the “Library System”) (together hereinafter referred to as the “Parties”).

WHEREAS, Article IX, Section III, Paragraph I (a) of the Constitution of the State of Georgia authorizes any county, municipality or other political subdivision of the State to contract, for a period not exceeding fifty (50) years, with any county, municipality or political subdivision or with any other public agency, public corporation or public authority, for joint services, for the provision of services, or for the joint services, for the provision of services, or for the joint or separate use of facilities or equipment, provided that such contract deals with activities, services or facilities which the contracting parties are authorized by law to undertake or to provide; and

WHEREAS, pursuant to O.C.G.A. § 20-5-49, the Library System is authorized to make and enter into such contracts or agreements as are deemed necessary and desirable; and,

WHEREAS, the Parties entered into that certain Intergovernmental Agreement Concerning the Construction of a New Azalea Regional Library Inside the City Limits of Loganville on or about December 12, 2024 (the “Library Construction Agreement”); and,

WHEREAS, the Library Construction Agreement requires the Parties to enter into an additional agreement concerning Library Operations of the New Library (as defined in the Library Construction Agreement); and,

WHEREAS, the Parties agree that additional time is required for the Parties to enter into said additional agreement concerning the operations of the New Library.

NOW THEREFORE, for and in good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City, the County, and the Library System do hereby agree to modify the Library Construction Agreement solely as follows:

1. Library Operations. The City, the County, and the Library System shall have until September 30, 2025, to enter into an additional agreement concerning substantially all matters relating to the operations of the New Library.

2. Except as expressly modified herein, all terms and conditions of the Library Agreement shall remain unchanged and in full force and effect and the Parties hereto hereby reaffirm every term and condition contemplated therein.

IN WITNESS WHEREOF, the Parties have caused this Amendment to be executed by their duly authorized officers and representatives as of the day and year first above written as a sealed instrument.

ATTEST:

CITY OF LOGANVILLE

By: _____
Krisi Ash, Deputy Clerk

By: _____
Skip Baliles, Mayor

ATTEST:

WALTON COUNTY, GEORGIA

By: _____
Rhonda Hawk, Clerk

By: _____
David Thompson, County Chairman

ATTEST:

AZALEA REGIONAL LIBRARY SYSTEM

By: _____

By: _____
Stacy Brown, Executive Director



Walton County Probate Court

BRUCE E. WRIGHT
Probate Judge

BRITTANY M. SMITH
Senior Clerk

LERA D. SHIPMAN
Senior Clerk

BETH GREEN
Clerk

BRUCE E. WRIGHT, PROBATE JUDGE
GOVERNMENT BUILDING
303 SOUTH HAMMOND DRIVE · SUITE 118
MONROE, GEORGIA 30655
Telephone: (770) 267-1345
Facsimile: (770) 267-1417

ASHLEY WOOD
Clerk

JAN GREENE
Clerk

KAITLYN A. GLASS
Clerk

MADISON MURRAY
Clerk

KALLIE AKRIDGE
Clerk

February 21, 2025

Walton County Board of Commissioners
111 S Broad Street
Monroe, GA 30655

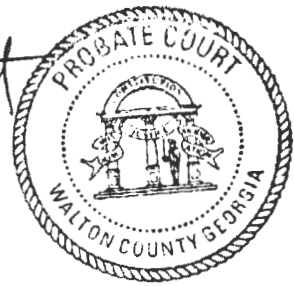
RE: March Agenda / Approval of Merchant Application

The Walton County Probate Court is requesting review and approval of a Merchant Application for the Court to receive funds through the upcoming implementation of TrueFiling (efiling), which will eventually be mandatory. I have attached the Merchant Application Guide (Burton/Onboarding), the Letter prepared by Stuart Smith with Synovus Bank, as well as a copy of a correspondence from Mitchell Jasenosky with i3Verticals. The County Attorney reviewed and approved on February 19, 2025.

Please let me know if anything further is required to be added to the March Agenda.

Kindest Regards,

Bruce E. Wright
Bruce E. Wright
Probate Judge



Burton Merchant Application Onboarding Guide

Preparing to Complete the Merchant Application

To expedite the approval process for your merchant application, please ensure you have the following information ready:

Verify your legal entity name and tax EIN number. These can be found on the court's SS-4 form or other tax documents.

Provide a bank letter or a voided check. Please follow these criteria:

Bank Letter Criteria:

- Must be on bank letterhead (including bank name and logo).
- Must reference the merchant's legal name, DBA name, or IRS filing name.
- Must include the DDA account number and ABA transit routing number.
- If there are multiple DDA/ABA TR numbers, list only the account you wish to use for TrueFiling.
- A dated letter is not required but is strongly preferred.
- Must be typed or in a pre-printed format (ABA TR/DDA can be handwritten legibly on pre-printed letters only).

Voided Check Criteria:

- Must include the bank name.
- Must have the merchant's legal name, DBA name, or IRS filing name pre-printed on the check as it appears on the merchant account record (business address is not required). Starter checks are not acceptable.
- Must not have any alterations, such as address labels or white-out.
- Must have DDA/TR MICR encoded at the bottom of the check.

Here is a sample bank letter:



Net Roof World Bank
123 Main Street
City, Province 00000
Country
T: 123-456-7890 F: 123-456-7890

May 9, 2024

Any County Probate Court
Clearing Account
123 International Drive
Any Town, GA 12345

Account Number: 123456789

Bank ABA Number: 123456789

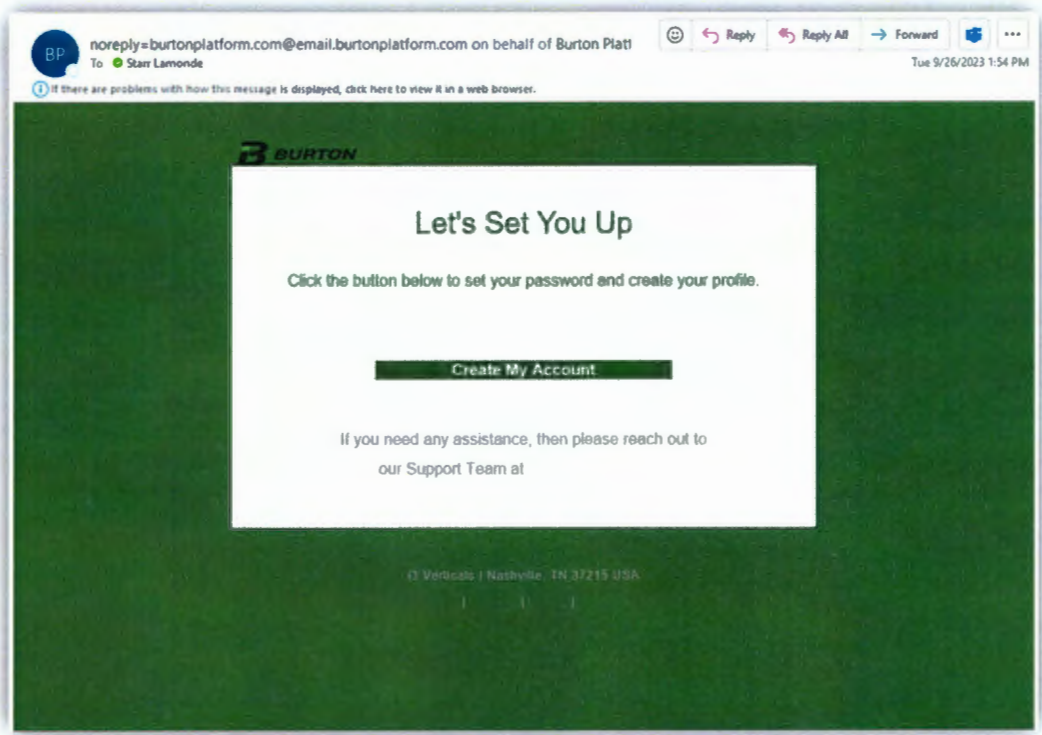
Sincerely,

A handwritten signature in blue ink that reads "Hall".

Steve Hall, New Account Coordinator

Logging In

Once you've been invited to the Burton Portal, you will receive an email allowing you to access your merchant application. The email will come from **noreply=burtonplatform.com@email.burtonplatform.com**. Follow the "Create My Account" link to set an account password. Note: This link will expire after 30 minutes. If the account is not created within 30 minutes, follow the "forgot password" link to create an account.



Step 1: Upload Documents

After logging in you will see the following screen.

Merchant Application

Welcome! Please use the link below to complete your application for merchant services. The application is not complete until you have filled the entire form and provided your e-signature. If you do not have the time, or all the information available, you may logout and return when you are ready. If you are NOT the individual in your organization that should be filling out this application, use the support link at the top of the page to send us an email to let us know who we should contact in your organization. Thank you!

[Merchant Application](#)

If you have a copy of a signed application, or any requested documentation, please use the following button to upload the document.

[Upload document](#)

Please use the upload button to submit a PDF of your bank letter or voided check. You may also upload a PDF of your SS-4 form, although this is not required. **Please note that you must upload your documents before you begin the merchant application.** The button to upload documents will no longer be available once you continue to the application.

Step 2: Completing the Merchant Application

Before you begin, ensure you have uploaded your bank letter or voided check, as this option will no longer be available once you begin your merchant application.

Ensure you are ready to complete the application in one sitting, as there is no option to save and return to it once the "Merchant Application" button has been clicked.

To begin, click the "Merchant Application" button.

Merchant Application

Welcome! Please use the link below to complete your application for merchant services. The application is not complete until you have filled the entire form and provided your e-signature. If you do not have the time, or all the information available, you may logout and return when you are ready. If you are NOT the individual in your organization that should be completing out this application, use the support link at the top of the page to send us an email to let us know who we should contact in your organization. Thank you!

[Merchant Application](#)

Note: All fields are required when completing the application. The person submitting the merchant application must be an authorized signer on the account.

Please refer to the tables below for a description of each field and required values if applicable.

Merchant Application

Please fill in the following form to proceed with creating of your merchant account

Public Sector Merchant Information		
Legal name	Financial contact first name	Last name
Address 1	Financial contact phone number	
Address 2	Website URL	
City	Financial contact email	
State	Postal code	Tax ID

Field	Description	Value (if applicable)
Legal Name	Legal Entity name of court. This is what is submitted on the SS-4 form and should match the courts EIN number.	
Address	The physical location of the court. Note: Cannot include a PO Box.	
Financial contact first and last name, and phone number	The first and last name and phone number of the person completing the application/the financial lead for the court.	

Website URL	Court's or county's website	
Financial contact email	Email address of the person completing the application/the financial lead for the court	
Tax ID	The Courts EIN tax identification number	Format: xx-xxxxxxx

Processing Information

Note: It is required that the value of **\$10,000** should be used for **High Sale Amount**. If a lesser amount is selected, you will run the risk of transactions being auto declined.

Field	Description	Value (if applicable)
Annual Sale Volume	Approximate annual volume in dollars for a total year.	Example: \$100,000
Average Ticket Amount	Approximate average transaction amount of a bundle in dollars (single payment)	Example: \$150
High Sale Amount	Approximate highest transaction amount of a bundle in dollars (single payment)	REQUIRED VALUE IS \$10,000
MCC	Merchant Category Code	9211
Description of products/services sold	Description of what people are paying for. Maximum of 100 characters.	REQUIRED VALUE is "Court Costs"

Add your courts banking information. **Note: Your routing number must be 9-digits. Please do not include dashes in the routing or account number.**

Please verify that you are submitting the correct bank account and type of account (Checking vs Saving). Changing this number after the application is approved requires an additional review from underwriting.

Banking Information



Type your Title, First and Last Name, and click continue. On the next page, you will read and accept the agreement.

Authorized Signer

Rhonda Hawk

From: John Ward <john.ward@co.walton.ga.us> on behalf of John Ward
Sent: Wednesday, February 26, 2025 8:45 AM
To: Rhonda Hawk
Cc: Thomas Prine
Subject: Fwd: IMPORTANT: Walton County: The Grove Park - COP's for March 4th BOC Meeting
Attachments: COP #18 - RFI #24 Building L and C Revised CMU CJ Locations Rev 1 Signed.pdf;
Change Proposal #25 - Additional Rock Removal Walton County Edits Signed.pdf;
Change Proposal #27 - Building J Exterior OH Storage Doors Change_Signed.pdf;
Change Proposal #28 - Bldg C and F Rigid Insulation Add_Signed.pdf; Change Proposal
#29 - Building J Sewer MH-M1 PVC to DIP Material Change_Signed.pdf

----- Forwarded message -----

From: **jprine ascension-pm.com** <jprine@ascension-pm.com>
Date: Tue, Feb 25, 2025 at 5:06 PM
Subject: IMPORTANT: Walton County: The Grove Park - COP's for March 4th BOC Meeting
To: John Ward <john.ward@co.walton.ga.us>

John, I have either attached or provided a link to the COP's planned to be placed on the upcoming March 4th BOC Meeting for consideration.


COP #18 is tied to CMU Control Joints that needed to be coordinated on Building's C & L. (Shared issue between Lose Design and RY)

COP #25 is tied to the Rock Removal and has our revised language concerning additional days. (RY Value Engineering Gap)

COP #27 is tied to wrong type of Roll Up doors being specified at the Maintenance Building (Lose E&O)

COP #28 Building C & F Rigid Insulation Add - (Permitting is reviewing to see if this can be reduced but to keep project moving forward we need it approved)

COP #29 Sewer Lines Material Change - Originally sewer lines were not going to be installed by Water Resources but by RY. When this changed their (Water Resources)material specifications required these edits.

COP #30 Softball Backstop Pole redesign (This is a credit to go to a different system)
 [Change Proposal #30 - Softball Backstop Pole Design Change & Credit_LD_Signed.pdf](#)

Please let me know you received these.

Kind Regards, Jeff
Thomas J. (Jeff) Prine, CCM, LEED AP

Walton County The Grove

Change Proposal #18 - RFI 024 Building C & L Revised CMU CJ Locations

General Contractor:

**Reeves Young
45 Peachtree Industrial Boulevard N.W.
Sugar Hill, GA 30518
770-271-1159**



February 18, 2025

Walton County, GA
The Grove, a Walton County Parks &
Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager –
Ascension Program Management

Change Proposal #18 - RFI #24 Building L and C Revised CMU CJ Locations Rev1

The below change proposal is for revisions made within RFI #24 to Building C & L CMU control joint locations per the Structural Engineer. Control joint locations were previously cut per the Architectural drawings but were later deemed incorrect per the Structural Engineer. The below contains the additional cost impact to re-cut the revised CJ locations and apply joint sealant.

REV 1:

Per Lose instruction from structural engineer, previous additional quantity of CJ's added were reduced to 15. The joints highlighted in the document below represent the required joints by structural that were necessary to be added at building L. Acceptance of change proposal confirms the locations shown.

Description	Qty	Unit	Unit Price	Total
Masonry – CMU Control Joint (Labor & Equipment)	29	EA	\$75.00	\$2,175.00
Waterproofer – Control Joint Sealant (Material & Labor)	1	LS	\$1,800.00	\$1,800.00
Total Subcontractor Cost	1	LS		\$3,975.00
Payment & Performance Bond	0.597	%	\$23.73	\$23.73
General Liability Insurance	0.811%	%	\$32.24	\$32.24
Builders Risk Insurance	0.174%	%	\$6.92	\$6.92
RY Overhead and Profit	10	%	\$397.50	\$397.50
TOTAL				\$4,435.38

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,

Reeves Young, LLC

Isaiah Arnold




Project Manager

45 Peachtree Industrial Blvd, Suite 200
Sugar Hill, GA 30518

770.271.1159
reevesyoung.com

Approval

Lose Design (Architect of Record)	Signature: 	Date: <u>2/20/2025</u>
Ascension PM (Capital Project Manager)	Signature: Thomas J. Prine	Date: 02.20.2025
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: _____	Date: _____



December 5, 2024

Walton County, GA
The Grove, a Walton County Parks & Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager – Ascension Program Management

Change Proposal #18 - RFI #24 Building L and C Revised CMU CJ Locations

The below change proposal is for revisions made within RFI #24 to Building C & L CMU control joint locations per the Structural Engineer. Control joint locations were previously cut per the Architectural drawings but were later deemed incorrect per the Structural Engineer. The below contains the additional cost impact to re-cut the revised CJ locations and apply joint sealant.

Description	Qty	Unit	Unit Price	Total
Masonry – CMU Control Joint (Labor & Equipment)	1	LS	\$12,672.00	\$12,672.00
Waterproofer – Control Joint Sealant (Material & Labor)	1	LS	\$1,800.00	\$1,800.00
Total Subcontractor Cost	1	LS		\$14,472.00
Payment & Performance Bond	0.597	%	\$86.40	\$86.40
General Liability Insurance	0.811%	%	\$117.37	\$117.37
Builders Risk Insurance	0.174%	%	\$25.18	\$25.18
RY Overhead and Profit	10	%	\$1447.20	\$1447.20
TOTAL				\$16,148.15

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,
Reeves Young, LLC

Isaiah Arnold

Project Manager

45 Peachtree Industrial Blvd, Suite 200
Sugar Hill, GA 30518

770.271.1159
reevesyoung.com

Approval

Lose Design (Architect of Record) Signature: _____ Date: _____

Ascension PM (Capital Project Manager) Signature: _____ Date: _____

Walton County Signature: _____ Date: _____

Reeves Young Signature: _____ Date: _____



CHANGE ORDER REQUEST					
TO: REEVES YOUNG					
FROM: MONTALVO COMPANY, INC. 1546 LAKE KOINONIA DR. WOODSTOCK, GA 30189			PHONE: 404-664-6266 FAX: 770-517-1157		
PROJECT: THE GROVE - WALTON CO. 1089 HWY 81 LOGANVILLE, GA 30052			TICKET # 4 DATE: 11/19/2024		
DESCRIPTION: LABOR TO ADD 60 EXTRA CMU CONTROL JOINTS IN BUILDINGS C & L					
QUANTITY	UNIT	DESCRIPTION	UNIT PRICE		TOTALS
60.00	EA	CMU CONTROL JOINT - LABOR & EQUIPMENT	\$ 192.00	EA	\$ 11,520.00
			\$ -	-	\$ -
1.00	LS	10% SUB-CONTRACTOR FEE	\$ 1,152.00	LS	\$ 1,152.00
TOTAL AMOUNT =					\$ 12,672.00

CO
TICKET 4

PRESENTED BY:

ACCEPTED BY:

CHUCK RUTHERFOORD
MONTALVO COMPANY, INC.



CHANGE PROPOSAL
Walton County Park – The Grove
Loganville, GA
Architect: Lose Design
Plan Date: 05/17/2024

November 19, 2024

Reeves Young
 45 Peachtree Industrial Blvd. NW
 Sugar Hill, GA 30518

Attn: Isaiah Arnold iarnold@reevesyoung.com
 Re: RFI-24 Revised CMU Layouts

Ph: 470-725-0022

After review of the above stated project, Metro Waterproofing will supply all labor, equipment, and materials to perform the following:

Building C (Softball Concession)

Section 079200 – Joint Sealants

Furnish and install backer rod and joint sealants in the following locations:

- | | |
|---|-----------|
| 1. Interior vertical CMU wall joints. (+125 LF) | \$ 625.00 |
|---|-----------|

Building L (Community Center)

Section 079200 – Joint Sealants


Furnish and install backer rod and joint sealants in the following locations:

- | | |
|---|-------------|
| 1. Interior vertical CMU wall joints. (+232 LF) | \$ 1,175.00 |
|---|-------------|

Contract Add: \$ 1,800.00

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written authorization and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control. Owner is to carry fire, tornado, and other necessary insurance. Our workmen are fully covered by Workmen’s Compensation Insurance.

METRO WATERPROOFING, INC.



 Matthew Jewett
 Project Manager

Acceptance of Proposal
Date:



24104 - Walton County The Grove (24104-)

1089 Highway 81
Loganville, GA 30052

024 - Building "L" - CMU Walls Vertical Control Joint Locations

Subject

Status

Building "L" - CMU Walls Vertical Control Joint Locations

Closed ●

Discipline

Structural

Importance

High

Location

Building L - Community Center

Created On

7/26/2024

Due Date

8/2/2024

Date Resolved

10/25/2024

Author

Jose Valerio
Reeves Young, LLC

Resolved By

Barbara Canuto
Lose Design

QUESTION Jose Valerio on 7/26/2024 12:27 PM

Design Professional,

Please clarify the location of vertical control joints in the CMU interior and exterior walls for building "L." The drawing S0.02L under masonry notes directs to the Architectural sheets for these locations, but none are indicated.

Please advise, thank you.

COMMENT Barbara Canuto on 7/29/2024 01:47 PM

Jose,

Please see attached indication CMU vertical joint locations for Building L on the floor plan.

Let me know if you have any questions.

Thanks,
Barbara



File

010_WALNUT-GRO\
Barbara Canuto

024 - Building "L" - CMU Walls Vertical Control Joint Locations

COMMENT Isaiah Arnold on 10/10/2024 03:21 PM

Design Professional,

Section 2 of WJPA report dated 10.07.24 states that the masonry control joints do not meet the contract documents for building L. Subsection b states that RFI 024 response dealt with brick veneer. As discussed in OAC #15 10.09.24, Lose previous response provided an updated A2.01L with these joints laid out that were deemed incorrect by the structural engineer.

Please provide direction as to how to proceed.

Thank you,

ADDED LINKS Jose Valerio on 11/6/2024 05:02 PM



Drawing A2.01C Jose Valerio
Drawing A2.01C Jose Valerio
Drawing A2.01C Jose Valerio

ADDED LINKS Jose Valerio on 11/6/2024 05:06 PM



Drawing A2.01E Jose Valerio
Drawing A2.01E Jose Valerio
Drawing A2.01E Jose Valerio

ADDED LINKS Jose Valerio on 11/6/2024 05:07 PM



Drawing A2.01F Jose Valerio
Drawing A2.01F Jose Valerio
Drawing A2.01F Jose Valerio

ADDED LINKS Jose Valerio on 11/6/2024 05:12 PM



Drawing A2.01G Jose Valerio

ADDED LINKS Jose Valerio on 11/6/2024 05:13 PM



Drawing A2.01L Jose Valerio
Drawing A2.01L Jose Valerio
Drawing A2.01L Jose Valerio

24104 - Walton County The Grove (24104-)

1089 Highway 81
Loganville, GA 30052

024 - Building "L" - CMU Walls Vertical Control Joint Locations

ANSWER Barbara Canuto on 10/25/2024 10:39 AM

Isaiah,

Attached are the Vertical CMU Control Joints Floor Plans for all applicable buildings. The locations were coordinated with WJPA, and we've minimized changes as much as possible for both the Softball and Community Center buildings.

Please let me know if you have any questions.

Thank you,
Barbara



File

File

File

File

File

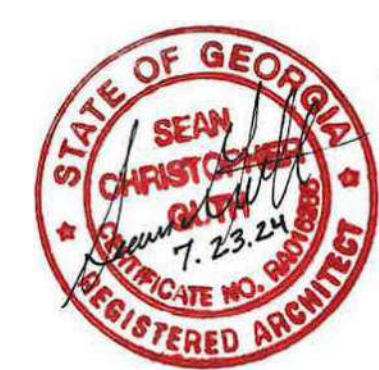
010_WALNUT-GRO\ Barbara Canuto 010_WALNUT-GRO\ Barbara Canuto 010_WALNUT-GRO\ Barbara Canuto 010_WALNUT-GRO\ Barbara Canuto 010_WALNUT-GRO\ Barbara Canuto

ASSIGNMENTS

Aaron St Pierre (Lose Design) **Due On 10/17/2024**

Macon Chapman (Lose Design) **Due On 10/17/2024**

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GEORGIA

THE GROVE
BUILDING "C" - SOFTBALL BUILDING
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY

LOGANVILLE

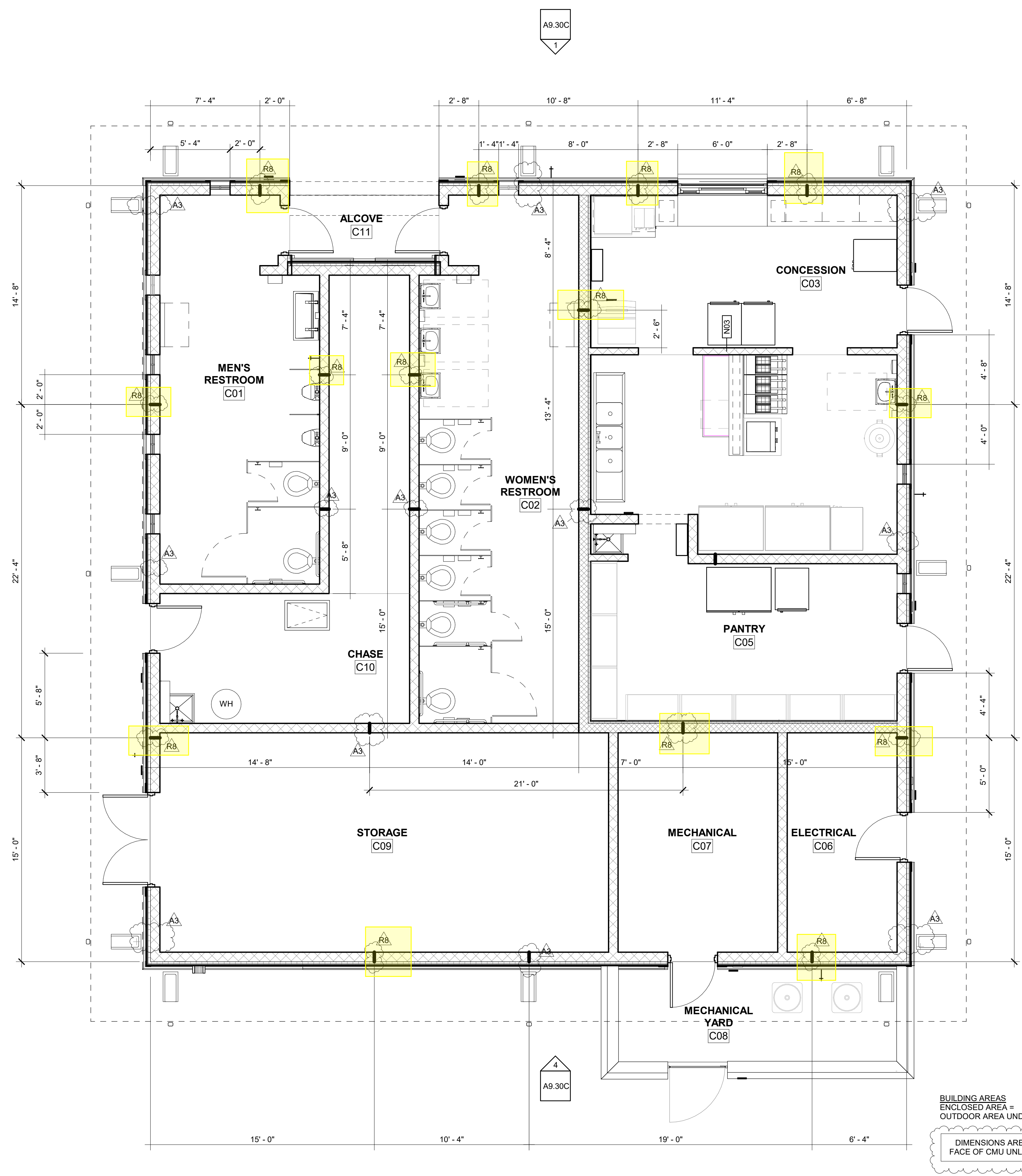
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
R8	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE
SOFTBALL BUILDING
VERTICAL CMU
CONTROL JOINTS
FLOOR PLAN

PROJECT NO.	DATE
22010	10/15/2024
DRAWN BY	SCALE
STAFF	1/4" = 1'-0"
CHECKED BY	
CF	
SHEET NO.	

EXHIBIT 3



BUILDING AREAS
ENCLOSED AREA = 2,722 SF GROSS
OUTDOOR AREA UNDER ROOF = 160 SF

DIMENSIONS ARE MEASURED FROM THE FACE OF CMU UNLESS NOTED OTHERWISE.

PARTITION TYPES

M=MASONRY G=GYP. BD.

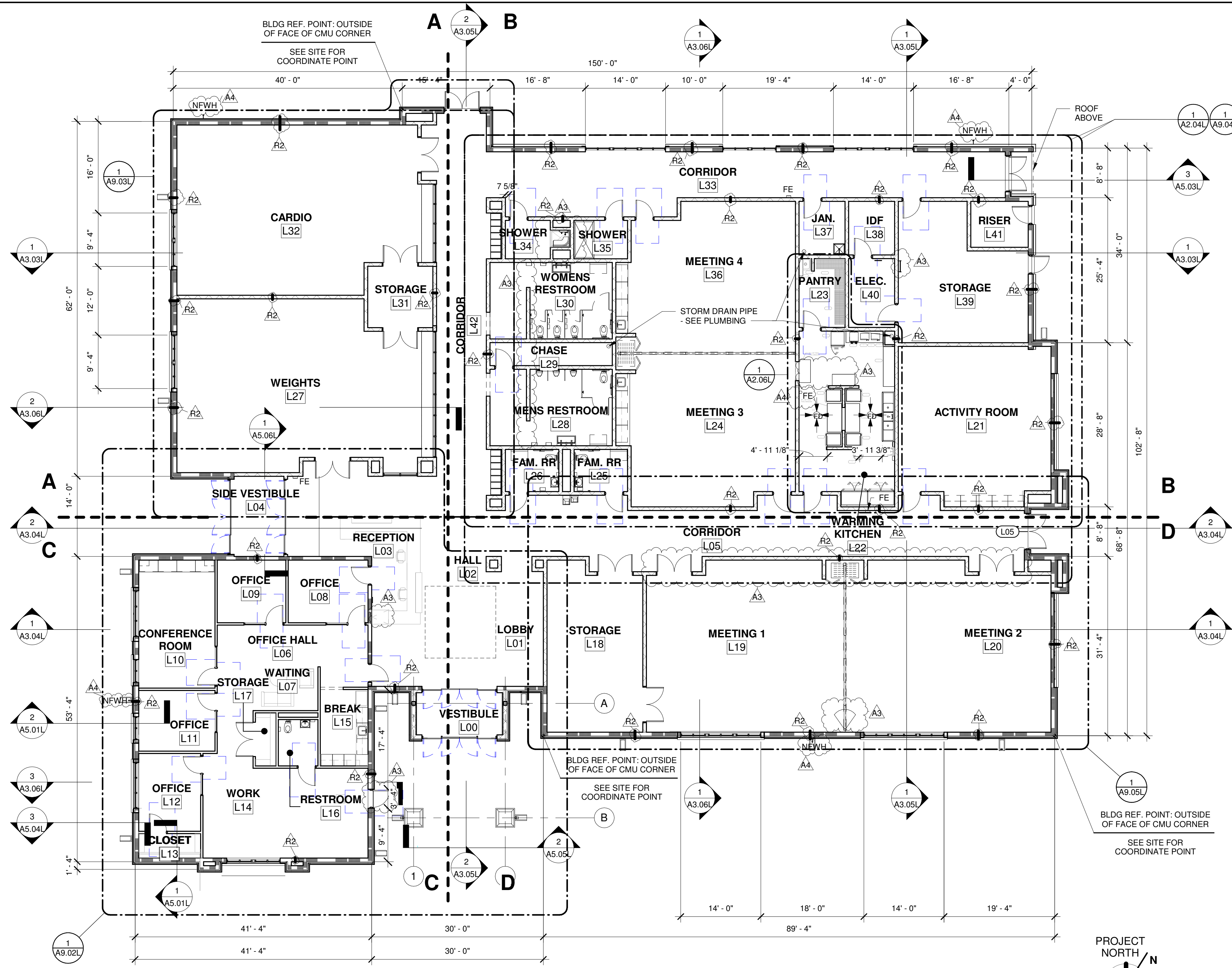
TYPE	SYMBOL	ASSEMBLY	WALL THICKNESS	WALL HEIGHT	FIRE RATING	REMARKS
MA	[Symbol]	4" CMU	3-5/8"	MIN. 6" ABOVE CLG.	NONE	BRACE AS REQUIRED
MB	[Symbol]	8" CMU	7-5/8"	MIN. 6" ABOVE CLG.	NONE	
MC	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	NONE	
MD	[Symbol]	8" CMU	7-5/8"	MIN. 6" ABOVE CLG.	NONE	
ME	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	NONE	
MF	[Symbol]	8" CMU	7-5/8"	TO STRUCT.	2 HR	FIRE BARRIERS AS INDICATED ARE TO EXTEND UP TO ROOF DECK.
GA	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	MIN. 6" ABOVE CLG.	NONE	BRACE AS REQUIRED
GB	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	TO STRUCT.	NONE	FILL W/ 3" SOUND BATTS - 51 STC
GC	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-1/4"	MIN. 6" ABOVE CLG.	NONE	GYP. ON SIDE FACING ROOM
GD	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. ONE SIDE	4-7/8"	TO STRUCT.	NONE	FILL W/ 3" SOUND BATTS - 51 STC
GE	[Symbol]	3-5/8" STUDS W/ 5/8" GYP. BOTH SIDES	4-7/8"	TO STRUCT.	NONE	5/8" GYP. BD. ONE SIDE & CEMENT BOARD ONE SIDE (FACING SHOWER), FILL W/ 3" SOUND BATTS
TA	[Symbol]	3-5/8" STUDS & 2-1/2" STUDS W/ 5/8" GYP. BOTH SIDES	VARIES	TO STRUCT.	NONE	
TB	[Symbol]	PLUMBING CHASE WALL: 2-1/2" MTL STUDS W/ TILE BACKER BD. @ WET WALL SIDES & MTL CROSS BRACING AS NEEDED	VARIES	MIN. 6" ABOVE CLG.	NONE	
M/G	[Symbol]	8" CMU W/ 3/5" STUDS ABOVE	7-5/8"	TO STRUCT.	NONE	MD W/ GD ABOVE EXTENDED TO STRUCTURE BRACE AS REQUIRED

GENERAL PARTITION NOTES:

- SEE INTERIOR FINISHES LEGEND FOR ADDITIONAL FINISH INFORMATION. ALL EXPOSED PARTITION FACES SHALL BE PAINTED UNLESS OTHERWISE NOTED.
- SEE STRUCTURAL FOR DETAILS OR REQUIREMENTS OF PARTITION BRACING. PROVIDE AS REQUIRED BY STRUCTURAL AND AS REQUIRED BY COLD FORMED FRAMING DESIGN OR MINIMUM REQUIREMENTS. PROVIDE PARTITION BRACING WHERE REQUIRED BY STRUCTURAL.
- SEE STRUCTURAL FOR DESIGN OF ALL LOAD BEARING PARTITIONS. CONTRACTOR SHALL MEET ALL STRUCTURAL REQUIREMENTS OR DETAILS REGARDLESS OF CONFLICTING INFORMATION IN THIS PARTITION LEGEND OR OTHER ARCHITECTURAL DOCUMENTS.
- PARTITIONS "TO STRUCT" SHALL EXTEND TIGHT UP TO BOTTOM OF ROOF TRUSSES OR BOTTOM OF METAL DECK UNLESS OTHERWISE NOTED OR DETAILED.
- "MIN 6" ABOVE CLG" SHALL EXTEND ABOVE HIGHEST CEILING ON EITHER SIDE OF PARTITION. PARTITIONS WITH NO CEILING IN EITHER SIDE SHALL MATCH THE HEIGHT OF THE HIGHEST PERPENDICULAR PARTITION CONNECTED TO IT.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTS ANY CONFLICTS BETWEEN PARTITION LEGEND AND OTHER DOCUMENTS SUCH AS FIRE RATING, HEIGHT, OR CONSTRUCTION. PROVIDE MOST RESTRICTIVE DESIGN UNLESS INSTRUCTED OTHERWISE.
- USE CEMENT BACKER BOARD OF EQUAL THICKNESS OF G.W.B. WHERE TILE FINISH IS SPECIFIED IN FINISH LEGEND OR SHOWN IN INTERIOR ELEVATIONS AS NEEDED.
- PREPARE FACE OF CMU PARTITIONS TO RECEIVE WALL TILE INSTALLATION TO MAKE SURE IT IS FREE OF STRUCTURAL CRACKS, CLEAN, AND PLUMB. PROVIDE SKIM COAT AND GROUT AS SPECIFIED FOR INTERIOR WALL TILE INSTALLATION.
- PROVIDE SCHLUTER TRIM AT BOTTOM OF ALL WALL TILE INSTALLATIONS.
- ALL EXPOSED CMU CORNERS TO BE ROUNDED.

PLAN GENERAL NOTES

- SEE ENLARGED PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL WET FLOORS TO SLOPE AT 1/8" PER FOOT, UNO, COORDINATE W/ PLUMBING & STRUCTURAL.
- SEE SIGNAGE SCHEDULE FOR SIGNAGE.
- COORDINATE ALL ARCHITECTURAL WOODWORK AND OFCI. ITEMS W/ OWNER.
- SEAL ALL PENETRATIONS OF CONDUIT, MECHANICAL DUCT WORK, PIPING, IN ALL SUBSTRATES, INTERIOR AND EXTERIOR WALLS, CEILINGS FLOORS
- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
- PROVIDE MASONRY CONTROL JOINTS AS REQUIRED. COORDINATE ANY EXPANSION/CONTROL/CONSTRUCTION JOINTS. VERIFY W/ ARCH. AND STRUCT. FOR ANY DISCREPANCIES THAT OCCUR DURING THE CONSTRUCTION PHASE.
- SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
- ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
- ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
- INSTALL NECESSARY BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE.
- PROVIDE HOSE-BIBBS WITH LOCKABLE BOX, PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATIONS. SEE PLUMBING.
- CAULK ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT SUBSTRATE.
- CAULK ALL JOINTS BETWEEN FIXED ARCHITECTURAL WOODWORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
- COORDINATE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL.
- FOR CONCRETE PAVING SEE SITE/CIVIL
- SEE SITE DRAWINGS FOR ALL EXT. SLAB JOINT DETAILS.
- PROVIDE AND INSTALL KNOXBOX AT BUILDING ENTRANCE AS REQUIRED PER LOCAL CODE OFFICIAL DIRECTIONS AND REQUIREMENTS. MODEL OF KNOXBOX TO BE APPROVED BY LOCAL CODE OFFICIALS. KNOXBOX TO BE MODEL 3200 - 10 KEY CAPACITY - COLOR BLACK. VERIFY INSTALLATION LOCATION W/ ARCH. RECESSED MOUNTED ON BUILDING.
- SEE A0.02L FOR RESTROOM ACCESSORIES, GRAB BAR SIZES, & PLUMBING FIXTURES LEGEND. SEE PLUMBING FOR FIXTURE SPEC.



1 COMMUNITY CENTER FLOOR PLAN
A2.01L 3/32" = 1'-0"

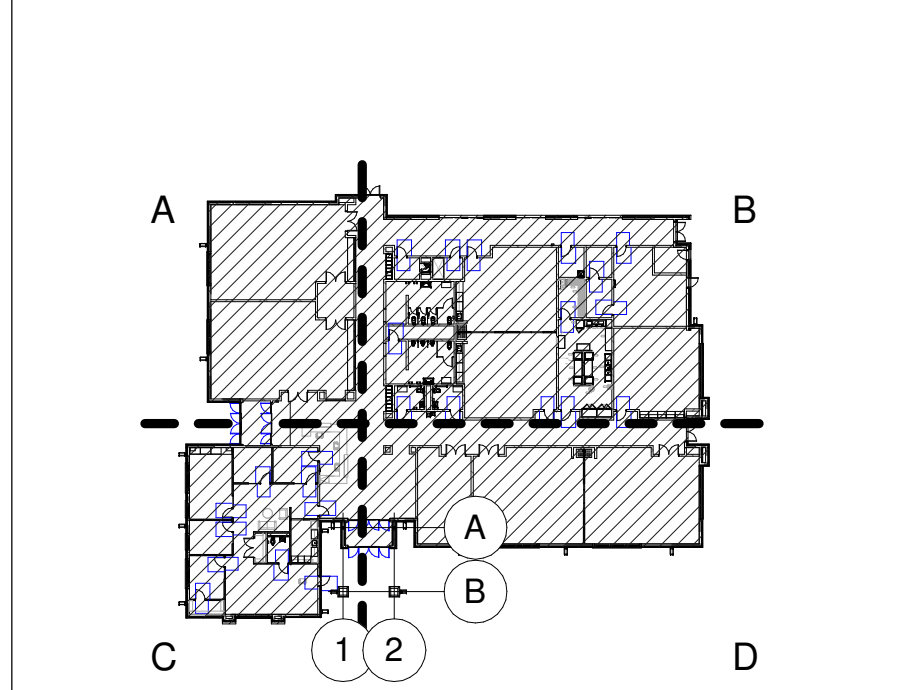
SIGNAGE SCHEDULE

SIGN NUMBER	DOOR NUMBER	ROOM NUMBER	ROOM NAME	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
L00A	L00A	L00A	VESTIBULE			1,2,3,5,7,10
L03	L03	L03	RECEPTION			1,2,3,5,10
L04A	L04A	L04A	SIDE VESTIBULE			1,2,3,5,7,10
L04B	L04B	L04B	SIDE VESTIBULE			1,2,3,5,7,10
L05	L05	L05	CORRIDOR			
L07	L07	L07	WORK			
L08	L08	L08	OFFICE			1,2,3,5,10
L09	L09	L09	OFFICE			1,2,3,5,10
L10	L10	L10	CONFERENCE ROOM			1,2,3,5,10
L11	L11	L11	OFFICE			1,2,3,5,10
L12	L12	L12	OFFICE			1,2,3,4,5,10
L14	L14	L14	MEETING 1			
L15	L15	L15	MEETING 2			
L16	L16	L16	RESTROOM	RESTROOM		1,2,3,5,10
L17	L17	L17	STORAGE	STORAGE		1,2,3,5,10
L18	L18	L18	HALL			
L18A	L18A	L18A	STORAGE	STORAGE		1,2,3,5,10
L18B	L18B	L18B	STORAGE	STORAGE		1,2,3,5,10
L21	L21	L21	ACTIVITY ROOM	GAME ROOM		1,2,3,5,10
L22	L22	L22	WARMING KITCHEN	WARMING KITCHEN		1,2,3,5,8,10
L23	L23	L23	PANTRY	PANTRY		1,2,3,5,10
L24	L24	L24	MEETING 3	CLASSROOM		1,2,3,5,10
L25	L25	L25	FAM. RR	FAMILY RESTROOM		1,2,3,5,10
L26	L26	L26	FAM. RR	FAMILY RESTROOM		1,2,3,4,5,10

SIGN NUMBER	DOOR NUMBER	ROOM NUMBER	ROOM NAME	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
L27	L27	L27	WEIGHTS	WEIGHTS		1,2,3,5,8,10
L29	L29	L29	CHASE	CHASE		1,2,3,5,10
L31A	L31A	L31B	STORAGE	STORAGE		1,2,3,5,10
L31B	L31B	L31B	STORAGE	STORAGE		1,2,3,5,10
L32	L32	L32	CARDIO	CARDIO		1,2,3,5,8,10
L34	L34	L34	SHOWER	SHOWER		1,2,3,4,5,9,10
L35	L35	L35	SHOWER	SHOWER		1,2,3,4,5,9,10
L36	L36	L36	MEETING 4	CLASSROOM		1,2,3,5,10
L37	L37	L37	JAN.	JANITOR		1,2,3,5,10
L38	L38	L38	IDF	MDF		1,2,3,5,10
L39A	L39A	L39B	STORAGE	MECHANICAL		1,2,3,5,10
L39B	L39B	L39B	STORAGE	MECHANICAL		1,2,3,5,10
L40	L40	L40	ELEC.	ELECTRICAL		1,2,3,5,10
L41	L41	L41	RISER	RISER		1,2,3,5,10

- NOTES:
- PROVIDE SOLID BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE
 - INSTALL SIGNAGE AT WALL BESIDE DOOR AT LATCH SIDE FOR SINGLE DOOR, INSTALL SIGNAGE AT SECONDARY DOOR LEAF FOR DOUBLE DOOR.
 - SIGNAGE MUST COMPLY WITH ALL ADA REGULATIONS INCLUDING BUT NOT LIMITED TO:
 - HEIGHT ABOVE FINISH FLOOR (SEE DOOR SCHEDULE SHEET)
 - CHARACTERS
 - PICTOGRAMS
 - BRAILLE
 - FINISH
 - PROVIDE UNIVERSAL PICTOGRAM FIGURES FOR RESTROOM
 - MAN FIGURE AT MEN'S RESTROOMS
 - WOMAN FIGURE AT WOMEN'S RESTROOMS
 - MAN AND WOMAN FIGURE AT FAMILY / UNISEX RESTROOMS
 - WHEELCHAIR / HANDICAP FIGURE AT ALL RESTROOMS
 - SHOWER SYMBOL AT ALL RESTROOMS WITH SHOWER
 - PROVIDE ALL MANUFACTURER DRAWINGS FOR APPROVAL PRIOR TO INSTALL.

