



**TOWN COUNCIL MEETING**  
**March 20, 2025 at 7:00 PM**

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950 Senoia Road, Tyrone, GA 30290

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**Eric Dial**, Mayor

**Gloria Furr**, Mayor Pro Tem, Post 4

**Jessica Whelan**, Post 1

**Dia Hunter**, Post 2

**Billy Campbell**, Post 3

**Brandon Perkins**, Town Manager

**Dee Baker**, Town Clerk

**Dennis Davenport**, Town Attorney

**I. CALL TO ORDER**

**II. INVOCATION**

**III. PLEDGE OF ALLEGIANCE**

**IV. PUBLIC COMMENTS:** *Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

**V. APPROVAL OF AGENDA**

**VI. CONSENT AGENDA:** *All matters listed under this item are considered to be routine by the Town Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.*

1. Approval of the workshop and regular meeting minutes from March 6, 2025.
2. Approval of the annual Shamrock Park events, Spring Festival, Founders Day, Halloween, and Christmas Tree Lighting.
3. Approval of the 2025 Tyrone Soccer Field Use Agreement.
4. Approval of The TYBA Field Use Agreement For 2025.
5. Approval to fully equip a 2025 Ford F-150 Police vehicle for patrol use at 144<sup>th</sup> Marketing Group under state contract for \$27390.05

**VII. PRESENTATIONS**

**VIII. PUBLIC HEARINGS**

**IX. OLD BUSINESS**

6. Consideration of a new policy governing special events at the Redwine Park pickleball facility. - **Brandon Perkins, Town Manager**

**X. NEW BUSINESS**

7. Consideration to approve the Tullamore Greencastle Multi-Use Path Plans, project number PW-2024-07, and start the land acquisition process. **Scott Langford - Public Works Director and Town Engineer**
8. Consideration to Award the 2025 Sidewalk Repairs, project number PW-2025-02, to Bostic/Bostic and Associates in the amount of \$38,100. **Scott Langford - Public Works Director and Town Engineer**
9. Consideration to perform demolition on the Pole Barn at Handley Park - **Scott Langford - Public Works Director & Town Engineer**
10. Consideration of the color for the Handley Park Public Works Maintenance Facility - **Scott Langford, Public Works Director & Town Engineer**
11. Consideration to perform demolition on the corn crib at Handley Park - **Scott Langford, Public Works Director & Town Engineer**
12. Consideration to Approve and Execute 1400 Senoia Road Sanitary Sewer and Stormwater Access and Maintenance Easement with 74 South LLC - **Scott Langford, Public Works Director & Town Engineer**
13. Consideration of updates to the Town's Travel Policy. **Brandon Perkins, Town Manager**

**XI. PUBLIC COMMENTS:** *The second public comment period is for any issue. Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

**XII. STAFF COMMENTS**

**XIII. COUNCIL COMMENTS**

**XIV. EXECUTIVE SESSION**

**XV. ADJOURNMENT**

**TYRONE TOWN COUNCIL  
MEETING - WORKSHOP**

**MINUTES**

**March 06, 2025 at 5:30 PM**

**Eric Dial**, Mayor

**Gloria Furr**, Mayor Pro Tem, Post 4

**Jessica Whelan**, Post 1  
**Dia Hunter**, Post 2  
**Billy Campbell**, Post 3

**Brandon Perkins**, Town Manager  
**Dee Baker**, Town Clerk  
**Dennis Davenport**, Town Attorney

**I. CALL TO ORDER**

**II. INVOCATION**

**III. PLEDGE OF ALLEGIANCE**

**IV. PUBLIC COMMENTS:** *Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

**V. APPROVAL OF AGENDA**

A motion was made to approve the agenda.

Motion made by Council Member Campbell, Seconded by Council Member Furr.  
Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

**VI. CONSENT AGENDA:** *All matters listed under this item are considered to be routine by the Town Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.*

**VII. PRESENTATIONS**

**VIII. PUBLIC HEARINGS**

**IX. OLD BUSINESS**

- 1. Discussion regarding phase II revisions of the Town Center Mixed-Use (TCMU) ordinance as it pertains to development standards and permitted residential use types. Phillip Trocquet, Community Development

Mr. Trocquet gave a brief history of the Town Center Mixed-Use (TCMU) ordinance. He stated that the ordinance passed several years ago and last August, Council initiated a Text Amendment pertaining to townhouses as uses.

Townhouses were removed from the ordinance with the understanding that a Phase II amendment would be developed to better define and regulate Town Homes. He added that tonight’s discussion would begin Phase II with single-family home use types within the TCMU ordinance.

The discussion encompassed single family homes with larger and smaller lots, cottage courts detached homes, townhouses, and flats over commercial. They discussed lot sizes, square footage, parking, and location. Mr. Trocquet stated that those types of homes within the TCMU (downtown) zoning district were mostly meant for odd-shaped lots.

Council discussed traffic and potential intersection improvements. They also discussed state law as it pertained to the proximity of new development and established development.

The census was to not remove townhouses, only to have them facing inward as part of a development, not facing a main road. Mr. Trocquet reminded Council of the importance of adhering to the public input on the Comprehensive Plan and the LCI regarding downtown. New residential was essential to pay for downtown beautifications and to maintain sewer costs, SPLOST funds were not sustainable as a tax base. It was also part of the planned development for downtown. He asked Council for direction, to either prepare a Phase III portion of the TCMU or to prepare a land use adjustment.

A motion was made to direct staff to pursue performance metrics for the uses provided.

Motion made by Council Member Whelan, Seconded by Council Member Hunter.  
Voting Yea: Council Member Whelan, Council Member Hunter  
Voting Nay: Council Member Campbell, Council Member Furr.

Mayor Dial broke the tie in favor of the item.

**X. NEW BUSINESS**

**XI. PUBLIC COMMENTS:** *The second public comment period is for any issue. Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

Mr. Josh Thorton, who lives on Castle Lake Court, advocated for more home options in the downtown area.

**XII. STAFF COMMENTS**

**XIII. COUNCIL COMMENTS**

Council Member Hunter thanked Mr. Trocquet for preparing his annual Gumbo for staff.

**XIV. EXECUTIVE SESSION**

**XV. ADJOURNMENT**

A motion was made to adjourn.

Motion made by Council Member Campbell.

Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

The meeting adjourned at 6:44 p.m.

By: \_\_\_\_\_  
Eric Dial, Mayor

Attest: \_\_\_\_\_  
Dee Baker, Town Clerk

**TYRONE TOWN COUNCIL  
MEETING**

**MINUTES**

**March 06, 2025 at 7:00 PM**

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**Eric Dial**, Mayor

**Gloria Furr**, Mayor Pro Tem, Post 4

**Jessica Whelan**, Post 1

**Dia Hunter**, Post 2

**Billy Campbell**, Post 3

**Brandon Perkins**, Town Manager

**Dee Baker**, Town Clerk

**Dennis Davenport**, Town Attorney

Also present:

Scott Langford, Town Engineer / Public Works Director

Sandy Beach, Finance Manager

Lynda Owens, Recreation Manager

Eric DeLoose, Police Lt.

Jeff Duncan, Planning Commissioner

**I. CALL TO ORDER**

**II. INVOCATION**

**III. PLEDGE OF ALLEGIANCE**

**IV. PUBLIC COMMENTS:** *Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

**V. APPROVAL OF AGENDA**

A motion was made to approve the agenda.

Motion made by Council Member Hunter, Seconded by Council Member Furr.

Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

**VI. CONSENT AGENDA:** *All matters listed under this item are considered to be routine by the Town Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.*

1. Approval of minutes from February 20, 2025.
2. Approval of the amended Shamrock Park Pavilion rental agreement.
3. Approval of the amended Roger Spencer Rental Agreement.

- 4. Approval of the amended Recreation Instructor agreement.
- 5. Approval to purchase a budgeted 2025 Ford F-150 Police Patrol vehicle from Wade Ford under state contract for \$51,510.00.

A motion was made to approve the consent agenda.

Motion made by Council Member Campbell, Seconded by Council Member Whelan.  
Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan,  
Council Member Hunter.

**VII. PRESENTATIONS**

**VIII. PUBLIC HEARINGS**

**IX. OLD BUSINESS**

- 6. Consideration to adopt a Town Charter Amendment of Chapter 2, Article II regarding Quorum and Voting. Brandon Perkins, Town Manager

Mr. Perkins explained that the current quorum requirements have hindered Council in the past from voting due to absences or recusals. Mr. Davenport reached out to Mayor Dial and recommended reducing the quorum requirement to the presence of three elected officials, with a majority vote of those present being sufficient to pass a motion.

Mr. Davenport clarified that local governments, typically, looked at the total pool of elected officials and what number exceeded 50 percent. With five members, three would be considered a quorum.

A motion was made to update the Town's Charter to reduce its quorum requirement to the presence of three (3) elected officials, with a majority vote of those present being sufficient to pass a motion.

Motion made by Council Member Hunter, Seconded by Council Member Whelan.  
Voting Yea: Council Member Whelan, Council Member Hunter  
Voting Nay: Council Member Campbell, Council Member Furr.

Mayor Dial broke the tie in favor of the item.

**X. NEW BUSINESS**

- XI. PUBLIC COMMENTS:** *The second public comment period is for any issue. Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

## XII. STAFF COMMENTS

Mr. Langford shared that CSX Railroad, through their crossing improvements/temporary closures, were two miles away from the Town and would update staff soon of their arrival.

Ms. Beach shared that Chief Mundy wanted to inform Council that the vote tonight for the F-150 was only for the truck, not the outfitting. That item would come to Council later.

Mr. Perkins brought to Council that individuals often reach out to host charity events and tournaments at the Town's Pickleball Courts. Currently, parks are set up on a first come first served basis. He suggested meeting with Recreation staff to set up parameters for uses such as charity events. Council Member Hunter suggested having special events on certain days. Council Member Campbell suggested for the events to be open to the public. Council Member Whelan inquired about the Recreation staff's involvement. Mr. Perkins and Ms. Owens ensured that it was minimal. Mr. Perkins shared that clean-up should be part of the parameters.

A motion was made to direct staff to move forward with the parameters for Pickleball.

Motion made by Council Member Campbell, Seconded by Council Member Hunter.  
Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

Mr. Trocquet announced that House Bill 461 was passed regarding regulatory fees. He suggested hearing the item at the next workshop meeting in conjunction with Safebuilt's contract renewal and adjusting permit fees.

A motion was made to discuss House Bill 461 and the Safebuilt contract at the Council Workshop on April 3, 2025, at 5:30 p.m.

Motion made by Council Member Campbell, Seconded by Council Member Whelan.  
Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

Council Member Whelan invited everyone to meet at Town Hall on Sunday at 3:00 p.m. for a one-mile Prayer Walk.

Mayor Dial announced that the Sandy Creek boys' basketball team just won their third Championship in a row, we are very proud of our guys.

Mayor Dial announced that Piedmont Fayette Hospital was hosting a Parkinson's Moving Day Walk on Saturday, March 29<sup>th</sup> at 8:30 a.m. behind Fayetteville City Hall (300 City Center Parkway).



Mayor Dial recognized Councilwomen Furr and Whelan and other women for their work in construction as today was National Women in Construction Week.

**XIII. COUNCIL COMMENTS**

**XIV. EXECUTIVE SESSION**

**XV. ADJOURNMENT**

A motion was made to adjourn.

Motion made by Council Member Hunter.

Voting Yea: Council Member Campbell, Council Member Furr, Council Member Whelan, Council Member Hunter.

The meeting adjourned at 7:20 p.m.

By: \_\_\_\_\_  
Eric Dial, Mayor

Attest: \_\_\_\_\_  
Dee Baker, Town Clerk



**COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** Consent Agenda

**Staff Contact:** Lynda Owens

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**STAFF REPORT**

**AGENDA ITEM:**

Town of Tyrone Events 2025

**BACKGROUND:**

Approval of the Town of Tyrone Event Schedule for 2025. The schedule for approval includes the following:

April 20, Tyrone Spring Festival 3:00 pm - 6:00 pm. Shamrock Park. Live music, retail vendors, food trucks, ponies, and crafts for children. Approx. \$4.5K

October 3 & 4, Town of Tyrone Founders Day Festival October 3rd, 5:00 pm - 9:00 pm October 4th-4:00 pm - 8:00 pm (schedule change)..Shamrock Park. Action Wrestling, 5K, parade, fireworks, live music, retail. Approx. budget for event \$60K (this amount consists of budgeted money and sponsor money).

Please note: The Founders Day Festival itself has been shortened from 12:30-8:00 pm to 4:00-8:00 pm. The reason being the excessively slow traffic in the mid afternoon. It will also save money. (Savings of approx.. 1-2K).

October 31, Town of Tyrone "Trick-or-Treat" 3:00 - 5:00 pm. Shamrock Park. Vendors/groups handing out candy, professional photographs and inflatable maze. Approx. for event \$4K

November 30, Tyrone Tree Lighting and Christmas Market 2:00 pm - 7:00 pm. Shamrock Park. Entertainment, Santa arrives, horse and sleigh, fireworks, retail vendors, food trucks and much more! Approx. for event \$25K

A copy of the DDA events is attached for your information. The DDA has approved all of their May, June, August, and September events. Approx. budget for all DDA events \$13K.

**FUNDING:**

All Tyrone and DDA events are budgeted for. Founders Day will also be supported via sponsorship money.

**STAFF RECOMMENDATION:**

Approval of all events

**ATTACHMENTS:**

Municode coversheet, Town of Tyrone special events flyer, DDA event flyer.

**PREVIOUS DISCUSSIONS:**

none

# TYRONE EVENTS

**SPRING FESTIVAL  
APRIL 12**



**FOUNDERS DAY  
OCTOBER 3 & 4**



**TRICK-OR-TREAT  
OCTOBER 31**



**TREE LIGHTING  
NOVEMBER 30**



# TYRONE DDA EVENTS

**SUMMER KICK-OFF  
MAY 2**



**FAMILY GAME DAY  
JUNE 6**



**BACK-TO-SCHOOL  
AUGUST 1**



**FIRST FRIDAY  
TAIL GATE  
TBA**



**COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** Consent Agenda

**Staff Contact:** Lynda Owens

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**STAFF REPORT**

**AGENDA ITEM:**

Field Use Agreement For Tyrone Soccer League/TSL

**BACKGROUND:**

The attached is the same agreement as last year with the only change being the date. The fee is \$3,000.00 for the year. Payment has been mailed to us but not yet received. Allison Cox has been notified.

**FUNDING:**

No cost to the Town

**STAFF RECOMMENDATION:**

Approval of Agreement

**ATTACHMENTS:**

Signed Field Use Agreement For TSL

**PREVIOUS DISCUSSIONS:**

none

Youth Sports Association Facility Agreement  
Tyrone Lazars Soccer Club  
and  
The Town of Tyrone

GENERAL

1. The Tyrone Lazars Soccer Club agrees to provide a RECREATIONAL youth sports program as a service for the Town of Tyrone. In return for providing the youth sports program and for fulfilling the other requirements of this Agreement, the Town hereby waives other, usual fees for field usage routinely charged to other non-affiliated organizations.

2. The term of this Agreement will begin March 20, 2025, and continue through December 31, 2025. Should both parties agree, a new agreement, with substantially the same terms and conditions, as this Agreement may be entered into at the conclusion of the term of this agreement. If either party desires to enter into a new agreement, said party shall provide notice to the other party at least thirty (30) days prior to the termination of this Agreement.

3. The Town agrees to authorize the Tyrone Lazars Soccer Club to use the field (s) and facilities on a non-exclusive basis to conduct a soccer pt opt am at the following locations: Handley Park Soccer Field hereinafter referred to as the "Facility".

For purposes of this agreement, Tyrone Lazars Soccer Club soccer program is designed as a program where all children who register under existing Tyrone Lazars Soccer Club guidelines will be able to play on a team that matches their age and ability. This agreement also covers other State of Georgia-sponsored youth sports, such as traveling teams, and All-Star teams. As such, these programs fall under the same policies of this agreement.

4. The Tyrone Lazars Soccer Club must provide, before the beginning of its playing season, to the town of Tyrone's Recreation Department the current versions of:

- (a) A current list of Board of Directors and Association Officers, a set of by-laws, with amendments, if applicable
- (b) A current roster of participants, to show how many youths registered, their ages, and where they reside i.e. city and county.
- (c) Proof of liability insurance/certificate of insurance coverage ensuring Tyrone Lazars Soccer Club with the town of Tyrone named as an additional insured. Coverage should include, at a minimum:
  - I. one million dollars (\$1,000,000) of Commercial General Liability on an occurrence basis with not less than \$1,000 deductible per incident or claim; and
  - II. one hundred thousand dollars (\$100,000) of coverage per participant accident.

5. The Tyrone Lazars Soccer Club shall require all coaches, assistant coaches, and managers to be certified through the National Youth Sports Coaches Associations (NYSCA), and require all coaches, assistant coaches, and managers to have proof of such certification when utilizing the Town of Tyrone facilities in their official capacity. The Tyrone Lazars Soccer Club shall also require all coaches, assistant coaches, and managers to comply with the rules and requirements of their governing organizations. The Town of Tyrone Recreation Department may request Proof of NYSCA Certification at any time.

6. The Tyrone Lazars Soccer Club will provide the Town of Tyrone Recreation Department with notice and location of all board meetings including called or specially called meetings and copies of minutes of all regular meetings, and all annual or special called meetings of the officers, Board of Directors, or general membership within 30 days of each meeting. In addition, the Association shall provide to the Town copies of any newsletters or special correspondence to membership.

7. The Tyrone Lazars Soccer Club shall provide to the Town of Tyrone within three (3) calendar days a preliminary written record of any incidents during their activities involving any parent, coach, or official. This shall be followed by a written record within three (3) calendar days of the resolution of, or action taken by, the Tyrone Lazars Soccer Club concerning such incidents.

8. The Tyrone Lazars Soccer Club shall put forth reasonable efforts to control the behavior of participants and spectators during each Tyrone Lazars Soccer Club event. The Tyrone Lazars Soccer Club agrees to exercise reasonable efforts to instill that the behavior of the coaches, parents, officials, and youth is appropriate, and, to that end, the Tyrone Lazars Soccer Club agrees to distribute for each coach and each parent whose child participates in the soccer program a code of ethics for coaches and parents to follow. Additional copies may be posted online or at the recreational fields and facilities for reference.

9. The Tyrone Lazars Soccer Club agrees to indemnify and hold harmless the Town of Tyrone from any injuries of any kind to any person or damages to any property that occurs while attending or participating in Tyrone Lazars Soccer Club activities on the town's property absent of a clear showing of negligence on the part of the Town.

10. To the extent permitted by law, The Town of Tyrone agrees to indemnify and hold harmless the Tyrone Lazars Soccer Club from and against any claim alleging damages that are based upon or attributable to a breach by the Town of any of its obligations set for in this agreement.

11. The Tyrone Lazars Soccer Club IS REQUIRED TO CONDUCT BACKGROUND CHECKS FOR ALL COACHES, ASSISTANT COACHES, and MANAGERS INVOLVED WITH THE

Tyrone Lazars Soccer Club. These background checks must be in accordance with the adopted Background Check Policy set by the Town of Tyrone and facilitated by the Town of Tyrone Recreational Department. The appropriate background check form will be provided to the Tyrone Lazars Soccer Club by the Town of Tyrone Recreational Department. Coaches, Assistant Coaches, and Managers may return the completed background check form directly to the Town of Tyrone Recreational Department. These background checks must include background information from other states and /or countries, as applicable. Results of these background checks shall be forwarded to the Tyrone Recreation Department after acceptance from the Tyrone Police Department. to background check for any coach, assistant coach or manager shall has aged more than two years. The Town of Tyrone's staff reserves the right to monitor the background checks conducted by the Association. Audits shall be conducted with no advance notice and the Association shall be prepared to produce the requested information or documentation.

SCHEDULES

12. The Tyrone Lazars Soccer Club agrees to provide the Tyrone Recreation Department with a written general schedule of games and practice times prior to the first scheduled game or practice. Dual seasons (fall/spring) will require dual schedules. Schedules should list, at a minimum, fields/facilities, dates, and times. The Tyrone Lazars Soccer Club will also provide updates or changes to the original schedule. The Tyrone Lazars Soccer Club shall not schedule regular practices or games on any Wednesdays unless prior arrangements have been made between the Association and the Town. The Recreation Department must



review the schedule (which must include all times needed for games, practices, and field maintenance) before the Tyrone Lazers Soccer Club can use the fields. If the Tyrone Lazers Soccer Club opts to schedule and be responsible for travel teams, the schedules of these teams shall also be submitted to the Recreation Department. Once the Recreation *key* at *Trident* has approved the schedule, the Tyrone Lazers Soccer Club shall have exclusive use of the fields for all times listed on the approved schedule. The Tyrone Recreation Department shall have a minimum of five workdays to review the proposed schedule but shall not unreasonably withhold approval of the schedule.

FACILITIES/SECURITY

13. The Tyrone Lazers Soccer Club agrees to regularly monitor all areas of the Facility being used to ensure that trash and litter are cleaned up after use. A cleanup/damage/security deposit of \$500 will be escrowed prior to the beginning of each season. If cleanup for each event is not completed within twenty-four (24) hours, the Town of Tyrone shall complete the cleanup of the facility and shall invoice the Tyrone Lazers Soccer Club for the cost of the cleanup. The cost of the cleanup shall be forty dollars (\$40.00) per hour required by the Town to complete the cleanup. Any unused portion of the security deposit will be credited toward the required deposit for the next season.

14. The Tyrone Lazers Soccer Club shall notify the Director of the Tyrone Recreation Department of any damage, vandalism, needed repairs, and/or safety issues at the Facility as soon as possible, but not later than the next working day. The Tyrone Recreational Department will determine the cause and cost to repair the damages and thereby notify the Tyrone Lazers Soccer Club of its findings. If any damage is determined to be caused as a result of Tyrone Lazers Soccer Club members' negligence or failure to comply with the Town's operational or security measures, the Tyrone Lazers Soccer Club shall reimburse the Town of Tyrone for all costs of repair due to this negligence or failure to comply with the Town's operational or security measures. A copy of the operational or security measures policy shall be provided by the Town.

15. The Tyrone Lazers Soccer Club is responsible for monitoring the *restrooms* during its *use* of the Facility. The Tyrone Lazers Soccer **Club** shall ensure that all restrooms are locked at the conclusion of each usage of the facility.

16. The Tyrone Lazers Soccer Club must contact proper enforcement authorities when violations have been noted concerning the use of any tobacco products, alcoholic beverages, and/or illegal drugs to be consumed on the grounds of the facility.

1.7. All vehicles *shall* be parked in designated parking spaces unless specifically authorized by the Recreation Department.

18. The Tyrone Lazers Soccer **Club** shall be responsible for lining their fields for play.

19. The Tyrone Lazers Soccer Club shall turn off all lights and lock the designated gates or doors at the conclusion of each night's activities. Any costs incurred because of this provision not being followed shall be assessed against the Tyrone Lazers Soccer Club.

20. The Tyrone Lazers Soccer Club shall not alter, add, delete, or improve the Fields/Facility without prior written consent of the Town of Tyrone and the Town shall not unreasonably withhold approval of such Facility improvements to be performed and paid for by the Tyrone Lazers Soccer Club.

21. All tournaments and events other than regularly scheduled games shall be approved by the Recreation Department. To host such tournaments or events sponsored by organizations other than the

Tyrone Lazars Soccer Club, the Tyrone Lazars Soccer Club shall pay the Town of Tyrone a rental fee that shall be in accordance with a schedule of fees prepared in accordance with this contract by the Recreation Department.

22. All funds generated at tournaments will, to the extent possible, be earmarked for field maintenance, and/or capital improvements to the same. If any tournament does not involve teams from the Tyrone Lazars Soccer Club, net proceeds will be equally divided between the Town of Tyrone and the Tyrone Lazars Soccer Club. Tyrone residents shall not be charged a parking *See* for tournament attendance.

23. If the Tyrone Lazars Soccer Club desires to serve food items, the **Tyrone** Lazars Soccer Club shall request the Fayette County Health Department to conduct an inspection of the concession stands at the Facility and shall explain the level of food service the Tyrone Lazars Soccer **Club** will be requesting. The Tyrone Lazars Soccer Club shall also provide the Town of Tyrone with documentation, from the Health Department, as to the permit issued.

24. The Town of Tyrone and the Tyrone Lazars Soccer Club acknowledge that a comprehensive field maintenance program is required to preserve the life of the fields, reduce long-term capital expenditures, and ensure safe playing conditions. The Town of Tyrone will provide certain services in accordance with the available budget and human resources. In turn, the Tyrone Lazars Soccer **Club** will supplement this maintenance effort either with materials, funding, or other available resources at their disposal.

25. Within sixty (60) days prior to the signing of the 2025 agreement, key representatives of the Tyrone Lazars Soccer Club and the Town of Tyrone will meet to develop a joint maintenance program outlining frequencies, services, and which party will perform these functions. The Town of Tyrone and the Tyrone Lazars Soccer Club will coordinate to ensure compliance with the program.

26. The Town of Tyrone's insurance covers only the Town's buildings and fields. It is the responsibility of Tyrone Lazars Soccer Club to ensure any contents are stored in its concession stands, office, and storage buildings.

FINANCIAL

27. The Tyrone Lazars Soccer Club agrees to an annual flat fee of \$3,000.00 without revenue collection from the travel teams, or \$4,000.00 with the revenue collection from the travel teams. 50% of the fee is to be paid prior to the commencement of each season and the remaining 50% is to be paid prior to the start of the second season.

28. The following special provisions shall apply to the use of the Facility by the Association:

- (a) The Association will not schedule activities of any kind on October 3, 2025, and October 4, 2025.
- (b) During these same dates, the Town of Tyrone assumes all responsibility for the use of the Facility including the use of all restroom facilities except as provided below.
- (c) The Town of Tyrone will not permit the use of, nor assume responsibility, for concession or meeting facilities located in concession buildings by others.

29. Receipts and Disbursements: Tyrone Lazars Soccer Club shall properly maintain records, receipts, and disbursements of all funds for each season completed. The appropriate invoice or documentation shall support all disbursements.

30. Following the conclusion of this season, the entire storage area shall be cleared for the next season.

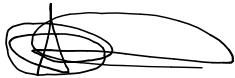
Should any organization choose to sell remaining concession products, this transaction shall take place prior to the beginning of the next season and must be reported with that season's receipts.

31. The Tyrone Lazars Soccer **Club** shall submit back-up documentation based on participant registration numbers. The Tyrone Lazars Soccer **Club** shall have all required documentation such as the Association by-laws, player and coach registrations, field /player insurance, in and out-of-county player participation numbers and fees, background check forms, coach NYSCA certification, team rosters, game and practice schedules. Failure to have all documentation submitted to the Town one week prior to the opening day of the season will result in LOSS OF USE OF FACILITIES UNTIL IN COMPLIANCE WITH CONTRACT.

32. This agreement will be governed by and construed in accordance with the laws of the State of Georgia, USA, without giving effect to its conflicts of law principles.

33. This Agreement constitutes the entire understanding between the parties with respect to Tyrone Lazars Soccer Club's use of the Facility and supersedes all prior and contemporaneous negotiations, discussions, and understanding of the parties, whether written or oral, between the parties with respect to Tyrone Lazars Soccer Club use of the Facility. No amendment or modification of this Agreement will be valid or binding on the parties unless made in writing and executed on behalf of each party by its duly authorized representative.

Signed and agreed upon this 5th day of March 2025 by:



Tyrone Lazars Soccer Club, President

Eric Dial, Mayor



**COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** Consent Agenda

**Staff Contact:** Lynda Owens

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**STAFF REPORT**

**AGENDA ITEM:**

Field Use Agreement For Tyrone Youth Baseball Association (TYBA)

**BACKGROUND:**

The attached is the same agreement as last year with the only change being the date. The fee is \$4,000.00 for the year. Payment has been received. Allison Cox has been notified.

**FUNDING:**

No cost to the Town

**STAFF RECOMMENDATION:**

Approval of Agreement

**ATTACHMENTS:**

Signed Field Use Agreement For TYBA

**PREVIOUS DISCUSSIONS:**

none

Should any organization choose to sell remaining concession products, this transaction shall take place prior to the beginning of the next season and must be reported with that season's receipts.

31. The Tyrone Lazars Soccer Club shall submit back-up documentation based on participant registration numbers. The Tyrone Lazars Soccer Club shall have all required documentation such as the Association by-laws, player and coach registrations, field /player insurance, in and out-of-county player participation numbers and fees, background check forms, coach NYSCA certification, team rosters, game and practice schedules. Failure to have all documentation submitted to the Town one week prior to the opening day of the season will result in LOSS OF USE OF FACILITIES UNTIL IN COMPLIANCE WITH CONTRACT.

32. This agreement will be governed by and construed in accordance with the laws of the State of Georgia, USA, without giving effect to its conflicts of law principles.

33. This Agreement constitutes the entire understanding between the parties with respect to Tyrone Lazars Soccer Club's use of the Facility and supersedes all prior and contemporaneous negotiations, discussions, and understanding of the parties, whether written or oral, between the parties with respect to Tyrone Lazars Soccer Club use of the Facility. No amendment or modification of this Agreement will be valid or binding on the parties unless made in writing and executed on behalf of each party by its duly authorized representative.

Signed and agreed upon this 5th day of March 2025 by:



Tyrone Lazars Soccer Club, President

Eric Dial, Mayor

**Youth Sports Association Facility Agreement  
Tyrone Youth Baseball Association  
and  
The Town of Tyrone**

**GENERAL**

1. The **Tyrone Youth Baseball Association** agrees to provide a **RECREATIONAL** youth sports program as a service for the Town of Tyrone. In return for providing the youth sports program and for fulfilling the other requirements of this Agreement, the Town hereby waives other, usual fees for field usage routinely charged to other non-affiliated organizations.

2. The term of this Agreement will begin **March 20, 2025** and continue through **December 31, 2025**. Should both parties agree, a new agreement, with substantially the same terms and conditions, as this Agreement may be entered into at the conclusion of the term of this Agreement. If either party desires to enter into a new agreement, said party shall provide notice to the other party at least thirty (30) days prior to the termination of this Agreement.

3. The Town agrees to authorize the **Tyrone Youth Baseball Association** to use the field(s) and facilities on a non-exclusive basis to conduct a baseball program at the following locations: Handley Park Baseball Fields & Concession Stand/Restrooms hereinafter referred to as the "Facility".

For purposes of this agreement, **Tyrone Youth Baseball Association** baseball program is designed as a program where all children who register under existing **Tyrone Youth Baseball Association** guidelines will be able to play on a team that matches their age and ability. This agreement also covers other State of Georgia-sponsored youth sports, such as traveling teams, and All-Star teams. As such, these programs fall under the same policies of this agreement.

4. The **Tyrone Youth Baseball Association** must provide, prior to the beginning of its playing season, to the town of Tyrone's Recreation Department the current versions of:

- (a) A current list of Board of Directors and Association Officers, a set of by-laws, with amendments, if applicable
- (b) A current roster of participants, to show how many youths registered, their ages, and where they reside i.e. city and county.
- (c) Proof of liability insurance/certificate of insurance coverage insuring **Tyrone Youth Baseball Association** with The Town of Tyrone named as an additional insured. Coverage should include, at a minimum:
  - I. one million dollars (\$1,000,000) of Commercial General Liability on an occurrence basis with not less than \$1,000 deductible per incident or claim; and
  - II. one hundred thousand dollars (\$100,000) of coverage per participant accident.

5. The **Tyrone Youth Baseball Association** shall require all coaches, assistant coaches, and managers to be certified through the National Youth Sports Coaches Associations (NYSCA), and require all coaches, assistant coaches, and managers to have proof of such certification when utilizing the Town of Tyrone facilities in their official capacity. The **Tyrone Youth Baseball Association** shall also require all coaches, assistant coaches, and managers to comply with the rules and requirements of their governing organizations. The Town of Tyrone Recreation Department may request Proof of NYSCA Certification at any time.

6. The **Tyrone Youth Baseball Association** will provide the Town of Tyrone Recreation Department with notice and location of all board meetings including called or specially called meetings copies of minutes of all regular meetings, and all annual or specially called meetings of the officers, Board of Directors or general membership within 30 days of each meeting. In addition, the Association shall provide the Town with copies of any newsletters or special correspondence to membership.

7. The **Tyrone Youth Baseball Association** shall provide the Town of Tyrone within three (3) calendar days a preliminary written record of any incidents during their activities involving any parent, coach, or official. This shall be followed by a written record within three (3) calendar days of resolution of, or action taken by, the **Tyrone Youth Baseball Association** concerning such incidents.

8. The **Tyrone Youth Baseball Association** shall put forth reasonable efforts to control the behavior of participants and spectators during each **Tyrone Youth Baseball Association** event. The **Tyrone Youth Baseball Association** agrees to exercise reasonable efforts to ensure that the behavior of the coaches, parents, officials, and youth is appropriate, and, to that end, the **Tyrone Youth Baseball Association** agrees to distribute for each coach and each parent whose child participates in the baseball program a code of ethics for coaches and parents to follow. Additional copies may be posted online or at the recreational fields and facilities for reference.

9. The **Tyrone Youth Baseball Association** agrees to indemnify and hold harmless the Town of Tyrone from any injuries of any kind to any person or damages to any property that occur while attending or participating in **Tyrone Youth Baseball Association** activities on the Town's property absent of a clear showing of negligence on the part of the Town.

10. To the extent permitted by law, The Town of Tyrone agrees to indemnify and hold harmless the **Tyrone Youth Baseball Association** from and against any claim alleging damages that are based upon or attributable to a breach by the Town of any of its obligations set forth in this agreement.

11. The **Tyrone Youth Baseball Association** IS REQUIRED TO CONDUCT BACKGROUND CHECKS FOR ALL COACHES, ASSISTANT COACHES, and MANAGERS INVOLVED WITH THE **Tyrone Youth Baseball Association**. These background checks must be in accordance with the adopted Background Check Policy set by the Town of Tyrone and facilitated by the Town of Tyrone Recreational Department. The appropriate background check form will be provided to the **Tyrone Youth Baseball Association** by the Town of Tyrone Recreational Department. Coaches, Assistant Coaches, and Managers may return the completed background check form directly to the Town of Tyrone Recreational Department. These background checks must include background information from other states and /or countries, as applicable. Results of these background checks shall be forwarded to the Tyrone Recreation Department after acceptance from the Tyrone Police Department. No background check for any coach, assistant coach, or manager shall have aged more than two years. The Town of Tyrone's staff reserves the right to monitor the background checks conducted by the Association. Audits shall be conducted with no advance notice and the Association shall be prepared to produce the requested information or documentation.

### SCHEDULES

12. The **Tyrone Youth Baseball Association** agrees to provide the Tyrone Recreation Department with a written general schedule of games and practice times **prior to** the first scheduled game or practice. Dual seasons (fall/spring) will require dual schedules. Schedules should list, at a minimum, fields/facilities, dates, and times. The **Tyrone Youth Baseball Association** will also provide updates or changes to the

original schedule. The **Tyrone Youth Baseball Association** shall not schedule regular practices or games on any Wednesday unless prior arrangements have been made between the Association and the Town. The Recreation Department must review the schedule (which must include all times needed for games, practices, and field maintenance) before the **Tyrone Youth Baseball Association** can use the fields. If the **Tyrone Youth Baseball Association** opts to schedule and be responsible for travel teams, the schedules of these teams shall also be submitted to the Recreation Department. Once the Recreation Department has approved the schedule, the **Tyrone Youth Baseball Association** shall have exclusive use of the fields for all times listed on the approved schedule. The Tyrone Recreation Department shall have a minimum of five workdays to review the proposed schedule but shall not unreasonably withhold approval of the schedule.

**FACILITIES/SECURITY**

13. The **Tyrone Youth Baseball Association** agrees to regularly monitor all areas of the Facility being used to ensure that trash and litter are cleaned up after use. A cleanup/damage/security deposit of \$500 will be escrowed prior to the beginning of each season. If cleanup for each event is not completed within twenty-four (24) hours, the Town of Tyrone shall complete the cleanup of the facility and shall invoice the **Tyrone Youth Baseball Association** for the cost of the cleanup. The cost of the cleanup shall be forty dollars (\$40.00) perhour required by the Town to complete the cleanup. Any unused portion of the security deposit will be credited toward the required deposit for the next season.

14. The **Tyrone Youth Baseball Association** shall notify the Director of the Tyrone Recreation Department of any damage, vandalism, needed repairs and/or safety issues at the Facility as soon as possible, but not later than the next working day. The Tyrone Recreational Department will determine the cause and cost to repair the Damages and thereby notify the **Tyrone Youth Baseball Association** of its findings. If any damage is determined to be caused as a result of **Tyrone Youth Baseball Association** members' negligence or failure to comply with the Town's operational or security measures, the **Tyrone Youth Baseball Association** shall reimburse the Town of Tyrone for all costs of repair due to this negligence or failure to comply with the Town's operational or security measures. A copy of the operational or security measures policy shall be provided by the Town.

15. The **Tyrone Youth Baseball Association** is responsible for monitoring the restrooms during its use of the Facility. The **Tyrone Youth Baseball Association** shall ensure that all restrooms are locked at the conclusion of each usage of the facility.

16. The **Tyrone Youth Baseball Association** must contact proper enforcement authorities when violations have been noted concerning the use of any tobacco products, alcoholic beverages, and/or illegal drugs to be consumed on the grounds of the Facility.

17. All vehicles shall be parked in designated parking spaces unless specifically authorized by the Recreation Department.

18. The **Tyrone Youth Baseball Association** shall be responsible for lining their fields for play.

19. The **Tyrone Youth Baseball Association** shall tum off all lights and lock the designated gates or doors at the conclusion of each night's activities. Any costs incurred as a result of this provision not being followed shall be assessed against the **Tyrone Youth Baseball Association**

20. The **Tyrone Youth Baseball Association** shall not alter, add, delete or improve the Fields/Facility without prior written consent of the Town of Tyrone and the Town shall not unreasonably withhold approval of such Facility improvements to be performed and paid for by the **Tyrone Youth Baseball Association**.



21. All tournaments and events other than regularly scheduled games shall be approved by the Recreation Department. To host such tournaments or events sponsored by organizations other than the **Tyrone Youth Baseball Association**, the **Tyrone Youth Baseball Association** shall pay to the Town of Tyrone a rental fee that shall be in accordance with a schedule of fees prepared in accordance with this contract by the Recreation Department.

22. All funds generated at tournaments will, to the extent possible, be earmarked for field maintenance, and/or capital improvements to the same. If any tournament does not involve teams from the **Tyrone Youth Baseball Association**, net proceeds will be equally divided between the Town of Tyrone and the **Tyrone Youth Baseball Association**. **Tyrone residents shall not be charged a parking fee for tournament attendance.**

23. If the **Tyrone Youth Baseball Association** desires to serve food items, the **Tyrone Youth Baseball Association** shall request the Fayette County Health Department to conduct an inspection of the concession stands at the Facility and shall explain the level of food service the **Tyrone Youth Baseball Association** will be requesting. The **Tyrone Youth Baseball Association** shall also provide the Town of Tyrone with documentation, from the Health Department, as to the permit issued.

24. The Town of Tyrone and the **Tyrone Youth Baseball Association** acknowledge that a comprehensive field maintenance program is required to preserve the life of the fields, reduce long-term capital expenditures and ensure safe playing conditions. The Town of Tyrone will provide certain services in accordance with the available budget and human resources. In turn, the **Tyrone Youth Baseball Association** will supplement this maintenance effort either with materials, funding or other available resources at their disposal.

25. Within sixty (60) days prior to the signing of the 2025 agreement, key representatives of the **Tyrone Youth Baseball Association** and the Town of Tyrone will meet to develop a joint maintenance program outlining frequencies, services and which party will perform these functions. The Town of Tyrone and the **Tyrone Youth Baseball Association** will coordinate to ensure compliance with the program.

26. The Town of Tyrone's insurance covers only the Town's buildings and fields. It is the responsibility of the **Tyrone Youth Baseball Association** to insure any contents stored in its concession stands, office and storage buildings.

**FINANCIAL**

27. The **Tyrone Youth Baseball Association** agrees to an annual flat fee schedule of **\$3,000.00** without revenue collection from the travel teams, or **\$4,000.00** with the revenue collection from the travel teams. 50% of the fee is to be paid prior to the commencement of each season and the remaining 50% to be paid prior to the start of the second season.

28. The following special provisions shall apply to the use of the Facility by the Association:

- (a) The Association will not schedule activities of any kind on October 3, 2025, and October 4, 2025.
- (b) During these same dates, the Town of Tyrone assumes all responsibility for use of the Facility including the use of all restroom facilities except as provided below.
- (c) The Town of Tyrone will not permit the use of, nor assume responsibility, for concession or meeting facilities located in concession buildings by others.

29. Receipts and Disbursements: **Tyrone Youth Baseball Association** shall properly maintain records, receipts and disbursements of all funds for each season completed. The appropriate invoice or documentation shall support all disbursements.

30. Following the conclusion of the season, the entire storage area shall be cleared for the next season. Should any organization choose to sell remaining concession products, this transaction shall take place prior to the beginning of the next season and must be reported with that season's receipts.

31. The **Tyrone Youth Baseball Association** shall submit back-up documentation based on participant registration numbers. The **Tyrone Youth Baseball Association** shall have all required documentation such as the Association By-Laws, player and coach registrations, field /player insurance, in and out-of-county player participation numbers and fees, background check forms, and coach NYSCA certification, team rosters, game and practice schedules. Failure to have all documentation submitted to the Town one week before opening day of the season will result in LOSS OF USE OF FACILITIES UNTIL IN COMPLIANCE WITH CONTRACT.

32. This Agreement will be governed by and construed in accordance with the laws of the State of Georgia, USA, without giving effect to its conflicts of law principles.

33. This Agreement constitutes the entire understanding between the parties with respect to **Tyrone Youth Baseball Association** use of the Facility and supersedes all prior and contemporaneous negotiations, discussions and understanding of the parties, whether written or oral, between the parties with respect to **Tyrone Youth Baseball Association** use of the Facility. No amendment or modification of this Agreement will be valid or binding on the parties unless made in writing and executed on behalf of each party by its duly authorized representative.

Signed and agreed upon this \_\_\_\_\_2025 by:

\_\_\_\_\_  
TYBA, President

\_\_\_\_\_  
Eric Dial, Mayor

 Outlook

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**GA State Contract - 144th**

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From Cassie Gross <cassie@144thmarketinggroup.com>  
Date Tue 2/25/2025 5:56 PM  
To Van Brock <van.brock@tyronega.gov>  
Cc Chad Brooks <chad@144thfleet.com>

Caution: This email originated from an external sender. Verify the source before opening links or attachments.

Good afternoon,

Per your conversation with Chad, our GA State Contract # is 46600-127-DPS0000257-0002.

Let us know if you need anything additional.

