



TOWN COUNCIL MEETING **August 21, 2025 at 7:00 PM**

950 Senoia Road, Tyrone, GA 30290

Eric Dial, Mayor

Gloria Furr, Mayor Pro Tem, Post 4

Jessica Whelan, Post 1

Dia Hunter, Post 2

Billy Campbell, Post 3

Brandon Perkins, Town Manager

Dee Baker, Town Clerk

Dennis Davenport, Town Attorney

I. CALL TO ORDER

II. INVOCATION

III. PLEDGE OF ALLEGIANCE

IV. PUBLIC COMMENTS: *Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

V. APPROVAL OF AGENDA

VI. CONSENT AGENDA: *All matters listed under this item are considered to be routine by the Town Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.*

1. Approval of the August 7, 2025 minutes.

2. Approval to renew the Crossroads Christian MOU for the use of the Town facilities in the event of an emergency evacuation.

VII. PRESENTATIONS

VIII. PUBLIC HEARINGS

IX. OLD BUSINESS

3. Consideration of revisions to the designs of new sections of multiuse paths along E. Crestwood and Briarwood Roads. - **Brandon Perkins, Town Manager**

4. Discussion regarding the Town of Tyrone Sign Ordinance. **Phillip Trocquet, Assistant Town Manager**

X. NEW BUSINESS

5. Consideration to Award the Shamrock Lake Dam – Outlet Pipe Replacement project number PW-2024-11 to Limitless Concrete in the amount of \$298,225 - **Scott Langford, PE Public Works Director & Town Engineer**
6. Consideration to Award the Public Works Trailer to the Big Tex Trailer World in McDonough, Georgia in the amount of \$18,249 for a Big Tex 22PH, Pintle, 25 foot Trailer. - **Scott Langford, PE Public Works Director & Town Engineer**

XI. PUBLIC COMMENTS: *The second public comment period is for any issue. Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

XII. STAFF COMMENTS

XIII. COUNCIL COMMENTS

XIV. EXECUTIVE SESSION

XV. ADJOURNMENT

**TYRONE TOWN COUNCIL
MEETING
MINUTES
August 07, 2025 at 7:00 PM**

Eric Dial, Mayor
Gloria Furr, Mayor Pro Tem, Post 4

Jessica Whelan, Post 1
Dia Hunter, Post 2
Billy Campbell, Post 3

Brandon Perkins, Town Manager
Dee Baker, Town Clerk
Dennis Davenport, Town Attorney

Also present:
Terry Noble, Planning Commissioner
Absent: Council Member Furr

I. CALL TO ORDER

II. INVOCATION

III. PLEDGE OF ALLEGIANCE

IV. PUBLIC COMMENTS: *Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

Mr. Jack Dye, who lives on Laurelwood Drive, spoke regarding the multi-use path. He shared that he has lived on the corner of Laurelwood Briarwood for 27 years, and his concerns were that the path would devalue his home by \$20,000, and that a 12-foot-wide multi-use path was too wide; a 10-foot path would be optimum, plus save the citizens the extra cost.

Ms. Brenda Houston, who lives on Briarwood Road, shared her concerns regarding the cart path. She added that an 8-foot or 10-foot path should suffice. The new path on Tyrone Road from Julie Road was not 12 feet. She was also concerned about the path and right-of-way being maintained by the Town. Her family has lived in Tyrone for 60 years and has always maintained their right-of-way.

Mr. William Wynn, who lives on Windchime Way, returned from a previous meeting asking for updates regarding their requests to lower the speed limit along Senoia Road near West Dogwood Trail to allow carts on Senoia Road. He wished to speak to someone after the meeting.

V. APPROVAL OF AGENDA

A motion was made to approve the agenda.

Motion made by Council Member Campbell, Seconded by Council Member Hunter.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

VI. CONSENT AGENDA: *All matters listed under this item are considered to be routine by the Town Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the consent agenda and will be considered separately.*

1. Approval of the July 17, 2025 minutes.
2. Consideration of an updated user agreement with PowerDMS. Brandon Perkins, Town Manager
3. Consideration to designate various Town assets as surplus property. Brandon Perkins, Town Manager
4. Approval of a contract with Deep South to provide fireworks for Founders Day on October 4, 2025, in the amount of \$8,000.00.

A motion was made to approve the consent agenda.

Motion made by Council Member Whelan, Seconded by Council Member Campbell.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

VII. PRESENTATIONS

VIII. PUBLIC HEARINGS

IX. OLD BUSINESS

5. Consideration to approve the 2025 Lake Pendleton Dam Upgrades project PW-2021-05 plans. Scott Langford, Public Works Director & Town Engineer

Mr. Langford stated that the Pendleton Dam was upgraded to a Category I Dam, which meant that failure or improper operation would result in probable loss of life. He stated that the Town contracted with an engineer for the design and evaluation of the upgrades. The grant timeline had begun and would be funded through the General Fund; he recommended approval of the plans.

Council Member Campbell inquired if the cost would remain the same. Mr. Langford shared that the construction would go out for bid on August 19th, and the cost should remain the same. Council Member Whelan asked if the plans met the Georgia Safe Dams requirements. Mr. Langford stated that they did. Mr. Perkins added that \$2.1 million was budgeted, and the grant would fund 75%. The bids could come in over budget. Staff would get Council's approval to approve the construction bid.

A motion was made to approve the construction plan for the 2025 Pendleton Lake Dam upgrades, project number PW-2021-05.

Motion made by Council Member Hunter, Seconded by Council Member Campbell.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

6. Consideration to approve the revised floor plan of 881 Senoia Road - Recreation Department facility, project PW-2024-04. Scott Langford, Public Works Director & Town Engineer

Mr. Langford reminded everyone that during a December frost, the pipes burst in the administrative section of the former Town Hall. The plans before them had a few revisions pertaining to doorways, offering more secure areas for the future use of elections being held and night-time classes. He reviewed the plans and shared that the water plans were at 80% completion, and the wastewater plans were at 60%.

Council Member Hunter asked for a timeline. Mr. Langford stated that water and sewer should be completed in two months, and a large section should be completed in November. Council Member Campbell inquired about insurance and the cost. Mr. Langford stated that the largest portion would be plumbing. Insurance paid \$100,000, which should be more than enough. He added that staff was completing most of the work. Council Member Whelan asked if elections were satisfied with the configuration. Mr. Perkins stated that he met Elections Director, Brianna Garrett, on site and that they were satisfied and added that cameras would also be installed.

A motion was made to approve the revised floor plan of the 881 Senoia Road Recreation Department facility, project number PW-2024-04.

Motion made by Council Member Campbell, Seconded by Council Member Whelan.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

X. NEW BUSINESS

7. Consideration of an update to the Town's Tourist Accommodation ordinance (Sec. 22-662). - Brandon Perkins, Town Manager

Mr. Perkins stated that three years ago, an ordinance was adopted that allowed those wishing to rent a portion of their home for less than 30 days to apply for a permit. The update would allow those to rent their home for less than 14 days per calendar year to do so without applying for a permit for special events such as the FIFA World Cup. Council Member Campbell inquired about paying taxes. Mr. Perkins stated that there would be county-wide registration through the soccer housing bureau. Council Member Whelan asked Mr. Davenport if there were any unseen ramifications. Mr. Davenport stated that everything should be handled through the soccer registration bureau, it was like renting your home for the Golf Masters event.

A motion was made to approve an update to Section 22-662 of the Tourist Accommodation ordinance.

Motion made by Council Member Hunter, Seconded by Council Member Whelan.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

8. Consideration to approve the land acquisition plans for the 2024 East Crestwood Resurfacing and Multi-Use Path, Project Number PW-2024-15. Scott Langford, Public Works Director & Town Engineer

Mr. Langford stated that there were two funding sources for the project. The 2023 SPLOST would fund the path, and the paving of East Crestwood and Huntingdon would be funded through the General Fund. There would be 667 square feet of right-of-way, 26,214 square feet of temporary construction easement, and 3,891 square feet of temporary driveway easement acquired. The path would connect the Tullamore and Ashpark subdivisions and the properties along East Crestwood to the Senoia Road multi-use path.

Council Member Campbell asked if the affected citizens had been contacted. Mr. Langford explained that after tonight's vote, it would give staff a better understanding of what to discuss with the homeowners. He added that legal staff could now work on legal descriptions and title evaluations. Mr. Trocquet added that all of the property acquisitions were temporary easements and should not increase the estimated costs.

Council Member Hunter inquired about directional signage for those who would utilize the new path. Mr. Trocquet stated that signage was being acquired with the county's design. Council Member Whelan inquired if the County's master cart path plan had a suggested path width. Mr. Trocquet stated that it did and that it was 12 feet.

A motion was made to approve the Land Acquisition plans for the 2024 East Crestwood Resurfacing and Multi-Use Path, project number PW-2024-15.

Motion made by Council Member Campbell, Seconded by Council Member Whelan.
Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

- XI. PUBLIC COMMENTS:** *The second public comment period is for any issue. Comments are limited to three (3) minutes. Please state your name & address. Comments that require a response may not be answered during this time. The Council or staff may respond at a later date.*

XII. STAFF COMMENTS

Ms. Baker shared that the Tyrone November election qualifying for Council Posts 3 and 4 would begin Monday, August 18th at 8:30 a.m. and end Wednesday, August 20th at 4:30 p.m. Citizens must have lived in their home for at least 1 year before the election and must be 21 years old. The last day to register to vote is October 6th. The qualifying amount is \$216.

She also gave a shout-out to Miguel Pabon from Safebuilt, our contracted Code Enforcement Officer, for assisting in the acquisition of delinquent occupational taxes. We have one remaining, and they are submitting paperwork.

Mr. Trocquet updated everyone regarding two forthcoming rezonings, one on Brentwood Road, the other on Senoia Road. Both would be heard during the Planning Commission meeting on August 14th and at the Council meeting on September 4th.

Chief Mundy gave a shout-out to Detective Koranda for diligent work and the use of the Flock cameras which were able to return two Skid Steers to their owners, totaling approximately \$200,000. Also, he would introduce the new hire at the next Council meeting.

Mr. Perkins opened a discussion regarding a donation request. A business in town had asked if they could donate \$200 a month to the Town. The discussion included how the money should be allocated and if it should be accepted. Council Member Whelan stated that it would muddy the waters if a project arose. Council Member Hunter shared that the Town has worked with other businesses that have sponsored portions of Founders Day and have made other donations. Mr. Perkins shared that he would have a conversation with the business owner for a more precise item for donation and come back to Council with his findings.

XIII. COUNCIL COMMENTS

Mayor Dial shared that a prominent business inquired about upgrading their monument sign to include a digital function. Mr. Trocquet shared that he would bring back an administrative analysis on the sign ordinance and include options if Council wished to make changes. Council Member Hunter also asked for clarity on how a business located on Highway 74 could make its signage more visible.

Mayor Dial introduced Boy Scout Jack Grieson. Mr. Gieson shared that he was there to observe and acquire badges. Mr. Perkins shared that he should stick with it to become an Eagle Scout and that he would answer any questions he may have.

XIV. EXECUTIVE SESSION

A motion was made to approve the Executive Session minutes from July 17, 2025.

Motion made by Council Member Campbell, Seconded by Council Member Whelan. Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

XV. ADJOURNMENT

A motion was made to adjourn.

Motion made by Council Member Campbell.

Voting Yea: Council Member Campbell, Council Member Whelan, Council Member Hunter.

The meeting adjourned at 7:51 p.m.

By: _____
Eric Dial, Mayor

Attest: _____
Dee Baker, Town Clerk



COUNCIL AGENDA ITEM COVER SHEET

Meeting Type: Council - Regular

Meeting Date: August 21, 2025

Agenda Item Type: Consent Agenda

Staff Contact: Brandon Perkins

STAFF REPORT

AGENDA ITEM:

Approval to renew the Crossroads Christian School (CCS) MOU for the use of Town facilities in the event of an emergency evacuation.

BACKGROUND:

The current MOU has expired. The agreement is for one year with one automatic renewal.

FUNDING:

N/A

STAFF RECOMMENDATION:

Staff recommends approval.

ATTACHMENTS:

MOU

PREVIOUS DISCUSSIONS:

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MEMORANDUM OF UNDERSTANDING

BACKGROUND

1. This agreement is between the **Town of Tyrone** (The Town) and **Crossroads Christian School** (CCS).
2. It is hereby recognized that emergencies and other situations may arise at any time that could warrant the evacuation of the school's facility located at 305 Arrowood Road and that any such evacuation would require a safe location for sheltering the displaced students and staff until students can be reunited with their parents or legal guardian.
3. The Town, recognizing its primary function being that of providing for public safety, agrees to shelter any students and staff members displaced by a required evacuation at one of two Town properties: The Council Chambers at Town Hall (950 Senoia Road) will be primary shelter and the Tyrone Recreation Offices (145 Commerce Drive) will be the secondary shelter if Town Hall is not available or if an overflow shelter is needed.
4. The undersigned parties recognize and agree that shelter under this agreement is short- term only (i.e. a duration of only a few hours at most) and will be terminated as soon as all students have been reunited with their parents or legal guardians.
5. CCS understands that the Town cannot provide a phone line to facilitate communications between CCS and parents, guardians, and other third parties and agrees to provide the necessary equipment to facilitate such communications during an evacuation.
6. CCS further understands that, in some circumstances, an event requiring the evacuation of its facilities could also require the evacuation of Town Facilities or the use of Town facilities for emergency management functions, rendering such facilities unavailable to CCS. Under these circumstances, the Town will make attempts to accommodate CCS not to be held responsible for sheltering these circumstances.

ACTIVATION

1. CCS staff will contact Town Hall via phone at 770-487-4038 or in person request activation of this plan as soon as possible after the determination has been made to evacuate the CCS facility.
2. A Town Hall staff member will advise the Town Manager and other necessary staff of the activation.
3. CCS staff will provide for the safe transportation of its students and staff to the sheltering facility.

GENERAL INFORMATION

1. It is understood that the undersigned parties will review and update this agreement, as needed, on an annual basis. It is further understood that this agreement may be amended upon mutual agreement, in writing, by the undersigned parties.
2. This agreement shall remain in effect for one (1) year from the effective date unless sooner terminated by either party by providing thirty (30) day's written notice to the other party of their intention to terminate this agreement. This agreement shall automatically renew for an additional term of one (1) year unless either party provides written notice of the other party of its intention to not renew this agreement.
3. **CCS** agrees to indemnify and hold harmless the Town, its officials, agents and employees, from and against all liability, claims, and demands on account of injury, loss, or damage, or any other loss of any kind whatsoever, which may arise out of or resulting from CCS's actions or omissions in connection with the use of the Town's property by CCS pursuant to this agreement.
4. In witness whereof, said party's Executive Officers have hereto set their hands and affixed their seals the day and year first written.

SIGNATURE AND ENDORSEMENT

DATE: _____

DATE: _____

Signed, sealed, and delivered as to party,

Signed, sealed, and delivered as to party,

TOWN OF TYRONE

CROSSROADS CHRISTIAN SCHOOL

By: _____

By: _____

Eric Dial, Mayor

Head of School

TOWN OF TYRONE, GEORGIA

CROSSROADS CHRISTIAN SCHOOL

ATTEST:

ATTEST:

Town Clerk (Seal)

Notary (Seal)



COUNCIL AGENDA ITEM COVER SHEET

Meeting Type: Council - Regular

Meeting Date: August 21, 2025

Agenda Item Type: Old Business

Staff Contact: Brandon Perkins, Town Manager

STAFF REPORT

AGENDA ITEM:

Consideration of revisions to the designs of new sections of multiuse paths along E. Crestwood and Briarwood Roads.

BACKGROUND:

The Town currently has two multiuse path (MUP) projects that are getting ready to move forward along Briarwood and E. Crestwood Roads. The Briarwood path is designed at 12' width and the E. Crestwood path is designed at 10' width; both are fully within the Town's right of way so there is no need for fee simple property acquisition, but there is a need for the purchase of temporary construction easements for both projects.

Two residents of Briarwood Road spoke at the August 7, 2025 Council meeting during public comments stating a few concerns about the project to include the proposed width of the path. Another concern was raised about how this project might affect their property values.

Since that meeting, some members of Council have stated a desire to revisit these designs and consider reducing the width of the paths.

FUNDING:

Funding is not pertinent to this particular discussion.

STAFF RECOMMENDATION:

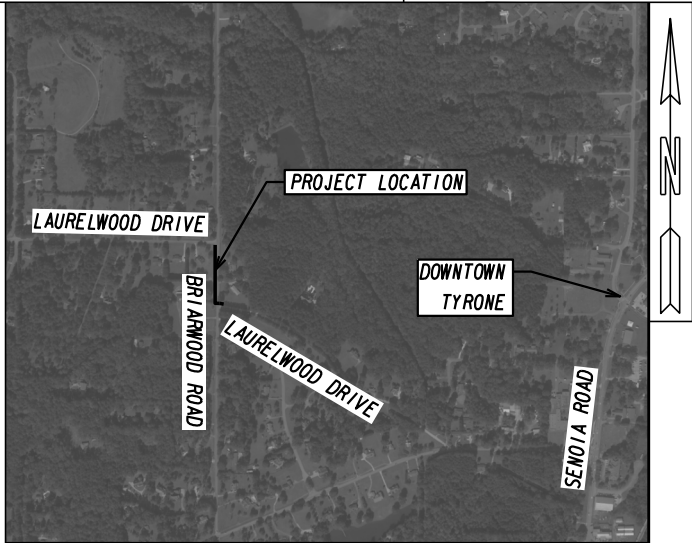
Staff requests guidance from Council on how to proceed with the design of the proposed MUPs.

ATTACHMENTS:

Project plans.

PREVIOUS DISCUSSIONS:

August 7, 2025



LOCATION SKETCH

DESIGN DATA:
TRAFFIC A.D.T.: N/A
TRAFFIC A.D.T.: N/A
TRAFFIC D.H.V.: N/A
DIRECTIONAL DIST: N/A
% TRUCKS: N/A
24 HR. TRUCKS %: N/A
SPEED DESIGN: 35 MPH

LOCATION & DESIGN
APPROVAL DATE: N/A

FUNCTIONAL CLASS:
LOCAL ROAD

THIS PROJECT IS 100% IN
FAYETTE COUNTY AND IS
100% IN CONG. DIST. NO. 3.

PROJECT DESIGNATION: N/A

THIS PROJECT HAS BEEN PREPARED
USING THE HORIZONTAL GEORGIA
COORDINATE SYSTEM OF 1984 (NAD
1983/94 WEST ZONE, AND THE NORTH
AMERICAN VERTICAL DATUM (NAVD)
OF 1988.

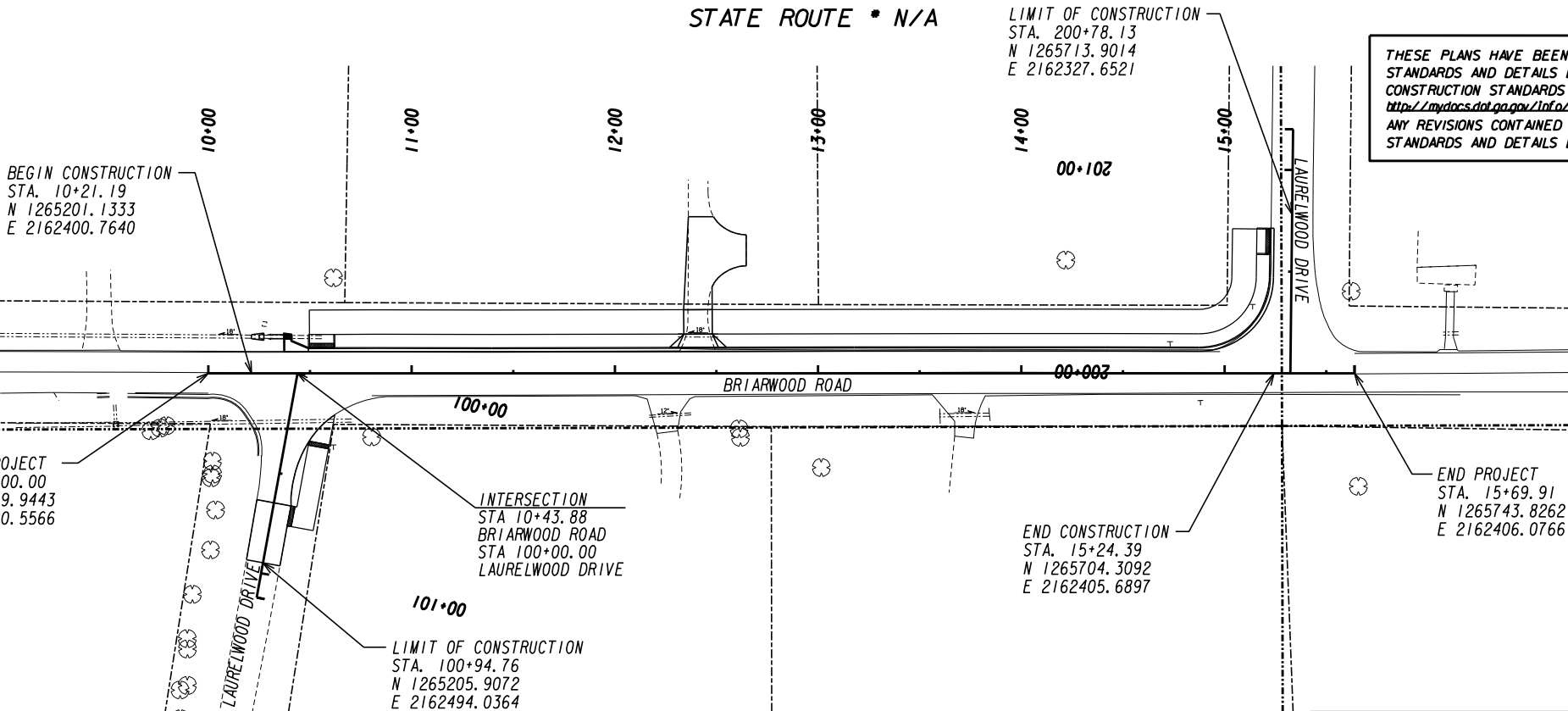
THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANYWAY
INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON
FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE
SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THE DEPARTMENT
OF TRANSPORTATION IN ANY WAY. THE ATTENTION OF BIDDER IS SPECIFICALLY DIRECTED TO
SUBSECTIONS 102.04, 102.05, AND 104.03 OF THE SPECIFICATIONS.

TOWN OF TYRONE STATE OF GEORGIA

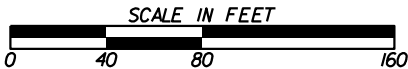
PLAN AND PROFILE OF PROPOSED LAURELWOOD CONNECTOR MULTI-USE PATH

TOWN OF TYRONE
FAYETTE COUNTY

FEDERAL ROUTE * N/A
STATE ROUTE * N/A



THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2024 CONSTRUCTION
STANDARDS AND DETAILS BOOK AND ATTACHED APPLICABLE REVISIONS. THE 2024
CONSTRUCTION STANDARDS AND DETAILS BOOK IS AVAILABLE AT:
<http://mydocs.dot.ga.gov/Info/gdotpubs/ConstructionStandardsAndDetails/Forms/AllItems.aspx>
ANY REVISIONS CONTAINED WITHIN THIS PLAN SET SUPERSEDE THE 2024 CONSTRUCTION
STANDARDS AND DETAILS BOOK WHICH THEY REVISE OR IN WHICH THERE IS A CONFLICT.

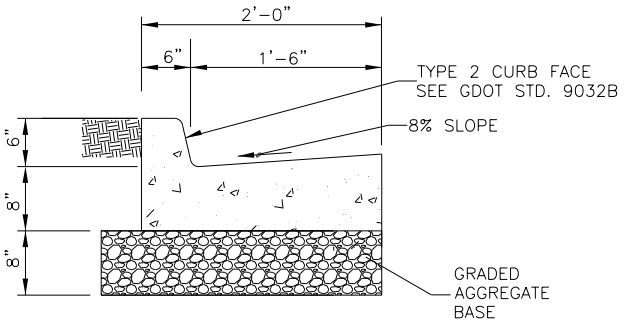
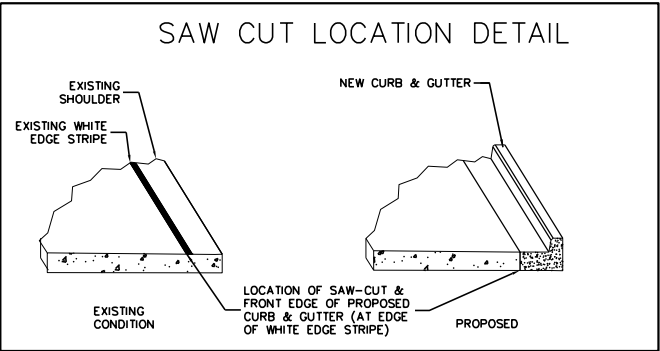
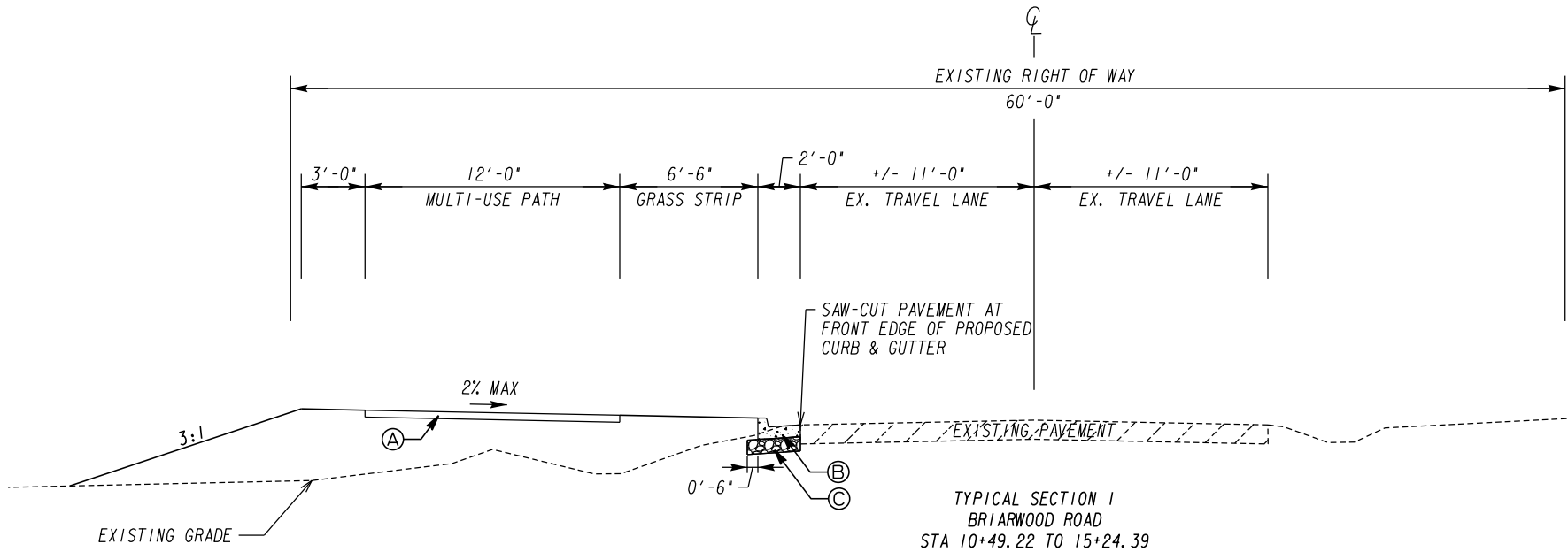


LENGTH OF PROJECT	COUNTY No. 113
	Project No. 230345
	MILES
NET LENGTH OF PATH	0.0098
NET LENGTH OF BRIDGES	0.0000
NET LENGTH OF PROJECT	0.0280
NET LENGTH OF EXCEPTIONS	0.0000
GROSS LENGTH OF PROJECT	0.0280

