



BOARD OF APPEALS REGULAR MEETING

Tuesday, April 15, 2025 at 6:00 PM

Historic Walton County Courthouse, 111 South Broad Street, Monroe Georgia

Phone: 770-267-1301 | Fax: 770-267-1400

AGENDA

1. MEETING OPENING

- 1.1. Invocation
- 1.2. Roll Call
- 1.3. Prayer
- 1.4. Pledge of Allegiance

2. APPROVAL OF MINUTES

- 2.1. Additions/Deletions

3. OLD BUSINESS

4. NEW BUSINESS

4.1. A25-0069-Appeal to have a 3:12 roof pitch on manufactured home in lieu of the required 5:12-Applicant: Cory Ferguson/Owner: Shirley Ann Ferguson-Property located at Guthrie Cemetery Rd-Map/Parcel C0520083A00-District 3

4.2. SP25-0070-Request to have extension to live in camper while building house-Applicant: Patrick Bentley/Owners: Debra, Patrick & Peyton Bentley-Property located at 1587 Gratis Rd-Map/Parcel N121C002-District 6

4.3. SP25-0075-Request to live in camper while completing addition to the house-Applicant/Owner: Anthony Sheridan-Property located at 5344 Forest Ridge Dr-Map/Parcel N037A012-District 1

4.4. A25-0080-Appeal to have an open-air carport in lieu of required enclosed garage-Applicant: John Taylor Sisk/Owners: John & Mary Joanna Sisk-Property located at 81 Browning Shoals Rd-Map/Parcel C1860014-District 4

- 4.5. V25-0101-Appeal to have an existing guest house and an existing garage apartment in the front yard-Applicant: Craig Cook/Owners: Neil & Steven Schultz-Property located at 4625 Bullock Bridge Rd-Map/Parcel C0590022-District 1**
- 4.6. V25-0113-Variance to reduce rear setback from 15' to 10.2 for an inground pool-Applicant: Sherri McKelvey (Premier Pools & Spas)/Owners: Peter & Tonya Booth-Property located at 2208 Golf View Ct-Map/Parcel N076A281-District 3**
- 4.7. A25-0114-Appeal guidelines for a manufactured home for roof pitch, garage and siding-Applicant: Johnathan Henson/Owner: Global Real Estate Equity Inc-Property located at Hancock Dr-Map/Parcel C1580044-District 4**

5. DISCUSSION

- 6. PUBLIC COMMENT** | *3 Minute Limit Per Speaker. To speak at the meeting please follow the instructions outlined at the end of this Agenda.*

7. ANNOUNCEMENTS

8. EXECUTIVE SESSION

9. ADJOURNMENT

If you are an individual with a disability and require special assistance at this meeting, please contact our office at 770-267-1485 at least 48 hours prior to the meeting and arrangements will be made.



Planning and Development Department Case Information

Case Number: A25-0069

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
Cory Ferguson
4291 Guthrie Cemetery Road
Loganville, Georgia 30052

Owner:
Shirley Ann Ferguson
4291 Guthrie Cemetery Road
Loganville, Georgia 30052

Current Zoning: A2

Request: Appeal Ordinance to have a 3:12 roof pitch on a manufactured home in lieu of the required 5:12.

Address: Guthrie Cemetery Road, Loganville, Georgia 30052

Map Number: C0520083A00

Site Area: Property is 1.94 acres.

Character Area: Neighborhood Residential

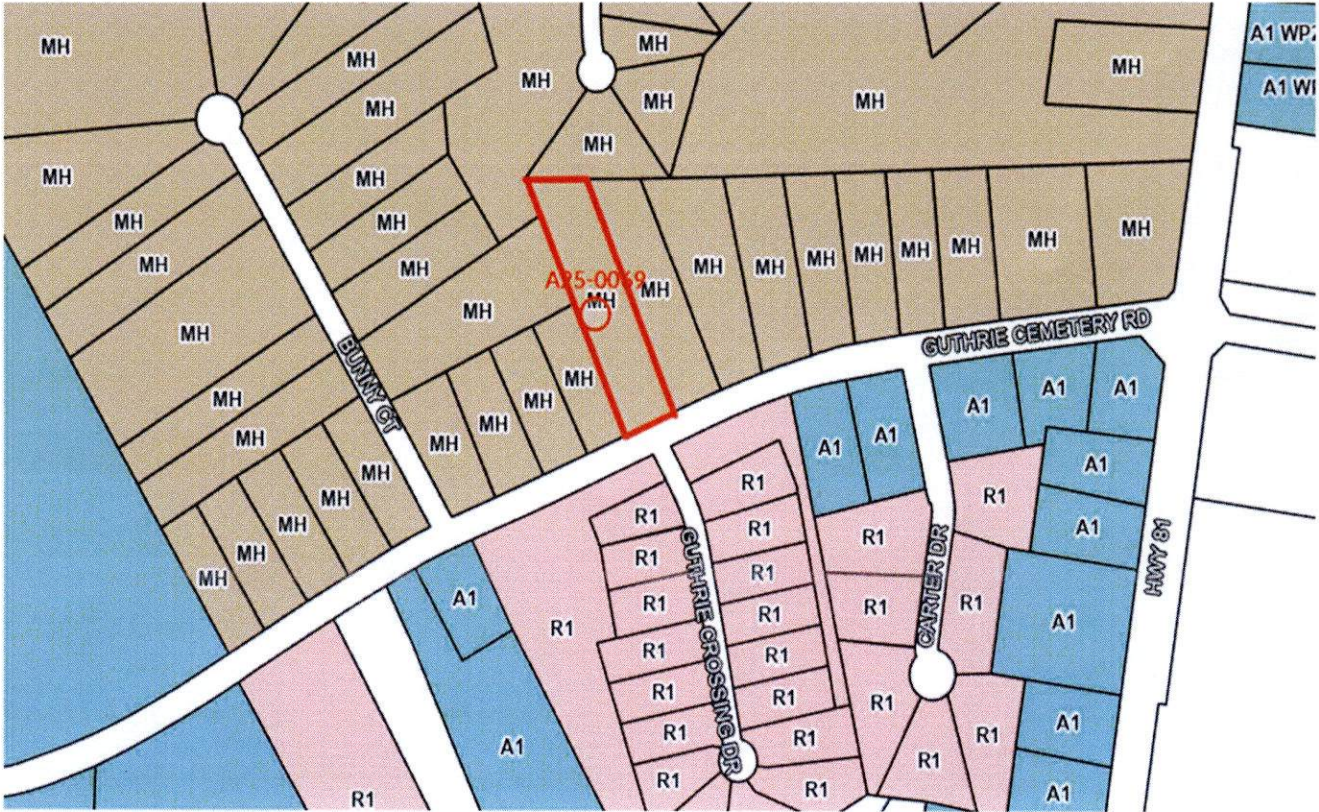
District 3: Commissioner – Timmy Shelnett

Board of Appeals – Henry Kines



Existing Site Conditions: The property consists of 1.94 acres and is vacant.

The surrounding properties are zoned MH (A2) and R1.



The Future Land Use Map for this property is Neighborhood Residential.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Staff Comments:

Manufactured Home (2)

A minimum roof pitch of 5:12, which means having a pitch equal to at least five (5) inches of vertical height for every twelve (12) inches of horizontal run.

Article 3 Part 2 Board of Appeals

Section 100 Duties and Powers of the Board of Appeals

The Board of Appeals shall have the following powers, as well as others significantly authorized in this Ordinance:

A. Appeals

To hear and decide appeals where it is alleged there is an error in any order, requirement, permit, decision, determination or refusal made by an administrative officer in the enforcement of this Ordinance. The Board of appeals shall have additional powers as may be granted to it by any other ordinance, including, but not limited to, determination of appeals from the refusal of an administrative official to issue a license or permit. A failure to act shall not be construed to be an order, requirement or decision within the meaning of this Article.

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # A25-0069

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION

Recorded Deed Survey Plat Site Plan Proof of Paid Property Taxes
**Drawn by Design Professional

Map/Parcel C0520083A00 Zoning District: A2 Commission District: 3-Timmy Shelnett

Applicant Name/Address/Phone # <u>Cory Ferguson</u> <u>4291 Guthrie Cemetery</u> <u>Road, Loganville, GA. 30052</u> Phone # <u>404 217 0969</u> E-mail: <u>+chferg28@yahoo.com</u>	Property Owner Name/Address/Phone <u>Shirley Ann Ferguson</u> <u>4291 Guthrie Cemetery Rd.</u> <u>Loganville, GA. 30052</u> Phone # <u>404-909-9220</u>
Type Request: <input type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input checked="" type="checkbox"/> APPEAL	
Property Location <u>Guthrie Cemetery Road</u> Acreage <u>1.94</u>	
Describe Variance/Special Exception/Appeal: <u>Requesting a 3/12 pitch</u> <u>Roof on a manufactured home - undue hardship.</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review:	
Public Water: <input checked="" type="checkbox"/> Well: <input type="checkbox"/> Public Sewer: <input type="checkbox"/> Septic Tank: <input checked="" type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>Cory Ferguson</u>	Date <u>02/06/25</u> Fee Paid: \$ <u>200.00</u>
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180	
P & D Official: _____	Date: _____
I HEREBY WITHDRAW THE ABOVE APPLICATION	Date _____

**AUTHORIZATION
BY PROPERTY OWNER**

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APPEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

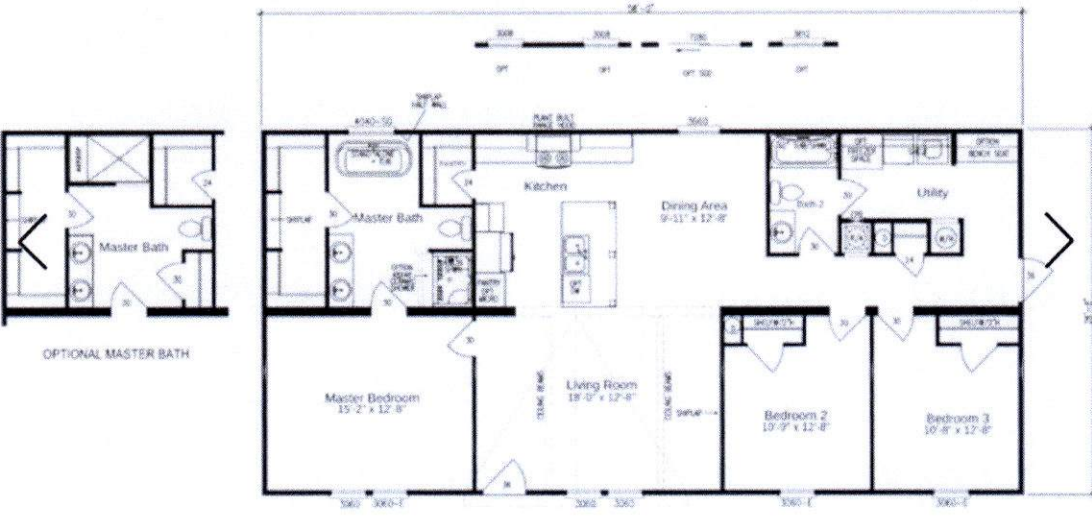
Name of Applicant: Cory Ferguson
Address: 4291 Guthrie Cemetery Rd. - Loganville GA. 30052
Telephone: 404-217-0969
Location of Property: Guthrie Cemetery Rd.
Map/Parcel Number: C0520083A00

Shirley Ferguson _____
Property Owner Signature Property Owner Signature
Print Name: Shirley Ann Ferguson Print Name: _____
Address: 4291 Guthrie Cemetery Rd. Address: _____
Loganville, GA. 30052
Phone #: 404-909-9220 Phone #: _____

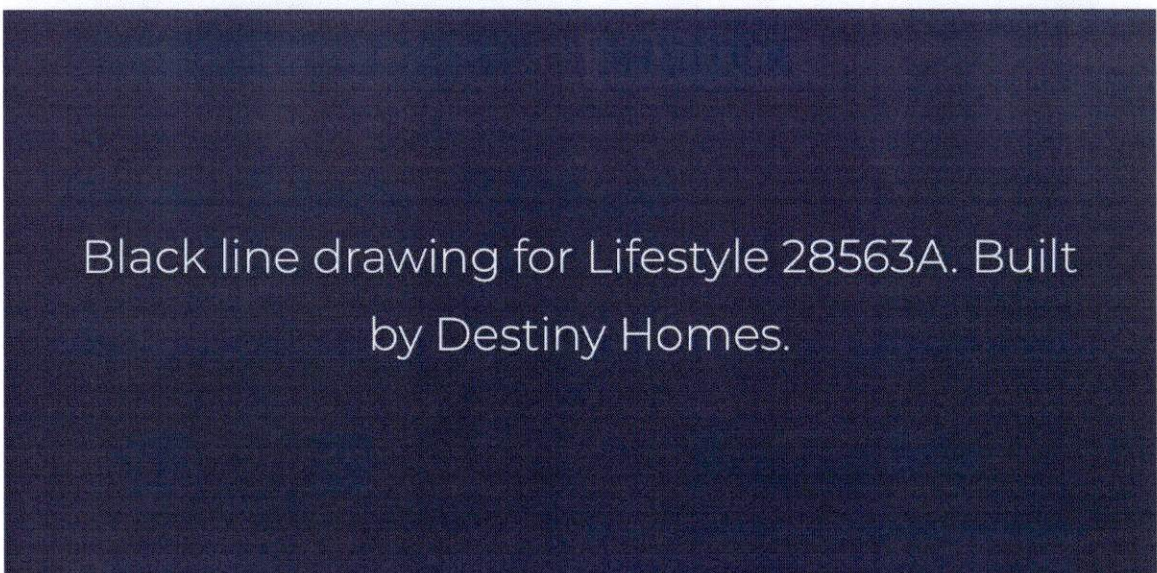
Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

Shirley Ann Ferguson _____
Notary Public Date 2/4/2025





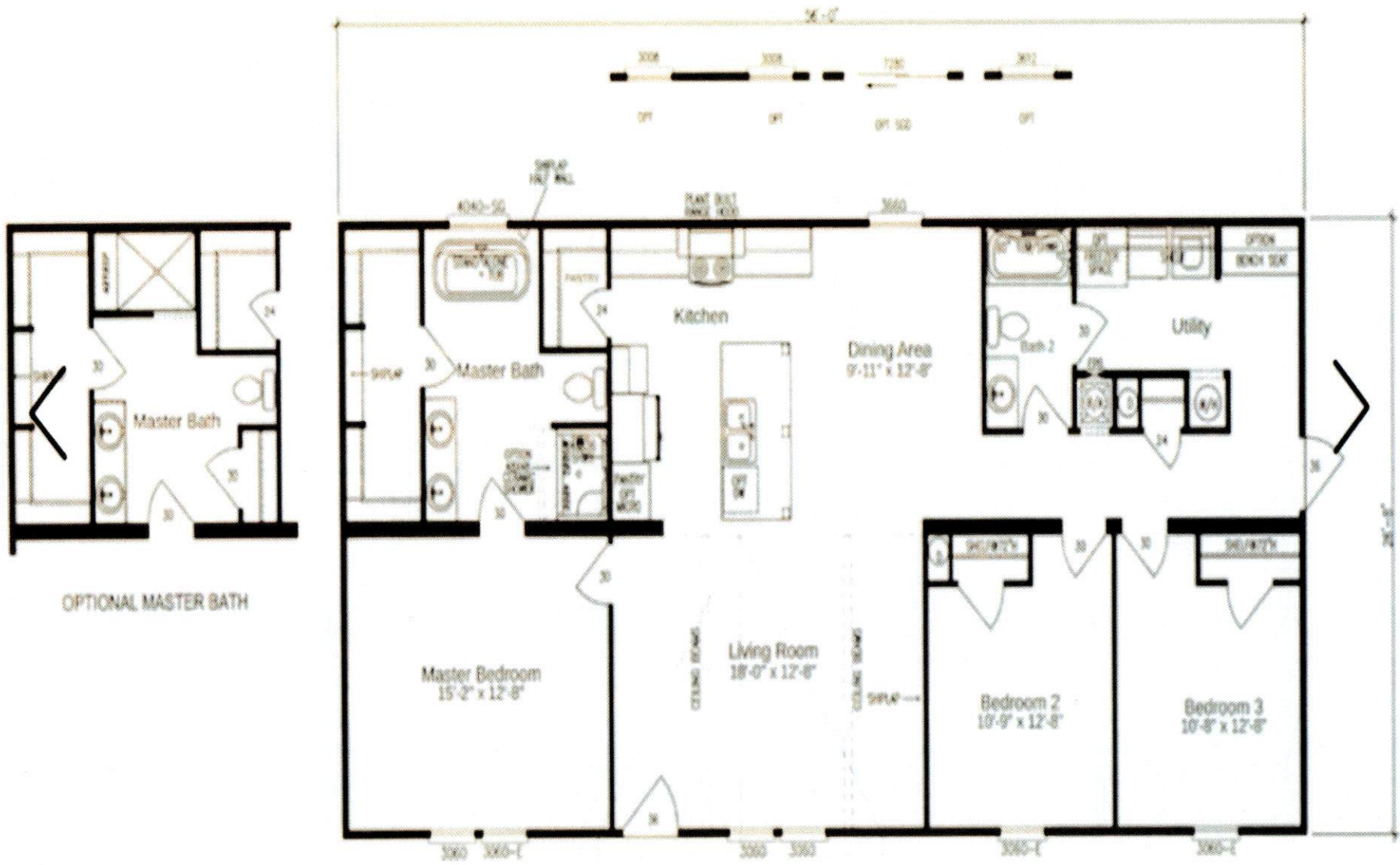
MODEL: 290LY28563A 3 BR. ~ 2 BA.
28'-0" X 56'-0" ~ 1493 SQ. FT.