Thanks!  
Cassie

Cassie Gross  
144<sup>th</sup> Marketing Group LLC  
611 Highway 74S, Suite 3000  
Peachtree City, GA 30269  
Office: (770) 631-2937  
Fax: (770) 631-2938  
Email: [cassie@144thmarketinggroup.com](mailto:cassie@144thmarketinggroup.com)

144th Marketing Group, LLC  
 611 Highway 74S, Suite 3000  
 Peachtree City, GA 30269  
 (770) 631-2937  
 www.144thfleet.com

# Estimate



ADDRESS
Maj. Van Brock Tyrone Police Department 945 Senoia Road Tyrone, GA 30290

SHIP TO
Maj. Van Brock Tyrone Police Department 945 Senoia Road Tyrone, GA 30290

ESTIMATE #	DATE
107348	02/26/2025

ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
	2021+ Patrol F150 - single cell with bedcover, running boards and bed vault. full push bumper also.			0.00
				0.00
21TR52MC	21TR 52" Multicolor Lightbar w/flood feature - Full blue white modules (front and blue amber (rear)	1	1,495.00	1,495.00
3492L6	Xcel Siren, 12v, w/Light Control & Hard-wired Mic	1	395.00	395.00
C3100U	CODE 3/C3100 Speak with Universal Brackets	1	165.00	165.00
950	Universal Flashers - headlight flasher	1	60.00	60.00
PMP2WSSSB	Window Shroud Kit for 4" Light w/ Stud Mount - Black - back glass	2	10.00	20.00
EMPS2STS3B	mpower® 4" Fascia Light w/ Stud Mount, Blue back glass	2	115.00	230.00
MR6-B	SURFACE MOUNT or FLUSH MOUNT (Grommet* sold separately), Blue LEDs - bumper intersection side	4	75.00	300.00
MICROPAK-DC-BW	Directional, 6-Pack LED Hide-a-Blast, 12-12V, 29FPs, multi color, blue/white	4	65.00	260.00
CD3766BW	Chase lights for the channel / additional flood	2	95.00	190.00
36-52065W	Wing Wrap 2015-2017 F-150	1	245.00	245.00
36-54085PB	PIT Bar EliteXD F-150/F-150 Police Responder/F-150 XL SSV 2021-2022	1	350.00	350.00
36-54085	Push Bumper EliteXD F-150/F-150 Police Responder/F-150 XL SSV 2021-2022	1	535.00	535.00
36-6015C2CH	Westin light channel for 2 Chase lights	1	40.00	40.00
425-6524	F-150 SSV/Police Responder 2021+ with Locking Lid (20" FP/ 28" FLP)	1	610.00	610.00
425-3704 (DISCONTINUED - USE 425-6729)	Dual ABS Cupholder	1	40.00	40.00

ACTIVITY	DESCRIPTION	QTY	RATE	AMOUNT
425-2969	Faceplate with 3-12 Volt Power Outlets	1	40.00	40.00
425-0017	Brother printer armrest	1	295.00	295.00
LB3692	Brother Car Adapter	1	35.00	35.00
PJ822	Brother PocketJet 8, 200dpi, 8.5" width	1	395.00	395.00
425-5542/4143	Console Computer Side Mount	1	460.00	460.00
475-1812	Single Cell Lite Package (SSV/Police Responder)	1	1,145.00	1,145.00
475-2038	ZRT Gun Mount AR/870	1	340.00	340.00
Tint Premlum - 4dr Truck	Tint Premium - 4 door truck including front windshield strip 5%, 32% all the way.	1	225.00	225.00
Misc	Extang 2.0 bed cover	1	950.00	950.00
Misc	decked two drawer bed vault	1	1,650.00	1,650.00
Misc	running boards	1	495.00	495.00
Graphics	Graphics	1	595.00	595.00
Labor	Installation equipment and customer supplied radio.	1	1,615.00	1,615.00
Shlpping	Shipping	1	345.00	345.00

SUBTOTAL	13,520.00
TAX	0.00
<b>TOTAL</b>	<b>\$13,520.00</b>

Accepted By

Accepted Date



QUOTE-2894923  
 Tyrone PD - GA - M500 EL

Billing Address:  
 TYRONE POLICE DEPT, CITY OF  
 945 SENOIA RD  
 TYRONE, GA 30290  
 US

Quote Date:11/13/2024  
 Expiration Date:05/28/2025  
 Quote Created By:  
 Adam Thompson  
 RSM  
 Lane.Thompson@  
 motorolasolutions.com  
 205.354.8945

End Customer:  
 TYRONE POLICE DEPT, CITY OF  
 Major Van Brock  
 van.brock@tyronega.gov  
 770-881-8311

Contract: 36874 - Sourcewell - Mobile  
 Video 101223-MOT  
 Payment Terms:30 NET

Line #	Item Number	Description	Qty	Term	Disc \$	Sale Price	Ext. Sale Price
	M500						
1	WGB-0703A	M500 ICV SYSTEM, V300 WIFI DOCK	1		\$2,602.17	\$4,916.58	\$4,916.58
2	WGW00502	M500 EXTENDED WARRANTY	1	5 YEAR	\$525.71	\$993.29	\$993.29
3	WGB-0189A	MTIK CONF KIT,802.11AC,M500POE,5G HZANT	1		\$141.90	\$268.10	\$268.10
4	WGP02225-100-KIT2	BRKT4RE DI/VISTA/CAMVR 07-14TAH11-19EXPL	1		Included	Included	Included
	VideoManager EL or EX: Video Evidence Management						
5	WGP02400-510	VIDEOMANAGER EL, IN- CAR VIDEO SYSTEM ANNUAL LICENSE	1	1 YEAR	\$84.36	\$159.39	\$159.39
6	PSV00S03897A	REMOTE DEPLOYMENT, CONFIGURATION AND PROJECT MANAGEMENT	1		\$1,384.36	\$2,615.64	\$2,615.64
<b>Subtotal</b>							<b>\$13,691.50</b>



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.  
 Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 ~ #: 36-1115800



QUOTE-2894923  
Tyrone PD - GA - M500 EL

Total Discount Amount

\$4,738.50

Grand Total

**\$8,953.00(USD)**



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.  
Motorola Solutions, Inc. 500 West Monroe, United States - 60661 - #: 36-1115800



QUOTE-2894923  
Tyrone PD - GA - M500 EL

### Pricing Summary

		Payment Term	Upfront Sale Price	
<b>Upfront Costs*</b>				
			\$8,793.61	
<b>Upfront Subscription Fee</b>				
	VideoManager EL or EX: Video Evidence Management	Annually	\$159.39	
<b>Sub Total:</b>			<b>\$8,953.00</b>	
		Payment Term	Sale Price	Annual Sale Price
<b>Sub Total:</b>				<b>\$0.00</b>
<b>Grand Total System Price (Inclusive of Upfront and Annual Costs)</b>				<b>\$8,953.00</b>

\*Upfront costs include the cost of Hardware, Accessories and Implementation, where applicable.

### Notes:

- The Pricing Summary is a breakdown of costs and does not reflect the frequency at which you will be invoiced.
- This quote contains items with approved price exceptions applied against them.
- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.
- Unless otherwise noted in this quote / order, installation of equipment is not included.



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.  
Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 ~ #: 36-1115800



Quote Number 00013422

Section VI, Item 5.



Prepared By Sydney Burke
Phone (913) 428-3279
Fax (913) 492-1703
Email sburke@kustomsignals.com

Address 10901 W. 84th Terrace, Suite 100
Lenexa, KS 66214
United States
Created Date 2/19/2025
Expiration Date 3/21/2025

Quote To:

Name Major Van Brock
Bill To Name TOWN OF TYRONE POLICE DEPT
Bill To 950 SENOIA RD
TYRONE, GA 30290-9537
USA
Ship To Name TOWN OF TYRONE POLICE DEPT
Ship To 950 SENOIA RD
TYRONE, GA 30290-9537
USA

Table with 5 columns: Product Code, Quantity, Product Description, Sales Price, Total Price. Rows include Raptor RP-1 Dual Directional Ka-Band Antennas and RADAR Wireless Speed Sense Module.

Totals table showing Subtotal (\$2,550.00), Shipping and Handling (\$48.00), and Total Amount (\$2,598.00).

\* Applicable Sales Tax Not Included. Seller may charge Buyer a 25% restocking fee.

Raptors include Same Direction Mode, Advanced Tuning Fork Test, mounts, cables, tuning forks, 2-Year Warranty, Certification

Quote Acceptance

Signature
Name
Title
Date



Prepared By Sydney Burke
Phone (913) 428-3279
Fax (913) 492-1703
Email sburke@kustomsignals.com

Address 10901 W. 84th Terrace, Suite 100
Lenexa, KS 66214
United States
Created Date 2/19/2025
Expiration Date 3/21/2025

KUSTOM SIGNALS, INC.
TERMS AND CONDITIONS

1. APPLICABILITY. Unless otherwise specified in a written bid, quote or contract, the following terms and conditions shall apply.

2. PRICES AND TAXES. Prices will be Kustom Signals, Inc.'s ("Seller") prices in effect on the date a purchase order is accepted by Seller, and Seller may change its prices at any time, in its sole discretion. All prices will be F.O.B. Chanute, Kansas, and net of any duties, sales, use or similar taxes, fees or assessments, and do not include shipping, packaging or any insurance costs, all of which are Buyer's responsibility.

3. PAYMENT. Unless otherwise provided on the face of the invoice, payment is due 30 days after invoice date in US dollars. Partial payments are not permitted unless authorized in writing. Partial payments will be treated as non-payment. Each invoice is independent from shipping sequence and disputes relating to other invoices. Failure to pay an invoice within 30 days will be considered a default.

4. DELIVERY AND PERFORMANCE. Delivery dates are approximate. Seller disclaims all liability for late or partial delivery. Seller may deliver in such lots and at such times as is convenient for Seller.

5. LOSS IN TRANSIT. Risk of loss will pass to Buyer upon delivery of the goods to the carrier. In case of breakage or loss in transit, Buyer will have notation of same made on expense bill before paying freight. Seller may reject claims for shortages not made within 15 days of Buyer's receipt of the goods.

6. TERMINATION, RESTOCKING CHARGES. Buyer may terminate this purchase order for its convenience, in whole or in part, by written, faxed or telegraphic notice at any time. If Buyer terminates this purchase order for convenience, Buyer will be liable to Seller for Seller's reasonable costs incurred in the performance of this purchase order that Seller cannot mitigate. Unless otherwise agreed upon in advance in writing by Seller, Seller may charge Buyer a 25% restocking fee, if: (a) upon approval by Seller, the Buyer returns any non-defective goods covered by this invoice; or (b) prior to shipment, but after the goods are produced by Seller, Buyer cancels the order for the subject goods.

7. WARRANTY. Seller's warranty is provided separately.

8. LIMITATION OF LIABILITY. SELLER IS NOT LIABLE FOR ANY CONSEQUENTIAL, INDIRECT, OR INCIDENTAL DAMAGES, OR ANY LOST PROFITS OR LOST SAVINGS, EVEN IF A SELLER REPRESENTATIVE HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH LOSS, DAMAGES, CLAIMS OR COSTS, NOR IS SELLER LIABLE FOR ANY CLAIM BY ANY THIRD PARTY. SELLER'S AGGREGATE LIABILITY UNDER OR IN CONNECTION WITH THIS PURCHASE ORDER IS LIMITED TO THE AMOUNT PAID FOR THE GOODS.

9. INDEMNIFICATION. Buyer will indemnify, defend and hold Seller harmless from all losses, damages, liabilities and costs, including attorney's fees, incurred or sustained by Seller as a result of any third party claim made against Seller, including a claim by a customer of Buyer, arising from its negligent, reckless, willful, or intentional actions in marketing and reselling the goods.

10. EXPORT RULES. Exports and re-exports of the goods may be subject to United States export controls and sanctions administered by the U.S. Department of Commerce Bureau of Industry and Security under its Export Administration Regulations ("EAR"). Buyer shall comply with all laws, rules and regulations applicable to the export or re-export of goods including but not limited to EAR which includes, among other things, screening potential transactions against the U.S. Government's (i) list of prohibited end users, and (ii) list of prohibited countries. Buyer represents and warrants that (i) it has not been charged with, convicted of, or penalized for, any violation of EAR or any statute referenced in EAR §766.25, and (ii) it has not been notified by any government official of competent authority that it is under investigation for any violation of EAR or any statute referenced in EAR §766.25.

11. MISCELLANEOUS. These terms and conditions, together with any other written agreement between Buyer and Seller, if any: (i) are the exclusive statements of the parties with respect to the subject matter and supersede any prior or contemporaneous communications; (ii) may not be amended except in writing executed by the parties and will prevail in any case where the terms of Buyer's purchase order or other communication are inconsistent; (iii) will be interpreted and enforced in accordance with the laws of the State of Kansas, without giving effect to principles of conflicts of law. These terms and conditions are: (1) solely for the benefit of the parties, and no provision of these terms and conditions will be deemed to confer upon any other person any remedy, claim, liability, reimbursement, cause of action or other right. Each party consents to the exclusive personal jurisdiction of the state and federal courts located in the State of Kansas for purposes of any suit, action or other proceeding arising out of this Agreement, waives any argument that venue in any such forum is not convenient and agrees that the venue of any litigation initiated by either of them in connection with this Agreement will be in either the District Court of Johnson County, Kansas, or the United States District Court, District of Kansas. If any provision of these terms and conditions is unenforceable, the remaining provisions will remain in effect. No waiver (whether by course of dealing or otherwise) is effective unless it is made in writing and signed by the party to be charged with such waiver. Unless otherwise specified in writing, notices must be given in writing by registered or certified mail, return receipt requested, addressed to:

Kustom Signals, Inc.
Attn: Sales Dept.
9652 Loire
Lenexa, KS 66219

Quote Acceptance

Signature \_\_\_\_\_
Name \_\_\_\_\_
Title \_\_\_\_\_
Date \_\_\_\_\_



A quote for your consideration.

To retrieve this eQuote online, log in to your **Dell Premier Page** and search for your eQuote number under "Quotes" in the top menu bar.

Quote No.: 3000186346764  
 Total (USD): \$2,319.05  
 eQuote Name: February 2025 PD Laptop  
 eQuote Creator: ptrocquet@tyrone.org  
 Quoted On: Feb. 26, 2025  
 Expires By: Mar. 28, 2025

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Company Name: -  
 Customer Number: -  
 Premier Page Name: Town Of Tyrone

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Contract Name: Georgia End User Computing Agreement  
 Contract Code: C000000493100  
 Customer Agreement Number: 99999-SPD0000161-0004

**Billing Address:**

-  
,

**Pricing Summary**

	Qty	Unit Price	Discounted Unit Price	Subtotal
Dell Pro Rugged 14 Laptop	1	\$3,368.86	\$2,189.76	\$2,189.76
Premier discount		-\$1,179.10		
			<b>Subtotal:</b>	<b>\$2,189.76</b>
			<b>Shipping:</b>	<b>\$0.00</b>
			<b>Estimated Tax:</b>	<b>\$129.29</b>
			<b>Total (USD):</b>	<b>\$2,319.05</b>

**Shipping Address:**

TOWN OF TYRONE POLICE DEPT  
 Banks Cayla  
 950 Senoia Rd  
 Ste B  
 Tyrone , GA 30290-2063

**Shipping Method:**

FREE Standard Delivery

**Product Details**



**Dell Pro Rugged 14 Laptop  
(210-BNNG)**

Order Code: xctorb14250usrfs

Qty	Unit Price	Subtotal
1	\$2,189.76	\$2,189.76

Module	Description	Product Code	SKU	Qty
Base	Dell Pro Rugged, RB14250 XCTO	GPYDR2I	210-BNNG	1
Processor	Intel® Core™ Ultra 5 125U (12 MB cache, 12 cores, up to 4.30 GHz, 15W)	G3XKLYI	379-BFTK	1
Operating System	Windows 11 Pro	G0VA5W2	619-BBQD	1
Microsoft Office	Activate Your Microsoft 365 For A 30 Day Trial	GC7OFJV	658-BCSB	1
Base Options	Intel® Core™ Ultra 5 125U (12 MB cache, 12 cores, up to 4.30 GHz, 15W), Intel Integrated Graphics	GYQU6JL	338-CQVF	1
Keyboard	English US Rugged RGB Single Point backlit Copilot key keyboard	GOH17I9	583-BMJG	1
Right Side Expansion Port	Additional TBT-4/Type-C port	GGJ8TW2	325-BFXV	1
Rear Expansion Port	Additional rear USB 3.2 Type-A port	GEG0D31	590-TFPW	1
Windows AutoPilot	No AutoPilot	GYEO2AP	340-CKSZ	1
Secured Component Verification Cloud	No Software included (No SCV)	GG58RQO	658-BFOH	1
Hard Drive Software	Intel Responsiveness Technologes Driver	G5P76OD	409-BCYL	1
Systems Management	ME Disable - Manageability	G6ZQTFP	631-BBYT	1
Memory	16GB: 2 X 8 GB, DDR5, 5600, Non-ECC, SoDIMM	G612FR9	370-BCGC	1
Storage	512GB PCIe NVMe 2230 SSD	GX5VWJH	400-BSFN	1
Mouse	No Mouse	G8043UZ	570-AADK	1
Driver	Wireless Intel AX211 WLAN Driver	GTE5WBH	555-BLJD	1
Wireless	Intel® Wi-Fi 6E AX211, 2x2, 802.11ax, MU-MIMO, Bluetooth® 5.3 wireless card	G7VA614	555-BLHY	1
Mobile Broadband	No Mobile Broadband Card	GYTR8GO	556-BFST	1
GPS Solutions (Tied)	No Option Included	GKGSY4C	340-ACQQ	1
Display	14" Non-Touch, FHD 1920x1080, 60Hz, WVA, Anti-Glare, 400 nit, Low Blue Light, RGB camera	G0YEC83	391-BJNP	1
Camera	HD RGB Camera + Microphone, Non-Touch display, WLAN antenna	GAOX42H	319-BBKX	1
Back Cover	Docking POGO connector without Antenna Passthru, WLAN antenna	G42758T	452-BDZK	1
Primary Battery	Primary 3 Cell 53.5 Whr ExpressCharge Capable Battery	GOT1WGX	389-FJFG	1
Power Supply	65W AC adapter, USB Type-C	GA2KE8W	492-BDTG	1
PalmRest	No Fingerprint reader, no Smartcard reader	G5ETZO7	346-BLBK	1
Protect your new PC	No anti-virus software	GD4K19S	650-AAAM	1
Operating System Recovery Options	OS-Windows Media Not Included	GLA9OQ1	620-AALW	1
Cable	E4 C5 black Power Cord 1M, US	GCBXP8F	470-BCRH	1
Placemat	Quick setup guide, WW	GYZ58J2	340-DRXV	1
Second Battery	Battery Alrby Cover	G9WVZ1I	325-BFXD	1
Diagnostic CD / Diskette	No Resource USB Media	G9ZJQB0	430-XYPF	1
Documentation/Disks	Service and Support Guide MUI for DAO (English, French, Multi)	G5OATVY	340-DSGW	1
E-Star	ENERGY STAR Qualified	G6J34SM	387-BBLW	1
Non-Microsoft Application Software	Dell Additional Software	G7W5GR4	634-CVYV	1
Packaging	Mix Shipment, Dell Pro Rugged 14 RB14250	GN80VR1	340-DSCG	1
Transportation	Standard Shipment	G23DIE9	800-BBZV	1
Support Tech Sheet and Powercord	No UPC/EAN Label	G8WGTYN	389-BCGW	1

EPEAT 2018	EPEAT 2018 Registered (Gold)	GT2QXMO	379-B	
FGA Module	No FGA	NOFGA	817-BBBB	1
Processor Branding	Core Ultra 5 non-vPro CPU Label, Gen 14th	GLU5AMB	389-FJFB	1
Operating System Language Pack	x86, English, French, Spanish, Brazilian Portuguese	GALH68M	619-BBPD	1
Handle	Rigid Handle	G3MQTPS	750-BBMM	1
ICPS	No Intel® Connectivity Performance Suite	GJ5LQFG	650-BBBG	1
Standard Hardware Support Service	3Y ProSupport Next Business Day Onsite Service after remote diagnosis with HW-SW Support	G8NEZV2	713-0288,713-0305,713-0309,989-3449	1

## Need Help?



We're here to answer any of your Order Support questions. Contact Us.

CONNECT WITH DELL:



## Terms of Sale

This Quote will, if Customer issues a purchase order for the quoted items that is accepted by Supplier, constitute a contract between the entity issuing this Quote ("Supplier") and the entity to whom this Quote was issued ("Customer"). Unless otherwise stated herein, pricing is valid for thirty days from the date of this Quote. All product, pricing and other information is based on the latest information available and is subject to change. Supplier reserves the right to cancel this Quote and Customer purchase orders arising from pricing errors. Taxes and/or freight charges listed on this Quote are only estimates. The final amounts shall be stated on the relevant invoice. Additional freight charges will be applied if Customer requests expedited shipping. Please indicate any tax exemption status on your purchase order and send your tax exemption certificate to Tax\_Department@dell.com or ARSalesTax@emc.com, as applicable.

**Governing Terms:** This Quote is subject to: (a) a separate written agreement between Customer or Customer's affiliate and Supplier or a Supplier's affiliate to the extent that it expressly applies to the products and/or services in this Quote or, to the extent there is no such agreement, to the applicable set of Dell's Terms of Sale (available at [www.dell.com/terms](http://www.dell.com/terms) or [www.dell.com/oc/terms](http://www.dell.com/oc/terms)), or for cloud/as-a-Service offerings, the applicable cloud terms of service (identified on the Offer Specific Terms referenced below); and (b) the terms referenced herein (collectively, the "Governing Terms"). Different Governing Terms may apply to different products and services on this Quote. The Governing Terms apply to the exclusion of all terms and conditions incorporated in or referred to in any documentation submitted by Customer to Supplier.

**Supplier Software Licenses and Services Descriptions:** Customer's use of any Supplier software is subject to the license terms accompanying the software, or in the absence of accompanying terms, the applicable terms posted on [www.Dell.com/eula](http://www.Dell.com/eula). Descriptions and terms for Supplier-branded standard services are stated at [www.dell.com/servicecontracts/global](http://www.dell.com/servicecontracts/global) or for certain Infrastructure products at [www.dell.com/en-us/customer-services/product-warranty-and-service-descriptions.htm](http://www.dell.com/en-us/customer-services/product-warranty-and-service-descriptions.htm).

**Offer-Specific, Third Party and Program Specific Terms:** Customer's use of third-party software is subject to the license terms that accompany the software. Certain Supplier-branded and third-party products and services listed on this Quote are subject to additional, specific terms stated on [www.dell.com/offeringspecificterms](http://www.dell.com/offeringspecificterms) ("Offer Specific Terms").

**In case of Resale only:** Should Customer procure any products or services for resale, whether on standalone basis or as part of a solution, Customer shall include the applicable software license terms, services terms, and/or offer-specific terms in a written agreement with the end-user and provide written evidence of doing so upon receipt of request from Supplier.

**In case of Financing only:** If Customer intends to enter into a financing arrangement ("Financing Agreement") for the products and/or services on this Quote with Dell Financial Services LLC or other funding source pre-approved by Supplier ("FS"), Customer may issue its purchase order to Supplier or to FS. If issued to FS, Supplier will fulfill and invoice FS upon confirmation that: (a) FS intends to enter into a Financing Agreement with Customer for this order; and (b) FS agrees to procure these items from Supplier. Notwithstanding the Financing Agreement, Customer's use (and Customer's resale of and the end-user's use) of these items in the order is subject to the applicable governing agreement between Customer and Supplier, except that title shall transfer from Supplier to FS instead of to Customer. If FS notifies Supplier after shipment that Customer is no longer pursuing a Financing Agreement for these items, or if Customer fails to enter into such Financing Agreement within 120 days after shipment by Supplier, Customer shall promptly pay the Supplier invoice amounts directly to Supplier.

Customer represents that this transaction does not involve: (a) use of U.S. Government funds; (b) use by or resale to the U.S. Government; or (c) maintenance and support of the product(s) listed in this document within classified spaces. Customer further represents that this transaction does not require Supplier's compliance with any statute, regulation or information technology standard applicable to a U.S. Government procurement.

For certain products shipped to end users in California, a State Environmental Fee will be applied to Customer's invoice. Supplier encourages customers to dispose of electronic equipment properly.

Electronically linked terms and descriptions are available in hard copy upon request.

Dell Marketing LP, U.S. only. Dell Marketing LP. Is located at One Dell Way, Mail Stop 8129, Round Rock, TX 78682



**COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** Consent Agenda

**Staff Contact:** Chief Randy Mundy

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**STAFF REPORT**

**AGENDA ITEM:**

Consideration to fully equip a 2025 Ford F-150 Police vehicle for patrol use at 144<sup>th</sup> Marketing Group under state contract for \$27390.05

**BACKGROUND:**

On March 6, 2025, the Town Council approved the purchase of a Ford F-150 for Patrol Use. This was the second of two approved purchase of patrol vehicles for budget year 24/25. We are seeking to equip this vehicle under State Contract at 144<sup>th</sup> Marketing Group for a cost of \$27,390.05. This price includes installation and purchase of a vehicle dash camera, radar unit, laptop, emergency lights and siren package and associated restraint cages

**FUNDING:**

100-30-54-2200

**STAFF RECOMMENDATION:**

Approval to fully equip a 2025 Ford F-150 Police vehicle for patrol use at 144<sup>th</sup> Marketing Group under state contract for \$27390.05

**ATTACHMENTS:**

Quote from 144<sup>th</sup> Marketing Group, Dell Technologies, Kustom Signal Radar, and Motorola Solutions

**PREVIOUS DISCUSSIONS:**

This item was originally introduced to Council during the 2024/2025 Budget Workshop and subsequently approved during the 2024/2025 budget approval council meeting. Most recently, the Council approved the purchase of a Ford F-150 patrol vehicle at the March 6, 2025 Town Council meeting. During that meeting, Council was made aware of our coming need to equip this vehicle.



**COUNCIL AGENDA ITEM COVER SHEET**

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** Old Business

**Staff Contact:** Brandon Perkins, Town Manager

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**STAFF REPORT**

**AGENDA ITEM:**

Consideration of a new policy governing special events at the Redwine Park pickleball facility.

**BACKGROUND:**

At the meeting on March 6<sup>th</sup>, Staff was asked to develop a draft policy to govern special events at the Redwine Park pickleball courts for Council consideration. Staff completed the requested draft based on a review of similar policies from other Georgia cities and requests Council input.

**FUNDING:**

None.

**STAFF RECOMMENDATION:**

Council can either offer revisions or approve as presented.

**ATTACHMENTS:**

-Draft policy.

**PREVIOUS DISCUSSIONS:**

March 6<sup>th</sup> under Staff Comments.



# TOWN OF TYRONE EMPLOYEE HANDBOOK

<b>CHAPTER:</b>	<b>Redwine Park Pickleball Facility Special Events Policy</b>		
<b>EFFECTIVE DATE:</b>		<b>PAGES:</b>	
<b>REVISION DATE:</b>		<b>DISTRIBUTION:</b>	All Personnel

### **I. Purpose**

The purpose of this policy is to provide rules for the use of the Town’s pickleball facility at Redwine Park by outside organizations for special events.

### **II. Policy**

It is the policy of the Town of Tyrone to allow outside organizations to utilize the pickleball facility at Redwine Park for special events when such events are open to the public and meet additional criteria as outlined in this document.

### **III. Procedures**

#### **A. Special Events Defined**

Special events are defined as any organized activity that is open to the public and having as its purpose fundraising, entertainment, or recreation. Activities that are not open to the public are considered private events and will not be permitted at the Redwine Park facility.

#### **B. Conditions.**

1. Any organization or individual wishing to host a special event at the Redwine Park pickleball facility must request to do so with the Recreation Manager at least thirty (30) days prior to the event.
2. Upon approval of the event by the Recreation Manager, the host must provide proof of liability insurance coverage for the event with



a minimum of \$1,000,000.00 of coverage with the Town of Tyrone listed as an additional insured.

3. A refundable security deposit of \$500.00 payable to the Town of Tyrone will be required.
4. It shall be the responsibility of the host to ensure that attendees park only in the designated parking lot.
5. Alcohol will not be permitted at any time.
6. The host will be responsible for cleaning up after the event and ensuring that the park/facility, including the restroom, is left in satisfactory condition. This includes ensuring that all trash is placed in appropriate receptacles and reporting any damage to the Recreation Manager.
7. Facility hours are 8:00 a.m. to 9:00 p.m.. All events are expected to conform to these times.
8. The facility contains eight (8) regulation pickleball courts that are intended for free public use. At no time will a special event be permitted to use more than half of the courts. The remaining courts are to be designated for public use during the event.
9. The Town reserves the right to require the host to pay for a law enforcement presence, depending on the type of event or anticipated event size. If required, it will be the host's responsibility to coordinate such presence with the Town's Chief of Police. He or she will inform the host of the current hourly rate.
10. Multi-Day special events will not be permitted.



## COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

### STAFF REPORT

**AGENDA ITEM:**

Consideration to approve the Tullamore Greencastle Multi-Use Path Plans and start the land acquisition process. The project number PW-2024-07.

**BACKGROUND:**

This connector will allow Maple Shade SD and Greencastle to connect to the trail in Tullamore SD and thus to Ashpark SD. From there it will be connected by the East Crestwood MUP which will be tied to Senoia Road MUP.

In an ongoing effort to provide safe and efficient pedestrian, cart, and bicycle transportation infrastructure, the Town proposed as a 2023 SPLOST project to provide a Multi-Use Path (MUP) going from Tullamore SD to Greencastle thus crossing Dogwood Trail. The 2023 SPLOST was voted upon and approved by the citizens.

With approval of the 2023 SPLOST, the Town staff proceeded with design of the project. As result of the design, the concrete median on Kellsworth Way will be removed and the curb adjusted to accommodate the new multi-use path. Land acquisition will be needed along Dogwood Trail and Greencastle. The design resulted in 0.131 acres of temporary easement for construction and 0.004 acres of permanent easement to maintain a riprap drainage area. Approval of the attached plans depicting the layout and the land area needed for acquisition will allow the Town staff to move forward with the land acquisition process.

**FUNDING:**

General Funds – 2023 SPLOST Account # 322-49-54-1406

**STAFF RECOMMENDATION:**

Staff requests approving the Tullamore Greencastle Multi-Use Path Plans, project number PW-2024-07, and for staff to start the land acquisition process.

**ATTACHMENTS:**

See attached plans.

**PREVIOUS DISCUSSIONS:**

Budget workshop and budget meetings.

# TOWN OF TYRONE STATE OF GEORGIA

## PLAN AND PROFILE OF PROPOSED

# TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH



LOCATION SKETCH

DESIGN DATA:  
TRAFFIC A.D.T.: N/A  
TRAFFIC A.D.T.: N/A  
TRAFFIC D.H.V.: N/A  
DIRECTIONAL DIST: N/A  
% TRUCKS: N/A  
24 HR. TRUCKS %: N/A  
SPEED DESIGN: 35 MPH

LOCATION & DESIGN  
APPROVAL DATE: N/A

FUNCTIONAL CLASS:  
LOCAL ROAD

THIS PROJECT IS 100% IN  
FAYETTE COUNTY AND IS  
100% IN CONG. DIST. NO. 3.

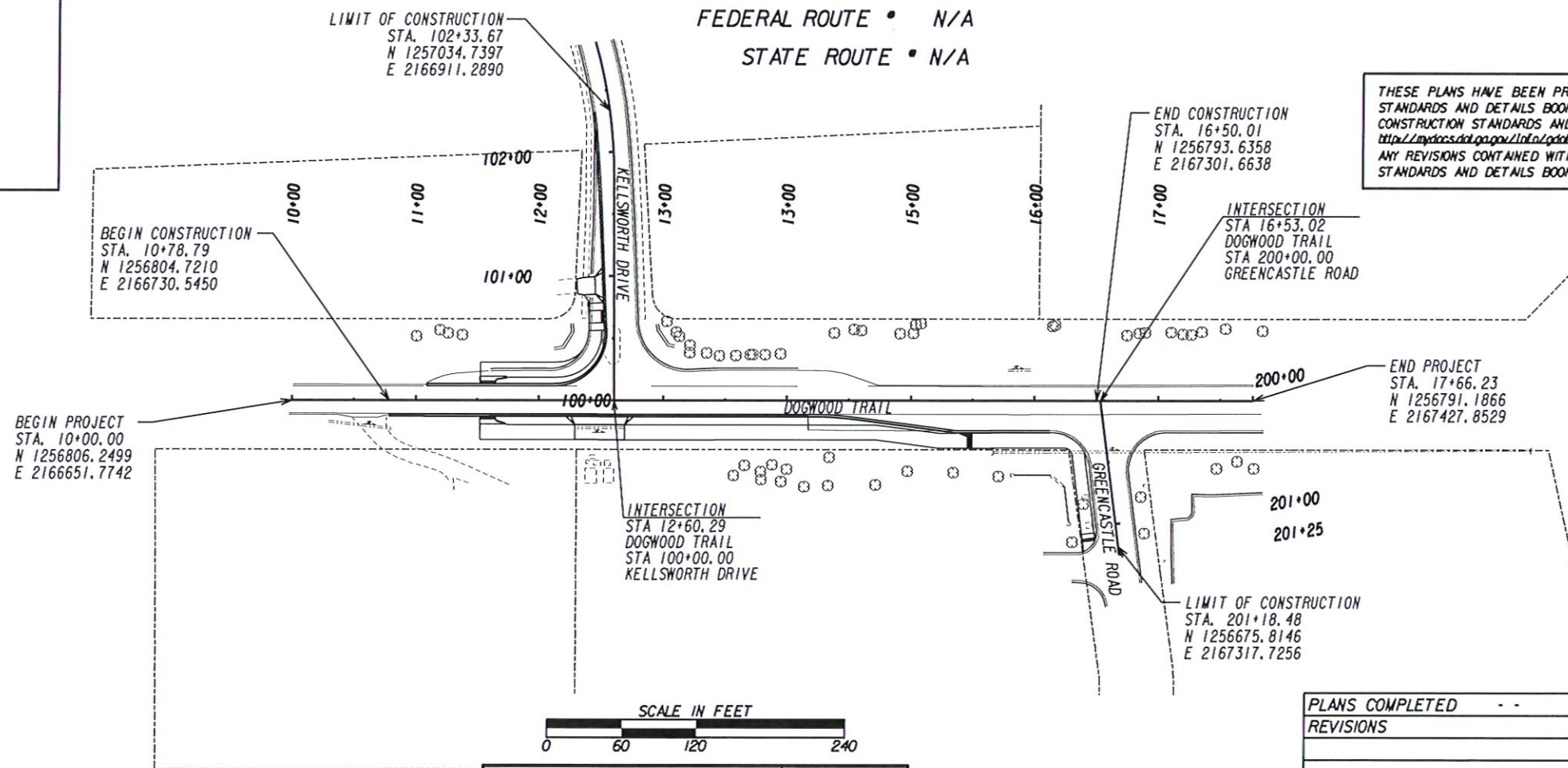
PROJECT DESIGNATION: N/A

THIS PROJECT HAS BEEN PREPARED  
USING THE HORIZONTAL GEORGIA  
COORDINATE SYSTEM OF 1984 (NAD  
1983/94 WEST ZONE, AND THE NORTH  
AMERICAN VERTICAL DATUM (NAVD)  
OF 1988.

THE DATA TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANYWAY  
INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON  
FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE  
SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THE DEPARTMENT  
OF TRANSPORTATION IN ANY WAY. THE ATTENTION OF BIDDER IS SPECIFICALLY DIRECTED TO  
SUBSECTIONS 102D4, 102D5, AND 104D3 OF THE SPECIFICATIONS.

TOWN OF TYRONE  
FAYETTE COUNTY

FEDERAL ROUTE • N/A  
STATE ROUTE • N/A



THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2025 CONSTRUCTION  
STANDARDS AND DETAILS BOOK AND ATTACHED APPLICABLE REVISIONS, THE 2025  
CONSTRUCTION STANDARDS AND DETAILS BOOK IS AVAILABLE AT:  
<http://tda.dcs.dcl.ga.gov/LinkClick.aspx?LinkClick.aspx?ConstructionStandardsAndDetails/Forms/AllItems.aspx>  
ANY REVISIONS CONTAINED WITHIN THIS PLAN SET SUPERSEDE THE 2025 CONSTRUCTION  
STANDARDS AND DETAILS BOOK WHICH THEY REVISE OR IN WHICH THERE IS A CONFLICT.

LENGTH OF PROJECT		COUNTY No. 113
		Project No. 230346
		MILES
NET LENGTH OF PATH		0J162
NET LENGTH OF BRIDGES		0.0000
NET LENGTH OF PROJECT		0J451
NET LENGTH OF EXCEPTIONS		0.0000
GROSS LENGTH OF PROJECT		0J451

**Keck+Wood**  
COLLABORATION BY DESIGN  
3090 Premiere Parkway, Suite 200  
Duluth, GA 30097  
(678) 417-4000 keckwood.com

PLANS COMPLETED	REVISIONS

DRAWING NO.	DESCRIPTION
01-0001	COVER SHEET
02-0001	INDEX
04-0001	GENERAL NOTES
05-0001 TO 05-0005	TYPICAL SECTIONS
13-0001 TO 13-0003	CONSTRUCTION PLANS
17-0001	DRIVEWAY PROFILES
23-0001 TO 23-0004	CROSS SECTIONS
26-0001 TO 26-0003	SIGNING AND MARKING PLANS
38-0001 TO 38-0002	SPECIAL CONSTRUCTION DETAILS
41-0001 TO 41-0002	GEORGIA STANDARDS
52-0001	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 1 OF 7
52-0002	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 2 OF 7
52-0003	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 3 OF 7
52-0004	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 4 OF 7
52-0005	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 5 OF 7
52-0006	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 6 OF 7
52-0007	EROSION CONTROL LEGEND & UNIFORM CODE SHEET, 7 OF 7
54-0001 TO 54-0003	BWP LOCATION DETAILS
56-0001 TO 56-0006	EROSION CONTROL DETAILS

DRAWING NO.	DESCRIPTION
GEORGIA STANDARDS	
41-0001	TS-03 PEDESTRIAN FACILITIES INSTALLATION (11/20)
41-0002	TS-06 GROUNDING FOR TRAFFIC SIGNAL SUPPORT STRUCTURES (11/20)
EROSION CONTROL DETAILS	
56-0001	D-20 SILT CONTROL GATES FOR STRUCTURES TYPE - 1, 2, AND 3 (4/16)
56-0002	D-24A TEMPORARY SILT FENCE (1/11)
56-0003	D-24C TEMPORARY SILT FENCE J-HOOK, INLET SEDIMENT TRAPS (1/11)
56-0004	D-35 PERMANENT SOIL REINFORCING MAT (TURF REINFORCING MATS) INSTALLATION ON DITCHES (1/11)
56-0005	D-52 BALED STRAW & COMPOST FILTER SOCK CHECK DAMS FOR EROSION CONTROL (4/16)
56-0006	Ds1 DISTURBED AREA STABILIZATION (WITH WULCHIING ONLY)
	Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
	Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)



REVISION DATES


INDEX

TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	02-0001
CORRECTED:	DATE:	
VERIFIED:	DATE:	

GENERAL NOTES

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CURRENT GEORGIA DEPARTMENT OF TRANSPORTATION (GDOT) STANDARD DETAILS AND THE GDOT STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF TRANSPORTATION SYSTEMS, LATEST EDITION, AND SUPPLEMENTS THERETO, AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION.
2. ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE IN LOCATION AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY UNDER THIS REQUIREMENT EXCEPT AS NOTED BELOW. "EXISTING UTILITY FACILITIES" MEANS ANY UTILITY THAT EXISTS ON THE PROJECT IN ITS ORIGINAL, RELOCATED, OR NEWLY INSTALLED POSITION. THE CONTRACTOR WILL NOT BE HELD RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE FROM STREET MAINS TO ABUTTING PROPERTY, WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING, PROVIDED THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS. ALL UTILITY FACILITIES WHICH ARE IN CONFLICT WITH CONSTRUCTION AND ARE NOT COVERED AS SPECIFIC ITEMS IN THE DETAILED ESTIMATE ARE TO BE REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THE WORK.
3. UTILITY WORK COORDINATION WILL BE REQUIRED AS PART OF THIS CONTRACT. THE CONTRACTOR WILL BE REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER, 811, FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. THE CONTRACTOR'S ATTENTION IS CALLED TO SUBSECTION 105.06 OF THE GDOT STANDARD SPECIFICATIONS "COOPERATION WITH UTILITIES"
4. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED BY THE UTILITY OWNER OR A "LOCATE" FIRM PRIOR TO EARTH DISTURBING ACTIVITIES.
5. IF PERMIT WORK IS WITHIN 1000 FEET OF A GDOT TRAFFIC SIGNAL, A SEPARATE LOCATE REQUEST IS REQUIRED. FOR MORE INFORMATION, CALL 770-531-5856.
6. THE CONTRACTOR SHALL STRICTLY ADHERE TO DUST CONTROL REGULATIONS. ALL AREAS SUBJECTED TO DUST FORMATION MUST BE PERIODICALLY WATERED SUFFICIENT TO RETARD DUST. ALL COSTS FOR DUST CONTROL SHALL BE INCLUDED IN PRICE BID FOR GRADING COMPLETE - LUMP SUM.
7. TYPE OF GRASS OR SOD USED ON THIS PROJECT WILL BE REQUIRED TO MATCH ANY TYPE OF GRASS OR SOD WHICH MAY BE PLANTED AND GROWING ON THE ADJACENT LAWN. I.E. BERMUDA SOD FOR BERMUDA SOD, ZOYSIA FOR ZOYSIA ETC. NO SEPERATE PAYMENT WILL BE MADE FOR ANY COST INCURRED TO COMPLY WITH THIS REQUIREMENT.
8. INGRESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES TO ADJACENT PROPERTIES. REFER TO SUB-SECTION 107.07 OF THE GDOT STANDARD SPECIFICATIONS.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH SUITABLE BORROW MATERIAL FOR THE PROJECT AND DISPOSE OF ANY UNSUITABLE OR WASTE MATERIAL.
10. HORIZONTAL CONTROL IS BASED UPON GEORGIA STATE PLANE COORDINATION SYSTEM.
11. ALL DRIVEWAYS THAT ARE TO BE RECONSTRUCTED SHALL BE IN KIND I.E. CONCRETE FOR CONCRETE. OFTEN WITH URBAN SHOULDERS, VALLEY GUTTER IS USED. THIS IS A SEPARATE PAY ITEM FROM THE REST OF THE DRIVEWAY PAVEMENT MATERIALS. WITH CONCRETE DRIVEWAYS THE VALLEY GUTTER THICKNESS SHOULD NOT BE LESS THAN THE CONCRETE THICKNESS.

RESIDENTIAL DRIVEWAY  
DRIVES SHALL BE CONSTRUCTED USING:

CONCRETE - DRIVEWAY CONCRETE, 6" THICK

COMMERCIAL DRIVEWAY  
DRIVES NOT USING THE MAINLINE PAVEMENT SHALL BE CONSTRUCTED USING:

CONCRETE - DRIVEWAY CONCRETE, 8" THICK, STEEL REINFORCED

12. THE CONTRACTOR SHALL OBSERVE ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS REGARDING PIPE INSTALLATION IN TRENCHES.
13. THE CONTRACTOR'S ATTENTION IS DIRECTED TO ARTICLES 104.05 AND 107.07 OF THE STANDARD SPECIFICATIONS AND THE SPECIAL PROVISIONS FOR TRAFFIC CONTROL AND SEQUENCE OF OPERATIONS IN REGARDS TO MAINTENANCE OF TRAFFIC DURING CONSTRUCTION.
14. ALL TEMPORARY SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", CURRENT EDITION AND/OR AS DIRECTED BY THE ENGINEER.
15. ALL CUT AND FILL SLOPES SHALL BE GRASSED AS DIRECTED BY THE ENGINEER IMMEDIATELY AFTER THE SLOPES ARE ESTABLISHED IN ORDER TO REDUCE EROSION, IF THE SEASON DOES NOT PERMIT GRASSING, TEMPORARY MULCH SHALL BE USED AS DIRECTED BY THE ENGINEER. REFER TO SECTION 161 OF THE STANDARD SPECIFICATIONS.
16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO OR CONCURRENT WITH LAND DISTURBANCE ACTIVITIES AND SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION OR AS DIRECTED BY THE ENGINEER.
17. ALL SILT FENCES MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING, NO GRADING SHALL BE DONE UNTIL SILT FENCE INSTALLATION IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SILT FENCES AND TO REPAIR OR REPLACE ANY SILT FENCE THAT IS NOT SATISFACTORY. EROSION CONTROL GATES SHALL BE PLACED IMMEDIATELY AFTER DRAINAGE STRUCTURES ARE IN PLACE. ALL EROSION CONTROL DEVICES SHALL BE PLACED ACCORDING TO THE PLANS AND AS DIRECTED BY THE ENGINEER. SEE THE GEORGIA STANDARD SPECIFICATIONS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA", CURRENT EDITION REGARDING EROSION CONTROL.
18. TOWN OF TYRONE, FATETTE COUNTY DOT, AND GEORGIA DOT SHALL BE NOTIFIED A MINIMUM OF 72 HOURS IN ADVANCE OF ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL COORDINATE THIS ACTION WITH THE PROJECT ENGINEER.
19. CONTRACTOR TO ADJUST ALL UTILITIES TO FINISHED GRADE UNLESS NOTED OTHERWISE, INCLUDING SANITARY SEWER MANHOLES, WATER METERS, WATER VALVES, GAS METERS, GAS VALVES.
20. ANY ADJUSTMENTS OR RELOCATIONS OF FATETTE COUNTY DEPARTMENT OF PUBLIC WORKS' FACILITIES SHALL BE IN ACCORDANCE WITH THE DEPARTMENT'S "SPECIFICATIONS FOR THE CONSTRUCTION OF SEWER MAINS", WHICH IS AVAILABLE AT THE DEPARTMENT'S OFFICE AT 115 MCDONOUGH ROAD, FATETTEVILLE, GEORGIA. TELEPHONE 770-461-3142
21. CONTRACTOR TO CONFIRM LOCATIONS OF ALL UTILITIES AND INFORM ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
22. CONTRACTOR TO FIELD VERIFY LOCATIONS OF PRECAST STRUCTURES FOR STORM SEWER IMPROVEMENTS. NO ADDITIONAL PAYMENT WILL BE MADE FOR REPLACEMENT STRUCTURES OR ADJUSTMENTS DUE TO UTILITY OR UNDERGROUND CONFLICTS.
23. ALL ADA WHEELCHAIR RAMPS WITHIN RADIUS SHALL BE 8 INCH THICK CONCRETE.
24. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND LOCATING ALL EXISTING IRRIGATION SYSTEMS WITHIN THE PROJECT LIMITS (IF APPLICABLE). NO ADDITIONAL PAYMENT WILL BE MADE FOR REMOVING RELOCATING, OR REPLACING DAMAGED IRRIGATION SYSTEMS.

25. THE CONTRACTOR SHALL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. SLOPE STABILIZATION (MATTING) SHALL BE PLACED ON CUT AND CUT AND FILL SLOPES THAT ARE 2.5:1 OR GREATER.
26. AT LOCATIONS WHERE NEW PAVEMENT IS TO BE PLACED ADJACENT TO EXISTING PAVEMENT WITHOUT AN OVERLAY OR WHERE CURBING IS TO BE PLACED ACROSS A PAVED AREA, A JOINT SHALL BE SAWED ON A LINE ESTABLISHED BY THE ENGINEER TO ENSURE PAVEMENT REMOVAL TO A NEAR LINE.
27. THE CONTRACTOR SHALL ENSURE THAT NO CONSTRUCTION-RELATED ACTIVITIES (SUCH AS THE USE OF EASEMENTS, STAGING, CONSTRUCTION, VEHICULAR USE, BORROW OR WASTE ACTIVITIES, SEDIMENT BASINS, TRAILER PLACEMENT, ETC.) OCCUR IN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES TO REMAIN IN THE RIGHT OF WAY.
28. GRADING COMPLETE INCLUDES BUT IS NOT LIMITED TO MOBILIZATION, CLEARING, GRUBBING, GRADING, DEMOLITION, TEMPORARY MEASURES, SAWCUTTING PAVEMENT, RESETTING FENCE, RESETTING MAILBOXES, REPLACING EXISTING SIGNS AND SIGN POSTS, REMOVAL OF TREES AND STUMPS, REMOVAL OF CURB AND PAVEMENT, ADJUSTING MANHOLES, MANHOLE CURB ENTRANCE, 8' UNDERWAY PIPE, FIRE HYDRANTS, WATER VALVES, WATER METERS, AND OTHER UTILITIES TO FINISH GRADE, REPLACING SPECIAL DESIGN AND STANDARD CATCH BASIN TOPS, CONSTRUCTION TESTING, REPLACEMENT OF PRIVATE PROPERTY OWNER FEATURES (IN KIND OR TO THE SATISFACTION OF THE PRIATE OWNER) DAMAGED OR REMOVED DURING CONSTRUCTION (THIS INCLUDES ITEMS INSIDE AND OUTSIDE THE CONSTRUCTION LIMITS). ANY TIEM NOT SPECIFIED SHALL BE CONSIDERED INCIDENTAL TO THE WORK AND SHALL BE INCLUDED IN THE LUMP SUM PRICE FOR GRADING COMPLETE.



