

BOARD OF APPEALS REGULAR MEETING

Tuesday, August 19, 2025 at 6:00 PM

Historic Walton County Courthouse, 111 South Broad Street, Monroe Georgia

Phone: 770-267-1301 | **Fax:** 770-267-1400

AGENDA

1. MEETING OPENING

- **1.1.** Invocation
- 1.2. Roll Call
- 1.3. Prayer
- **1.4.** Pledge of Allegiance

2. APPROVAL OF MINUTES

- **2.1.** Additions/Deletions
- 3. OLD BUSINESS
- 4. **NEW BUSINESS**
 - 4.1. <u>V25-0235-</u>Variance requesting guest house to be 1,193 sq. ft. in lieu of maximum 800 sq. ft.-Applicant: Claude Hicks/Owners: Claude E & Jacqueline April Hicks-Property located at 1551 Gratis Rd/Parcel N121C004 -District 6
 - 4.2. V25-0242-Variance to reduce lot width to create 4 buildable lots with 3 with the required 200' with an existing house and 1 with a lot width of 80.5'-Applicant: David Sparks/Owners: John David Sparks & Bobby Joe Sparks-Property located at 3779 Old Braswell Rd & Old Braswell Rd/Parcels C0710063 & C0710064-District 5
 - 4.3. V25-0243-Variance to list home as a caretaker home requesting 1,020 sq. ft. on existing home in lieu of the maximum 800 sq. ft. and allow in a B1 zoning-Applicant: David Sparks/Owner: Bobbie Mac Investments LLC-Property located at 3540 Hwy 78/Parcel C0430032-District 2
 - 4.4. V25-0246-Variance to reduce lot width to create 2 buildable lots with 1 with 30.84' with an existing house and 1 with 31.02' in lieu of the required 200'-Applicant:

 Robert J Miller, Jr./Owners: Robert J Miller & Betty S Miller-Property located at 1465 Greendale Rd/Parcel C0800001-District 4

5. DISCUSSION

- **6. PUBLIC COMMENT** | 3 Minute Limit Per Speaker. To speak at the meeting please follow the instructions outlined at the end of this Agenda.
- 7. ANNOUNCEMENTS
- 8. EXECUTIVE SESSION
- 9. ADJOURNMENT

If you are an individual with a disability and require special assistance at this meeting, please contact our office at 770-267-1485 at least 48 hours prior to the meeting and arrangements will be made.



Planning and Development Department Case Information

Case Number: V25-0235

Board of Appeals Meeting Date: 08-19-2025

Applicant: Claude Hicks 1551 Gratis Road Monroe, Georgia 30656

Owners:
Claude E & Jacqueline April Hicks
1551 Gratis Road
Monroe, Georgia 30656

Current Zoning: A1

Request: Variance to request guest house to be 1,193 sq. ft. in lieu of the maximum 800 sq. ft. for his father who has cancer and Alzheimer's.

Address: 1551 Gratis Road, Monroe, Georgia 30656

Map Number: N121C004

Site Area: Property is 2.09 acres.

Character Area: Suburban

District 6: Commissioner – Kirklyn Dixon Board of Appeals – Harold Moon, Jr.

<u>Existing Site Conditions:</u> The property consists of 2.09 acres and contains a house & shop.



Staff Comments:

Guest House, Caretaker House (2)

Guest Houses are allowed by right in the A, A1, A2 and R-1 properties that are 1.2 acres in size or larger with county water and 2.4 acres in size or larger with well. (1-4-2022)

Guest houses are an accessory use to the primary residence.

Caretaker Houses are allowed by right in the B-2, B-3, TC, MUBP, M-1 and M-2 zonings. 9-1-2020

B. The size of the guesthouse, tenant house or caretaker house can be no more than 800 square feet.

In ruling on any application for a **Variance**, the Board of Appeals shall act in the best interest of the health, safety, morals, and general welfare of the county. In doing so, the Board of Appeals may grant variances in individual cases of practical difficulty or unnecessary hardship upon a finding that all the following conditions exist:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.

- 2. The strict application of the Ordinance to this particular piece of property would create practical difficulty or unnecessary hardship; and
- 3. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance.
- 4. No variance may be granted for a use of land or buildings or structure that is prohibited by this Ordinance or to change the density of a use allowed by this ordinance or to grant a development right or standard in conflict with a condition of zoning imposed by the Board of Commissioners.

The surrounding properties are zoned A and A1.

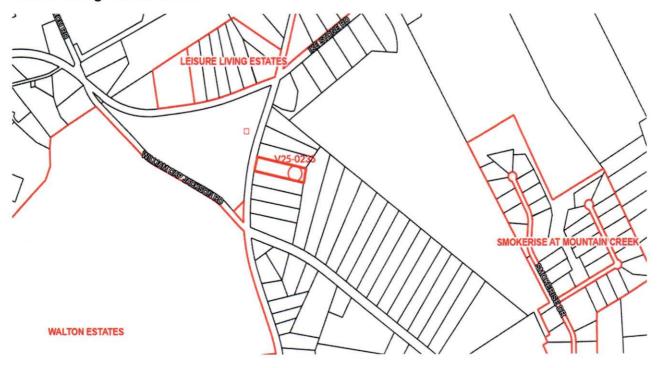


The Future Land Use Map for this property is Suburban.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



<u>History:</u> No History

Walton County Board of Appeals Application ***Please Type or Print Legibly***

Variance/Special Exception/Appeal # V25-D235

I HEREBY WITHDRAW THE ABOVE APPLICATION

Board of Appeals Meeting Date 3-19-21-25 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor) DOCUMENTS TO BE SUBMITTED WITH APPLICATION Recorded Deed Survey Plat Site Plan **Proof of Paid Property Taxes** **Drawn by Design Professional Map/Parcel N121C004 Commission District: 6 - Kirkhyn Dixon Zoning District: Applicant Name/Address/Phone # Property Owner Name/Address/Phone Phone # 478 939-5520 Type Request: SPECIAL EXCEPTION _____ APPEAL Property Location 1551 Grafis Acreage Describe Variance/Special Exception/Appeal: than the 800 saft maximum. State Reason for request and how these reasons satisfy Article 14 Standards of Review: Public Water: \ Well: Septic Tank: Public Sewer: The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance. Fee Paid:\$ Zoo Signature PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE Administrative Variance granted per Article 14 Section 180 P & D Official: Date:

Date

April & Claude Hicks

1551 Gratis Rd

Monroe Ga 30656

678 939-5520

buckyhicks@gmail.com

6/17/2025

To:

Walton County Planning & Development

Walton County, GA

Subject: Letter of Intent to Build an Additional Dwelling on My Property for the Care of My Father

To Whom It May Concern,

My name is April Hicks, and I am writing to respectfully request permission to build an additional dwelling on my property located at 1551 Gratis Rd. This request is made out of urgent and compassionate necessity, as my father has recently been diagnosed with cancer and Alzheimer's. He will require daily, ongoing care.

Due to the nature of his illness and the progression of his condition, it is critical that I am able to provide close and consistent support. Unfortunately, our current home does not have the physical capacity to be modified or expanded to safely accommodate his needs, and we are not financially able to pursue a large-scale renovation or relocation.

However, I do have sufficient land on my property that would allow me to build standalone home for my father. This structure would be sufficent in size, and we are requesting that it be larger than 800 square feet and be compliant with all county codes and regulations, and intended strictly for personal use—not for rental or any form of income generation.

My sole intention is to keep my father nearby so I can provide him with the dignity, love, and care he needs during this incredibly difficult time. I am committed to working with Walton County to ensure this process is handled correctly and respectfully, and I am happy to provide any documentation needed—including medical records or letters from his physicians—to support this request.

Thank you very much for your time and consideration. I am hopeful that the county can support this compassionate solution for my family, and I look forward to any guidance or next steps you may provide.

Warm regards,

April & Claude Hicks

GUEST HOUSE OR CARETAKER HOUSE

| Name: Claude Hicks | Address: 1551 Gratis Rd Monroe, GA 30656 |
|--|--|
| Guest House Size: 193 sqf+ | Phone #: 678 939 - 5520 |
| Received Recorded Deed: | Acreage: 2.09 |
| Received Recorded Plat & Site Plan: | Structures on the property: House and shop |
| Received Septic Information: Waiting on approv | val |
| Received House Plans: | Zoning: A |
| | WED AND APPROVED BY WALTON COUNTY PLANNING & |

<u>DEVELOPMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.</u>

Guest Houses are allowed by right in the A, A1, A2 and R-1 properties that are 1.2 acres in size or larger with county water and 2.4 acres in size or larger with well.

Guest houses are an accessory use to the primary residence.

Caretaker Houses are allowed by right in the B-2, B-3, TC, MUBP, M-1 and M-2 zonings.

9-1-2020

| NAICS Code | Principal Uses | Suppl. Reg | Α | A1 | A2 | R1 | R2 | R3 | МНР | OI | B1 | B2 | Вз | тс | MUBP | M1 | M2 |
|---------------|---|----------------------|---|----|----|----|----|----|-----|----|----|----|----|----|------|----|----|
| | Guest House, and Caretaker/Employee Dwelling | Yes* see lot size | Р | P* | P* | P* | | | | | | Р | Р | Р | Р | Р | p |

- A. The use must maintain a residential appearance and shall produce no impacts in appearance, noise, light, and traffic that are detrimental to adjacent properties.
- B. The size of the guesthouse, tenant house or caretaker house can be no more than 800 square feet. A guest house is permitted to have no more than 1 kitchen, 1 and ½ bathrooms, and no more than 2 bedrooms.
- C. The rental or lease of a guesthouse shall be prohibited.