Black line drawing for Lifestyle 28563A. Built by Destiny Homes.

Navigation icons (three vertical bars) | cavcohomes.com | Refresh icon

Mobile navigation bar with icons for back, forward, home, search, and tabs.



MODEL: 290LY28563A 3 BR. ~ 2 BA.
28'-0 X 56'-0 ~ 1493 SQ. FT.











Planning and Development Department Case Information

Case Number: SP25-0070

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
Patrick Bentley
1587 Gratis Road
Monroe, Georgia 30656

Owner:
Debra, Patrick & Peyton Bentley
1587 Gratis Road
Monroe, Georgia 30656

Current Zoning: A1

Request: Request 2nd extension to live in camper while building their house.

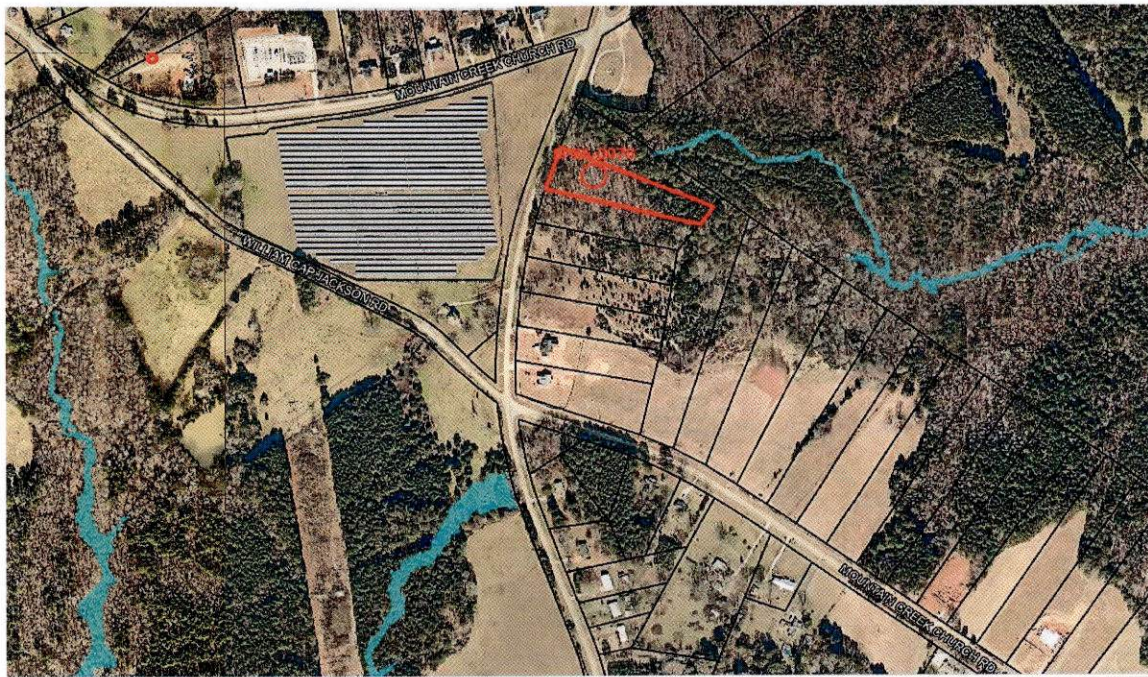
Address: 1587 Gratis Road, Monroe, Georgia 30656

Map Number: N121C002

Site Area: Property is 2.12 acres.

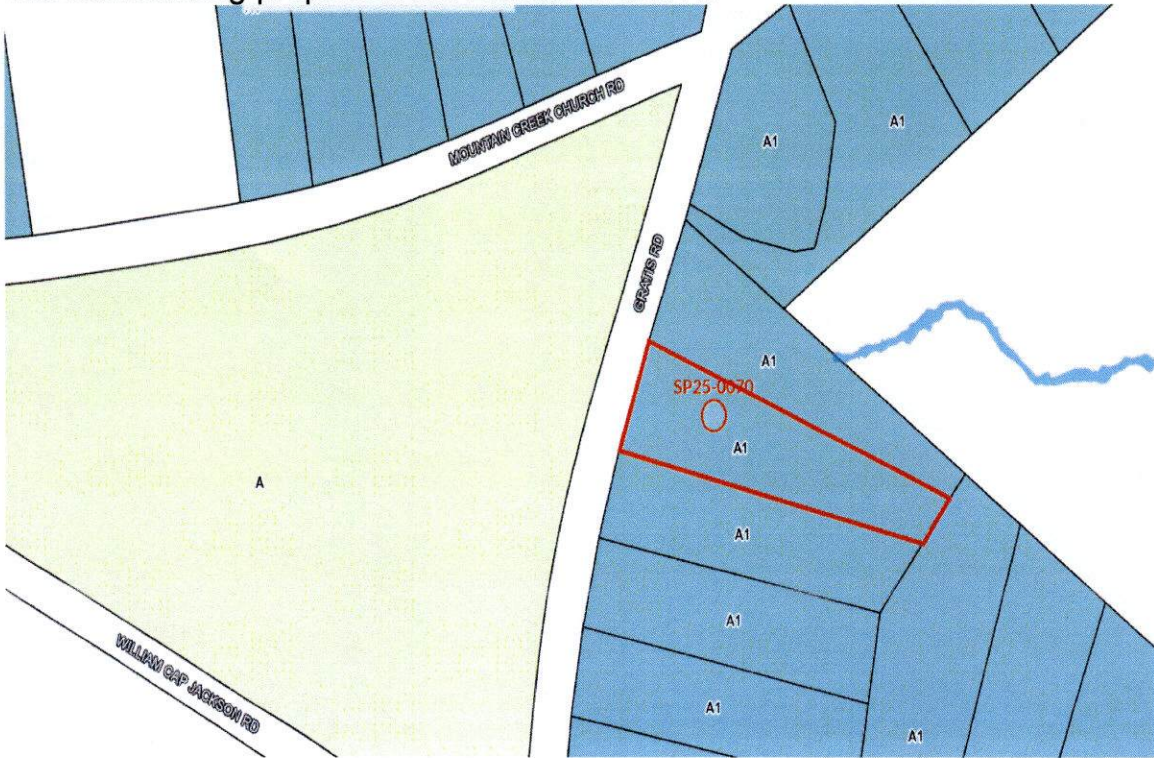
Character Area: Suburban

District 6: Commissioner-Kirklyn Dixon Board of Appeals-Harold Moon, Jr.

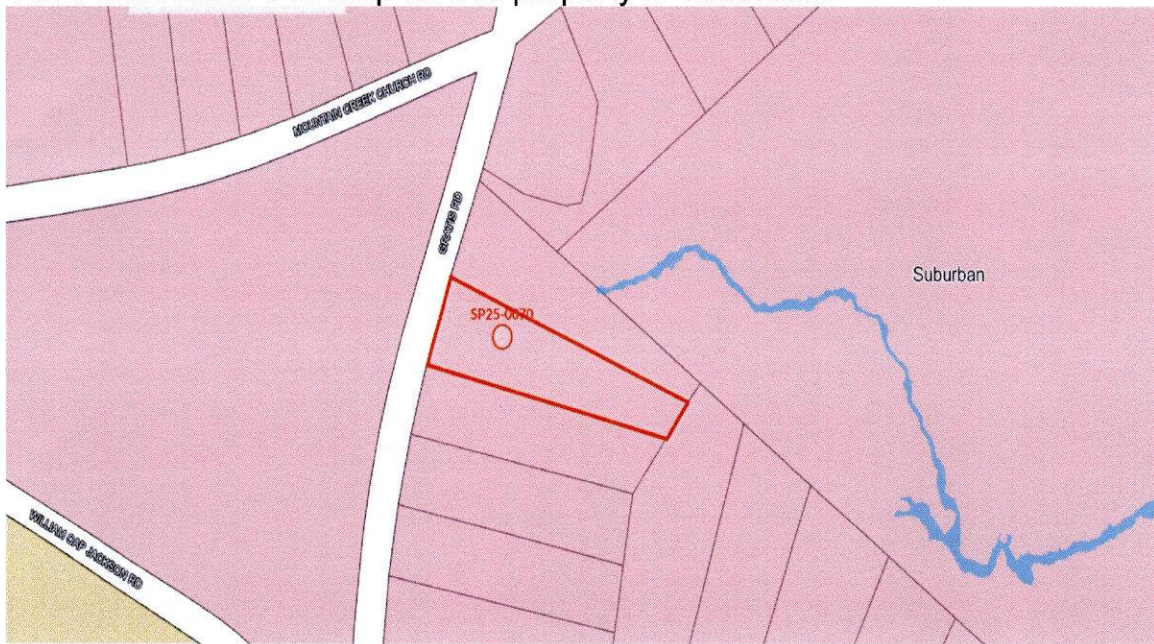


Existing Site Conditions: The property consists of 2.12 acres.

The surrounding properties are zoned A1 and A.



The Future Land Use Map for this property is Suburban.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History:

SP23030023	Patrick & Debra Bentley	Live in camper while house is being built	N121C002 1587 Gratis Road	Approved w/conditions
SP24010004	Patrick & Debra Bentley	Live in camper while house is being built	N121C002 1587 Gratis Road	Approved w/conditions

Conditions were:

1. House permit was purchased August 10, 2022. Applicant came before the Board on May 16, 2023 and was approved to live in the camper for one year. Applicant is requesting another extension.
2. House to be completed one year from renewal of building permit of February 6, 2024.
3. Sixty days from the date of the CO then the camper shall cease to be used as a residence.

Staff Comments:

Article 14 Section 120 Special Exception to Board of Appeals

A. Standards for Review

In ruling on any application for a special exception, the Board of Appeals shall act in the best interest of the health, safety, morals and general welfare of the county. In

doing so the Board of Appeals may grant special exceptions in individual cases upon a finding that all of the following conditions exist:

Request if granted, would not cause substantial detriment to the public good, safety, or impair the purposes and intent of this ordinance.

Request if granted, will not create adverse impact upon adjoining properties by reason of noise, smoke, odor, dust, vibration, hours of operation, activity, parking, visibility or nature of operation of use.

Request if granted, will allow use that is compatible with adjacent properties uses and other property uses in immediate area.

Request if granted, insures that adequate public services, public facilities and utilities are available to serve the special exception use.

Request if granted, insures that the public street on which the special exception use will be located has sufficient traffic carrying capacity and road design so as not to unduly increase traffic and/or create congestion, and/or create traffic hazards in the area.

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # SP25-0070

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION

Recorded Deed Survey Plat Site Plan _____ Proof of Paid Property Taxes
**Drawn by Design Professional

Map/Parcel N121C002 Zoning District: A1 Commission District: 6 - Kirklyn Dixon

Applicant Name/Address/Phone # <u>Patrick Bentley</u> <u>1587 Gratis Road</u> <u>Monroe, Ga 30656</u> Phone # <u>404-940-6160</u> E-mail: <u>rbentley3391@gmail.com</u>	Property Owner Name/Address/Phone <u>Debra & Patrick Bentley & Peyton</u> <u>1587 Gratis Rd.</u> <u>Monroe, GA. 30656</u> Phone # <u>404-940-6160</u>
Type Request: <input type="checkbox"/> VARIANCE <input checked="" type="checkbox"/> SPECIAL EXCEPTION <input type="checkbox"/> APPEAL	Property Location <u>1587 Gratis Rd.</u> Acreage <u>2.12</u>
Describe Variance/Special Exception/Appeal: <u>request extension for living in camper while building house</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review:	
Public Water: <input checked="" type="checkbox"/> Well: _____ Public Sewer: _____ Septic Tank: <input checked="" type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>[Signature]</u> Date <u>2-7-25</u> Fee Paid: \$ <u>200.00</u>	
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180	
P & D Official: _____ Date: _____	
I HEREBY WITHDRAW THE ABOVE APPLICATION _____ Date _____	

RESOLUTION OF NOTICE FROM THE WALTON COUNTY BOARD OF APPEALS

WHEREAS, the petition filed with the Board of Appeals:

- 1. SP24010004- Special Exception for extension to live in camper while building house-Applicants/Owners: Patrick & Debra Bentley-Property located at 1587 Gratis Rd-Map/Parcel N121C002 - District 6**

Special Exception was duly advertised by published notice thereon in the Walton Tribune, by posted notice, and by written mail notice, 30 days prior to the holding of a public hearing as required, and

WHEREAS, by the terms of said notices the public has been notified that the Board of Appeals would proceed to hear and determine the petition filed with said Board, and

WHEREAS, the Board of Appeals conducted a public hearing on said petition on **February 20, 2024**. The Board having listened to evidence both from those in favor of said variance and from those in opposition of said variance hereby order that the petition for a **Special Exception** has hereby been Approved under the provision of the Walton County Land

House permit was purchased August 10, 2022. Applicant came before the Board on May 16, 2023 and was approved to live in the camper for one year. Applicant is requesting another extension.

1. House to be completed one year from renewal of building permit - 2/6/2024
2. Sixty days from the date of the CO then the camper shall cease to be used as a residence. renewed

Development Ordinance adopted December 3, 2002 as amended.

Article 14 Board of Appeals, Section 100 appeals, 110 variances; Section 120 special exception

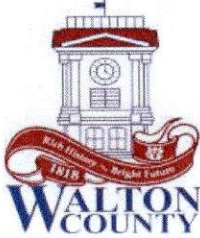
Any person or persons aggrieved by any decision of the board of appeals may petition in the Walton County Superior Court for a writ of certiorari as provided by O.C.G.A. CH. 5-4 within 30 days of the date of the board's decision. Since any decision is subject to this petition, if you proceed with construction using any approval, you will be proceeding at your own risk. In the event no petition is filed within 30 days, such decision will be final.

THIS DECISION RENDERED THE 20th day of February, 2024 WALTON COUNTY BOARD OF APPEALS

Attest: 7/2 This
Chairman, WC Board of Appeals

Date: 2/20/2024

m. al. l. a. n. e.



Planning and Development Department Case Information

Case Number: SP25-0075

Meeting Date: Board of Appeals: 04-15-2025

Applicant/Owner:
Anthony Sheridan
5344 Forest Ridge Drive
Loganville, Georgia 30052

Current Zoning: R1

Request: Request mother to live in camper while completing addition on the house for her to live. Applicant purchased addition permit on September 17, 2024.

Address: 5344 Forest Ridge Drive, Loganville, Georgia 30052

Map Number: N037A012

Site Area: Property is 1.00 acre.

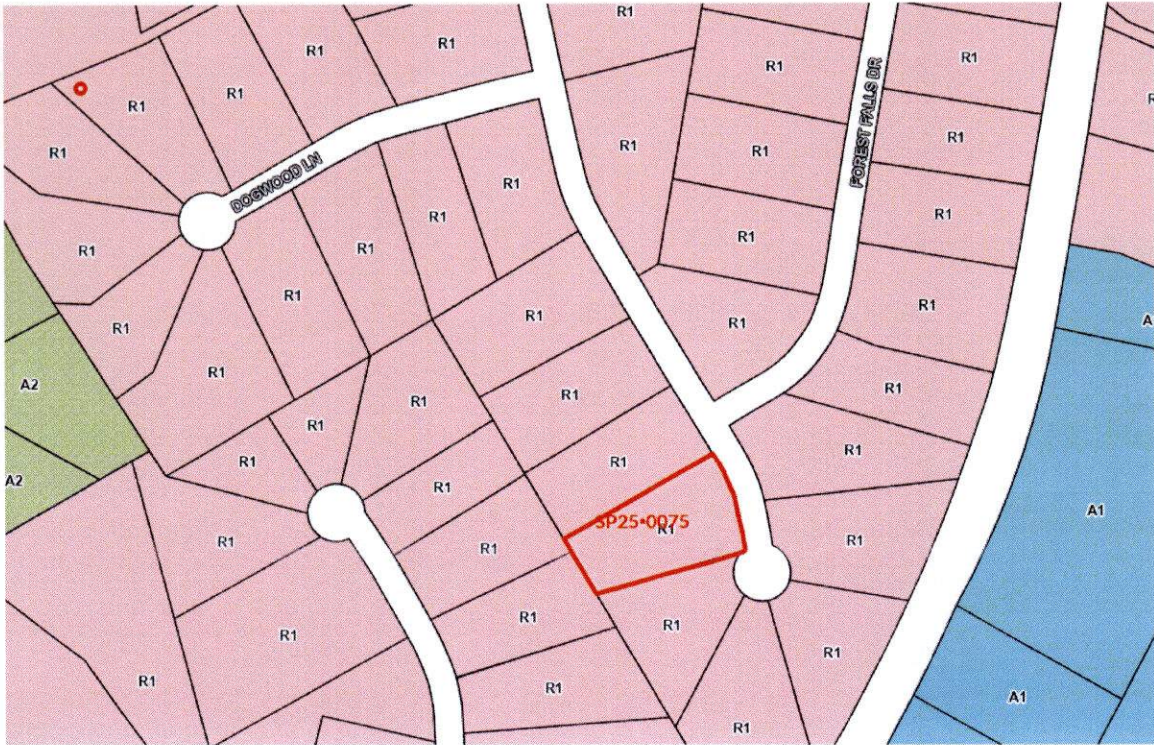
Character Area: Neighborhood Residential

District 1: Commissioner-Bo Warren Board of Appeals-Jim Cleveland



Existing Site Conditions: The property consists of 1.00 acre.