Contact 811 before you dig.

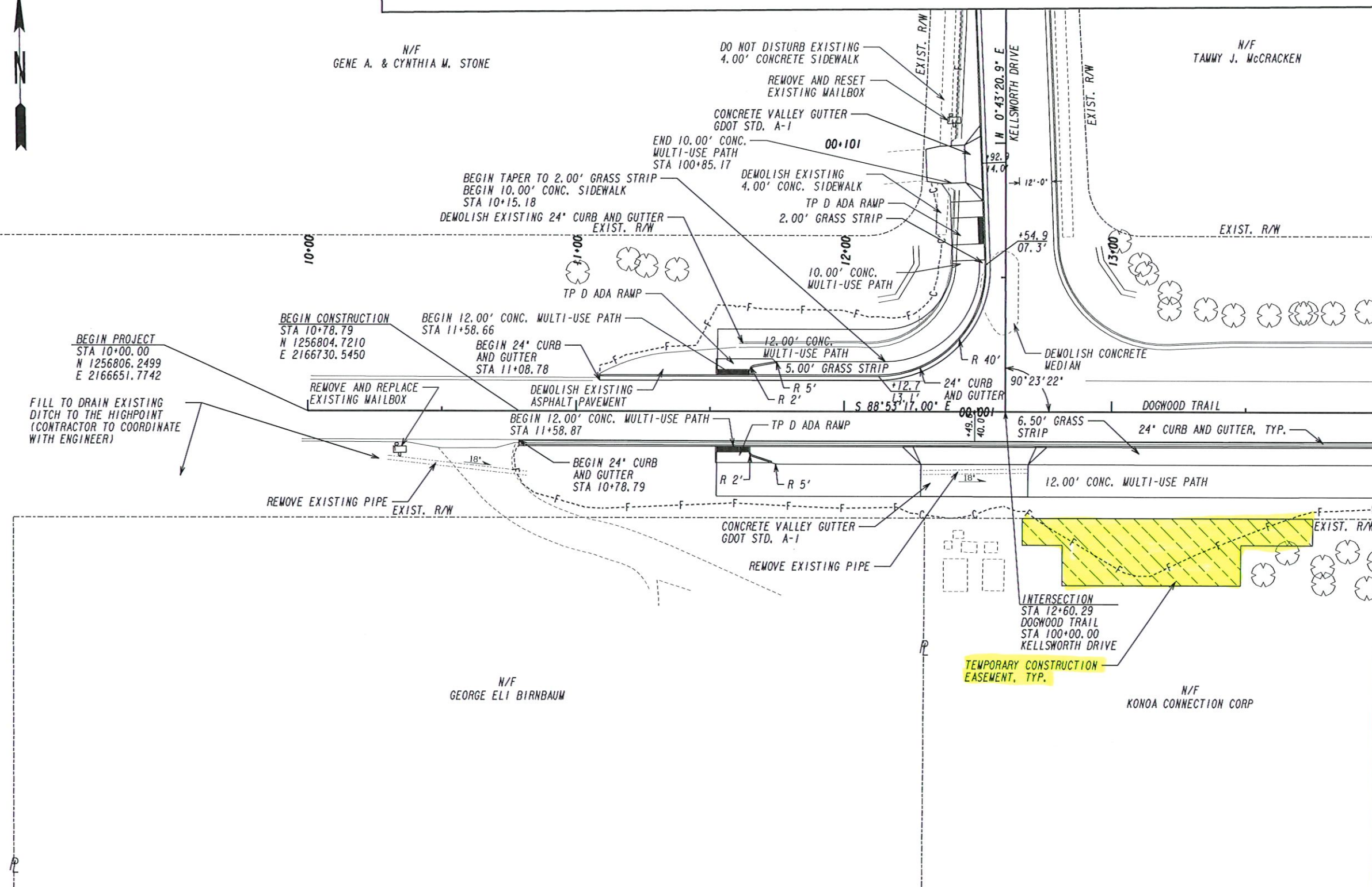


REVISION DATES

GENERAL NOTES  
TULLAWARE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	04-0001
CORRECTED:	DATE:	
VERIFIED:	DATE:	

MATCH LINE STA. 101+50.00  
SEE DWG 13-0003

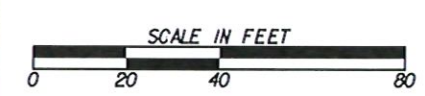


MATCH LINE STA. 14+00.00  
SEE DWG 13-0002

PROPERTY AND EXISTING R/W LINE	-----E-----
REQUIRED R/W LINE	=====
CONSTRUCTION LIMITS	---C---F---
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	[Hatched Box]
EASEMENT FOR CONSTR OF SLOPES	[Diagonal Hatched Box]
EASEMENT FOR CONSTR OF DRIVES	[Cross-hatched Box]

BEGIN LIMIT OF ACCESS.....BLA	..... .....
END LIMIT OF ACCESS.....ELA	..... .....
REQ'D LIMIT OF ACCESS	..... .....
REQ'D LIMIT OF ACCESS & R/W	..... .....
ORANGE BARRIER FENCE	..... .....
ESA - ENV. SENSITIVE AREA	..... .....
(SEE ERIT TABLE)	..... .....

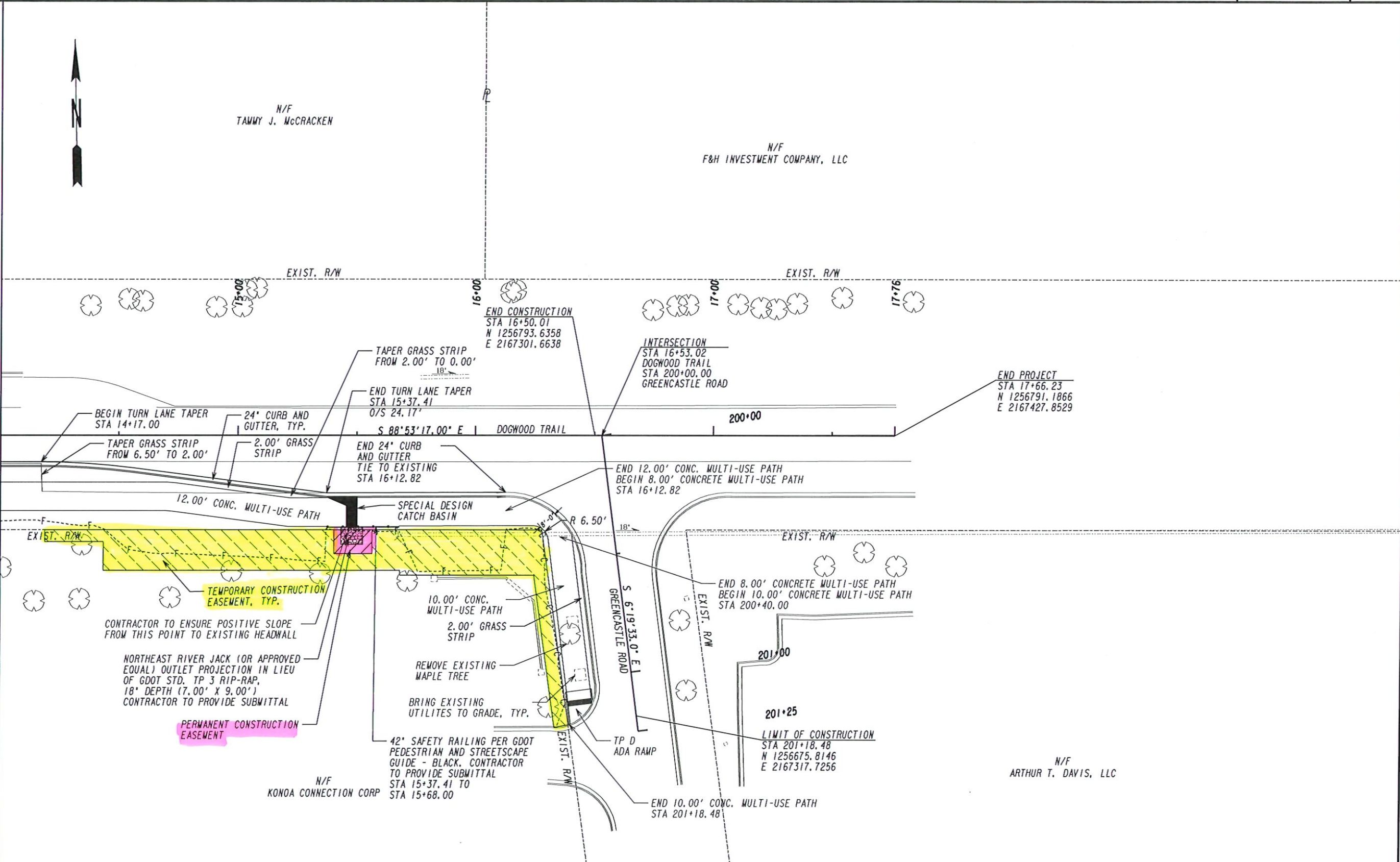
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COLLABORATION BY DESIGN  
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Duluth, GA 30097  
(678) 417-4000 keckwood.com



REVISION DATES	

CONSTRUCTION PLAN			
TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:	13-0001	
CORRECTED:	DATE:		
VERIFIED:	DATE:		

MATCH LINE STA. 14+00.00  
SEE DWG 13-0001

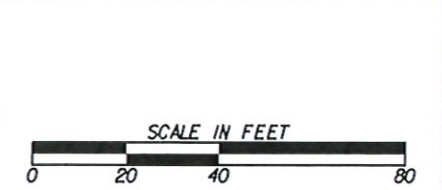


PROPERTY AND EXISTING R/W LINE  
REQUIRED R/W LINE  
CONSTRUCTION LIMITS  
EASEMENT FOR CONSTR  
& MAINTENANCE OF SLOPES  
EASEMENT FOR CONSTR OF SLOPES  
EASEMENT FOR CONSTR OF DRIVES

-----E-----	BEGIN LIMIT OF ACCESS.....BLA
-----	END LIMIT OF ACCESS.....ELA
-----C-----	REQ'D LIMIT OF ACCESS
-----F-----	REQ'D LIMIT OF ACCESS & R/W
[Hatched Box]	ORANGE BARRIER FENCE
[Cross-hatched Box]	ESA - ENV. SENSITIVE AREA (SEE ERIT TABLE)

[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]
[Symbol]	[Symbol]

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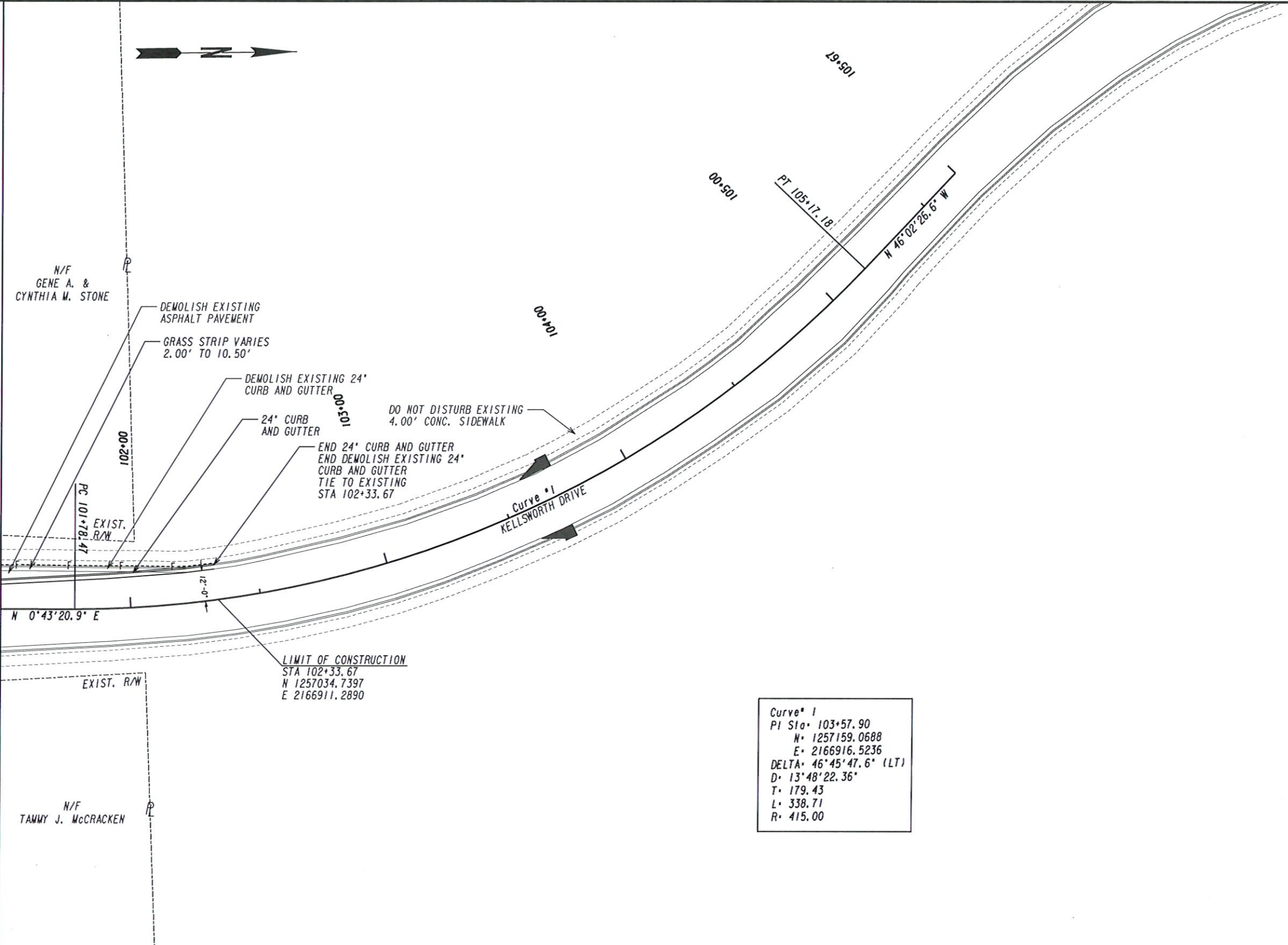


REVISION DATES


**CONSTRUCTION PLAN**  
TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

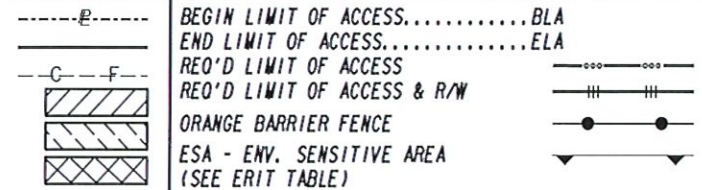
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CORRECTED:	DATE:	47
VERIFIED:	DATE:	

MATCH LINE STA. 101+50.00  
SEE DWG 13-0001



Curve # 1  
 PI Sta 103+57.90  
 N 1257159.0688  
 E 2166916.5236  
 DELTA 46°45'47.6" (LT)  
 D 13'48'22.36"  
 T 179.43  
 L 338.71  
 R 415.00

PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



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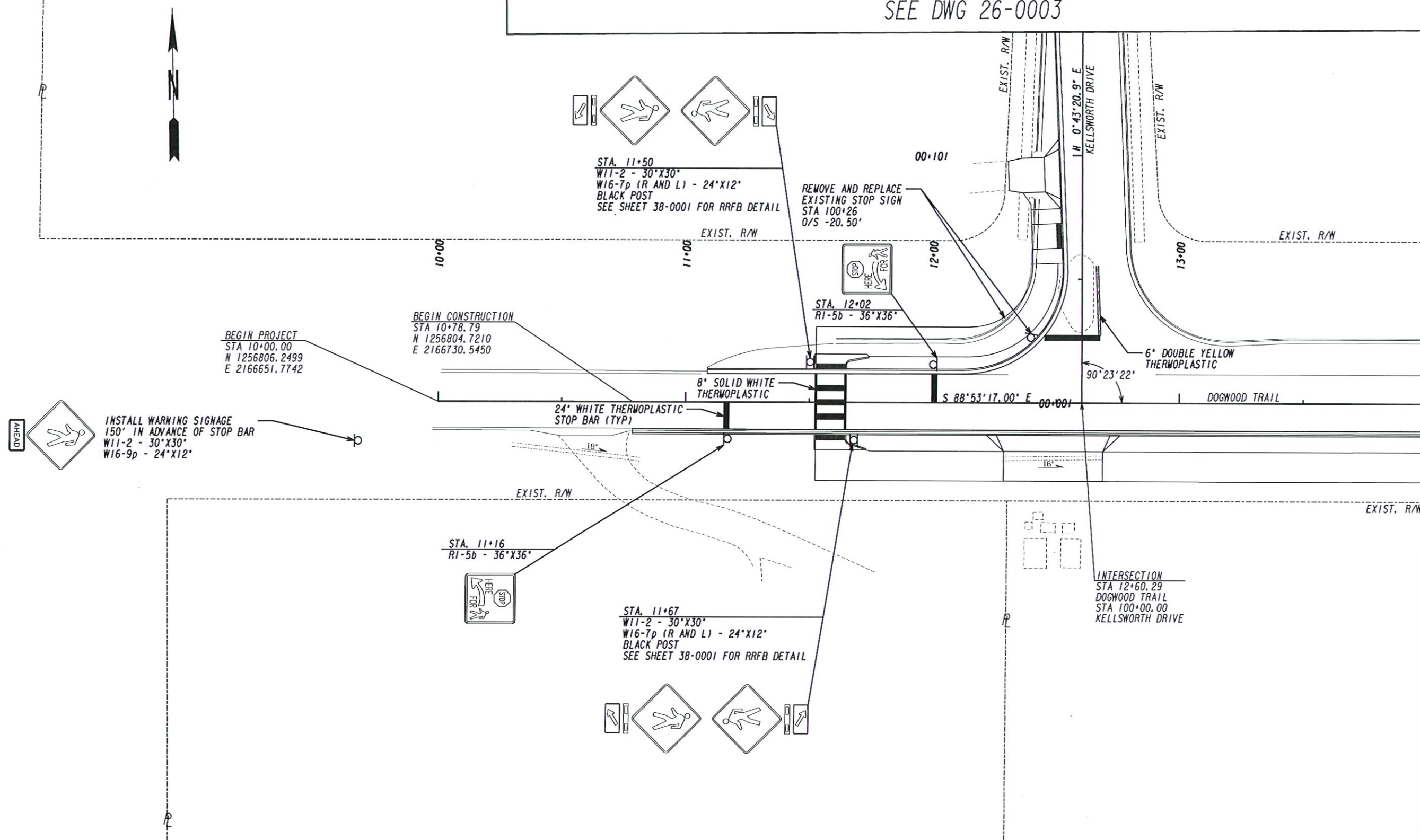
REVISION DATES	

**CONSTRUCTION PLAN**  
 TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	13-0003
CORRECTED:	DATE:	
VERIFIED:	DATE:	

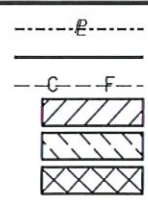


MATCH LINE STA. 101+50.00  
SEE DWG 26-0003



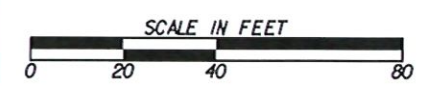
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SEE DWG 26-0002

PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



BEGIN LIMIT OF ACCESS.....BLA  
 END LIMIT OF ACCESS.....ELA  
 REQ'D LIMIT OF ACCESS  
 REQ'D LIMIT OF ACCESS & R/W  
 ORANGE BARRIER FENCE  
 ESA - ENV. SENSITIVE AREA  
 (SEE ERIT TABLE)

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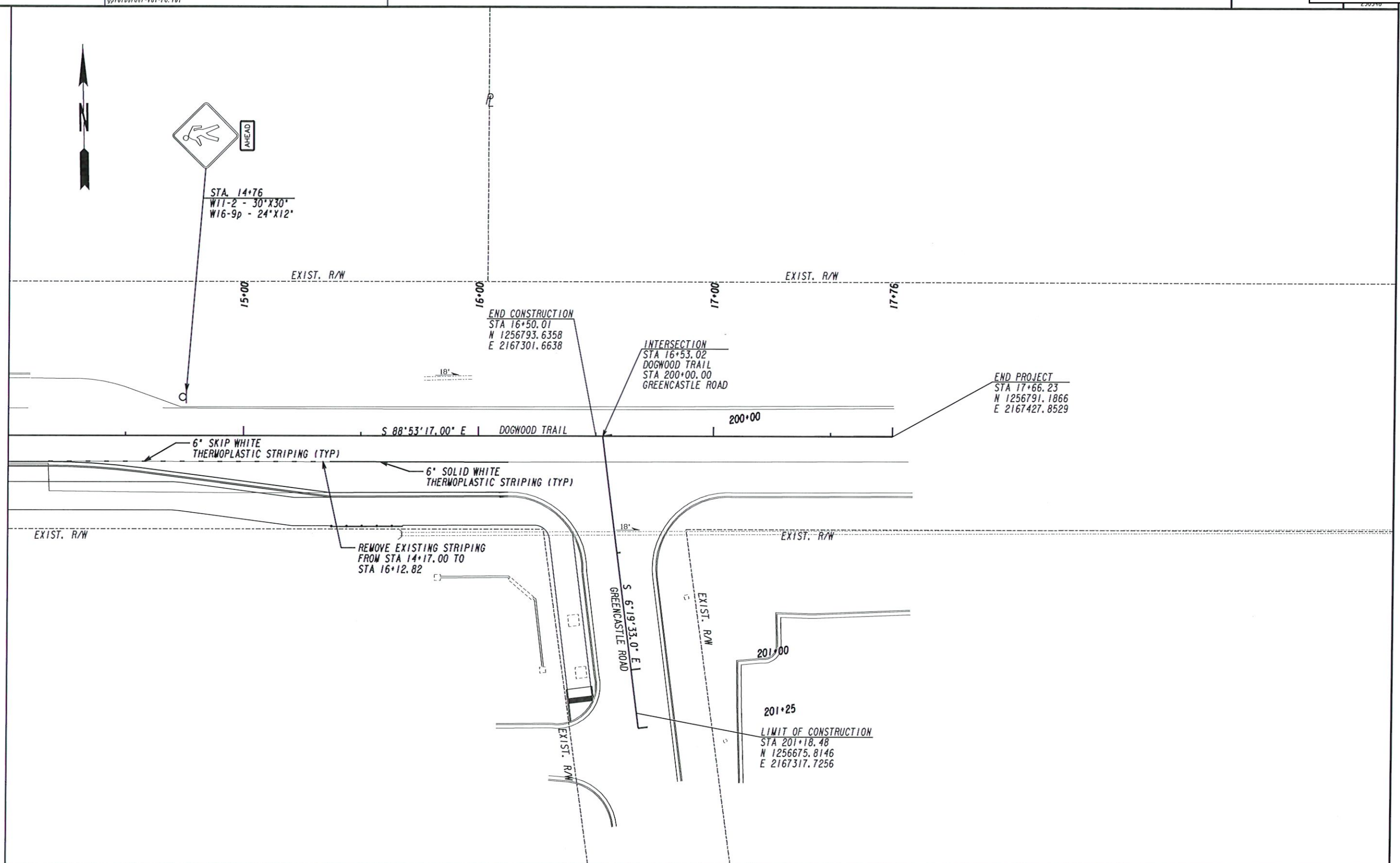


REVISION DATES	

**SIGNING AND MARKING PLANS**  
 TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	26-0001
CORRECTED:	DATE:	
VERIFIED:	DATE:	

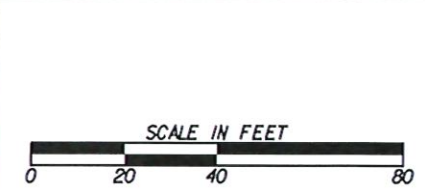
MATCH LINE STA. 14+00.00  
SEE DWG 26-0001



PROPERTY AND EXISTING R/W LINE	-----E-----
REQUIRED R/W LINE	=====
CONSTRUCTION LIMITS	-----C-----
EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES	-----F-----
EASEMENT FOR CONSTR OF SLOPES	[Hatched Box]
EASEMENT FOR CONSTR OF DRIVES	[Cross-hatched Box]

BEGIN LIMIT OF ACCESS.....BLA	-----o-----
END LIMIT OF ACCESS.....ELA	-----x-----
REQ'D LIMIT OF ACCESS	-----   -----
REQ'D LIMIT OF ACCESS & R/W	-----●-----
ORANGE BARRIER FENCE	-----▲-----
ESA - ENV. SENSITIVE AREA (SEE ERIT TABLE)	-----▽-----

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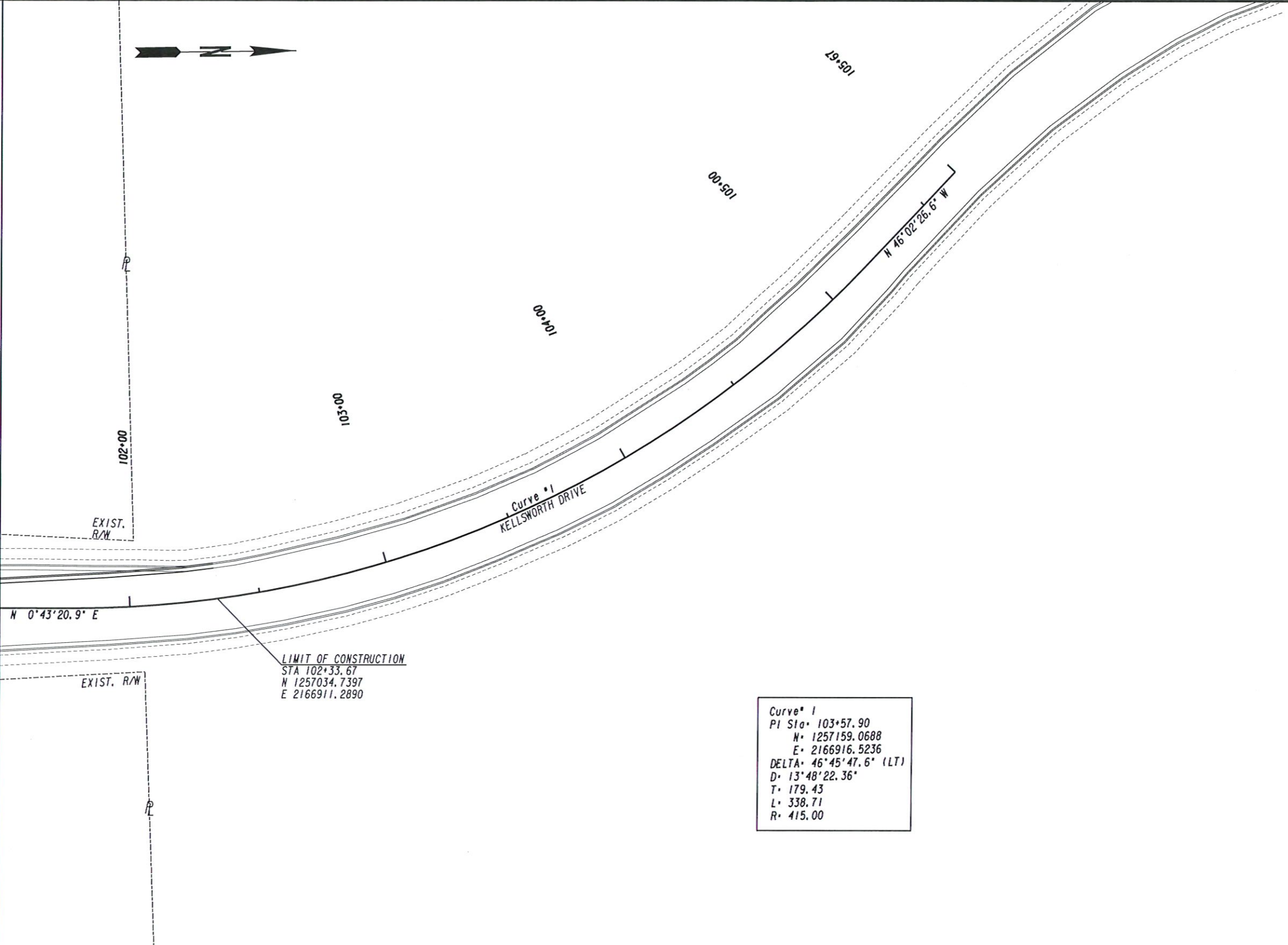


REVISION DATES	

**SIGNING AND MARKING PLANS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	26-0002
CORRECTED:	DATE:	50
VERIFIED:	DATE:	

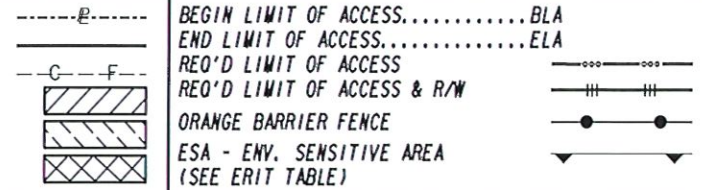
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SEE DWG 13-0001



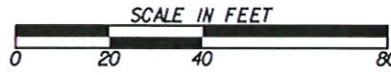
Curve # 1  
 PI Sta. 103+57.90  
 N. 1257159.0688  
 E. 2166916.5236  
 DELTA. 46°45'47.6" (LT)  
 D. 13°48'22.36"  
 T. 179.43  
 L. 338.71  
 R. 415.00

LIMIT OF CONSTRUCTION  
 STA 102+33.67  
 N 1257034.7397  
 E 2166911.2890

PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



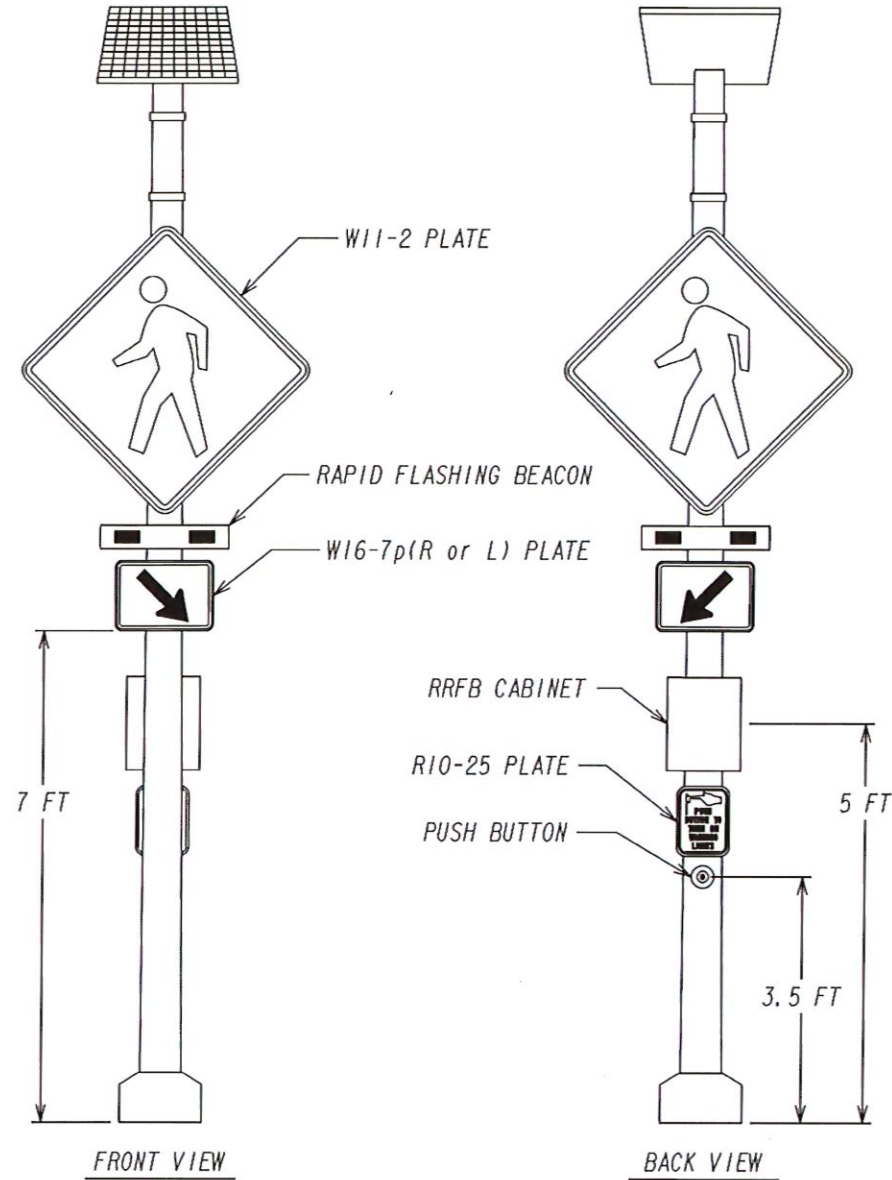
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REVISION DATES	

**SIGNING AND MARKING PLANS**  
 TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	26-0003
CORRECTED:	DATE:	
VERIFIED:	DATE:	



PEDESTAL MOUNTED PEDESTRIAN RECTANGULAR RAPID FLASHING BEACON, ASSEMBLY DETAIL  
NOT TO SCALE

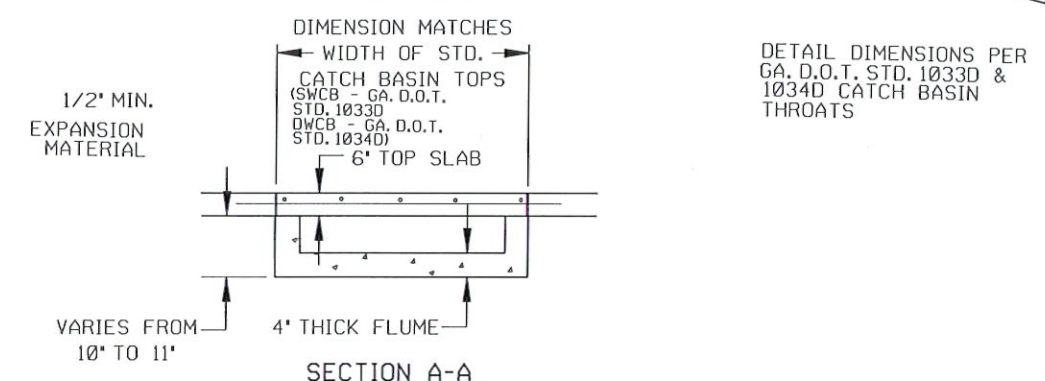
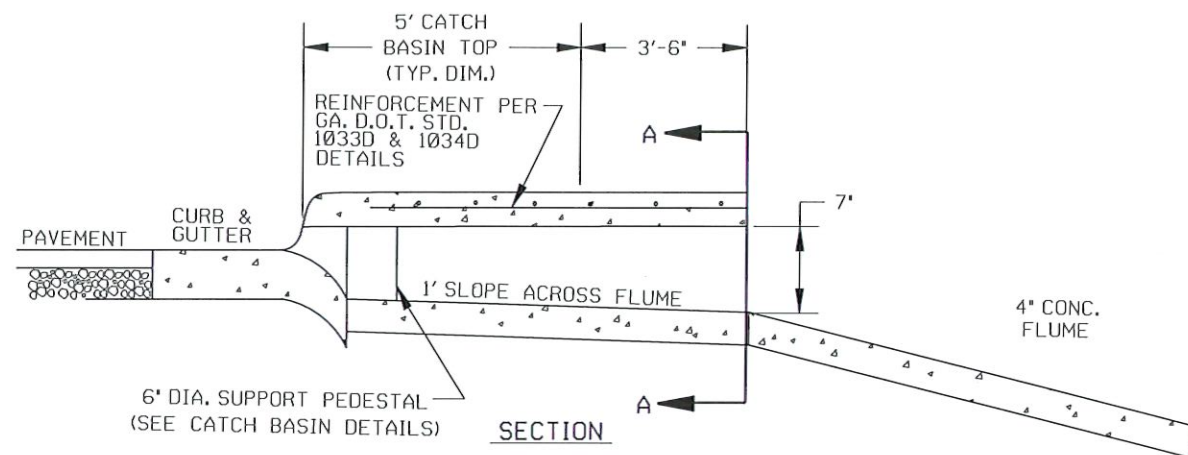
1. PUSH BUTTONS SHALL ACTIVATE TWO (2) RAPID FLASHING BEACONS AT A TIME.
2. RAPID FLASHING BEACON, W11-2 PLATES, AND W-16-7p (R OR L) PLATES SHOULD BE FACING VEHICULAR TRAFFIC, RRFB CABINET, R10-25 PLATE (PUSH BUTTON TO TURN ON WARNING LIGHTS), AND PUSH BUTTON SHOULD BE FACING INSIDE CROSSWALK.
3. ALL ASSEMBLIES ARE TO BE SOLAR POWERED. WIRELESS COMMUNICATION BETWEEN ASSEMBLIES IS REQUIRED
4. REFER TO GDOT DETAIL TS-03 (SHEET 41-0003) AND TS-06 (SHEET 41-0004) FOR FOUNDATION AND GROUNDING DETAILS
5. POLES SHOULD BE COATED BLACK NOT SPRAY PAINTED

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REVISION DATES

**SPECIAL CONSTRUCTION DETAILS**  
TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	38-0001
CORRECTED:	DATE:	
VERIFIED:	DATE:	



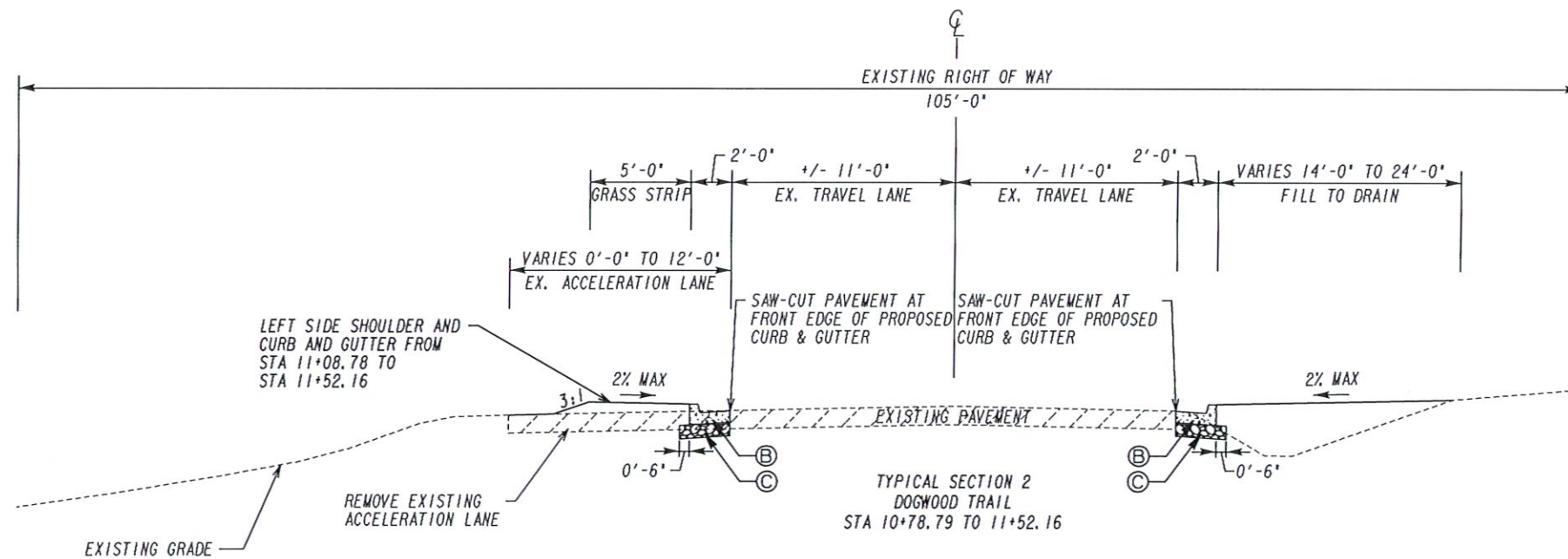
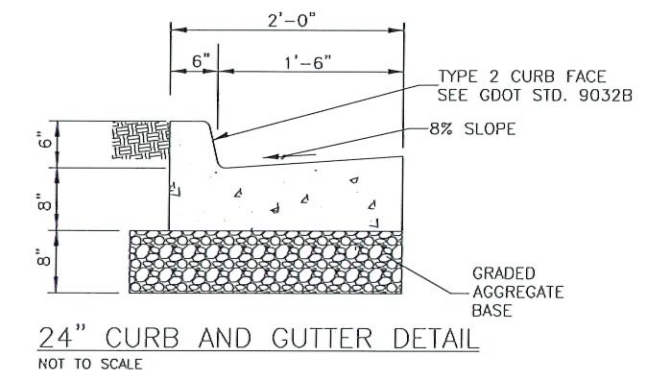
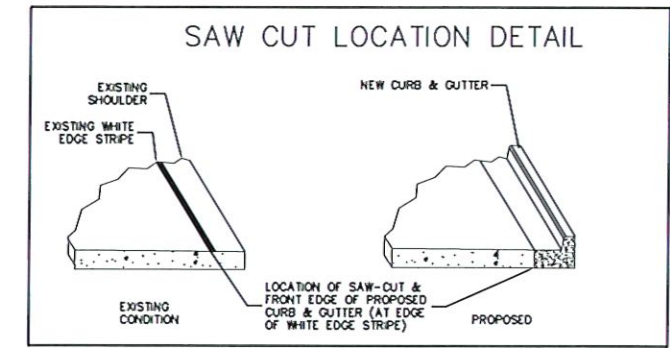
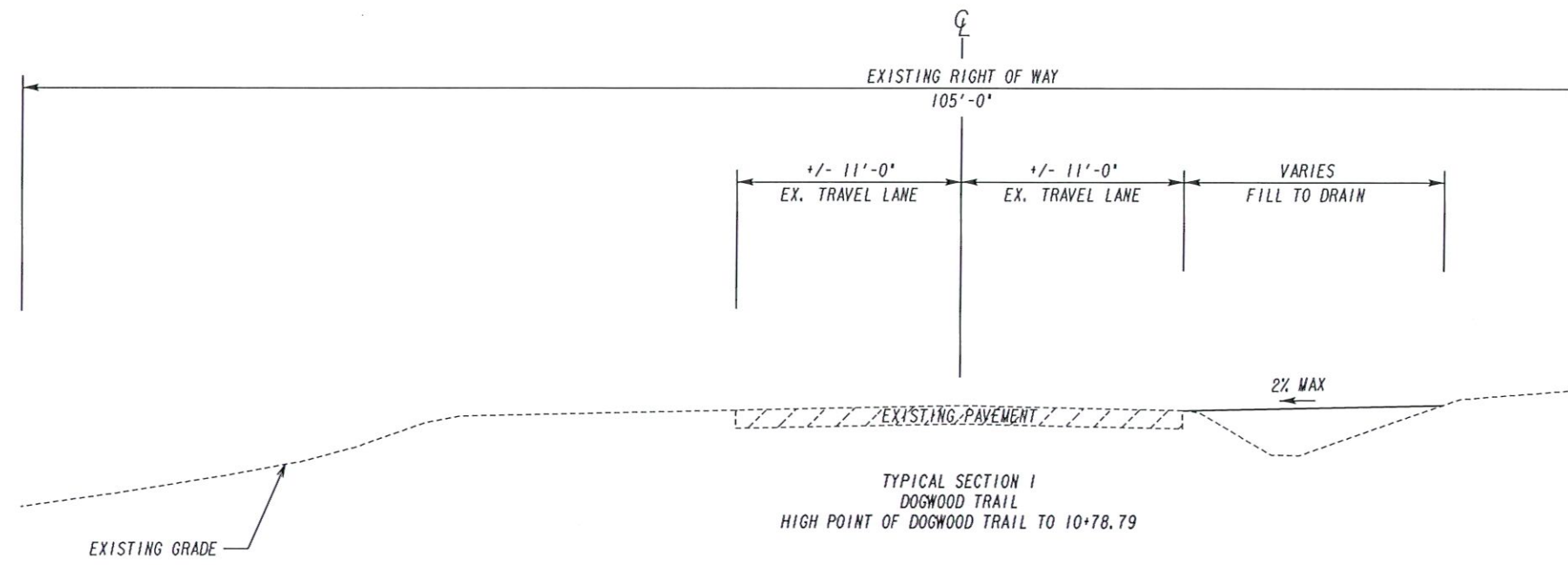
SPECIAL CATCH BASIN DETAIL  
N.T.S.