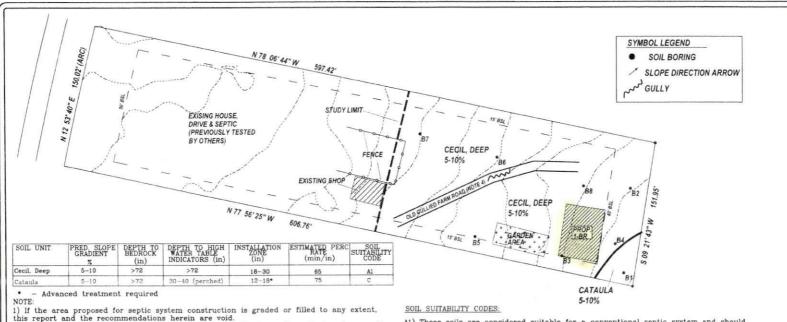
D. Specific Regulations for Residential Units- Units shall have the following additional requirements: (7-6-2021)

42 C 16

- a. A minimum roof pitch of 5:12, which means having a pitch equal to at least five (5 inches of vertical height for every twelve (12) inches of horizontal run). Any dwelling unit for which a building permit was obtained prior to the adoption of this Ordinance may be extended, enlarged or repaired as otherwise provided by this Ordinance with the same roof pitch as that allowed by the previous building permit.
- b. All roof surfaces exposed to view shall be covered with asphalt or fiberglass shingles, wood shakes or shingles, standing seam (non-corrugated tin or steel), clay tiles, slate, or similar materials approved by the Director.
- c. Exterior materials shall consist of wood, brick, stone or other masonry type product, fiber cement siding and other similar material is permitted. (Vinyl and aluminum siding is prohibited.)
- d. All primary roof overhang for exterior walls shall be no less than 12 inches for brick sided and 12 inches shall apply to gable ends as well as exterior walls supporting rafters.
- e. No exposed unpainted wood is allowed on the front façade of any dwelling except porch flooring boards.
- f. The dwelling shall be placed on a permanent foundation, either slab or pier, which meets the requirements of the IRC Building Code.
- g. All residential structures shall have a minimum 6 ft. by 8 ft. front porch, patio or deck. The structure shall include steps, which lead to ground level, and both landing, and steps shall meet the requirements of the IRC Building Code. (1-4-2022)
- h. All lot grading for residential dwellings shall not exceed 3:1 slope. Exceptions to this requirement shall be at the discretion of the Development Director on a case-by-case basis.

I hereby acknowledge receipt of the regulations for a Guest House. If my application is approved, I will abide by all regulations. I also understand that after approval, a building permit will need to be purchased. Signed: Unde Fredo Approved by: ______Page 2 of 2 Pages

Date:



this report and the recommendations herein are void.

2) Soil borings were located using a Trimble global positioning system. Contour/topographic information was taken from NOAA Lidar. The property boundary shown was redrawn per the recorded plat. Refer to the official survey for all applicable notations and references.

3) This soil investigation was performed for the construction of a one bedroom in-law suite at the rear of the property. Approximate proposed location is shown. Only the rear half of this property was tested. The front half of the property was previously tested by others and is currently developed as noted.

4) The old road bed is gullied and enhanced to direct surface water. The defined area of the road bed ends as shown. Ensure that all surface water from this area and otherwise is

directed away from any septic system area.

5) The soil boundary separating Cecil, Deep and Cataula soils is very accurate as shown. As such we approve septic installation up to this soil boundary. The concentrations of soil borings in this area can be considered a Level 4 intensity.

6) The Garden Area was not investigated due to some soil disturbance and construction of raised beds. Homeowner intends to retain this area for current use. This area has not been qualified for septic system installation.

7) All septic installation best practices must be followed inclusive of trench bottom and sidewall scarification.

3) Ensure that any area proposed for septic system installation, including future reserve area, is properly landscaped such that surface water drainage and ponding does not occur. This includes ensuring that runoff from driveway, hardscape and gutters is diverted away from any component of the septic system. This also includes ensuring appropriate separation between the installation area and any drainage feature.

A1) These soils are considered suitable for a conventional septic system and should function satisfactorily given proper design, installation and maintenance. Note these soils have lower soil profile characteristics that indicate very slow percolation. These soils require drain field installation in the upper, natural soil profile. These soils should not be graded.

C) These soils have evidence of a perched water table at a depth insufficient to accommodate a conventional septic system. These soils can be considered for any type of drain field product that can accommodate the installation depth. Advanced treatment is required.



GRAPHIC SCALE: 1"= 60"

1 OWNERBUILDER

4283 PECAN STREET LOGANVILLE GA 30052

2. 24 HOUR EMERGENCY CONTACT

CLAUDE HICKS 678-935-5520

3. ENGINEER/SURVEYOR:

FALCON DESIGN CONSULTANTS, LLC 235 CORPORATE CENTER DRIVE STOCKBRIDGE, GA 30281 FAX 770-389-8656

4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND 4. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES BHALL BE REPORTED TO THE PROJECT ENGINEER FOR JUSTIFICATION AND/OR CORRECTION. BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE CALCULATED OR READ

5. THE CONTRACTOR SHALL COORDINATE ANY AND ALL UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF ANY UTILITY WORK.

6 BOUNDARY AND OTHER PERTINENT INFORMATION WAS TAKEN FROM DIVISION PLAT RECORDED IN PB 121 PG 2 IN WALTON COUNTY RECORDS

7. ACCORDING TO THE F.I.R.M. OF WALTON COUNTY, PANEL NUMBER 13297C0130E, DATED 12-8-2016, THIS LOT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.

8. A COPY OF THESE PLANS ARE TO BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.

9. THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR 9. THIS IS NOT A BOUNDARY SURVEY AND IS NOT FOR RECORDING. THE PURPOSE OF THIS PULN IS TO SHOW A PROPOSED LOCATION OF A PROPOSED HOUSE ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF FALCON DESIGN CONSULTANTS IMMEDIATELY.

10. PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE 10. PROPERTY LINES SHOULD BE FIELD LOCATED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF FALCON DESIGN CONSULTANTS IMMEDIATELY

11. SEPTIC AREA SHOWN BASED ON SOILS SURVEY BY SITE ENHANCEMENT, INC DATED 5-7-221. SEPTIC LINES SHOWN ARE BASED ON INFORMATION PROVIDED BY CULENT AND ARE SHOWN FOR GRAPHICALLY. FALCON DESIGN CONSULTANT STAKES ON RESPONSIBILITY FOR MAY ISSUES RELATING TO 11th SEPTIC INFORMATION SHOWN HEREON FALCON DESIGN CONSULTANTS RECOMMENDS CILENT HAVE A SEPTIC DESIGN COMPLETED BEFORE ANY LAND DISTURBING ACTIVITIES BEGIN

NOTES: 1. BUILDER TO PROVIDE 5% SLOPE AWAY FROM HOUSE FOR DRAINAGE PURPOSES.

2. ANY REVISIONS THAT WERE NOT DONE UNDER THE SUPERVISION OF THE ENGINEER OF RECORD WILL VOID THE CERTIFICATION OF THIS DOCUMENT

FRONT SETBACK: 50 FOOT REAR SETBACK 40 FOOT SIDE SETRACK: 15 FOOT

GRAPHIC SCALE (IN FEET)

L=150.02'

APPROX

LOCATION OF EXISTING 3

EXISTING

R=2510.21 CL=150.00'

CD=N12°53'40"E

1 inch = 50 ft. FALCON DESIGN CONSULTANTS, LLC. ALL RIGHTS ARE RESERVED. ANY POSSESSION, REPRODUCTION OR OTHER USE OF THIS DOCUMENT WITHOUT PRIOR WRITTEN PERMISSION FROM FALCON DESIGN CONSULTANTS, LLC. IS EXPRESSLY PROHIBITED. REVISIONS SHEET NUMBER: DRAWN BY REVIEWED BY 4. THIS DOCUMENT IS NOT VALID UNLESS IT BEARS THE Know what's below. 1 of 1 ORIGINAL SIGNATURE OF THE Call before you dig. REGISTRANT ACROSS THE UTILITIES PROTECTION CENTER 1 (800) 282-7411 THROUGHOUT GEORGIA OR DIAL 811 REGISTRANT'S SEAL.



15' S/B

N77°56'25"W 606.76

LOT 4 2.09AC

EXISTING

HOUSE

HOUSE LOCATION PLAN FOR LOT 4 #1551 GRATIS ROAD

S78°06'44"E

597.42

BLDG

LOCATED IN: WALTON COUNTY, GEORGIA LAND LOT 128, 3RD DISTRICT

CIVIL ENGINEERING LAND CONSTRUCTION MANAGEMENT

S9°21'43"W 151.95

> 111 APPROX LOCATION OF

PROPOSED

RESERVE SEPTIC LINES 111

111

40.3

APPROX LOCATION OF PROPOSED

PRIMARY SEPTIC

PROP. BLDG

15.4

BUILDER SERVICE PROJECTS(INDIVIDUAL PROJECTS/BUCKY HICKS SITE PLANIHLP REVISION.dwg, Layoutt, WRedd, Jun 17, 2025 - 9:26:33am

House Plans

COTTAGE

SLAB FOUNDATION

PAGE SETS

P-1 COVER PAGE FRONT & REAR ELEVATIONS PLAN P-9 P-2 RIGHT & LEFT ELEVATIONS PLAN P-10 MAIN FLOOR PLAN P.5 SLAB FOUNDATION PLAN P-6 ROOF PLAN ELECTRICAL PLAN

SCHEDULES CABINET ELEVATIONS GENERAL CONTRACTOR NOTES TYPICAL FOUNDATION DETAILS TYPICAL ROOF EAVES DETAILS

GENERAL NOTES AND SPECIFICATIONS

THE CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IBC AND 2006 IMC SHALL BE USED. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAMS, ORDINANCES OR REGULATIONS. THE CONTRATOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECIDENCE OVER

SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS. ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

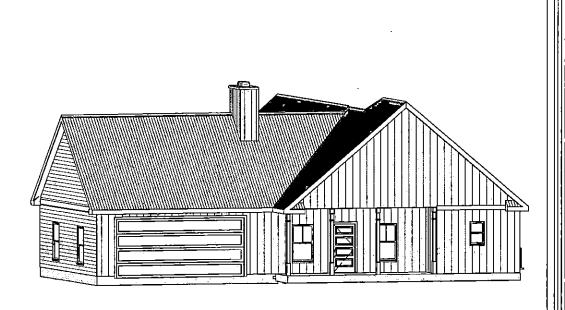
INSTALL WEATHERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS,

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE TO CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND I OR SHOWER AND IN LAUNDRY ROOMS.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

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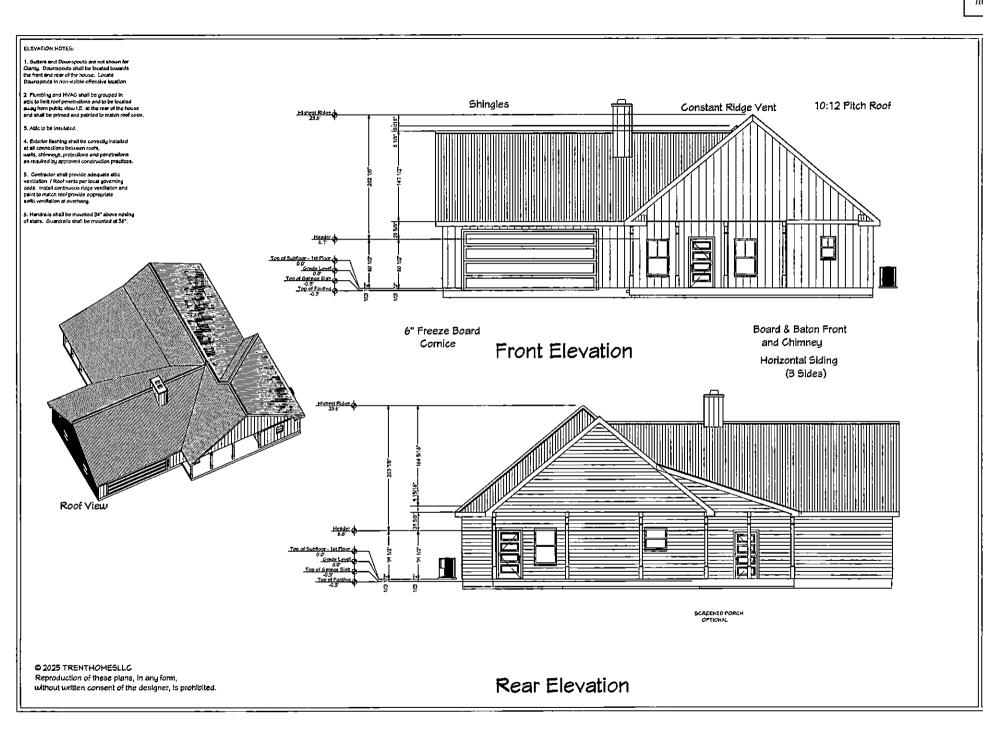
without written consent of the designer, is prohibited.



DATE: 6/20/25

SCALE: NONE

SHEET:



A HOMES

civided drawings are for design purposes only, ent Plans-recommends trat all drawings bs revicued and epproved by a licensed

> FRONT & REAR ELEVATIONS

BUCKY HICKS HOUSE PLAN COTTAGE 2

> trent plans Dennis & Daniel Garner

DATE:

6/20/25 SCALE:

1/4"=1'

SHEET:

P-2

Shingles

Constant Ridge Vent

10:12 Pitch Roof

Insulate side wall and cellings insulation in continuous blankets without holes for electrical boxes, light fixtures or heater ductwork. Caulk all openings in exterior wall construction.

Install 6 mil polyethylene vapor barrier Tubs only against inside of all insulation top joints 16" minimum.

insulation between joists.

5. Stab edge Insulation R-5.

Insulation Notes:

 Provide R-15 Bett Insulating in 2x4 walls, Provide R-19 Bett Insulation in 2 x 5 wells. Provide in-14 bet insulation in fait ceilings and R-90 minimum 19 insulation in fait ceilings and R-90 minimum blenket insulation in vaulted ceilings, elicur 1/2" minimum air space between sheathing and insulation, face foll down to warm skie.

HYAC ducts located in unheated spaces shall be insulated juith R-8.

Plumbing Notes:

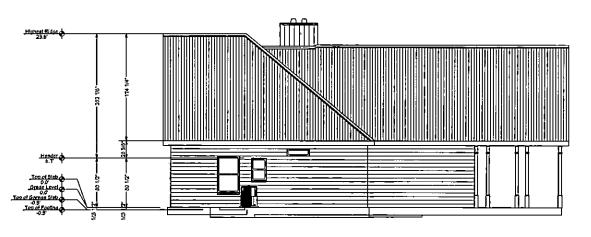
1. Plumbing shall meet all local odes

If water heater is located anywhere except garage or base provide metal drain pan with auditing drain to exterior.

3. All GAS water heaters shall be vented to top-out.

4. Provide inside main water cut-off.

5. Provide blocking if well plates of joists are cut into.



OPTIONAL SCREEN PORCH

3 sides vertical

10:12 Pitch Roof

Right Side

ELEVATION NOTES:

1. Gutters and Downspouts are not shown for Clarity. Downspouts shall be tocated towards the front and rear of the house, Locate Downspouts in non-visible offensive location.

Plumbing and HVAC shall be grouped in attic to limit roof penetrations and to be located away from public view I.E. at the rear of the house and shall be primed and painted to match roof color.

3. Attic to be insulated.

4. Exterior flashing shall be correctly installed et all connections between roofs, walls, chimneys, projections and penetrations as required by approved construction practices.

 Contractor shall provide adequate attic ventilation. I Roof vents per local governing code. Install continuous ridge ventilation and paint to match roof provide appropriate soffit ventilation at overhang.

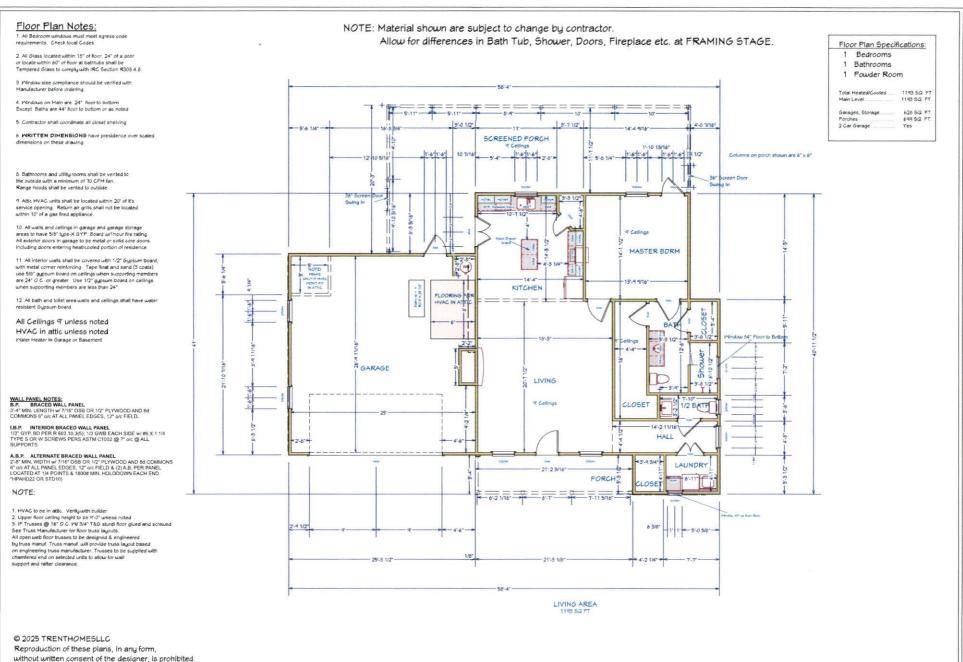
Handrells shall be mounted 94" above nosing of stairs. Guardralls shall be mounted at 95".



Left Side

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HOMES

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Plans-recommends that all drawings be be

MAIN FLOOR

BUCKY HICKS HOUSE PLAN COTTAGE 2

DRAWINGS PROVIDED BY:
TRENT PLANS
DENNIS & DANIEL GARNER

DATE: 6/20/25

SCALE:

1/4"=1'

1/4"=1

P-4

PLAN SLAB FOUNDATION F

BUCKY HICKS HOUSE PLAN COTTAGE 2

GARNER TRENT PLANS DENNIS & DANIEL O

DATE:

6/20/25

SCALE:

1/4"=1" SHEET:

NOTE:

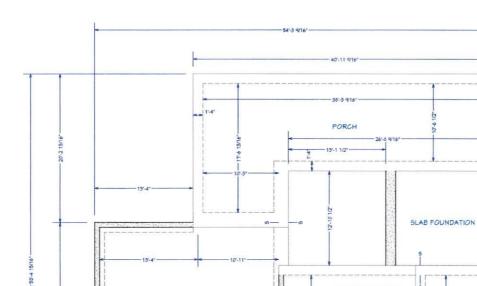
4'-0 7/16"

SLAB FOUNDATION

LIVING

20'-6 9/16"

Locate Grade Beams under all Load Bearing Walls. Locate Septic/Sewer Entrance to house. SEE P-11 FOR TYPICAL FOUNDATION DETAILS.