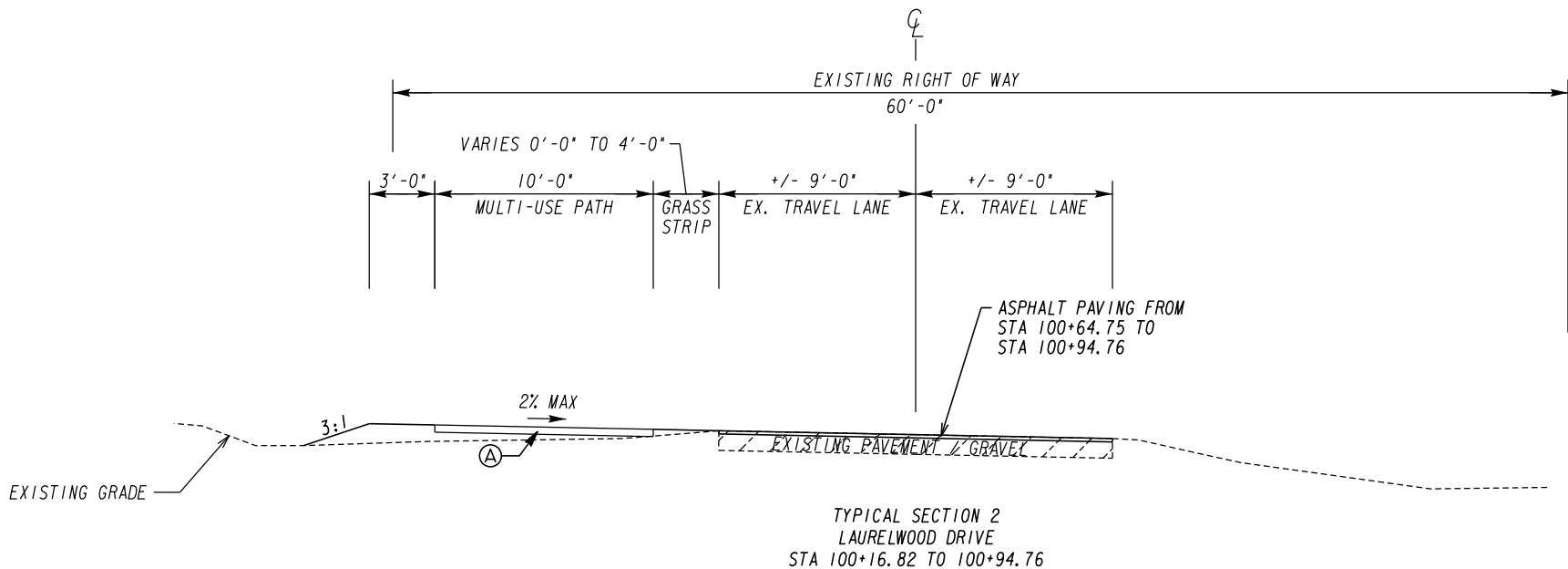
Keck+Wood
COLLABORATION BY DESIGN
3090 Premiere Parkway, Suite 200
Duluth, GA 30097
(678) 417-4000 keckwood.com

PLANS COMPLETED	
REVISIONS	

DRAWING



24" CURB AND GUTTER DETAIL
NOT TO SCALE



- (A) CONCRETE SIDEWALK, 4 IN
(B) CONCRETE CURB & GUTTER, 8"x24 GA STD. 9032B, TYPE 2
(C) GR AGGR BASE CRS, 8 INCH, INCL MATL

Keck+Wood
COLLABORATION BY DESIGN
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Duluth, GA 30097
(678) 417-4000 keckwood.com

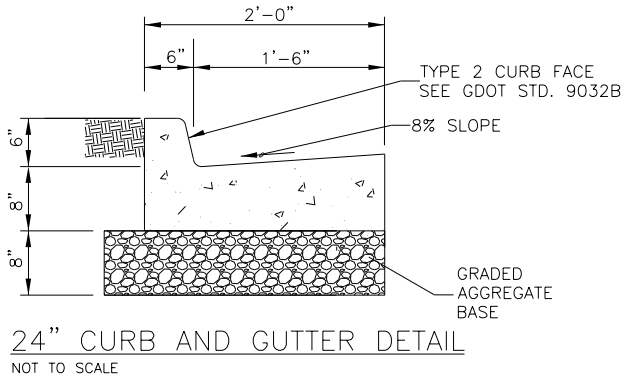
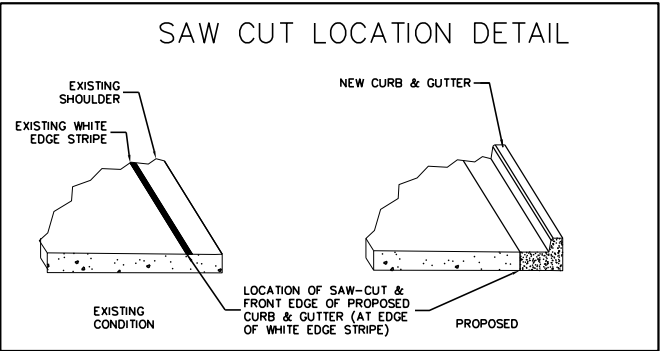
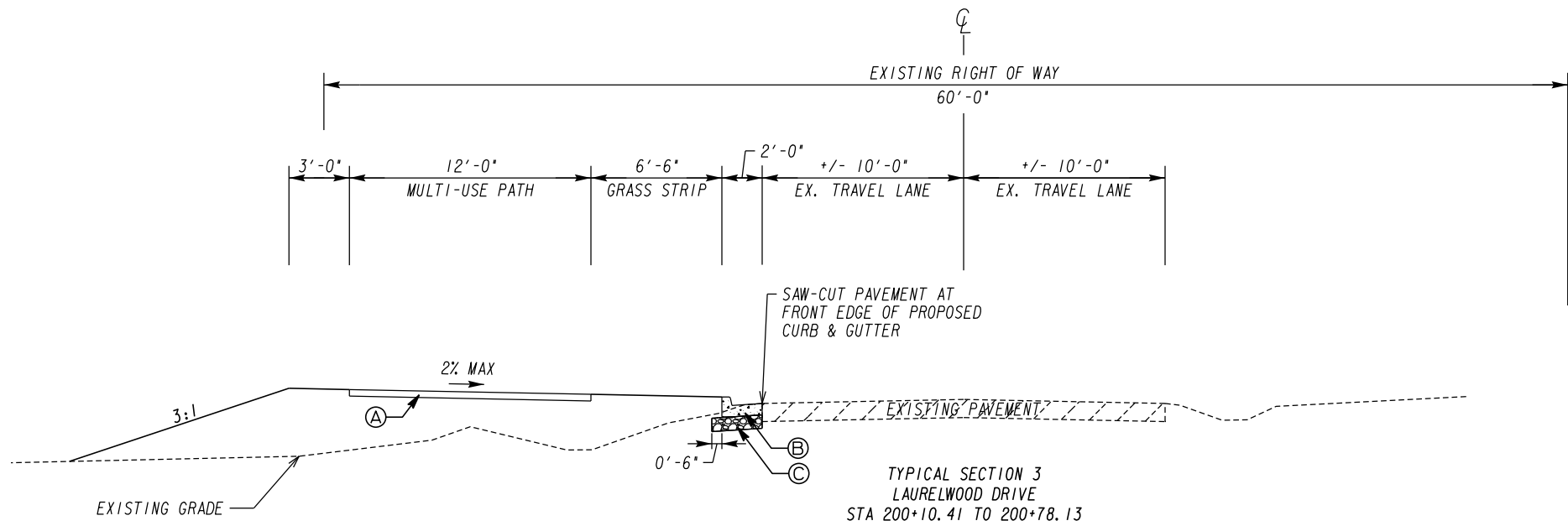
NOT TO SCALE

REVISION DATES

TYPICAL SECTIONS

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING
BACKCHECKED:	DATE:	16
CORRECTED:	DATE:	05-06-25
VERIFIED:	DATE:	



- Ⓐ CONCRETE SIDEWALK, 4 IN
- Ⓑ CONCRETE CURB & GUTTER, 8"x24 GA STD. 9032B, TYPE 2
- Ⓒ GR AGGR BASE CRS, 8 INCH, INCL MATL

Keck+Wood
COLLABORATION BY DESIGN
3090 Premiere Parkway, Suite 200
Duluth, GA 30097
(678) 417-4000 keckwood.com

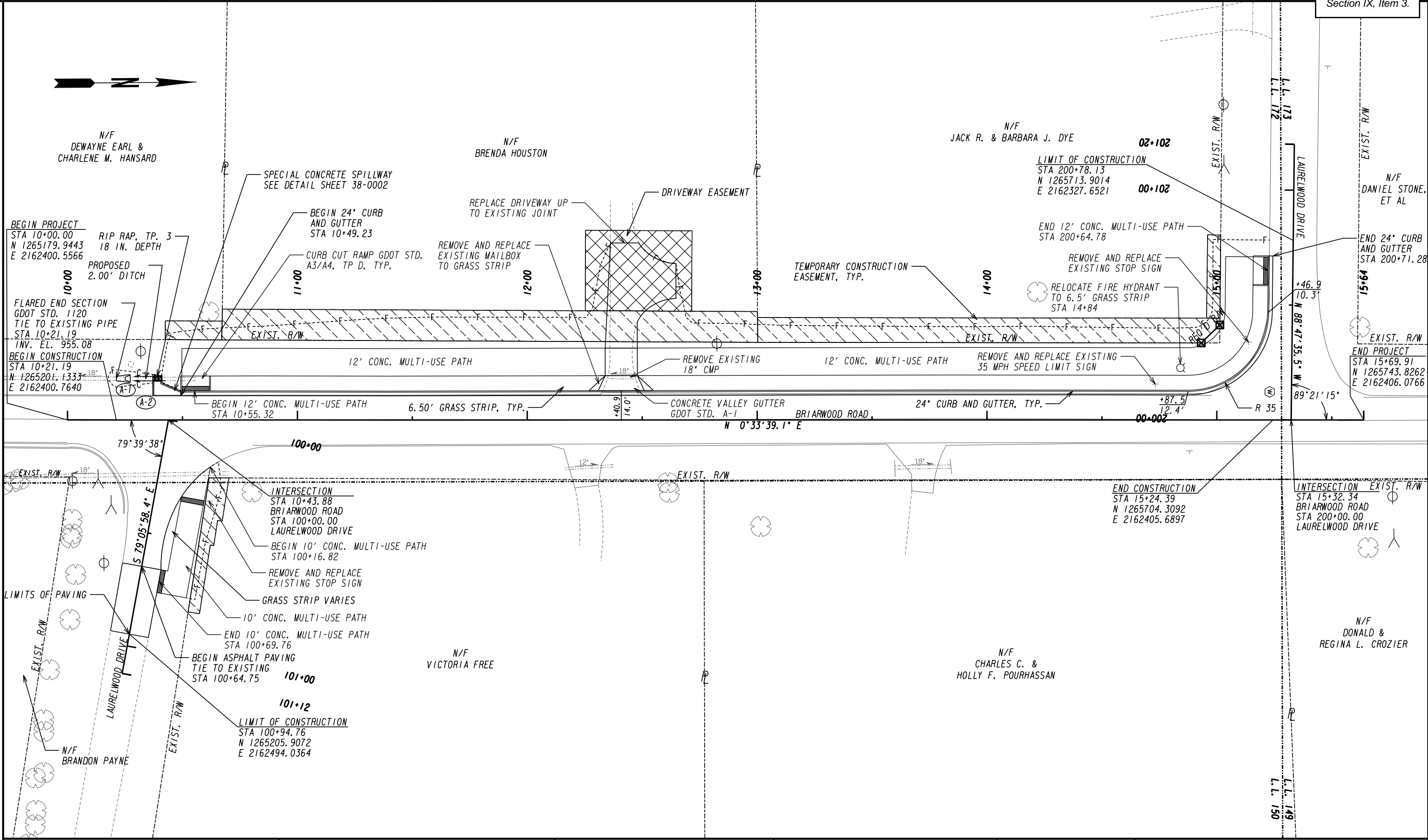
NOT TO SCALE

REVISION DATES

TYPICAL SECTIONS

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:	DATE:	DRAWING
BACKCHECKED:	DATE:	17
CORRECTED:	DATE:	05-06
VERIFIED:	DATE:	



PROPERTY AND EXISTING R/W LINE
REQUIRED R/W LINE
CONSTRUCTION LIMITS
EASEMENT FOR CONSTR
& MAINTENANCE OF SLOPES
EASEMENT FOR CONSTR OF SLOPES
EASEMENT FOR CONSTR OF DRIVES

---E---

---C---F---

BEGIN LIMIT OF ACCESS.....BLA
END LIMIT OF ACCESS.....ELA
REQ'D LIMIT OF ACCESS
REQ'D LIMIT OF ACCESS & R/W
ORANGE BARRIER FENCE
ESA - ENV. SENSITIVE AREA
(SEE ERIT TABLE)

COLLABORATION BY DESIGN
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Duluth, GA 30097
(678) 417-4000 keckwood.com

SCALE IN FEET

REVISION DATES	

CONSTRUCTION PLAN
LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

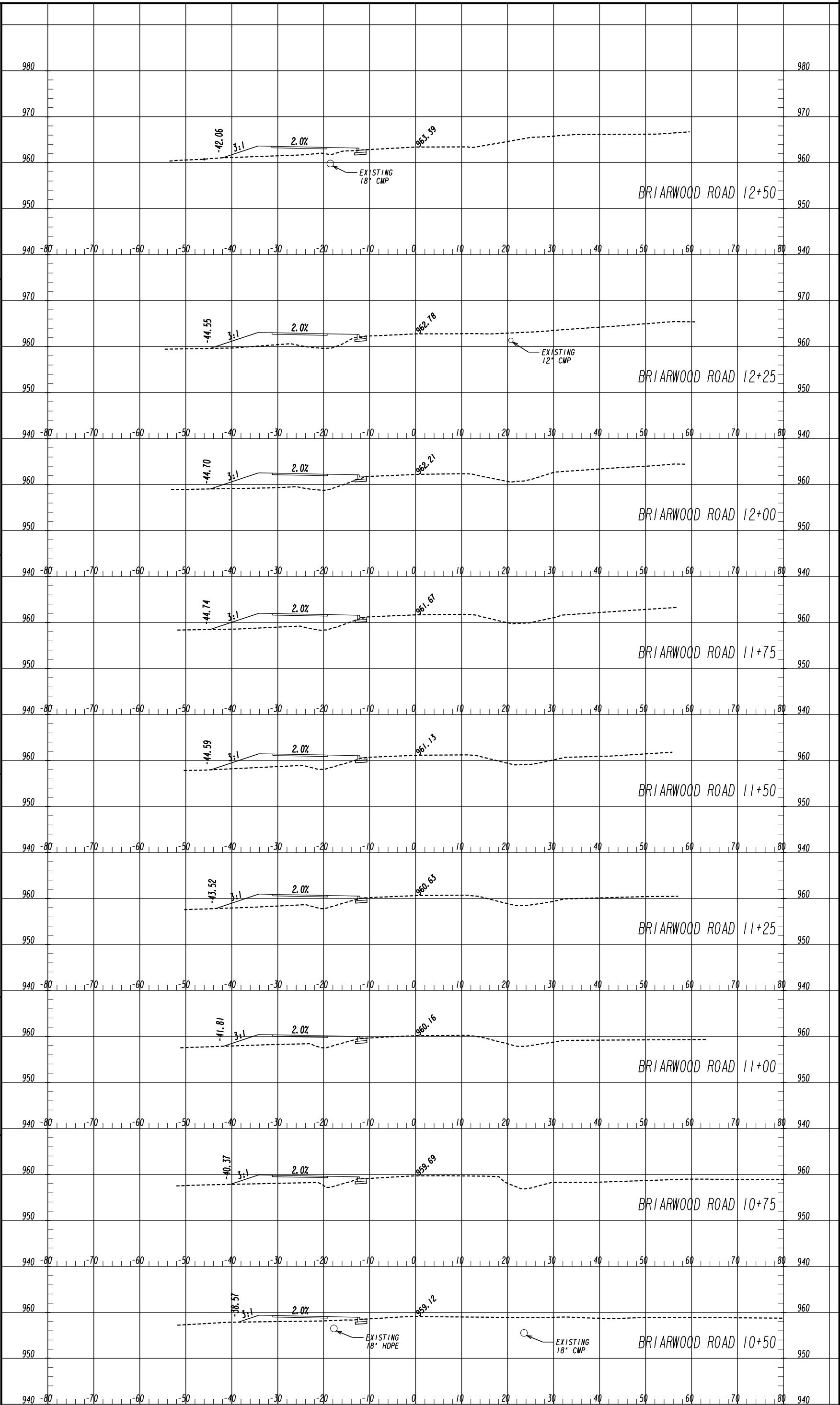
CHECKED:		DATE:	
BACKCHECKED:		DATE:	
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VERIFIED:		DATE:	

DRAWING

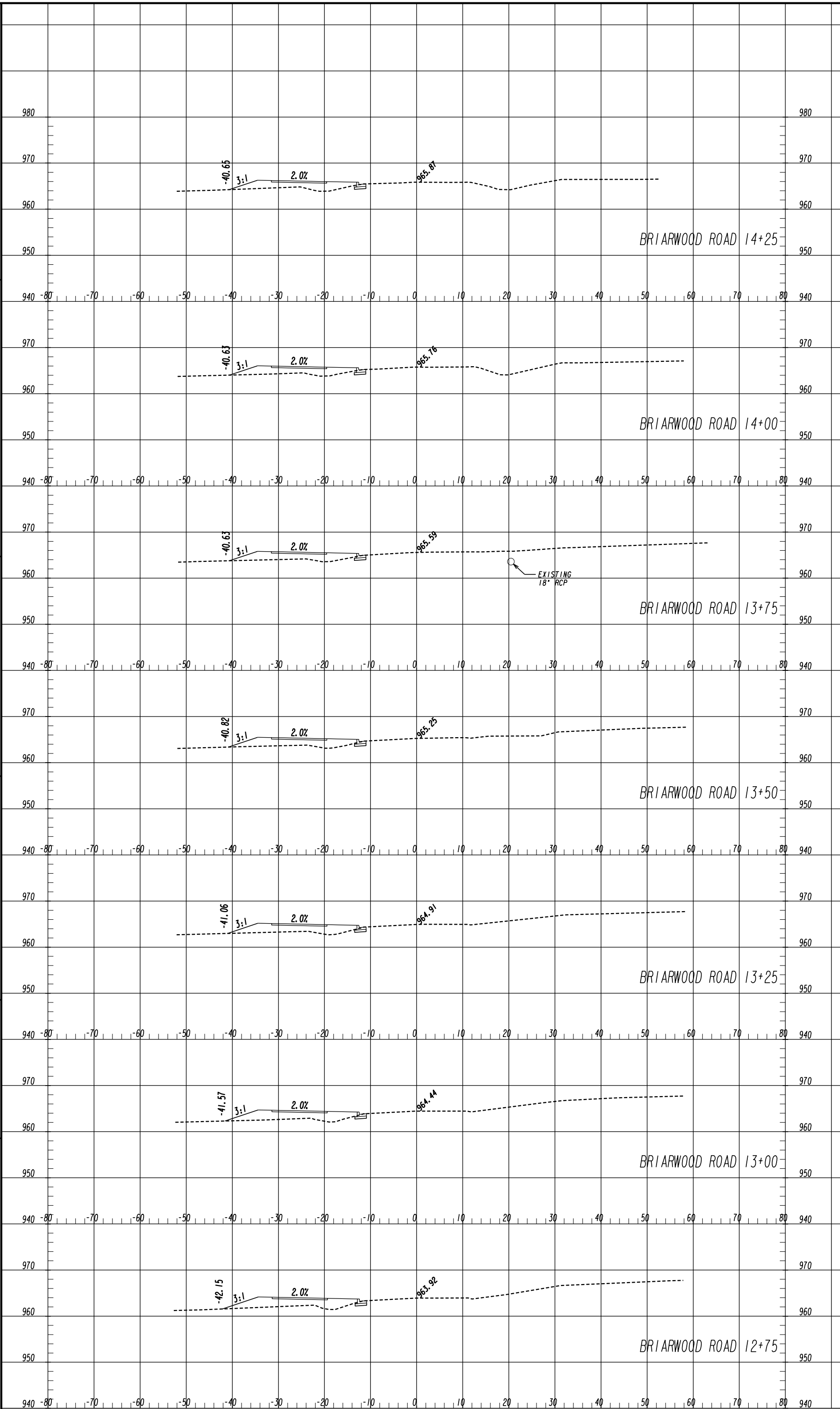
13-001

18

10/23/2015 GPLN



23-0001

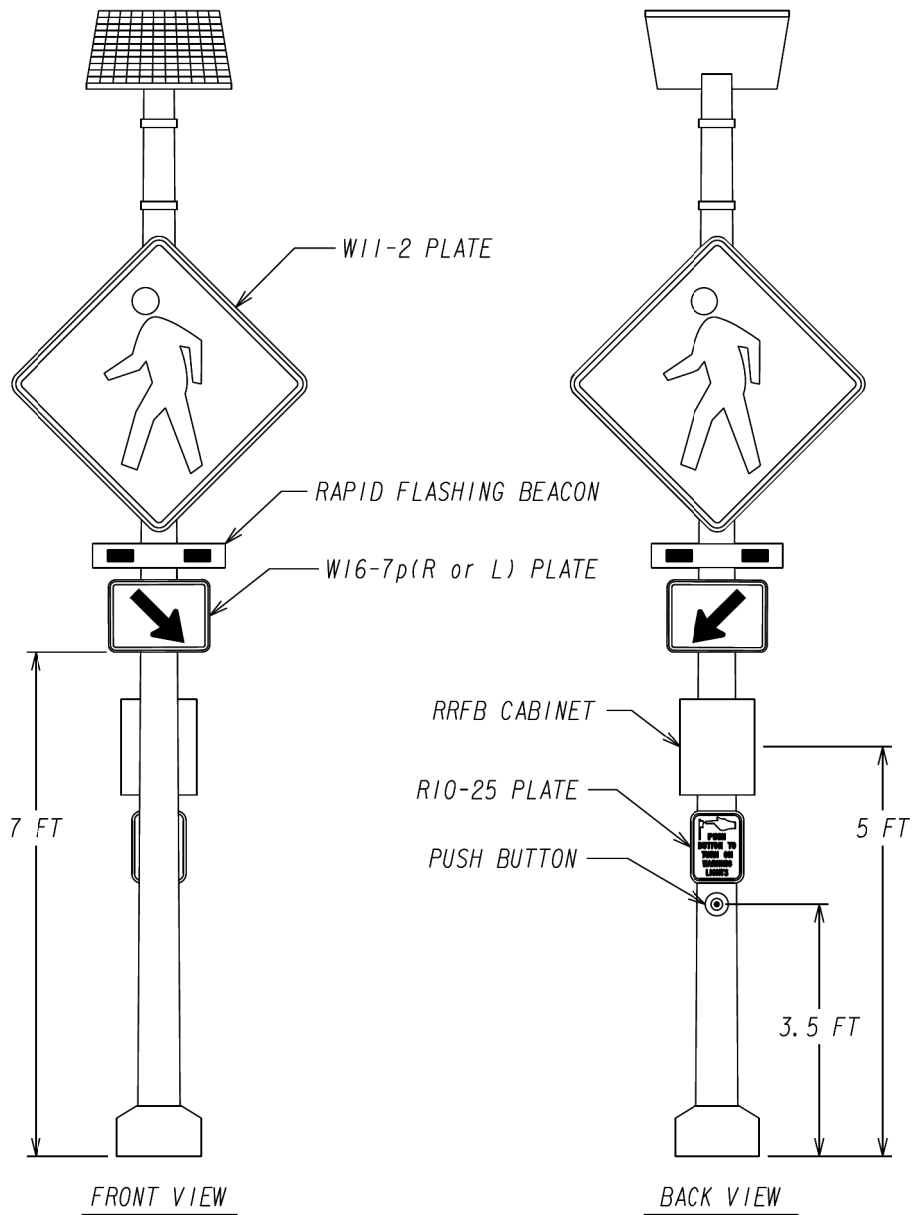


Keck+Wood
COLLABORATION BY DESIGN

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(678) 417-4000 keckwood.com

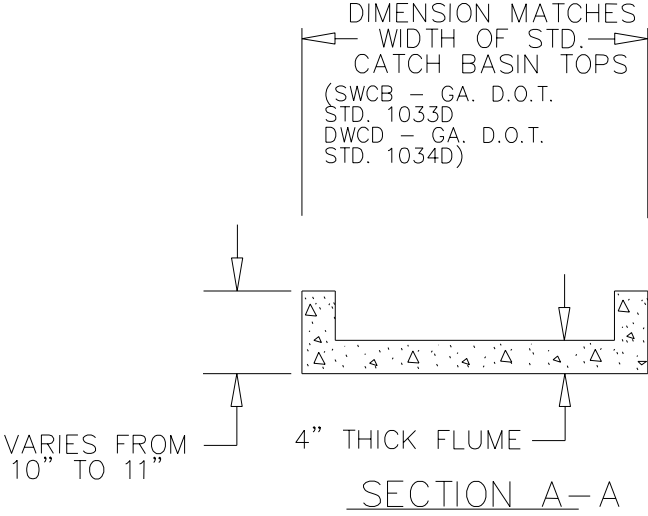
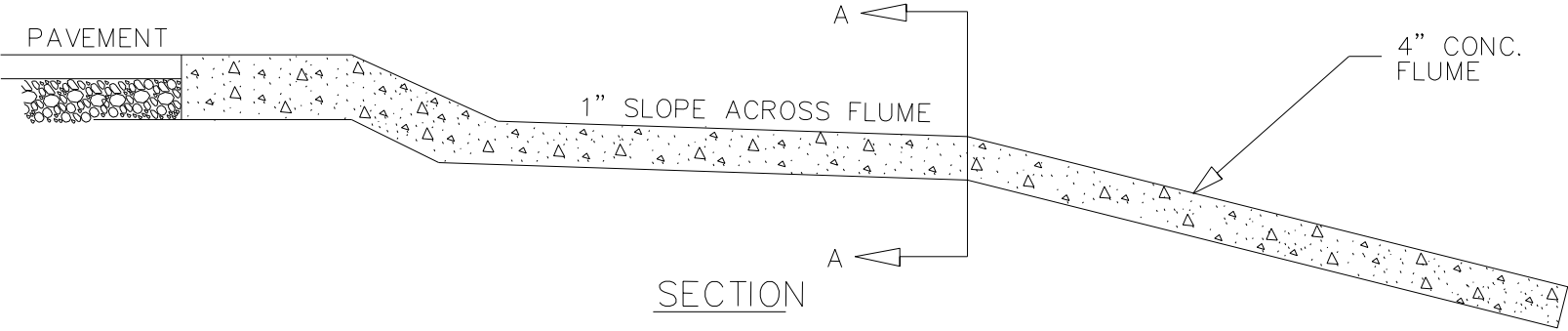
A vertical scale bar labeled "SCALE IN FEET" with markings at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments.