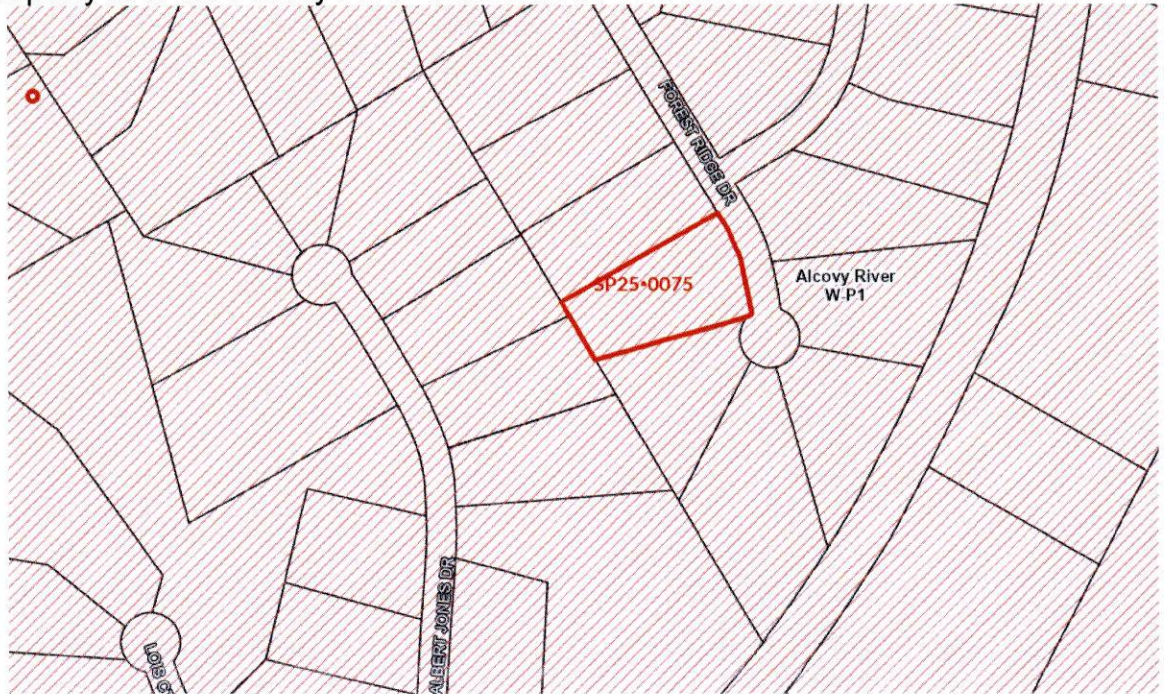
The surrounding properties are zoned R1.



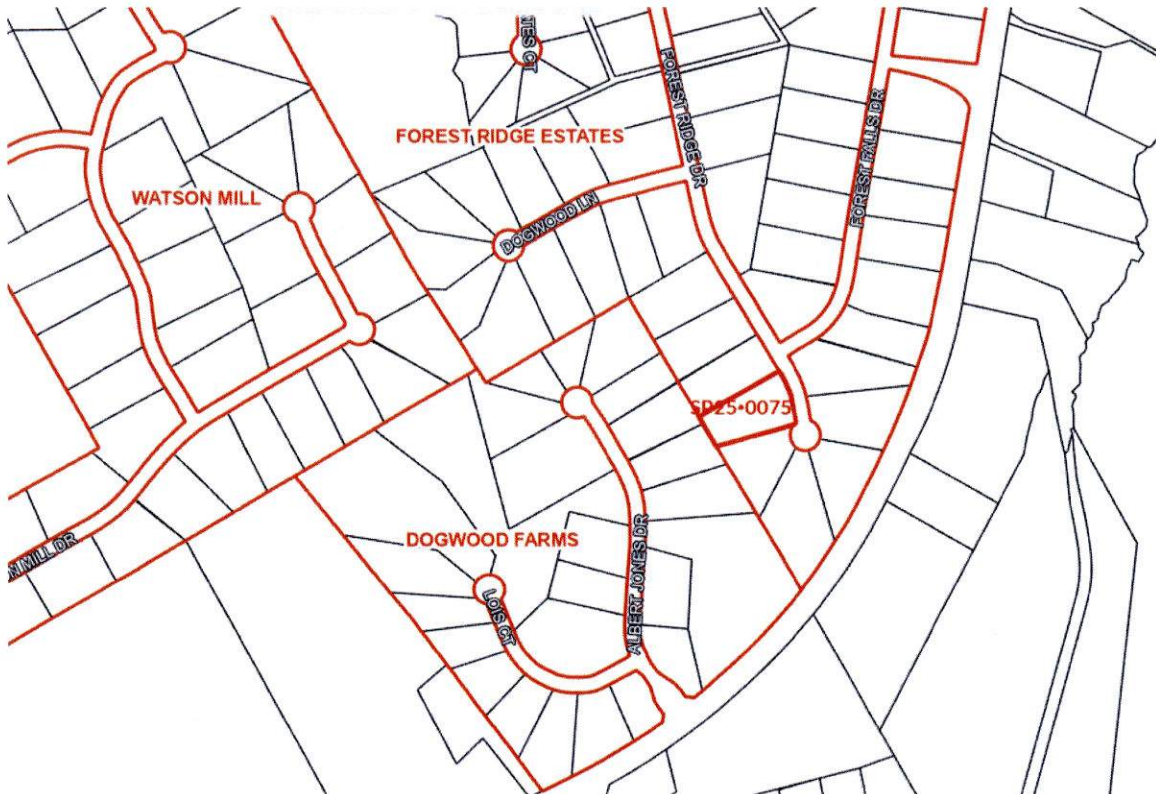
The Future Land Use Map for this property is Neighborhood Residential.



The property is in the Alcovy River Watershed Protection Area.



Surrounding Subdivisions:



History: No History

Staff Comments: If approved – the following conditions are recommended:

- 1. Addition permit was purchased September 17, 2024.**
- 2. Addition to be completed one year from the date of the Addition Permit which is September 17, 2025. If addition is not completed by that date then Applicant will need to check with permitting on the permit and file for an extension to continue living in the camper.**
- 3. Sixty days from the date of the CO then the camper shall cease to be used as a residence.**

Article 14 Section 120 Special Exception to Board of Appeals

A. Standards for Review

In ruling on any application for a special exception, the Board of Appeals shall act in the best interest of the health, safety, morals and general welfare of the county. In doing so the Board of Appeals may grant special exceptions in individual cases upon a finding that all of the following conditions exist:

Request if granted, would not cause substantial detriment to the public good, safety, or impair the purposes and intent of this ordinance.

Request if granted, will not create adverse impact upon adjoining properties by reason of noise, smoke, odor, dust, vibration, hours of operation, activity, parking, visibility or nature of operation of use.

Request if granted, will allow use that is compatible with adjacent properties uses and other property uses in immediate area.

Request if granted, insures that adequate public services, public facilities and utilities are available to serve the special exception use,

Request if granted, insures that the public street on which the special exception use will be located has sufficient traffic carrying capacity and road design so as not to unduly increase traffic and/or create congestion, and/or create traffic hazards in the area.

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # SP25-0075

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed <input checked="" type="checkbox"/>	Survey Plat <input checked="" type="checkbox"/>	Site Plan _____	Proof of Paid Property Taxes <input checked="" type="checkbox"/>
**Drawn by Design Professional			

Map/Parcel N037A012 Zoning District: R1 Commission District: 1 - Bo Warren

Applicant Name/Address/Phone # <u>Anthony Sheridan</u> <u>5344 Forest Ridge Drive</u> <u>Loganville, GA. 30052</u> Phone # <u>770-668-6638</u> E-mail: <u>tsheridan73@yahoo.com</u>	Property Owner Name/Address/Phone <u>Anthony Sheridan</u> <u>5344 Forest Ridge Drive</u> <u>Loganville, GA 30052</u> Phone # <u>770-668-6638</u>
Type Request: <input checked="" type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input type="checkbox"/> APPEAL	
Property Location <u>5344 Forest Ridge Drive</u> <u>Loganville GA</u>	Acreage <u>1.00</u>
Describe Variance/Special Exception/Appeal: <u>mother staying in RV</u> <u>while we add on to my home for</u> <u>her. (See building permit attached)</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review: _____ _____	
Public Water: <input checked="" type="checkbox"/> Well: _____ Public Sewer: _____ Septic Tank: <input checked="" type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>Andy Sheridan</u>	Date <u>2-11-25</u> Fee Paid: \$ <u>200.00</u>
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180	
P & D Official: _____	Date: _____
I HEREBY WITHDRAW THE ABOVE APPLICATION	Date _____



Walton County

126 Court Street, Annex 1, Monroe, Walton County, Georgia 30655
Phone: 7702671485

Building Permit
Permit #: 24-0089

Permit Type : Residential - Addition

Parcel: N037A012
Description of Work: ADDITION/ 1STRY/ 1BD/ 1BATH/ 1-OTR/
795HTDSQFT

Date Applied: September 17, 2024
Permit Address: 5344 FOREST RIDGE DR

Owner Info: SHERIDAN ANTHONY 5344 FOREST RIDGE DR LOGANVILLE, GA 30052	Owner Phone: 770-668-6638 Owner Email: TSHERIDAN@YAHOO.COM
Applicant Info: SHERIDAN ANTHONY 5344 FOREST RIDGE DR LOGANVILLE, GA 30052	Applicant Phone: 770-668-6638 Applicant Email: TSHERIDAN@YAHOO.COM
Contractor: SHERIDAN ANTHONY 5344 FOREST RIDGE DR LOGANVILLE, GA 30052	Contractor Phone: 770-668-6638 Contractor Email: TSHERIDAN@YAHOO.COM

Associated Fees:

Date	Description	Paid Date	Amount	Paid	Balance
September 17, 2024	Residential - Addition (ADD)		\$199.00		
	TOTAL: Permit Fees		\$199.00		\$199.00
	Check 105 ADDITION PERMIT	September 17, 2024		\$199.00	\$0.00

Cheryl Willard

Cheryl Willard
Permit Tech



Planning and Development Department Case Information

Case Number: A25-0080

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
John Taylor Sisk
1810 Alcovy Mountain Road
Monroe, Georgia 30655

Owner:
John Taylor & Mary Joanna Sisk
1810 Alcovy Mountain Road
Monroe, Georgia 30655

Current Zoning: A1

Request: Appeal Ordinance to have an open-air carport due to the architectural design of the home in lieu of the required enclosed garage.

Address: 81 Browning Shoals Road, Social Circle, Georgia 30025

Map Number: C1860014

Site Area: Property is 8.37 acres.

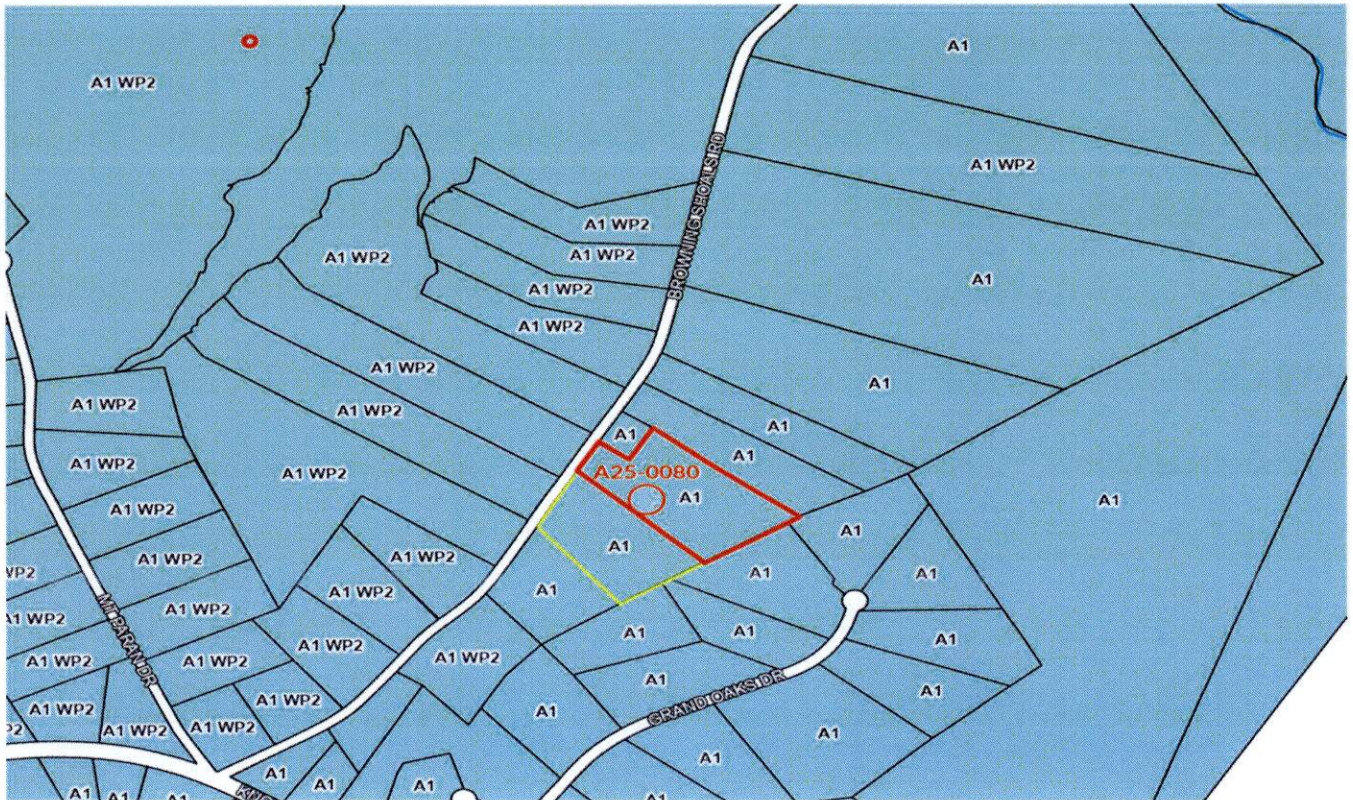
Character Area: Conservation

District 4: Commissioner – Lee Bradford Board of Appeals – William Malcom



Existing Site Conditions: The property consists of 8.37 acres and is vacant.

The surrounding properties are zoned A1.

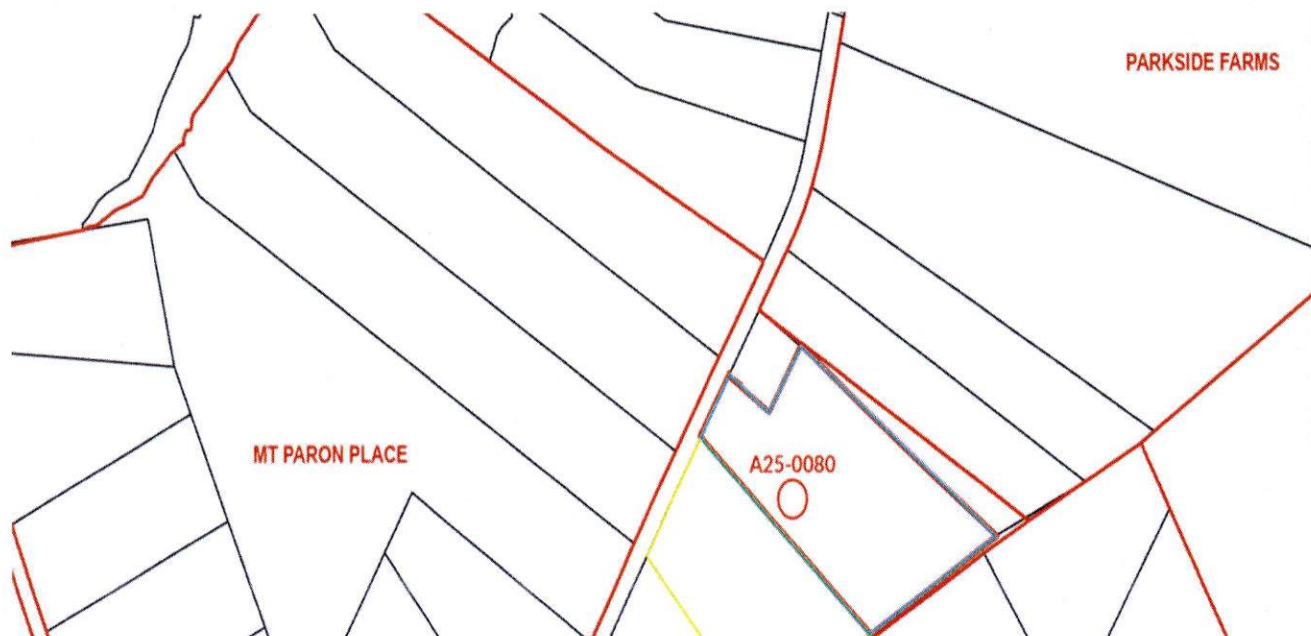


The Future Land Use Map for this property is Conservation.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Staff Comments:

Section 120 Rural Estate District (A1)

- m. The dwelling shall include an attached or detached, enclosed two-car garage having a minimum 5:12 roof pitch.