GARAGE

25'-3 7/16"

Irist courses of 8x8x16 blocks from loodings to allow for brick. ledge. Inside of all blocks to be aligned. 12x8x16 block to be determined by grade elevations. ALL EXTERIOR DIMENSIONS ARE TO 8x16 CONC. BLOCK LINE. 4" BRICK LEDGE CREATED BY 12x8x16 CONC. BLAOCK TO BE ON OUTSIDE OF 8X8x16 CONC. BLAOCK TO BE ON

Verify conditions

FOUNDATION NOTES:

more restrictive.

above grade.

1. All footings shall rest on virgin, undisturbed soil

1. All foolings shall rear on virgin, undisturbed soil.
2. Assumed soil shall be sand or grevel, with min.
traces of dry clay and a min. bearing capacity
2. 2000 fee 1/sq. 2000 fee 1/sq.
3. Unless otherwise noted, all slabs on grade shall
be 3000 PS.1. 2 diety compressive strength concrete
on 4" sand or gravel if min. with 5xd. -VM. AXVIL-WWM.
withforcing. Trained is firm, with 5xd. -VM. AXVIL-WWM.
strength opperations also shall be placed on 6 MIL.
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concrete slabs on abutting concrete or masonry walls occurring in exterior or unheated interior areas.

5. Place 12" diameter x (8" or 12") sill plate anchor bolts at each vertical rebar (where occurring) or at 4"0" O.C. and at each corner and both sides of 6. Footing sizes shown are only typical. For stated o. rooming sizes shown are only typical. For stated soil pressures and consistent compaction which ever is more restrictive.
7. Contractor to verify footing depths with local frost requirements or existing soil conditions, whichever is

 Provide termite protection as required by local codes. 8. Provide termile protection as required by local code. 9. Provide deeps sore control joins at mid-point of all garages, both directions. 10. Masonry veneer must be anchored to back-up construction with galvanized corrugated metal tes spaced 16° C. writically. 11. Install continuous diffashings and cotton cord weeps at 46° O.c. within first exposed course.

12. Crawl space foundations: Provide crawl space with ventilation per local code requirements.

1. Builder to verify all soil conditions before constructing foundation. If poor conditions exist consult a structural regineer.

2. Builder to verify foundation details wflocal building codes.

3. Verify all floor outlets, ranges & dryer vents in slab.

4. Builder to locate foundation access location. Verify Wiste elevations if applicable.

5. Verify 4" perf. min. french drain locations if needed. Verify with site conditions.

6. If Applicable Builder to verify basement layout w/owner.

 Builder to verify and approve all basement details before conservacion.

8. 8° block wall min may be used in lieu of concrete walls.

9. Basement wall HEIGHT to be 8°.0° unless noted different.

10. Optional 12x8x18 blocks may be used in lieu of first courses of 8x8x16 blocks from footings to allow for brick

FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN, MAXIMUM SLOPE IS 2 HORIZ., 1

ALL FOOTINGS TO REST ON CLEAN FIRM LINDISTURBED SOIL STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH 3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI). 3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION. MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPASION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION ALL OPENINGS IN THE EXT BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION, THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
 JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
 * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

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nciuded drewings are for design purpose only, frent Plans-recomments that all drawing reviewed and epithesis frontsed Architect or Structural Endineer

ROOF PLAN

BUCKY HICKS HOUSE PLAN COTTAGE 2

PRAWINGS PROVIDED BY:
TRENT PLANS
DENNIS & DANIEL GARNER

DATE:

6/20/25 SCALE:

SCALE:

NONE

SHEET:

WALL PAREL NOTES:
B.P. BRACE DAIL PAREL

₹*:0

Rodf Ridge Height -10 7/8"∕

Roof Ridge Height -109 1/8"~

Roof Ridge Height - 163 15/16"

TOP Roof Ridge Height # 236 3/4"

NOTE © 2025 TRENTHOMESLLC

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without written consent of the designer, is prohibited. MANUAL CONTROL MANUAL MANUAL CONTROL AN ARRAY TRUB IN THE TAXABLE CONTROL AND ARRAY TRUB IN THE ARRAY TRUB IN THE TAXABLE CONTROL AND ARRAY TRUB IN THE ARRAY TRUBBE TRUB IN THE ARRAY TRUBBET TRU 504/s up > 7 RC 5 X 25 1/2* KITCHEN a PORCH MASTER BORM CLOSET

SCALE:
NONE
SHEET:

TRENT PLANS
DENNIS & DANIEL GARNER

BUCKY HICKS HOUSE PLAN COTTAGE 2

ELECTRICAL PLAN and Schedule as Shown

Included drawings are for design purposes only. Trent Plans--recommends that all drawings be reviewed and approved by a licensed

cluded drawings are for design purpos only, ent Plans-recommends that all drawin be reviewed and approved by a licensed

DOOR, WINDOW & CABINET SCHEDULES

BUCKY HICKS HOUSE PLAN COTTAGE 2

TRENT PLANS
DENNIS & DANIEL GARNER

DATE: 5/27/25

SCALE:

1/4"=1'

SHEET:

Use Bath & Kitchen View

Set for Schedules View

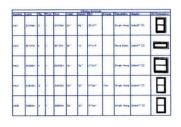
P-8

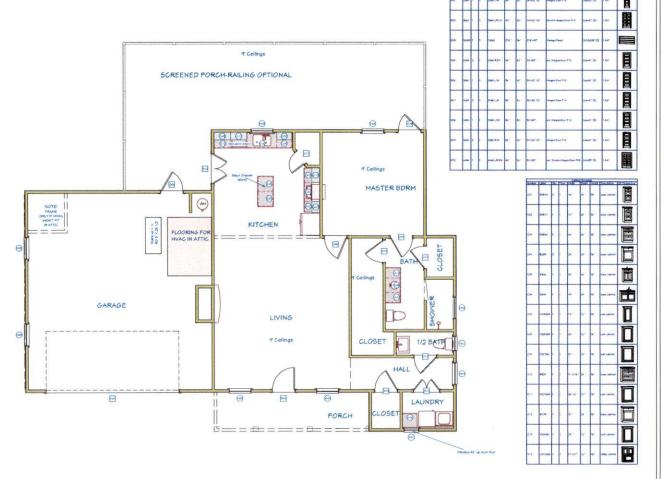
WINDOW NOTES:

- 1. WINDOW HARDWARE TO BE OWNER SELECTED AT TIME OF ORDER.
- 2. WINDOWS TO BE YKK VINYL
- 3. WINDOW ROUGH OPENING: +1/2" WIDTH & HEIGHT. UNO BY MFG
- 4. BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AN PROVIDE MINIMUM CLEAR OPENINGS OF 5.7 SM. FEET WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20". HCR R310.1-R310.1.4

DOOR NOTES:

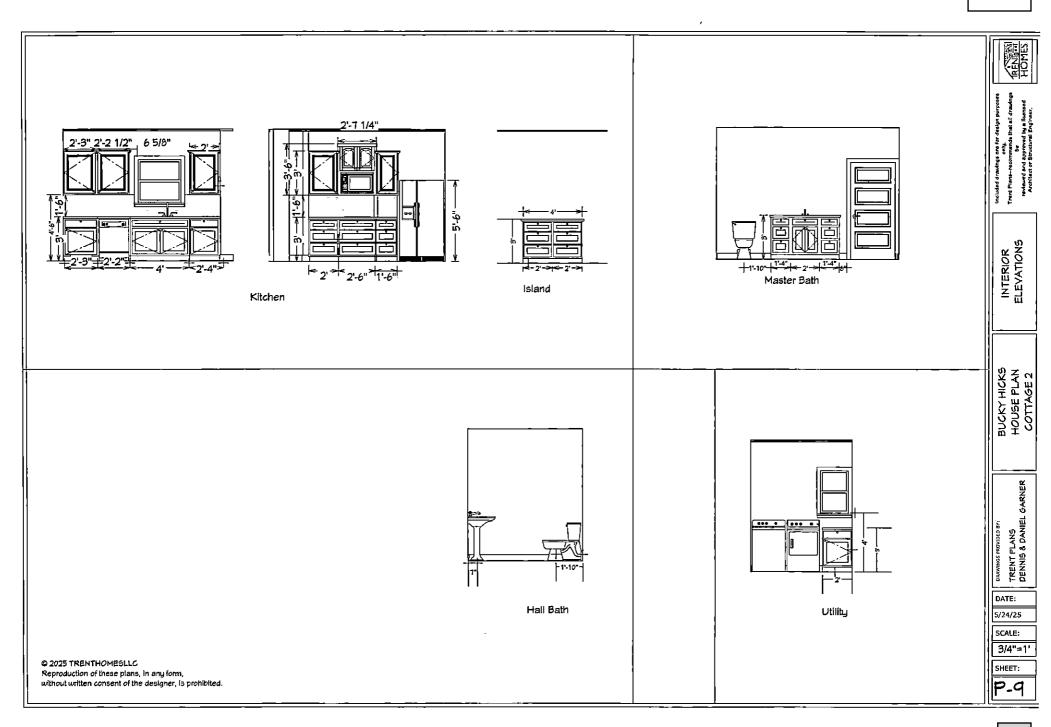
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES.
- GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS. IF GLASS, IT SHALL BE TEMPERED.
- ALL GLAZIND WITHIN 18" OF THE FLOOR AND OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING.
- 4. ALL TUB AND SHOWER GLASS ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.





LIVING AREA

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FLOOR PLAN NOTES:

1. All structural information shown for reference purposes only. Contractor shall have licensed structural engineer review and design all structural elements such as all framed walls, beams, connections, banders, joints and rathers, 2. All dimensions are from thee of stud to face of stud unless noted otherwise.

3. Window sizes indicated on plans are noted by approximate rough openings size.

S. Williams states intended to plantar with a more day representation to the open greater.

Refer to plans and exterior elevations for window types.