REVISION DATES		<div style="text-align: center;"> <h2>CROSS SECTIONS</h2> <h3>LAURELWOOD CONNECTOR MULTI-USE PATH</h3> <h3>TOWN OF TYRONE, GA</h3> </div>			
CHECKED:		DATE:		DRAWING NO.	
BLOCKCHECKED:		DATE:		23-0002	
CORRECTED:		DATE:			
VERIFIED:		DATE:			



PEDESTAL MOUNTED PEDESTRIAN RECTANGULAR RAPID FLASHING BEACON, ASSEMBLY DETAIL
NOT TO SCALE

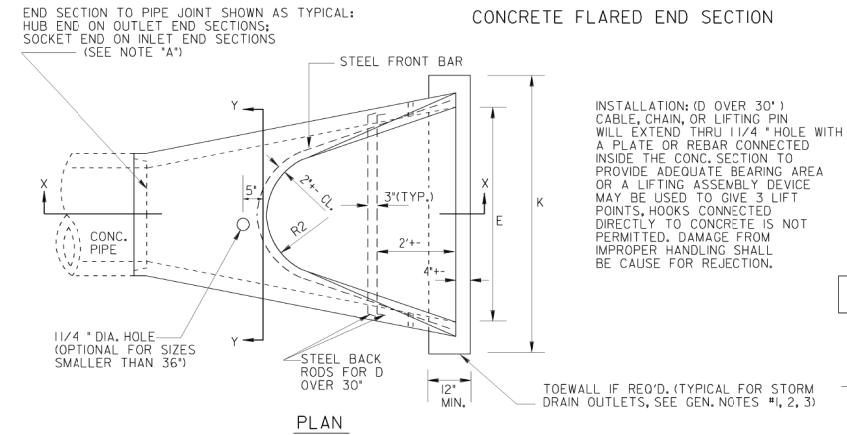
- 1. PUSH BUTTONS SHALL ACTIVATE TWO (2) RAPID FLASHING BEACONS AT A TIME.
- 2. RAPID FLASHING BEACON, W11-2 PLATES, AND W-16-7p (R OR L) PLATES SHOULD BE FACING VEHICULAR TRAFFIC, RRFB CABINET, R10-25 PLATE (PUSH BUTTON TO TURN ON WARNING LIGHTS), AND PUSH BUTTON SHOULD BE FACING INSIDE CROSSWALK.
- 3. ALL ASSEMBLIES ARE TO BE SOLAR POWERED. WIRELESS COMMUNICATION BETWEEN ASSEMBLIES IS REQUIRED
- 4. REFER TO GDOT DETAIL TS-03 (SHEET 41-0003) AND TS-06 (SHEET 41-0004) FOR FOUNDATION AND GROUNDING DETAILS



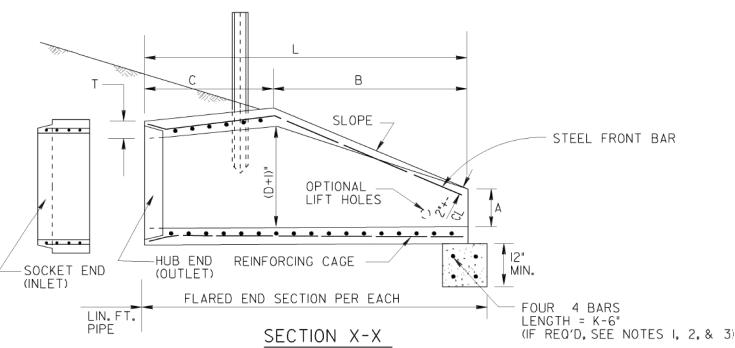
SPECIAL CONCRETE SPILLWAY DETAIL
N.T.S.

(SEE PLANS FOR LOCATIONS)

9/6/2006 9:44:21 AM \\GDOT-C581\GDOT\0CF\gq_11f_eap\ppl_gcf_gw\pss_M:\GARY\REVISED_1120\1120.plt 60-R06



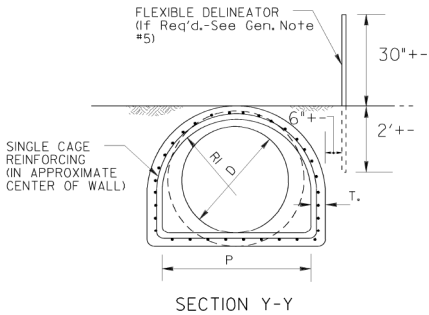
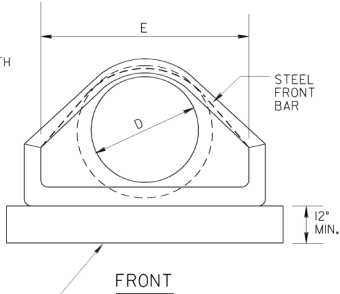
NOTE: DO NOT CUT CONCRETE PIPE. USE FULL LENGTH SECTIONS ONLY.
WARP SLOPE TO CONFORM WITH PIPE LENGTH AND END SECTION.



DIMENSIONS AND REINFORCING FOR CONCRETE FLARED END SECTIONS (± 1" TOLERANCE)												OUTLET TOEWALL (IF REQ'D)	
PIPE DIA	FRONT BAR	BACK RODS	SLOPE ±	A	B	C	L	E	P	R1	R2	K ± E + 2'	CULVRS. CONC.
12"	1-#3 x 5' 4"	NOT REQ'D.	2.2%	4"	2'0"	4'1"	6'1"	2'0"	1'8"	10"	9"	4'-0"	.148
15"	1-#3 x 6' 0"	NOT REQ'D.	2.2%	6"	2'3"	3'10"	6'1"	2'6"	2'0"	1'0"	11"	4'-6"	.167
18"	1-#3 x 7' 2"	NOT REQ'D.	2.2%	9"	2'3"	3'10"	6'1"	3'0"	2'5"	1'4"	1'0"	5'-0"	.185
24"	1-#3 x 9' 10"	NOT REQ'D.	2.4%	10"	3'8"	2' 6"	6'2"	4'0"	2'9"	1'5"	1'2"	6'-0"	.222
30"	1-#4 x 11' 8"	NOT REQ'D.	2.4%	12"	4'6"	1' 8"	6'2"	5'0"	3'1"	1'6"	1'3"	7'-0"	.259
36"	1-#4 x 13' 10"	2-#4 x 6' 3"	2.4%	15"	5'3"	2'11"	8'2"	6'0"	4'0"	2'0"	1'8"	8'-0"	.296
42"	1-#4 x 13' 10"	2-#4 x 7' 4"	2.4%	21"	5'3"	2'11"	8'2"	6'6"	4'6"	2'4"	1'10"	8'-6"	.35

NOTE: SPECIFIED REINFORCING IS MINIMAL AND MAY BE INCREASED AT PRODUCERS OPTION TO
AID CASTING & HANDLING. ALTERNATE REINFORCEMENT PERMITTED IF APPROVED.

* NOTE: "C" AND "L" DIMENSION MAY BE MEASURED TO EITHER END OF JOINT
CONNECTION AT PIPE.



SPECIAL NOTE:
FLARED END SECTIONS ARE NORMALLY LIMITED TO
USE OUTSIDE THE CLEAR ZONE OR BEHIND BARRIER AND
WHERE HYDRAULICS PERMIT. SEE OTHER STANDARDS OR
DETAILS FOR TAPERED HEADWALLS, SAFETY SLOPE END
SECTIONS OR OTHER PIPE END STRUCTURES.

GENERAL NOTES :

- TOEWALLS ARE REQ'D. FOR OUTLETS OF CONC. STORM DRAINS, EXCEPT WHERE DITCH PAVING OR OTHER EROSION PROTECTION
IS PROVIDED OR WHERE THE OUTLET VELOCITY IS LESS THAN 8 FT/SEC. TOEWALLS ARE NOT REQUIRED FOR SIDE DRAINS,
SLOPE DRAINS OR INLETS OF STORM DRAINS THIS CRITERIA MAY BE VARIED WHERE SPECIFIED BY THE DESIGNER OR THE ENGINEER.
- TOEWALLS WILL BE PAID FOR AS CULVRS. OF CLASS "A" OR "B" CONCRETE. CONTRACTOR MAY ELECT TO CONSTRUCT TOE WALL WITH
"SAND CEMENT RAG RIPRAP" OR STONE RIPRAP TO SAME MINIMUM DIMENSIONS WITH NO ADDITIONAL PAYMENT.
- PRECAST TOEWALLS SHALL BE CL. "A" CONCRETE; CAST-IN-PLACE TOEWALLS MAY BE CL. "A" OR "B" CONCRETE AND MAY BE TRENCH FORMED, WHERE PLANS ITEMIZE ONE
CLASS OF CONCRETE AND CONTRACTOR ELECTS TO USE OTHER CLASS, NO ADDITIONAL PAYMENT IS MADE. NO PAYMENT IS MADE FOR STEEL IN TOEWALL.
- CENTERLINE OF FLARED END SECTION WILL ALIGN WITH CENTERLINE OF PIPE, IF PIPE IS SKEWED, THE EMBANKMENT SLOPE WILL BE
WARPED TO CONFORM WITH END SECTION.
- FLEXIBLE DELINEATORS SHALL BE REQUIRED AT CROSS DRAIN FLARED END SECTIONS, BOTH INLET AND OUTLET. PAY-
MENT FOR FLARED END SECTION WILL INCLUDE DELINEATORS, SEE DETAIL AND NOTES BELOW. DELINEATORS NOT REQ'D.
FOR SIDE DRAIN, SLOPE DRAIN, OR LONG PIPE.

1" X 12" LONG YELLOW REFLECTIVE
SHEETING TYPE IX, ON EACH SIDE
OF RIDGE.

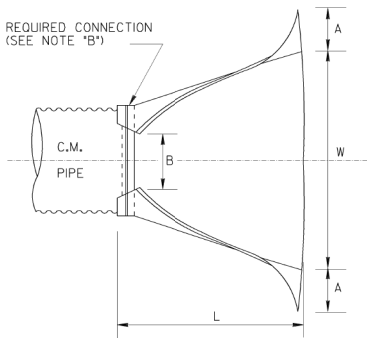
DELINEATOR POST SECTION (TYP.)

NOTE:
DELINEATOR POST SHALL CONFORM TO SEC. 910 FOR FLEXIBLE DELINEATOR POST EXCEPT REFLECTIVE SHEETING IS NOT REQUIRED
AND LENGTH IS 4'-6" FROM TOP TO BOTTOM POINT. ALTERNATES PERMITTED IF APPROVED BY D.O.T. LABORATORY.

SPECIAL NOTE :

PIPE SIZES (D) ARE "NOMINAL" MINIMUM INSIDE DIAMETERS IN ACCORDANCE WITH GEORGIA
STANDARD FOR PIPE CULVERTS. "D" DIMENSION FOR FLARED END SECTION SHALL EQUAL THE
"D" DIMENSION FOR CONNECTING PIPE CULVERT.

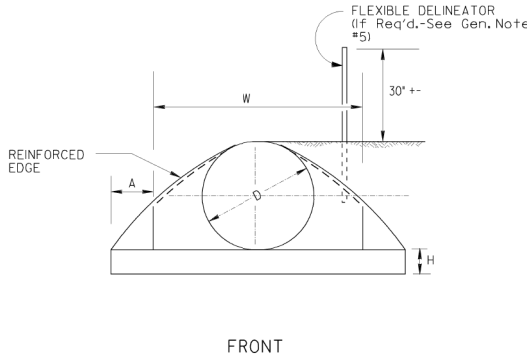
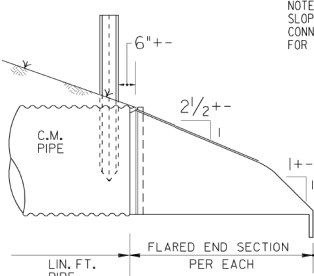
METAL FLARED END SECTION (USE ONLY WITH COR. METAL PIPE)



NOTE: GALVANIZED STEEL FLARED END SECTIONS ARE TO BE USED
ONLY WITH CORRUGATED STEEL PIPE AND ALUMINUM FLARED
END SECTIONS ARE TO BE USED ONLY WITH CORRUGATED
ALUMINUM PIPE UNLESS OTHERWISE APPROVED BY D.O.T.
OFFICE OF MATERIALS AND TESTS.

FLARED END SECTION DIMENSIONS						
PIPE SIZE "D"	THICKNESS		A = 0.4D ± 1"	B = 0.5 D ± 1"	H = 0.25D ± 1" (MIN. 6")	L = 1.67D ± 1 1/2'
	GALV. STEEL	ALUM.				W = 2.0D ± 2'
12"	.064"	.060"	5"	6"	6"	1'8"
15"	.064"	.060"	6"	7"	6"	2'3"
18"	.064"	.060"	7"	9"	6"	2'6"
24"	.064"	.060"	9"	1'0"	6"	3'4"
30"	.079"	.085"	1'0"	1'3"	7"	4'2"
36"	.079"	.085"	1'2"	1'6"	9"	5'0"
42"	.099"	.164"	1'5"	1'9"	10"	5'10"

NOTE: WHERE METAL FLARED END SECTIONS ARE USED WITH MULTIPLE PIPE LINES, THE STANDARD SPACING
BETWEEN PIPES (S=D OR 3 FT.) MAY HAVE TO BE INCREASED (S=1.75 D TYPICAL). TO PREVENT OVER-
LAP OF END SECTION WINGTIPS, SEE ALSO STD. 10300.



NOTE "B":

THE CONNECTION BETWEEN METAL FLARED END SECTION AND C.M. PIPE WILL BE ONE OF THE
FOLLOWING:

- A STRAP BAND OR THREADED ROD PROVIDED BY THE MANUFACTURER WILL LOCK END SECTION
ONTO PIPE. A CORRUGATION AT THE PIPE AND WILL BE NON-SPIRALED (PERPENDICULAR
TO CL OF PIPE.)
- A DIMPLE BAND COLLAR WILL BE SHOP BOLTED TO END SECTION. PIPE WILL BE INSERTED
INTO BAND COLLAR TO MEET THE END SECTION.
- A STUB PIPE WILL BE RIVETED TO THE END SECTION AND THE MAIN PIPE CONNECTED TO
THE STUB WITH A NORMAL CONNECTING BAND.
- OTHER TYPE CONNECTION IF RECOMMENDED BY MANUFACTURER AND APPROVED BY THE
D.O.T.

			6-9-06	DATE	DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA
			REV. REFLECTIVE SHEETING	REVISION	STANDARD FLARED END SECTIONS FOR PIPES
			GLO	BY	NO SCALE
			CHK.	CHK.	REV. & REDR. SEPT., 1999
					(SUBMITTED) <i>B. A. H.</i> STATE ROAD & AIRPORT DESIGN ENGINEER
					(APPROVED) <i>O. S. H.</i> CHIEF ENGINEER
					NUMBER 1120

REVISION DATES

GEORGIA STANDARDS

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:		DRAWING	26
BACKCHECKED:		DATE:			
CORRECTED:		DATE:			
VERIFIED:		DATE:			

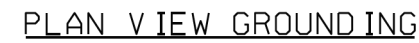
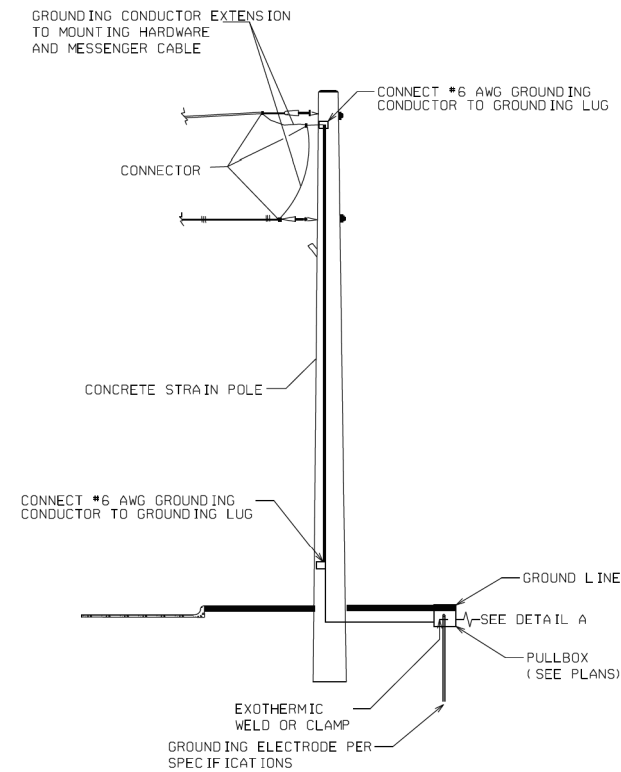


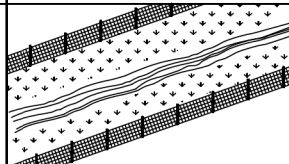
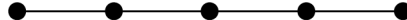
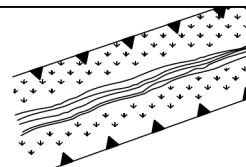

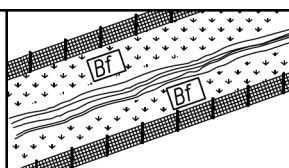

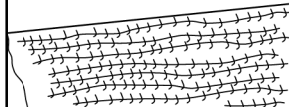



Diagram illustrating the installation of a ground rod. The diagram shows a vertical rod (1" GALVANIZED RIGID STEEL OR PVC CONDUIT) extending from the ground surface down into the earth. A GROUNDING CONDUCTOR is attached to the rod via a GROUNDING LUG. The rod is connected to a GROUND CONNECTOR at the top. A GROUNDING CONDUCTOR is also shown running horizontally along the ground line. A DRAIN LOOP is indicated near the top of the rod. A PULLBOX (SEE PLANS) is shown at the base of the rod, with a GROUND LINE extending from it. A 12" MIN. DEPTH OF GROUNDING CONDUCTOR is specified. An EXOTHERMIC WELD OR CLAMP is shown at the base of the rod. A GROUNDING ELECTRODE PER IFCAT IONS is indicated at the bottom of the rod.


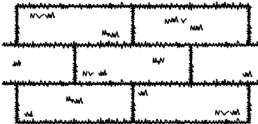
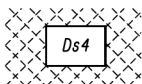
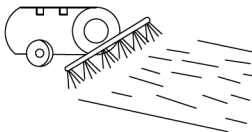
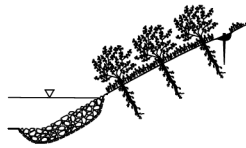

STEEL STRAIN POLE GROUNDING WITH PULLBOX OPTION



CONCRETE STRAIN POLE GROUNDING WITH PULLBOX OPTION

				DATE	DEPARTMENT OF TRANSPORTATION	
					STATE OF GEORGIA	
				REVISION	CONSTRUCTION DETAIL	
					GROUNDING FOR TRAFFIC	
					SIGNAL SUPPORT STRUCTURES	
				BY	NOVEMBER 2020	NUMBER
					NO SCALE	TS-06

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
	ORANGE BARRIER FENCE		ORANGE BARRIER FENCE DELINEATES ENVIRONMENTALLY SENSITIVE AREAS WHERE THE CONTRACTOR SHALL NOT CLEAR, GRUB, OR PLACE CONSTRUCTION MATERIALS OR EQUIPMENT WITHIN THIS AREA.
	LINE CODE  ORANGE BARRIER FENCE		
ESA	ENVIRONMENTALLY SENSITIVE AREA		AN ENVIRONMENTALLY SENSITIVE AREA (ESA) CONTAINS RESOURCES THAT ARE ENVIRONMENTALLY, CULTURALLY, OR HISTORICALLY SENSITIVE. ESAs INCLUDE, BUT ARE NOT LIMITED TO: STATE WATER BUFFERS, HISTORIC SITES, ARCHAEOLOGICAL SITES, AND PROTECTED ANIMAL AND PLANT SPECIES HABITATS. IF WORK IS AUTHORIZED IN THIS AREA, THE WORK MUST BE PERFORMED IN ACCORDANCE WITH SECTION 107 AND ANY OTHER APPLICABLE SPECIAL PROVISIONS AND APPLICABLE PLAN NOTES.
	LINE CODE  ESA-25' (OR 50') STREAM BUFFER, ETC.		
Bf	BUFFER ZONE		A STRIP OF UNDISTURBED ORIGINAL VEGETATION, ENHANCED OR RESTORED EXISTING VEGETATION, OR THE RE-ESTABLISHMENT OF VEGETATION SURROUNDING AN AREA OF DISTURBANCE OR BORDERING STREAMS, PONDS, WETLANDS, LAKES, AND COASTAL WATERS. WHEN NECESSARY, BUFFER ZONES ARE TO BE PROTECTED BY ORANGE BARRIER FENCE.
	SYMBOL 		
Ds1	MULCH SECTION 163		THIS IS AN APPLICATION OF STRAW MULCH USED TO REDUCE SOIL EROSION AND STABILIZE THE SOIL. IT IS USED TO CONTROL EROSION IN AREAS WHERE PERMANENT VEGETATION IS OUT OF SEASON OR TO TEMPORARILY STABILIZE AREAS PRIOR TO FINAL GRADING. MULCHING REQUIREMENTS ARE ADDRESSED BY STANDARD SPECIFICATIONS AND/OR THE PROJECT ENGINEER. THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
	SYMBOL 		
Ds2	TEMPORARY GRASSING SECTION 163, 700		THE SOWING OF A QUICK GROWING SPECIES OF GRASS SUITABLE TO THE AREA AND SEASON. IT IS TYPICALLY USED TO CONTROL EROSION IN AREAS LONGER THAN MULCHING IS EXPECTED TO LAST. TEMPORARY GRASSING SHOULD BE USED ON ALL PROJECTS ACCORDING TO THE STANDARD SPECIFICATIONS. THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
	SYMBOL 		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ds3	PERMANENT GRASSING SECTION 700		THE SOWING OF PERMANENT VEGETATION, SUCH AS GRASS, SUITABLE TO THE AREA AND SEASON. PERMANENT VEGETATION SHALL BE USED ON ALL PROJECTS ACCORDING TO THE STANDARD SPECIFICATION. THE BMP SYMBOL FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
	SYMBOL <div>Ds3</div>		
Ds4	SODDING CONSTRUCTION DETAIL D-54 SECTION 700, 890		THE INSTALLATION OF A SPECIES OF GRASS SODDING SUITABLE TO THE AREA AND SEASON TO PROVIDE IMMEDIATE PERMANENT VEGETATION. SODDING MAY BE SHOWN FOR HIGHLY SENSITIVE AREAS, TO IMPROVE AESTHETICS, OR FOR SPECIAL PLANTING REQUIREMENTS ON THE BASIS OF ENVIRONMENTAL COMMITMENTS OR LANDSCAPING REQUIREMENTS. THE BMP PATTERN FOR APPLICABLE AREAS AND/OR A NOTE SHALL BE INCLUDED ON APPLICABLE SHEETS IN SECTION 54.
	PATTERN 		
F1-Co	FLOCCULANTS COAGULANTS SECTION 163, 700, 895		FLOCCULANTS AND COAGULANTS ARE USED TO SETTLE SUSPENDED SEDIMENT, HEAVY METALS, AND HYDROCARBONS (TSS) IN SLOW MOVING RUNOFF FROM CONSTRUCTION SITES FOR WATER CLARIFICATION. ANIONIC POLYACRYLAMIDES (PAM) MAY BE USED IN CONJUNCTION WITH BMPs WITHIN CHANNELS UPSTREAM OF A POST-CONSTRUCTION POND, TEMPORARY SEDIMENT BASIN, OR TEMPORARY SEDIMENT TRAP. FLOCCULANTS SHALL NOT BE USED DOWNSTREAM OF AFOREMENTIONED BMPs! FLOCCULANTS/COAGULANTS ARE TO BE SHOWN ON PLANS WITH APPLICABLE BMP IF NEEDED. PAYMENT FOR PAM AS A FLOCCULANT WILL BE INCLUDED IN THE PRICE FOR THE INSTALLATION AND/OR MAINTENANCE OF THE BMP IT IS USED IN CONJUNCTION WITH. NO SEPARATE PAYMENT WILL BE MADE.
	SYMBOL <div>F1-Co</div> POLYACRYLAMIDE		
Sb	STREAMBANK STABILIZATION SECTION 702		STREAMBANK STABILIZATION IS THE USE OF READILY AVAILABLE NATIVE PLANT MATERIALS TO MAINTAIN AND ENHANCE STREAMBANKS, OR TO PREVENT, OR RESTORE AND REPAIR SMALL STREAMBANK EROSION PROBLEMS. STREAMBANK STABILIZATION AREAS SHOULD BE SHOWN ON THE PLANS WHEN APPLICABLE TO THE PROJECT. REFER TO THE PROJECT'S STREAM AND STREAM BUFFER MITIGATION PLANS FOR PLANT SPECIES, LOCATIONS, AND OTHER PLANTING DETAILS.
	PATTERN 		

NOTE:



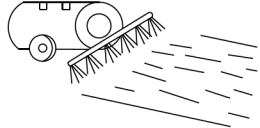

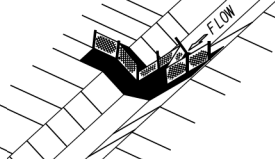

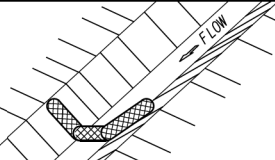

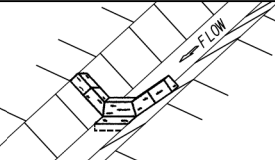

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

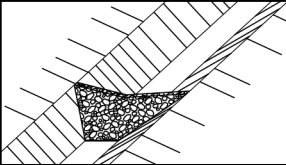

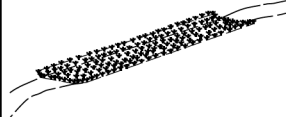

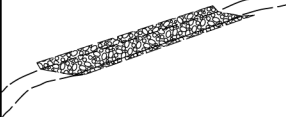

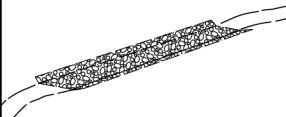

REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:		DRAWING	29
BACKCHECKED:		DATE:			
CORRECTED:		DATE:			
VERIFIED:		DATE:			

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ss	SLOPE STABILIZATION CONSTRUCTION DETAIL D-35 SECTION 716		SLOPE STABILIZATION (EROSION CONTROL MATTING) IS A PROTECTIVE COVERING USED TO PREVENT EROSION AND ESTABLISH TEMPORARY OR PERMANENT VEGETATION ON STEEP SLOPES, SHORE LINES, OR CHANNELS. SLOPE STABILIZATION MAY BE A ROLLED EROSION CONTROL PRODUCT (RECP) OR A HYDRAULIC EROSION CONTROL PRODUCT (HECP). SLOPE STABILIZATION SHALL BE USED ON ALL CUT OR FILL SLOPES OF 2.5:1 OR STEEPER AND WITHIN 50 FEET OF ALL CROSS DRAINS AND CULVERTS. NOTE: ONLY COCONUT FIBER BLANKET OR WOOD FIBER BLANKET SHALL BE USED AS SLOPE STABILIZATION WITHIN BUFFERED AREAS.
	PATTERN 		
Tac	TACKIFIERS SECTION 163, 700, 895		TACKIFIERS HYDRATE IN WATER AND READILY BLEND WITH OTHER SLURRY MATERIALS AND ARE USED TO TIE-DOWN FOR SOIL, COMPOST, SEED, STRAW, HAY OR MULCH. TACKIFIERS REQUIREMENTS, SUCH AS ANIONIC POLYACRYLAMIDES (PAM) ARE ADDRESSED BY STANDARD SPECIFICATIONS AND ARE NOT TYPICALLY SHOWN ON THE PLANS. PAM IS TYPICALLY USED BY THE CONTRACTOR FOR TEMPORARY OR PERMANENT GRASSING. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR CRITERIA.
	SYMBOL  POLYACRYLAMIDE		
Cd-F	FABRIC CHECK DAM CONSTRUCTION DETAIL D-24D SECTION 171		A CHECK DAM COMPOSED OF SYNTHETIC FIBER FABRIC, WIRE REINFORCED, POST, OVERFLOW WEIR, AND TURF REINFORCEMENT MATTING (TRM) SPLASHPAD PLACED IN DITCHES IN A SPECIAL CONFIGURATION WHICH CONTROLS ENERGY DISSIPATION AND FILTRATION OF STORM WATER. SEE CONSTRUCTION DETAIL D-24D FOR ADDITIONAL INFORMATION AND SPACING REQUIREMENTS. THIS ITEM IS SUITABLE FOR USE IN ROADSIDE DITCHES THAT ARE PART OF INFRASTRUCTURE CONSTRUCTION PROJECTS AND WITHIN THE CLEAR ZONE. IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
	SYMBOL 		
Cd-Fs	COMPOST FILTER SOCK CHECK DAM CONSTRUCTION DETAIL D-52 SECTION 163		A COMPOST FILTER SOCK CHECK DAM IS COMPOSED OF A PHOTODEGRADABLE OR BIODEGRADABLE KNITTED MESH MATERIAL CONTAINING A WEED FREE FILLER MATERIAL DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THEY SHALL BE PROPERLY STAKED FOR DITCH APPLICATIONS. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR MATERIAL SPECIFICATIONS. IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
	SYMBOL 		
Cd-Hb	BALED STRAW CHECK DAM CONSTRUCTION DETAIL D-52 SECTION 163		A BALE STRAW CHECK DAM IS COMPOSED OF BALES PREFERABLY BOUND WITH WIRE OR NYLON INSTEAD OF TWINE. BALES SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING ADJACENT BALES. THE DOWNSTREAM ROW OF BALES SHALL BE PLACED IN A TRENCH TO ALLOW THE TOP OF THE BALE'S LONG, WIDE SIDE TO BE LEVEL WITH THE GROUND AS A NON-ERODIBLE SPLASHPAD. PROPER STAKING IS ALSO REQUIRED FOR DITCH APPLICATIONS. IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
	SYMBOL 		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Cd-S	STONE CHECK DAM OR SANDBAG CHECK DAM CONSTRUCTION DETAIL D-56 SECTION 163, 603		STONE CHECK DAMS ARE CONSTRUCTED OF TYPE-3 RIP-RAP WITH GEOTEXTILE UNDERLINER. STONE CHECK DAMS ARE PREFERRED IN ROADWAY DITCHES OUTSIDE THE CLEAR ZONE. CONSIDERATION SHOULD BE GIVEN TO USING OTHER APPROPRIATE CHECK DAMS AND/OR BMPs WITHIN THE CLEAR ZONE. SANDBAG CHECK DAMS ARE RECOMMENDED IN CONCRETE LINED CHANNELS FOR TEMPORARY VELOCITY CONTROL ONLY. ENSURE DISCHARGE POINT IS PROPERLY STABILIZED AND INCLUDE APPROPRIATE BMPs FOR SEDIMENT STORAGE UPSTREAM AND/OR DOWNSTREAM OF CONCRETE LINED CHANNELS. IF THIS ITEM IS USED IN AN AREA WITH FLOWS GREATER THAN 2.0-CFS OR WITHOUT A SEDIMENT BASIN, A MINIMUM OF ONE ROCK FILTER DAM SHALL BE USED AT THE DOWNSTREAM DISCHARGE POINT.
	SYMBOL 		
Ch-1	VEGETATED CHANNEL STABILIZATION SECTION 700		A NEW OR EXISTING CHANNEL MAY BE LINED WITH PERMANENT VEGETATION ONLY FOR VELOCITIES UP TO 5.0 fps. THIS MEASURE SHALL BE DESIGNED IN ACCORDANCE WITH THE GDOT CHANNEL LINING DESIGN PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED. TYPICALLY NOT SHOWN IN PLANS.
	LINE CODE 		
Ch-2R1	CHANNEL STABILIZATION RIP-RAP, TYPE 1 CONSTRUCTION DETAIL D-49 SECTION 603		THIS ITEM CONSISTS OF LINING A CHANNEL WITH TYPE 1 RIP-RAP 24" THICK (UNLESS SPECIFIED OTHERWISE) PLACED ON TOP OF A GEOTEXTILE UNDERLINER. THE RIP-RAP SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED. "Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
	LINE CODE 		
Ch-2R3	CHANNEL STABILIZATION RIP-RAP, TYPE 3 CONSTRUCTION DETAIL D-49 SECTION 603		THIS ITEM CONSISTS OF LINING A CHANNEL WITH TYPE 3 RIP-RAP 24" THICK (UNLESS SPECIFIED OTHERWISE) PLACED ON TOP OF A GEOTEXTILE UNDERLINER. THE RIP-RAP SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED. "Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
	LINE CODE 		