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REVISION DATES	

**SPECIAL CONSTRUCTION DETAILS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	38-0002
CORRECTED:	DATE:	
VERIFIED:	DATE:	



- (A) CONCRETE SIDEWALK, 4 IN
- (B) CONCRETE CURB & GUTTER, 8"X24 GA STD. 9032B, TYPE 2
- (C) GR AGGR BASE CRS, 8 INCH, INCL MATL

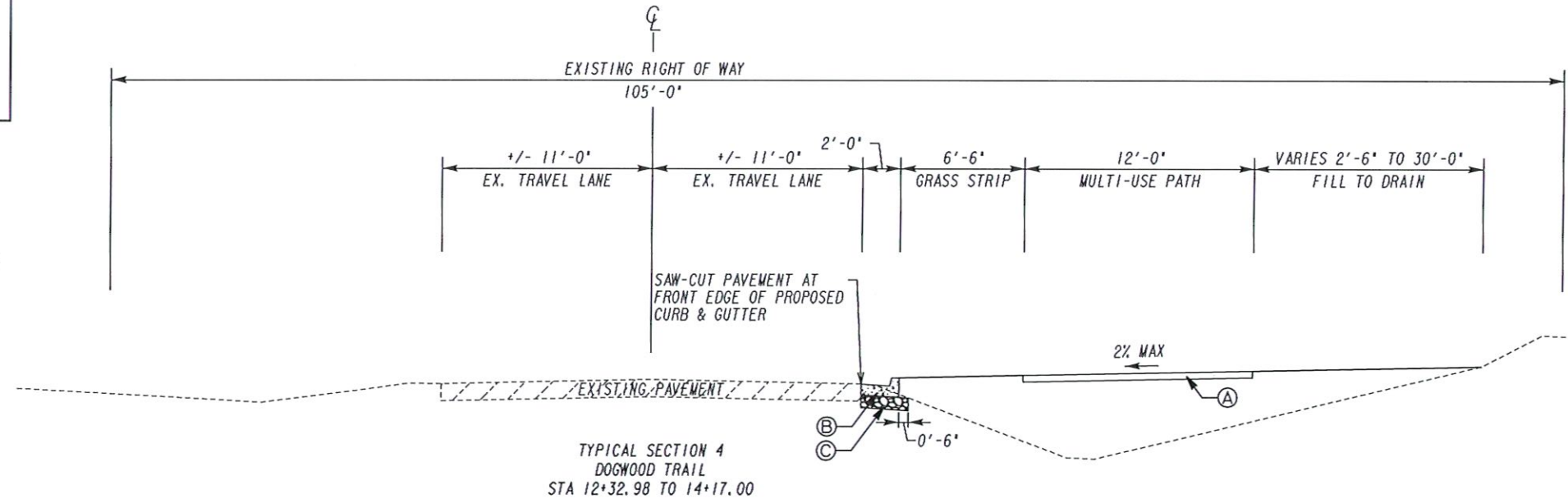
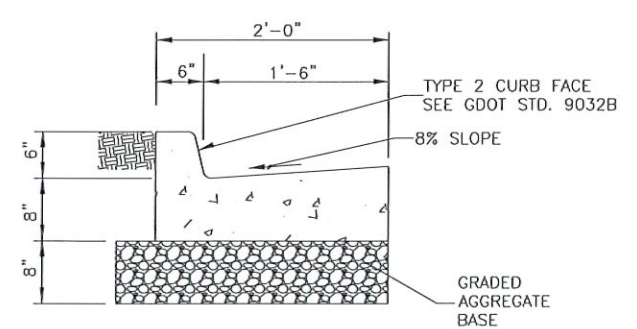
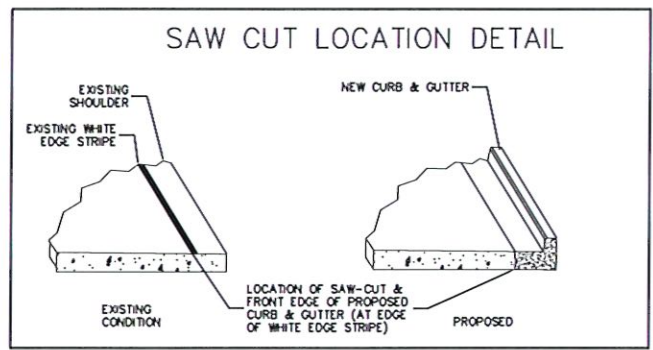
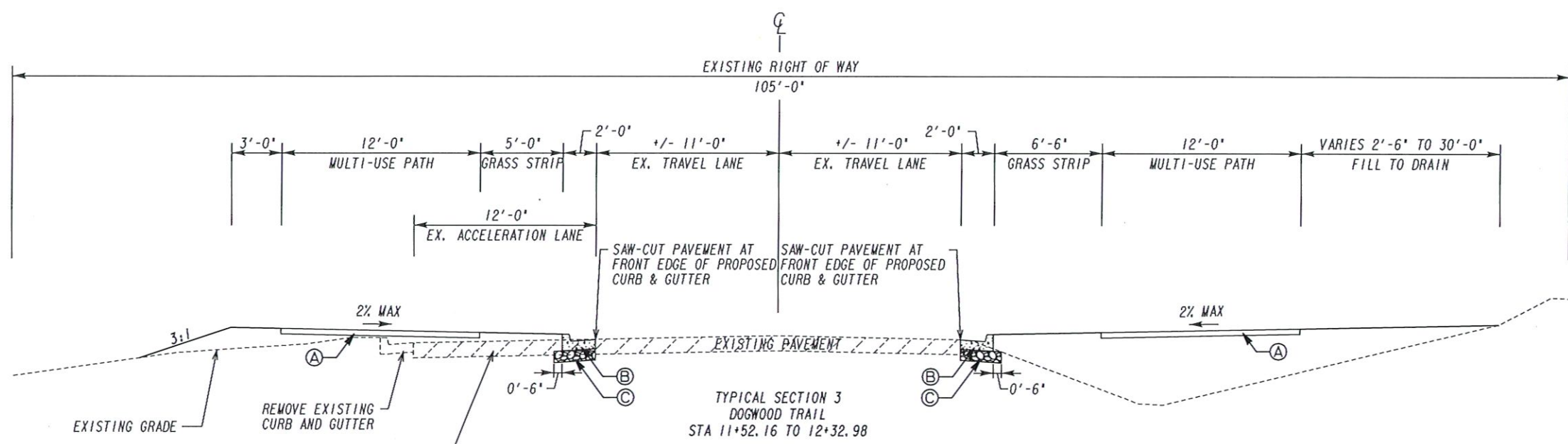
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NOT TO SCALE

REVISION DATES

TYPICAL SECTIONS  
TULLAWARE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	05-0001
CORRECTED:	DATE:	
VERIFIED:	DATE:	



- (A) CONCRETE SIDEWALK, 4 IN
- (B) CONCRETE CURB & GUTTER, 8"x24 GA STD. 9032B, TYPE 2
- (C) GR AGGR BASE CRS, 8 INCH, INCL MATL

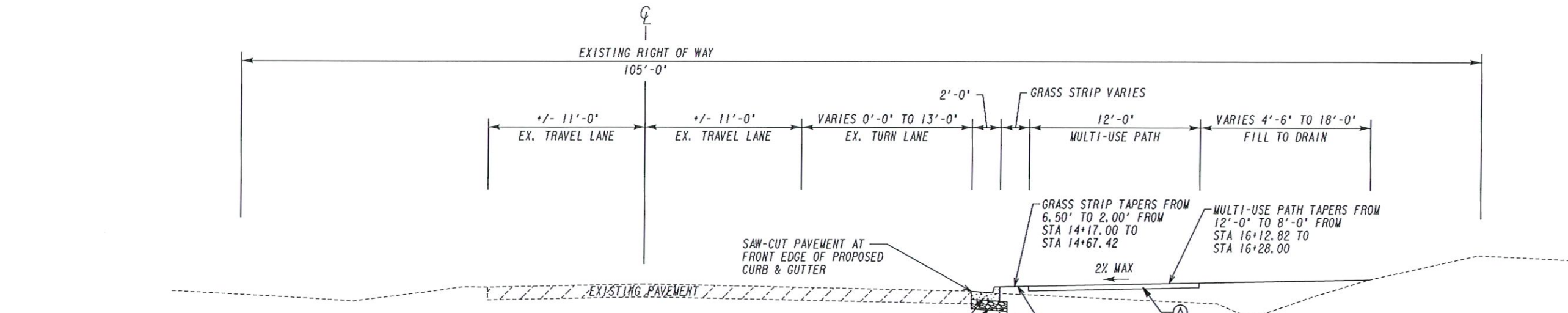
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(678) 417-4000 keckwood.com

NOT TO SCALE

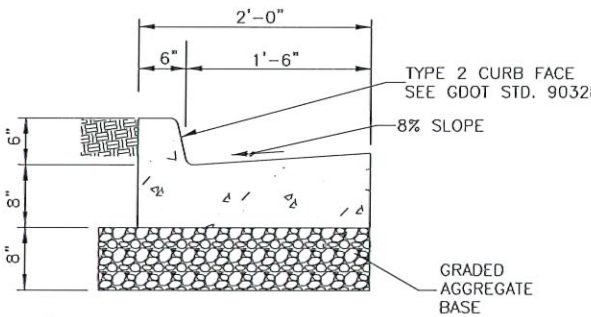
REVISION DATES	

TYPICAL SECTIONS			
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:		
CORRECTED:	DATE:		
VERIFIED:	DATE:		

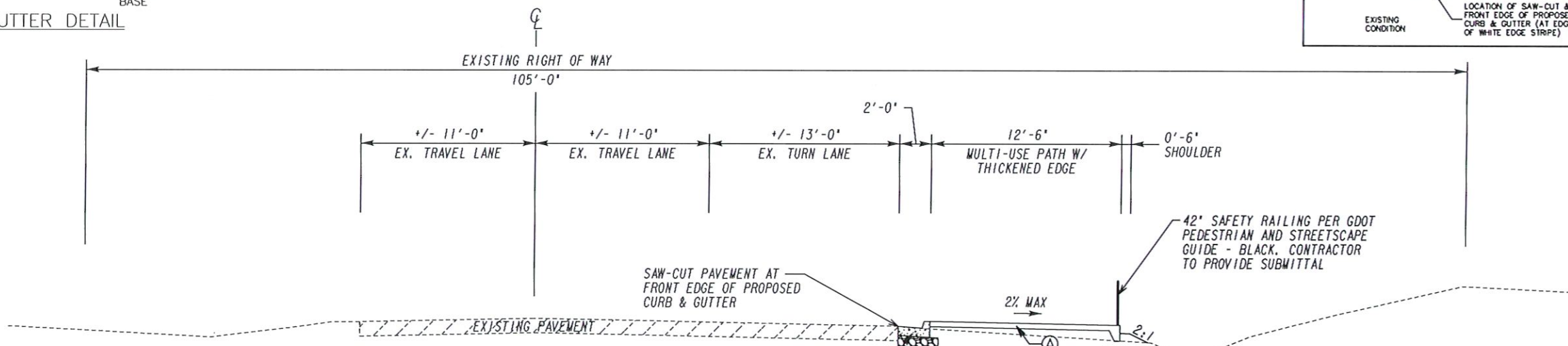
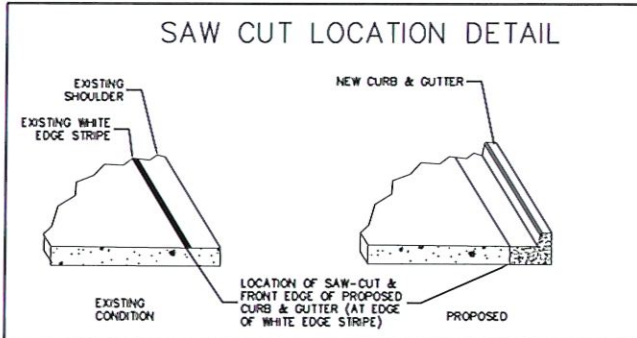
05-0002



TYPICAL SECTION 5  
DOGWOOD TRAIL  
STA 14+17.00 TO 15+37.41  
STA 15+68.00 TO 16+28.00



24" CURB AND GUTTER DETAIL  
NOT TO SCALE



TYPICAL SECTION 6  
DOGWOOD TRAIL  
STA 15+37.41 TO 15+68.00

- (A) CONCRETE SIDEWALK, 4 IN
- (B) CONCRETE CURB & GUTTER, 8"X24 GA STD. 9032B, TYPE 2
- (C) GR AGGR BASE CRS, 8 INCH, INCL MATL

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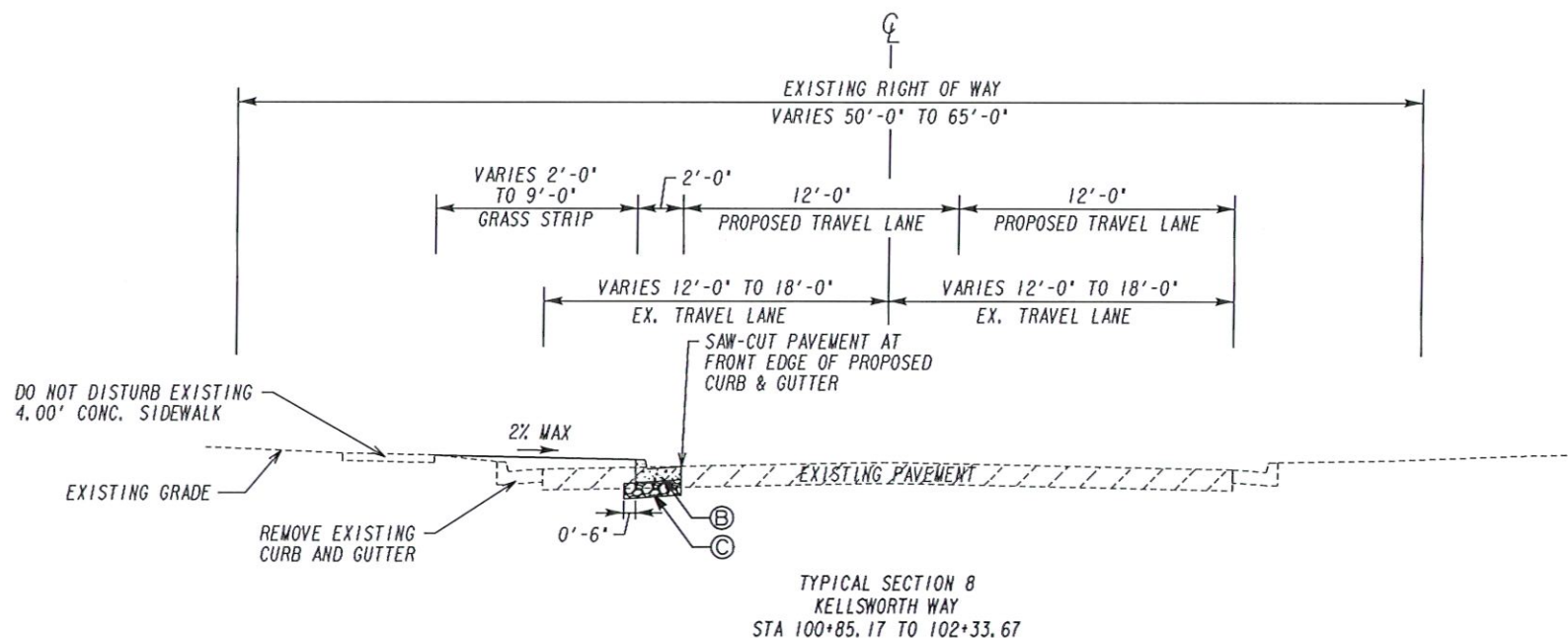
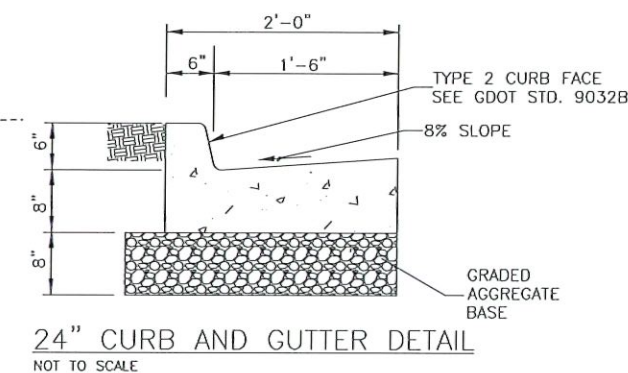
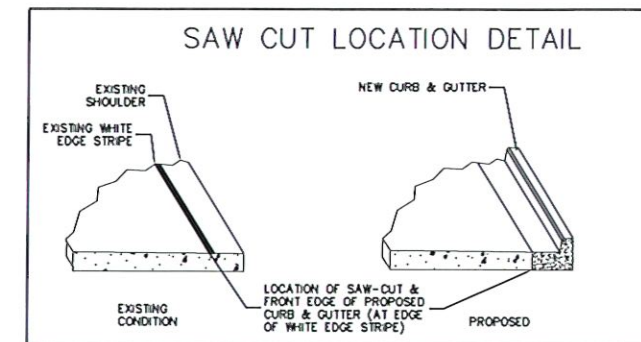
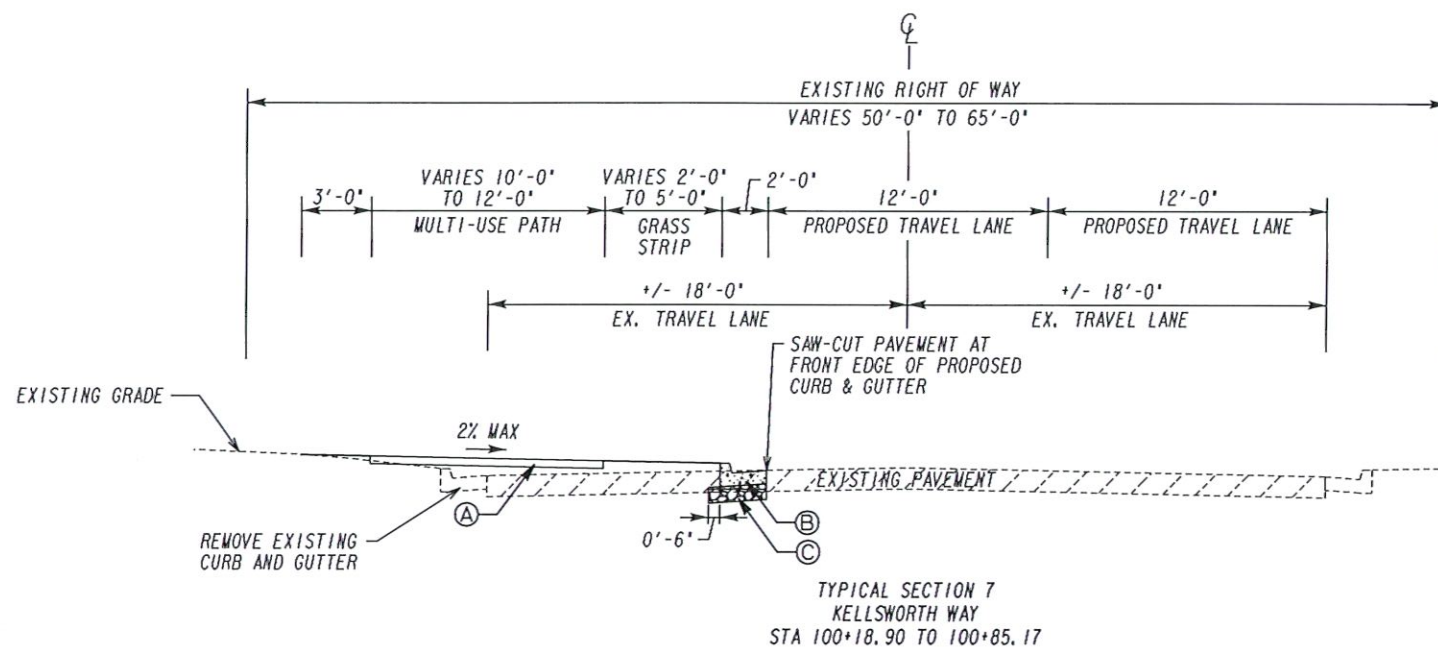
NOT TO SCALE

REVISION DATES	

TYPICAL SECTIONS			
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:		
CORRECTED:	DATE:		
VERIFIED:	DATE:		

05-0003





- (A) CONCRETE SIDEWALK, 4 IN
- (B) CONCRETE CURB & GUTTER, 8"X24 GA STD. 9032B, TYPE 2
- (C) GR AGGR BASE CRS, 8 INCH, INCL MATL

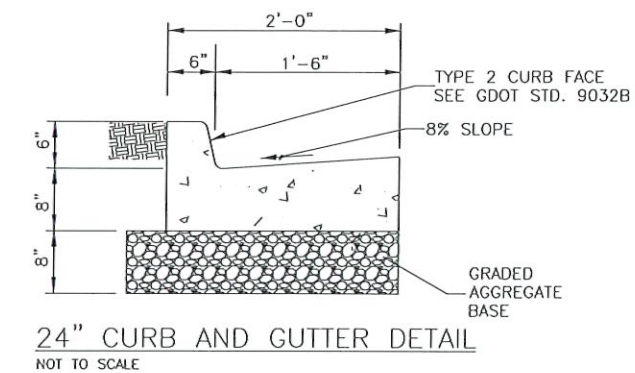
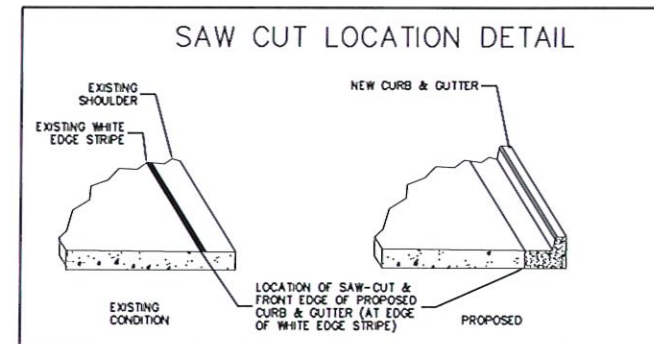
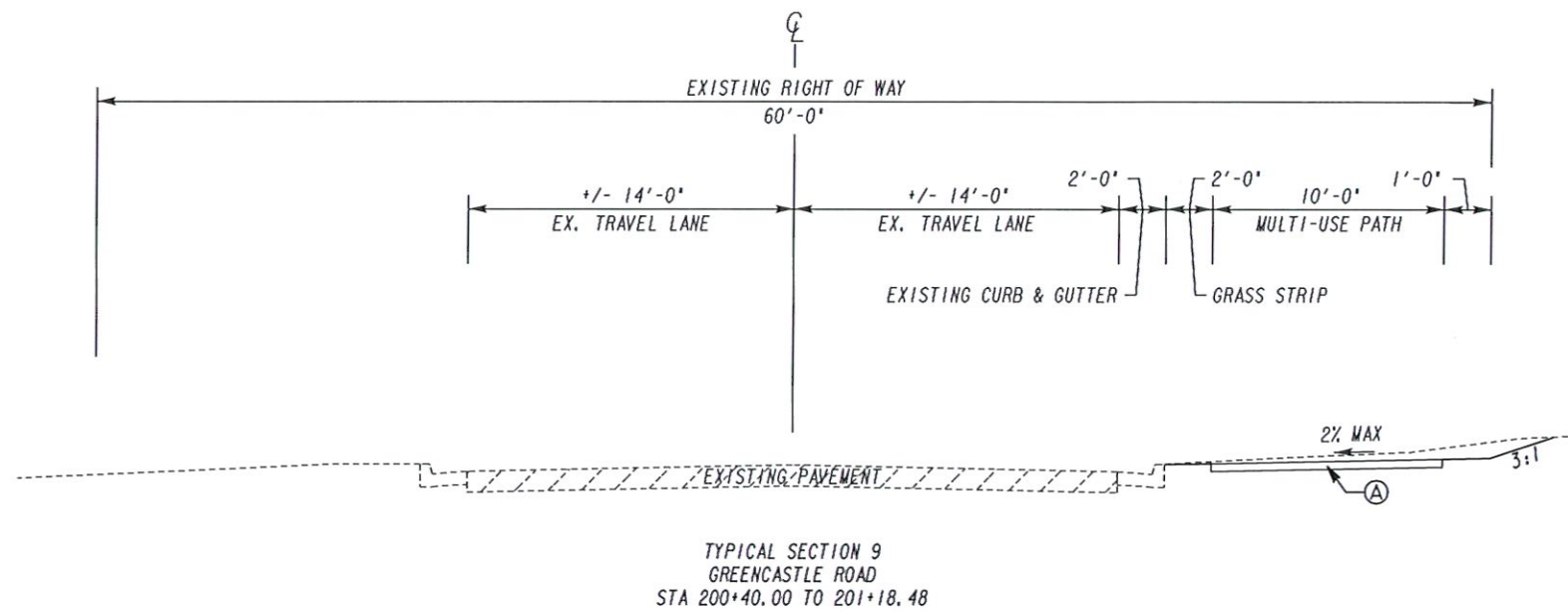
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REVISION DATES

TYPICAL SECTIONS  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	05-0004
CORRECTED:	DATE:	
VERIFIED:	DATE:	



- (A) CONCRETE SIDEWALK, 4 IN
- (B) CONCRETE CURB & GUTTER, 8"X24 GA STD. 9032B, TYPE 2
- (C) GR AGGR BASE CRS, 8 INCH, INCL MATL

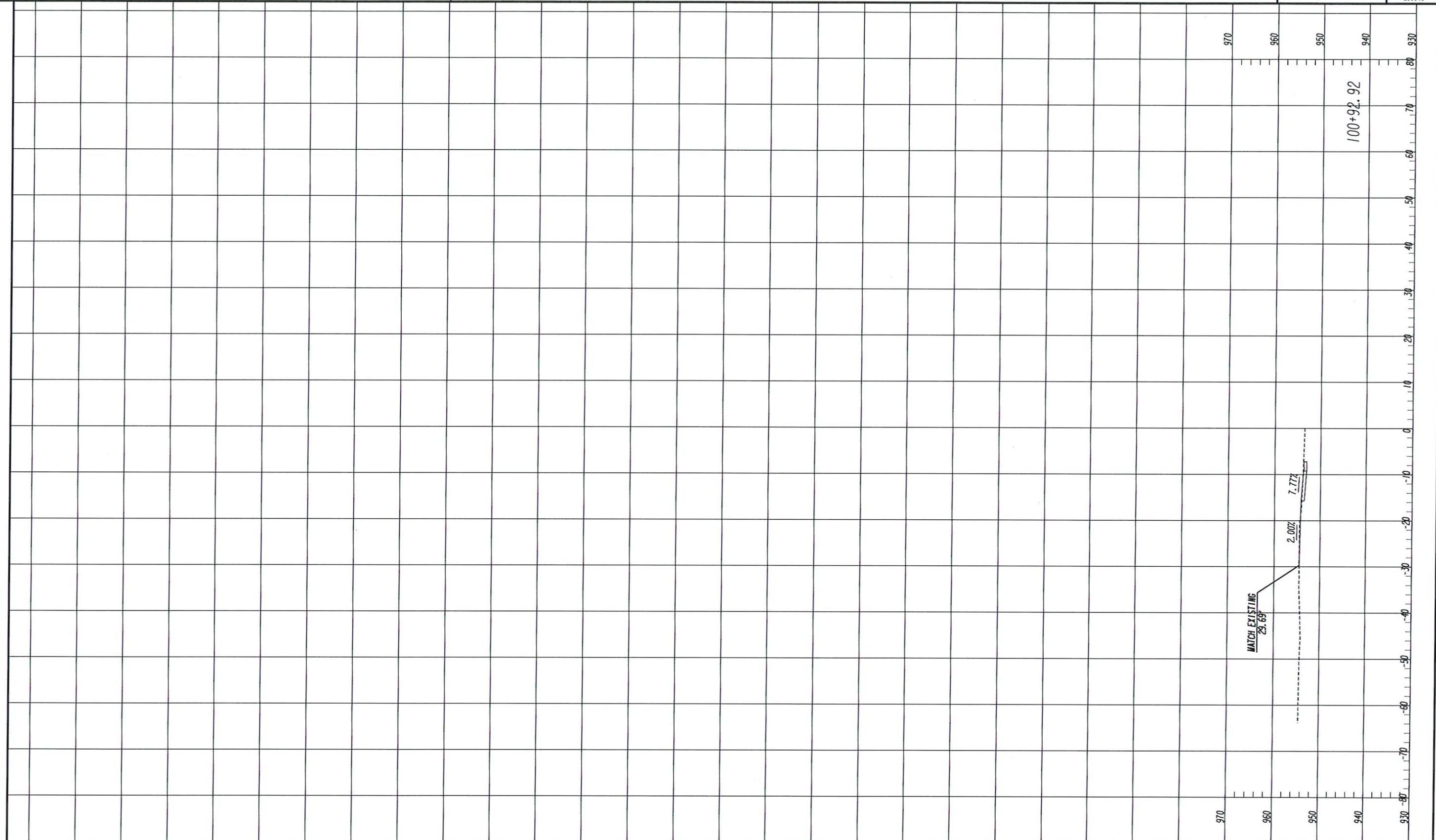
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NOT TO SCALE

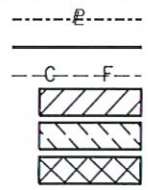
REVISION DATES

**TYPICAL SECTIONS**  
TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

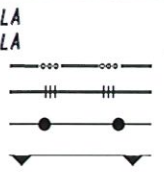
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CORRECTED:	DATE:	
VERIFIED:	DATE:	



PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



BEGIN LIMIT OF ACCESS.....BLA  
 END LIMIT OF ACCESS.....ELA  
 REQ'D LIMIT OF ACCESS  
 REQ'D LIMIT OF ACCESS & R/W  
 ORANGE BARRIER FENCE  
 ESA - ENV. SENSITIVE AREA  
 (SEE ERIT TABLE)



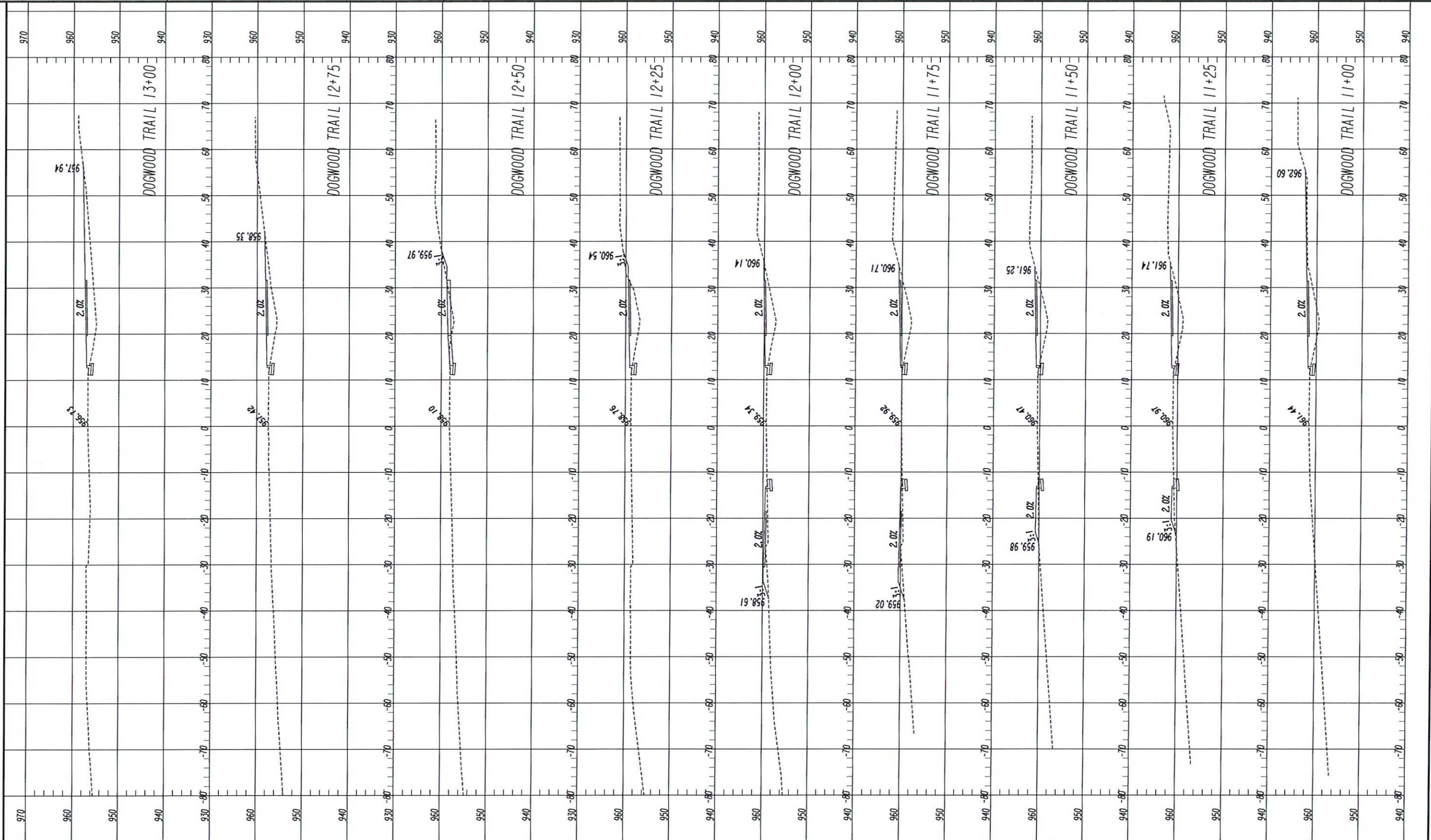
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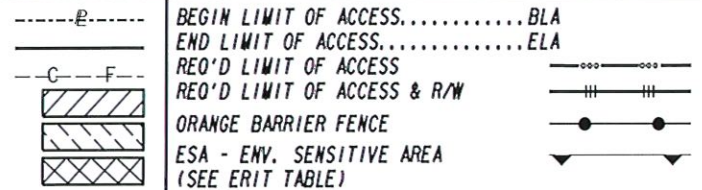
REVISION DATES

**DRIVEWAY PROFILE**  
 TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

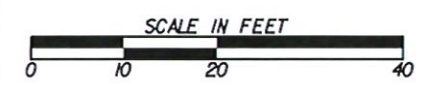
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CORRECTED:	DATE:	
VERIFIED:	DATE:	



PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



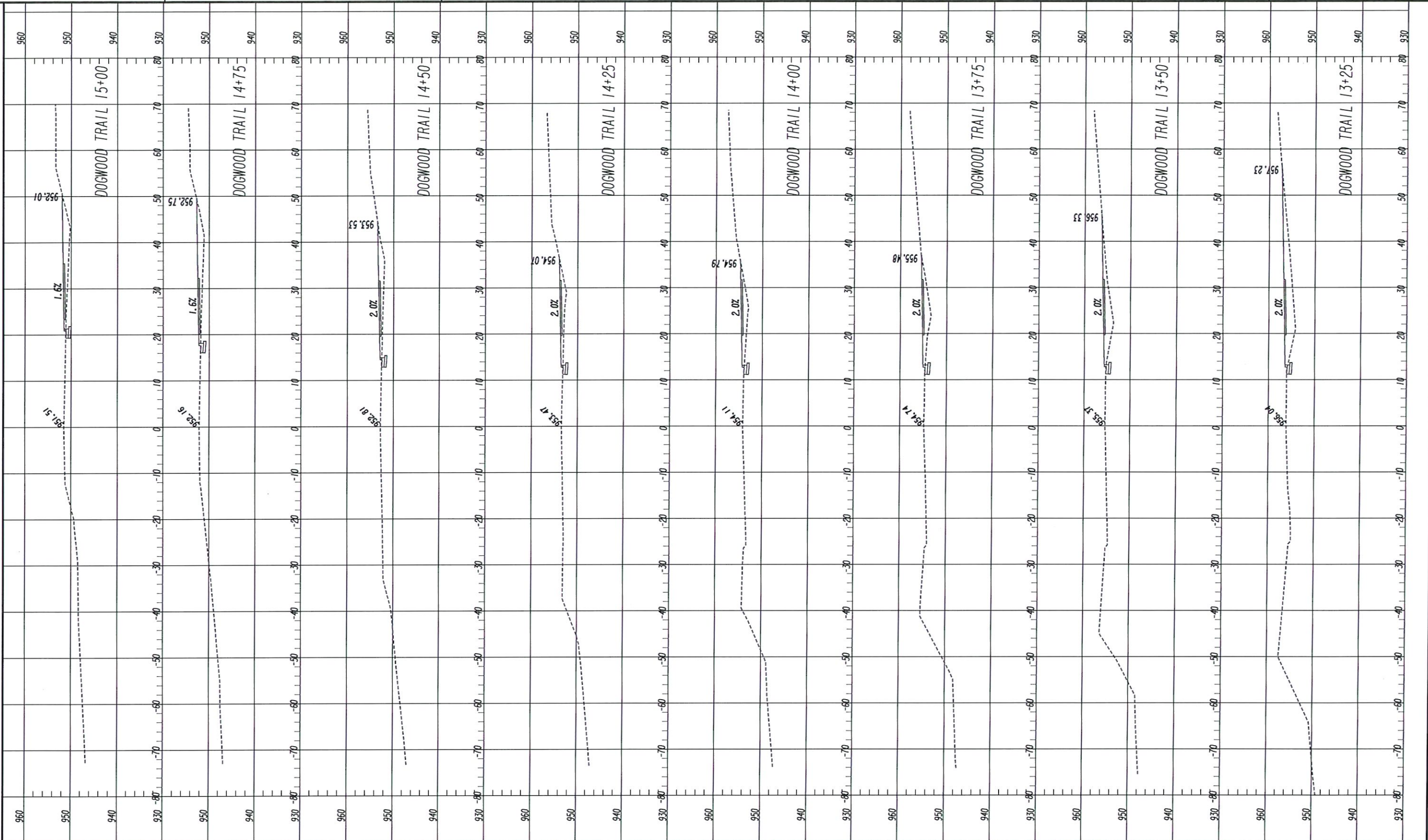
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REVISION DATES	

**CROSS SECTIONS**  
 TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No. <b>23-0001</b>
BACKCHECKED:	DATE:	
CORRECTED:	DATE:	
VERIFIED:	DATE:	

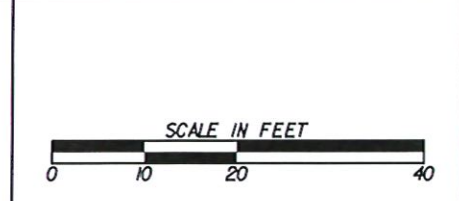


PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES

-----E-----  
 ---C---F---  
 [Hatched Box]  
 [Hatched Box]  
 [Cross-hatched Box]

BEGIN LIMIT OF ACCESS.....BLA  
 END LIMIT OF ACCESS.....ELA  
 REQ'D LIMIT OF ACCESS  
 REQ'D LIMIT OF ACCESS & R/W  
 ORANGE BARRIER FENCE  
 ESA - ENV. SENSITIVE AREA  
 (SEE ERIT TABLE)

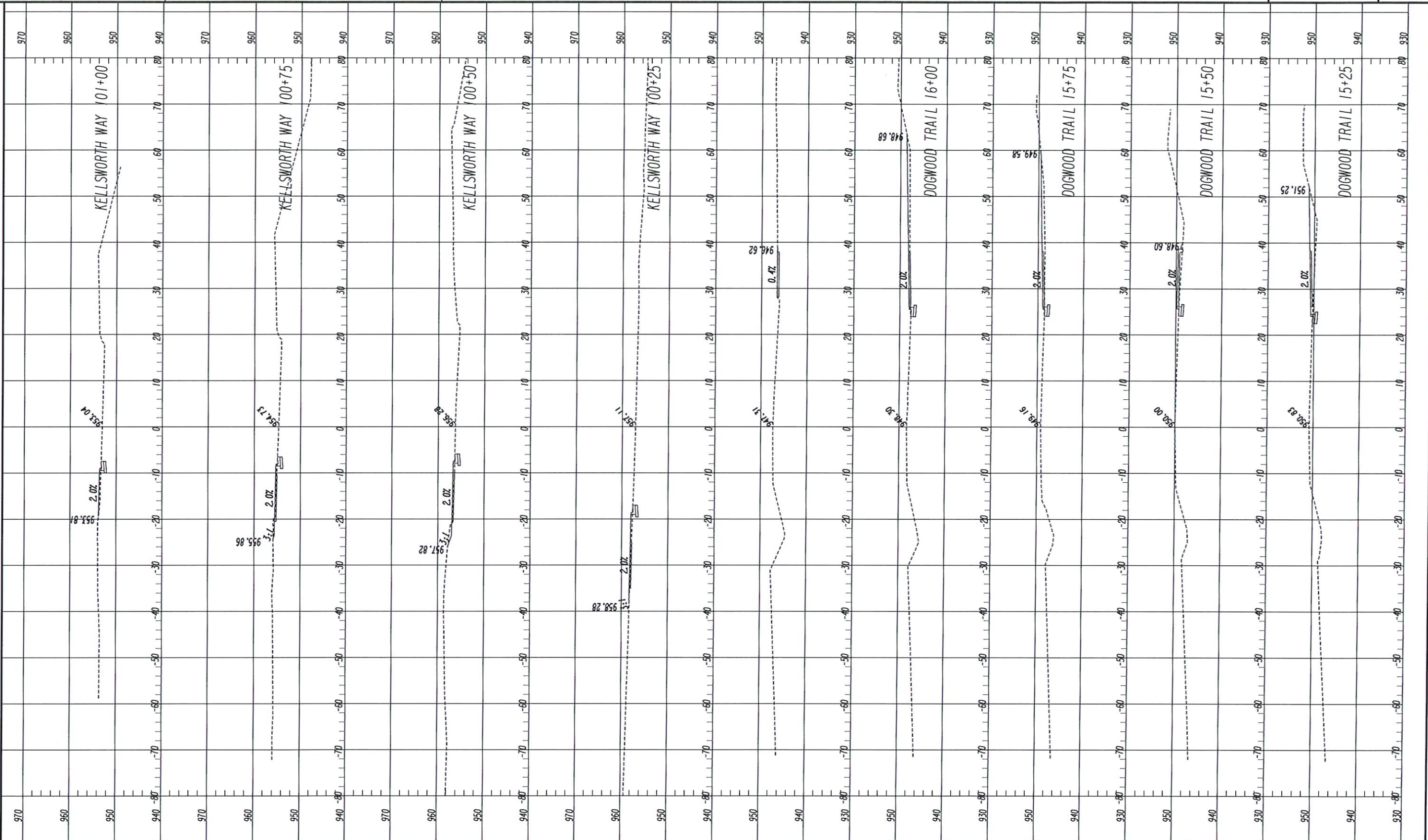
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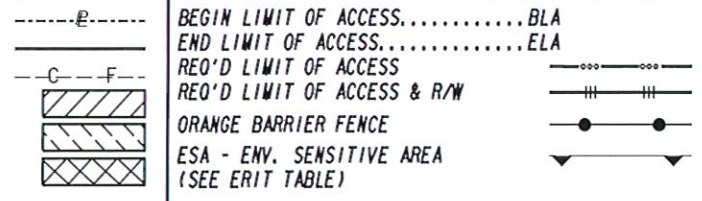
REVISION DATES	

**CROSS SECTIONS**  
 TULLAWARE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

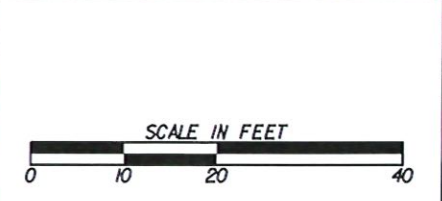
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CORRECTED:	DATE:	
VERIFIED:	DATE:	



PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



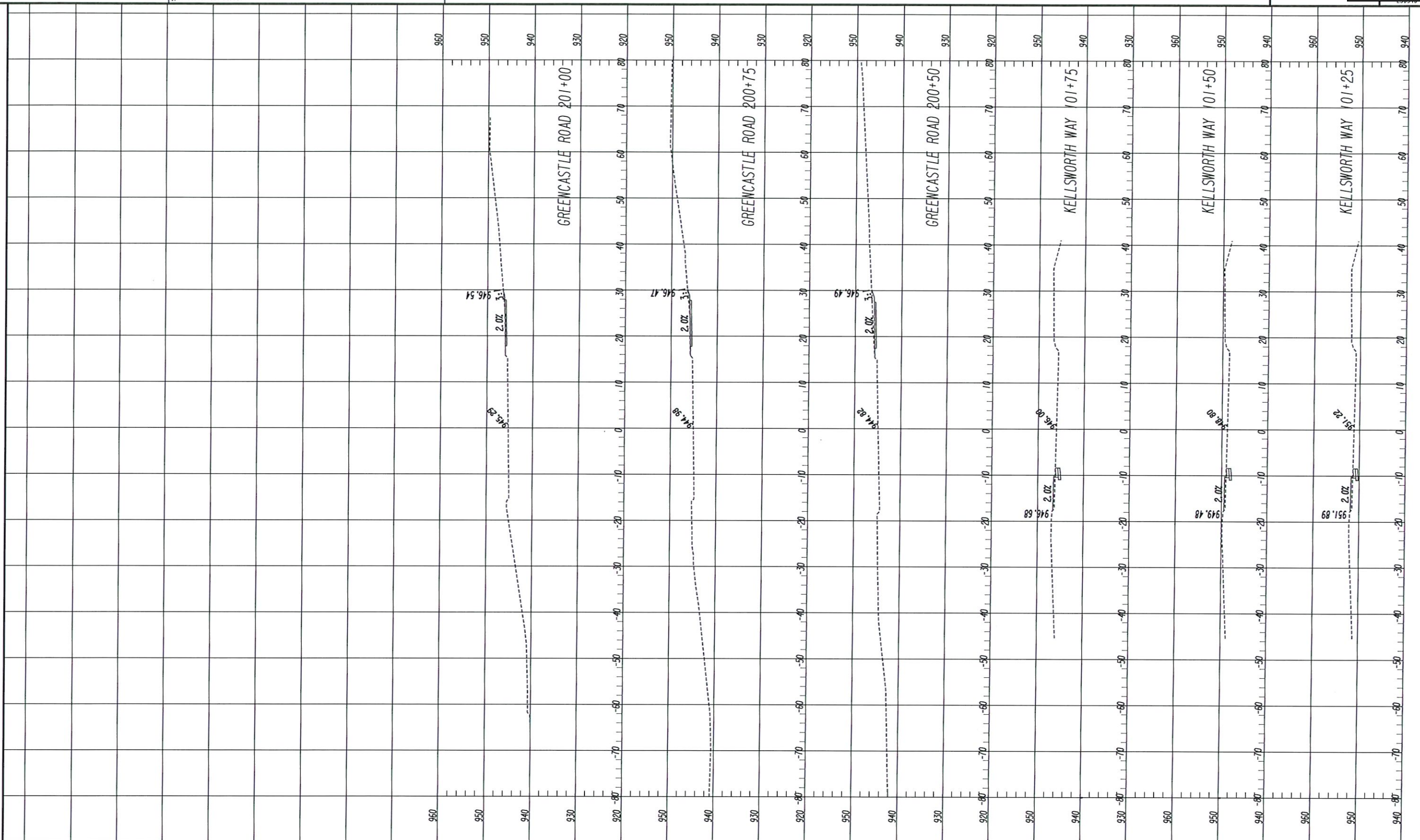
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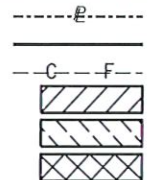
REVISION DATES	

**CROSS SECTIONS**  
 TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
 TOWN OF TYRONE, GA

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VERIFIED:	DATE:	

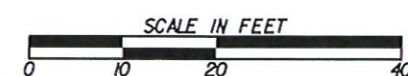


PROPERTY AND EXISTING R/W LINE  
REQUIRED R/W LINE  
CONSTRUCTION LIMITS  
EASEMENT FOR CONSTR  
& MAINTENANCE OF SLOPES  
EASEMENT FOR CONSTR OF SLOPES  
EASEMENT FOR CONSTR OF DRIVES



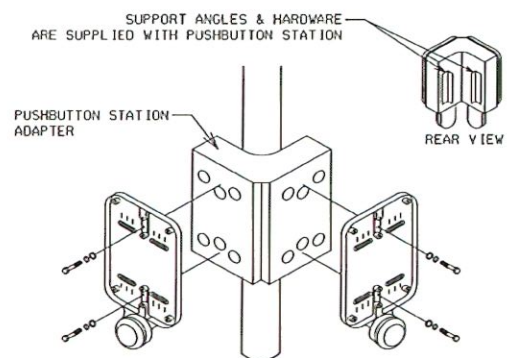
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END LIMIT OF ACCESS.....ELA  
REQ'D LIMIT OF ACCESS  
REQ'D LIMIT OF ACCESS & R/W  
ORANGE BARRIER FENCE  
ESA - ENV. SENSITIVE AREA  
(SEE ERIT TABLE)

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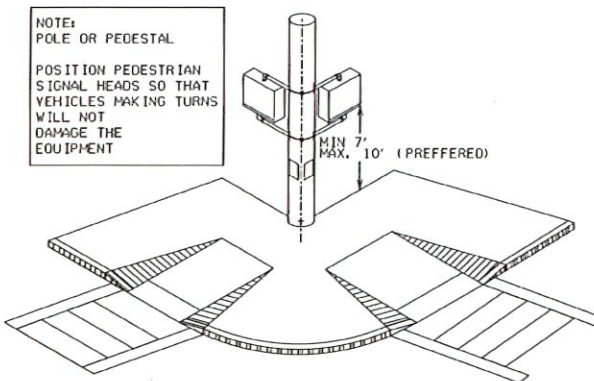


REVISION DATES

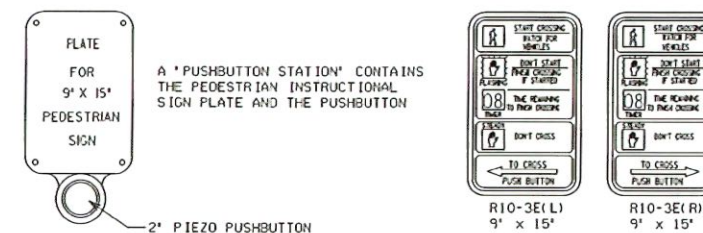
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TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH		23-0004	
TOWN OF TYRONE, GA			
CHECKED:	DATE:	CHECKED:	DATE:
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CORRECTED:	DATE:	CORRECTED:	DATE:
VERIFIED:	DATE:	VERIFIED:	DATE:



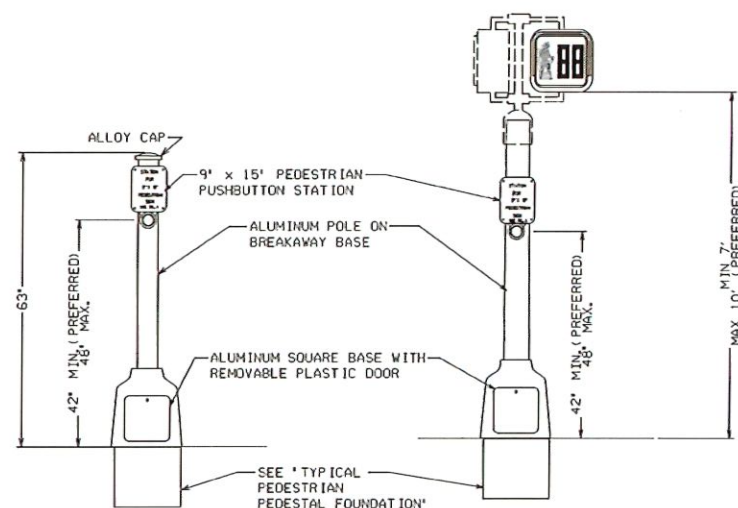
DOUBLE PUSHBUTTON STATION ADAPTER FOR 4" DIA. PEDESTRIAN PEDESTAL



PEDESTRIAN SIGNAL HEAD ORIENTATION FOR SIDE OF POLE MOUNTING



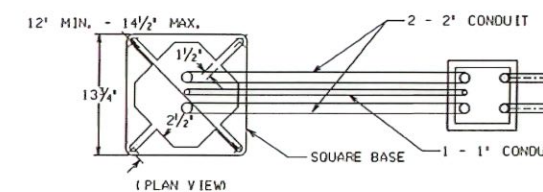
PEDESTRIAN PUSHBUTTON STATION AND SIGNS



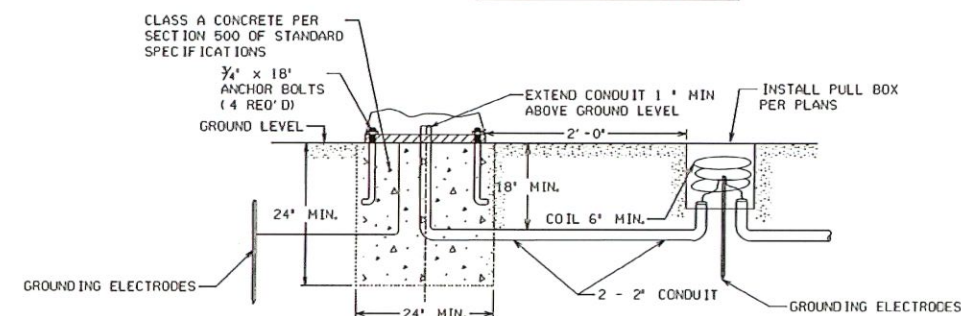
PEDESTRIAN PUSHBUTTON POST

PEDESTRIAN SIGNAL PEDESTAL

NOTE:  
DETAILS SHOWN ARE FOR TOP POST MOUNTING ASSEMBLY ON 10' PEDESTRIAN POLE.  
A CLAM-SHELL MOUNTING ASSEMBLY (NOT SHOWN) MAY BE USED AS APPROVED BY THE DEPARTMENT.  
THE CLAM-SHELL MOUNTING HARDWARE ASSEMBLY SHALL MEET THE SAME GOOT STANDARDS AS THE PEDESTRIAN SIGNAL HOUSING IN PAINT AND MATERIAL.