KEY PLAN OVERALL



LOSE DESIGN SPACES FOR LIFE.

STATE OF GEORGIA
SEAN CHRISTOPHER GUY
03/01/23
REGISTERED ARCHITECT

THE GROVE BUILDING "L" - COMMUNITY CENTER
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR: WALTON COUNTY
LOGANVILLE, GEORGIA

SUBMITTALS / REVISIONS

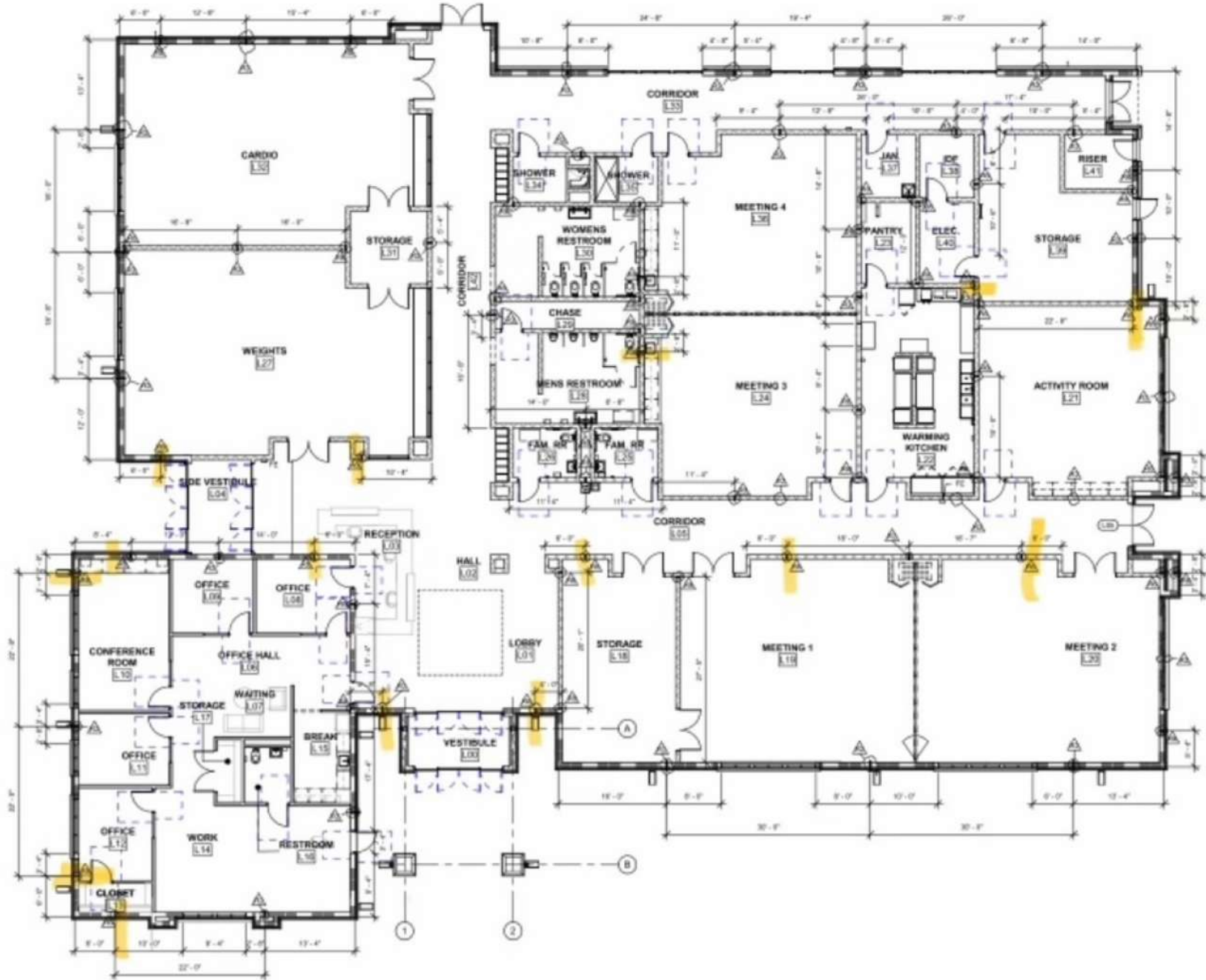
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4
R7	07/29/2024	CMU VERTICAL JOINT LOCATIONS

CONSTRUCTION DOCUMENTS

SHEET TITLE
COMMUNITY CENTER OVERALL FLOOR PLAN

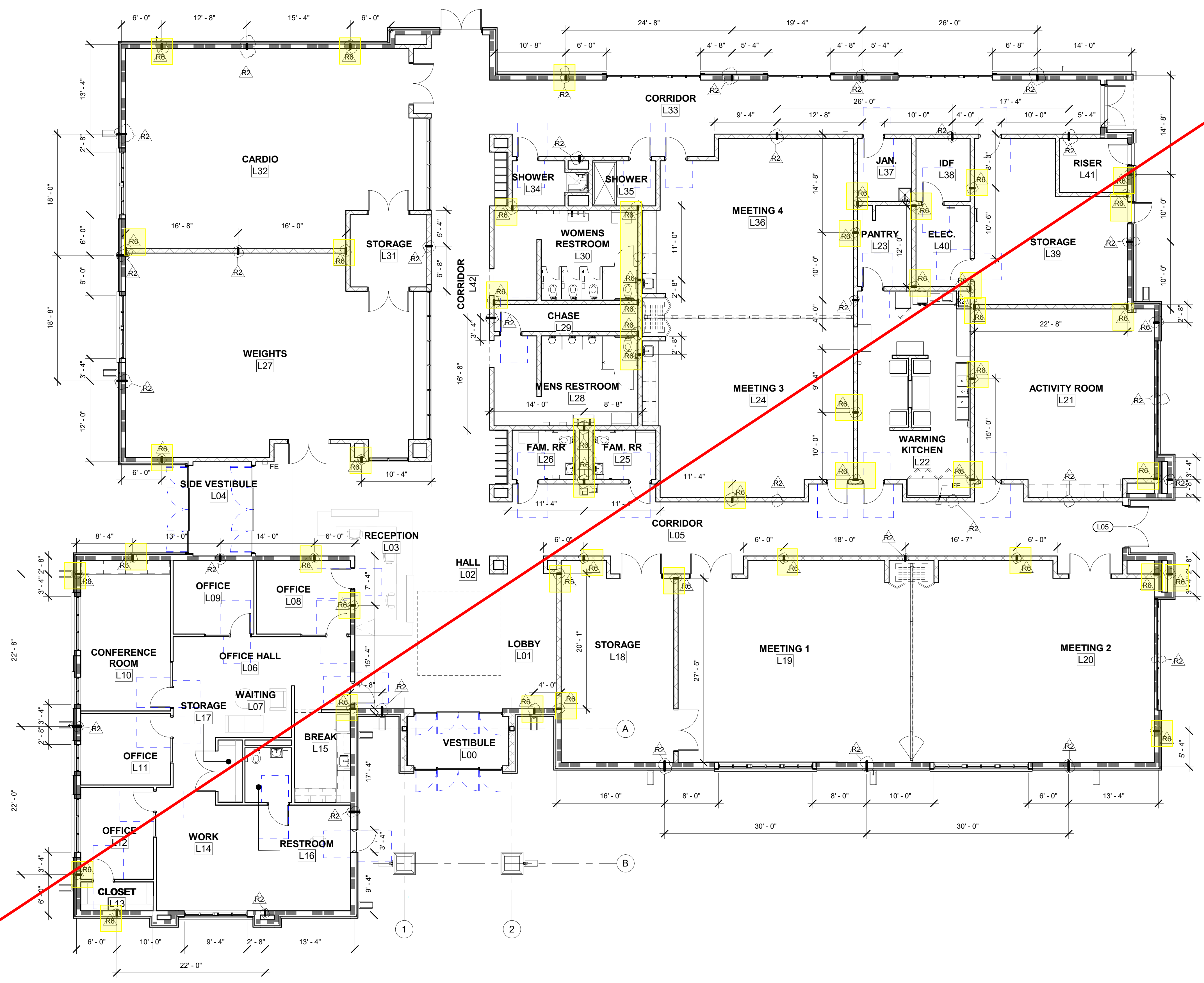
PROJECT NO. 22010 DATE 06/12/2024
DRAWN BY STAFF SCALE
CHECKED BY NR As indicated
SHEET NO.

A2.01L



COMMUNITY CENTER VERTICAL CMU CONTROL JOINTS FLOOR PLAN

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1 COMMUNITY CENTER VERTICAL CMU CONTROL JOINTS FLOOR PLAN
EXHIBIT 3 1/8" = 1'-0"

DIMENSIONS ARE MEASURED FROM THE FACE OF CMU UNLESS NOTED OTHERWISE.

THE GROVE BUILDING "L" -
COMMUNITY CENTER
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY

LOGANVILLE
GEORGIA

SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
R2	07/29/2024	CMU VERTICAL JOINT LOCATIONS
R6	10/15/2024	EXHIBIT 3 - CMU Vertical Control Joints Adjusts

EXHIBIT 3

SHEET TITLE
COMMUNITY CENTER
VERTICAL CMU
CONTROL JOINTS
FLOOR PLAN

PROJECT NO. 22010	DATE 10/15/2024
DRAWN BY STAFF	SCALE
CHECKED BY CF	1/8" = 1'-0"
SHEET NO.	

Walton County The Grove

Change Proposal #25 Additional Rock Removal

General Contractor:

**Reeves Young
45 Peachtree Industrial Boulevard N.W.
Sugar Hill, GA 30518
770-271-1159**



February 25, 2025

Walton County, GA
 The Grove, a Walton County Parks &
 Recreation Facility

Attn: John Ward, County Manager
 Jeff Prine, Capital Project Manager –
 Ascension Program Management

Change Proposal #25 – Additional Rock Removal (Rev 1)

The proposal below is for the additional rock blasted per the contractual unit rate allowances. Reeves Young has reflected an accelerated schedule in hopes to deliver the project in 18 months in advance of the contractually obligated 24 months.

Per Matrix rock quantification summary, the final trench rock quantification totaled to 7,404.45 CY; 3,654.45 CY more than the original trench rock unit quantity. Walton County recognizes the 34 delay days identified in your most recent schedule update or 02.15.2025. These days are concurrent with your anticipated 18-month construction schedule and in no way changes or modifies the contract 730 days or 24 months delivery schedule.

Description	Qty	Unit	Unit Price	Total
Rock – Total Open Excavation	827.7	CY	\$60.00	\$49,636.20
Rock – Open Excavation Carried	(500)	CY	\$75.00	(\$37,500.00)
Rock – Trench Excavation Carried	(1,250)	CY	\$165.00	(\$206,250.00)
Rock – Total Trench Excavation	7,404.45	CY	\$132.00	\$977,387.40
Total Additional Cost	1	LS		\$783,273.60

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,
Reeves Young, LLC

Isaiah Arnold





Project Manager

45 Peachtree Industrial Blvd, Suite 200
Sugar Hill, GA 30518

770.271.1159
reevesyoung.com

Approval

Lose Design (Architect of Record)	Signature: 	Date: <u>2/25/25</u>
Ascension PM (Capital Project Manager)	Signature: Thomas J. Prine	Date: 02.25.2025
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: 	Date: <u>02/25/25</u>

The Grove at the Park - Walton County - Summary of Rock Quantities	
Stormwater Lines (CY)	5,035.97
Sanitary Sewer Lines (CY)	989.26
Water Lines (CY)	325.6
Structures (CY)	671.46
Musco Poles (CY)	127.46
French Drain (CY)	254.7
Mass Rock (CY)	827.27
Total (CY)	8,231.72

Matrix Engineering Group, Inc.

February 05, 2025

STORMWATER PIPELINES ROCK VOLUME CALCULATION

	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (in)	Current Elevation (Averaged Survey)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume (Cubic Yards)	Total
Blast 1	B8	B9	907.70	909.20	36	914.50	4	907.95	6	5	90	4.55	75.83	5035.97
Blast 2	B9	B10	909.20	909.02	36	917.81	0	908.61	3	5	56	6.20	64.30	
Blast 3	B10	B11	909.02	908.90	36	920.01	0	908.46	5	5	47	6.55	57.01	
	B11	B12	908.90	910.40	36	923.59	0	909.15	9	5	119	5.44	119.88	
Blast 4	B10	B26	914.25	917.01	18	920.03	0	915.13	3	3.5	45	1.89	11.05	
Blast 8	D1	D2	892.82	894.14	30	905.20	0	892.98	9	4.5	57	3.21	30.54	
	D2	D3	894.14	899.55	30	912.07	0	896.35	13	4.5	35	2.73	15.90	
Blast 12	D5	D6	903.42	903.98	24	915.06	0	903.20	8	4	105.7	3.86	60.44	
Blast 13	D7	D8	904.66	906.50	24	919.66	0	905.08	11	4	75	3.58	39.78	
	D8	D9	906.50	906.68	24	920.13	0	906.09	8	4	30	6.04	26.85	
Blast 14	D8	D13	906.50	908.03	15	920.19	0	906.77	9	3.5	20	4.42	11.46	
	D8	D9	906.50	906.68	24	919.68	0	906.09	9	4	35	4.59	23.80	
Blast 15	D9	D10	906.68	908.15	15	919.40	0	906.91	9	3.5	80.7	3.49	36.50	
	D10	D11	908.15	908.67	15	917.82	0	907.91	7	3.5	99.6	2.91	37.57	
Blast 16	D11	D12	908.67	914.28	15	918.23	0	910.98	4	3.5	101.4	3.26	42.82	
	D8	D13	906.50	908.03	15	920.74	0	906.77	10	3.5	75	3.97	38.63	
Blast 17	D8	D13	906.50	908.03	15	920.74	0	906.77	9	3.5	15	4.98	9.67	
	D13	D14	908.03	908.27	15	919.16	0	907.65	8	3.5	106.7	3.51	48.55	
Blast 18	B12	B13	910.40	911.30	36	926.22	0	910.35	7	5	103	8.87	169.14	
	E1	E2	913.43	910.00	36	922.61	0	911.22	9	5	20	2.40	8.87	
Blast 19	B13	B14	911.30	908.75	36	926.67	0	909.53	5	5	75	12.15	168.68	
Blast 19	B13	B14	911.30	908.75	36	926.69	0	909.53	5.2	5	85	11.97	188.34	
	B14	B15	908.75	912.01	30	927.40	0	909.88	5.1	4.5	31	12.42	64.17	
	B14	B14.1	908.75	917.75	18	926.72	0	912.75	5.8	3.5	60.9	8.16	64.46	
	B15	B15.1	912.01	916.50	18	925.59	0	913.76	4.4	3.5	20.3	7.43	19.55	
	B15.1	B28	916.50	917.80	18	925.46	0	916.65	5.2	3.5	50	3.61	23.40	
Blast 20	B15	B16	912.01	915.22	30	927.57	0	913.12	4.3	4.5	80	10.16	135.45	
Blast 21	B15	B16	912.01	915.22	30	927.25	0	913.12	3	4.5	75	11.13	139.13	
Blast 22	B16	B17	915.22	914.72	30	927.55	0	914.47	2.6	4.5	63.8	10.48	111.44	
	B17	B18	914.72	916.25	30	927.26	0	914.99	3.1	4.5	20	9.17	30.57	
Blast 23	B17	B18	914.72	916.25	30	927.26	0	914.99	3.1	4.5	42.3	9.17	64.66	
	B18	B18.1	916.25	922.28	12	927.05	0	918.77	3.3	3.5	67.2	4.98	43.38	
	B18	B19	916.25	915.54	30	929.35	0	915.40	5.2	4.5	59.4	8.75	86.63	
	B19	B20	915.54	918.52	30	932.18	0	916.53	7.2	4.5	35	8.44	49.26	
Blast 24	B19	B20	915.54	918.52	30	931.35	0	916.53	4.5	4.5	62.5	10.32	107.45	
	B20	B21	918.52	919.16	30	935.42	0	918.34	9.5	4.5	89.6	7.58	113.14	
	B21	B22	919.16	920.66	18	934.93	0	919.41	7.5	3.5	67.7	8.02	70.38	

STORMWATER PIPELINES ROCK VOLUME CALCULATION

	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (in)	Current Elevation (Averaged Survey)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume (Cubic Yards)	Total
Blast 25	B21	B31	919.90	920.00	24	933.25	0	919.45	6.4	4	107.4	7.40	117.78	
	B31	B31.2	920.70	922.60	15	933.02	0	921.15	3.6	3.5	33.4	8.27	35.81	
Blast 26	B22	B22.1	920.80	921.00	18	934.43	0	920.40	6.8	3.5	25.1	7.22	23.51	
	B22.1	B22.2	921.10	921.30	15	934.83	0	920.70	8.4	3.5	29.9	5.73	22.21	
	B22	B23	923.60	924.40	18	934.89	0	923.50	6.5	3.5	79.9	4.89	50.65	
Blast 27	B22.1	B22.1A	925.50	925.00	12	935.14	0	924.75	8.5	3.5	38.89	1.89	9.53	
	B23	B23.1	924.90	924.50	12	934.73	0	924.20	6.5	3.5	55.8	4.03	29.17	
Blast 28	B22.2	B22.3	921.40	922.50	15	934.18	0	921.45	7.9	3.5	46.2	4.83	28.95	
	E7	E8	919.30	918.80	24	929.25	0	918.55	9.7	4	48.7	1.00	7.21	
Blast 29	E8	E9	920.40	919.40	24	930.02	0	919.40	10.2	4	197.58	0.42	12.29	
	E9	E10	920.60	920.50	24	932.64	0	920.05	11	4	17.2	1.59	4.04	
	E10	E11	922.50	923.30	18	933.22	0	922.40	9.2	3.5	72.9	1.62	15.26	
Blast 30	B23	B24	925.30	927.00	18	930.98	0	925.65	1.6	3.5	140.8	3.72	67.99	
	E41	E42	921.80	922.90	18	932.60	0	921.85	8.1	3.5	135	2.65	46.38	
Blast 31	E11	E12	923.40	923.90	18	933.71	0	923.15	9.0	3.5	50.1	1.56	10.10	
	E12	E13	924.00	924.50	18	933.58	0	923.75	7.0	3.5	57.6	2.83	21.09	
	E13	E14	924.60	925.00	18	933.14	0	924.30	3.9	3.5	43.2	4.94	27.64	
	E14	E14.1	925.00	925.50	12	932.24	0	924.75	4.3	3.5	47.82	3.19	19.74	
	E14	E15	925.10	925.50	18	932.35	0	924.80	3.3	3.5	41.9	4.25	23.06	
	E15	E16	925.60	926.00	18	931.51	0	925.30	3.8	3.5	26.1	2.41	8.15	
Blast 32	E41	E42	921.80	922.90	18	932.60	0	921.85	4.7	3.5	174.5	6.05	136.85	
	E42	E42.1	923.50	924.30	18	931.70	0	923.40	4.0	3.5	25	4.30	13.94	
Blast 33	E31	E30	921.90	921.00	18	925.42	0	920.95	3.0	3.5	91.1	1.46	17.30	
	E30	E29	920.90	920.00	18	928.83	0	919.95	1.9	3.5	84.5	6.98	76.40	
	E29	E28	919.50	918.60	24	930.98	0	918.55	2.5	4	85	9.92	124.98	
Blast 34	E28	E25	918.50	917.00	24	927.66	0	917.25	2.5	4	181.8	7.90	212.91	
	E25	E44	924.90	923.00	12	927.66	0	923.45	2.8	3.5	76.9	1.40	14.01	
	E44	E45	927.00	925.10	12	930.65	0	925.55	4.2	3.5	151.7	0.90	17.70	
Blast 35	E25	E24	916.90	916.30	24	925.67	0	916.10	1.8	4	115.5	7.77	132.87	
	E24	E23	916.40	915.70	24	922.37	0	915.55	1.1	4	95	5.72	80.50	
	E23	E23.1	919.50	922.90	15	922.38	0	920.70	1.0	3.5	46.9	0.67	4.10	
Blast 36	E23	E22	915.60	915.30	24	921.56	0	914.95	1.7	4	52.5	4.91	38.19	
	E22	E22.1	917.00	918.00	12	922.03	0	917.00	1.3	3.5	43	3.72	20.76	
	E22	E21	915.10	914.60	24	921.75	0	914.35	2.0	4	30.4	5.39	24.30	
	E21	E20	914.60	914.20	30	921.58	0	913.90	3.4	4.5	65.1	4.28	46.44	
	E20	E19	914.10	913.30	30	919.79	0	913.20	7.0	4.5	30	-0.41	-2.05	
Blast 37	G1	G2	910.00	910.50	36	917.17	0	909.75	5.2	5	89.9	2.21	36.88	

Week 11/11 - 11/15

STORMWATER PIPELINES ROCK VOLUME CALCULATION

	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (in)	Current Elevation (Averaged Survey)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume (Cubic Yards)	Total
Blast 38	G2	G3	911.05	910.50	36	917.37	0	910.28	5.8	5	50	1.29	11.94	ek 11/18 - 11/22
	G3	G4	911.05	912.80	36	918.23	0	911.43	3.5	5	75	3.30	45.83	
Blast 39	G3	G4	911.05	912.80	36	918.23	0	911.43	1.0	5	85	5.80	91.30	
	G3.1	G3.2	912.30	913.00	24	918.22	0	912.15	3.9	4	60	2.17	19.29	
Blast 41	G3.2	G3.3	913.50	914.20	18	918.63	0	913.35	2.0	3.5	20	3.28	8.50	
	G3	G4	911.05	912.80	36	918.23	0	911.43	0.1	5	175.5	6.70	217.75	
Blast 42	G3.2	G3.3	913.50	914.20	18	918.63	0	913.35	2.2	3.5	111.8	3.08	44.64	
	G3	G4	911.05	912.80	36	918.23	0	911.43	0.0	5	85	6.80	107.04	
	G4	G4.1	912.80	913.00	36	919.20	0	912.40	0.0	5	28.5	6.79	35.86	
	G4.1	G4.2	914.00	914.10	24	919.26	0	913.55	0.2	4	21.7	5.51	17.70	
Blast 43	G4.2	G4.3	914.1	914.7	24	919.46	0	913.90	2.6	4	109.8	2.96	48.15	
	G4	G5	912.8	914.3	36	919.58	0	913.05	2.0	5	185	4.53	155.02	
Blast 44	E19	E19.1	913.8	914.6	15	919.38	0	913.70	5.0	3.5	72.1	0.68	6.36	
	G4	G5	912.8	915.3	36	919.58	0	913.55	2.0	5	70	4.03	52.18	
Blast 45	G4.3	G4.4	914.70	915.10	24	919.78	0	914.40	3.9	4	60	1.48	13.16	
	Field Drain Field 2		908.00	910.67	8	913.50	0	908.84	2.0	3.5	225	2.66	77.73	
Blast 47	G5	G6	914.50	915.00	36	920.14	0	914.25	2.0	5	56.3	3.89	40.56	
	G6	G7	915.30	915.70	36	921.18	0	915.00	2.9	5	25.3	3.28	15.37	
Blast 54	BP1	BP2	918.00	918.40	48	920.05	0	917.70	2.3	6	55	0.05	0.61	
	B31	B31.1	923.70	922.20	12	931.90	0	922.45	6.5	3.5	109	2.95	41.68	

Matrix Engineering Group, Inc.

SANITARY SEWER PIPELINES ROCK VOLUME CALCULATION

	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (in)	Current Elevation (Averaged Structures)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume	Total
*	Main4	Main6	903.50	910.60	8	919.68	0	907.05	5.5	3.5	15	7.13	13.86	989.26
**	Main6	Main7	910.60	913.70	8	921.10	0	912.15	4	3.5	305	4.95	195.87	
***	A1	A2	907.00	908.00	8	919.26	0	907.50	5.7	3.5	345	6.06	270.93	
	A2	A3	908.00	909.75	8	918.19	0	908.88	7.3	3.5	40	2.02	10.45	
	Main7	Main8	914.40	916.20	8	927.22	0	915.30	9.9	3.5	75	2.02	19.66	
Blast 30	Main9	Main10	918.75	920.50	8	931.83	0	919.63	8	3.5	135	4.20	73.56	
Blast 32	Main10	Main11	920.50	923.00	8	929.74	0	921.75	2.1	3.5	95	5.89	72.53	
Blast 36	L2	Building L	920.08	922.50	8	928.00	0	921.29	3.1	3.5	100	3.61	46.80	
Blast 46	Main8	Main9	916.20	917.10	8	930.75	0	916.65	9.6	3.5	30	4.50	17.50	
	Main9	Main10	918.75	920.50	8	930.75	0	919.63	11.1	3.5	48	0.03	0.16	
Blast 48	Main9	L1	918.80	919.01	8	929.61	0	918.91	6.4	3.5	226.25	4.30	126.26	
Blast 51	Main9	Main10	918.75	920.50	8	930.75	0	919.63	9.1	3.5	65	2.03	17.06	
Blast 52	Main11	M1	923.10	924.30	8	932.15	0	923.70	6.6	3.5	237.22	1.85	56.89	
Blast 53	M1	Building J	924.30	925.50	8	932.75	0	924.90	4.8	3.5	171.3	3.05	67.73	

* Some of the sanitary sewer line is included in the stormwater line B8-B9
 ** Segmented into 3 blasts, segment 1 38.50, segment 2 51.54, segment 3 105.55
 *** A1 - A2 segmented into 2 blasts. sta 2+21 - sta 3+81 quantified to 106.81, sta 3+81 - sta 5+58 164.12

Matrix Engineering Group, Inc.

WATER LINE ROCK VOLUME CALCULATION

	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (in)	Current Elevation (Averaged Structures)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume	Total
Blast 58	FDC Building L	FDC Connection	924.63	924.63	8	927.96	0	924.63	3.3	3.5	55	0.03	0.19	325.60
Blast 59/60	FDC Building L	FDC Connection	924.63	924.63	8	933.40	0	924.63	4.1	3.5	80	4.67	48.43	
Blast 58	Water next to FDC		924.63	924.63	8	927.96	0	924.63	3.3	3.5	55	0.03	0.19	
Blast 59/60	Water next to FDC		924.63	924.63	8	933.40	0	924.63	4.1	3.5	80	4.67	48.43	
Blast 58	Building L	near B22	924.63	924.63	8	927.96	0	924.63	3.4	3.5	55	-0.07	0.00	
Blast 60	Building L	near B22	924.63	924.63	8	933.40	0	924.63	5.6	3.5	65	3.17	26.71	
Blast 61	Building L	near B22	923.50	923.50	8	934.25	0	923.50	6.5	3.5	70	4.25	38.56	
Blast 38	G3	G4	913.00	913.25	8	917.72	0	913.13	2	3.5	25	2.59	8.39	
Blast 39	G3	G4	913.00	913.25	8	917.72	0	913.13	1	3.5	75	3.59	34.90	
Blast 41	G4	cross roadway	915.50	915.50	8	918.91	0	915.50	1.1	3.5	40	2.31	11.98	
Blast 41	G3	G4	913.00	913.25	8	917.72	0	913.13	0	3.5	85	4.59	50.58	
Blast 42	G3	G4	913.00	913.25	8	917.72	0	913.13	0	3.5	50	4.59	29.75	
Blast 43	G4	G5	914.86	918.58	8	919.27	0	916.72	2	3.5	175	0.55	12.43	
Blast 44	G4	G5	914.86	918.58	8	919.27	0	916.72	1	3.5	75	1.55	15.05	

* Some of the sanitary sewer line is included in the stormwater line B8-B9
 ** Segmented into 3 blasts, segment 1 38.50, segment 2 51.54, segment 3 105.55
 *** A1 - A2 segmented into 2 blasts. sta 2+21 - sta 3+81 quantified to 106.81, sta 3+81 - sta 5+58 164.12

Matrix Engineering Group, Inc.

STRUCTURE ROCK VOLUME CALCULATION

Structure	Bottom of Structure Elevation	Current Elevation	Structure Diameter (in)	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Bottom of Structure -6"	Rock Elevation	Rock Thickness (ft)	Volume (Cubic Yards)	Total
D1	892.50	900.76	86	6	9.2	9.2	892.00	894.76	2.76	8.59	671.46
D2	893.75	909.63	58	13	6.8	6.8	893.25	896.63	3.38	5.85	
D3	900.50	912.07	58	13	6.8	6.8	900.00	899.07	-0.93	0.00	
D5	902.75	914.62	58	11	6.8	6.8	902.25	903.62	1.37	2.37	
D6	904.00	915.42	58	9	6.8	6.8	903.50	906.42	2.92	5.05	
D8	906.50	920.80	72	9	8.0	8.0	906.00	911.80	5.80	13.75	
D9	907.00	920.01	58	9	6.8	6.8	906.50	911.01	4.51	7.80	
D10	908.25	919.34	58	7	6.8	6.8	907.75	912.34	4.59	7.94	
D11	908.75	917.42	58	4	6.8	6.8	908.25	913.42	5.17	8.94	
D12	914.00	920.42	58	5	6.8	6.8	913.50	915.42	1.92	3.32	
D13	907.50	920.27	58	9	6.8	6.8	907.00	911.27	4.27	7.38	
D14	908.25	917.76	58	6	6.8	6.8	907.75	911.76	4.01	6.93	
B9	908.50	917.00	72	5	8.0	8.0	908.00	912.00	4.00	9.48	
B10	909.50	918.62	72	4	8.0	8.0	909.00	914.62	5.62	13.32	
B11	910.00	921.40	72	6	8.0	8.0	909.50	915.40	5.90	13.99	
B12	910.50	925.78	72	9	8.0	8.0	910.00	916.78	6.78	16.07	
B13	911.50	926.32	72	6	8.0	8.0	911.00	920.32	9.32	22.09	
B14	912.50	927.26	72	6	8.0	8.0	912.00	921.26	9.26	21.95	
B14.1	917.50	926.30	72	6	8.0	8.0	917.00	920.30	3.30	7.82	
B15	913.50	927.30	58	5	6.8	6.8	913.00	922.30	9.30	16.08	
B15.1	916.75	925.43	58	4	6.8	6.8	916.25	921.43	5.18	8.96	
B16	915.50	927.30	58	4	6.8	6.8	915.00	923.30	8.30	14.35	
B17	915.50	927.36	58	2	6.8	6.8	915.00	925.36	10.36	17.92	
B18	916.50	927.02	58	3	6.8	6.8	916.00	924.02	8.02	13.87	
B18.1	923.10	927.37	58	4	6.8	6.8	922.60	923.37	0.77	1.33	
B19	917.00	932.50	58	7	6.8	6.8	916.50	925.50	9.00	15.56	
B20	917.50	934.95	58	9	6.8	6.8	917.00	925.95	8.95	15.48	
B21	918.50	935.80	86	10	9.2	9.2	918.00	925.80	7.80	24.27	
B22	920.50	933.87	58	6	6.8	6.8	920.00	927.87	7.87	13.61	
B22.1	920.50	934.98	58	7	6.8	6.8	920.00	927.98	7.98	13.80	
B22.1A	922.87	935.19	58	8	6.8	6.8	922.37	927.19	4.82	8.34	
B22.2	920.75	934.80	58	9	6.8	6.8	920.25	925.80	5.55	9.60	
B22.3	922.00	933.51	58	9	6.8	6.8	921.50	924.51	3.01	5.21	
B23	924.00	935.87	58	6	6.8	6.8	923.50	929.87	6.37	11.02	
B23.1	924.40	933.92	58	6	6.8	6.8	923.90	927.92	4.02	6.95	
B31	919.50	933.02	58	5	6.8	6.8	919.00	928.02	9.02	15.60	
B31.2	922.00	933.02	58	3	6.8	6.8	921.50	930.02	8.52	14.73	
E8	918.75	929.04	58	9	6.8	6.8	918.25	920.04	1.79	3.10	
E9	918.90	932.38	58	11	6.8	6.8	918.40	921.38	2.98	5.15	
E10	919.75	933.19	58	10	6.8	6.8	919.25	923.19	3.94	6.81	
E11	922.75	933.73	58	9	6.8	6.8	922.25	924.73	2.48	4.29	
B24	927.25	926.25	58	0	6.8	6.8	926.75	926.25	-0.50	0.00	
E41	921.25	932.92	58	12	6.8	6.8	920.75	920.92	0.17	0.29	
E12	925.50	933.87	58	9	6.8	6.8	925.00	924.87	-0.13	0.00	
E13	924.00	933.32	58	6	6.8	6.8	923.50	927.32	3.82	6.61	
E14	924.50	932.95	58	4	6.8	6.8	924.00	928.95	4.95	8.56	
E15	925.00	931.74	58	3	6.8	6.8	924.50	928.74	4.24	7.33	
E42	922.50	932.28	58	4	6.8	6.8	922.00	928.28	6.28	10.86	
E42.1	923.75	931.12	58	4	6.8	6.8	923.25	927.12	3.87	6.69	
E31	921.50	923.49	58	2	6.8	6.8	921.00	921.49	0.49	0.85	
E30	920.50	927.34	58	4	6.8	6.8	920.00	923.34	3.34	5.78	
E29	919.00	930.31	58	1	6.8	6.8	918.50	929.31	10.81	18.70	
E28	918.00	931.64	58	2	6.8	6.8	917.50	929.64	12.14	21.00	
E25	916.50	928.06	58	2	6.8	6.8	916.00	926.06	10.06	17.40	
E44	924.75	930.70	58	3	6.8	6.8	924.25	927.70	3.45	5.97	
E24	916.75	923.27	58	1	6.8	6.8	916.25	922.27	6.02	10.41	
E23	915.00	921.47	58	1	6.8	6.8	914.50	920.47	5.97	10.32	
E22	914.50	921.65	58	2	6.8	6.8	914.00	919.65	5.65	9.77	
E21	914.00	921.84	58	2	6.8	6.8	913.50	919.84	6.34	10.96	
E20	913.50	921.32	58	7	6.8	6.8	913.00	914.32	1.32	2.28	
E22.1	916.50	922.40	58	3	6.8	6.8	916.00	919.40	3.40	5.88	
G1	909.50	917.14	86	1	9.2	9.2	909.00	916.14	7.14	22.22	
G3	910.50	917.54	86	5	9.2	9.2	910.00	912.54	2.54	7.90	
G3.3	913.75	918.97	58	3	6.8	6.8	913.25	915.97	2.72	4.70	
G4.4	914.40	919.00	58	5	6.8	6.8	913.90	914.00	0.10	0.17	

Blast 30 - 34

Week 11/4 - 11/8

Week 11/11 - 11/15

STRUCTURE ROCK VOLUME CALCULATION

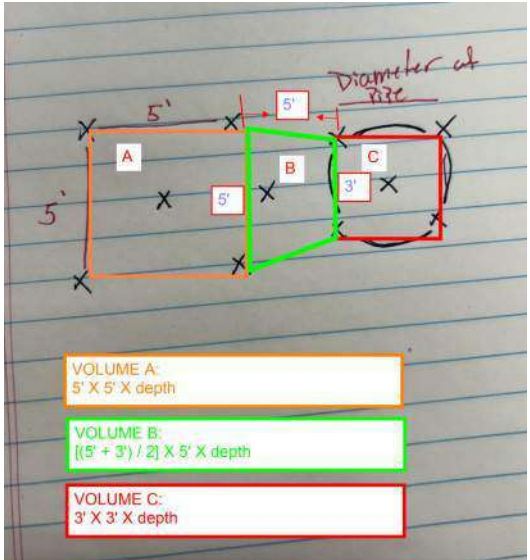
Structure	Bottom of Structure Elevation	Current Elevation	Structure Diameter (in)	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Bottom of Structure -6"	Rock Elevation	Rock Thickness (ft)	Volume (Cubic Yards)	Total
G5	913.75	920.24	72	2	8.0	8.0	913.25	918.24	4.99	11.83	
G6	914.50	920.04	86	2	9.2	9.2	914.00	918.04	4.04	12.57	
G7	915.25	922.32	72	3	8.0	8.0	914.75	919.32	4.57	10.83	
Main8	915.75	927.92	58	10	6.8	6.8	915.25	917.92	2.67	4.62	
Main7	913.75	925.50	58	10	6.8	6.8	913.25	915.50	2.25	3.89	
A2	909.25	918.28	58	7	6.8	6.8	908.75	911.28	2.53	4.38	

Matrix Engineering Group, Inc.

Blast	Musco Pole	Rock Thick	Rock Thick B	Rock Thick C	#	Volume A	#	Volume B	#	Volume C	Total Volume (cy)	Notes
Blast 42	E-2	7	7	5.8		6.48		9.72		1.93	18.14	
Blast 45	C-3	8	11	11		7.41		15.28		3.67	26.35	
Blast 40	A-4	3	2	2		2.78		2.78		0.67	6.22	
Blast 40	P-4	15.5	14	14.2		14.35		19.44		4.73	38.53	****Mislabeled as P-6
Blast 14	E-3	0	0	16		0.00		0.00		5.33	5.33	****Sections A and B were included in Stormwater Line at MH-D9
Blast 12	B-3	1.5	4.5	9		1.39		6.25		3.00	10.64	
Blast 11	C-4	0	0	6		0.00		0.00		2.00	2.00	****No holes drilled for Sections A and B
Blast 15	E-1	0	0	0		0.00		0.00		0.00	0.00	****Included within Blast 15 Stormwater D8 - D13

Column 1	Musco Pole	Diameter (ft)	Height 1 (ft)	Height 2 (ft)	#	Height 3 (ft)	#	Height 4 (ft)	Height 5 (ft)	Total Volume (cy)
Measured	P-1	2.75	1.00	2.00						2.07
	P-2	2.75	3.83	3.50		2.67		1.33		7.82
	P-3	2.75	3.00	3.00						4.14
	P-6	2.75	3.83	4.00		1.17				6.21

Total Rock Quantity 127.46 Cubic Yards



Matrix Engineering Group, Inc.

FRENCH DRAIN PIPELINES ROCK VOLUME CALCULATION

Date	Structure 1	Structure 2	Structure 1 Invert Elevations	Structure 2 Invert Elevations	Pipeline Diameter (ft)	Current Elevation (Averaged)	Overburden Added (ft)	Average Invert Elevation (-6")	Blasting Log Depth to Rock (From Blasters Log Table)	Trench Width (ft)	Linear Feet	Rock Thickness (ft)	Volume	Total
10/2/2024	French Drain		889	891.5	0.83	893.82	0	890.25	0	3.5	75	3.57	34.71	254.70
10/3/2024	French Drain		886.00	889.00	0.83	893.82	0	887.50	1	3.5	210	5.32	144.82	
10/8/2028	French Drain		906.00	898.40	0.83	910.40	0	901.70	6.04	3.5	218	2.66	75.17	

* Some of the sanitary sewer line is included in the stormwater line B8-B9
 ** Segmented into 3 blasts, segment 1 38.50, segment 2 51.54, segment 3 105.55
 *** A1 - A2 segmented into 2 blasts. sta 2+21 - sta 3+81 quantified to 106.81, sta 3+81 - sta 5+58 164.12

Matrix Engineering Group, Inc.