NOTE:

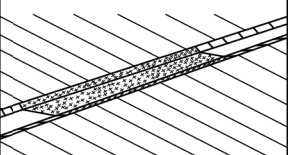

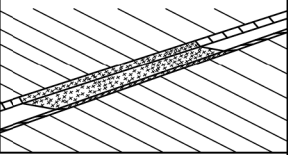
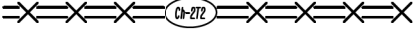
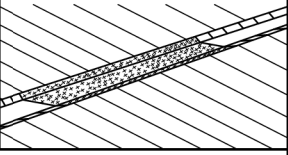
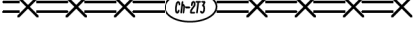
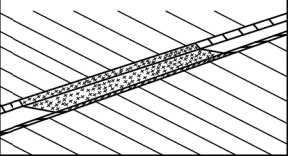
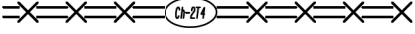
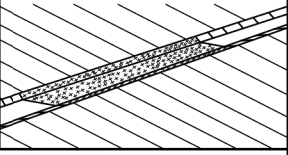
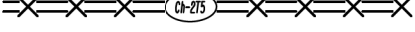
1. DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
2. FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

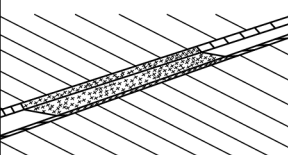
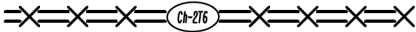
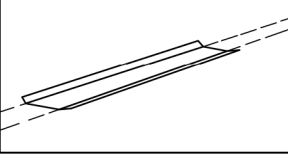

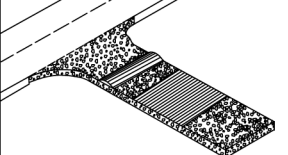

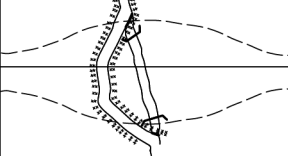

REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:		DRAWING	
BACKCHECKED:		DATE:			
CORRECTED:		DATE:			
VERIFIED:		DATE:			

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ch-271	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-2 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-272	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-4 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-273	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-6 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-274	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-8 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-275	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-10 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Ch-276	TURF REINFORCEMENT MAT (TRM) CONSTRUCTION DETAIL D-35 SECTION 711		THIS THREE DIMENSIONAL EROSION CONTROL MAT IS USED IN CONJUNCTION WITH PERMANENT VEGETATION IN CHANNELS TO STABILIZE THE SOIL BY REINFORCING THE GRASS ROOTS TO PROVIDE LONG-TERM PROTECTION FOR SHEAR STRESSES 0-12 psf. THE TRM SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
Ch-3	CONCRETE CHANNEL STABILIZATION CONSTRUCTION DETAIL D-10, D-49 SECTION 441		CHANNELS ARE LINED WITH CONCRETE FOR VELOCITIES >10 fps. THIS ITEM CONSISTS OF CONSTRUCTING A 4" THICK CONCRETE CHANNEL. THE CONCRETE SHALL PROTECT THE CHANNEL FLOWING TO A DEPTH "Dp" RECOMMENDED BY THE GDOT CHANNEL LINING PROGRAM.
		LINE CODE 	"Dp" SHALL BE IDENTIFIED IN A TABLE LOCATED ON THE SUMMARY OF QUANTITIES SHEETS AND IN THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN. RIP-RAP SHOULD BE USED TO DISSIPATE ENERGY DOWNSTREAM OF CONCRETE LINED CHANNELS.
Co	CONSTRUCTION EXIT CONSTRUCTION DETAIL D-41 SECTION 163, 800		A CONSTRUCTION EXIT IS A STONE STABILIZED PAD THAT REDUCES OR ELIMINATES THE TRANSPORT OF MUD FROM CONSTRUCTION AREAS ONTO PUBLIC ROADS BY EQUIPMENT OR RUNOFF. BEST USED AT ACCESS POINTS, I.E. NEW LOCATION PROJECTS, BORROW PITS, WASTE PITS, ACCESS ROADS, ETC. SHOULD BE MINIMUM 20' WIDE, 50' LONG, 6" THICK, AND REQUIRES A GEOTEXTILE UNDERLINER. ON SITES WHERE THE GRADE TOWARD A PAVED AREA IS GREATER THAN 2%, A FULL WIDTH DIVERSION RIDGE 6" TO 8" HIGH WITH 3:1 SLOPES SHALL BE CONSTRUCTED APPROXIMATELY 15' UPSTREAM OF PAVED AREA. A TIRE WASHING AREA TO REMOVE MUD MAY ALSO BE REQUIRED PRIOR TO ENTRANCE ONTO PUBLIC ROADWAYS.
		SYMBOL 	ALL CONSTRUCTION EXIT REQUIREMENTS ARE INCLUDED IN THE PRICE OF THE CONSTRUCTION EXIT.
Dc-A	STREAM DIVERSION CHANNEL GEOTEXTILE, POLYETHYLENE FILM SECTION 163		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH GEOTEXTILE OR POLYETHYLENE FILM. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 0 - 2.5 fps.
		LINE CODE 	THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE. CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.

NOTE:

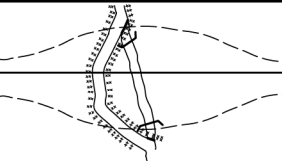
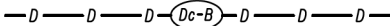
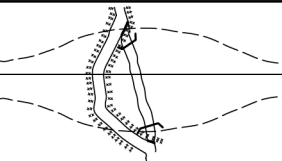
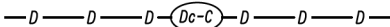
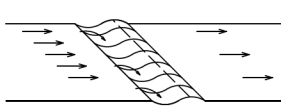
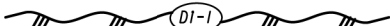
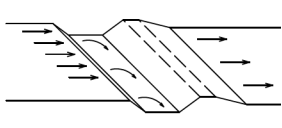
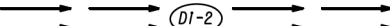
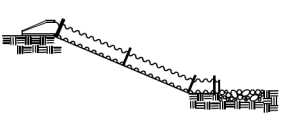

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

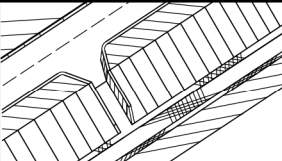
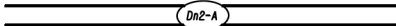
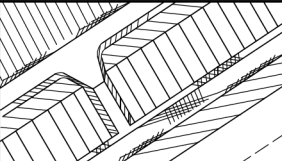
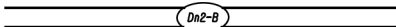
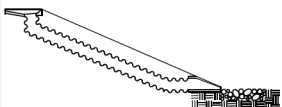
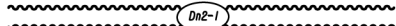
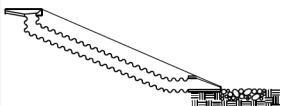
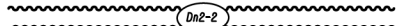
REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:		DRAWING	31
BACKCHECKED:		DATE:			
CORRECTED:		DATE:			
VERIFIED:		DATE:			

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Dc-B	STREAM DIVERSION CHANNEL GEOTEXTILE ONLY		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH GEOTEXTILE ONLY. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 2.5 - 9.0 fps.
	SECTION 163	LINE CODE 	THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE. CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.
Dc-C	STREAM DIVERSION CHANNEL RIP-RAP & GEOTEXTILE		A TEMPORARY CHANNEL CONSTRUCTED TO CONVEY FLOW AROUND A CONSTRUCTION SITE WHILE A PERMANENT DRAINAGE STRUCTURE IS BEING CONSTRUCTED IN A NATURAL STREAM. THIS IS A MEASURE USED TO PROTECT STREAM BEDS FROM EROSION. LINE THE CHANNEL WITH RIP-RAP AND GEOTEXTILE. INSTALL TWO ROWS OF Sd1-S PARALLEL TO THE CHANNEL TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE STREAM. THE SIZE OF THE CHANNEL WILL DEPEND ON THE DISCHARGE, CHANNEL GEOMETRY, CHANNEL SLOPE AND ROUGHNESS. IT IS ACCEPTABLE FOR VELOCITIES BETWEEN 9.0 - 13.0 fps.
	SECTION 163	LINE CODE 	THE DRAINAGE AREA SHALL BE NOT GREATER THAN 1 SQUARE MILE. CONSTRUCTION OF THE DIVERSION CHANNEL IS INCLUDED IN THE COST OF THE STRUCTURE.
D1-1	DIVERSION BERM		A NON-DESIGNED TEMPORARY EARTHEN BERM WITH A COMPACTED SUPPORTING RIDGE ON THE LOWER SIDE TO BE USED AT THE EDGE OF EMBANKMENT DURING THE GRADING OPERATION. THE BERMS ARE ALSO CONSTRUCTED ABOVE, ACROSS OR BELOW A SLOPE TO REDUCE THE LENGTH OF A SLOPE. THEY ARE USED TO INTERCEPT RUNOFF, PREVENTING SLOPE EROSION AND TO DIRECT THE RUNOFF TO A STABLE OUTLET, DOWN DRAINS *Dn1*OR CATCHMENT AREAS AND ON ALL GRADING PROJECTS.
	CONSTRUCTION DETAIL D-47 SECTION 205	LINE CODE 	
D1-2	DIVERSION CHANNEL		A DESIGNED TEMPORARY OR PERMANENT CHANNEL WITH A COMPACTED SUPPORTING RIDGE ON THE LOWER SIDE TO DIVERT OFFSITE RUNOFF AWAY FROM DISTURBED AREAS WITHIN THE PROJECT AREA. CHANNEL FOR OFFSITE RUNOFF SHALL BE STABILIZED WITH APPROPRIATE CHANNEL STABILIZATION.
	SECTION 205	LINE CODE 	REFER TO THE LATEST EDITION OF THE 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA' FOR DESIGN CRITERIA. A DIVERSION CHANNEL DETAIL MUST ALSO BE PROVIDED IN THE ESPCP. RUNOFF FROM DISTURBED AREAS WITHIN THE PROJECT AREA SHALL NOT BE ALLOWED TO CONVERGE WITH OFFSITE RUNOFF WITHIN THIS DIVERSION.
Dn1	TEMPORARY DOWNDRAIN STRUCTURE FLEXIBLE CONSTRUCTION DETAIL D-19 SECTION 163		A TEMPORARY PIPE SLOPE DRAIN IS A PLASTIC FLEXIBLE PIPE TO CARRY WATER FROM THE WORK AREA TO A LOWER ELEVATION. TEMPORARY SLOPE DRAINS SHOULD BE PLACED AT INTERVALS OF 350 FEET ON 0% - 2% GRADES, 200 FEET ON STEEPER GRADES AND MORE FREQUENTLY AS DICTATED BY FIELD CONDITIONS. THE TYPICAL PIPE SIZE IS A CORRUGATED 10". THE PIPE WILL BE ANCHORED WITH STAKES AT INTERVALS NOT TO EXCEED 10'.
		LINE CODE 	THE OUTLET AREA SHALL BE STABILIZED FOR VELOCITY DISSIPATION AND EROSION CONTROL.

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Dn2-A	PERMANENT DOWNDRAIN STRUCTURE CONCRETE CONSTRUCTION DETAIL D-9 SECTION 441		A CONCRETE FLUME TYPE 'A' IS USED TO DIRECT SURFACE RUNOFF DOWN A ROADWAY SLOPE INTO ANOTHER FORM OF CONTROL. IT IS USED IN ALL DEPRESSED AREAS WHERE WATER WILL FLOW DOWN THE SLOPE. IT IS DESIGNED FOR A 25-YEAR STORM AND MUST HAVE SOME FORM OF OUTLET PROTECTION. ADDITIONAL LABELING IS NOT REQUIRED IF SHOWN AS A PERMANENT DRAINAGE STRUCTURE ON THE CONSTRUCTION PLANS. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OTHER CRITERIA).
		LINE CODE 	
Dn2-B	PERMANENT DOWNDRAIN STRUCTURE CONCRETE CONSTRUCTION DETAIL D-9 SECTION 441		A CONCRETE FLUME TYPE 'B' IS USED TO DIRECT SURFACE DITCH RUNOFF DOWN A BACK SLOPE INTO ANOTHER FORM OF CONTROL. IT IS USED IN DEPRESSED AREAS WHERE CONCENTRATED OFFSITE WATER REACHES THE CUT SLOPE. IT IS DESIGNED TO SAFELY CONVEY WATER DOWN THE CUT SLOPE. IT IS DESIGNED FOR A 25-YEAR STORM AND MUST HAVE SOME FORM OF OUTLET PROTECTION. ADDITIONAL LABELING IS NOT REQUIRED IF SHOWN AS A PERMANENT DRAINAGE STRUCTURE ON THE CONSTRUCTION PLANS. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
		LINE CODE 	
Dn2-1	PERMANENT DOWNDRAIN STRUCTURE GA. STD 9013 TP1, 9017J TP1, DETAIL D-26 TP1 SECTION 576, 577		CONCRETE DRAIN INLET WITH METAL PIPE IS USED TO DRAIN CURBS, ON A GRADE, DOWN TO A LOWER ELEVATION. THIS IS A PERMANENT STRUCTURE, REQUIRING OUTLET PROTECTION, TEMPORARY AND PERMANENT. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
		LINE CODE 	
Dn2-2	PERMANENT DOWNDRAIN STRUCTURE GA. STD 9013 TP2, 9017J TP2, DETAIL D-26 TP2 SECTION 576, 577		CONCRETE DRAIN INLET AND METAL PIPE IS USED TO DRAIN CURB, IN A SAG, DOWN TO A LOWER ELEVATION. THIS IS A PERMANENT STRUCTURE, REQUIRING OUTLET PROTECTION, TEMPORARY AND PERMANENT. INLETS SHALL BE SPACED ACCORDING TO GDOT GUIDELINES (REGARDING GUTTER SPREAD AND OR OTHER CRITERIA).
		LINE CODE 	

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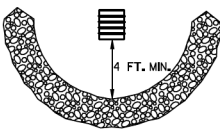

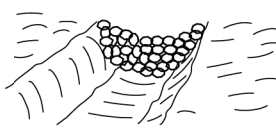

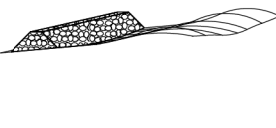



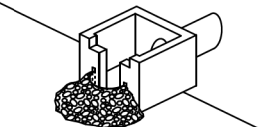

- DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
- FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, 'MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA'.

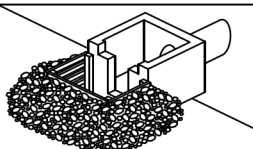
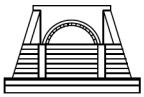


REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:		DRAWING	
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VERIFIED:		DATE:			

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Fr	FILTER RING CONSTRUCTION DETAIL D-46 SECTION 163		A TEMPORARY STONE BARRIER CONSTRUCTED AT DRAINAGE STRUCTURE INLETS AND POST-CONSTRUCTION POND OUTLETS. IT REDUCES RUNOFF VELOCITY AND HELPS PREVENT SEDIMENT FROM LEAVING SITE PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR ADDITIONAL INFORMATION ON USAGE.
	SYMBOL 		
Rd	ROCK FILTER DAM CONSTRUCTION DETAIL D-43 SECTION 163, 603		ROCK FILTER DAMS ARE CONSTRUCTED OF TYPE 3 STONE RIP-RAP FACED WITH *57 STONE ON THE UPSTREAM SIDE. THEY ARE PLACED ACROSS DRAINAGWAYS WHICH DRAIN 50 ACRES OR LESS. GEOTEXTILE UNDERLINER SHALL BE USED WHEN PLACING ROCK FILTER DAMS. THE DAM SHOULD NOT BE HIGHER THAN THE CHANNEL BANKS. ROCK FILTER DAMS SHOULD BE USED IN DITCHES PRIOR TO DISCHARGING INTO STREAMS, WETLANDS, OPEN-WATERS, OR OTHER ESAs.
	SYMBOL 		
Rd-B	STONE FILTER BERM CONSTRUCTION DETAIL D-50 SECTION 163, 603		STONE FILTER BERMS ARE CONSTRUCTED SIMILAR TO ROCK FILTER DAMS FOR A LINEAR APPLICATION. THEY ARE CONSTRUCTED OF TYPE-3 STONE RIP-RAP FACED WITH *57 STONE ON THE UPSTREAM SIDE. GEOTEXTILE UNDERLINER SHALL BE USED WHEN PLACING STONE FILTER BERMS. STONE FILTER BERMS ARE IDEAL ALONG THE PERIMETER FOR SHEET FLOW AND/OR SHALLOW CONCENTRATED FLOW TO A COMMON LOW AREA WHERE PERIMETER SILT FENCE ALONE MAY BE INSUFFICIENT, THERE IS NO WELL-DEFINED CHANNEL FOR A STANDARD ROCK FILTER DAM, AND/OR CONSTRUCTING A ROCK OUTLET TEMPORARY SEDIMENT TRAP IS NOT APPLICABLE.
	LINE CODE 		
Rp	RIP-RAP SECTION 603		RIP-RAP IS A FLEXIBLE PERMANENT BLANKET FOR PROTECTION OF FILL SLOPES AND BRIDGE END ROLLS. RIP-RAP TYPE-1 SHOULD BE PLACED ON TOP OF A GEOTEXTILE UNDERLINER AT A MINIMUM 24" THICKNESS OR AS INDICATED ON THE PLANS. RIP-RAP MAY ALSO BE USED AT DRAINAGE STRUCTURE OUTLETS WITHIN THE RIGHT-OF-WAY. HOWEVER, APPROPRIATE OUTLET PROTECTION SHOULD BE PROVIDED AT OUTFALLS. REFER TO STORM DRAIN OUTLET PROTECTION FOR ADDITIONAL INFORMATION ON USING RIP-RAP AT OUTFALLS.
	PATTERN 		
Rt-P	RETROFITTING PERFORATED HALF-ROUND PIPE CONSTRUCTION DETAIL D-44 SECTION 163		A PERFORATED HALF-ROUND PIPE WITH STONE FILTER PLACED IN FRONT OF A PERMANENT STORMWATER DETENTION POND OUTLET STRUCTURE TO SERVE AS A TEMPORARY SEDIMENT FILTER. SHOULD BE USED ONLY IN DETENTION PONDS WITH LESS THAN 30 ACRES TOTAL DRAINAGE AREA. SHALL ONLY BE USED IN DETENTION BASINS LARGE ENOUGH TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DISTURBED AREA. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR DESIGN CRITERIA.
	SYMBOL 		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Rt-B	RETROFITTING SLOTTED BOARD DAM CONSTRUCTION DETAIL D-45 SECTION 163		A SLOTTED BOARD DAM CONSISTS OF STONE AND/OR FILTER FABRIC AND BOARDS WITH 0.5' - 1.0' SPACING TO SERVE AS A TEMPORARY SEDIMENT FILTER. PERMANENT STORMWATER DETENTION POND OUTLET: -DRAINAGE AREA UP TO 100 ACRES -DETENTION BASINS LARGE ENOUGH TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DISTURBED AREA ROADWAY DRAINAGE STRUCTURE: -OPEN END PIPES, WINGED HEADWALLS, OR CONCRETE WEIR OUTLETS WITH DRAINAGE AREA LESS THAN 30 ACRES REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR DESIGN CRITERIA.
	SYMBOL <div>Rt-B</div>		
Rt-Sg1 Rt-Sg2 Rt-Sg3	RETROFITTING SILT CONTROL GATES CONSTRUCTION DETAIL D-20 SECTION 163	 FRONT VIEW	A SILT CONTROL GATE CONSISTS OF BOARDS WITHOUT SPACING AND FILTER FABRIC TO BE USED FOR TEMPORARY SEDIMENT STORAGE ON ROADWAY PROJECTS AT THE INLET OF STRUCTURES WITH A DRAINAGE AREA UP TO 50 ACRES. THE DISTURBED AREA WITHIN THE DRAINAGE AREA SHALL NOT EXCEED 5 ACRES. SILT CONTROL GATES SHOULD NOT BE USED ALONE, BUT WITH ANOTHER BMP DOWNSTREAM PRIOR TO DISCHARGE LEAVING PROJECT AREA. DO NOT USE SILT GATES IN STATE WATERS. Rt-Sg1•TYPE 1: USED ON BOX CULVERTS Rt-Sg2•TYPE 2: USED ON STRAIGHT HEADWALLS Rt-Sg3•TYPE 3: USED ON FLARED END SECTIONS AND TAPERED HEADWALLS
	SYMBOL <div>Rt-Sg1</div> <div>Rt-Sg2</div> <div>Rt-Sg3</div>		
	FRONT VIEW		
SdI-NS	SEDIMENT BARRIER (NON-SENSITIVE) SILT FENCE TYPE A CONSTRUCTION DETAIL D-24 SECTION 171		SEDIMENT BARRIERS MINIMIZE AND PREVENT SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE PROJECT AREA BY CAUSING DEPOSITION AND/OR FILTRATION OF SEDIMENT. SILT FENCE USED AS PERIMETER CONTROL SHALL NOT BE INSTALLED ACROSS CONCENTRATED FLOW. TYPE-A SILT FENCE IS TYPICALLY USED IN NON-ENVIRONMENTALLY SENSITIVE AREAS (ESAs) OR IN AREAS WITH FILLS LESS THAN 10'. IT SHOULD BE PLACED A MINIMUM OF 10' FROM CONSTRUCTION LIMITS OR ALONG THE RIGHT-OF-WAY LINE.
	LINE CODE <div>— A — A — A — SdI-NS — A — A — A —</div>		
SdI-S	SEDIMENT BARRIER (SENSITIVE) SILT FENCE TYPE C CONSTRUCTION DETAIL D-24 SECTION 171		SEDIMENT BARRIERS MINIMIZE AND PREVENT SEDIMENT CARRIED BY SHEET FLOW FROM LEAVING THE PROJECT AREA BY CAUSING DEPOSITION AND/OR FILTRATION OF SEDIMENT. SILT FENCE USED AS PERIMETER CONTROL SHALL NOT BE INSTALLED ACROSS CONCENTRATED FLOW. TYPE-C SILT FENCE IS TYPICALLY USED IN ENVIRONMENTALLY SENSITIVE AREAS (ESAs) OR IN AREAS WITH FILLS 10' AND GREATER. ALL ENVIRONMENTALLY SENSITIVE AREAS (ESAs) SHALL BE PROTECTED WITH A DOUBLE-ROW OF TYPE-C SILT FENCE REGARDLESS OF FILL HEIGHT. A SINGLE-ROW MAY BE USED FOR OTHER APPLICATIONS. IT SHOULD BE PLACED A MINIMUM OF 10' FROM CONSTRUCTION LIMITS OR ALONG THE RIGHT-OF-WAY LINE.
	LINE CODE <div>— C — C — C — SdI-S — C — C — C —</div>		

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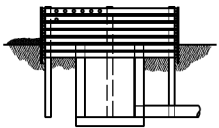





1. DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
2. FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

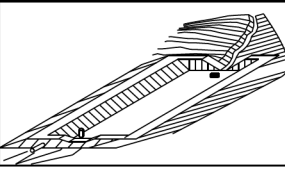
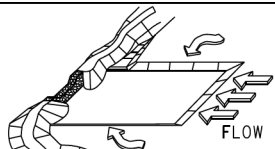
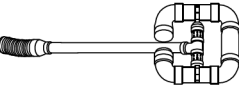
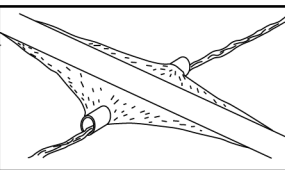
REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