CROSS SECTION A-A



TYPICAL PEDESTRIAN PEDESTAL FOUNDATION

NOTE: SEE TS-06 FOR GROUNDING DETAILS

DATE	DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA	
REVISION	CONSTRUCTION DETAIL	
BY	PEDESTRIAN FACILITIES INSTALLATION	
	NOVEMBER 2020 NO SCALE	NUMBER TS-03

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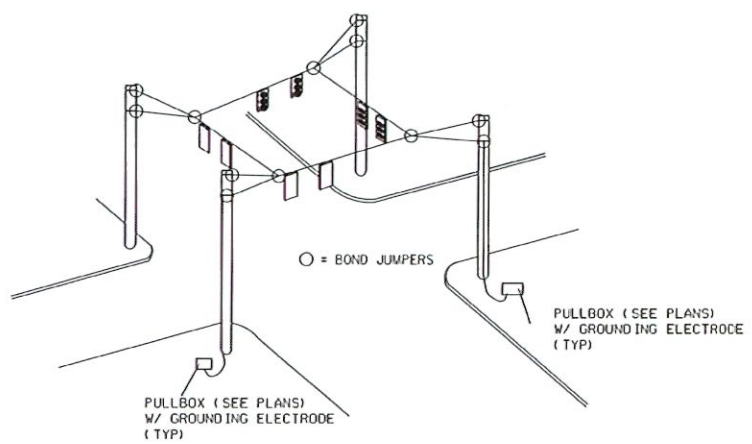
REVISION DATES

**GEORGIA STANDARDS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

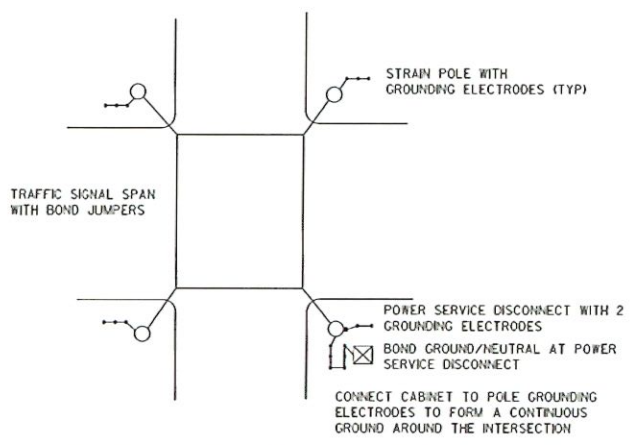
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VERIFIED:	DATE:	

41-0001

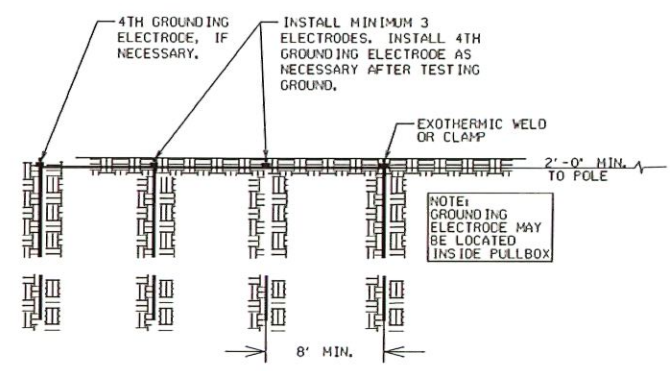




**SPAN WIRE GROUNDING**

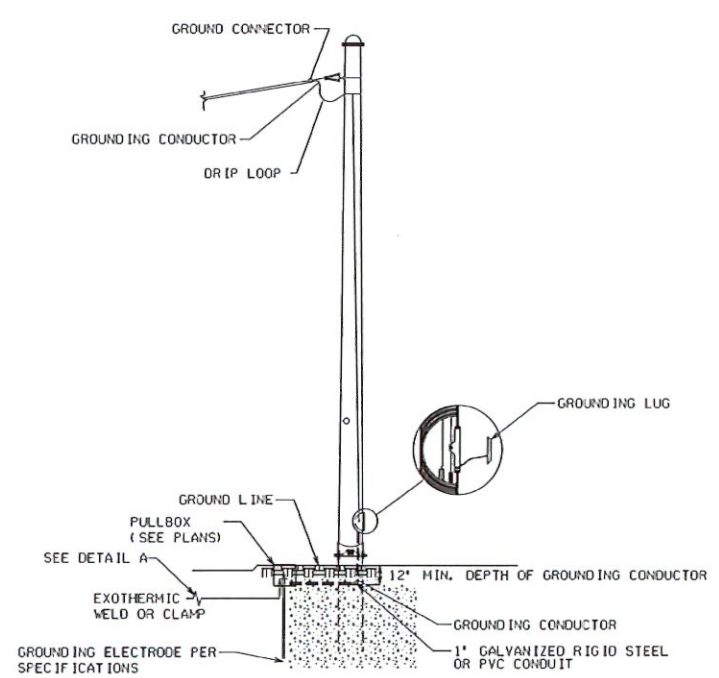


**PLAN VIEW GROUNDING**

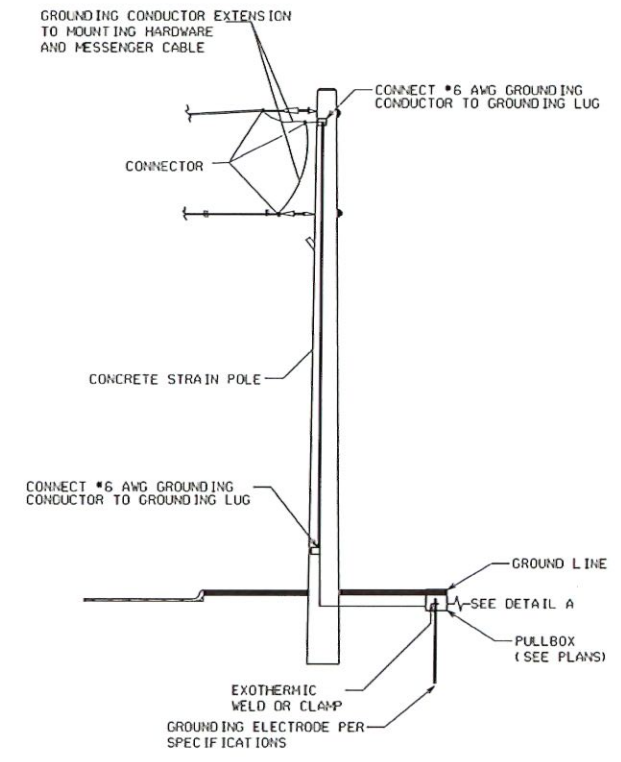


**GROUNDING DETAIL A**

OPTIONAL: IF DEPTH CANNOT BE OBTAINED, INSTALL HORIZONTAL PER SECTION 647



**STEEL STRAIN POLE GROUNDING WITH PULLBOX OPTION**



**CONCRETE STRAIN POLE GROUNDING WITH PULLBOX OPTION**

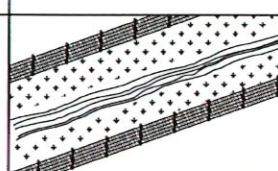

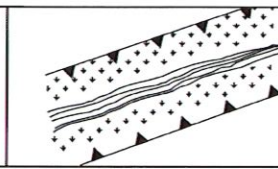
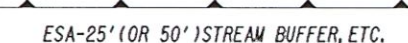
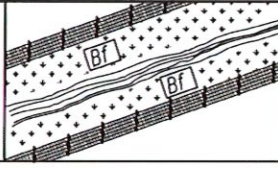

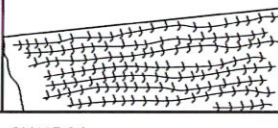



DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA	
CONSTRUCTION DETAIL	
GROUNDING FOR TRAFFIC SIGNAL SUPPORT STRUCTURES	
NOVEMBER 2020 NO SCALE	NUMBER TS-06



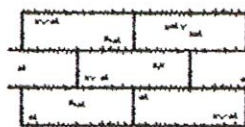

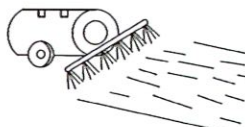



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REVISION	DATE

**GEORGIA STANDARDS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	41-0002
CORRECTED:	DATE:	
VERIFIED:	DATE:	

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
	ORANGE BARRIER FENCE		ORANGE BARRIER FENCE DELINEATES ENVIRONMENTALLY SENSITIVE AREAS WHERE THE CONTRACTOR SHALL NOT CLEAR, GRUB, OR PLACE CONSTRUCTION MATERIALS OR EQUIPMENT WITHIN THIS AREA.
		LINE CODE 	
ESA	ENVIRONMENTALLY SENSITIVE AREA		AN ENVIRONMENTALLY SENSITIVE AREA (ESA) CONTAINS RESOURCES THAT ARE ENVIRONMENTALLY, CULTURALLY, OR HISTORICALLY SENSITIVE. ESAs INCLUDE, BUT ARE NOT LIMITED TO: STATE WATER BUFFERS, HISTORIC SITES, ARCHAEOLOGICAL SITES, AND PROTECTED ANIMAL AND PLANT SPECIES HABITATS.  IF WORK IS AUTHORIZED IN THIS AREA, THE WORK MUST BE PERFORMED IN ACCORDANCE WITH SECTION 107 AND ANY OTHER APPLICABLE SPECIAL PROVISIONS AND APPLICABLE PLAN NOTES.
		LINE CODE 	ESA-25' (OR 50') STREAM BUFFER, ETC.
Bf	BUFFER ZONE		A STRIP OF UNDISTURBED ORIGINAL VEGETATION, ENHANCED OR RESTORED EXISTING VEGETATION, OR THE RE-ESTABLISHMENT OF VEGETATION SURROUNDING AN AREA OF DISTURBANCE OR BORDERING STREAMS, PONDS, WETLANDS, LAKES, AND COASTAL WATERS.  WHEN NECESSARY, BUFFER ZONES ARE TO BE PROTECTED BY ORANGE BARRIER FENCE.
		SYMBOL 	
Ds1	MULCH SECTION 163		THIS IS AN APPLICATION OF STRAW MULCH USED TO REDUCE SOIL EROSION AND STABILIZE THE SOIL. IT IS USED TO CONTROL EROSION IN AREAS WHERE PERMANENT VEGETATION IS OUT OF SEASON OR TO TEMPORARILY STABILIZE AREAS PRIOR TO FINAL GRADING.  MULCHING REQUIREMENTS ARE ADDRESSED BY STANDARD SPECIFICATIONS AND/OR THE PROJECT ENGINEER.  THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
		SYMBOL 	
Ds2	TEMPORARY GRASSING SECTION 163, 700		THE SOWING OF A QUICK GROWING SPECIES OF GRASS SUITABLE TO THE AREA AND SEASON. IT IS TYPICALLY USED TO CONTROL EROSION IN AREAS LONGER THAN MULCHING IS EXPECTED TO LAST.  TEMPORARY GRASSING SHOULD BE USED ON ALL PROJECTS ACCORDING TO THE STANDARD SPECIFICATIONS.  THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
		SYMBOL 	

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ds3	PERMANENT GRASSING SECTION 700		THE SOWING OF PERMANENT VEGETATION, SUCH AS GRASS, SUITABLE TO THE AREA AND SEASON.  PERMANENT VEGETATION SHALL BE USED ON ALL PROJECTS ACCORDING TO THE STANDARD SPECIFICATION.  THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
		SYMBOL 	
Ds4	SODDING CONSTRUCTION DETAIL D-54 SECTION 700, 890		THE INSTALLATION OF A SPECIES OF GRASS SODDING SUITABLE TO THE AREA AND SEASON TO PROVIDE IMMEDIATE PERMANENT VEGETATION.  SODDING MAY BE SHOWN FOR HIGHLY SENSITIVE AREAS, TO IMPROVE AESTHETICS, OR FOR SPECIAL PLANTING REQUIREMENTS ON THE BASIS OF ENVIRONMENTAL COMMITMENTS OR LANDSCAPING REQUIREMENTS.  THE BMP PATTERN FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
		PATTERN 	
F1-Co	FLOCCULANTS COAGULANTS SECTION 163, 700, 895		FLOCCULANTS AND COAGULANTS ARE USED TO SETTLE SUSPENDED SEDIMENT, HEAVY METALS, AND HYDROCARBONS (TSS) IN SLOW MOVING RUNOFF FROM CONSTRUCTION SITES FOR WATER CLARIFICATION.  ANIONIC POLYACRYLAMIDES (PAM) MAY BE USED IN CONJUNCTION WITH BMPs WITHIN CHANNELS UPSTREAM OF A POST-CONSTRUCTION POND, TEMPORARY SEDIMENT BASIN, OR TEMPORARY SEDIMENT TRAP. FLOCCULANTS SHALL NOT BE USED DOWNSTREAM OF AFOREMENTIONED BMPs!  FLOCCULANTS/COAGULANTS ARE TO BE SHOWN ON PLANS WITH APPLICABLE BMP IF NEEDED. PAYMENT FOR PAM AS A FLOCCULANT WILL BE INCLUDED IN THE PRICE FOR THE INSTALLATION AND/OR MAINTENANCE OF THE BMP IF IT IS USED IN CONJUNCTION WITH. NO SEPARATE PAYMENT WILL BE MADE.
		SYMBOL 	POLYACRYLAMIDE
Sb	STREAMBANK STABILIZATION SECTION 702		STREAMBANK STABILIZATION IS THE USE OF READILY AVAILABLE NATIVE PLANT MATERIALS TO MAINTAIN AND ENHANCE STREAMBANKS, OR TO PREVENT, OR RESTORE AND REPAIR SMALL STREAMBANK EROSION PROBLEMS.  STREAMBANK STABILIZATION AREAS SHOULD BE SHOWN ON THE PLANS WHEN APPLICABLE TO THE PROJECT. REFER TO THE PROJECT'S STREAM AND STREAM BUFFER MITIGATION PLANS FOR PLANT SPECIES, LOCATIONS, AND OTHER PLANTING DETAILS.
		PATTERN 	

NOTE:

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

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REVISION DATES

EROSION CONTROL LEGEND			
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:	52-0001	
CORRECTED:	DATE:		
VERIFIED:	DATE:		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ss	SLOPE STABILIZATION CONSTRUCTION DETAIL D-35 SECTION 716		SLOPE STABILIZATION (EROSION CONTROL MATTING) IS A PROTECTIVE COVERING USED TO PREVENT EROSION AND ESTABLISH TEMPORARY OR PERMANENT VEGETATION ON STEEP SLOPES, SHORE LINES, OR CHANNELS.  SLOPE STABILIZATION MAY BE A ROLLED EROSION CONTROL PRODUCT (RECP) OR A HYDRAULIC EROSION CONTROL PRODUCT (HECP).  SLOPE STABILIZATION SHALL BE USED ON ALL CUT OR FILL SLOPES OF 2.5:1 OR STEEPER AND WITHIN 50 FEET OF ALL CROSS DRAINS AND CULVERTS.  NOTE: ONLY COCONUT FIBER BLANKET OR WOOD FIBER BLANKET SHALL BE USED AS SLOPE STABILIZATION WITHIN BUFFERED AREAS.
		PATTERN 	
Toc	TACKIFIERS SECTION 163, 700, 895		TACKIFIERS HYDRATE IN WATER AND READILY BLEND WITH OTHER SLURRY MATERIALS AND ARE USED TO TIE-DOWN FOR SOIL, COMPOST, SEED, STRAW, HAY OR MULCH.  TACKIFIERS REQUIREMENTS, SUCH AS ANIONIC POLYACRYLAMIDES (PAM) ARE ADDRESSED BY STANDARD SPECIFICATIONS AND ARE NOT TYPICALLY SHOWN ON THE PLANS. PAM IS TYPICALLY USED BY THE CONTRACTOR FOR TEMPORARY OR PERMANENT GRASSING.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR CRITERIA.
		SYMBOL 	
Cd-F	FABRIC CHECK DAM CONSTRUCTION DETAIL D-24D SECTION 171		A CHECK DAM COMPOSED OF SYNTHETIC FIBER FABRIC, WIRE REINFORCED, POST, OVERFLOW WEIR, AND TURF REINFORCEMENT MATTING (TRM) SPLASHPAD PLACED IN DITCHES IN A SPECIAL CONFIGURATION WHICH CONTROLS ENERGY DISSIPATION AND FILTRATION OF STORM WATER. SEE CONSTRUCTION DETAIL D-24D FOR ADDITIONAL INFORMATION AND SPACING REQUIREMENTS.  THIS ITEM IS SUITABLE FOR USE IN ROADSIDE DITCHES THAT ARE PART OF INFRASTRUCTURE CONSTRUCTION PROJECTS AND WITHIN THE CLEAR ZONE.  IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
		SYMBOL 	
Cd-Fs	COMPOST FILTER SOCK CHECK DAM CONSTRUCTION DETAIL D-52 SECTION 163		A COMPOST FILTER SOCK CHECK DAM IS COMPOSED OF A PHOTODEGRADABLE OR BIODEGRADABLE KNITTED MESH MATERIAL CONTAINING A WEED FREE FILLER MATERIAL DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THEY SHALL BE PROPERLY STAKED FOR DITCH APPLICATIONS.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR MATERIAL SPECIFICATIONS.  IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
		SYMBOL 	
Cd-Hb	BALED STRAW CHECK DAM CONSTRUCTION DETAIL D-52 SECTION 163		A BALE STRAW CHECK DAM IS COMPOSED OF BALES PREFERABLY BOUND WITH WIRE OR NYLON INSTEAD OF TWINE. BALES SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING ADJACENT BALES. THE DOWNSTREAM ROW OF BALES SHALL BE PLACED IN A TRENCH TO ALLOW THE TOP OF THE BALE'S LONG, WIDE SIDE TO BE LEVEL WITH THE GROUND AS A NON-ERODIBLE SPLASH PAD. PROPER STAKING IS ALSO REQUIRED FOR DITCH APPLICATIONS.  IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
		SYMBOL 	

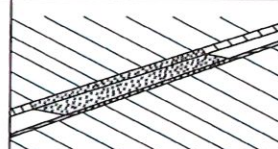
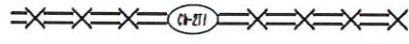
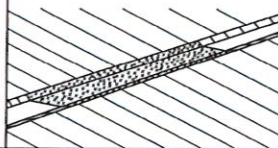
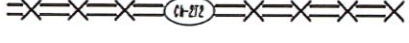
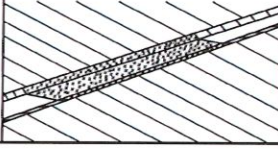
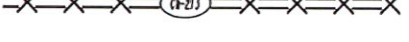
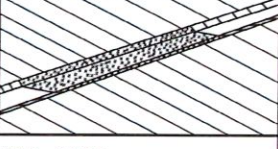
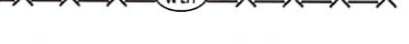
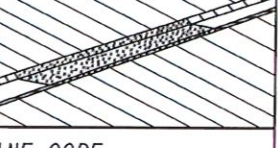

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Cd-S	STONE CHECK DAM OR SANDBAG CHECK DAM CONSTRUCTION DETAIL D-56 SECTION 163, 603		STONE CHECK DAMS ARE CONSTRUCTED OF TYPE-3 RIP-RAP WITH GEOTEXTILE UNDERLINER. STONE CHECK DAMS ARE PREFERRED IN ROADWAY DITCHES OUTSIDE THE CLEAR ZONE. CONSIDERATION SHOULD BE GIVEN TO USING OTHER APPROPRIATE CHECK DAMS AND/OR BMPs WITHIN THE CLEAR ZONE.  SANDBAG CHECK DAMS ARE RECOMMENDED IN CONCRETE LINED CHANNELS FOR TEMPORARY VELOCITY CONTROL ONLY. ENSURE DISCHARGE POINT IS PROPERLY STABILIZED AND INCLUDE APPROPRIATE BMPs FOR SEDIMENT STORAGE UPSTREAM AND/OR DOWNSTREAM OF CONCRETE LINED CHANNELS.  IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
		SYMBOL 	
Ch-1	VEGETATED CHANNEL STABILIZATION SECTION 700		A NEW OR EXISTING CHANNEL MAY BE LINED WITH PERMANENT VEGETATION ONLY FOR VELOCITIES UP TO 5.0 fps. THIS MEASURE SHALL BE DESIGNED IN ACCORDANCE WITH THE GDOT CHANNEL LINING DESIGN PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.  TYPICALLY NOT SHOWN IN PLANS.
		LINE CODE 	
Ch-2R1	CHANNEL STABILIZATION RIP-RAP, TYPE 1 CONSTRUCTION DETAIL D-49 SECTION 603		THIS ITEM CONSISTS OF LINING A CHANNEL WITH TYPE 1 RIP-RAP 24" THICK (UNLESS SPECIFIED OTHERWISE) PLACED ON TOP OF A GEOTEXTILE UNDERLINER. THE RIP-RAP SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.  'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
		LINE CODE 	
Ch-2R3	CHANNEL STABILIZATION RIP-RAP, TYPE 3 CONSTRUCTION DETAIL D-49 SECTION 603		THIS ITEM CONSISTS OF LINING A CHANNEL WITH TYPE 3 RIP-RAP 24" THICK (UNLESS SPECIFIED OTHERWISE) PLACED ON TOP OF A GEOTEXTILE UNDERLINER. THE RIP-RAP SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.  'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
		LINE CODE 	

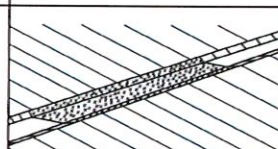
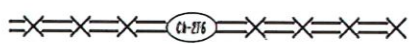
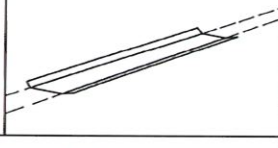

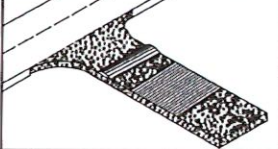

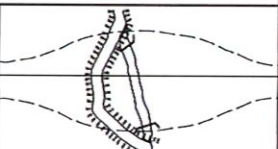
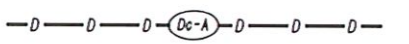
NOTE:

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

REVISION DATES

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TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH TOWN OF TYRONE, GA	
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DRAWING No. 52-0002	

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ch-2T1	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-2 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-2T2	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-4 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-2T3	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-6 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-2T4	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-8 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-2T5	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-10 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ch-2T6	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-12 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-3	CONCRETE CHANNEL STABILIZATION CONSTRUCTION DETAIL D-10, D-49 SECTION 441		CHANNELS ARE LINED WITH CONCRETE FOR VELOCITIES >= 10 fps. THIS ITEM CONSISTS OF CONSTRUCTING A 4" THICK CONCRETE CHANNEL. THE CONCRETE SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH 'Dp' RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	'Dp' SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.  RIP-RAP SHOULD BE USED TO DISSIPATE ENERGY DOWNSTREAM OF CONCRETE LINED CHANNELS.
Co	CONSTRUCTION EXIT CONSTRUCTION DETAIL D-41 SECTION 163, 800		A CONSTRUCTION EXIT IS A STONE STABILIZED PAD THAT REDUCES OR ELIMINATES THE TRANSPORT OF MUD FROM CONSTRUCTION AREAS ONTO PUBLIC ROADS BY EQUIPMENT OR RUNOFF. BEST USED AT ACCESS POINTS, I. e. NEW LOCATION PROJECTS, BORROW PITS, WASTE PITS, ACCESS ROADS, ETC. SHOULD BE MINIMUM 20' WIDE, 50' LONG, 6" THICK, AND REQUIRES A GEOTEXTILE UNDERLINER. ON SITES WHERE THE GRADE TOWARD A PAVED AREA IS GREATER THAN 2%, A FULL WIDTH DIVERSION RIDGE 6" TO 8" HIGH WITH 3:1 SLOPES SHALL BE CONSTRUCTED APPROXIMATELY 15' UPSTREAM OF PAVED AREA. A TIRE WASHING AREA TO REMOVE MUD MAY ALSO BE REQUIRED PRIOR TO ENTRANCE ONTO PUBLIC ROADWAYS.
		SYMBOL 	ALL CONSTRUCTION EXIT REQUIREMENTS ARE INCLUDED IN THE PRICE OF THE CONSTRUCTION EXIT.
Dc-A	STREAM DIVERSION CHANNEL GEOTEXTILE, POLYETHYLENE FILM SECTION 163		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH GEOTEXTILE OR POLYETHYLENE FILM. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 0 - 2.5 fps.
		LINE CODE 	THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE.  CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.

**NOTE:**

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

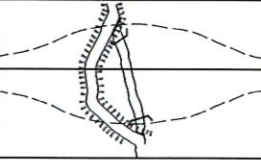
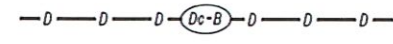
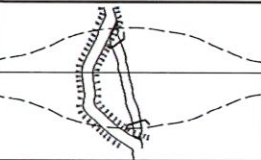

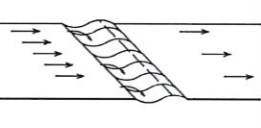
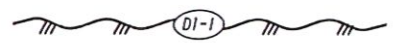
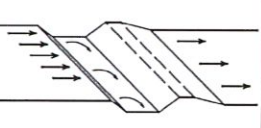
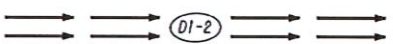

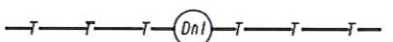
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Duluth, GA 30097  
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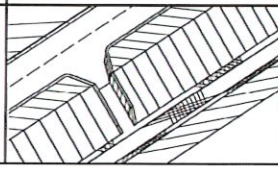
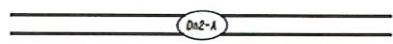
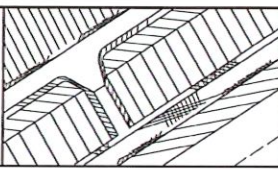
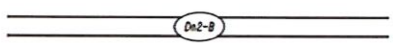


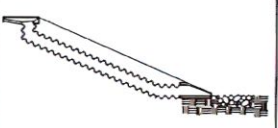
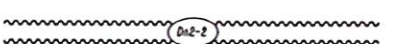
REVISION DATES

EROSION CONTROL LEGEND

TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

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CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Dc-B	STREAM DIVERSION CHANNEL GEOTEXTILE ONLY SECTION 163		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH GEOTEXTILE ONLY. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 2.5 - 9.0 fps.
	LINE CODE 		THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE. CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.
Dc-C	STREAM DIVERSION CHANNEL RIP-RAP & GEOTEXTILE SECTION 163		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH RIP-RAP AND GEOTEXTILE. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 9.0 - 13.0 fps.
	LINE CODE 		THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE. CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.
DI-1	DIVERSION BERM CONSTRUCTION DETAIL D-47 SECTION 205		A NON-DESIGNED TEMPORARY EARTHEN BERM WITH A COMPACTED SUPPORTING RIDGE ON THE LOWER SIDE TO BE USED AT THE EDGE OF EMBANKMENT DURING THE GRADING OPERATION. THE BERMS ARE ALSO CONSTRUCTED ABOVE, ACROSS OR BELOW A SLOPE TO REDUCE THE LENGTH OF A SLOPE. THEY ARE USED TO INTERCEPT RUNOFF, PREVENTING SLOPE EROSION AND TO DIRECT THE RUNOFF TO A STABLE OUTLET, DOWN DRAINS 'Dn1' OR CATCHMENT AREAS AND ON ALL GRADING PROJECTS.
	LINE CODE 		
DI-2	DIVERSION CHANNEL SECTION 205		A DESIGNED TEMPORARY OR PERMANENT CHANNEL WITH A COMPACTED SUPPORTING RIDGE ON THE LOWER SIDE TO DIVERT OFFSITE RUNOFF AWAY FROM DISTURBED AREAS WITHIN THE PROJECT AREA. CHANNEL FOR OFFSITE RUNOFF SHALL BE STABILIZED WITH APPROPRIATE CHANNEL STABILIZATION. REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA. A DIVERSION CHANNEL DETAIL MUST ALSO BE PROVIDED IN THE ESPCP.
	LINE CODE 		RUNOFF FROM DISTURBED AREAS WITHIN THE PROJECT AREA SHALL NOT BE ALLOWED TO CONVERGE WITH OFFSITE RUNOFF WITHIN THIS DIVERSION.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE FLEXIBLE CONSTRUCTION DETAIL D-19 SECTION 163		A TEMPORARY PIPE SLOPE DRAIN IS A PLASTIC FLEXIBLE PIPE TO CARRY WATER FROM THE WORK AREA TO A LOWER ELEVATION. TEMPORARY SLOPE DRAINS SHOULD BE PLACED AT INTERVALS OF 350 FEET ON 0% - 2% GRADES, 200 FEET ON STEEPER GRADES AND MORE FREQUENTLY AS DICTATED BY FIELD CONDITIONS. THE TYPICAL PIPE SIZE IS A CORRUGATED 10'. THE PIPE WILL BE ANCHORED WITH STAKES AT INTERVALS NOT TO EXCEED 10'.
	LINE CODE 		THE OUTLET AREA SHALL BE STABILIZED FOR VELOCITY DISSIPATION AND EROSION CONTROL.

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Dn2-A	PERMANENT DOWNDRAIN STRUCTURE CONCRETE CONSTRUCTION DETAIL D-9 SECTION 441		A CONCRETE FLUME TYPE 'A' IS USED TO DIRECT SURFACE RUNOFF DOWN A ROADWAY SLOPE INTO ANOTHER FORM OF CONTROL. IT IS USED IN ALL DEPRESSED AREAS WHERE WATER WILL FLOW DOWN THE SLOPE. IT IS DESIGNED FOR A 25-YEAR STORM AND MUST HAVE SOME FORM OF OUTLET PROTECTION. ADDITIONAL LABELING IS NOT REQUIRED IF SHOWN AS A PERMANENT DRAINAGE STRUCTURE ON THE CONSTRUCTION PLANS. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OTHER CRITERIA).
	LINE CODE 		
Dn2-B	PERMANENT DOWNDRAIN STRUCTURE CONCRETE CONSTRUCTION DETAIL D-9 SECTION 441		A CONCRETE FLUME TYPE 'B' IS USED TO DIRECT SURFACE DITCH RUNOFF DOWN A BACK SLOPE INTO ANOTHER FORM OF CONTROL. IT IS USED IN DEPRESSED AREAS WHERE CONCENTRATED OFFSITE WATER REACHES THE CUT SLOPE. IT IS DESIGNED TO SAFELY CONVEY WATER DOWN THE CUT SLOPE. IT IS DESIGNED FOR A 25-YEAR STORM AND MUST HAVE SOME FORM OF OUTLET PROTECTION. ADDITIONAL LABELING IS NOT REQUIRED IF SHOWN AS A PERMANENT DRAINAGE STRUCTURE ON THE CONSTRUCTION PLANS. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
	LINE CODE 		
Dn2-1	PERMANENT DOWNDRAIN STRUCTURE GA. STD 9013 TPI, 9017J TPI, DETAIL D-26 TP1 SECTION 576, 577		CONCRETE DRAIN INLET WITH METAL PIPE IS USED TO DRAIN CURBS, ON A GRADE, DOWN TO A LOWER ELEVATION. THIS IS A PERMANENT STRUCTURE, REQUIRING OUTLET PROTECTION, TEMPORARY AND PERMANENT. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
	LINE CODE 		
Dn2-2	PERMANENT DOWNDRAIN STRUCTURE GA. STD 9013 TP2, 9017J TP2, DETAIL D-26 TP2 SECTION 576, 577		CONCRETE DRAIN INLET AND METAL PIPE IS USED TO DRAIN CURB, IN A SAG, DOWN TO A LOWER ELEVATION. THIS IS A PERMANENT STRUCTURE, REQUIRING OUTLET PROTECTION, TEMPORARY AND PERMANENT. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
	LINE CODE 		

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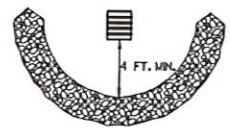







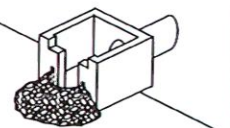

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.



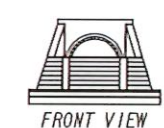
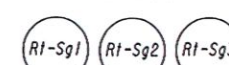

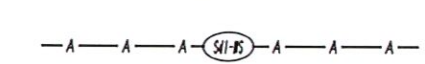

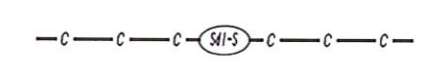
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REVISION DATES

EROSION CONTROL LEGEND			
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52-0004

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Fr	FILTER RING  CONSTRUCTION DETAIL D-46 SECTION 163		A TEMPORARY STONE BARRIER CONSTRUCTED AT DRAINAGE STRUCTURE INLETS AND POST-CONSTRUCTION POND OUTLETS. IT REDUCES RUNOFF VELOCITY AND HELPS PREVENT SEDIMENT FROM LEAVING SITE PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR ADDITIONAL INFORMATION ON USAGE.
	SYMBOL 		
Rd	ROCK FILTER DAM  CONSTRUCTION DETAIL D-43 SECTION 163, 603		ROCK FILTER DAMS ARE CONSTRUCTED OF TYPE 3 STONE RIP-RAP FACED WITH #57 STONE ON THE UPSTREAM SIDE. THEY ARE PLACED ACROSS DRAINAGEWAYS WHICH DRAIN 50 ACRES OR LESS. GEOTEXTILE UNDERLINER SHALL BE USED WHEN PLACING ROCK FILTER DAMS.  THE DAM SHOULD NOT BE HIGHER THAN THE CHANNEL BANKS.  ROCK FILTER DAMS SHOULD BE USED IN DITCHES PRIOR TO DISCHARGING INTO STREAMS, WETLANDS, OPEN-WATERS, OR OTHER ESAs.
	SYMBOL 		
Rd-B	STONE FILTER BERM  CONSTRUCTION DETAIL D-50 SECTION 163, 603		STONE FILTER BERMS ARE CONSTRUCTED SIMILAR TO ROCK FILTER DAMS FOR A LINEAR APPLICATION. THEY ARE CONSTRUCTED OF TYPE-3 STONE RIP-RAP FACED WITH #57 STONE ON THE UPSTREAM SIDE. GEOTEXTILE UNDERLINER SHALL BE USED WHEN PLACING STONE FILTER BERMS.  STONE FILTER BERMS ARE IDEAL ALONG THE PERIMETER FOR SHEET FLOW AND/OR SHALLOW CONCENTRATED FLOW TO A COMMON LOW AREA WHERE PERIMETER SILT FENCE ALONE MAY BE INSUFFICIENT. THERE IS NO WELL-DEFINED CHANNEL FOR A STANDARD ROCK FILTER DAM, AND/OR CONSTRUCTING A ROCK OUTLET TEMPORARY SEDIMENT TRAP IS NOT APPLICABLE.
	LINE CODE 		
Rp	RIP-RAP  SECTION 603		RIP-RAP IS A FLEXIBLE PERMANENT BLANKET FOR PROTECTION OF FILL SLOPES AND BRIDGE END ROLLS. RIP-RAP TYPE-1 SHOULD BE PLACED ON TOP OF A GEOTEXTILE UNDERLINER AT A MINIMUM 24" THICKNESS OR AS INDICATED ON THE PLANS.  RIP-RAP MAY ALSO BE USED AT DRAINAGE STRUCTURE OUTLETS WITHIN THE RIGHT-OF-WAY. HOWEVER, APPROPRIATE OUTLET PROTECTION SHOULD BE PROVIDED AT OUTFALLS. REFER TO STORM DRAIN OUTLET PROTECTION FOR ADDITIONAL INFORMATION ON USING RIP-RAP AT OUTFALLS.
	PATTERN 		
Rt-P	RETROFITTING PERFORATED HALF-ROUND PIPE  CONSTRUCTION DETAIL D-44 SECTION 163		A PERFORATED HALF-ROUND PIPE WITH STONE FILTER PLACED IN FRONT OF A PERMANENT STORMWATER DETENTION POND OUTLET STRUCTURE TO SERVE AS A TEMPORARY SEDIMENT FILTER.  SHOULD BE USED ONLY IN DETENTION PONDS WITH LESS THAN 30 ACRES TOTAL DRAINAGE AREA.  SHALL ONLY BE USED IN DETENTION BASINS LARGE ENOUGH TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DISTURBED AREA.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA.
	SYMBOL 		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION		
Rt-B	RETROFITTING SLOTTED BOARD DAM  CONSTRUCTION DETAIL D-45 SECTION 163		A SLOTTED BOARD DAM CONSISTS OF STONE AND/OR FILTER FABRIC AND BOARDS WITH 0.5' - 1.0' SPACING TO SERVE AS A TEMPORARY SEDIMENT FILTER.  PERMANENT STORMWATER DETENTION POND OUTLET: -DRAINAGE AREA UP TO 100 ACRES -DETENTION BASINS LARGE ENOUGH TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DISTURBED AREA  ROADWAY DRAINAGE STRUCTURE: -OPEN END PIPES, WINGED HEADWALLS, OR CONCRETE WEIR OUTLETS WITH DRAINAGE AREA LESS THAN 30 ACRES  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA.		
	SYMBOL 				
Rt-Sg1	RETROFITTING SILT CONTROL GATES  CONSTRUCTION DETAIL D-20 SECTION 163		A SILT CONTROL GATE CONSISTS OF BOARDS WITHOUT SPACING AND FILTER FABRIC TO BE USED FOR TEMPORARY SEDIMENT STORAGE ON ROADWAY PROJECTS AT THE INLET OF STRUCTURES WITH A DRAINAGE AREA UP TO 50 ACRES. THE DISTURBED AREA WITHIN THE DRAINAGE AREA SHALL NOT EXCEED 5 ACRES. SILT CONTROL GATES SHOULD NOT BE USED ALONE, BUT WITH ANOTHER BMP DOWNSTREAM PRIOR TO DISCHARGE LEAVING PROJECT AREA.  DO NOT USE SILT GATES IN STATE WATERS.  Rt-Sg1-TYPE 1: USED ON BOX CULVERTS Rt-Sg2-TYPE 2: USED ON STRAIGHT HEADWALLS Rt-Sg3-TYPE 3: USED ON FLARED END SECTIONS AND TAPERED HEADWALLS		
				SYMBOL 	
Sd1-NS	SEDIMENT BARRIER (NON-SENSITIVE) SILT FENCE TYPE A  CONSTRUCTION DETAIL D-24 SECTION 171		SEDIMENT BARRIERS MINIMIZE AND PREVENT SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE PROJECT AREA BY CAUSING DEPOSITION AND/OR FILTRATION OF SEDIMENT. SILT FENCE USED AS PERIMETER CONTROL SHALL NOT BE INSTALLED ACROSS CONCENTRATED FLOW.  TYPE-A SILT FENCE IS TYPICALLY USED IN NON-ENVIRONMENTALLY SENSITIVE AREAS (ESAs) OR IN AREAS WITH FILLS LESS THAN 10'.  IT SHOULD BE PLACED A MINIMUM OF 10' FROM CONSTRUCTION LIMITS OR ALONG THE RIGHT-OF-WAY LINE.		
				LINE CODE 	
Sd1-S	SEDIMENT BARRIER (SENSITIVE) SILT FENCE TYPE C  CONSTRUCTION DETAIL D-24 SECTION 171		SEDIMENT BARRIERS MINIMIZE AND PREVENT SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE PROJECT AREA BY CAUSING DEPOSITION AND/OR FILTRATION OF SEDIMENT. SILT FENCE USED AS PERIMETER CONTROL SHALL NOT BE INSTALLED ACROSS CONCENTRATED FLOW.  TYPE-C SILT FENCE IS TYPICALLY USED IN ENVIRONMENTALLY SENSITIVE AREAS (ESAs) OR IN AREAS WITH FILLS 10' AND GREATER.  ALL ENVIRONMENTALLY SENSITIVE AREAS (ESAs) SHALL BE PROTECTED WITH A DOUBLE-ROW OF TYPE-C SILT FENCE REGARDLESS OF FILL HEIGHT. A SINGLE-ROW MAY BE USED FOR OTHER APPLICATIONS.  IT SHOULD BE PLACED A MINIMUM OF 10' FROM CONSTRUCTION LIMITS OR ALONG THE RIGHT-OF-WAY LINE.		
				LINE CODE 	