GENERAL ROCK ENCOUNTERED LAYOUT



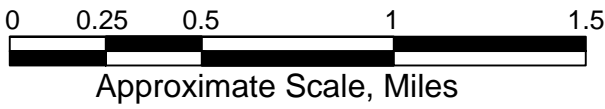
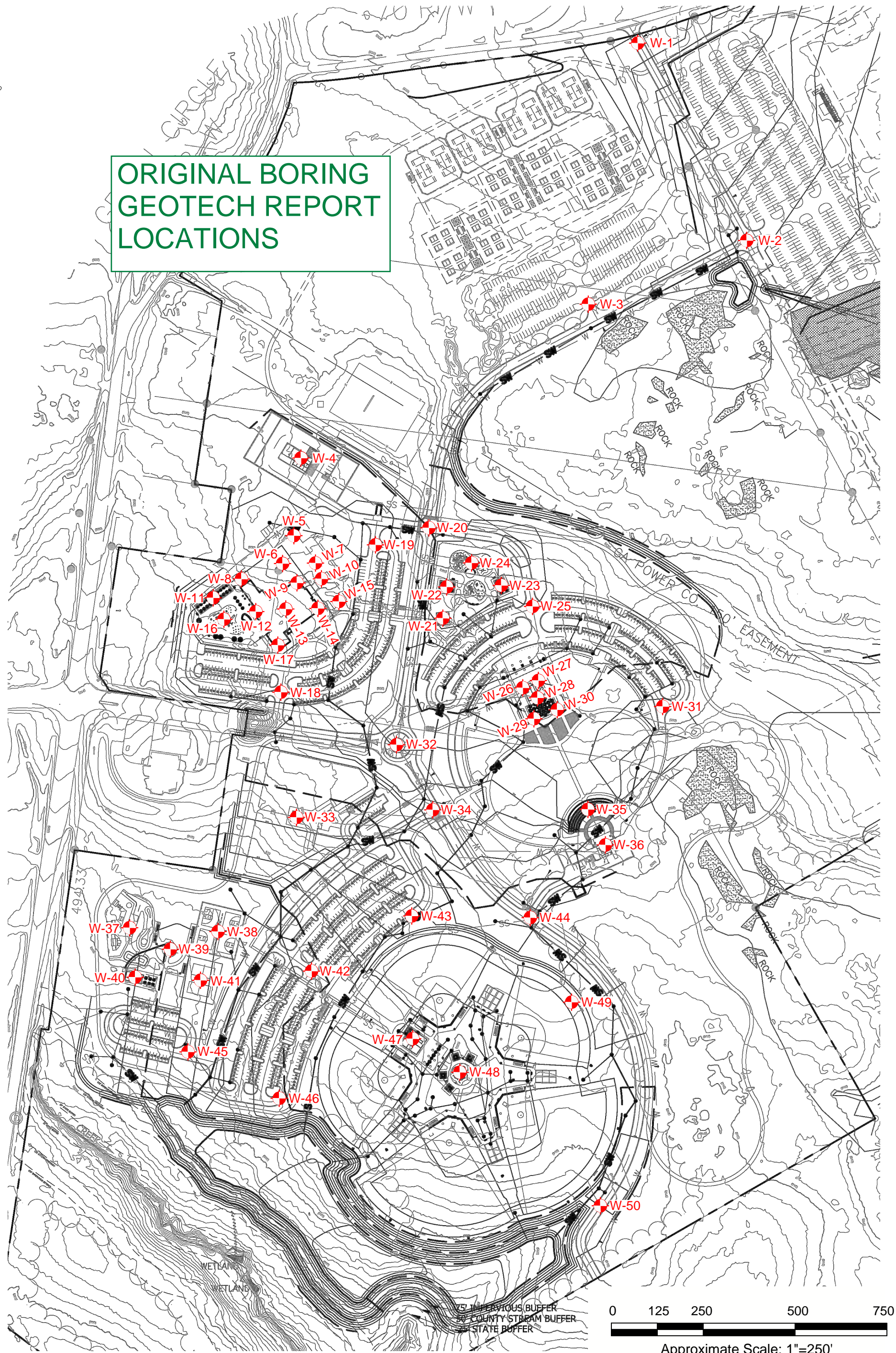


Figure 1: Site Location Plan

Walnut Grove Park
Walton County, Georgia
Geo-Hydro Project Number 222138.20

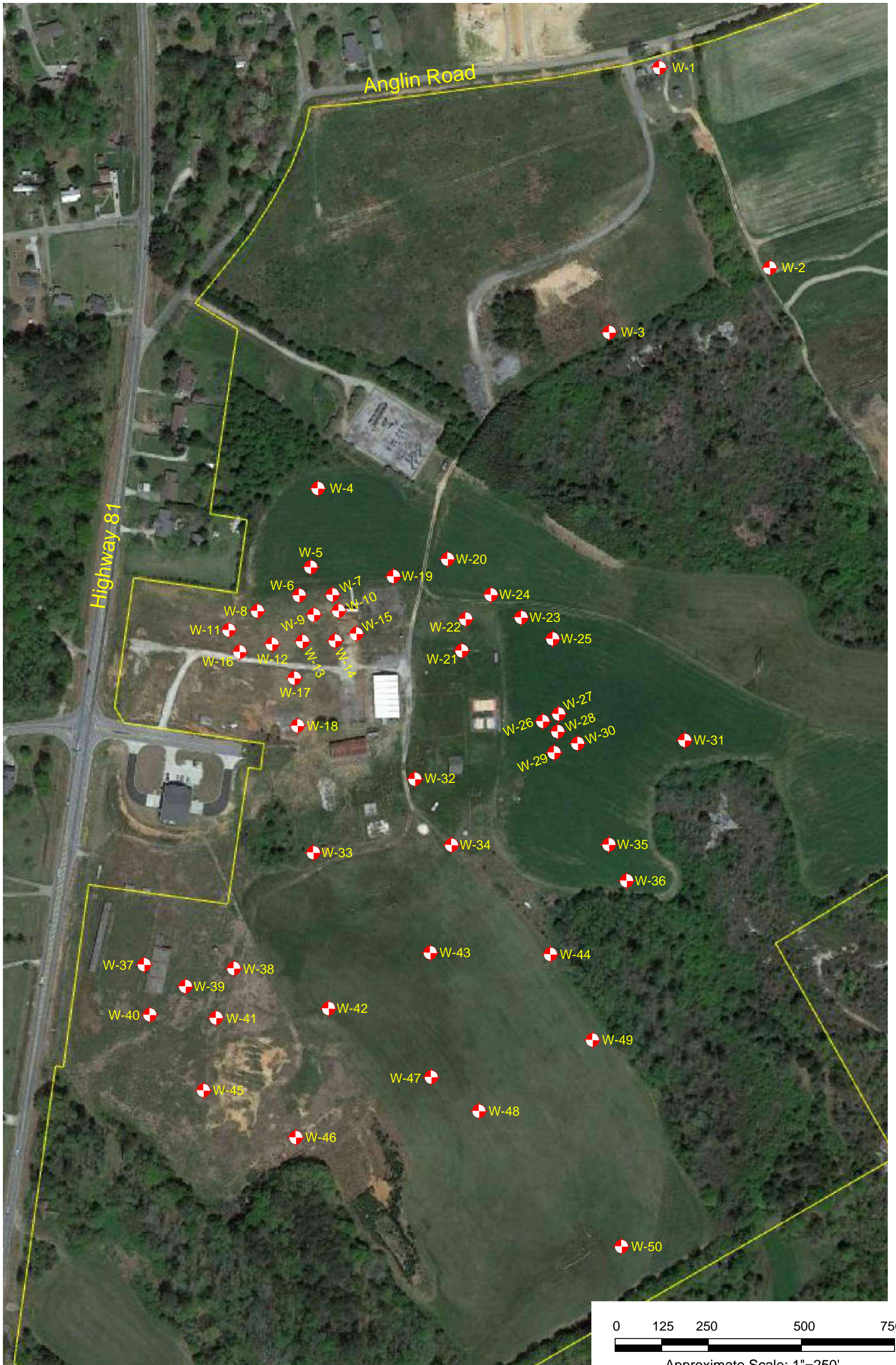
**ORIGINAL BORING
GEOTECH REPORT
LOCATIONS**



LEGEND: Soil Test Boring

Figure 2: Boring Location Plan

Walnut Grove Park
Walton County, Georgia
Geo-Hydro Project Number 222138.20



LEGEND:  Soil Test Boring

Figure 3: Boring Location Plan

Walnut Grove Park
Walton County, Georgia
Geo-Hydro Project Number 222138.20

Symbols and Nomenclature

Symbols

█	Thin-walled tube (TWT) sample recovered
▢	Thin-walled tube (TWT) sample not recovered
●	Standard penetration resistance (ASTM D1586)
50/2"	Number of blows (50) to drive the split-spoon a number of inches (2)
65%	Percentage of rock core recovered
RQD	Rock quality designation - % of recovered core sample which is 4 or more inches long
GW	Groundwater
▼	Water level at least 24 hours after drilling
▽	Water level one hour or less after drilling
ALLUV	Alluvium
TOP	Topsoil
PM	Pavement Materials
CONC	Concrete
FILL	Fill Material
RES	Residual Soil
PWR	Partially Weathered Rock
SPT	Standard Penetration Testing

Penetration Resistance Results		Approximate
	Number of Blows, N	Relative Density
Sands	0-4	very loose
	5-10	loose
	11-20	firm
	21-30	very firm
	31-50	dense
	Over 50	very dense
		Approximate
	Number of Blows, N	Consistency
Silts and Clays	0-1	very soft
	2-4	soft
	5-8	firm
	9-15	stiff
	16-30	very stiff
	31-50	hard
	Over 50	very hard

Drilling Procedures

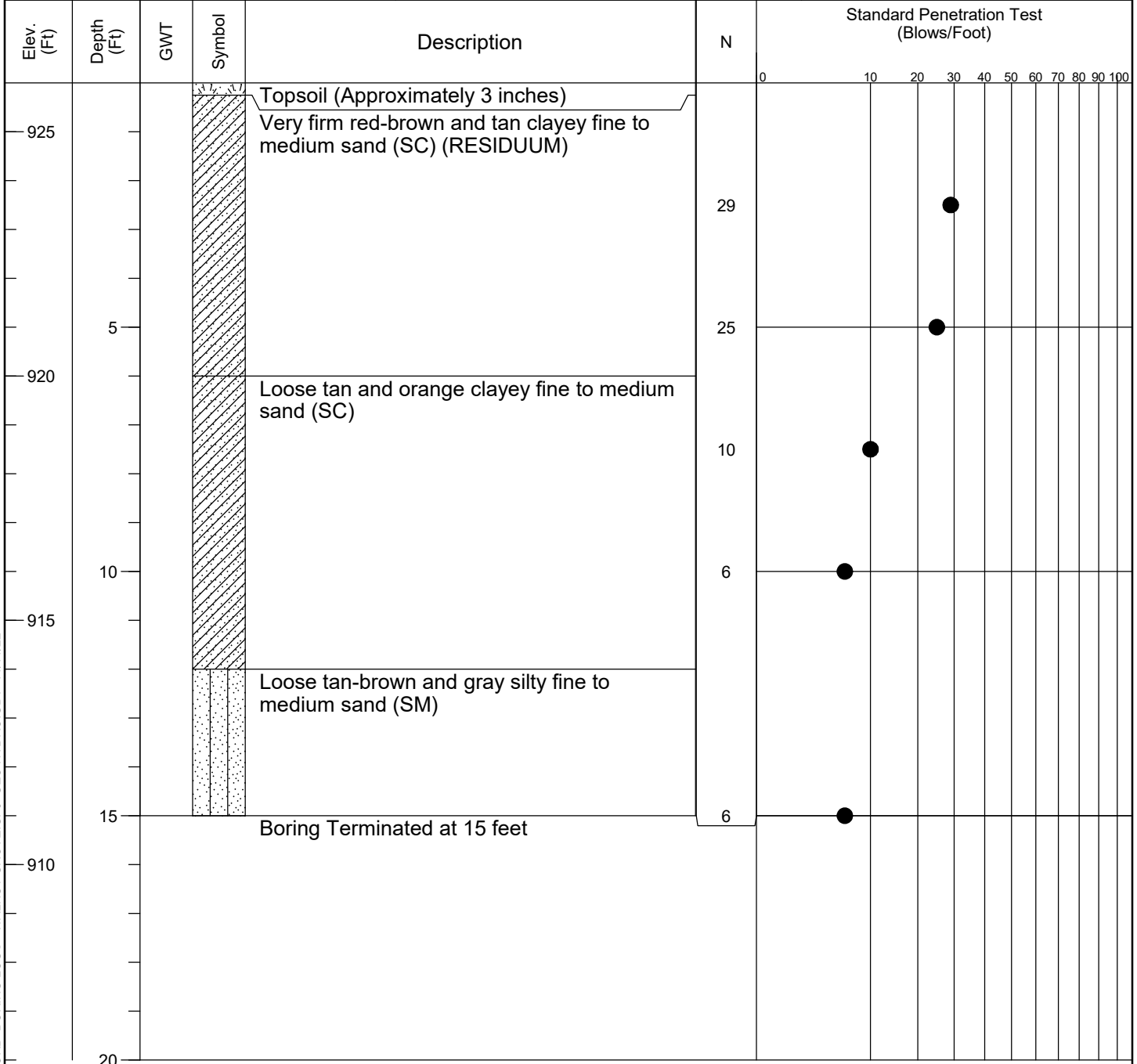
Soil sampling and standard penetration testing performed in accordance with ASTM D 1586. The standard penetration resistance is the number of blows of a 140-pound hammer falling 30 inches to drive a 2-inch O.D., 1.4-inch I.D. split-spoon sampler one foot. Rock coring is performed in accordance with ASTM D 2113. Thin-walled tube sampling is performed in accordance with ASTM D 1587.

W-1

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-3

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 920	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 3 inches) Firm red-brown and tan clayey fine sand (SC) (RESIDUUM)	13															
915	5			Auger Refusal at 5 feet	15															
910	10																			
905	15																			
900	20																			

Remarks:

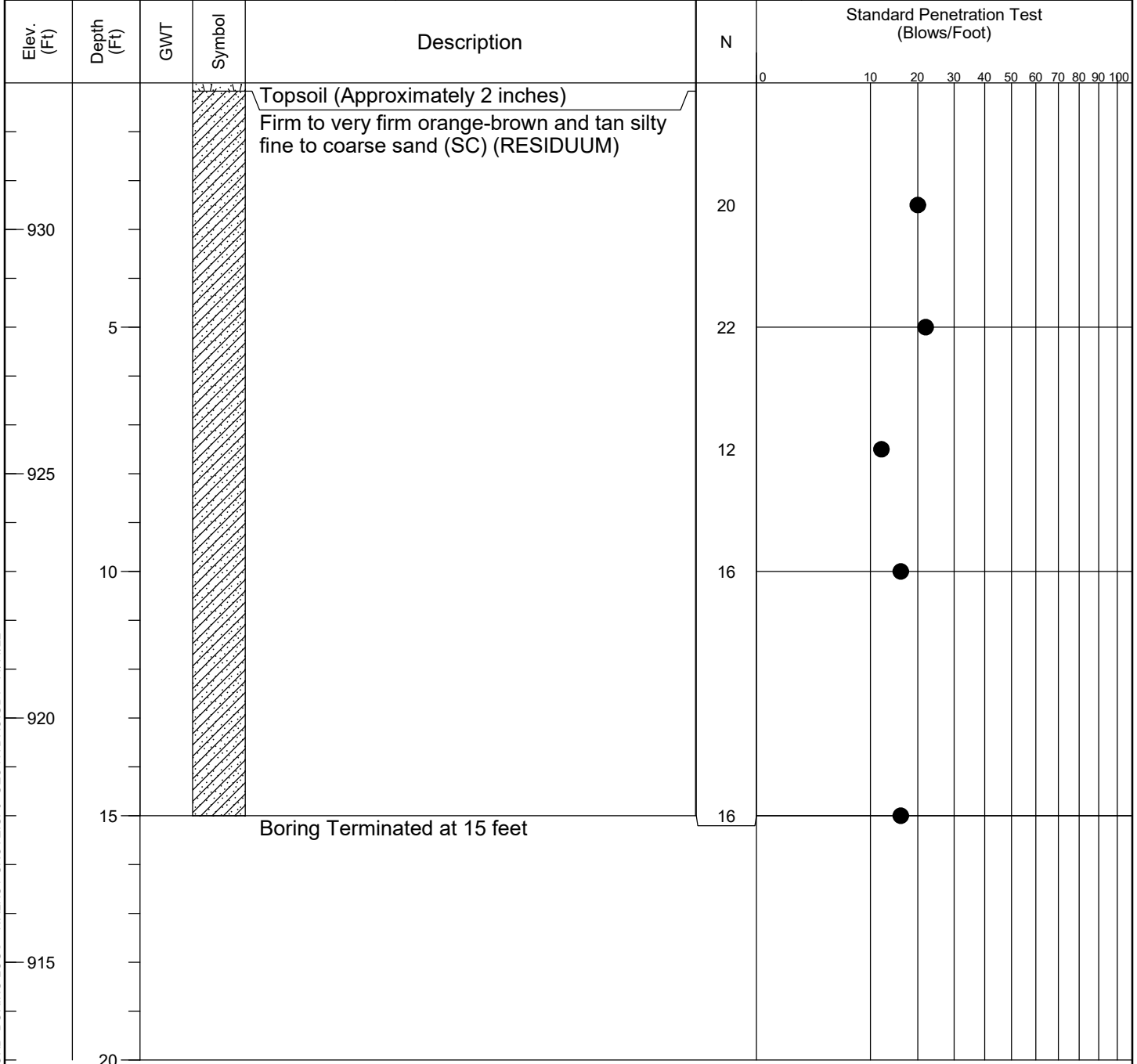
TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-4

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 933	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

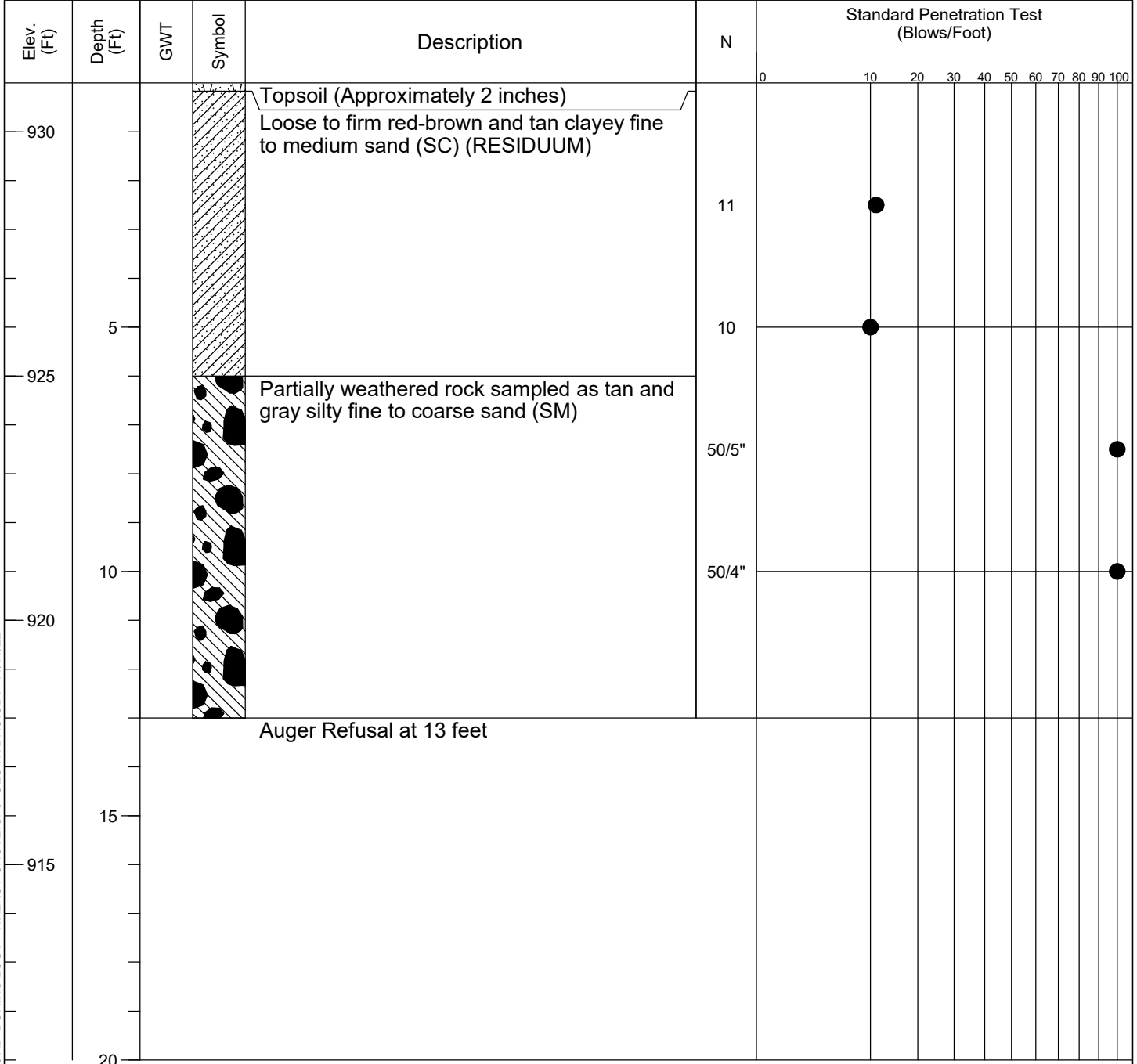
Remarks:

W-5

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 931	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-6

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 932	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Loose red-brown clayey fine to medium sand (SC) (RESIDUUM)	6		●													
930	5				6		●													
				Loose to firm orange-tan and black silty fine to coarse sand (SM)	6		●													
925	10				13			●												
920				Auger Refusal at 13 feet																
	15																			
915																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-7

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 933	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches) Loose red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)																	
930	5				9																
				Partially weathered rock sampled as orange and gray silty fine to coarse sand (SM)																	
925					50/2"																
	10				50/3"																
920	15			Auger Refusal at 12 feet																	
915	20																				

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-8

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/24/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
925				Topsoil (Approximately 2 inches)																
				Loose to firm red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)	14															
	5				13															
920					7															
	10				8															
915				Loose tan-brown and black micaceous silty fine sand (SM)																
	15			Boring Terminated at 15 feet	8															
910																				
	20																			

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-9

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 930	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches)																	
				Loose red-brown and tan clayey fine to medium sand (SM) (RESIDUUM)																	
925	5				9																
					9																
				Partially weathered rock sampled as tan and gray silty fine to medium sand (SM)	50/1"																
920	10				50/1"																
				Auger Refusal at 11 feet																	
915	15																				
910	20																				

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-10

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/25/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 932
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Loose red-brown and tan silty fine to coarse sand (SM) (RESIDUUM)																
930					5															
	5			Auger Refusal at 5 feet	7															
925																				
	10																			
920																				
	15																			
915																				
	20																			

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

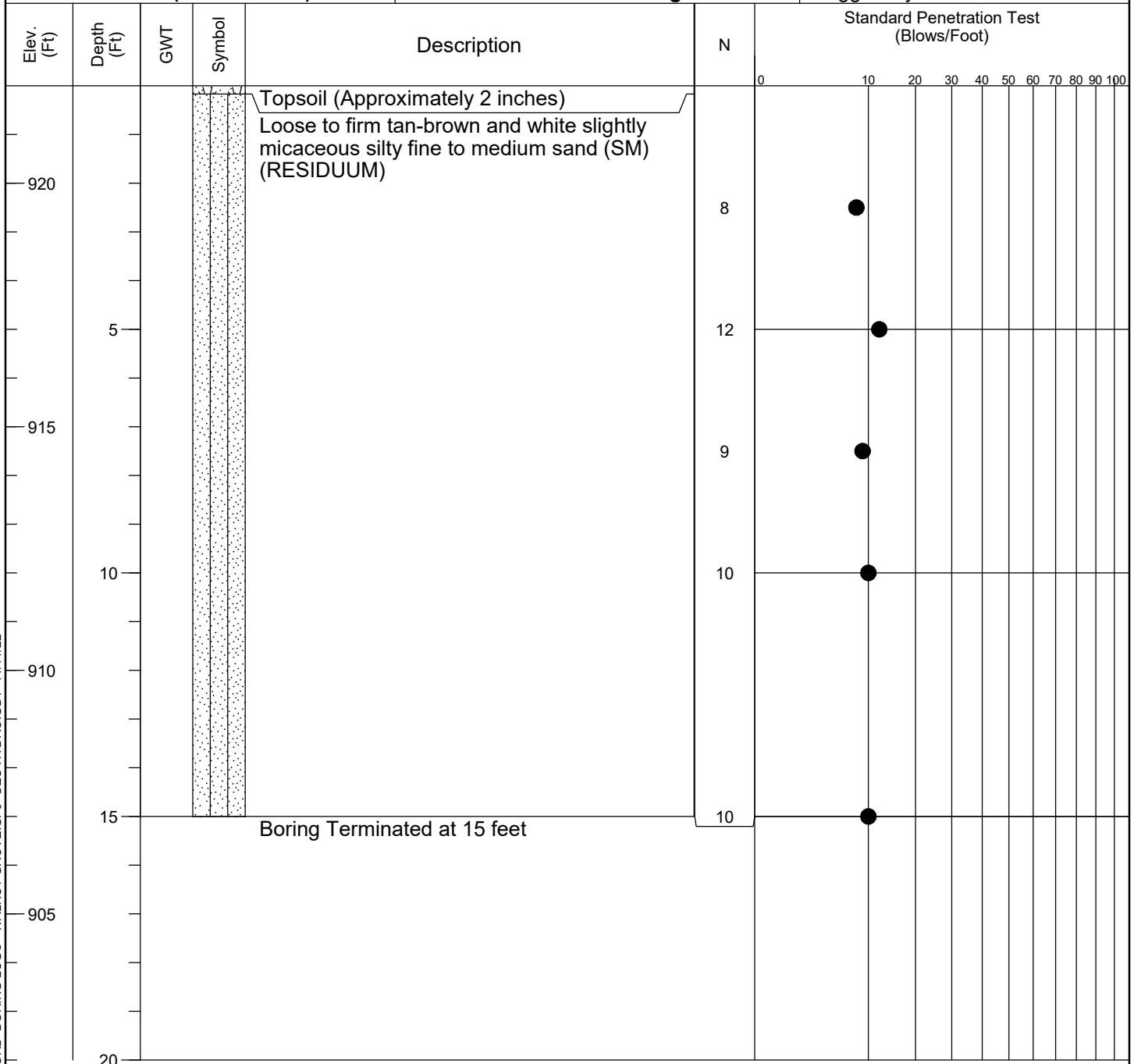
Remarks:

W-11

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 922	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

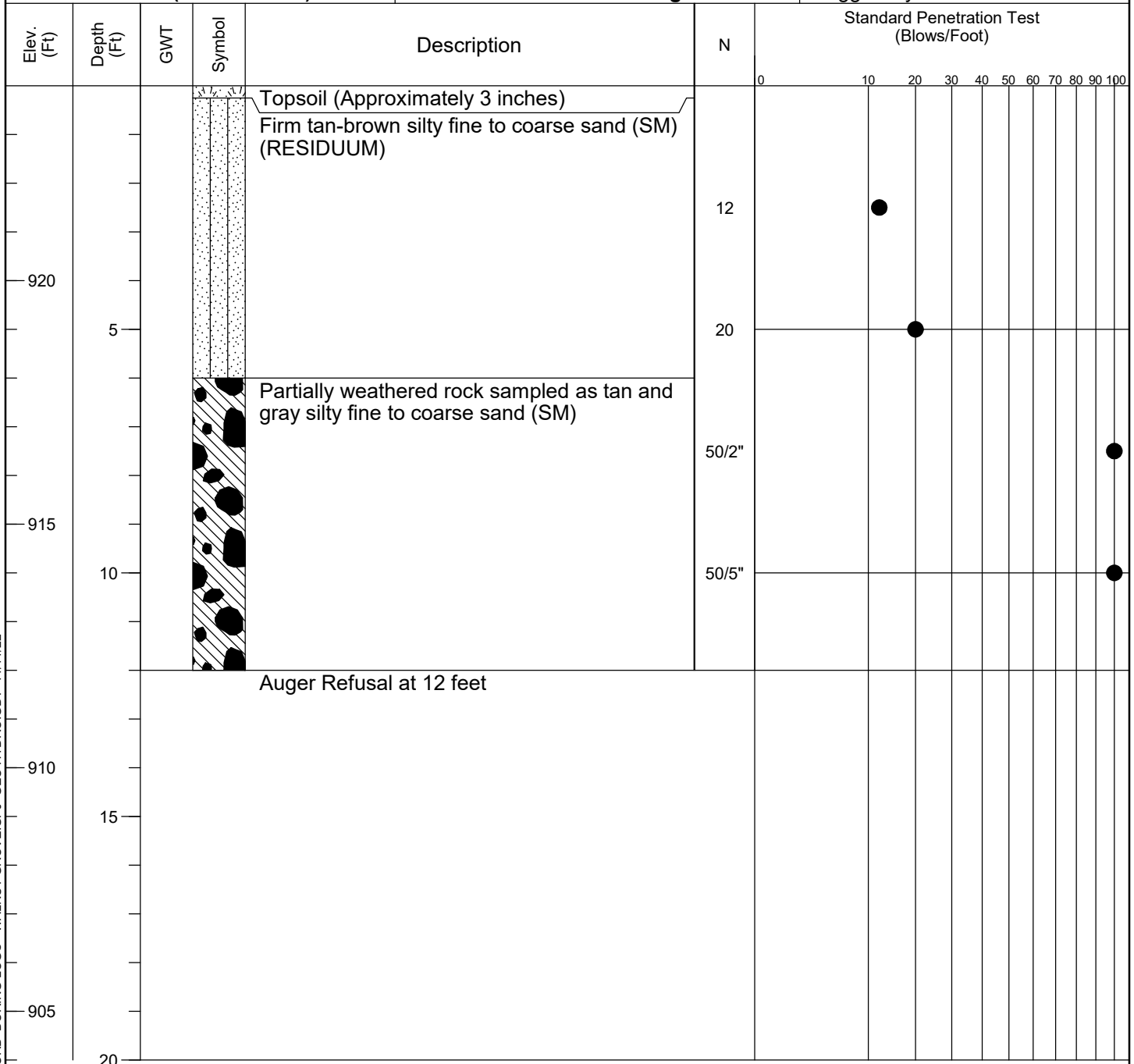
Remarks:

W-12

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 924	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-13

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/24/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
925				Topsoil (Approximately 2 inches)																
				Partially weathered rock sampled as tan and black silty fine to medium sand (SM) (RESIDUUM)	50/1"															
	5			Auger Refusal at 5 feet	50/0"															
920																				
	10																			
915																				
	15																			
910																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-14

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 929	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Partially weathered rock sampled as tan and gray silty fine to coarse sand (SM) (RESIDUUM)	50/2"															
925	5			Auger Refusal at 5 feet	50/0"															
920	10																			
915	15																			
910	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-15

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/24/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 932
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches) Very loose to loose orange and tan silty fine to coarse sand (SM) (RESIDUUM)																
930					4		●													
	5			Auger Refusal at 5 feet	8			●												
925																				
	10																			
920																				
	15																			
915																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-16

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 923	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Loose to firm tan-brown micaceous silty fine to medium sand (SM) (RESIDUUM)																
920					6															
	5				12															
915					6															
	10				7															
910																				
	15			Boring Terminated at 15 feet	17															
905																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-17

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
925				Topsoil (Approximately 2 inches)																
				Partially weathered rock sampled as orange-brown and gray silty fine to coarse sand (SM) (RESIDUUM)	50/2"															
	5			Auger Refusal at 5 feet	50/2"															
920																				
	10																			
915																				
	15																			
910																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-18

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/24/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
925				Topsoil (Approximately 3 inches)																
				Firm red-brown and tan clayey fine to coarse sand (SC) (RESIDUUM)	13															
	5				12															
920				Partially weathered rock sampled as gray silty fine to medium sand (SM)	50/2"															
				Auger Refusal at 8 feet																
	10																			
915																				
	15																			
910																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-19

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/24/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 935
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 3 inches)																
				Firm red-brown clayey fine sand (SC) (RESIDUUM)	13															
930	5				11															
				Loose to firm orange and gray silty fine to coarse sand (SC)	7															
925	10				12															
				Auger Refusal at 13 feet																
920	15																			
915	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-20

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/25/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 928
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Firm red-brown clayey fine to medium sand (SC) (RESIDUUM)																
925					50/3"															
	5			Auger Refusal at 5 feet	50/1"															
920																				
	10																			
915																				
	15																			
910																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-21

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 934	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Firm red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)	14															
930	5				13															
				Partially weathered rock sampled as orange and gray silty fine to coarse sand (SM)	50/3"															
925	10				50/3"															
				Auger Refusal at 12 feet																
920	15																			
915	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-22

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 932	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Firm red-brown clayey fine to medium sand (SC) (RESIDUUM)																
930					20															
	5			Auger Refusal at 5 feet	19															
925																				
	10																			
920																				
	15																			
915																				
	20																			

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-23

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/27/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 931
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
930				Topsoil (Approximately 2 inches) Loose to firm red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)																
	5			Auger Refusal at 5 feet	15															
925																				
920																				
915																				
	20																			

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

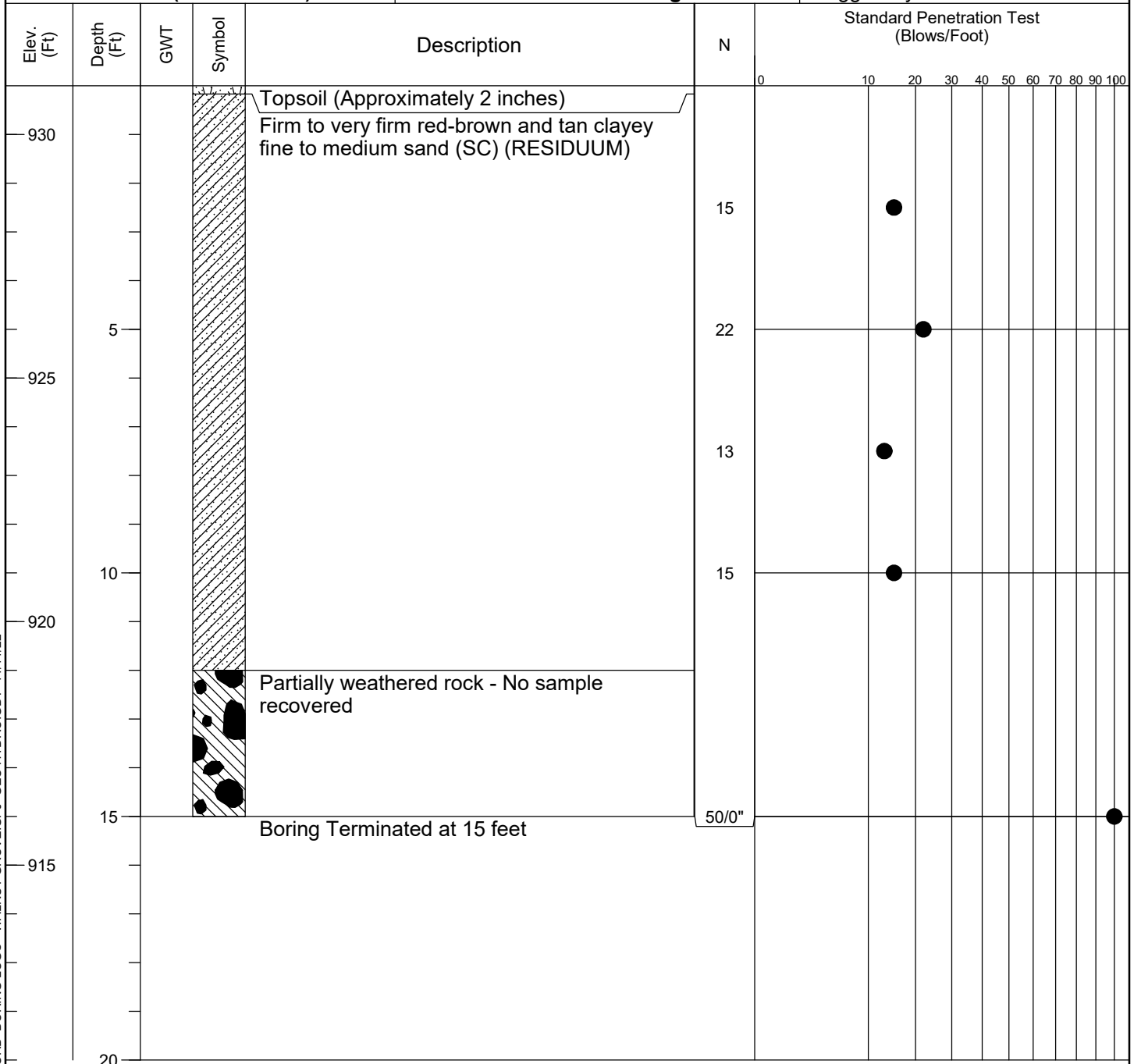
Remarks:

W-25

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 931	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

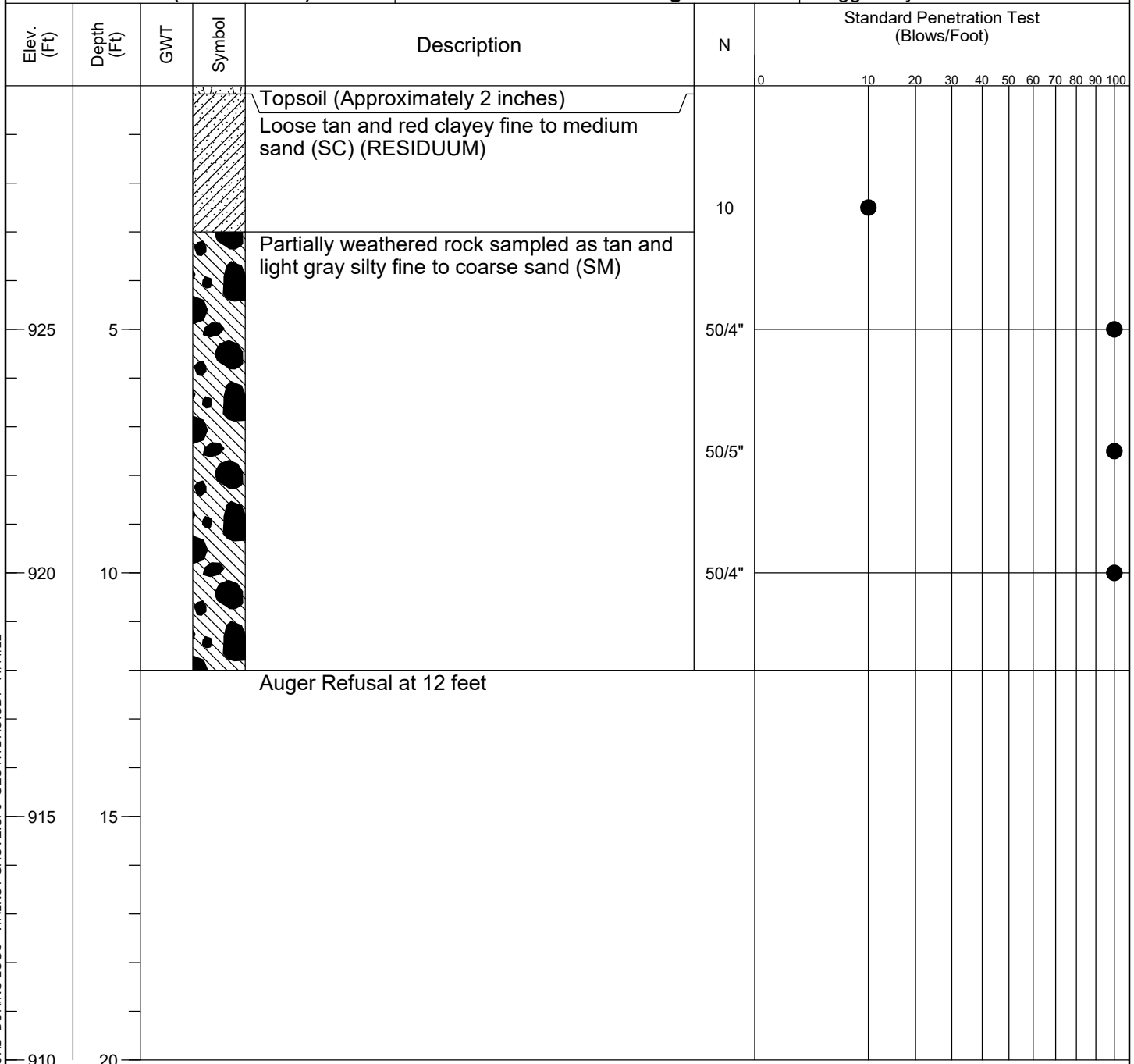
Remarks:

W-26

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 930	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-27

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 931	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
930				Topsoil (Approximately 2 inches)																
				Firm red-brown clayey fine sand (SC) (RESIDUUM)	12															
				Partially weathered rock sampled as orange and tan silty fine to coarse sand (SM)																
	5			Auger Refusal at 5 feet	50/4"															
925																				
	10																			
920																				
	15																			
915																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-28

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/27/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 930
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches) Firm red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)	15			●												
925	5			Auger Refusal at 5 feet	16			●												
920	10																			
915	15																			
910	20																			

Remarks:

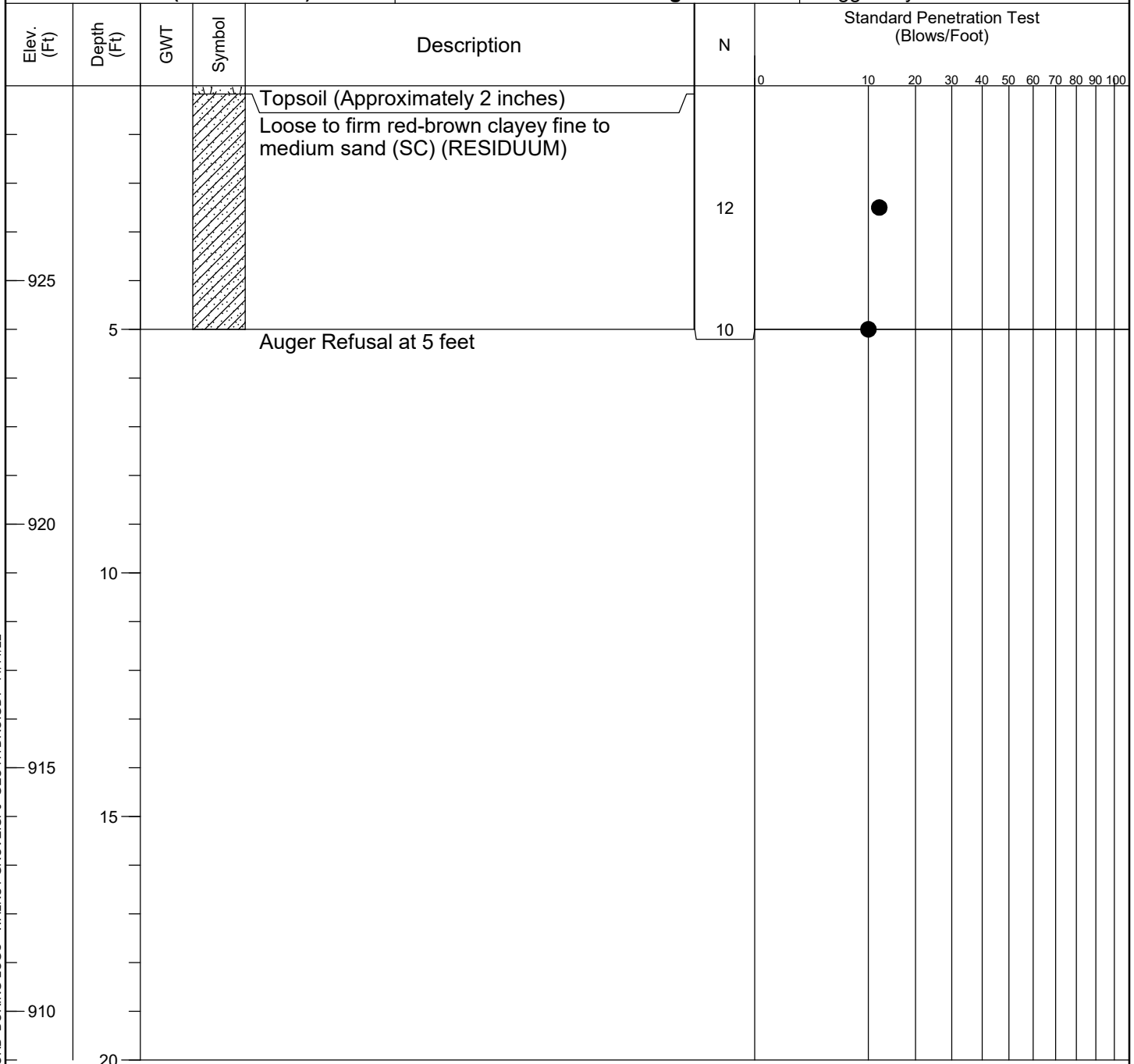
TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-29

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 929	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-30

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 930	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Loose orange and brown clayey fine to medium sand (SC) (RESIDUUM)	7															
925	5				7															
				Partially weathered rock sampled as orange-brown and gray silty fine to coarse sand (SM)	50/3"															
920	10				50/3"															
				Auger Refusal at 12 feet																
915	15																			
910	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-31

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/27/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 931
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
930				Topsoil (Approximately 2 inches)																
				Partially weathered rock sampled as white and gray silty fine to coarse sand (SM) (RESIDUUM)	50/1"															
				Auger Refusal at 3 feet																
	5																			
	925																			
	10																			
	920																			
	15																			
	915																			
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-32

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 928	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 3 inches) Loose red-brown and tan clayey fine to coarse sand (SC) (RESIDUUM)																	
925	5				8																
				Partially weathered rock sampled as orange and gray silty fine to coarse sand (SM)																	
920					50/4"																
	10				50/4"																
915	15			Auger Refusal at 12 feet																	
910	20																				

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-33

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 920	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches)																	
				Partially weathered rock sampled as orange and tan silty fine to coarse sand (SM) (RESIDUUM)																	
915	5				50/5"																
					50/1"																
					50/5"																
910	10				50/5"																
				Auger Refusal at 11 feet																	
905	15																				
900	20																				