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CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Sd1-BB	SEDIMENT BARRIER BRUSH BARRIER CONSTRUCTION DETAIL D-24B SECTION 201		THIS ITEM CONSISTS OF INTERMINGLED BRUSH, LOGS, ETC. SO AS NOT TO FORM A SOLID DAM. CONSTRUCTED AT THE TOE OF FILL SLOPES ONLY DURING THE CLEARING AND GRUBBING OPERATION. THE BARRIER SHOULD BE USED AT THE TOE OF FILL SLOPES ON GRADING PROJECTS IN RURAL AREAS WHERE SUFFICIENT RIGHT OF WAY OR EASEMENT IS AVAILABLE (10 FEET OR MORE). THE BARRIER SHOULD RUN ROUGHLY PERPENDICULAR TO THE FLOW OF WATER WHERE THIS DOES NOT CONFLICT WITH RIGHT-OF-WAY OR EASEMENT LIMITS. THEY WILL NOT BE PLACED IN WETLANDS.
	LINE CODE * * * Sd1-BB * * *		TYPICALLY NOT SHOWN ON PLANS. PAYMENT FOR THIS ITEM IS INCLUDED IN THE CLEARING AND GRUBBING COST. NO SEPARATE PAYMENT SHALL BE MADE.
Sd2-B	INLET SEDIMENT TRAP (BAFFLE BOX) CONSTRUCTION DETAIL D-42 SECTION 163		BAFFLE BOX INLET SEDIMENT TRAP USED FOR INLETS RECEIVING HIGH FLOW RATE AND/OR VELOCITY. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES 7 cfs AND GREATER.
	SYMBOL Sd2-B		
Sd2-Bg	INLET SEDIMENT TRAP (BLOCK & GRAVEL) CONSTRUCTION DETAIL D-42 SECTION 163		BLOCK AND GRAVEL DROP INLET PROTECTION USED FOR WHERE HEAVY FLOWS ARE EXPECTED AND WHERE OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. CAN BE USED AT CULVERT INLETS. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES THAT RANGE FROM 5 - 7 cfs.
	SYMBOL Sd2-Bg		
Sd2-F	INLET SEDIMENT TRAP (FILTER FABRIC) CONSTRUCTION DETAIL D-24C SECTION 163	 OR  OR 	(a) A SEDIMENT BARRIER CONSISTING OF A PREFABRICATED FRAME WITH FILTER FABRIC USED AROUND A DROP INLET OR CATCH BASIN. (b) A SEDIMENT BARRIER CONSISTING OF A PERFORATED METAL STAND PIPE WITH FILTER FABRIC USED AROUND A DROP INLET OR CATCH BASIN. (c) TYPE C SILT FENCE WITH SUPPORTING FRAME CAN BE USED AS AN ALTERNATE TO INLET SEDIMENT TRAP FOR AREAS WITH SLOPES < 5%.
	SYMBOL Sd2-F		THIS ITEM IS USED TO PREVENT SILT FROM ENTERING THE PIPE SYSTEM. SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS. RECOMMENDED FOR INLET RECEIVING FLOW RATES THAT RANGE FROM 0 - 4 cfs.
Sd2-G	INLET SEDIMENT TRAP (GRAVEL) CONSTRUCTION DETAIL D42 SECTION 163		GRAVEL DROP INLET PROTECTION USED WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED. STONE AND GRAVEL ARE USED TO TRAP SEDIMENT. THE SLOPE TOWARD THE INLET SHALL BE NO MORE THAN 3:1. A GUIDE FOR USE WILL BE FOR AN INLET RECEIVING FLOW RATES THAT RANGE FROM 3 - 5 cfs.
	SYMBOL Sd2-G		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
Sd3	TEMPORARY SEDIMENT BASIN CONSTRUCTION DETAIL D-22A, D-22B SECTION 163		A BASIN CREATED BY EXCAVATING AN AREA, DAMMING CONCENTRATED FLOW, OR A COMBINATION OF BOTH. THE BASIN IS DESIGNED TO STORE 67 CUBIC YARDS OF SEDIMENT PER ACRE OF DRAINAGE AREA. THE DRAINAGE AREA SHOULD NOT EXCEED 150 ACRES. BASINS TYPICALLY CONSISTS OF A DAM, PRINCIPAL SPILLWAY, AND AN EMERGENCY SPILLWAY. A FLOATING SURFACE SKIMMER SHALL BE REQUIRED AS PART OF THE PRINCIPAL SPILLWAY UNLESS INFEASIBLE. SUFFICIENT RIGHT-OF-WAY OR EASEMENT IS NEEDED FOR BASIN CONSTRUCTION AND MAINTENANCE ACCESS.
	SYMBOL Sd3		SEDIMENT BASINS SHALL BE CONSIDERED ON ALL PROJECTS, BUT MAY NOT BE PRACTICAL. BASINS SHOULD BE LOCATED TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND UTILITIES. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR DESIGN CRITERIA.
Sd4-C	ROCK OUTLET TEMPORARY SEDIMENT TRAP CONSTRUCTION DETAIL D-53 SECTION 163		TEMPORARY POND WITH ROCK OUTLET DESIGNED TO STORE 67 CUBIC YARDS OF SEDIMENT PER DRAINAGE AREA. DRAINAGE AREA SHALL NOT EXCEED 5 ACRES. DISTINGUISHED FROM TEMPORARY SEDIMENT BASIN BY LACK OF PRINCIPAL SPILLWAY. MAXIMUM POND DEPTH FROM BOTTOM OF POND TO EMERGENCY SPILLWAY IS 4 FEET.
	SYMBOL Sd4-C		A TEMPORARY SEDIMENT BASIN SHALL BE EVALUATED PRIOR TO CONSIDERING A TEMPORARY SEDIMENT TRAP. A TEMPORARY SEDIMENT TRAP IS IDEAL FOR SMALL AREAS WITH NO UNUSUAL DRAINAGE FEATURES AND EFFECTIVE AGAINST COARSE SEDIMENT, BUT NOT AGAINST SILT OR CLAY PARTICLES THAT REMAIN SUSPENDED. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR DESIGN CRITERIA.
Sk	FLOATING SURFACE SKIMMER CONSTRUCTION DETAIL D-22A, D-22B SECTION 163		A BUOYANT DEVICE THAT DRAINS WATER FROM THE SURFACE OF A TEMPORARY SEDIMENT BASIN AT A CONTROLLED FLOW RATE. THE INLET/ORIFICE SIZE IS DESIGNED TO DRAIN THE BASIN WITHIN 24 - 48 HOURS. THE SKIMMER INFORMATION SHALL BE PROVIDED IN CONJUNCTION WITH THE SEDIMENT BASIN INFORMATION IN PLANS. IF A SKIMMER IS INFEASIBLE, THE DESIGNER SHALL PROVIDE A WRITTEN JUSTIFICATION IN THE PLANS.
	SYMBOL Sk		SKIMMERS ARE ATTACHED TO A RISER WITHOUT PERFORATIONS AND ACTS AS THE PRIMARY SPILLWAY. THE SKIMMER BMP SYMBOL SHALL BE SHOWN IN CONJUNCTION WITH THE TEMPORARY SEDIMENT BASIN BMP SYMBOL WHEN APPLICABLE. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR ADDITIONAL INFORMATION.
Sr	TEMPORARY STREAM CROSSING SECTION 107		A TEMPORARY STRUCTURE INSTALLED ACROSS A FLOWING STREAM OR WATERCOURSE FOR USE BY CONSTRUCTION EQUIPMENT. THIS BMP PROVIDES A MEANS TO CROSS STREAMS OR WATERCOURSES WITHOUT MOVING SEDIMENT INTO STREAMS, DAMAGING THE STREAM BED OR CHANNEL, OR CAUSING FLOODING. THIS BMP SHOULD NOT BE USED ON STREAMS WITH DRAINAGE AREAS GREATER THAN ONE SQUARE MILE, UNLESS SPECIFICALLY DESIGNED TO ACCOMMODATE THE ADDITIONAL DRAINAGE AREA BY THE DESIGN PROFESSIONAL. A CERTIFICATION STATEMENT AND SIGNATURE SHALL ACCOMPANY THE DESIGN.
	SYMBOL Sr		THIS BMP SHALL BE DESIGNED ACCORDING TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA". FOR CONTRACTOR'S USE ONLY!

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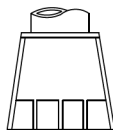

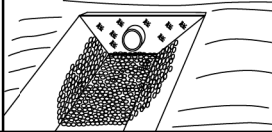

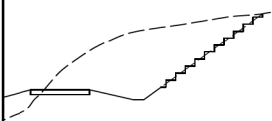

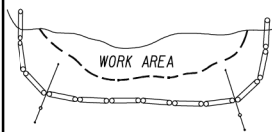

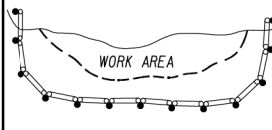

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REVISION DATES

EROSION CONTROL LEGEND

LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

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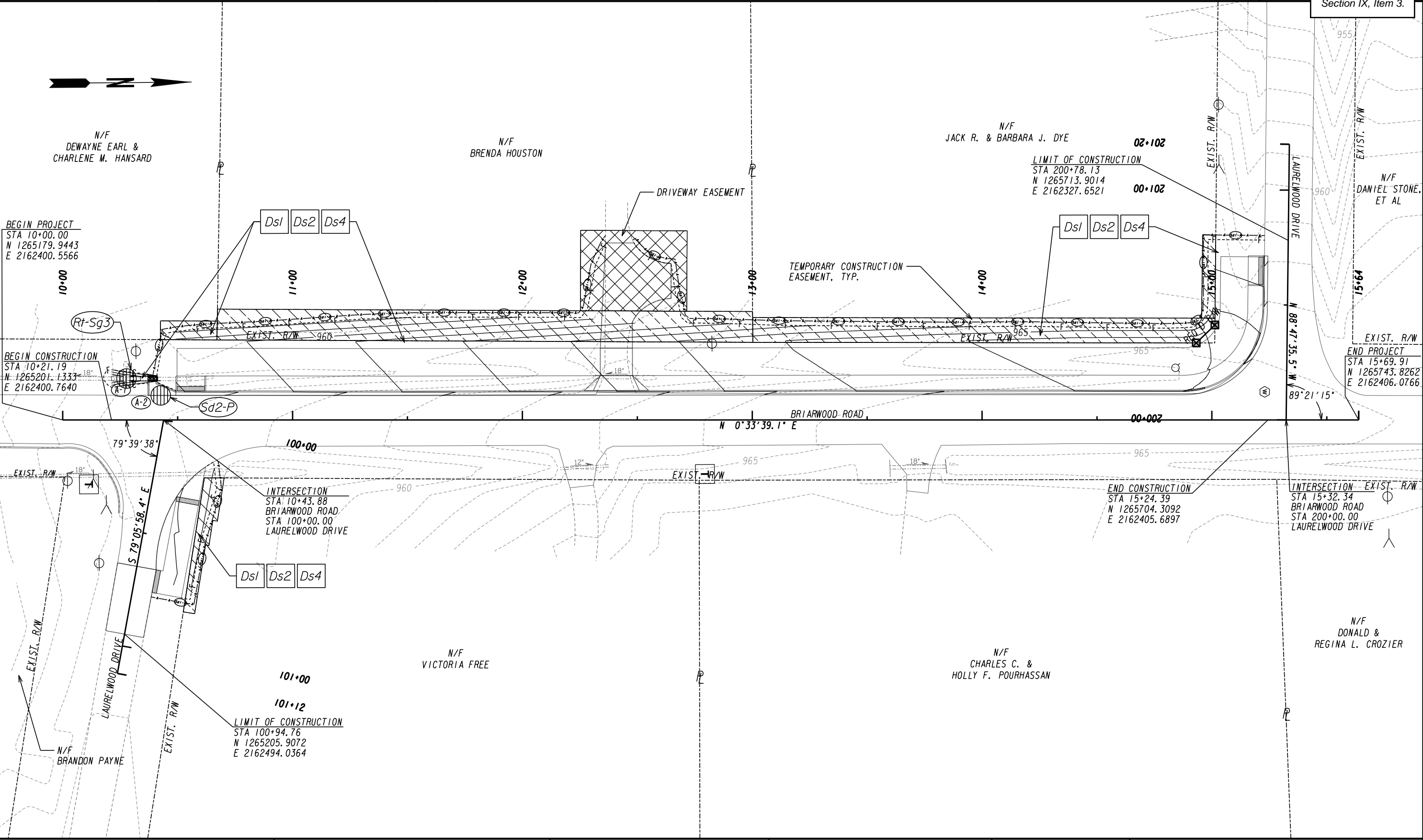
CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION
St	STORM DRAIN OUTLET PROTECTION GA. STD. 1125 & 2332		A PIPE OR BOX CULVERT OUTLET HEADWALL WITH AN APRON AND DISSIPATOR BLOCKS IS USED TO REDUCE VELOCITY AT THE OUTLET OF A PIPE PRIOR TO ENTERING AN EXISTING STREAM OR PUBLICLY MAINTAINED DRAINAGE SYSTEM. IT IS USED ON THE OUTLET OF ALL BOX CULVERTS AND ON 48" AND LARGER PIPES. MAY BE USED ON INLET FOR FLOWING STREAMS. USE ON SMALL PIPES WHEN OUTLET VELOCITY OF THE 25-YEAR STORM IS 12 fps AND GREATER.
	SYMBOL 		
St-Rp	STORM DRAIN OUTLET PROTECTION (RIP-RAP) CONSTRUCTION DETAIL D-55 SECTION 603		RIP-RAP OUTLET PROTECTION IS USED TO REDUCE VELOCITY AT THE OUTLET OF A PIPE, CHANNEL, OR STRUCTURE PRIOR TO ENTERING AN EXISTING STREAM OR PUBLICLY MAINTAINED DRAINAGE SYSTEM. THE MINIMUM DESIGN OF RIP-RAP OUTLET PROTECTION SHALL BE THE 25-YEAR STORM PEAK FLOW, BUT LARGER STORMS ARE RECOMMENDED. TYPE-1 RIP-RAP AT A DEPTH OF 36" AND PLACED ON FILTER FABRIC IS PREFERRED FOR ALL d50 <= 1.2 FEET. TYPE-3 RIP-RAP AT A DEPTH OF 18" AND PLACED ON FILTER FABRIC MAY BE USED FOR d50 <= 0.7 FEET. REFER TO THE LATEST EDITION OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR REQUIRED DESIGN DIMENSIONS AND OTHER INFORMATION TO BE INCLUDED IN THE PLANS.
	PATTERN 		
Su	SURFACE ROUGHENING SERRATED SLOPES CONSTRUCTION DETAIL S-7 SECTION 205		PROVIDING A ROUGH SOIL SURFACE WITH HORIZONTAL DEPRESSIONS, BY OPERATING A CLEATED DOZER ON THE SLOPE IN A VERTICAL DIRECTION. CREATING SERRATED SLOPES IN THE GRADING PROCESS TO CONSTRUCT BENCHES WILL REDUCE RUNOFF VELOCITY AND INCREASE INFILTRATION OF WATER. IN MOST CASES THIS BMP IS NOT REQUIRED TO BE SHOWN ON THE PLANS, BUT REQUIRED TO BE COMPLETED BY THE CONTRACTOR UNDER ALL PROJECTS. IF SERRATED SLOPES ARE SPECIFIED BY THE SOIL SURVEY, THEN THIS BMP SHALL BE SHOWN ON THE PLANS WHERE SERRATED SLOPES ARE TO BE USED.
	LINE CODE 		
Tc-F	TURBIDITY CURTAIN FLOATING CONSTRUCTION DETAIL D-51 SECTION 170		A FLOATING TURBIDITY CURTAIN IS USED TO PREVENT SEDIMENT FROM MOVING IN WATER BY ALLOWING IT TO DROP OUT OF SUSPENSION AND REMAIN WITHIN THE CONSTRUCTION AREA. IT IS TYPICALLY USED WHERE CONSTRUCTION IS REQUIRED IN A LARGE BODY OF WATER SUCH AS LAKES AND RIVERS. IT SHOULD BE USED AS DIRECTED BY THE ENGINEER. THIS BMP IS ONLY TO BE USED WHEN PERMITTED FILL IS BEING PLACED INTO A STATE WATER, OR AS A SUPPLEMENT TO ADEQUATELY PLACED PERIMETER BMPs. IT MAY ALSO BE REFERRED TO AS A FLOATING BOOM, SILT BARRIER, OR SILT CURTAIN.
	LINE CODE 		
Tc-S	TURBIDITY CURTAIN STAKED CONSTRUCTION DETAIL D-51 SECTION 170		A STAKED TURBIDITY CURTAIN IS USED TO PREVENT SEDIMENT FROM MOVING IN WATER BY ALLOWING IT TO DROP OUT OF SUSPENSION AND REMAIN WITHIN THE CONSTRUCTION AREA. IT IS TYPICALLY USED IN SHALLOW INUNDATED AREAS. IT MAY BE USED TO PROTECT A SMALL STREAM BEING REALIGNED OR RESTORED. IN THIS CASE, CURTAIN SHOULD EXTEND TO BOTTOM OF STREAMBED. THE HEIGHT SHOULD BE LIMITED TO 5 FEET UNLESS DIRECTED AND EXTEND 2 FEET ABOVE NORMAL WATER ELEVATION. IT SHOULD BE USED AS DIRECTED BY THE ENGINEER. THIS BMP IS ONLY TO BE USED WHEN PERMITTED FILL IS BEING PLACED INTO A STATE WATER, OR AS A SUPPLEMENT TO ADEQUATELY PLACED PERIMETER BMPs. IT MAY BE REFERRED TO AS A SILT BARRIER OR SILT CURTAIN.
	LINE CODE 		

CODE	PRACTICE STD OR DETAIL SPEC. SECT.	DETAIL	DESCRIPTION

NOTE:

1. DO NOT USE EROSION CONTROL ITEMS IN A FLOWING STREAM OR IN A TIDAL AREA BELOW HIGH TIDE.
2. FOR ADDITIONAL INFORMATION ON THE DESIGN AND APPLICATION OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), REFER TO THE LATEST EDITION OF THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION'S, "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".

Section IX, Item 3.



PROPERTY AND EXISTING R/W LINE
REQUIRED R/W LINE
CONSTRUCTION LIMITS
EASEMENT FOR CONSTR
& MAINTENANCE OF SLOPES
EASEMENT FOR CONSTR OF SLOPES
EASEMENT FOR CONSTR OF DRIVES

---E---

---C---F---

.....BLA

.....ELA

REQ'D LIMIT OF ACCESS

REQ'D LIMIT OF ACCESS & R/W

ORANGE BARRIER FENCE

ESA - ENV. SENSITIVE AREA
(SEE ERIT TABLE)

Keck+Wood

COLLABORATION BY DESIGN

3090 Premiere Parkway, Suite 200
Duluth, GA 30097
(678) 417-4000 keckwood.com

SCALE IN FEET

0

20

40

80

REVISION DATES

BMP LOCATION DETAILS

LAURELWOOD CONNECTOR MULTI-USE PATH

TOWN OF TYRONE, GA

CHECKED: DATE:

BACKCHECKED: DATE:

CORRECTED: DATE:

VERIFIED: DATE:

DRAWING

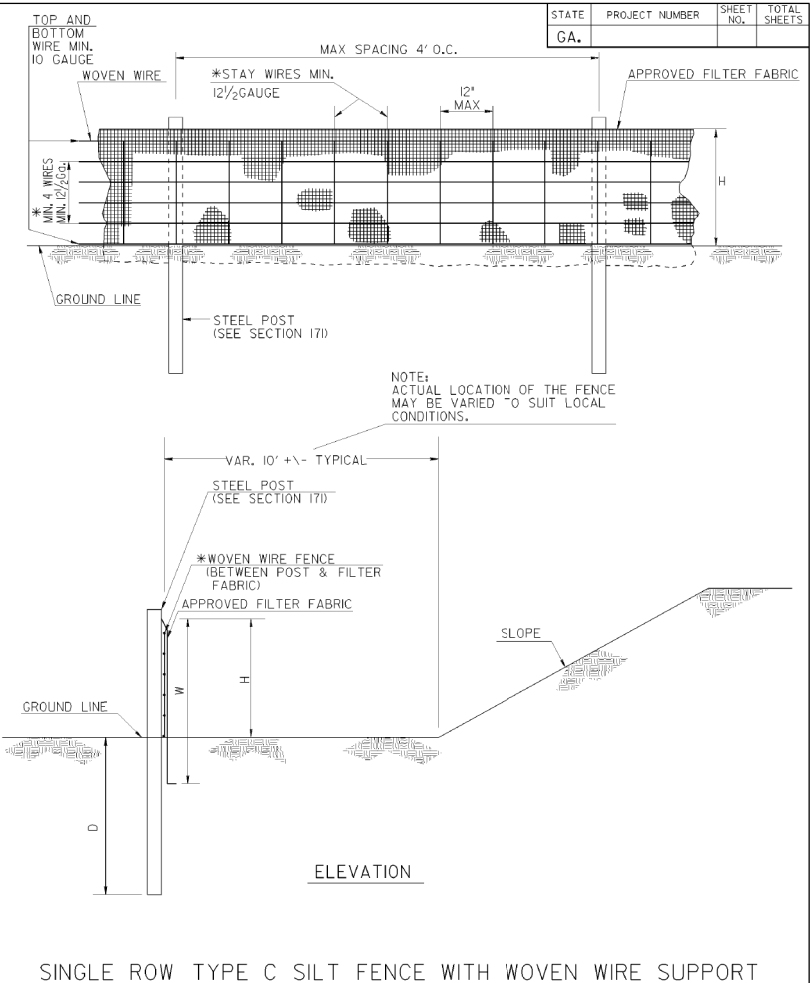
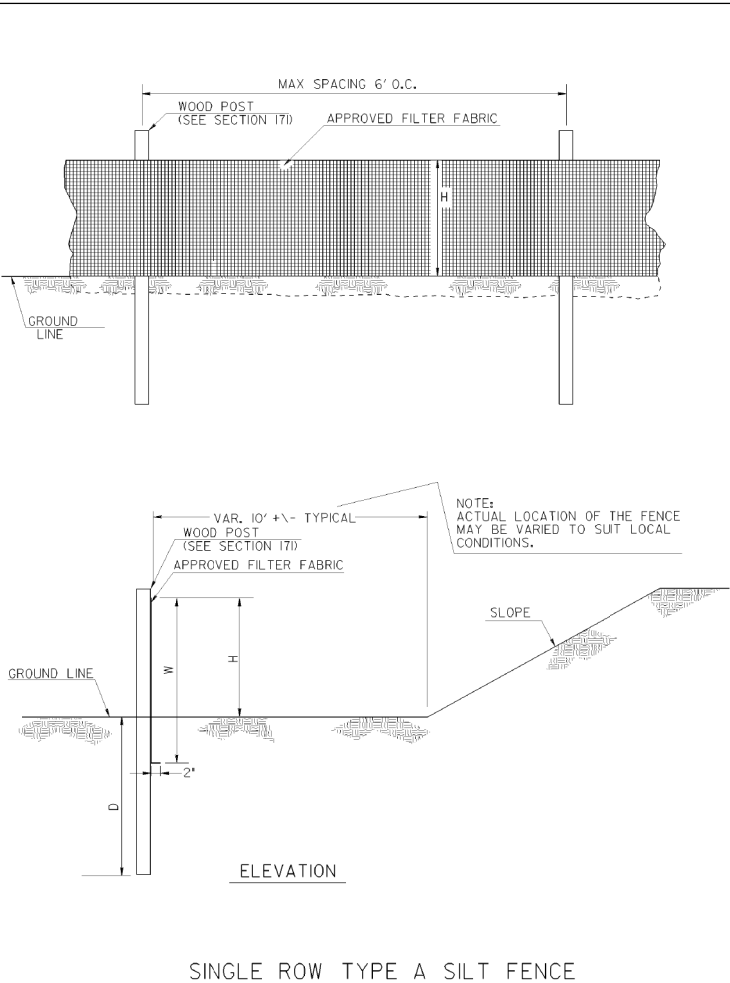
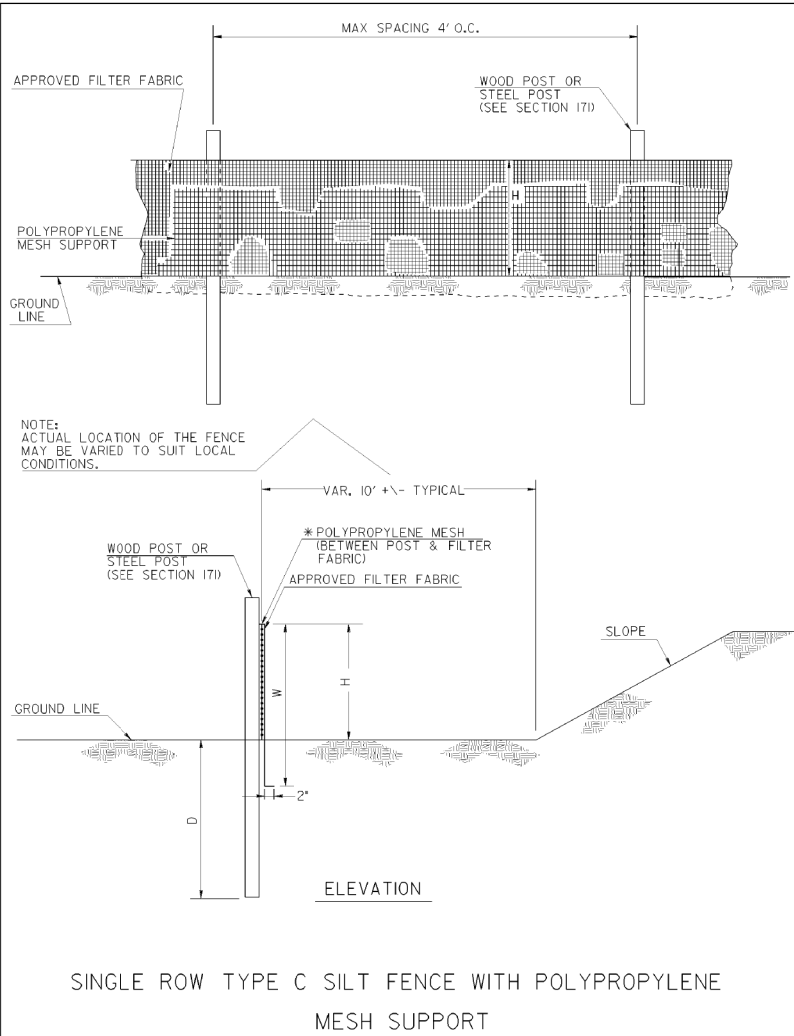
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10/23/2015 GPLN

DLE		ADD. FABRIC & ADD. NOTES		4-22-46	
TFC		ADD. & REV SILT GATE NOTES		P-H-I	
		REMOVE INLET SEGMENT TRAP			
		REV. LUMBER SIZES		3-24-05	
GLO		REV. SPECIFICATION		10-22-02	
MGR		ADDED PAYMENT NOTE		DATE	
BY		REVISION			
		NO SCALE		REV. & REDR. DEC., 2000	
				NUMBER D-20	

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FENCE TYPE	POST LENGTH	H	D	W	TYPICAL USES
TYPE "A"	4 FT.	2'-4"	1'-6"	3'-0"	AT BRIDGE END ROLLS, DOUBLE ROW ALONG STREAMS, WETLANDS, AND ENVIRONMENTALLY SENSITIVE AREAS FOR USE OF THIS MATERIAL IN FABRIC CHECKDAMS SEE D-24D.
TYPE "C"	4 FT.	2'-4"	1'-6"	3'-0"	

NOTES:

1. WIRE STAPLES SHALL BE AT LEAST 17 GAUGE, WITH LEGS AT LEAST 1/2 INCHES LONG AND A CROWN AT LEAST 3/4 INCHES WIDE. NAILS SHALL BE AT LEAST 14 GAUGE, 1 INCH LONG, WITH BUTTON HEADS AT LEAST 3/4 INCHES WIDE.
2. NAILS OR STAPLES SHALL BE EVENLY PLACED WITH AT LEAST 5 PER POST FOR TYPE A FENCE AND 4 PER POST FOR TYPE C FENCE.
3. THE VERTICAL WIRES FOR THE WOVEN WIRE SUPPORT FENCE SHALL HAVE A MAXIMUM SPACING OF 12 INCHES. THE TOP AND BOTTOM WIRES SHALL BE AT LEAST 10 GAUGE AND ALL OTHER WIRES SHALL BE AT LEAST 12 1/2 GAUGE.
4. TEMPORARY SILT FENCE INSTALLATION IS DIFFERENT THAN THE SILT RETENTION BARRIER INSTALLATION.
5. SEE SECTION 171 FOR SILT FENCE SPECIFICATIONS.
6. SEE SECTION 894 FOR FENCING SPECIFICATIONS.
7. SEE QPL-36 FOR A LIST APPROVED SILT FENCE FABRIC.
8. TEMPORARY SILT FENCE SHALL NOT BE PLACED WITHIN STATE WATERS UNLESS PERMITTED.