Article 3 Part 2 Board of Appeals

Section 100 Duties and Powers of the Board of Appeals

The Board of Appeals shall have the following powers, as well as others significantly authorized in this Ordinance:

A. Appeals

To hear and decide appeals where it is alleged there is an error in any order, requirement,

permit, decision, determination or refusal made by an administrative officer in the enforcement of this Ordinance. The Board of appeals shall have additional powers as may be granted to it by any other ordinance, including, but not limited to, determination of appeals from the refusal of an administrative official to issue a license or permit. A failure to act shall not be construed to be an order, requirement or decision within the meaning of this Article.

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # A25-0080

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed	<input checked="" type="checkbox"/>	Survey Plat	<input checked="" type="checkbox"/>
Site Plan	<input type="checkbox"/>	Proof of Paid Property Taxes	<input checked="" type="checkbox"/>
**Drawn by Design Professional			

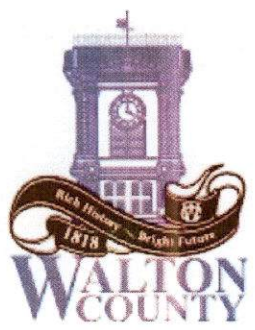
Map/Parcel C1860014 Zoning District: A1 Commission District 4-Lee Bradford

Applicant Name/Address/Phone #	Property Owner Name/Address/Phone
<u>John Taylor Sisk</u> <u>1810 Alcouly Mtn. RD</u> <u>MONROE, GA 30655</u> Phone # <u>770-780-8169</u> E-mail: <u>taylor@brownoilcompany.com</u>	<u>John Taylor Sisk & Mary Joanna Sisk</u> <u>1810 Alcouly Mtn. RD</u> <u>MONROE, GA 30655</u> Phone # <u>770-780-8169</u>
Type Request: <input type="checkbox"/> VARIANCE <input checked="" type="checkbox"/> SPECIAL EXCEPTION <input checked="" type="checkbox"/> APPEAL	
Property Location <u>81 Browning Shoals RD. Social Circle 30025</u>	Acreage <u>8.37</u>
* Describe Variance/Special Exception/Appeal: <u>Letter -</u> <u>To have an open air carport which will</u> <u>match the home.</u>	
* State Reason for request and how these reasons satisfy Article 14 Standards of Review: <u>Letter - See attached</u>	
Public Water: <input type="checkbox"/> Well: <input checked="" type="checkbox"/> Public Sewer: <input type="checkbox"/> Septic Tank: <input checked="" type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>John Sisk</u>	Date <u>2/10/2025</u> Fee Paid: \$ <u>200.00</u>
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180	
P & D Official: _____	Date: _____
I HEREBY WITHDRAW THE ABOVE APPLICATION	Date _____

*

*

*



Walton County

126 Court Street, Annex 1, Monroe, Walton County, Georgia 30655
Phone: 7702671485

INSPECTION CARD

Permit #: 25-0141

Permit Type : Residential - Single Family Dwelling

SetBacks: Front: 50 Rear: 40 Right: 15 Left: 15

Address: 0 BROWNING SHOALS RD

Property:

Owner: JOHN TAYLOR SISK

Description of Work: 2STRY/ 4BEDRM/2.5BATH/ 4-OTR /
1751FSTFL/ 782SECFL/ 2533HEATSQFT/ 1MASONRY
FIREPLACE/ SLAB

Expiration Date: February 6, 2026
Contractor: JOHN TAYLOR SISK

Please provide the above information for inspections. A minimum 48 hrs. notice required for inspections.

INSPECTOR MUST SIGN APPROPRIATE PLACE.

Building Inspection	Inspector Signature	Comment
Culvert		
E&S		
Pslab		
Eslab		
Slab		
Basement Wall		
Monoslab		
Footing		
Temporary Power Pole		
Rough Electrical		
Rough Plumbing		
Rough Mechanical		
Rough Gas		
Combination Roughs		
Framing		
Final Gas		
Perm Power		
Final Drive		
Site		
FINAL SEPTIC		
ENERGY CODE		
Final		
Recorded Deed/Plat		
Elevation Certificated before roughs		

Final inspections to be signed on front of card to close out the inspection. Partial and preliminary inspections to be documented on the back of this card. Attach pre-construction third-party inspection agreement to this card.

DO NOT OCCUPY PRIOR TO FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY THIS CARD & PLANS MUST BE ACCESSIBLE DURING ALL INSPECTIONS

House Plan Zone, LLC.

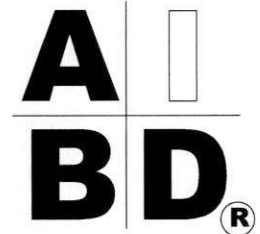


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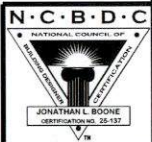
STANDARD ABBREVIATIONS

APPRX	APPROXIMATELY	LY	LIGHT
BASE	BASEMENT	LIN	LINEN
B/T	BETWEEN	MANUF	MANUFACTURER
BLK	BLOCK	MAS	MASONRY
BLKD	BLOCKING	MAX	MAXIMUM
BD	BOARD	MFL	METAL
BDT	BOTTOM	MIN	MINIMUM
BLD	BUILDING	N.T.C.	NOT IN CONTRACT
<hr/>			
ZAB	CABINET	O.C.	ON CENTER
CLS	CEILING	O/C	ON CENTER
CLM	CLEM	O.P.	OPTIONAL
CLOS	CLOSET	O.S.B.	ORIENTED STRAND BOARD
COL	COLUMN	O/S	OWNER TO SELECT
COLS	COLUMNS	O/S	OWNER TO SELECT
CONG	CONCRETE	PG	PAGE
CMU	CONCRETE MASONRY UNIT	PAN	PANTRY
C.U.	CONDENSOR UNIT	PL	PLATE
CONN	CONNECTION	P	PLATE
CONT	CONTINUOUS	PLYWD	PLYWOOD
COVERG	COVERING	POLY	POLYETHYLENE
CS	CRAWL SPACE	PBS	POUNDS PER SQUARE INCH
<hr/>			
DEC	DECORATIVE	REF	REFERENCE
DET	DETAIL	REF	REFRIGERATOR
DIA	DIAMETER	RENF	REINFORCED
DIM	DIMENSION	R	RIFLE
DL	DOUBLE	R.A.	RETURN AIR
DF	DUALS FIR	R.G.	RIFLE GRILLE
D	DRYER	REQD	REQUIRED
<hr/>			
EACH	EACH	SCR	SCREEN
ELEV	ELEVATION	SHLV	SHELVES
ENG	ENGINEER	SHR	SHOWER
<hr/>			
FEET	FEET	SSP	SIMPSON STRONG TIE
FFL	FINISHED FLOOR LINE	SST	SOUTHERN SURE
FIN	FINISH	SPCS	SPECIFICATIONS
F.C.	FIRE CODE	SQ	SQUARE
FR	FLOOR	SQF	SQUARE FOOTAGE
FTG	FOOTING	STL	STEEL
FOUND	FOUNDATION	THK	THICK
FND	FOUNDATION	THS	THICKNESS
FR	FREEZER	TO	TO BE DETERMINED
<hr/>			
GA	GAUGE	TR	TRANSOM
GANV	GALVANNEED	TYP	TYPICAL
GYS	GYSIUM	U/G	UNDER THE COUNTER
<hr/>			
HDR	HEADER	UTL	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN	VANITY
HT	HEIGHT	VERT	VERTICAL
HTS	HEIGHTS	<hr/>	
HORIZ	HORIZONTAL	RH	RATHER HEATER
<hr/>			
IN	INCHES	PL	PLASTER
INCL	INCLUDES	PL	PLEIGHT
INSUL	INSULATION	PKN	PANES
<hr/>			
JOINT	JOINT	P/M	PURE MESH
JOBT	JOIST	PI	PITCH
JOBS	JOISTS	PD	POOD
<hr/>			
KT	KITCHEN	YOOD	WOOD FRAME
<hr/>			
LIN	LINEN	CONSTR	CONSTRUCTION MANUAL



SHEET INDEX:

- 1 COVER SHEET
- 2 FOUNDATION PLAN
- 3 FLOOR PLANS
- 4 EXTERIOR VIEWS
- 5 EXTERIOR VIEWS
- 6 ROOF PLAN
- 7 SECTION & CABINETS
- 8 ELECTRICAL PLANS
- 9 OPTIONAL CARPORT PLAN



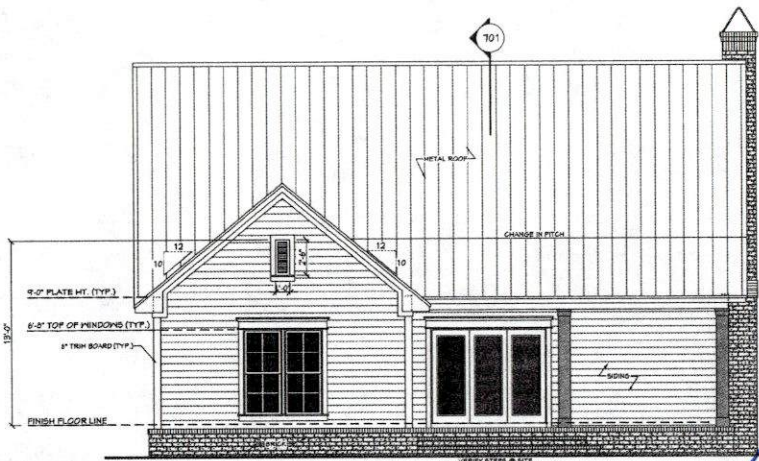
Date: 06.02.19
 Drawn By: J.A.B.

SHEET NUMBER

1

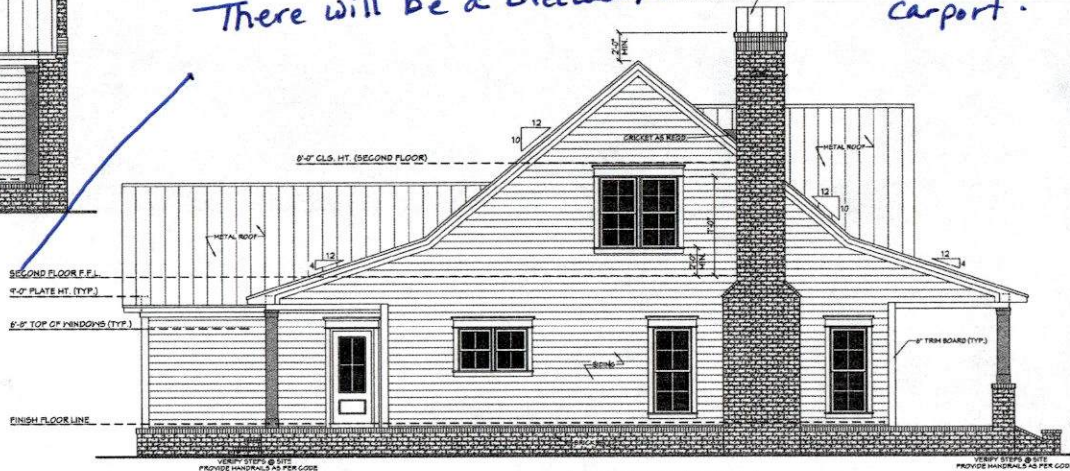
CODE DISCLAIMER:
 1. THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
 3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
 4. ALL FOUNDATIONS AND FOOTINGS DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
 5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

BB-2533



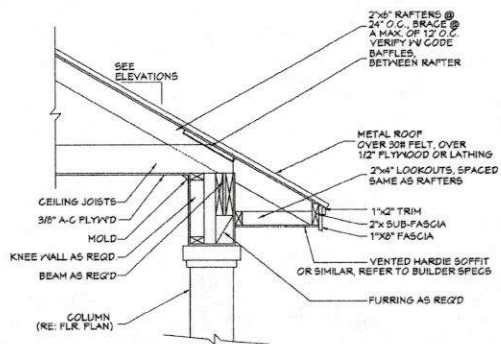
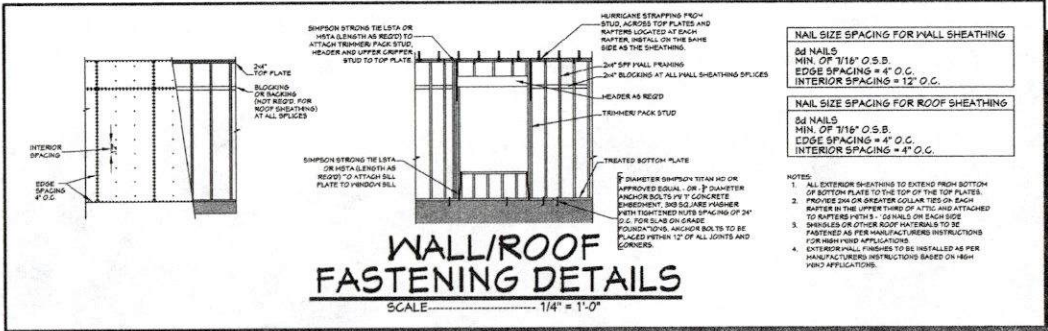
501 REAR VIEW
SCALE 1/4" = 1'-0"

There will be a breezeway to attach to open air carport.



502 LEFT VIEW
SCALE 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:
 1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
 5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



503 PORCH CORNICE DETAIL
SCALE 3/4" = 1'-0"

NOTE: CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.



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 Phone: 601.536.3254
 Fax: 1.800.574.1387



Pre-Drawn Plan ID: BB-2533

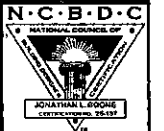
House Plan Zone, LLC has conducted field and office inspections of these plans and the construction of these construction documents. It is not intended to be a substitute for a professional engineer or architect. The user of these plans is responsible for obtaining all necessary permits and for the proper application of these plans. It is granted in full and is not intended to be a substitute for a professional engineer or architect.

Date: 08.02.19
 Drawn By: J.A.B.

SHEET NUMBER
5



Website:
www.HPZplans.com
Email:
sales@hpzplans.com
Phone:
601.336.3254
Fax:
1.800.574.1987

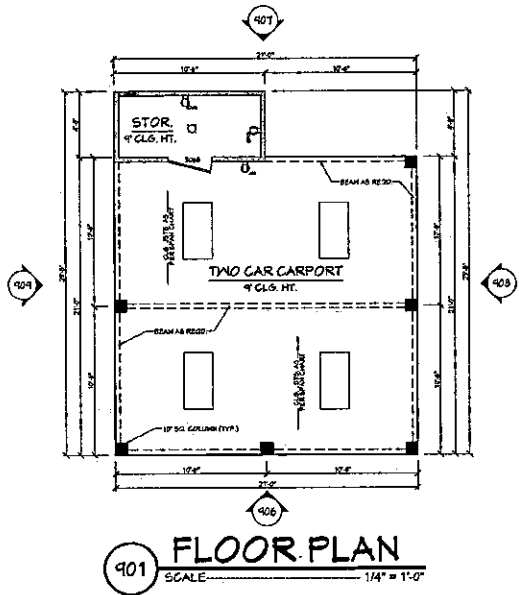


Pre-Drawn Plan ID:
BB-2533

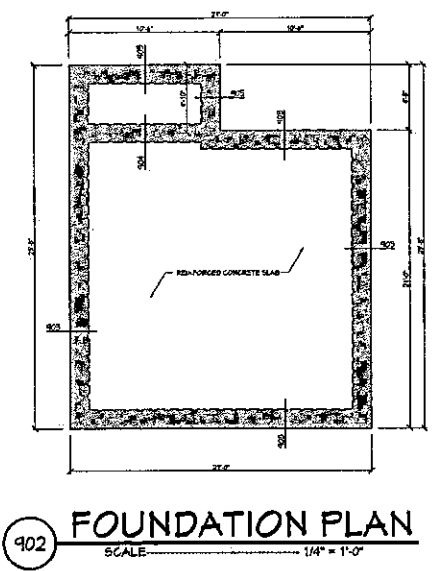
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Date:
06.02.19
Drawn By:
J.A.B.

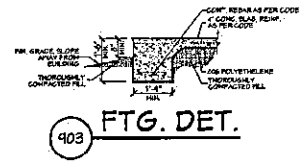
SHEET NUMBER
9



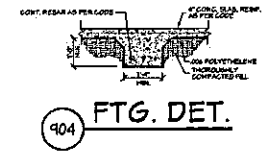
901 FLOOR PLAN
SCALE: 1/4" = 1'-0"



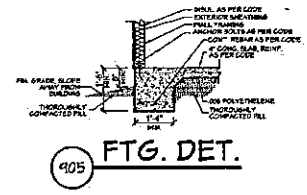
902 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



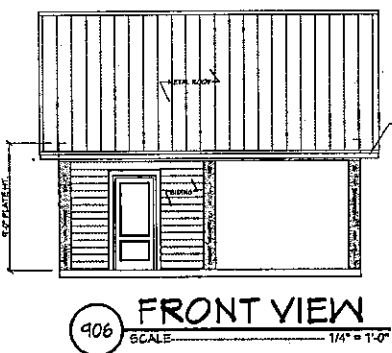
903 FTG. DET.