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-34

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 926	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
925				Topsoil (Approximately 2 inches) Firm orange and brown clayey fine to medium sand (SC) (RESIDUUM)	14			●												
	5				15			●												
920				Partially weathered rocks sampled as orange and tan silty fine to coarse sand (SM)	50/3"															●
	10				50/2"															●
915				Auger Refusal at 12 feet																
	15																			
910																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-35

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 924	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Dense tan and gray clayey fine to coarse sand (SC) (RESIDUUM)																
920	5			Partially weathered rock sampled as tan and gray clayey fine to coarse sand (SC)	32															
				Loose to firm orange-brown and gray silty fine to coarse sand (SC)	50/5"															
915	10				13															
					8															
910	15			Auger Refusal at 13 feet																
905	20																			

Remarks:

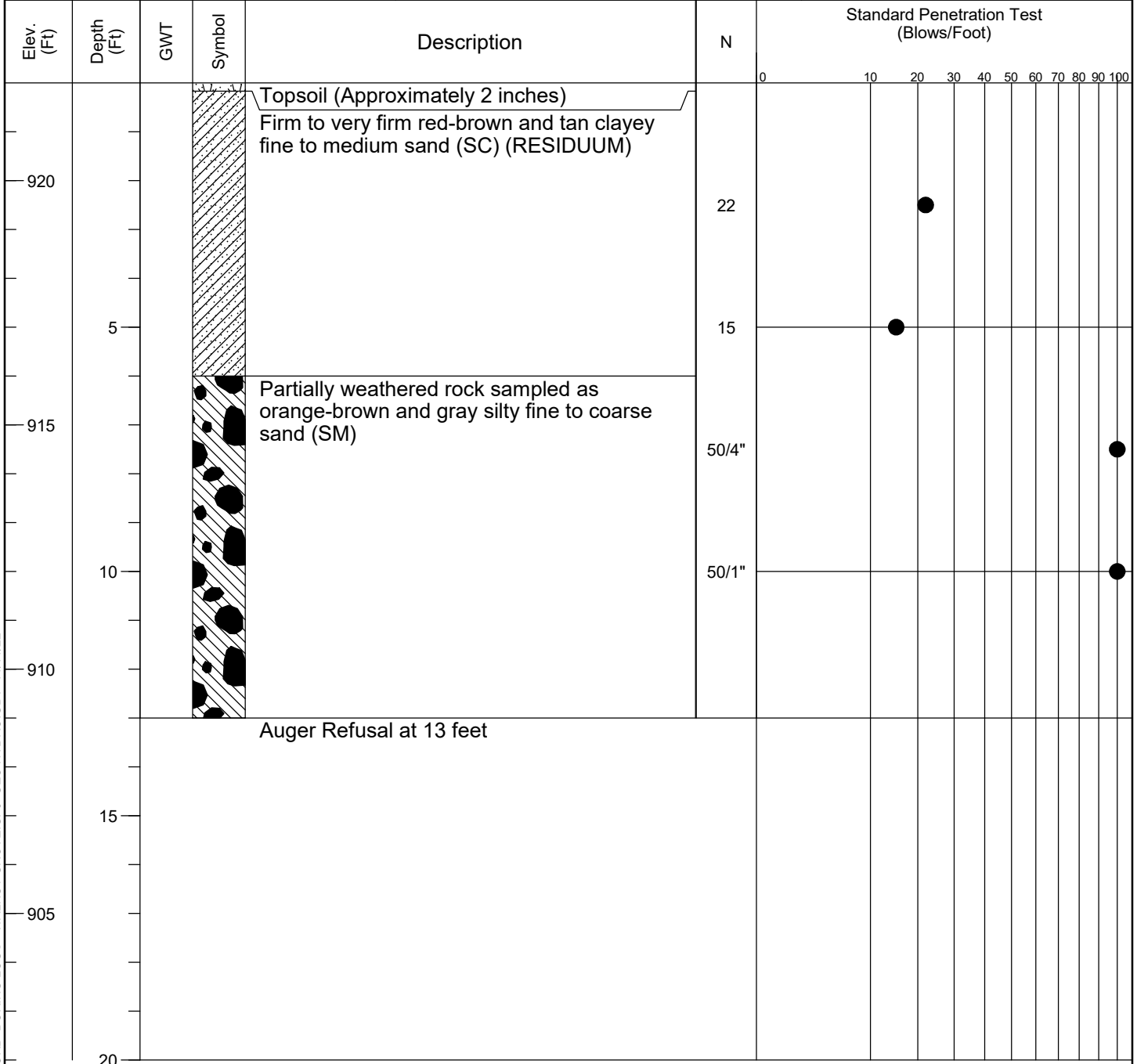
TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-36

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/27/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 922	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

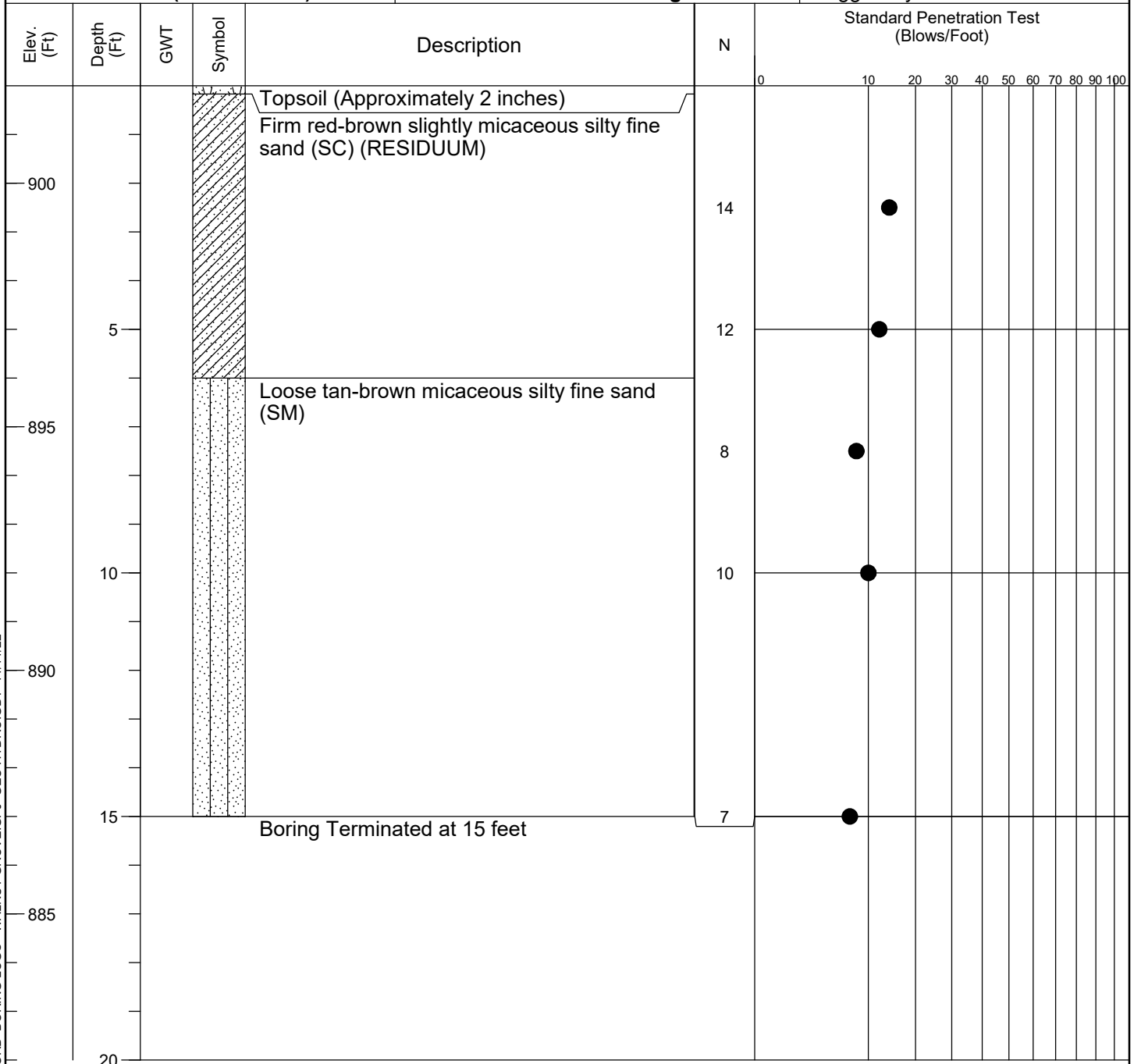
Remarks:

W-37

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 902	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

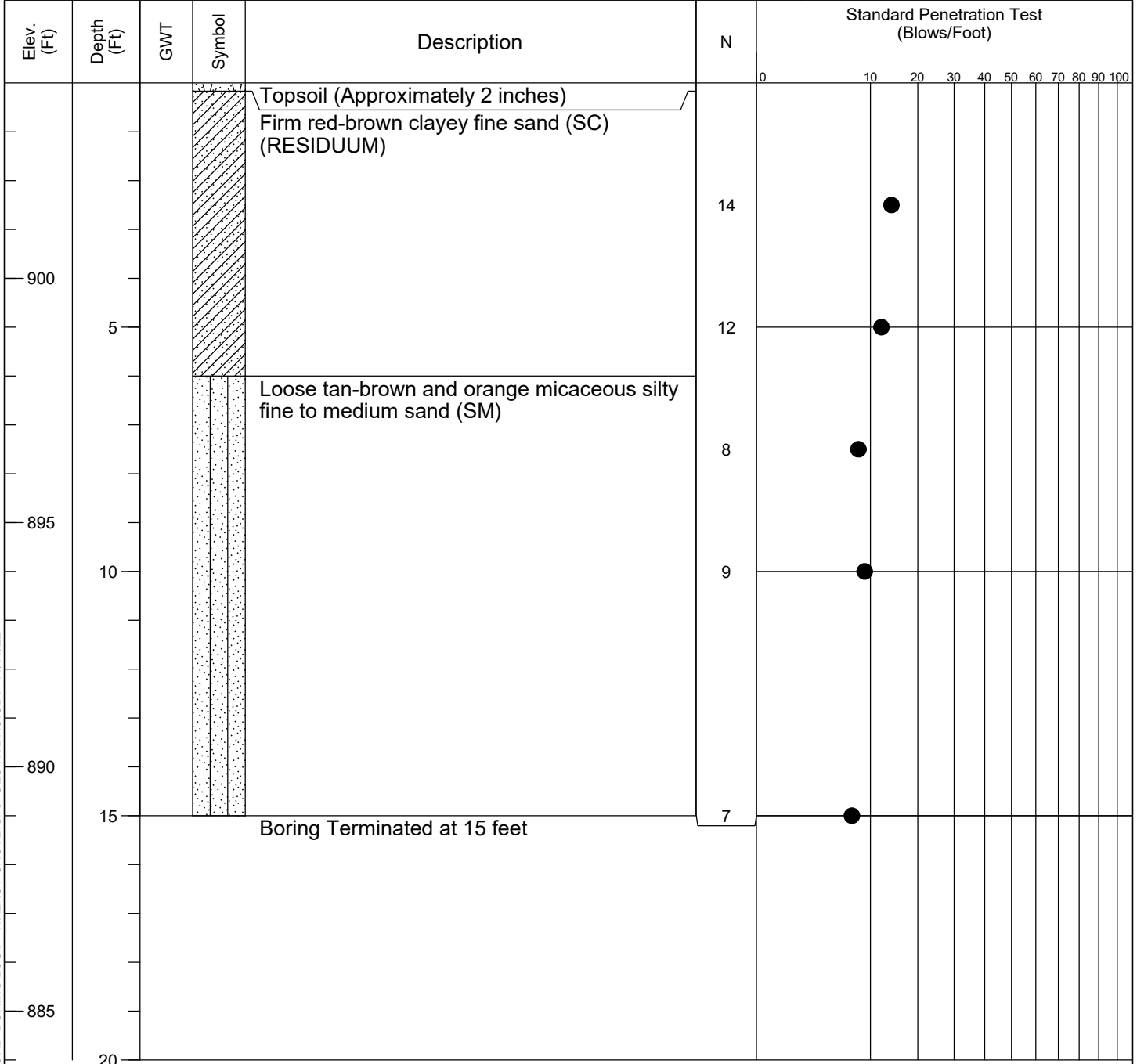
Remarks:

W-38

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 904	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-39

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20
Location: Walton County, Georgia		Date: 10/26/22
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 902
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches)																	
				Firm orange-brown and gray clayey fine sand (SC) (RESIDUUM)																	
900					15																
	5				15																
895					15																
	10				15																
890				Loose orange-brown and gray micaceous silty fine sand (SM)																	
	15			Boring Terminated at 15 feet	7																
885																					
	20																				

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

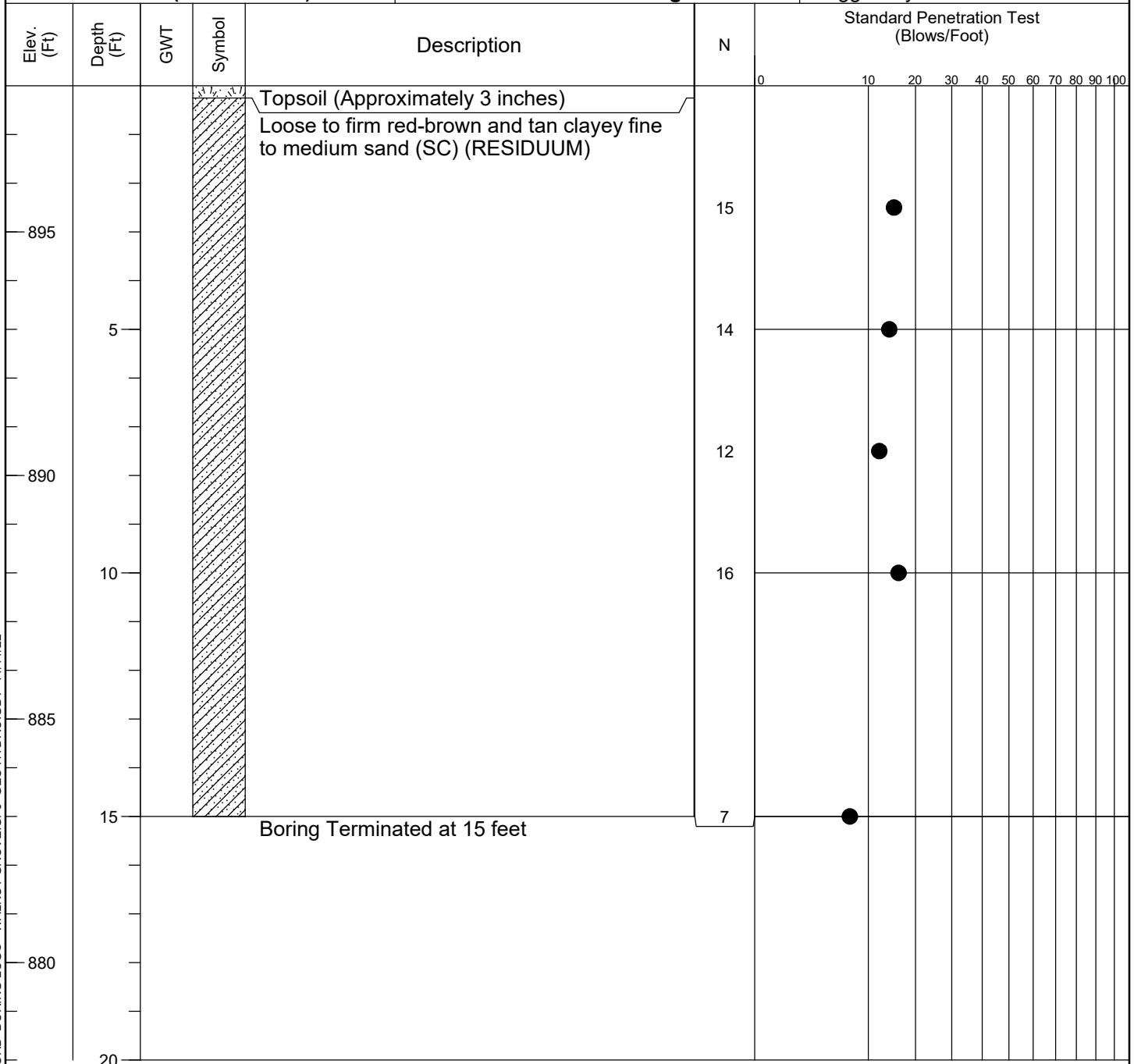
Remarks:

W-40

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 898	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

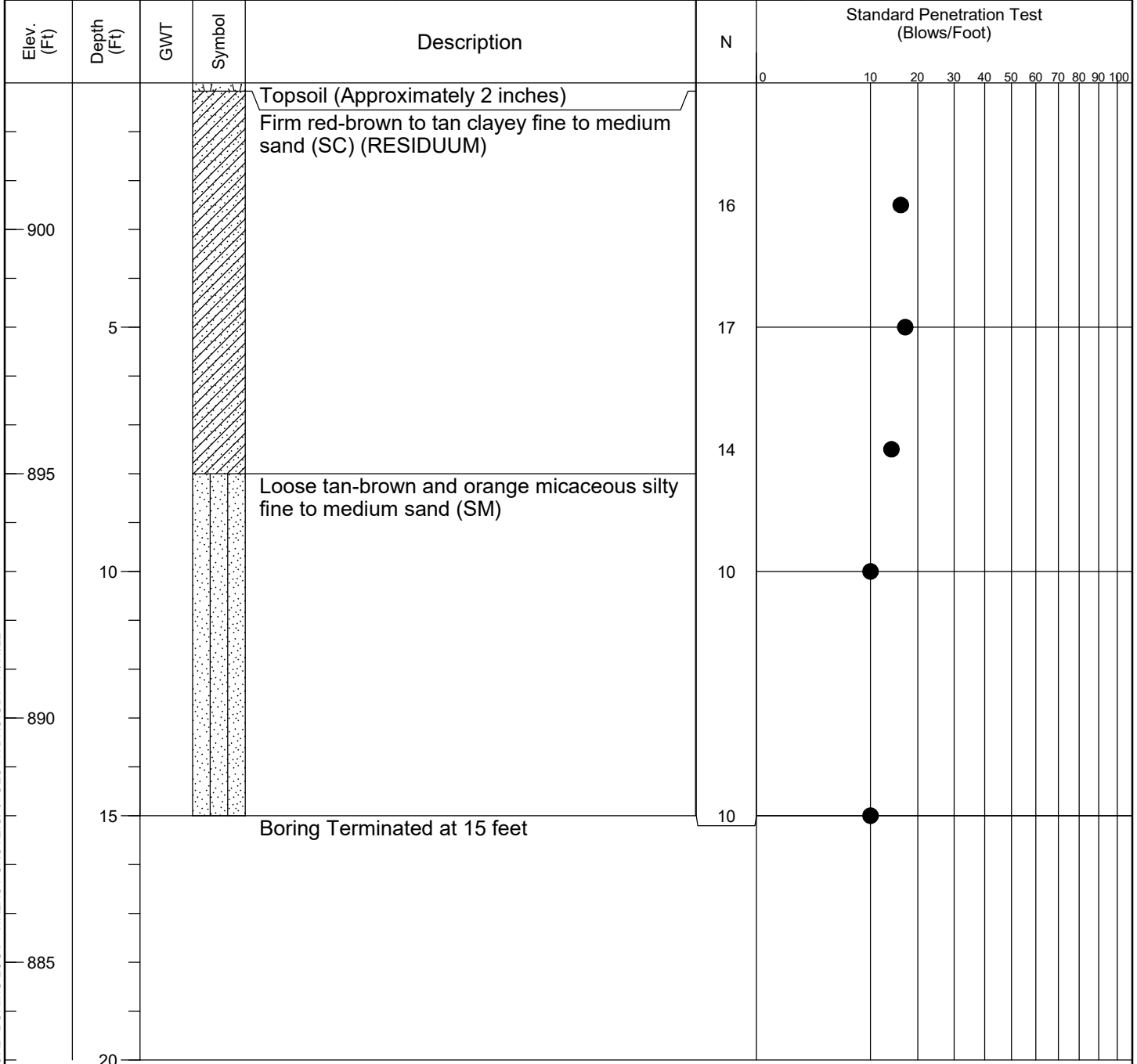
Remarks:

W-41

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 903	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-42

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 910	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches)																	
				Loose red-brown clayey fine sand (SC) (RESIDUUM)	5																
905	5				8																
				Loose orange to tan-brown slightly micaceous silty fine to coarse sand (SM)	8																
900	10				8																
895	15			Boring Terminated at 15 feet	8																
890	20																				

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-43

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 916	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
915				Topsoil (Approximately 2 inches) Very loose to loose orange-brown and gray clayey fine to medium sand (SC) (RESIDUUM)	5															
	5			Auger Refusal at 5 feet	4															
910																				
	10																			
905																				
	15																			
900																				
	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-44

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 920	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches) Loose to firm red-brown and tan clayey fine sand (SC) (RESIDUUM)																
915	5			Auger Refusal at 5 feet	10															
910	10																			
905	15																			
900	20																			

Remarks:

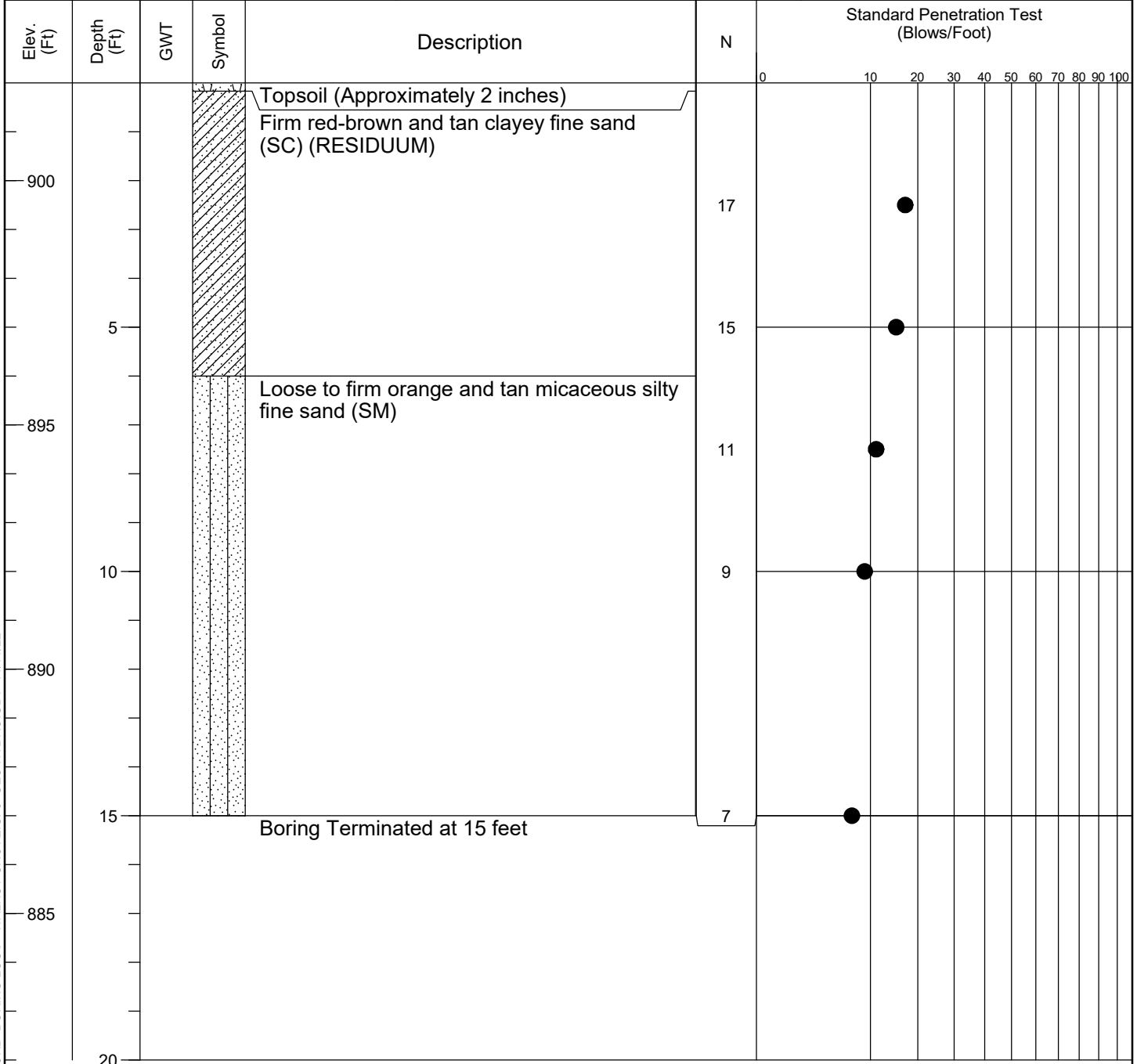
TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-45

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 902	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

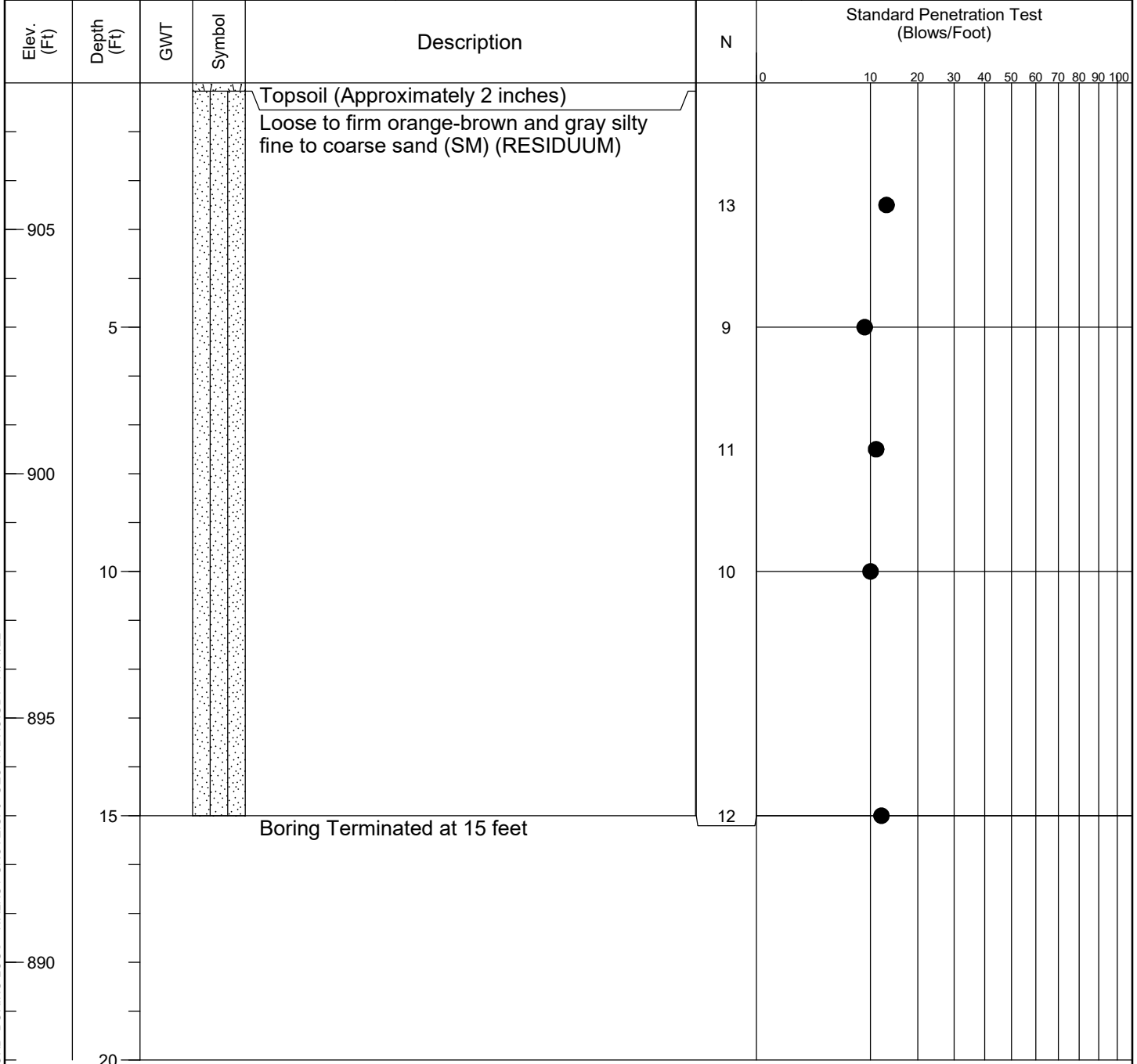
Remarks:

W-46

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 908	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	



TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-47

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/26/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 915	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)															
						0	10	20	30	40	50	60	70	80	90	100					
				Topsoil (Approximately 2 inches)																	
				Loose red-brown clayey fine sand (SC) (RESIDUUM)	7																
910	5				6																
				Loose orange and tan to white slightly micaceous silty fine to medium sand (SM)	7																
905	10				6																
900	15			Boring Terminated at 15 feet	9																
895	20																				

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Remarks:

W-48

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 920	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 3 inches)																
				Firm to very firm red-brown and tan clayey fine to medium sand (SC) (RESIDUUM)	23															
915	5			Firm tan and gray silty fine to coarse sand (SM)	18															
				Firm tan and gray silty fine to coarse sand (SM)	16															
910	10			Firm tan and gray silty fine to coarse sand (SM)	14															
				Partially weathered rock sampled as tan and gray silty fine to coarse sand (SM)																
905	15			Boring Terminated at 15 feet	50/2"															
900	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

W-49

Test Boring Record



Project: Walnut Grove Park		Project No: 222138.20	
Location: Walton County, Georgia		Date: 10/25/22	
Method: HSA- ASTM D1586	GWT at Drilling: Not Encountered	G.S. Elev: 919	
Driller: Freedom (Auto-Hammer)	GWT at 24 hrs: N/A: Boring Backfilled	Logged By: BGS	

Elev. (Ft)	Depth (Ft)	GWT	Symbol	Description	N	Standard Penetration Test (Blows/Foot)														
						0	10	20	30	40	50	60	70	80	90	100				
				Topsoil (Approximately 2 inches)																
				Firm red-brown clayey fine sand (SC) (RESIDUUM)	11															
915	5				12															
				Partially weathered rock - No sample recovered	50/1"															
				Auger Refusal at 8 feet																
910	10																			
905	15																			
900	20																			

Remarks:

TEST BORING RECORD BORING LOGS - WALNUT GROVE.GPJ GEO HYDRO.GDT 11/11/22

Walton County The Grove

Change Proposal #27 – Building J Exterior OH Storage Doors Change

General Contractor:

**Reeves Young
45 Peachtree Industrial Boulevard N.W.
Sugar Hill, GA 30518
770-271-1159**



February 18, 2025

Walton County, GA
The Grove, a Walton County Parks &
Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager –
Ascension Program Management

Change Proposal #27 – Building J Exterior OH Storage Doors Change

The following change proposal below is for the revisions made per RFI 141 to replace the Steel Sectional Doors at storage rooms J04, J05, and J06 in Building J due to a conflict with the locking mechanism.

The originally submitted and approved overhead roll-up doors for these storage rooms were provided by the subcontractor in accordance with the project specification 08 33 23-3 which calls for the steel sectional doors to be Model 420 by Overhead Door Co., with an interior mounted padlock/slide lock system (basis of design). However, this created an onsite issue, as there is no way to lock or unlock the doors from either the interior or exterior due to no internal access to the storage rooms. The most feasible and cost-effective solution is to replace the existing roll-up doors with new 8x8 coiling sheet doors, featuring manual operation and exterior locks. Supporting documentation is provided below.

Description	Qty	Unit	Unit Price	Total
Top Notch Proposal – 8x8 Coiling Sheets Doors (Material)	1	LS	\$4,206.81	\$4,206.81
Total Material Cost	1	LS		\$4,206.81
Payment & Performance Bond	0.597	%	\$25.11	\$25.11
General Liability Insurance	0.811%	%	\$34.12	\$34.12
Builders Risk Insurance	0.174%	%	\$7.32	\$7.32
RY Overhead and Profit	10	%	\$420.68	\$420.68
TOTAL				\$4,694.04

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,
Reeves Young, LLC


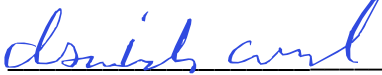
Isaiah Arnold



Project Manager

45 Peachtree Industrial Blvd, Suite 200 770.271.1159
Sugar Hill, GA 30518 reevesyoung.com

Approval

Lose Design (Architect of Record)	Signature: 	Date: <u>2/20/2025</u>
Ascension PM (Capital Project Manager)	Signature: Thomas J. Prine	Date: 02.20.2025
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: 	Date: <u>02/19/25</u>



Top Notch Dock and Door
 3743 Old Flowery Branch Rd
 Oakwood, GA 30566
 (770) 561-1369

BILL TO

Reeves Young
 45 Peachtree Industrial Boulevard
 Sugar Hill, GA 30518 USA

ESTIMATE
 71207760

ESTIMATE DATE
 Jan 29, 2025

JOB ADDRESS

Walton County The Grove
 1089 Highway 81
 Loganville, GA 30052 USA

Job:**Materials**

MATERIAL	DESCRIPTION	QUANTITY	YOUR PRICE	YOUR TOTAL
Material - Other	New 8x8 coiling sheet door, manual operation, exterior lock, with handles on both sides of bottom bar	3.00	\$1,402.27	\$4,206.81

POTENTIAL SAVINGS	\$0.00
SUB-TOTAL	\$4,206.81
TAX	\$0.00
TOTAL	\$4,206.81

Thank you for choosing Top Notch Dock and Door

CUSTOMER AUTHORIZATION

THIS IS AN ESTIMATE, NOT A CONTRACT FOR SERVICES. The summary above is furnished by Top Notch Dock and Door, LLC as a good faith estimate of work to be performed at the location described above and is based on our evaluation and does not include material price increases or additional labor and materials which may be required should unforeseen problems arise after the work has started. I understand that the final cost of the work may differ from the estimate, perhaps materially. THIS IS NOT A GUARANTEE OF THE FINAL PRICE OF WORK TO BE PERFORMED. I agree and authorize the work as summarized on these estimated terms, and I agree to pay the full amount for all work performed.

Sign here

Date



24104 - Walton County The Grove (24104-)

1089 Highway 81
Loganville, GA 30052

141 - Building J - Steel Sectional Doors J04, J05, & J06 Lock Conflict

Subject		Status
Building J - Steel Sectional Doors J04, J05, & J06 Lock Conflict		Closed ●
Discipline	Importance	Location
Architectural	High	Building J - Maintenance Facility
Created On	Due Date	Date Resolved
12/10/2024	12/17/2024	
Author		Resolved By
Jose Valerio Reeves Young, LLC		

QUESTION Jose Valerio on 12/10/2024 06:30 PM (Edited by Jose Valerio on 12/10/2024 06:32 PM)

Design Professional,

There is a conflict with the locking mechanism/hardware for the steel sectional doors J04, J05, & J06 at Building J. The door schedule on sheet A8.01J calls for the hardware set on these doors to be "MFG. Provided". When referred to the specifications 08 33 23-3 the lock specified is "Exterior keyed lock with Schlage Everest D cylinder as per specification Division 08 Section Door Hardware." But on the door hardware specification 087100 - 23, the lock hardware called out for doors J04, J05, & J06 is "Balance of hardware by coiling door manufacture. Provide Padlock/Cylinder and Core only if required.

Well in the submittal package (083323-05-02) for the steel overhead and sectional doors, only padlock hardware was provided for these doors including doors J04, J05, & J06. This creates a conflict, as there is no way to lock or unlock these sectional doors from either the interior or exterior of the building since there is no internal access to the storage rooms. When looking back at the specification 80 33 23-3, the basis of design steel sectional door is a Sectional Steel Door Model 420 by Overhead Door Co. The lock system for that door is also a Interior mounted padlock/slide lock.

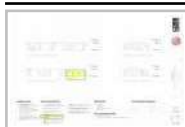
Reeves has requested solutions from the overhead door contractor, and the following options have been proposed:

- 1) Equip these doors with electric operators and exterior key switch control stations so that they can be operated on either side of the door by button controls station.
- 2) Swap these rolling steel doors out with a coiling sheet door with external lock kit that can be engaged from the outside of the door. This option would have the door as manual/hand operation only.

Both options involve cost impacts.

Please clarify what the design intent was with the locking mechanism for the steel sectional doors at the storage rooms and let us know how to proceed. See the attached documents for reference.

141 - Building J - Steel Sectional Doors J04, J05, & J06 Lock Conflict



File
Document1.pdf
Jose Valerio

COMMENT Jose Valerio on 1/29/2025 04:10 PM

Design Professional,

After further review and discussions with the roll-up door subcontractor, option #2 has been identified as the most cost-effective and practical solution. This option involves replacing the existing doors with coiling sheet doors featuring manual operation and exterior locks. Please refer to the attached for additional details.

Let us know if you approve this approach and wish to proceed.

Thank you.



File
Model 1950.pdf
Jose Valerio

COMMENT chris fletcher on 2/4/2025 11:51 AM

This approach is approved by Lose. Please provide color sample for approval.

ADDED LINKS Jose Valerio on 2/5/2025 11:19 AM

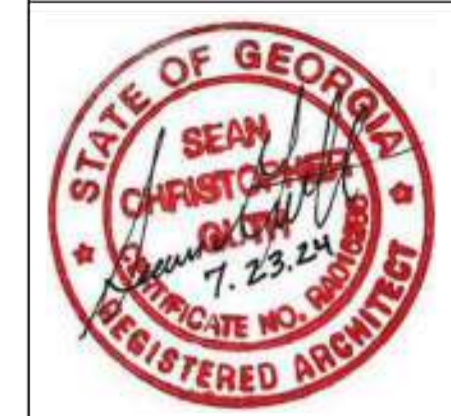


Drawing
A2.01J
Jose Valerio

ASSIGNMENTS

- Aaron St Pierre (Lose Design) **Due On 12/17/2024**
- Barbara Canuto (Lose Design) **Due On 12/17/2024**
- Macon Chapman (Lose Design) **Due On 12/17/2024**

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THE GROVE
BUILDING "J" - MAINTENANCE FACILITY
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY
LOGANVILLE
GEORGIA

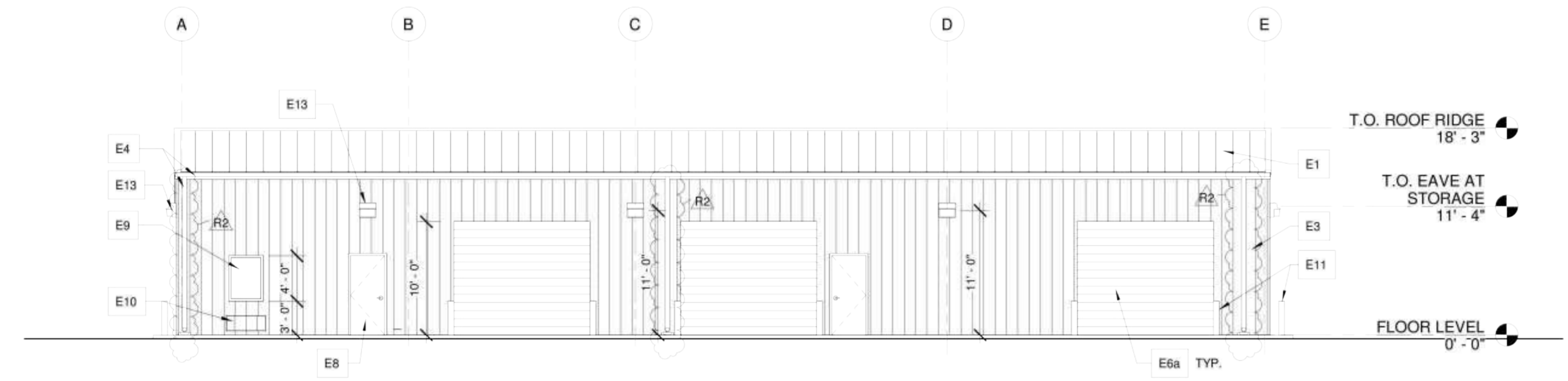
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
R2	7/15/2024	VE Changes

CONFORMED SET

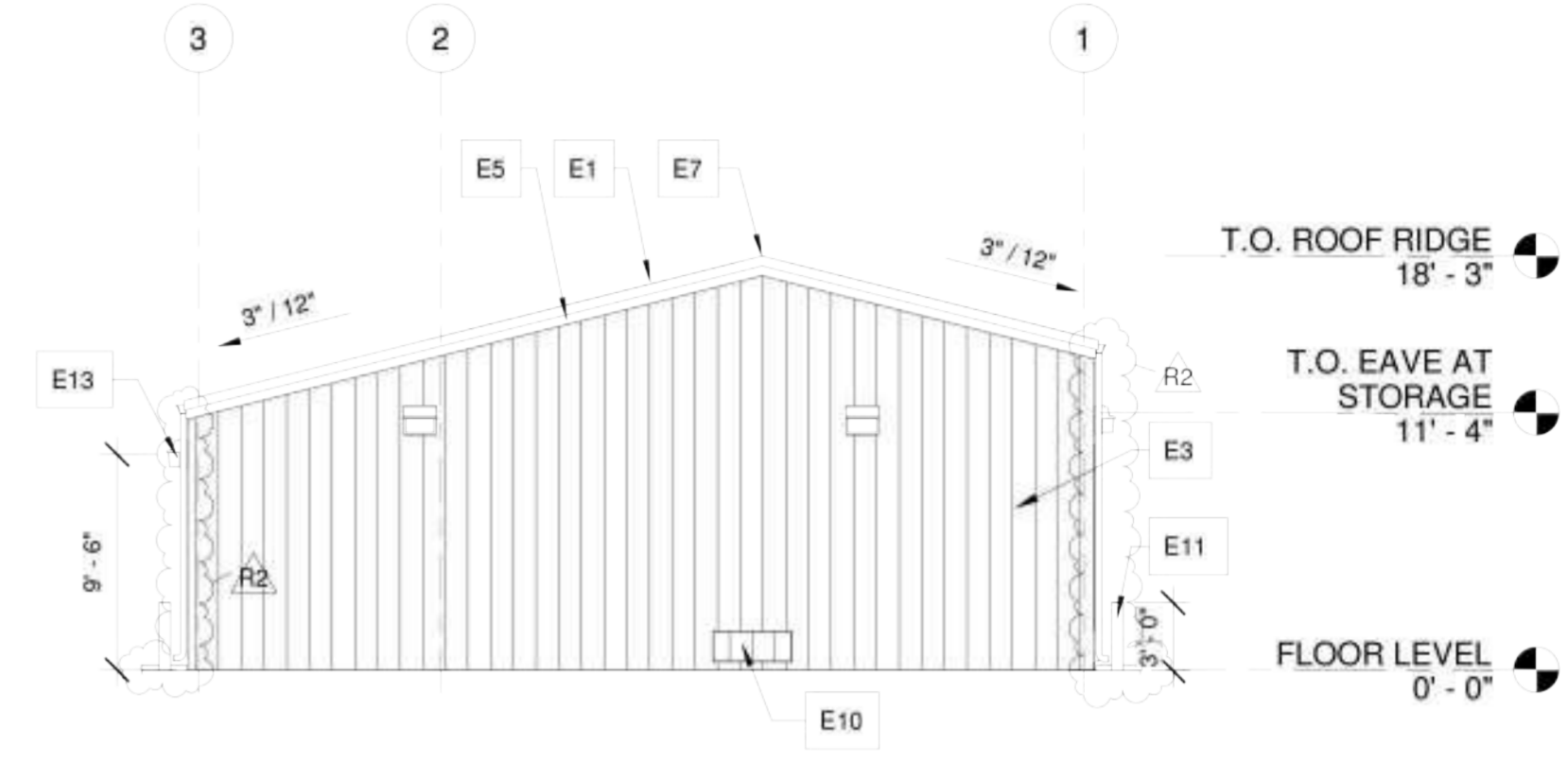
SHEET TITLE
MAINTENANCE FACILITY EXTERIOR ELEVATIONS