DATE	DEPARTMENT OF TRANSPORTATION	
	STATE OF GEORGIA	
	CONSTRUCTION DETAILS	
REVISION	TEMPORARY SILT FENCE	
	NO SCALE REV. AND REDRAWN JAN. 2011	
BY		NUMBER D-24A (SHEET 1 OF 4)

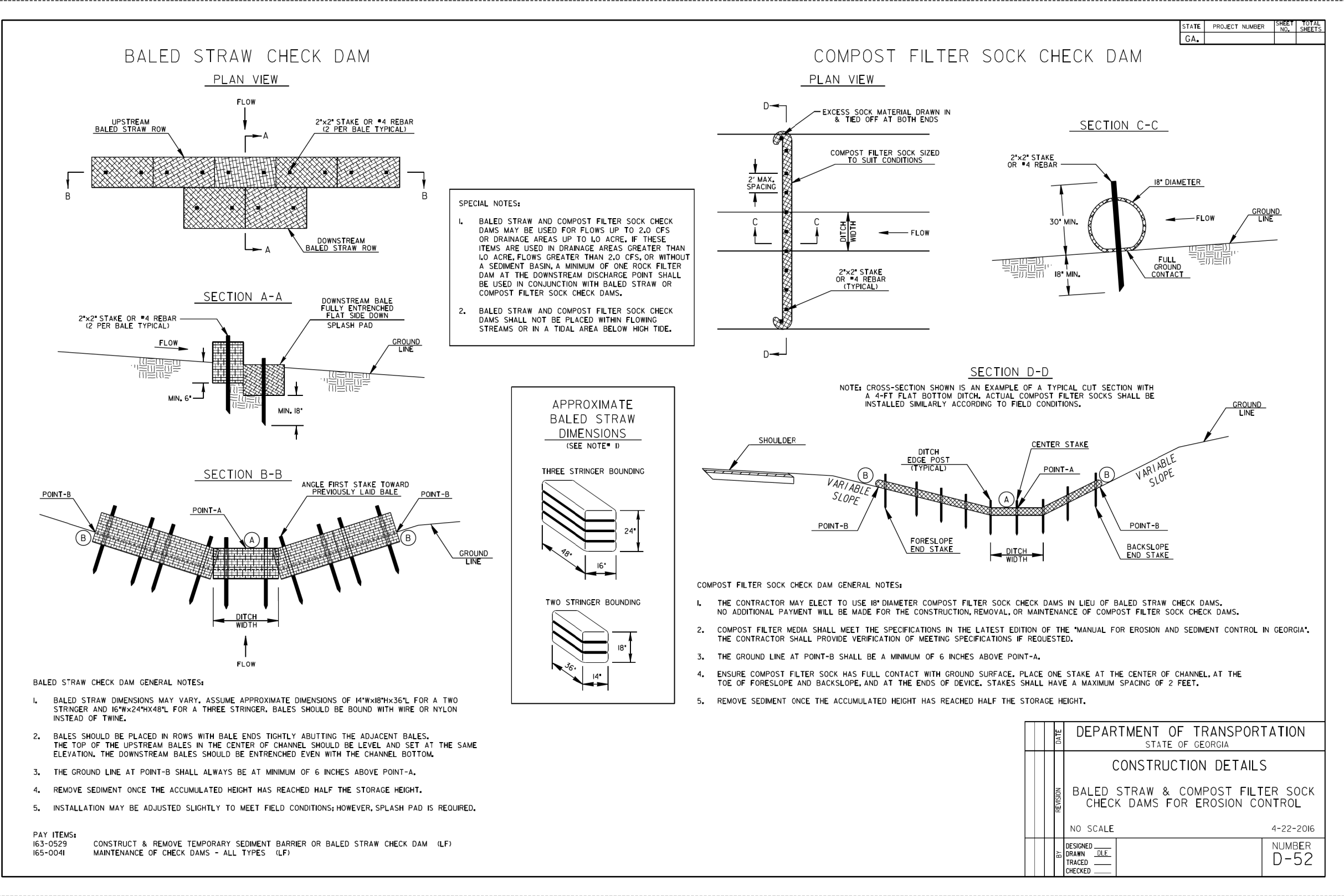
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REVISION DATES

EROSION CONTROL CONTRUCTION DETAILS
LAURELWOOD CONNECTOR MULTI-USE PATH
TOWN OF TYRONE, GA

CHECKED:		DATE:	
BACKCHECKED:		DATE:	
CORRECTED:		DATE:	
VERIFIED:		DATE:	

6-0000
39



DEFINITION

Applying plant residues or other suitable materials, produced on the site if possible, to the soil surface.

CONDITIONS

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored, and have a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months. If an area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed.

SPECIFICATIONS

MULCHING WITHOUT SEEDING
This standard applies to grades or cleared areas where seedings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

Site Preparation
1. Grade to permit the use of equipment for applying and anchoring mulch.
2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.
3. Loosen compact soil to a minimum depth of 3 inches.

Mulching Materials
Select one of the following materials and apply at the depth indicated:
1. Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application.

2

Wood waste (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly reduce erosion control costs.
3. Curback asphalt (slow curing) shall be applied at 1200 gallons per acre (or 1/4 gallon per sq.yd.)
4. Polyethylene film shall be secured over banks or stockpiled soil material for temporary protection. This material can be salvaged and reused.

Applying Mulch

When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area.
1. Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanicequipment.
2. If the area will eventually be covered with perennial vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic mulches.
3. Curback asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of "tracking in" or damage to shoes, clothing, etc.
4. Apply polyethylene film on exposed areas.

Anchoring Mulch

1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored immediately after application. Straw or hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion shall be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of emulsified asphalt and 100 gallons of water per ton of mulch. Tackifiers and binders can be substituted for emulsified asphalt. Please refer to specification Tb -Tackifiers and Binders. Plastic mesh or netting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications.
2. Netting of the appropriate size shall be used to anchor wood waste. Openings of the netting shall not be larger than the average size of the wood waste chips.
3. Polyethylene film shall be anchor trenched at the top as well as incrementally as necessary.

Ds1

DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION

The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established, seeded.

SPECIFICATIONS

Grading and Shaping
Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others.
No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

Seedbed Preparation
When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.
When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

Lime and Fertilizer
Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ten per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

Seeding
Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

Mulching
Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

Irrigation
During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
Rye	3.9 pounds	3 bu.	9/1-3/1
Ryegrass	0.9 pound	40 lbs.	8/15-4/1
Annual Lespedeza	0.9 pound	40 lbs.	1/15-5/15
Weeping Lovegrass	0.1 pound	4 lbs.	2/15-6/15
Sudangrass	1.4 pounds	60 lbs.	3/1-8/1
Browntop Millet	0.9 pound	40 lbs.	4/1-9/15
Wheat	4.1 pounds	3 bu.	3/15-2/1

* Unusual site conditions may require heavier seeding rates
** Seeding dates may need to be altered to fit temperature variations and conditions.

Ds2

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

DEFINITION

A permanent vegetation using sods on highly erodible or critically eroded lands.

CONDITIONS

This application is appropriate for areas which require immediate vegetative covers, drop inlets, grass swales, and waterways with intermittent flow .

CONSTRUCTION SPECIFICATIONS INSTALLATION

Soil Preparation
• Bring soil surface to final grade. Clear surface of trash, woody debris, stones and clods larger than 1". Apply sod to soil surfaces only and not frozen surfaces, or gravel type soils.
• Topsoil properly applied will help guarantee stand. Don't use topsoil recently treated with herbicides or soil sterilants.
• Mix fertilizer into soil surface. Fertilize based on soil tests or Table 6-6.1. For fall planting of warm season species, half the fertilizer should be applied at planting and the other half in the spring.

Table 6-6.1. Fertilizer Requirements for Soil Surface Application

Fertilizer Type (lbs./acre)	Fertilizer Rate (lbs./acre)	Fertilizer Rate	Season
10-10-10	1000	.025	Fall

• Agricultural lime should be applied based on soil tests or at a rate of 1 to 2 tons per acre.

MATERIALS

• Sod selected should be certified. Sod grown in the general area of the project is desirable.
• Sod should be machine cut and contain 3/4" ± 1/4" of soil, not including shoots or thatch.
• Sod should be cut to the desired size within ±5%. Torn or uneven pads should be rejected.
• Sod should be cut and installed within 36 hours of digging.
• Avoid planting when subject to frost heave or hot weather if irrigation is not available.
• The sod type should be shown on the plans or installed according to Table 6-6.2. See Figure 6-4.1 for your Resource Area.

Table 6-6.2. Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tiflawn	M-L,P,C P,C P,C	Warm Weather
Bahiagrass	Pensacola	P,C	Warm Weather
Centipede	-	P,C	Warm Weather
St. Augustine	Common Bitterblue Raleigh	C	Warm Weather
Zoysia	Emerald Myer	P,C	Warm Weather
Tall Fescue	Kentucky	M-L,P	Cool Weather

MAINTENANCE

• Re-sod areas where an adequate stand of sod is not obtained.
• New sod should be mowed sparingly. Grass height should not be cut less than 2"-3" or as specified.
• Apply one ton of agricultural lime as indicated by soil test or every 4-6 years.
• Fertilize grasses in accordance with soil tests or Table 6-6.3.

Table 6-6.3. Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (P-P-K)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
Cool Season Grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	-
	Maintenance	10-10-10	400	30
Warm Season Grasses	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100
	Maintenance	10-10-10	400	30

Ds4

DISTURBED AREA STABILIZATION (WITH SODDING)

REVISION DATES

EROSION CONTROL CONTRUCTION DETAILS

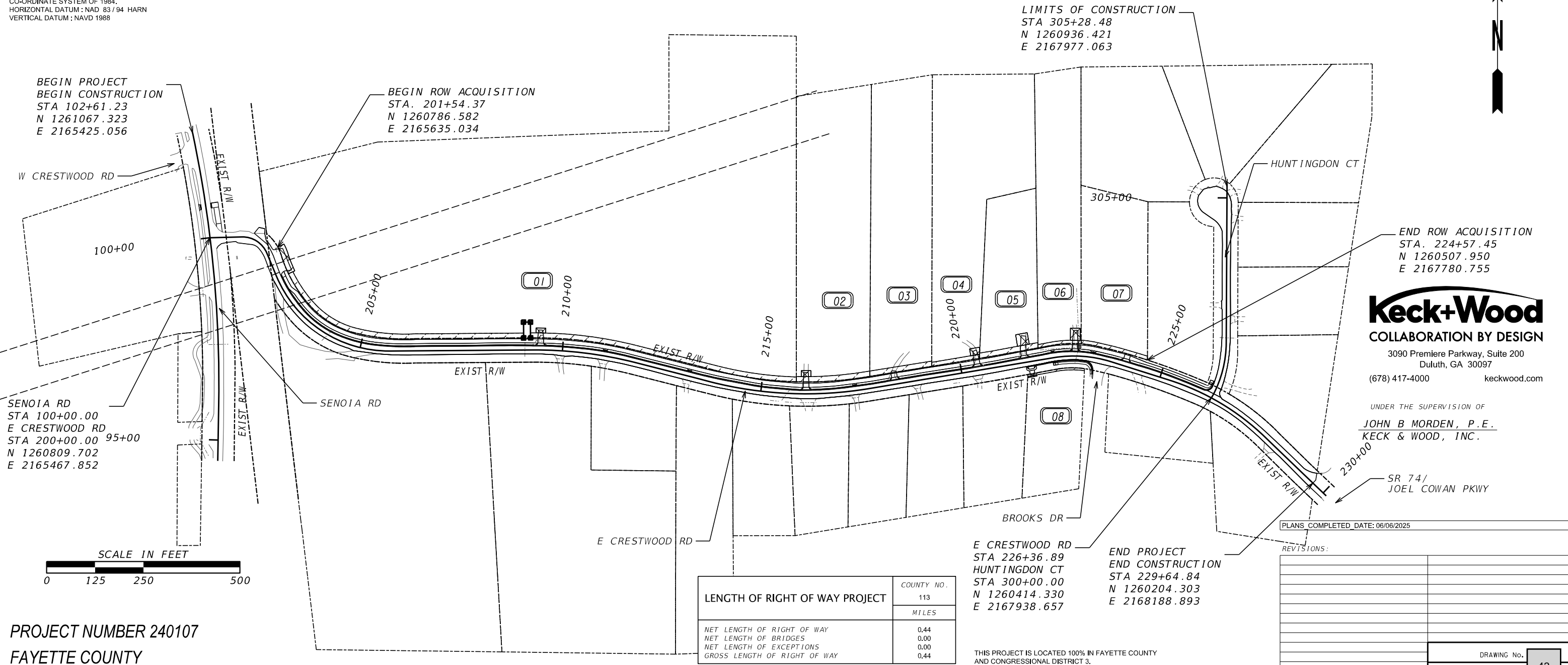
LAURELWOOD CONNECTOR MULTI-USE PATH

TOWN OF TYRONE, GA



LOCATION SKETCH

NOTE: THE CO-ORDINATES LISTED ARE WEST ZONE
GRID CO-ORDINATES BASED ON THE GA. STATE PLANE
CO-ORDINATE SYSTEM OF 1984.
HORIZONTAL DATUM : NAD 83 / 94 HARN
VERTICAL DATUM : NAVD 1988



DATE	DRAWING NO.	REVISION

DATE	DRAWING NO.	REVISION

PROPERTY AND EXISTING R/W LINE
REQUIRED R/W LINE
CONSTRUCTION LIMITS
EASEMENT FOR CONSTR
& MAINTENANCE OF SLOPES
EASEMENT FOR CONSTR OF SLOPES
EASEMENT FOR CONSTR OF DRIVES

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ORANGE BARRIER FENCE
ESA - ENV. SENSITIVE AREA

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DATE	REVISIONS

DATE	REVISIONS

TOWN OF TYRONE
STATE OF GEORGIA
RIGHT OF WAY REVISIONS

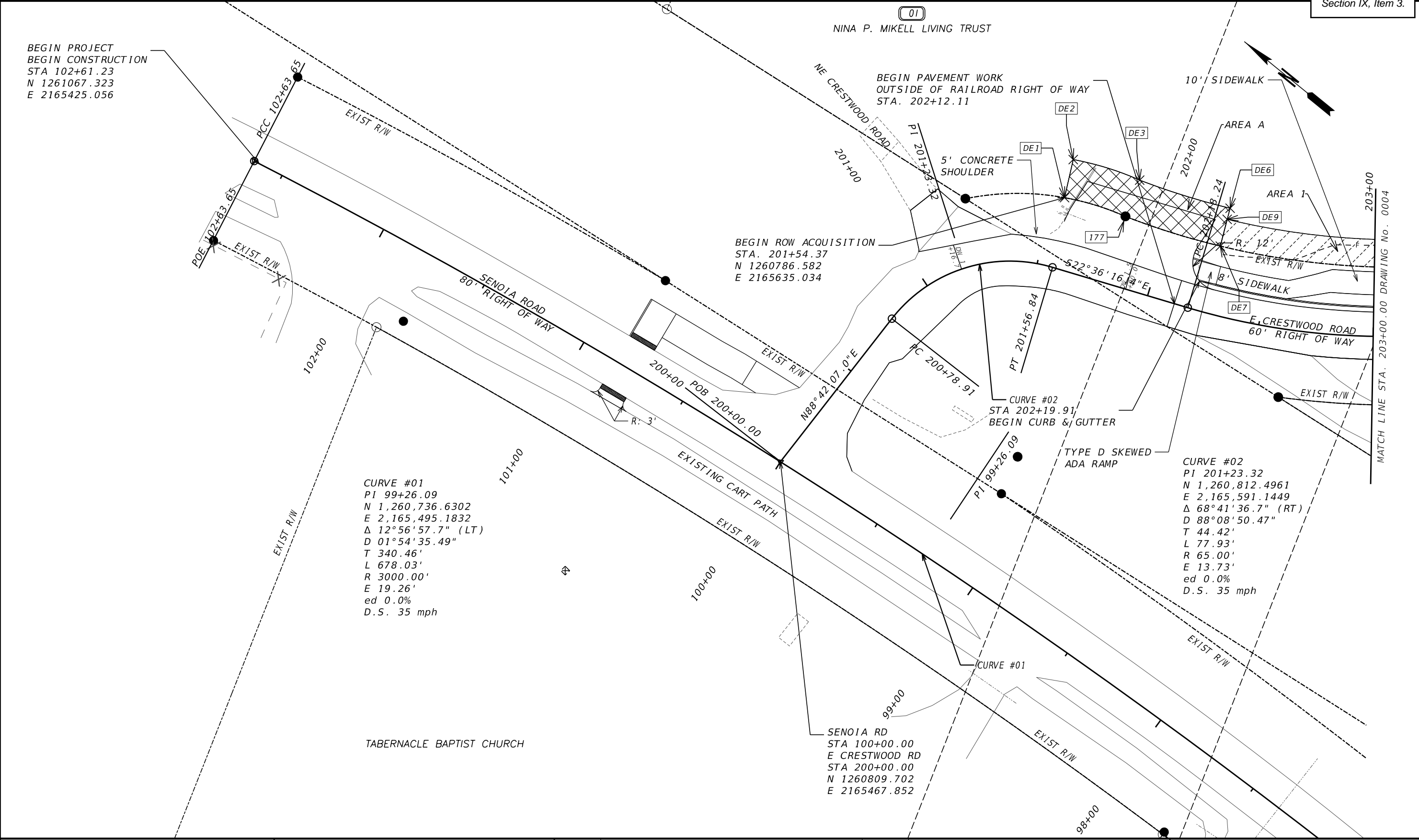
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COUNTY: 113
LAND LOT NO: 138
LAND DISTRICT: 07
GMD N/A
DATE 06/06/2025






SH 02 OF 11

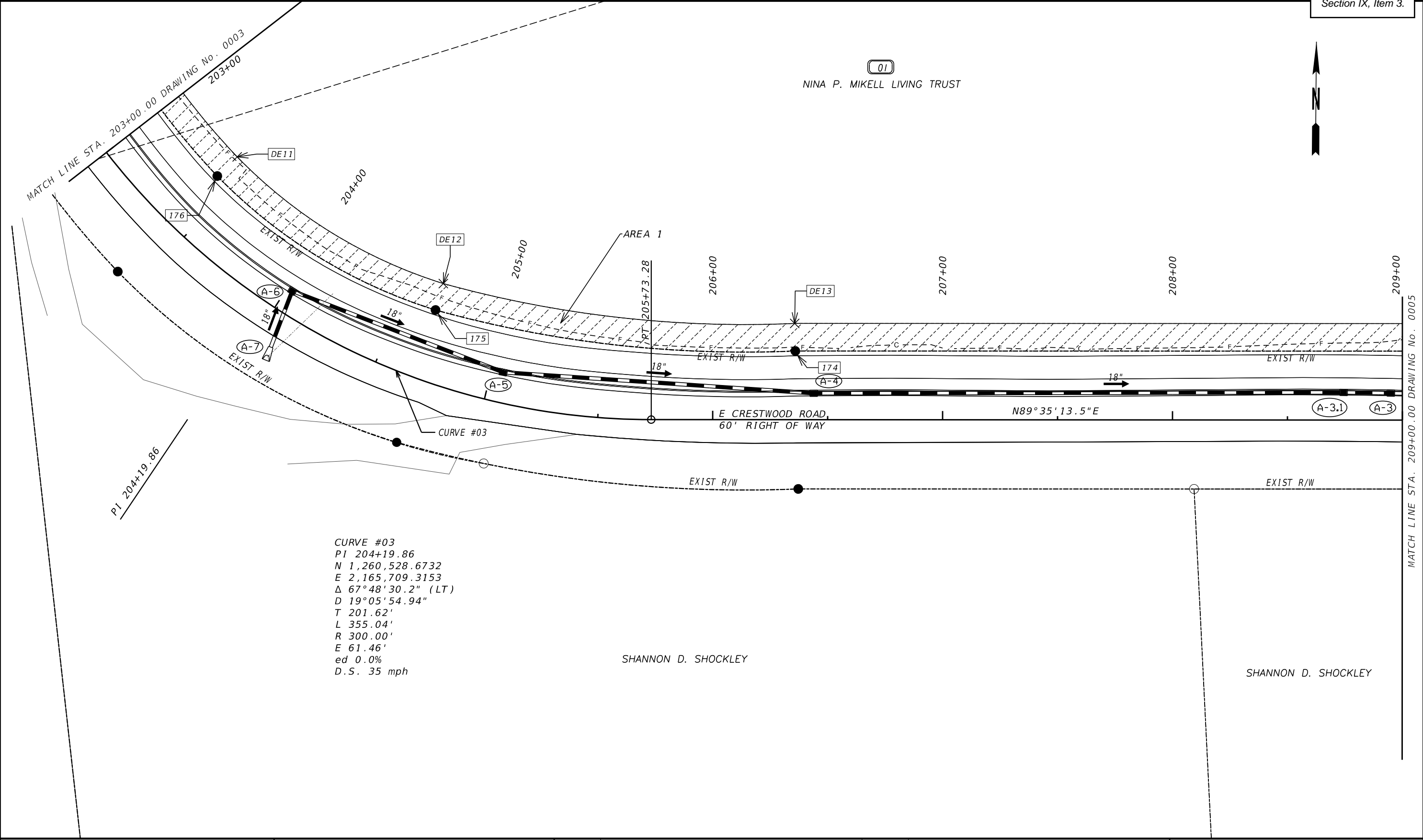
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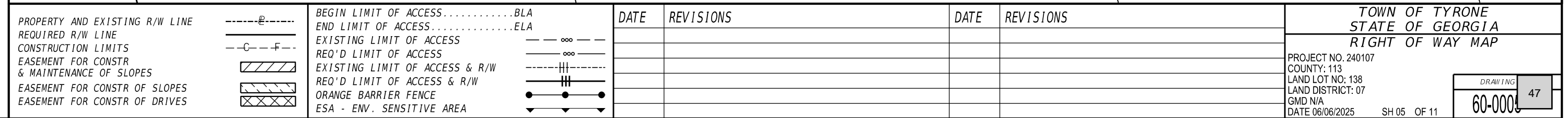
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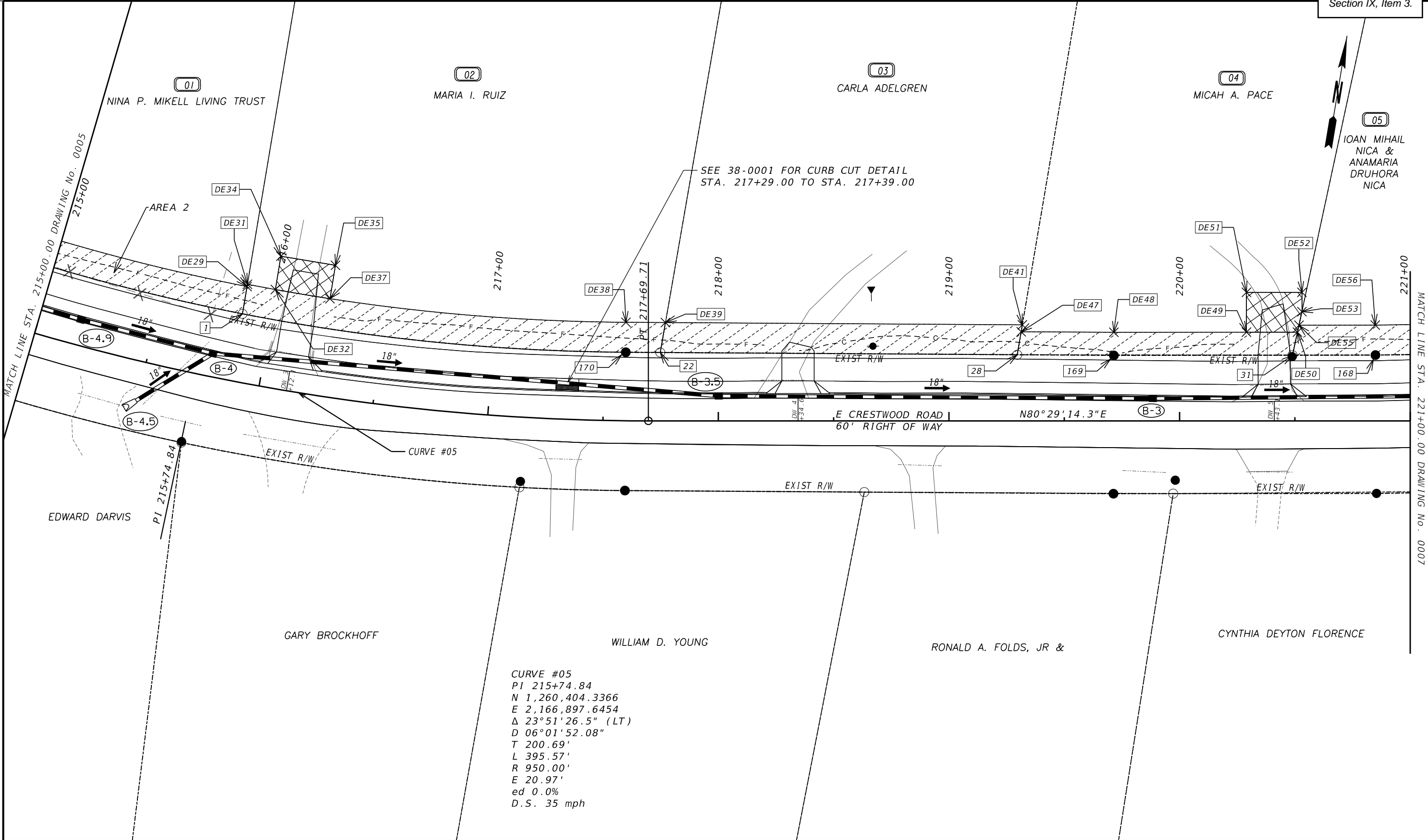
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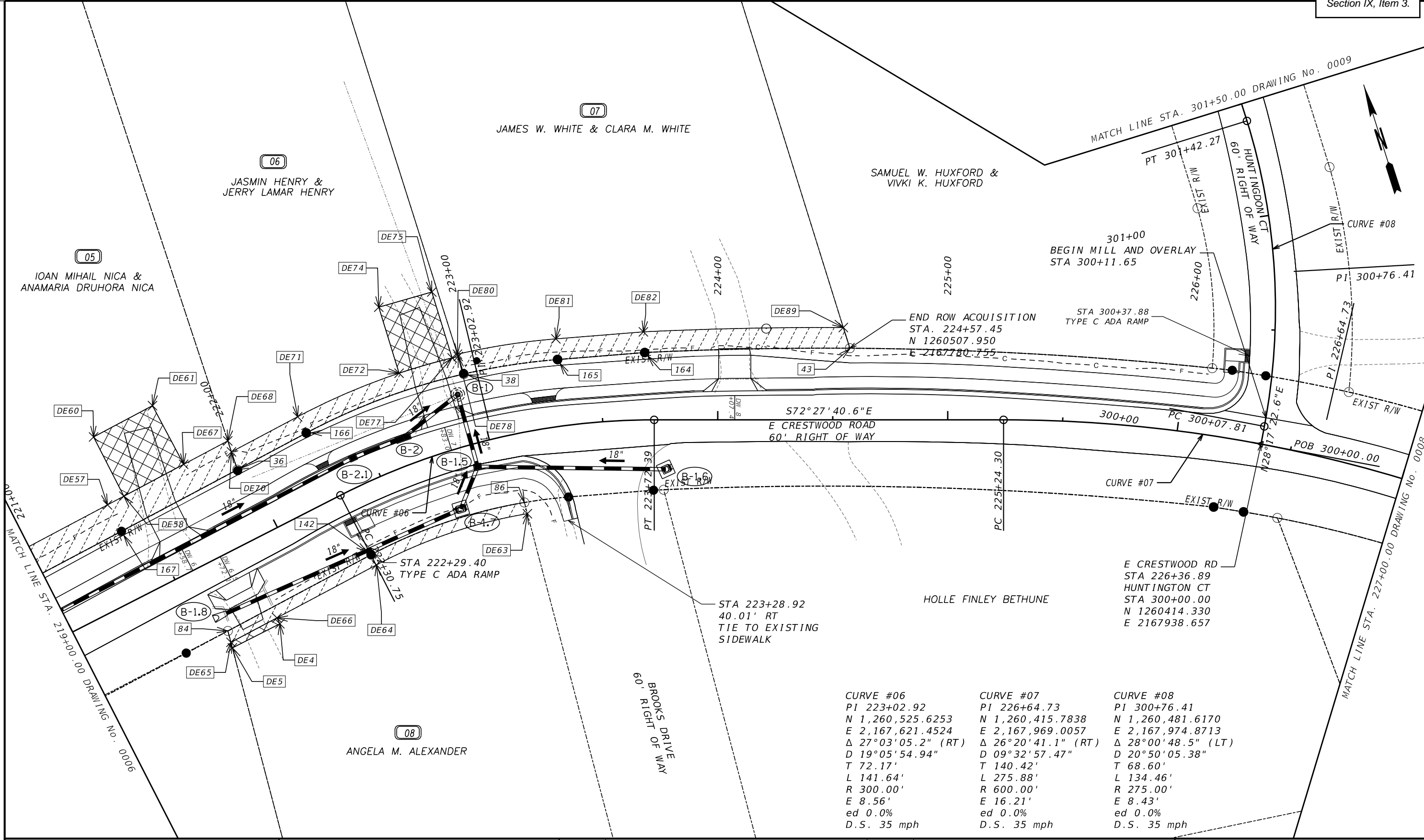
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SHANNON D. SHOCKLEY