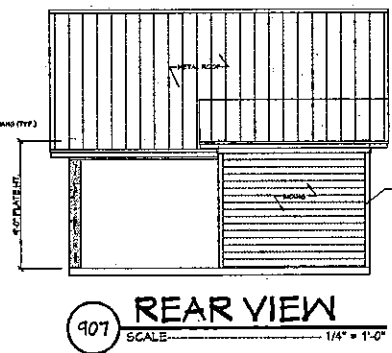
904 FTG. DET.



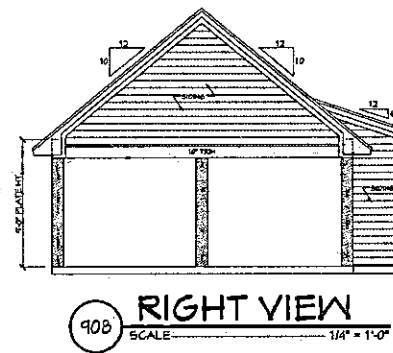
905 FTG. DET.



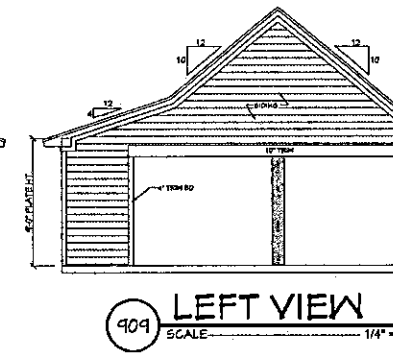
906 FRONT VIEW
SCALE: 1/4" = 1'-0"



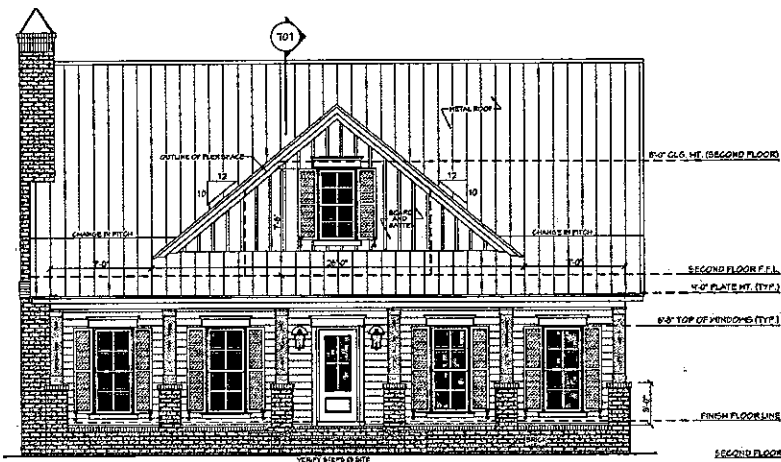
907 REAR VIEW
SCALE: 1/4" = 1'-0"



908 RIGHT VIEW
SCALE: 1/4" = 1'-0"



909 LEFT VIEW
SCALE: 1/4" = 1'-0"

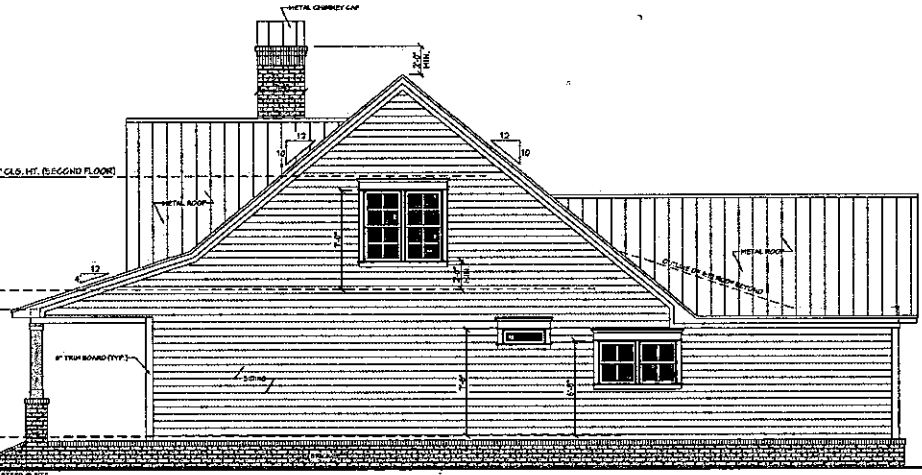


FRONT VIEW

SCALE 1/4" = 1'-0"

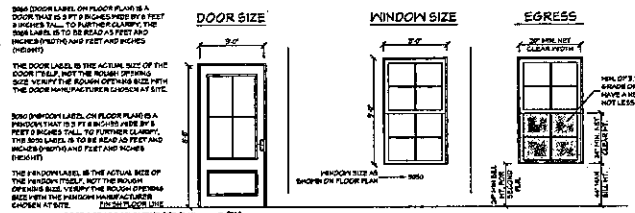
EXTERIOR ELEVATION NOTES:

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6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



RIGHT VIEW

SCALE 1/4" = 1'-0"



OPENING SIZES/ EGRESS

SCALE 1/2" = 1'-0"

R310.1 Means of egress. Obstacles shall be provided with a height of egress to accommodate with the traffic. The use of egress shall provide a continuous and unobstructed path of vertical and horizontal egress from all portions of the dwelling to the required egress door without passing through any opening. The required egress door shall open directly into a public way to a level of egress not above a public way.

R310.2.1 Minimum opening width. Emergency and escape doors in egress situations shall have a minimum clear opening width of not less than 32 inches (813 mm) measured between vertical surfaces.

R310.2.2 Minimum opening height. Emergency and escape doors in egress situations shall have a minimum clear opening height of not less than 78 inches (1980 mm) measured between horizontal surfaces.

R310.2.3 Minimum width. The horizontal size of the entrance shall be not less than 36 inches (914 mm) with a horizontal projection and shall not be less than 36 inches (914 mm). The area of the entrance shall be fully opened. This shall not apply to egress doors.

R310.2.4 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.5 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.6 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.7 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.8 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.9 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.10 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.11 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.12 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.13 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.14 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.15 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

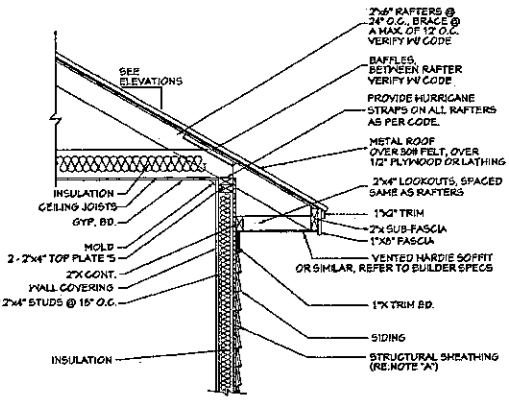
R310.2.16 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.17 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.18 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.19 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

R310.2.20 Egress door. Egress doors shall be fully opened. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device. The door shall be equipped with a self-closing device.

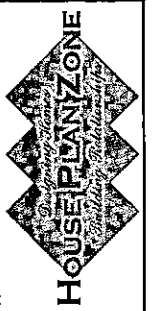


NOTE 'A': PROVIDE A MINIMUM OF 2x6 STRUCTURAL MOOD PANEL, ATTACHED W/ 88 COMMON OR 100 BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.

NOTE 'B': GORGE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

TYP. CORNICE DETAIL

SCALE 3/4" = 1'-0"



Website:
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Email:
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Phone:
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Fax:
1.800.574.1387



Pre-Drawn Plan ID:
BB-2533

Date: 08.02.19
Drawn By: J.A.B.

SHEET NUMBER

4

John Taylor Sisk
Browning Shoals Road
Social Circle, GA 30025

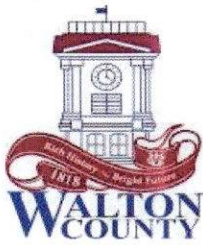
February 10, 2025

Dear Walton County Board of Appeals,

I am writing to you to ask for your consideration in granting me approval for a variance at Browning Shoals Road (Parcel C1860014). Please review the attached elevations of the home that I am planning to build at said property. I am building a 30' by 40' custom stick built barn with lean to's on each side. This barn will be very detailed with a Standing seam black metal roof and custom rough cut pine siding that was removed from the property. The barn will be used for storage of boats, atv's, tractors, lawn mowers, Christmas décor, storage etc etc. The style of home that my wife and I are trying to achieve call's for a open carport, with a gable roof to match the house. The carport will be attached to the home with a breezeway. All gables will have matching Hardie shake just like the gables on the home. The carport posts will be bricked up approximately 3 feet to match the columns on the house, front and rear. Construction of the carport will be identical to the house in all of its finishes and completely attached to the home via breezeway. I hope that the elevations provided answer all of your questions about the aesthetics that we are trying to achieve and I hope that you will give your utmost consideration in granting me this variance.

Sincerely,

John Taylor Sisk



Planning and Development Department Case Information Case Number: V25-0101

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
Craig Cook
4625 Bullock Bridge Road
Loganville, Georgia 30052

Owner:
Neil & Steven Schultz
4625 Bullock Bridge Road
Loganville, Georgia 30052

Current Zoning: A1

Request: Variance to have an existing guest house and an existing garage apartment in the front yard.

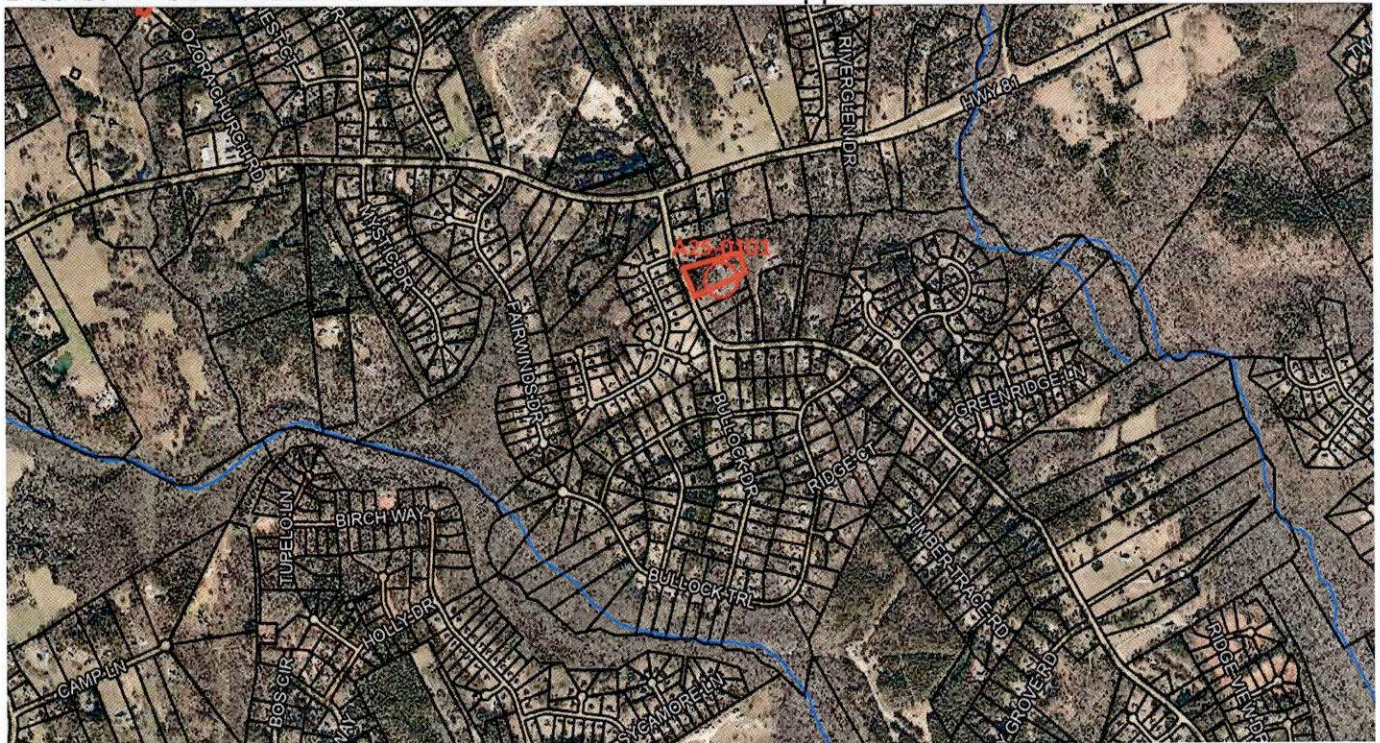
Address: 4625 Bullock Bridge Road, Loganville, Georgia 30052

Map Number: C0590022

Site Area: Property is 3.10 acres.

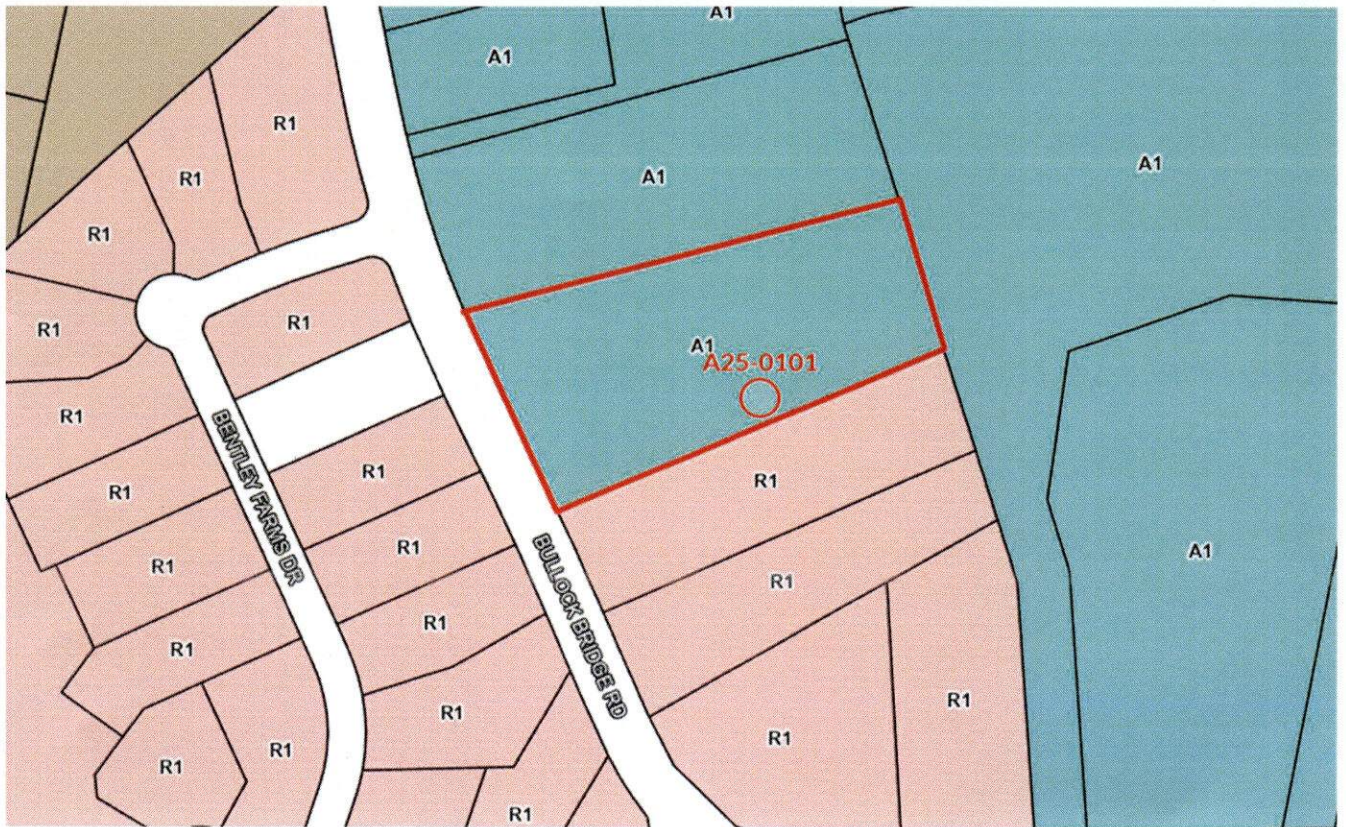
Character Area: Suburban

District 1: Commissioner – Bo Warren Board of Appeals – Jim Cleveland



Existing Site Conditions: The property consists of 3.10 acres.

The surrounding properties are zoned A1 & R1.



The Future Land Use Map for this property is Suburban.



The property is in the Alcovy Ricer Watershed Protection Area.



Surrounding Subdivisions:



History: No History

Staff Comments:

Part 2 Accessory Uses

Section 100 General Standards

A. All accessory buildings, structures, and uses of land, including off-street parking, shall be located on the same lot as the principal building(s) to which they are accessory.

1. All accessory buildings or structures shall be located in the rear yard or in the side yard behind the front yard setback line. Excluded are tracts of land 5 acres or greater, whereas accessory uses shall not be located in the minimum required front yard setback.