4. Coordinate location of tuility meters with site plan and locate away from public view. Visual impact shall be minimized, 1.E. mount as low as possible.

5. Prefabricated fireplace construction shall meet or exceed all applicable codes.

regarding use of five separations, clearances, etc., it is the contractor's responsibility to ensure that all items are construction meet or exceed code. Overall flu height shall be coordinated to match height shown on plans and shall

to exceed the top of chimney chase as constructed.

6. Contractor whall coordinate all closes shelving requirements.

7. DO NOT SCALE DRAWING, FOLLOW DIMINSIONS ONLY.

8. Contractor shall field verify all cabines dimensions before fabrication Bedroom, windows shall have a minimum net clear opening of \$.7 sq.ft.; a minimum
net clear openable width of 20", a minimum net clear openable height of 24" and have
a maximum finish sill height of 43" from finish floor.

10. All plass located within 18" of floor, 12" of a door or located within 60" of floor at bathubs, whiripools, showers, sauras, steam rooms or hot tubs shall be tempered.

11. All exposed insulation shall have a flame spread rating of less than 25 and a smoke

lensity rating to less than 450. 12. Provide combustion air vents, with screen and back damper. For fireplaces, wood

stoves and any appliance with an open flame.

13. Bathrooms and utility rooms shall be vented to the outside with a minimum of a 90 CFM fan. Range hoods shall also be vented to outside.

14. Artic HVAC units shall be located within 20' of its service opening. Return air grillers 16. All walls and ceilings in garage and garage storage areas to have 5'%' type -x gyp.

board w/I-hour fire rating. All ext. doors in garage to be metal or solid core doors including doars entering heaf could portion of residence.

16. All furglace chase walls shall be insulated inside and outside provide horizontal "draft

Au neppare chase wans sain or emanated misted and obstace provide britzonial or stops." at each floor fewel by packing 6" (R-19) insulation between 2x4 joists.
 All interior walls shall be covered with 1/2 gypsum board on coiling members less than 24" O.C.;
 All bath and toilet area walls and ceilings shall have water resistant gypsum board.

NOTES

- 1. Builder to approve & verify all plans before construction
 2. Verify all plans w/local building codes
 3. HVAC to be in stild unless otherwise noted. WH off Garage.

3. HYAC to be in etitic unless otherwise noted. WH off Garage.

4. Provide shutchild valve for all gas explainces a reference IRC section G2419:

5. Tempered glass to comply with IRC section R308.4.8.

7. Namrow well shear walls shall be constructed in accordance with 2006 IRC section R302.10 braced wall lines said shear walls may also be constructed starfy 570mg wall applications. This may be conjuried to meet any code requirements for narrow walls next to gazage doors. Cornect product selection is sensitive to both seismic and wind zone parameters and should be certified locally prior to construction also due to the nature of the simpson installation anoses. The admiction Leve a the "School" counter. on process. The decision to use the "Strong wall"

simpaor installation process. The decision to use the debugge was system shall be made prior to the foundation concrete placement, since, these plans are not site of location specific the mechanics to meet cote requirements shall be verified by qualified persons at the location level prior to construction. SEE DETAILS 1.8.2 on page SSW2, shearwall "garage wall options".

PLUMBING & UTILITY NOTES:

Plumbing shall meet all local codes.
 If water heater is located anywhere, except garage or basement, provide metal drain pan with auxiliary drain to exterior.

3. Provide inside main water cut-off. Provide blocking if wall plates or joists are cut into.
 HVAC to be in altic. Varify w/builder.

FOUNDATION NOTES:

 All footings shall rest on virgin, undisturbed soil.
 Assumed soil shall be aand or gravel, with min, traces of dry clay with a min, bearing capacity. of 2000 lbs/sq.fl.

3. Unless otherwise noted, all slabs on grade shall Unless otherwise hoted, at stars on grade shall be 3000 P.S.I. 28 day compressive strength concrete on 4" sand or gravel fill min, with bx6 -WIJAXWII,4WWM reinforcing. Interior stabs shall be placed on 6 Mit. stabilized polyethylene vapor barrier.

t. Provide 1/2" expansion joint material between all concrete slabs on abutting concrete or masonry walls occurring in exterior or unheated interior areas.

5. Place 12" diameter x (8" or 12") sill plate anchor bolts at each vertical rebar (where occurring) or at 40° O.C. and at each comer and both sides of

6. Footing sizes shown are only typical. For stated soil pressures and consistent compaction which ever is

7. Contractor to verify footing depths with local frost requirements or existing soil conditions, whichever is Provide termite protection as required by local codes.

8. Havide termine proteopon as required by local code. Provide deep spore control joins at mid-point of all garages, both directions. (I.O. Masonry wenter must be anchored to back-up construction with galvanized corrupated metal ties spaced 16° CC, withfully, 11, Instital continuous approved flashings and cotton out weeps at 46° CC. Within first exposed course.

12. Crawl space foundations: Provide grawl space with ventilation per local code requirements.

Builder to verify all soil conditions before constructing foundation. If poor conditions exist consult a structural

tourisation. If pane comments extended a survey of the engineer.

2. Builder to verify foundation details willocal building codes.

3. Verify all floor outlets, ranges & divervents in slab.

4. Builder to locate foundation access location. Verify

welte elevations if annicable writie elevations it applicable.

5. Verify 4" perf. min. french drain locations if needed.

Verify with site conditions.

6. Builder to verify basement layout w/owner. Verify v//site

7. Builder to verify and approve all basement details before

 8.8" block wall min may be used in lieu of concrete wells.
 Basement wall HEIGHT to be 8"-0" unless noted different. 9. Dasgement was included in the death of th

ELEVATION NOTES:

Gutters & downspouts are not shown for charity. Downspouts shall be located towards the front & rear of house. Locate downspouts in non-visible aftersive locations. For example, front wall of house beside porch columns, etc. Central contractor shall verify existing grades and

continuis, etc., Combined on Children State (Herry Executing Septiments) on Coordinate and Members (1997) of the Coordinate (1997) of t

and penetrations as required by approved practices.

5. Contractor shall provide adequate attic ventilation at overhangs.

INSULATION NOTES:

Provide R-19 bet insulation in 2x6 walls, R-13 in 2x4 wells. Min. R-30 insulation in flat ceilings and R-30 min. blanket insulation in vaulted ceilings. Allow 1/2" min. airspace between sheathing and insulation, face

min. bitmest instalation if a varieties ceruings, naver w.c. time, assign connect and analysis of colors to warm side.

2. Insultin side walks and cellings instalation in coefficiency between the cellings instalation in coefficiency between constraints of the cellings in creation wall Construction.

3. Instalat Oil, polyetilytiene vapor barrier registed isracle of all issuicion between joists around all tubs.

4. HANG disturbed was colored in unleased spaces shall be instalated with Rs.

CONSTRUCTION & FRAMING NOTES:

| 1. Design loads are a | s follows per sq. ft. | | |
|-----------------------|-----------------------|-----------|---------------|
| Location | Live | Dead | Deflect Limit |
| 1st floor | 40 lb | 10 16 | L/360 |
| 2nd floor(sleep | | | |
| area) | 30 lb | 10 lb | L/360 |
| Attic (non store) | 10 lb | 5 lb | L/240 |
| Attic (storage) | 20 lb | 10 lb | L/240 |
| Roof (w/fin/ceil) | 30 lb | Snow15 lb | L/240 |
| Roof (no/fin/ceil) | 30 fb | 7 lb | L/182 |
| Decks | 60 lb | 10 lb | L/360 |
| | | | |

Snow loads have been adjusted to reflect the slide-off factor, as a function of roof pitch. Rafter sizes may have to be increased to accompdate higher show loads. Verify Local codes.

2. Lumber to be Douglas-fir-fatch. Hem-fir or southern yellow pine with FB-1450 and E=16 min. 3.All headers to be free form all spirits, checks or shapes.
4. Unters noted otherwises, provide double heater pices and trimmers at all floor openings. Double-joints under all parallel partitions. Double 2x12 headers with 1/2 plywood, glade between and neiled, for all openings in 2x4 with a 2x22 headers with 1/2 plywood, glade between and neiled, for all openings in 2x4 with a 2x22 headers and to logither for all openings in 2x4 with 5. Floor construction 3x41 torque and groone subfloor with first material over.
5. Poor construction 3x41 torque and groone subfloor with first material over.
6. Sub construction shall consist for (3) 2x22 straings. 5x41 or 2x Intel® travels and 3x41 thick issers of materials.

fabricated to a component manufacturer.

7. All wood plates in contact with concrete shall be "pressure treated" & silicone seated. 3. "Micro-Lam" beams shall have bending stress FB=2.800 PSI. Verify with local codes

9. Special uplift connectors as indicated at cantilevered joists shall be :SIMPSON STRONG TIE: anchors or

equivalent.

10. Minimum header size shall be (2)2x6" unless noted otherwise. Exterior walts shall be (2)2x12 with

1/2" plywood.

11. All structural steel shall conform with ASTM specifications A-36.

Unless ordered seem areas contour in a contraction of the contraction of the

noted.

3. Floor framing layout shall be coordinated with the general and HVAC contractors to provide access chases and unobstructor for thVAC duck work. Floor truss (ayout to be engineed by truss manufacturer.

4. Provide bridging or blocking a fundapan or joist-valent/vusses. Maximum spacing between bearing wall and blocking is \$1.0^{\text{c}}\$.

1. These training dates were designed using standard construction practices. Then conform to standard

15. These framing plans were designed using standard construction practices. Then conform to standard building codes. Due to variation in local codes and geological conditions revisions may be required to

trees parts.

16. All work shall be performed in accordance with all applicable local codes, regulations, and FNAVA MPS.

The builder shall very all conditions before beginning construction. Consult with local structural engineers and code officials prior to using the framing materials provided to insure compliance with codes and structural integrity.