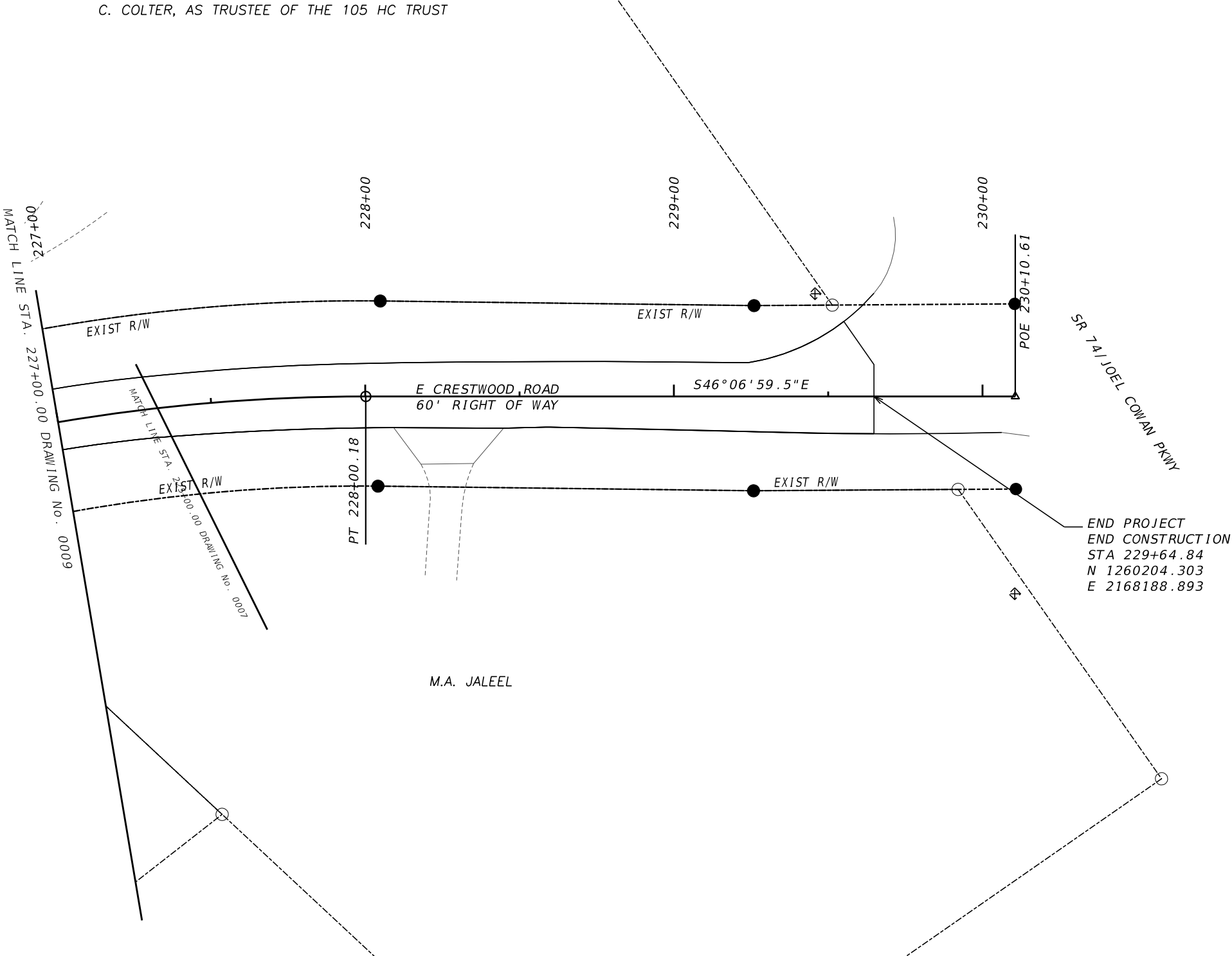
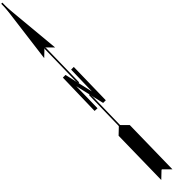
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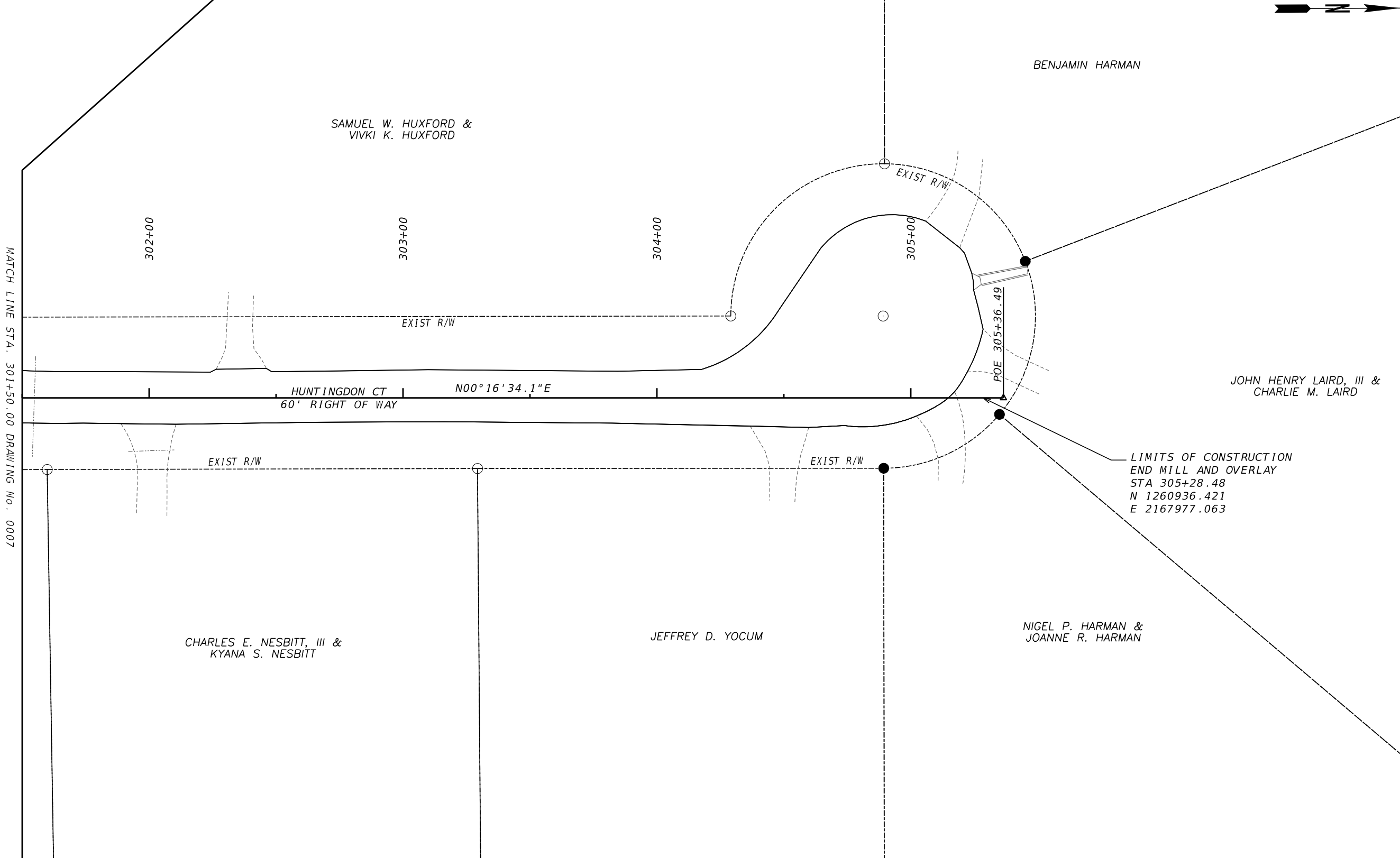






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								SH 07 OF 11	





<div>PROPERTY AND EXISTING R/W LINE</div> <div>REQUIRED R/W LINE</div> <div>CONSTRUCTION LIMITS</div> <div>EASEMENT FOR CONSTR & MAINTENANCE OF SLOPES</div> <div>EASEMENT FOR CONSTR OF SLOPES</div> <div>EASEMENT FOR CONSTR OF DRIVES</div>		<div>BEGIN LIMIT OF ACCESS.....BLA</div> <div>END LIMIT OF ACCESS.....ELA</div> <div>EXISTING LIMIT OF ACCESS</div> <div>REQ'D LIMIT OF ACCESS</div> <div>EXISTING LIMIT OF ACCESS & R/W</div> <div>REQ'D LIMIT OF ACCESS & R/W</div> <div>ORANGE BARRIER FENCE</div> <div>ESA - ENV. SENSITIVE AREA</div>		DATE		REVISIONS		TOWN OF TYRONE STATE OF GEORGIA RIGHT OF WAY MAP	
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COUNCIL ITEM AGENDA REQUEST FORM

Department: Community Development

Meeting Date: 08/21/2025

Staff Contact: Phillip Trocquet

Agenda Section: Old Business

Staff Report:

Item Description:

Discussion regarding the Town of Tyrone Sign Ordinance

Background/History:

At the August 7th Council meeting, council comments regarding the Town's sign ordinance was discussed. Particular points of interest was regarding how the ordinance addresses digital displays and internally illuminated signage.

Findings/Current Activity:

Staff has prepared the Town's sign ordinance and highlighted areas where the current ordinance language addresses these items. Currently the town's ordinance does not allow digital displays or any internally illuminated signage. If council wishes to explore an expansion of these permissions, staff is prepared to take direction from Council.

Staff would also like to pursue supplemental discussion regarding billboards and murals as both have been either discussed or have ordinance discrepancies that need to be addressed.

Is this a budgeted item? _NO_ If so, include budget line number:_____

Actions/Options/Recommendations:

Staff will await council direction based on discussion.

Chapter 111 SIGNS

ARTICLE I. IN GENERAL

Sec. 111-1. Definitions.

Words and phrases used in this chapter shall have the meanings set forth in this section. Words and phrases not defined in this section but defined in the zoning ordinance of the town shall be given the meanings set forth in such ordinance. Principles for computing sign area and sign height are contained in article III of this chapter.

Animated sign means any sign, or part of a sign, that uses any movement or change of lighting or color to depict action or create a special effect or scene. (Prohibited)

Awning/canopy sign means any sign that is a part of or attached to an awning, canopy, or other fabric, plastic, or protective cover over a door, entrance, window, or outdoor service area. A marquee is not a canopy. (Prohibited)

Banner means any sign of lightweight fabric or similar material that is intended to be hung either with or without a frame, possessing characters, letters, illustrations, or ornamentations applied to paper, plastic or fabric of any kind. Banners can be either a freestanding sign or a wall sign.

Beacon means any light with one or more beams directed into the atmosphere or directed at one or more points not on the same lot as the light source; also, any light with one or more beams that rotate or move. (Prohibited)

Bench sign means any sign painted on or otherwise attached to a bench or other seat placed on or off a public right-of-way or meant to be seen by the public. (Prohibited)

Billboard means a freestanding sign larger than 60 square feet used for the display of posters or printed or painted advertising matter. (Prohibited)

Canopy/awning sign. See *Awning/canopy sign*.

Changeable copysign means a sign on which the message changes more than eight times per day. (Prohibited)

Drive-through sign means a wall or freestanding sign at a drive-through facility.

Flag means any fabric or bunting containing distinctive colors, patterns, or symbols.

Flashing sign means a sign, the illumination of which is not kept constant in intensity at all times when in use and which exhibits marked changes in lighting effects. (Prohibited)

Freestanding sign means any sign supported by structures or supports that are placed on, or anchored in, the ground and that are independent from any building or other structure.

Grade, for the purpose of measuring sign height, means the natural ground level at a sign's proposed location unless such ground level is lower than the centerline of the adjoining street in which case height shall be measured from the centerline elevation of the adjoining street. (See section 111-79.)

Illuminated sign, external, means a sign illuminated by an external light source directed primarily toward such sign. Such source cannot be a device that changes color, flashes, or alternates.

Illuminated sign, internal, means a sign illuminated by an internal light source. (Prohibited)

Kiosk means a small, freestanding structure requiring a building permit which may have more than two surfaces. (Prohibited)

Lot means a parcel of land that is of sufficient size to meet minimum zoning requirements for lot area, coverage, and use, and that can provide such yards and other open spaces as required by the zoning regulations.

Marquee or *marquee sign* means any permanent roof-like structure projecting beyond a building or extending along and projecting beyond the wall of the building, generally designed and constructed to provide protection from the weather. Any sign attached to, in any manner, or made a part of a marquee.

Moving sign means a sign which revolves, rotates, swings, undulates, or otherwise attracts attention through the structural movement of parts. (Prohibited)

Mural means a graphic displayed on the exterior of a building, generally for the purposes of decoration or artistic expression, or depicting a scene or event of natural, social, cultural, or historic significance. (Prohibited)

Nonresidential zoning district. The following are considered nonresidential zoning districts within this chapter: O-I, E-I, M-1, M-2, C-1, C-2, C-3, PUD, and LUC.

Out-of-store marketing device means any device upon which a sign is placed which is intended to display messages outside of a primary building on a site zoned for commercial uses. Examples of out-of-store marketing devices include fuel pumps, menu boards, bank ATM units, newspaper racks, drink machines, ice boxes, and phone booths.

Pennant or *streamer* means any lightweight plastic, fabric, or other material, whether or not containing a message of any kind, suspended from a rope, wire, or string, usually in a series, designed to move in the wind. (Prohibited)

Permanent sign means any sign which, when installed, is intended for permanent use. Each lot shall be allowed only one permanent freestanding sign of a type and construction as to not be easily or readily removed from the lot on which it has been erected.

Permit means a sign permit reviewed, approved, and issued by the Town of Tyrone.

Portable sign means any sign which is designed to be transported, including by trailer or on its own wheels, even though the wheels of such sign may be removed and the remaining chassis or support constructed without wheels is converted to an A- or T-frame sign. Sandwich board signs, balloons used as signs, umbrellas used for advertising and signs attached to or painted on vehicles which prevent the vehicle being used in its intended purpose and that are legible from the public right-of-way are also considered portable signs. (Prohibited)

Principal building means the building in which the principal use of the lot is conducted. Lots with multiple principal uses may have multiple principal buildings, but storage buildings, garages, and other clearly accessory uses shall not be considered principal buildings.

Public sign means:

- (1) Any sign erected for the benefit of the public by a governmental entity for informational purposes including, but not limited to, identifying or providing direction to public telephones, restrooms, locating hazardous or dangerous areas, conditions, events, or identifying the location of underground utility facilities;
- (2) A sign erected by a governmental agency to denote the name of any thoroughfare; to point out the route to any town, educational institution, public building, historic place, hospital, or other use, facility, or attraction; to direct and regulate traffic; and to denote any railroad crossing, bridge or other transportation facility for the convenience and safety of the general public.

Residential zoning district. The following are considered residential zoning districts within this chapter: AR, CR-1, CR-2, CR-3, R-52, R-50, R-48, R-46, R-44, R-42, DR-15, MPH, TR, and RMF.

Roof sign means any sign erected and constructed wholly on and over the roof of a building, supported by the roof structure. (Prohibited)

Seasonal display means any item displayed for the purpose of celebrating a specified cultural, or religious event (e.g., Christmas, Easter, Thanksgiving, July 4th, New Year's, Hanukkah, Kwanzaa).

Sidewalk, sandwich, or A-frame sign means a sign which is normally in the shape of an "A" or some variation thereof and which is usually two-sided.

Sign means any device, fixture, placard, or structure affixed to, or suspended by, a stationary object, building, or the ground that uses any color, form, graphic, illumination, symbol, or writing to advertise, announce the purpose of, or identify the purpose of a person or entity, or to communicate information of any kind to the public.

Suspended sign means any sign used in a multi-tenant building which is suspended from any part of the building.

Temporary sign means any sign that is used temporarily and is not permanently mounted.

Town manager means the person, officer or official whom the mayor and council has designated for the enforcement of this chapter, or his designee.

Wall sign means any sign attached parallel to a wall, painted on the wall surface, or erected and confined within the limits of an outside wall of any building or structure which is supported by such wall or building, and which displays only one sign surface. No wall sign shall extend more than six inches from any wall, building, or structure.

Window sign means any sign, picture, symbol, or combination thereof, that is placed within ten feet inside a window or upon the window panes or glass either inside or outside the building, and is visible and legible from the exterior of the structure.

(Ord. No. 2009-006, § 1(6-6-3), 5-21-2009)

Sec. 111-2. Title.

This chapter shall hereafter be known and cited as the "Town of Tyrone Sign Ordinance."

(Ord. No. 2009-006, § 1(6-6-1), 5-21-2009)

Sec. 111-3. Purpose and intent.

- (a) The mayor and town council understand that signs are an integral part of the ability of every person to exercise their right to freedom of speech. It is, however, important to understand that there is a fundamental need to protect the town as a whole from the unchecked proliferation of unregulated signage. It is with this understanding in mind that the mayor and town provide the following purposes for the regulation of signage:

- (1) To encourage the effective use of signs as a means of communication in the town;
- (2) To maintain and enhance the aesthetic environment and the town's ability to attract sources of economic development and growth;
- (3) To improve pedestrian and traffic safety;
- (4) To minimize the possible adverse affects of signs on nearby public and private property;
- (5) And to enable the fair and consistent enforcement of these sign restrictions.

- (b) This chapter is adopted under the zoning authority of the town in furtherance of the more general purposes set forth in the zoning ordinance.

(Ord. No. 2009-006, § 1(6-6-2), 5-21-2009)

Sec. 111-4. Violations, penalties.

- (a) *Illegal signs.* No person shall erect on any premises owned or controlled by him/her any sign which does not comply with the provisions of this chapter.
- (b) *Dangerous, defective condition.* No person shall maintain or permit to be maintained on any premises owned or controlled by him any sign which is in a dangerous or defective condition. Any such sign shall be removed or repaired by the owner of the sign or the owner of the premises, or as otherwise provided for in this chapter.
- (c) *Separate violations.* Each sign installed, created, erected, or maintained in violation of this chapter shall be considered a separate violation when applying the penalty portions herein.
- (d) *Public nuisance.* Any violation of this chapter is hereby declared to be a public nuisance.
- (e) *Misdemeanor.* In case any sign or other device covered by this chapter is, or is proposed to be, erected, constructed, altered, converted or used in violation of any provision of this chapter, the town manager shall cause a citation to issue. Additionally, the town may seek an injunction for a continuing violation or take other appropriate action to prevent such unlawful erection, construction, alteration, conversion, or use to correct or abate such violation.

(Ord. No. 2009-006, § 1(6-6-21), 5-21-2009)

Sec. 111-5. Prohibited signs and devices.

The following signs shall be prohibited under this chapter. Such signs include, but are not limited to:

- (1) Animated or flashing signs;
- (2) Rotating, animated signs, or any sign which requires either natural or artificial wind current or energy for motion or gives the appearance of movement;
- (3) Portable or trailer display signs when not attached to a motor vehicle;
- (4) Signs on courtesy benches, trash cans, and similar devices on which advertising is displayed;
- (5) Search lights, beacons, or similar devices;
- (6) Roof signs;
- (7) Pennants, streamers;
- (8) Attention-getting devices, including but not limited to balloons (including all inflatable air signs) and lights, shall not be used to attract attention to any sign or business. This includes neon tubing or bare bulb lights encircling a window or outlining the structure;
- (9) Signs or other advertising structures that contain obscene or indecent material.
 - a. Material is obscene if either, or both, of the following apply:
 1. To the average person, applying contemporary community standards, taken as a whole, it predominantly appeals to the prurient interest, that is, a shameful or morbid interest in nudity, sex, or excretion; or

2. The material depicts or describes, in a patently offensive way, sexual conduct specifically defined as follows:
 - (i) Acts of sexual intercourse, heterosexual or homosexual, normal or perverted, actual or simulated;
 - (ii) Acts of masturbation;
 - (iii) Acts involving excretory functions or lewd exhibition of the genitals;
 - (iv) Acts of bestiality or the fondling of sex organs of animals; or
 - (v) Sexual acts of flagellation, torture, or other violence indicating a sadomasochistic sexual relationship.
- b. Material is indecent if the sign depicts the following portions of human anatomy:
 1. Any portion of the female breast below the top of the areola;
 2. Any portion of the male or female pubic hair, anus, cleft of the buttocks, vulva and genitals;
- (10) No lettering, logos or other graphics are allowed on any awning, canopy (including a gasoline canopy), marquee, umbrella or other similar devices;
- (11) Kiosks;
- (12) Changeable copy signs;
- (13) All signs attached to light poles, power poles or trees (when in the right-of-way);
- (14) Any privately-owned sign located within or partially within a road right-of-way;
- (15) Billboards; and
- (16) Murals.

(Ord. No. 2009-006, § 1(6-6-15), 5-21-2009)

Sec. 111-6. Prohibited placements of posters, signs and advertisements.

- (a) This chapter is adopted with knowledge of the presence of O.C.G.A. § 16-7-58 which provides for the regulation of posters, signs and advertisements in the state. O.C.G.A. § 16-7-58 is set out in subsection (b) of this section. This chapter shall be enforced while giving full effect to O.C.G.A. § 16-7-58.
- (b) It shall be unlawful for any person to place posters, signs, or advertisements:
 - (1) On any public property or building, unless the owner thereof or the occupier as authorized by such owner has given permission to place such posters, signs, or advertisements on such property; provided, however, that signs within the rights-of- way of public roads shall be governed by O.C.G.A. § 32-6-51;
 - (2) On any private property unless the owner thereof or the occupier as authorized by such owner has given permission to place such posters, signs, or advertisements on such property; and, provided, further that no municipal, county, or consolidated government may restrict by regulation or other means the length of time a political campaign sign may be displayed or the number of signs which may be displayed on private property for which permission has been granted; or
 - (3) On any property zoned for commercial or industrial uses if the placement of such posters, signs, or advertisements conflicts with any zoning laws or ordinances.

- (c) Any poster, sign, or advertisement placed in violation of subsection (b)(1) of this section is declared to be a public nuisance, and the officials having jurisdiction of the public property or building, including without limitation law enforcement officers, may remove or direct the removal of the same.
 - (d) Each poster, sign, or advertisement placed in violation of this section shall constitute a separate offense.
 - (e) Any person who violates this section shall be punished the same as for littering under O.C.G.A. § 16-7-43.
- (Ord. No. 2009-006, § 1(6-6-24, exhibit A), 5-21-2009)

Secs. 111-7—111-30. Reserved.

ARTICLE II. ADMINISTRATION AND ENFORCEMENT

DIVISION 1. GENERALLY

Sec. 111-31. Nonconforming signs.

- (a) *Nonconforming existing signs.* A freestanding or wall sign for which a sign permit was issued which was in existence on May 21, 2009, or which was constructed in accordance with the ordinances and other applicable laws in effect on the date of its construction, but which by reason of its size, height, location, design or construction is not in conformance with the requirements of this chapter, shall be considered a nonconforming sign. Such a sign shall be allowed to remain in place and be maintained (provided that no action is taken which increases the degree or extent of the nonconformity) until there is a change of business name (single business), a change of complex name (multi-business), or the sign and/or supporting structure is totally destroyed as a result of vandalism or any act of the owner or any person acting on behalf of the owner. In the case of a change of ownership where the business name and existing signage (face and structure) remain the same, said sign shall be allowed to remain in place.
- (b) *Lapse of nonconforming sign permit.* A nonconforming sign permit shall lapse and become void under the same circumstances as those under which any other sign permit may lapse and become void.

(Ord. No. 2009-006, § 1(6-6-22), 5-21-2009)

Sec. 111-32. Inspection.

A representative of the town shall inspect each sign or other advertising structure regulated by this chapter from time to time for the purpose of ascertaining whether such structure is safe and lawful. If a sign is deemed to be in need of repair, the owner shall have ten days from the date of written notice from the town in which to repair or remove such sign. Missing letters from a raised letter or changeable copy sign, peeling paint from a painted sign, burned out/inoperative light emitting devices, etc., shall constitute a need for repair.

(Ord. No. 2009-006, § 1(6-6-13), 5-21-2009)

Sec. 111-33. Removal of unlawful or dangerous signs.

- (a) *Removal.* The town may order the removal of any sign in violation of this chapter by written notice to the permit holder; or, if there is no permit holder, then to the owner of the sign; or, if the sign owner cannot be

found or cannot be determined, then to the sign erector and any party that procured the erection of the sign. If a permit has been issued, such notice shall operate to revoke the permit.

- (b) *Procedure following removal order.* If the sign is not removed within 14 days after the order of removal (or 14 days after the date any appeal becomes final), the town shall remove or cause to be removed the sign and to collect the costs thereof as provided below.
- (c) *Removal without notice.* The town shall remove any sign in violation of this chapter, without giving notice to any party, if:
 - (1) Said sign is upon the public right-of-way or upon other public property; or
 - (2) Said sign poses an immediate safety threat to the life or health of any members of the public.
- (d) *Reclamation/fees.* Following such removal or repair, the town may collect the costs as set by the mayor and council for any reclaimed signs. Signs not claimed will be destroyed after 14 days.

(Ord. No. 2009-006, § 1(6-6-23), 5-21-2009)

Sec. 111-34. Variances.

- (a) Standards. Variances shall be limited to the minimum relief necessary to overcome the hardship. No variance shall be granted to allow a greater number of signs than would be allowed if the hardship did not exist. A variance from compliance with the sign regulations of this chapter shall be limited to the following hardship situations:
 - (1) Where visibility of a conforming sign from the public street and within 50 feet of the proposed sign would be substantially impaired by existing trees, plants, natural features, signs, existing buildings or structures on a different lot; and
 - (2) Placement of the sign elsewhere on the lot would not remedy the visual obstruction; and such visibility obstruction was not created by the owner of the subject property; and the variance proposed would not create a safety hazard to traffic.
- (b) Variance applications shall be submitted to the town council and shall be heard under the same time frames and rules governing appeals under this chapter.

(Ord. No. 2009-006, § 1(6-6-91), 5-21-2009)

Secs. 111-35—111-56. Reserved.

DIVISION 2. PERMITS

Sec. 111-57. Permits required.

- (a) *Applications for signage.* Applications for sign permits required by this chapter shall be filed with the town during normal business hours and shall include the following:
 - (1) The name, street address, and phone number of the owner of the property where the sign is to be installed, along with a site plan showing the proposed location of the sign on the property.
 - (2) If the applicant is not the owner of the property, a signed and notarized authorization by the property owner shall be included with the application.

- (3) A description of the type of sign to be erected which shall include a schematic drawing of the sign indicating overall dimensions (height, width, square footage, shape, and number of faces).
 - (4) All applications for signage shall be on a form provided by the town.
 - (b) *Review and notification.* Review of an application deemed to be complete by the town and notification to the applicant of either approval or denial shall in no case extend for a period of time exceeding 30 days from the date of the town's receipt of the completed application. Notification to the applicant can be made either by certified mail, return receipt requested, by fax to the number provided on the application, or by hand delivery on or before the 30th day after the town's receipt of the application. Should the process exceed 30 days, it shall be deemed that the application is approved and the town shall issue a permit to the applicant. Issuance of a permit shall in no way prevent the town from later declaring the sign to be illegal if the structure fails to substantially comply with the specifications submitted in the application or some new information of illegality is discovered.
- (Ord. No. 2009-006, § 1(6-6-11), 5-21-2009)

Sec. 111-58. Signs which require no permit.

- (a) *Public signs.* Signs erected by a public officer in the performance of his duties, including but not limited to public notices, safety signs, danger signs, traffic and street signs, memorial plaques, and historical markers, shall be exempt from the provisions of this chapter.
- (b) *Exempt signs.* The following types of signs shall be exempt from the permit requirements of section 111-57 and shall not count toward the maximum aggregate sign area limits provided in sections 111-124, 111-157, and 111-159:
 - (1) Numerals displayed for the purpose of identifying property location not to exceed eight inches in height;
 - (2) Seasonal displays located outside the public right-of-way;
 - (3) Flags (see sections 111-128 and 111-163);
 - (4) Signs at the rear entrance of a business not to exceed one square foot;
 - (5) Window signs (see sections 111-126 and 111-159);
 - (6) Door signs not to exceed one square foot;
 - (7) Banners in residential zoning districts;
 - (8) Out-of-store marketing device (see section 111-162);
 - (9) Residential freestanding signs (see section 111-124); and
 - (10) Nonresidential temporary signs (see section 111-157(e)).