PROJECT NO	DATE
22010	09/19/24
DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	
NR	
SHEET NO	

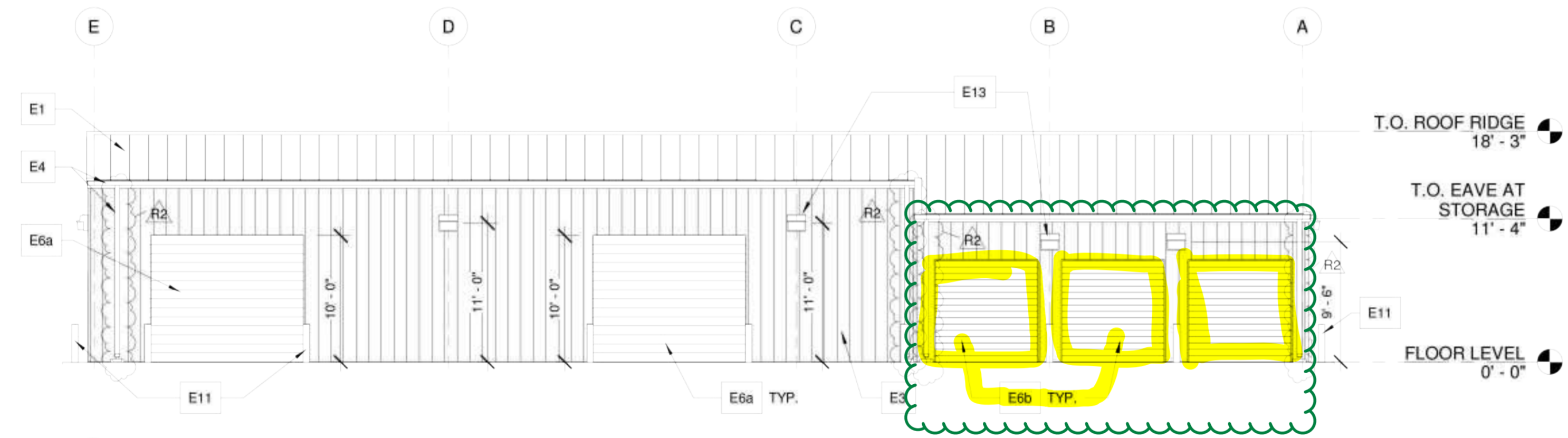
A3.01J



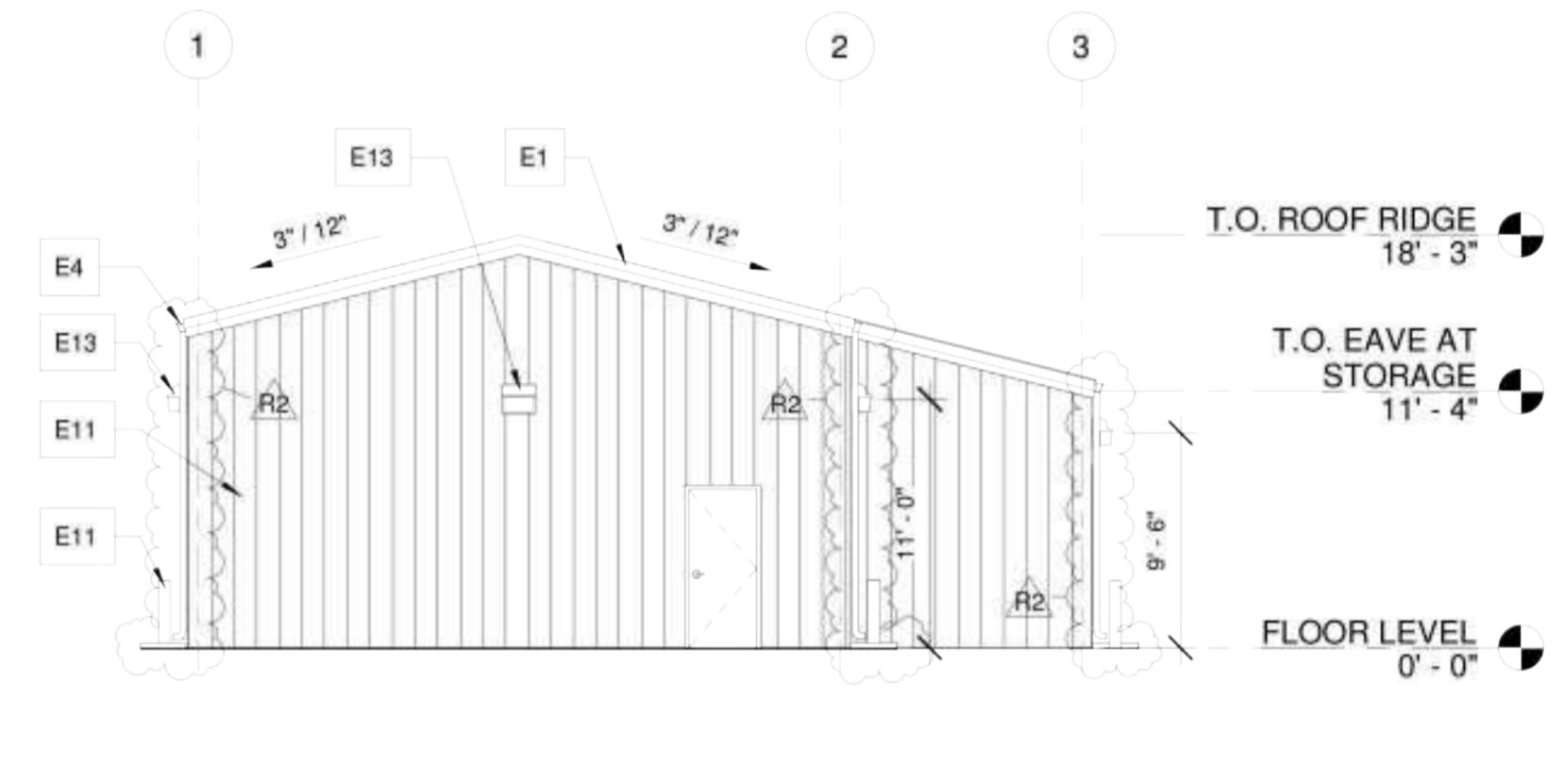
11 MAINTENANCE FACILITY NORTH ELEVATION
A3.01J 1/8" = 1'-0"



2 MAINTENANCE FACILITY EAST ELEVATION
A3.01J 1/8" = 1'-0"



3 MAINTENANCE FACILITY SOUTH ELEVATION
A3.01J 1/8" = 1'-0"



4 MAINTENANCE FACILITY WEST ELEVATION
A3.01J 1/8" = 1'-0"

GENERAL NOTES

- ARCHITECTURAL BUILDING FFE LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
- ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS.
- DIMENSIONS ARE FROM FINISH FLOOR. (U.N.O.)
- SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
- SEE SHEET A4 SERIES FOR WALL SECTIONS & DETAILS.
- SEE SHEET A6 SERIES FOR RCP.
- SEE SHEET A7 SERIES FOR ROOF PLANS.
- SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
- SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.
- SEE SHEET A9 SERIES FOR ARCHITECTURAL WOODWORK AND FINISH LEGEND.

ELEVATION KEYNOTES

- E1 PEMB. PRE-FINISHED GALV. METAL ROOFING, 3/12 SLOPE, TYP.
- E2 PRE-FINISHED ALUMINUM DRAINABLE LOUVER W/ INSECT SCREEN, TYP.
- E3 PEMB. PRE-FINISHED GALV. METAL WALL PANELS, TYP.
- E4 5X5 PRE-FIN. ALUM GUTTER & 4X4 DOWNSPOUT SYSTEM, TYP.
- E5 PRE-FINISHED METAL RAKE TRIM, TYP. R2
- E6a PRE-FINISHED GALV. STEEL OVERHEAD COILING SERVICE DOOR. - SEE DOOR SCHEDULE
- E6b PRE-FINISHED GALV. STEEL SECTIONAL SERVICE DOOR. - SEE DOOR SCHEDULE
- E7 PRE-FINISHED GRAVITY VENTILATOR AT ROOF, TYP. - SEE MECH
- E8 HOLLOW METAL DOOR AND FRAME, PAINTED, TYP. - SEE DOOR SCHEDULE
- E9 WINDOW & HOLLOW METAL WINDOW FRAME PAINTED, TYP. - SEE WINDOW SCHEDULE

- E10 THRU WALL PTAC UNIT. COORDINATE WITH MECH FOR OPENING DIMENSIONS
- E11 STEEL BOLLARD, CONCRETE FILLED, PAINTED, TYP. - SEE 3 / A4.02J
- E12 STEEL COLUMN AND BEAM FRAME, PAINTED, PROVIDE ZINC RICH EPOXY COAT W/ ACRYLIC URETHANE TOP COAT, TYP.
- E13 EXTERIOR WALL MOUNTED LIGHT FIXT. TYP. - SEE ELEC.
- E14 BUILDING IDENTIFICATION SIGN. VERIFY LOCATION WITH OWNER. IMAGE / VERBIAGE TO BE PROVIDED BY OWNER

FINISH NOTES

- NUMBER DENOTES COLOR
- "E" DENOTES EPOXY
- "X" DENOTES EXTERIOR
- SEE SPECS FOR PRIMER AND FINISH STYLES
- SEE FINISH LEGEND

COLOR SCHEDULE NOTES

- SUBMIT SPECIFIED COLORS FOR REVIEW.
- SUBMIT MANUFACTURER'S STANDARD COLORS FOR REVIEW AND SELECTION FOR METAL APPLICATIONS.

EXTERIOR FINISH SCHEDULE

ITEM NAME	MATERIAL	FINISH
BEAMS & COLUMNS	STEEL	PRE-FINISHED, TO MATCH PNT - TBD
BOLLARDS	GROUTED STEEL	PNT-6
DOORS & DOOR FRAMES	HOLLOW METAL	PNT-6
GUTTER SYSTEM	PRE-FINISHED METAL	MTL-1
OVERHEAD DOORS	STEEL	PRE-FINISHED, ARCH TO SELECT
ROOF, RIDGE VENT, CAPS	PRE-FINISHED METAL	MTL-1
TRIM	PRE-FINISHED METAL	MTL-1
WALL PANELS: EXTERIOR METAL + 2x4 + 1/2" PLYWOOD	PRE-FINISHED METAL	MTL-2
WINDOW FRAME	ALUMINUM	PRE-FINISHED, CLEAR ANODIZED

DOOR SCHEDULE

DOOR NUMBER	ROOM NAME	ROOM NUMBER	TYPE	PANEL SIZE			FRAME			FIRE RATING	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	HARDWARE SET	DOOR NOTES		
				WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	TYPE							MAT.	FIN.
J01	OFFICE	J01	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J02	BREAK ROOM	J02	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND10	1, 4, 5
J04	STORAGE	J04	DC	8'-0"	8'-0"	0'-2"	STL.	PNT.	FB	STL.	PNT	-	-	-	-	MFR. PROVIDED	1, 2, 8
J05	STORAGE	J05	DC	8'-0"	8'-0"	0'-2"	STL.	PNT.	FB	STL.	PNT	-	-	-	-	MFR. PROVIDED	1, 2, 8
J06	STORAGE	J06	DC	8'-0"	8'-0"	0'-2"	STL.	PNT.	FB	STL.	PNT	-	-	-	-	MFR. PROVIDED	1, 2, 8
J07A	MAINTENANCE SHOP 1	J07	DB	12'-0"	10'-0"	0'-3"	STL.	FF	FC	STL	FF	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J08A	MAINTENANCE SHOP 2	J08	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J08B	MAINTENANCE SHOP 2	J08	DB	12'-0"	10'-0"	0'-3"	STL.	FF	FC	STL	FF	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J08C	MAINTENANCE SHOP 2	J08	DB	12'-0"	10'-0"	0'-3"	STL.	FF	FC	STL	FF	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J09A	TOOLS CLOSET	J09	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J09B	TOOLS CLOSET	J09	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J10A	MAINTENANCE SHOP 3	J10	DB	12'-0"	10'-0"	0'-3"	STL.	FF	FC	STL	FF	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J10B	MAINTENANCE SHOP 3	J10	DB	12'-0"	10'-0"	0'-3"	STL.	FF	FC	STL	FF	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6
J10C	MAINTENANCE SHOP 3	J10	DA	3'-0"	7'-0"	0'-1 3/4"	H.M.	PNT.	FA	H.M.	PNT-3	-	1/A8.01J	2/A8.01J	3/A8.01J	ND80TD	1, 2, 3, 4, 6

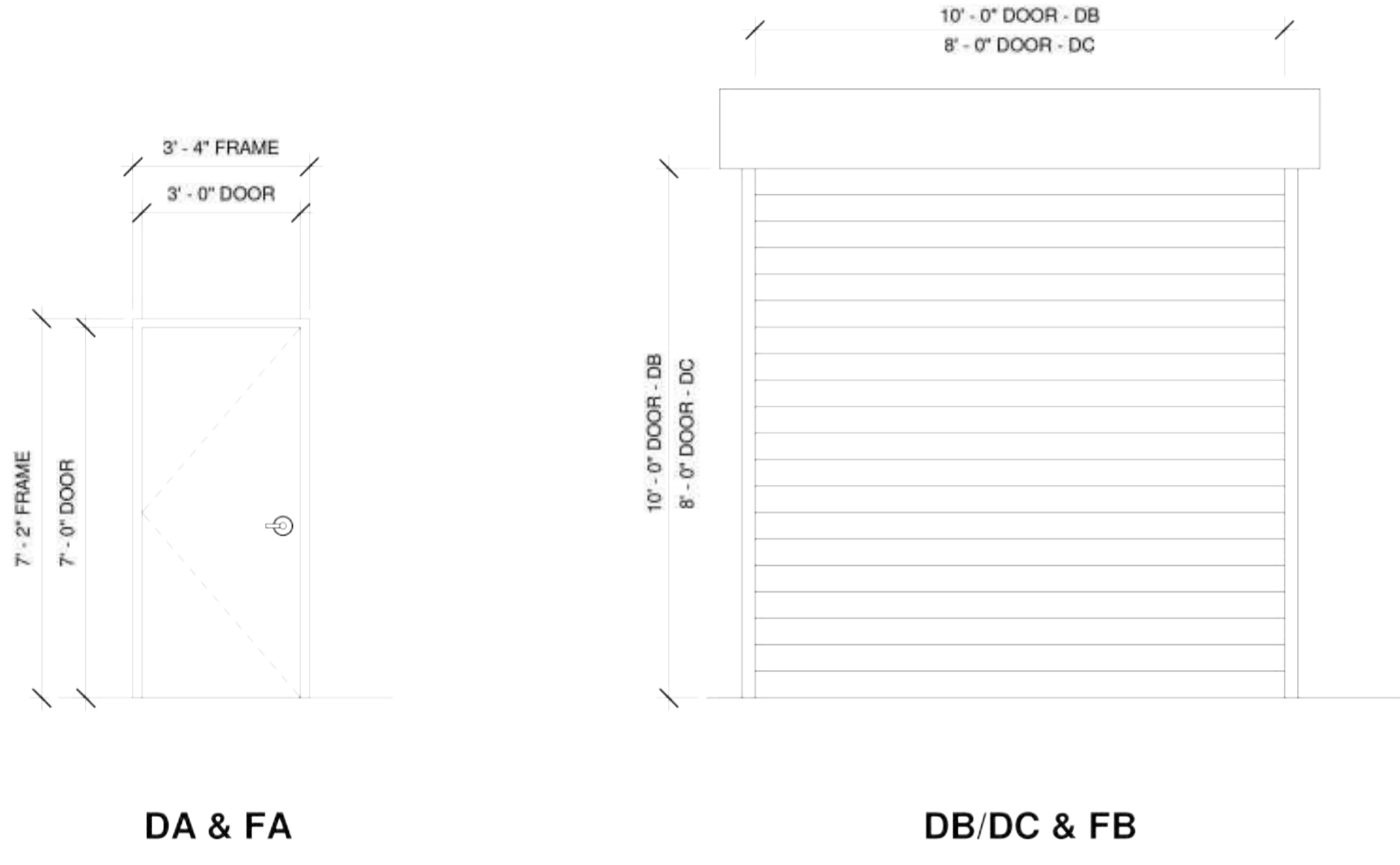
DOOR NOTES

- SEE SPECIFICATIONS FOR HARDWARE SETS
- INSULATED
- WEATHER STRIPPING
- DOOR CLOSER
- CYLINDRICAL LOCK SYSTEM
- KEYPAD AND CARD READER
- COILING OVERHEAD DOOR WITH HOOD
- ON TRACK OVERHEAD DOOR

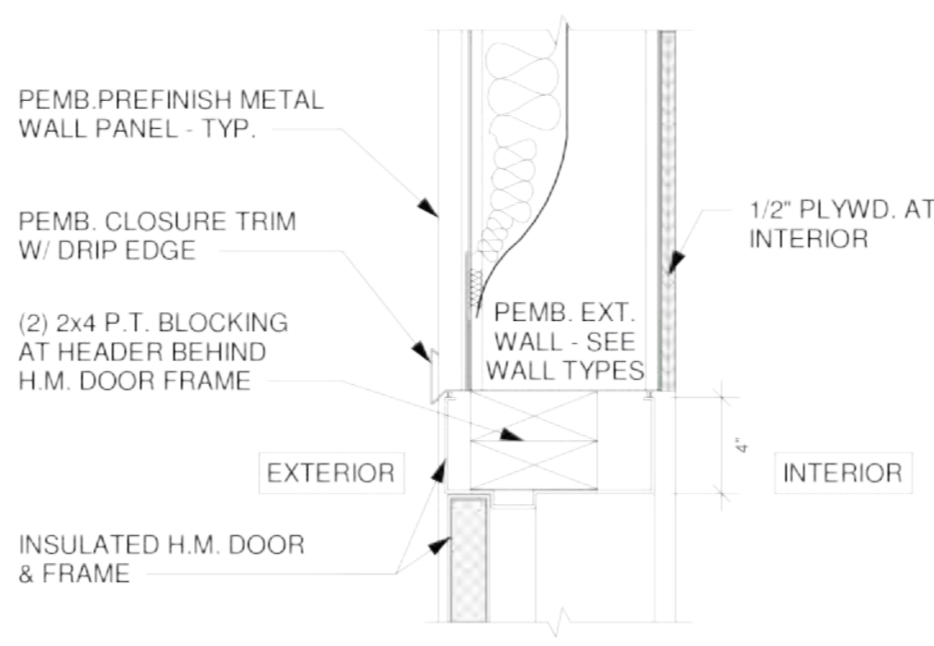
DOOR HARDWARE LIST

LEVER DESIGN: RHODES (RHO) FINISH: SATIN NICKEL
 SILENCER: ROCKWOOD 608.
 DOOR SHOE: PEMKO 316AS
 THRESHOLD: NATIONAL GUARD R059 RAMP THRESHOLD, ADA COMPLIANT UNIT WITH SILICONE INSERT MUST BE COMPATIBLE WITH FLOOR LEVELS.
 KICK PLATE & MOP PLATE ROCKWOOD K1050-U32D (8" x 34" x 0.050").
 HINGES: STANLEY FBB192 5 x 5, STEEL, 5 KNUCKLE, (3 PER LEAF).
 CLOSE: LCN 4040XP SIZE 2, DOOR MOUNTED.
 DOOR CLOSERS MOUNTED ON INTERIOR SIDE.
 LATCH GUARD: LVES LG13, OR COMPATIBLE WITH HARDWARE.

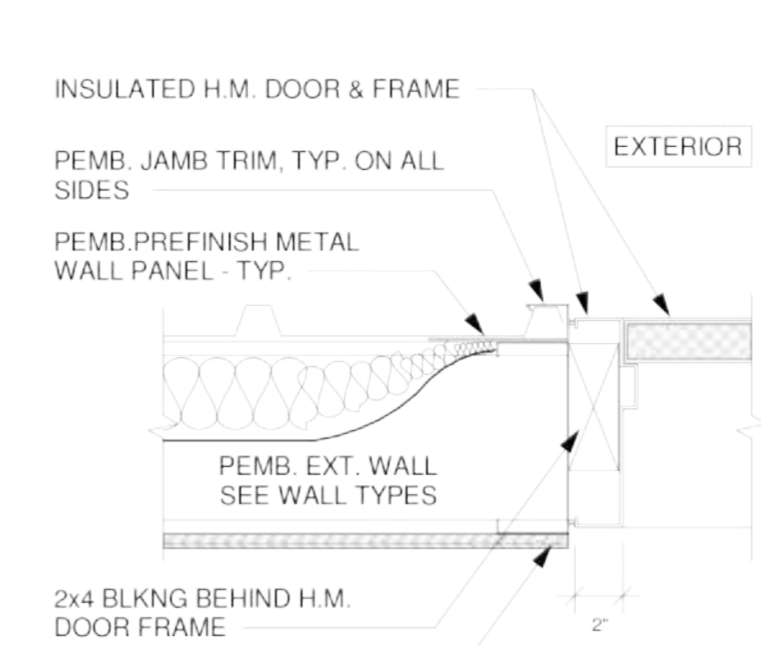
DOOR & FRAME TYPES



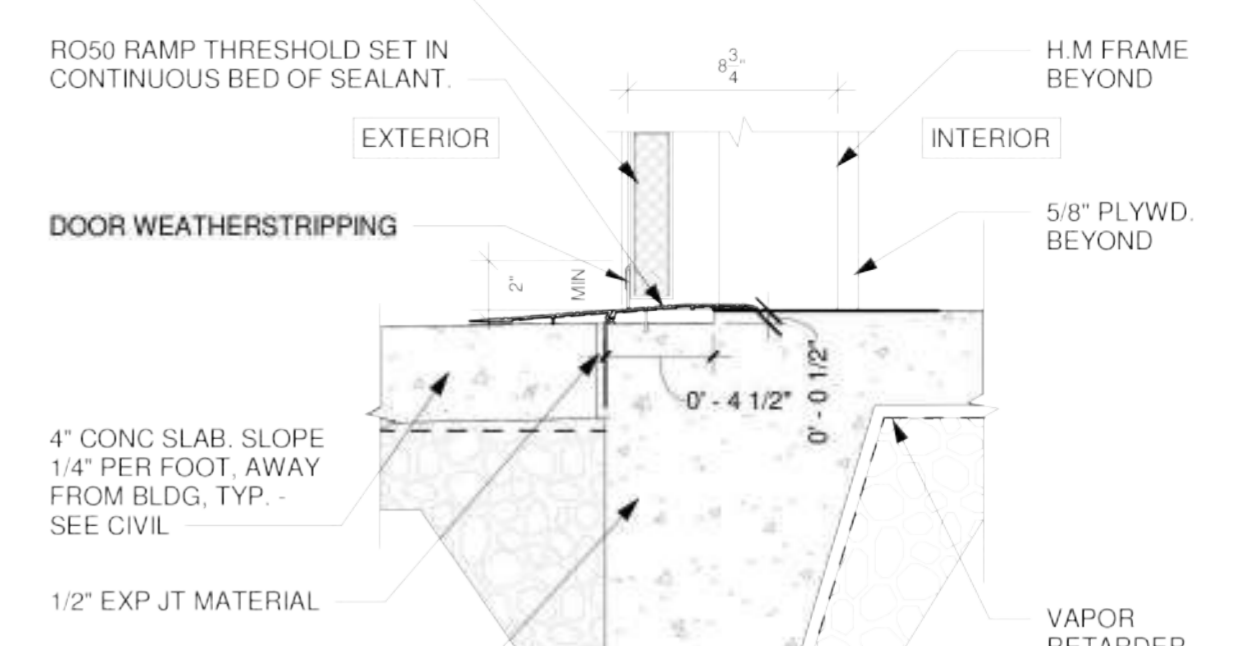
1 DOOR HEAD DETAIL
A8.01J 1 1/2" = 1'-0"



2 DOOR JAMB DETAIL
A8.01J 1 1/2" = 1'-0"



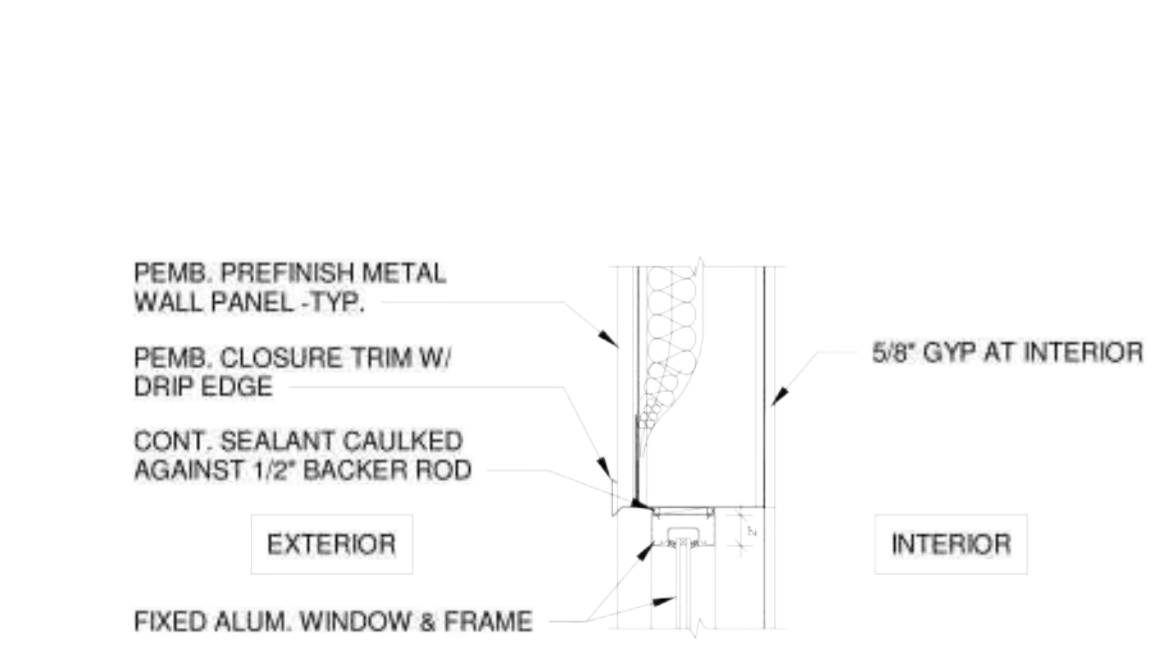
3 DOOR SILL DETAIL
A8.01J 1 1/2" = 1'-0"



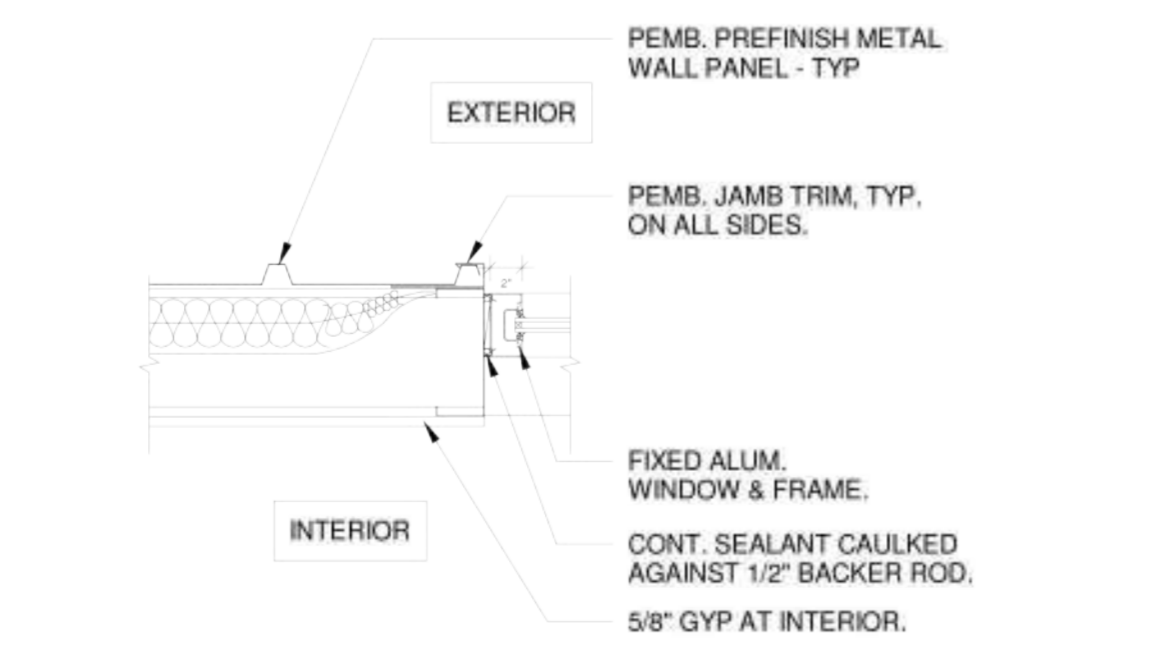
WINDOW SCHEDULE

ROOM NUMBER	ROOM NAME	WINDOW TYPE	WIDTH	HEIGHT	HEAD	JAMB	SILL	COMMENTS
A133	OFFICE	W01	3'-0"	4'-0"	RFI 068			

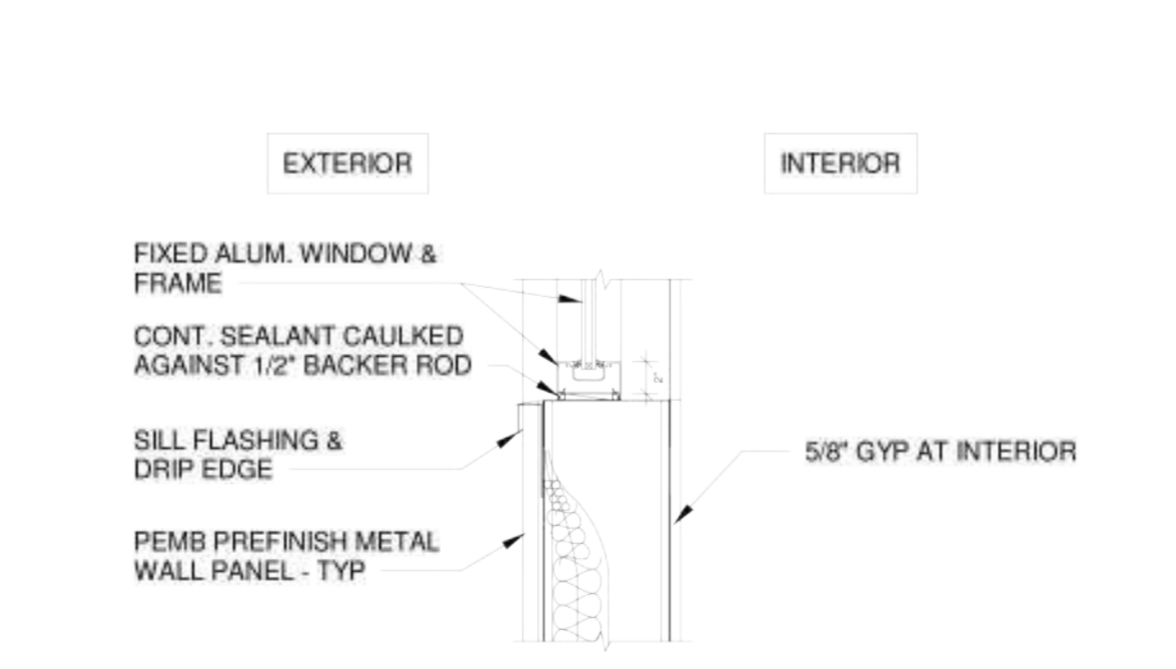
4 WINDOW HEAD
A8.01J 1" = 1'-0"



5 WINDOW JAMB
A8.01J 1" = 1'-0"



6 WINDOW SILL
A8.01J 1" = 1'-0"



LOSE DESIGN
SPACES FOR LIFE.



THE GROVE
BUILDING "J" - MAINTENANCE FACILITY
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR: WALTON COUNTY
LOGANVILLE, GEORGIA

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
A4	04/28/2023	Advertisement 4
R2	7/15/2024	VE Changes

CONFORMED SET

SHEET TITLE
DOOR SCHEDULE, WINDOW INFORMATION, AND DETAILS

PROJECT NO.	DATE
22010	09/19/24
DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	
NR	
SHEET NO.	

A8.01J

OVERHEAD COILING DOORS – SECTION 08 33 23
Page 3 of 4

3. Finish: Clear anodized.
4. Bottom bar: Aluminum extrusion with bottom astragal.
5. Guides: Extruded aluminum shapes with clear anodized finish with continuous silicone-treated woolpile strips.
6. Brackets: Steel to support counterbalance, curtain and hood.
7. Counterbalance: Helical torsion spring type housed in a steel tube or pipe
8. Hood: Aluminum. Provide intermediate support brackets as required.
9. Operation: Manual, push-up.
10. Lock: Cylinder lock – see drawings for key side.
11. Mounting: Between the jambs.

2.4 OVERHEAD COILING SERVICE DOOR:

- A. Product/Manufacturer: The basis-of-design is 625 Series Stormtite Insulated Heavy-Duty Rolling Service Doors by Overhead Door Corporation.
- B. Description:
 1. Curtain: Interlocking flat insulated slats, Type F2651 fabricated of 24 ga galvanized steel (front and back). Endlocks shall be attached to alternate slats to maintain curtain alignment and prevent lateral slat movement.
 2. Finish: Manufacturer standard powder coat in color as selected by the Architect.
 3. Bottom Bar: Primed Galvanized Steel with vinyl weatherseal.
 4. Guides: Structural Galvanized Steel.
 5. Brackets: Steel to support counterbalance, curtain and hood.
 6. Counterbalance: Helical torsion spring type housed in a steel tube or pipe barrel. Standard Spring: 20,000 cycle. Windload: 20 psf.
 7. Hood: 24 ga galvanized steel. Provide intermediate support brackets as required.
 8. Operation: Manual chain hoist.
 9. Locking: Slide bolt, interior side.
 10. Wall Mounting Condition: Face of wall mounting.
 11. Insulation: Foam-In-Place, CFC-free polyurethane, R-7.7
 12. Weatherseals: Bottom, exterior curtain-side guide, interior hood baffle.
 13. Bottom sensing edge

2.5 STEEL SECTIONAL DOOR:

- A. Product/Manufacturer: The basis-of-design is 420 Series Steel Sectional Doors by Overhead Door Corporation.
- B. Description: Steel door assembly with rabbeted meeting rails to form weathertight joints and provide full-width interlocking structural rigidity. Units shall have the following characteristics:
 1. Panel Thickness: 2 inch.
 2. Exterior Surface: Ribbed.
 3. Steel: 20 gauge, galvanized.
 4. Center and End Stiles: 16 gauge.
 5. Standard Springs: 10,000 cycles.
 6. Finish and Color: Manufacturer standard epoxy coating in color as selected by the Architect.
 7. Windload Design: ANSI/AGDM 102 standards and as required by code.

Home / Commercial / Sectional Steel Door - 420



Click to Zoom

Sectional Steel Door Model 420

MODEL 420

Sectional steel door model 420 is designed for heavy-duty use in a variety of commercial and industrial applications. The Model 420 door features a 2" (51 mm) panel thickness, 16-gauge steel intermediate and end stiles, ribbed steel exterior and a white paint finish. This 20-gauge steel door is available in sizes up to 31' 2" (9500 mm) in width and 24' 1" (7341 mm) in height. Numerous options including weatherstripping, reinforced struts, movable center posts, and motor operation allow these heavy-duty doors to meet nearly any project requirements.

[REQUEST A QUOTE](#)

[FIND A DISTRIBUTOR](#)

Overview

Options

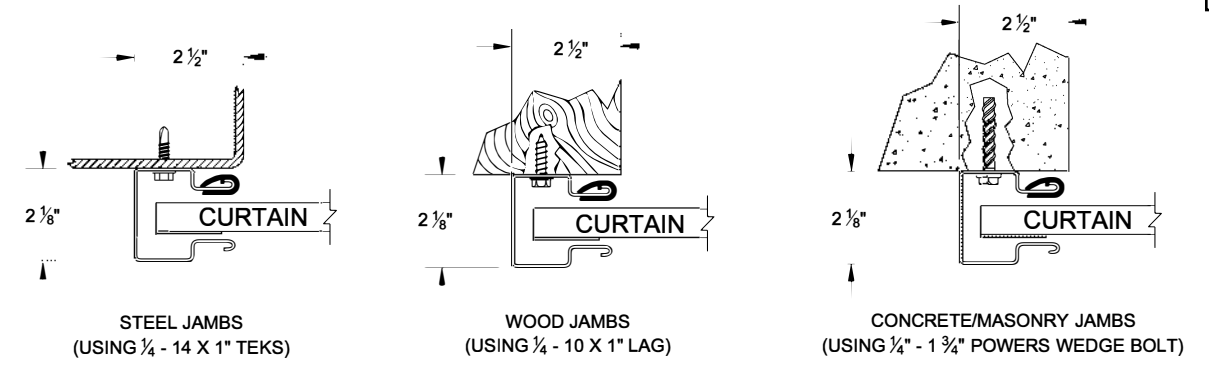
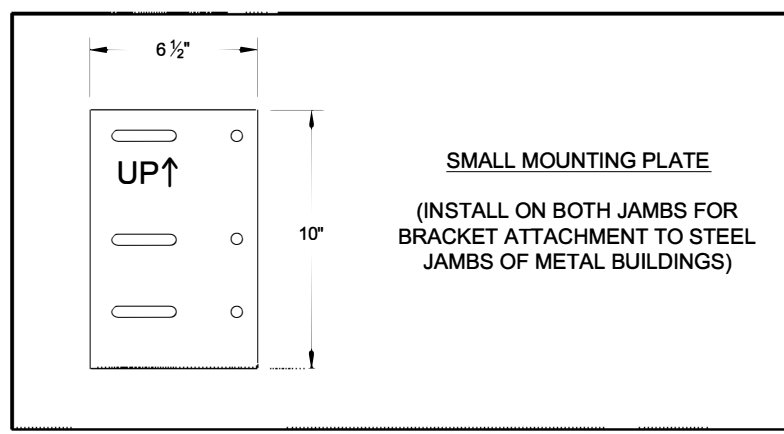
Brochures

Documents

End stiles	16-gauge steel
Center stiles	16-gauge steel
Standard mounting	Angle mount
Standard track	2" (51 mm)
Standard springs	10,000 cycle
Weather Stripping	Flexible PVC bottom with retainer
Operation	Manual pull rope or electric operator
Finish	White baked on-polyester
Lock	Interior mounted slide lock
Wind Load	FBC approved wind load options available

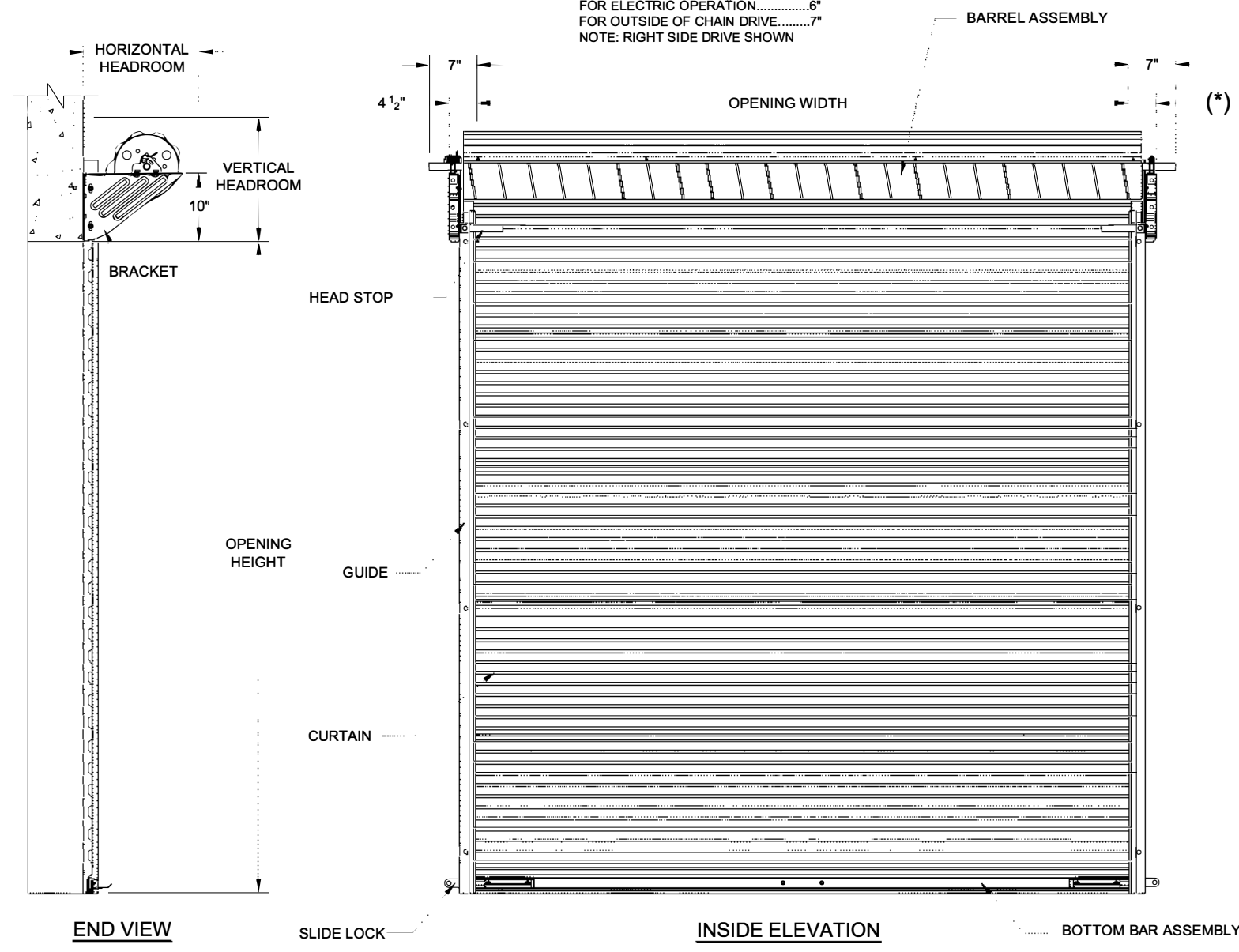
Warranty

- NOTES:**
- OPERATION TYPE MAY BE PUSH-UP, HAND CHAIN OR ELECTRIC.
 - FOR CRITICAL FITS DUE TO REDUCED AVAILABLE HEADROOM OR SIDEROOM CLEARANCES, CONSULT FACTORY.
 - CLEARANCES SHOWN ARE MAXIMUMS. LESSER CLEARANCES MAY BE POSSIBLE.
 - UNLESS OTHERWISE NOTED, DOORS SHALL BE PROVIDED WITH SLIDE LOCKS AT EACH END OF BOTTOM BAR, ENGAGING GUIDES IN THE LOCKED POSITION.
 - ALL OPENING PREPARATION, ELECTRICAL POWER AND FIELD PAINTING SHALL BE PROVIDED BY OTHERS.
 - SERIES 1950I IS AN INSULATED SERIES 1950.
 - CURTAIN FINISH SHALL BE SILICONE POLYESTER PRE-PAINT OVER GALVANIZED GRADE 80 STEEL.
 - GUIDES, BRACKETS, BOTTOM BAR ANGLE AND HEAD STOPS ARE ZINC COATED.
 - MAXIMUM OPENING SIZE: 12'-0" X 14'-0".