FRAMING NOTES:

1. Rafters to be supported by cent. bracing for horizontal spans of 15-0" or greater.
2. Support all the valley, and ridges (85-0" O.C. max.
3. All rafters to been on second flow mails where applicable.
4. Rafters may be spliced only (8) con. bracing or second floor walls.
6. Rafters to be jacked in compliance with all local contents.
6. Rafters to be jacked in compliance with all local contents.

EXAMPLES: A. 2X6 refters @16" O.C. max, with 1/2" P.W. decking B. 2x6 refters @ 24" O.C. max, with 5/8" P.W. decking C. 2x8 refters @ 24" O.C. max, with 5/8" P.W. decking

D. 2x8 rafters @ 16" O.C. max. with 1/2" P.W. decki

Facia overhang to be 12" (typ) unless noted on elevation.
 All Hip / Valley rafters to be 2x10 unless noted.

ROOF FRAMING / TRUSS NOTES:

TRUSS DRAWING IS FOR ILLUSTRATION ONLY, ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16"

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

ATTIC VENTILATION: REQUIRED ABOVE HOUSE. MIN SNOW LOAD SOLES PER SQUARE FOOT

WALL HEADERS: (2) 2 X 10 DF 2 TYP, UND ROOF & FLOOR TRUSS MANUFACTURER:

SOURCE AND A STATE OF THE WIND THE PROPERTY OF THE PROPERTY OF

RYWDOO PANELS SAMLL CONFORMED THE REQUIRE MENTS OF "U.S. PRODUCT IS DANDARD FOR IT DOE CONSTRUCTIONADE RECEITIVE RYWDOOD COLAND PRINT ON REFERENCES." THE RECEIVES THE SAME PARKET OF THE RECEIVED RECEIVED THE RECEIVED AND THE RECEIVED AND THE RECEIVED THE RECEIVED AND SAME PARKET OF THE RECEIVED RECEIVED THE RECEIVED AND THE SAME PARKET OF THE PARKET OF THE RECEIVED AND THE SAME PARKET OF THE RECEIVED AND THE SAME PARKET OF THE RECEIVED AND THE SAME PARKET OF THE PARKET OF T

al roof directing and bub-floring gral fir petal 100 with face grand representable to supports, except as indicated on the brunner, roof supporting it faces, single male braining skept be except of the ar-st all present of the faces, single male braining skept be except of the ar-fall level, esges, saal major).

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LUMBER SPECIES: A. POSTS, BEAUS, HEADERS, JOISTS, AND RAFTERS TO BE DE-42

6. EXPOSED ASON IN ANS TO BE DEAT ON BETTER

G. SILLS, PLATES BLOCKING, AND SKIDGING TO BE 07-42. D. ALL STUDS TO BE DETO OR BETTER.

E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 117 COX INTLAR RATED 32-16, WALL SHEATHING SHALL BE 112 INTLAR RATED 32-16 OR 7-16" OSB. FLOOR SHEATHING SHALL BE 31" T & G SINTAP RATED OSB.

E. 11 JOIST'S SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROPRIES COLLE

D. ALL SHOOD IS CONTRACT WITH CONCRETE SHALL BE RESIDENT TREETO

GENERAL ROTES AND SPECIFICATION

THE CENTRAL CONTRICTIONS HAVE FELLY COUPLY WITH THE \$000 BIG AND ALL AND TIONAL STATE AND LOCAL DODGE REQUESTIONS.

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DESIGN CRITERIA 2005 PICARO BIC. ROCE: SO PER SACRICANO 15 PSE TOP CHICRO BI. 17 PSE BOTTON CHORD DIL. 15 PSE RET WIND UPLET.

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THIS STRUCTURE SHALL BY ADFOLUTELY BRACED FOR WIRD LOADS USING THE RUCK IS TASK AND MALES LIBER PERSON PERSONNELLY STATED TO SETTLERS AND INSTALLED BISTALL POLYIDOCYANIRATE FOMATYPE WIGGATOWAT FLOOR AND PLATE LIVES -OPENBOS IN PLATES, CORNER STUD CAVILES AND ARQUID DOOR AND WISCOWINGUICH DEPOMBS CAMIES

INSTRUCT WATERPOOF GEPSCH BOARD AT ALL WATER SPLASH AREAS TO LEBOAUM 10* INSULATE WASTE LINES FOR SOUND CONTROL

EXHAUST ALL VENT S AND FANS DERECTLY TO OUT SIDE VIA METAL DUCTS. PROVIDE SE CFU SHIP, MAS TO PROVIDE S ARE OWNIGES PER MOUR IN SATIS CONTAINING TUS AND / OR SHOWER AND INTAINING TO COME.

ALL RECESSED LIGHTS IN INSULATED CERTIFIES TO HAVE THE LC. LAREL. PROVIDE SOUR BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOSES AND OTHER MEASURE POWER NOT OTHERWAS PROVIDED WITH BLATFORE.

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH RINISH SALL HEIGHT NOT GREATER THAN 4" ABOVE THE FINISH FLOOR REIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SC., FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA OF 5.7 SC., FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA DESS THAN 20" WINDO EN 2" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING.

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-34** TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 50 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT CLAZING IN DOORS SHALL BE DUAL PAINE SAFETY CLASS WITH MIN. UVALUE OF 0.65

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

Wire Closet Shelves

Standard shelf dimensions from floor_ His Closet: 12" Shelves Sides & Back wall 41" & 82" 2 Sides by Door-locate at: 27, 41, 54, 68, 82"

Her Closet: 12" Shelves Sides & Back unt 55" & 52" Shoe Storage-Locate at: 27, 41, 54, 58, 82"

Entru Cost Closet: 12° Shelves Back well- Locate at: 68 & 82*

Bedroom Closet: 12" Shelves Back wall-Locate at: 65 & 82"

Pantru: 15" Shelves Back wall Locate at 26, 40, 54, 55, 52

Laundru Shelf 112" Shekes Locate at: 62

design p only. only. commends to be l'approved b

included an

 \overline{S} CONSTRUCT NOTES

BUCKY HICKS HOUSE PLAN COTTAGE 2

GARNER TRENT PLANS DENNIS & DANIEL 6

DATE: 5/24/25

SCALE:

NONE SHEET:

FLOORS AND ROOFS

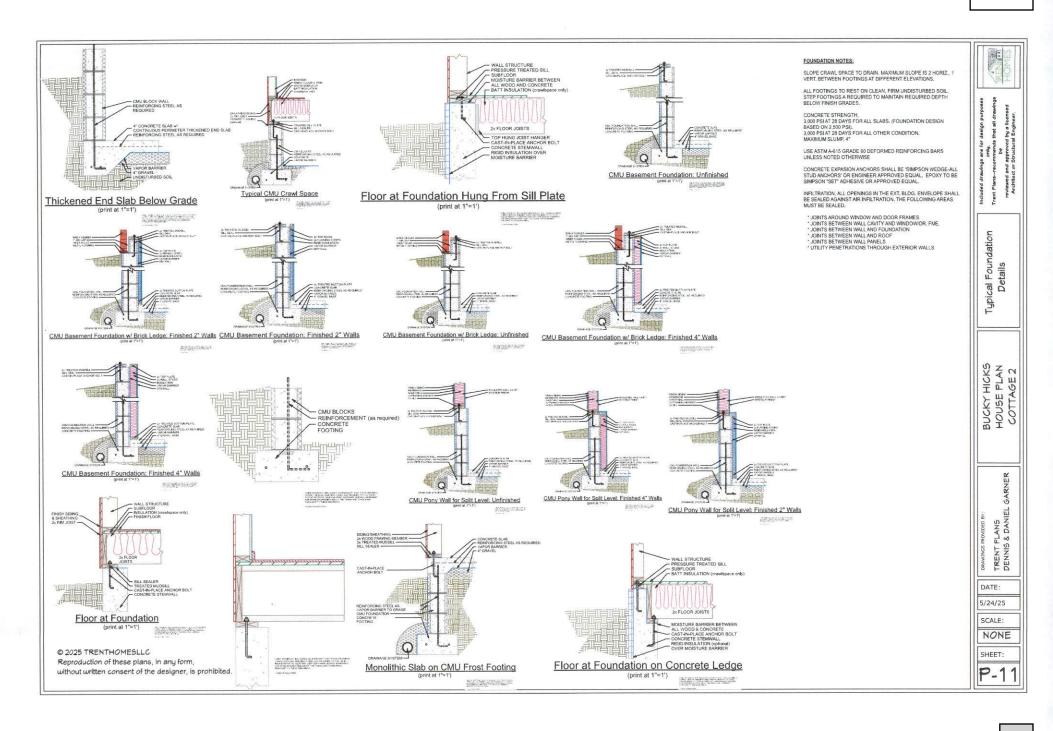
ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN

PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/ OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

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Abbreviated Eave

Boxed in Eave

Curbed Roof Edge

DUMMY RAFTER TAIL

1x BOARD SCREWED TO
DUMMY TAILS & TOP PLATE
SCREENED VENT
FINISH SIDING
SHEATHING
INSULATION

Dummy Rafter Tail (print at 1"=1')

Eave at Brick Veneer

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ANDTODIST

BANGPEONE:

HOMES

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be
viewed and approved by a licensed

Typical Roof Eaves Details

BUCKY HICKS HOUSE PLAN COTTAGE 2

DRAWINGS PROVIDED BY:
TRENT PLANS
DENNIS & DANIEL GARNER

DATE:

5/24/25

SCALE:

SHEET:

P-12



Planning and Development Department Case Information

Case Number: V25-0242

Board of Appeals Meeting Date: 08-19-2025

Applicant:
David Sparks
3025 Wood Valley Court
Loganville, Georgia 30052

Owners:
John David Sparks
3025 Wood Valley Court
Loganville, Georgia 30052
and
Bobby Joe White
2640 Falcon Ridge Drive
Grayson, Georgia 30017

Current Zonings: C0710063 is R1 and C070064 is A1

Request: Variance to reduce required lot width of 200' to proposed 80.5' to create a 3.45 acre buildable lot.