NOTE:




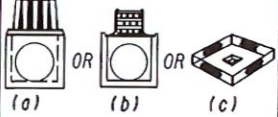

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

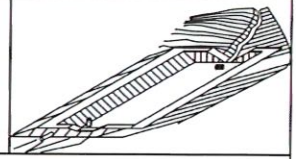
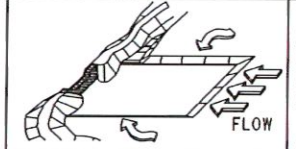
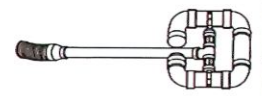
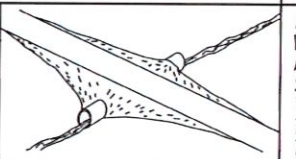
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52-0005

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Sd1-BB	SEDIMENT BARRIER BRUSH BARRIER		THIS ITEM CONSISTS OF INTERWINGLED BRUSH, LOGS, ETC. SO AS NOT TO FORM A SOLID DAM. CONSTRUCTED AT THE TOE OF FILL SLOPES ONLY DURING THE CLEARING AND GRUBBING OPERATION. THE BARRIER SHOULD BE USED AT THE TOE OF FILL SLOPES ON GRADING PROJECTS IN RURAL AREAS WHERE SUFFICIENT RIGHT OF WAY OR EASEMENT IS AVAILABLE (10 FEET OR MORE). THE BARRIER SHOULD RUN ROUGHLY PERPENDICULAR TO THE FLOW OF WATER WHERE THIS DOES NOT CONFLICT WITH RIGHT-OF-WAY OR EASEMENT LIMITS. THEY WILL NOT BE PLACED IN WETLANDS.  TYPICALLY NOT SHOWN ON PLANS.  PAYMENT FOR THIS ITEM IS INCLUDED IN THE CLEARING AND GRUBBING COST. NO SEPARATE PAYMENT SHALL BE MADE.
	CONSTRUCTION DETAIL D-24B SECTION 201	LINE CODE  * * * (Sd1-BB) * * *	
Sd2-B	INLET SEDIMENT TRAP (BAFFLE BOX) CONSTRUCTION DETAIL D-42 SECTION 163		BAFFLE BOX INLET SEDIMENT TRAP USED FOR INLETS RECEIVING HIGH FLOW RATE AND/OR VELOCITY. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES 7 cfs AND GREATER.
		SYMBOL  (Sd2-B)	
Sd2-Bg	INLET SEDIMENT TRAP (BLOCK & GRAVEL) CONSTRUCTION DETAIL D-42 SECTION 163		BLOCK AND GRAVEL DROP INLET PROTECTION USED FOR WHERE HEAVY FLOWS ARE EXPECTED AND WHERE OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. CAN BE USED AT CULVERT INLETS. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES THAT RANGE FROM 5 - 7 cfs.
		SYMBOL  (Sd2-Bg)	
Sd2-F	INLET SEDIMENT TRAP (FILTER FABRIC) CONSTRUCTION DETAIL D-24C SECTION 163		(a) A SEDIMENT BARRIER CONSISTING OF A PREFABRICATED FRAME WITH FILTER FABRIC USED AROUND A DROP INLET OR CATCH BASIN. (b) A SEDIMENT BARRIER CONSISTING OF A PERFORATED METAL STAND PIPE WITH FILTER FABRIC USED AROUND A DROP INLET OR CATCH BASIN. (c) TYPE C SILT FENCE WITH SUPPORTING FRAME CAN BE USED AS AN ALTERNATE TO INLET SEDIMENT TRAP FOR AREAS WITH SLOPES < 5%.  THIS ITEM IS USED TO PREVENT SILT FROM ENTERING THE PIPE SYSTEM. SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS. RECOMMENDED FOR INLET RECEIVING FLOW RATES THAT RANGE FROM 0 - 4 cfs.
		SYMBOL  (Sd2-F)	
Sd2-G	INLET SEDIMENT TRAP (GRAVEL) CONSTRUCTION DETAIL D42 SECTION 163		GRAVEL DROP INLET PROTECTION USED WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED. STONE AND GRAVEL ARE USED TO TRAP SEDIMENT. THE SLOPE TOWARD THE INLET SHALL BE NO MORE THAN 3:1. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES THAT RANGE FROM 3 - 5 cfs.
		SYMBOL  (Sd2-G)	

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Sd3	TEMPORARY SEDIMENT BASIN		A BASIN CREATED BY EXCAVATING AN AREA, DAMMING CONCENTRATED FLOW, OR A COMBINATION OF BOTH. THE BASIN IS DESIGNED TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DRAINAGE AREA. THE DRAINAGE AREA SHOULD NOT EXCEED 150 ACRES. BASINS TYPICALLY CONSISTS OF A DAM, PRINCIPAL SPILLWAY, AND AN EMERGENCY SPILLWAY. A FLOATING SURFACE SKIMMER SHALL BE REQUIRED AS PART OF THE PRINCIPAL SPILLWAY UNLESS INFEASIBLE. SUFFICIENT RIGHT-OF-WAY OR EASEMENT IS NEEDED FOR BASIN CONSTRUCTION AND MAINTENANCE ACCESS.  SEDIMENT BASINS SHALL BE CONSIDERED ON ALL PROJECTS, BUT MAY NOT BE PRACTICAL. BASINS SHOULD BE LOCATED TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND UTILITIES. REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA.
	CONSTRUCTION DETAIL D-22A, D-22B SECTION 163	SYMBOL  (Sd3)	
Sd4-C	ROCK OUTLET TEMPORARY SEDIMENT TRAP		TEMPORARY POND WITH ROCK OUTLET DESIGNED TO STORE 67 CUBIC YARDS OF SEDIMENT PER DRAINAGE AREA. DRAINAGE AREA SHALL NOT EXCEED 5 ACRES. DISTINGUISHED FROM TEMPORARY SEDIMENT BASIN BY LACK OF PRINCIPAL SPILLWAY. MAXIMUM POND DEPTH FROM BOTTOM OF POND TO EMERGENCY SPILLWAY IS 4 FEET.  A TEMPORARY SEDIMENT BASIN SHALL BE EVALUATED PRIOR TO CONSIDERING A TEMPORARY SEDIMENT TRAP. A TEMPORARY SEDIMENT TRAP IS IDEAL FOR SMALL AREAS WITH NO UNUSUAL DRAINAGE FEATURES AND EFFECTIVE AGAINST COARSE SEDIMENT, BUT NOT AGAINST SILT OR CLAY PARTICLES THAT REMAIN SUSPENDED.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA.
	CONSTRUCTION DETAIL D-53 SECTION 163	SYMBOL  (Sd4-C)	
Sk	FLOATING SURFACE SKIMMER		A BUOYANT DEVICE THAT DRAINS WATER FROM THE SURFACE OF A TEMPORARY SEDIMENT BASIN AT A CONTROLLED FLOW RATE. THE INLET/ORIFICE SIZE IS DESIGNED TO DRAIN THE BASIN WITHIN 24 - 48 HOURS. THE SKIMMER INFORMATION SHALL BE PROVIDED IN CONJUNCTION WITH THE SEDIMENT BASIN INFORMATION IN PLANS. IF A SKIMMER IS INFEASIBLE, THE DESIGNER SHALL PROVIDE A WRITTEN JUSTIFICATION IN THE PLANS.  SKIMMERS ARE ATTACHED TO A RISER WITHOUT PERFORATIONS AND ACTS AS THE PRIMARY SPILLWAY. THE SKIMMER BWP SYMBOL SHALL BE SHOWN IN CONJUNCTION WITH THE TEMPORARY SEDIMENT BASIN BWP SYMBOL WHEN APPLICABLE.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR ADDITIONAL INFORMATION.
	CONSTRUCTION DETAIL D-22A, D-22B SECTION 163	SYMBOL  (Sk)	
Sr	TEMPORARY STREAM CROSSING		A TEMPORARY STRUCTURE INSTALLED ACROSS A FLOWING STREAM OR WATERCOURSE FOR USE BY CONSTRUCTION EQUIPMENT. THIS BWP PROVIDES A MEANS TO CROSS STREAMS OR WATERCOURSES WITHOUT MOVING SEDIMENT INTO STREAMS, DAMAGING THE STREAM BED OR CHANNEL, OR CAUSING FLOODING. THIS BWP SHOULD NOT BE USED ON STREAMS WITH DRAINAGE AREAS GREATER THAN ONE SQUARE MILE, UNLESS SPECIFICALLY DESIGNED TO ACCOMMODATE THE ADDITIONAL DRAINAGE AREA BY THE DESIGN PROFESSIONAL. A CERTIFICATION STATEMENT AND SIGNATURE SHALL ACCOMPANY THE DESIGN.  THIS BWP SHALL BE DESIGNED ACCORDING TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.  FOR CONTRACTOR'S USE ONLY!
	SECTION 107	SYMBOL  (Sr)	

**NOTE:**

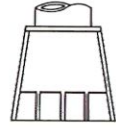

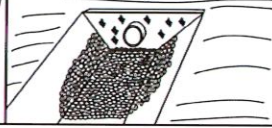

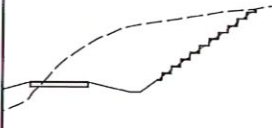
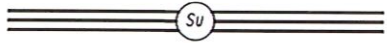
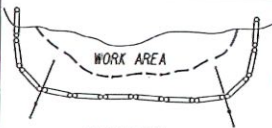
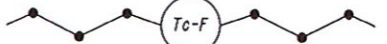
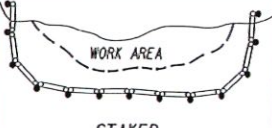
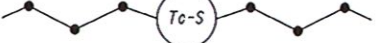
- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

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52-0006

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
St	STORM DRAIN OUTLET PROTECTION  GA. STD. 1125 & 2332		A PIPE OR BOX CULVERT OUTLET HEADWALL WITH AN APRON AND DISSIPATOR BLOCKS IS USED TO REDUCE VELOCITY AT THE OUTLET OF A PIPE PRIOR TO ENTERING AN EXISTING STREAM OR PUBLICLY MAINTAINED DRAINAGE SYSTEM.  IT IS USED ON THE OUTLET OF ALL BOX CULVERTS AND ON 48" AND LARGER PIPES. MAY BE USED ON INLET FOR FLOWING STREAMS. USE ON SMALL PIPES WHEN OUTLET VELOCITY OF THE 25-YEAR STORM IS 12 fps AND GREATER.
		SYMBOL 	
St-Rp	STORM DRAIN OUTLET PROTECTION (RIP-RAP)  CONSTRUCTION DETAIL D-55 SECTION 603		RIP-RAP OUTLET PROTECTION IS USED TO REDUCE VELOCITY AT THE OUTLET OF A PIPE, CHANNEL, OR STRUCTURE PRIOR TO ENTERING AN EXISTING STREAM OR PUBLICLY MAINTAINED DRAINAGE SYSTEM. THE MINIMUM DESIGN OF RIP-RAP OUTLET PROTECTION SHALL BE THE 25-YEAR STORM PEAK FLOW, BUT LARGER STORMS ARE RECOMMENDED.  TYPE-1 RIP-RAP AT A DEPTH OF 36" AND PLACED ON FILTER FABRIC IS PREFERRED FOR ALL d50 <math>\leq 1.2</math> FEET. TYPE-3 RIP-RAP AT A DEPTH OF 18" AND PLACED ON FILTER FABRIC MAY BE USED FOR d50 <math>\leq 0.7</math> FEET.  REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR REQUIRED DESIGN DIMENSIONS AND OTHER INFORMATION TO BE INCLUDED IN THE PLANS.
		PATTERN 	
Su	SURFACE ROUGHENING SERRATED SLOPES CONSTRUCTION DETAIL S-7 SECTION 205		PROVIDING A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS, BY OPERATING A CLEATED DOZER ON THE SLOPE IN A VERTICAL DIRECTION. CREATING SERRATED SLOPES IN THE GRADING PROCESS TO CONSTRUCT BENCHES WILL REDUCE RUNOFF VELOCITY AND INCREASE INFILTRATION OF WATER.  IN MOST CASES THIS BMP IS NOT REQUIRED TO BE SHOWN ON THE PLANS, BUT REQUIRED TO BE COMPLETED BY THE CONTRACTOR UNDER ALL PROJECTS.  IF SERRATED SLOPES ARE SPECIFIED BY THE SOIL SURVEY, THEN THIS BMP SHALL BE SHOWN ON THE PLANS WHERE SERRATED SLOPES ARE TO BE USED.
		LINE CODE 	
Tc-F	TURBIDITY CURTAIN FLOATING  CONSTRUCTION DETAIL D-51 SECTION 170		A FLOATING TURBIDITY CURTAIN IS USED TO PREVENT SEDIMENT FROM MOVING IN WATER BY ALLOWING IT TO DROP OUT OF SUSPENSION AND REMAIN WITHIN THE CONSTRUCTION AREA. IT IS TYPICALLY USED WHERE CONSTRUCTION IS REQUIRED IN A LARGE BODY OF WATER SUCH AS LAKES AND RIVERS. IT SHOULD BE USED AS DIRECTED BY THE ENGINEER.  THIS BMP IS ONLY TO BE USED WHEN PERMITTED FILL IS BEING PLACED INTO A STATE WATER, OR AS A SUPPLEMENT TO ADEQUATELY PLACED PERIMETER BMPs.  IT MAY ALSO BE REFERRED TO AS A FLOATING BOOM, SILT BARRIER, OR SILT CURTAIN.
		LINE CODE 	
Tc-S	TURBIDITY CURTAIN STAKED  CONSTRUCTION DETAIL D-51 SECTION 170		A STAKED TURBIDITY CURTAIN IS USED TO PREVENT SEDIMENT FROM MOVING IN WATER BY ALLOWING IT TO DROP OUT OF SUSPENSION AND REMAIN WITHIN THE CONSTRUCTION AREA. IT IS TYPICALLY USED IN SHALLOW INUNDATED AREAS. IT MAY BE USED TO PROTECT A SMALL STREAM BEING REALIGNED OR RESTORED. IN THIS CASE, CURTAIN SHOULD EXTEND TO BOTTOM OF STREAMBED. THE HEIGHT SHOULD BE LIMITED TO 5 FEET UNLESS DIRECTED AND EXTEND 2 FEET ABOVE NORMAL WATER ELEVATION. IT SHOULD BE USED AS DIRECTED BY THE ENGINEER.  THIS BMP IS ONLY TO BE USED WHEN PERMITTED FILL IS BEING PLACED INTO A STATE WATER, OR AS A SUPPLEMENT TO ADEQUATELY PLACED PERIMETER BMPs.  IT MAY BE REFERRED TO AS A SILT BARRIER OR SILT CURTAIN.
		LINE CODE 	

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION

NOTE:

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

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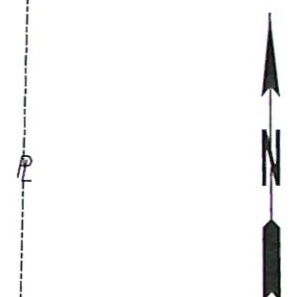
REVISION DATES

**EROSION CONTROL LEGEND**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

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BACKCHECKED:	DATE:	52-0007
CORRECTED:	DATE:	
VERIFIED:	DATE:	



MATCH LINE STA. 101+50.00  
SEE DWG 54-0003



N/F  
GENE A. & CYNTHIA M. STONE

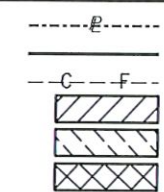
N/F  
TAWMY J. McCRACKEN

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N 1256806.2499  
E 2166651.7742

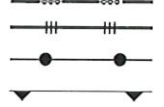
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N 1256804.7210  
E 2166730.5450

MATCH LINE STA. 14+00.00  
SEE DWG 54-0002

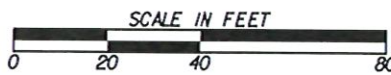
PROPERTY AND EXISTING R/W LINE  
REQUIRED R/W LINE  
CONSTRUCTION LIMITS  
EASEMENT FOR CONSTR  
& MAINTENANCE OF SLOPES  
EASEMENT FOR CONSTR OF SLOPES  
EASEMENT FOR CONSTR OF DRIVES



BEGIN LIMIT OF ACCESS.....BLA  
END LIMIT OF ACCESS.....ELA  
REQ'D LIMIT OF ACCESS  
REQ'D LIMIT OF ACCESS & R/W  
ORANGE BARRIER FENCE  
ESA - ENV. SENSITIVE AREA  
(SEE ERIT TABLE)



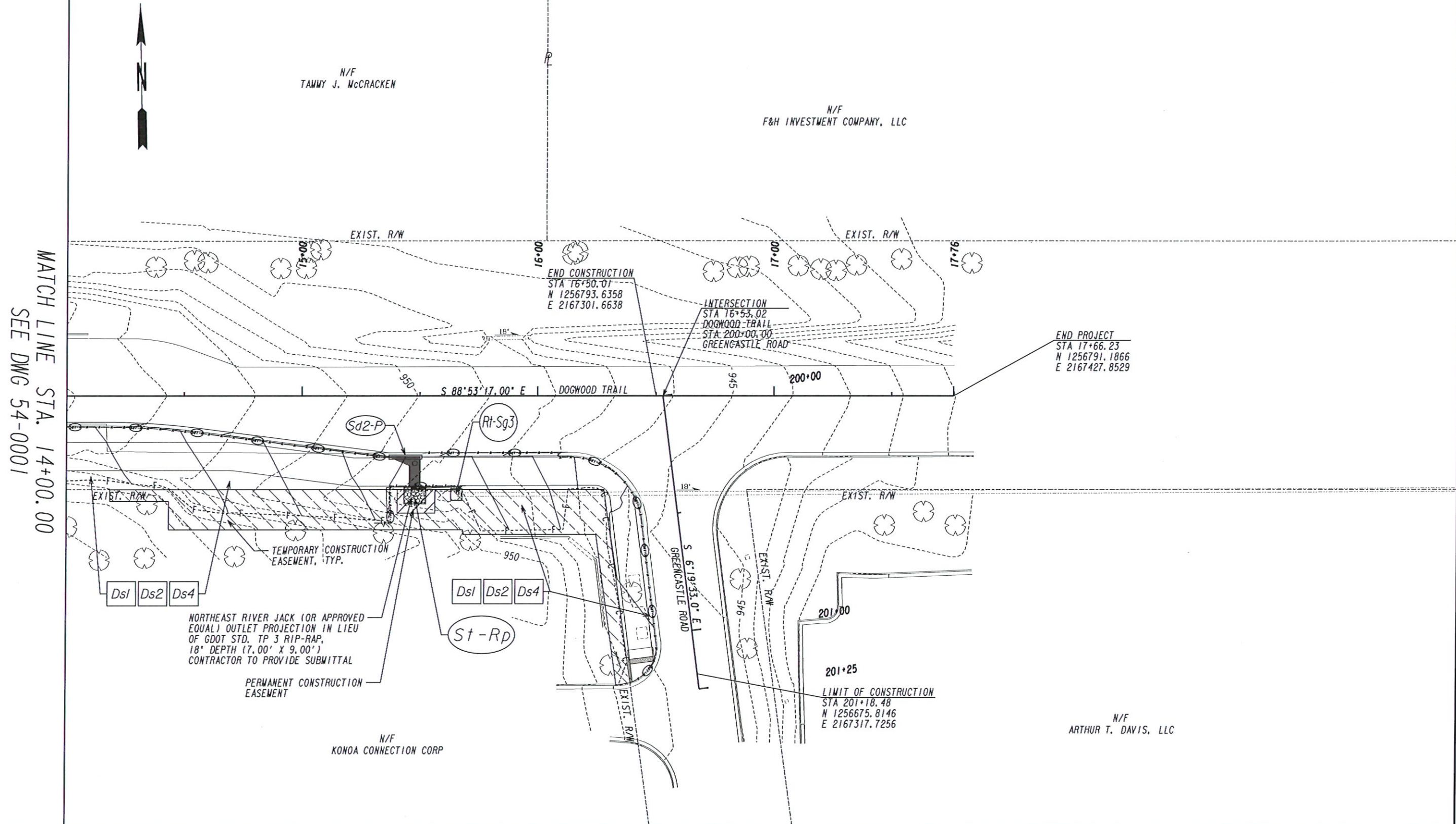
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REVISION DATES

REVISION DATES		BMP LOCATION DETAILS	
NO.	DATE	TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH TOWN OF TYRONE, GA	
		CHECKED:	DATE:
		BACKCHECKED:	DATE:
		CONSTRUCTED:	DATE:
		VERIFIED:	DATE:

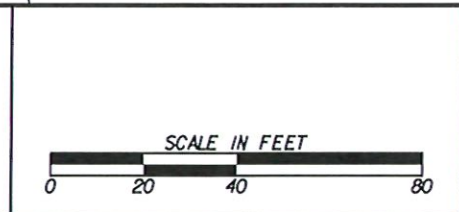
DRAWING No.  
54-0001



PROPERTY AND EXISTING R/W LINE	-----e-----
REQUIRED R/W LINE	-----f-----
CONSTRUCTION LIMITS	-----g-----
EASEMENT FOR CONSTR	-----h-----
& MAINTENANCE OF SLOPES	-----i-----
EASEMENT FOR CONSTR OF SLOPES	-----j-----
EASEMENT FOR CONSTR OF DRIVES	-----k-----

BEGIN LIMIT OF ACCESS.....BLA	-----l-----
END LIMIT OF ACCESS.....ELA	-----m-----
REQ'D LIMIT OF ACCESS	-----n-----
REQ'D LIMIT OF ACCESS & R/W	-----o-----
ORANGE BARRIER FENCE	-----p-----
ESA - ENV. SENSITIVE AREA	-----q-----
(SEE ERIT TABLE)	-----r-----

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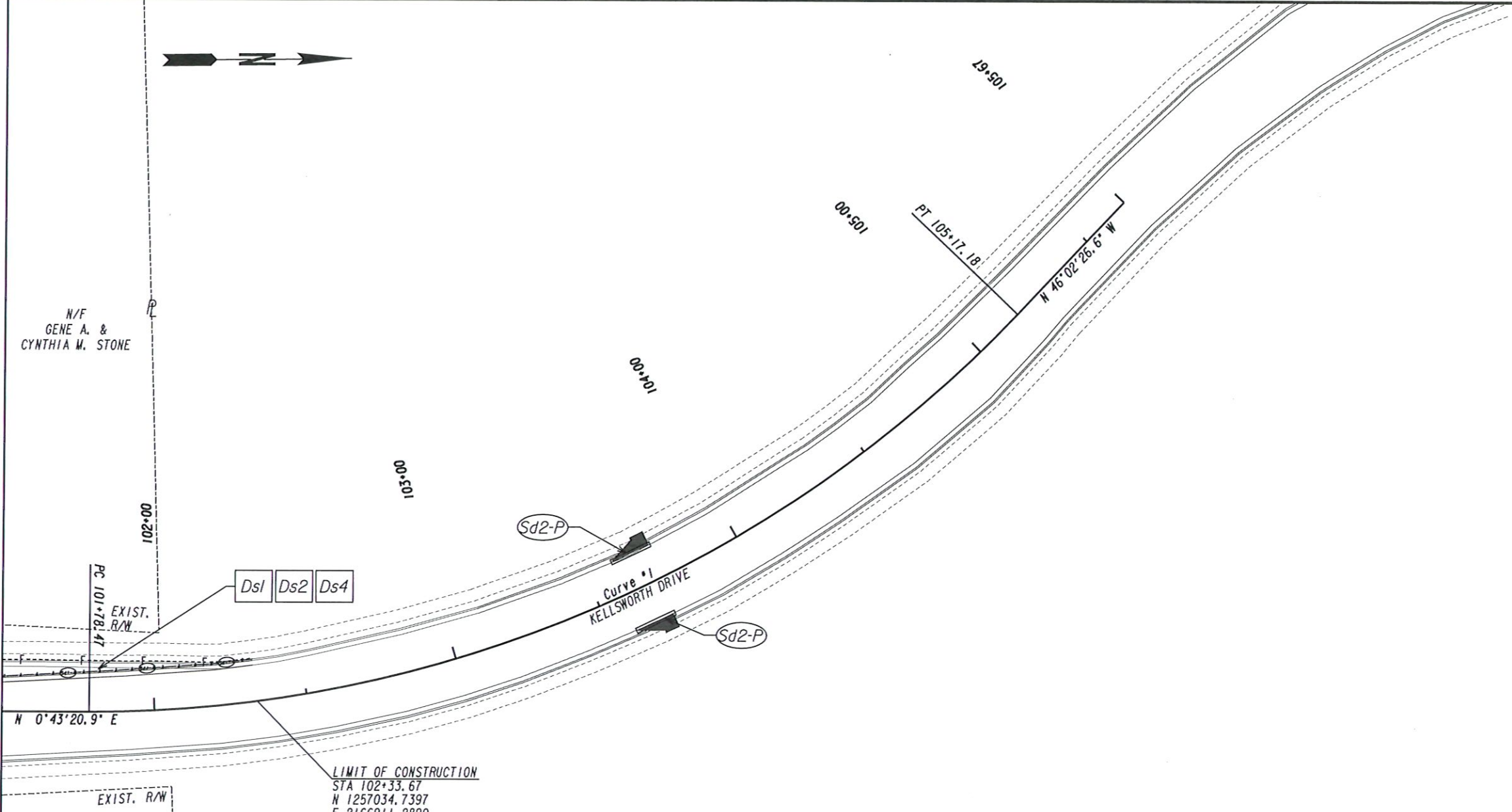
REVISION DATES	

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TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
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VERIFIED:		DATE:	
DRAWING No.			74
54-0002			

MATCH LINE STA. 101+50.00  
SEE DWG 54-0001

N/F  
GENE A. &  
CYNTHIA M. STONE

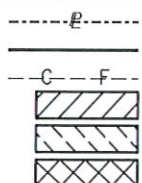
N/F  
TAMMY J. McCRACKEN



LIMIT OF CONSTRUCTION  
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E 2166911.2890

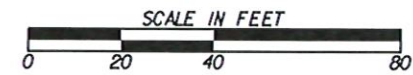
Curve # 1  
 PI Sta: 103+57.90  
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 E: 2166916.5236  
 DELTA: 46°45'47.6" (LT)  
 D: 13'48'22.36"  
 T: 179.43  
 L: 338.71  
 R: 415.00

PROPERTY AND EXISTING R/W LINE  
 REQUIRED R/W LINE  
 CONSTRUCTION LIMITS  
 EASEMENT FOR CONSTR  
 & MAINTENANCE OF SLOPES  
 EASEMENT FOR CONSTR OF SLOPES  
 EASEMENT FOR CONSTR OF DRIVES



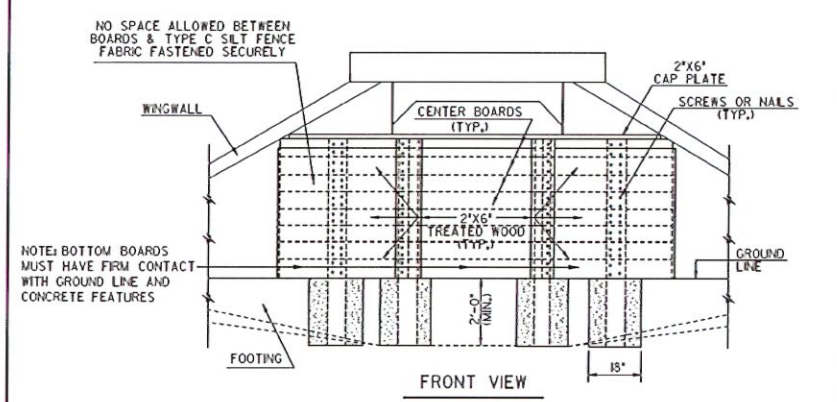
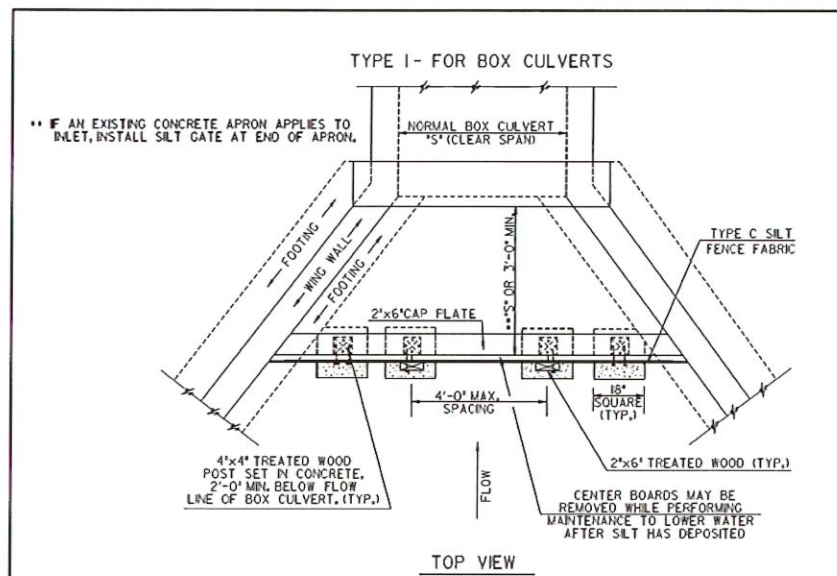
BEGIN LIMIT OF ACCESS.....BLA  
 END LIMIT OF ACCESS.....ELA  
 REQ'D LIMIT OF ACCESS  
 REQ'D LIMIT OF ACCESS & R/W  
 ORANGE BARRIER FENCE  
 ESA - ENV. SENSITIVE AREA  
 (SEE ERIT TABLE)

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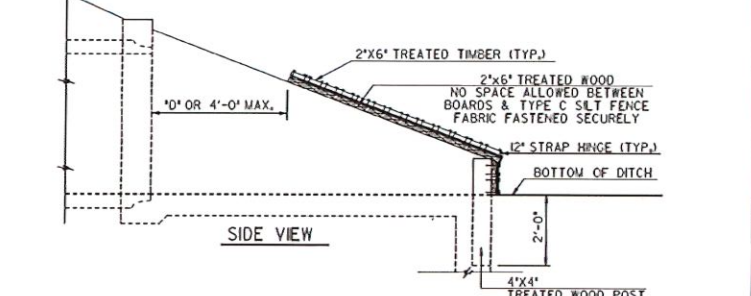
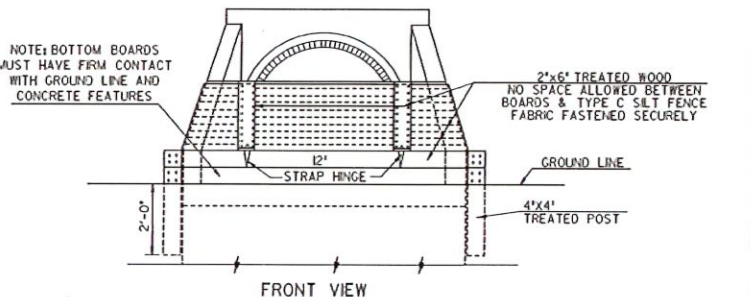
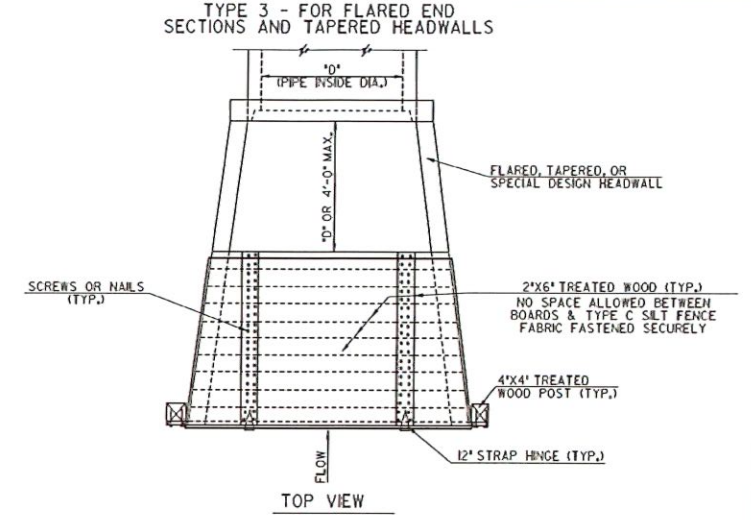
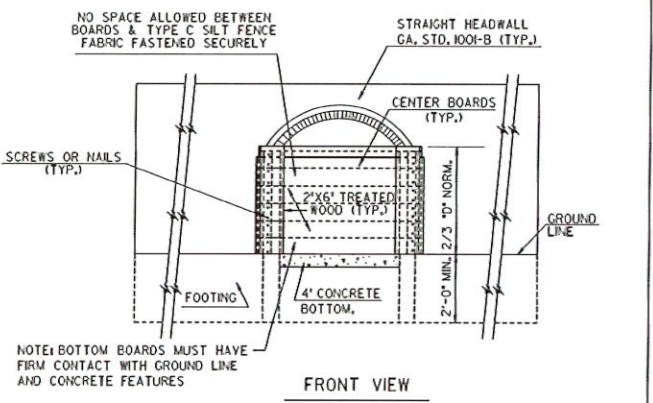
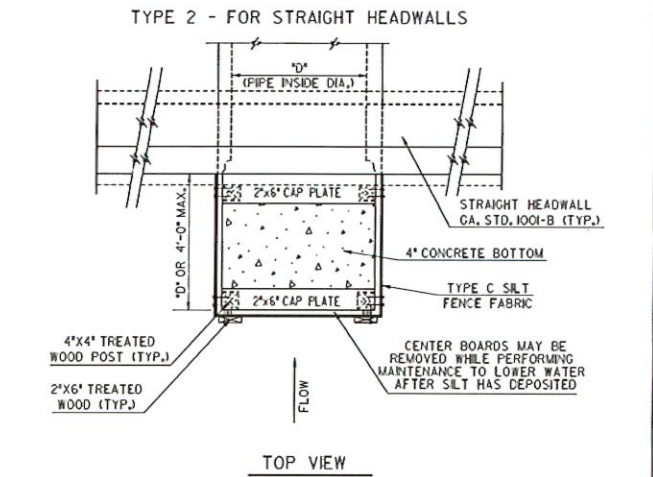
REVISION DATES

BMP LOCATION DETAILS			
TULLAWORE-GREENCASTLE CONNECTOR MULTI-USE PATH			
TOWN OF TYRONE, GA			
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VERIFIED:	DATE:		



- SILT CONTROL GATE TYPE I NOTES:**
- REFER TO GA, STD 2332 FOR CONCRETE APRONS.
  - SEE SECTION 163 FOR THE REMOVAL OF TYPE I SILT CONTROL GATES.

- GENERAL NOTES:**
- A SILT CONTROL GATE IS A TEMPORARY STRUCTURE PLACED AT INLETS TO FORM A BASIN FOR TRAPPING SEDIMENT.
  - SILT GATES SHALL NOT BE USED ON STRUCTURES THAT CONVEY STATE WATERS.
  - SILT GATES SHALL ONLY BE USED ON DRAINAGE AREAS UP TO 50-ACRES WITH NO MORE THAN 5-ACRES DISTURBED WITHIN THE DRAINAGE AREA.
  - USE WOOD SCREWS OR NAILS TO CONNECT WOOD COMPONENTS WITH NO SPACE ALLOWED BETWEEN BOARDS. TYPE C SILT FENCE FABRIC MUST BE FASTENED SECURELY WITH STAPLES OR NAILS TO OUTSIDE FACE OF BOARDS AND COVERING ALL BUTT-JOINTS BETWEEN BOARDS. OVERLAP ADDITIONAL SILT FENCE FABRIC A MINIMUM OF 12-INCHES.
  - REMOVE SEDIMENT WHEN IT REACHES ONE-THIRD THE HEIGHT OF SILT CONTROL GATE AND SILT FENCE FABRIC SHALL BE REPLACED WHEN DAMAGED OR DETERIORATED.
- PAY ITEMS:**
- |          |  |      |
|----------|--|------|
| 163-0501 | CONSTRUCT AND REMOVE SILT CONTROL GATE, TP 1 | (EA) |
| 163-0502 | CONSTRUCT AND REMOVE SILT CONTROL GATE, TP 2 | (EA) |
| 163-0503 | CONSTRUCT AND REMOVE SILT CONTROL GATE, TP 3 | (EA) |
| 165-0085 | MAINTENANCE OF SILT CONTROL GATE, TP 1       | (EA) |
| 165-0086 | MAINTENANCE OF SILT CONTROL GATE, TP 2       | (EA) |
| 165-0087 | MAINTENANCE OF SILT CONTROL GATE, TP 3       | (EA) |

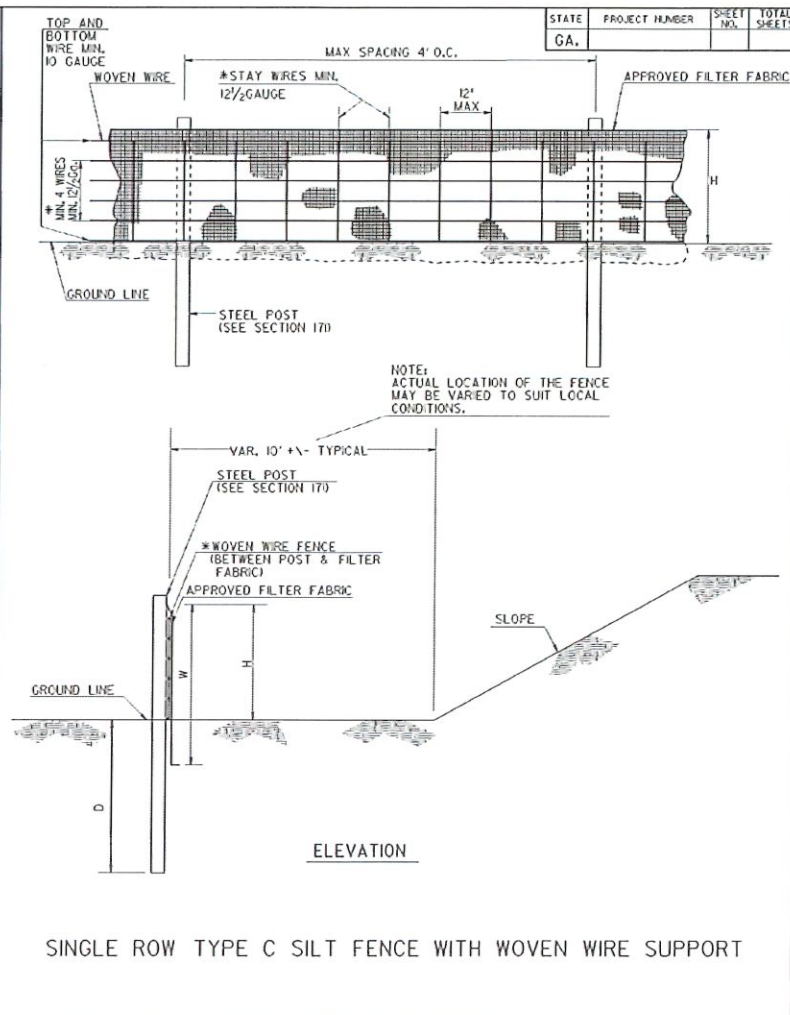
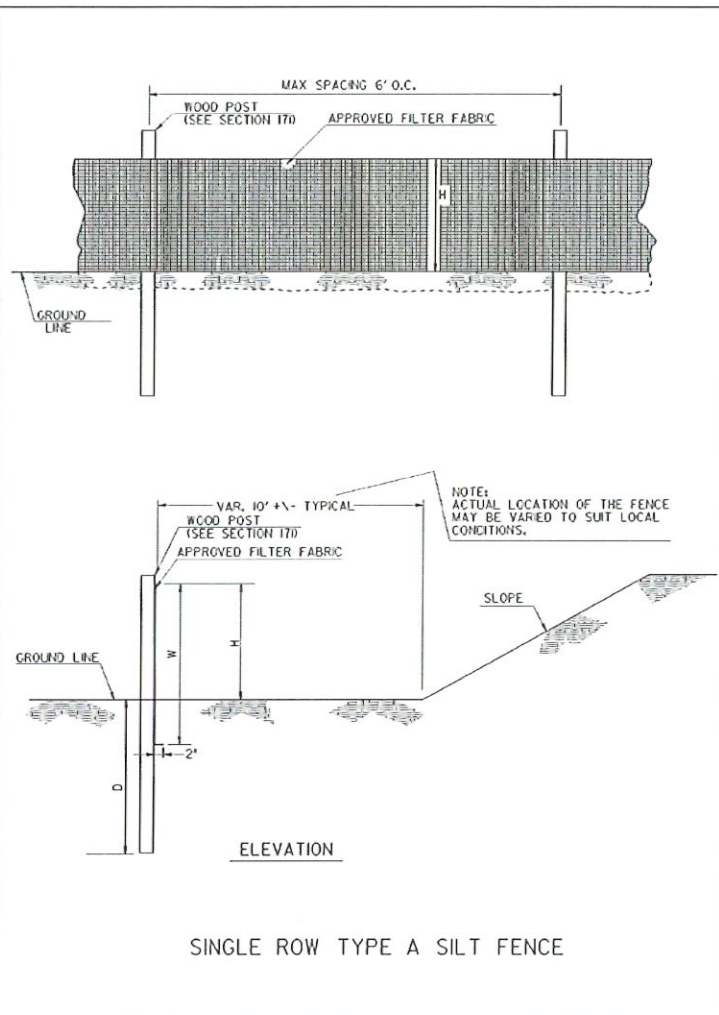
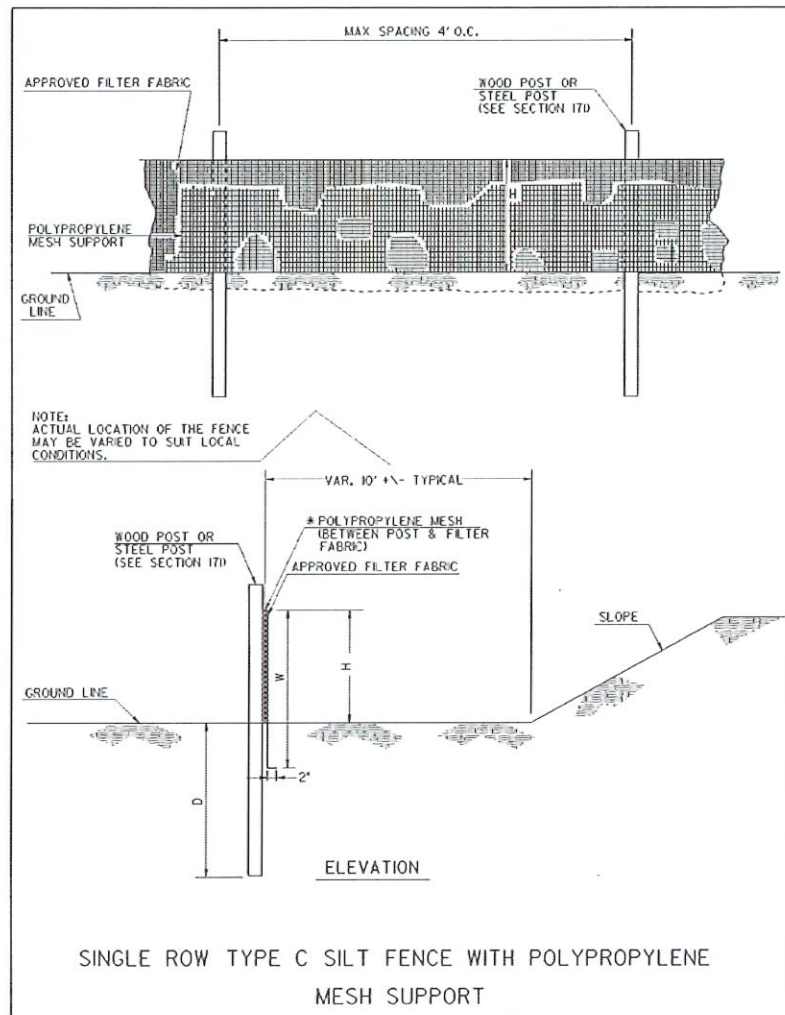


DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA CONSTRUCTION DETAILS SILT CONTROL GATES FOR STRUCTURES TYPE - 1, 2, AND 3		NO SCALE REV. & REDR, DEC., 2000	NUMBER D-20
MOD. FABRIC & ADD. NOTES TPC CLO MGR BY	4-22-16 REMOVE SILT GATE NOTES 3-20-05 REV. SPECIFICATION 10-22-02 ADDED PAYMENT NOTE REVISION	DATE	DATE

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REVISION DATES		EROSION CONTROL CONSTRUCTION DETAILS TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH TOWN OF TYRONE, GA	
CHECKED:	DATE:	DRAWING No.	76
BACKCHECKED:	DATE:	56-0001	
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STATE	PROJECT NUMBER	SHEET NO.	TOTAL SHEETS
GA.			

FENCE TYPE	POST LENGTH	H	D	W	TYPICAL USES
TYPE 'A'	4 FT.	2'-4"	1'-6"	3'-0"	
TYPE 'C'	4 FT.	2'-4"	1'-6"	3'-0"	AT BRIDGE END ROLLS, DOUBLE ROW ALONG STREAMS, WETLANDS AND ENVIRONMENTALLY SENSITIVE AREAS FOR USE OF THIS MATERIAL IN FABRIC CHECKDAMS SEE D-24D.