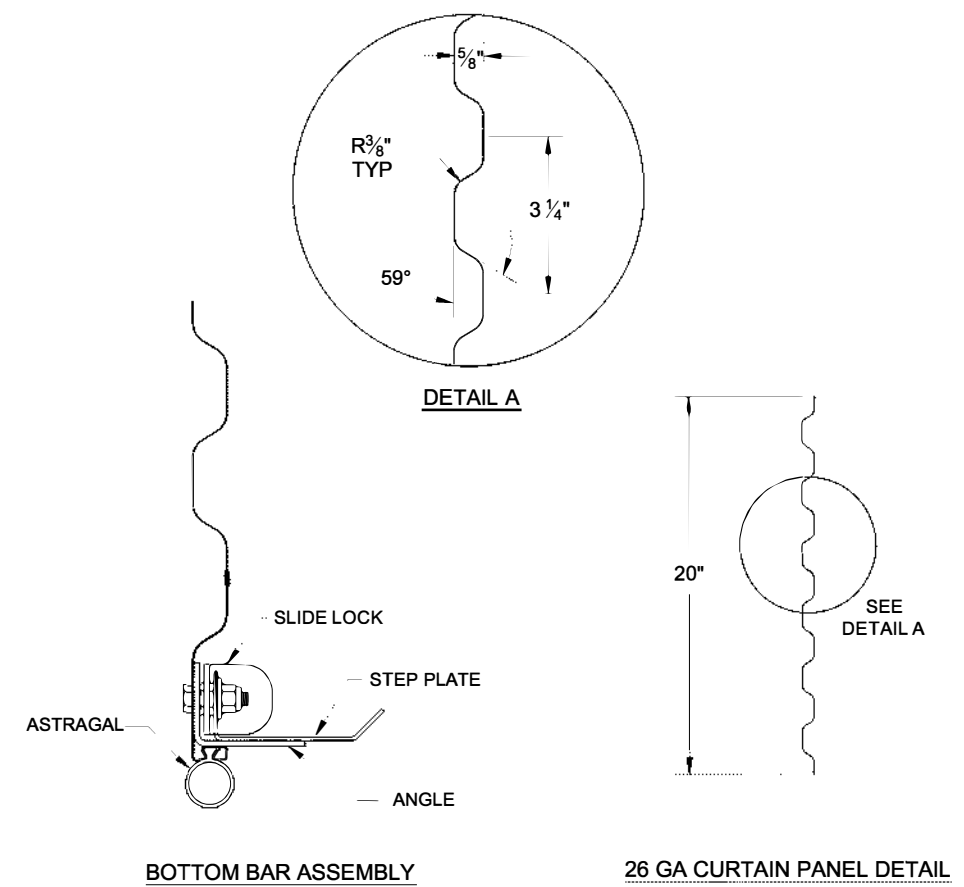
BRACKET ATTACHMENT
 CONCRETE/MASONRY: POWERS WEDGE-BOLT, 3/8" X 1 3/4" LONG
 WOOD: LAG SCREW, 3/8" - 7 X 3" LONG
 STEEL: HEX BOLT, GR.5, 3/8" - 16 X 1 1/4" LONG

(*) FOR PUSH-UP OPERATION.....4 1/2"
 FOR HAND CHAIN OPERATION.....5 1/2"
 FOR ELECTRIC OPERATION.....6"
 FOR OUTSIDE OF CHAIN DRIVE.....7"
 NOTE: RIGHT SIDE DRIVE SHOWN



HEADROOM REQUIRED

OPENING HEIGHT	VERTICAL HEADROOM	HORIZONTAL HEADROOM
THRU 8'-0"	19"	19"
OVER 8'-0" THRU 10'-0"	20"	20"
OVER 10'-0" THRU 14'-0"	20 1/2"	20"



COMMERCIAL DOOR SERIES: 1950/1950I

D.V. 08/13/2013

CUSTOMER NUMBER:		DATE:	
CUSTOMER NAME:		CONTACT:	
PROJECT NAME:			
PROJECT LOCATION:			
PLANT:		SALESPERSON:	
DRAWN BY:		DATE:	
DRAWING NUMBER:		SHT: OF:	

JANUS INTERNATIONAL CORPORATION
 135 JANUS INTERNATIONAL BLVD.
 TEMPLE, GA 30179-4435
 770-562-2850 FAX: 770-562-2264

FACTORY ORDER NUMBER	DOOR SERIES		QTY	OPENING SIZE		JAMB TYPE			OUTSIDE CURTAIN COLOR	OPERATION			OPERATION HAND	WEATHERSTRIP			ADDED OPTIONS
	1950	1950I		WIDTH	HEIGHT	STEEL	CONC./MAS	WOOD		PUSH UP	REDUCED CHAIN	ELECTRIC		TOP	HEADER	SIDE	
	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>				<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



Owner and design team to choose roll up door finish from standard colors list.

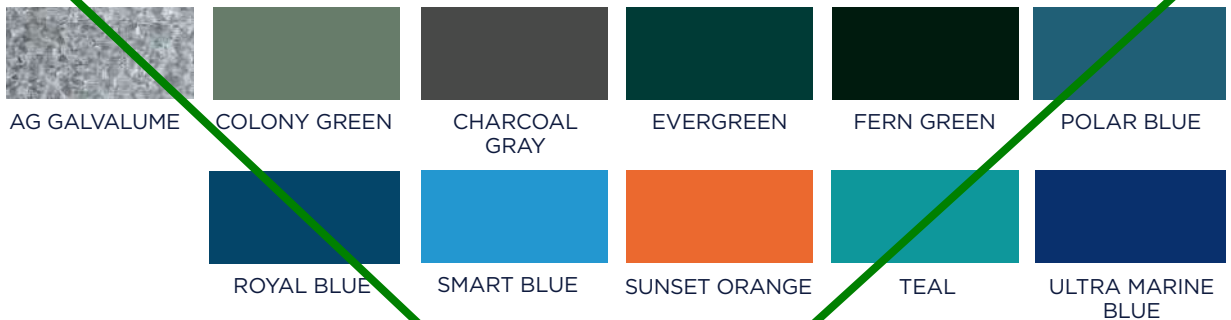
COLOR CHART

STANDARD COLORS



SPECIALTY COLORS (TIER 1)

PRICING TIERS
An upcharge will be applied to all specialty door colors on all door models.



SPECIALTY COLORS (TIER 2)



SPECIALTY COLORS (TIER 3)



SPECIALTY COLORS (TIER 4)



PLEASE NOTE: All color images are provided to assist in branding and marketing processes, and are not a guarantee of exact color match. For actual paint matching codes for the Home Depot, please reference the specific color chart on the Janus website.

For paint warranty, please visit: JanusIntl.com/paintwarranty. For more information, please call: 866-562-2580

Walton County The Grove

Change Proposal #28 Bldg C and F Rigid Insulation Add

General Contractor:

**Reeves Young
45 Peachtree Industrial Boulevard N.W.
Sugar Hill, GA 30518
770-271-1159**



February 19, 2025

Walton County, GA
The Grove, a Walton County Parks &
Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager –
Ascension Program Management

Change Proposal #28 – Building C & F Rigid Insulation Add

The proposal below is for revisions made per the updated VE conformed set due to permitting comments resulting in the addition of rigid insulation at both the Softball Concessions (Building C) and the Amphitheater (Building F).

Per the base bid documents, rigid insulation was to be carried at only conditioned spaces. For building C, the only room that was considered conditioned was the kitchen. For building F, all rooms except the storage room were considered conditioned. The cost below is for the entirety of building C and F to receive rigid insulation at the exterior walls.

See Bulletin 6 and RFI 176 response for additional information

Description	Qty	Unit	Unit Price	Total
Building C Rigid Insulation Add	1	LS	\$6,462.50	\$6,462.50
Building F Rigid Insulation Add	1	LS	\$1,936.00	\$1,936.00
Total Subcontractor Cost	1	LS		\$8,398.50
Payment & Performance Bond	0.597	%	\$50.14	\$50.14
General Liability Insurance	0.811%	%	\$112.96	\$112.96
Builders Risk Insurance	0.174%	%	\$24.24	\$24.24
RY Overhead and Profit	10	%	\$1,392.82	\$1,392.82
TOTAL				\$9,371.21

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,
Reeves Young, LLC

Isaiah Arnold

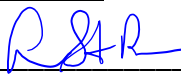



Project Manager

45 Peachtree Industrial Blvd, Suite 200
Sugar Hill, GA 30518

770.271.1159
reevesyoung.com

Approval

Lose Design (Architect of Record)	Signature: <u></u>	Date: <u>2/25/25</u>
Ascension PM (Capital Project Manager)	Signature: <u>Thomas J. Prine</u>	Date: <u>02.25.2025</u>
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: <u></u>	Date: <u>02/19/25</u>

Performance Construction Services, LLC
499 Tuggle Greer Drive
Buford, GA 30518
O. 770-217-7545
F. 770-217-7357

CHANGE ORDER REQUEST #12

Date: February 6, 2025
Job Name: The Grove Park
Job Location: 1089 Highway 81, GA 30052

We propose the following changes in scope of work:

- **Building - C**
 - Additional materials:
 - + \$120 (5) tubes glue @\$24
 - + \$3,805 (50) Sheets 1-1/2" Rigid Insulation @\$76.10
 - Additional Labor:
 - + \$1,350 (1) Day for (3) Men
 - + \$600 (1) Day on-site supervisor

\$ 3,925.00 Additional Materials
\$ 1,950.00 Additional Labor
 \$5,875.00 Subtotal
\$ 587.50 (10%) Mark-up
\$6,462.50 TOTAL ADDED COST - Building C

- **Building - F**
 - Additional materials:
 - + \$24 (1) tubes glue @\$24
 - + \$761 (10) Sheets 1-1/2" Rigid Insulation @\$76.10
 - Additional Labor:
 - + \$675 (1/2) Day for (3) Men
 - + \$300 (1/2) Day on-site supervisor

\$ 785.00 Additional Materials
\$ 975.00 Additional Labor
 \$1,760.00 Subtotal
\$ 176.00 (10%) Mark-up
\$1,936.00 TOTAL ADDED COST - Building F

**We propose the above changes in the scope of work of the added sum of:
Eight Thousand Three Hundred Ninety-Eight Dollars and Fifty Cents (\$8,398.50).**

BUILDING C

PLAN GENERAL NOTES

- SEE ENLARGED PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL FLOORS TO SLOPE AT 1/8" PER FOOT, UNO, COORDINATE W/PLUMBING & STRUCTURAL.
- SEE NOTED PLAN FOR SIGNAGE.
- COORDINATE ALL CABINET WORK AND OFCI. ITEMS W/ OWNER.
- ALL ELECTRIC AND PLUMBING DEVICES ON EXT. WALLS TO BE "CENTERED" ON CMU VERTICALLY AND HORIZONTALLY (W.P. OUTLETS, HOSE BIBBS, ETC). INSTALL SMOOTH FACE BLOCK AT LOCATIONS OF EXT. DEVICES AS REQUIRED FOR A LEVELED INSTALLATION OF DEVICE.
- SEAL ALL PENETRATIONS OF CONDUIT, MECHANICAL DUCT WORK, PIPING, IN ALL SUBSTRATES, INTERIOR AND EXTERIOR WALLS, CEILING FLOORS
- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/CIVIL.
- PROVIDE MASONRY CONTROL JOINTS AS REQUIRED. COORDINATE ANY EXPANSION/CONTROL/CONSTRUCTION JOINTS. VERIFY W/ ARCH. AND STRUC. FOR ANY DISCREPANCIES THAT OCCUR DURING THE CONSTRUCTION PHASE.
- SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
- ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
- ALL DOWN SPOUTS TO CONNECT TO UNDERGROUND PIPING UNLESS OTHERWISE NOTED, COORDINATE W/ CIVIL AS REQUIRED.
- ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
- INSTALL NECESSARY BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE.
- PROVIDE HOSE-BIBBS WITH LOCKABLE BOX. PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATION, SEE PLUMBING.
- CAULK ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT SUBSTRATE.
- CAULK ALL JOINTS BETWEEN FIXED CABINET WORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
- COORDINATE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL
- FOR CONCRETE PAVING SEE SITE/CIVIL
- SEE SITE DRAWINGS FOR ALL EXT. SLAB JOINT DETAILS.
- SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
- PROVIDE AND INSTALL KNOXBOX AT BUILDING ENTRANCE AS REQUIRED PER LOCAL CODE OFFICIAL DIRECTIONS AND REQUIREMENTS. MODEL OF KNOXBOX TO BE APPROVED BY LOCAL CODE OFFICIALS. KNOXBOX TO BE MODEL 3200 - 10 KEY CAPACITY - COLOR BLACK. VERIFY INSTALLATION LOCATION W/ ARCH. RECESSED MOUNTED ON BUILDING. - PROVIDE SMOOTH FACE BLOCK. BEHIND KNOXBOX AS REQUIRED TO MATCH ADJACENT BUILDING BLOCK.
- PROVIDE ROUNDED CORNER ON ALL EXPOSED CMU CORNERS, INCLUDING BUT NOT LIMITED TO DOOR JAMBS AND OTHER OPENINGS.
- SEE SHEET A0.02C FOR RESTROOM ACCESSORIES, GRAB BAR SIZES AND MOUNTING HEIGHTS & PLUMBING FIXTURES LEGEND. SEE PLUMBING FOR FIXTURE SPEC.
- GENERAL CONTRACTOR TO PROVIDE COMBINED RE-BAR / CONDUIT/ PLUMBING PIPE LAYOUT SUBMITTAL FOR COORDINATION PRIOR TO INSTALLATION OF ANY OF THESE ITEMS.
- SEE SHEET A4 SERIES FOR WALL SECTIONS & DETAILS.
- SEE SHEET A6 SERIES FOR RCP.
- SEE SHEET A7 SERIES FOR ROOF PLANS.
- SEE SHEET A8 SERIES FOR DOOR AND WINDOW SCHEDULE & DETAILS.
- SEE SHEET A9 SERIES FOR ARCHITECTURAL WOODWORK AND FINISH LEGEND

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	WALLS				WALL BASE	CEILING FINISH	NOTES
			NORTH	EAST	WEST	SOUTH			
C01	MEN'S RESTROOM	EP-1	PNT-3	PNT-5	PNT-3	PNT-3	EP	PLW-PNT 7	
C02	WOMEN'S RESTROOM	EP-1	PNT-3	PNT-3	PNT-3	PNT-2	EP	PLW-PNT 7	
C03	CONCESSION	EP-1	PNT-3	PNT-3	PNT-3	PNT-3	EP	PLW-PNT 7	
C04	PANTRY	EP-1	PNT-3	PNT-3	PNT-3	PNT-3	EP	PLW-PNT 7	
C05	UMPIRE	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	
C06	ELECTRICAL	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	
C07	MECHANICAL	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	
C08	MECHANICAL YARD	SC-2	-	-	-	-	-	-	
C09	STORAGE	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	
C10	CHASE	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	
C11	ALCOVE	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-PNT 7	

FLOOR	MATERIAL FINISH	MATERIAL DESCRIPTION	BASE	MATERIAL FINISH	MATERIAL DESCRIPTION
EP	SC-1	EPOXY FLOORING	EP	RB-1	INTEGRAL COVERED EPOXY BASE
SC-2		SEALED CONCRETE SLAB - SMOOTH FINISH	RB-1		RUBBER COVERED BASE
		SEALED CONCRETE SLAB - BROOM FINISH, COORDINATE WITH CIVIL			
WALL	CMU	CONCRETE MASONRY UNIT - PAINT COLOR NOTED	CEILING	PLW-PNT 7	PLYWOOD, PNT -7 COLOR

SIGNAGE SCHEDULE

Sign Number	Door Number	Room Number	Room Name	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
C01	C01	C01	MEN'S RESTROOM	MEN'S	RESTROOM	1,2,3,4,5
C02	C02	C02	WOMEN'S RESTROOM	WOMEN'S	RESTROOM	1,2,3,4,5
C03	C03	C03	CONCESSION	CONCESSION		1,2,3,5
C04	C04	C04	PANTRY	PANTRY		1,2,3,5
C05	C05	C05	UMPIRE	UMPIRE		1,2,3,5
C06	C06	C06	ELECTRICAL	ELECTRICAL		1,2,3,5
C07	C07	C07	MECHANICAL	MECHANICAL		1,2,3,5
C08	C08	C08	MECHANICAL YARD	MECHANICAL	YARD	1,2,3,5
C09	C09	C09	STORAGE	STORAGE		1,2,3,5
C10	C10	C10	CHASE	CHASE		1,2,3,5

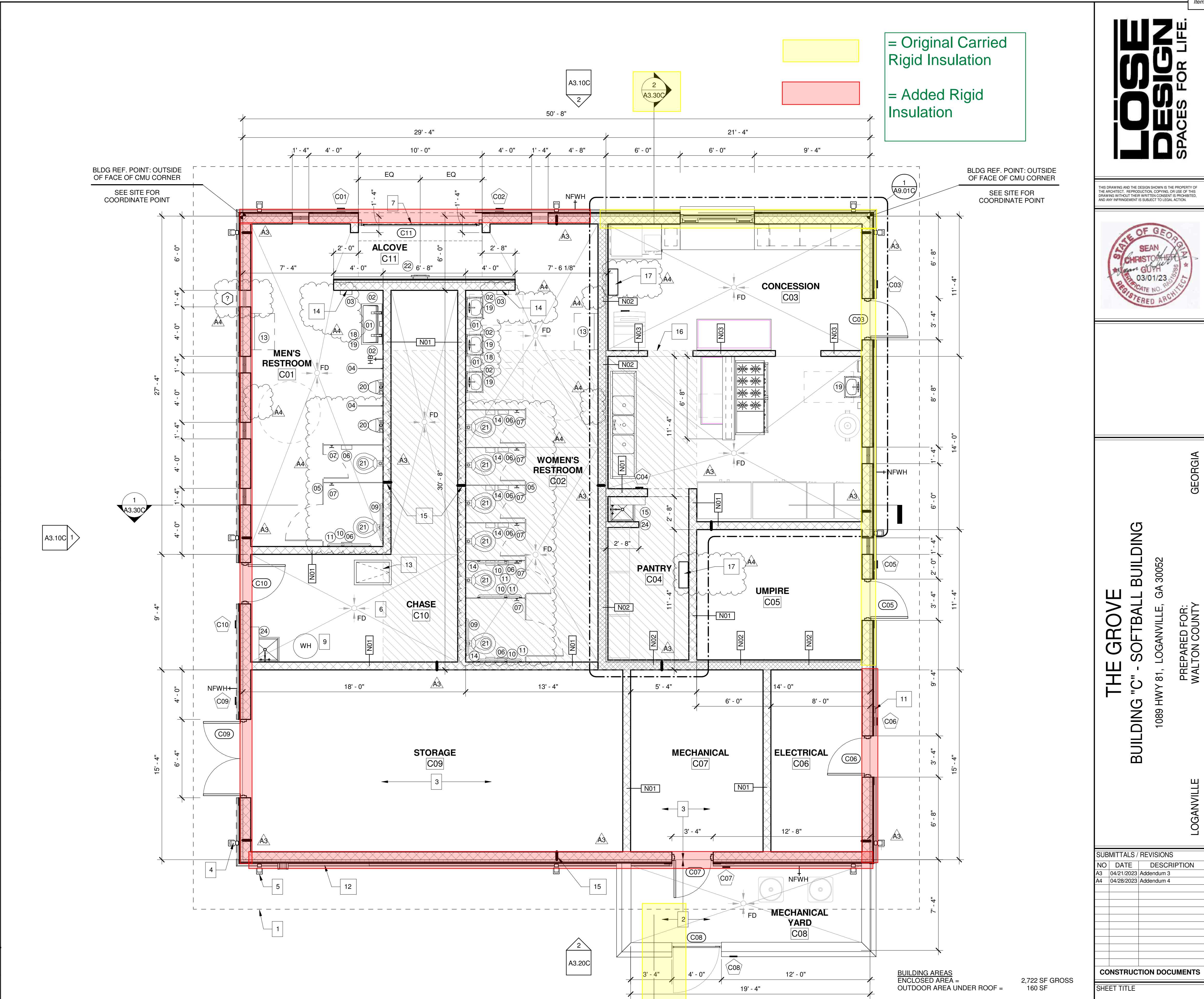
- NOTES:
- PROVIDE SOLID BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE
 - INSTALL SIGNAGE AT WALL BESIDE DOOR AT LATCH SIDE FOR SINGLE DOOR, INSTALL SIGNAGE AT SECONDARY DOOR LEAF FOR DOUBLE DOOR
 - SIGNAGE MUST COMPLY WITH ALL ADA REGULATIONS INCLUDING BUT NOT LIMITED TO:
 - HEIGHT ABOVE FINISH FLOOR (SEE DOOR SCHEDULE SHEET)
 - CHARACTERS
 - PICTOGRAMS
 - BRAILLE
 - FINISH
 - PROVIDE UNIVERSAL PICTOGRAM FIGURES FOR RESTROOM
 1. MAIN FIGURE AT MEN'S RESTROOMS
 2. WOMAN FIGURE AT WOMEN'S RESTROOMS
 3. MAN AND WOMAN FIGURE AT FAMILY / UNISEX RESTROOMS
 4. WHEELCHAIR / HANDICAP FIGURE AT ALL RESTROOMS
 5. SHOWER SYMBOL AT ALL RESTROOMS WITH SHOWER
 - PROVIDE ALL MANUFACTURER DRAWINGS FOR APPROVAL PRIOR TO INSTALL.

PLAN KEYNOTES

- | | |
|---|---|
| 1 ROOF OUTLINE ABOVE, TYP. | 10 MASONRY WALL CONTROL JOINT - SEE STRUCTURE |
| 2 SEALED CONCRETE SLAB BROOM FINISH - SEE CIVIL | 11 KNOX BOX, VERIFY LOCATION W/ BUILDING OFFICIALS |
| 3 SEALED CONCRETE SLAB | 12 LETTER BUILDING SIGN |
| 4 5X5 PRE-FIN. ALUM GUTTER & 4X4 DOWNSPOUT SYSTEM, TYP. SEE CIVIL FOR UNDERGROUND STORM WATER SYSTEM CONNECTION | 13 22" X 36" ATTIC ACCESS PANEL ABOVE |
| 5 PRE-FINISHED DOWNSPOUT METAL COVER | 14 PROVIDE 4" CMU AS REQUIRED AT RECESSED HAND DRYER |
| 6 FLOOR DRAIN, TYP. SEE PLUMBING | 15 MASONRY CONTROL JOINT, TYP. SEE STR |
| 7 ROLL UP SECURITY DOOR - SEE DOOR SCHEDULE | 16 MECHANICAL EQUIPMENT PLATFORM AREA ABOVE CEILING. SEE STRUCTURAL |
| 8 MECHANICAL UNIT, SEE MECHANICAL | 17 CARBON MONOXIDE DETECTOR |
| 9 WATER HEATER UNIT, SEE PLUMBING | |

PARTITION TYPES

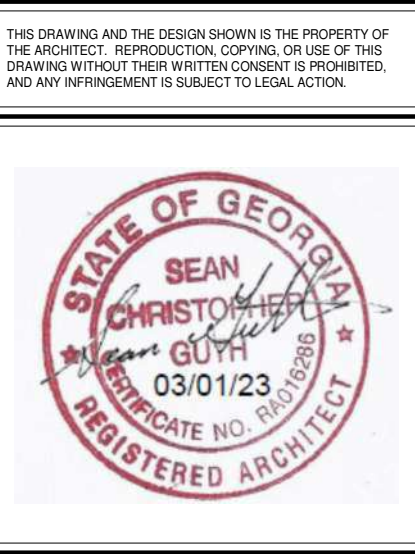
TYPE	SYMBOL	ASSEMBLY	WALL THK.	WALL HT.	FIRE RATING	REMARKS
N01	[Symbol]	8" CMU	7-5/8"	9'-4" AFF.	NONE	
N02	[Symbol]	8" CMU W/ 1 1/2" Z METAL FURRING, 1 1/2" RIGID INSUL AND 5/8" HIGH IMPACT GYP. BD.	9-3/4"	9'-4" AFF.	NONE	PROVIDE WOOD FRAMED WALL WITH PLYWOOD SHEATHING ON UNCONDITIONED SIDE. ON TOP CMU WALL, EXTENDS TO ROOF DECK.
N03	[Symbol]	6" CMU	5-5/8"	9'-4" AFF.	NONE	



Item 7.1.

LOSE DESIGN

SPACES FOR LIFE.



THE GROVE
BUILDING "C" - SOFTBALL BUILDING
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY
LOGANVILLE
GEORGIA

SUBMITTALS / REVISIONS

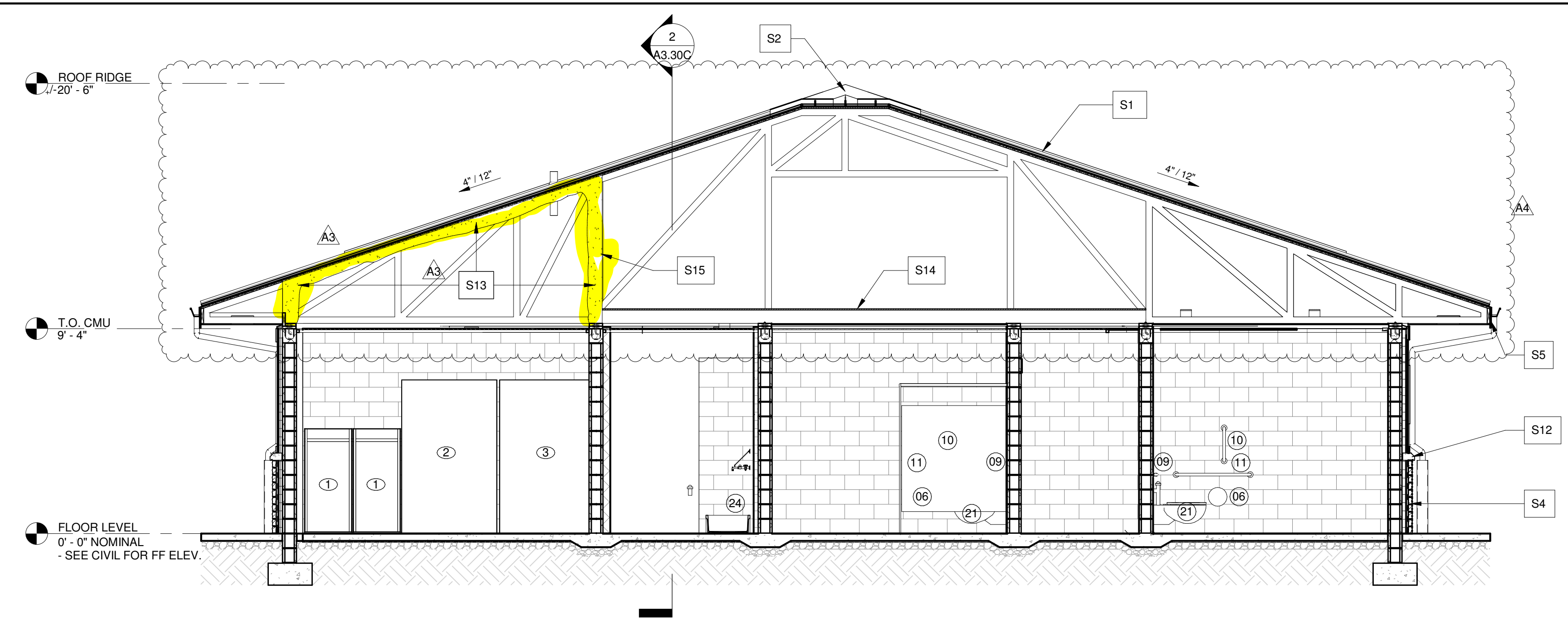
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4

CONSTRUCTION DOCUMENTS

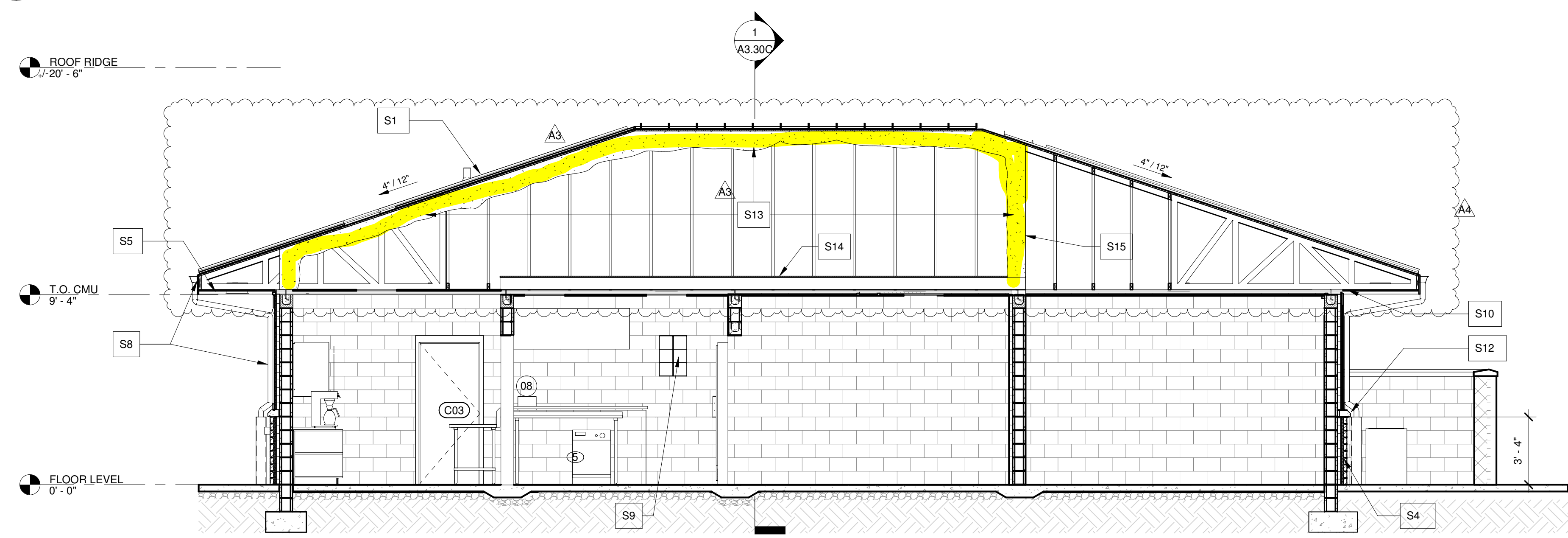
SHEET TITLE
SOFTBALL BUILDING FLOOR PLAN

PROJECT NO. **22010** DATE **03/22/2023**
DRAWN BY **STAFF** SCALE **As indicated**
CHECKED BY **NR**
SHEET NO. **A2.01C**

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1 BUILDING SECTION 1
A3.30C 1/4" = 1'-0"



2 BUILDING SECTION 2
A3.30C 1/4" = 1'-0"

NOTE:
NO ATTIC VENTILATION WHERE RAFTERS ARE INSULATED WITH SPRAY INSULATION.

GENERAL NOTES

- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL.
- ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS.
- DIMENSIONS ARE FROM FINISH FLOOR. (U.N.O.)
- SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
- SEE SHEET A4 SERIES FOR WALL SECTIONS & DETAILS.
- SEE SHEET A6 SERIES FOR RCP.
- SEE SHEET A7 SERIES FOR ROOF PLANS.
- SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
- SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.
- SEE SHEET A9 SERIES FOR ARCHITECTURAL WOODWORK AND FINISH LEGEND.

SECTION KEYNOTES

S1	PRE-FINISHED METAL ROOF	S10	EXTERIOR SOFFIT SYSTEM
S2	RIDGE VENT SYSTEM W/ PRE-FINISHED METAL RIDGE CAP - SEE MECH.	S11	BOARD AND BATTEN CEILING SYSTEM
S3	DECORATIVE WOOD TRUSS AT GABLE	S12	CAST STONE WAINSCOT CAP W/ CONT. DRIP EDGE
S4	MANUFACTURED ADHERED STONE VENEER SYSTEM, TYP.	S13	PROVIDE SPRAY INSULATION AT UNDERSIDE OF ROOF DECK AT CONDITION AREAS.
S5	1X FIBER CEMENT FASCIA BD. TYP., PAINTED	S14	MECHANICAL EQUIPMENT PLATFORM. VERIFY CLEARANCES WITH MECHANICAL. SEE STRUCTURAL
S6	STEEL COLUMN, TYP. SEE STRUCTURAL	S15	PROVIDE SHEATHING TO OUTSIDE OF ADDITIONAL WOOD TRUSS OR WOOD FRAME. LOCATE ON CENTER OF CMU WALL
S7	OUTDOOR SPOTLIGHT, TYP., SEE ELEC.		
S8	5X5 PRE-FIN. ALUM GUTTER & 4X4 DOWNSPOUT SYSTEM, TYP. SEE CIVIL FOR UNDERGROUND STORM WATER SYSTEM CONNECTION		
S9	(6) 8X8X4 (FROSTED) GLASS BLOCK, TYP.		

GEORGIA

THE GROVE
BUILDING "C" - SOFTBALL BUILDING
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY

LOGANVILLE

SUBMITTALS / REVISIONS

NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4

CONSTRUCTION DOCUMENTS

SHEET TITLE
SOFTBALL BUILDING - BUILDING SECTIONS

PROJECT NO.	DATE
22010	03/22/2023
DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	
NR	
SHEET NO.	

A3.30C

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GEORGIA

THE GROVE
BUILDING "C" - SOFTBALL BUILDING
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY

LOGANVILLE

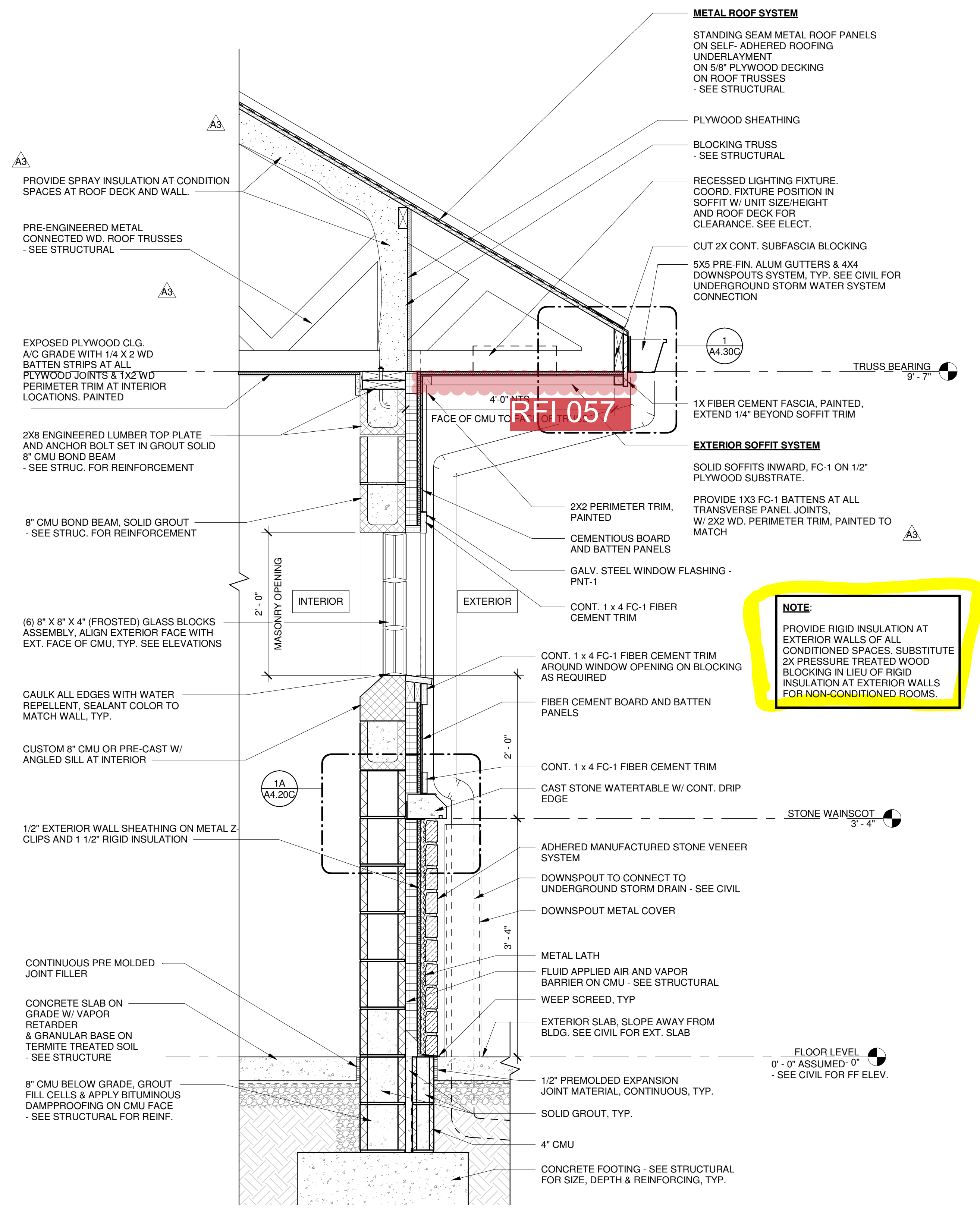
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4

CONSTRUCTION DOCUMENTS

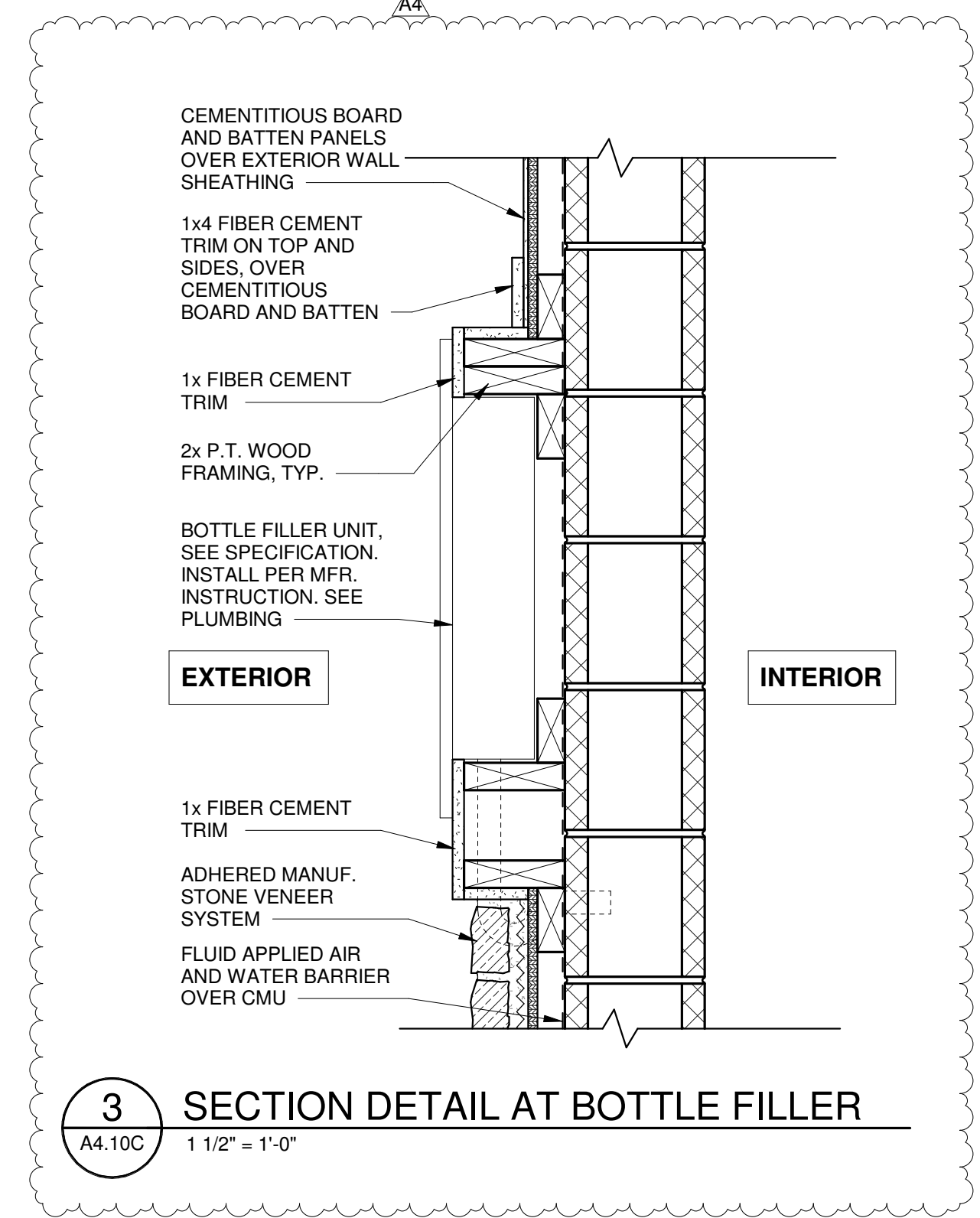
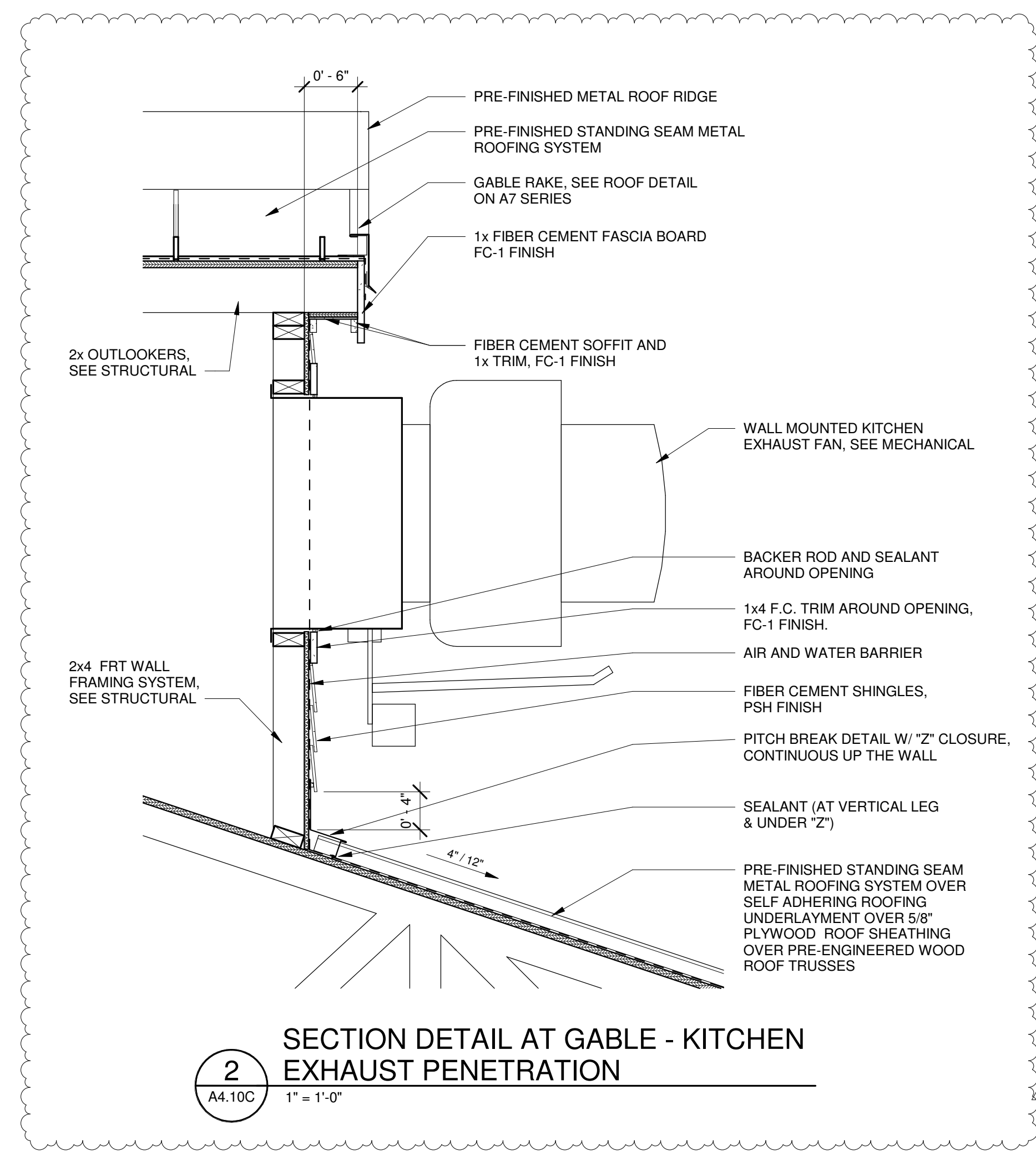
SHEET TITLE
WALL SECTIONS & DETAILS

PROJECT NO.	DATE
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DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	
NR	
SHEET NO.	