Article 3 Part 2 Board of Appeals

Section 100 Duties and Powers of the Board of Appeals

The Board of Appeals shall have the following powers, as well as others significantly authorized in this Ordinance:

A. Appeals

To hear and decide appeals where it is alleged there is an error in any order, requirement, permit, decision, determination or refusal made by an administrative officer in the enforcement of this Ordinance. The Board of appeals shall have additional powers as may be granted to it by any other ordinance, including, but not limited to, determination of appeals from the refusal of an administrative official to issue a license or permit. A failure to act shall not be construed to be an order, requirement or decision within the meaning of this Article.

#1

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # A25-0101

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed <input checked="" type="checkbox"/>	Survey Plat <input checked="" type="checkbox"/>	Site Plan <input checked="" type="checkbox"/>	Proof of Paid Property Taxes <input checked="" type="checkbox"/>
**Drawn by Design Professional			

Map/Parcel C059 0022 Zoning District: A1 Commission District: 1- Bo Warren

Applicant Name/Address/Phone # <u>Craig Cook</u> <u>4625 Bullock Bridge Rd</u> <u>Loganville, GA. 30052</u> Phone # <u>404-550-0132</u> E-mail: <u>craigalee2@gmail.com</u>	Property Owner Name/Address/Phone <u>Neil M. J Steven P. Schultz</u> <u>4625 Bullock Bridge Rd.</u> <u>Loganville, GA. 30052</u> Phone # <u>678-758-4409</u> <u>neil.schultz10@gmail.com</u>
Type Request: <input type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input checked="" type="checkbox"/> APPEAL	
Property Location <u>4625 Bullock Bridge Rd</u> Acreage <u>3.10 acres</u>	
Describe Variance/Special Exception/Appeal: <u>Guest House Built in front yard - Need an Appeal - 320 sq. ft.</u> <u>Guest House already built</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review: _____ _____	
Public Water: <input checked="" type="checkbox"/> Well: <input type="checkbox"/> Public Sewer: <input type="checkbox"/> Septic Tank: <input checked="" type="checkbox"/>	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>CC Cook</u> Date <u>2/23/2025</u> Fee Paid: \$ <u>200.00</u>	
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180 P & D Official: _____ Date: _____	
I HEREBY WITHDRAW THE ABOVE APPLICATION	Date _____

#2

**AUTHORIZATION
BY PROPERTY OWNER**

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

Name of Applicant: Craig Cook
Address: 4625 Bullock Bridge Rd - Loganville, GA 30052
Telephone: 404-550-0132
Location of Property: 4625 Bullock Bridge Rd - Loganville, GA 30052
Map/Parcel Number: C059 0022



Property Owner Signature

Property Owner Signature

Print Name: Neil A. Schultz

Print Name: _____

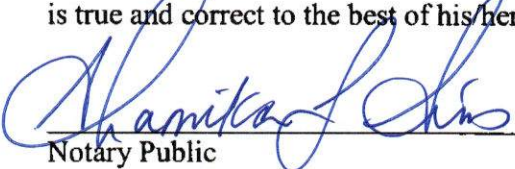
Address: 4625 Bullock Bridge Rd - Loganville, GA 30052

Address: _____

Phone #: 678-758-4409

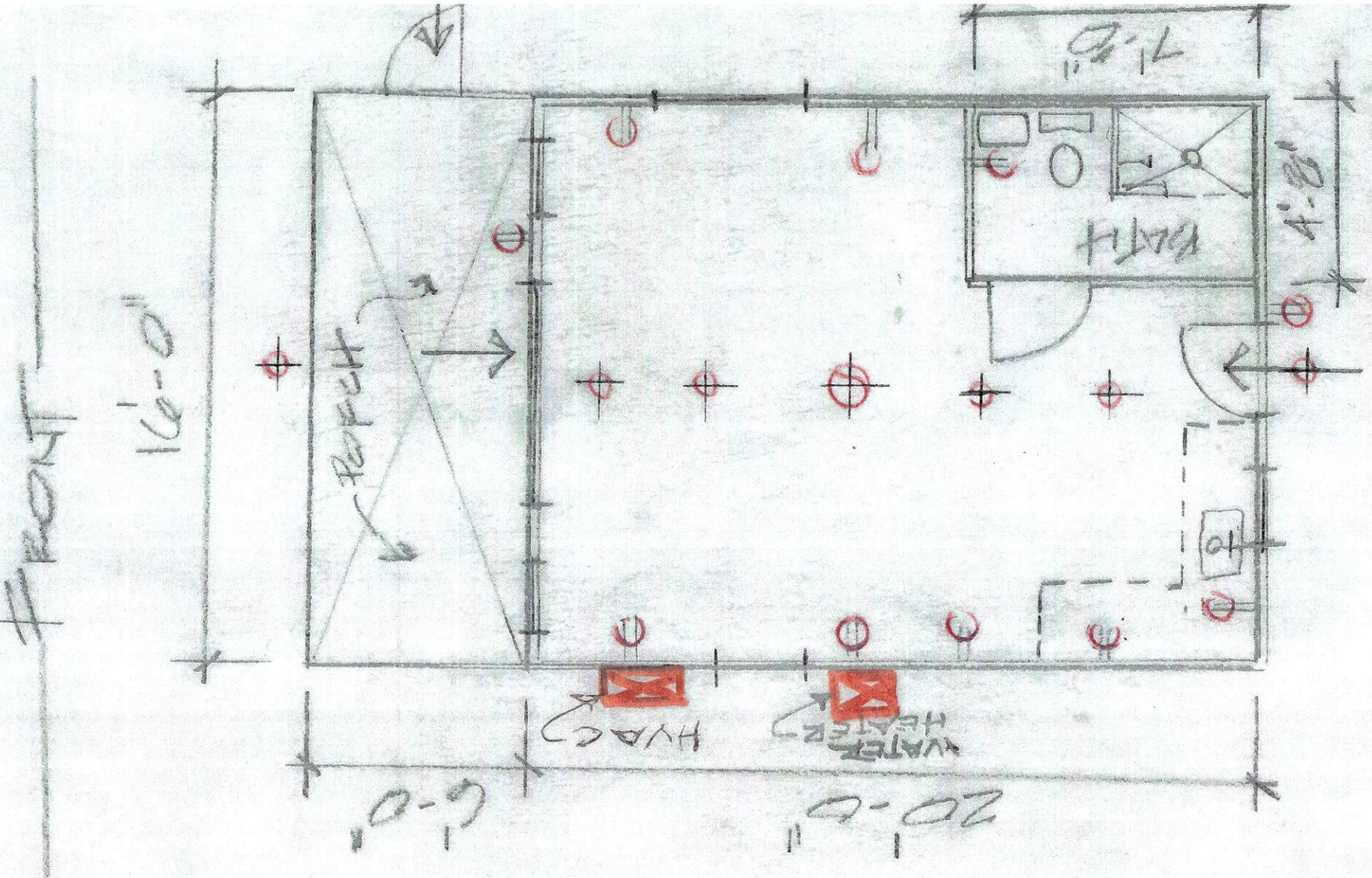
Phone #: _____

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

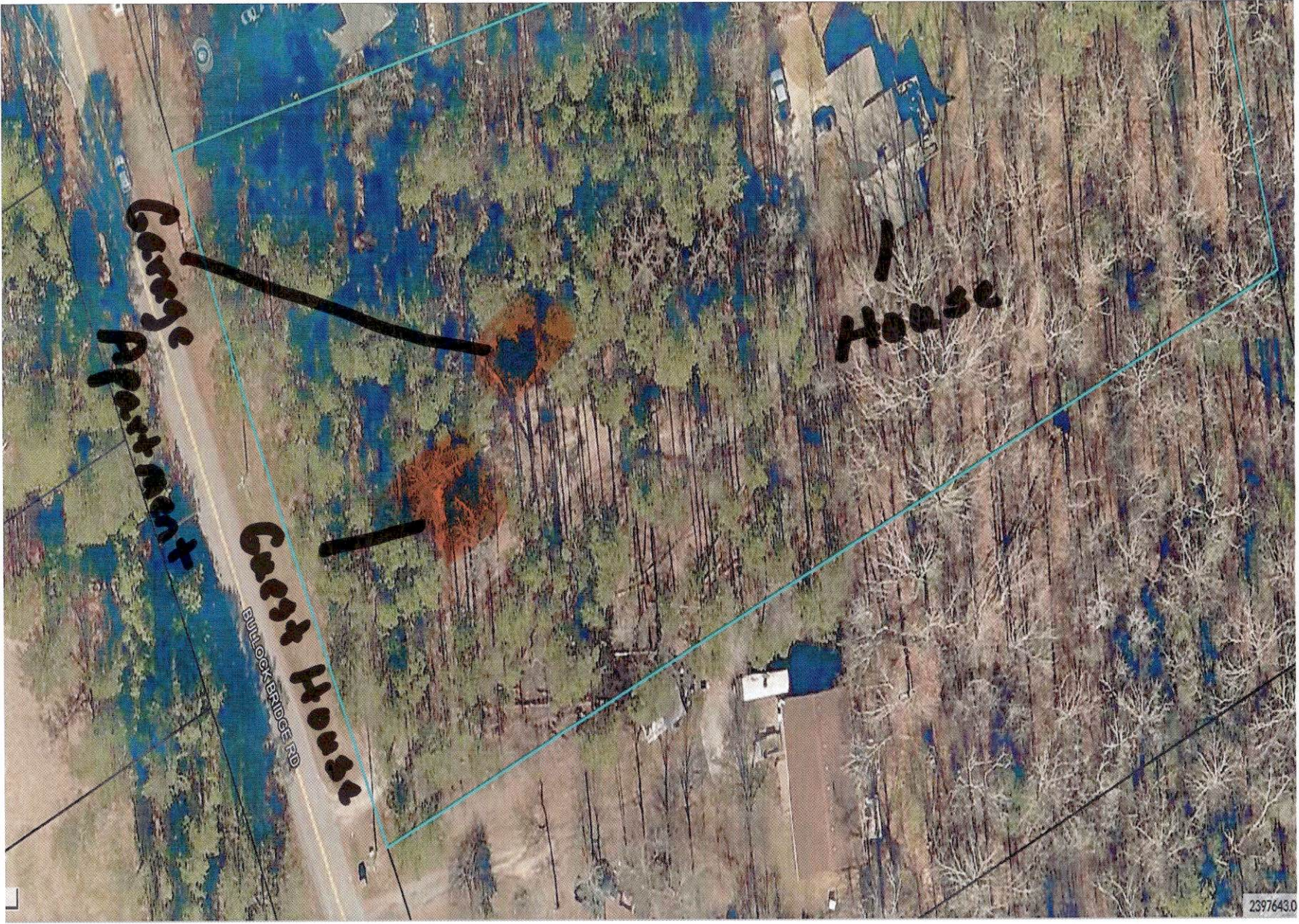
 2-26-2025
Notary Public Date

Shamika L Sims
NOTARY PUBLIC
Gwinnett County
State of Georgia
My Comm. Expires 3/19/2028

GUEST HOUSE
4625 BULLOCK BRIDGE RD.
LOANVILLE CA. 90052









Planning and Development Department Case Information

Case Number: V25-0113

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
Sherri McKelvey (Premier Pools & Spas)
9 Pine Grove Road
Locust Grove, Georgia 30248

Owners:
Peter & Tonya Booth
2208 Golf View Court
Monroe, Georgia 30655

Current Zoning: R1

Request: Variance to reduce rear setback from 15' to 10.2 for an inground pool.

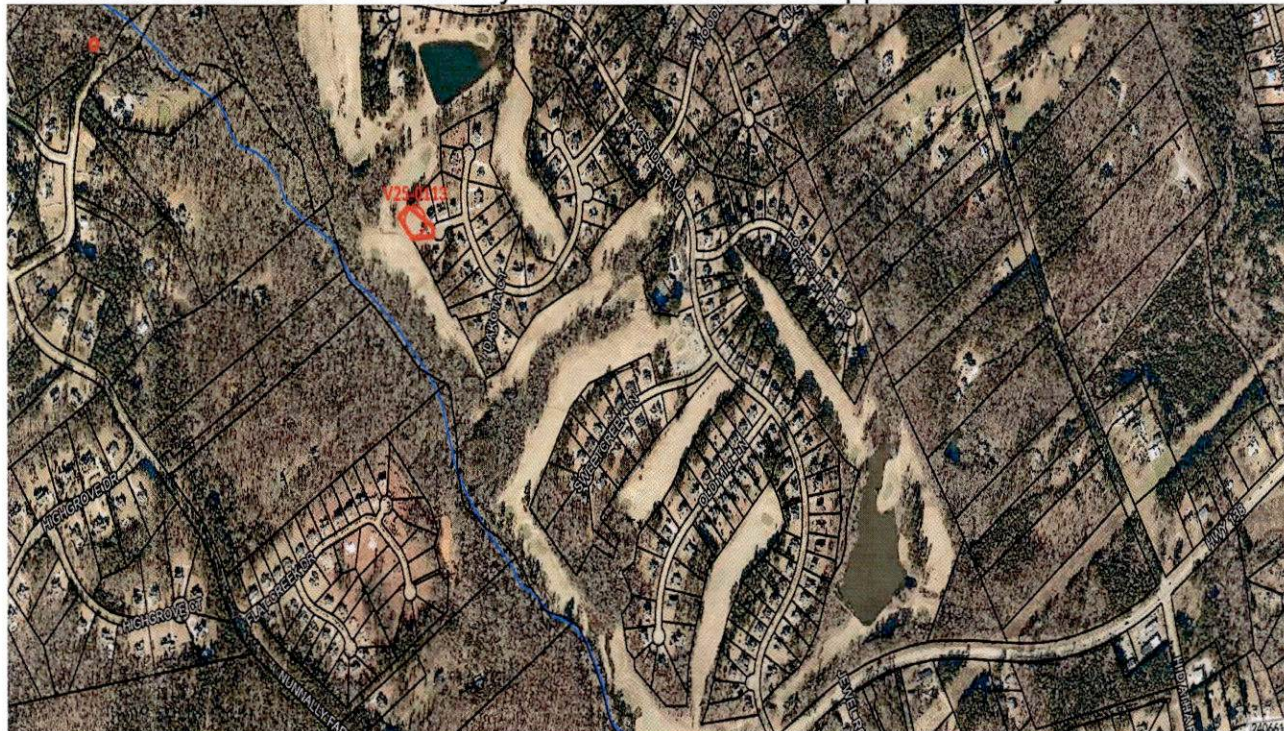
Address: 2208 Golf View Court, Monroe, Georgia 30655

Map Number: N076A281

Site Area: Property is 0.61 acres.