- NOTES:
1. WIRE STAPLES SHALL BE AT LEAST 17 GAUGE, WITH LEGS AT LEAST 1/2 INCHES LONG AND A CROWN AT LEAST 3/4 INCHES WIDE. NAILS SHALL BE AT LEAST 14 GAUGE, 1 INCH LONG, WITH BUTTON HEADS AT LEAST 3/4 INCHES WIDE.
  2. NAILS OR STAPLES SHALL BE EVENLY PLACED WITH AT LEAST 5 PER POST FOR TYPE A FENCE AND 4 PER POST FOR TYPE C FENCE.
  3. THE VERTICAL WIRES FOR THE WOVEN WIRE SUPPORT FENCE SHALL HAVE A MAXIMUM SPACING OF 12 INCHES. THE TOP AND BOTTOM WIRES SHALL BE AT LEAST 10 GAUGE AND ALL OTHER WIRES SHALL BE AT LEAST 12 1/2 GAUGE.
  4. TEMPORARY SILT FENCE INSTALLATION IS DIFFERENT THAN THE SILT RETENTION BARRIER INSTALLATION.
  5. SEE SECTION 171 FOR SILT FENCE SPECIFICATIONS.
  6. SEE SECTION 894 FOR FENCING SPECIFICATIONS.
  7. SEE OPL-36 FOR A LIST APPROVED SILT FENCE FABRIC.
  8. TEMPORARY SILT FENCE SHALL NOT BE PLACED WITHIN STATE WATERS UNLESS PERMITTED.

DEPARTMENT OF TRANSPORTATION  
STATE OF GEORGIA

CONSTRUCTION DETAILS

TEMPORARY SILT FENCE

NO SCALE      REV. AND REDRAWN JAN. 2011

NUMBER  
D-24A  
SHEET 1 OF 4

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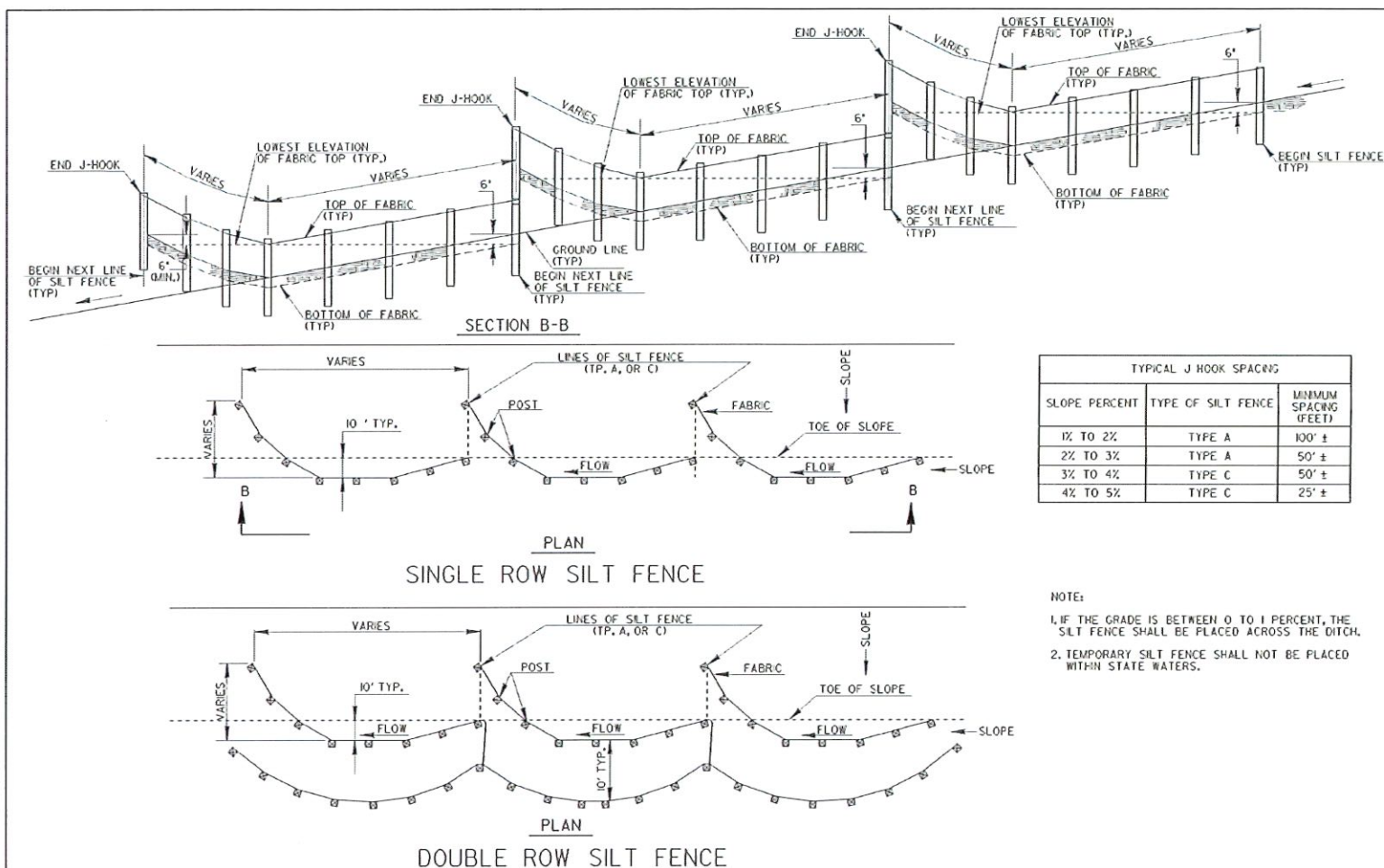
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REVISION	DATE

**EROSION CONTROL CONSTRUCTION DETAILS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

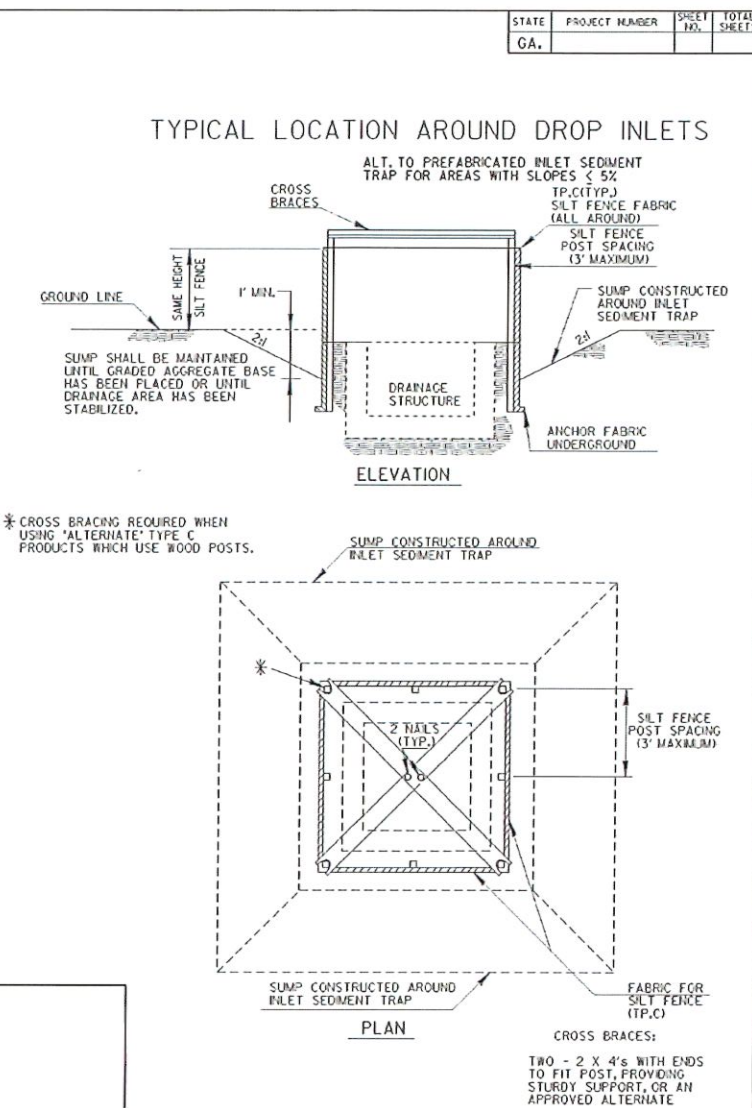
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VERIFIED:	DATE:	

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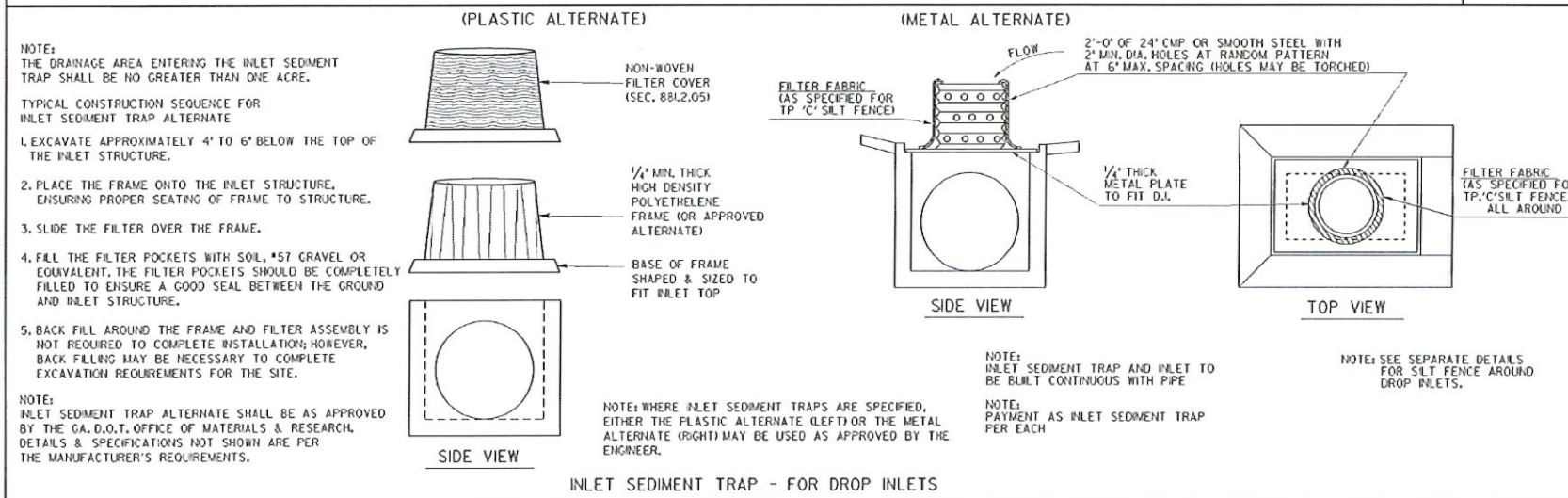


TYPICAL J HOOK SPACING		
SLOPE PERCENT	TYPE OF SILT FENCE	MINIMUM SPACING (FEET)
1% TO 2%	TYPE A	100' ±
2% TO 3%	TYPE A	50' ±
3% TO 4%	TYPE C	50' ±
4% TO 5%	TYPE C	25' ±

NOTE:  
1. IF THE GRADE IS BETWEEN 0 TO 1 PERCENT, THE SILT FENCE SHALL BE PLACED ACROSS THE DITCH.  
2. TEMPORARY SILT FENCE SHALL NOT BE PLACED WITHIN STATE WATERS.



\* CROSS BRACING REQUIRED WHEN USING "ALTERNATE" TYPE C PRODUCTS WHICH USE WOOD POSTS.



- NOTE: THE DRAINAGE AREA ENTERING THE INLET SEDIMENT TRAP SHALL BE NO GREATER THAN ONE ACRE.
- TYPICAL CONSTRUCTION SEQUENCE FOR INLET SEDIMENT TRAP ALTERNATE
- EXCAVATE APPROXIMATELY 4' TO 6' BELOW THE TOP OF THE INLET STRUCTURE.
  - PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.
  - SLIDE THE FILTER OVER THE FRAME.
  - FILL THE FILTER POCKETS WITH SOL. #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND INLET STRUCTURE.
  - BACK FILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACK FILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.
- NOTE: INLET SEDIMENT TRAP ALTERNATE SHALL BE AS APPROVED BY THE GA. D.O.T. OFFICE OF MATERIALS & RESEARCH. DETAILS & SPECIFICATIONS NOT SHOWN ARE PER THE MANUFACTURER'S REQUIREMENTS.

NOTE: WHERE INLET SEDIMENT TRAPS ARE SPECIFIED, EITHER THE PLASTIC ALTERNATE (LEFT) OR THE METAL ALTERNATE (RIGHT) MAY BE USED AS APPROVED BY THE ENGINEER.

NOTE: INLET SEDIMENT TRAP AND INLET TO BE BUILT CONTIGUOUS WITH PIPE

NOTE: SEE SEPARATE DETAILS FOR SILT FENCE AROUND DROP INLETS.

NOTE: PAYMENT AS INLET SEDIMENT TRAP PER EACH

DATE	REVISION	BY

DEPARTMENT OF TRANSPORTATION  
STATE OF GEORGIA

CONSTRUCTION DETAILS  
TEMPORARY SILT FENCE  
J-HOOK, INLET SEDIMENT TRAPS

NO SCALE

JANUARY 2011

NUMBER  
D-24C  
(SHEET 3 OF 4)

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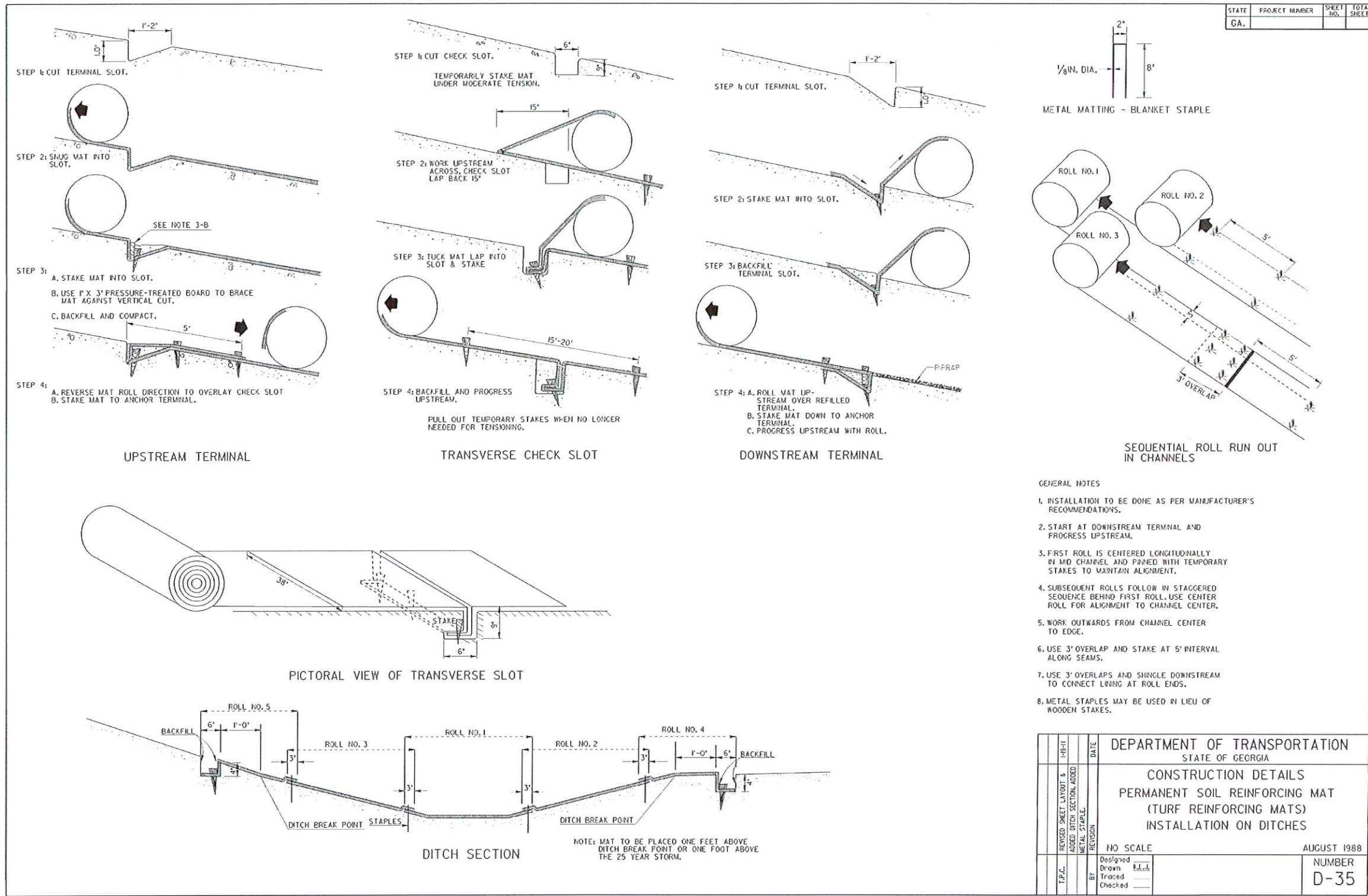
REVISION DATES	

**EROSION CONTROL CONSTRUCTION DETAILS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

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78

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- GENERAL NOTES**
- INSTALLATION TO BE DONE AS PER MANUFACTURER'S RECOMMENDATIONS.
  - START AT DOWNSTREAM TERMINAL AND PROGRESS UPSTREAM.
  - FIRST ROLL IS CENTERED LONGITUDINALLY IN MID CHANNEL AND PINNED WITH TEMPORARY STAKES TO MAINTAIN ALIGNMENT.
  - SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND FIRST ROLL. USE CENTER ROLL FOR ALIGNMENT TO CHANNEL CENTER.
  - WORK OUTWARDS FROM CHANNEL CENTER TO EDGE.
  - USE 3" OVERLAP AND STAKE AT 5' INTERVAL ALONG SEAMS.
  - USE 3" OVERLAPS AND SHINGLE DOWNSTREAM TO CONNECT LINING AT ROLL ENDS.
  - METAL STAPLES MAY BE USED IN LIEU OF WOODEN STAKES.

REVISION		DATE	DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA	
1	REVISED SHEET LAYOUT & ADDED DITCH SECTION, ADDED METAL STAPLE.		CONSTRUCTION DETAILS PERMANENT SOIL REINFORCING MAT (TURF REINFORCING MATS) INSTALLATION ON DITCHES	
NO SCALE		AUGUST 1988		
DESIGNED BY		DESIGNED	NUMBER	
DRAWN BY		DRAWN	D-35	
CHECKED BY		CHECKED		
TRACED BY		TRACED		
CORRECTED BY		CORRECTED		
VERIFIED BY		VERIFIED		

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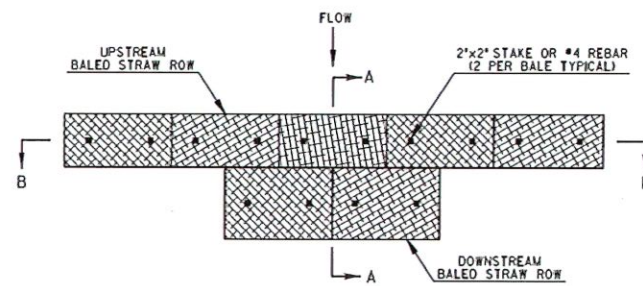
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Duluth, GA 30097  
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REVISION DATES		<b>EROSION CONTROL CONSTRUCTION DETAILS</b>	
		TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH	
		TOWN OF TYRONE, GA	
CHECKED:	DATE:	DRAWING No.	
BACKCHECKED:	DATE:	56-0004	79
CORRECTED:	DATE:		
VERIFIED:	DATE:		

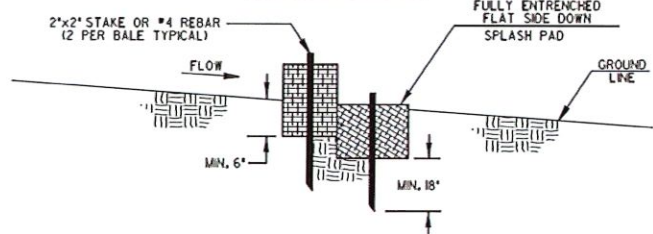
STATE	PROJECT NUMBER	SHEET NO.	TOTAL SHEETS
GA.			

### BALED STRAW CHECK DAM

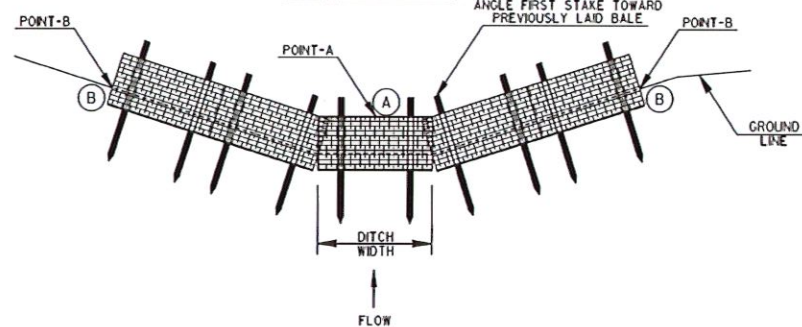
#### PLAN VIEW



#### SECTION A-A



#### SECTION B-B



#### BALED STRAW CHECK DAM GENERAL NOTES:

1. BALED STRAW DIMENSIONS MAY VARY, ASSUME APPROXIMATE DIMENSIONS OF 14"Wx18"Hx36"L FOR A TWO STRINGER AND 16"Wx24"Hx48"L FOR A THREE STRINGER. BALES SHOULD BE BOUND WITH WIRE OR NYLON INSTEAD OF TWINE.
2. BALES SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ADJUTING THE ADJACENT BALES. THE TOP OF THE UPSTREAM BALES IN THE CENTER OF CHANNEL SHOULD BE LEVEL AND SET AT THE SAME ELEVATION. THE DOWNSTREAM BALES SHOULD BE ENTRENCHED EVEN WITH THE CHANNEL BOTTOM.
3. THE GROUND LINE AT POINT-B SHALL ALWAYS BE AT MINIMUM OF 6 INCHES ABOVE POINT-A.
4. REMOVE SEDIMENT ONCE THE ACCUMULATED HEIGHT HAS REACHED HALF THE STORAGE HEIGHT.
5. INSTALLATION MAY BE ADJUSTED SLIGHTLY TO MEET FIELD CONDITIONS; HOWEVER, SPLASH PAD IS REQUIRED.

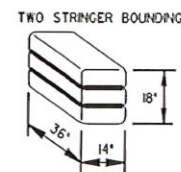
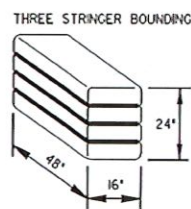
#### PAY ITEMS:

- 163-0529 CONSTRUCT & REMOVE TEMPORARY SEDIMENT BARRIER OR BALED STRAW CHECK DAM (LF)
- 165-0041 MAINTENANCE OF CHECK DAMS - ALL TYPES (LF)

#### SPECIAL NOTES:

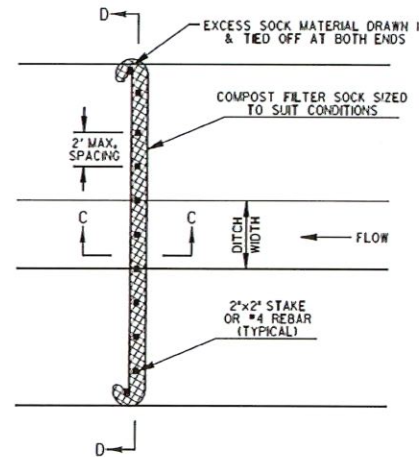
1. BALED STRAW AND COMPOST FILTER SOCK CHECK DAMS MAY BE USED FOR FLOWS UP TO 2.0 CFS OR DRAINAGE AREAS UP TO 1.0 ACRE. IF THESE ITEMS ARE USED IN DRAINAGE AREAS GREATER THAN 1.0 ACRE, FLOWS GREATER THAN 2.0 CFS, OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM AT THE DOWNSTREAM DISCHARGE POINT SHALL BE USED IN CONJUNCTION WITH BALED STRAW OR COMPOST FILTER SOCK CHECK DAMS.
2. BALED STRAW AND COMPOST FILTER SOCK CHECK DAMS SHALL NOT BE PLACED WITHIN FLOWING STREAMS OR IN A TIDAL AREA BELOW HIGH TIDE.

#### APPROXIMATE BALED STRAW DIMENSIONS (SEE NOTE "D")

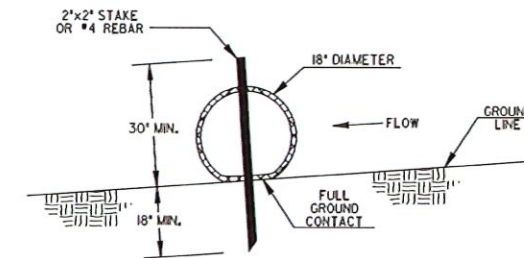


### COMPOST FILTER SOCK CHECK DAM

#### PLAN VIEW

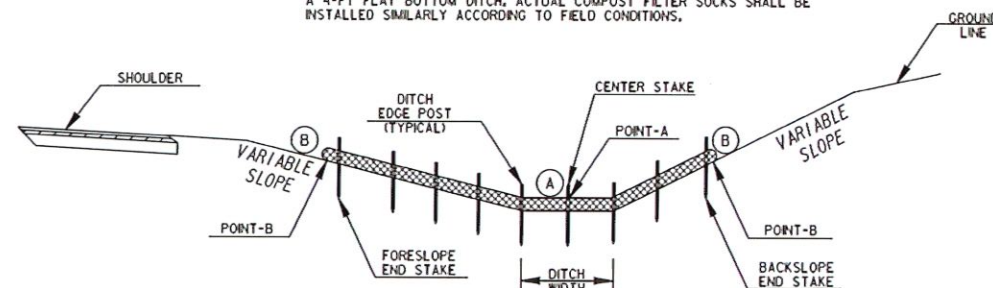


#### SECTION C-C



#### SECTION D-D

NOTE: CROSS-SECTION SHOWN IS AN EXAMPLE OF A TYPICAL CUT SECTION WITH A 4-FT FLAT BOTTOM DITCH. ACTUAL COMPOST FILTER SOCKS SHALL BE INSTALLED SIMILARLY ACCORDING TO FIELD CONDITIONS.



#### COMPOST FILTER SOCK CHECK DAM GENERAL NOTES:

1. THE CONTRACTOR MAY ELECT TO USE 18" DIAMETER COMPOST FILTER SOCK CHECK DAMS IN LIEU OF BALED STRAW CHECK DAMS. NO ADDITIONAL PAYMENT WILL BE MADE FOR THE CONSTRUCTION, REMOVAL, OR MAINTENANCE OF COMPOST FILTER SOCK CHECK DAMS.
2. COMPOST FILTER MEDIA SHALL MEET THE SPECIFICATIONS IN THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'. THE CONTRACTOR SHALL PROVIDE VERIFICATION OF MEETING SPECIFICATIONS IF REQUESTED.
3. THE GROUND LINE AT POINT-B SHALL BE A MINIMUM OF 6 INCHES ABOVE POINT-A.
4. ENSURE COMPOST FILTER SOCK HAS FULL CONTACT WITH GROUND SURFACE, PLACE ONE STAKE AT THE CENTER OF CHANNEL, AT THE TOE OF FORESLOPE AND BACKSLOPE, AND AT THE ENDS OF DEVICE. STAKES SHALL HAVE A MAXIMUM SPACING OF 2 FEET.
5. REMOVE SEDIMENT ONCE THE ACCUMULATED HEIGHT HAS REACHED HALF THE STORAGE HEIGHT.

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA	
CONSTRUCTION DETAILS	
BALED STRAW & COMPOST FILTER SOCK CHECK DAMS FOR EROSION CONTROL	
NO SCALE	4-22-2016
BY: DESIGNED _____ DRAWN _____ TRACED _____ CHECKED _____	NUMBER D-52

**Keck+Wood**  
COLLABORATION BY DESIGN  
3090 Premiere Parkway, Suite 200  
Duluth, GA 30097  
(678) 417-4000 keckwood.com

#### REVISION DATES

**EROSION CONTROL CONSTRUCTION DETAILS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	
CORRECTED:	DATE:	
VERIFIED:	DATE:	

56-0005



**DEFINITION**  
Applying plant residues or other suitable materials produced on the site if possible, to the soil surface.

**CONDITIONS**  
Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a single erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored, and have a minimum 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months. If an area will remain undisturbed for greater than six months, permanent vegetation techniques shall be employed.

**SPECIFICATIONS**  
**MULCHING WITHOUT SEEDING**  
This standard applies to grades or cleared areas where seedings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

**Site Preparation**  
1. Grade to permit the use of equipment for applying and anchoring mulch.  
2. Install needed erosion control measures as required such as dikes, diversion, berms, terraces and sediment basins.  
3. Loosen compact soil to a minimum depth of 3 inches.

**Mulching Materials**  
Select one of the following materials and apply at the depth indicated.  
1. Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application.  
2. Wood waste (chips, mulch or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly reduce erosion control costs.  
3. Cottonseed asphalt (flow curing) shall be applied at 4200 gallons per acre (or 4.1 gallons per sq yd).  
4. Polyethylene film shall be secured over banks or stabilized soil material for temporary protection. This material can be salvaged and reused.

**Applying Mulch**  
When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area.  
1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by one-knife equipment.  
2. If the area will eventually be covered with permanent vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic mulches.  
3. Cottonseed asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of tracking in or damage to shoes, clothing, etc.  
4. Apply polyethylene film on exposed areas.

**Anchoring Mulch**  
1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "pacer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 4 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil being mulched at an even position. Straw or hay mulch shall be anchored immediately after application. Straw or hay mulch spread with special blower-type equipment may be anchored with embedded asphalt (P. side M-1 or M-1). The asphalt emulsion shall be sprayed onto the mulch as it is applied from the machine. Use 100 gallons of embedded asphalt and 100 gallons of water per ton of mulch. Tacklers and binders can be substituted for embedded asphalt. Please refer to specification D6-Tacklers and Binders. Plastic mesh or setting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications.  
2. Noting of the appropriate site shall be used to anchor wood waste. Openings of the setting shall not be larger than the average size of the wood waste chips.  
3. Polyethylene film shall be anchored trenched at the top as well as incrementally as necessary.

**Ds1** **DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**

**DEFINITION**  
The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

**CONDITIONS**  
Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

**SPECIFICATIONS**  
**Grading and Shaping**  
Excessive water run off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversion, sediment barriers and others.  
No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

**Seedbed Preparation**  
When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or hand-seeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.  
When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarred to provide a place for seed to lodge and germinate.

**Lime and Fertilizer**  
Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (13-14 lbs./1000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

**Seeding**  
Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, multipacker seeder, or hydraulic seeder (heavy including seed and fertilizer). Drill or multipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil and seeded by hand.

**Mulching**  
Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to D6-1 - Disturbed Area Stabilization (With Mulching Only).

**Irrigation**  
During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly seeded to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

**SEEDING RATES FOR TEMPORARY SEEDING**

SPECIES	RATE Per 1,000 sq. ft.	RATE Per Acre *	PLANTING DATES **
Eye	3.5 pounds	1 lb.	8/1-3/1
Elygrass	0.8 pound	40 lbs.	6/15-4/1
Annual Lupine	0.8 pound	40 lbs.	1/15-3/15
Winged Lovegrass	0.4 pound	4 lbs.	2/15-6/15
Sudangrass	1.4 pounds	60 lbs.	3/1-8/1
Everstep Millet	0.8 pound	40 lbs.	4/1-8/15
Wheat	4.4 pounds	1 lb.	3/15-2/1

\* Universal site conditions may require heavier seeding rates.  
\*\* Seeding dates may need to be altered to fit temperature variations and conditions.

**Ds2** **DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**

**DEFINITION**  
A permanent vegetation using seeds on highly erodible or critically eroded lands.

**CONDITIONS**  
This application is appropriate for areas which require immediate vegetation covers, deep ditches, grass meadows, and waterways with intermittent flow.

**CONSTRUCTION SPECIFICATIONS INSTALLATION**  
**Soil Preparation**  
- Bring soil surface to final grade. Clear surface of trash, stony debris, stones and clods larger than 1". Apply seed to soil surfaces only and not frozen surfaces, or gravel type soils.  
- Topsoil properly applied will help guarantee stand. Don't use topsoil recently treated with herbicides or soil sterilants.  
- Mix fertilizer into soil surface. Fertilizer based on soil tests or Table 6-4.1. For full planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.

**Table 6-4.1 Fertilizer Requirements for Soil Surface Application**

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./acre)	Fertilizer Rate	Season
10-10-10	1000	625	Fall

- Agricultural lime should be applied based on soil tests or at a rate of 1 to 2 tons per acre.

**Installation**  
- Lay seed with tight joints and in straight lines. Don't overlap joints. Stagger joints and do not stretch seed.  
- On slopes steeper than 3:1, seed should be anchored with wooden or biodegradable pins or other approved methods.  
- Installed seed should be rolled or tamped to provide good contact between seed and soil.  
- Irrigate seed and soil to a depth of 4" immediately after installation.  
- Soil should not be cut or exposed in extremely wet or dry weather.  
- Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

**Maintenance**  
- For seed areas where an adequate stand of seed is not obtained.  
- New seed should be sown sparingly. Cross height should not be cut less than 2" or as specified.  
- Apply one ton of agricultural lime as indicated by soil test or every 4-6 years.  
- Fertilize grasses in accordance with soil tests or Table 6-4.1.

**Table 6-4.1 Fertilizer Requirements for Soil**

Type of Species	Planting Year	Fertilizer (lb./acre)	Rate (lbs./acre)	Nitrogen Uptake (lbs./acre)
Cool Season Grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	-
	Maintenance	10-10-10	800	30
Warm Season Grasses	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100
	Maintenance	10-10-10	800	30

**Ds4** **DISTURBED AREA STABILIZATION (WITH SODDING)**

REVISION DATES	

**EROSION CONTROL CONSTRUCTION DETAILS**  
TULLAMORE-GREENCASTLE CONNECTOR MULTI-USE PATH  
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING No.
BACKCHECKED:	DATE:	56-0006
CORRECTED:	DATE:	
VERIFIED:	DATE:	



## COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

### STAFF REPORT

**AGENDA ITEM:**

Consideration to Award the 2025 Sidewalk Repairs, project number PW-2025-02, to Bostic/Bostic and Associates in the amount of \$38,100.

**BACKGROUND:**

In an ongoing effort to maintain safe and efficient pedestrian transportation infrastructure, the Town repairs sidewalks within the Town’s rights-of-way. This year’s project includes sidewalk sections in Windsong, Rivercrest, Irish Village, Ashpark, Millbrook Village and Veterans Park. These repairs are often the result of people driving over the sidewalk or from sinkholes around catch basins where grouting was poorly performed, grout has failed, or from poor compaction around the structure.

On March 4, 2025 at 10 AM, the Town received and read aloud bids. One bid had been delivered to Town Hall prior to the bid opening, and the received date and time was recorded on the envelope. Due to a clerical error, the bid was missed at the time of opening so it was not read aloud. Since the bid was received at the designated location and designated date prior to the designated time, the bid was considered. The bid was considerably more than the low bidder and was recognized on the corrected bid tabulation form prior to posting. As result of the bids, the low bider was Bostic/Bostic and Associates in the amount of \$38,100.

**FUNDING:**

General Funds - Public Works account 100-40-52.2208

**STAFF RECOMMENDATION:**

Staff requests awarding the 2025 Sidewalk Repairs, project number PW-2025-02, to Bostic/Bostic and Associates in the amount of \$38,100.

**ATTACHMENTS:**

See the attached bid tabulation. Plans for this project can be found at <https://www.tyronega.gov/bid-items>

**PREVIOUS DISCUSSIONS:**

Budget workshop and budget meetings

Bid tabulation for: PW-2025-02 2025 SIDEWALK REPAIRS FOR THE TOWN OF TYRONE, GA											
ITEM #	ITEM DESCRIPTION	EST. QUANTITY	UNIT	Re-Lin & Associates Carrollton, GA		Bostic & Associates Reidsville, GA		A Abby Group Tyrone, GA		* Concrete Constructors Madison, GA	
				UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE
<b>BASE BID</b>											
	Acknowledged Addenda	N/A		No							
	Bid Bond (5%)			Yes				Yes		Yes	
1	Sidewalk Repairs at Catch Basins - DWG C101, Complete	1	LS	\$12,608.00	\$12,608.00	\$12,300.00	\$12,300.00	\$8,162.70	\$8,162.70	\$23,178.00	\$23,178.00
2	Sidewalk Repairs in Subdivisions listed on DWG C102, complete.	1	LS	\$61,494.00	\$61,494.00	\$23,800.00	\$23,800.00	\$36,146.80	\$36,146.80	\$54,082.00	\$54,082.00
3	Allowance per Special Contingency, Complete	1	LS	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00
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<b>TOTAL BASE BID</b>					\$76,102.00		\$38,100.00		\$46,309.50		\$79,260.00
<b>BID Alternate 1</b>											
	N/A										
<b>TOTAL BID ALTERNATE 1</b>					\$-		\$-		\$-		\$-
<b>TOTAL BASE BID AND BID ALTERNATE 1</b>					\$76,102.00		\$38,100.00		\$46,309.50		\$79,260.00 *

\* Corrected Math Error

Bids Received by: Scott Langford  
 Witnessed by: Curtis Carson

Bid tabulation for: PIW-2025-02 2025 SIDEWALK REPAIRS FOR THE TOWN OF TYRONE, GA											
ITEM #	ITEM DESCRIPTION	EST. QUANTITY	UNIT	Lagniappe Development Co. Buford, GA		CGS LLC Norcross, GA		LA Rogers Enterprise LLC Bethlehem GA		Limitless Concrete Works Inc. Jonesboro, GA	
				UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE
<b>BASE BID</b>											
	Acknowledged Addenda	N/A		Yes		Yes		Yes		Yes	
	Bid Bond (5%)			Yes		Yes		Yes		Yes	
1	Sidewalk Repairs at Catch Basins - DWG C101, Complete	1	LS	\$9,500.00	\$9,500.00	\$9,600.00	\$9,600.00	\$9,000.00	\$9,000.00		\$8,226.00
2	Sidewalk Repairs in Subdivisions listed on DWG C102, complete.	1	LS	\$50,000.00	\$50,000.00	\$34,729.21	\$34,729.21	\$30,000.00	\$30,000.00		\$38,811.00
3	Allowance per Special Contingency, Complete	1	LS	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00	\$2,000.00		\$2,000.00
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<b>TOTAL BASE BID</b>				\$61,500.00	\$61,500.00	\$46,329.21	\$46,329.21	\$41,000.00	\$41,000.00		\$49,037.00
<b>BID Alternate 1</b>											
	N/A										
<b>TOTAL BID ALTERNATE 1</b>					\$-		\$-		\$-		\$-
<b>TOTAL BASE BID AND BID ALTERNATE 1</b>				\$61,500.00	\$61,500.00	\$46,329.21	\$46,329.21	\$41,000.00	\$41,000.00		\$49,037.00

Bids Received by: Scott Langford  
 Witnessed by: Curtis Carson

Bid tabulation for: PW-2025-02 2025 SIDEWALK REPAIRS FOR THE TOWN OF TYRONE, GA												
*** Construction 57 Clarkston, GA												
ITEM #	ITEM DESCRIPTION	EST. QUANTITY	UNIT	The Corbett Group Douglasville, GA		*** Construction 57 Clarkston, GA		CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE
				UNIT PRICE	CALCULATED TOTAL PRICE	UNIT PRICE	CALCULATED TOTAL PRICE					
<b>BASE BID</b>												
	Acknowledged Addenda	N/A		Yes	Yes							
	Bid Bond (5%)			Yes	Yes							
1	Sidewalk Repairs at Catch Basins - DWG C101, Complete	1	LS	\$ 19,000.00	\$ 19,000.00	\$ 13,000.00	\$ 13,000.00					
2	Sidewalk Repairs in Subdivisions listed on DWG C102, complete.	1	LS	\$ 40,000.00	\$ 40,000.00	\$ 45,000.00	\$ 45,000.00					
3	Allowance per Special Contingency, Complete	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00					
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<b>TOTAL BASE BID</b>				\$	61,000.00	\$	60,000.00	\$-		\$	60,000.00	\$-
<b>BID Alternate 1</b>												
	N/A											
<b>TOTAL BID ALTERNATE 1</b>				\$	-	\$	-	\$		\$	-	\$
<b>TOTAL BASE BID AND BID ALTERNATE 1</b>				\$	61,000.00	\$	60,000.00	\$-		\$	60,000.00	\$-

Bids Received by: Scott Langford  
 Witnessed by: Curtis Carson



## COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

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### STAFF REPORT

**AGENDA ITEM:**

Consideration to perform demolition on the Pole Barn at Handley Park

**BACKGROUND:**

The pole barn at Handley Park has continued to deteriorate and has become an unsafe structure. The structure and surrounding debris poses a hazard.

**FUNDING:**

General Fund – Public Works Fund 100-40-52.2203

**STAFF RECOMMENDATION:**

Staff recommends demolition of the Handley Pole Barn and legal disposal in a landfill.

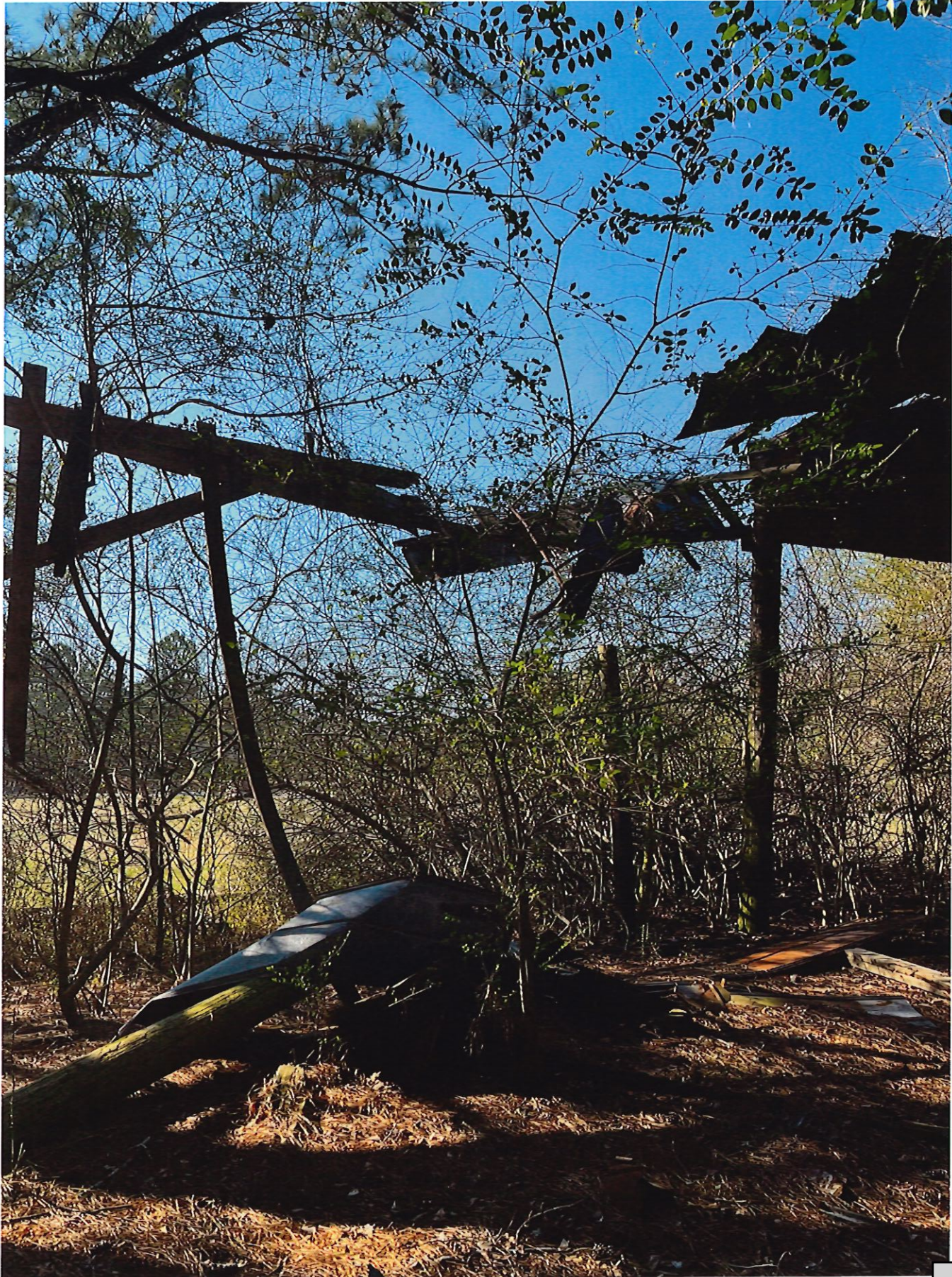
**ATTACHMENTS:**

Pictures

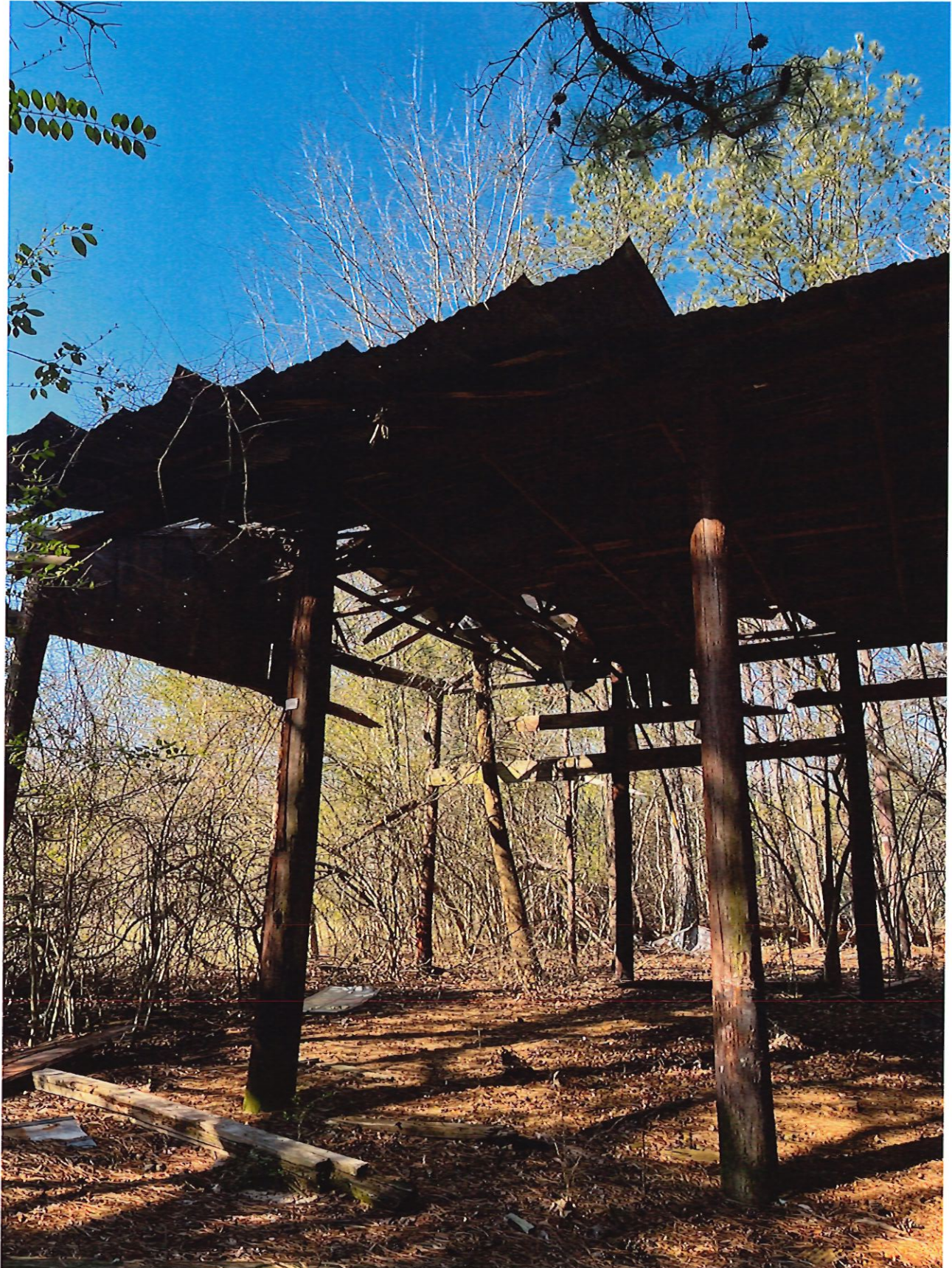
**PREVIOUS DISCUSSIONS:**

None















# COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

## STAFF REPORT

**AGENDA ITEM:**

Consideration of the color for the Handley Park Public Works Maintenance Facility

**BACKGROUND:**

The new Handley Park Public Works Maintenance Facility is starting construction and colors for the exterior of building need to be selected. Attached is the color chart to aid in selection. Color selections are for the roof, walls, doors, and trim.