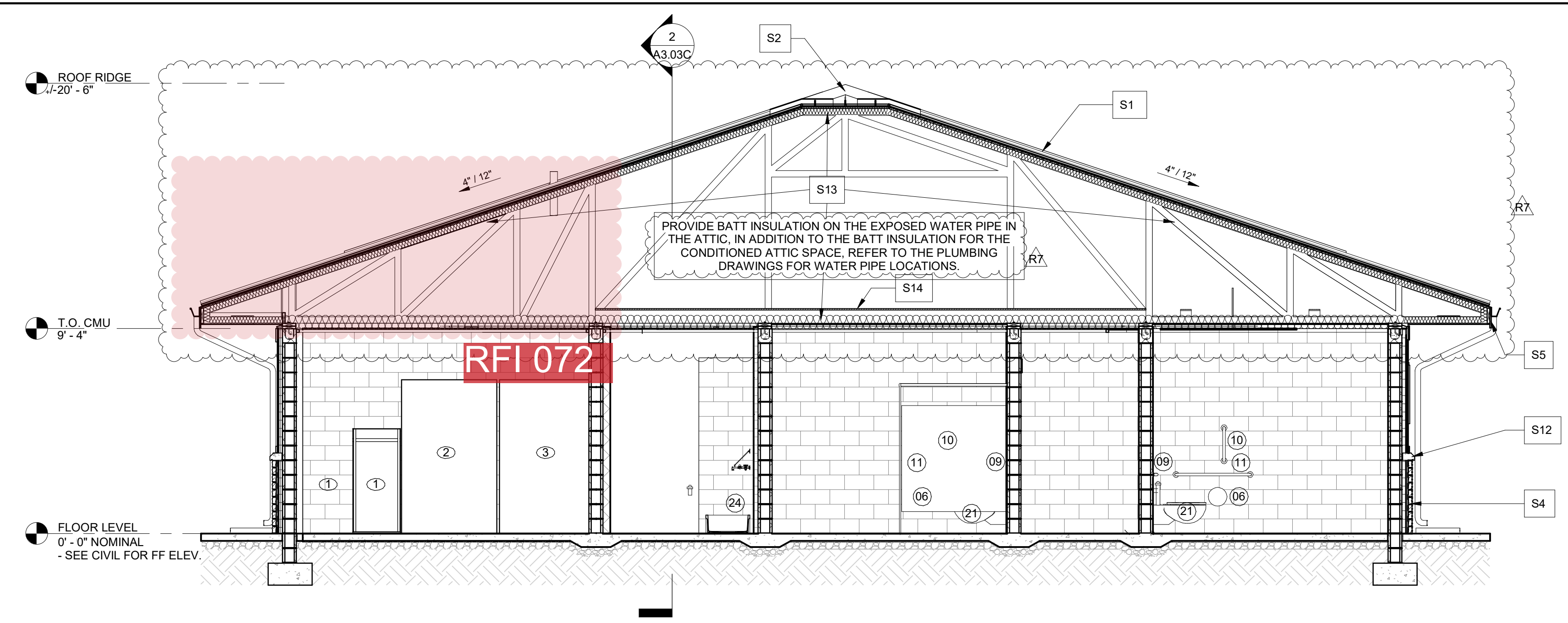
A4.10C



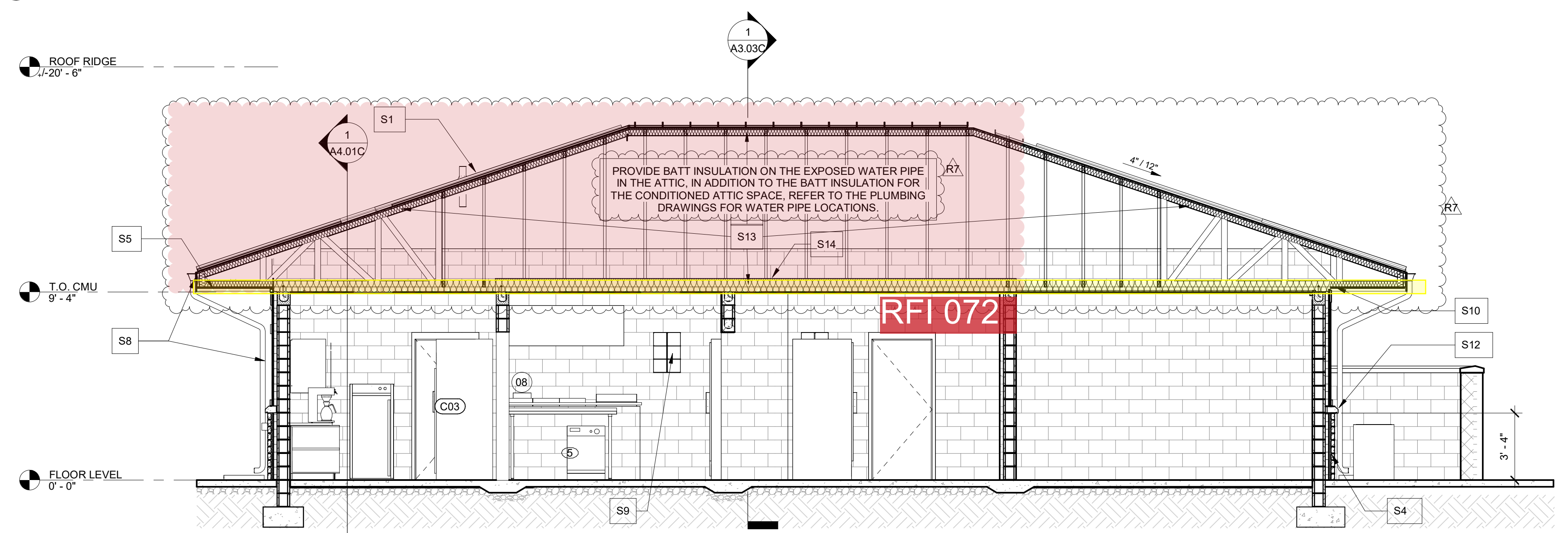
1 WALL SECTION
A4.10C 1" = 1'-0"



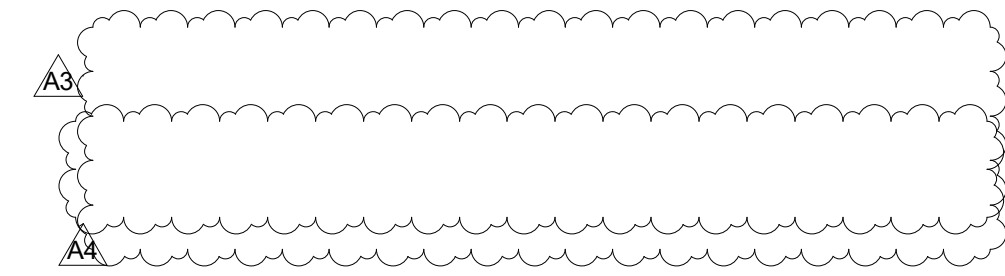
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1 BUILDING SECTION 1
A3.03C 1/4" = 1'-0"



2 BUILDING SECTION 2
A3.03C 1/4" = 1'-0"



GENERAL NOTES

1. ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL
2. ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS.
3. DIMENSIONS ARE FROM FINISH FLOOR. (U.N.O.)
4. SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
5. SEE SHEET A4 SERIES FOR WALL SECTIONS & DETAILS.
6. SEE SHEET A6 SERIES FOR RCP.
7. SEE SHEET A7 SERIES FOR ROOF PLANS.
8. SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
9. SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.
10. SEE SHEET A9 SERIES FOR ARCHITECTURAL WOODWORK AND FINISH LEGEND

SECTION KEYNOTES

S1	PRE-FINISHED METAL ROOF	S10	EXTERIOR SOFFIT SYSTEM
S2	RIDGE VENT SYSTEM W/ PRE-FINISHED METAL RIDGE CAP - SEE MECH.	S11	BOARD AND BATTEN CEILING SYSTEM
S3	DECORATIVE WOOD TRUSS AT GABLE	S12	CAST STONE WAINSCOT CAP W/ CONT. DRIP EDGE
S4	MANUFACTURED ADHERED STONE VENEER SYSTEM, TYP.	S13	PROVIDE R-18 BATT INSULATION AT UNDERSIDE OF ROOF DECK AND OVER THE CEILING - TO COVER ALL CONDITIONED ATTIC SPACE.
S5	1X FIBER CEMENT FASCIA BD. TYP., PAINTED	S14	MECHANICAL EQUIPMENT PLATFORM. VERIFY CLEARANCES WITH MECHANICAL. SEE STRUCTURAL
S6	STEEL COLUMN, TYP. SEE STRUCTURAL		
S7	OUTDOOR SPOTLIGHT, TYP., SEE ELEC.		
S8	5X5 PRE-FIN. ALUM GUTTER & 4X4 DOWNSPOUT SYSTEM, TYP. SEE CIVIL FOR UNDERGROUND STORM WATER SYSTEM CONNECTION		
S9	(6) 8X8X4 (FROSTED) GLASS BLOCK, TYP.		

GEORGIA

LOGANVILLE
THE GROVE
BUILDING "C" - SOFTBALL BUILDING
 1089 HWY 81, LOGANVILLE, GA 30052
 PREPARED FOR:
 WALTON COUNTY

SUBMITTALS / REVISIONS

NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4
R1	06/13/2023	Permit Revisions
R7	11/20/2024	RFI#072 Conditioned Mech Attic

CONSTRUCTION DOCUMENTS

SHEET TITLE
SOFTBALL BUILDING - BUILDING SECTIONS

PROJECT NO. 22010	DATE 11/07/2024
DRAWN BY STAFF	SCALE As indicated
CHECKED BY NR	
SHEET NO.	

A3.03C

BUILDING F

PLAN GENERAL NOTES

- SEE ENLARGED PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL FLOOR TO SLOPE AT 1/8" PER FOOT, UNO, COORDINATE W/PLUMBING & STRUCTURAL.
- SEE NOTED PLAN FOR SIGNAGE.
- COORDINATE ALL CASEWORK AND OFCI. ITEMS W/ OWNER.
- ALL ELECTRIC AND PLUMBING DEVICES ON EXT. WALLS TO BE "CENTERED" ON CMU VERTICALLY AND HORIZONTALLY (W.P. OUTLETS, HOSE BIBBS, ETC). INSTALL SMOOTH FACE BLOCK AT LOCATIONS OF EXT. DEVICES AS REQUIRED FOR A LEVELLED INSTALLATION OF DEVICE.
- SEAL ALL PENETRATIONS OF CONDUIT, MECHANICAL DUCT WORK, PIPING, IN ALL SUBSTRATES, INTERIOR AND EXTERIOR WALLS, CEILING FLOORS
- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/CIVIL.
- PROVIDE MASONRY CONTROL JOINTS AS REQUIRED. COORDINATE ANY EXPANSION/CONTROL CONSTRUCTION JOINTS. VERIFY W/ ARCH. AND STRUC. FOR ANY DISCREPANCIES THAT OCCUR DURING THE CONSTRUCTION PHASE.
- SEALANT AT EXPANSION JOINT TO MATCH ADJACENT WALL COLOR.
- ALL NEW MASONRY JOINTS TO BE CONCAVED TOOLED.
- ALL DOWN SPOUTS TO CONNECT UNDERGROUND UNLESS OTHERWISE NOTED, COORDINATE W/ CIVIL AS REQUIRED.
- ALL EXPOSED STEEL TO BE SHOP PRIMED AND FIELD PAINTED.
- INSTALL NECESSARY BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE.
- HOSE-BIBB WITH LOCKABLE BOX, PROVIDE FREEZE-PROOF TYPE FOR EXTERIOR LOCATION, SEE PLUMBING.
- CAULK ALL DOOR & WINDOW FRAMES AT THE JOINT BETWEEN THE FRAME & THE ADJACENT SUBSTRATE.
- CAULK ALL JOINTS BETWEEN FIXED CASEWORK, PLUMBING FIXTURES, & BACKSPLASH TO WALL TRANSITION JOINT.
- COORDINATE BUILDING SITE ORIENTATION/LAYOUT WITH CIVIL.
- FOR CONCRETE PAVING SEE SITE/CIVIL
- SEE SITE DRAWINGS FOR ALL EXT. SLAB JOINT DETAILS.
- SEE STRUCTURE FOR ALL FOOTING & SLAB REQUIREMENTS.
- AS REQUIRED PROVIDE AND INSTALL KNOXBOX AT BUILDING ENTRANCE PER LOCAL CODE OFFICIAL DIRECTIONS AND REQUIREMENTS. MODEL OF KNOXBOX TO BE APPROVED BY LOCAL CODE OFFICIALS. KNOXBOX TO BE MODEL 3200 - 10 KEY CAPACITY - COLOR BLACK. VERIFY INSTALLATION LOCATION W/ ARCH. RECESSED MOUNTED ON BUILDING. - PROVIDE SMOOTH FACE BLOCK. BEHIND KNOXBOX AS REQUIRED TO MATCH ADJACENT BUILDING BLOCK.
- PROVIDE ROUNDED CORNER ON ALL EXPOSED CMU CORNER, INCLUDING BUT NOT LIMITED TO DOOR JAMBS AND OTHER OPENINGS.
- SEE A0.02F FOR RESTROOM ACCESSORIES, GRAB BAR SIZES AND MOUNTING HEIGHTS & PLUMBING FIXTURES LEGEND. SEE PLUMBING FOR FIXTURE SPEC. CONSTRUCTION PHASE.
- ALL PLUMBING IN UNCONDITIONED SPACES SHALL BE INSULATED.
- SEE SHEET A4 SERIES FOR WALL SECTIONS & DETAILS.
- SEE SHEET A6 SERIES FOR RCP.
- SEE SHEET A7 SERIES FOR ROOF PLANS.
- SEE SHEET A8 SERIES FOR DOOR SCHEDULE & DETAILS.
- SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS.
- SEE SHEET A9 SERIES FOR ARCHITECTURAL WOODWORK AND FINISH LEGEND

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	NORTH	EAST	SOUTH	WEST	BASE	CEILING	NOTES
F01	STAGE	SC-2						DMD A3	
F02	STAIR 1	SC-2							
F03	STAIR 2	SC-2							
F04	HALL	SC-2							
F05	GREEN ROOM	SC-1	PNT-3	PNT-3	PNT-5	PNT-3	RB-1	PLW-1	
F06	RESTROOM	EP-1	PCT-3	PCT-3	PCT-3	PCT-3	SLB	PLW-1	
F07	DECK	SC-2							
F08	RESTROOM	EP-1	PCT-3	PCT-3	PCT-3	PCT-3	SLB	PLW-1	
F09	ELECTRICAL/AUDIO	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-1	
F10	STORAGE	SC-1	PNT-3	PNT-3	PNT-3	PNT-3	RB-1	PLW-1	
F11	RAMP	SC-2							
F12	STAIR 3	SC-2							
F13	LOADING DOCK	SC-2							

MATERIAL FINISH	MATERIAL DESCRIPTION
FLOOR	EP-1 EPOXY FLOORING SC-1 SEALED CONCRETE - SMOOTH FINISH SC-2 SEALED CONCRETE - BROOM FINISH (EXTERIOR), SEE CIVIL/SITE
BASE	RB-1 RUBBER COVERED BASE SLB BRUSHED STAINLESS STEEL BASE
WALL	CMU CONCRETE MASONRY UNIT - PAINT COLOR NOTED CMU-E CONCRETE MASONRY UNIT - EPOXY PAINT COLOR NOTED
CEILING	PLW-1 PLYWOOD - PAINT PNT- 7 DMD DOVETAIL METAL DECKING - PNT-8 FC-1 FIBER CEMENT - PRE-FINISHED OR PAINTED

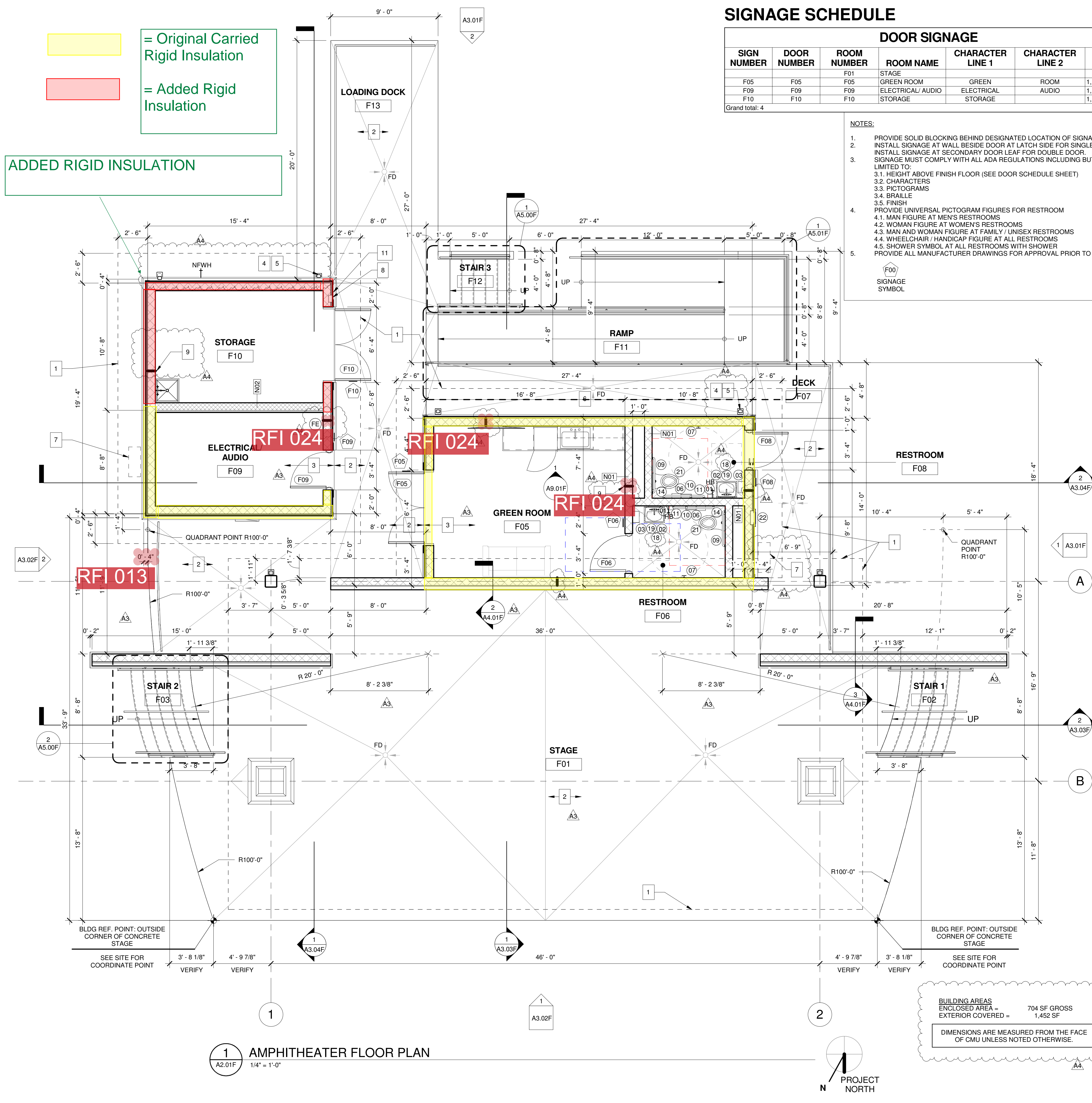
- NOTES:
- "E" DENOTES EPOXY.
 - SEE SPECS FOR PRIMER AND FINISH SYSTEMS.
 - SEE FINISH LEGEND ON SHEET A9.10F

PARTITION TYPES

TYPE	SYMBOL	ASSEMBLY	WALL THK.	WALL HT.	FIRE RATING	REMARKS
N01	[Symbol]	8" CMU	7-5/8"	9'-4" AFF.	NONE	
N02	[Symbol]	8" CMU W/ 1 1/2" Z METAL FURRING, 1 1/2" RIGID INSUL AND 5/8" HIGH IMPACT GYP. BD.	9-3/4"	9'-4" AFF.	NONE	PROVIDE WOOD FRAMED WALL WITH PLYWOOD SHEATHING ON UNCONDITIONED SIDE, ON TOP CMU WALL, EXTENDS TO ROOF DECK.

PLAN KEYNOTES

- | | |
|--|--|
| 1 ROOF OUTLINE ABOVE, TYP. | 7 MECHANICAL UNIT ABOVE, SEE MECHANICAL |
| 2 SEALED CONCRETE SLAB BROOM FINISH, SEE CIVIL | 8 KNOX BOX, VERIFY LOCATION W/ BUILDING OFFICIAL |
| 3 SEALED CONCRETE SLAB | 9 MASONRY WALL CONTROL JOINT, TYP. |
| 4 PRE-FINISHED DOWNSPOUT, TYP. | 10 KNOX BOX, VERIFY LOCATION W/ BUILDING OFFICIALS |
| 5 PRE-FINISHED DOWNSPOUT METAL GUARD, TYP. | 11 LETTER BUILDING SIGN, VERIFY W/ OWNER |
| 6 FLOOR DRAIN, TYP. SEE PLUMBING | |



SIGNAGE SCHEDULE

DOOR SIGNAGE						
SIGN NUMBER	DOOR NUMBER	ROOM NUMBER	ROOM NAME	CHARACTER LINE 1	CHARACTER LINE 2	NOTES
F05	F05	F05	STAGE			
F09	F09	F09	GREEN ROOM	GREEN	ROOM	1, 2, 3, 5
F10	F10	F10	ELECTRICAL/AUDIO STORAGE	ELECTRICAL STORAGE	AUDIO	1, 2, 3, 5
Grand total: 4						

- NOTES:
- PROVIDE SOLID BLOCKING BEHIND DESIGNATED LOCATION OF SIGNAGE
 - INSTALL SIGNAGE AT WALL BESIDE DOOR AT LATCH SIDE FOR SINGLE DOOR, INSTALL SIGNAGE AT SECONDARY DOOR LEAF FOR DOUBLE DOOR. SIGNAGE MUST COMPLY WITH ALL ADA REGULATIONS INCLUDING BUT NOT LIMITED TO:
 - HEIGHT ABOVE FINISH FLOOR (SEE DOOR SCHEDULE SHEET)
 - CHARACTERS
 - PICTOGRAMS
 - BRAILLE
 - FINISH
 - PROVIDE UNIVERSAL PICTOGRAM FIGURES FOR RESTROOM
 - MAN FIGURE AT MEN'S RESTROOMS
 - WOMAN FIGURE AT WOMEN'S RESTROOMS
 - MAN AND WOMAN FIGURE AT FAMILY / UNISEX RESTROOMS
 - WHEEL CHAIR / HANDICAP FIGURE AT ALL RESTROOMS
 - SHOWER SYMBOL AT ALL RESTROOMS WITH SHOWER
 - PROVIDE ALL MANUFACTURER DRAWINGS FOR APPROVAL PRIOR TO INSTALL.

Item 7.1.

LOSE DESIGN

SPACES FOR LIFE.

THE GROVE BUILDING "F" - AMPHITHEATER
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR: WALTON COUNTY

GEORGIA
LOGANVILLE

SUBMITTALS / REVISIONS

NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4

CONSTRUCTION DOCUMENTS

SHEET TITLE
AMPHITHEATER FLOOR PLAN

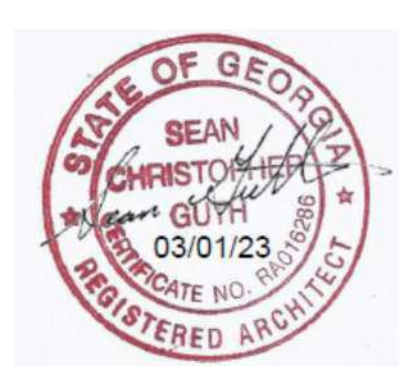
PROJECT NO. DATE
22010 03/22/2023

DRAWN BY SCALE
STAFF As indicated

CHECKED BY
NR

SHEET NO.
A2.01F

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GEORGIA

THE GROVE
BUILDING "F" - AMPHITHEATER
1089 HWY 81, LOGANVILLE, GA 30052
PREPARED FOR:
WALTON COUNTY

LOGANVILLE

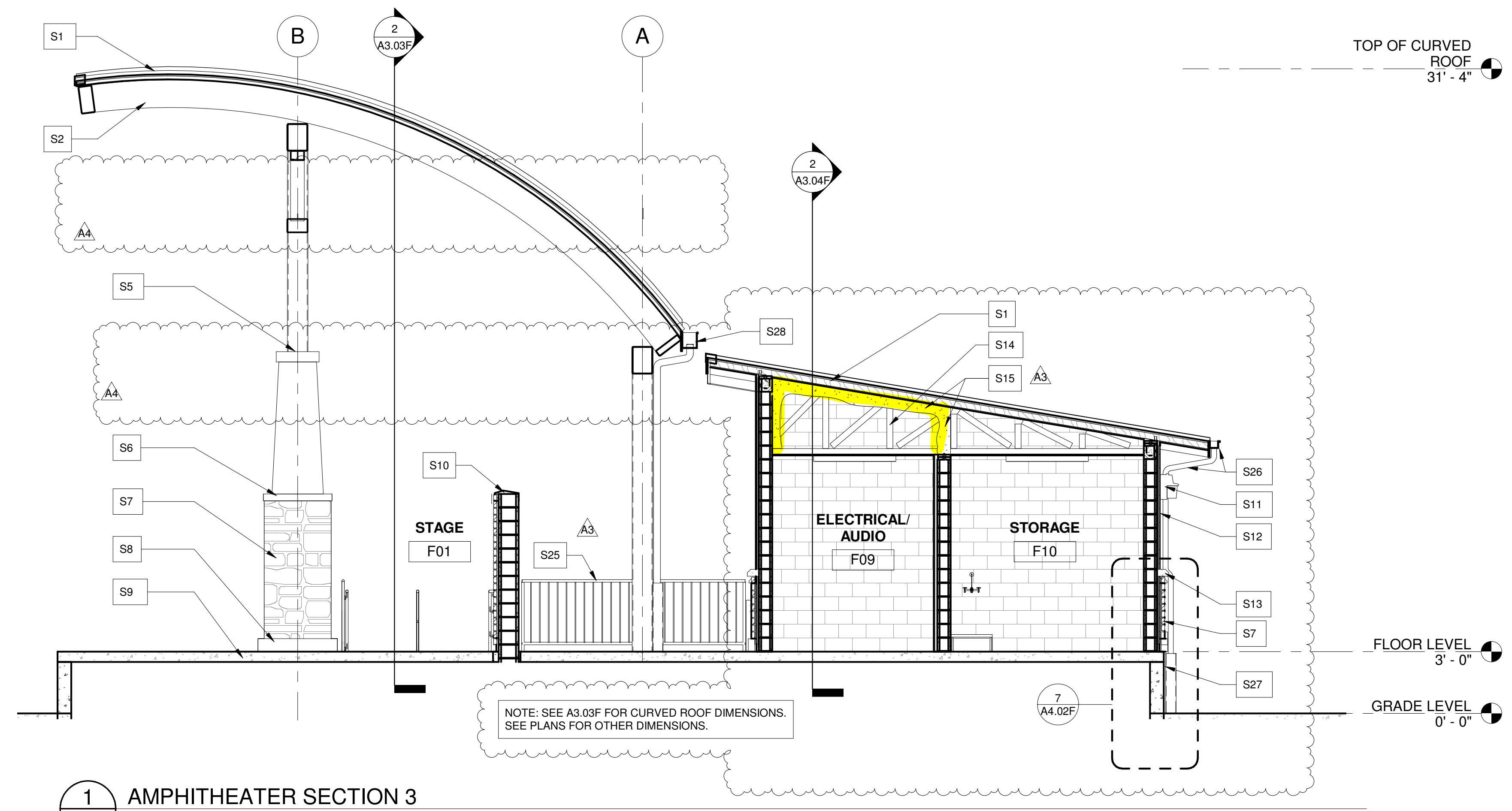
SUBMITTALS / REVISIONS		
NO	DATE	DESCRIPTION
A3	04/21/2023	Addendum 3
A4	04/28/2023	Addendum 4

CONSTRUCTION DOCUMENTS

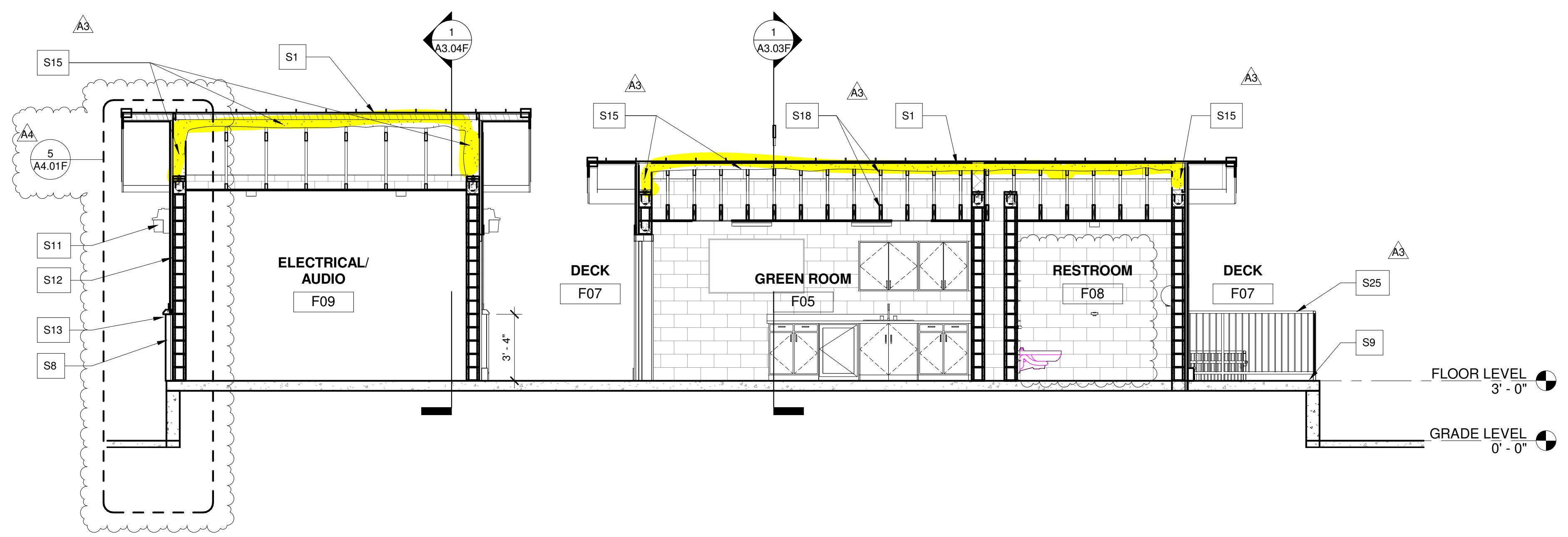
SHEET TITLE
AMPHITHEATER BUILDING SECTIONS

PROJECT NO.	DATE
22010	03/22/2023
DRAWN BY	SCALE
STAFF	As indicated
CHECKED BY	
NR	
SHEET NO.	

A3.04F



1 AMPHITHEATER SECTION 3
A3.04F 1/4" = 1'-0"



2 AMPHITHEATER SECTION 4
A3.04F 1/4" = 1'-0"

GENERAL NOTES

- ELEVATION MARKS TO BE VERIFIED IN FIELD WITH MATERIAL AND ASSEMBLY DIMENSIONS AS PROVIDED BY BUILDING SYSTEM MANUFACTURER.
- DIMENSIONS ARE FROM FACE OF FIXTURE TO FINISH FACE WALL (U.N.O.)
- ARCHITECTURAL BUILDING FFE. LISTED AS 0'-0", COORDINATE ACTUAL W/ CIVIL
- SEE SHEET A2 SERIES FOR FLOOR PLANS
- SEE SHEET A4 SERIES FOR SECTIONS & DETAILS
- SEE SHEET A6 SERIES FOR RCP.
- SEE SHEET A7 SERIES FOR ROOF PLANS
- SEE SHEET A8 SERIES FOR DOOR SCHEDULE AND DETAILS
- SEE SHEET A8 SERIES FOR WINDOW SCHEDULE & DETAILS
- SEE SHEET A9.10 FOR FINISH LEGEND

NOTE:
NO ATTIC VENTILATION WHERE RAFTERS ARE INSULATED WITH SPRAY INSULATION

SECTION KEYNOTES

S1	PRE-FINISHED METAL ROOF SYSTEM, MTC - 1 OVER SELF-ADHERED ICE AND WATER SHIELD OVER PLYWOOD SHEATHING, OVER PAINTED DOVETAIL DECK PNT-8 FINISH, SEE STRUCTURAL	S14	PRE-ENGINEERED METAL TRUSSES, SEE STRUCTURAL
S2	STEEL ROOF FRAMING SYSTEM, SEE STRUCTURE	S15	PROVIDE SPRAY INSULATION AT UNDERSIDE OF ROOF DECK OF CONDITION AREA.
S3	STEEL TRUSS, SEE STRUCTURE	S16	VENT THRU ROOF, SEE PLUMBING
S4	LIGHT FIXTURE, SEE ELEC.	S17	CONCRETE WALL, TYP. SEE STRUCTURAL
S5	STEEL COLUMN, SEE STRUCTURE	S18	ROOF AND CEILING WOOD JOIST, SEE STRUCTURAL
S6	PRECAST COLUMN COVER	S19	DOVETAIL DECK, TYP. PNT-8 FINISH. SEE STRUCTURAL
S7	ADHERED STONE VENEER SYSTEM	S20	PRE-FINISHED METAL ROOF SYSTEM, MTC - 1 OVER SELF-ADHERED ICE AND WATER SHIELD OVER PLYWOOD SHEATHING, SEE STRUCTURAL
S8	ADHERED 3 5/8" X 7 5/8" X 15 5/8" CAST STONE BLOCK BASE	S21	1/4" FIBER CEMENT SOFFIT BOARD OVER 1/2" SHEATHING, WITH 2 x 2 WD PERIMETER TRIM & 1 X 4 FIBER CEMENT TRIM AT WALL, PAINTED, PNT-1
S9	RAISED CONCRETE STAGE, SEE STRUCTURAL	S22	ANCHORED CAST STONE VENEER
S10	CAST STONE COPING	S23	CAST IN PLACE CONCRETE STAIR, TYP. W/ METAL RAILING AND HANDRAIL, PAINTED
S11	VANDAL RESISTANT WALL LIGHTS, TYP. SEE ELEC.	S24	RAMP SYSTEM, SEE STRUCTURAL, W/ GUARDRAIL AND HANDRAIL, TYP. PAINTED.
S12	BOARD AND BATTEN SYSTEM ON EXTERIOR WALL, TYP.	S25	42" H. METAL GUARDRAIL, TYP. PAINTED
S13	CAST STONE WATER TABLE W/ CONT. DRIP EDGE	S26	PRE-FINISHED METAL 5x5 GUTTER AND 4x4 DOWNSPOUT W/ DOWNSPOUT METAL COVER
		S27	DOWNSPOUT METAL COVER
		S28	PRE-FINISHED METAL 8x8 GUTTER AND 4x4 DOWNSPOUT W/ DOWNSPOUT METAL COVER AT CURVED ROOF



February 18, 2025

Walton County, GA
The Grove, a Walton County Parks & Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager – Ascension Program Management

Change Proposal #29 – Sewer MH-M1 PVC to DIP Material Change

The change proposal below is for material change of roughly 200 LF of 6” PVC pipe to 200 LF of 6” Ductile Iron pipe at Building J’s sewer line. In the original Civil drawing bid set “Addendum #3” dated 04.21.23, Sheet C5.27 shows the sewer profile for Building J originally included 200 LF of 6” PVC pipe at MH-M1. This was later revised to 6” Ductile Iron pipe in the “Corrected Conformed Civil Set” dated 08.08.24. While these revisions were incorporated into the latest drawing updates, they were not clouded or explicitly noted. Supporting documentation is provided below. Additionally, included in the change proposal is the credit of the 200 LF of 6” PVC pipe.

Description	Qty	Unit	Unit Price	Total
Building J Sewer MH-M1 – Material	1	LS	\$13,928.19	\$13,928.19
6” PVC Material Credit	1	LS	(\$1,583.38)	(\$1,583.38)
Total Material Cost	1	LS		\$12,344.81
Payment & Performance Bond	0.597	%	\$73.70	\$73.70
General Liability Insurance	0.811%	%	\$100.12	\$100.12
Builders Risk Insurance	0.174%	%	\$21.48	\$21.48
RY Overhead and Profit	10	%	\$1,234.48	\$1,234.48
TOTAL				\$13,774.59

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com

Sincerely,
Reeves Young, LLC


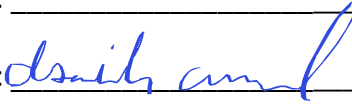
Isaiah Arnold



Project Manager

45 Peachtree Industrial Blvd, Suite 200 770.271.1159
Sugar Hill, GA 30518 reevesyoung.com

Approval

Lose Design (Architect of Record)	Signature: 	Date: <u>2/20/2025</u>
Ascension PM (Capital Project Manager)	Signature: Thomas J. Prine	Date: 02.20.2025
Walton County	Signature: _____	Date: _____
Reeves Young	Signature: 	Date: <u>02/19/25</u>



STAline Waterworks Inc.
P.O. Box 242016
Charlotte NC 28224

Bid Due Date	Bid ID	Job Name
2/19/2025	BID22301	The Grove Walnut Grove

Quoting Branch	Customer	Job Information
STAline Waterworks - ATN-GA 330 Horace Head Rd Jefferson GA 30549	REEVES YOUNG, LLC 45 Peachtree Ind Blvd Buford GA 30518	The Grove Walnut Grove 1085 HWY 81 LOGANVILLE GA 30052

Line	Quantity	UOM	Item	Unit Price	Total Price
1	196	FT	6" SDR26 HW SEWER PVC PIPE	-7.55	-1,479.80

Subtotal	-1,479.80
Tax	-103.58
Total	-1,583.38





STAline Waterworks Inc.
P.O. Box 242016
Charlotte NC 28224

Item 7.1.