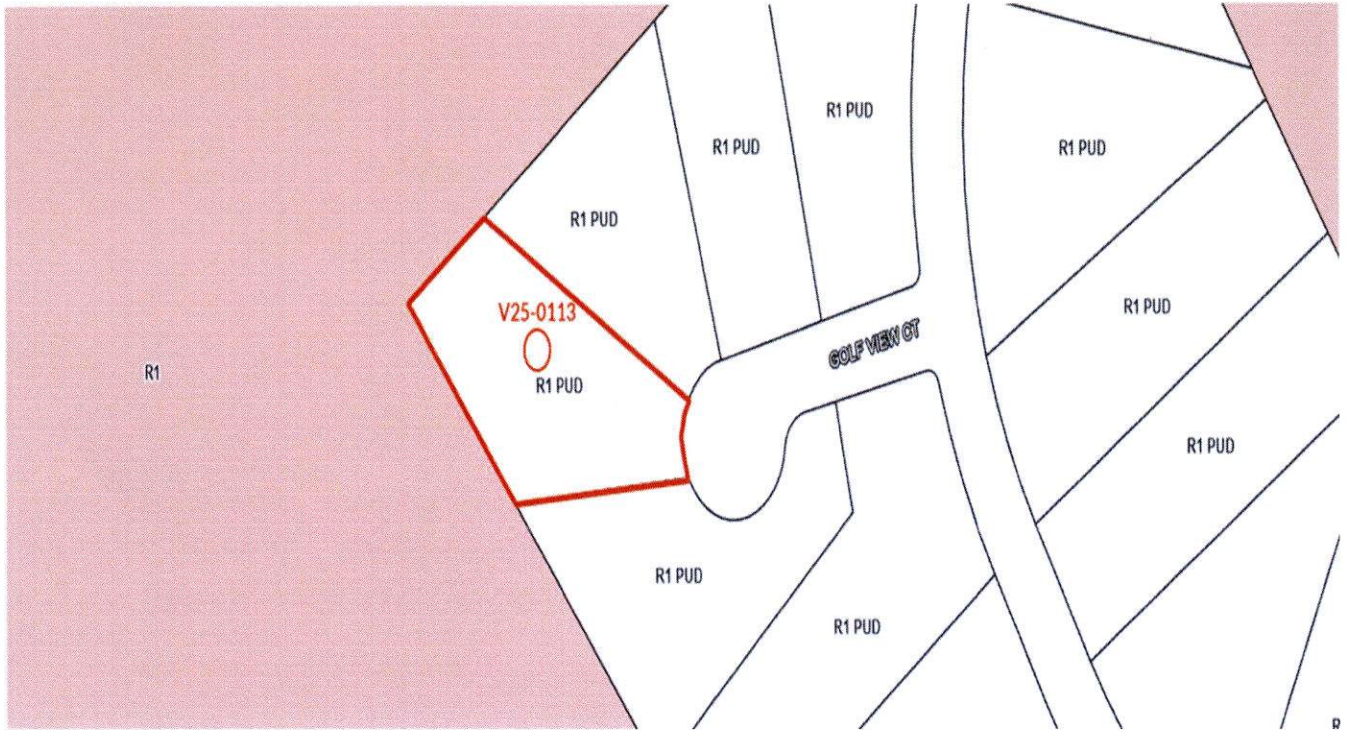
Character Area: Suburban

District 3: Commissioner – Timmy Shelnett Board of Appeals – Henry Kines

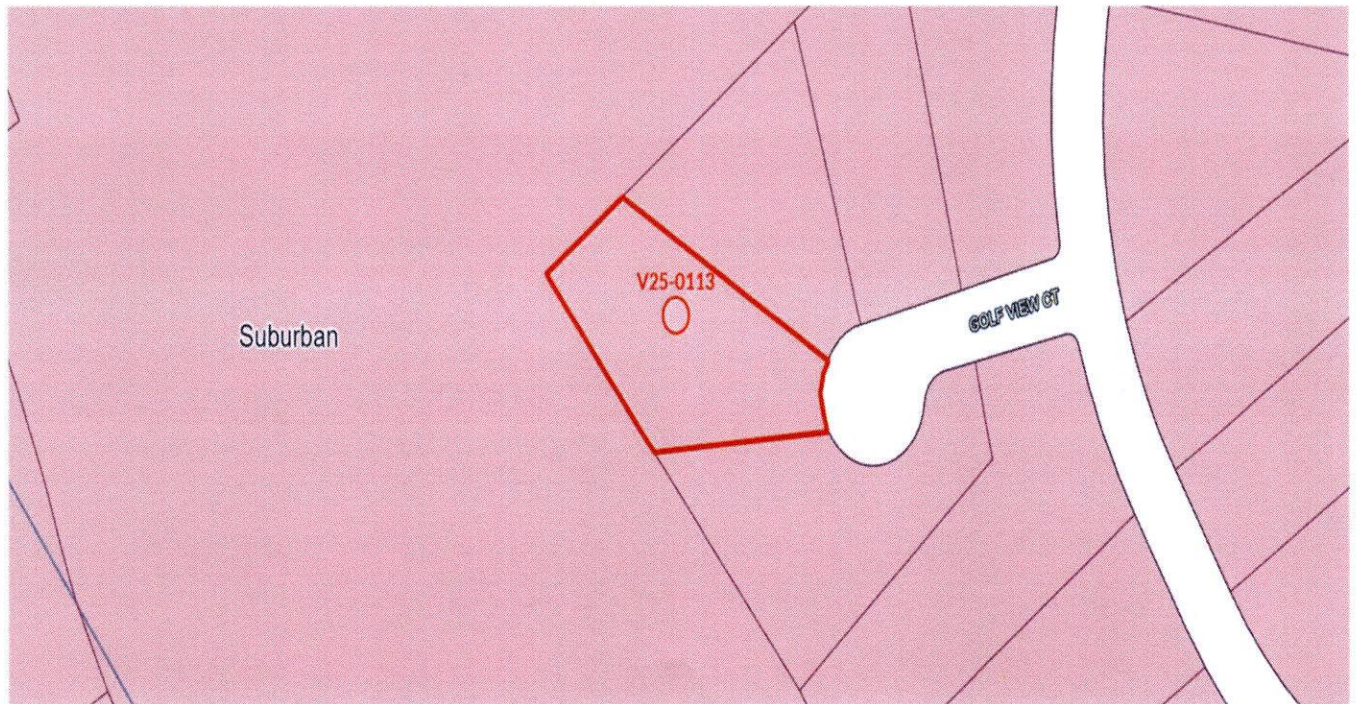


Existing Site Conditions: The property is in Woodlake Subdivision and has a house on the property.

The surrounding properties are zoned R1 and R1PUD.



The Future Land Use Map for this property is Suburban.



The property is not in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Staff Comments:

In ruling on any application for a **Variance**, the Board of Appeals shall act in the best interest of the health, safety, morals, and general welfare of the county. In doing so, the Board of Appeals may grant variances in individual cases of practical difficulty or unnecessary hardship upon a finding that all the following conditions exist:

1. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.
2. The strict application of the Ordinance to this particular piece of property would create practical difficulty or unnecessary hardship; and
3. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this Ordinance.

4. No variance may be granted for a use of land or buildings or structure that is prohibited by this Ordinance or to change the density of a use allowed by this ordinance or to grant a development right or standard in conflict with a condition of zoning imposed by the Board of Commissioners.

Walton County Board of Appeals Application
Please Type or Print Legibly

Variance/Special Exception/Appeal # V25-0113

Board of Appeals Meeting Date 04/15/25 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed <input checked="" type="checkbox"/>	Survey Plat <input checked="" type="checkbox"/>	Site Plan <input checked="" type="checkbox"/>	Proof of Paid Property Taxes <input checked="" type="checkbox"/>
**Drawn by Design Professional			

Map/Parcel N076A281 Zoning District: R1PUD Commission District: 3 - Timmy Shelnett

Applicant Name/Address/Phone # <u>Shem McKelvey (Premier Pools & Spas)</u> <u>9 Pine Grove Rd.</u> <u>Locust Grove, GA 30248</u> <u>smckelvey@ppas.com</u> Phone # <u>678-782-6899</u> E-mail: <u>smckelvey@ppas.com</u>	Property Owner Name/Address/Phone <u>Peter Allen Booth Jr.; Tonya Lee Booth</u> <u>2208 Golf View Ct</u> <u>Monroe, GA 30655</u> Phone # <u>401-487-1116; 401-297-4700</u>
Type Request: <input checked="" type="checkbox"/> VARIANCE _____ SPECIAL EXCEPTION _____ APPEAL _____	Property Location <u>2208 Golf View Ct.</u> Acreage <u>.61</u>
Describe Variance/Special Exception/Appeal: <u>We are requesting that 4'8" of the corner of the inground pool be allowed to encroach into the 15' setback from property line.</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review: <u>We request permission for encroachment into setback to avoid septic lines in the back yard. There was not a nother suitable position to place the pool that satisfied Requirements by Environmental Health.</u>	
Public Water: <input checked="" type="checkbox"/> Well: _____ Public Sewer: _____ Septic Tank: _____	
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature: <u>Shem McKelvey</u> Date: <u>2/28/25</u> Fee Paid: \$ _____	
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180 P & D Official: _____ Date: _____	
I HEREBY WITHDRAW THE ABOVE APPLICATION _____ Date _____	

**AUTHORIZATION
BY PROPERTY OWNER**

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APPEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

Name of Applicant: Sherril McKelvey (Premier Pools & Spas)
Address: 9 Pine Grove Rd, Locust Grove, GA 30248
Telephone: 678-782-6899
Location of Property: 2208 Golf View Ct.
Monroe, GA 30655
Map/Parcel Number: N 076 A281

Signed by:

A7091F845E7C4B0
Property Owner Signature

Print Name: Peter Booth
Address: 2208 Golf view ct
Phone #: 4014871116

DocuSigned by:

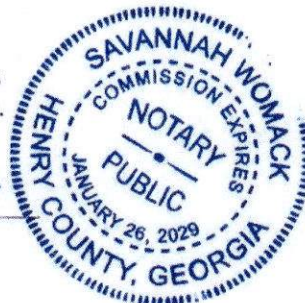
E1F8F6E008143D
Property Owner Signature

Print Name: Tonya Booth
Address: 2208 Golf view ct
Phone #: 4012974700

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

Savannah Womack
Notary Public

2-28-25
Date





South Atlanta Pools & Spas
9 Pine Grove Road
Locust Grove, GA 30248
678-782-6899

March 3, 2025

Walton County Planning & Development
303 S. Hammond Drive
Suite 98
Monroe, GA 30655

Re: VARIANCE APPLICATION TO WALTON COUNTY BOARD OF APPEALS FOR
2208 GOLF VIEW CT

To Whom it May Concern:

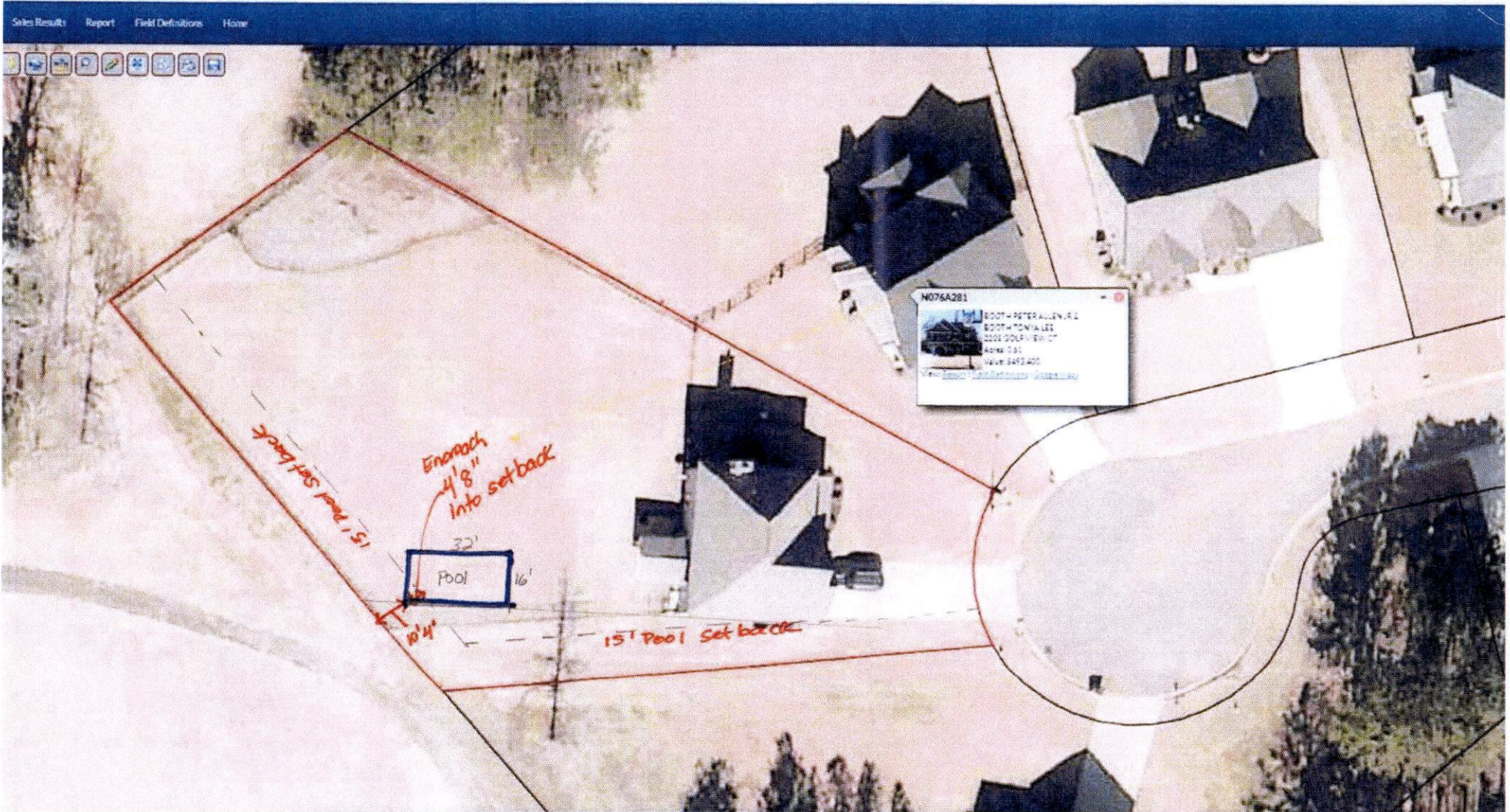
We are applying for Variance Approval to place a pool at the aforementioned address partially within the 15' pool setback (Code Section 6-1-920 – Swimming Pool, Home (18) A). When we first applied for approval with Environmental Health, we were instructed to move the pool closer to the property line to maintain proper setbacks from the septic lines. Once we received the approval from Environmental Health for the relocated pool, we inadvertently sent the original plans when applying for the pool permit with Walton County Planning & Development. This was an unintentional error on our part, but ultimately we would have sought variance approval for the pool to move partially into the 15' pool setback.

Our construction crew was given the revised plans (not the ones approved by Planning & Development) and they placed the pool where it encroached 4'8" into the 15' pool setback. The corner of the pool is 10'4" from the property line. The rear of the property is surrounded by the Bear Creek Golf Club, and also where a cart path runs.

We are asking that permission be granted so that the pool can remain where it has been partially installed (excavated with concrete base poured and pool walls installed) and where the pool does not infringe on the septic line setbacks.

Sincerely,

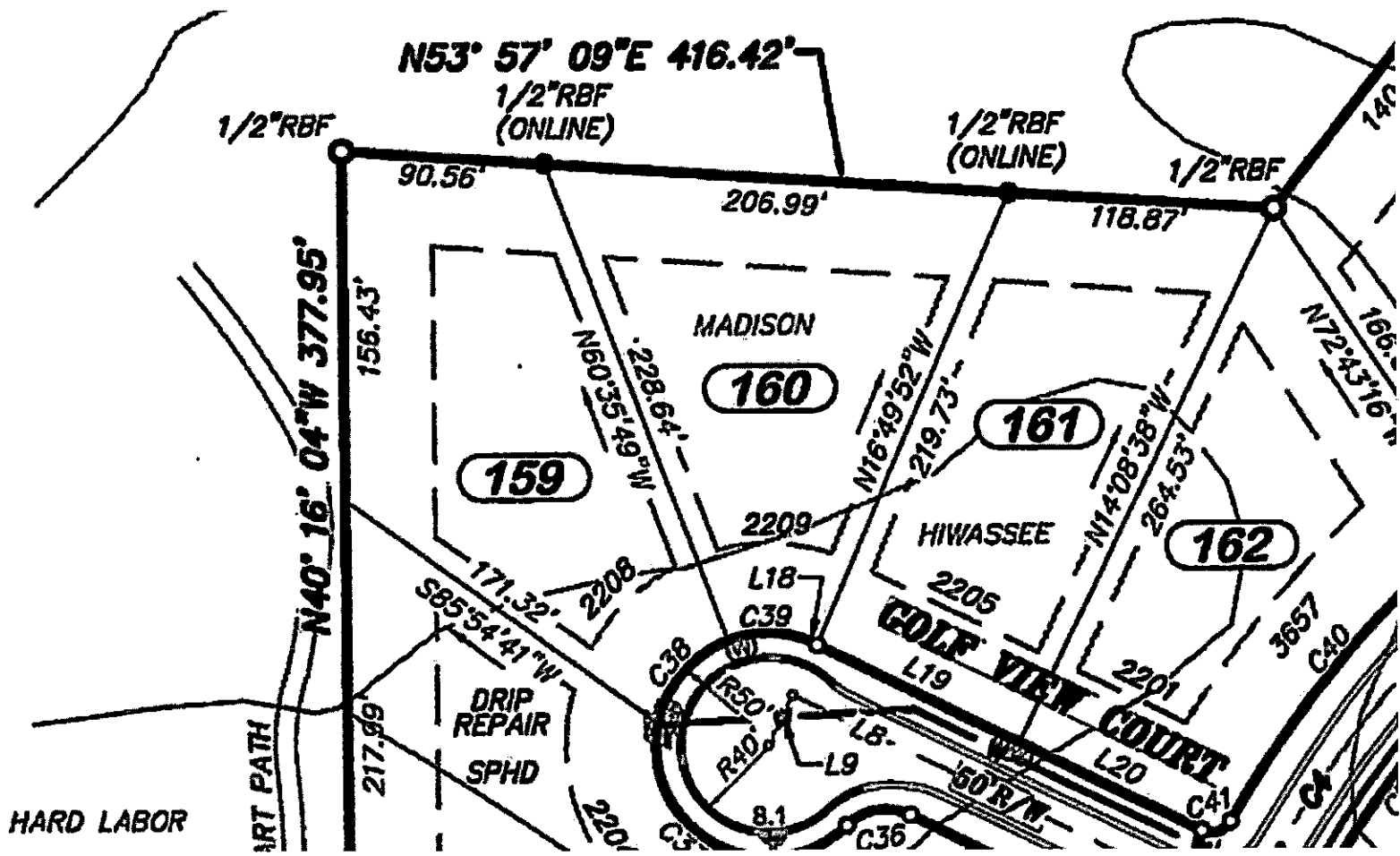
Sherri Mckelvey, Permits Department



N076A281
 BOOTH PETER ALLEN JR &
 BOOTH TONYA LEE
 2208 GOLF VIEW CT
 MONROE, GA
 Value \$493,400

Owner BOOTH PETER ALLEN JR &
 BOOTH TONYA LEE
 2208 GOLF VIEW CT
 MONROE, GA 30655
 Physical Address 2208 GOLF VIEW CT
 Appraised Value Value \$493,400

Last: 11/6/2018



Georgia Department of Public Health ON-SITE SEWAGE MANAGEMENT SYSTEM INSPECTION REPORT