(Ord. No. 2009-006, § 1(6-6-14), 5-21-2009)

Sec. 111-59. Denial, revocation, suspension and appeal.

- (a) *Compliance.* The town shall deny all applications for signs that do not comply with this chapter. Written notification to the applicant listing the reasons for denial shall be provided as set forth in section 111-57(b).
- (b) *Revocation of permits and certificates.* The town may revoke a sign permit or certificate of compliance in those cases where an administrative determination has been duly made that false statements or

misrepresentations existed as to material facts in the application or plans upon which the permit of approval was based.

- (c) *Suspension of permits and certificates.* The town may suspend a sign permit or certificate of compliance where an administrative determination has been duly made that an error or omission on the part of either the permit applicant or a government agency existed in the issuance of the permit or certificate. A new permit or certificate shall be issued in place of the incorrect permit or certificate after correction of the error or omission.
- (d) *Appeals.* Any individual whose application has been denied or a permittee whose permit has been revoked may appeal the decision of the town manager to the mayor and council upon filing a written notice of an appeal with the town clerk within ten business days of notification of denial or revocation. Such appeal shall be considered by the mayor and council at the next council meeting held after the town's receipt of the written notice of appeal, provided that the notice of appeal is received a minimum of five full business days before the meeting. If the appeal is not heard at such meeting, it shall be heard at the next regular meeting of the mayor and council thereafter. In the event an individual whose permit has been denied or revoked is dissatisfied with the decision of the town council, he may petition for writ of certiorari to the superior court as provided by law.

(Ord. No. 2009-006, § 1(6-6-12), 5-21-2009)

Secs. 111-60—111-76. Reserved.

ARTICLE III. CONSTRUCTION AND MAINTENANCE STANDARDS

Sec. 111-77. Sign location.

- (a) *Obstructions to doors, windows, or fire escapes.* No sign shall be erected, relocated or maintained so as to prevent free ingress or egress from any door, window, or fire escape.
- (b) *Signs not to constitute traffic hazard.* No sign or part thereof, except authorized traffic signs, shall be located in any state, county or town right-of-way. No sign may be located any closer than 20 feet from an intersection as measured from the intersection of the two rights-of-way.

(Ord. No. 2009-006, § 1(6-6-31), 5-21-2009)

Sec. 111-78. Measurement of sign area.

The area of a sign shall mean and shall be computed as the entire area within the continuous perimeter enclosing the limits of all writing, representation, emblem, or any figure or similar character. This shall also include any open spaces or colors forming an integral part of the display or used to differentiate such.

(Ord. No. 2009-006, § 1(6-6-32), 5-21-2009)

Sec. 111-79. Measurement of sign height.

- (a) The height of a sign shall be computed as to the distance from the base of the sign at normal grade to the top of the highest attached component of the sign. Normal grade shall be construed to be the lower of:
 - (1) Existing grade prior to construction; or

- (2) The newly established grade after construction, exclusive of any filling, berming, mounding, or excavating solely for the purpose of locating the sign.
- (b) In cases in which the normal grade cannot reasonably be determined, sign height shall be computed on the assumption that the elevation of the normal grade at the base of the sign is equal to the elevation of the nearest point of the crown of a public street or the grade of the land at the principal entrance to the principal structure on the zone lot, whichever is greater.
- (c) Where the normal grade is below the normal grade of a public street, the sign base can be raised to the elevation of the normal grade of the street before the height limitations are applied (surveyor's certificate required).

(Ord. No. 2009-006, § 1(6-6-33), 5-21-2009)

Sec. 111-80. Construction standards.

- (a) *Town codes.* All signs permitted under this Code shall be constructed and maintained in accordance with the applicable town building codes. The town may remove, after due notice per section 111-33, any sign which shows neglect or becomes dilapidated.
- (b) *Face of sign shall be smooth.* No sign or other advertising structure shall be constructed so as to have nails, tacks, or wires protruding therefrom.
- (c) *Illumination of signs.* Signs, when illumination is permitted, may only be illuminated externally.
- (d) *Maintenance.* Landscaping, weeds, and grass shall be kept cut in front of, behind, underneath, and around the base of ground signs.

(Ord. No. 2009-006, § 1(6-6-34), 5-21-2009)

Secs. 111-81—111-103. Reserved.

ARTICLE IV. LOCATION RESTRICTIONS

DIVISION 1. GENERALLY

Sec. 111-104. Zoning districts.

- (a) *Signs by zoning district.* Sign standards by district apply to all zoning districts in the town. The districts are defined herein as being either residential or nonresidential.
- (b) *Residential zoning districts.* Residential zoning districts allow for both residential and nonresidential uses and as such will be governed by the respective articles of this chapter based on the approved use. For all unimproved residential property, the residential sign regulations shall apply. For all nonresidential uses permitted in residential zoning districts, the sign regulations for those uses shall be determined to be under division 3, Nonresidential Districts, of this article.
- (c) *Nonresidential zoning districts.* Nonresidential zoning districts allow for both nonresidential and residential uses and as such will be governed by the respective articles of this chapter based on the approved use. For all unimproved nonresidential property the single business sign regulations shall apply (see section 111-157).

For all residential uses permitted in the nonresidential zoning district, the sign regulations for those uses shall be determined to be under division 2, Residential Districts, of this article.

(Ord. No. 2009-006, § 1(6-6-41), 5-21-2009)

Secs. 111-105—111-121. Reserved.

DIVISION 2. RESIDENTIAL DISTRICTS

Sec. 111-122. Scope.

The provisions of this division apply in residential zoning districts.

Sec. 111-123. Signs allowed within residential zoning districts.

The following signs shall be allowed in all residential zoning districts:

- (1) Freestanding signs (see section 111-124);
- (2) Window signs (see section 111-126);
- (3) Signage during construction (see section 111-127);
- (4) Flags (see section 111-128);
- (5) Numerals displayed for the purpose of identifying property location not to exceed eight inches in height;
- (6) Seasonal displays located outside the public right-of-way; and
- (7) Banners.

(Ord. No. 2009-006, § 1(6-6-61), 5-21-2009)

Sec. 111-124. Residential freestanding signs.

- (a) *Number, size and height of signs.* Lots located in a residential zoning district shall be allowed no more than four freestanding signs not to exceed six square feet each sign. Signs shall not exceed four feet in height. Sign structures shall not exceed five feet in height. For purposes of determining the maximum height of signs and sign structures, the measurements shall be taken from the grade level of any adjacent street or the grade level of the lot, whichever is higher. Banners shall not be exempt from this section. The freestanding signs allowed in this section shall be temporary signs as that term is defined in this chapter. However, one of the four signs allowed in this section may be a permanent sign. No permit shall be required.
- (b) *Subdivision signs.* Notwithstanding anything herein to the contrary, the sign area of signs at the entrance of a subdivision shall be limited to 40 square feet and six feet in height. If used in conjunction with a wall, the wall shall not exceed five feet in height. The decorative facade, including post and/or columns, shall not exceed seven feet in height. No more than two signs shall be allowed to be placed at each entrance of a subdivision. Signs shall be placed on common property under the ownership of the home owners association (HOA) and shall not be allowed to be on private property. A permit shall be required.
- (c) *Banners.* Banners shall not be more than 24 square feet in size to be displayed not more than 30 days in a calendar year. No banner shall be mounted so as to extend above the horizontal plane of the roof where the

building wall and roof meet and shall not extend more than four feet above grade when mounted on the ground. There shall be only one banner displayed at a time. No permit shall be required.

- (d) *Multi-family parcels.* For any multi-family residential property, the number of allowable freestanding signs shall not exceed eight signs not more than six square feet each. Such developments shall also be entitled to two permanent signs at the entrance to the development as regulated in subsection (b) of this section. The property owner shall be responsible for all signage posted on the property. Notwithstanding any provisions within this section to the contrary, signs within the DR-15 zoning district shall be regulated in the same manner as single-family residential zoning districts are regulated. For purposes of this chapter, a DR-15 zoning district shall not be considered to be a multifamily zoning district. A permit shall not be required.

(Ord. No. 2009-006, § 1(6-6-62), 5-21-2009)

Sec. 111-125. Wall signs.

Wall signs in residential districts shall be prohibited.

(Ord. No. 2009-006, § 1(6-6-63), 5-21-2009)

Sec. 111-126. Window signs.

Window signs shall be allowed in all residential districts and shall not cover more than 25 percent of the area of each window in which a sign is placed. Window signs may be placed in no more than four windows of the residential structure.

(Ord. No. 2009-006, § 1(6-6-64), 5-21-2009)

Sec. 111-127. Signage during construction.

- (a) *Number, size and height of sign.* One temporary sign shall be allowed on construction sites. A permit shall be required.
- (1) *Duration.* Said sign shall be allowed beginning with the issuance of a land disturbance permit and ending with the issuance of a certificate of occupancy/completion or installation of a permanent sign, whichever occurs first.
 - (2) *Size.* Said sign shall not exceed 12 square feet in area or five feet in height.
 - (3) *Construction.* Said sign may be a permanent sign as that term is defined in this chapter. Any permanent sign constructed consistent with this section shall not exceed the duration restrictions in subsection (a)(1) of this section.
- (b) *Additional sign.* This sign is in addition to those signs listed in section 111-124.

(Ord. No. 2009-006, § 1(6-6-65), 5-21-2009)

Sec. 111-128. Flags.

Flagpoles shall not exceed 35 feet in height. The flags' dimensions shall be proportional to the pole such that the hoist side of the flags is not more than 35 percent of the vertical height of the flagpole.

(Ord. No. 2009-006, § 1(6-6-66), 5-21-2009)

Secs. 111-129—111-154. Reserved.

DIVISION 3. NONRESIDENTIAL DISTRICTS

Sec. 111-155. Scope.

The provisions of this division apply in nonresidential zoning districts.

Sec. 111-156. Signs allowed within nonresidential zoning districts.

The following signs shall be allowed in all nonresidential zoning districts:

- (1) Freestanding signs (see section 111-157);
- (2) Wall signs (see section 111-158);
- (3) Window signs (see section 111-159);
- (4) Banners (see section 111-160);
- (5) Signage during construction (see section 111-161);
- (6) Out-of-store marketing device (see section 111-162);
- (7) Flags (see section 111-163);
- (8) Suspended signs (see section 111-164);
- (9) Sidewalk, sandwich, and A-frame signs (see section 111-157); and
- (10) Awning/canopy signs (see section 111-165).

(Ord. No. 2009-006, § 1(6-6-71), 5-21-2009; Ord. No. 2013-03, § 1, 2-7-2013)

Sec. 111-157. Freestanding signs.

- (a) *Number, height and dimensions.* Unless otherwise provided herein, each parcel is allowed one permanent freestanding sign, not to exceed six feet in height, ten feet in width and not more than 40 square feet in area.
- (b) *Multiple businesses parcel.* Each parcel containing multiple businesses shall be entitled to display one permanent freestanding sign. Individual business names are included in the total square footage. The maximum area of the sign shall not exceed seven feet in height, ten feet in width, and not more than 60 square feet in area.
- (c) *Illumination; permit.* Freestanding signs may be externally illuminated. A permit shall be required.
- (d) *Drive-through signs.* Signs as part of a drive-through facility, not visible or legible by the traveling public shall not be regulated by this chapter; however, no individual drive-through sign may exceed 40 square feet.
- (e) *Temporary signage.* Each parcel containing a single business shall be allowed not more than eight aggregate square feet of temporary signage. Each parcel containing multiple businesses shall be allowed not more than 12 aggregate square feet of temporary signage. No temporary sign shall be greater than four feet in height. A permit shall not be required. Sidewalk, sandwich, and A-frame signs may be used as the temporary signage as described in this section. The limitation on aggregate maximum square feet for temporary signage applies

to sidewalk, sandwich, and A-frame signs. Sidewalk, sandwich, and A-frame signs may only be displayed during business hours.

- (f) *Subdivision entrance/exit signs.* Notwithstanding anything herein to the contrary, the area of signs at the entrance/exit of a subdivision shall be limited to 40 square feet and six feet in height. If used in conjunction with a wall, the wall shall not exceed five feet in height. The decorative facade, including posts and/or columns, shall not exceed seven feet in height. No more than two signs shall be allowed to be placed at each entrance of a subdivision. Signs shall be placed on common property under the ownership of the property owners association (POA) and shall not be allowed to be on private property. A permit shall be required.

(Ord. No. 2009-006, § 1(6-6-72), 5-21-2009)

Sec. 111-158. Wall signs.

Wall signs shall be located on the principal building only. A permit shall be required.

- (1) *Number.* One wall sign shall be permitted for every street-facing wall of a structure, provided that said wall is on a side of the structure that is considered a front yard for setback purposes. In the case of structures which contain multiple businesses, each business is allowed a sign.
- (2) *Location.* No wall sign shall be placed on any roof or on top of any structure. In addition, no part of a wall sign shall be at an elevation higher than 25 feet above the average ground level elevation along the side of the building on which the wall sign is installed. If a building has two or more stories, no signs shall be installed at a level above the bottom of the second floor windows, unless the building is a multi-tenant office or multi-tenant commercial structure wherein tenants have primary, direct access from their space to the outside. This access must include outside walkways and stairways properly designed for public use.
- (3) *Construction.* All wall signs shall be safely and securely attached to the building wall, subject to the approval of the building official.
- (4) *Size/calculation.* The allowable front wall sign area for each building shall not exceed one-and-one-half square feet per linear foot of the front length of the building or portion thereof occupied. If the linear frontage of a building or portion thereof occupied is 100 feet or less, the maximum size of a wall sign is 70 square feet. If the linear frontage of a building or portion thereof occupied is in excess of 100 feet, the maximum size of a wall sign is 150 square feet. If the sign is a panel or box, the total area including background is included. If a sign consists of individual letters, each attached directly to a building or structure, the area of the sign shall be measured by the area of the smallest rectangle or series of contiguous rectangles which enclose all the letters.

(Ord. No. 2009-006, § 1(6-6-73), 5-21-2009; Ord. No. 2013-03, §§ 2, 3, 2-7-2013)

Sec. 111-159. Window signs.

No more than 50 percent or 35 square feet, whichever is less, of the total available advertising space (glass area) shall be used to display window signs. No window signs are allowed above the first floor unless the building is a multi-tenant office or commercial structure wherein tenants have primary direct access from their space to the outside. This access must include outside walkways and stairways properly designed for public use. In no case shall any window signs be installed above the level of the second floor windows. No permit shall be required.

(Ord. No. 2009-006, § 1(6-6-74), 5-21-2009)

Sec. 111-160. Banners.

Banners shall be allowed for a period not exceeding 21 days, with not more than four such 21-day periods being permitted per calendar year.

- (1) *Size.* Banners shall not be more than 32 square feet. A permit shall be required.
- (2) *Height.* No banner shall be mounted so as to extend above the horizontal plane of the roof where the building wall and roof meet or shall not extend more than five feet above grade when on the ground.

(Ord. No. 2009-006, § 1(6-6-75), 5-21-2009; Ord. No. 2013-03, § 4, 2-7-2013)

Sec. 111-161. Signage during construction.

- (a) *Number, size and height of sign.* One temporary sign shall be allowed on construction sites. A permit shall be required.

- (1) *Duration.* Said sign shall be allowed beginning with the issuance of a land disturbance permit and ending with the issuance of a certificate of occupancy/completion or installation of a permanent sign, whichever occurs first.
- (2) *Size.* Said sign shall not exceed 16 square feet in area or five feet in height.
- (3) *Construction.* Said sign may be a permanent sign as that term is defined in this chapter. Any permanent sign constructed consistent with this subsection shall not exceed the duration restrictions in subsection (a)(1) of this section.

- (b) *Additional sign.* This sign is in addition to the signs allowed in section 111-157.

(Ord. No. 2009-006, § 1(6-6-76), 5-21-2009)

Sec. 111-162. Out-of-store marketing device.

One sign shall be allowed on an out-of-store marketing device. Said sign shall not exceed two square feet. The height of the sign shall not be more than two feet above the device. No permit shall be required.

(Ord. No. 2009-006, § 1(6-6-77), 5-21-2009)

Sec. 111-163. Flags.

Flagpoles shall not exceed 70 feet in height. Flag dimensions shall be proportional to the pole such that the hoist side of the flag is not more than 35 percent of the vertical height of the flagpole.

(Ord. No. 2009-006, § 1(6-6-78), 5-21-2009)

Sec. 111-164. Suspended signs.

In a multi-tenant commercial or office building, in addition to all other permitted signs, one suspended sign per entrance used shall be allowed to identify the location of each tenant's premises. A permit shall be required. Suspended signs shall adhere to the following:

- (1) Does not exceed three square feet in area;

- (2) Is uniform in size, material, color and shape and is placed in an equivalent location to such other signs located on the same building; and
- (3) Maintains a minimum of nine feet of clearance between the bottom of the sign and the walkway below.

(Ord. No. 2009-006, § 1(6-6-79), 5-21-2009)

Sec. 111-165. Awning/canopy signs.

Signage on awnings or canopies shall be limited to 20 percent of allowable wall sign area for the wall upon which said awning signage is contemplated.

(Ord. No. 2013-03, § 5, 2-7-2013)



COUNCIL AGENDA ITEM COVER SHEET
Meeting Type: Council - Regular
Meeting Date: August 21, 2025
Agenda Item Type: New Business
Staff Contact: Scott Langford

STAFF REPORT

AGENDA ITEM:

Consideration to Award the Shamrock Lake Dam – Outlet Pipe Replacement project number PW-2024-11 to Limitless Concrete in the amount of \$298,225.

BACKGROUND:

The outfall structure of Shamrock Lake Dam is in need of repair. In budget meetings for the FY 26 Budget, staff included funding request from General Funds and 2023 SPLOST funds to perform repairs and make improvements to the spillway system. Bids were received on June 17, 2025, and the low bidder was Limitless Concrete at \$298,225. Some trees may have to be removed to complete the work. Please note this is a separate project from the future tree removal project.

FUNDING:

2026 FY General Fund 100-40-54.1409 and 2023 SPLOST Fund 322-49-54.1422

STAFF RECOMMENDATION:

Staff requests Council to Award the Shamrock Lake Dam – Outlet Pipe Replacement project number PW-2024-11 to Limitless Concrete for the total amount of \$298,225.

ATTACHMENTS:

Bid tabulation form

PREVIOUS DISCUSSIONS:

Budget meetings

Shamrock Lake Dam - Outlet Pipe Replacement FOR THE TOWN OF TYRONE, GA										LEWIS CONTRACTING				JHC CORPORATION				CLINE SERVICES CORP.				CRAWFORD GRADING			
BID DATE: June 17, 2025										UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE	
ITEM #	ITEM DESCRIPTION	EST. QUANTITY	UNIT	UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE		UNIT PRICE		CALCULATED TOTAL PRICE			
BASE BID																									
1	MOBILIZATION	1	LS			\$	42,800.00			LS		\$	20,000.00			LS		\$	25,000.00			LS		\$	25,000.00
2	DEMOLITION	1	LS			\$	12,000.00			LS		\$	30,000.00			LS		\$	35,000.00			LS		\$	25,000.00
3	CLEARING AND GRUBBING	1	LS			\$	14,100.00			LS		\$	30,000.00			LS		\$	20,000.00			LS		\$	40,000.00
4	GRADING COMPLETE	1	LS			\$	78,400.00			LS		\$	126,100.00			LS		\$	95,000.00			LS		\$	85,000.00
5	UNSUITABLE MATERIALS, COMPLETE	250	CY			\$	125.00					\$	80.00					\$	150.00					\$	250.00
6	GRADED AGGREGATE BASE FOR PATH REPAIR	40	TN			\$	78.00					\$	60.00					\$	100.00					\$	82,500.00
7	SUPERPAVE 12.5mm, 2" THICK FOR PATH REPAIR	15	TN			\$	3,120.00					\$	2,400.00					\$	4,000.00					\$	8,000.00
8	36" RCP w/CONC. CRADLE	40	LF			\$	1,275.00	*				\$	500.00					\$	750.00					\$	1,500.00
9	CONC HEADWALL FOR DOUBLE 38" STORM PIPE	1	EA			\$	840.00					\$	550.00					\$	800.00					\$	2,000.00
10	48" RCP STORM PIPE	175	LF			\$	16,800.00					\$	22,000.00					\$	32,000.00					\$	2,000.00
11a	CONC. JUNCTION BOX A-4	1	EA			\$	60,375.00					\$	420.00					\$	26,000.00					\$	12,000.00
11b	CONC. JUNCTION BOX A-2 AND A-3	2	EA			\$	28,400.00					\$	78,500.00					\$	425.00					\$	750.00
12	CONC. HW FOR 48" RCP W/APRON & BLOCKS	1	EA			\$	15,200.00					\$	26,000.00					\$	28,000.00					\$	35,000.00
13	RIP RAP - TYPE I, 18" THK	250	TN			\$	8,800.00					\$	23,000.00					\$	12,000.00					\$	20,000.00
14	RIP RAP - TYPE III, 12" THK	10	TN			\$	133.00					\$	10,000.00					\$	9,000.00					\$	5,000.00
15	SEEPAGE CONTROL DITCH	200	LF			\$	155.00					\$	100.00					\$	200.00					\$	200.00
16	SILT FENCE	550	LF			\$	220.00					\$	150.00					\$	300.00					\$	150.00
17	ROCK CHECK DAMS	5	EA			\$	8.50					\$	5.00					\$	6.00					\$	12.50
18	FILTER RING	1	EA			\$	4,875.00					\$	2,750.00					\$	3,300.00					\$	2,000.00
19	MULCH MAT	2000	SY			\$	15.00					\$	5,000.00					\$	3,500.00					\$	4,000.00
20	STABILIZATION STONE	100	TN			\$	30,000.00					\$	5.00					\$	8.00					\$	13.50
21	CONSTRUCTION EXIT	2	EA			\$	6,000.00					\$	100.00					\$	85.00					\$	150.00
22	TEMP. GRASSING AND MULCHING	0.5	AC			\$	11,600.00	*				\$	5,000.00					\$	7,000.00					\$	5,000.00
23	PERM. GRASSING AND MULCHING	0.5	AC			\$	6,000.00					\$	2,500.00					\$	2,500.00					\$	2.00
24	ALLOWANCE PER SPECIAL CONDITIONS	1	LS			\$	3,000.00					\$	10,000.00					\$	2,500.00					\$	10,000.00
TOTAL BASE BID						\$	516,120.00	*		\$		548,000.00			\$	593,425.00			\$	742,126.00					

* PRICES CORRECTED PER ADDENDUMS #1 & #2

**COUNCIL AGENDA ITEM COVER SHEET****Meeting Type:** Council - Regular**Meeting Date:** August 21, 2025**Agenda Item Type:** New Business**Staff Contact:** Scott Langford

STAFF REPORT**AGENDA ITEM:**

Consideration to Award the Public Works Trailer to the Big Tex Trailer World in McDonough, Georgia in the amount of \$18,249 for a Big Tex 22PH, Pintle, 25 foot Trailer.

BACKGROUND:

As part of the FY 26 budget, Council approved the budget amount of \$25,000 for a 25-foot trailer. The maintenance supervisor had requested a budget \$25,000 based on a quote he obtained for a Big Tex 25-foot trailer. This proposed new trailer is within our budget. According to the paperwork from the Vendor, the Big Tex 22PH trailer has a gross vehicle weight rating of 23,900 pounds and a cargo capacity of 17,800 pounds which is sufficient to carry our compact tract loader including the attachment.

FUNDING:

2026 FY General Fund 100-40-54.2201.

STAFF RECOMMENDATION:

Staff requests awarding the Public Works 25-foot trailer purchase to Big Tex Trailer World of McDonough, Georgia for the total of \$18,249.

ATTACHMENTS:

Bids and bid tabulation form

PREVIOUS DISCUSSIONS:

Budget meetings.



Bid Tabulation
2026 Public Works 25' Trailer
8/12/2025

Company	Big Tex Trailer World	Big Tex Trailer World	Big Tex Trailer World	Big Tex Trailer World	Big Tex Trailer World	Big Tex Trailer World	Big Tex Trailer World
	McDonough, GA	Marietta, GA	Pelham, AL	Logansville, GA	Cordel, GA	Commerce, GA	
Bid Price	\$ 18,249.00	\$ 18,249.00	\$ 18,249.00	Not in stock	Not in stock	Not in stock	

Bids Received by: Mitch Bowman & Scott Langford





Home » Inventory » Big Tex 22PH, Pintle, 102" x 25', 23.9K, Dovetail, Mega Ramps

1 of 6

BIG TEX 22PH, PINTLE, 102" X 25', 23.9K, DOVETAIL, MEGA RAMP

Tandem Dual Wheel Pintle

In Stock • New
MSRP Trailer World Price*
\$21,749 \$18,249

Pay As Low As **\$470.06 / month**

*Cash, finance or wire transfer price.
Applicable taxes and fees not included

CALL (770) 927-7003

I'M INTERESTED

Located at: 345 Industrial Blvd, McDonough, GA

PRODUCT HIGHLIGHTS

Year: 2026

Model: 22PH-25BK+5MR

Axle: 2 - 10,000# Premium, Cambered Axles with Oil Bath and Valcrum Caps

GVWR: 23900 lbs

Cargo Capacity: 17800 lbs

Hitch Type: Pintle Hitch

Ramps: 5' Double Hinged, Spring Assisted Flip-Over Ramps

Color: Black

VIN: 435169

VIEW MORE +

CUSTOMIZE YOUR PAYMENT

Down Payment

\$0

Amount To Be Financed

\$21,749

Term (Loan Length)

60 months

APR

10.74%

Monthly payment as low as



Home » Inventory » Big Tex 22PH, Pintle, 102" x 25', 23.9K, Dovetail, Mega Ramps

1 of 6

BIG TEX 22PH, PINTLE, 102" X 25', 23.9K, DOVETAIL, MEGA RAMPS

Tandem Dual Wheel Pintle

In Stock • New
MSRP Trailer World Price[†]
\$21,749 \$18,249

Pay As Low As **\$470.06 / month**

[†]Cash, finance or wire transfer price.
Applicable taxes and fees not included

CALL (678) 585-2510

I'M INTERESTED

Located at: 850 Cobb Parkway NE, Marietta, GA

PRODUCT HIGHLIGHTS

Year: 2026

Model: 22PH-25BK+5MR

Axle: 2 - 10,000# Premium, Cambered Axles with Oil Bath and Valcrum Caps

GVWR: 23900 lbs

Cargo Capacity: 17800 lbs

Hitch Type: Pintle Hitch

Ramps: 5' Double Hinged, Spring Assisted Flip-Over Ramps

Color: Black

VIN: 433658

VIEW MORE

CUSTOMIZE YOUR PAYMENT

Down Payment

\$0

Amount To Be Financed

\$21,749

Term (Loan Length)

60 months

APR

10.74%

Monthly payment as low as



Home » Inventory » Big Tex 22PH, Pintle, 102" x 25', 23.9K, Dovetail, Mega Ramps

1 of 10

BIG TEX 22PH, PINTLE, 102" X 25', 23.9K, DOVETAIL, MEGA RAMP

Tandem Dual Wheel Pintle

In Stock • New
MSRP Trailer World Price*

\$21,749 \$18,249

Pay As Low As **\$470.06 / month**

*Cash, finance or wire transfer price.
Applicable taxes and fees not included

CALL (205) 671-8181

I'M INTERESTED

Located at: 1500 McCain Pkwy., Pelham, AL

PRODUCT HIGHLIGHTS

Year: 2025

Model: 22PH-25BK+5MR

Axle: 2 - 10,000# Premium, Cambered Axles with Oil Bath and Valcrum Caps

GVWR: 23900 lbs

Cargo Capacity: 17800 lbs

Hitch Type: Pintle Hitch

Ramps: 5' Double Hinged, Spring Assisted Flip-Over Ramps

Color: Black

VIN: 408031

VIEW MORE +

CUSTOMIZE YOUR PAYMENT

Down Payment

\$0

Amount To Be Financed

\$21,749

Term (Loan Length)

60 months

APR

10.74%

Monthly payment as low as