Bid

Bid Due Date	Bid ID	Job Name
2/11/2025	BID21282	The Grove Walnut Grove

Quoting Branch	Customer	Job Information
STAline Waterworks - ATN-GA 330 Horace Head Rd Jefferson GA 30549	REEVES YOUNG, LLC 45 Peachtree Ind Blvd Buford GA 30518	The Grove Walnut Grove 1085 HWY 81 LOGANVILLE GA 30052

Line	Quantity	UOM	Item	Unit Price	Total Price
1			---SANITARY SEWER CHANGE ORDER---		
2	200	FT	6" TJ DUCTILE IRON PIPE CL350 P401	55.25	11,050.00
3	2	EA	GALLON PIPE LUBE	25.00	50.00
4	1	EA	6" MJ WYE C153 P401	792.00	792.00
5	1	EA	6" MJ 90 C153 P401	495.00	495.00
6	14	EA	6" MJ REGULAR ACCESSORY SET	45.00	630.00

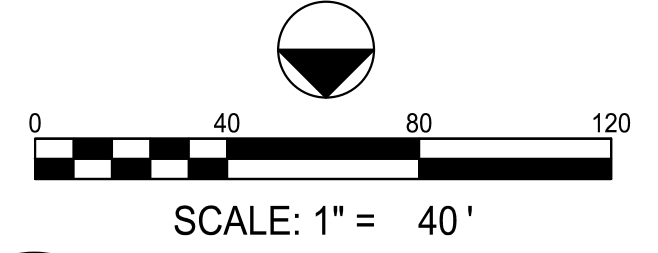
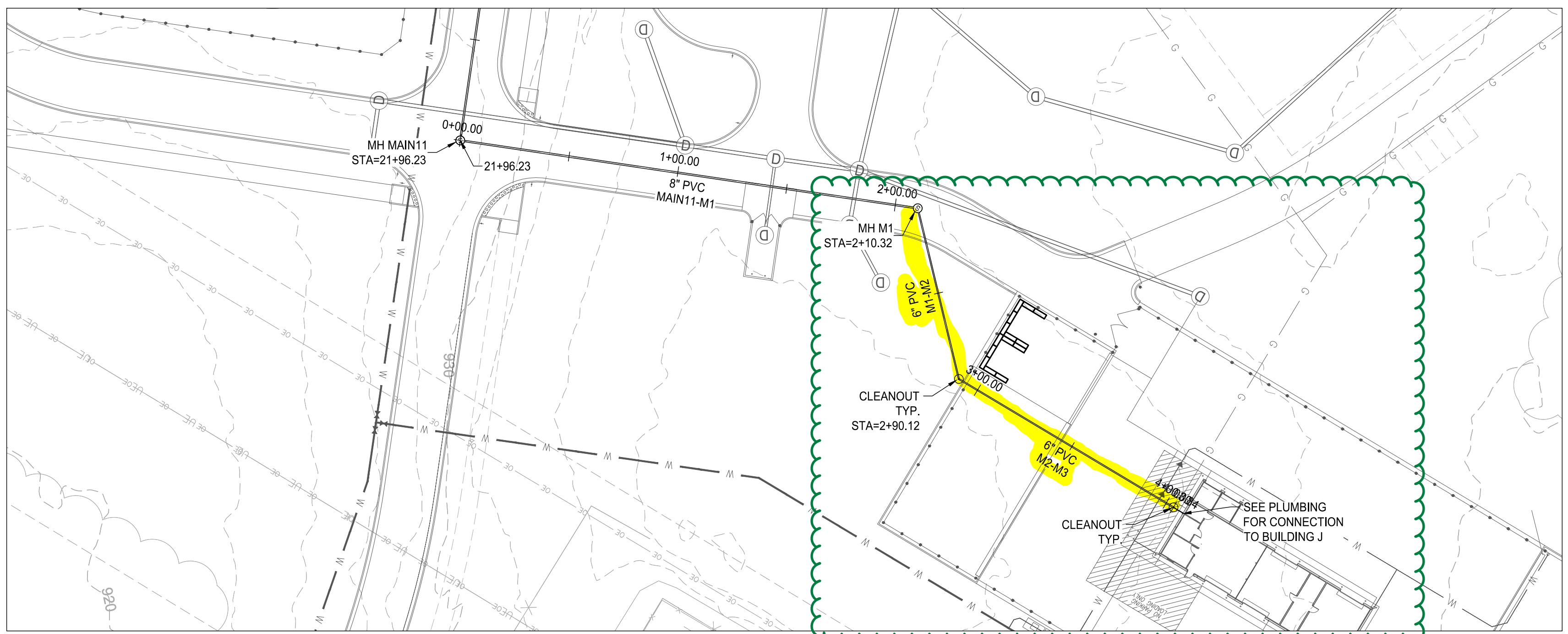
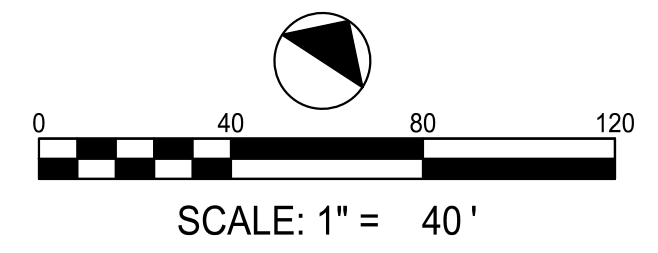
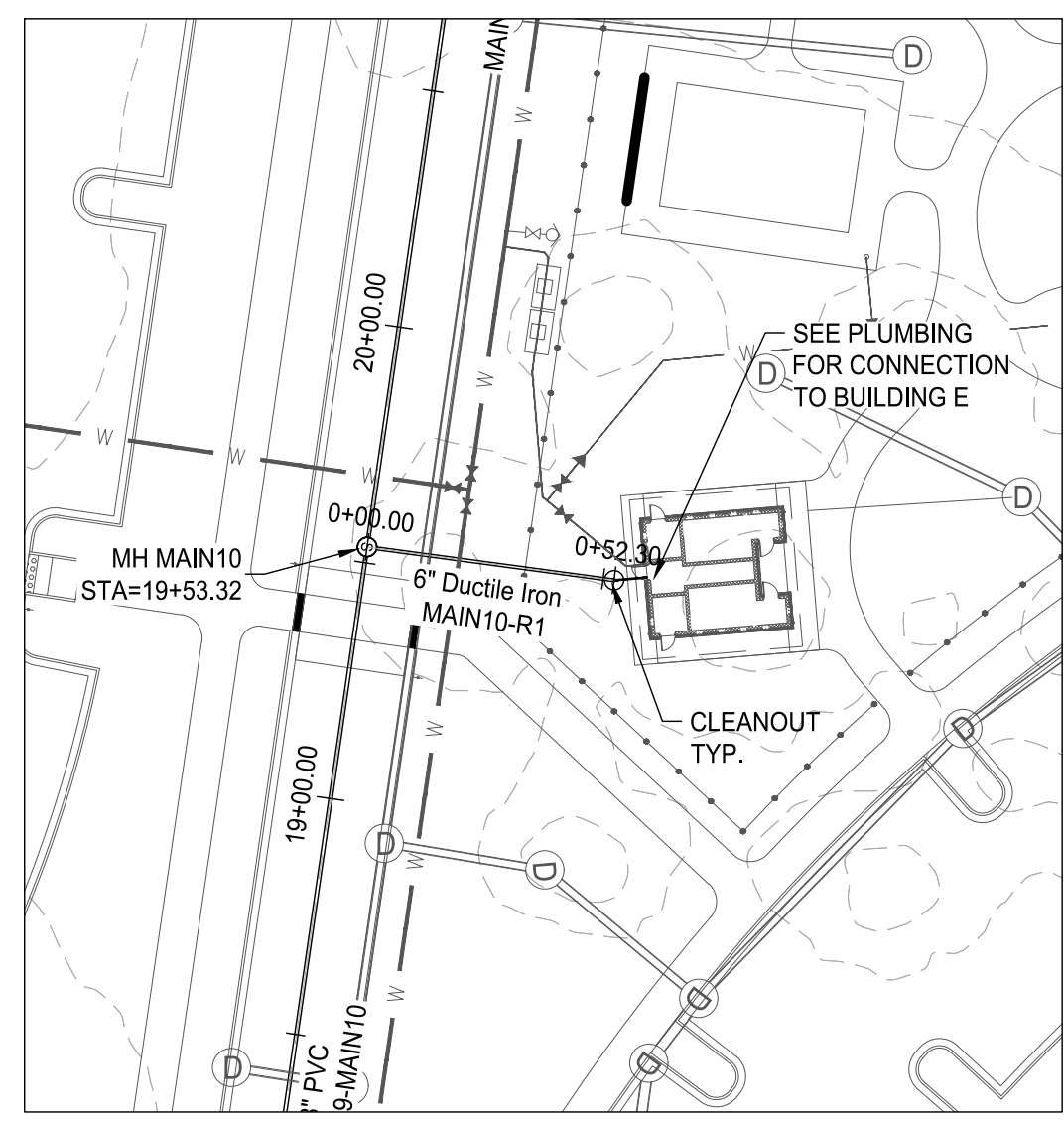
Subtotal \$13,017.00

Tax \$911.19

Total \$13,928.19



A2



- SANITARY SEWER NOTES:**
1. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES
 2. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT WALTON COUNTY STANDARDS.
 3. SEWER LINES ARE TO BE TESTED PER COUNTY SPECIFICATIONS PRIOR TO FINAL PLAT.
 4. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR AN 18 MONTH PERIOD FOLLOWING FINAL PLAT.
 5. NO DUMPSTER PADS, ROOF OR POOL DRAINS, OR AIR CONDITIONING CONDENSATE DRAINS ARE ALLOWED INTO SANITARY SEWER SYSTEM.
 6. 16' IS MAX DEPTH FOR PVC SEWER. ANY PIPE EXCEEDING 16', WHETHER OR NOT SHOWN ON PLANS, MUST BE INSTALLED AS DIP.
 7. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
 8. THE DEVELOPER SHALL NOTIFY WCDWS WHEN ALL UTILITIES ARE INSTALLED AND SEWER LINES ARE READY FOR AIR TESTING.
 9. ALL CLEANOUTS TO BE INSTALLED PER DETAILS WITH CLEANOUT BOX, TYP.

CONTRACTOR MUST FIELD LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
CONTRACTOR TO COORDINATE WITH UTILITY DISTRICTS FOR ANY UTILITY RELOCATION.

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GA

THE GROVE
CONSTRUCTION DOCUMENTS PACKAGE
WALTON COUNTY
LOGANVILLE

SUBMITTALS / REVISIONS	
NO.	DESCRIPTION
AB	04/21/2023 (ASSEMBLING)

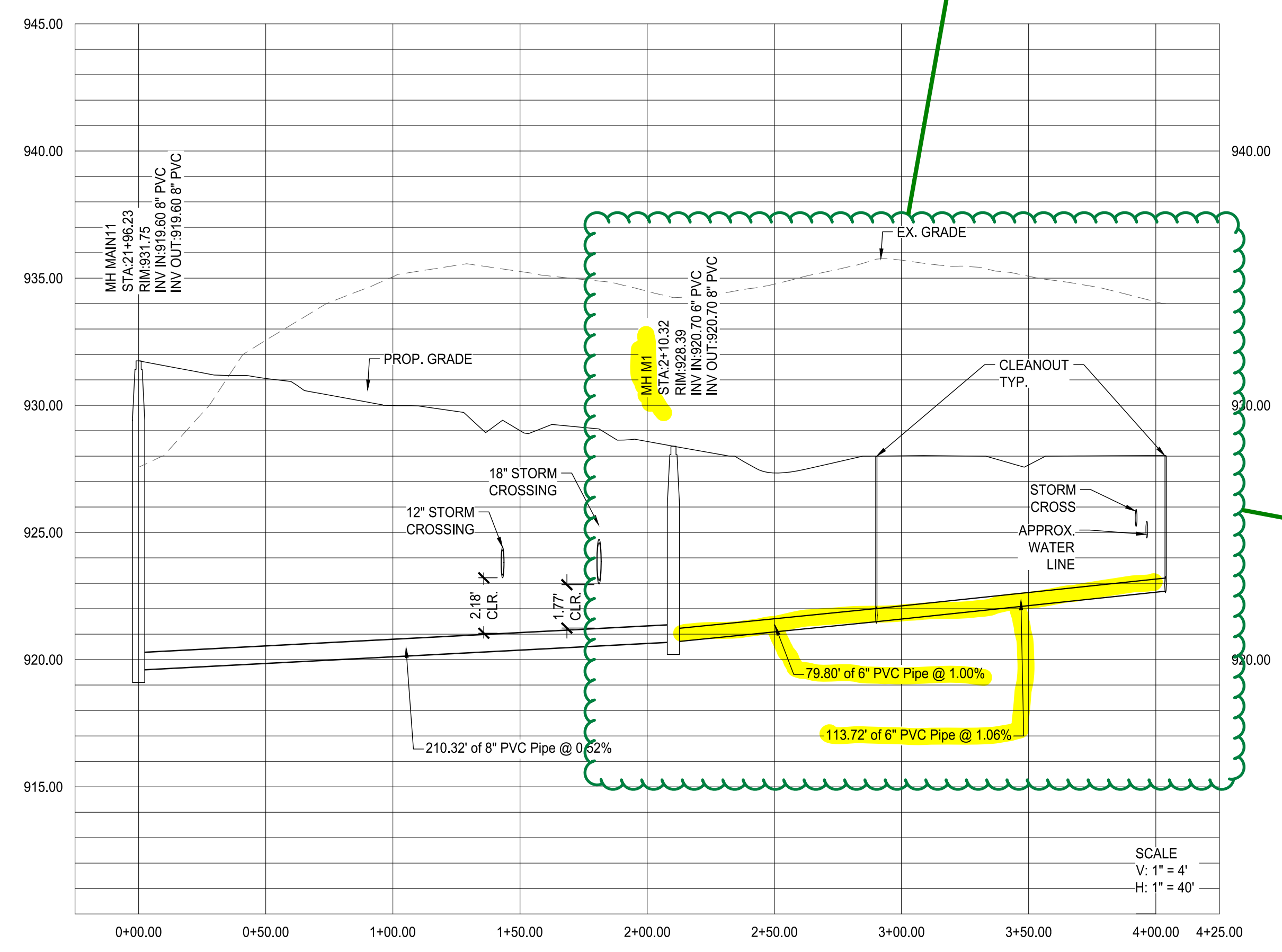
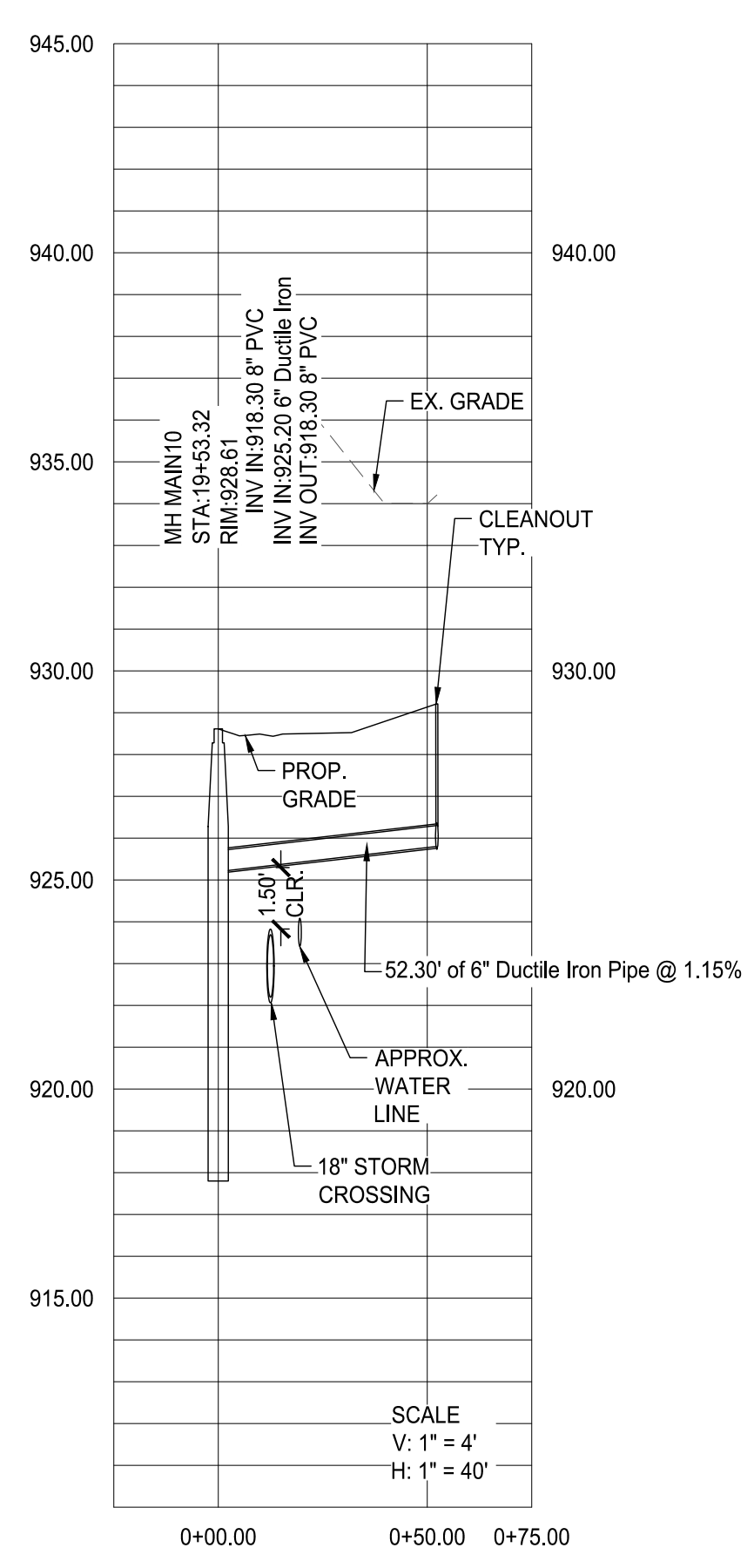
CONSTRUCTION DOCUMENTS

SHEET TITLE

PROJECT NO. 22010	DATE 03/22/2023
DRAWN BY JMR	SCALE AS SHOWN
CHECKED BY AM	SHEET NO.

C5.27

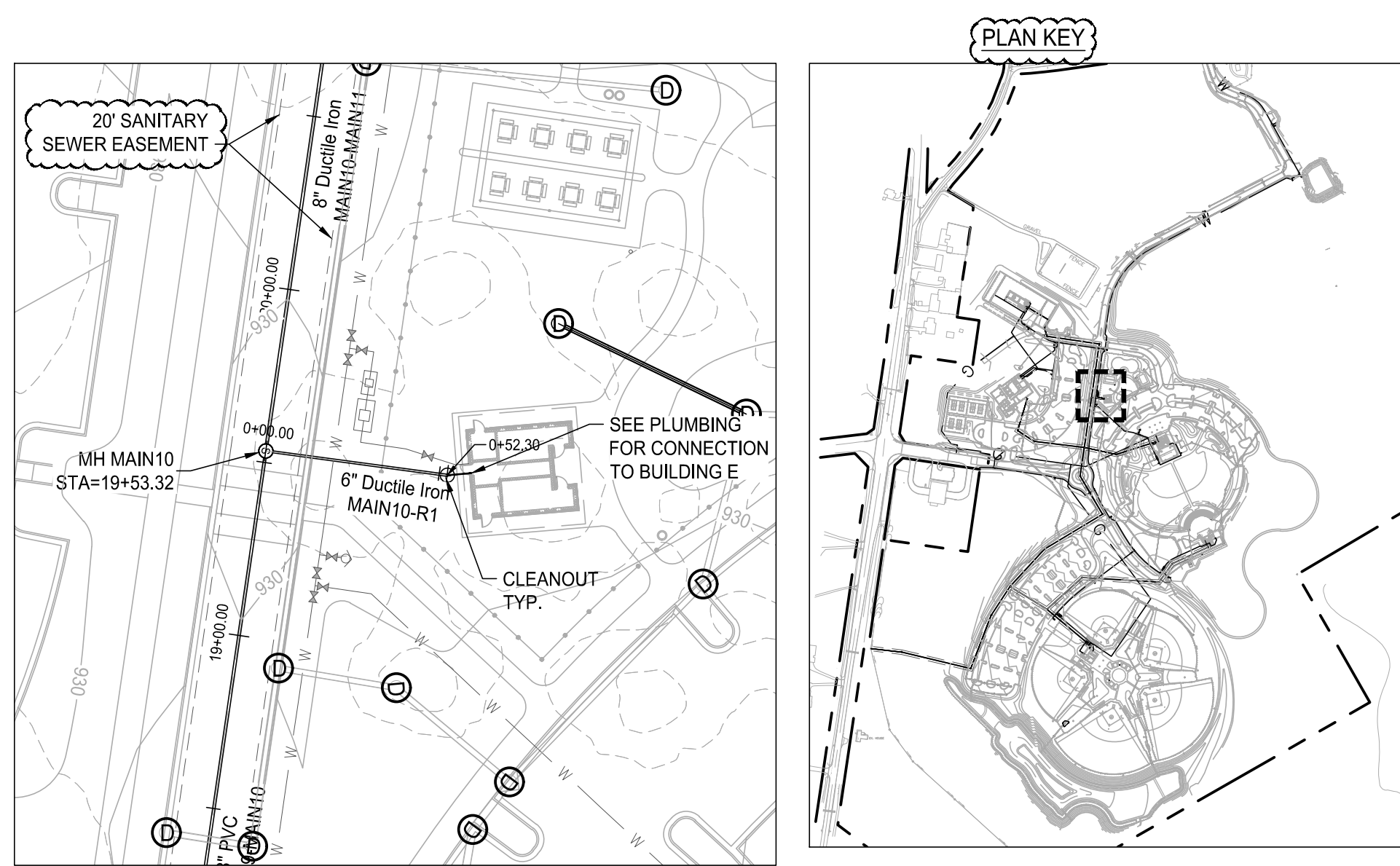
A3



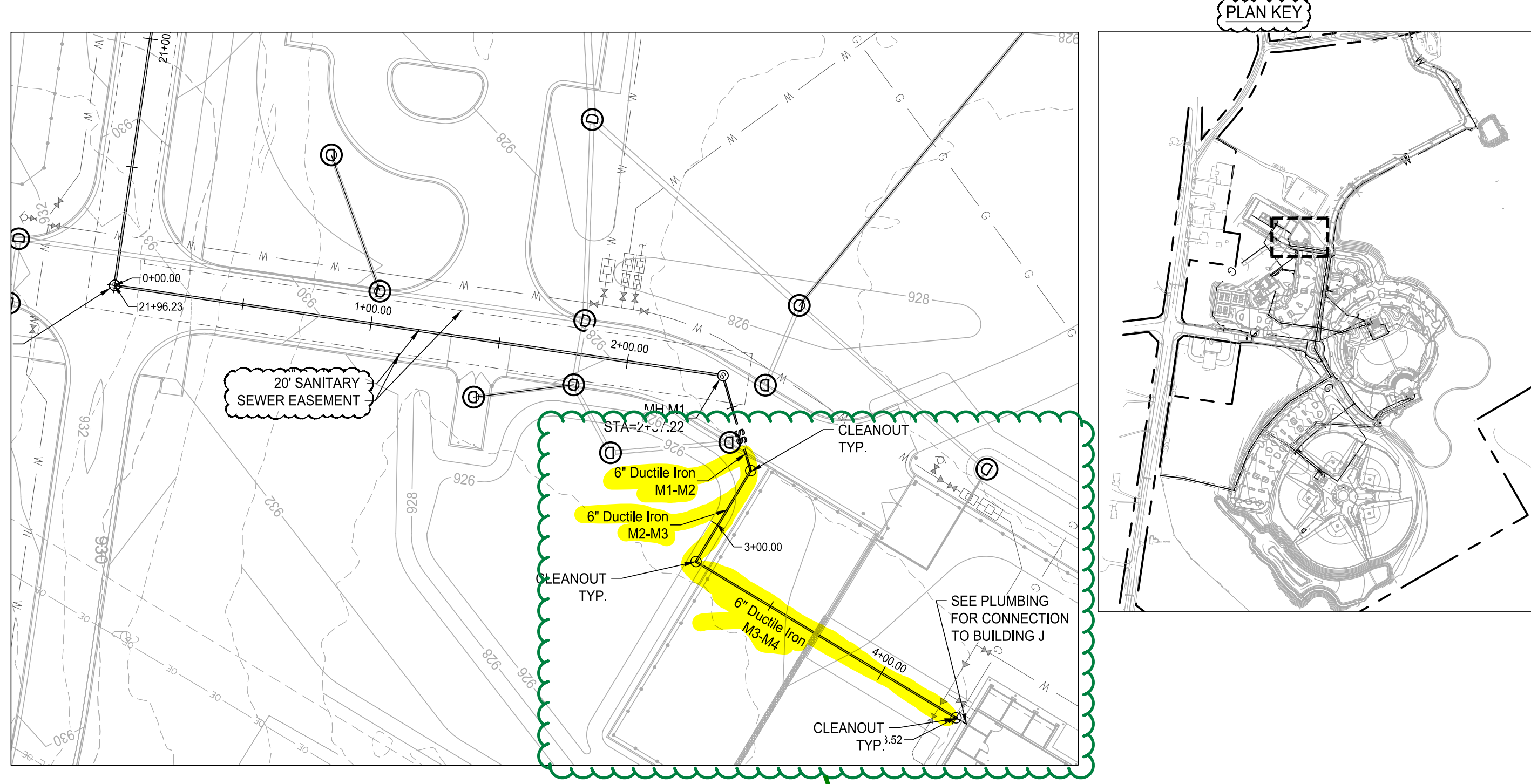
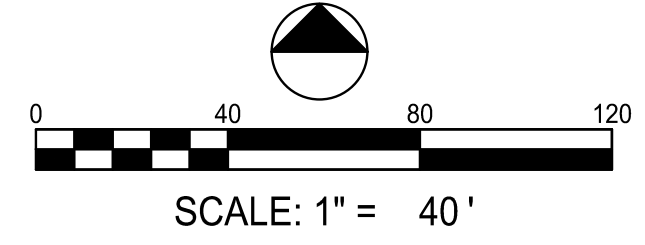
UTILITIES LEGEND

	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE. AS BUILT
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED MANHOLE
	PROPOSED REDUCER
	PROPOSED GAS LINE
	PROPOSED GATE VALVE

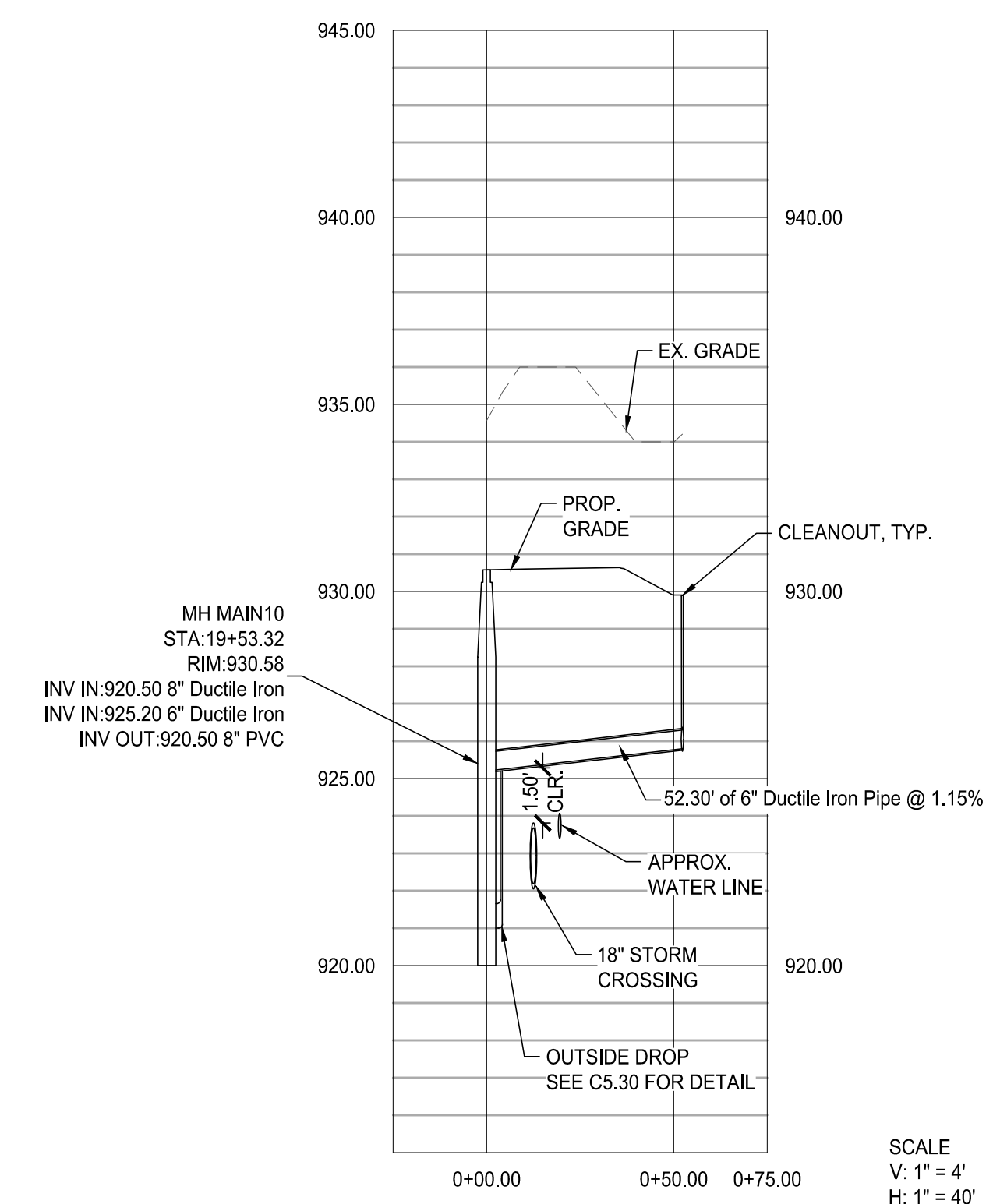
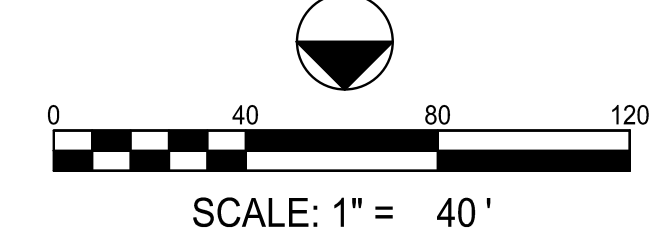




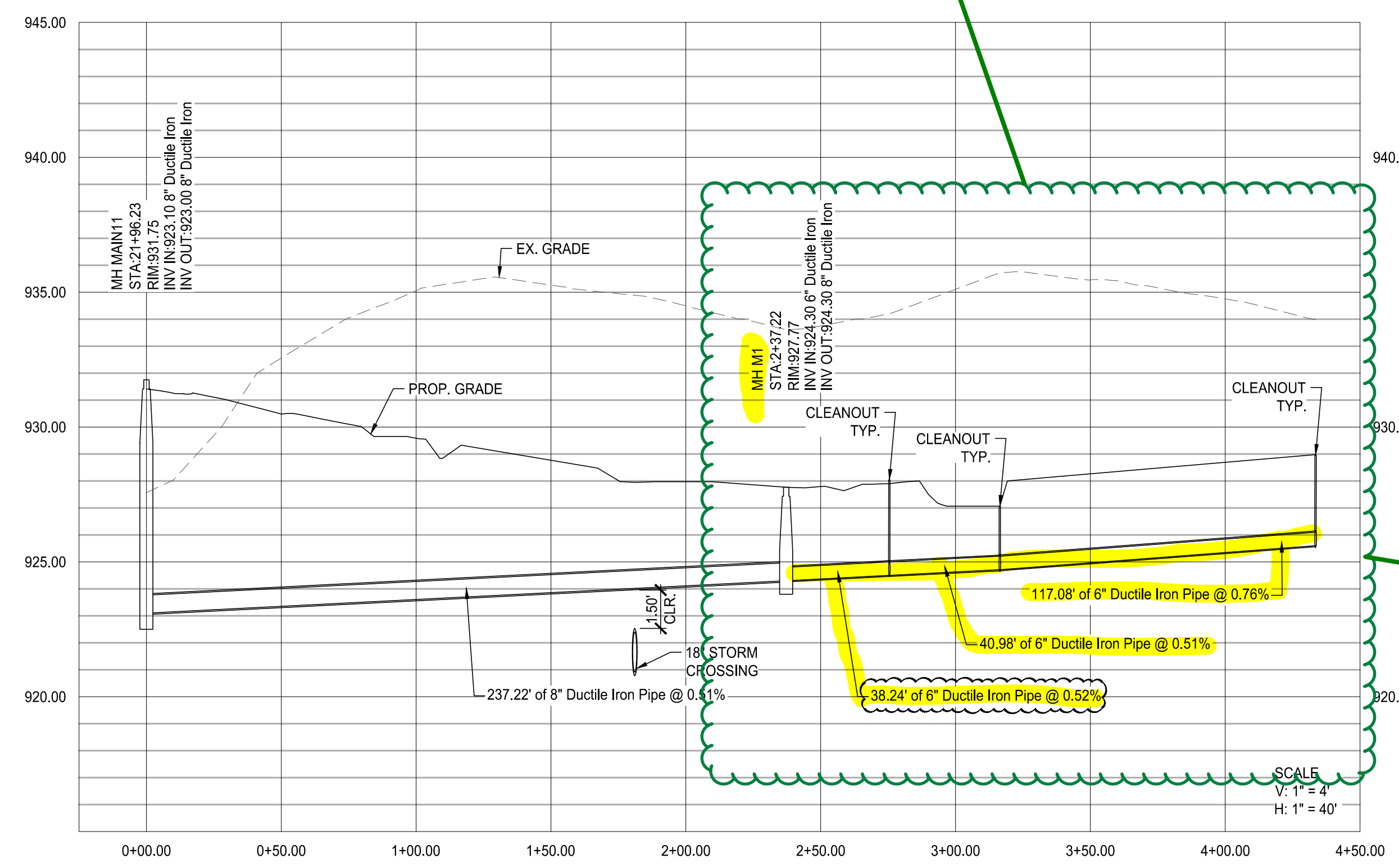
PLAN - SEWER BUILDING "E"



PLAN - SEWER BUILDING "J"



PROFILE - SEWER BUILDING "E"



PROFILE - SEWER FUTURE BUILDING "J"

- SANITARY SEWER NOTES:**
1. THE CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG", TELEPHONE NUMBER 1-800-282-7411, BEFORE INITIATING EXCAVATION ACTIVITIES
 2. ALL WORK AND MATERIALS ARE TO CONFORM TO CURRENT CITY OF WALNUT GROVE STANDARDS.
 3. SEWER LINES ARE TO BE TESTED PER CITY OF WALNUT GROVE SPECIFICATIONS PRIOR TO FINAL PLAT.
 4. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE FOR AN 18 MONTH PERIOD FOLLOWING FINAL PLAT.
 5. NO DUMPSTER PADS, ROOF OR POOL DRAINS, OR AIR CONDITIONING CONDENSATE DRAINS ARE ALLOWED INTO SANITARY SEWER SYSTEM.
 6. 14' IS MAX DEPTH FOR PVC SEWER, ANY PIPE EXCEEDING 14', WHETHER OR NOT SHOWN ON PLANS, MUST BE INSTALLED AS DIP.
 7. ALL SEWER LINES TO BE T.V. INSPECTED PRIOR TO CERTIFICATE OF OCCUPANCY.
 8. THE DEVELOPER SHALL NOTIFY THE CITY OF WALNUT GROVE WHEN ALL UTILITIES ARE INSTALLED AND SEWER LINES ARE READY FOR AIR TESTING.
 9. ALL CLEANOUTS TO BE INSTALLED PER DETAILS WITH CLEANOUT BOX, TYP.

CONTRACTOR MUST FIELD LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE WITH UTILITY DISTRICTS FOR ANY UTILITY RELOCATION.

SANITARY SEWER INDEX

SHEET	CONTENT
C5.20	MAIN SECTION 1
C5.21	MAIN SECTION 2
C5.22	MAIN SECTION 3
C5.23	OMITTED
C5.24	BUILDING C
C5.25	BUILDING F
C5.26	BUILDING G
C5.27	BUILDING E & J
C5.28	BUILDING L

UTILITIES LEGEND

	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE, AS BUILT
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED MANHOLE
	PROPOSED REDUCER
	PROPOSED GAS LINE
	PROPOSED GATE VALVE



7 / 15 / 2024

THE GROVE
CONSTRUCTION DOCUMENTS PACKAGE
WALTON COUNTY
LOGANVILLE

SUBMITTALS / REVISIONS

NO.	DATE	DESCRIPTION
A2	04/11/2023	ADDENDUM 2
A3	04/21/2023	ADDENDUM 3
C1	3/15/2024	CONFORMED SET
C5	03/22/2024	COUNTY APPROVALS

SANITARY SEWER PLAN AND PROFILE

PROJECT NO. 22010	DATE 03/22/2023
DRAWN BY JMR	SCALE AS SHOWN
CHECKED BY AM	SHEET NO. C5.27



C:\2023\22010\22010-Plan\Drawings\GA\2024\5411-ETS\22010_C501_SHEET05.dwg - Project: 20240409 at 1:13:44 AM

Walton County The Grove

Change Proposal #30 Softball Backstop Pole Design Change & Credit

General Contractor:

**Reeves Young
45 Peachtree Industrial Boulevard N.W.
Sugar Hill, GA 30518
770-271-1159**



February 25, 2025

Walton County, GA
The Grove, a Walton County Parks & Recreation Facility

Attn: John Ward, County Manager
Jeff Prine, Capital Project Manager – Ascension Program Management

Change Proposal #30 – Softball Backstop Pole Design Change & Credit

The change proposal below is for the softball field's backstop pole and fencing design change. RY expressed the concern that the original backstop pole design shown in the contract drawings is not a complete system that can be obtained from a single manufacturer. It consists of various components requiring multiple vendors and subcontractors, which could lead to installation and maintenance issues in the future. The proposed alternative backstop pole design will be supplied by a single approved manufacturer, ensuring a fully warranted and guaranteed system. While maintaining the pole heights and overall dimensions specified in the contract drawings, the updated design will have different netting and a reduced number of backstop poles. Additionally, the backstop poles will be offset back behind the perimeter site fencing, with the netting attached to the top O.D. fence rail. See the attached documentation below for further reference regarding the proposed backstop pole & fence design.

RY has proposed a \$10,000.00 credit to Walton County for implementing this alternative design, despite incurring higher costs than the original backstop pole design specified in the contract drawings.

Description	Qty	Unit	Unit Price	Total
Softball Backstop Pole Design Change Credit	1	LS	(\$10,000.00)	(\$10,000.00)
TOTAL CREDIT				(\$10,000.00)

If you have any questions or require any additional information, please do not hesitate to contact us at (470) 725-0022 or via email at iarnold@reevesyoung.com


Sincerely,
Reeves Young, LLC

Isaiah Arnold

Project Manager


45 Peachtree Industrial Blvd, Suite 200 770.271.1159
Sugar Hill, GA 30518 reevesyoung.com

Approval

Lose Design (Architect of Record) Signature:  Date: 2/25/25

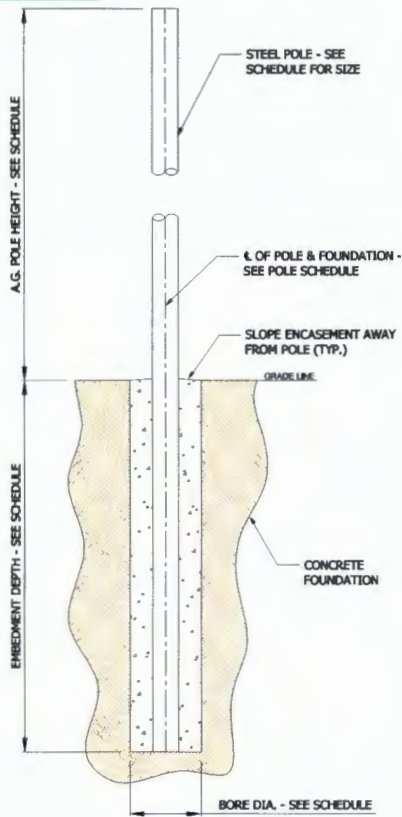
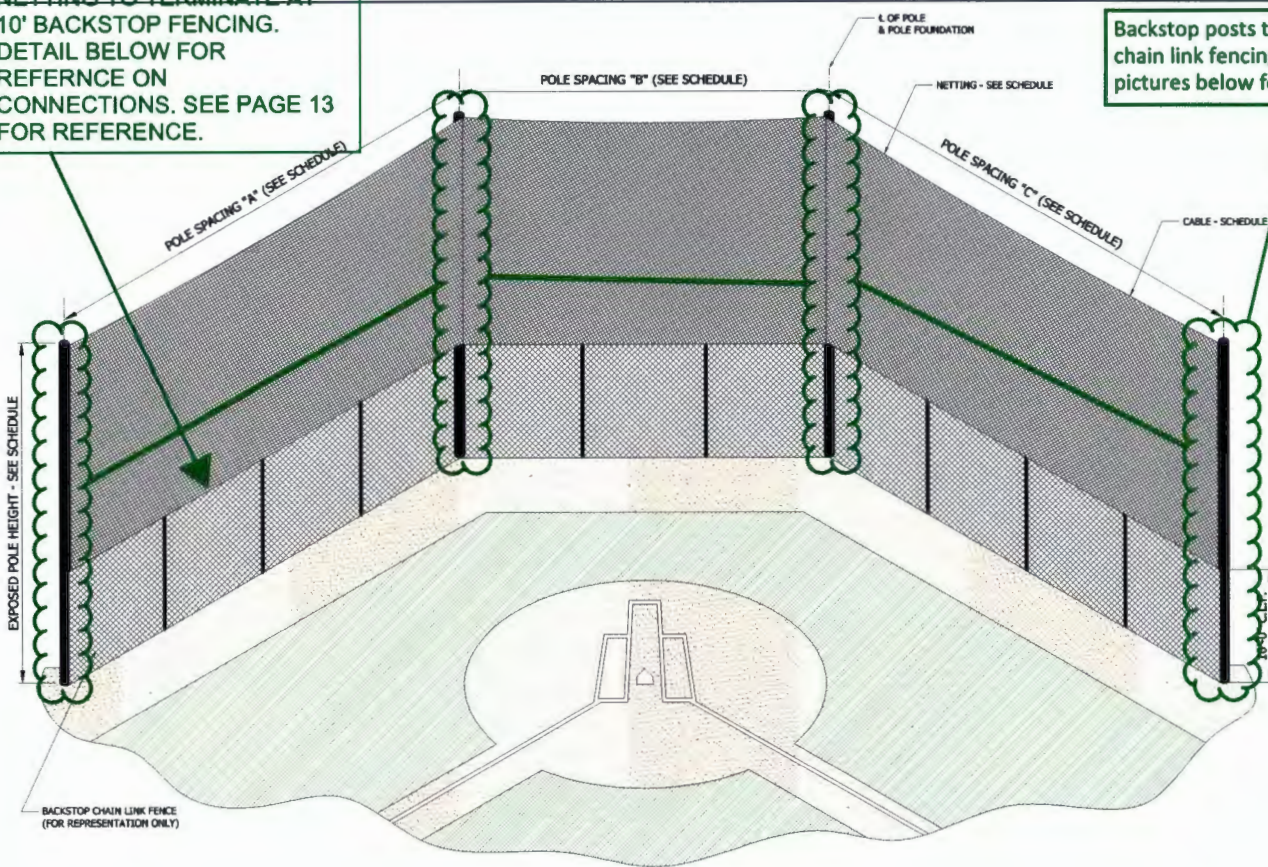
Ascension PM (Capital Project Manager) Signature: Thomas J. Prine Date: 02.25.2025

Walton County Signature: _____ Date: _____

Reeves Young Signature:  Date: 02/25/25

NETTING TO TERMINATE AT 10' BACKSTOP FENCING. DETAIL BELOW FOR REFERENCE ON CONNECTIONS. SEE PAGE 13 FOR REFERENCE.

Backstop posts to be offset from the chain link fencing and posts. See pictures below for reference.



BACKSTOP LAYOUT (PERSPECTIVE VIEW)

TYPICAL POLE FOUNDATION (ELEVATION VIEW)

POLE & FOUNDATION SCHEDULE									
SYSTEM I.D. #	EXPOSED POLE HEIGHT	POLE SPACING "A"	POLES SPACING "B"	POLES SPACING "C"	POLE OUTSIDE DIAMETER (Inches) **	POLE WALL THICKNESS (Inches) **	BORE DIAMETER **	EMBEDMENT DEPTH **	NETTING STYLE *
SEPHBS30	30'-0"	60'-0"	35'-0"	60'-0"	10.750	0.250	2'-0"	11'-6"	NO. 11 WF 80. WEIRD TAPERED GROUDED HYDRO BLACK
NOTES:									
*	ADDITIONAL NETTING STYLES AVAILABLE; PLEASE REACH OUT TO SPORTSEGE FOR CUSTOM STYLES.								
**	POLE SIZE (DIAMETER & WALL THICKNESS) AS WELL AS FOUNDATION SIZE (DIAMETER & DEPTH) ARE ASSUMED DESIGN BASE POINTS BASED UPON COMMON ASSUMED SOIL CONDITIONS. THESE SIZES ARE SUBJECT TO CHANGE BASED ON SOIL CHARACTERISTICS DEMONSTRATED VIA PROJECT LOCATION GEO-TECHNICAL DATA, PLEASE CONSULT LOCAL BUILDING CODES REGARDING FOUNDATION SIZES.								

<p>SportsEdge SAFETY MATTERS</p> <p>A Division of ABT, Inc. P.O. Box 837 / 2300 Munroch Road Towson, MD 21286 (800) 334-6057</p>	<p>TITLE: The Grove Loganville, GA</p>		
	<p>DRAWN BY: B.W.M.</p>	<p>CHECKED BY: XXX</p>	<p>DRAWING NUMBER: SE021925BM.1</p>
	<p>SCALE: NONE</p>	<p>DATE: 02/19/25</p>	<p>A-</p>
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Walton County Board of Commissioners Facilities/Risk Mgmt. Dept.

Item 8.1.

303 South Hammond Dr.
Suite 97
Monroe, GA 30655
(770) 267-1401

TO: Rhonda Hawk County Clerk / Purchasing Director

FROM: Hank Shirley

Date: March 3, 2025

RE: Roofing – Fire Stations #4,8,9,10,14,13

Ms. Hawk,

In accordance with the Walton Country Purchasing Policy, we have advertised a Request for Proposal Roofing - Fire Stations RFP 2025-01. This proposal is to furnish and install Roofing on Fire Stations #4, #8, #9, #10, #13 and #14

We received nine proposals. The Facilities Department has evaluated all the acceptable proposals and has determined that accepting the proposal provided by Tyber Group LLC is in the highest and best interest of Walton County. The Facilities Department has verified Tyber Group LLC's experience and qualifications to our satisfaction.

It is my recommendation that the Board of Commissioners accept the proposal by Tyber Group LLC in the amount of \$260,000.00

Hank Shirley, Director
Facilities/Risk Mgmt. Dept.