Address: Old Braswell Road & 3779 Old Braswell Road, Monroe, Georgia 30656

Map Number: C0710063 zoned R1 contains 6.32 acres and C0710064 zoned A1 contains 3.17 acres

Site Area: Property is 9.49 acres.

Character Area: Suburban

District 5: Commissioner – Jeremy Adams Board of Appeals – Chris Lammey Existing Site Conditions: The property consists of 9.49 acres total.



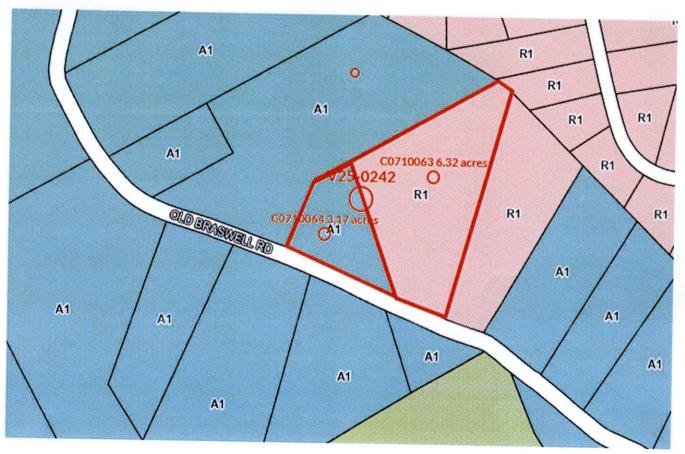
Staff Comments:

In ruling on any application for a Variance, the Board of Appeals shall act in the best interest of the health, safety,

morals, and general welfare of the county. In doing so, the Board of Appeals may grant variances in individual cases of practical difficulty or unnecessary hardship upon a finding that all the following conditions exist:

- 1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.
- 2. The strict application of the Ordinance to this particular piece of property would create practical difficulty or unnecessary hardship; and
- 3. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance.
- 4. No variance may be granted for a use of land or buildings or structure that is prohibited by this Ordinance or to change the density of a use allowed by this ordinance or to grant a development right or standard in conflict with a condition of zoning imposed by the Board of Commissioners.

The surrounding properties are zoned A1 and R1.

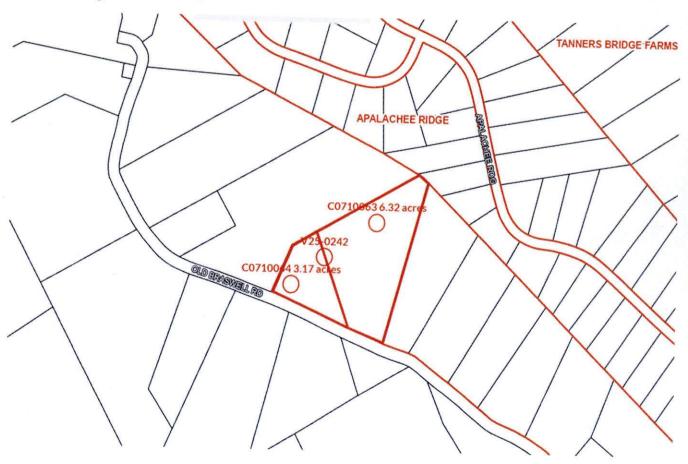


The Future Land Use Map for this property is Suburban.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Walton County Board of Appeals Application ***Please Type or Print Legibly***

Variance/Special Exception/Appeal # V25-0242

Board of Appeals Meeting Date 8-19-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

| DOCUMENTS TO BE SUBMITTED WITH APP | PLICATION |
|--|---|
| Recorded Deed X Survey Plat X | Site Plan X Proof of Paid Property Taxes X **Drawn by Design Professional |
| C0710063 Map/Parcel_C0710064 Zoning | C0710063-R1 District: C0710064-A1 Commission District: 005 - Jerems |
| Applicant Name/Address/Phone # | Property Owner Name/Address/Phone |
| David Sparks | John David Sparks Bobby Joe White |
| 3025 Wood Valley Ct | 3025 Wood Valley Ct 2640 Falcon Ridge Dr |
| Loganville, Ga. 30052 | Logan <u>ville, Ga. 30052</u> Grayson, Ga. 30017 |
| Phone #_404-725-4960 | Phone #_404-725-4960 |
| E-mail: sgcontractor@mail.com | |
| Type Request: VARIANCE Request Property Location Old Braswell Rd | SPECIAL EXCEPTIONAPPEAL |
| | Request variance related to minimum lot width of |
| 200 feet being required for R1 and | A1 zoning (Section 4-1-120(E)(2) & Section 4-1-140(E)(2)(c) |
| to allow one of the proposed 4 lots | s to be 80.5' as shown on the included Variance Plan. |
| State Reason for request and how these reason | ons satisfy Article 14 Standards of Review: |
| Reason for request is unusual sha | ape of property |
| | |
| | |
| Public Water: Well:X Public Ser | wer: Septic Tank:_X |
| The above statements and accompanying for Planning and Development personnel to required by the Comprehensive Land Development | materials are complete and accurate. Applicant hereby grants permission o enter upon and inspect the property for all purposes allowed and elopment Ordinance. Date Fee Paid:\$ 200-00 |
| | TILL BE PLACED AND REMOVED BY P & D OFFICE |
| | ited per Article 14 Section 180 |
| P & D Official: | Date: |
| I HEREBY WITHDRAW THE AROVE APPLIC | CATION |

AUTHORIZATION BY PROPERTY OWNER

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APPEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

| Name of Applicant: David Sparks |
|---|
| Address: 3025 Wood Valley Ct/Loganville, Ga. 30052 |
| Telephone: 404-725-4960 |
| Location of Property: Old Braswell Rd |
| C0710063 Map/Parcel Number: C0710064 |
| TA Boll Super |
| Property Owner Signature Property Owner Signature |
| Print Name: David Sparks Print Name: Bobby White |
| 3025 Wood Valley Ct 2640 Falcon Ridge Dr |
| Address: Loganville, Ga. 30052 Address: Grayson, Ga. 30017 |
| Phone #: 404-725-4960 Phone #: 404-725-4960 |
| Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge. Public Public Date |

RIA WELL RD
GEORGIA 30656.

OLD RRASWELL RD MONROE, GFORGIA 30856

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Planning and Development Department Case Information

Case Number: V25-0243

Board of Appeals Meeting Date: 08-19-2025

Applicant:
David Sparks
3025 Wood Valley Court
Loganville, Georgia 30052

Owner:
Bobbie Mac Investments LLC
3025 Wood Valley Court
Loganville, Georgia 30052

Current Zoning: B1

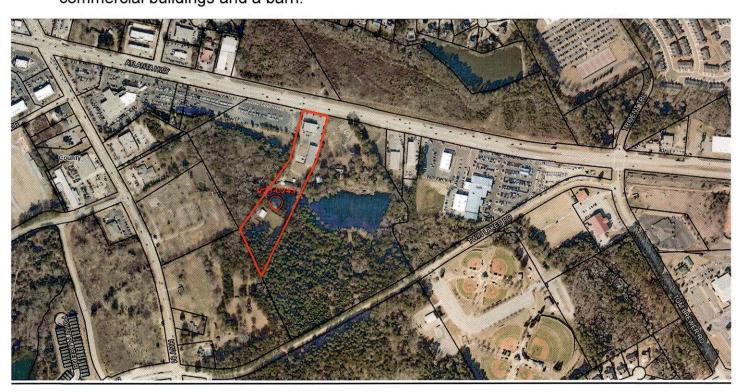
<u>Request</u>: Variance to request house on property to be classified as a caretaker house with 1,020 sq. ft. in lieu of the maximum 800 sq. ft. and also allow a caretaker house in a B1 zoning.

Address: 3540 Highway 78, Loganville, Georgia 30052

Map Number: C0430032

<u>Site Area</u>: Property is 6.94 acres. <u>Character Area</u>: Highway Corridor

District 2: Commissioner – Pete Myers Board of Appeals – Mariellen Barnes Existing Site Conditions: The property consists of 6.94 acres and contains a house, 2 commercial buildings and a barn.



Staff Comments:

Guest House, Caretaker House (2)

Guest Houses are allowed by right in the A, A1, A2 and R-1 properties that are 1.2 acres in size or larger with county water and 2.4 acres in size or larger with well. (1-4-2022)

Guest houses are an accessory use to the primary residence.

Caretaker Houses are allowed by right in the B-2, B-3, TC, MUBP, M-1 and M-2 zonings.

B. The size of the guesthouse, tenant house or caretaker house can be no more than 800 square feet.

In ruling on any application for a **Variance**, the Board of Appeals shall act in the best interest of the health, safety, morals, and general welfare of the county. In doing so, the Board of Appeals may grant variances in individual cases of practical difficulty or unnecessary hardship upon a finding that all the following conditions exist:

- 1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.
- 2. The strict application of the Ordinance to this particular piece of property would create practical difficulty or unnecessary hardship; and
- 3. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance.
- 4. No variance may be granted for a use of land or buildings or structure that is prohibited by this Ordinance or to change the density of a use allowed by this ordinance or to grant a development right or standard in conflict with a condition of zoning imposed by the Board of Commissioners.

The surrounding properties are zoned A, B2 and City of Loganville.