CONSTRUCTION PERMIT NUMBER

78610

COUNTY <i>Walton</i>	COUNTY CODE	HEALTH DISTRICT	MONTH <i>05</i>	DAY <i>24</i>	YEAR <i>19</i>
SUBDIVISION: <i>Woodlake</i>		LOT <i>159</i>	PROPERTY OWNER: <i>O'Conor Prime Holdings</i>		
PROPERTY LOCATION / ADDRESS: <i>2208 Golf View Ct.</i>			SEWAGE CONTRACTOR: <i>Alan Smith</i>		
			CONTRACTOR LICENSE:		

ALL ITEMS: (BLANK) = Not Applicable (0) = Unknown *ITEMS (1) = Yes (2) = No

Section A - General	Section B - Primary / Pretreatment	Section C - Secondary Treatment
1. WATER SUPPLY: (1) Public (2) Private (3) Community	1. DISPOSAL METHOD: (1) Septic Tank (2) Privy (3) Aerobic Unit (4) Other:	1. ABSORPTION FIELD DESIGN (1) Level (2) Serial (3) Drip (4) Bed (5) Distribution box (6) Mound (7) Other:
2. ** TYPE OF STRUCTURE: (see below)	2. SEPTIC TANK: a. Capacity (gals):	2. ABSORPTION FIELD: a. Total square feet:
3. STRUCTURE AGE: (1) New (2) <1 year (3) >1 year	b. Material: (1) Concrete (2) Polyethylene (3) Fiberglass (4) Poured (5) Other:	b. Total linear feet:
4. SEWAGE SYSTEM: (1) New (2) Repair (3) Addition	c. Distance from (feet): (1) Well: (2) Building: (3) Lake/Stream: (4) Nearest property line:	c. Number of trenches:
5. AGE OF SYSTEM (repairs): (1) <1 (2) 1-5 (3) 6-10 (4) 11-20 (5) 21-30 (6) 31-40 (7) >40	d. Manufacturer: <i>McDanelo</i>	d. Length trenches (feet):
6. * IN SUBDIVISION?:	3. FILTER MANUFACTURER/ MODEL:	e. Distance between trenches (feet):
7. WATER USAGE BY: (1) Bedroom Numbers (2) Gallons per Day	4. AEROBIC UNIT: a. Treatment capacity: b. Manufacturer:	f. Depth of trenches (range in inches):
8. NO. OF BEDROOMS/ GALLONS PER DAY:	5. DOSING TANK CAP. (gals):	g. * Aggregate proper size:
9. LOT SIZE:	6. GREASE TRAP CAP. (gals):	h. * Aggregate proper depth:
10. PERCOLATION RATE/ LOADING RATE:		i. Distance from (feet): (1) Well: (2) Building: (3) Lake/Stream: (4) Nearest property line:
11. SOIL CLASSIFIER: <i>1. Machie</i>		j. Nearest property line: (1) Right (2) Left (3) Front (4) Rear
12. SOIL SERIES: <i>Madison</i>		k. Product used: <i>ARC36H</i>

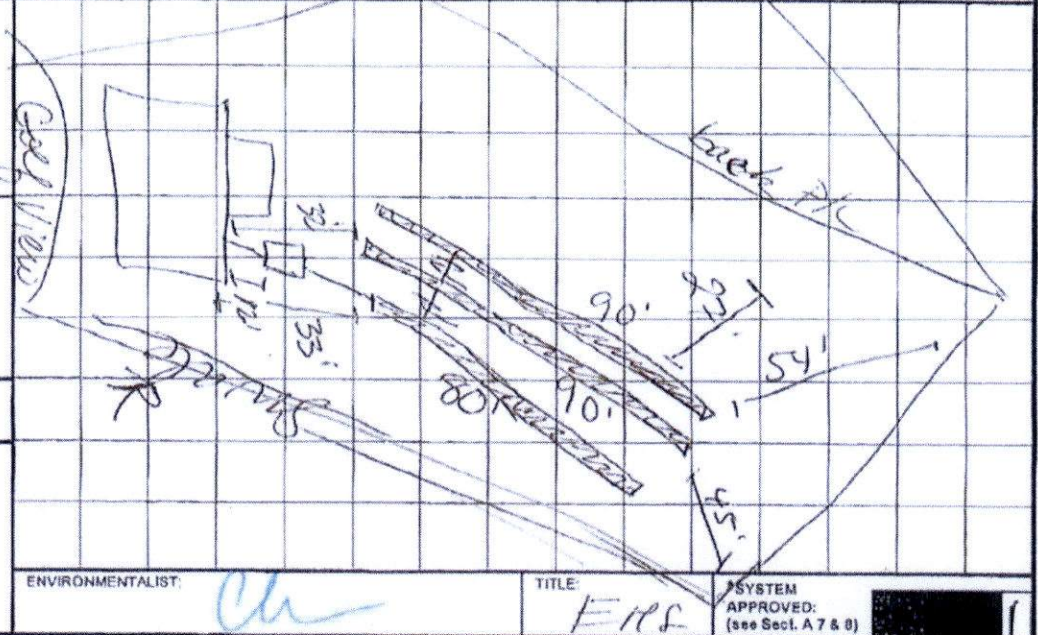
** TYPE OF FACILITY

(1) Single-Family Residence
(2) Multi-Family Residence
(3) Commercial ≤2000
(4) Commercial ≥2000
(5) Restaurant
(6) Mobile Home Park
(7) Other (specify)

REMARKS:

Drawing not to scale.

Issuance of a construction permit for an on-site sewage management system, and subsequent approval of same by representatives of the County Board of Health shall not be construed as a guarantee that such systems will function satisfactorily for a given period of time; furthermore, said representatives do not, by any action taken in affecting compliance with these rules, assume any liability for damages which are caused, or which may be caused, by the malfunction of such system.



ENVIRONMENTALIST: <i>Ch</i>	TITLE: <i>ERS</i>	SYSTEM APPROVED: (see Sect. A 7 & 8)
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Planning and Development Department Case Information

Case Number: A25-0114

Meeting Date: Board of Appeals: 04-15-2025

Applicant:
Johnathan Henson
545 Indian Creek Trail
Rutledge, Georgia 30663

Owner:
Global Real Estate Equity Inc.
1250 Scenic Hwy S – Suite 1701-282
Lawrenceville, Georgia 30045

Current Zoning: A2

Request: Appeal Manufactured Home Guidelines for roof pitch, siding and required garage.

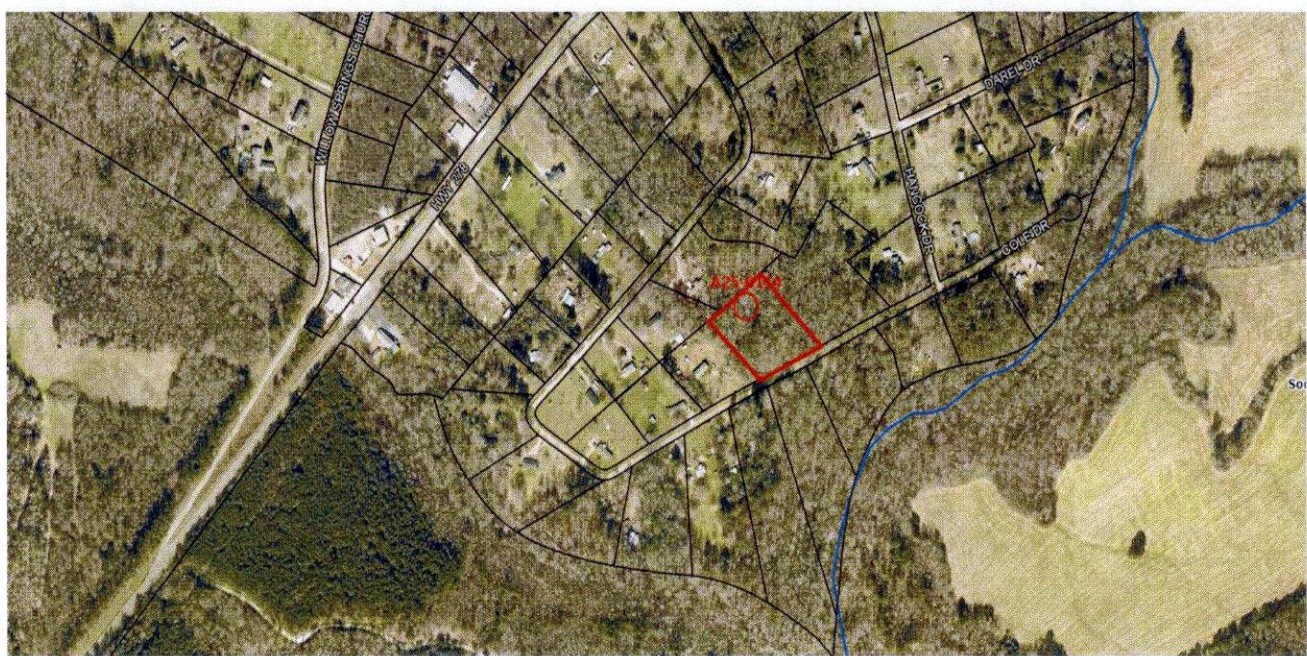
Address: Hancock Drive, Social Circle, Georgia 30025

Map Number: C1580044

Site Area: Property is 1.80 acres.

Character Area: Employment Center

District 4: Commissioner – Lee Bradford Board of Appeals – William Malcom

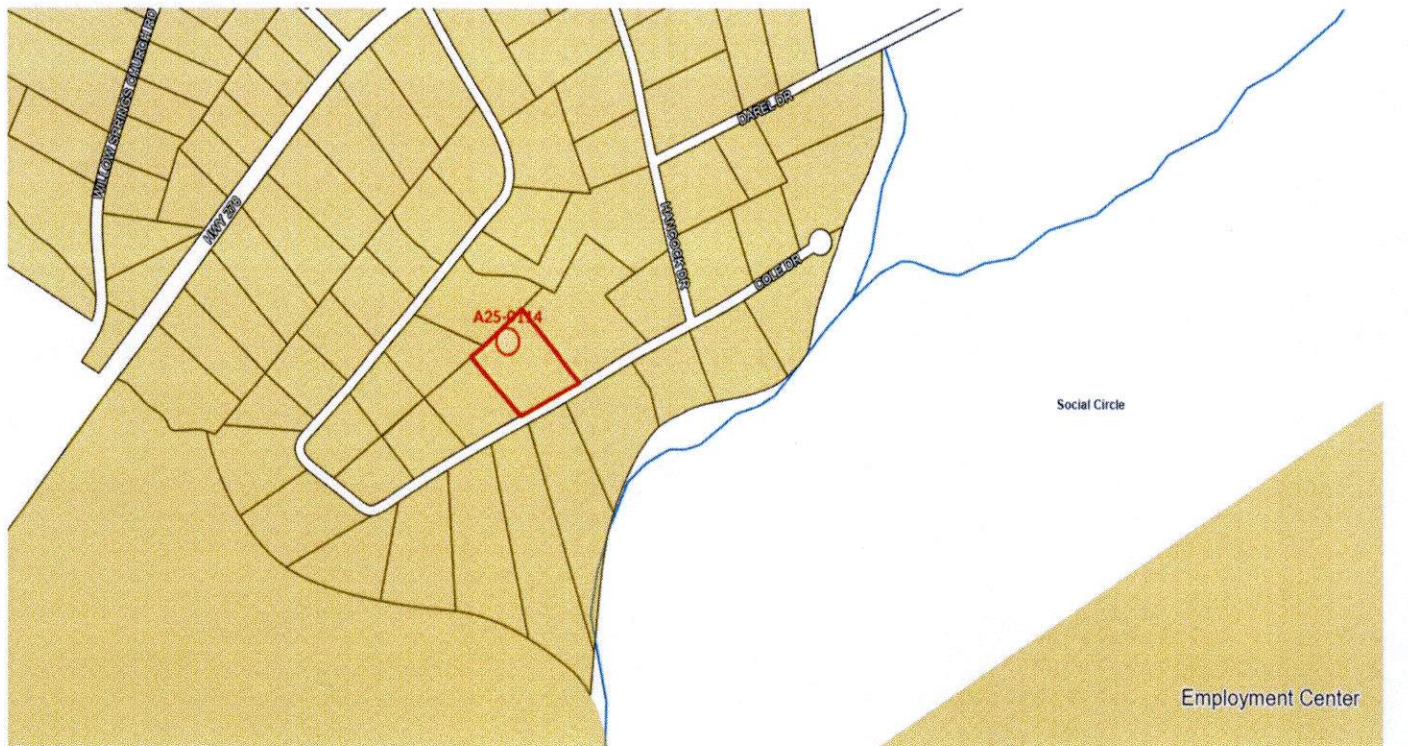


Existing Site Conditions: The property consists of 1.80 acres and is vacant land.

The surrounding properties are zoned MH which is A2.



The Future Land Use Map for this property is Suburban.



The property is no in a Watershed Protection Area.

Surrounding Subdivisions:



History: No History

Staff Comments:

Part 2 Accessory Uses

Section 100 General Standards

- A. All accessory buildings, structures, and uses of land, including off-street parking, shall be located on the same lot as the principal building(s) to which they are accessory.
 - 1. All accessory buildings or structures shall be located in the rear yard or in the side yard behind the front yard setback line. Excluded are tracts of land 5 acres or greater, whereas accessory uses shall not be located in the minimum required front yard setback.

Article 3 Part 2 Board of Appeals

Section 100 Duties and Powers of the Board of Appeals

The Board of Appeals shall have the following powers, as well as others significantly authorized in this Ordinance:

A. Appeals

To hear and decide appeals where it is alleged there is an error in any order, requirement, permit, decision, determination or refusal made by an administrative officer in the enforcement of this Ordinance. The Board of appeals shall have additional powers as may be granted to it by any other ordinance, including, but not limited to, determination of appeals from the refusal of an administrative official to issue a license or permit. A failure to act shall not be construed to be an order, requirement or decision within the meaning of this Article.

Walton County Board of Appeals Application
Please Type or Print Legibly

Item 4.7.

Variance/Special Exception/Appeal # A25-0114

Board of Appeals Meeting Date 4-15-2025 at 6:00PM held at the Walton County Historic Courthouse, 111 S Broad Street, Monroe, Georgia (2nd Floor)

DOCUMENTS TO BE SUBMITTED WITH APPLICATION			
Recorded Deed <input checked="" type="checkbox"/>	Survey Plat <input checked="" type="checkbox"/>	Site Plan <input type="checkbox"/>	Proof of Paid Property Taxes <input checked="" type="checkbox"/>
**Drawn by Design Professional			

Map/Parcel ^{C1580044} 1580-044 Zoning District: A2 Commission District: Walton County 4-Lec Bradford

Applicant Name/Address/Phone # <u>Johnathan Henson</u> <u>545 Indian Creek Trail</u> <u>Rutledge, GA, 30063</u> Phone # <u>404-638-9915</u> E-mail: <u>johnathanhenson525a@icloud.com</u>	Property Owner Name/Address/Phone <u>Global Real Estate Equity Inc.</u> <u>1250 Scenic Hwy S - Ste 1701-2827</u> <u>Lawrenceville, GA. 30045</u> Phone # _____
Type Request: <input checked="" type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input checked="" type="checkbox"/> APPEAL	
Property Location <u>Hancock Dr. Social Circle, 30025</u> Acreage <u>1.8</u>	
Describe Variance/Special Exception/Appeal: <u>Variance for the roof pitch, two-car Garage, and vinyl siding.</u>	
State Reason for request and how these reasons satisfy Article 14 Standards of Review: <u>Other homes built in the same neighborhood was able to get a variance for this and also to be able to put our home within our special needs</u>	
Public Water: _____ Well: _____ Public Sewer: _____ Septic Tank: <input checked="" type="checkbox"/>	<u>SOM program for CDH Regional Program</u>
The above statements and accompanying materials are complete and accurate. Applicant hereby grants permission for Planning and Development personnel to enter upon and inspect the property for all purposes allowed and required by the Comprehensive Land Development Ordinance.	
Signature <u>[Signature]</u> Date <u>3/3/25</u> Fee Paid: \$ <u>200.00</u>	
PUBLIC NOTICE SIGN WILL BE PLACED AND REMOVED BY P & D OFFICE	
Administrative Variance granted per Article 14 Section 180	
P & D Official: _____	Date: _____
I HEREBY WITHDRAW THE ABOVE APPLICATION _____	Date _____

**AUTHORIZATION
BY PROPERTY OWNER**

I SWEAR THAT I AM THE PROPERTY OWNER OF THE PROPERTY WHICH IS THE SUBJECT MATTER OF THE ATTACHED PETITION FOR VARIANCE/APPEAL APPLICATION, AS IS SHOWN IN THE RECORDS OF WALTON COUNTY, GEORGIA.

I authorize the named below to act as Applicant in the pursuit of a Petition for Variance/Appeal Application.

Name of Applicant: Jonathan Henson

Address: _____

Telephone: _____

Location of Property: 0 Hancock Drive

legal description 1.80/#81A

Map/Parcel Number: C1980-044

[Signature]
Property Owner Signature

Property Owner Signature

Print Name: Global Real Estate Equity Print Name: _____
by Sherin Watts, president

Address: 1250 Scenic Hwy S. Address: _____
#1701-282 Lawrenceville GA 30045

Phone #: 404-436-8421 Phone #: _____

Personally appeared before me and who swears that the information contained in this authorization is true and correct to the best of his/her knowledge.

[Signature]
Notary Public

3-6-2025
Date