**FUNDING:**

General Funds – Public Works (100-40-54.1223 & 100-40-54.1300)

**STAFF RECOMMENDATION:**

Staff recommends color selection of the Handley Park Public Works Maintenance Facility is to match the existing buildings as much as possible with preliminary recommendation as follows:  
Roof – Classic Green, Walls – Ash Gray, Trim & Doors – Classic Green

**ATTACHMENTS:**

Color Chart and Pictures

**PREVIOUS DISCUSSIONS:**

None

Final color selection should be made from metal color chips. Usage and finish options vary by panel profile. For the most current information available, as well as details about paint warranty coverage, visit our website at [mbci.com](http://mbci.com).

Signature® 200 and 300 colors are Cool Roof compliant through the CRRC-1 Program. Visit [coolroofs.org](http://coolroofs.org) for more details.

## IGNATURE® 200

Iconized Polyester

				
STAR WHITE (POLYESTER)	HIGH GLOSS WHITE	WHITE	BRIGHT WHITE	HAWAIIAN BLUE
				
NAVY BLUE	LIGHT STONE	SADDLE TAN	DESERT SAND	COFFEE BROWN
				
BURNISHED SLATE	ASH GRAY	DEEP GRAY	CHARCOAL GRAY	EVERGREEN
				
FOREST GREEN	SCARLET RED	RUSTIC RED	WINE RED	TRUE BLACK

## IGNATURE® 300

Polyvinylidene Fluoride (PVDF) | Low Gloss

				
IVORY WHITE	BONE WHITE	PACIFIC BLUE	HARBOR BLUE	ALMOND
				
BROWNSTONE	MEDIUM BRONZE	MIDNIGHT BRONZE	TUNDRA	SLATE GRAY
				
STORM GRAY	CLASSIC GREEN	BRITE RED	COLONIAL RED	MIDNIGHT BLACK
				
COPPER METALLIC				

Section X, Item 10.





## COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

### STAFF REPORT

**AGENDA ITEM:**

Consideration to perform demolition on the corn crib at Handley Park

**BACKGROUND:**

The corn crib at Handley Park has continued to deteriorate and has become an unsafe structure. The structure and some surrounding barbed wire fencing poses a hazard. The deterioration is to a point that rehabilitation is not be a reasonable possibility. Staff is recommending to demolish the structure and legally disposed of it in a landfill.

**FUNDING:**

General Fund – Public Works Fund 100-40-52.2203

**STAFF RECOMMENDATION:**

Staff recommends demolition of the Handley Park corn crib and legal disposal in a landfill.

**ATTACHMENTS:**

Pictures

**PREVIOUS DISCUSSIONS:**

None















## COUNCIL AGENDA ITEM COVER SHEET

**Meeting Type:** Council - Regular

**Meeting Date:** March 20, 2025

**Agenda Item Type:** New Business

**Staff Contact:** Scott Langford

### STAFF REPORT

**AGENDA ITEM:**

Consideration to Approve and Execute 1400 Senoia Road Sanitary Sewer and Stormwater Access and Maintenance Easement with 74 South LLC.

**BACKGROUND:**

The Town approved development plans for 1400 Senoia Road which is owned by 74 South LLC. As part of the project, a sewer line connection was made from 1400 Senoia Road across a privately owned railroad spur, and Fayette County’s property at Fire Station 3 to connect to the Town’s sanitary sewer Pump Station #2 on Jenkins Road. The sanitary sewer system will be owned and maintained by the Town of Tyrone and the Town will be able to connect to manhole along Senoia Road in the future as needed.

The stormwater system easement will be for access to inspect the stormwater infrastructure installed by the property owner, but the ownership and maintenance of the stormwater system will remain the property owner’s responsibility.

Pending receipt of the finalized documents and Council approval, the easement shall be recorded among the deed records of the Clerk of the Superior Court of Fayette County and shall be binding on the Property Owner, its administrators, executors, heirs, assigns, and any other successors in interest.

**FUNDING:**

Admin

**STAFF RECOMMENDATION:**

Staff recommends authorizing Mayor Dial to execute the Easement subject to receipt of the finalized document(s) prepared to the staff’s satisfaction for the purpose of finalizing the easement prior to the facility’s certificate(s) of occupancy.

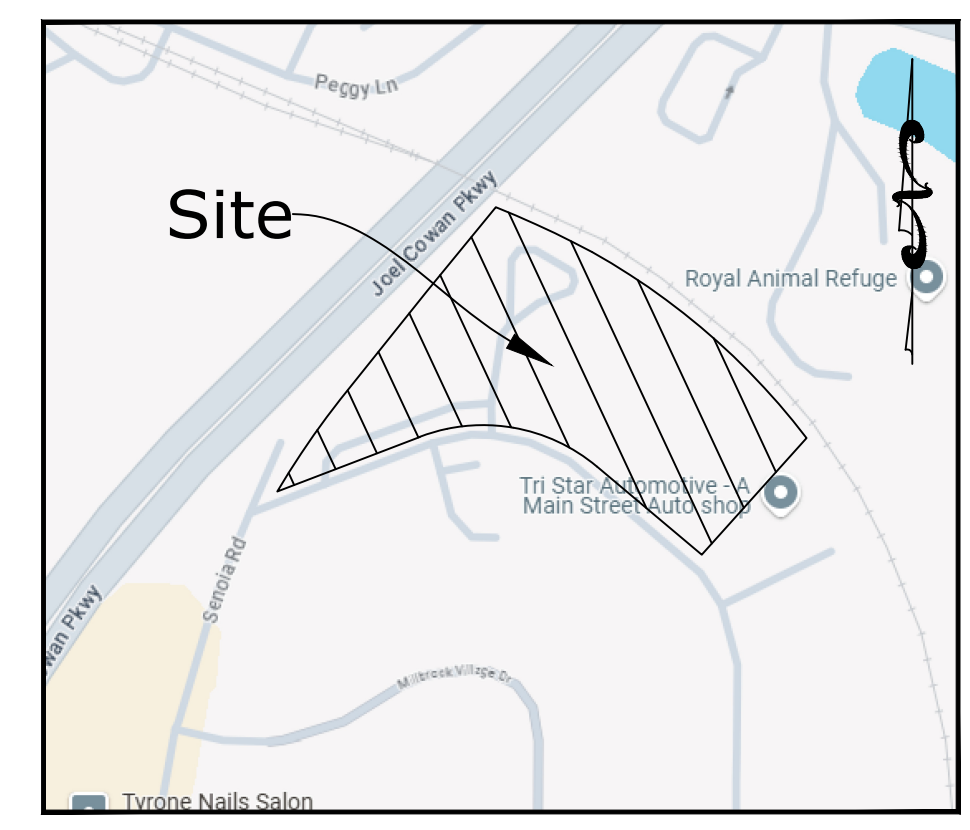
**ATTACHMENTS:**

Easement - Draft

**PREVIOUS DISCUSSIONS:**

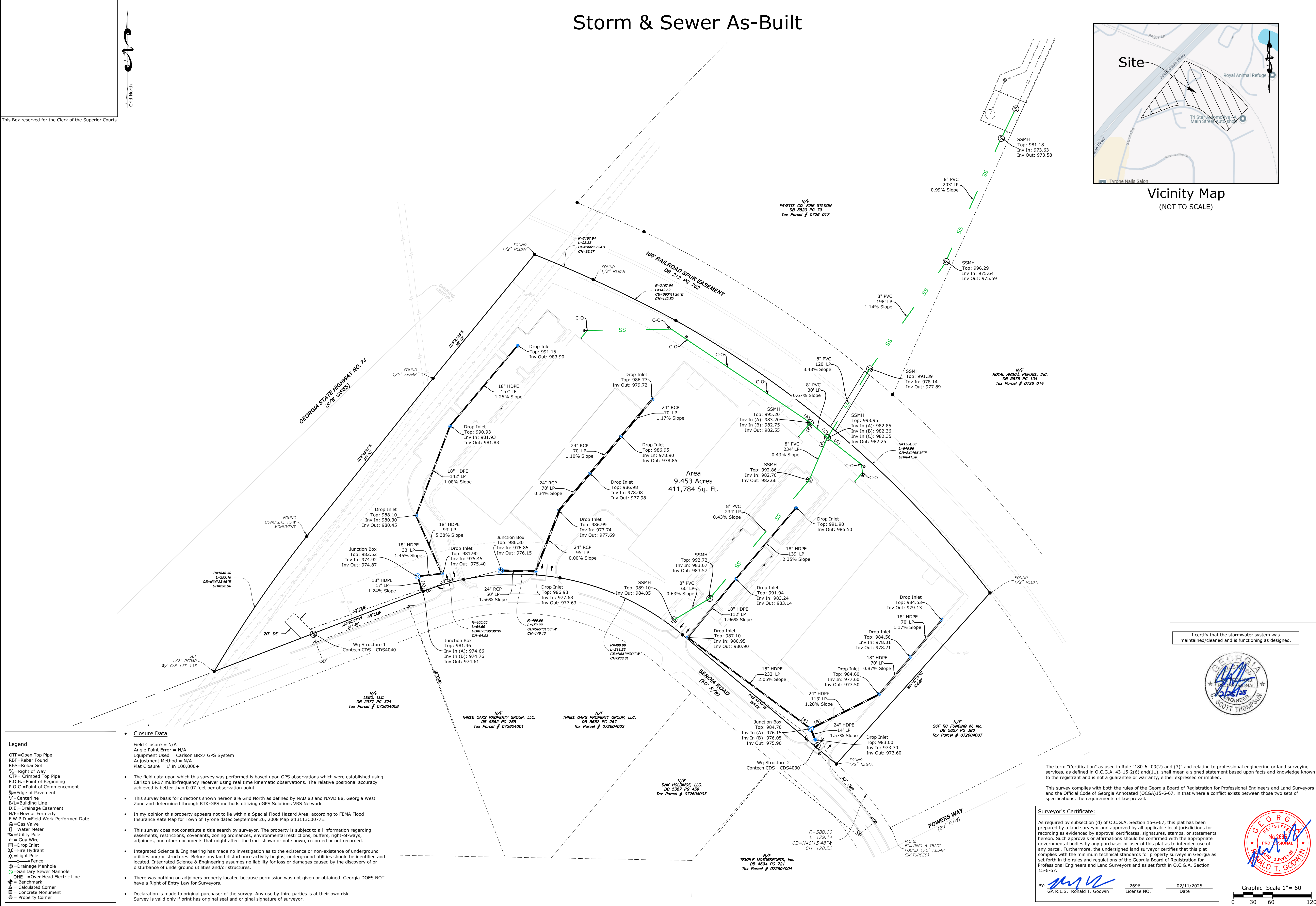
Development and Planning discussions with Council

# Storm & Sewer As-Built



Vicinity Map  
(NOT TO SCALE)

This Box reserved for the Clerk of the Superior Courts.



- Legend**
- = Open Top Pipe
  - = Rebar Found
  - = Rebar Set
  - ↔ = Right of Way
  - = Crimped Top Pipe
  - = Point of Beginning
  - = Point of Commencement
  - = Edge of Pavement
  - = Centerline
  - = Building Line
  - = Drainage Easement
  - = Now or Formerly
  - = Field Work Performed Date
  - = Gas Valve
  - = Water Meter
  - = Utility Pole
  - = Guy Wire
  - = Drop Inlet
  - = Fire Hydrant
  - = Light Pole
  - = Fence
  - = Drainage Manhole
  - = Sanitary Sewer Manhole
  - = Over Head Electric Line
  - = Benchmark
  - = Calculated Corner
  - = Concrete Monument
  - = Property Corner

- Closure Data**
- Field Closure = N/A
  - Angle Point Error = N/A
  - Equipment Used = Carlson BRx7 GPS System
  - Adjustment Method = N/A
  - Flat Closure = 1" in 100,000+
- The field data upon which this survey was performed is based upon GPS observations which were established using Carlson BRx7 multi-frequency receiver using real time kinematic observations. The relative positional accuracy achieved is better than 0.07 feet per observation point.
- This survey basis for directions shown hereon are Grid North as defined by NAD 83 and NAVD 88, Georgia West Zone and determined through RTK-GPS methods utilizing eGPS Solutions VRS Network.
- In my opinion this property appears not to lie within a Special Flood Hazard Area, according to FEMA Flood Insurance Rate Map for Town of Tyrone dated September 26, 2008 Map #13113CD077E.
- This survey does not constitute a title search by surveyor. The property is subject to all information regarding easements, restrictions, covenants, zoning ordinances, environmental restrictions, buffers, right-of-ways, adjoiners, and other documents that might affect the tract shown or not shown, recorded or not recorded.
- Integrated Science & Engineering has made no investigation as to the existence or non-existence of underground utilities and/or structures. Before any land disturbance activity begins, underground utilities should be identified and located. Integrated Science & Engineering assumes no liability for loss or damages caused by the discovery of or disturbance of underground utilities and/or structures.
- There was nothing on adjoiners property located because permission was not given or obtained. Georgia DOES NOT have a Right of Entry Law for Surveyors.
- Declaration is made to original purchaser of the survey. Any use by third parties is at their own risk. Survey is valid only if print has original seal and original signature of surveyor.

I certify that the stormwater system was maintained/cleaned and is functioning as designed.



**Surveyor's Certificate:**

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

By: *GA R.L.S. Ronald T. Godwin* License NO. 2696 Date: 02/11/2025



Graphic Scale 1" = 60'

Page:	Date:
Plat/Deed Book:	
1400 Senoia Road	
Land Lot 116 of the 7th Land District	
Town of Tyrone, Fayette County, Georgia	
Island Investors	
Prepared For:	
Job #:	1633-2101
Drawn By:	JCB
Reviewed By:	RTG
Date:	02/11/2025
Scale:	1" = 60'
Sheet:	1 of 1

[Space above line reserved for Recorder's use]

After Recording, Return to:  
Attn: Dennis A. Davenport  
McNally, Fox, Grant & Davenport, P.C.  
100 Habersham Drive  
Fayetteville, GA 30214  
(770) 461-2223

Please Cross Reference to

**SANITARY SEWER AND STORMWATER ACCESS AND MAINTENANCE  
EASEMENT**

THIS SANITARY SEWER AND STORMWATER ACCESS AND MAINTENANCE EASEMENT AGREEMENT (the "**Agreement**") is entered into as of this \_\_\_\_ day of \_\_\_\_\_, 2025, by **74 SOUTH LLC**, a Georgia limited liability company ("**Grantor**"), whose address is c/o Island Investors, LLC, 6400 Powers Ferry Rd NW Ste 385, Atlanta, GA, 30339 and **The Town of Tyrone, Georgia**, a municipality organized and existing under the laws of the State of Georgia, whose address is c/o McNally, Fox, Grant & Davenport, P.C., 100 Habersham Dr, Fayetteville, GA 30214 ("**Grantee**").

**RECITALS**

A. This Agreement concerns that certain real property situated in the Town of Tyrone, Fayette County, Georgia, as more particularly described and identified in the area highlighted on the plat of 1400 Senoia Road on Land Lot 116 of the 7<sup>th</sup> Land District, Town of Tyrone, Fayette County, Georgia, attached hereto as **Exhibit A** (the "**Property**"), with said Exhibit A attached hereto and incorporated herein;

B. 74 SOUTH LLC ("**Grantor**") a Georgia limited liability company, owns the Property;

C. Grantee desires an easement for access through, over, and under Grantor's property for the limited purpose of design, construction, development, access, maintenance, and use of a Sewer Line for the benefit of Grantee, subject to the terms and conditions set forth in this Agreement;

D. The sewer lines contemplated by herein and authorized by the Sewer Easements are composed of: (i) a sanitary sewer line and (ii) a stormwater sewer line;

E. The legal description of the sanitary sewer easement is set forth in full in the attached **Exhibit B** hereto;

F. The legal description of the stormwater sewer easement is set forth in full in the attached **Exhibit C** hereto;

G. Pursuant to that certain Sewer Easements recorded in the real estate records of the Superior Court of Fayette, Grantor has granted Grantee an easement for, *inter alia*, access, construction, installation, maintenance, improvement, operation, and repair of the sanitary sewer and stormwater lines (the “**Sanitary Sewer and Stormwater Access and Maintenance Easement**”);

NOW THEREFORE, in consideration of the foregoing, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereby agree to the following:

Incorporation of the Recitals. The recitals set forth above are hereby incorporated into this Agreement.

Grant of Easement. Grantor hereby grants, bargains, sells and conveys to Grantee, its successors and assigns, for the benefit of Grantee, an easement to Grantee and for the benefit of Grantee, a non-exclusive, easement through, over, and under and across that portion of Grantor’s property which such easement shall be confined to the immediate ten (10) feet on each side of the Sewer Line as constructed and as generally described on **Exhibit B** and **Exhibit C**. The Easement the Grantor grants herein shall run with the Property and shall remain valid, in force, and burden the Grantor’s leasehold interest for so long as Grantor maintains any leasehold or other interest in, upon, or concerning the Property, specifically including, but not limited to, the Railroad Lease and any subsequent revision, amendment, extension, modification, or restatement thereto. The Easement that Grantor grants herein shall run with the Property for the limited duration described herein in the event that Grantor sells, assigns, conveys, hypothecates, transfers, quitclaims, negotiates, or alienates the Property and shall be applicable to any of Grantor’s successors in interest with respect to the Property.

Representations and Warranties. Grantor covenants, represents, and warrants that it is the sole user, operator, and owner of all rights and obligations of the Property under which the Easement lies. Grantor is the appropriate person and entity to convey the Easement. Grantor acknowledges that these representations are made to induce Grantee to enter into this Agreement.

6. Binding Effect. This Agreement shall run with the land and inure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, representatives, successors and assigns for the limited duration described herein.

7. Notices. Notices or other communications between the parties pursuant to this Agreement will be given in writing and delivered by (a) certified mail, postage prepaid, (b) personal delivery, or (c) national overnight courier delivery service for next business day delivery, charges prepaid, and addressed to the applicable party at the address set forth in the introductory paragraph of this Agreement or to such address as a party may specify from time to time by giving



notice in accordance with this Section. All notices will be effective upon the date of receipt.

8. Modification. This Agreement extends only for the limited duration described herein and may only be terminated, extended, modified, or amended within that timeframe with the written consent of the owner of the Grantor's Parcel and the owner of the Grantee's Parcel. No termination, extension, modification, or amendment will be effective unless a written instrument setting forth its terms has been executed, acknowledged, and recorded in the official records of the Superior Court of Fayette County, Georgia.

9. No Partnership or Joint Venture. None of the terms or provisions of this Agreement shall be deemed to create a partnership between the parties in their respective businesses or otherwise, nor shall it cause them to be considered joint venturers or members of any joint enterprise.

10. Recording. This Agreement shall be recorded in the land records of the Superior Court of Fayette County, Georgia.

11. Governing Law. The terms and conditions of this Agreement shall be governed by and construed under the laws of the State of Georgia.

12. Severability. The terms and conditions of this Agreement are severable and if any should be determined to be unenforceable then that shall not affect the enforceability of the remaining provisions.

13. Authorization. Each of the parties hereto hereby covenants, warrants and represents that: (a) the individual executing this Agreement is duly authorized to execute and deliver this Agreement and grant the interests in the estates demised hereunder in accordance with the organizational documents of such party; and (b) all necessary consents for this Agreement to be binding upon such party have been obtained.

14. Lender Consent. This Agreement shall be superior to any mortgage or deed of trust encumbering any portion of any parcel. Each owner represents and warrants to the other owners that (i) it has obtained the necessary consents from any holder of a mortgage or deed of trust that covers its parcel or any portion thereof at the time of recording this Agreement in order to subordinate such interest to this Agreement and (ii) there are no other mortgages or deeds of trust encumbering any portion of any parcel other than those for which consents have been provided at the time of recording.

15. Entire Agreement. This Agreement contains the entire agreement between the parties. It replaces and supersedes any and all oral agreements between the parties, as well as any prior writings.

16. Execution in Counterparts. This Agreement may be executed and delivered in any number of counterparts each of which so constituted and delivered shall be deemed to be an original and all of which shall constitute one and the same instrument.

17. Miscellaneous. The caption headings of the various sections of this Agreement are for convenience and identification only and shall not be deemed to limit or define the contents of

their respective sections. All exhibits referred to herein and attached hereto are a part of this Agreement. This Agreement shall not be effective until executed by each of the parties hereto.

[SIGNATURE PAGES FOLLOW]

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed under seal on the date first written above.

Signed, sealed and delivered in the presence of:

GRANTOR:

**74 SOUTH, LLC**, a Georgia limited liability company

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_

Name: Randall A. Wright

Title: Member-Manager

\_\_\_\_\_  
Notary Public

(NOTARY SEAL)

My Commission Expires: \_\_\_\_\_

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed under seal on the date first written above.

Signed, sealed and delivered in the presence of:

GRANTEE:

**The Town of Tyrone, Georgia**, a State of Georgia Municipality

\_\_\_\_\_  
Unofficial Witness

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

(NOTARY SEAL)

My Commission Expires: \_\_\_\_\_

**EXHIBIT A**

Grantor Parcel Legal Description

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 116 OF THE 7TH DISTRICT, FAYETTE COUNTY, GEORGIA, BEING LOT 16, CONTAINING 5.945 ACRES, LOT 17 CONTAINING 2.00 ACRES, AND TRACT B CONTAINING 1.509 ACRES, OF POWERS COURT, AS PER PLAT RECORDED IN PLAT BOOK 01 PAGES 58-60, AND REVISED AT PLAT BOOK 42, PAGES 8-10, RECORDS OF FAYETTE COUNTY, GEORGIA, WHICH PLAT IS BY REFERENCE INCORPORATED HEREIN AND MADE A PART HEREOF.

LESS AND EXCEPT

**Building A Tract**

All that tract or parcel of land lying and being in Land Lot 116 of the 7th District Fayette County, Georgia, and being more particularly described as follows:

Beginning at the intersection of the Northwesterly Right-of-Way of Powers Way (60' Right-of-Way) and the Northeasterly Right-of-Way of Senoia Road (60' Right-of-Way), Thence along the Northeasterly Right-of-Way of Senoia Road following a curve to the left having a radius of 380.00 feet, an arc length of 129.14 feet, a chord which bears North 40 degrees 15 minutes 51 seconds Wes, and a chord length of 128.52 feet to a 1/2" rebar found; Thence leaving said Right-of-Way North 55 degrees 00 minutes 27 seconds West a distance of 655.41 feet to a point and the TRUE POINT OF BEGINNING; Thence South 75 degrees 31 minutes 08 seconds West a distance of 48.00 feet to a point; Thence South 14 degrees 28 minutes 52 seconds East a distance of 6.00 feet to a point; Thence South 75 degrees 31 minutes 08 seconds West a distance of 44.00 feet to a point; Thence North 14 degrees 28 minutes 52 seconds West a distance of 6.00 feet to a point; Thence South 75 degrees 31 minutes 08 seconds West a distance of 48.00 to a point; Thence North 14 degrees 28 minutes 52 seconds west a distance of 87.33 feet to a point; Thence North 75 degrees 31 minutes 08 seconds East a distance of 48.00 feet to a point; Thence North 14 degrees 28 minutes 52 seconds West a distance of 10.00 feet to a point; Thence North 75 degrees 31 minutes 08 seconds East a distance of 44.00 feet ton point; Thence South 14 degrees 28 minutes 52 seconds East a distance of 10.00 feet to a point; Thence North 75 degrees 31 minutes 08 seconds East a distance of 48.00 feet to a point; Thence South 14 degree 28 minutes 52 seconds East a distance of 87.33 feet to a point and the TRUE POINT OF BEGINNING; said tract being Building "A" and containing 0.297 Acres more or less.

Being Further shown as that Certain tract shown as BUILDING A TRACT 0.297 +/- ACRES AS SHOWN ON FINAL PLAT OF POWERS COURT PROFESSIONAL CENTER WHICH PLAT IS ATTACHED HERETO AS EXHIBIT A AND INCORPORATED HEREIN BY REFERENCE AND MADE A PART HEREOF.

**EXHIBIT B**

Sanitary Sewer Easement Legal Description

A 20-foot sanitary sewer easement lying and being in Land Lot 116 of the 7th District of Fayette County, Georgia, Town of Tyrone, crossing Tax Parcel # 072604010, 0726 017 & 100' Railroad Spur Easement (DB. 212, Pg. 702), and being more particularly described as follows:

Commencing at a 1/2" rebar found at the right-of-way intersection of the easterly right-of-way of Georgia State Highway No. 74 (R/W Varies) and the northerly right-of-way of Senoia Road (60' R/W), thence along the northerly right-of-way of Senoia Road, North 69° 02' 03" East for a distance of 345.40 feet to a point; thence continuing along said right-of-way along a curve to the right a distance of 386.22 feet and having a radius of 400.00 feet, and a chord bearing of South 83° 18' 18" East for a distance of 371.39 feet to a point being the **TRUE POINT OF BEGINNING** of the 20-foot sanitary sewer easement; thence North 59° 01' 28" East for a distance of 77.94 feet to a point; thence North 40° 02' 03" East for a distance of 235.27 feet to a point; thence North 23° 22' 48" East for a distance of 70.63 feet to a point; thence North 31° 34' 08" East for a distance of 18.04 feet to a point; thence North 31° 34' 08" East for a distance of 100.86 feet to a point; thence North 31° 33' 18" East for a distance of 6.55 feet to a point; thence North 35° 31' 19" East for a distance of 202.44 feet to a point; thence North 24° 06' 49" East for a distance of 207.65 feet to a point; thence North 25° 22' 16" East for a distance of 60.45 feet to a point; thence South 65° 32' 22" East for a distance of 20.00 feet to a point; thence South 25° 21' 56" West for a distance of 60.70 feet to a point; thence South 24° 12' 00" West for a distance of 210.86 feet to a point; thence South 35° 31' 19" West for a distance of 202.14 feet to a point; thence South 31° 33' 18" West for a distance of 8.60 feet to a point; thence South 31° 32' 28" West for a distance of 101.07 feet to a point; thence South 31° 32' 28" West for a distance of 14.07 feet to a point; thence South 23° 22' 53" West for a distance of 71.73 feet to a point; thence South 40° 02' 03" West for a distance of 241.54 feet to a point; thence South 59° 01' 28" West a distance of 72.75 feet to a point on the Northerly right-of-way of Senoia Road (60' R/W); thence along the northerly right-of-way of Senoia Road, along a curve to the left a distance of 21.75 feet and having a radius of 400.00 feet, and a chord bearing of North 54° 06' 24" East for a distance of 21.75 feet to a point, being the **TRUE POINT OF BEGINNING** of the 20-foot sanitary sewer easement.

Said sanitary sewer easement containing 0.450 Acres.

**EXHIBIT C**

Stormwater Access & Maintenance Easements Legal Description

A 20-foot stormwater access & maintenance easement lying and being in Land Lot 116 of the 7th District of Fayette County, Georgia, Town of Tyrone, and being more particularly described as follows:

West Easement

Commencing at a 1/2" rebar found at the right-of-way intersection of the easterly right-of-way of Georgia State Highway No. 74 (R/W Varies) and the northerly right-of-way of Senoia Road (60' R/W), thence along the northerly right-of-way of Senoia Road, North 69° 02' 03" East for a distance of 154.04 feet to a point on the northerly right-of-way of Senoia Road (60' R/W) being the **TRUE POINT OF BEGINNING** of the 20-foot stormwater access & maintenance easement; thence North 21° 54' 05" West for a distance of 18.25 feet to a point, thence North 70° 22' 01" East for a distance of 181.24 feet to a point; thence North 16° 36' 56" West for a distance of 23.16 feet to a point; thence North 83° 12' 08" East for a distance of 35.65 feet to a point; thence North 24° 00' 15" West for a distance of 88.40 feet to a point; thence North 20° 47' 46" East for a distance of 153.57 feet to a point; thence North 40° 02' 15" East for a distance of 173.71 feet to a point; thence South 49° 57' 45" East for a distance of 20.00 feet to a point; thence South 40° 02' 15" West for a distance of 170.32 feet to a point; thence South 20° 47' 46" West for a distance of 141.93 feet to a point; thence South 24° 00' 15" East for a distance of 102.19 feet to a point; thence North 76° 38' 57" East for a distance of 79.56 feet to a point; thence South 88° 28' 36" East for a distance of 47.82 feet to a point; thence North 20° 53' 09" East for a distance of 94.52 feet to a point; thence North 40° 02' 03" East for a distance of 236.64 feet to a point; thence South 49° 57' 57" East for a distance of 20.00 feet to a point; thence South 40° 02' 03" West for a distance of 233.36 feet to a point; thence South 20° 51' 58" West for a distance of 100.82 feet to a point on the northerly right-of-way of Senoia Road (60' R/W); thence continuing along said right-of-way along a curve to the left a distance of 184.95 feet and having a radius of 400.00 feet, and a chord bearing of South 82° 16' 48" East for a distance of 183.30 feet to a point; thence along said right-of-way South 69° 02' 03" West a distance of 191.36 feet to a point, being the **TRUE POINT OF BEGINNING** of the 20-foot stormwater access & maintenance easement.

Said stormwater access & maintenance easement containing 0.488 Acres.

East Easement

Commencing at a 1/2" rebar found at the right-of-way intersection of the easterly right-of-way of Georgia State Highway No. 74 (R/W Varies) and the northerly right-of-way of Senoia Road (60' R/W), thence along the northerly right-of-way of Senoia Road, North 69° 02' 03" East for a distance of 345.40 feet to a point, thence continuing along said right-of-way along a curve to the right a distance of 423.20 feet and having a radius of 400.00 feet, and a chord bearing of South 80° 39' 25" East for a distance of 403.74 feet to a point being the **TRUE POINT OF BEGINNING** of the 20-foot stormwater access & maintenance easement; thence North 39° 22' 46" East for a distance of 118.47 feet to a point; thence North 40° 13' 15" East for a distance of 154.07 feet to a point; thence South 49° 46' 45" East for a distance of 20.00 feet to a point; thence South 40° 13'

15" West for a distance of 153.93 feet to a point; thence South 39° 22' 46" West for a distance of 105.90 feet to a point; thence South 53° 25' 53" East for a distance of 219.50 feet to a point; thence North 63° 22' 58" East for a distance of 110.17 feet to a point; thence North 40° 02' 03" East for a distance of 157.93 feet to a point; thence South 49° 57' 57" East for a distance of 20.00 feet to a point; thence South 40° 02' 03" West for a distance of 162.07 feet to a point; thence South 63° 22' 58" West for a distance of 111.20 feet to a point; thence South 19° 18' 47" East for a distance of 30.52 feet to a point; thence South 38° 34' 33" East for a distance of 26.68 feet to a point on the northerly right-of-way of Senoia Road (60' R/W); thence continuing along said right-of-way North 49° 58' 23" West for a distance of 55.78 feet to a point; thence leaving said right-of-way North 22° 09' 13" West for a distance of 13.20 feet to a point; thence North 53° 25' 53" West for a distance of 101.87 feet to a point on said right-of-way; thence continuing along said right-of-way North 49° 57' 57" West a distance of 140.50 feet to a point; thence continuing along said right-of-way along a curve to the left a distance of 1.33 feet and having a radius of 400.00 feet, and a chord bearing of North 50° 03' 40" West for a distance of 1.33 feet to a point on the northerly right-of-way of Senoia Road (60' R/W) being the **TRUE POINT OF BEGINNING** of the 20-foot stormwater access & maintenance easement.

Said stormwater access & maintenance easement containing 0.358 Acres.



**EXHIBIT D**

Sewer Line As-Built Depiction



**COUNCIL AGENDA ITEM COVER SHEET**  
**Meeting Type:** Council - Regular  
**Meeting Date:** March 20, 2025  
**Agenda Item Type:** New Business  
**Staff Contact:** Brandon Perkins, Town Manager

---

**STAFF REPORT**

**AGENDA ITEM:**

Consideration of updates to the Town’s Travel Policy.

**BACKGROUND:**

The Town’s current travel policy has not been significantly updated since 2010. As part of staff’s on-going review and update of the Employee Handbook, this policy has been newly revised and is presented to Council for review and approval.

It should be noted that legal has reviewed this document and Mr. Davenport’s feedback was impletmented into the presented draft.

**FUNDING:**

Not required.

**STAFF RECOMMENDATION:**

Staff seeks Council feedback and approval.

**ATTACHMENTS:**

-Draft policy.

**PREVIOUS DISCUSSIONS:**



## TOWN OF TYRONE EMPLOYEE HANDBOOK

<b>CHAPTER:</b>	<b>17 – Travel Policy</b>		
<b>EFFECTIVE DATE:</b>		<b>PAGES:</b>	9
<b>REVISION DATE:</b>		<b>DISTRIBUTION:</b>	All Personnel

### I. PURPOSE

The purpose of this policy is to establish rules and regulations pertaining to approved, business related travel by Town employees.

### II. POLICY

It is the policy of the Town of Tyrone to authorize and cover the costs associated with necessary travel while conducting official Town business and attending training.

The policies and procedures contained herein govern authorized travel for Town business, allowable modes of travel, and allowable expenses while on official Town business. Reporting requirements are included.

This policy assures that the Town of Tyrone and its business-related travelers are in compliance with the above regulations; enables the Town to protect its reputation and municipal status by avoiding excessive or inappropriate spending; and provides the Town Council with the ability to control the approved budget through oversight of expenditures.

### III. PROCEDURES

A. The key requirements for authorized travel and business-related expenses under the Town's plan include:

1. Business Connection - All travel must have an unquestionable and direct connection to Town business and includes meetings and employee training; and
2. Substantiation - Records must substantiate the:

- a. amount;
  - b. time and date;
  - c. places; and
  - d. business purpose(s);
- B. It is the responsibility of those travelling to adhere to the requirements of this policy. Any deviation from the policies set forth will require prior approval of the Town Manager.
- C. Employees and Town Officials have the responsibility to use discretion and seek economical lodging, transportation, and meals when traveling on Town business. State contracts for lodging and auto rentals should be checked for cost/availability when these services are required when traveling in-state. When traveling for a training conference, employees and Town officials have express authorization to reserve a room at the conference hotel when applicable. The cost must be within the approved budget for the conference.
- D. For purposes of this policy, business expenses must be for a valid business purpose that is necessary and reasonable in order to conduct Town business. A specific business purpose must be documented for all expenditures for which approval is requested. The business purpose of an expense may be obvious to the traveler, but it is not always obvious to a third party. The employee or Town official is expected to obtain original, itemized receipts for all expenses. An original receipt may take many forms (e.g., cash register receipt, copy of an order form, web receipt or confirmation). A receipt must identify:
- 1. The date of purchase;
  - 2. The vendor name;
  - 3. Itemized list and unit price of the purchased items; and
  - 4. The total amount.
- E. Employees and Town officials are expected to obtain proof of payment for all expenses related to their travel. Proof of payment may take many forms but must demonstrate that payment was tendered and must identify the means by which payment was tendered. This information is usually included on the original receipt. Examples may include cash tendered, amount paid and a zero balance due. The proof may include information about a credit/debit card payment, e.g., card type, last four digits of card and/or signature.

F. Travel Authorization

Any employee who will be traveling on Town business must complete a "Travel Request" form. This form must be forwarded through the employee's department head and to the Town Manager or Chief of Police for approval. The Town Manager's or the Chief of Police's approval is required before any expenses in connection with the request are incurred by the employee.

Elected and appointed Town Officials are not required to obtain approval for business-related travel.

G. Paying for Travel

The preferred method of payment for authorized travel expenses is a Town credit card. If the employee or Town official does not have an assigned Town credit card, he or she must check out the Town's expense card from the Finance Manager.

In cases where it is not possible for an employee to utilize a Town credit card, their authorized travel will be reimbursed by the Town. Prior to being reimbursed, the employee must submit a travel expense report along with all associated receipts.

H. Travel With Guests

Employees and Town officials are authorized to take guests, such as immediate family members, while traveling on Town business such as training conferences. However, the Town will cover only those expenses incurred by the employee or Town official.

I. Considerations

The factors used to determine the mode of travel to be utilized should include, but not be limited to, the following considerations:

1. Comparative costs of all authorized modes of travel;
2. Number of employees and volunteers traveling to the same destination;
3. Duration of trip;
4. Driving distance/time/safety; and

- 5. Availability of Town vehicle (Will the vehicle be needed in the if the vehicle is being used for an extended, planned trip?).

J. Modes of travel

It is anticipated that, with a few exceptions, the most economical mode of travel for the Town will be selected.

The following modes of travel are authorized for use when on official business.

The modes of travel to be utilized shall have the approval of either the Chief of Police or the Town Manager.

1. Town Vehicles

- a. When practical, employees and Town officials travelling on official business shall utilize Town vehicles.
- b. The following rules apply to the use of Town vehicles:
  - 1. Travel should not normally exceed one (1) day's safe driving time.
  - 2. Town vehicles shall not be used by employees or Town officials when travelling with a guest. In these cases, the employee or Town official shall use a personal vehicle and will be reimbursed at one half the U.S. General Services Administration (GSA) mileage rate.

2. Personal Vehicles; reimbursement for mileage

- a. The Town will reimburse personal vehicle travel costs based on point-to-point mileage.
- b. The Chief of Police and the Town Manager may approve use of a personal vehicle for travel on official business under the following circumstances:
  - 1. A Town vehicle is not available; Or
  - 2. The employee desires the accompaniment of a family member, or is taking vacation in conjunction with official travel.

- c. Employees and Town official should keep a record (e.g. spreadsheet, notebook or ledger; AAA trip tic or Map Quest printout) of their use of their private vehicle for Town business travel. The written record should include:
  - 1. The dates and points (Address, Town, State) of departure and arrival;
  - 2. Business purpose of trip;
  - 3. Total business mileage; and
  - 4. Calculation of reimbursement (total mileage times mileage reimbursement rate).
- d. Employees will be reimbursed for mileage as calculated from the workplace to the travel destination and back.
- e. The per mile reimbursement amount will be based upon the current Standard Federal Mileage Rates.
- f. Employees are NOT entitled to mileage reimbursement for:
  - 1. Travel between their place of residence and their official headquarters; or
  - 2. Personal mileage incurred while on travel status.

3. Airlines

Employees should use airline travel when:

- a. Travel exceeds more than (5) five hours safe driving time; and
- b. It is more cost-effective to use air travel than another mode of travel.

Travel from departure point to and from the airport will be reimbursable.

K. Meal Expenses; overview

The following rules apply to meal expenses:

1. The Town will not reimburse employees and Town officials for meals that are provided as part of a conference, seminar or training.

L. Meal expenses with no overnight stay

1. The Town will provide employees and Town officials with a meal allowance when attending meetings, seminars, training sessions, etc., outside of Fayette County, with no overnight stay, when a meal is not provided at the meeting or seminar, training session, etc., at one of two rates:
  - a. The U.S. General Services Administration (GSA) per diem (per meal) rate, or
  - b. The actual cost of the meal, including tax and tip. An itemized meal receipt (not the credit card receipt) is required.
4. allowances provided to employees or Town officials for meals in the course of hosting a gathering or meeting that may be excludable if the expenses are ordinary and necessary.
5. The Town will cover an employee's or Town official's meals purchased in association with Town business meetings either within or outside Fayette County, if the substantial purpose of the combined business and meal is to conduct Town business.
6. The Town will cover an employee's or Town official's meal expenses related to attendance or participation in certain organizations if attendance/participation is related to Town business. Examples include Chambers of commerce or professional associations. These reimbursements are not considered taxable benefits and therefore not subject to withholding taxes. Receipts are required for reimbursement. No reimbursement will be made for alcohol purchases.

M. Meal expenses with an overnight stay

1. The Town will provide an allowance for actual meals purchased at conferences, seminars, training, etc. up to the current U.S. General Services Administration (GSA) per diem rate as indicated on its [website](#). Receipts will be necessary for meal reimbursements since the Town will only reimburse meals with overnight stays at the actual cost of the meal up to the GSA per diem rates.



2. If no meals are included as part of the conference, seminar, training, etc., up to the standard per diem rate allowed by GSA at the primary destination will be allowed for reimbursement.
  
3. If certain meals are included as part of the conference, seminar, training, etc., the standard per diem (per meal) rate allowed by GSA at the primary destination will be allowed for reimbursement for only the meals not included in the conference, seminar or training registration.

N. Other Business-Related Expenses

Additional travel expenses may include:

1. Lodging

When approved travel requires a hotel stay, employees will use a Town credit card to reserve and pay for the room at the hotel's single occupancy rate. If the employee does not have a Town-issued credit card, they will need to obtain the Town's expense card from the Finance Manager. When checking in, the employee will need to provide hotel staff with the all appropriate tax exemption forms, which can be obtained from Finance. A hotel/motel receipt is necessary and must be submitted with the expense report.

Note that, in the event an employee or Town official does not have a Town credit card and the Town's expense card is not available, the employee or Town official will be reimbursed for their expenses.

2. Taxi, Uber, and Lyft Travel

Actual amounts will be reimbursed when use is justified for business purposes. Receipts must be obtained.

3. Gratuity or Tips

Tips or gratuities should not exceed 20 percent of the total bill. Actual tip is to be shown on the itemized meal receipt, if applicable.

4. Car/Vehicle

Employees requiring a vehicle rental for business related travel must obtain prior approval from the Town Manager. A copy of the rental agreement and receipt of payment is required.

5. Employee Group Meals

Under certain infrequent circumstances, employees are required to remain at the work site during mealtime. Such circumstances may include an emergency, but may also include multi-departmental meetings or training sessions, where the meeting or training session continues during the meal and the employees are not permitted to leave the premises of the meeting site. Under these and similar circumstances, departments may purchase meals for the affected attendees. The Town Manager or Chief of Police should approve purchase of such meals prior to the date of the event. (for non-emergency situations).

- a. Such expenditures are limited to the purchase of meals only. Meal expenses associated with meeting or training sessions must be documented by a copy of the formal written agenda and will be reimbursed after presentation of an original itemized receipt. In all instances, a listing of employees and guests for whom meals were purchased must be retained.
- b. In the event that such meeting/training sessions are scheduled for at least four hours and breaks are included in the schedule, light snacks and drinks are permitted and will be reimbursed with the approval of the department head, Chief of Police or the Town Manager.

O. Expense Report

- 1. Upon completion of travel, the employee shall promptly (within 10 days of return) complete an expense report. The following rules shall apply to the filing of the expense report:
  - a. Use Town of Tyrone's Travel Expense Report for reporting expenses.
  - b. All required receipts, including itemized receipts, if applicable, should be attached to the form. Other documentation such as airline tickets, rental car agreements, etc., should be attached. The form is to include all prepayments made for the travel, such as conference and/or registration and hotel/motel costs. The report is to be completed in ink or typewritten. Calculations should be double checked.

2. If a required receipt is lost, a written explanation must be attached to the report. Also, attach a written explanation for any expense which exceeds any authorized amount. Please note: the Town will not reimburse more than the per diem (per day) amount for meals.
3. The completed report is to be submitted to the employee's department head or Chief of Police for approval, who in turn will forward the report to the Finance Department for review and payment.
4. Employees and Town Officials are required to sign their Travel Expense Report, attesting that the information presented on the form is accurate. Those who provide false information are subject to criminal penalty of a felony for false statements, which is subject to punishment by fine as prescribed by law.