The Future Land Use Map for this property is Highway Corridor. Property is located on Highway 78.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History:

| V02100031 | anni, | B-1 20ft to 17.5ft | C043-32 | Approved |
|-----------|-------|----------------------------|-----------------|----------|
| | LLC | Dist. Between Buildings | 3540 Highway 78 | |

Walton County Board of Appeals Application ***Please Type or Print Legibly***

Variance/Special Exception/Appeal # V25-0243

Board of Appeals Meeting Date 8-19-202 ≤ at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

| DOCUMENTS TO BE SUBMITTED WITH APPLICATION QUELL Photo | _ |
|--|---|
| Recorded Deed Survey Plat Site Plan Proof of Paid Property Taxes **Drawn by Design Professional | _ |
| Map/Parcel Co4 30032 Zoning District: BI Commission District: 94 2 | 4 |
| Applicant Name/Address/Phone # Property Owner Name/Address/Phone | |
| David Sparks Bobbie Mrc Investments LLC | |
| 3025 Wood Valley Ct 3025 Wood Valley Ct | |
| Loganville GA 30052 Loganville GA 30052 | |
| Phone # 404-725-4960 Phone # 404-725-4960 | |
| E-mail: Sparksjr1965eyshoo.com | |
| Type Request:VARIANCE SPECIAL EXCEPTION APPEAL | |
| Property Location 3540 Huy 78 Loganville 6 Acreage 6.94 | |
| Describe Variance/Special Exception/Appeal: Property is C-4 Commercial Turnt tubing | |
| the Existing Huse into Compliance & list it as Caretakers Residence | |
| Also change the Regulard 800 to the Existing size of 1:0204 | |
| State Reason for request and how these reasons satisfy Article 14 Standards of Review: | |
| I have 2 Commercial Buildings on site, A CARetakes House | |
| "12 Acre pond, BARN & pasture. I want to Him A CARE taker & | |
| let them stay on site to maning the property | |
| Public Water: Well: Public Sewer: Septic Tank: | |
| The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance. | |
| Signature Date 4/8/25 Fee Paid:\$200.00 PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE | |
| | |
| Administrative Variance granted per Article 14 Section 180 | |
| P & D Official: Date: | |
| I HEREBY WITHDRAW THE ABOVE APPLICATION | |
| | |

AUTHORIZATION BY PROPERTY OWNER

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APPEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

| Name of Applicant: David Spark | 25 |
|---|-----------------------------------|
| Address: 3025 Www | d Valley Ct, Loganirille GA 30052 |
| Telephone: 404-725-46 | 940 |
| Location of Property: 3540 US Hu | y 78 |
| Loganville C | FA 36052 |
| Map/Parcel Number: Co4 35032 | |
| Bobbja Mare INV. INC | |
| Property Owner Signature | Property Owner Signature |
| Print Name: Bobba Mrc Indestrut | Print Name: |
| Address: 3540 Huy 78, Suite 201 | Address: |
| Phone #: 464 - 725 4960 | Phone #: |
| Personally appeared before me and who swear | rs |

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

Notary Public Date

Date

Date

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Planning and Development Department Case Information

Case Number: V25-0246

Board of Appeals Meeting Date: 08-19-2025

Applicant:
Robert J Miller, Jr.
1465 Greendale Road
Covington, Georgia 30014

Owners:
Robert J Miller, Sr. & Betty S Miller
1465 Greendale Road
Covington, Georgia 30014

Current Zoning: A1

<u>Request</u>: Variance to reduce required lot width of 200' to proposed 31.02' to create a 17.649-acre buildable lot (with existing house) and variance to reduce lot width from required 200' to 30.84' to create an 8.00-acre buildable lot.

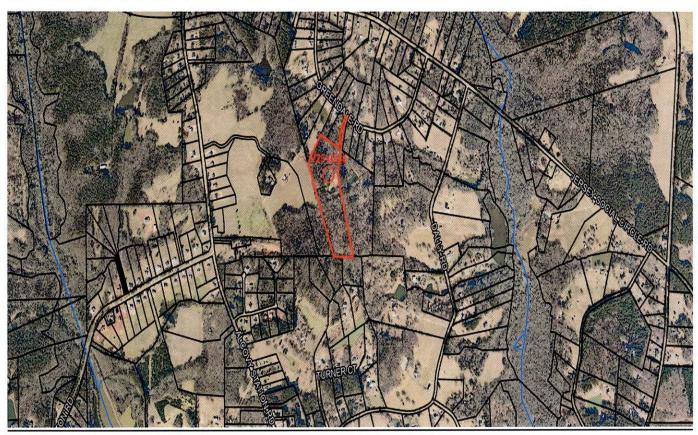
Address: 1465 Greendale Road, Covington, Georgia 30014

Map Number: C0800001

Site Area: Property is 25.65 acres.

Character Area:

District 4: Commissioner – Lee Bradford Board of Appeals – William Malcom Existing Site Conditions: The property consists of 25.65 acres with an existing house.

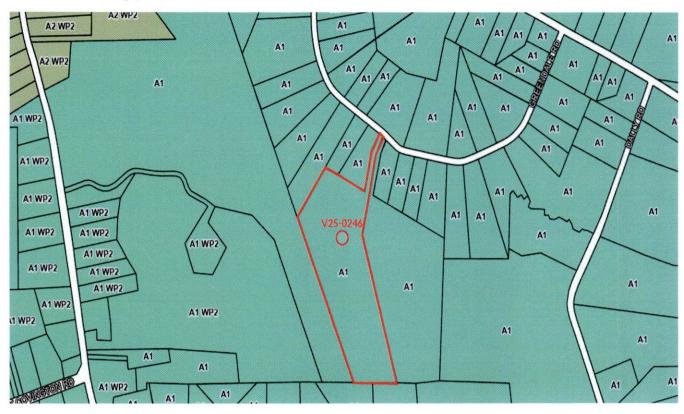


<u>Staff Comments:</u> Per Section 8-2-100.c.3 of the Walton County Land Development Ordinance all lots must have 40' frontage. These 2 lots will be less than 40' therefore the Variance is required.

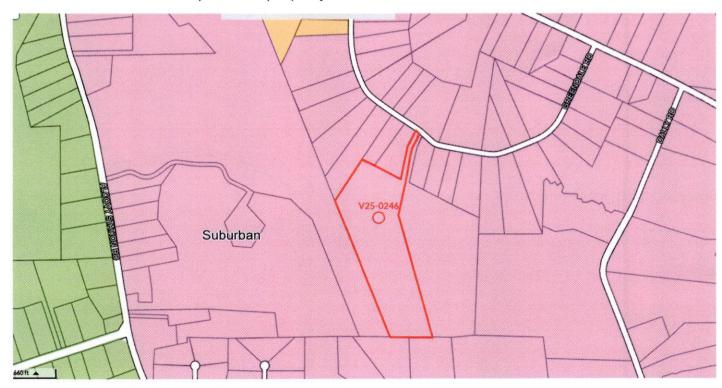
In ruling on any application for a Variance, the Board of Appeals shall act in the best interest of the health, safety, morals, and general welfare of the county. In doing so, the Board of Appeals may grant variances in individual cases of practical difficulty or unnecessary hardship upon a finding that all the following conditions exist:

- 1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.
- 2. The strict application of the Ordinance to this particular piece of property would create practical difficulty or unnecessary hardship; and
- 3. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance.
- 4. No variance may be granted for a use of land or buildings or structure that is prohibited by this Ordinance or to change the density of a use allowed by this ordinance or to grant a development right or standard in conflict with a condition of zoning imposed by the Board of Commissioners.

The surrounding properties are zoned A1 and R1.

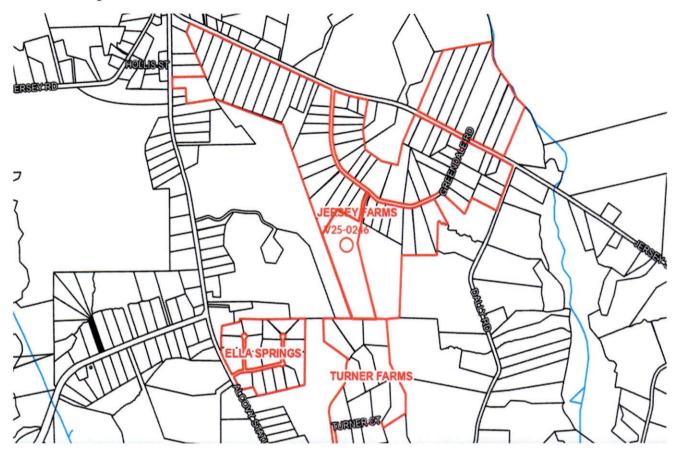


The Future Land Use Map for this property is Suburban.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Walton County Board of Appeals Application ***Please Type or Print Legibly***

Variance/Special Exception/Appeal # $\sqrt{25-D24}$

Board of Appeals Meeting Date <u>2-19-2025</u> at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

| **Drawn by Design Professional |
|---|
| Map/Parcel Commission District: 41 Commission District: 4- Lee Br |
| Applicant Name/Address/Phone # Property Owner Name/Address/Phone Robert SMiller JR Robert SMiller & Robert |
| Public Water: Well: Public Sewer: Septic Tank: The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance. Signature |

AUTHORIZATION BY PROPERTY OWNER

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I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

Name of Applicant:

Robert J. Miller, Jr.

Address:

I465 Greendale Road, Covington CA.

Telephone:

478-972-8168

Location of Property:

1465 GreendaleRoad

Covington Georgia 30014

Map/Parcel Number:

CO800001

Bettine Mullar

Property Owner Signature

Print Name: Robert J. Millers.

Print Name: Betty 3. Miller

Address: 1465 Greendale Rd-Ga. 3014 Address: 1465 Greendale Rd- 30014

Phone #: 678-815-5827

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

Phone #: 678-815-5827

Notary Publi

MARICO Date

RES
RGIA
29.2026

Item 4.4.

